



Bryant City Development Review Committee

Thursday, June 1st, 2017

9:00 a.m.

Bryant City Complex/Administration Conference Room

Fire Dancer BBQ

Requesting Temporary Business Permit Application Approval

Documents:

[Fire Dancer BBQ Temp App 2017.pdf](#)

433 Windrush Point

Jonathan Hope - Requesting Recommendation for Variance

Documents:

[433 Windrush Point Variance Plat.pdf](#)

[433 Windrush Point Variance App.pdf](#)

1101 North Reynolds Road

Requesting Recommendation to Planning Commission for Re-Zoning from R-E to C-2

Documents:

[1101 North Reynolds Road ReZoning.pdf](#)

[1101 North Reynolds Road ReZoning Maps.pdf](#)

Olde Savannah

1. Requesting Approval of Preliminary Plat
2. Requesting Recommendation for Re-Zoning

Documents:

[Ives OS Drainage Calcs.pdf](#)

[Ives OS Civil Plans \(1\).pdf](#)

[Ives OS Rend \(1\).pdf](#)

Screaming Eagle Fireworks

Requesting Temporary Business Permit Application

Documents:

[Screaming Eagle Fireworks Temp App 2017.pdf](#)

Wildman Arms - 25502 I-30 North

Requesting Sign Permit Application Approval

Documents:

[20170517131125.pdf](#)

HealthCare Express

Requesting Sign Permit Application Approval

Documents:

[HealthCareExpressSign.pdf](#)

Bobs Wholesale Fireworks

Requesting Temporary Business Permit Application Approval

Documents:

[Bobs Fireworks Temp App 2017.pdf](#)

David's Burgers Sign

Requesting the Approval for Moving One of the Already Approved Signs

Documents:

[ALTERNATE DRIVE basemap2016-083.pdf](#)
[Davids Burgers Sign Placement.pdf](#)

Changes To The Zoning Code - Conditional Use

Requesting Recommendation to Planning Commission

Documents:

[Zoning Code Conditional Use changes.pdf](#)

Permit Report

Greg Huggs

25-May-2017

Re: Temporary Business License
Fire Dancer BBQ, LLC
6221 Hwy 5, Bryant AR

Within this packet, please consider granting a temporary business license for my Fire Dancer BBQ food trailer.

Fire Dancer BBQ will be serving World Class Championship quality, Smoked Fresh Daily BBQ (pork, brisket, sausage, chicken, ribs, smoked mac-n-cheese, potato salad, slaw and beans). We'll be sharing with the Bryant community the Que that has won us State Championships in Arkansas, Texas, Mississippi, Tennessee, Louisiana, Alabama, Oklahoma, Missouri with more to come, been American Royal World Championship runner-up, Jack Daniels World Championship pork runner-up and 3 time Arkansas Diamond Cup Champion (2014, 2015, 2016).

Don't Burn The Day....



Eric Lee
200 W Hillcrest
Alexander AR 72002
[Facebook.com/firedancerbbq](https://www.facebook.com/firedancerbbq)

Temporary Business Application
City of Bryant

Date 25-MAY-2017

Name of Business FIRE DANCER BBQ, LLC

Federal Tax Employer Identification Number 45-5236216

Arkansas State Sales Tax Number 70266034

Type of Business MOBILE CONCESSION

Location of proposed Temporary Business 6221 HWY 5 N, BRYANT AR

Owner Mailing Address 200 W HILLCREST, ALEXANDER AR 72002

Contact Person ERIC LEE

Daytime Phone No. 501-352-0806

Evening Phone No. 501-352-0806

Please check the category you are applying for. Permits cannot exceed the following time limits:

- Carnivals..... 30 Days
- Fireworks stands or tents..... 30 Days
- Christmas tree stands, tents or lots 60 Days
- General commercial sales stands, tents or lots..... 90 Days
- Concession/Refreshment stands/Food Service 180 Days

Beginning Date Requested 5-June-17 Ending Date Requested 2-Dec-2017

I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature 

CITY OF BRYANT - BRYANT, ARKANSAS
210 S.W. Third Street, Bryant, Arkansas
Phone: (501) 847-5559 (Ext 212) or FAX: (501) 847-5332

Privilege Fee Information
TEMPORARY BUSINESS LICENSE PERMIT

(WHEN FILLING IN THE BLANKS PLEASE PRINT OR TYPE IN INK)

A \$1000.00 Surety Bond made payable to the city of Bryant is required for all applicants and must be received in this office and approved before any license will be issued.

Date: 25-MAY-2017

Business Name: FIRE DANCER BBQ, LLC
Location of Business: 6221 AR-5 BRYANT AR 72022
Mailing Address: 200 W HILLCREST
City: Alexander State: AR Zip Code: 72002
Business Telephone: 501.352.0806 Cellphone: 501.352.0806

Type of License applied for: Temporary Period license is desired: 180 days

Type of Business (Services offered or product sold): Food service, BBQ

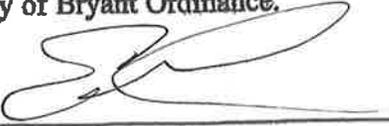
Applicants Name: ERIC LEE
Applicants Home Address: 200 W Hillcrest
City: Alexander State: AR Zip Code: 72002
Applicants Home Telephone: 501.352.0806 Cellphone: 501.352.0806

Name(s) of each employee/peddler/vendor/salesman: Eric Lee, Melissa Lee
Ashlyn Lee

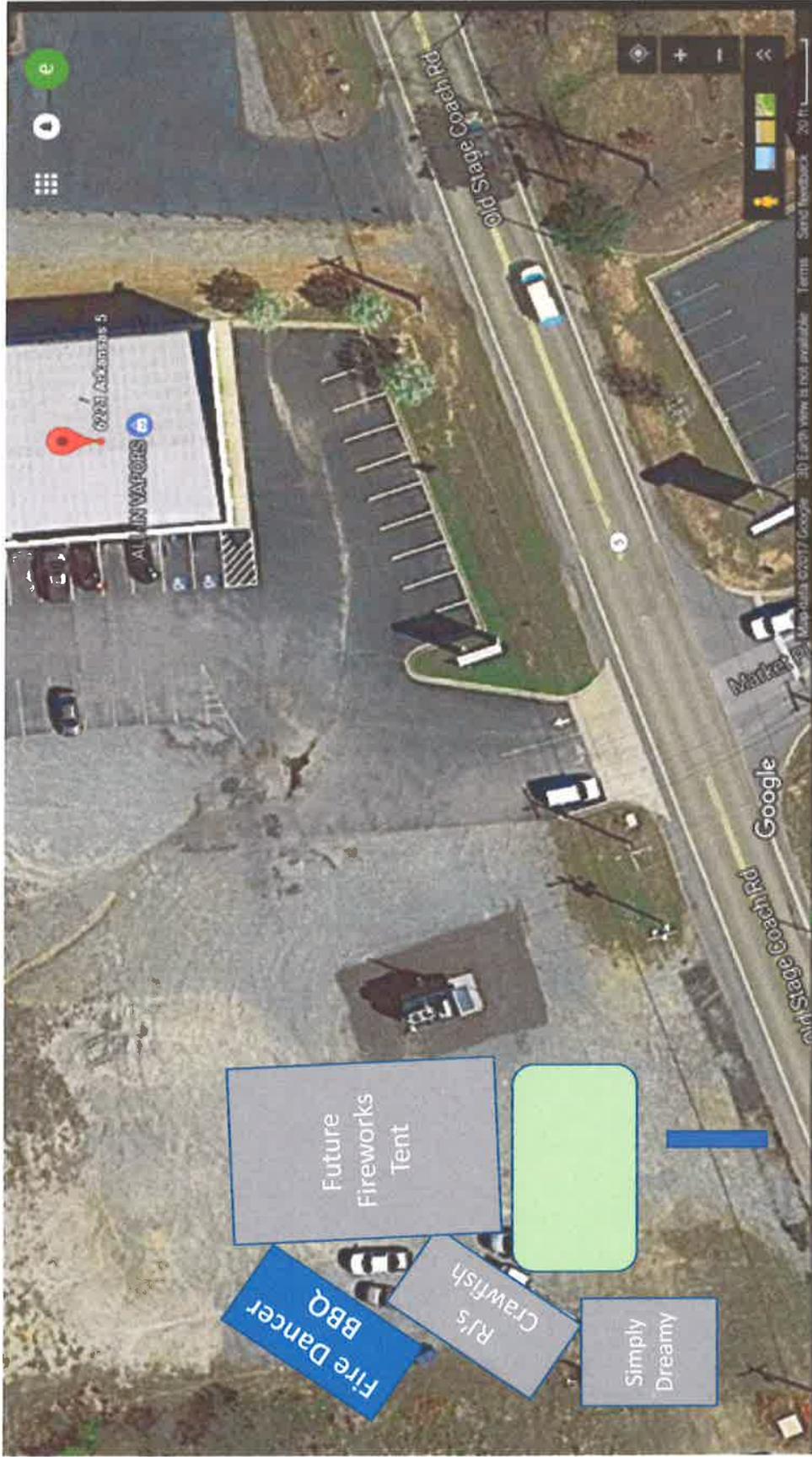
Address of business or premises to be used in Bryant: 6221 Hwy 5 N

Last two cities worked in: 1. W/2 2. W/2

I hereby certify the above to be true and correct and state that I am operating a business in accordance with the city zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand that if I am found to be in violation of any of the city zoning regulations and/or any other city laws, I may be subject to fines as outlined in any applicable City of Bryant Ordinance.


Signature of Applicant

Bond Received and Approved
Signature of Designated City Official



Blue - 25' right of way

Green - Parking location for customers

May 23, 2017

To Whom It May Concern

I, Rick Jones consent to allow Eric Lee use of the mentioned property, which is in my name for the purpose of holding and operating his concession trailer at:

**6221 Hwy 5 North
Bryant, AR 72022**

Mr Lee is at liberty to use this property as long as our lease agreement is upheld.

Regards,
Rick Jones
Northside Center
6221 Hwy 5 North
Bryant AR 72022



Arkansas Department of Health

4815 West Markham Street • Little Rock, Arkansas 72205-3867 • Telephone (501) 661-2000

Governor Asa Hutchinson

Nathaniel Smith, MD, MPH, Director and State Health Officer

May 2, 2017

Mr. Eric Lee
200 W Hillcrest
Alexander, AR 72002

RE: Project #99550
Fire Dancer
Mobile unit
Alexander, AR

Dear Sir:

The plans for the above referenced project have been reviewed by the **Environmental Health Branch- Food Service Section of the Arkansas Department of Health** and are approved on a provisional basis. The following items were not shown or were not in compliance with the **Arkansas State Board of Health Rules & Regulations pertaining to Retail Food Establishments:**

Materials that are used in the construction of utensils and food contact surfaces of equipment may not allow the migration of deleterious substances or impart colors, odors, or tastes to food and under normal use conditions shall be: safe, durable, corrosion-resistant, non-absorbent, smooth and easily cleanable, and resistant to pitting, chipping, scoring, distortion and decomposition. [Section 4-101.11]

Mobile Food Units shall operate in accordance with Section 5-3, 5-402.14 and 5-402.12 of the Food Code.

The County Environmental Health Specialist must approve the servicing area for the mobile area for the mobile food unit in accordance with 5-402.13.

Standard operating procedures that ensure compliance with the requirements of Rules and Regulations are developed or are being developed as specified in 8-201.12 (E).

Splash guards or other approved methods shall be used to protect sinks from cross-contamination as specified in 4-903.11.

The use of Approved Cooling Methods (3-501.15) may be required in order to meet the Cooling Requirements and thresholds specified in 3-501.14 and 3-501.16.

Food must be obtained from approved sources as specified in 3-201.11.

This plan is approved on a provisional basis. The above-mentioned items must be in compliance at the time of the pre-operational inspection or permission to operate will not be granted. The original plans have been forwarded to the **Saline County Environmental Health Specialist** at (501) 303-5650. **A pre-operational inspection must be made prior to beginning operations. Please contact the Environmental Health Specialist to arrange for inspection.**

Carissa Lumpkin

This approval is based on the plans submitted to this office and is void one year from the date of this letter. **Significant deviations from the approved plan could void the approval. While every effort is made to ensure these plans and specifications meet the current Retail Food Regulations, the final approval for this project rests on the local Environmental Health Specialist during the pre-opening inspection.**

This plan review does not constitute review or approval by any other section or office of the Arkansas Department of Health.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen Hedges" with a small "RS" to the right.

Stephen Hedges, R.S. Environmental Health Specialist
Food Services Section-Plan Review
Environmental Health Branch
4815 West Markham, Slot 46
Little Rock, AR 72205
(501) 661-2171

cc: Saline County Environmental Health Specialist



Effective Date: June 5th, 2017

Western Surety Company

LICENSE AND PERMIT BOND

KNOW ALL PERSONS BY THESE PRESENTS:

Bond No. 63216223

That we, Fire Dancer Bbq LLC

of Alexander, State of Arkansas, as Principal,
and WESTERN SURETY COMPANY, a corporation duly licensed to do surety business in the State of
Arkansas, as Surety, are held and firmly bound unto the

City of Bryant, State of Arkansas, as Obligee, in the penal

sum of One Thousand and 00/100 DOLLARS (\$1,000.00),
lawful money of the United States, to be paid to the Obligee, for which payment well and truly to be made,
we bind ourselves and our legal representatives, firmly by these presents.

THE CONDITION OF THE ABOVE OBLIGATION IS SUCH, That whereas, the Principal has been
licensed Food Truck City of Bryant

_____ by the Obligee.

NOW THEREFORE, if the Principal shall faithfully perform the duties and in all things comply
with the laws and ordinances, including all amendments thereto, pertaining to the license or permit
applied for, then this obligation to be void, otherwise to remain in full force and effect until
June 5th, 2018, unless renewed by Continuation Certificate.

This bond may be terminated at any time by the Surety upon sending notice in writing, by First Class
U.S. Mail, to the Obligee and to the Principal at the address last known to the Surety, and at the expiration
of thirty-five (35) days from the mailing of said notice, this bond shall ipso facto terminate and the Surety
shall thereupon be relieved from any liability for any acts or omissions of the Principal subsequent to said
date. Regardless of the number of years this bond shall continue in force, the number of claims made
against this bond, and the number of premiums which shall be payable or paid, the Surety's total limit of
liability shall not be cumulative from year to year or period to period, and in no event shall the Surety's total
liability for all claims exceed the amount set forth above. Any revision of the bond amount shall not be
cumulative.

Dated this 25th day of May, 2017.

Fire Dancer Bbq LLC

Principal

Principal

WESTERN SURETY COMPANY

By

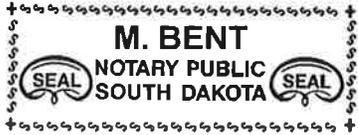
Paul T. Bruffat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

ACKNOWLEDGMENT OF SURETY
(Corporate Officer)

On this 25th day of May, 2017, before me, the undersigned officer, personally appeared Paul T. Bruflat, who acknowledged himself to be the aforesaid officer of WESTERN SURETY COMPANY, a corporation, and that he as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



M. Bent

Notary Public — South Dakota

My Commission Expires March 2, 2020

ACKNOWLEDGMENT OF PRINCIPAL
(Individual or Partners)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared _____, known to me to be the individual _____ described in and who executed the foregoing instrument and acknowledged to me that _____ he _____ executed the same.

My commission expires _____

Notary Public

STATE OF _____ }
COUNTY OF _____ } ss

ACKNOWLEDGMENT OF PRINCIPAL
(Corporate Officer)

On this _____ day of _____, _____, before me personally appeared _____ who acknowledged himself/herself to be the _____ of _____, a corporation, and that he/she as such officer being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as such officer.

My commission expires _____

Notary Public

 **Western Surety Company**

License or Permit No. _____

LICENSE AND PERMIT BOND
As

of _____

State of _____

Name of Applicant _____

Address _____

Filed _____

Approved this _____

day of _____

Western Surety Company

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruflat of Sioux Falls,
State of South Dakota, its regularly elected Vice President,
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

One Food Truck City of Bryant

bond with bond number 63216223

for Fire Dancer Bbq LLC

as Principal in the penalty amount not to exceed: \$ 1,000.00

Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force, to-wit:

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its Vice President with the corporate seal affixed this 25th day of May, 2017.

ATTEST

L. Nelson

L. Nelson, Assistant Secretary

WESTERN SURETY COMPANY

By

Paul T. Bruflat

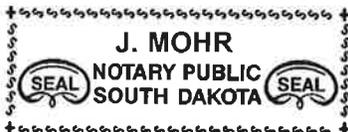
Paul T. Bruflat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss



On this 25th day of May, 2017, before me, a Notary Public, personally appeared Paul T. Bruflat and L. Nelson

who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the voluntary act and deed of said Corporation.



My Commission Expires June 23, 2021

J. Mohr

Notary Public

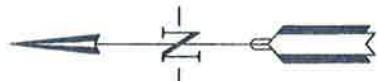
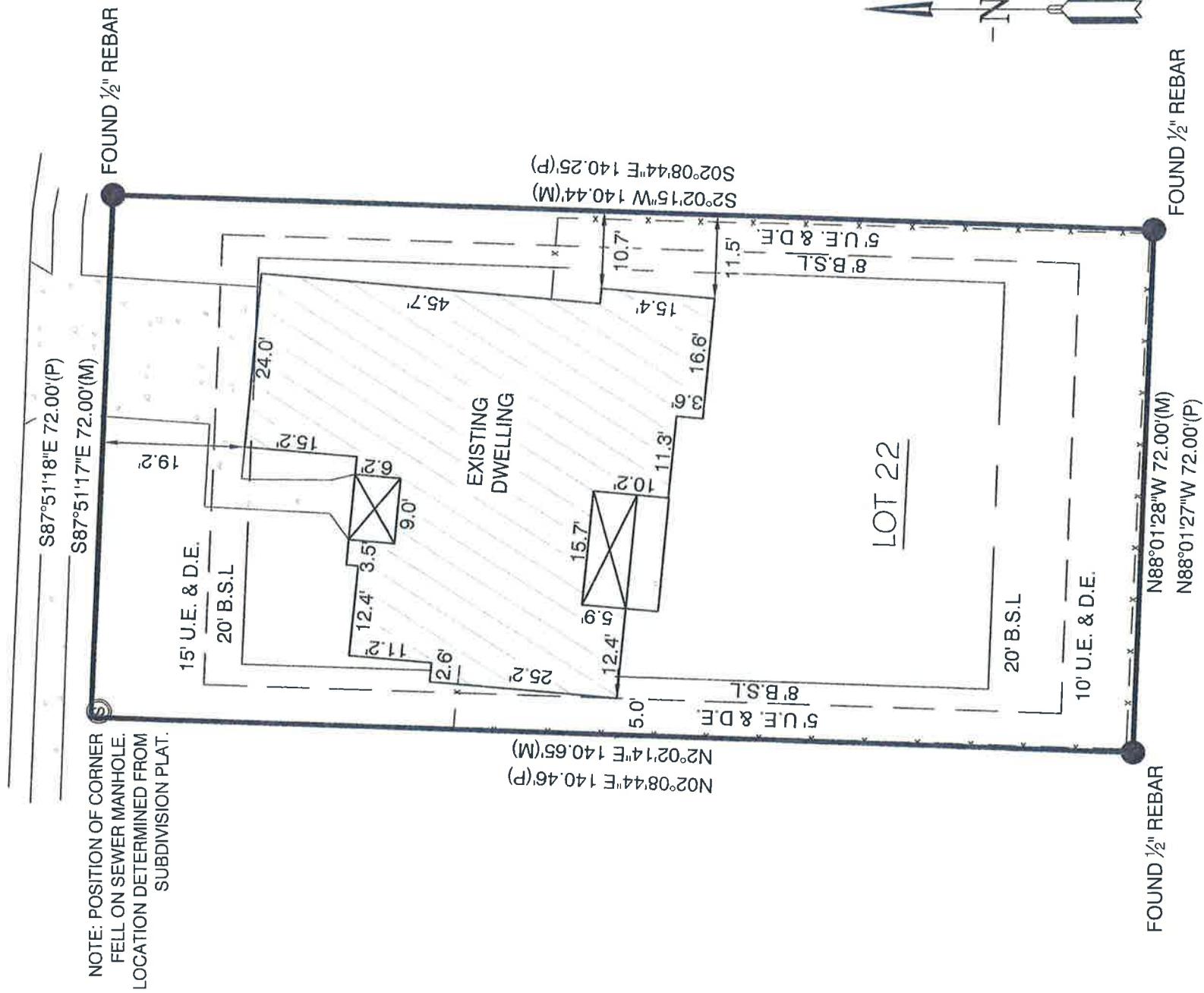
To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.





Know what's below.
Call before you dig.

WINDRUSH POINT
(50' R/W)



BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE
BY GPS OBSERVATION

LEGAL DESCRIPTION:
LOT 22, HIGHLAND VILLAGE, A SUBDIVISION IN SALINE COUNTY, ARKANSAS.



By affixing my seal and signature, I Kyle Pennington, PLS No, 1807, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year flood plane, according to the Flood Insurance Rate Map, panel # 05119C0440G, dated: 07/06/2015

For the Exclusive Use and Benefit of:
MARGERY DEANN THOMAS
REALTY TITLE & FIDELITY NATIONAL TITLE
Address 433 WINDRUSH POINT
ALEXANDER, ARKANSAS 72002 Date 02/21/2017

500	01S	14W	0	03	320	62	1807
Drawn By JPAYNE							Checked By DKP

- LEGEND
- △ - Computed point
 - - Found monument
 - - Set #4 RB/Plas. Cap
 - (M) - Measured
 - (P) - Platted
 - (R) - Record
 - ⊙ - Manhole

City of Bryant, Arkansas
BOARD OF ZONING ADJUSTMENT
APPLICATION FOR VARIANCE

APPLICANT

NAME: Margery Deann Thomas

SPOUSE NAME: _____

PROJECT LOCATION

PROPERTY ADDRESS: 433 Windrush Point, Alexander, AR 72002

LEGAL DESCRIPTION: Lot 22, Highland Village, a Subdivision in Saline County, Arkansas.

DESCRIPTION OF VARIANCE BEING SOUGHT (attach any necessary drawings):
Reduction of the front setback to 18' and side setback to 5'.

