



Bryant Planning Commission Meeting
Monday, July 10th, 2017
6:00 p.m.
Boswell Municipal Complex - City Hall Courtroom

Agenda

CALL TO ORDER

- Chairman to call the meeting to order.
- Secretary calls roll

APPROVAL OF MINUTES

Mintues

Documents:

[Bryant Planning Commission Meeting Mintues 61217.pdf](#)

ANNOUNCEMENTS

DRC REPORT

Tonia Griffin

Requesting Approval of Re-Plat - **Approved**

Documents:

[TONIA GRIFFIN MORDENS SUB REPLAT.pdf](#)

Grace Village Phase 2

Vernon Williams - Requesting Approval of Preliminary Plat - **Tabled**

Documents:

[0 16072 Grace Village Ph 2 Cover Sheet.pdf](#)
[2 16072 Grace Village Ph 2 Site Layout.pdf](#)
[Grace Village Ph 2 Main D Sewer PandP.pdf](#)
[Grace Village Ph 2 Main E Sewer PandP.pdf](#)
[Grace Village Ph 2 Street and Drainage Plan.pdf](#)
[Grace Village Ph 2 Street Profile Grace and Tranquility.pdf](#)
[Grace Village Ph 2 Street Profile Peace Lane.pdf](#)

Dental And Dentures Services

Requesting Approval for Parking Expansion - **Tabled Due to No Drainage Calculations**

Documents:

[Dentrues and Dental Services Parking.pdf](#)

. **US Pizza Parking Lot**

Requesting Approval for Parking Lot Expansion - **Tabled Due to No Drainage Calculations**

Documents:

[2.pdf](#)

[4.pdf](#)

[5.pdf](#)

. **David's Burgers Building Signage**

Requesting Sign Permits Approval - **Tabled**

Documents:

[Davids Burger Sign Plan.pdf](#)

[Davids Burgers Building Signs.pdf](#)

[revised layout.pdf](#)

. **A-1 Fireworks**

Requesting Temporary Business Permit Application Approval - **Approved**

Documents:

[A1 Fireworks App 2017.pdf](#)

. **Burger King**

Requesting Sign Permits Application Approval - **Approved East and North Sides, South Does Not Comply**

Documents:

[Burger King Sign Permit Application.pdf](#)

. **Fulks Family Dentistry**

Requesting Temporary Business Permits Approval - **Approved**

Documents:

[Fulks Family Dentistry Sign.pdf](#)

. **Arnold Fireworks**

Requesting Temporary Business Permits Approval - **Approved**

Documents:

[Arnold Fireworks Springhill Rd App.pdf](#)

[Arnold Fireworks South Reynolds App.pdf](#)

. **Bethel Middle School**

Requesting Approval for New Entry Canopy - **Approved**

Documents:

[Bethel Canopy.pdf](#)

Fire Dancer BBQ

Requesting to Move Temporary Business Location For Two Weeks Starting on 7/3/17 -
Approved

Documents:

[FDBBQ Site Plan - Crush.pdf](#)

PUBLIC HEARING

Zoning Code Changes

James Walden - Requesting Approval Of Zoning Code Changes

Documents:

[Zoning Code VARIANCE WCF.PDF](#)

OLD BUSINESS

NEW BUSINESS

611 SW 2nd Re-Plat

Tonia Griffin - Requesting Re-plat of Lots 4, 5, and 6 of Modern Subdivision.

Documents:

[TONIA GRIFFIN MORDENS SUB REPLAT.pdf](#)

ADJOURNMENT



Bryant Planning Commission Meeting

Monday, July 10th, 2017

6:00 p.m.

Boswell Municipal Complex-City Hall Courtroom

UNAPPROVED MINTUES FOR 6/12/17 MEETING 5 Pages

CALL TO ORDER:

- Chairman Lance Penfield Calls Meeting To Order
- Commissioners Present: Penfield, Poe, Statton, Brunt, Johnson, Erwin, Mayfield.
- Commissioners Absent: Burgess.

APPROVAL OF MINTUES:

Approval of the April 10th, 2017 Planning Commission Minutes.

Action taken: Motion made to approve by Commissioner Brunt and seconded by Commissioner Statton. Voice vote: 7 yeas and 0 nays. Passed. Burgess Absent.

DRC REPORT

Chairman Penfield reads the DRC Report.

Fire Dancer BBQ - Requesting Temporary Business Permit Application Approval - **Approved**

Baxley Penfield Moudy Realtors Building - Requesting Approval of Parking and Dumpster Relocation Plan Due to Highway 5 Widening Project - **Approved**

Nail Lounge & Spa - 4000 Hwy 5 Suite 2 - Requesting Sign Permit Application Approval - **Approved**

Wildman Arms - 25502 I-30 North - Requesting Sign Permit Application Approval - **Approved**

TNT Fireworks - Requesting Temporary Business Permit Application - **Approved**

Stuart Finley - Discussion of Storage Project on Spingrhill Road

Screaming Eagle Fireworks - Requesting Temporary Business Permit Application - **Approved**

Pikewood Replat Lot 71 - Requesting Replat of Lot 71 Pikewood - **Approved**

Olde Savannah

1. Requesting Approval of Preliminary Plat
2. Requesting Recommendation for Re-Zoning

Meramec Specialty Company - Fireworks Stand - Requesting Temporary Business Permit Application Approval - **Approved**

HealthCare Express - Requesting Sign Permit Application Approval - **Approved**

David's Burgers Sign - Requesting the Approval for Moving One of the Already Approved Signs - **Denied - Sign Would Be Located In Easement**

Changes To The Zoning Code - Conditional Use - Requesting Recommendation to Planning Commission - **Recommend Approval**

Carter Billboard Sign Relocation - Requesting the Movement of Billboard - **Recommended Ordinance to City Council**

Bryant Parkway Access Management Plan - Discussion and Recommendation of Bryant Parkway Access Management Plan - **Recommend Approval**

Bobs Wholesale Fireworks - Requesting Temporary Business Permit Application Approval - **Approved**

Baxter Vet Clinic Parking Addition - Requesting Approval of Parking Addition - **Approved**

Air BnB - Discussion on the Regulation of Air BnB

433 Windrush Point - Jonathan Hope - Request Recommendation for Variance - **Approved Change, Variance Not Necessary**

1101 North Reynolds Road - Requesting Recommendation to Planning Commission for Re-Zoning R-E to C-2 - **Recommend Approval**

PUBLIC HEARING

1101 North Reynolds Road - Requesting to Re-Zone From R-E to C-2

Chairman Penfield opens the public hearing and gives the floor to Mr. Johnathan Hope of Hope Consulting. Mr. Hope states that his client has no project imminent. They just wanted to rezone the property to C-2 to help the sale of the property. Mr. Hope also states that the client is aware that no access will be allowed of Sullivan Road, since it is a private school road. All ingress and egress will occur from Reynolds Road. Chairman Penfield also clarifies that since the school is zoned residential, the commercial property will have to adhere to the setback and fencing requirements.

No Public Comment.

Chairman Penfield Calls for a roll call vote. 6 yeas. 0 nays. Passed. Burgess Absent.

Olde Savannah - Requesting Re-Zoning From R-2 to PUD

Chairman Penfield opens the public hearing and clarifies that this is for just the rezoning and is not any approval of a plat. The Chair then opens the floor to Mr. Randy Ives.

Mr. Ives is asking for the PUD to construct an active senior living retirement type community geared at 55 years of age and over. He states he wants the PUD to gate the community, allow for the POA to control the green spaces as well as the landscaping of the homes, give more control over the architectural design of the homes. Mr. Ives also states that this fits the Bryant Comprehensive Growth plan and that is a transitional neighborhood between the developments on either side of his. Chairman Penfield clarifies

what Mr. Ives has stated and asked about the POA. Mr. Ives confirms that the POA will take care of the streets, common area and yards. Mr. Ives explains the concept and how the project is designed for 55 and up retirement individuals and that these will not be starter homes. Commissioner Statton asks about the areas between the duplexes. Mr. Ives confirms that it will be about 15 feet of grassy area. Commissioner Erwin asks about parking on the street, and Mr. Ives confirms that 9 buildings will have a single car garages and the rest will park on a driveway in front of the building. Commissioner Statton asks about the average price, Mr. Ives estimates that they will be North of \$1,000 a month. Chairman Penfield asks Mr. Ives if he would be willing to restrict the parking on the street, which is typically done in Bryant with tight PUDs like this. Mr. Ives sees no problem with this.

Chairman Penfield opens the floor to public comment. Wesely Russell, Vice President of the Hurricane Lake POA Board voiced concerns of the rear setbacks close to R-2, the PUD does not preserve or enhance the neighborhood which is what a PUD is supposed to do, and everything in the area is single family housing. Chairman Penfield asks Mr. Russell about the Saint Regis development. Mr. Russel does state that they are similar but that those do not have the majority of its borders to the area and it is not a PUD. Mr. Russell confirms that there is about 8 houses that the proposed property backs up to in Hurricane Lake Estates. Chairman Penfield asks about the multifamily that Benton approved just a little further down, done by Mr. Schadder. This project has a larger set back.

Carol Simmons voices concerns of flooding in the area and the drainage on the property and the overall density of the project.

Kay Prince states that her property is one of the abutting properties and that her and her neighbors are against this development. Mrs. Prince voiced concerns for the nature of which these buildings would be sold or rented. She is also worried about the taking of trees and amount of drainage the loss will cause. Chairman Penfield confirms that he will have to meet the drainage specs no matter what he does and that he could clear all of the trees as a property owner right now. Mr. Walden confirms that the rezoning would be done with a contingency on the site plan. Mrs. Prince asks if it will be a rental property. Chairman Penfield states that the Planning Commission has no authority to dictate whether Mr. Ives can sell or rent the property and that Mr. Ives plans to rent these out. Mrs. Prince confirms that she is against this project.

Gary Ferrell voices concerns over the setbacks for the property and the overdevelopment of the piece of property. Mr. Ferrell also voices his appreciation to the Commission for allowing the people of Benton to speak.

David Chapman explains his project next door and voices concerns over the drainage that may come on to his property. Mr. Chapman asks to be involved in the engineering discussions and voices his concern again for drainage in the area. Chairman Penfield confirms with Mr. Chapman that there was a public hearing held for his development too. Chairman Penfield also states that no more water can come off a piece property before the development as after the development. Chairman Penfield asks Mr. Chapman about the use. Mr. Chapman welcomes the use but jokingly wishes he would go somewhere else so that he wouldn't have to compete against him. Commission Erwin asks about the drainage and Mr. Chapman confirms about the drainage concerns and the retaining wall. Chairman Penfield confirms that this development is also a PUD due to the density of the development. Mr. Chapman states that his development has about a 50 foot tree line on the side of his property facing Hurricane Lake Estates, except for some areas that have large lots.

Misty Kenison voices concerns for how the green spaces has slowly gone away and how this would completely take this away and protests against it because of no green space.

Chairman Penfield asks if anyone from the city limits of Bryant is present that is for or against the project.

Nakia Lovell asks if this project could be shifted to be low income housing. Chairman Penfield clarifies that Mr. Ives is trying to market to 55 and over empty nesters. Mr. Walden states that there could be a deed restrictions placed on the property. Commission Johnson states that with features that will be in this

development, it will not be cost prohibitive to rent at a low rate. Mrs. Lovell states her concerns over crime and density.

Mr. Chapman returns to confirm that with the amount of money going into this project, it will be hard if not impossible to rent these are a low rate.

Mr. Russell comments on the setbacks.

Chairman Penfield turns the floor back over to Mr. Ives voicing the two major concerns, setbacks and drainage. Mr. Ives states that Peach Blossom will be draining on to them and speaks to the difficulty of keeping any trees on a project like this. He also speaks to the quality of homes he plans to build. Mr. Ives also confirms that he could not rent these homes for less than \$1,000 a month and that they will not be government subsidized housing. Commissioner Poe asks Mr. Ives if he would be okay with this project going in his back yard. Mr. Ives answers with the property owner should be able to do whatever they want with their property. Commissioner Statton asks about adding some kind of shrub or decorative tree that could be add. Mr. Ives confirms that the buildings will look like 2500 to 3000 square feet homes.

Chairman Penfield confirms that this will have two contingencies with preliminary plat and drainage.

Commission Statton asks if Mr. Ives would consider additional greenery. Mr. Ives states he has no problem with trying to fit that in. Commission Statton does not want to make it a requirement but rather favor adding some greenery.

Vice-Chairman asks Mr. Kribbs about the drainage with this development. Mr. Kribbs states that he is planning on working closely with the City and Mr. Chapman's engineer. He also points out and discusses the detention area.

Chairman Penfield Calls for a roll call vote. 5 yeas. 0 nays. Passed. Burgess Absent. Johnson Abstains.

Changes To The Zoning Code - Conditional Use - Requesting Changes to the Bryant Zoning Code Pertaining to Revising Permitted Commercial Uses, Conditional Uses and the Conditional Use Process

Mr. Walden presents on the conditional use changes. The first being changing the regulations with medical marijuana dispensaries. This is an added level of check for the city to have some say in the development process. This is not intended to zone them out. Drug stores and pharmacies have to play by the same rules. Chairman Penfield confirms what is going to happen to projects under current development. Vice-Chairman Erwin asks about Air BnB and was updated about the one year moratorium. Mr. Walden the goes into the second section which goes into the actual conditional use language. Mr. Walden walks through the entire process. Chairman Penfield recommends changing the rezoning and public hearing signs so that they are easier to see. He recommends that staff review some signs and make a recommendation to DRC.

Chairman Penfield Calls for a roll call vote. 6 yeas. 0 nays. Passed. Burgess Absent.

Vice-Chairman Erwin takes a moment to clarify the role of Mr. James Walden and Secretary Smith. Secretary Smith being the Assistant Planning Director. Mr. Erwin asks if the city is still actively perusing a Planning Director. Mr. Walden states that the city is actively perusing training up Mr. Smith. Mr. Walden confirms that he is under contract with the city to be a support the Planning Department. Mr. Erwin states that he thinks this is working well, especially with Mr. Walden's experience around the area of the state. Vice-Chairman Erwin asks Councilmember Higginbotham's opinion on how the City Council thinks the department is functioning. Councilmember Higginbotham confirms that they love the arrangement. Chairman Penfield confirms that things are working better than before and things aren't being missed like they once were.

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Motion made to adjourn by Commissioner Statton, seconded by Commissioner Erwin.

Approval of the minutes for June 12th Bryant Planning Commission meeting was approved on July 10th, 2017.

_____ Date: _____2017
Chairman Lance Penfield

_____ Date: _____2017
Secretary Truett Smith

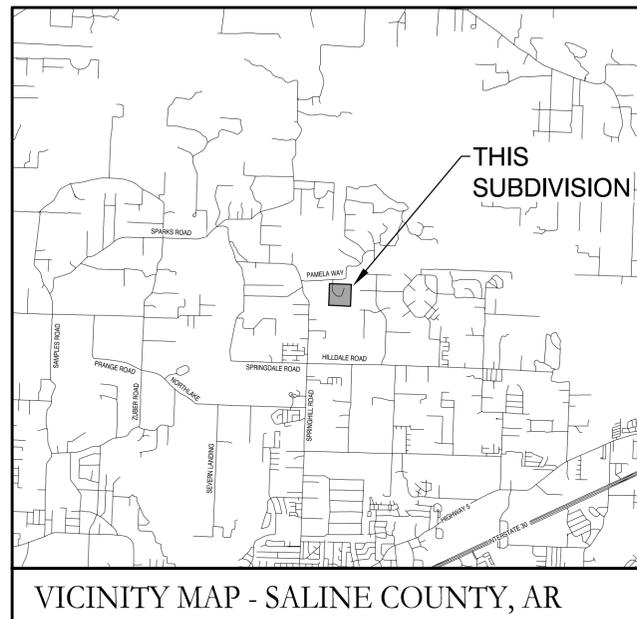
CONSTRUCTION PLANS FOR

GRACE VILLAGE SUBDIVISION - PHASE 2

CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DRAWING INDEX:

- 1 APPROVED PRELIMINARY PLAT
- 2 OVERALL SITE DEVELOPMENT PLAN
- 3 OVERALL WATER & SANITARY SEWER PLAN
- 4 SANITARY SEWER PLAN & PROFILE MAIN 'D'
- 5 SANITARY SEWER PLAN & PROFILE MAIN 'E'
- 6 STREET & DRAINAGE PLAN
- 7 STREET & DRAINAGE PROFILE - GRACE VILLAGE DRIVE & TRANQUILITY LANE
- 8 STREET & DRAINAGE PROFILE - PEACE LANE



Prepared by:

GarNat Engineering, LLC

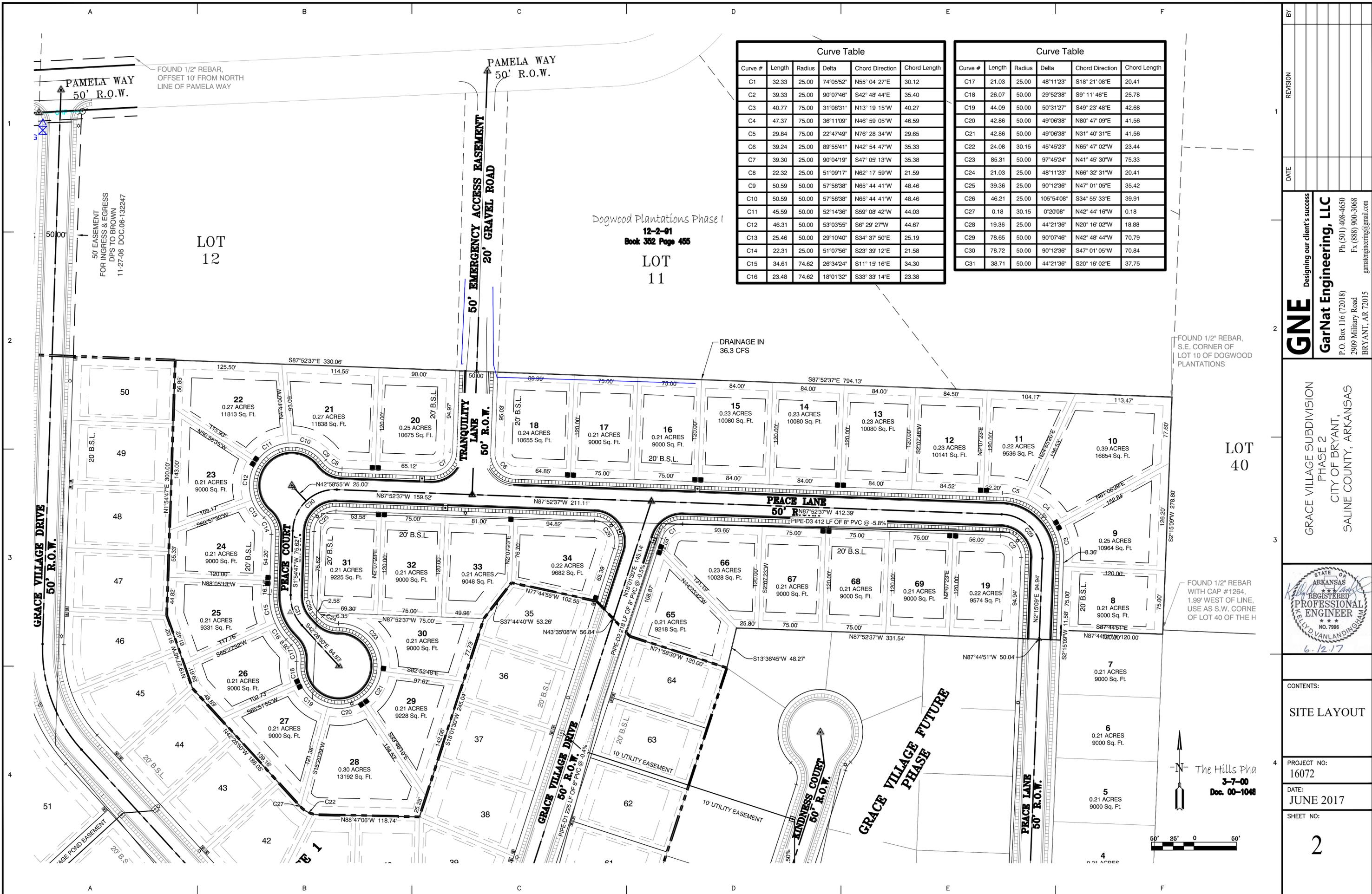
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 2909 Military Road Fx (888) 900-3068
 Benton, AR 72015 www.garnatengineering.com

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ARKANSAS





Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	32.33	25.00	74°05'52"	N55°04'27"E	30.12
C2	39.33	25.00	90°07'46"	S42°48'44"E	35.40
C3	40.77	75.00	31°08'31"	N13°19'15"W	40.27
C4	47.37	75.00	36°11'09"	N46°59'05"W	46.59
C5	29.84	75.00	22°47'49"	N76°28'34"W	29.65
C6	39.24	25.00	89°55'41"	N42°54'47"W	35.33
C7	39.30	25.00	90°04'19"	S47°05'13"W	35.38
C8	22.32	25.00	51°09'17"	N62°17'59"W	21.59
C9	50.59	50.00	57°58'38"	N65°44'41"W	48.46
C10	50.59	50.00	57°58'38"	N65°44'41"W	48.46
C11	45.59	50.00	52°14'36"	S59°08'42"W	44.03
C12	46.31	50.00	53°03'55"	S6°29'27"W	44.67
C13	25.46	50.00	29°10'40"	S34°37'50"E	25.19
C14	22.31	25.00	51°07'56"	S23°39'12"E	21.58
C15	34.61	74.62	26°34'24"	S11°15'16"E	34.30
C16	23.48	74.62	18°01'32"	S33°33'14"E	23.38

Curve Table					
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C17	21.03	25.00	48°11'23"	S18°21'08"E	20.41
C18	26.07	50.00	29°52'38"	S9°11'46"E	25.78
C19	44.09	50.00	50°31'27"	S49°23'48"E	42.68
C20	42.86	50.00	49°06'38"	N80°47'09"E	41.56
C21	42.86	50.00	49°06'38"	N31°40'31"E	41.56
C22	24.08	30.15	45°45'23"	N65°47'02"W	23.44
C23	85.31	50.00	97°45'24"	N41°45'30"W	75.33
C24	21.03	25.00	48°11'23"	N66°32'31"W	20.41
C25	39.36	25.00	90°12'36"	N47°01'05"E	35.42
C26	46.21	25.00	105°54'08"	S34°55'33"E	39.91
C27	0.18	30.15	0°20'08"	N42°44'16"W	0.18
C28	19.36	25.00	44°21'36"	N20°16'02"W	18.88
C29	78.65	50.00	90°07'46"	N42°48'44"W	70.79
C30	78.72	50.00	90°12'36"	S47°01'05"W	70.84
C31	38.71	50.00	44°21'36"	S20°16'02"E	37.75

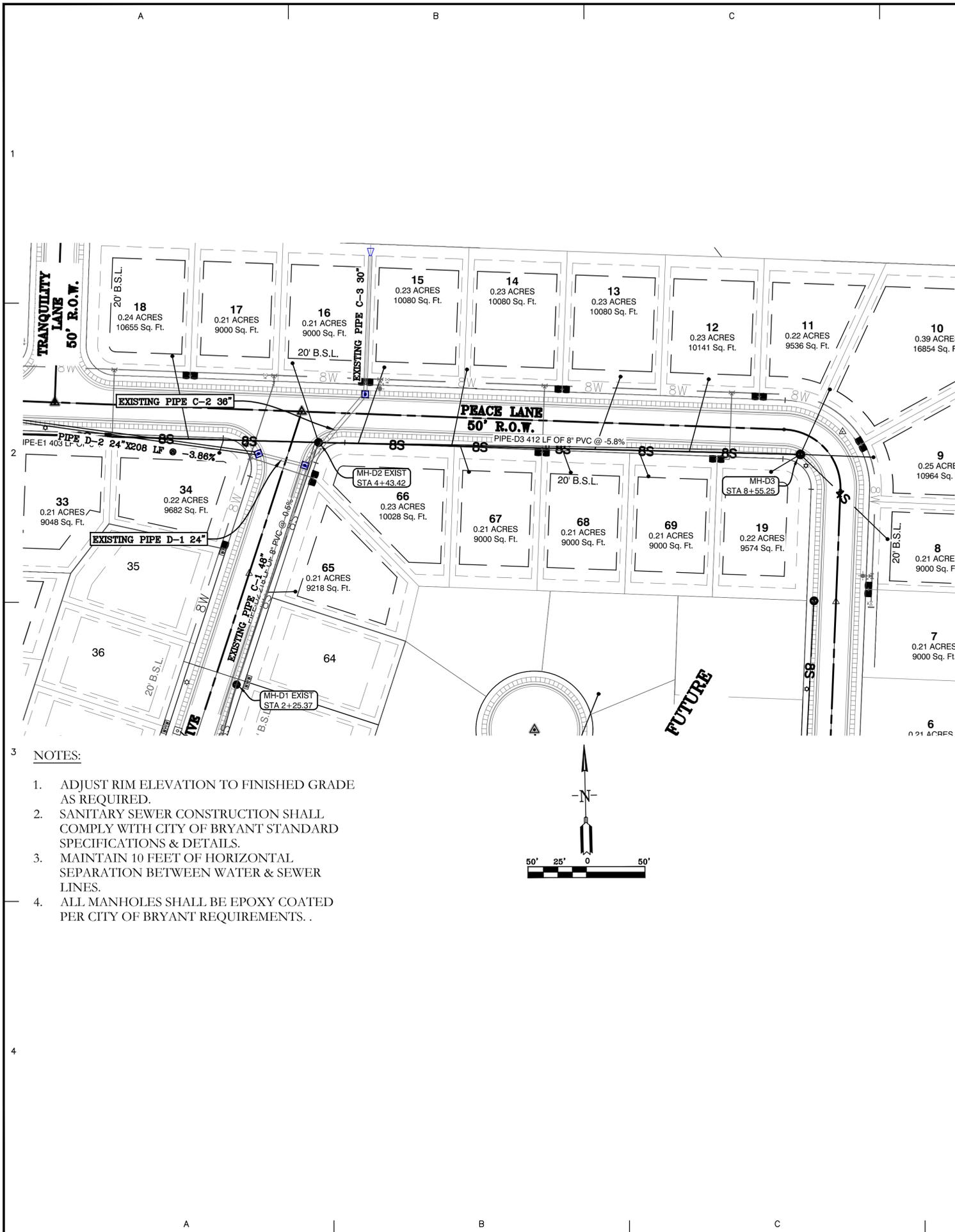
Dogwood Plantations Phase 1
 12-2-01
 Book 352 Page 455

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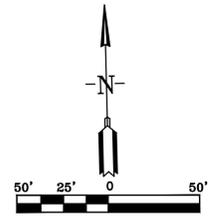
GRACE VILLAGE SUBDIVISION
 PHASE 2
 CITY OF BRYANT,
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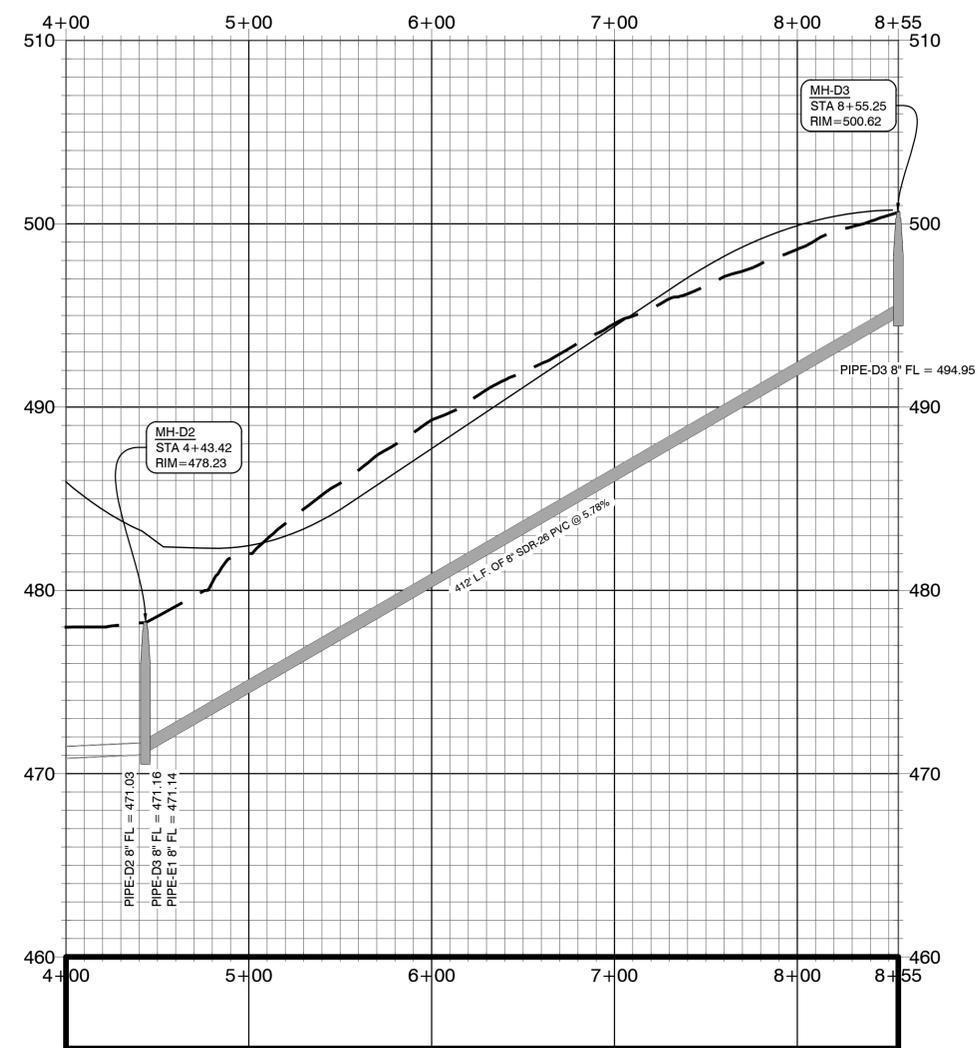
CONTENTS:
 SITE LAYOUT
 PROJECT NO:
 16072
 DATE:
 JUNE 2017
 SHEET NO:



- NOTES:**
- ADJUST RIM ELEVATION TO FINISHED GRADE AS REQUIRED.
 - SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 - MAINTAIN 10 FEET OF HORIZONTAL SEPARATION BETWEEN WATER & SEWER LINES.
 - ALL MANHOLES SHALL BE EPOXY COATED PER CITY OF BRYANT REQUIREMENTS.