PROPOSED USE: _____

Existing Zoning Classification: R1S

Requested Change: _____

Plat of Property is Attached:

Vicinity map of property is attached:

The undersigned designates the following process agent or attorney to represent the applicant at all hearings: Jonathan Hope

This 23rd day of May, 2017

Margery Deann Thomas
Applicant's Signature

Applicant's Spouse Signature

Applicant's address

Applicant's Phone

HOPE

CONSULTING

ENGINEERS - SURVEYORS

117 S. Market St. Benton, AR 72015 * 501-315-2626 * Fax 501-315-0024

May 25, 2017

City of Bryant Board of Zoning Adjustments

210 SW 3rd Street

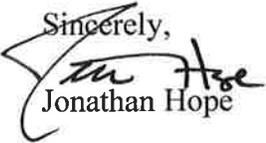
Bryant, AR 72022

Dear Board Members,

We would like to request a variance for 433 Windrush Point, Alexander, Arkansas (Lot 22 Highland Village Subdivision) on behalf of the owner Margery Thomas. The home was built slightly over the front and west side property line. We would like to request that the front setback be reduced to 19' and the side to 5'.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope

HOPE

CONSULTING

ENGINEERS - SURVEYORS

117 S. Market St. Benton, AR 72015 * 501-315-2626 * Fax 501-315-0024

5/12/2017

RE: Variance Request

The property located at 433 Windrush Point, Alexander AR 72002 is being considered for variance to reduce the front and side building set-backs. The property is zoned R1.S. The property is more particularly described as follows:

Lot 22 Highland Village, A Subdivision in Saline County, Arkansas.

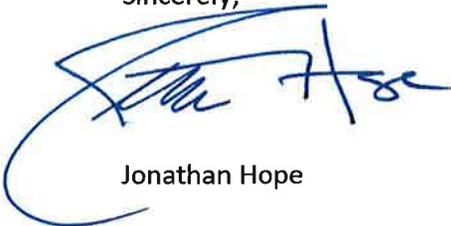
A petition has been filed with the Board of Adjustment for this variance. As a part of this process, a public hearing will be held June 12th, 2017 at 6:00 p.m. in the Bryant City Office Complex at 210 SW 3rd Street, Bryant Arkansas 72022. Public comments will be accepted at that time regarding this variance.

Since you own property within 300 feet of the tract in consideration, you have been mailed this letter via certified mail as required by City Ordinance. I am also enclosing a vicinity map for your use.

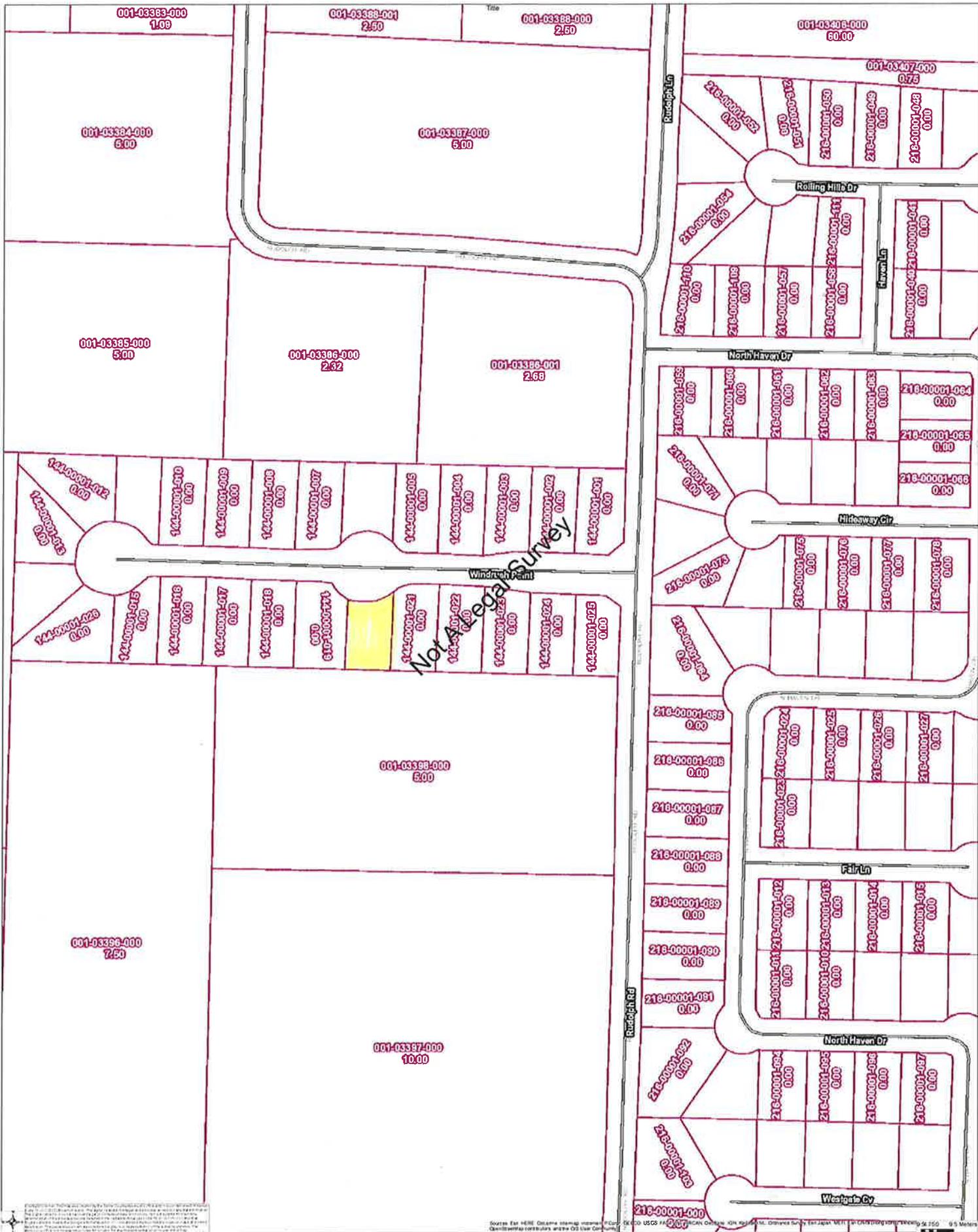
Should you have any questions regarding this matter you may contact Truett Smith, Planning and Community Development Director, at the City of Bryant at 501-943-0999, or myself at 501-860-0467.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope



REALTY TITLE

4000 Hwy. 5 North, Suite 4
Bryant, AR 72022
Phone: 501-653-2272
Fax: 501-653-2271

May 22, 2017

Below is a list of property owners within 300' of Lot 22, Highland Village:

Lot 1 Highland Village	408 Windrush Point	Melissa Peterman
Lot 2 Highland Village	416 Windrush Point	Robert Digby & Katelyn Ratliff
Lot 3 - Sold, but not closed	Windrush Point	Southern General Contractors, LLC
Lot 4 - Sold, but not closed	Windrush Point	Southern General Contractors, LLC
Lot 5 Highland	440 Windrush Point	Brandy Leung
Lot 6 - no house	Windrush Point	Southern General Contractors, LLC
Lot 7 Highland Village	456 Windrush Point	William & Jamie Miller
Lot 8 Highland Village	464 Windrush Point	Rachel Rickford & Pamela Hatcher
Lot 9 Highland Village	472 Windrush Point	Matthew Kings
Lot 10 Highland Village	480 Windrush Point	Justin & Brittany Drost
Lot 11 Highland Village	488 Windrush Point	Aaron Cunningham
Lot 12 - Sold, but not closed	Windrush Point	Southern General Contractors, LLC
Lot 21 Highland Village	441 Windrush Point	William Ray & Candice Richardson
Lot 22 Highland Village	433 Windrush Point	Margery DeAnn Thomas
Lot 23 Highland Village	425 Windrush Point	Matt & Kelli Brown
Lot 24 - no house	Windrush Point	Southern General Contractors, LLC
Lot 25 - Sold, but not closed	Windrush Point	Southern General Contractors, LLC

Sincerely,

Dana Fry

Dana Fry
Realty Title

HOPE
CONSULTING
ENGINEERS - SURVEYORS

Monday April 17, 2017

Truett Smith
City of Bryant
210 Southwest Third St., Bryant, AR 72022

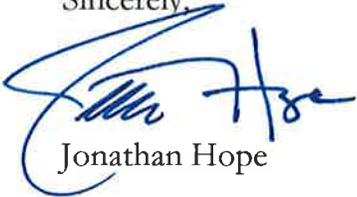
RE: Rezoning R-E to C-2 1101 N. Reynolds Road

Dear Mr. Smith,

On behalf of our client, Hope Consulting is formally requesting that the City of Bryant Planning Commission to begin the review and approval process for the rezoning of this property located at 1101 N. Reynolds Rd.

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

Sincerely,



Jonathan Hope

117 SOUTH MARKET ST. BENTON, ARKANSAS 72015
501-315-2626
WWW.HOPECONSULTING.COM

**APPLICATION
FOR CHANGE IN
ZONING DISTRICT BOUNDARIES**

Applicant Name: Rebecca Langford + Debra Morrow

Spouse Name: _____

Property Address: 1101 N. Reynolds Rd Bryant AR 72022

Legal Description: North 1/2 SW 1/4 Sec. 27 T-1-S R-14-W

Please see attached for complete legal description -

Existing Zoning Classification: R-E (Residential no sewer)

Requested Change: C-2 (Hwy Commercial)

Plat of Property is Attached

Vicinity Map of property is attached _____

The undersigned designates the following process agent or attorney to represent the applicant at all hearings:

This 17 day of April, 2017

Rebecca Langford + Debra Morrow
Applicant

Spouse of Applicant _____

945 N. Grand Ave.

Address Indianapolis, IN 46219

317-590-7249 or 501-258-8505 (Debra Morrow)

Phone

Date: 4/17/2017

Name: Rebecca Langford
Address
945 N. Grand Ave.
Indianapolis, IN 46219

RE: Re-zoning Petition 1101 N Reynolds Rd Bryant AR is being
considered for re-zoning from R-E to C-2.

The property is more particularly described as follows:

INSERT LEGAL DESCRIPTION OF THE PROPERTY

SEE ATTACHMENT

A petition has been filed with the City of Bryant Planning Commission to re-zone the property. As a part of this process a public hearing will be held May, 8th 2017 at 6:00p.m. in the Boswell Community Center, 210 Southwest 3rd Street, Bryant, Arkansas 72022.

Public comments will be accepted at that time regarding this re-zoning. Since you own property within 300 feet of the tract in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0309 and ask for Truett Smith or by calling me (Jonathan Hope) at 501-315-2626.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope
Hope Consulting, Inc.

THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NOTHEAST CORNER OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27. THENCE SOUTH $01^{\circ}06'31''$ WEST ALONG THE EAST LINE THEREOF 425.00 FEET: THENCE NORTH $89^{\circ}38'23''$ WEST LEAVING SAID EAST LINE 356.37 FEET TO A POINT IN THE CENTER OF REYNOLDS ROAD; THENCE SOUTH $16^{\circ}17'48''$ EAST ALONG THE CENTERLINE OF REYNOLDS ROAD 197.55 FEET TO THE POINT OF BEINNING: THENCE SOUTH $16^{\circ}17'48''$ EAST CONTINUING ALONG SAID CENTER OF REYNOLDS ROAD 361.81 FEET: THENCE SOUTH $89^{\circ}57'30''$ WEST LEAVING SAID ENTERLINE OF REYNOLDS ROAD 1286.09 FEET: THENCE NORTH $00^{\circ}58'21''$ EASST 350.36 FEET: THENCE NORTH $89^{\circ}57'43''$ EAST 1177.77 FEET TO THE POINT OF BEGINNING. CONTAINING 9.91 ACRES, MORE OR LESS.

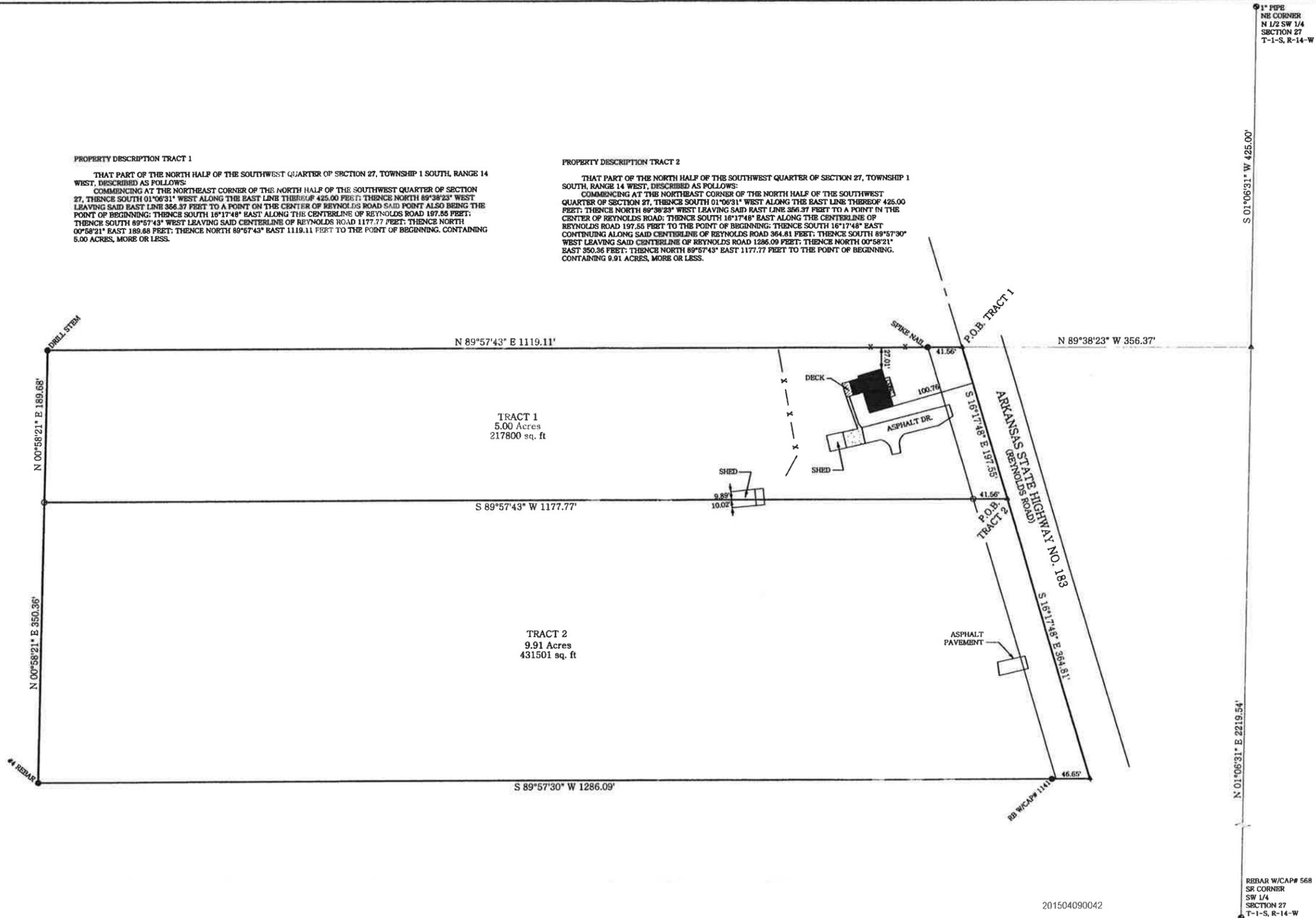


PROPERTY DESCRIPTION TRACT 1

THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, THENCE SOUTH 01°06'31" WEST ALONG THE EAST LINE THEREOF 425.00 FEET; THENCE NORTH 89°38'23" WEST LEAVING SAID EAST LINE 366.37 FEET TO A POINT ON THE CENTER OF REYNOLDS ROAD SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 18°17'48" EAST ALONG THE CENTERLINE OF REYNOLDS ROAD 197.85 FEET; THENCE SOUTH 89°57'43" WEST LEAVING SAID CENTERLINE OF REYNOLDS ROAD 1177.77 FEET; THENCE NORTH 00°58'21" EAST 189.68 FEET; THENCE NORTH 89°57'43" EAST 1119.11 FEET TO THE POINT OF BEGINNING. CONTAINING 5.00 ACRES, MORE OR LESS.

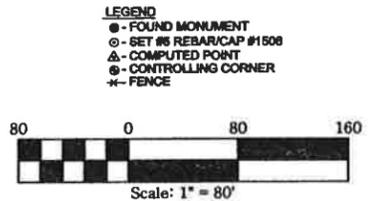
PROPERTY DESCRIPTION TRACT 2

THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, THENCE SOUTH 01°06'31" WEST ALONG THE EAST LINE THEREOF 425.00 FEET; THENCE NORTH 89°38'23" WEST LEAVING SAID EAST LINE 366.37 FEET TO A POINT IN THE CENTER OF REYNOLDS ROAD; THENCE SOUTH 18°17'48" EAST ALONG THE CENTERLINE OF REYNOLDS ROAD 197.55 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 16°17'48" EAST CONTINUING ALONG SAID CENTERLINE OF REYNOLDS ROAD 364.81 FEET; THENCE SOUTH 89°57'30" WEST LEAVING SAID CENTERLINE OF REYNOLDS ROAD 1286.09 FEET; THENCE NORTH 00°58'21" EAST 350.36 FEET; THENCE NORTH 89°57'43" EAST 1177.77 FEET TO THE POINT OF BEGINNING. CONTAINING 9.91 ACRES, MORE OR LESS.



#1 REBAR
 N 00°58'21" E 189.68'
 N 00°58'21" E 350.36'
 #4 REBAR

1" PIPE
 NE CORNER
 N 1/2 SW 1/4
 SECTION 27
 T-1-S, R-14-W
 S 01°06'31" W 425.00'
 N 01°06'31" E 2219.54'
 REBAR W/CAP# 568
 SE CORNER
 SW 1/4
 SECTION 27
 T-1-S, R-14-W



308 W. South Street
 Benton, AR 72015
 Office/Fax: (501) 860-0693
 E-Mail: asaron@rasurvey.com

I hereby certify that the above plat represents a survey made by me or under my supervision on this day. No independent search for encumbrances, covenants, or any other facts which an accurate title search may disclose was performed.

FOR USE AND BENEFIT OF:
 KATHY LEWALLEN AND
 DEBRA K. TRACY MORROW
 AND REBECCA LANGSFORD
 PROPERTY ADDRESS:
 1105 NORTH REYNOLDS ROAD
 BRYANT, AR. 72022



FILE: C:\DRAWINGS\118-14WS27\MORROW	DATE: 02-19-15	DRAWN BY: DCR
STATE CODE: 500-01S-14W-0-27-300-02-1008	JOB#: 005-15	CHECKED BY: JAR

201504090042

STORMWATER FLOW and DETENTION POND CALCULATOR

Existing Conditions: Stormwater drains from the north to south across the site.

Proposed Conditions: Stormwater will continue to flow in the same direction through overland flow to detention pondS to the south and southwest.

Pre-Development Flows

Detention Pond 1

GIVEN:

Drainage Area 2.85 Acres
 Flow Length 165 Feet
 Slope (Average) 7.20%

Average C Value
 paved area 0.20 acre 0.95 = C
 vegetated areas 2.65 acre 0.40 = C
 Cavg = 0.44

Time of Concentration: 12.00 min Nomograph

Based on Slope = 7.2%

Flow length =165ft

n = .44 n values obtained from nomograph based on avg grass

Rainfall Intensities:

Based on Tc = 12 min

Pre-Developed Flow

Q = CIA

Cavg = 0.44
 I100 = 8.2 in/hr
 I50 = 7.8 in/hr
 I25 = 6.9 in/hr
 I10 = 6 in/hr
 I2 = 4.4 in/hr
 A = 2.85 Acres

Qu100 = 10.25 CFS
Qu50 = 9.75 CFS
Qu25 = 8.63 CFS
Qu10 = 7.50 CFS
Qu2 = 5.50 CFS

Post-Development Flows

GIVEN:

Drainage Area 2.85 Acres
 Flow Length 225 Feet
 Slope (Average) 4.00%

Average C Value

Paved Area	1.18	acre	0.95	= C
Sodded/Lawn	1.67	acre	0.35	= C
Cavg =	0.60			

Time of Concentration: 13.00 min

Based on Slope =4.0%

Flow length = 225 ft

navg = 0.45 Average n value obtained from weighted average
 of fraction of flow over pavement and lawn areas.

Rainfall Intensities:

Based on Tc = 13 min

Post-Developed Flow

Q = CIA

C =	0.60	
I100 =	8	in/hr
I50 =	7	in/hr
I25 =	6.4	in/hr
I10 =	5.4	in/hr
I2 =	4.2	in/hr
A =	2.85	Acres

Qd100 =	13.64	CFS
Qd50 =	11.94	CFS
Qd25 =	10.92	CFS
Qd10 =	9.21	CFS
Qd2 =	7.16	CFS

Detention Pond Storage Volume Requirements:

From Above:

Pre-Development Flow:	Qu25 = 8.63 CFS	Circular Inlet Flow
Post-Development Flow:	Qd100 = 13.64 CFS	Max Flow from det pond (pipe)

Storage Volume Required:

$V = \text{time} \times Q_{in} \times 60 \text{ sec/min} - 0.5 \times Q_{out} \times (\text{Time} + T_c) \times 60 \text{ sec/min}$

15 min **V100req = 3545.78 CF**
V50req = 2399.44 CF
V25req = 2454.13 CF
V10req = 1870.28 CF
V2req = 1754.66 CF
Use 100 yr **Vs= 4254.94 CF**

Detention Pond Size **A= 3835.00 sf**
av. depth= 1.50 ft
v avail= 5752.50 cf

Total storage volume available: 5752.50 CF > volume required: OK

Outlet Pipe From Detention Pond (Qd100)

PIPE TYPE	DIAM. INCHES	PIPE n	SLOPE	CAPACITY CFS	VELOCITY FT. SEC
Discharge: 24" HDPE	24	0.012	0.0032	13.86	4.41

Circular Inlet Size (Qu25)

Diameter (in.)	Area (SF)	Head (ft)	Coeff. (Co)	Flow (CFS)
11.9	0.77	3.00	0.80	8.59

Use 11.9" opening for Qu25 Flow =8.59 cfs

Pre-Development Flows

Detention Pond 2

GIVEN:

Drainage Area 1.05 Acres
Flow Length 165 Feet
Slope (Average) 8.00%

Average C Value				
paved area	0.00	acre	0.95	= C
vegetated areas	1.05	acre	0.40	= C
Cavg =	0.40			

Time of Concentration: 11.00 min Nomograph

Based on Slope = 8%

Flow length =165ft

n = .44 n values obtained from nomograph based on avg grass

Rainfall Intensities:

Based on Tc = 11 min

Pre-Developed Flow

Q = CIA

Cavg = 0.40

I100 = 8.4 in/hr
 I50 = 8 in/hr
 I25 = 7.1 in/hr
 I10 = 6.2 in/hr
 I2 = 4.6 in/hr
 A = 1.05 Acres

Qu100 = 3.53 CFS
Qu50 = 3.36 CFS
Qu25 = 2.98 CFS
Qu10 = 2.60 CFS
Qu2 = 1.93 CFS

Post-Development Flows

GIVEN:

Drainage Area 1.05 Acres
 Flow Length 240 Feet
 Slope (Average) 4.00%

Average C Value

Paved Area	0.51	acre	0.95	= C
Sodded/Lawn	0.54	acre	0.35	= C
Cavg =	0.64			

Time of Concentration: 14.00 min

Based on Slope = 4.0%

Flow length = 240 ft

navg = 0.37 Average n value obtained from weighted average
 of fraction of flow over pavement and lawn areas.