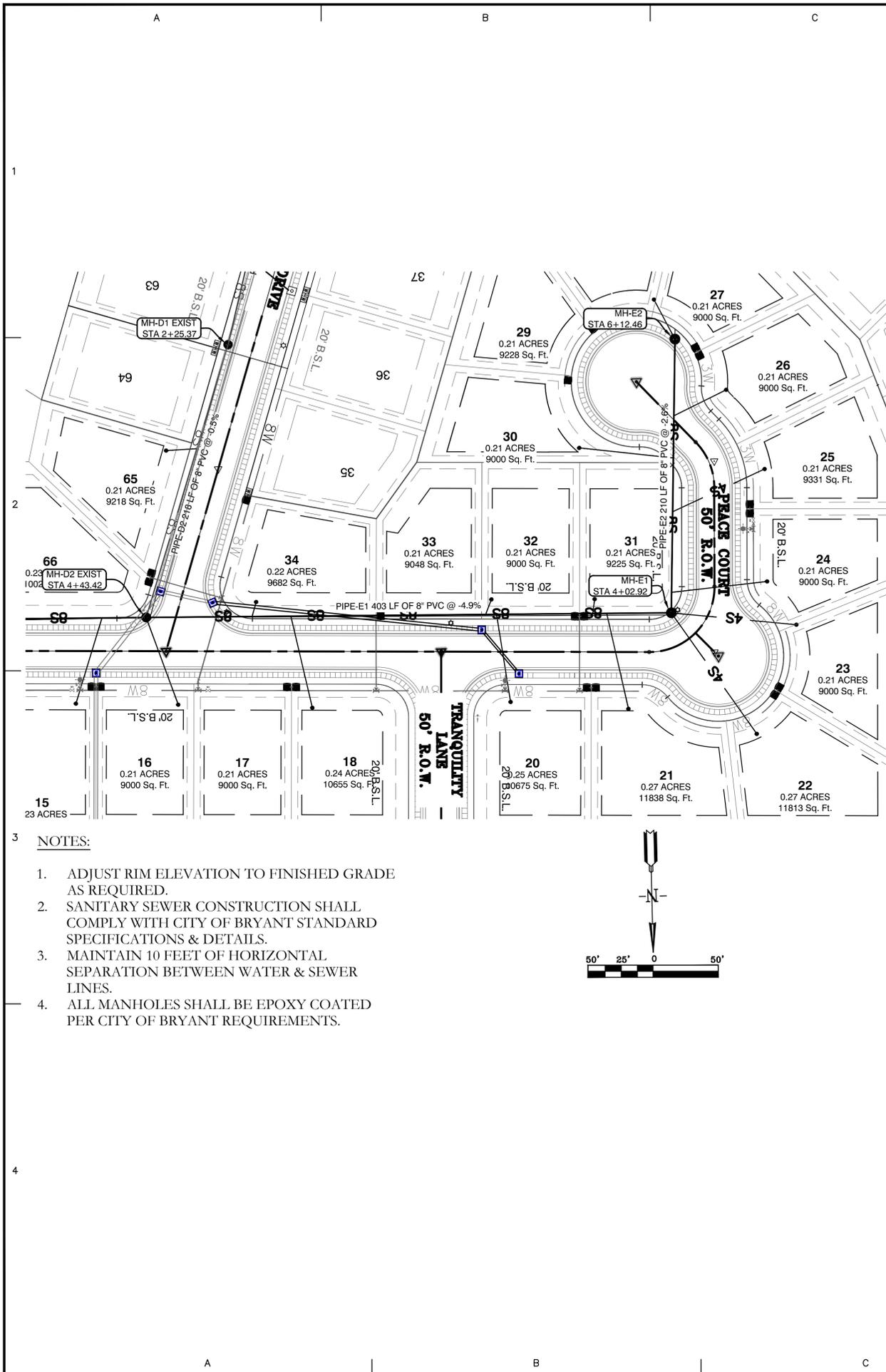


SS MAIN D PROFILE

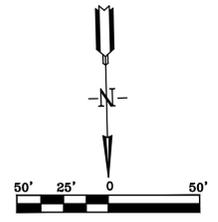


BY	
REVISION	
DATE	
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<p>GRACE VILLAGE SUBDIVISION PHASE 2 CITY OF BRYANT, SALINE COUNTY, ARKANSAS</p>	
<p>CONTENTS:</p> <p>SANITARY SEWER PLAN & PROFILE MAIN 'D'</p>	
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DATE:	JUNE 2017
SHEET NO:	4

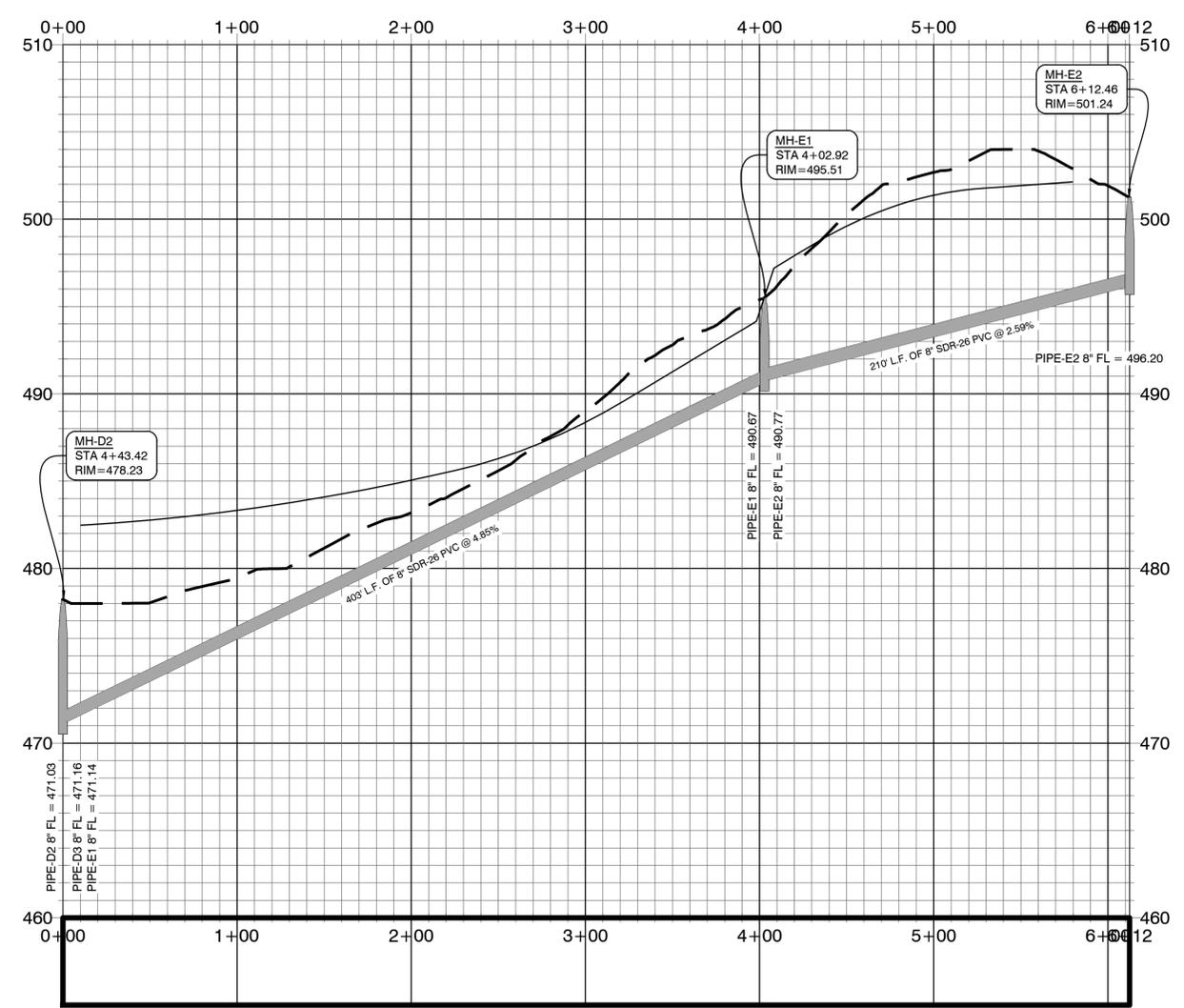
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 6/12/17



- NOTES:**
- ADJUST RIM ELEVATION TO FINISHED GRADE AS REQUIRED.
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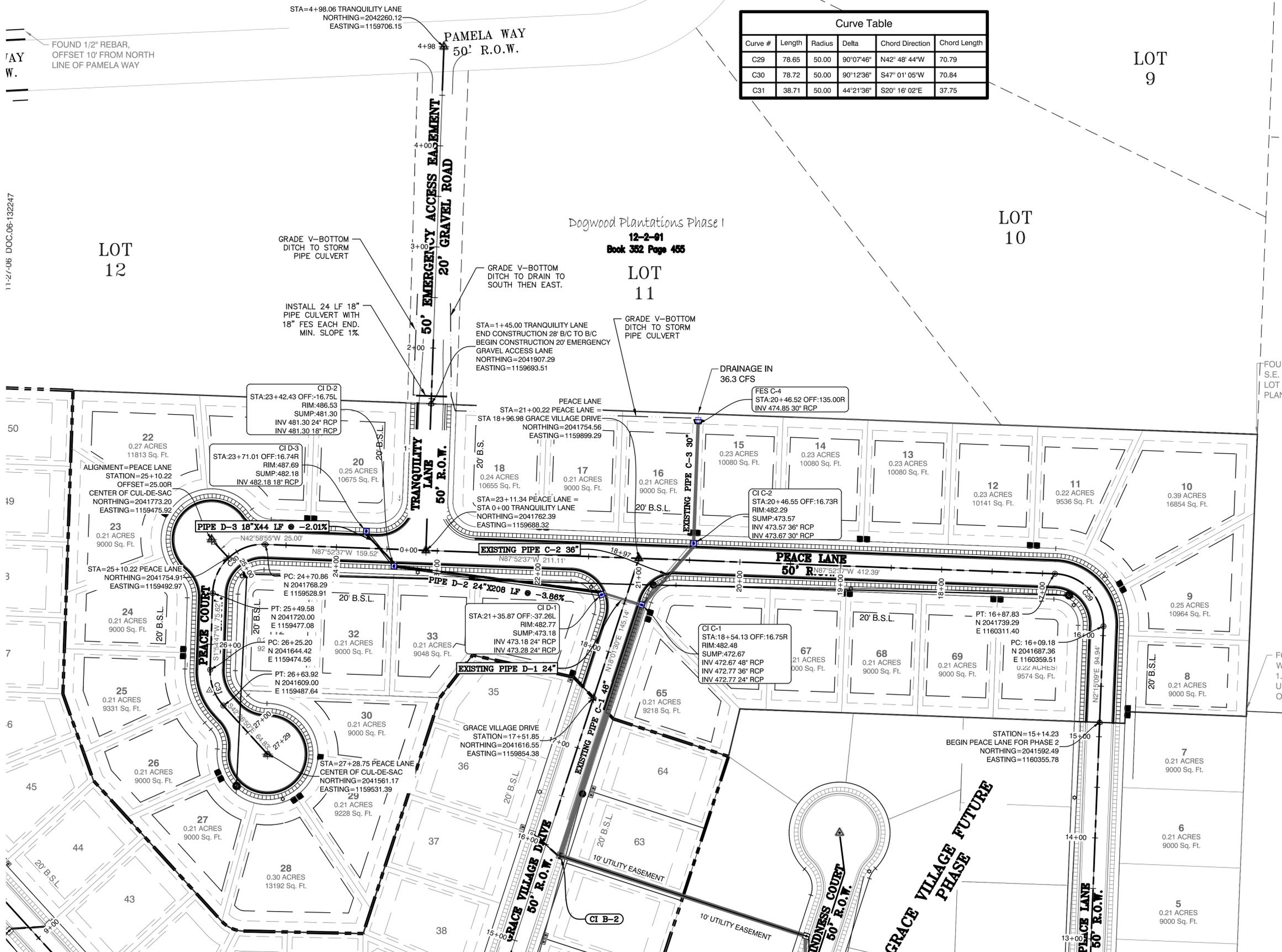
SS MAIN E PROFILE



BY	
REVISION	
DATE	
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<p>GRACE VILLAGE SUBDIVISION PHASE 2 CITY OF BRYANT, SALINE COUNTY, ARKANSAS</p>	
<p>6.12.17</p>	
<p>CONTENTS:</p> <p>SANITARY SEWER PLAN & PROFILE MAIN 'E'</p>	
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DATE:	JUNE 2017
SHEET NO:	5

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11-27-06 DOC-06-132247



Curve Table					
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C30	78.72	50.00	90°12'36"	S47° 01' 05"W	70.84
C31	38.71	50.00	44°21'36"	S20° 16' 02"E	37.75

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GRACE VILLAGE SUBDIVISION
 PHASE 2
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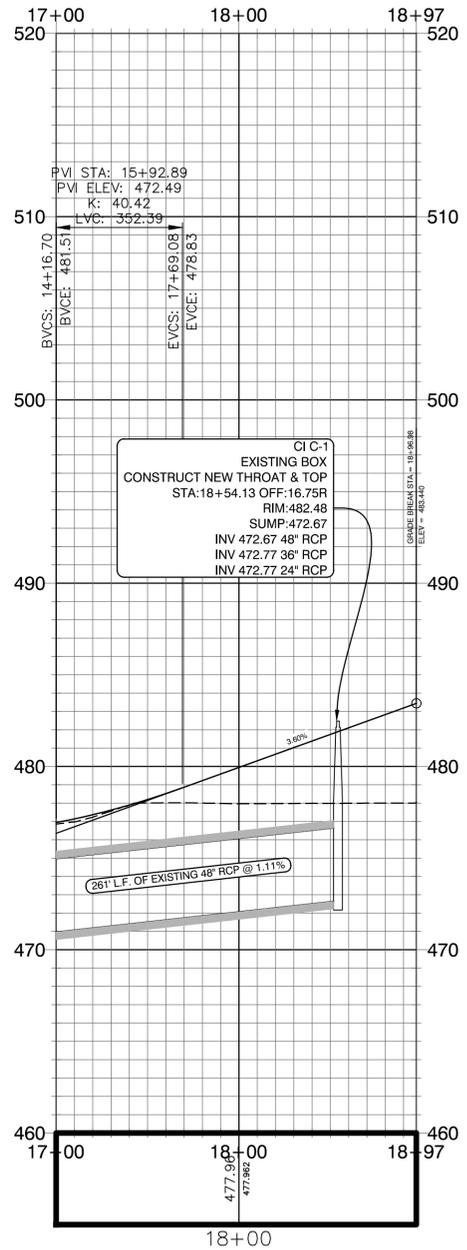


CONTENTS:
 STREET &
 DRAINAGE
 PLAN

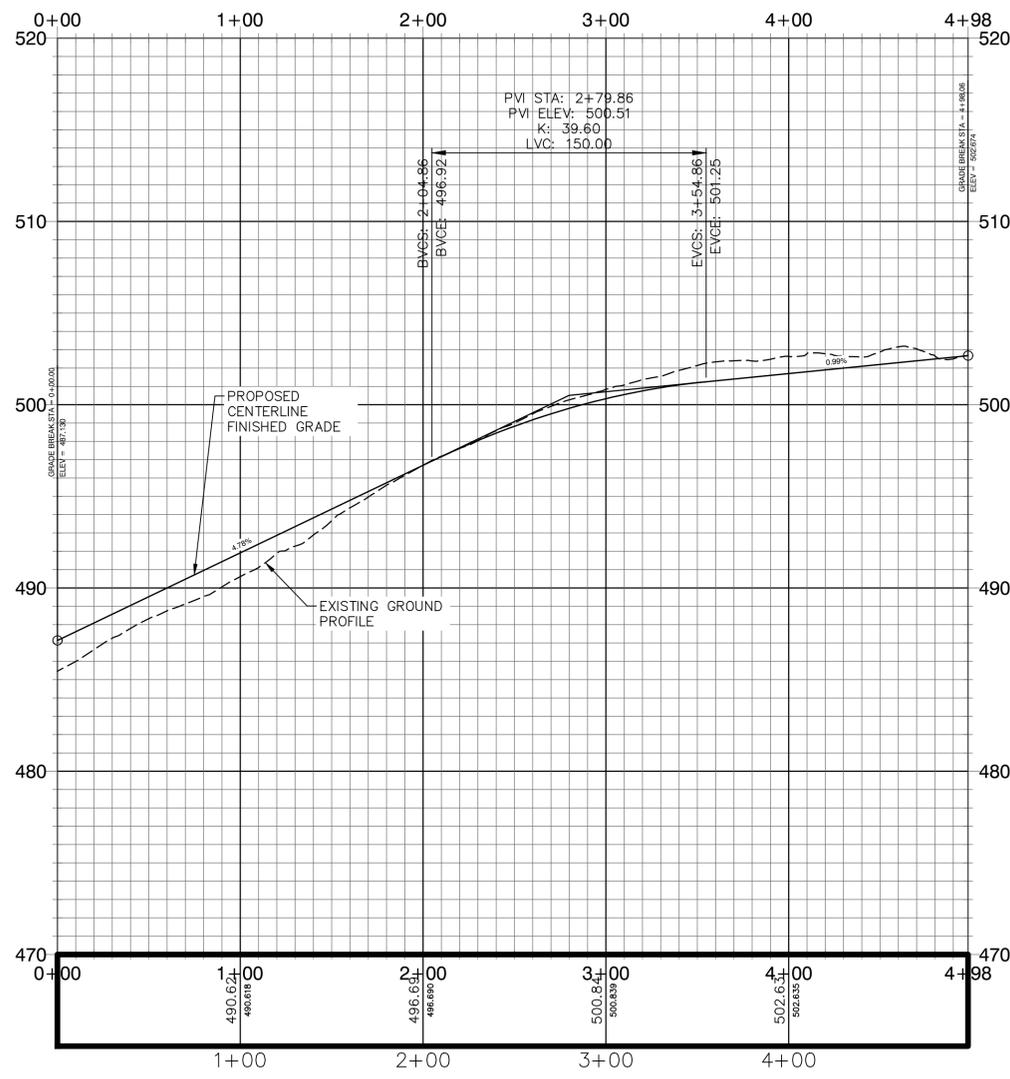
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 DATE:
 JUNE 2017
 SHEET NO:

6

GRACE VILLAGE DRIVE PROFILE



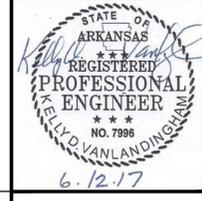
TRANQUILITY LANE PROFILE



DATE	REVISION	BY

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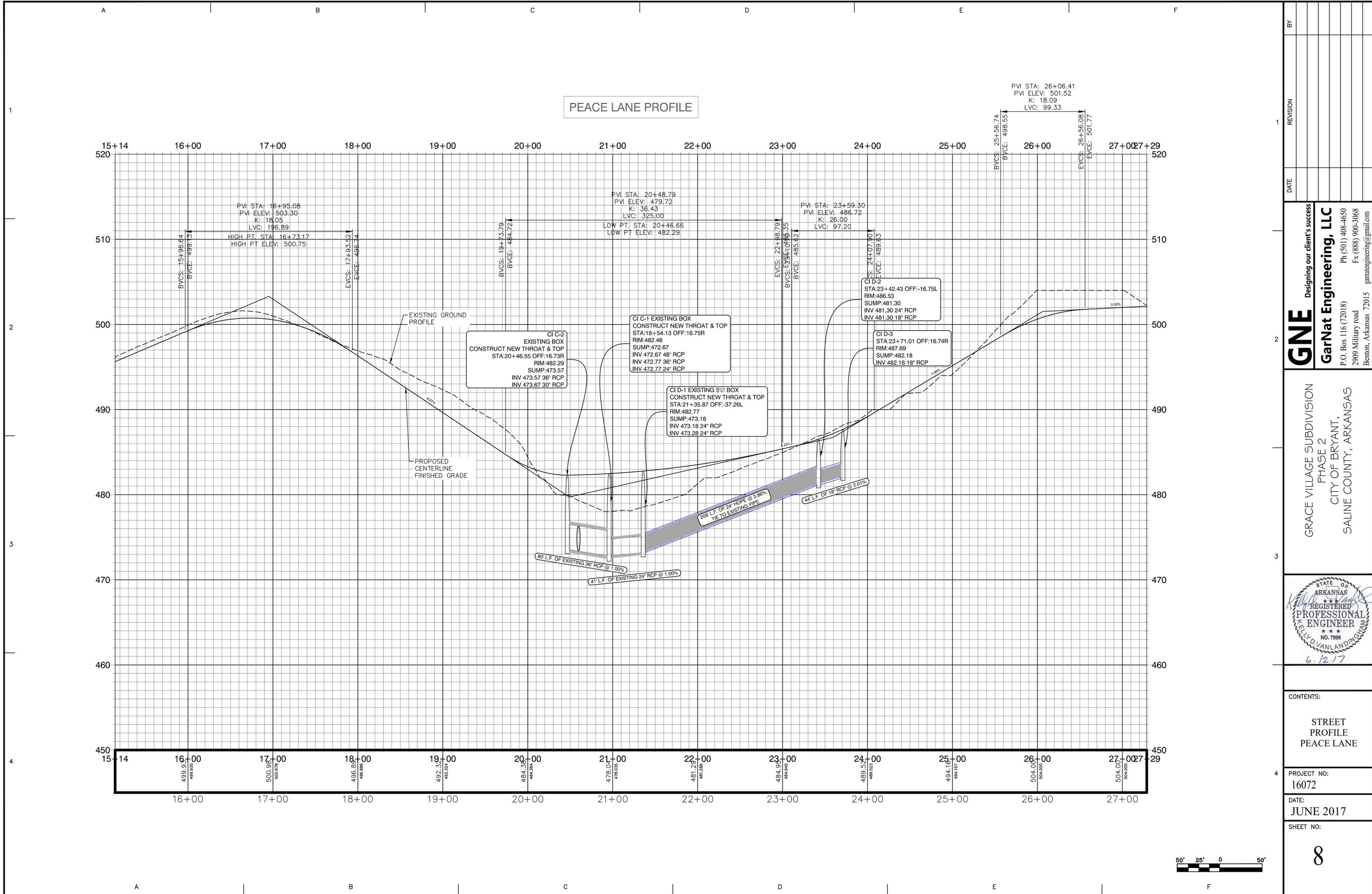
GRACE VILLAGE SUBDIVISION
 PHASE 2
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS



CONTENTS:

STREET PROFILES GRACE VILLAGE & TRANQUILITY LN
PROJECT NO: 16072
DATE: JUNE 2017
SHEET NO: 7

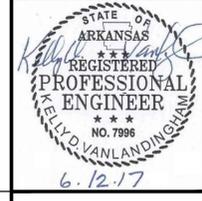
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REVISION	DATE	BY

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GRACE VILLAGE SUBDIVISION
 PHASE 2
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS



CONTENTS:
 STREET
 PROFILE
 PEACE LANE

PROJECT NO:
 16072

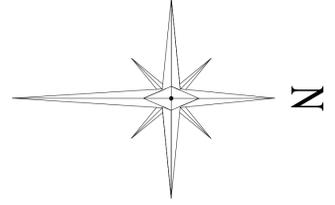
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 JUNE 2017