Rainfall Intensities:

Based on Tc = 14 min

Post-Developed Flow

Q = CIA

C = 0.64
 I100 = 7.9 in/hr
 I50 = 6.9 in/hr
 I25 = 6.3 in/hr
 I10 = 5.3 in/hr
 I2 = 4 in/hr
 A = 1.05 Acres

Qd100 = 5.32 CFS
Qd50 = 4.65 CFS

Qd25 = 4.24 CFS
Qd10 = 3.57 CFS
Qd2 = 2.69 CFS

Detention Pond Storage Volume Requirements:

From Above:

Pre-Development Flow: Qu25 = 2.98 CFS Circular Inlet Flow
Post-Development Flow: Qd100 = 5.32 CFS Max Flow from det pond (pipe)

Storage Volume Required:

$$V = \text{time} \times Q_{in} \times 60 \text{ sec/min} - 0.5 \times Q_{out} \times (\text{Time} + T_c) \times 60 \text{ sec/min}$$

15 min **V100req = 2188.02 CF**
V50req = 1325.73 CF
V25req = 1287.69 CF
V10req = 997.50 CF
V2req = 782.78 CF
 Use 100 yr **Vs= 2625.62 CF**

Detention Pond Size **A= 1695.00 sf**
av. depth= 1.75 ft
v avail= 2966.25 cf

Total storage volume available: 2966.25 CF > volume required: OK

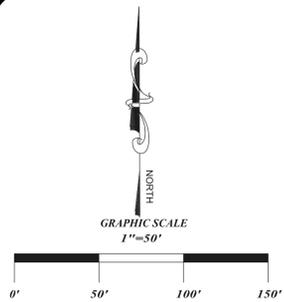
Outlet Pipe From Detention Pond (Qd100)

PIPE TYPE	DIAM. INCHES	PIPE <i>n</i>	SLOPE	CAPACITY CFS	VELOCITY FT. SEC
Discharge: 18" HDPE	18	0.012	0.0022	5.34	3.02

Circular Inlet Size (Qu25)

Diameter (in.)	Area (SF)	Head (ft)	Coeff. (Co)	Flow (CFS)
7	0.27	3.00	0.80	2.97

Use 7" opening for Qu25 Flow =2.97 cfs



CERTIFICATE OF FINAL SURVEYING ACCURACY

I, DONNIE HOLLAND, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY AND A PLAN MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL INTERIOR LOT LINES HAVE BEEN ADJUSTED TO "AS BUILT CONDITIONS" AND ARE ACCURATELY DESCRIBED ON THE PLAT AND IDENTIFIED ON THE GROUND IN TERMS OF LENGTH AND DIRECTION OF THE PROPERTY SIDES AS REQUIRED IN ACCORD WITH THE SALINE COUNTY SUBDIVISION REGULATION ORDINANCE.

DATE OF EXECUTION _____
 DONNIE HOLLAND
 REGISTERED LAND
 SURVEYOR
 NO. 1625, ARKANSAS

CERTIFICATE OF PRELIMINARY PLAT APPROVAL

PURSUANT TO THE CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS, THIS DOCUMENT WAS GIVEN APPROVAL BY THE BRYANT PLANNING COMMISSION AT A MEETING HELD _____ 2017. ALL OF THE DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

(SIGNED) _____
 BRYANT PLANNING COMMISSION
 DATE OF EXECUTION _____

CERTIFICATE OF OWNER

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE, SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE CAUSED TO BE LAID OFF, PLATTED, AND SUBDIVIDED, AND TO HEREBY LAY OFF, PLAT, AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE PLAT.

DATE OF EXECUTION _____
 OWNER/DEVELOPER:
 IVES INVESTMENTS GROUP, LLC
 4844 LAKE NORRELL ROAD
 ALEXANDER, AR 72002
 SOURCE OF TITLE: BK 2016 PG 019586

CERTIFICATE OF RECORDING

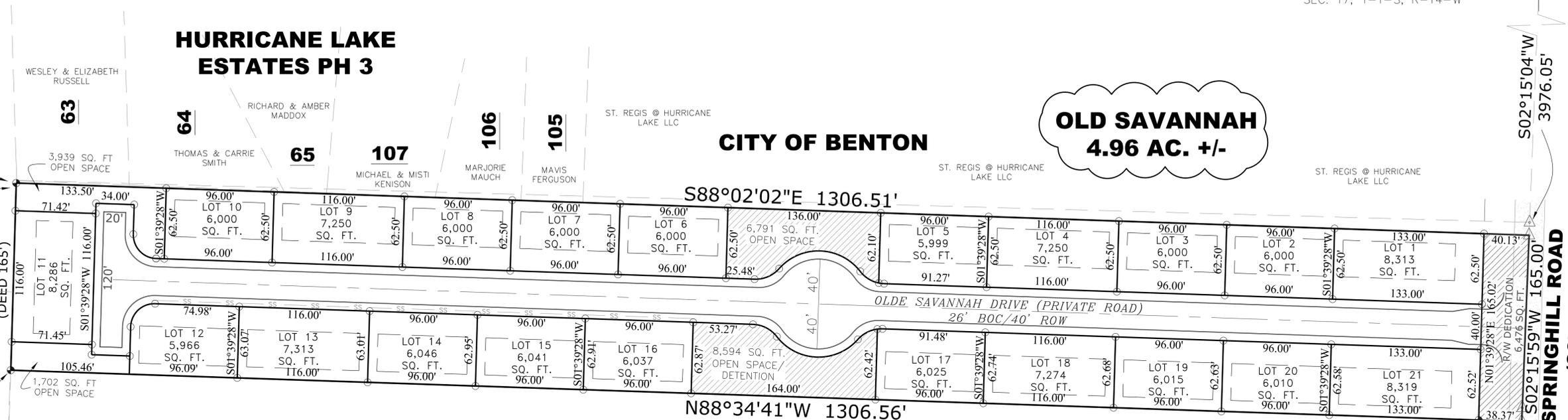
THIS DOCUMENT, NUMBER _____, IS FILED FOR RECORD ON THIS _____ DAY OF _____ 2017 AT _____ AM/PM. IN PLAT OR DEED BOOK _____ PAGE _____.

SIGNED _____
 TITLE _____



VICINITY MAP - N.T.S.

NE COR. NE1/4-NE1/4,
 SEC. 17, T-1-S, R-14-W



OLD SAVANNAH
 4.96 AC. +/-

STAMPS

REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF ARKANSAS
 DONNIE HOLLAND
 NO. 1625

CERTIFICATE OF AUTHORIZATION
 THE SENTINEL GROUP, LLC
 No. 1269
 ARKANSAS-ENGINEER

REGISTERED PROFESSIONAL ENGINEER
 STATE OF ARKANSAS
 ERIC E. KREBS
 No. 11833

RIGHT OF WAY DEDICATION DESCRIPTION:
 A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 01 SOUTH, RANGE 14 WEST, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE SAID SE1/4 OF THE SE1/4 OF SECTION 17, THENCE NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE SAID SE1/4 OF THE SE1/4 A DISTANCE OF 1155.11 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 34 MINUTES 41 SECONDS WEST A DISTANCE OF 38.37 FEET TO THE WEST RIGHT OF WAY LINE OF SPRINGHILL ROAD; THENCE NORTH 01 DEGREES 39 MINUTES 28 SECONDS EAST ALONG SAID WEST RIGHT OF WAY LINE A DISTANCE OF 165.02 FEET TO A POINT; THENCE SOUTH 88 DEGREES 02 MINUTES 02 SECONDS EAST A DISTANCE OF 40.13 FEET TO A POINT ON THE EAST LINE OF THE SAID SE1/4 OF THE SE1/4; THENCE SOUTH 02 DEGREES 15 MINUTES 59 SECONDS WEST ALONG SAID EAST LINE A DISTANCE OF 165.00 FEET, RETURNING TO THE POINT OF BEGINNING, CONTAINING 6,476 SQUARE FEET MORE OR LESS.

PROPERTY DESCRIPTION OF OLD SAVANNAH:
 A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 01 SOUTH, RANGE 14 WEST, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE SAID SE1/4 OF THE SE1/4 OF SECTION 17, THENCE NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE SAID SE1/4 OF THE SE1/4 A DISTANCE OF 1155.11 FEET TO A POINT; THENCE NORTH 88 DEGREES 34 MINUTES 41 SECONDS WEST A DISTANCE OF 38.37 FEET TO THE WEST RIGHT OF WAY LINE OF SPRINGHILL ROAD BEING THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 34 MINUTES 41 SECONDS WEST A DISTANCE OF 1306.56 FEET TO A FOUND 5/8" REBAR; THENCE NORTH 01 DEGREES 40 MINUTES 33 SECONDS EAST A DISTANCE OF 165.67 FEET TO A FOUND 5/8" REBAR; THENCE SOUTH 88 DEGREES 02 MINUTES 02 SECONDS EAST A DISTANCE OF 1306.51 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE SPRINGHILL ROAD; THENCE SOUTH 01 DEGREES 39 MINUTES 28 SECONDS WEST ALONG THE SAID WEST RIGHT OF WAY LINE A DISTANCE OF 165.02 FEET, RETURNING TO THE POINT OF BEGINNING, CONTAINING 4.96 ACRES, MORE OR LESS.

CURRENT ZONING: R-2
 NUMBER OF LOTS: 21

LAYOUT NOTES:
 SETBACKS:
 FRONT: 20 FT
 SIDE: 8 FT (25 FT AT ROAD ROW) 18" WHITE OAK BRS N58°W 54ft
 REAR: 10 FT
 MAX. 21 LOTS
 USE: DUPLEXES
 LOT WIDTH: VARIES FROM 96' TO 116'
 LOT DEPTH: 62.5 FT
 PRIVATE ROAD: 40' ROW/26' BOC
 OPEN SPACE: 10%

FLOOD STATEMENT:
 GRAPHIC PLOTTING OF THE INFORMATION SHOWN ON FLOOD INSURANCE RATE MAP NO. 05125C 0380D, DATED JUNE 19, 2012, INDICATES THAT THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

MAGNETIC READING UNDER ASPHALT USED AS SE COR. SE1/4-SE1/4, SEC. 17, T-1-S, R-14-W BASED ON PREVIOUS SURVEYS IN AREA
 PP BRS S89°20'E 48ft

The Sentinel Group, LLC
 Civil Engineering - Development - Planning - Project Management
 2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

OWNER / DEVELOPER
IVES INVESTMENTS GROUP, LLC

PRELIMINARY PLAN
OLDE SAVANNAH
SPRINGHILL RD.,
BRYANT, ARKANSAS

DATE: 05/01/2017	C.A.D. BY: EEK	DRAWING NUMBER:
REVISIONS:	CHECKED BY: E. Krebs	C1
	SCALE: 1" = 50'	SHEET NUMBER:

CITY OF BENTON

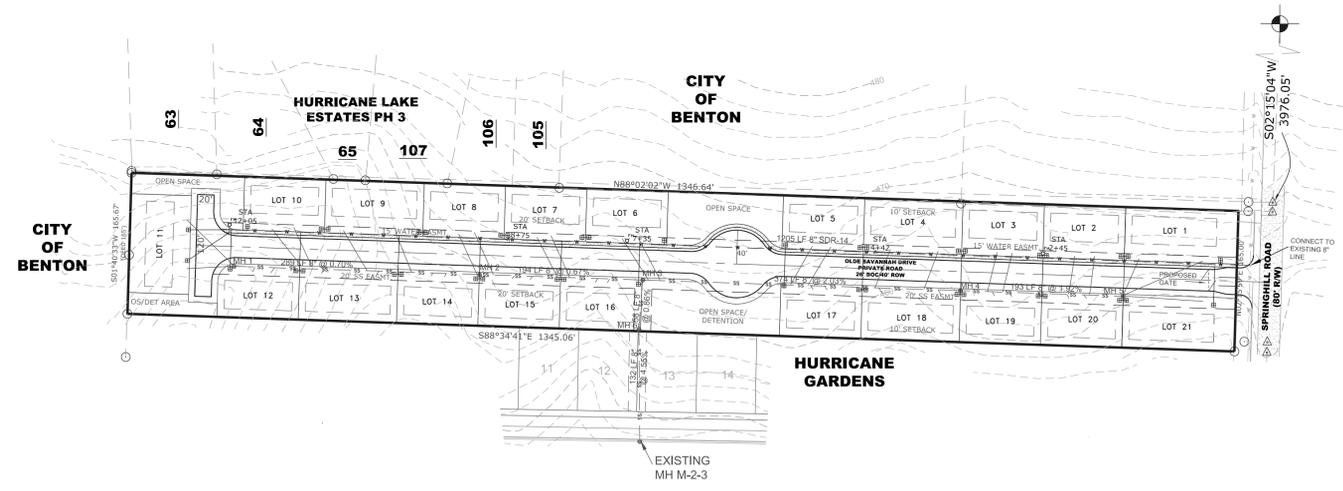
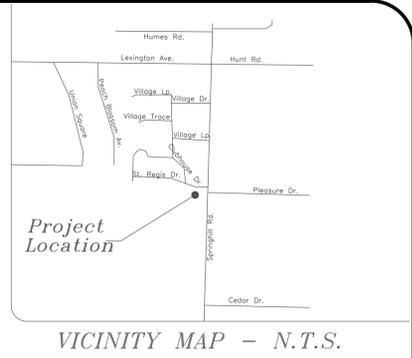
HURRICANE GARDENS
 MAPLES DEVELOPMENT COMPANY, LLC

P.O.B. OLDE SAVANNAH
 FOUND 1/2" REBAR BY PLS#1625

P.O.B. R/W DEDICATION

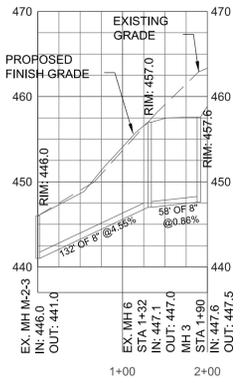
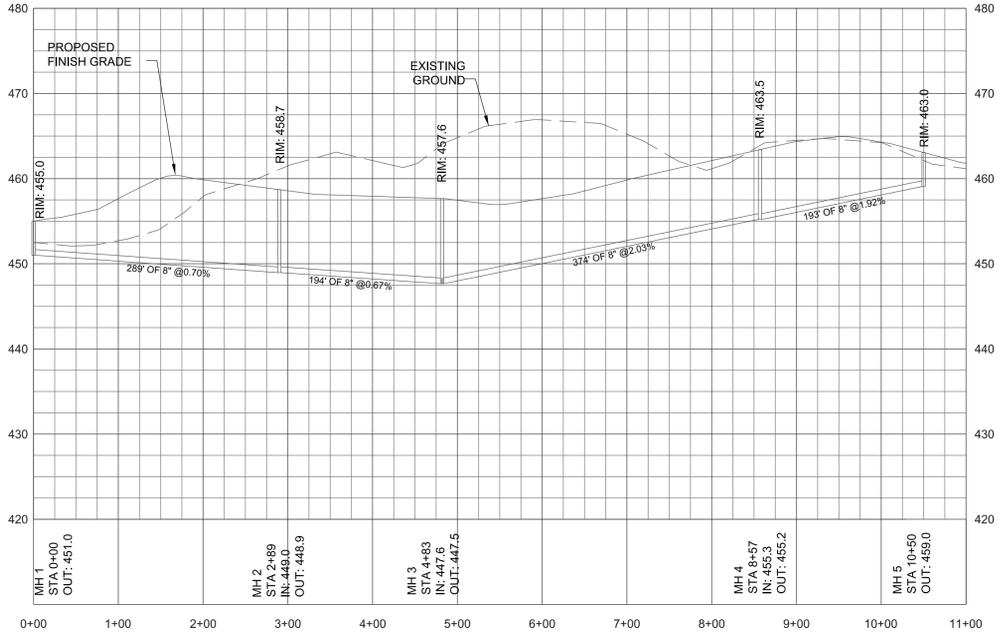
LEGEND			
—	PROPERTY LINE	⊠	METER POLE
—	OVERHEAD UTILITY	⊠	TELEPHONE PEDESTAL
—	OVERHEAD ELECTRIC	⊠	SEWER MANHOLE
—	GAS LINE	⊠	FIRE HYDRANT
—	WATER LINE	⊠	SIGN/SIGN POST
—	SANITARY SEWER LINE	⊠	GUY ANCHOR
(p)	PER PLAT	⊠	SOIL BORE
(b)	PER DEED	⊠	POWER POLE w/TRANSFORMER
(m)	AS PER MEASURED IN FIELD	⊠	POWER POLE
+	SHOWN FOR DIRECTION ONLY (LINE CONTINUES)	⊠	EDM
△	CALCULATED POINT	⊠	END OF MARKINGS
○	SET 1/2" REBAR w/CAP (UNLESS NOTED)	⊠	MAT.
○	FND 1/2" REBAR (UNLESS NOTED)	⊠	CPS
⊠	WATER METER	⊠	C.I.
⊠	WATER VALVE (UNLESS NOTED)	⊠	n16
⊠	PLA	⊠	D.I.
⊠	GAS METER	⊠	E.M.
⊠	LIGHT POLE	⊠	REF.
		⊠	UGE
		⊠	OHE
		⊠	TYPICAL UNDERGROUND ELECTRIC
		⊠	15p
		⊠	IP
		⊠	w
		⊠	WELDED
		⊠	METER/LIGHT POLE

All Symbols May Not Appear On Drawing. Use As Applicable.



GENERAL NOTES:

- SOURCE OF WATER: SALEM WATER USERS, LLC; SOURCE OF SANITARY SEWER: CITY OF BRYANT
- ALL WATER AND SANITARY SEWER LINES TO BE CONSTRUCTED/INSTALLED IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS.
- ALL WATER AND SEWER LINES SHALL BE CONSTRUCTED WITHIN APPLICABLE EASEMENTS AS SHOWN. ALL WATER LINES SHALL BE PVC SDR-14 PIPE, AND ALL SEWER LINES SHALL BE PVC SDR-26 PIPE.
- PER MIKE BOLIN, ENGINEER FOR HURRICANE GARDENS, THE HURRICANE GARDENS SANITARY SEWER SYSTEM/LIFT STATION HAS SUFFICIENT CAPACITY TO ACCOMMODATE SEWER FLOWS FROM OLDE SAVANNAH SYSTEM.
- MAINTAIN MINIMUM 3 FT OF COVER OVER ALL SANITARY SEWER LINES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES/ELEVATION IN THE FIELD. IF THERE ARE ANY DISCREPANCIES CONTACT PROJECT MANAGER.
- FOR SPECIFIC SPECIFICATIONS/CONSTRUCTION DETAILS FOR WATER/SEWER FIXTURES AND APPURTENANCES, SEE THE CITY OF BRYANT STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS PROVIDED.



SANITARY SEWER AND WATER PLAN & PROFILE

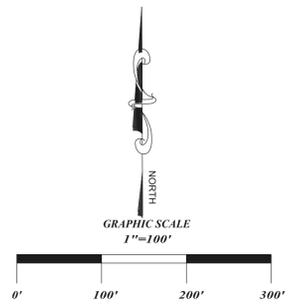
CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADE BEFORE AND DURING CONSTRUCTION

CONTRACTOR IS ALSO RESPONSIBLE FOR SHORING AND ENSURING THAT THERE IS NO SLOUGHING OF ADJACENT PROPERTY UNLESS OTHERWISE APPROVED IN WRITING BY THE ADJACENT PROPERTY OWNER.