SHEET NO:
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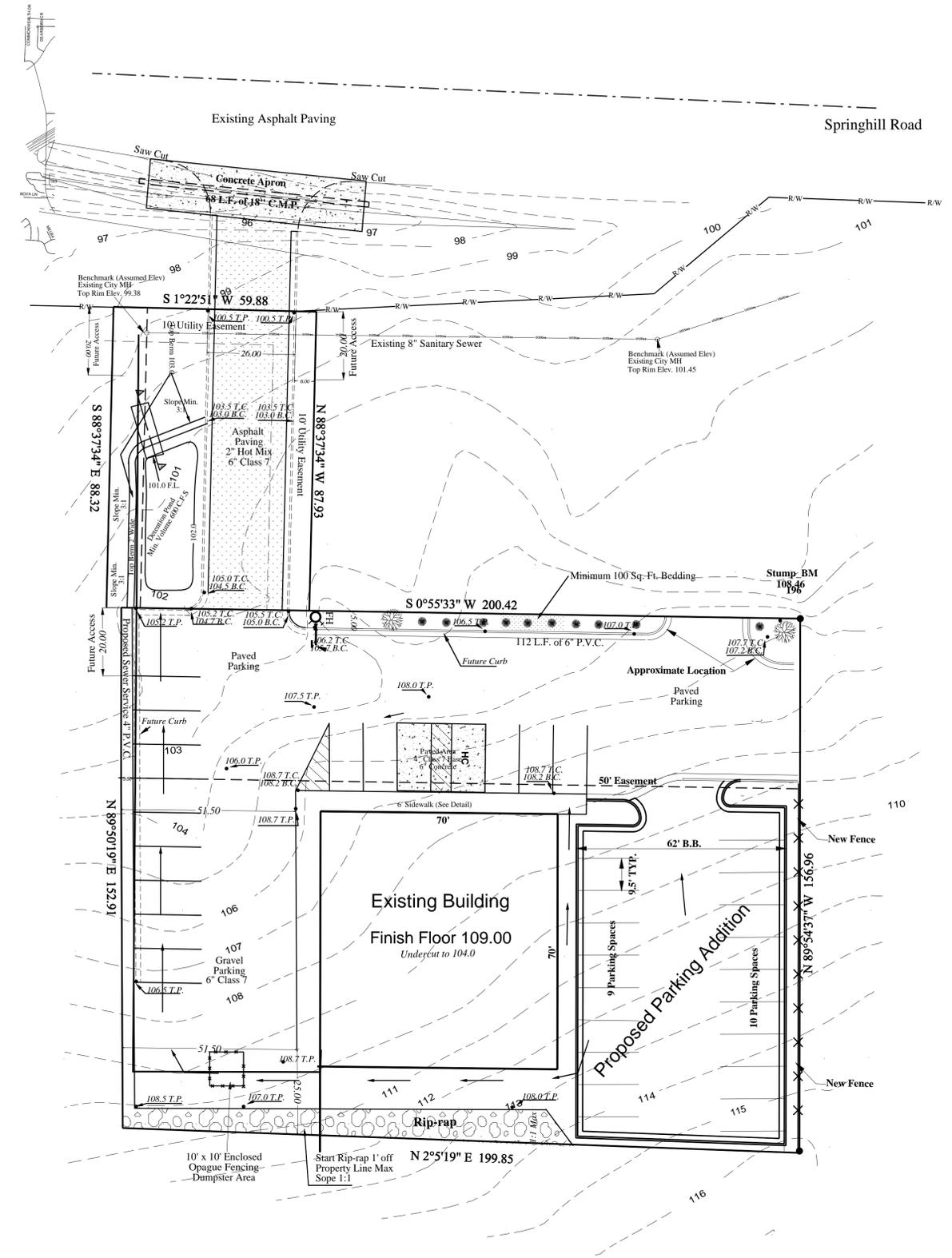
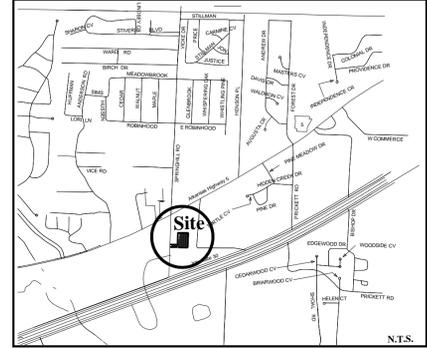


A:\Projects\2016 Projects\16072 Peace Lane Phase 2\Drawings\Profile\16072 Peace Lane Phase 2 Layout.dwg

REVISED ON:		
NO.	DATE OF REVISION	BY
1	3-29-10	JH



Vicinity Map



Assumed Elevation Datum

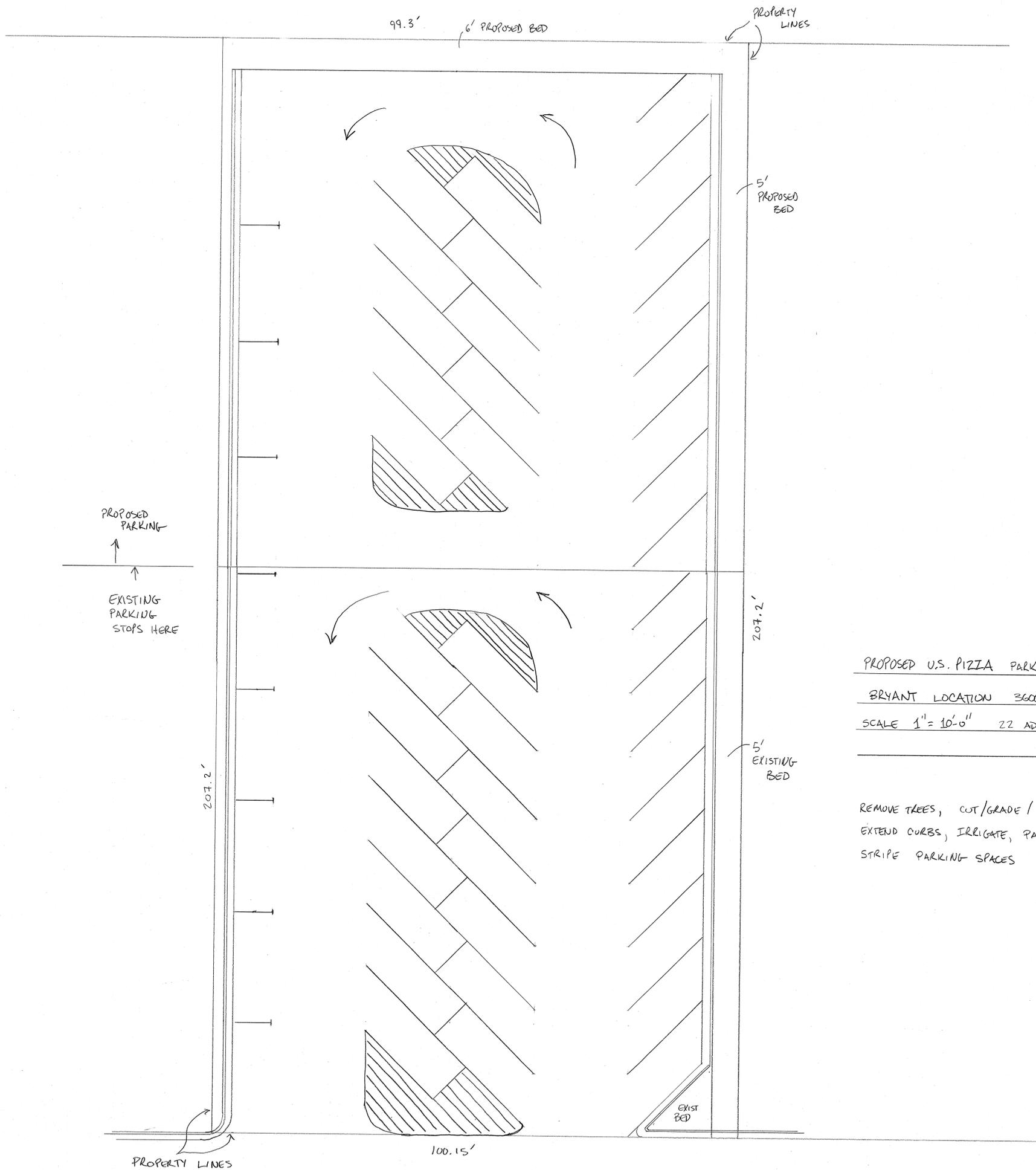
GRAPHIC SCALE
1"=20'



Legend

- ⊕ Computed Corner
- Found Monument (Labeled)
- ⊙ #6 Rebar Set w/cap # 212
- ⊕ Power Pole
- ⊗ Fence
- Property Boundary
- Powerline
- P.O.B. Point of Beginning
- 🌳 Crepe Myrtle Tree or approved canopy tree (per latest Bryant Design Standards Book)
- 🌲 Evergreen Hollies or approved shrub (per latest Bryant Design Standards Book)

CLIENT		DSGN BY		DRAWING TITLE	
Linda Harmon		CHARLES BEST		HURRICANE VALLEY INC. Proposed Parking Addition Linda Harmon Springhill & Hwy. #5	
PROJECT 15082		DWN BY JOSH HUMES			
LOCATION		CHKD BY CHARLES BEST			
DATE DWG. MADE 6-16-17		APPR BY CHARLES BEST		PROFESSIONAL ENGINEERING CONSULTANTS P.O. BOX 118 BRYANT, ARKANSAS 501-847-7282 501-847-2431	
CAD DWG. NO.		SCALE 1" = 40'			
EQUIPMENT NO.		PLANT AREA			
H.V.L. Inc. JOB NO.		PLANT CODE		DWG. NO.	
EQUIPMENT NO.		PLANT AREA		REV	

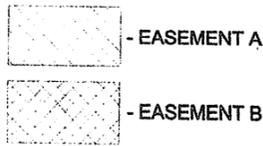


PROPOSED U.S. PIZZA PARKING EXPANSION
 BRYANT LOCATION 3600 HWY 5 NORTH
 SCALE 1" = 10'-0" 22 ADDITIONAL SPACES
 6/21/17

REMOVE TREES, CUT/GRADE/FILL/COMPACT
 EXTEND CURBS, IRRIGATE, PAVE, LANDSCAPE
 STRIPE PARKING SPACES

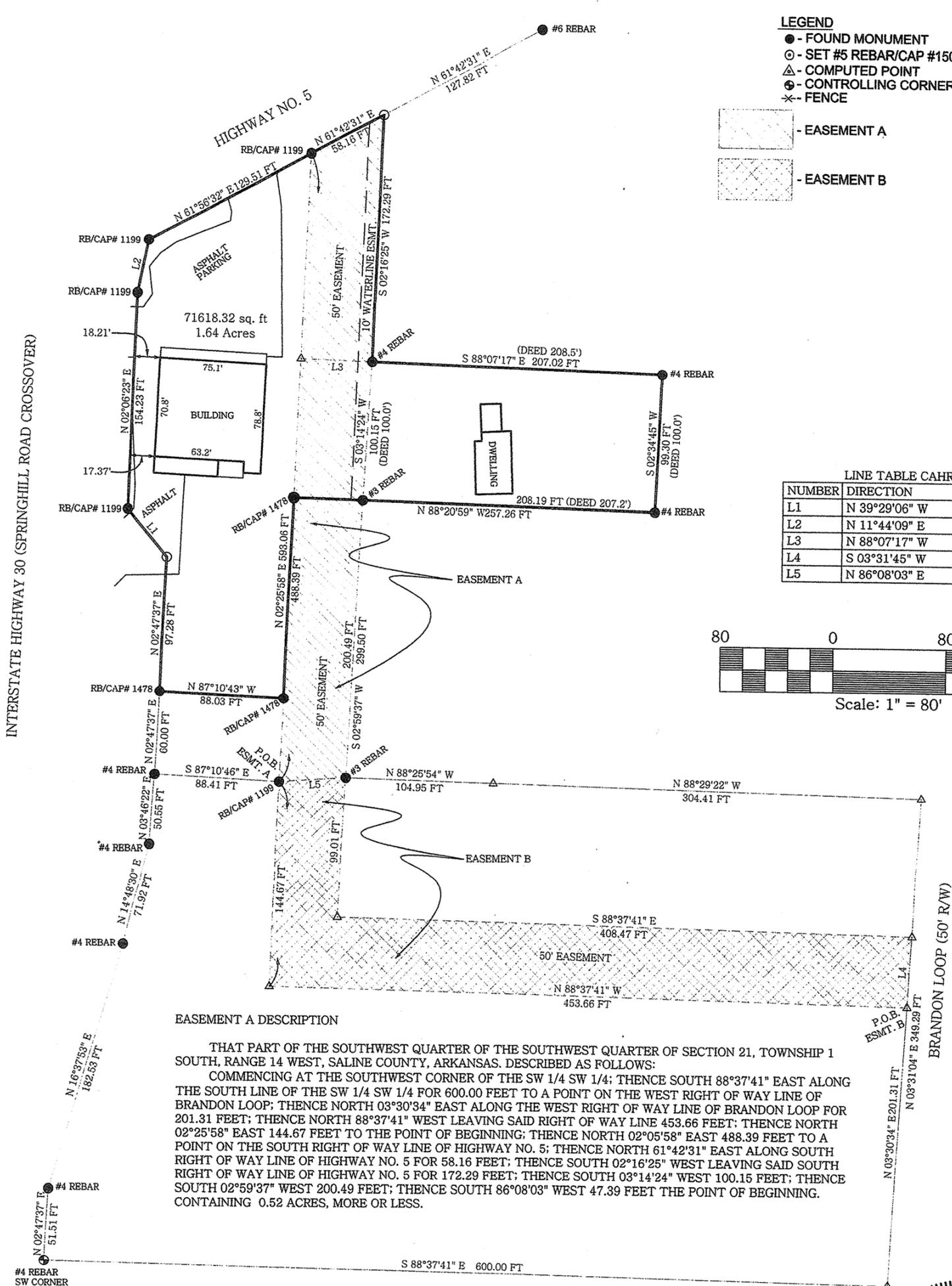
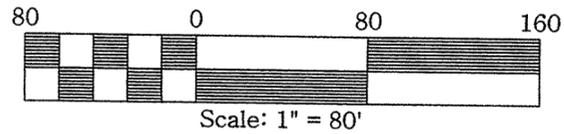
LEGEND

- - FOUND MONUMENT
- ⊙ - SET #5 REBAR/CAP #1506
- △ - COMPUTED POINT
- ⊕ - CONTROLLING CORNER
- ✕ - FENCE



LINE TABLE CHART

NUMBER	DIRECTION	DISTANCE
L1	N 39°29'06" W	44.14 FT
L2	N 11°44'09" E	38.24 FT
L3	N 88°07'17" W	50.48 FT
L4	S 03°31'45" W	50.04 FT
L5	N 86°08'03" E	47.39 FT

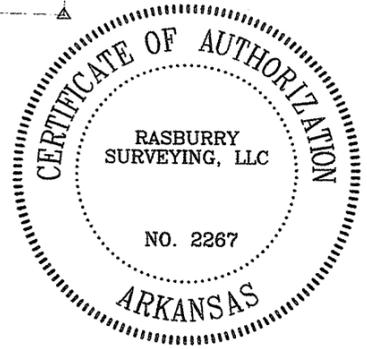


EASEMENT A DESCRIPTION

THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS. DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF THE SW 1/4 SW 1/4; THENCE SOUTH 88°37'41" EAST ALONG THE SOUTH LINE OF THE SW 1/4 SW 1/4 FOR 600.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF BRANDON LOOP; THENCE NORTH 03°30'34" EAST ALONG THE WEST RIGHT OF WAY LINE OF BRANDON LOOP FOR 201.31 FEET; THENCE NORTH 88°37'41" WEST LEAVING SAID RIGHT OF WAY LINE 453.66 FEET; THENCE NORTH 02°25'58" EAST 144.67 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02°05'58" EAST 488.39 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF HIGHWAY NO. 5; THENCE NORTH 61°42'31" EAST ALONG SOUTH RIGHT OF WAY LINE OF HIGHWAY NO. 5 FOR 58.16 FEET; THENCE SOUTH 02°16'25" WEST LEAVING SAID SOUTH RIGHT OF WAY LINE OF HIGHWAY NO. 5 FOR 172.29 FEET; THENCE SOUTH 03°14'24" WEST 100.15 FEET; THENCE SOUTH 02°59'37" WEST 200.49 FEET; THENCE SOUTH 86°08'03" WEST 47.39 FEET THE POINT OF BEGINNING. CONTAINING 0.52 ACRES, MORE OR LESS.

EASEMENT B DESCRIPTION

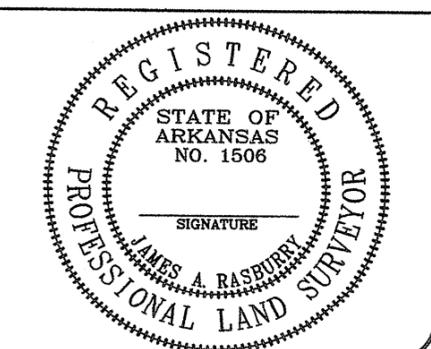
THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS. DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF THE SW 1/4 SW 1/4; THENCE SOUTH 88°37'41" EAST ALONG THE SOUTH LINE OF THE SW 1/4 SW 1/4 FOR 600.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF BRANDON LOOP; THENCE NORTH 03°30'34" EAST ALONG THE WEST RIGHT OF WAY LINE OF BRANDON LOOP FOR 201.31 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88°37'41" WEST LEAVING SAID WEST RIGHT OF WAY LINE OF BRANDON LOOP 453.66 FEET; THENCE NORTH 02°25'58" EAST 144.67 FEET; THENCE NORTH 86°08'03" EAST 47.39 FEET; THENCE SOUTH 02°59'37" WEST 99.01 FEET; THENCE SOUTH 88°37'41" EAST 408.47 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF BRANDON LOOP; THENCE SOUTH 03°31'45" WEST ALONG THE WEST RIGHT OF WAY LINE OF BRANDON LOOP FOR 50.04 FEET TO THE POINT OF BEGINNING. CONTAINING 0.62 ACRES, MORE OR LESS.



RASBURY SURVEYING
 308 W. South Street
 Benton, AR 72015
 Office/Fax: (501) 860-6893
 E-Mail: aaron@razsurvey.com

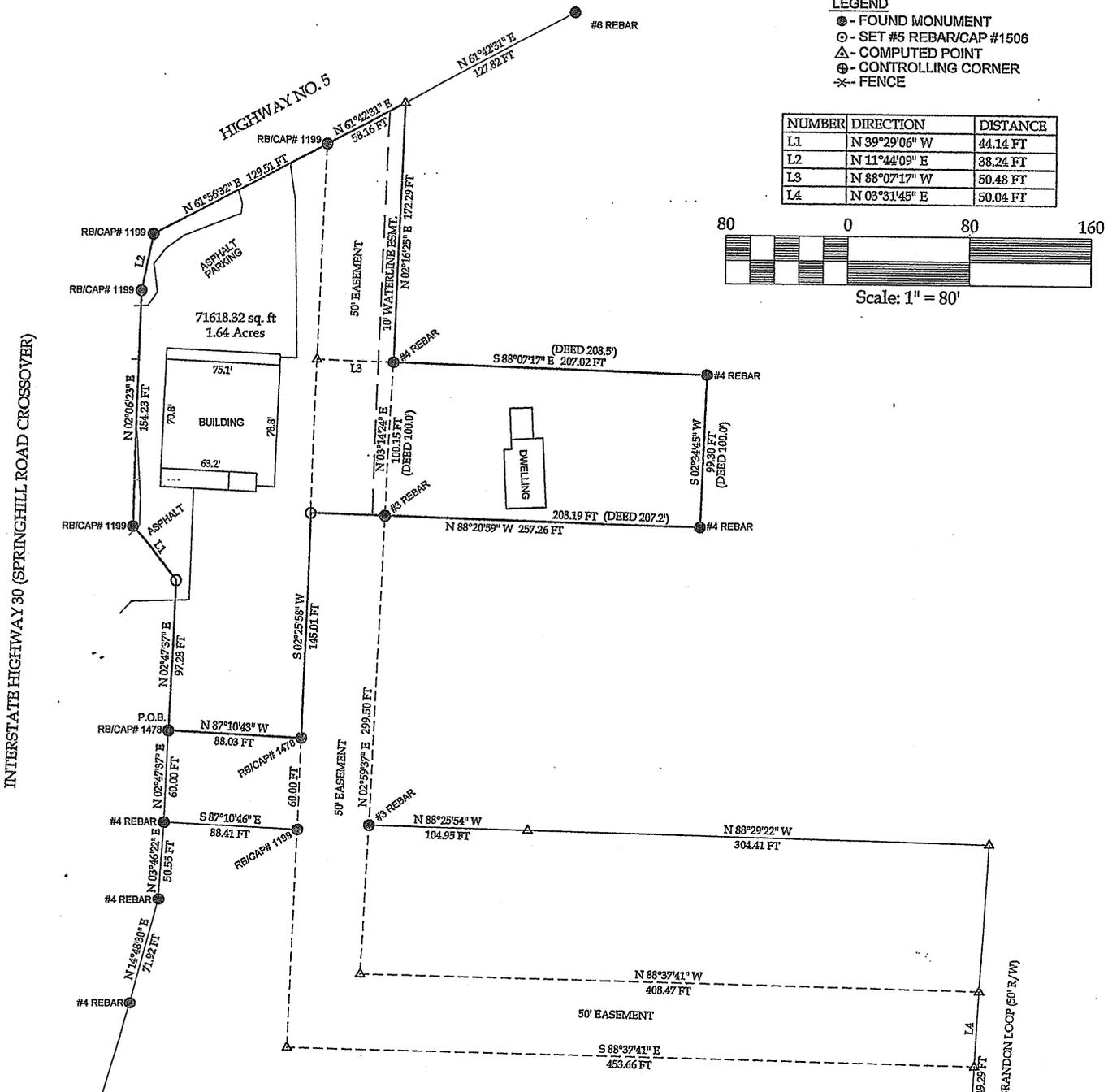
I hereby certify that the above plat represents a survey made by me on this day, and all easements, encroachments, and improvements disclosed by this survey are shown. No independent search for easements, covenants, encumbrances, or any other facts which an accurate title search may disclose was performed.

FOR USE AND BENEFIT OF:
U.S. PIZZA
PROPERTY ADDRESS:
 3600 Hwy# 5 North
 Bryant, AR 72022



FILE: C:\DRAWINGS\1S-14WS 21U&R PROPERTIES
 STATE CODE: 500-01S-14W-0-21-330-62-1506

DATE: 08-10-12
 DRAWN BY: DCR
 JOB#: 199-10
 CHECKED BY: JAR



PROPERTY DESCRIPTION (AS SURVEYED)

THAT PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SW 1/4 SW 1/4; THENCE NORTH 02° 47'37" EAST ALONG THE WEST LINE THEREOF 51.51 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF I-30 AS ESTABLISHED BY AHTD JOB# 060711; THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING COURSES: NORTH 16° 37'53" EAST 182.53 FEET; NORTH 14° 48'30" EAST 71.92 FEET; NORTH 03° 46'22" EAST 50.55 FEET; NORTH 02° 47'37" EAST 60.00 FEET; TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE NORTH 02° 47'37" EAST 97.28 FEET; NORTH 39° 29'06" WEST 44.14 FEET; NORTH 02° 06'23" EAST 154.23 FEET; NORTH 11° 44'09" EAST 38.24 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF STATE HIGHWAY NO. 5; THENCE NORTH 61° 56'32" EAST ALONG SAID RIGHT OF WAY LINE 129.51 FEET TO NORTHEAST CORNER OF PROPERTY DESCRIBED IN DEED BOOK 2002, PAGE 35565; THENCE NORTH 61°42'31" EAST ALONG SAID RIGHT OF WAY LINE OF STATE HIGHWAY NO. 5 FOR 58.16 FEET TO THE NORTHEAST CORNER OF PROPERTY DESCRIBED IN DEED RECORD 2003, PAGE 127014; THENCE SOUTH 02°16'25" WEST ALONG THE WEST LINE OF PROPERTY DESCRIBED IN DEED BOOK 377, PAGE 157 FOR 172.29 FEET, TO A #4 REBAR, SAID POINT BEING THE NORTHWEST CORNER OF PROPERTY DESCRIBED IN DEED RECORD 2003, 31620; THENCE SOUTH 88°07'17" EAST ALONG THE NORTH LINE OF PROPERTY FOR 207.02 FEET TO A #4 REBAR; THENCE SOUTH 02°34'45" WEST FOR 99.30 FEET TO A #4 REBAR; THENCE NORTH 88°20'59" WEST 257.26 FEET TO A POINT ON THE EAST LINE OF PROPERTY DESCRIBED IN DEED RECORD 2002, 35565; THENCE SOUTH ALONG SAID EAST LINE 145.01 FEET TO A REBAR/CAP# 1478, BEING ON THE NORTH LINE OF PROPERTY DESCRIBED AS TRACT "C" IN DEED RECORD 2010, 10914; THENCE NORTH 87°10'43" WEST ALONG SAID NORTH LINE FOR 88.03 FEET TO THE POINT OF BEGINNING. CONTAINING 1.64 ACRES, MORE OR LESS.

LESS AND EXCEPT, ANY PORTION THEREOF LYING WITH THE BOUNDARIES OF LANDS DESCRIBED IN SALINE COUNTY CIVIL COURT CASE NO. 98-33-1 STYLED ARKANSAS STATE HIGHWAY COMMISSION VS. JERRY L. SCOGGINS ETAL.

DEC 27 2010

117 S. Market St. Ste. 201
Benton, AR 72015
Office/Fax: (501) 860-6893
E-Mail: aaron@razsurvey.com

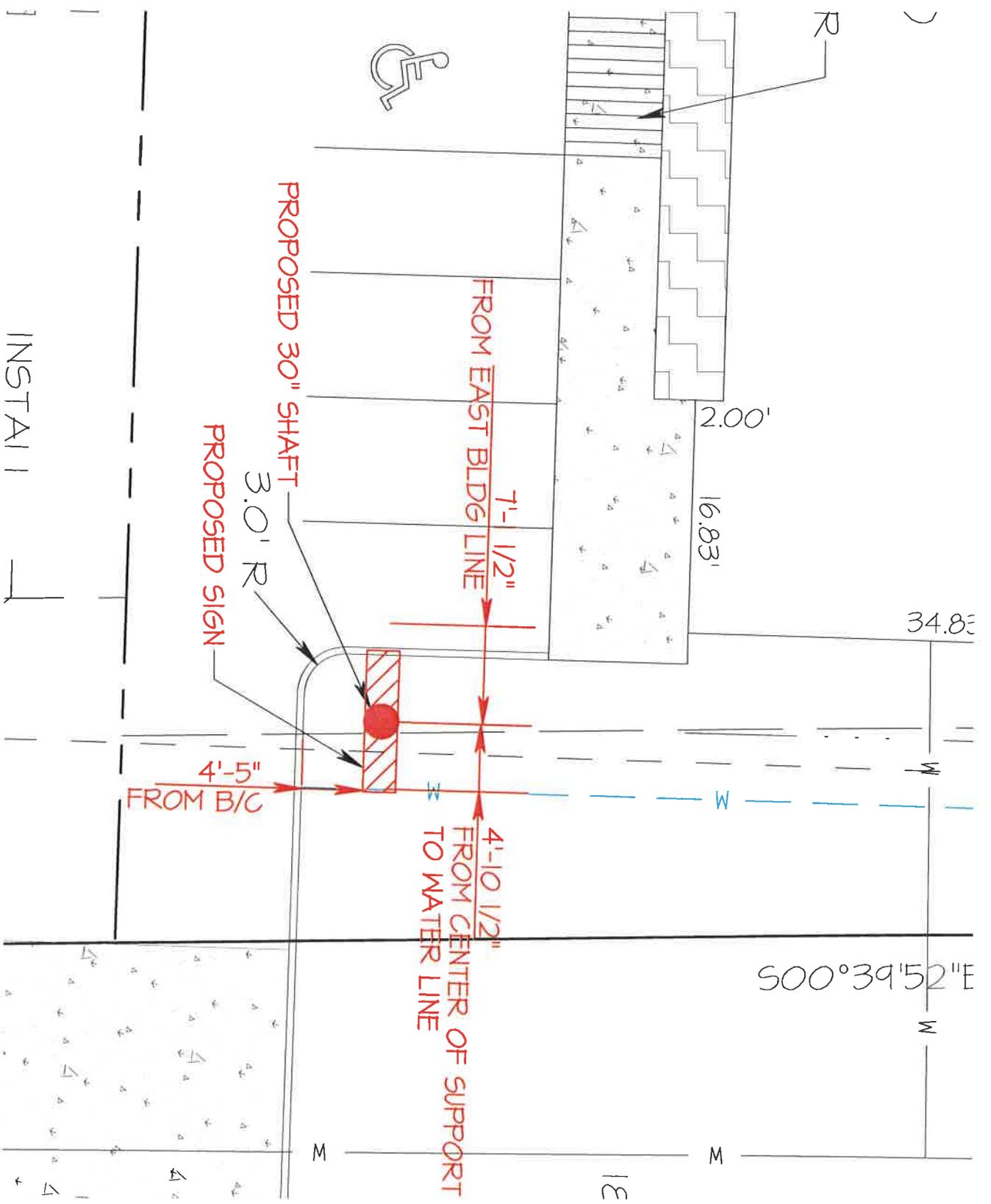
I hereby certify that the above plat represents a survey made by me on this day, and all easements, encroachments, and improvements disclosed by this survey are shown. No independent search for easements, covenants, encumbrances, or any other facts which an accurate title search may disclose was performed.

FOR USE AND BENEFIT OF:
J&R PROPERTIES &
Fidelity Title Company
PROPERTY ADDRESS:
3600 Hwy# 5 North
Bryant, AR 72022



FILE: CADRAWINGS\1S-14WS 21\J&R PROPERTIES
STATE CODE: 500-01S-14W-0-21-330-62-1506

DATE: 10-4-10
DRAWN BY: JAR
JOB#: 199-10
CHECKED BY: JAR



City of Bryant, Arkansas
Code Enforcement, Permits and Inspections
312 Roya Lane
Bryant, Ar 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the sign ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com

Site plan showing placement of sign and any existing signs on the property. A rendering of sign showing correct dimensions of all signs are required with application. Additional documentation may be required by Sign Administrator.

Date: 5/30/17

Note: Electrical permits may be Required, Please contact the Permits Office at 501-943-0943 for more information.

**SIGN CO. OR
SIGN OWNER**

Name David L. Graphics
Address 701 N. Reynolds Rd
City, State, Zip Bryant, AR 72022
Phone 501-773-0544
Alternate Phone _____

PROPERTY OWNER

Name David's Burgers
Address 23140 I-30 North
City, State, Zip Bryant, AR
Phone 501-773-0544
Alternate Phone _____

GENERAL DETAILS

Name of Business David's Burgers
Address/Location of sign 23140 I-30 North
Sign dimensions (height, length, width) 109" x 60"
Zoning Classification C3

SIGN TYPE

Pole Monument
 Wall
 Other (type) _____
Total sq. ft. 47

Aggregate Surface Area (total all signs) _____
Height of sign from lot surface: Bottom 18' Top 23'

READ CAREFULLY BEFORE SIGNING

I, Joe Law, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand that no sign may be placed in any public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Joe Law
Applicant's Signature

5/30/2017
Date

Sign Administrator (or Designee) Approval Date

(A)

City of Bryant, Arkansas
Code Enforcement, Permits and Inspections
312 Roya Lane
Bryant, Ar 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the sign ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com

Site plan showing placement of sign and any existing signs on the property. A rendering of sign showing correct dimensions of all signs are required with application. Additional documentation may be required by Sign Administrator.

Date: 5/30/2017

Note: Electrical permits may be Required, Please contact the Permits Office at 501-943-0943 for more information.

SIGN CO. OR
SIGN OWNER

Name L Graphics
Address 701 N. Reynolds Rd
City, State, Zip Bryant, AR 72022
Phone 501-773-0544
Alternate Phone _____

PROPERTY OWNER

Name David's Burgers
Address 23140 I-30 north
City, State, Zip Bryant, AR 72022
Phone 501-773-0544
Alternate Phone _____

(B) GENERAL DETAILS

Name of Business David's Burgers
Address/Location of sign 23140 I-30 N
Sign dimensions (height, length, width) 109" x 60"
Zoning Classification C3

SIGN TYPE

Pole Monument
 Wall
 Other (type) _____
Total sq. ft. 41

Aggregate Surface Area (total all signs) _____
Height of sign from lot surface: Bottom 18' Top 23'

READ CAREFULLY BEFORE SIGNING

I, Joe Lam, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand that no sign may be placed in any public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Applicant's Signature

Date

Sign Administrator(or Designee) Approval

Date

City of Bryant, Arkansas
Code Enforcement, Permits and Inspections
312 Roya Lane
Bryant, Ar 72022
501-847-6031

SIGN PERMIT APPLICATION

Applicants are advised to read the sign ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.org.

Site plan showing placement of sign and any existing signs on the property. A rendering of sign showing correct dimensions of all signs are required with application. Additional documentation may be required by Sign Administrator.

Date: 5/30/2017

Note: Electrical permits may be Required, Please contact the Permits Office at 847-6031 for more information.

SIGN CO. OR

SIGN OWNER

Name L. Graphics

Address 701 N. Reynolds Rd

City, State, Zip Bryant, AR 72022

Phone 501-773-0544

Alternate Phone _____

PROPERTY OWNER

Name David's Burgers

Address 23140 I-30 North

City, State, Zip Bryant, AR 72022

Phone 501-773-0544

Alternate Phone _____

GENERAL DETAILS

Name of Business David's Burgers

Address/Location of sign 23140 I-30 north

Sign dimensions (height, length, width) 109" x 60"

Zoning Classification C3 Aggregate Surface Area (total all signs) _____

Height of sign from lot surface: Bottom 18' Top 23'

SIGN TYPE

____ Pole ____ Monument

Wall

____ Other (type) _____

Total sq. ft. 42

(C)

READ CAREFULLY BEFORE SIGNING

I, Joe Lam, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand that no sign may be placed in any public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Joe Lam
Applicant's Signature

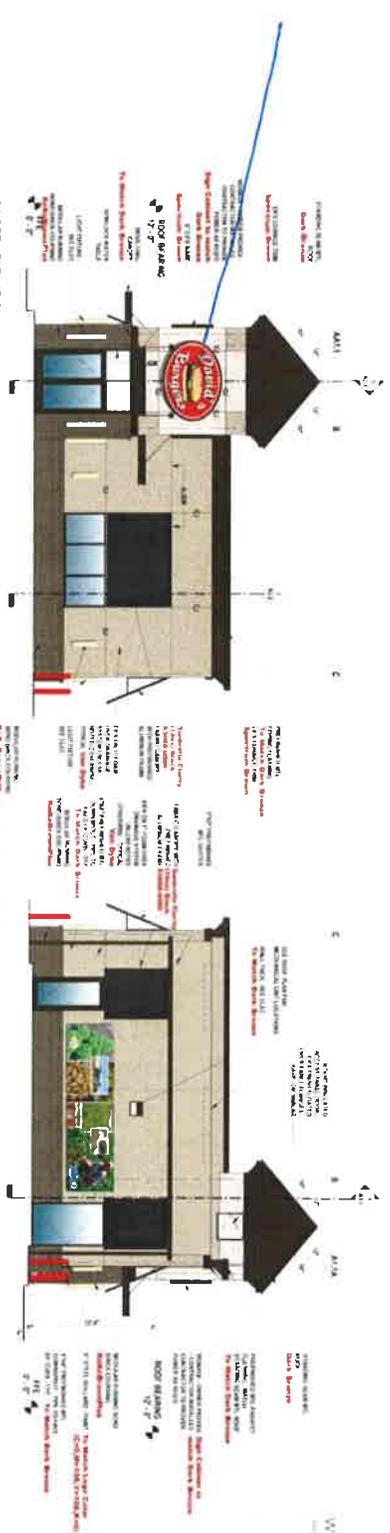
5/30/17
Date

Sign Administrator(or Designee) Approval Date

C

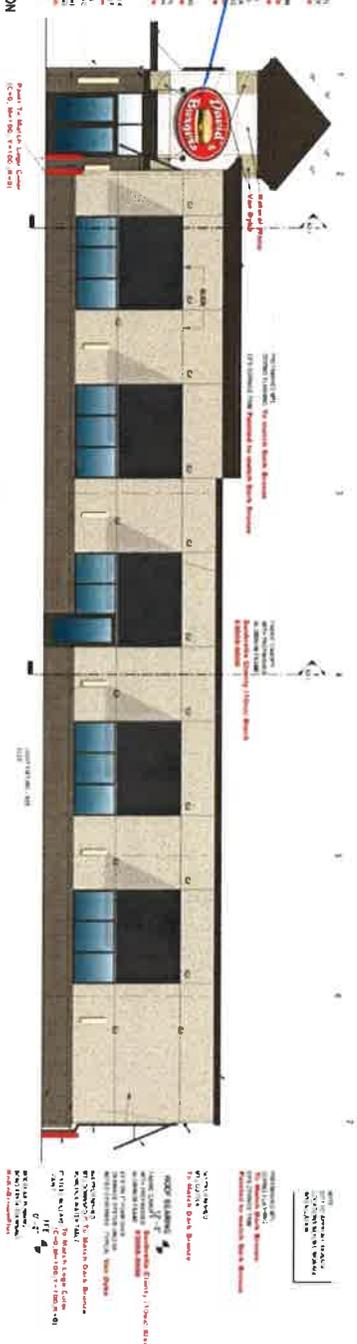
4 NORTH ELEVATION

3 SOUTH ELEVATION



B

2 EAST ELEVATION



1 WEST ELEVATION



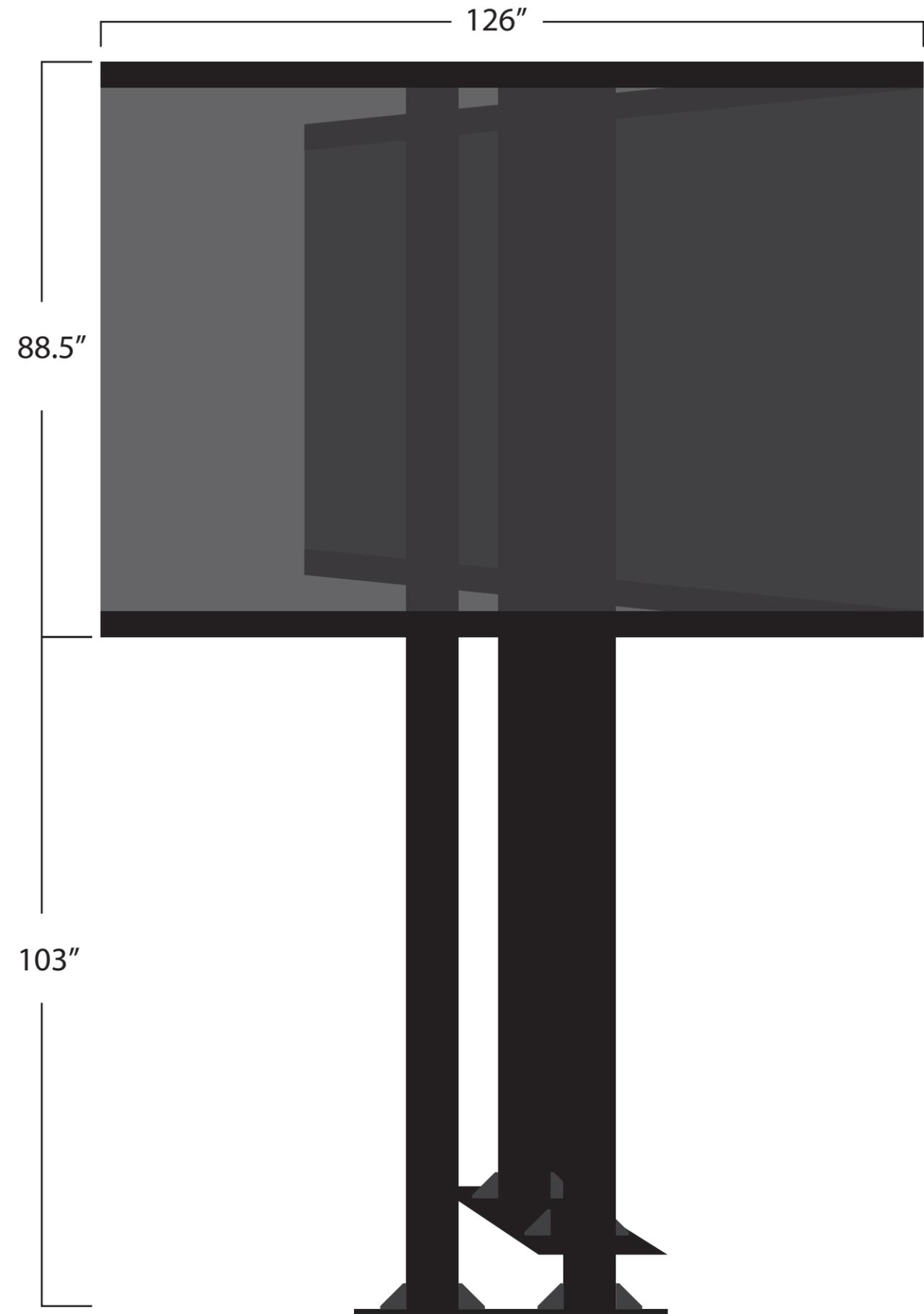
A



DAVID'S BURGERS
 REYNOLDS CENTRE
 150 TORBARRIE ROAD
 REYNOLDS BC



CITY REVIEW DRAWINGS
 SHEET 1/1
 EXTENSION ELEVATIONS
 15-097
 DEC 15 2016
A2.1



A-1 FIREWORKS

26 April 2017

This is a letter requesting that A-1 Fireworks be granted a temporary business license for the purpose of selling fireworks inside of Bryant city limits. Included is our application and fee as well as our lease agreement with the property owner and ~~15~~¹⁸ copies of the site plan included with the lease. Please let me know what else we need to do to have a license approved for our business.

Thank you

A handwritten signature in blue ink that reads "Lela Hawks". The signature is written in a cursive style.

Lela Hawks

Office Manger

Temporary Business Application
City of Bryant

Date 4-26-17

Name of Business A-1 Fireworks

Federal Tax Employer Identification Number 26-1711923

Arkansas State Sales Tax Number 00318073-SLS

Type of Business Retail Fireworks

Location of proposed Temporary Business 22578 I-30

Owner Mailing Address 24341 E. Hwy 10 Ola AR 72853

Contact Person Lela Hawks

Daytime Phone No. 479-495-9889 - cell

Evening Phone No. - Same -

Please check the category you are applying for. Permits cannot exceed the following time limits:

- Carnivals..... 30 Days
- Fireworks stands or tents..... 30 Days
- Christmas tree stands, tents or lots 60 Days
- General commercial sales stands, tents or lots..... 90 Days
- Concession/Refreshment stands/Food Service 180 Days

Beginning Date Requested 6-20-17 Ending Date Requested 7-5-17

I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature Lela Hawks

CITY OF BRYANT - BRYANT, ARKANSAS
210 S.W. Third Street, Bryant, Arkansas
Phone: (501) 847-5559 (Ext 212) or FAX: (501) 847-5332

Privilege Fee Information
TEMPORARY BUSINESS LICENSE PERMIT

(WHEN FILLING IN THE BLANKS PLEASE PRINT OR TYPE IN INK)

A \$1000.00 Surety Bond made payable to the city of Bryant is required for all applicants and must be received in this office and approved before any license will be issued.

Date: 4-26-17

Business Name: A-1 Fireworks
Location of Business: 22578 I-30
Mailing Address: 24341 E Hwy 10
City: Ola State: AR Zip Code: 72853
Business Telephone: 479-489-3298 Cellphone: 479-495-9889

Type of License applied for: Temporary Period license is desired: 4/20/17 to 7/5/17

Type of Business (Services offered or product sold): Fireworks

Applicants Name: Silver Gorgola
Applicants Home Address: 23204 E Hwy 10
City: Ola State: AR Zip Code: 72853
Applicants Home Telephone: 479-489-5678 Cellphone: 479-495-9988

Name(s) of each employee/peddler/vendor/salesman: David Sweeney

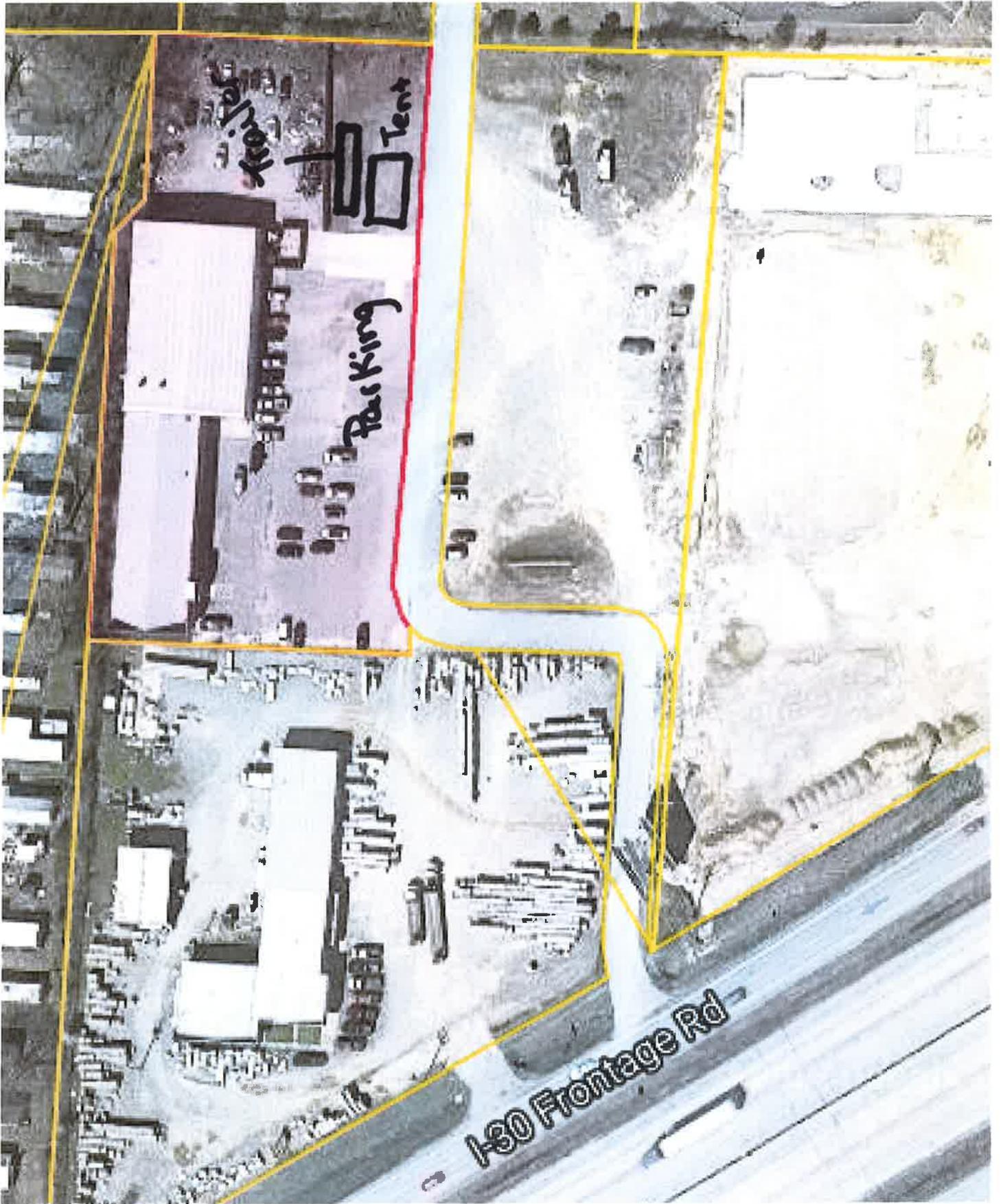
Address of business or premises to be used in Bryant: 22578 I-30

Last two cities worked in: 1. Bryant 2. Benton

I hereby certify the above to be true and correct and state that I am operating a business in accordance with the city zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand that if I am found to be in violation of any of the city zoning regulations and/or any other city laws, I may be subject to fines as outlined in any applicable City of Bryant Ordinance.

Lela Hawks
Signature of Applicant

Bond Received and Approved
Signature of Designated City Official





24341 Hwy. 10 East
 Ola, Ar 72853
 Office Phone 479-489-3298
 Fax 479-489-5679
WWW.a1fireworks.com



Officers:
 Silver Gongola CEO
 Lela Hawks Office Mgr
 Mike Gongola Whse. & fleet Operations



February 20, 2017

To Whom it May Concern,

The following is an agreement is made between Service King and A-1 Fireworks. This agreement was entered into by Service King and Mike Gongola of A-1 Fireworks. Service King gives permission to A-1 Fireworks to set up a tent, trailer, and a camper on the grass spot by the fence to sell fireworks. Dates for setting up are June 1st, 2016 through July 15, 2016. Dates for selling will be June 20th, 2016 to July 5th, 2016.

A-1 Fireworks agrees to provide insurance before using the premises. A-1 Fireworks agrees to take care of the property and provide a dumpster for trash. A-1 Fireworks will keep the property clear of trash and will have an operator on site 24 hours a day for duration of selling season.

If there are any questions or concerns please contact Mike Gongola at 479-970-6511.

Thank you for your time and this opportunity.

God Bless

Mike Gongola

2/28/17
 Date

Service King Assoc.

2/23/17
 Date



S0005AZCA76
Household key: (A) FIREWORKS
A-1 FIREWORKS
24341 E HIGHWAY 10
OLA AR 72853-9379

Fire Policy Status Agt:8975
411072853) H Ph. (000)000-0000
FIRE Policy: 94-CQ-5505-7 F
Xref:

Page 11

Yr issd: 2008

Type: SURETY BOND
Coverage information
BOND-AMOUNT 2000

Term: CONT

Premium: 100.00
Renew date: JUN-20-18
Written date: JUL-28-08

Amount paid: 100.00
* Date paid: MAY-01-17
Bill to: INSD
Prev prem: 100

Auto-NONE Fire-PF2(1)
Life-NONE Hlth-NONE
SFPP-NONE 1-Pending
2 -Changes
6-FRQ
7-APP 8-Payments
9-UR 10-Loss reprt

Prev risk: 2,000

Deductibles applied: DEDUCTIBLES MAY APPLY - SEE FILE
P-Print F-Forms/Endors

Accept __

S0529AACRWE
A-1 FIREWORKS
Type: SURETY BOND

OBLIGEE
CITY OF BRYANT

Fire Policy Status Agt:8975
H Ph. (000)000-0000
FIRE Policy: 94-CQ-5505-7 F

Page 3

P-Print O-Prev F-Forms/Endors

Accept __



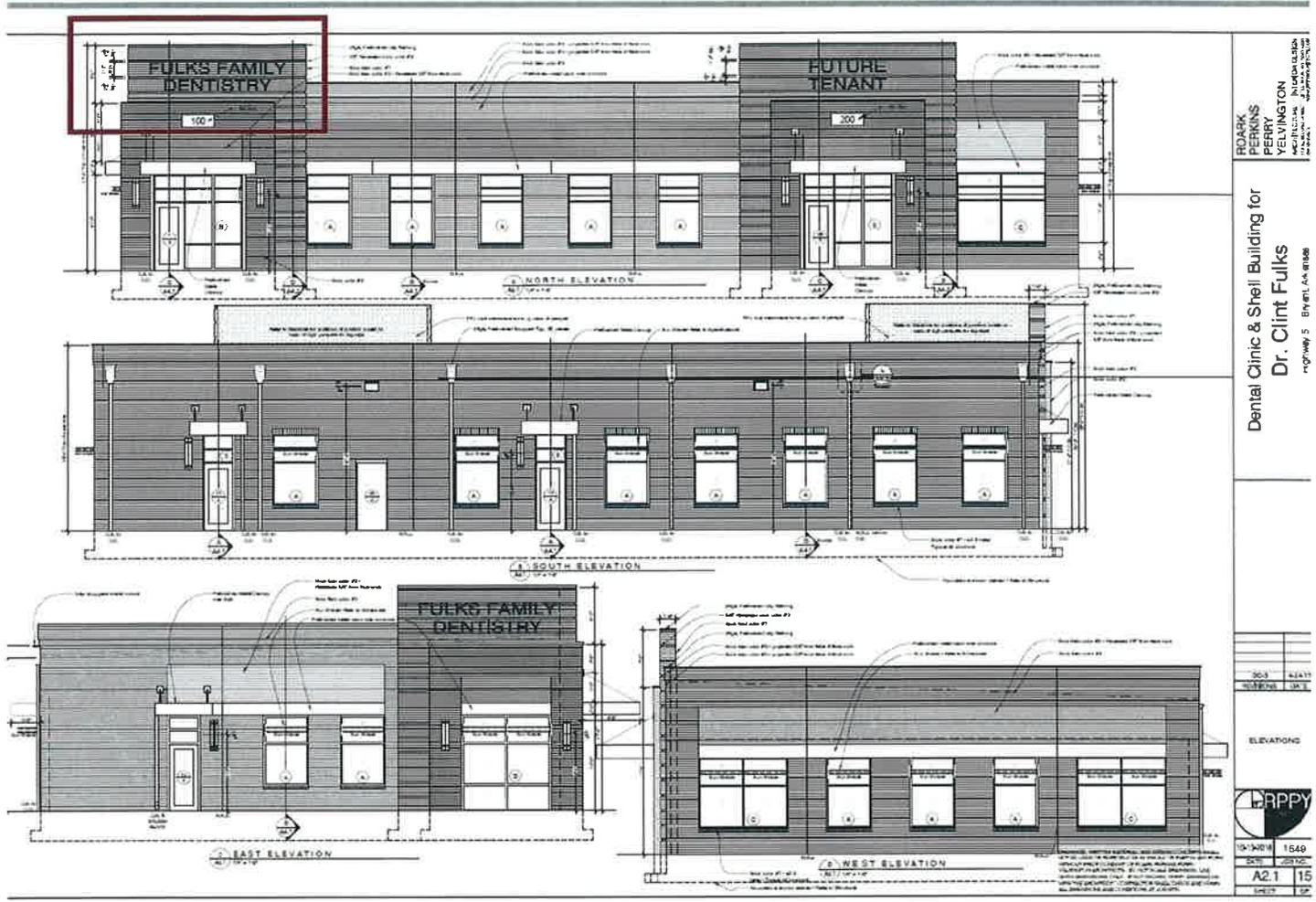
**For the best experience, open this PDF portfolio in
Acrobat 9 or Adobe Reader 9, or later.**

[Get Adobe Reader Now!](#)

1

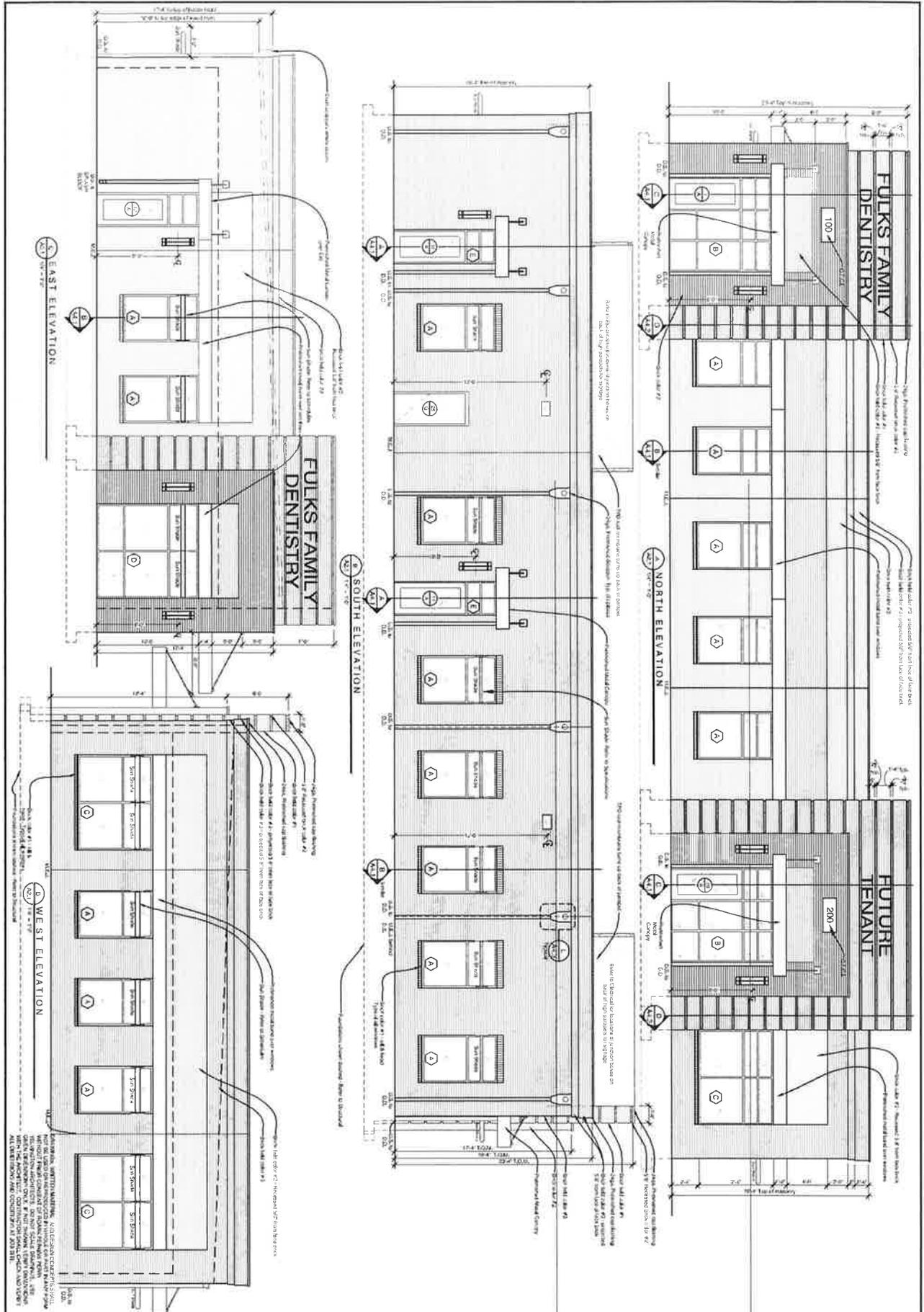
3

1.4"



Dental Clinic & Shell Building for
Dr. Clint Fulks

ROBER
PERKINS
YOUNG
ARCHITECTS
P.C.