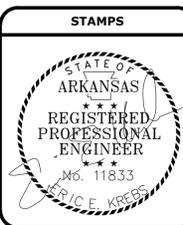
UTILITY CONTACTS:	
ELECTRIC: ENTERGY BERNARD NEUMER 9 ENTERGY COURT LITTLE ROCK, AR 72211 501-954-5158	SEWER: CITY OF BRYANT HOWARD HOOVER 1019 S.W. 2ND ST. BRYANT, AR 72022 501-943-0468
GAS: CENTERPOINT ENERGY ANDREW TOWNSEND 401 W. CAPITOL SUITE 600 LITTLE ROCK, AR 72201 501-377-4679	TELEPHONE: ATT LYNDA PALMER 1111 W. CAPITOL, RM. 941 LITTLE ROCK, AR 72201 501-373-5255
WATER: SALEM WATER USERS MARK EFIRD 620 AIRLANE DR. BENTON, AR 72015 501-315-0555	

**** UTILITY WARNING ****

48 HOURS BEFORE YOU DIG
CALL
ARKANSAS ONE CALL
(TOLL FREE)
1-800-482-8996
PRIOR TO CONSTRUCTION FOR
UNDERGROUND UTILITY LOCATION



REVISION BLOCK		
NO.	DESCRIPTION	DATE

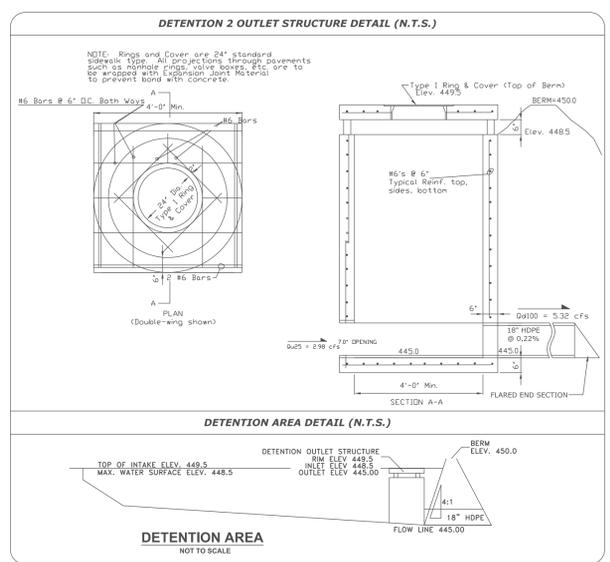
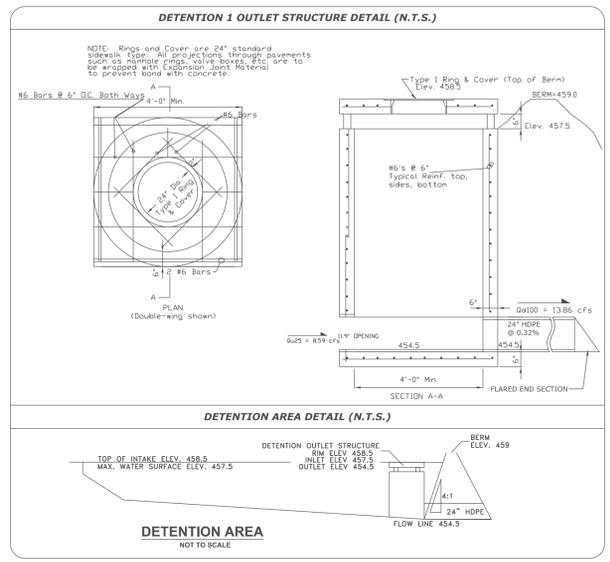


The Sentinel Group, LLC
Civil Engineering - Development - Planning - Project Management
2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

OWNER / DEVELOPER
IVES INVESTMENTS GROUP, LLC

WATER/SEWER PLAN & PROFILE
OLDE SAVANNAH PUD
SPRINGHILL ROAD
BRYANT, ARKANSAS

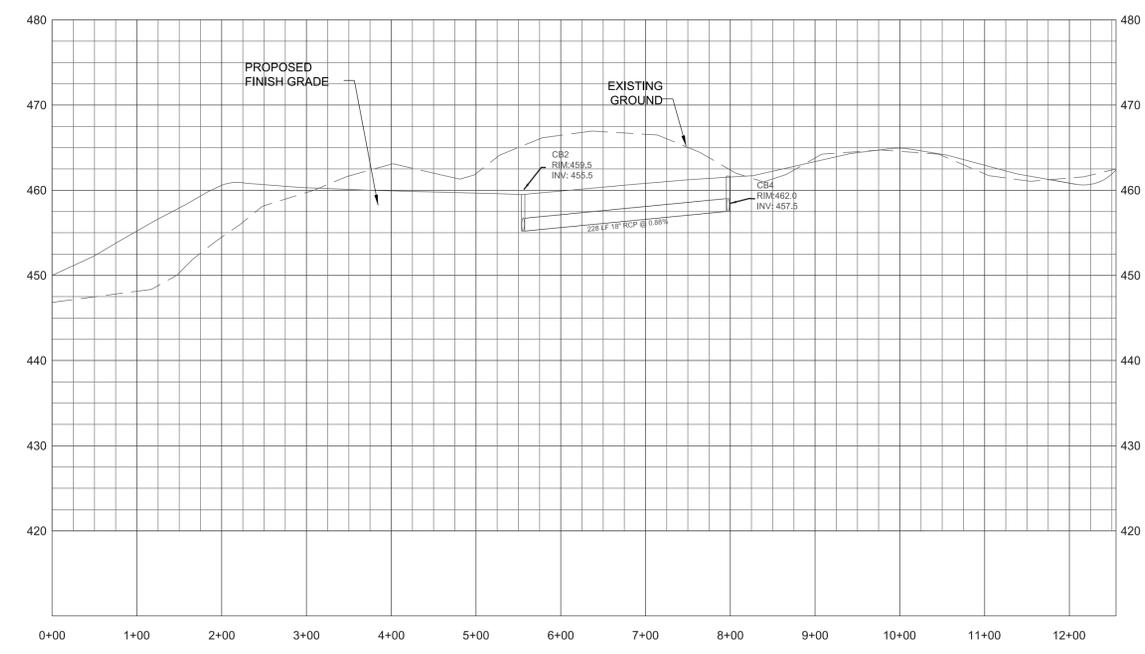
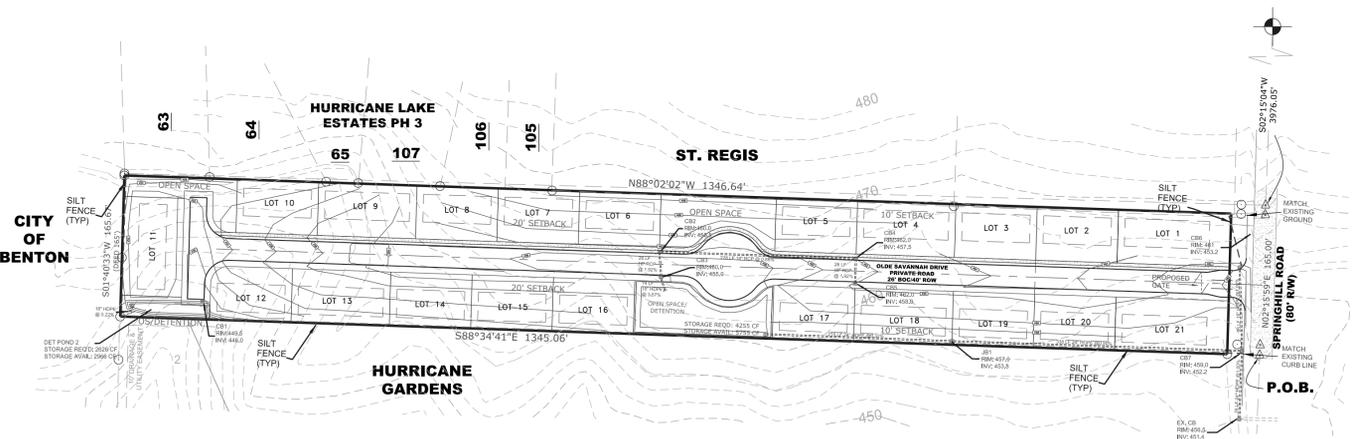
DATE: 05/15/2017	C.A.D. BY: EEK	DRAWING NUMBER:
REVISED:	CHECKED BY: E. Krebs	C2
	SCALE: 1" = 100'	SHEET NUMBER:



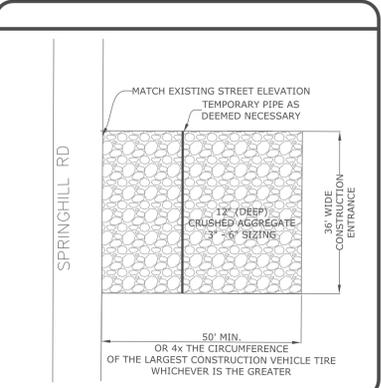
LEGEND

—	PROPERTY LINE	⊠	METER POLE
—	OVERHEAD UTILITY	⊠	TELEPHONE PEDESTAL
—	OVERHEAD ELECTRIC	⊠	SEWER MANHOLE
—	GAS LINE	⊠	FIRE HYDRANT
—	WATER LINE	⊠	SOIL/SIGN POST
—	SANITARY SEWER LINE	⊠	GUY ANCHOR
⊠	(H) PER PLAT	⊠	SOIL BORE
⊠	(M) PER DEED	⊠	POWER POLE w/TRANSFORMER
⊠	(M) AS PER MEASURED IN FIELD	⊠	POWER POLE
⊠	SHOWN FOR DIRECTION ONLY (LINE CONTINUES)	⊠	END OF MARKINGS
⊠	CALCULATED POINT	⊠	EDM MATERIAL
⊠	SET 1/2" REBAR w/CAP (UNLESS NOTED)	⊠	CPS
⊠	FND 1/2" REBAR (UNLESS NOTED)	⊠	MATERIAL
⊠	WATER METER	⊠	CURB INLET
⊠	WATER VALVE (UNLESS NOTED)	⊠	NOT TO SCALE
⊠	PLASTIC	⊠	DUCTILE IRON
⊠	GAS METER	⊠	ELECTRIC METER
⊠	LIGHT POLE	⊠	REFERENCE
		⊠	UNDERGROUND ELECTRIC
		⊠	OVERHEAD ELECTRIC
		⊠	TYPICAL
		⊠	INTERMEDIATE PRESSURE
		⊠	W
		⊠	WELDED
		⊠	METER/LIGHT POLE

All Symbols May Not Appear On Drawing. Use As Applicable.



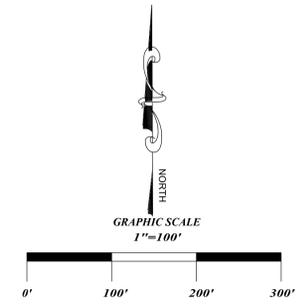
OLDE SAVANNAH DRIVE PROFILE



CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADE BEFORE AND DURING CONSTRUCTION

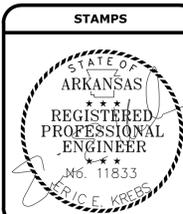
CONTRACTOR IS ALSO RESPONSIBLE FOR SHORING AND ENSURING THAT THERE IS NO SLOUGHING OF ADJACENT PROPERTY UNLESS OTHERWISE APPROVED IN WRITING BY THE ADJACENT PROPERTY OWNER.

- ### EROSION CONTROL NOTES
- The site must be posted as required by the NPDES Permit, to include the NPDES Notice of Intent, Permit Number, and this plan.
 - All stormwater pollution control measures must be inspected every 7 days.
 - A rain gauge is required to be installed somewhere on site. If the gauge indicates 1/2" or more of rainfall within a 24 hr. period, an inspection of all control measures must be accomplished immediately.
 - Hay bales will be installed at all storm inlets to reduce silt and sediment entering the receiving stream.
 - Records must be maintained for all inspections conducted. All control measures must be maintained to adequately filter silt and debris that may exit the site by storm water runoff.
 - A silt fence barrier is to be placed 70' on each side of the centerline of right of way at the time of road construction.
 - All sedimentation basins will be used for erosion control purposes.

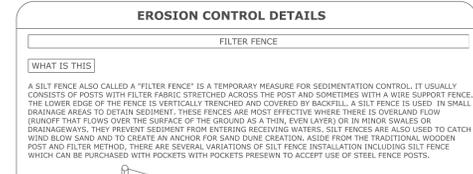


**** UTILITY WARNING ****

48 HOURS BEFORE YOU DIG CALL ARKANSAS ONE CALL (TOLL FREE) 1-800-482-8998 PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATION

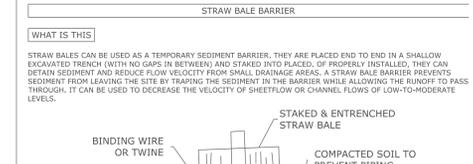


VICINITY MAP - N.T.S.



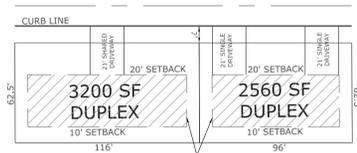
STORMWATER DETENTION POND MAINTENANCE PLAN:

- OPERATION AND MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. ALL STRUCTURES INCLUDING DETENTION PONDS, INTAKE/OUTLET STRUCTURES, PIPES, ETC. SHALL BE ROUTINELY INSPECTED AND REPAIRED AS NECESSARY TO AVOID REDUCED CONVEYANCE CAPACITY, DISPLEASING AESTHETICS, AND ULTIMATE FAILURE. SEDIMENT AND DEBRIS SHALL BE PERIODICALLY REMOVED FROM STORMWATER FEATURES. INLETS SHALL ALSO BE ROUTINELY CLEARED OF DEBRIS TO MAINTAIN SYSTEM CAPACITY.
- DEVELOPER SHALL PROVIDE FOR PERPETUAL MAINTENANCE OF PRIVATE DRAINAGE FACILITIES. PRIVATE FACILITIES ARE THOSE DRAINAGE IMPROVEMENTS WHICH REMAIN ON PRIVATE PROPERTY AND HAVE NOT BEEN OFFICIALLY ACCEPTED BY THE CITY FOR OWNERSHIP AND MAINTENANCE.
- ACCESS SHALL BE PROVIDED TO ALL STORMWATER FACILITIES FOR MAINTENANCE AND INSPECTION AS NECESSARY. DEVELOPERS SHALL BE RESPONSIBLE FOR PROVIDING SYSTEM FEATURES TO FACILITATE MAINTENANCE OF DRAINAGE SYSTEMS, INCLUDING INLETS, PIPES, CULVERTS, AND DETENTION AREAS AND APPURTENANCES. FOR ADDITIONAL INFORMATION, SEE CITY OF BRYANT STORMWATER MANAGEMENT MANUAL.
- POC FOR STORMWATER FACILITY MAINTENANCE IS: IVES AND ASSOCIATES (ATTN: RANDY IVES) P.O. BOX 22407, LITTLE ROCK, AR 72221 (501)658-2281

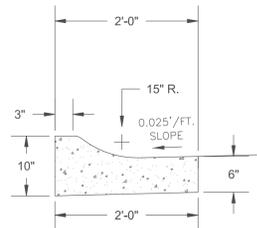


The Sentinel Group, LLC
Civil Engineering - Development - Planning - Project Management
2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

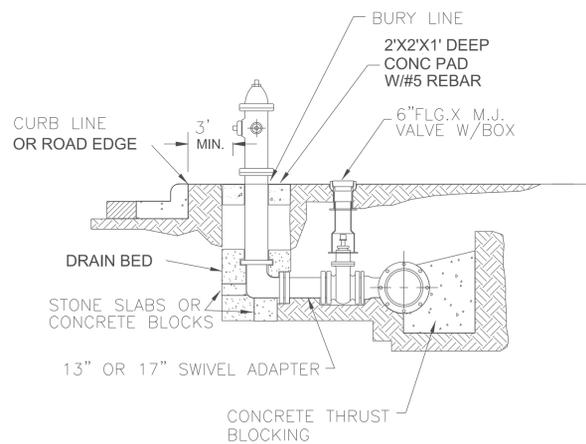
OWNER / DEVELOPER IVES INVESTMENTS GROUP, LLC		
GRADING/DRAINAGE/EROSION CONTROL OLDE SAVANNAH PUD SPRINGHILL ROAD BRYANT, ARKANSAS		
DATE: 05/19/2017	C.A.D. BY: EEK	DRAWING NUMBER:
REVISED:	CHECKED BY: E. Krebs	C3
	SCALE: 1" = 100'	SHEET NUMBER:



TYPICAL LOT LAYOUT
NTS

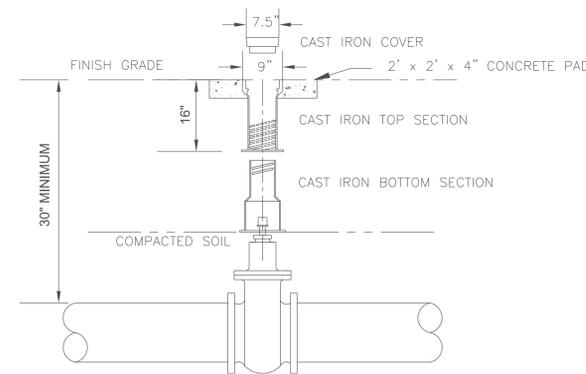


CONCRETE CURB SECTION



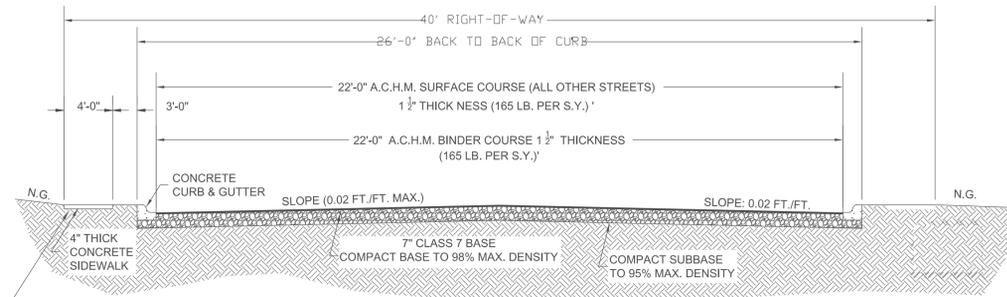
FIRE HYDRANT & VALVE DETAIL

N.T.S.



VALVE INSTALLATION DETAIL

N.T.S.



TYPICAL STREET & SIDEWALK SECTION

N.T.S.

ROAD BASE UNDERCUTTING NOTE:
ALL AREAS NOTED TO BE UNDERCUT BY THE PROJECT GEOTECHNICAL REPORT SHALL HAVE EXISTING UNSUITABLE MATERIAL REMOVED TO THE RECOMMENDED DEPTH AND THE REMOVED MATERIAL SHALL BE DISPOSED OF. THE UNDERCUT SHALL BE FILLED WITH LOW VOLUME CHANGE EARTHEN MATERIAL. THE UNDERCUT FILL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.

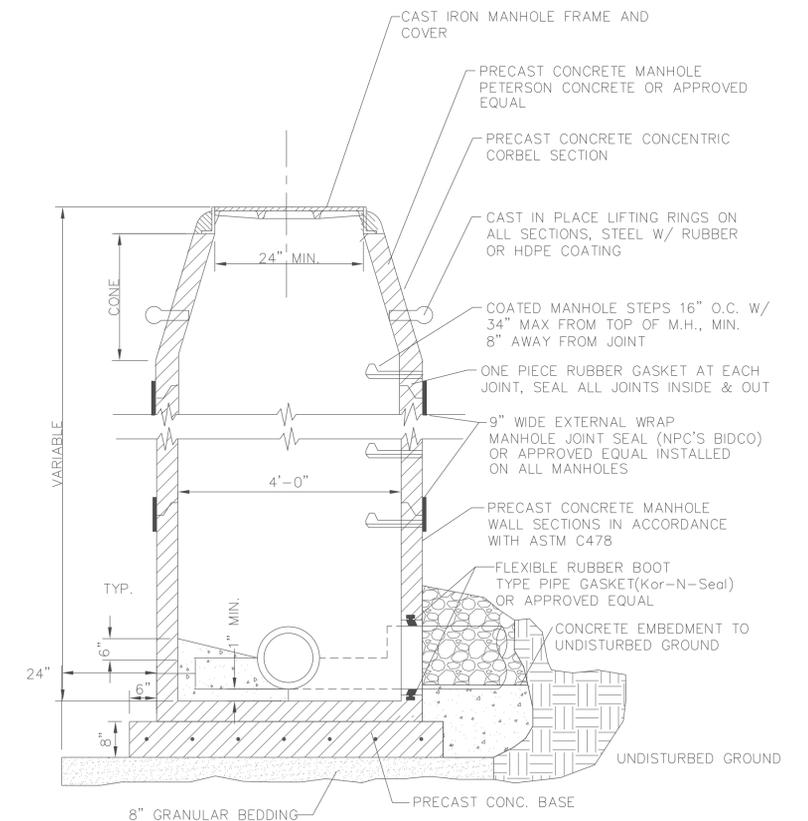
COMPACT SUBGRADE UNDER ALL SIDEWALKS TO 90% OF MAX. DENSITY (MOD. PROCTOR) MIN. SIDEWALKS SHALL NOT BE PLACED ON GRASSY OR ORGANIC MATERIALS

SIDEWALK NOTES:

1. ALL SIDEWALKS SHALL BE REINFORCED WITH WOVEN WIRE FABRIC REINFORCEMENT.
2. CONTRACTION JOINTS SHALL BE CONSTRUCTED PERPENDICULAR TO THE SIDEWALK AT 4'-0" INTERVALS.
3. EXPANSION JOINTS SHALL BE CONSTRUCTED PERPENDICULAR TO THE SIDEWALK AT 20'-0" INTERVALS, & AT DRIVEWAYS, DROP INLETS AND CURBS. JOINTS SHALL BE MADE WITH 1/2" NON-EXTRUDING PRE-FORMED EXPANSION JOINT FILLER.
4. SIDEWALKS SHALL COMPLY WITH ALL ADA REQUIREMENTS, AND SHALL HAVE A MAXIMUM TRANSVERSE SLOPE OF 2%.

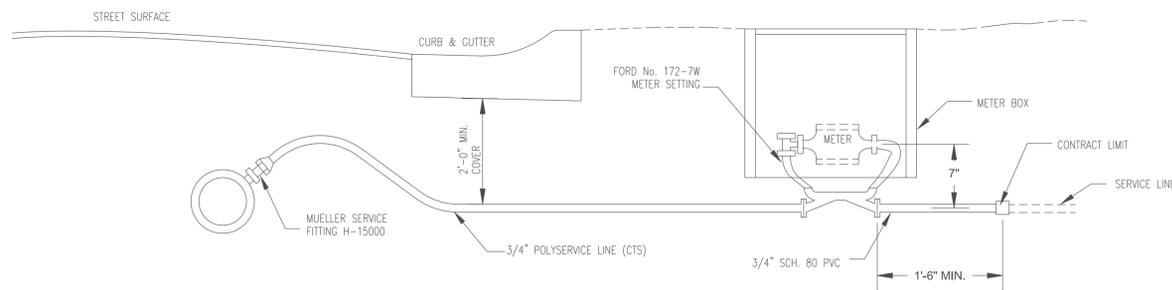
CONCRETE NOTE:

ALL CONCRETE USED IN CURBS & GUTTERS AND SIDEWALKS SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, MINIMUM.



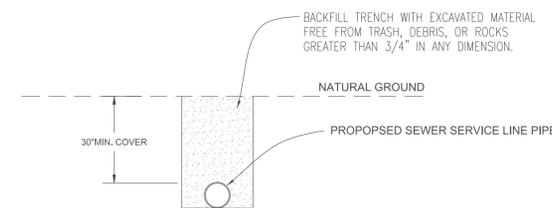
PRECAST CONCRETE MANHOLE

N.T.S.