<h3>Dental Clinic & Shell Building for Dr. Clint Fulks</h3> <p>Highway 5 Bryant, Arkansas</p>	<p>ROARK PERKINS PERRY VELVINGTON ARCHITECTURE - INTERIOR DESIGN</p> <p>1000 N. MAIN ST. SUITE 100 BRYANT, AR 72022 501-782-9200 WWW.RPPV.COM</p>				
<p>ELEVATIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>NO. 1</td> <td>12-24-17</td> </tr> <tr> <td>REVISIONS</td> <td>DATE</td> </tr> </table>	NO. 1	12-24-17	REVISIONS	DATE	<p>10-13-2018 1549 DATE 12-15-17 A2.1 15 SHEET 02</p>
NO. 1	12-24-17				
REVISIONS	DATE				

CITY OF BRYANT - BRYANT, ARKANSAS
210 S.W. Third Street, Bryant, Arkansas
Phone: (501) 847-5559 (Ext 212) or FAX: (501) 847-5332

Privilege Fee Information
TEMPORARY BUSINESS LICENSE PERMIT

(WHEN FILLING IN THE BLANKS PLEASE PRINT OR TYPE IN INK)

A \$1000.00 Surety Bond made payable to the city of Bryant is required for all applicants and must be received in this office and approved before any license will be issued.

Date: 4/13/17

Business Name: ARNOLD FIREWORKS, INC
Location of Business: 2516 SPRINGHILL Rd. BRYANT
Mailing Address: P.O. BOX 873
City: NLA State: AR Zip Code: 72115
Business Telephone: 501-758-2624 Cellphone: 501-773-0011

Type of License applied for: _____ Period license is desired: 4/24/17 - 7/5/17

Type of Business (Services offered or product sold): FIREWORK SALES

Applicants Name: TOM DANZEC
Applicants Home Address: 4802 LEXINGTON PARK CR
City: BRYANT State: AR Zip Code: 72022
Applicants Home Telephone: 501-773-0011 Cellphone: 501-773-0011

Name(s) of each employee/peddler/vendor/salesman: _____

DEANN SHEPARD

Address of business or premises to be used in Bryant: 2516 SPRINGHILL Rd. BRYANT

Last two cities worked in: 1. BRYANT 2. BENTON

I hereby certify the above to be true and correct and state that I am operating a business in accordance with the city zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand that if I am found to be in violation of any of the city zoning regulations and/or any other city laws, I may be subject to fines as outlined in any applicable City of Bryant Ordinance.

Tom Danzec
Signature of Applicant

Bond Received and Approved
Signature of Designated City Official

Temporary Business Application
City of Bryant

Date 6/13/17

Name of Business ANNUELA FIREWORKS INC

Federal Tax Employer Identification Number 710311720

Arkansas State Sales Tax Number 034327-60-001

Type of Business FIREWORK TENT

Location of proposed Temporary Business 2516 SPRINGMEAD Rd.

Owner Mailing Address P.O. Box 873, NLR 72115

Contact Person TOM DANIEL

Daytime Phone No. 773-0011

Evening Phone No. 773-0011

Please check the category you are applying for. Permits cannot exceed the following time limits:

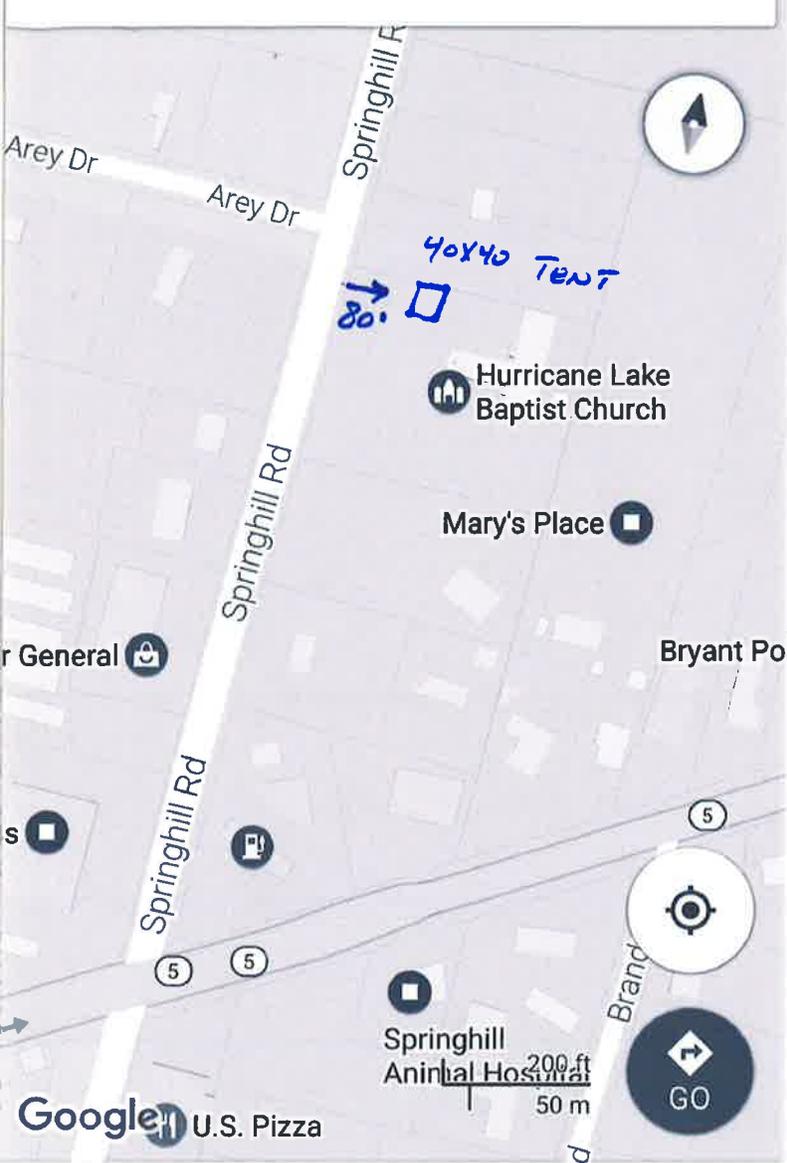
- Carnivals 30 Days
- Fireworks stands or tents 30 Days
- Christmas tree stands, tents or lots 60 Days
- General commercial sales stands, tents or lots 90 Days
- Concession/Refreshment stands/Food Service 180 Days

Beginning Date Requested 6/24/17 Ending Date Requested 6/5/17

I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature Tom Daniel





ARNOLD'S FIREWORK INC.
WOULD LIKE TO SALE FIREWORKS
AT 2516 SPRINGHILL Rd. WE
WOULD LIKE TO PLACE A 40x40
TENT ON THE HURAZCANE LAKE
BAPTIST CHURCH PROPERTY. WE
WILL BE OFF OF SPRINGHILL
Rd. BY APPROXIMATELY 80'.

LEASE AGREEMENT

This agreement, entered into this 17th day of June, 2017 by and between HURRICANE CHURCH, hereinafter designated as Lessor, and Arnold Fireworks, Inc., an Arkansas for profit corporation designated as Lessee.

WITNESSETH:

Lessor leases to Lessee the following described property, situated in the County of Saline and State of Arkansas, to-wit:

2516 SPRING HILL Rd.
BYANT, AR 72022

The terms of this lease will commence on 6/24/, 2017 through **July 5, 2017** for the purpose of the lawful selling of fireworks.

The rental for said property shall be in the amount of \$ 1,000⁰⁰. The Lessee hereby agrees and promises to pay to Lessor the amount of rent as stated in the above paragraph no later than **June 25, 2017**. The payment is to be made to Lessor, at

-
1. Arnold Fireworks, Inc is permitted to erect a tent for the purpose of housing and selling the fireworks.
 2. As a condition of the lease and prior to **June 25, 2017**, Arnold Fireworks, Inc will add HURRICANE BAPTIST CHURCH as an additional insured to a liability insurance policy with no less than \$1 million of coverage. To the fullest extent permitted by law, Lessee shall indemnify, save and hold harmless Lessor from and for any and all liability, losses, claims, actions, judgments for damages, or injury to persons or property, and all losses and expenses, including reasonable attorney fees, arising from all acts or omissions to act of Lessee or its servants, officers, agents, employees, sub-lessees, guests, and business invitees, patrons and customers or otherwise caused or incurred by Lessee, its servants, officers, agents, employees, sub-lessees, guests and business invitees, patrons and customers, including, but not limited to events occurring on the Premises and any use on the adjacent parking lot and not caused by or arising out of the tortious conduct of Lessor or its elected officials, officers, employees, agents, servants or volunteers. The limits of insurance shall not be deemed a limitation of the covenants to indemnify and to save and to hold harmless Lessor, Lessee assumes all risk of and liability for damages to persons or property arising during the term of this lease from the present or future condition of the leased premises, and agrees to save the Lessor harmless there from.

3. Further, Arnold Fireworks, Inc. agrees to hold the lessor harmless for any claims, whatsoever, against it relating to the use of the property by Arnold Fireworks Inc, the sale of fireworks, access to the property by persons.
4. Arnolds Fireworks, Inc agrees to hold the lessor harmless for any damages, including but not limited to personal injury and property, arising out of the use of the property or the sale of goods on the property.”

Wherever the word “Lessee” is used, it shall apply to and bind the successors and assigns of the original Lessee.

IN WITNESS WHEREOF the parties have executed this lease, in duplicate, on the date first above written.

Benny Grant

LESSOR:

Benny Grant

Lessor representative

Date

6/12/17

LESSEE:

Arnold Fireworks, Inc.

Tom Daniel

Tom Daniel Jr.

Date

6/12/17

CERTIFICATE OF INSURANCE

ISSUE DATE 5/30/2017

PRODUCER PROFESSIONAL PROGRAM INSURANCE BROKERAGE 371 BEL MARIN KEYS BLVD., SUITE 220 NOVATO CA, 94949-5662	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER, THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
INSURER(S) AFFORDING COVERAGE	
	INSURER A: LLOYD'S OF LONDON
	INSURER B:
	INSURER C:
	INSURER D:

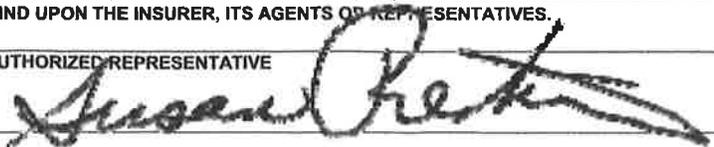
COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE NAMED INSURED ABOVE FOR THE PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS	
A	GENERAL LIABILITY CLAIMS MADE GEN'L AGGREGATE LIMIT APPLIES PER POLICY	PY/17-0063	04/30/2017	04/30/2018	EACH ACCIDENT	\$ 1,000,000
					MEDICAL EXP (Any one person)	\$
					FIRE LEGAL LIABILITY	\$ 50,000
					GENERAL AGGREGATE	\$ 1,000,000
					PRODUCTS-COMP/OPS AGG	\$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ANY OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	EXCESS LIABILITY FOLLOWING FORM				EACH ACCIDENT	\$
					AGGREGATE	\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	\$
					OTH-ER	\$
					E.L. EACH ACCIDENT	\$
					E.L. DISEASE-EA EMPLOYEE	\$
					E.L. DISEASE-POLICY LIMIT	\$
	OTHER					

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

Hurricane Baptist Church and Benny Grant as Property Owner are additional insured as respects the retail fireworks stand operated by the Named Insured, located at 2516 Springhill Rd., Bryant, AR 72022 operating from 6/20/2017 through 7/5/2017.

CERTIFICATE HOLDER Hurricane Baptist Church 2516 Stringhill Rd. Bryant, AR 72022	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.
	AUTHORIZED REPRESENTATIVE 

Western Surety Company

CONTINUATION CERTIFICATE

Western Surety Company hereby continues in force Bond No. 15158150 briefly described as VENDOR CITY OF BRYANT

for ARNOLD FIREWORKS, INC., as Principal,

in the sum of \$ ONE THOUSAND AND NO/100 Dollars, for the term beginning June 13, 2017, and ending June 13, 2018, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 14 day of June, 2017.



WESTERN SURETY COMPANY

By Paul T. Bruffat
Paul T. Bruffat, Vice President

THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.

Western Surety Company

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruffat of Sioux Falls,
State of South Dakota, its regularly elected Vice President,
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

for maintaining of the One VENDOR CITY OF BRYANT bond with bond number 15158150
for ARNOLD FIREWORKS, INC.
as Principal in the penalty amount not to exceed \$1,000.00
Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force to wit:
Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents, who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.
In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its Vice President with the corporate seal affixed this 14 day of June, 2017.

ATTEST
L. Nelson
L. Nelson, Assistant Secretary

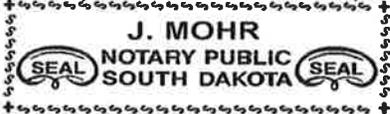
WESTERN SURETY COMPANY
By Paul T. Bruffat
Paul T. Bruffat, Vice President



STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

On this 14 day of June, 2017, before me, a Notary Public, personally appeared Paul T. Bruffat and L. Nelson

who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the voluntary act and deed of said Corporation.



J. Mohr
Notary Public

My Commission Expires June 23, 2021

To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.
Form F1975-1-2016



SF W LJD



PO Box 5077 Sioux Falls SD 57117-5077

June 14, 2017

1-800-331-6053
Fax 1-605-335-0357
www.cnasurety.com

ARNOLD FIREWORKS, INC.
P.O. Box 873
North Little Rock, AR 72116

File # 15158150
ARNOLD FIREWORKS, INC.

\$1,000.00
Company Code: 0601
Written By: WESTERN SURETY COMPANY
VENDOR CITY OF BRYANT

Enclosed is your renewal certificate. To continue your bond coverage and keep it in force, you must file this renewal document with the city of Bryant.

If you are no longer required to post this bond, please write the word "Cancel" directly on the document, and return it to CNA Surety.

If you have any questions, please contact your local agent.

Enclosure

CITY OF BRYANT - BRYANT, ARKANSAS
210 S.W. Third Street, Bryant, Arkansas
Phone: (501) 847-5559 (Ext 212) or FAX: (501) 847-5332

Privilege Fee Information
TEMPORARY BUSINESS LICENSE PERMIT

(WHEN FILLING IN THE BLANKS PLEASE PRINT OR TYPE IN INK)

A \$1000.00 Surety Bond made payable to the city of Bryant is required for all applicants and must be received in this office and approved before any license will be issued.

Date: 6/13/17

Business Name: ANNNA FEATHERWORKS, INC.
Location of Business: 604 S. REYNOLDS RD.
Mailing Address: P.O. BOX 873
City: NCR State: AL Zip Code: 72115
Business Telephone: 758-2624 Cellphone: 773-0011

Type of License applied for: _____ Period license is desired: 6/24/17 - 7/5/17

Type of Business (Services offered or product sold): FEATHERWORK SALES

Applicants Name: TOM DANIEL
Applicants Home Address: 4802 LEFKOWITZ PK. CR.
City: BRYANT State: AL Zip Code: 72022
Applicants Home Telephone: 773-0011 Cellphone: 773-0011

Name(s) of each employee/peddler/vendor/salesman: _____

MEGANIE LEWELAN

Address of business or premises to be used in Bryant: _____

Last two cities worked in: 1. BENTON 2. BRYANT

I hereby certify the above to be true and correct and state that I am operating a business in accordance with the city zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand that if I am found to be in violation of any of the city zoning regulations and/or any other city laws, I may be subject to fines as outlined in any applicable City of Bryant Ordinance.

Tom Daniel
Signature of Applicant

Bond Received and Approved
Signature of Designated City Official

Temporary Business Application
City of Bryant

Date 6/13/17
Name of Business ARNOLD FIREWORK INC.
Federal Tax Employer Identification Number 710311720
Arkansas State Sales Tax Number 034327-60-001
Type of Business FIREWORK TENT
Location of proposed Temporary Business 604 S. REYNOLDS Rd.
Owner Mailing Address P.O. 873 NLR, AR 72215
Contact Person TOM DANZEC
Daytime Phone No. 773-0011
Evening Phone No. 773-0011

Please check the category you are applying for. Permits cannot exceed the following time limits:

- | | | |
|-------------------------------------|---|----------|
| <input type="checkbox"/> | Carnivals..... | 30 Days |
| <input checked="" type="checkbox"/> | Fireworks stands or tents..... | 30 Days |
| <input type="checkbox"/> | Christmas tree stands, tents or lots..... | 60 Days |
| <input type="checkbox"/> | General commercial sales stands, tents or lots..... | 90 Days |
| <input type="checkbox"/> | Concession/Refreshment stands/Food Service..... | 180 Days |

Beginning Date Requested 6/24/17 Ending Date Requested 7/5/17

I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature Tom Danzel

LEASE AGREEMENT

This agreement, entered into this 6/12/17 day of June, 2017 by and between PETER CANNON, hereinafter designated as Lessor, and Arnold Fireworks, Inc., an Arkansas for profit corporation designated as Lessee.

WITNESSETH:

Lessor leases to Lessee the following described property, situated in the County of Saline and State of Arkansas, to-wit:

FEAST SOUTHERN BAPTIST

604 SOUTH REYNOLDS AVE.

BAYNNT, AR

The terms of this lease will commence on 6/24, 2017 through **July 5, 2017** for the purpose of the lawful selling of fireworks.

The rental for said property shall be in the amount of \$ 1.⁰⁰. The Lessee hereby agrees and promises to pay to Lessor the amount of rent as stated in the above paragraph no later than **June 25, 2017**. The payment is to be made to Lessor, at

-
1. Arnold Fireworks, Inc is permitted to erect a tent for the purpose of housing and selling the fireworks.
 2. As a condition of the lease and prior to **June 25, 2017**, Arnold Fireworks, Inc will add FEAST SOUTHERN BAPTIST as an additional insured to a liability insurance policy with no less than \$1 million of coverage. To the fullest extent permitted by law, Lessee shall indemnify, save and hold harmless Lessor from and for any and all liability, losses, claims, actions, judgments for damages, or injury to persons or property, and all losses and expenses, including reasonable attorney fees, arising from all acts or omissions to act of Lessee or its servants, officers, agents, employees, sub-lessees, guests, and business invitees, patrons and customers or otherwise caused or incurred by Lessee, its servants, officers, agents, employees, sub-lessees, guests and business invitees, patrons and customers, including, but not limited to events occurring on the Premises and any use on the adjacent parking lot and not caused by or arising out of the tortious conduct of Lessor or its elected officials, officers, employees, agents, servants or volunteers. The limits of insurance shall not be deemed a limitation of the covenants to indemnify and to save and to hold harmless Lessor, Lessee assumes all risk of and liability for damages to persons or property arising during the term of this lease from the present or future condition of the leased premises, and agrees to save the Lessor harmless there from.

3. Further, Arnold Fireworks, Inc. agrees to hold the lessor harmless for any claims, whatsoever, against it relating to the use of the property by Arnold Fireworks Inc, the sale of fireworks, access to the property by persons.
4. Arnolds Fireworks, Inc agrees to hold the lessor harmless for any damages, including but not limited to personal injury and property, arising out of the use of the property or the sale of goods on the property.”

Wherever the word “Lessee” is used, it shall apply to and bind the successors and assigns of the original Lessee.

IN WITNESS WHEREOF the parties have executed this lease, in duplicate, on the date first above written.

LESSOR:

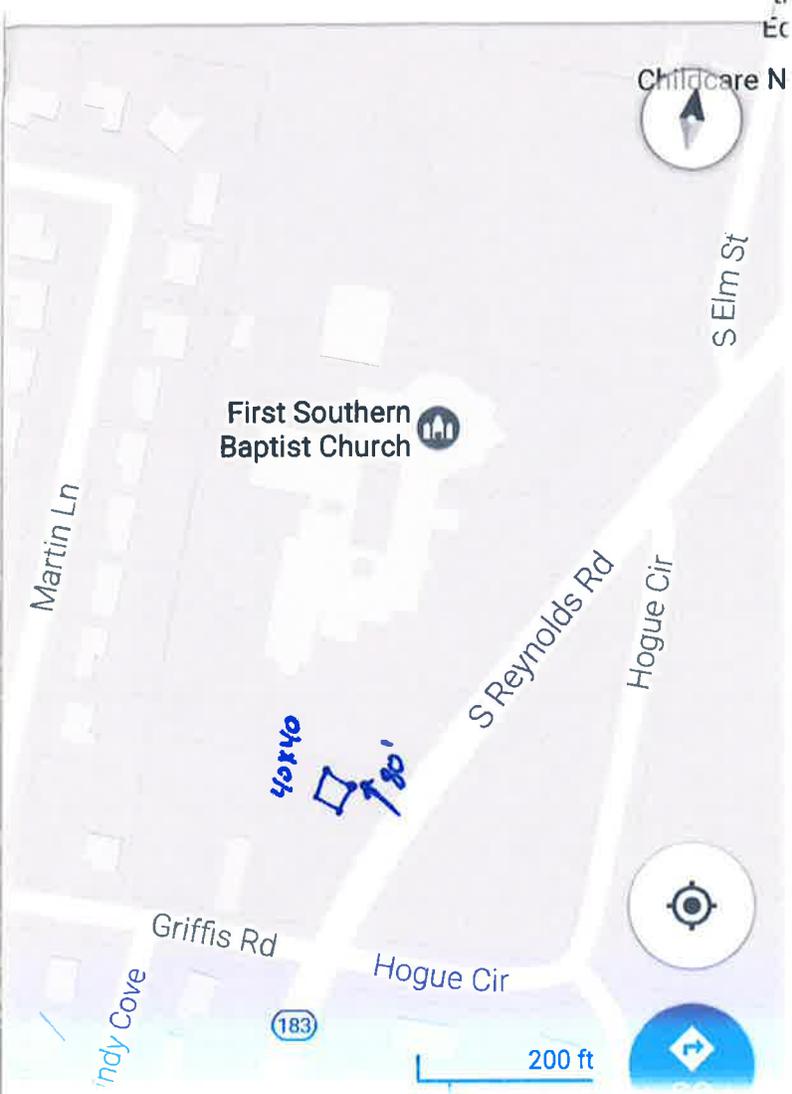
LESSEE:

Arnold Fireworks, Inc.

Peter Cunningham (Peter Cunningham) Tom Daniel
Lessor representative Tom Daniel Jr.

6/12/17
Date

6/12/17
Date



ARNOLD FIREWORKS INC.
WOULD LIKE TO SALE FIREWORKS
AT 604 SOUTH REYNOLDS RD.
ON THE PROPERTY OF FIRST
SOUTHERN BAPTIST CHURCH.
WE WILL BE APPROXIMATELY
80' OFF OF REYNOLDS RD
WITH A 40'X40' TENT. WE
WOULD LIKE TO SALE FROM
6/24/17 - 7/5/17

CERTIFICATE OF INSURANCE

ISSUE DATE 5/30/2017

PRODUCER PROFESSIONAL PROGRAM INSURANCE BROKERAGE 371 BEL MARIN KEYS BLVD., SUITE 220 NOVATO CA, 94949-5662	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER, THIS CERTIFICATE DOES NOT AMEND, EXTEND OR LATER THE COVERAGE AFFORDED BY THE POLICIES BELOW. <p style="text-align: center;">INSURER(S) AFFORDING COVERAGE</p> INSURER A: LLOYD'S OF LONDON INSURER B: INSURER C: INSURER D:
INSURED Arnold Fireworks, Inc.; Spa Fireworks, Co.; AR Pyro, LLC PO Box 873 N. Little Rock, AR 72115	

COVERAGES
 THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE NAMED INSURED ABOVE FOR THE PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES.

CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY CLAIMS MADE GEN'L AGGREGATE LIMIT APPLIES PER POLICY	PY/17-0063	04/30/2017	04/30/2018	EACH ACCIDENT \$ 1,000,000
					MEDICAL EXP (Any one person) \$
					FIRE LEGAL LIABILITY \$ 50,000
					GENERAL AGGREGATE \$ 1,000,000
					PRODUCTS-COMP/OPS AGG \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ANY OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$
					BODILY INJURY (Per person) \$
					BODILY INJURY (Per accident) \$
					PROPERTY DAMAGE (Per accident) \$
	EXCESS LIABILITY FOLLOWING FORM				EACH ACCIDENT \$
					AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS OTH-ER \$
					E.L.EACH ACCIDENT \$
					E.L. DISEASE-EA EMPLOYEE \$
					E.L. DISEASE-POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS
 1st Southern Baptist Church is additional insured as respects the retail fireworks stand operated by the Named Insured, located at 604 S. Reynolds Rd., Bryant, AR 72022 operating from 6/20/2017 through 7/10/2017.

CERTIFICATE HOLDER 1st Southern Baptist Church 604 S. Reynolds Rd. Bryant, AR 72022	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
---	---

Western Surety Company

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruflat of Sioux Falls,
State of South Dakota, its regularly elected Vice President,
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

One VENDOR CITY OF BRYANT

bond with bond number 15158150

for ARNOLD FIREWORKS, INC.

as Principal in the penalty amount not to exceed: \$1,000.00

Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force, to-wit:

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its Vice President with the corporate seal affixed this 14 day of June, 2017.

ATTEST

L. Nelson
L. Nelson, Assistant Secretary

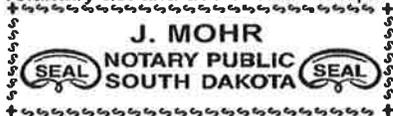
WESTERN SURETY COMPANY
By Paul T. Bruflat
Paul T. Bruflat, Vice President



STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

On this 14 day of June, 2017, before me, a Notary Public, personally appeared Paul T. Bruflat and L. Nelson

who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the voluntary act and deed of said Corporation.



J. Mohr
Notary Public

My Commission Expires June 23, 2021

To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.



SF W LJD



PO Box 5077 Sioux Falls SD 57117-5077

June 14, 2017

1-800-331-6053
Fax 1-605-335-0357
www.cnasurety.com

ARNOLD FIREWORKS, INC.
P.O. Box 873
North Little Rock, AR 72115

File # 15158150
ARNOLD FIREWORKS, INC.

\$1,000.00
Company Code: 0601
Written By: WESTERN SURETY COMPANY
VENDOR CITY OF BRYANT

Enclosed is your renewal certificate. To continue your bond coverage and keep it in force, you must file this renewal document with the city of Bryant.

If you are no longer required to post this bond, please write the word "Cancel" directly on the document, and return it to CNA Surety.

If you have any questions, please contact your local agent.

Enclosure

NEW ENTRY CANOPY

BETHEL MIDDLE SCHOOL

BRYANT PUBLIC SCHOOLS

Bryant, Arkansas

PROJECT INFORMATION

DRAWINGS AND PROJECT MANUAL APPROVED AND IDENTIFIED
AS PARTS OF THE OFFICIAL CONTRACT DOCUMENTS

OWNER: BRYANT PUBLIC SCHOOLS

FACILITY: ENTRY CANOPY

LOCATION: BETHEL MIDDLE SCHOOL

BY: _____

DATE: _____

ARCHITECT: LEWIS ARCHITECTS ENGINEERS

ADDRESS: 11225 HURON LANE, SUITE 104, LITTLE ROCK, ARKANSAS 72211

BY: _____

DATE: _____

CONTRACTOR: BALDWIN SHELL CONSTRUCTION

ADDRESS: 523 S. RINGO ST. LITTLE ROCK, AR 72205

BY: _____

DATE: _____

PROJECT NUMBER: _____ 17053

DRAWINGS AND PROJECT MANUAL DATED: _____ 25 MAY 2017

DRAWING INDEX

T1.1	TITLE SHEET
<u>ARCHITECTURAL</u>	
A1.0	SITE PLAN
A2.0	SECTIONS & ELEVATIONS
A3.0	ENLARGED SECTIONS & DETAILS
<u>STRUCTURAL</u>	
S1.1	FOUNDATION PLAN
S2.1	FOUNDATION DETAILS
S3.1	FRAMING PLAN
S4.1	FRAMING DETAILS
<u>ELECTRICAL</u>	
E1.1	CANOPY PLAN - ELECTRICAL

CERTIFICATION STATEMENT:

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE "ARKANSAS FIRE PREVENTION CODE" FOR THE STATE OF ARKANSAS.

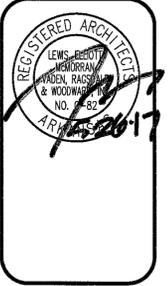
JL 5.26.17

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LEWIS ARCHITECTS ENGINEERS

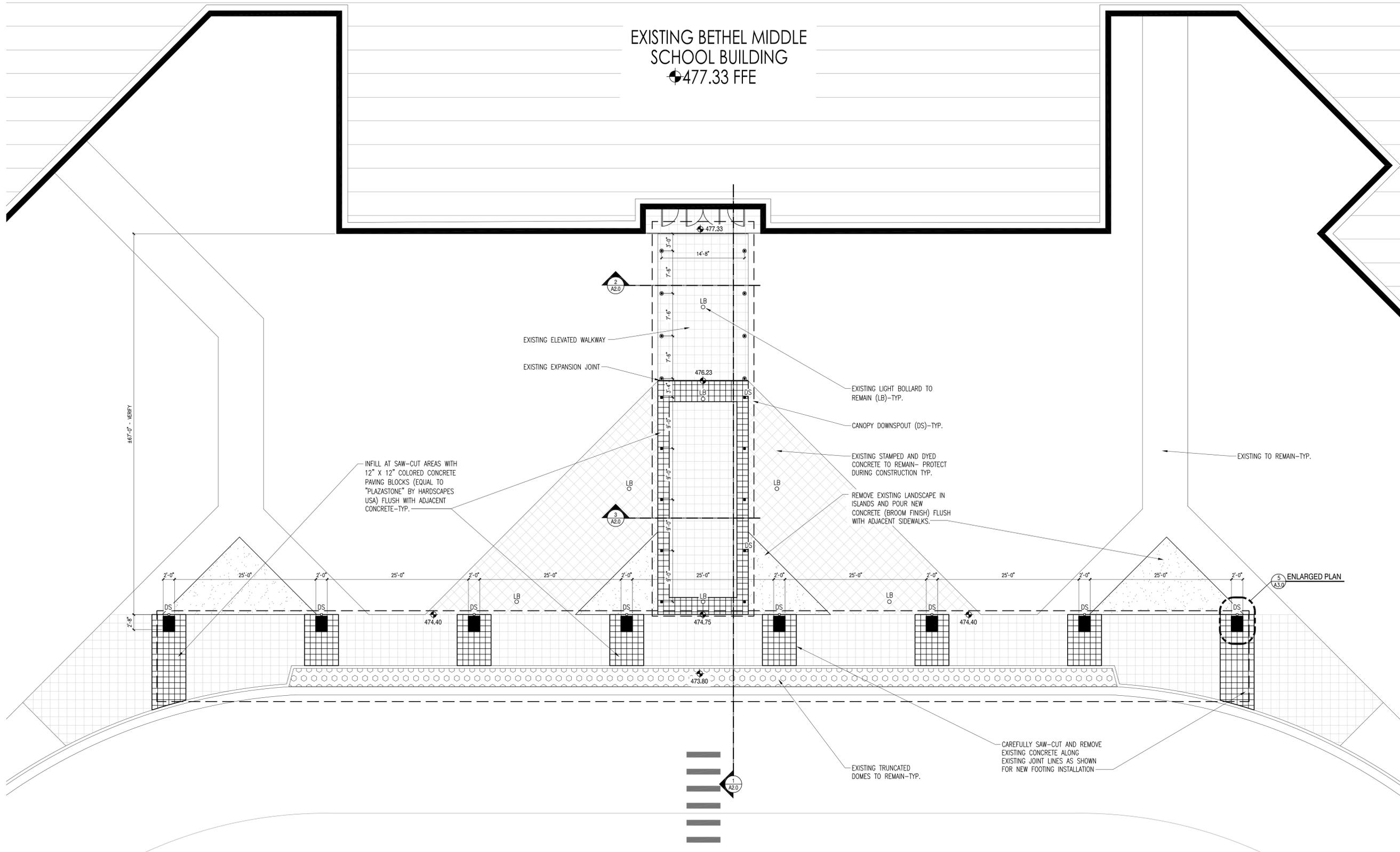
NEW ENTRY CANOPY
BETHEL MIDDLE SCHOOL
BRYANT PUBLIC SCHOOLS
Bryant, Arkansas



DATE: 26 MAY 2017
PROJECT NO: 17053
DRAWN BY: JSTALEY
REVISION:

T1.1
1 of 1

EXISTING BETHEL MIDDLE SCHOOL BUILDING
 477.33 FFE

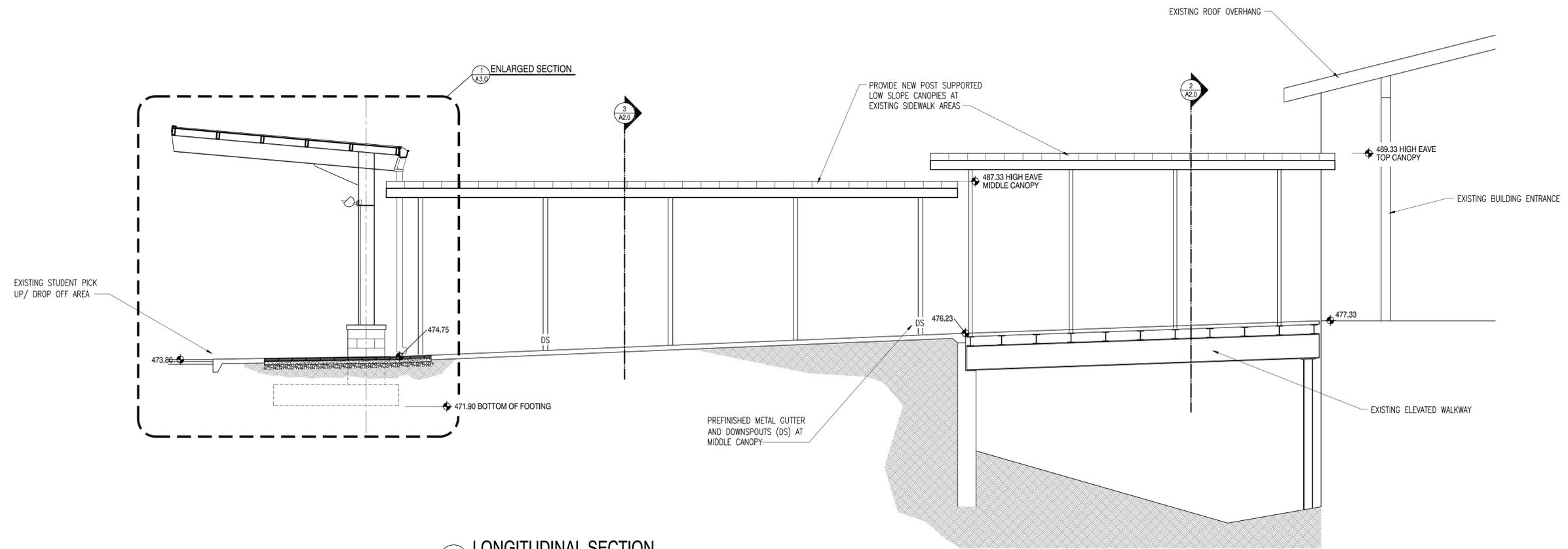


CANOPY PLAN
 SCALE: 1/8" = 1'-0"
 0 8 16

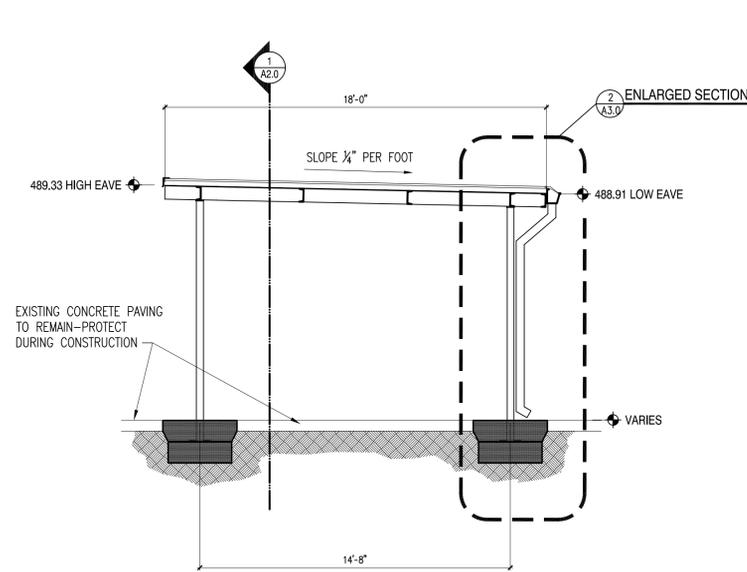


DATE: 26 MAY 2017
 PROJECT NO: 17053
 DRAWN BY: JSTALEY
 REVISION:

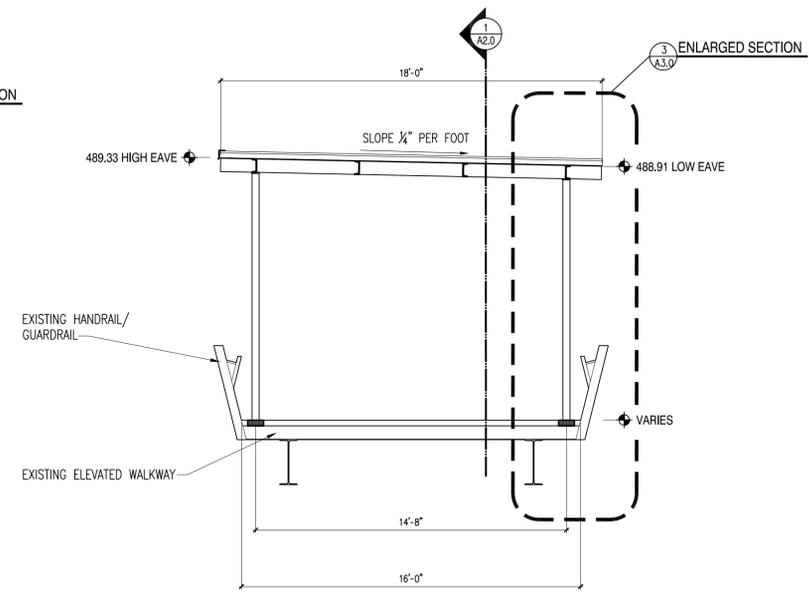
A1.0
 - OF -



1 LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



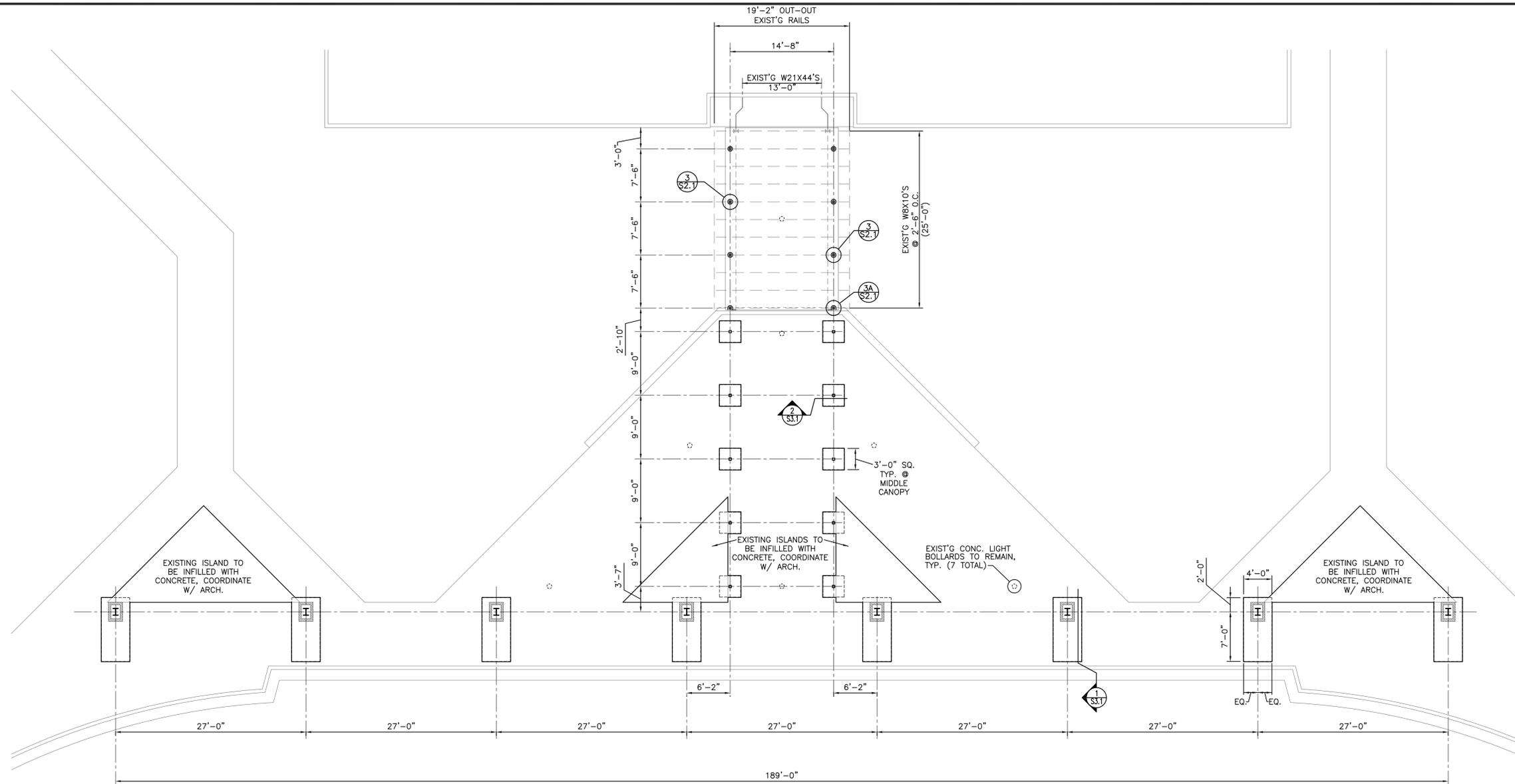
3 CROSS SECTION
SCALE: 1/4" = 1'-0"



2 CROSS SECTION
SCALE: 1/4" = 1'-0"



DATE: 26 MAY 2017
PROJECT NO: 17053
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REVISION:



CONCRETE PLACEMENT SCHEDULE	
CONCRETE MIX TYPE	PLACEMENT
4,000 PSI WITH AIR-ENTRAINMENT	EXTERIOR PAVING, CURBS, SIDEWALKS, STEPS & PADS
3,000 PSI WITH AIR-ENTRAINMENT	FOOTINGS, PEDESTALS
3,000 PSI MASONRY FILL/GROUT NO AIR-ENTRAINMENT	REINFORCED CELLS, BOND BEAMS, LINTELS, CMU FILL BELOW GRADE

FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. MAXIMUM CLEAR DIMENSION ABOVE WALK SHALL NOT VARY MORE THAN 4" FROM DIMENSIONS SHOWN.
2. TOP OF FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW SIDEWALK FINISHED GRADE.
3. REFER TO ARCHITECTURAL PLAN FOR LAYOUT OF COLUMNS.
4. ALL ROOF PURLINS ARE ASSUMED TO BE HORIZONTAL.

FOUNDATION NOTES:

1. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING FOUNDATION PLACEMENT AND SITE UTILITIES. IF CONFLICTS OCCUR, NOTIFY THE ENGINEER PRIOR TO POURING FOUNDATION.
2. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. REPORT DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO ENGINEER FOR COORDINATION.
3. FOUNDATIONS ARE DESIGNED TO BE FOUNDED INTO NATURAL SOIL OR COMPACTED SELECT FILL. FOUNDATIONS HAVE BEEN DESIGNED BASED ON THE FOLLOWING BEARING CAPACITIES: SHALLOW FOOTINGS = 2300 PSF

A GEOTECHNICAL ENGINEER SHALL BE ON SITE DURING FOOTING EXCAVATION TO VERIFY THE SOILS MEET OR EXCEED THE ABOVE BEARING CAPACITY REQUIREMENTS.
4. IF REQUIRED, THE CONTRACTOR IS TO PROVIDE REQUIRED TRENCH EXCAVATION SAFETY SYSTEM ACCORDING TO OSHA REGULATIONS. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
5. PROVIDE BARRICADES AND WARNING SIGNS. PROTECT THE PUBLIC AND PROPERTY FROM PERSONAL INJURY OR DAMAGE. THESE PROTECTION DEVICES SHALL MEET LOCAL, STATE, AND OSHA REQUIREMENTS.
7. DO NOT LEAVE FOOTING EXCAVATIONS OPEN OVER NIGHT.

CONCRETE NOTES:

1. AMERICAN CONCRETE INSTITUTE SPECIFICATIONS ACI 301 SHALL GOVERN ALL PHASES OF CONCRETE CONSTRUCTION.
2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. ALL CONCRETE SHALL BE AIR-ENTRAINED AND HAVE A MINIMUM WATER CEMENT RATIO OF .50.
3. ALL REINFORCING STEEL SHALL BE GRADE 60.
4. GENERAL CONTRACTOR IS TO COORDINATE ALL DIMENSIONS AND LOCATIONS WITH EQUIPMENT SUPPLIER BEFORE PLACING CONCRETE. CONTRACTOR SHALL VERIFY ALL CONCRETE DIMENSIONS, INSERTS, SLEEVES, AND OPENINGS WITH ALL TRADES BEFORE PLACING CONCRETE. ALL SLEEVES FOR CONDUIT, OR OTHER INSERTS SHALL BE PLACED PRIOR TO PLACING CONCRETE. NO CONCRETE SHALL BE BROKEN OUT TO PLACE ELECTRICAL, MECHANICAL, OR SIMILAR ITEMS WITHOUT THE PERMISSION OF THE ENGINEER.
5. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PLACING ANY CONCRETE. IF THERE ARE DISCREPANCIES BETWEEN THE PLANS AND EXISTING, CONTACT THE ENGINEER BEFORE COMMENCING WITH WORK.
6. GENERAL CONTRACTOR SHALL COORDINATE ALL NEW AND EXISTING UTILITIES WITH CONCRETE PLACEMENTS.
8. ALL EXPOSED VERTICAL CONCRETE SURFACES SHALL HAVE RUBBED FINISH.
9. TOP SURFACE OF CONCRETE FOOTING AND INFILL SHALL BE FINISHED TO MATCH EXISTING SLAB FINISH.

SPECIAL INSPECTIONS

PROVIDE THE FOLLOWING SPECIAL INSPECTIONS:
GENERAL CONTRACTOR IS RESPONSIBLE TO NOTIFY SPECIAL INSPECTOR 48 HRS BEFORE WORK IS READY FOR INSPECTION.

1. SEE FOUNDATION NOTE 4.
2. CONCRETE REINFORCING PLACEMENT SHALL BE INSPECTED BEFORE PLACING CONCRETE.
3. CONCRETE SHALL BE TESTED AS PER SECTION 03300 OF THE SPECIFICATIONS.
4. CANOPY FRAMING SHALL BE INSPECTED PERIODICALLY DURING CONSTRUCTION AND UPON COMPLETION OF STEEL ERECTION.
5. REFER TO SECTION 05500 TESTING FOR TEST AND ITEMS TO BE INSPECTED.