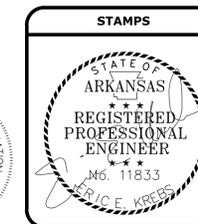
TYPICAL SERVICE CONNECTION

N.T.S.

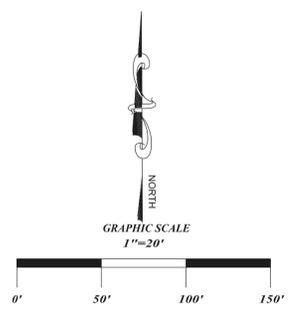
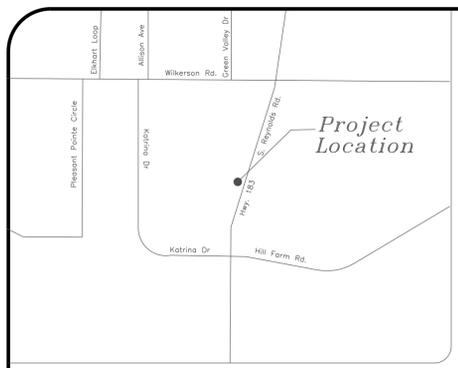


TYPICAL SEWER SERVICE LINE TRENCH DETAIL
WITH NO RESURFACING REQUIRED

N.T.S.



<p>The Sentinel Group, LLC Civil Engineering - Development - Planning - Project Management 2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547</p>		
<p>OWNER / DEVELOPER IVES INVESTMENTS GROUP, LLC</p>		
<p>GENERAL SITE DETAILS OLDE SAVANNAH PUD SPRINGHILL ROAD BRYANT, ARKANSAS</p>		
DATE: 03/14/2016	C.A.D. BY: EEK	DRAWING NUMBER:
REVISIONS:	CHECKED BY: E. Krebs	C4
	SCALE: AS SHOWN	SHEET NUMBER:



LEGEND

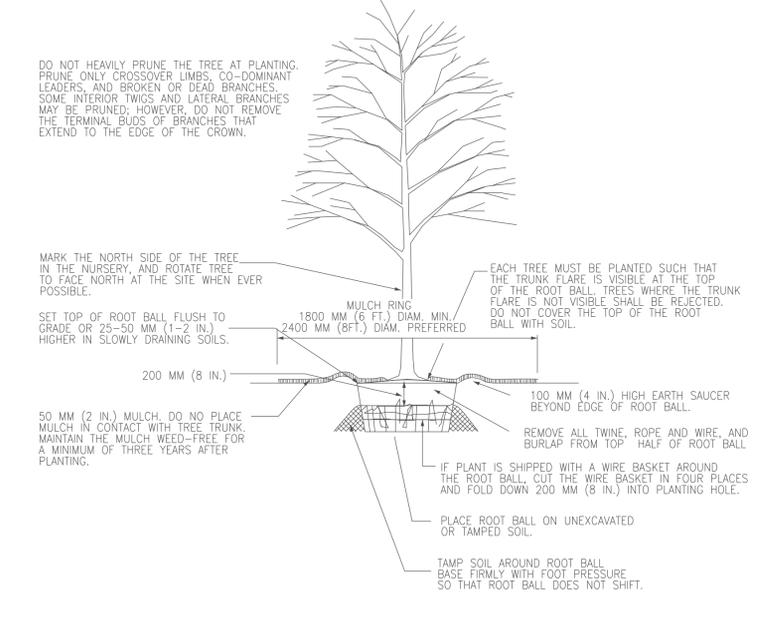
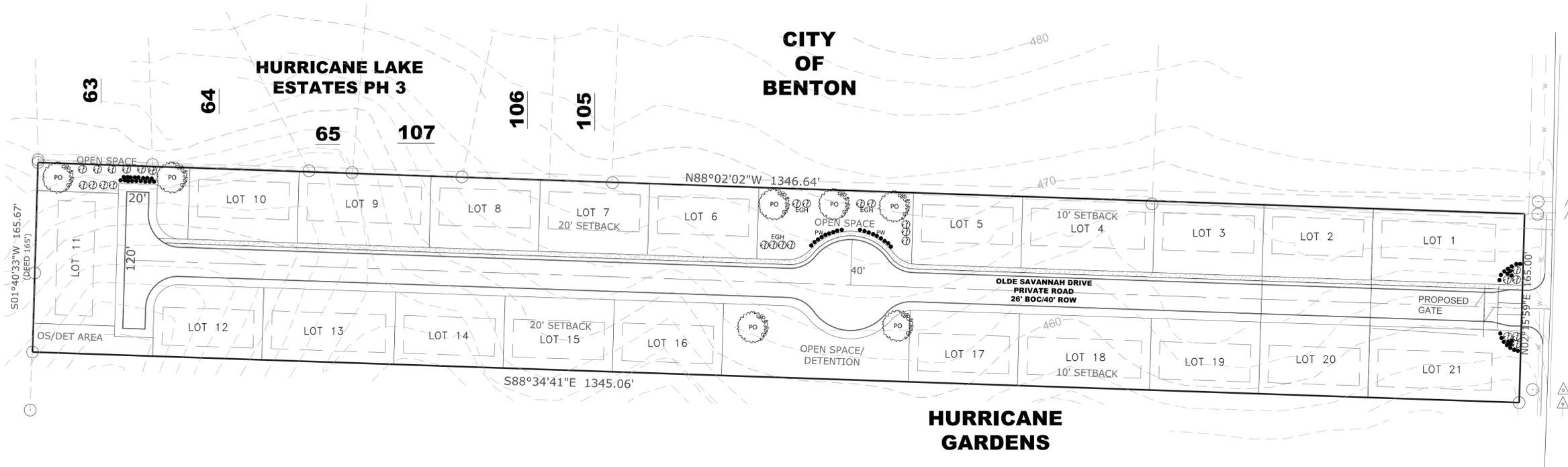
—	PROPERTY LINE	⊠	METER POLE
—	OVERHEAD UTILITY	⊞	TELEPHONE PEDESTAL
—	OVERHEAD ELECTRIC	⊟	SEWER MANHOLE
—	GAS LINE	⊠	FIRE HYDRANT
—	WATER LINE	⊠	SIGN/SIGN POST
—	SANITARY SEWER LINE	⊠	QUI ANCHOR
⊠	PER PLAT	⊠	SOIL BORE
⊠	PER DEED	⊠	POWER POLE w/TRANSFORMER
(m)	AS PER MEASURED IN FIELD	⊠	POWER POLE
⊠	SHOWN FOR DIRECTION ONLY (LINE CONTINUES)	⊠	END OF MARKINGS MATERIAL
⊠	CALCULATED POINT	⊠	COTTON PICKER SPINDLE
⊠	SET 1/2" REBAR w/CAP (UNLESS NOTED)	⊠	CURB INLET
⊠	FND 1/2" REBAR (UNLESS NOTED)	⊠	NOT TO SCALE
⊠	WATER METER	⊠	DUCTILE IRON
⊠	WATER VALVE (UNLESS NOTED)	⊠	ELECTRIC METER
⊠	PLASTIC	⊠	REF.
⊠	GAS METER	⊠	UNDERGROUND ELECTRIC
⊠	LIGHT POLE	⊠	OVERHEAD ELECTRIC
		⊠	TYPICAL
		⊠	IP
		⊠	INTERMEDIATE PRESSURE
		⊠	W
		⊠	WELDED
		⊠	METER/LIGHT POLE

All Symbols May Not Appear On Drawing. Use As Applicable.

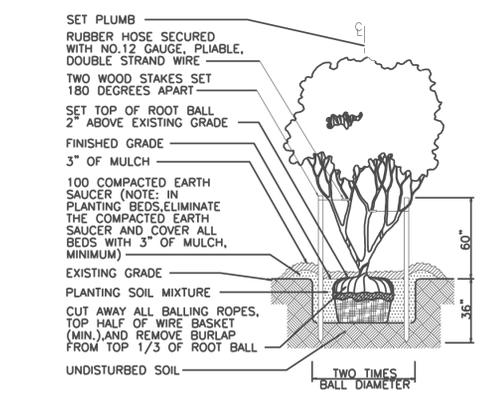
- LANDSCAPING NOTES**
- A. GRADING NOTES:**
- CONTRACTOR TO GRADE ALL AREAS SHADED IN THE PLAN, INCLUDING ROW.
 - TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
 - TILL SOIL TO A DEPTH OF 4" MINIMUM.
 - REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
 - GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
 - ALL GRADED AREAS TO RECEIVE SEED OR SOD. TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- B. LAWN SEEDING AND SODDING NOTES:**
- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
 - AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
 - SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 2/3 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
 - STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR, FREE OF ERODED OR BARE AREAS.
- C. LANDSCAPE NOTES:**
- ALL LANDSCAPING SHALL BE INSTALLED/MAINTAINED IN ACCORDANCE WITH THE CITY OF BRYANT LANDSCAPING REGULATIONS.
 - ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
 - ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
 - ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
 - ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
 - PRIOR TO FINAL ACCEPTANCE, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS OUTLINED IN SECTIONS A-C ABOVE.
 - MAXIMUM SLOPE CUTS SHALL NOT EXCEED 4:1. ALL DISTURBED GRADES GREATER THAN 8:1 SHALL BE STABILIZED BY SODDING. SODDING PINS ARE TO BE USED ON ALL 4:1 GRADES.
- D. IRRIGATION NOTES:**
- ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
 - IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
 - A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
 - LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.
 - IRRIGATION DESIGN TO BE PROVIDED BY LANDSCAPE CONTRACTOR.

VICINITY MAP - N.T.S.

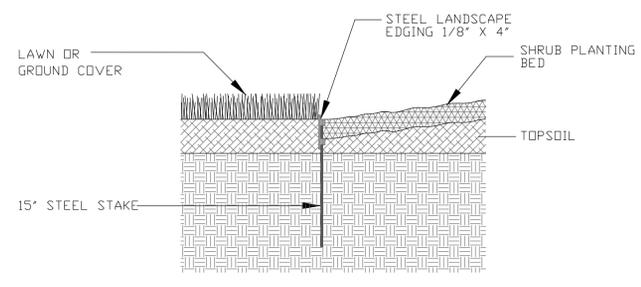
CITY OF BENTON



TREE PLANTING DETAIL
NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.



SHRUB PLANTING DETAIL
NOT TO SCALE



STEEL EDGING DETAIL
NOT TO SCALE

CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADE BEFORE AND DURING CONSTRUCTION

CONTRACTOR IS ALSO RESPONSIBLE FOR SHORING AND ENSURING THAT THERE IS NO SLOUGHING OF ADJACENT PROPERTY UNLESS OTHERWISE APPROVED IN WRITING BY THE ADJACENT PROPERTY OWNER.

**** UTILITY WARNING ****

48 HOURS BEFORE YOU DIG CALL ARKANSAS ONE CALL (CALL FREE) 1-800-482-8588 PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATION

LANDSCAPE MATERIALS

QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE (MIN.)
7	PO	PIN OAK	QUERCUS PALUSTRIS	3 CAL. x 12'(T)
27	EGH	EVERGREEN HOLLIES	ILEX SPECIES	18" MIN.
3430 SF	PW	PERIWINKLE	VIOLA MINOR	



REVISION BLOCK

NO.	DESCRIPTION	DATE

BASIS OF BEARINGS

SEE SURVEY

LEGAL DESCRIPTION

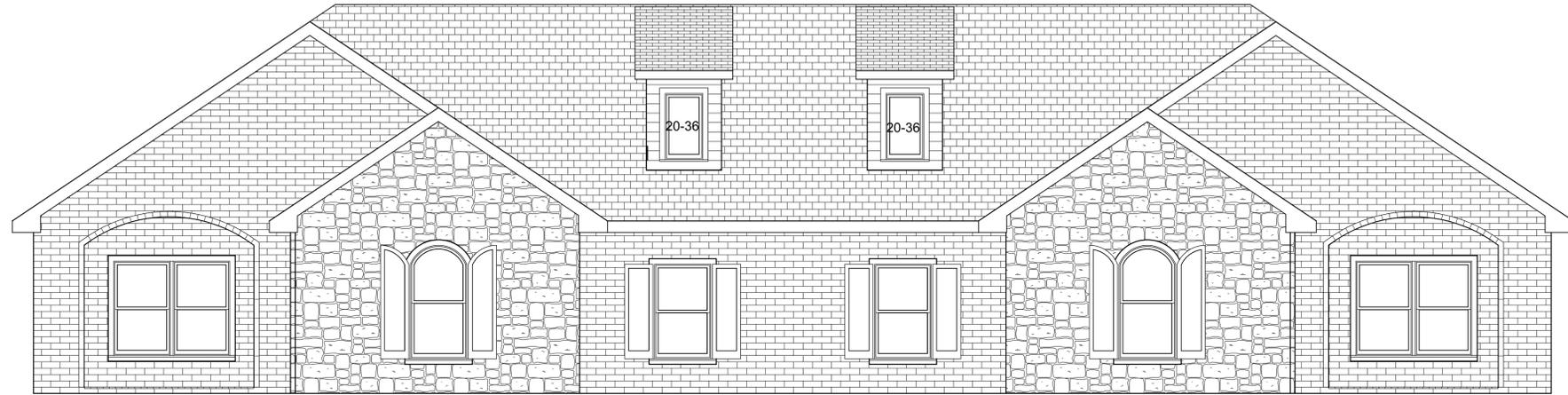
FOR LEGAL DESCRIPTION AND ALL OTHER INFORMATION PERTAINING TO THE LEGAL DESCRIPTION, PLEASE SEE THE SURVEY FOR THIS SITE.

The Sentinel Group, LLC
Civil Engineering - Development - Planning - Project Management
2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

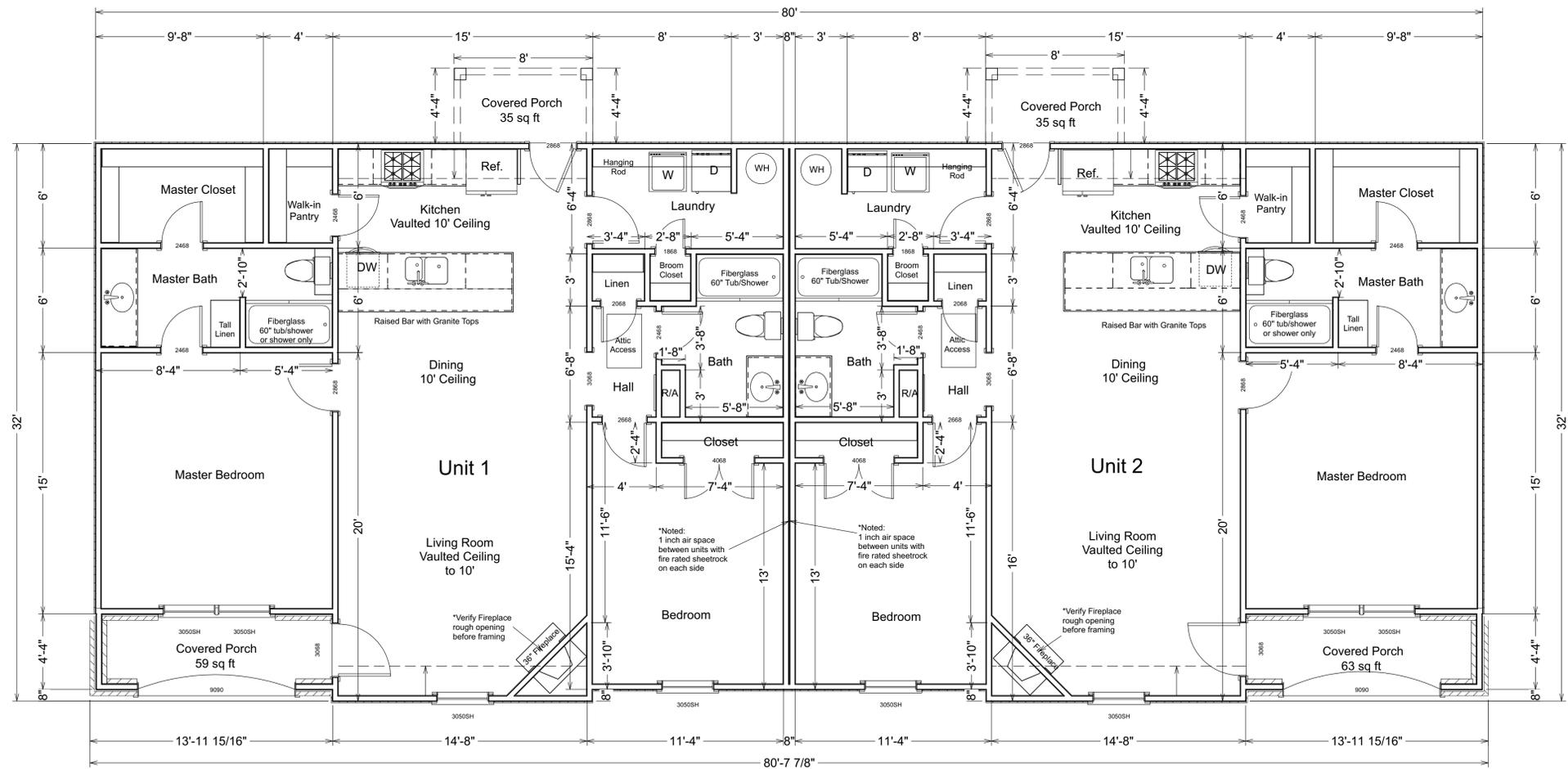
OWNER / DEVELOPER
IVES INVESTMENTS GROUP, LLC

**LANDSCAPE PLAN
OLDE SAVANNAH PUD
SPRINGHILL ROAD
BRYANT, ARKANSAS**

DATE: 05/20/2017 C.A.D. BY: EEK DRAWING NUMBER:
REVISIONS: CHECKED BY: E. Krebs L1
SCALE: 1" = 50' SHEET NUMBER:



Front Elevation
Scale 1/4"=1"



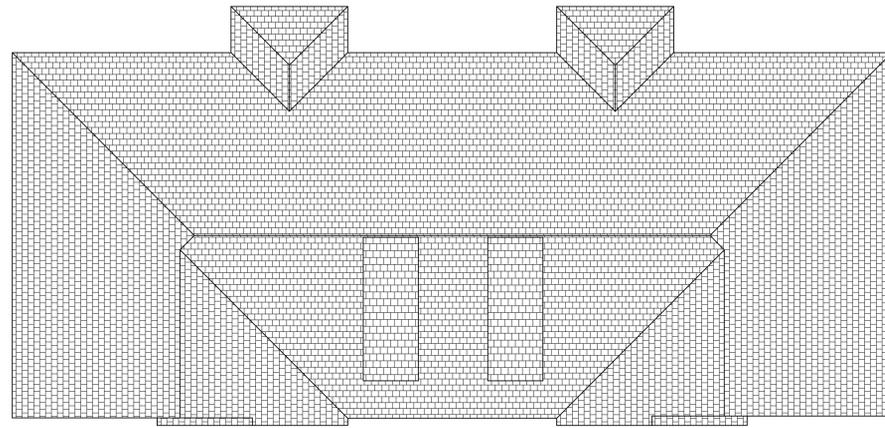
Scale 1/4"=1'
Roof Pitch 8:12
Walls 9 ft. unless noted

Total Heated & Cooled 2408 sq ft
1,204 SF per Unit
Framing & Slab 2,596 SF

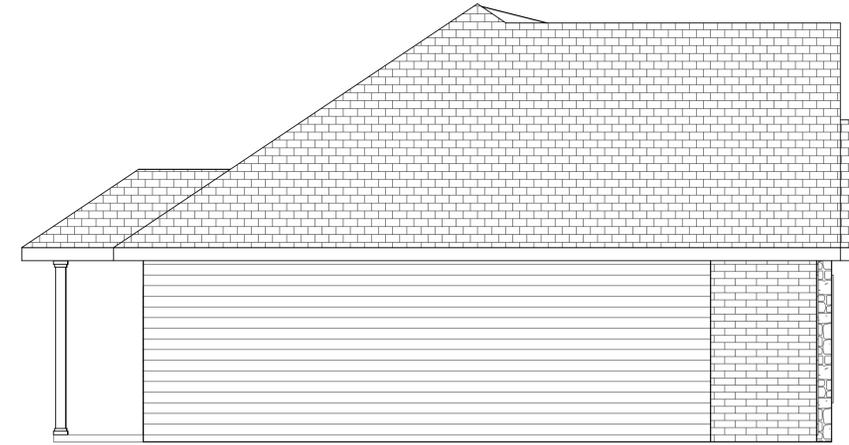
PLEASE NOTE:
Due to the impossibility of providing any personal and/or on-site consultation or supervision and control over the actual construction, and because of the great variance in local building code requirements, building site conditions, and weather conditions, Rick Johnson & Covenant Home Builders, Inc. assumes no responsibilities for any damages including structural failures due to any deficiencies, omissions, or errors in the design or prints.

Contractor or Builder should verify all Dimensions & Square Footage prior to construction. Calculated dimensions take precedence over scaled dimensions. Some dimensions may be rounded to the nearest inch.

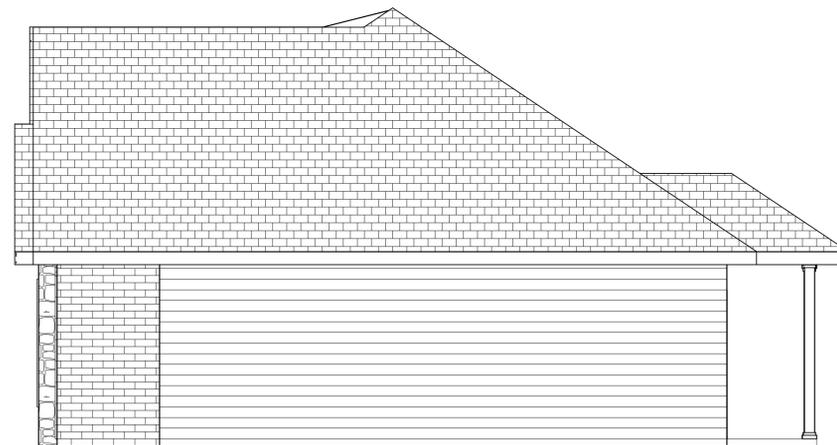
Contractor or Builder should also comply with all local & state building codes and all engineered aspects of the home should incorporate actual site conditions.