SEISMIC NOTE:

I HEREBY CERTIFY THAT THE FOUNDATION PLANS, FRAMING PLANS, STRUCTURAL DETAILS, AND SPECIFICATIONS FOR THIS BUILDING HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS ARE AS REQUIRED AND IN COMPLIANCE WITH ACT 1100 (SEISMIC LAW). REFER TO THE BUILDING DESIGN LOADS ON THIS SHEET FOR SEISMIC DESIGN CRITERIA.
DATE: MAY 23, 2017

Fredrick M. Greeson, Jr.
FREDRICK M. GREESON, JR., P.E., AR #4012

DESIGN LOADS:

THE FOLLOWING LOADS AS PER IBC 2012 WITH ARKANSAS AMENDMENTS AND THE LATEST EDITION OF THE ARKANSAS FIRE PREVENTION CODE. BUILDING RISK CATEGORY III

1. GRAVITY LOADS:
ROOF CANOPIES
- UNIFORM DEAD = 7 PSF
- UNIFORM LIVE = 20 PSF
2. WIND LOAD CRITERIA:
- BASIC WIND SPEED (V) = 120 MPH
3. SNOW LOAD CRITERIA:
- GROUND SNOW LOAD (Pg) = 10 PSF
- SNOW EXPOSURE FACTOR (Ce) = 1.0
- IMPORTANCE FACTOR (I) = 1.0
- THERMAL FACTOR (Ct) = 1.0
4. SEISMIC LOAD CRITERIA:
- IMPORTANCE FACTOR = 1.25
- SPECTRAL RESPONSE COEFFICIENTS
i. Ss = .347
ii. S1 = .146
iii. Sds = .277
iv. Sd1 = .161
- SEISMIC DESIGN CATEGORY = C
- SITE CLASS = C
- BASIC SEISMIC RESISTING SYSTEM
ORDINARY STEEL FRAMES
R = 3.0

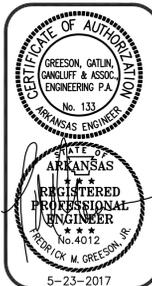


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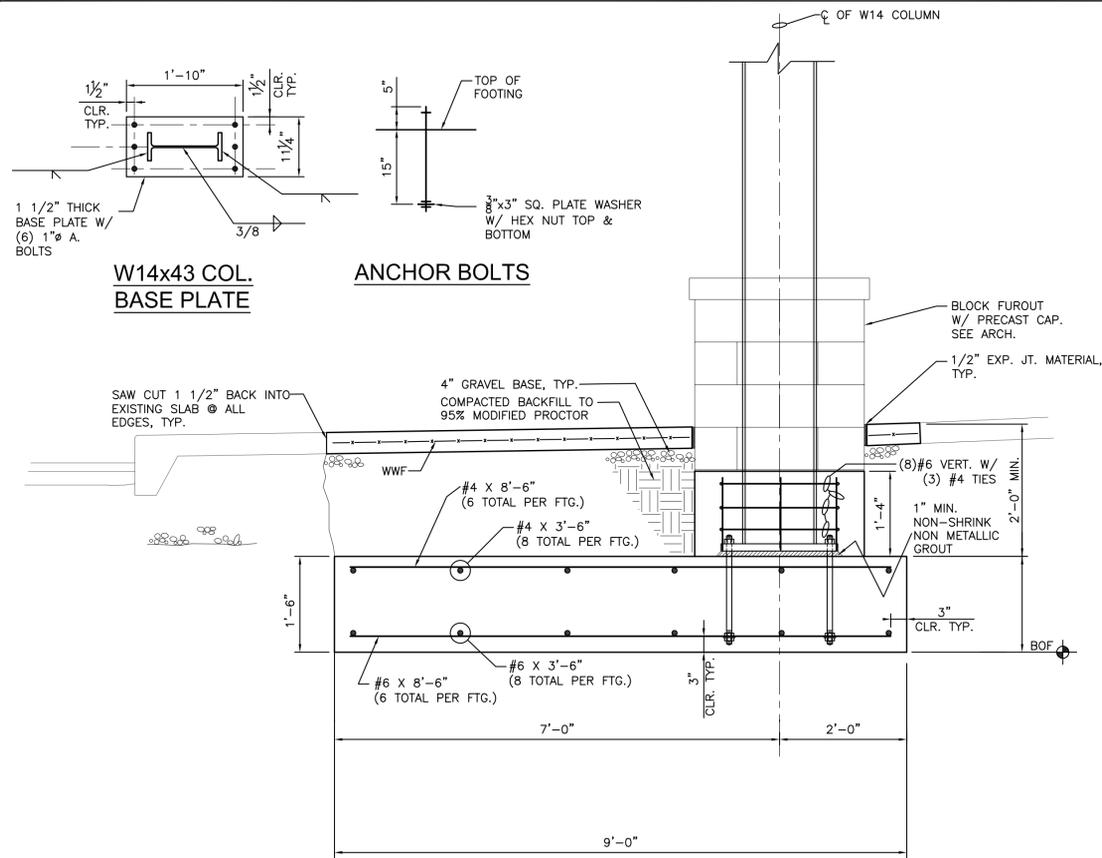
LEWIS
ARCHITECTS
ENGINEERS

NEW ENTRY CANOPY
BETHEL MIDDLE SCHOOL
BRYANT PUBLIC SCHOOLS
Bryant, Arkansas



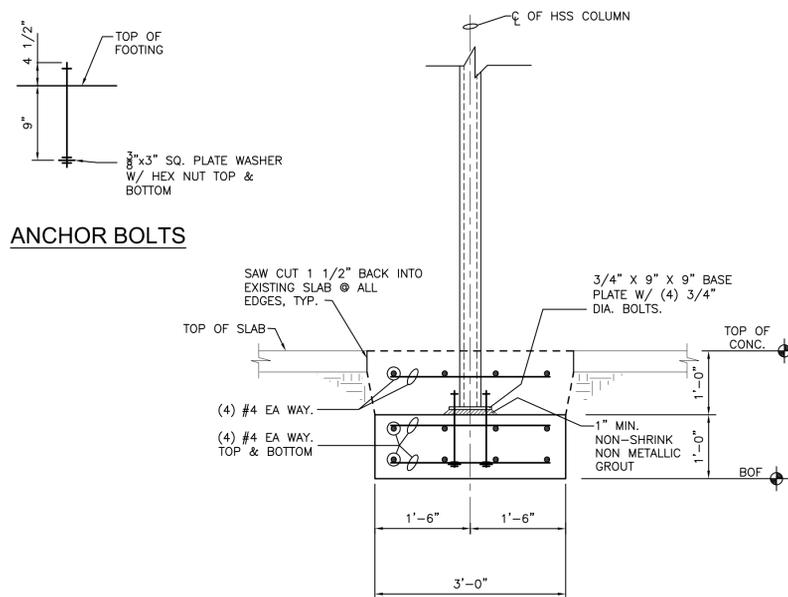
DATE: 23 MAY 2017
PROJECT NO: 17053
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S1.1
1 of 4



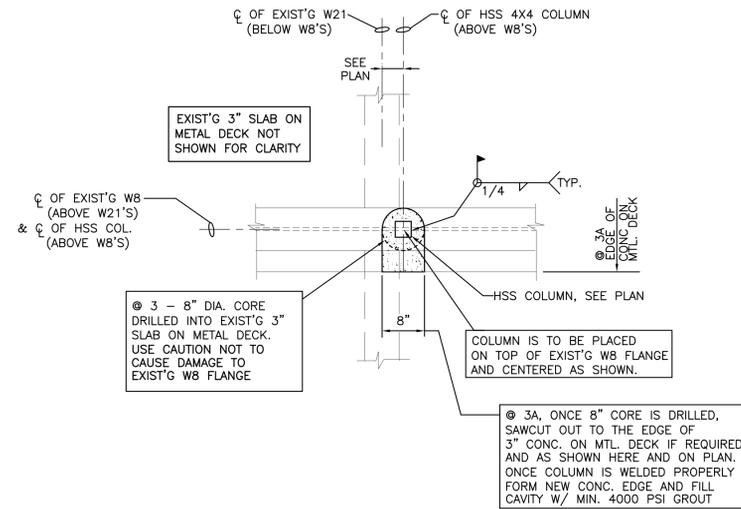
1 MAIN CANOPY FOOTING DETAIL

1
S3.1 3/4"=-1'-0"



2 MIDDLE CANOPY FOOTING DETAIL

2
S3.1 3/4"=-1'-0"

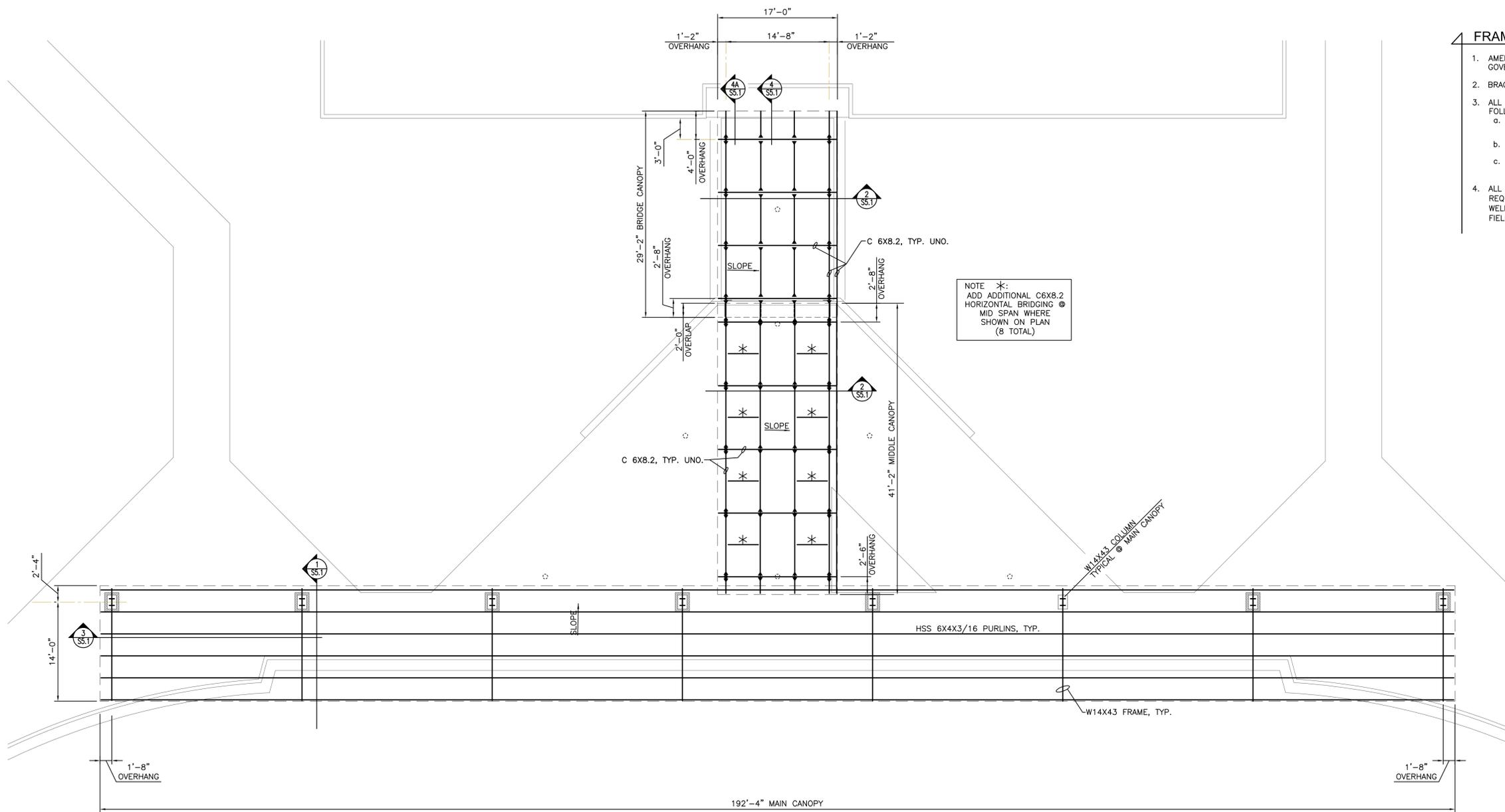


3 BRIDGE CANOPY COLUMN BASE CONNECTION

3
S3.1 3/4"=-1'-0"

3A BRIDGE CANOPY COLUMN BASE CONNECTION

3A
S3.1 3/4"=-1'-0"



NOTE *:
 ADD ADDITIONAL C6X8.2
 HORIZONTAL BRIDGING @
 MID SPAN WHERE
 SHOWN ON PLAN
 (8 TOTAL)

FRAMING NOTES:

1. AMERICAN INSTITUTE OF STEEL CONSTRUCTION SHALL GOVERN ALL PHASES OF STEEL CONSTRUCTION.
2. BRACE AND GUY UNTIL FINAL CONNECTIONS ARE MADE.
3. ALL STRUCTURAL STEEL MEMBERS SHALL MEET THE FOLLOWING CRITERIA:
 - a. WIDE FLANGE AND WT SECTIONS:
Fy = 50 ksi. (ASTM A-992)
 - b. ANGLES, CHANNELS AND PLATES LESS THAN 1/2" THICK:
Fy = 36 ksi. (ASTM A-36)
 - c. COLD FORMED TUBING: Fy = 46 ksi. (ASTM A-500 GRADE B)
4. ALL WELDING SHALL BE IN ACCORDANCE WITH A.W.S. REQUIREMENTS FOR E70XX ELECTRODES. PROVIDE KC W/ WELD CERTIFICATION PAPERS FOR ALL WELDERS (SHOP & FIELD)

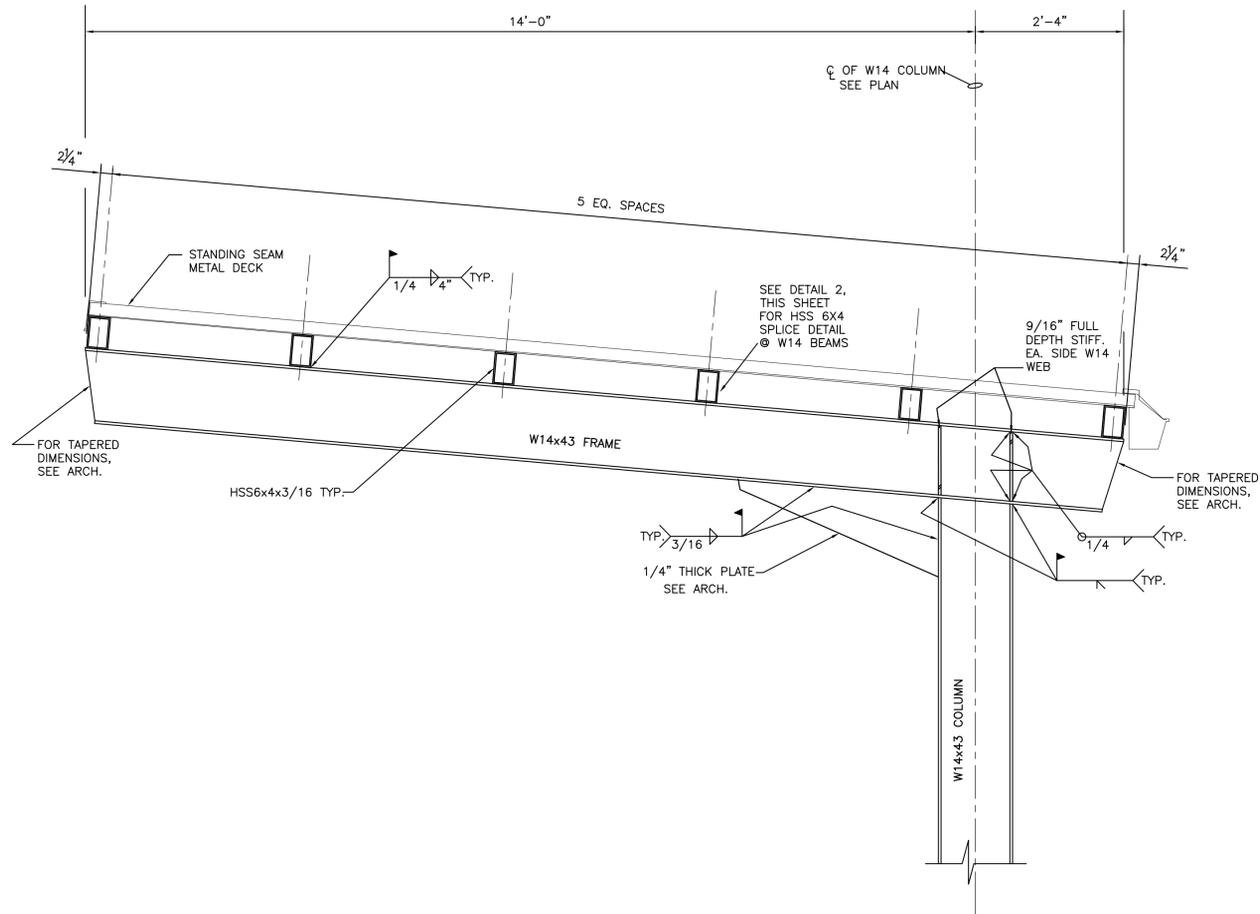
— DENOTES MOMENT CONNECTION

FRAMING PLAN

SCALE: 1/8" = 1'-0"

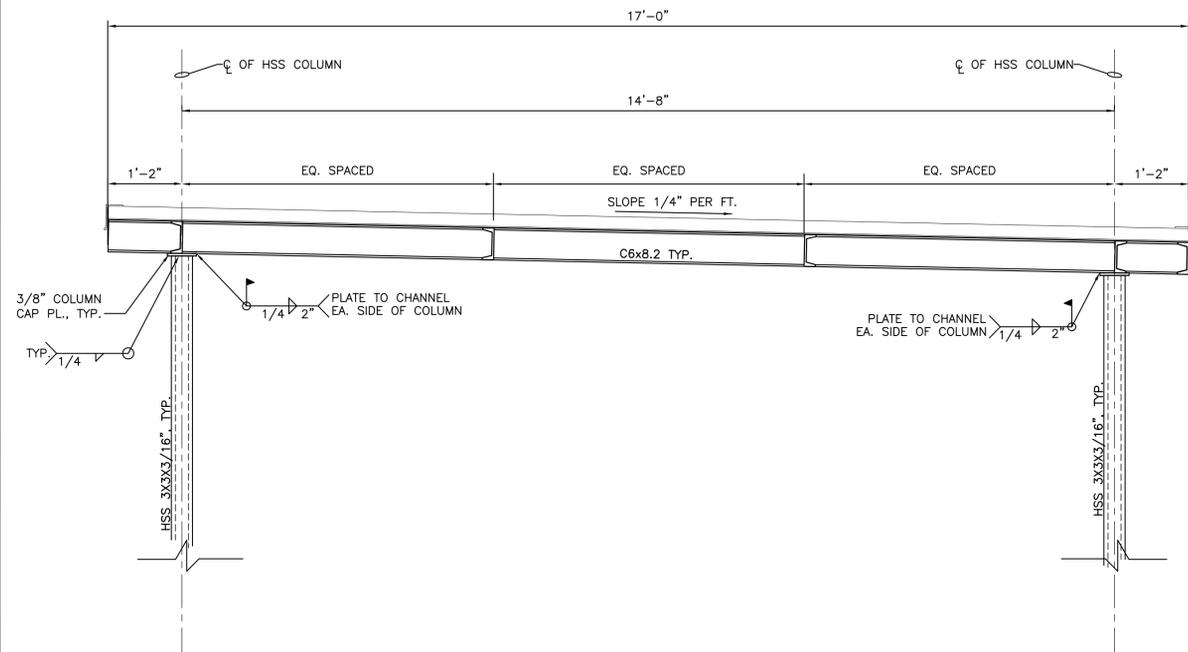


DATE: 23 MAY 2017
 PROJECT NO: 17053
 DRAWN BY:
 REVISION:



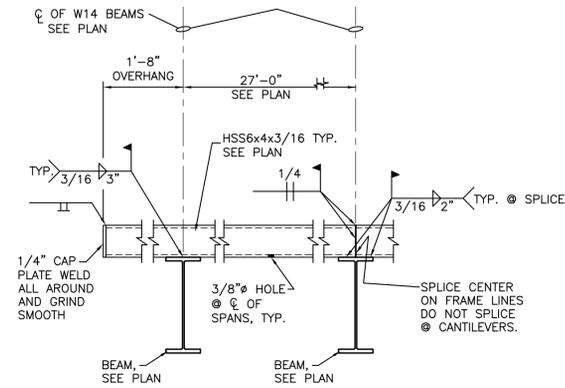
1
S4.1 3/4"=-1'-0"

MAIN CANOPY FRAMING SECTION



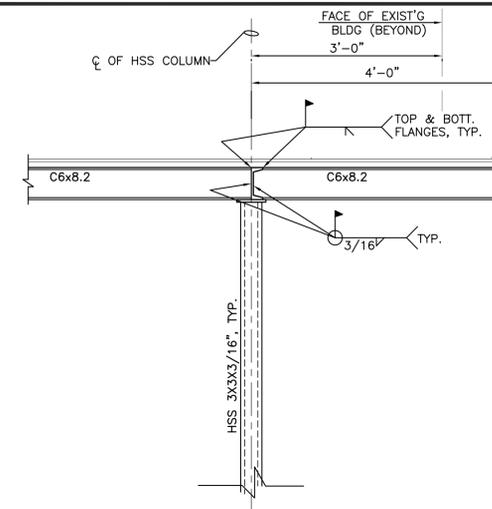
2
S4.1 3/4"=-1'-0"

CANOPY FRAMING SECTION



3
S4.1 3/4"=-1'-0"

MAIN CANOPY FRAMING SECTION @ TUBE RAFTERS



4
S4.1 3/4"=-1'-0"

BRIDGE CANOPY FRAMING SECTION @ EXIST'G

4A
S4.1 3/4"=-1'-0"

BRIDGE CANOPY FRAMING SECTION @ EXIST'G

BASIC ELECTRICAL REQUIREMENTS

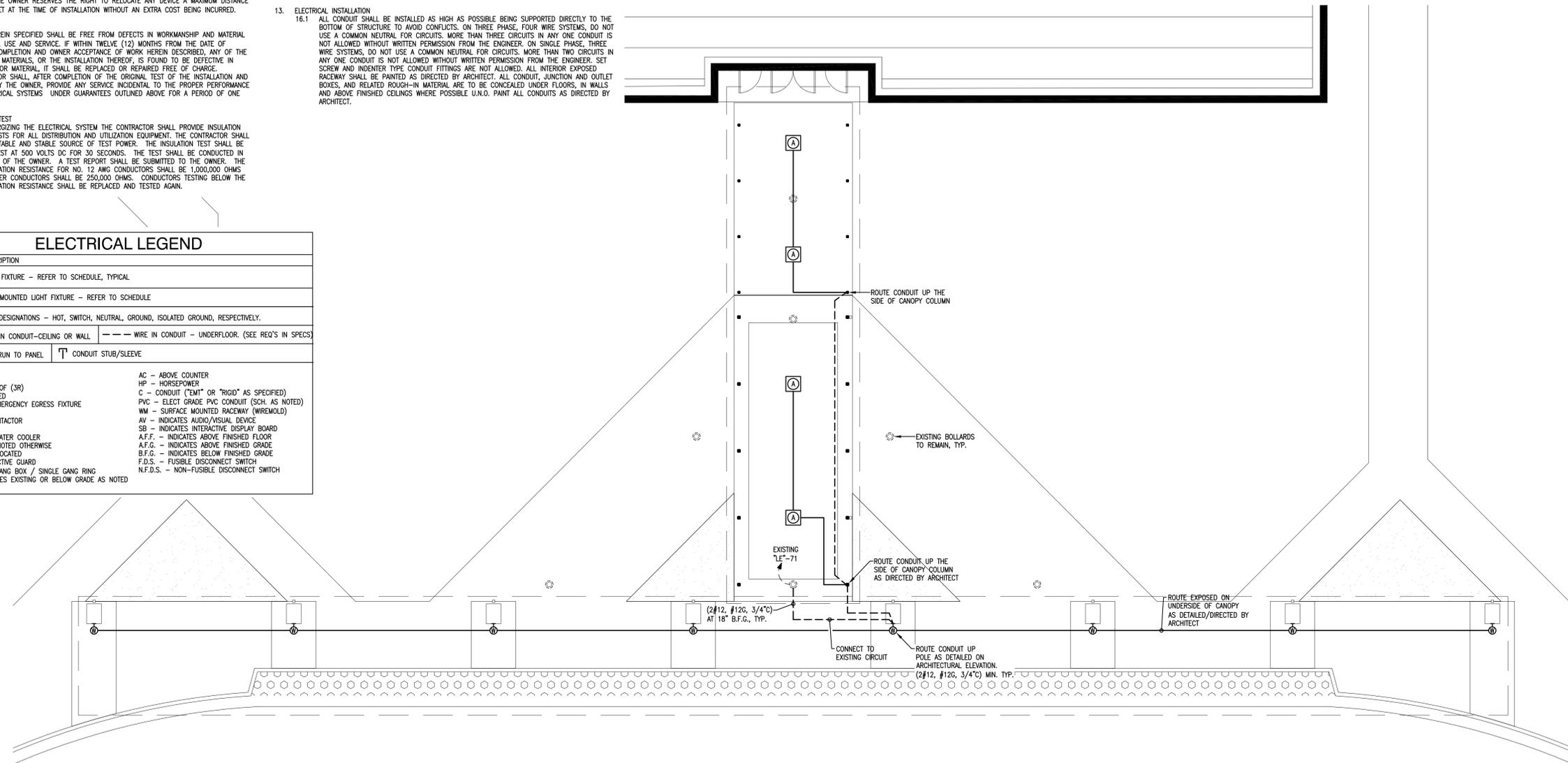
1. THE FOLLOWING SPECIFICATIONS AND STANDARDS OF ISSUES LISTED BELOW BUT REFERRED TO THEREAFTER BY BASIC DESIGNATION ONLY FORM A PART OF THESE SPECIFICATIONS.
 - 1.1. NATIONAL ELECTRICAL CODE, LATEST EDITION
 - 1.2. NATIONAL FIRE PROTECTION ASSOCIATION'S RECOMMENDED PRACTICES
 - 1.3. LOCAL, CITY, STATE CODES AND ORDINANCES
 - 1.4. NATIONAL ELECTRICAL SAFETY CODE, LATEST EDITION.
 - 1.5. UNDERWRITERS LABORATORIES, INC.
 - 1.6. ILLUMINATION ENGINEERING SOCIETY
 - 1.7. INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS
 - 1.8. INSULATED POWER CABLE ENGINEERS ASSOCIATION
 - 1.9. NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
 - 1.10. AMERICAN SOCIETY ASSOCIATION
 - 1.11. AMERICAN SOCIETY FOR TESTING MATERIALS
 - 1.12. OCCUPATIONAL SAFETY AND HEALTH ACT
 - 1.13. AMERICANS WITH DISABILITIES ACT, (ADA)
 - 1.14. ASHRAE/IESNA STANDARD 90.1
2. REGULATORY REQUIREMENTS:
 - 2.1. WORK SHALL CONFORM TO ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS.
 - 2.2. ALL MATERIALS ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS.
 - 2.3. IN CASE OF DIFFERENCE BETWEEN BUILDING CODES, SPECIFICATIONS, STATE LAWS, LOCAL ORDINANCES, INDUSTRY STANDARDS, AND UTILITY COMPANY REGULATIONS AND THE CONTRACT DOCUMENTS, THE MOST STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER IN WRITING OF ANY SUCH DIFFERENCE.
 - 2.4. NONCOMPLIANCE: SHOULD THE CONTRACTOR PERFORM ANY WORK THAT DOES NOT COMPLY WITH THE REQUIREMENTS OF APPLICABLE BUILDING CODES, STATE LAWS, LOCAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS, HE SHALL BEAR ALL COSTS ARISING IN CORRECTING THE DEFICIENCIES.
 - 2.5. ALL REQUIRED FEES, PERMITS, AND INSPECTIONS SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR UNDER THE SECTION OF SPECIFICATIONS FOR WHICH THEY ARE REQUIRED.
3. PROJECT/SITE CONDITIONS
 - 3.1. INSTALL WORK IN LOCATIONS SHOWN ON THE DRAWINGS, UNLESS PREVENTED BY PROJECT CONDITIONS. THE OWNER RESERVES THE RIGHT TO RELOCATE ANY DEVICE A MAXIMUM DISTANCE OF SIX (6) FEET AT THE TIME OF INSTALLATION WITHOUT AN EXTRA COST BEING INCURRED.
4. GUARANTEE
 - 4.1. THE WORK HEREIN SPECIFIED SHALL BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIAL UNDER NORMAL USE AND SERVICE, IF WITHIN TWELVE (12) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND OWNER ACCEPTANCE OF WORK HEREIN DESCRIBED, ANY OF THE EQUIPMENT OR MATERIALS, OR THE INSTALLATION THEREOF, IS FOUND TO BE DEFECTIVE IN WORKMANSHIP OR MATERIAL, IT SHALL BE REPLACED OR REPAIRED FREE OF CHARGE.
 - 4.2. THE CONTRACTOR SHALL, AFTER COMPLETION OF THE ORIGINAL TEST OF THE INSTALLATION AND ACCEPTANCE BY THE OWNER, PROVIDE ANY SERVICE INCIDENTAL TO THE PROPER PERFORMANCE OF THE ELECTRICAL SYSTEMS UNDER GUARANTEES OUTLINED ABOVE FOR A PERIOD OF ONE (1) YEAR.
5. 600 VOLT INSULATION TEST
 - 5.1. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE CONTRACTOR SHALL PROVIDE INSULATION RESISTANCE TESTS FOR ALL DISTRIBUTION AND UTILIZATION EQUIPMENT. THE CONTRACTOR SHALL PROVIDE A SUITABLE AND STABLE SOURCE OF TEST POWER. THE INSULATION TEST SHALL BE A "MEGGER" TEST AT 500 VOLTS DC FOR 30 SECONDS. THE TEST SHALL BE CONDUCTED IN THE PRESENCE OF THE OWNER. A TEST REPORT SHALL BE SUBMITTED TO THE OWNER. THE MINIMUM INSULATION RESISTANCE FOR NO. 12 AWG CONDUCTORS SHALL BE 1,000,000 OHMS AND FOR LARGER CONDUCTORS SHALL BE 250,000 OHMS. CONDUCTORS TESTING BELOW THE MINIMUM INSULATION RESISTANCE SHALL BE REPLACED AND TESTED AGAIN.
6. CONTINUITY TEST
 - 6.1. THE CONTRACTOR SHALL PERFORM A CONTINUITY TEST ON THE ENTIRE ELECTRICAL SYSTEM PRIOR TO ENERGIZING THE SYSTEM TO INSURE PROPER CABLE CONNECTIONS
7. CONNECTION TORQUE TEST
 - 7.1. ALL LARGER CONDUCTOR BOLTED CONNECTIONS SHALL BE TORQUE TESTED USING A TORQUE WRENCH. TORQUE SHALL BE TO NATION ELECTRICAL TESTING ASSOCIATION'S (NETA) STANDARDS.
8. REMOVAL OF RUBBISH
 - 8.1. THE CONTRACTOR SHALL REMOVE HIS RUBBISH FROM THE BUILDING SITE AT INTERVALS AND SHALL MAINTAIN THE SPACES ALLOTTED TO HIM IN AN ORDERLY MANNER. ON COMPLETING HIS WORK, AND PRIOR TO SUBMISSION OF FINAL ESTIMATE, HE SHALL REMOVE ALL TOOLS, APPLIANCES, MATERIAL, AND RUBBISH FROM THE GROUNDS.
9. MECHANICAL OPERATIONS TESTS
 - 9.1. ALL ELECTRICAL EQUIPMENT, SUCH AS SWITCHES, CIRCUIT BREAKERS, ETC. SHALL BE TESTED BY OPERATING THE DEVICE TO VERIFY THAT THE MECHANICAL PORTIONS OF THE DEVICE ARE FUNCTIONING.
10. GROUNDING
 - 10.1. EACH CIRCUIT SHALL HAVE AN EQUIPMENT GROUNDING CONDUCTOR AND MULTI-WIRE CIRCUITS OF DIFFERENT PHASES MAY SHARE EQUIPMENT GROUND CONDUCTOR. THE EQUIPMENT GROUND CONDUCTOR SHALL NOT BE LESS THAN #12 AWG OR AS INDICATED ON THE DRAWINGS. PROVIDE ELECTRICALLY CONTINUOUS, TIGHT GROUNDING CONNECTIONS FOR WIRING DEVICES, UNLESS OTHERWISE INDICATED. DEVICE GROUNDING CONNECTIONS SHALL BE MADE VIA A PIGTAIL FROM THE GROUND SCREW WITHIN THE DEVICE BACKBOX. INSTALL IN STRICT ACCORDANCE WITH NEC ARTICLE 300-13 (B).
11. WIRES/CABLES/CONDUIT
 - 11.1. MINIMUM WIRE SIZE SHALL BE #12 AWG UNLESS OTHERWISE SPECIFIED. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE NOTED. ALL CONDUCTORS #10 AND SMALLER SHALL BE SOLID COPPER, AND ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED COPPER USING BOLTED LUGS AT TERMINALS.
12. IDENTIFICATION
 - 12.1. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING ALL SWITCHES, RECEPTACLES, AND FIXED EQUIPMENT WITH THE BRANCH CIRCUIT PANEL NAME AND NUMBER SERVING EACH DEVICE. PROVIDE LAMINATED NAMEPLATES ON ALL ELECTRICAL GEAR. SCREW OR POP RIVET TO COVERS.
13. ELECTRICAL INSTALLATION
 - 13.1. ALL CONDUIT SHALL BE INSTALLED AS HIGH AS POSSIBLE BEING SUPPORTED DIRECTLY TO THE BOTTOM OF STRUCTURE TO AVOID CONFLICTS. ON THREE PHASE, FOUR WIRE SYSTEMS, DO NOT USE A COMMON NEUTRAL FOR CIRCUITS. MORE THAN THREE CIRCUITS IN ANY ONE CONDUIT IS NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. ON SINGLE PHASE, THREE WIRE SYSTEMS, DO NOT USE A COMMON NEUTRAL FOR CIRCUITS. MORE THAN TWO CIRCUITS IN ANY ONE CONDUIT IS NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. SET SCREW AND INDETER TYPE CONDUIT FITTINGS ARE NOT ALLOWED. ALL INTERIOR EXPOSED RACEWAY SHALL BE PAINTED AS DIRECTED BY ARCHITECT. ALL CONDUIT, JUNCTION AND OUTLET BOXES, AND RELATED ROUGH-IN MATERIAL ARE TO BE CONCEALED UNDER FLOORS, IN WALLS AND ABOVE FINISHED CEILING WHERE POSSIBLE U.N.O. PAINT ALL CONDUITS AS DIRECTED BY ARCHITECT.

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT WATTS	VOLTS	NOTE 1
A		(1) 60W LED W/UNIT	SURFACE MOUNT CANOPY	GARDCO# SFC-SR-48L-400-NW-G2-120-MGY	60	MULTIPLE	
W		(1) 60W LED W/ UNIT	WALL MOUNT AREA LIGHT	DECO# D454-LED-60-40-UNV-T3-WM-CU	60	MULTIPLE	MOUNT AT + 11'-0" AFF TO THE CENTER OF THE FIXTURE. AIM UPWARD TOWARD CANOPY.

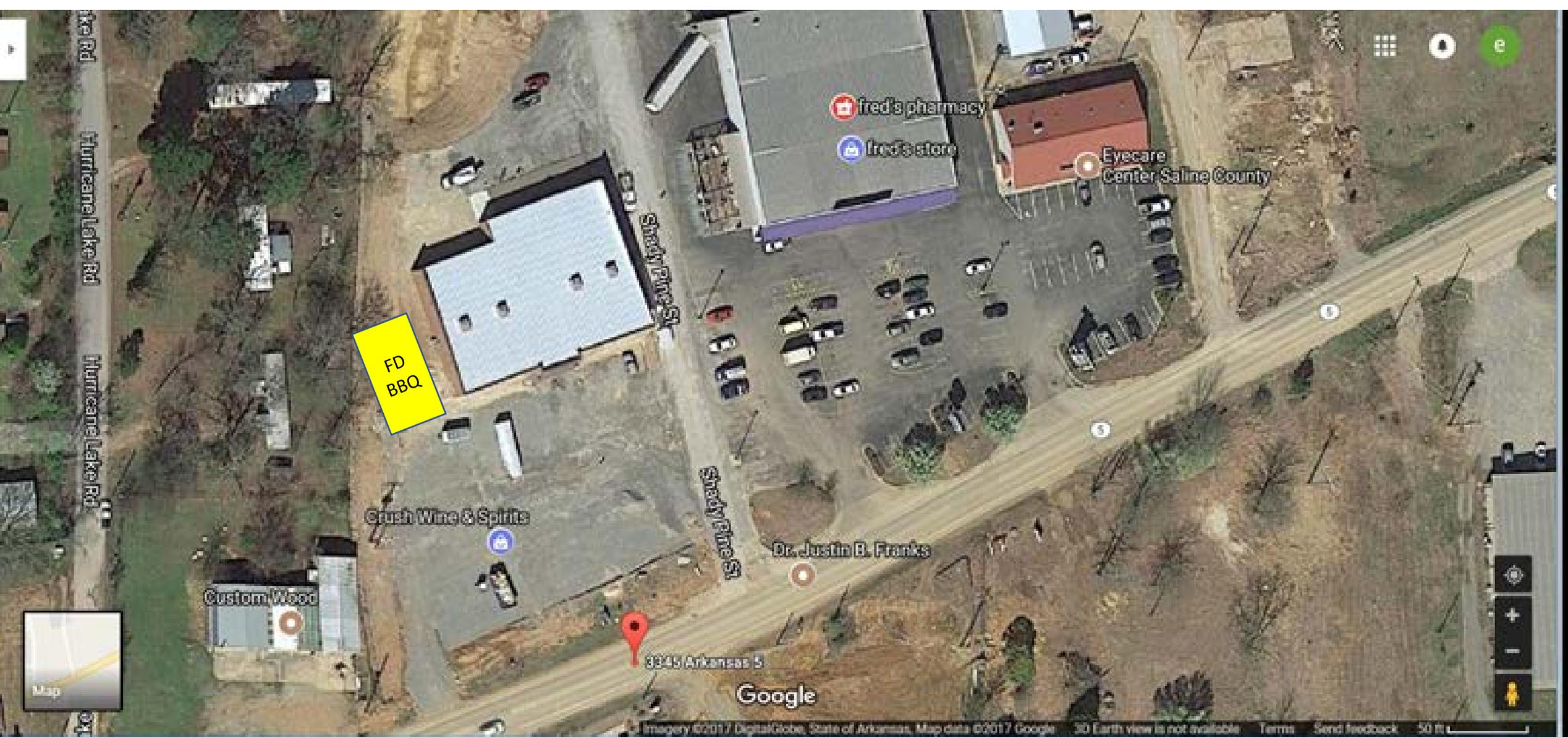
1. MOUNTING HEIGHTS ARE IN REGARDS TO THE CENTERLINE OF FIXTURE - U.N.O.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	LIGHT FIXTURE - REFER TO SCHEDULE, TYPICAL
	WALL MOUNTED LIGHT FIXTURE - REFER TO SCHEDULE
	WIRE DESIGNATIONS - HOT, SWITCH, NEUTRAL, GROUND, ISOLATED GROUND, RESPECTIVELY.
	WIRE IN CONDUIT - CEILING OR WALL --- WIRE IN CONDUIT - UNDERFLOOR. (SEE REQ'S IN SPECS)
	HOMERUN TO PANEL
	CONDUIT STUB/SLEEVE
ABBREVIATIONS:	
WP - WEATHERPROOF (3R)	AC - ABOVE COUNTER
NS - NON-SWITCHED	HP - HORSEPOWER
EM - INDICATES EMERGENCY EGRESS FIXTURE	C - CONDUIT ("EMT" OR "RIGID" AS SPECIFIED)
TC - TIME CLOCK	PVC - ELECT GRADE PVC CONDUIT (SCH. AS NOTED)
LC - LIGHTING CONTACTOR	WM - SURFACE MOUNTED RACEWAY (WIREMOLD)
FA - FIRE ALARM	AV - INDICATES AUDIO/VISUAL DEVICE
ENC - ELECTRIC WATER COOLER	SB - INDICATES INTERACTIVE DISPLAY BOARD
U.N.O. - UNLESS NOTED OTHERWISE	A.F.F. - INDICATES ABOVE FINISHED FLOOR
ER - EXISTING RELOCATED	A.F.G. - INDICATES ABOVE FINISHED GRADE
WG - WIRE PROTECTIVE GUARD	B.F.G. - INDICATES BELOW FINISHED GRADE
1G/1G - SINGLE GANG BOX / SINGLE GANG RING	F.D.S. - FUSIBLE DISCONNECT SWITCH
- DASHED INDICATES EXISTING OR BELOW GRADE AS NOTED	N.F.D.S. - NON-FUSIBLE DISCONNECT SWITCH



NORTH

 1
 E1.0 SCALE: 1/8" = 1'-0"
CANOPY PLAN - ELECTRICAL



Fire Dancer BBQ – alternate location to current
3345 Hwy 5, Bryant
Crush Wine and Spirits Parking Lot (beginning week of 3-July)

SECTION 17 - SCHOOLS, CHURCHES, AND AIRPORT-INDUSTRIAL SPECIAL PROVISIONS

17.1 Schools and Churches

A. Purpose and Intent

It is the intent of these zoning regulations to allow churches, public schools, and private schools the greatest possible flexibility in accommodating the citizens of the community. These land uses will be allowed in all zoning districts provided an adequate parking plan and open space scheme for the proposed development is submitted to the planning commission and approved. No specific number of parking spaces or open space criteria will be specified.

B. Churches

The development of a new church site in any zoning district will require a site plan that will show the parking accommodations, open space, and landscaping. A parsonage for one family will be allowed on-site.

Site expansion of existing churches will be allowed provided additional parking requirements are addressed,

C. Public and Private Schools

New development and expansion of schools will be allowed in any zoning district provided off street parking is made available to faculty, students, and busses. If total off-street parking is not provided then an adequate parking plan must be submitted to the planning commission and approved.

17.2 Airport - Industrial

A. Purpose

These district regulations apply to the land on which the Saline County Airport is located as well as to adjacent lands owned by the Saline County Airport Commission as of December 13, 2004. The purpose of this section is to establish a zoning district to protect the operation of the airport and to permit industrial development activities to be carried out by the Saline County Airport Commission.

B. Intent and Administration

It is the intent of the Bryant Planning Commission and City Council that the Saline County Airport Commission shall assume sole responsibility for the creation and enforcement of regulations for the operation and development of the property owned by the commission, including the issuance of building permits. Further, the Saline County Airport Commission shall develop standards for construction and development within the district, said standards to comply with the Arkansas State Fire Prevention Code.

17.3 Wireless Communication Facilities

A. Purpose

The purposes of these regulations are described as follows: 1) to establish a system of administering requests for the siting wireless communication facilities in accordance with the provisions of the Federal Telecommunications Act of 1996; 2) to minimize the number of new towers needed by encouraging the use of existing towers and existing public and private

structures; 3) to preserve the stability of land values or properties near and adjacent to proposed wireless communication facilities; 4) to protect the public health, safety, and welfare through the use of good engineering and urban design principles.

The provisions of these regulations do not retain to amateur radio operators licensed by the Federal Communication Commission (FCC).

B. Application Review Process

Permits for the use or construction of a Wireless Communication Facility are required. Review shall be processed as follows:

1. A permit for the following may be processed and approved with necessary information and agreements, through administrative staff review:
 - A. An attached Wireless Communications Facility (Attached WCF) to be attached to an existing monopole, tower, or structure.
 - B. Antenna Arrays to be co-located on an existing Wireless Communication Tower.
 - C. Facilities to be located in parks or other public areas upon approval by the City Council.
 - D. Property located in the Airport Industrial District upon approval by the district's governing body.
2. All other Wireless Communication Facilities shall be reviewed through the Conditional Use Permit process in Section 19.2. All the restrictions, provisions, and application requirements of this Section shall apply.

C. Restrictions for New Tower Construction:

Any permit application for new tower construction will be considered only after the applicant has demonstrated to the satisfaction of the Administrative Official that:

1. No existing towers or structures are located within the geographic area that would meet the applicant's engineering requirements through co-location.
2. Existing towers or structures are not of sufficient height to meet applicant's engineering requirements.
3. Existing towers or structures do not have sufficient structural strength to support applicant's proposed antenna and related equipment.
4. The applicant's proposed antenna would cause electromagnetic interference with the antenna on the existing towers or structures, or the antenna on the existing towers or structures would cause interference with the applicant's proposed antenna.
5. The fees, costs, or contractual provisions required by the owner in order to share an existing tower or structure, or to adapt an existing tower or structure for sharing, are

unreasonable. Any such costs that exceed the cost of new tower development are presumed to be unreasonable.

6. The applicant demonstrates that there are other limiting factors that render existing towers and structures unsuitable.

D. Application Requirements

All applications shall include, in addition to the other requirements for conditional use permits, when applicable, a scaled site plan, a scaled elevation view, and other supporting drawings as may be required. The Applicant shall also submit calculations and other documentation showing the location and dimensions of the WCF and all associated improvements, including information concerning specifications, site conditions, antenna locations, equipment storage facilities, landscaping, parking, access, and fencing.

E. Development Standards

1. Height

- A. An attached WCF shall not add more than 20 feet in height to the existing building or structure to which it is attached.
- B. WCF with Support Structures shall have a maximum height of 200 feet in industrial and agricultural zones, 150 feet in commercial zones, and 100 feet in residential zones.

2. Setbacks

- A. Attached WCF: Antenna Arrays for Attached WCF are exempt from the setback provisions of the zone in which they are located. An Attached WCF Antenna Array may extend up to 30 inches horizontally beyond the edge of the Attached Structure so long as the Antenna Array does not encroach upon an adjoining parcel.
- B. WCF with Support Structures shall meet the setback requirements for principal structures of the underlying zone in which they are located, except for residential zoning districts.
- C. WCF with Support Structures abutting residential property on any side shall be set back from any adjoining property line a distance at least 50 percent of the height of the tower measured from the base of the tower to the property line of the residential lot.

3. Landscaping

- A. Existing mature tree growth and natural landform on the site shall be preserved to the extent feasible; provided, however, that vegetation that causes interference with the antenna or inhibits access to the equipment storage may be trimmed. Any trees in excess of six (6) inches in diameter, which are to be cut, must be indicated on the development plan.

- B. WCF shall be designed so as to be compatible with the existing structures and surroundings to the extent feasible. Such requirements shall not interfere with normal functioning of the WCF and may include the use of compatible or neutral colors, or stealth technology.

4. Lighting

- A. WCF shall not be artificially illuminated, directly or indirectly, except as may be required by state or federal law or for security of the equipment building. It shall be the Owner's responsibility to meet FAA lighting requirements, if necessary.
- B. WCF shall not display any signage or message of a commercial nature except for an inconspicuous message containing provider identification and emergency telephone numbers.

- 5. Security Fencing: WCF with Support Structures shall be enclosed by a wood, brick, or masonry security fence not less than six (6) feet in height.

6. Collocation

- A. All WCF with Supporting Structures shall be designed to accommodate a minimum of three antenna arrays where technically feasible and visually desirable.

7. Conditions

- A. Support Structures for wireless communication facilities shall be of the monopole type construction.
- B. The City may impose other conditions and restrictions upon the applicant, as it deems necessary to reduce or minimize any adverse effects and to enhance the compatibility of the WCF with the surrounding properties. Such requirements shall be reasonable and capable of being accomplished under the purposes of this section.

F. Abandonment

Any Wireless Communication Facility (WCF) which ceases operation shall be removed by the owner, and shall be reported to the City of Bryant immediately. All discontinued facilities shall be removed within six months and the site restored to its original condition, at the owner's expense.

G. Environmental Impact

- 1. Assessments of environmental impact are required by federal law to be prepared by personal wireless service carriers when the following environmental impacts occur:
 - A. Facilities are located in officially designated wilderness or wildlife areas.
 - B. Facilities threaten endangered species or critical habitats.
 - C. Facilities affect historic sites or structures

- D. Facilities are to be located in floodplains.
 - E. Facilities that will significantly change a surface area involving wetlands, deforestation, or water diversions.
2. Since these assessments are already required by federal law, these provisions are incorporated into this code and certification of compliance with the National Environmental Policy Act (NEPA) (43 U.S.C. Section 4321) must be provided before any permits will be issued.

H. Timeliness

The City of Bryant shall complete final action upon any permit application within 90 days of the filing of the application unless the Applicant files a request for extension. Any decision to deny a request will be made in writing and will be supported by substantial evidence contained in a written record.

SECTION 18 - BOARD OF ADJUSTMENT AND VARIANCES

~~Variances – An applicant for a variance must give a written request to the zoning board of adjustment. The board will require the applicant to have written consent from any adjoining property owner affected. The board may deny the variance or a thirty(30) day notice to issue the variance will be issued. If no written objection is received during the thirty (30) day notice period the variance will be issued.~~

~~Communication and Microwave Towers - If a land owner wants to allow a tower to be built on their property and the property is zoned commercial the owner would need to come to the commission with a plat of the property and a written request for approval to allow the tower to be built as a conditional use. The tower height must be shown on the request. If a land owner wants to sell a portion of land to someone that wants to put a tower up, the property would need to be re-platted and then the portion for the tower would have to be rezoned and come in under PUD. (Towers can exceed the three (3) story height limit.) A tower must be a minimum of thirty feet (30') from the property line.~~

A. Organization and Rules

1. A Board of Adjustment is established to consist of the members of the Planning Commission. The terms of the Board of Adjustment members shall run concurrent with their terms on the Planning Commission.
2. The officers of the Planning Commission shall hold the same offices on the Board of Adjustment.
3. A majority of the membership of the Board of Adjustment shall be considered a quorum.
4. Any action taken by the Board of Adjustment, except a public hearing, shall require a majority vote of the entirety of the Board of Adjustment.

B. Meetings and Hearings

The Board of Adjustment shall establish regular meeting dates, adopt rules for the conduct of its business, and keep a public record of all findings and decisions. Each session of the Board of Adjustment is a public meeting and public notice of the meeting/agenda items must be published in a newspaper of general circulation in the city, at least one (1) time seven (7) days prior to the meeting.

C. Powers and Duties

1. Administrative Appeals

- A. The Board shall hear appeals from the decision of the Administrative Official in respect to the enforcement and application of said Code; and may affirm or reverse, in whole or in part, any decision of the Administrative Official.

2. Variances

- A. The Board shall hear requests for Variances from the literal provisions of the Zoning Code in instances where strict enforcement of the Zoning Code would cause undue hardship because of circumstances unique to the individual property under consideration, and grant such Variances only when it is demonstrated that such action will be in keeping with the spirit and intent of the provisions of the Zoning Code.
- B. The Board of Adjustment shall not permit as a Variance, any use in a zone that is not permitted under the Code.
- C. The Board of Adjustment may impose conditions in granting of a Variance to ensure compliance and to protect adjacent property.

3. Special Exceptions

The Board of Adjustment shall be permitted to take the following actions through a special exception. Special exceptions shall not be deemed variances and shall only be required to demonstrate that such action will not harm the public health, safety, and welfare.

- A. Permit a change in use or occupancy of a non-conforming use, provided the use is less intense in regard to its external impacts as the original nonconforming use.
- B. Waive parking requirements by up to 75% where it is shown that the specific use would not need the required parking.
- C. Vary any area requirements by no more than 10% of the numerical standard.

D. Appeals

A decision of the Board of Adjustment may be appealed within thirty (30) days of the decision to a court of record having jurisdiction in Saline County, Arkansas.

E. Procedure for Variance Applications

- 1. Application for Variance: An application for a Variance shall be filed with the Administrative Official. At the time of filing, the applicant shall provide the application fee. The application shall include the information and documents listed as required in the application. The application shall be due at least thirty (30) days in advance of the meeting at which the application will be heard.
- 2. Posting of Notice of Public Hearing: The applicant shall post notice of the public hearing by posting a sign on the property involved for the fifteen (15) consecutive days prior to the hearing. Posting of the sign by the prescribed time shall be the responsibility of the applicant. The city shall provide the sign. The sign shall be displayed to be prominently viewable by passing motorists or pedestrians. One sign shall be required for each two hundred (200) feet of street frontage abutting the property. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.

3. **Public Hearing:** The Board of Adjustment shall hold a public hearing on the proposed variance to allow members to comment on the application.
4. **Finding of Fact:** For the Board of Adjustment to approve an application for any proposed Variance, a majority of the entire Board must find that each of the following facts exist with respect to the application:
 - A. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, the strict letter of this Zoning Code would result in an undue hardship to the owner, as distinguished from a mere inconvenience.
 - B. The conditions causing the need for a Variance are unique to the property and are not applicable, generally, to other property within the same zoning classification.
 - C. The literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Zoning Code.
 - D. The alleged difficulty or hardship is caused by this Code and has not been created by the applicant or a previous owner of the property.
 - E. The granting of the Variance will not harm the public welfare, other property, or improvements in the neighborhood in which the property is located.
 - F. The proposed Variance will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion of the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair the property values within the neighborhood;
 - G. The proposed Variance complies with the spirit and intent of restrictions imposed by this Code.

No variance may be approved that would allow a use that is not permitted or that is implicitly or expressly prohibited. The existence of a nonconforming use or structure shall not be used as grounds to justify approval of a variance. The Board of Adjustment may provide conditions on the approval of a variance. Violation of these conditions shall be considered a violation of this Zoning Code.

5. **Conditions of Variances:** The Board of Adjustment may require such conditions or restrictions upon the construction, location, and operation of a Variance, as deemed necessary to secure the general objectives of this Code.
6. **Effect of Denial:** No application for a Variance that has been wholly or partly denied by the Board of Adjustment shall be resubmitted within a period of one (1) year from date of said denial.
7. **Lapse of Variance:**

- A. Where no building or construction is involved, approvals for the use of the property for which the Variance is issued shall expire within six (6) months if not begun.
- B. Where buildings or construction is involved, if a building permit for the construction tied to the Variance is not issued within six (6) months or completed within two (2) years, the approvals shall expire.

F. Procedure for Appeals of Decisions by the Administrative Official

1. Appeals may be made by any person aggrieved by any decision of the Administrative Official and shall be made in writing on forms prescribed by the Board within 30 days after the decision has been rendered by the Administrative Official. The appeal will be filed in the city hall. Fee for filing appeal shall be set by ordinance of the City Council, and is to be paid at time of filing.
2. Public notice of the appeal hearing shall be advertised seven (7) days in advance in a publication of general circulation within Bryant. The public notice shall give the address and location of the property, as well as a brief description of the appeal. The public hearing shall be open to comment by anyone.
3. At the hearing for the appeal, the applicant shall demonstrate to the Board of Adjustment why he/she believes the Administrative Official was incorrect in making his/her decision based upon the facts of the case and the provisions of the zoning code. Input from the public shall be allowed. The Board of Adjustment may uphold, partially uphold, or reverse the decision of the Administrative Official. The Board of Adjustment shall consider all the facts presented in determining whether the Administrative Official was correct in carrying out the provisions of the zoning code.

Administrative Official: The person(s) designated by the Mayor to administer the Zoning Code.

Antenna Array: One or more rods, panels, discs or similar devices used for the transmission or reception of radio frequency signals, which may include an omni-directional antenna (rod), a directional antenna (panel) and a parabolic antenna (disc). The Antenna Array does not include the Support Structure defined below.

Attached Wireless Communications Facility (Attached WCF): An Antenna Array that is attached to an existing building or structure which shall include, but not be limited to, utility poles, signs, water towers, with any accompanying poles or device which attaches the Antenna Array to the existing building or structure and associated connection cables, and any Equipment Facility which may be located either inside or outside the Attachment Structure.

Co-location or Site Sharing: Use of a common WCF or common site by two or more wireless communication license holders or by one wireless license holder for more than one type of communications technology or placement of a WCF on a structure owned or operated by a utility or other public entity.

FAA: The Federal Aviation Administration.

FCC: The Federal Communication Commission

FTA: The Federal Telecommunications Act of 1996.

Monopole Tower: A supporting structure composed of a solid pole without any guy-wired support.

Radio Tower, Commercial: A commercial communication tower not covered under the Telecommunications Act of 1996.

Radio Tower, Private: A radio or TV tower that is attached to a residence(s) for home or amateur use, and not covered under the Telecommunications Act of 1996.

Stealth Technology: Systems, components and materials used in the construction of the WCF, which are designed to mask or conceal the WCF to make it compatible with the surrounding property.

Support Structure: A wireless communication structure designed and constructed specifically to support an Antenna Array, and may include a monopole, guy-wire support tower, or derrick tower. Any device used to fasten an Attached WCF to an existing building or structure shall be excluded from the definition of and regulations applicable to Support Structures.

Wireless Communications: Any personal wireless service as defined in the Telecommunications Act of 1996, which includes FCC-licensed commercial wireless communications services including cellular, personal communication services (PCS), specialized mobile radio (SMR), enhanced specialized mobile radio (ESMR), paging, and similar services that currently exist or that may in the future be developed.

Wireless Communication Facility (WCF) or Tower: Any unstaffed facility covered under the Telecommunications Act of 1996 used for the transmission or reception of wireless telecommunications services, usually consisting of an Antenna Array, connection cables, an Equipment Facility, and a Support Structure to achieve the necessary elevation.