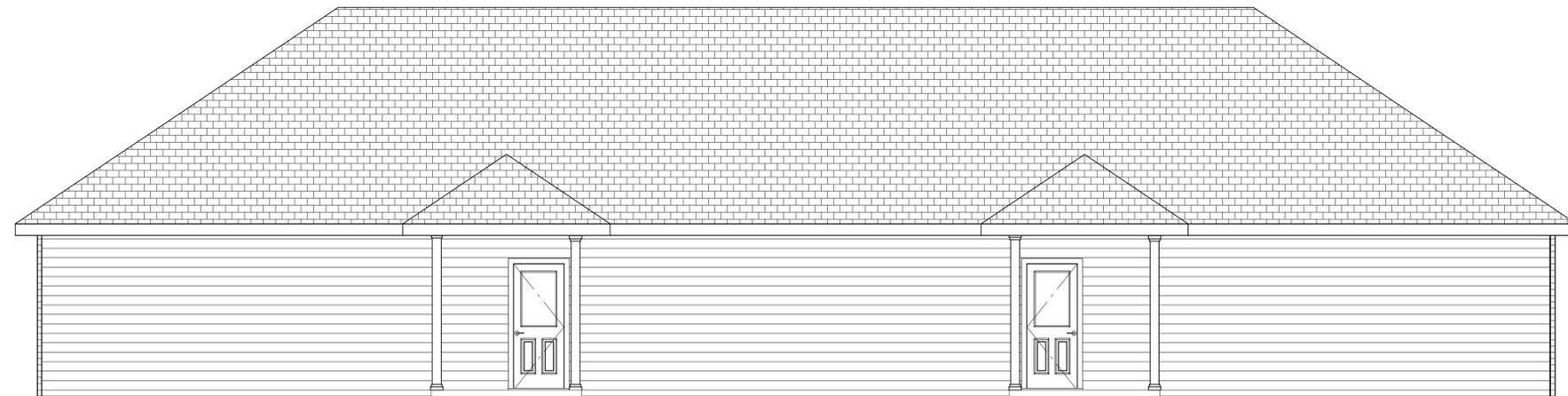
Roof Plan
Scale 1/8"=1'
Primary Pitch 8:12
Dormers 3:12



Left Elevation
Scale 1/4"=1'



Right Elevation
Scale 1/4"=1'



Rear Elevation
Scale 1/4"=1'

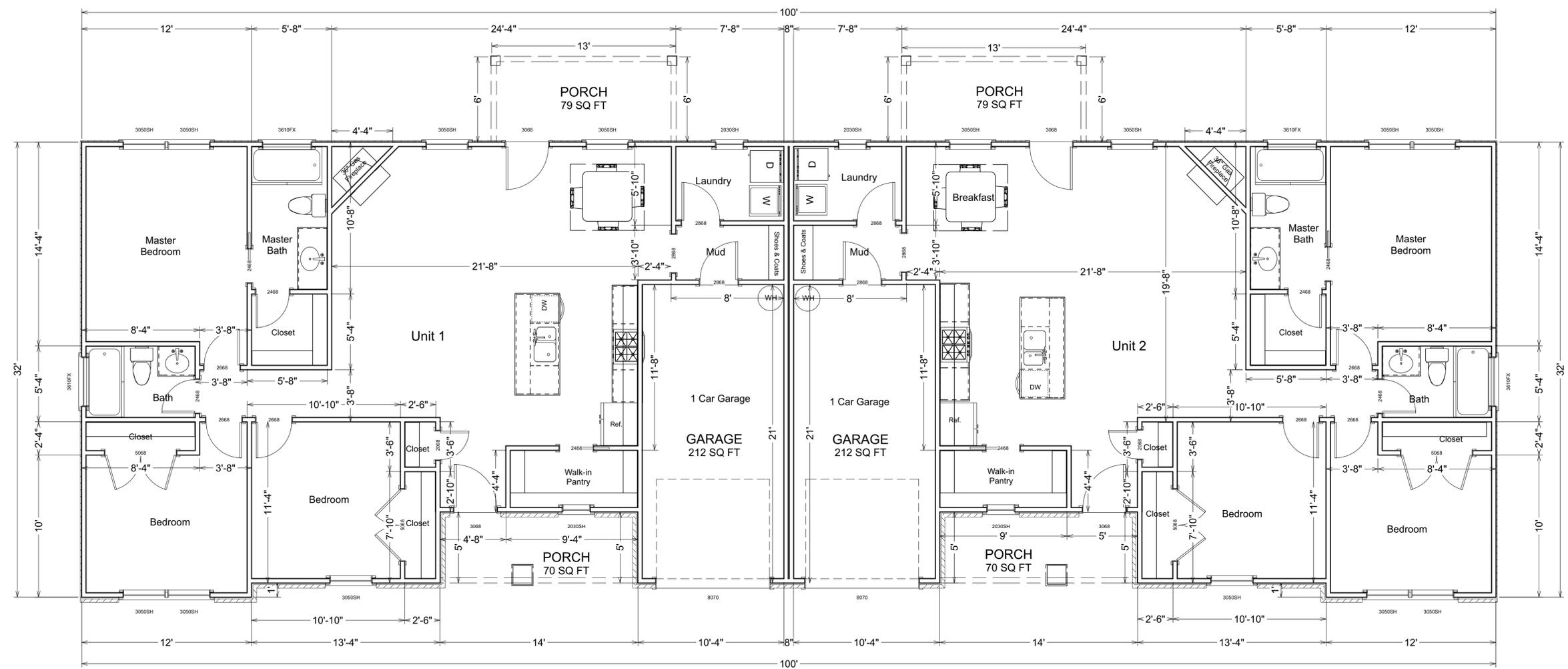
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Front Elevation
Scale 1/4"=1'



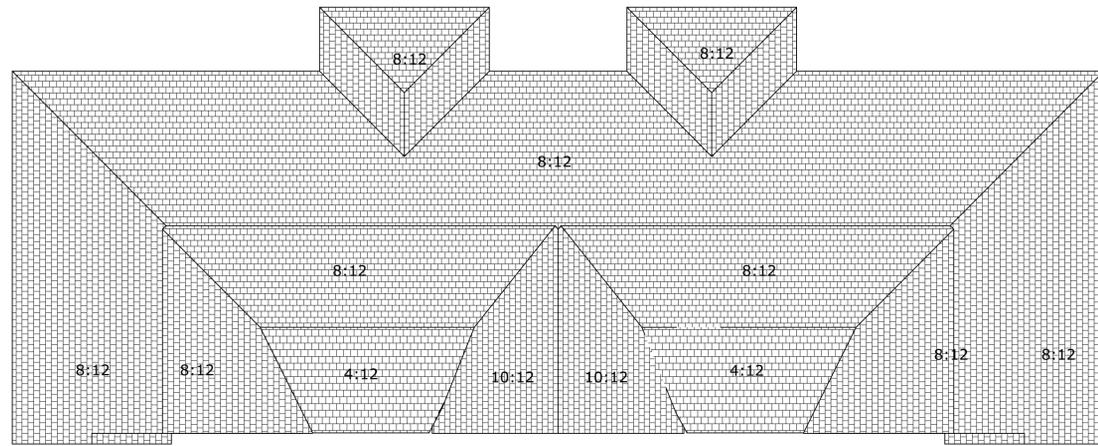
Scale 1/4"=1'
Roof Pitch 8:12
Walls 9' unless noted

Total Heated & Cooled 2553 sq ft
1,276 SF per Unit
Framing & Slab 3,275 SF

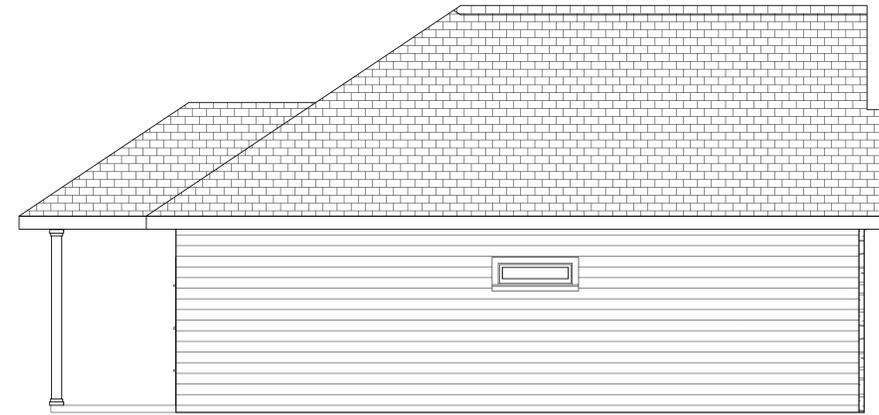
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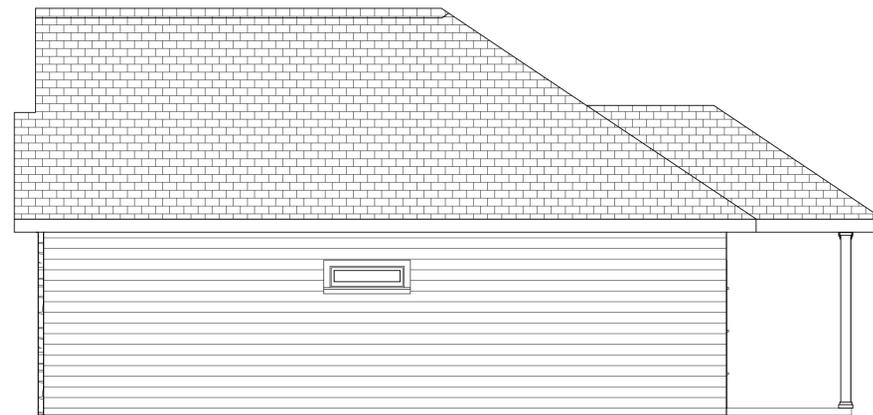
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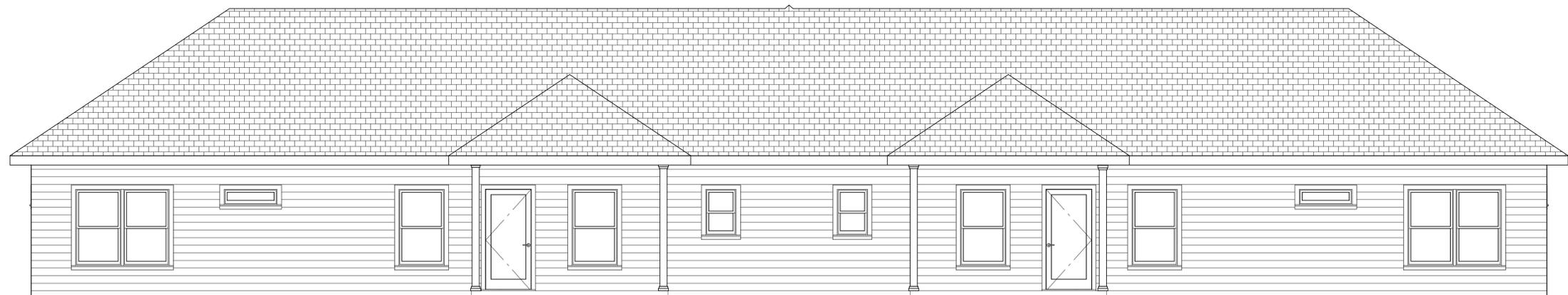
Roof Plan
Scale 1/8"=1'
Primary Pitch 8:12
Shed Roof 4:12
Center Gable 10:12



Left Elevation
Scale 1/4"=1'



Right Elevation
Scale 1/4"=1'



Rear Elevation
Scale 1/4"=1'

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Bryant Planning Commission

INFORMATION SHEET

Temporary Business

CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022
501-943-0301

MEETING DATE: THURSDAY OF EACH WEEK
TIME: 9:00 A.M.
PLACE: ADMINISTRATION CONFERENCE ROOM
APPLICATION DEADLINE: 5:00 P.M. FRIDAY PRIOR TO SCHEDULED MEETING DATE

REQUIREMENTS FOR SUBMISSION TO PLANNING COMMISSION

1. **Letter** stating your request
2. **Complete** Temporary Business Application
3. Submit **\$25.00 application fee**
4. Submit **10 copies of site plan** showing:
 - a. **Property boundaries and the exact location of the proposed temporary business including the setbacks from streets or highway right-of-ways.**
 - b. **Clearly identify open display areas, and**
 - c. **Show the parking spaces to be dedicated by the owner of the property for use by this temporary business.**
5. Submit a **letter from the property owner** stating that they are in agreement with the site plan.
6. If food establishment - show approval from **Arkansas Department of Health**
7. Provide **\$1,000 Surety Bond** made payable to City of Bryant conditioned for faithful performance of the payment of all applicable fees and penalties.
8. After approval of the **Temporary Business (Planning Department)**, submit **Business License Fee (Permit Office)**.
 - **\$125.00 - for 1-10 employees**
 - **\$275.00 - for 11-25 employees**

May 24, 2017

City of Bryant

310 SW 3rd Street

Bryant, AR 72022

To whom it may concern,

We respectfully request the issuance for temporary business license from the city of Bryant for the purpose of Fireworks sales at the location specified on the application enclosed . We request a thirty day license and our intentions are to be open for business from June 20 thru July 4. Please find enclosed all information requested and in accordance to the requirements for submission to Planning Commission.

Sincerely

A handwritten signature in black ink, appearing to read "David Galt". The signature is written in a cursive style with a large, sweeping initial "D".

Managing Member

Screaming Eagle Fireworks LLC

Date MAY 25, 2017

Name of Business Screaming Eagle Fireworks LLC

Federal Tax Employer Identification Number 45-1758290

Arkansas State Sales Tax Number 12196254-001

Type of Business Retail Fireworks

Location of proposed Temporary Business 5407 Hwy 5N, Parking Lot

Owner Mailing Address 399 Wish Street Pleasant Plains AR

Contact Person David Foster

Daytime Phone No. 870-217-2093

Evening Phone No. 870-217-2093

Please check the category you are applying for. Permits cannot exceed the following time limits:

- Carnivals..... 30 Days
- Fireworks stands or tents..... 30 Days
- Christmas tree stands, tents or lots 60 Days
- General commercial sales stands, tents or lots..... 90 Days
- Concession/Refreshment stands/Food Service 180 Days

Beginning Date Requested June 20 Ending Date Requested July 5

I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature 



CITY OF BRYANT - BRYANT, ARKANSAS
210 S.W. Third Street, Bryant, Arkansas
Phone: (501) 847-5559 (Ext 212) or FAX: (501) 847-5332

Privilege Fee Information
TEMPORARY BUSINESS LICENSE PERMIT

(WHEN FILLING IN THE BLANKS PLEASE PRINT OR TYPE IN INK)

A \$1000.00 Surety Bond made payable to the city of Bryant is required for all applicants and must be received in this office and approved before any license will be issued.

Date: MAY 25, 2017

Business Name: Screaming Eagle Fireworks, LLC
Location of Business: 399 Wish St Pleasant Plains AR 72568
Mailing Address: 399 Wish St Pleasant Plains AR 72568
City: Pleasant Plains State: AR Zip Code: 72568
Business Telephone: 870-217-2093 Cellphone: 870-217-2093

Type of License applied for: Temp Period license is desired: 30 days

Type of Business (Services offered or product sold): Retail Fireworks

Applicants Name: David Foster
Applicants Home Address: 399 Wish St
City: Pleasant Plains State: AR Zip Code: 72568
Applicants Home Telephone: _____ Cellphone: 870-217-2093

Name(s) of each employee/peddler/vendor/salesman: David Foster
Emily Foster Raymond Gill

Address of business or premises to be used in Bryant: 5407 Hwy 5 N. Parking Lot

Last two cities worked in: 1. Bryant, AR 2. Pleasant Plains, AR

I hereby certify the above to be true and correct and state that I am operating a business in accordance with the city zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand that if I am found to be in violation of any of the city zoning regulations and/or any other city laws, I may be subject to fines as outlined in any applicable City of Bryant Ordinance.


Signature of Applicant

Bond Received and Approved
Signature of Designated City Official

Site MAP Screening, Eagle Fireworks
5407 Hwy 5 North

N

Est Grant Building

Pottery works

Parking

Parking

30' x 50'

Tent Location

5407 Hwy 5 North

Parking

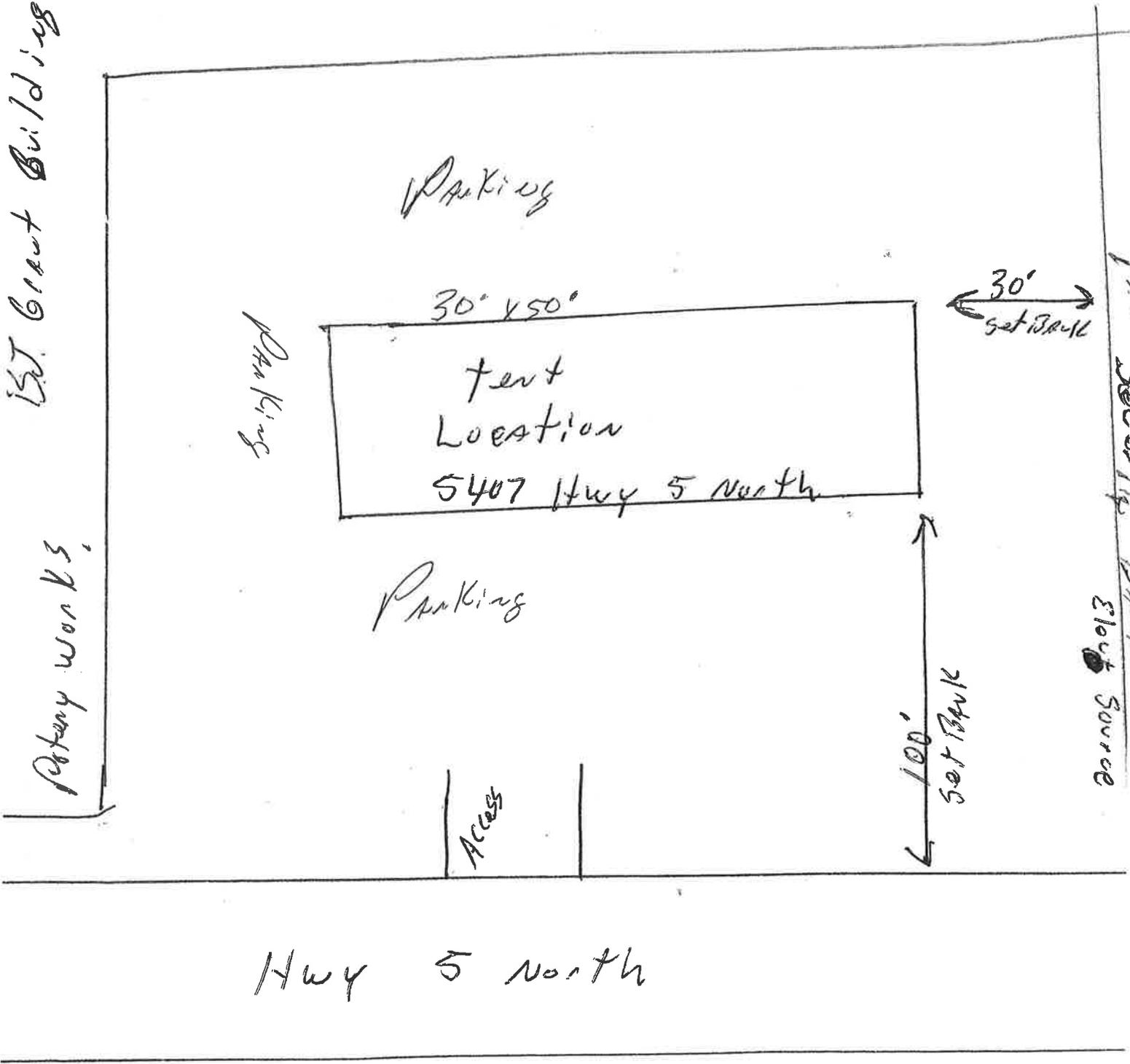
Access

100'
Set Back

30'
Set Back

1st Security Spout Source

Hwy 5 North



Parking Lot Lease Agreement

THIS AGREEMENT made between G.K. Bud Grant and/or Brent J. Grant (the Lessor) and Screaming Eagle Fireworks, David Foster DBA. (the Lessee), WITNESSETH:

For and in consideration of the covenants and agreements hereinafter contained, Lessor does hereby let, lease, and demise unto Lessee, and Lessee does hereby lease from Lessor, the following described premises in the City of Bryant, County of Saline, State of Arkansas:

Address of Property: 5407 Hwy 5 N. Parking lot
and the right to use all adjoining parking areas, driveways, sidewalks and roads.

TO HAVE AND TO HOLD the same unto the Lessee and unto the Lessee's heirs, successors and assigns, together with all privileges and appurtenances thereunto belonging, for the term and under the conditions hereinafter set forth.

1. TERM. The term of this lease shall be for a period of 2 months, beginning on the 1st day of June, 2017, and ending on the 31st day of July, 2017, unless sooner terminated or extended as hereinafter provided. Should such event occur on other than the first day of a calendar month, Lessee agrees to pay a proportionate part of the monthly rental herein provided for that month only. Lessee has an option to use the lot during the month of December if they choose. A renewal lease must be signed within ten (10) days of the expiration date of the lease or the Lessee shall vacate the premises.

2. RENTAL. As rental for the premises, Lessee shall pay to Lessor rental in the amount of Four Thousand and 00/100 Dollars (\$ 4,000.00) per month payable monthly in advance on or before the 1st day of each month during the term hereof.

3. LATE PAYMENTS. For any payment that is not paid within Ten (10) days after its due date, Lessee shall pay a 10% late fee.

4. UTILITIES. Lessee shall be responsible for the prompt and full payment, as and when due, of all charges for water (including sewer taxes), electricity, gas, telephone and other utilities consumed on the premises.

IN WITNESS WHEREOF, the parties have hereunto set their hands this 24th day of May, 2017.

LESSOR:


G.K. BUD GRANT and/or BRENT J. GRANT
5401 HWY. 5 NORTH
BRYANT, AR 72022

LESSEE:

A handwritten signature in black ink, appearing to read "D. Foster", is written over a horizontal line.

David Foster
399 Wish St
Pleasant Plains, AR 72568



Effective Date: May 25th, 2017

Western Surety Company

LICENSE AND PERMIT BOND

KNOW ALL PERSONS BY THESE PRESENTS:

Bond No. 63216052

That we, David Foster

of Pleasant Plains, State of Arkansas, as Principal,
and WESTERN SURETY COMPANY, a corporation duly licensed to do surety business in the State of
Arkansas, as Surety, are held and firmly bound unto the

City of Bryant, State of Arkansas, as Obligee, in the penal

sum of Five Thousand and 00/100 DOLLARS (\$5,000.00),
lawful money of the United States, to be paid to the Obligee, for which payment well and truly to be made,
we bind ourselves and our legal representatives, firmly by these presents.

THE CONDITION OF THE ABOVE OBLIGATION IS SUCH, That whereas, the Principal has been
licensed Vendor

_____ by the Obligee.

NOW THEREFORE, if the Principal shall faithfully perform the duties and in all things comply
with the laws and ordinances, including all amendments thereto, pertaining to the license or permit
applied for, then this obligation to be void, otherwise to remain in full force and effect until
May 25th, 2018, unless renewed by Continuation Certificate.

This bond may be terminated at any time by the Surety upon sending notice in writing, by First Class
U.S. Mail, to the Obligee and to the Principal at the address last known to the Surety, and at the expiration
of thirty-five (35) days from the mailing of said notice, this bond shall ipso facto terminate and the Surety
shall thereupon be relieved from any liability for any acts or omissions of the Principal subsequent to said
date. Regardless of the number of years this bond shall continue in force, the number of claims made
against this bond, and the number of premiums which shall be payable or paid, the Surety's total limit of
liability shall not be cumulative from year to year or period to period, and in no event shall the Surety's total
liability for all claims exceed the amount set forth above. Any revision of the bond amount shall not be
cumulative.

Dated this 25th day of May, 2017.

Principal

Principal

WESTERN SURETY COMPANY

By Paul T. Bruffat

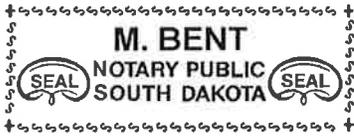
Paul T. Bruffat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

ACKNOWLEDGMENT OF SURETY
(Corporate Officer)

On this 25th day of May, 2017, before me, the undersigned officer, personally appeared Paul T. Bruflat, who acknowledged himself to be the aforesaid officer of WESTERN SURETY COMPANY, a corporation, and that he as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



M. Bent

Notary Public — South Dakota

My Commission Expires March 2, 2020

ACKNOWLEDGMENT OF PRINCIPAL
(Individual or Partners)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared _____, known to me to be the individual _____ described in and who executed the foregoing instrument and acknowledged to me that _____ he _____ executed the same.

My commission expires _____

Notary Public

ACKNOWLEDGMENT OF PRINCIPAL
(Corporate Officer)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared _____, who acknowledged himself/herself to be the _____ of _____, a corporation, and that he/she as such officer being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as such officer.

My commission expires _____

Notary Public



License or Permit No. _____
LICENSE AND PERMIT BOND
As _____
of _____
State of _____
Name of Applicant _____
Address _____
Filed _____
Approved this _____
day of _____

Western Surety Company

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruflat of Sioux Falls,
State of South Dakota, its regularly elected Vice President,
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

One Vendor City of Bryant

bond with bond number 63216052

for David Foster

as Principal in the penalty amount not to exceed: \$ 5,000.00

Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force, to-wit:

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its Vice President with the corporate seal affixed this 25th day of May, 2017.

ATTEST

L. Nelson

L. Nelson, Assistant Secretary

WESTERN SURETY COMPANY

By *Paul T. Bruflat*

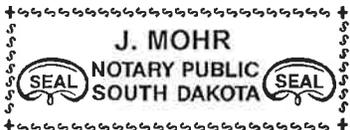
Paul T. Bruflat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss



On this 25th day of May, 2017, before me, a Notary Public, personally appeared Paul T. Bruflat and L. Nelson

who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the voluntary act and deed of said Corporation.



My Commission Expires June 23, 2021

J. Mohr

Notary Public

To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.



City of Bryant, Arkansas
Code Enforcement, Permits and Inspections
312 Roya Lane
Bryant, Ar 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the sign ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com

Site plan showing placement of sign and any existing signs on the property. A rendering of sign showing correct dimensions of all signs are required with application. Additional documentation may be required by Sign Administrator.

Date: 16/MAY/2017

Note: Electrical permits may be Required, Please contact the Permits Office at 501-943-0943 for more information.

SIGN CO. OR
SIGN OWNER

Name JOHN DOUGLAS

Address 25502 I-30 North

City, State, Zip BRYANT AR. 72022

Phone 501-455-1200

Alternate Phone 501-920-0928

PROPERTY OWNER

Name HUNTER R. DOUGLAS SR.

Address 25502 I-30 North

City, State, Zip BRYANT AR. 72022

Phone 501-665-1995

Alternate Phone 501-416-4696

GENERAL DETAILS

Name of Business WILDMAN ARMS

Address/Location of sign 25502 I-30 North

Sign dimensions (height, length, width) 20' , 10' , 15'

Zoning Classification C2

Height of sign from lot surface: Bottom 10'

SIGN TYPE

Pole Monument

Wall

Other (type) _____

Total sq. ft. 300 SF

Aggregate Surface Area (total all signs) _____

Top 20'

READ CAREFULLY BEFORE SIGNING

I, JOHN DOUGLAS, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand that no sign may be placed in any public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

[Signature]
Applicant's Signature

16/MAY/17
Date

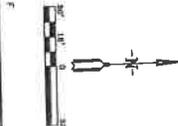
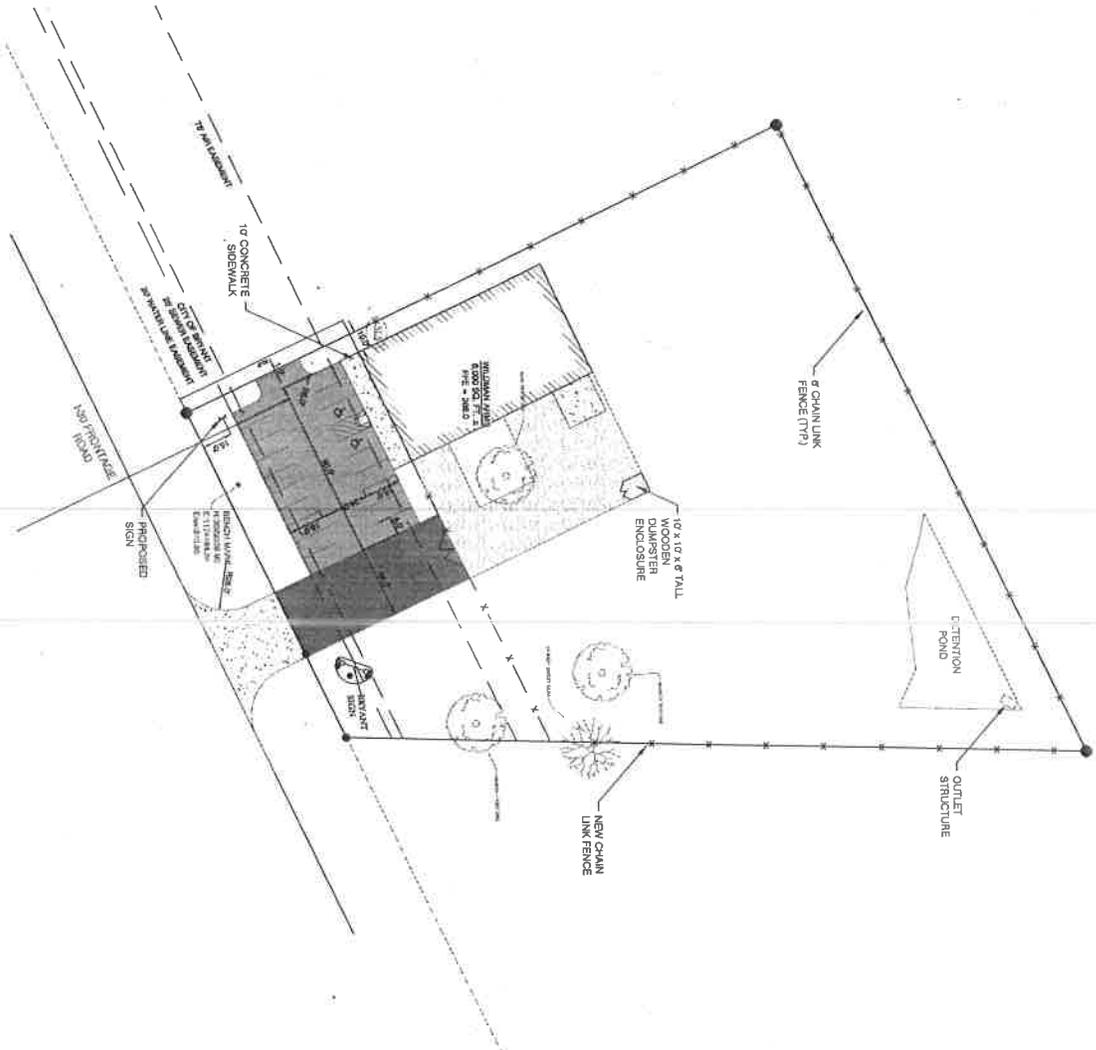
Sign Administrator(or Designee) Approval

Date

SITE NOTES:
 1. PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT
 (PER AHTD STANDARD SPECIFICATION SECTION 710)

LEGEND:

	CONCRETE LIMITS
	LIGHT DUTY ASPHALT LIMITS
	HEAVY DUTY ASPHALT LIMITS
	GRAVEL LIMITS



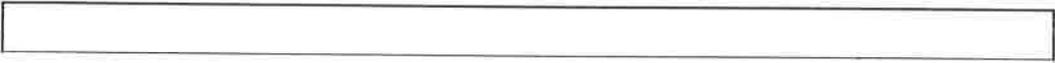
C1.0 SHEET NOS	PROJECT NO: 16096	GNE Designing our client's success GarNat Engineering, LLC P.O. Box 116 (72018) Ph (501) 408-4650 406 W. South St., Suite B Fx (858) 900-3068 Terrest, AR 72015 garnatengr@aol.com	DATE: 02/16/17	REVISION:	BY:
	DATE: JUNE 2016		ADD COMPLETION ENGINEER REVIEW SHEET	REV:	REV:
SITE PLAN	COMMENTS:	PROJECT NO:	DATE:	REVISION:	BY:

15'

**Wildman
Arms
501-455-1200**

10'

20'



**Witold
Arms**
501-455-1200

Log Siding

Red Lettering

City of Bryant, Arkansas
Code Enforcement, Permits and Inspections
312 Roya Lane
Bryant, Ar 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the sign ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com

Site plan showing placement of sign and any existing signs on the property. A rendering of sign showing correct dimensions of all signs are required with application. Additional documentation may be required by Sign Administrator.

Date: May 19, 2017

Note: Electrical permits may be Required, Please contact the Permits Office at 501-943-0943 for more information.

SIGN CO. OR
SIGN OWNER

Name Bossier Sign Co.
Address 1401 E. Texas St.
City, State, Zip Bossier City, LA 70111
Phone 318-742-4833
Alternate Phone _____

PROPERTY OWNER

Name David's Real Estate, LLC.
Address 27 Courtside Place
City, State, Zip Little Rock, AR 72210
Phone 501-448-2116
Alternate Phone _____

GENERAL DETAILS

Name of Business Healthcare Express
Address/Location of sign 23150-I30 North
Sign dimensions (height, length, width) 10'-1" X 10'-3 1/2"
Zoning Classification _____ Aggregate Surface Area (total all signs) _____
Height of sign from lot surface: Bottom _____ Top _____

SIGN TYPE

Pole Monument
 Wall
 Other (type) _____
Total sq. ft. _____

READ CAREFULLY BEFORE SIGNING

Destiny Allen, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand that no sign may be placed in any public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Destiny Allen
Applicant's Signature

5/19/17
Date

Sign Administrator (or Designee) Approval

Date

CLIENT: HealthCare Express

DESC: Monument Sign

SALESMAN: Eric Ware

DRAWN BY: Joshua Howell

DATE: 05/24/2017



Serving Shreveport/Bossier & The Ark-La-Tex Since 1967

DESIGN
MANUFACTURE
INSTALLATION
MAINTENANCE

1401 E. TEXAS ST.
BOSSIER CITY, LA 71111
PH: 318-742-4833
FAX: 318-742-4879

DETAILS



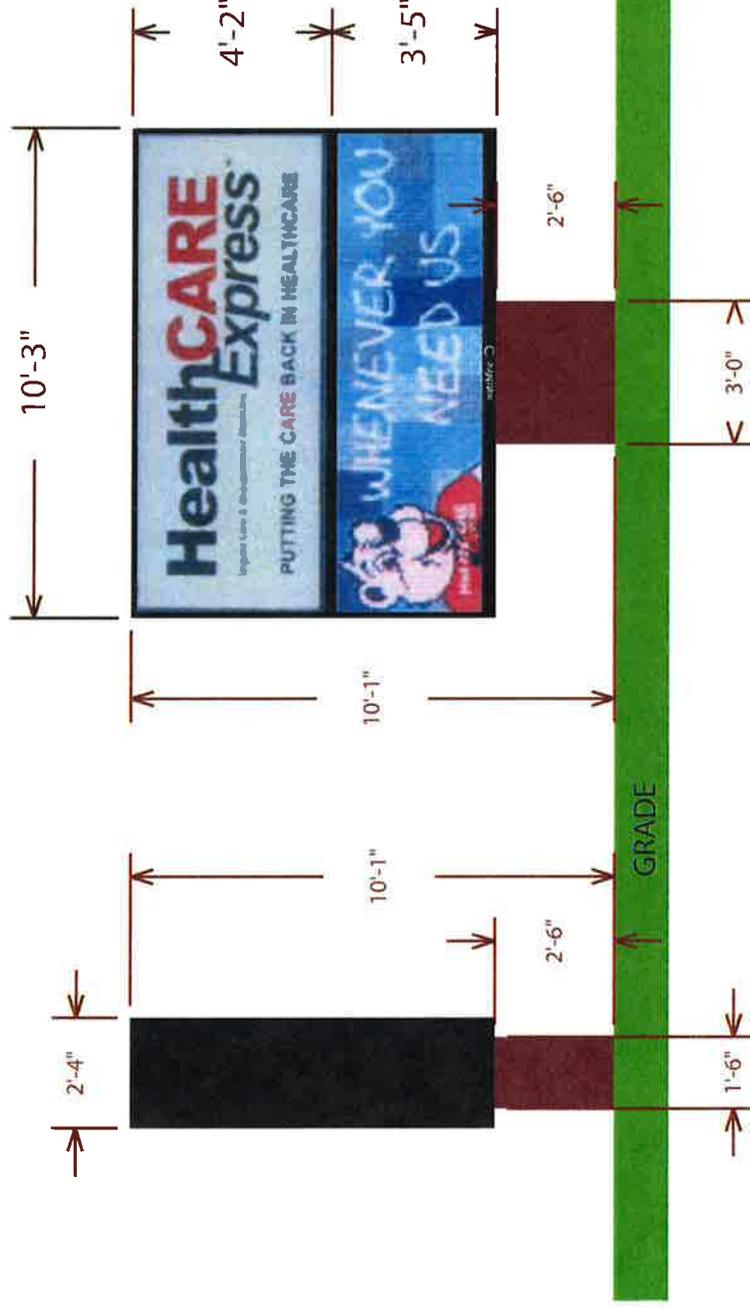
Approved by: _____

Date: _____



SIGN WILL BE MANUFACTURED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES RULES AND U.L. LABEL WILL BE AFFIXED TO SIGN IN VISIBLE LOCATION PER U.L. REGULATIONS

This is an original unpublished drawing create by BOSSIER SIGN CO. It is submitted for your personal use in connection with a project being planned for you by BOSSIER SIGN CO. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, or copied. Any misuse is grounds for breach of your contract.



SCALE: 1/4" = 1'

Z:\HealthCare Express\Bryant, Ar\HealthCare Express - Bryant, AR - Monument Sign - Customer Proof_001

Requestor: _____

PH#:

PH2#:

EMAIL:

Planning Commission
City of Bryant
210 SW 3rd Street
Bryant, AR 72022

May 23, 2017

Dear Sirs:

I am requesting a Temporary Business license for a fireworks TENT on the Vacant Lot at 3424 Hwy 5, Bryant, AR. Please find my completed forms of application along with my \$25.00 fee

Thank you

Robert Smith

Robert Smith
1743 Yorkshire Dr
Benton AR 72019

Temporary Business Application
City of Bryant

Date 5-22-17

Name of Business Bobs Wholesale Fireworks

Federal Tax Employer Identification Number 510-48-2113

Arkansas State Sales Tax Number 70567383-001

Type of Business Fireworks Sales

Location of proposed Temporary Business 3424 Hwy 5 North, Bryant AR 72015

Owner Mailing Address 1743 Yorkshire Dr. Benton AR 72019

Contact Person Bob Smith

Daytime Phone No. 316-644-4124

Evening Phone No. Same

Please check the category you are applying for. Permits cannot exceed the following time limits:

- Carnivals..... 30 Days
- Fireworks stands or tents..... 30 Days
- Christmas tree stands, tents or lots 60 Days
- General commercial sales stands, tents or lots..... 90 Days
- Concession/Refreshment stands/Food Service180 Days

Beginning Date Requested 6-20-17 Ending Date Requested 7-5-17

I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature Bob Smith

CITY OF BRYANT - BRYANT, ARKANSAS
210 S.W. Third Street, Bryant, Arkansas
Phone: (501) 847-5559 (Ext 212) or FAX: (501) 847-5332

Privilege Fee Information
TEMPORARY BUSINESS LICENSE PERMIT

(WHEN FILLING IN THE BLANKS PLEASE PRINT OR TYPE IN INK)

A \$1000.00 Surety Bond made payable to the city of Bryant is required for all applicants and must be received in this office and approved before any license will be issued.

Date: 5-22-17

Business Name: Bobs Wholesale Fireworks
Location of Business: 3424 Hwy 5 North Bryant AR 72015
Mailing Address: 1743 Yorkshire Dr
City: Benton State: AR Zip Code: 72019
Business Telephone: 316-644-4124 Cellphone: _____

Type of License applied for: Temporary Business Period license is desired: _____

Type of Business (Services offered or product sold): Fireworks

Applicants Name: Bob Smith
Applicants Home Address: 1743 Yorkshire Dr
City: Benton State: AR Zip Code: 72019
Applicants Home Telephone: 316-644-4124 Cellphone: _____

Name(s) of each employee/peddler/vendor/salesman: Bob Smith

Nancy Smith, Brent Smith

Address of business or premises to be used in Bryant: 3424 Hwy 5 N Bryant

Last two cities worked in: 1. Anthony Kansas 2. Wichita Kansas

I hereby certify the above to be true and correct and state that I am operating a business in accordance with the city zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand that if I am found to be in violation of any of the city zoning regulations and/or any other city laws, I may be subject to fines as outlined in any applicable City of Bryant Ordinance.

Bob Smith
Signature of Applicant

Bond Received and Approved
Signature of Designated City Official

North ↑

HWY 5

Drive way

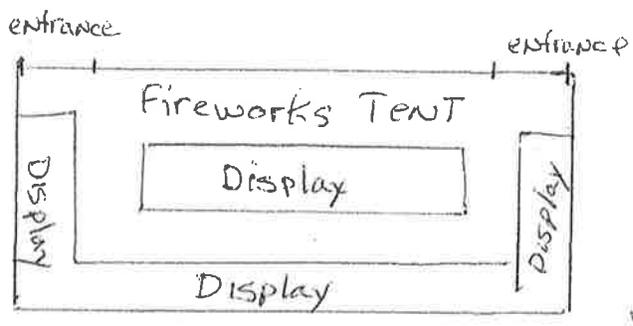
Parking

Parking

west ←

East →

Parking



Property Boundaries

Property Boundaries

Existing metal Bldg

3424 Hwy 5 North
Bryant AR

3422 Hwy

South ↓

City of Bryant
210 SW 3rd St
Bryant, Arkansas

5-5-17

Dear Sirs:

I Ken Isbell, owner of the vacant lot located at 3424 Hwy 5N, have looked at the site map in which Bob Smith wishes to place a fireworks Tent This 4th of July. I am in agreement with the location.

Thank you

Ken Isbell
owner of property

Ken Isbell
501-690-1656



Effective Date: April 3rd, 2017

Western Surety Company

LICENSE AND PERMIT BOND

KNOW ALL PERSONS BY THESE PRESENTS:

Bond No. 63144197

That we, Bob Smith

of Benton, State of Arkansas, as Principal, and WESTERN SURETY COMPANY, a corporation duly licensed to do surety business in the State of Arkansas, as Surety, are held and firmly bound unto the

City of Bryant, State of Arkansas, as Obligee, in the penal

sum of One Thousand and 00/100 DOLLARS (\$1,000.00), lawful money of the United States, to be paid to the Obligee, for which payment well and truly to be made, we bind ourselves and our legal representatives, firmly by these presents.

THE CONDITION OF THE ABOVE OBLIGATION IS SUCH, That whereas, the Principal has been licensed Firework Stand City of Bryant

by the Obligee.

NOW THEREFORE, if the Principal shall faithfully perform the duties and in all things comply with the laws and ordinances, including all amendments thereto, pertaining to the license or permit applied for, then this obligation to be void, otherwise to remain in full force and effect until April 3rd, 2018, unless renewed by Continuation Certificate.

This bond may be terminated at any time by the Surety upon sending notice in writing, by First Class U.S. Mail, to the Obligee and to the Principal at the address last known to the Surety, and at the expiration of thirty-five (35) days from the mailing of said notice, this bond shall ipso facto terminate and the Surety shall thereupon be relieved from any liability for any acts or omissions of the Principal subsequent to said date. Regardless of the number of years this bond shall continue in force, the number of claims made against this bond, and the number of premiums which shall be payable or paid, the Surety's total limit of liability shall not be cumulative from year to year or period to period, and in no event shall the Surety's total liability for all claims exceed the amount set forth above. Any revision of the bond amount shall not be cumulative.

Dated this 4th day of April, 2017.

Principal

Principal

WESTERN SURETY COMPANY

By

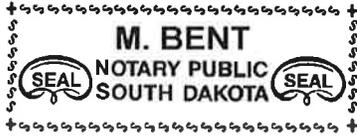
Paul T. Bruffat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

ACKNOWLEDGMENT OF SURETY
(Corporate Officer)

On this 4th day of April, 2017, before me, the undersigned officer, personally appeared Paul T. Bruflat, who acknowledged himself to be the aforesaid officer of WESTERN SURETY COMPANY, a corporation, and that he as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



M. Bent
Notary Public — South Dakota

My Commission Expires March 2, 2020

ACKNOWLEDGMENT OF PRINCIPAL
(Individual or Partners)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared _____, known to me to be the individual _____ described in and who executed the foregoing instrument and acknowledged to me that _____ he _____ executed the same.

My commission expires _____

Notary Public

ACKNOWLEDGMENT OF PRINCIPAL
(Corporate Officer)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared _____, who acknowledged himself/herself to be the _____ of _____, a corporation, and that he/she as such officer being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as such officer.

My commission expires _____

Notary Public



License or Permit No. _____

LICENSE AND PERMIT
BOND
As

of _____

State of _____

Name of Applicant _____

Address _____

Filed _____

Approved this _____

day of _____

Western Surety Company

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruflat of Sioux Falls,
State of South Dakota, its regularly elected Vice President,
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

One Firework Stand City of Bryant

bond with bond number 63144197

for Bob Smith

as Principal in the penalty amount not to exceed: \$ 1,000.00.

Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force, to-wit:

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its Vice President with the corporate seal affixed this 4th day of April, 2017.

ATTEST

L. Nelson

L. Nelson, Assistant Secretary

WESTERN SURETY COMPANY

By

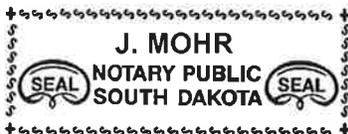
Paul T. Bruflat

Paul T. Bruflat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss



On this 4th day of April, 2017, before me, a Notary Public, personally appeared Paul T. Bruflat and L. Nelson who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the voluntary act and deed of said Corporation.



My Commission Expires June 23, 2021

J. Mohr

Notary Public

To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.





ARKANSAS STATE POLICE No
 REGULATORY and BUILDING OPERATIONS DIVISION
FIRE MARSHAL'S OFFICE

000509

RETAIL FIREWORKS LICENSE - FEE \$25.00

LICENSE EXPIRES APRIL 30, 2018

This is to certify that the person named below is licensed to act as a RETAILER of FIREWORKS under the provision of Act 224 of 1961, as amended, State of Arkansas.

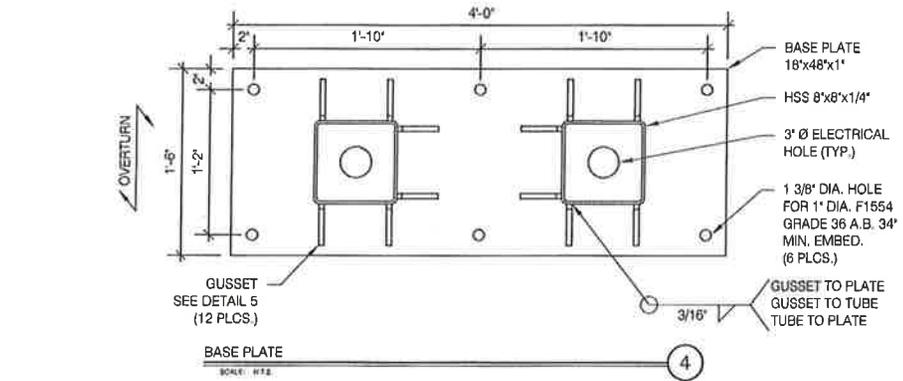
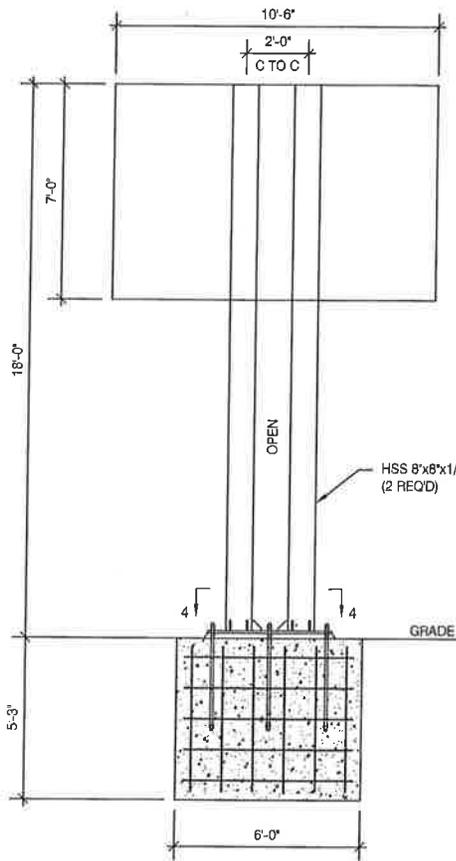
Name of Person Applying Robert Smith Telephone # (516) 644-4124
 Address of Person Applying 1743 Yorkshire Dr. Benton, AR 72019
Street City Zip
 Name of Organization Bob's Wholesale Fireworks
 Address of the Stand Location 3424 Hwy 5 Bryant 72022
Street City Zip

This License is issued to the person named above for use in making retail sales of PERMISSIBLE FIREWORKS from June 20 through July 10 and December 10 through January 5.

This license is not transferable and must be DISPLAYED AT ALL TIMES.

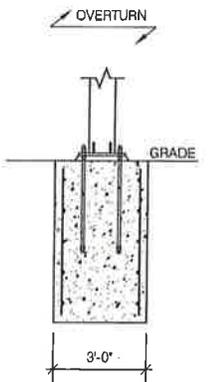
Vender Crazy Debbie's Fireworks, LLC Date Issued 5/15/2017
 License # FW.0000843
 Telephone # (417) 782-2977
Major Lindsey Williams
 Major Lindsey Williams
 State Fire Marshal
 Telephone (501) 618-8624

NOTICE: This license may be revoked by the State Fire Marshal or his deputies for violation of any of the provisions of the above referred to law.

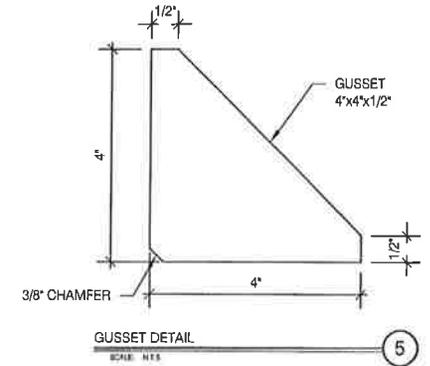
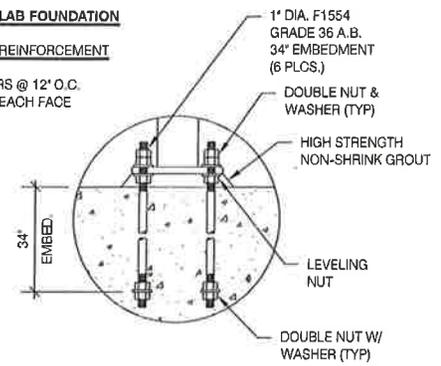


NOTES
 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.
 2.) SIGN CABINET AND CONNECTION BY LGRAPHICS INDOOR - OUDOOR SIGN.

* CLIENT - LGRAPHICS INDOOR - OUDOOR SIGN
 * 2012 IBC
 * 115 MPH WIND SPEED, EXP. C
 * (2) POLES, (1) FOOTING



**VERTICAL SLAB FOUNDATION
 REQUIRED REINFORCEMENT**
 #6 BARS @ 12" O.C.
 E.W. EACH FACE



MBI
 michael brady inc.
 civil engineering
 structural engineering

KNOXVILLE OFFICE
 289 WEISGARBER RD.
 KNOXVILLE, TENNESSEE
 37919
 PHONE 865-584-0999
 FAX 865-584-6213

PROJECT:
 23140 Interstate 30, Bryant, AR
DRAWING TITLE:
 David's Burgers

DRAWN BY: FCM
CHECKED BY: DSA
COMM. NO.: 170428.01

DATE: 05/13/17

DRAWING NO.:
 DWG. 1



WIND DATA		3012 IBC		Importance Factor, I	1.0	Damping Ratio, β	0.005	DEFLECTION ANALYSIS	
Building Code	ASCE 7-10	Directionality Factor, K_d	1.0	Natural Frequency, f_n	1.93 Hz	Deflection Limit	1/500	Deflection at 0.37 ω	2.09 in
Wind Speed, V	115 mph	Topography Factor, K_z	1.0	Gust Effect Factor, G	0.85	Deflection Ratio	\checkmark	N/103	
Hazardous Category	C	Base Pressure, $10/P_s$	17.3 psf	ADD Wind Load Factor, γ	0.5				
Wind Pressure Overdue per Installation Requirements	0 psf	Notes: (1) Loading values in chart below are based upon height H_s values for each segment. Actual values are calculated on a hidden sheet using derived V-M equations. Chart is provided for information purposes only.							
		(2) Wind directionality (K_d) factor is 0.95 for Single Pole (Round) segments instead of 0.85. The C_e value from Fig. 6-21 has been increased by 0.95/0.85 to account for this variation.							
		(3) Wind pressures listed below have already been multiplied by the ASD Wind Load Factor, γ .							

GEOMETRY INPUT																					
No. of Poles	2	No. of Footings	1	Support Pole Details																	
				Section	Location	Type	Height	Width	Metric Offset	Area	Top Elev.	Centroid	K_1	C_1	Press.	Triax. Factor	Shear Angle	Moment Angle	Trib. Factor	Shear Angle	Moment Angle
1	Base	Single Pole (Round)	11.00	0.50	5.5	11.0	5.5	0.85	1.84	22.0	1.0	0.1	0.7	7.0	0.0	0.0	1.4				
2		Multiple Poles and Columns	7.00	10.50	7.5	18.0	18.5	0.88	1.75	22.7	1.0	0.0	0.0	0.0	0.0	0.0	0.0				
3		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
4		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
5		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
6		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
7		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
8		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
9		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
10		None			0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
11	Total				0.0	18.0	18.0	0.88	1.46	18.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0				
Overall Height:			18.00 ft	Summation based upon average values									17.3	32.3	1.9	25.6					
Column Spacing:			7.00 ft	Actual base reactions based upon V-M equations:									2.6	32.3	1.9	25.0					

SUPPORT POLE DESIGN SUMMARY																	
Base Elev.	Section	Ails	MATERIALS - STEEL														
			Required Strength Values (ASD)					Allowable Strength Values (ASD)					Unity Ratios		Innovation Rating		
ft			V_u	M_u	T_u	P_u	V_n	M_n	T_n	P_n	V_u/V_n	M_u/M_n	T_u/T_n	P_u/P_n	P-M	P-M-V-T	Status
0.00	HORIZONTAL	Strong	2.6	37.3	0.0	1.6	62.0	44.7	18.7	50.7	2.25	84.4%	0.0%	2.3%	87.2%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark
0.00	None	Strong	2.6	37.3	0.0	1.6	0.0	0.0	0.0	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	\checkmark

ELEMENT DESIGN LOCATIONS, LOADS AND DISPLACEMENTS																	
Element	Elev. ft	Type	V_u	M_u	T_u	P_u	δ_{max}	δ_{min}	Element	Elev. ft	Type	V_u	M_u	T_u	P_u	δ_{max}	δ_{min}
1	0.00	Base Plate	2.6	37.3	0.0	1.6	0.0	0.0	3	0.00	Match Plate 2	2.6	37.3	0.0	1.6	0.000	0.000
2	0.00	Match Plate 1	2.6	37.3	0.0	1.6	0.0	0.0	4	0.00	Tension Tube	2.6	37.3	0.0	1.6	0.000	0.000

PLATE DESIGN SUMMARY																
Type	Plate Dimensions					Number	d_n	N_{sp}	D_{sp}	Circle Diameter	Material	Embed in Column / Vertical Slab	Embed in	Site	Gaskets	Status
	N	B	D	I	Thickness											
<input checked="" type="checkbox"/>	Rectangular Base Plate	18	18	-	1	4	1	2	2	-	A558 Grade 35	34	N/A	0.188	Yes	OK
<input type="checkbox"/>	Circular Base Plate															
<input type="checkbox"/>	Match Plate 1 (Lower)															
<input type="checkbox"/>	Match Plate 1 (Upper)															
<input type="checkbox"/>	Match Plate 2 (Lower)															
<input type="checkbox"/>	Match Plate 2 (Upper)															

FOUNDATION DESIGN SUMMARY												
Type	Diameter	Width	Thickness	Length	Depth	Volume	Reinforcing	Status	Allowable Soil Pressure			
<input checked="" type="checkbox"/>	Column	-	8.00	3.00	-	5.25	3.50	OK	300 psf/ft			
<input checked="" type="checkbox"/>	Vertical Slab	-	8.00	3.00	-	5.25	3.50	OK	300 psf/ft			
<input type="checkbox"/>	Spirend											

DESIGN SPECIFICATIONS:
 REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS.
 ALL DESIGNS, DETAILING FABRICATION AND CONNECTION SHALL CONFORM TO:
 2012 IBC
 ACI
 AISC
 AMERICAN WELDING SOCIETY
 LOCAL BUILDING CODES & ORDINANCES

CONCRETE: 2500 PSI @ 28 DAYS
 STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI), U.N.O.
 STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.) U.N.O.
 HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI) U.N.O.
 HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI)
 ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)
 CONNECTION BOLTS: ASTM A325
 THREADED RODS: ASTM A193 GRADE B7
 STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36
 REINFORCING: GRADE 60 ASTM A615
 PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.
 THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
 NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.
 WELDING ELECTRODES: E70XX
 ALLOWABLE SOIL BEARING PRESSURE ASSUMED: 2000 PSF
 ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 150 PSF/FT OF DEPTH.
 ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.
 ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.
 FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.
 EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE. WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING.
 ADEQUATELY BRACE POLE(S) UNTIL CONCRETE HAS SET UP FOR 14 DAYS.
 GROUT UNDER BASE PLATES WITH NON-SHRINK GROUT.
 THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.
 ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
 THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER.
 DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.

NOTES
 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS
 2.) SIGN CABINET AND CONNECTION BY LGRAPHICS INDOOR - OUTDOOR SIGN.

* CLIENT - LGRAPHICS INDOOR - OUTDOOR SIGN
 * 2012 IBC
 * 115 MPH WIND SPEED, EXP. C
 * (2) POLES, (1) FOOTING

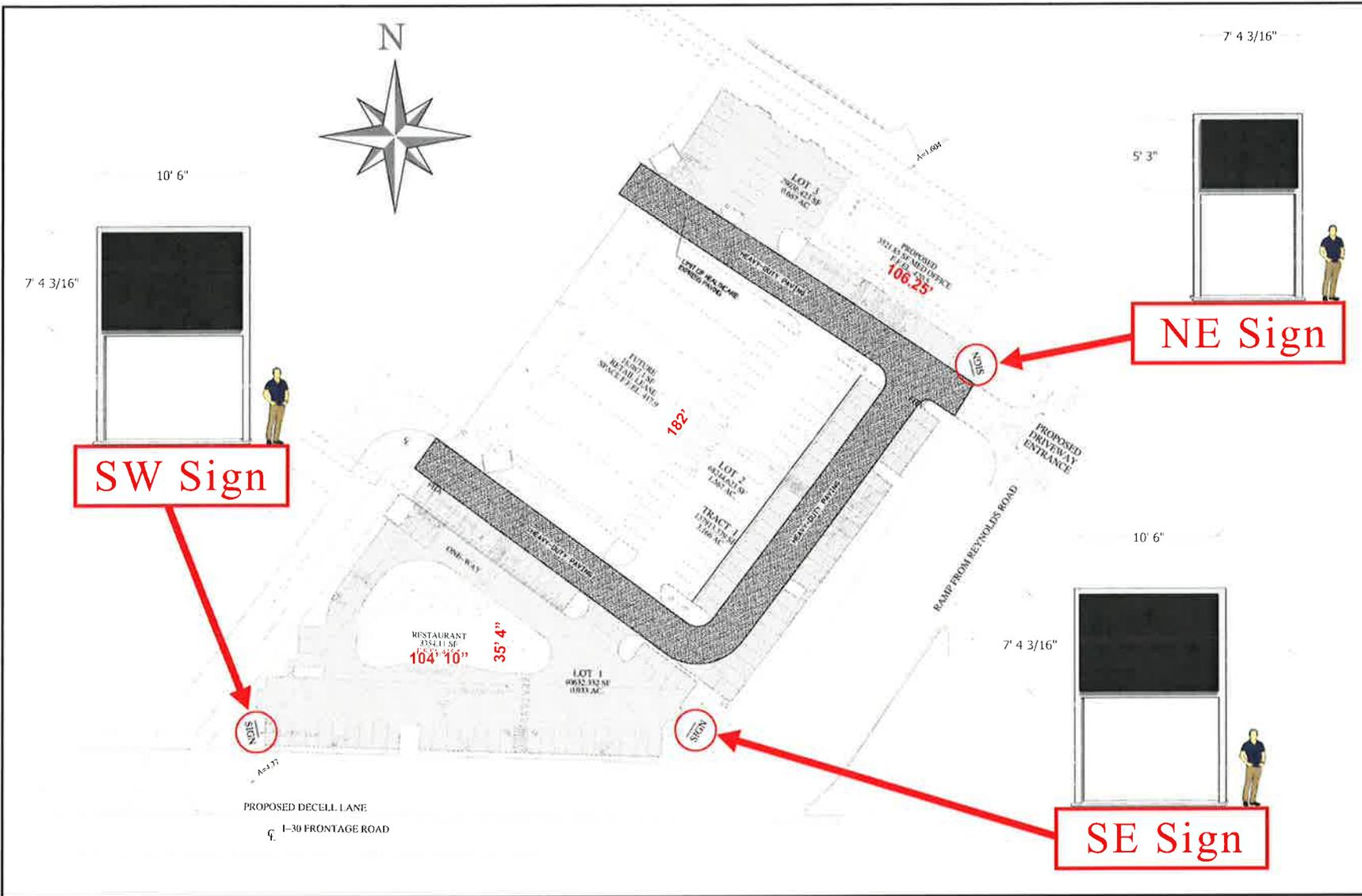
MBI
 michael brady inc.
 298 WEISGABER RD.
 KNOXVILLE, TENNESSEE
 37919
 PHONE 865-684-0099
 FAX 865-684-5213

PROJECT:
 23140 Interstate 30, Bryant, AR
 DRAWING TITLE:
David's Burgers

DRAWN BY: FCM
 CHECKED BY: DSA
 COMM. NO: 170428.01
 DATE: 05/13/17
 REV. # DATE DRAWN BY

DRAWING NO:
 DWG.
2



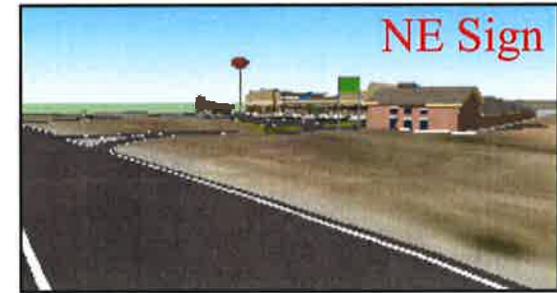


CLIENT
Reynolds Centre
23140 I-30 North
Bryant, AR

ISSUE
02/28/2017

PROJECT NO.
102
PROJECT
Arkansas
Mattress

DRAWN BY
RKR
DESCRIPTION
Exterior Directory
Sign Design



SECTION 18 - CONDITIONAL LAND USE AND VARIANCES

~~Where a land use is not specifically authorized for a certain zoning this land use can be allowed on a conditional basis. To obtain conditional land use authority the individual desiring to have this land use and the owner of the property must apply to the planning commission for a conditional land use permit. The planning commission after a public hearing and without objection from any adjoining property owner can authorize the issuance of a conditional land use permit. This permit will be issued with a specific land use and expiration date and can only be renewed one time. The permit can also be conditioned regarding bulk and area regulations, parking requirements, ingress and egress and landscaping. The holder of a conditional use permit must comply with all building codes, ADA accessibility requirements, and obtain appropriate permits before beginning business. The planning commission may delegate conditional use permit issuance to the city staff when appropriate.~~

Variances - An applicant for a variance must give a written request to the zoning board of adjustment. The board will require the applicant to have written consent from any adjoining property owner affected. The board may deny the variance or a thirty(30 day notice to issue the variance will be issued. If no written objection is received during the thirty (30) day notice period the variance will be issued.

Communication and Microwave Towers - If a land owner wants to allow a tower to be built on their property and the property is zoned commercial the owner would need to come to the commission with a plat of the property and a written request for approval to allow the tower to be built as a conditional use. The tower height must be shown on the request. If a land owner wants to sell a portion of land to someone that wants to put a tower up, the property would need to be re-platted and then the portion for the tower would have to be rezoned and come in under PUD. (Towers can exceed the three (3) story height limit.) A tower must be a minimum of thirty feet (30') from the property line.

SECTION 19 - AMENDMENTS AND CONDITIONAL USE PERMITS

Amended by Ord. 2016-30

19.1 Amendments

This code may be amended by changing the text, the Official Zoning Map, or both in accordance with these procedures.

A. Request for Amendments

The following may initiate a request to amend this Code:

1. A member or members of the City Council.
2. A member or members of the Planning Commission.
3. The owner of a property or his/her appointed agent.

B. Amendments Initiated by the City Council

1. The City Council may refer a request for amendment to the Planning Commission to be considered in accordance with the procedures outlined in paragraph C, below.

C. Amendments Initiated by the Planning Commission

1. The Planning Commission may consider amendments or additions to the Zoning Code.
2. If the proposed amendments are not consistent with the comprehensive plan, the Planning Commission must first consider and adopt any necessary changes to the plan.
3. The Planning Commission will hold a public hearing to consider amendments to the Zoning Code and amendments to the comprehensive plan, if required.
4. Notice of such hearing shall be published at least one time not less than fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant.
5. Changes in zoning classifications initiated by the Planning Commission shall be considered comprehensive changes affecting the entire city and notice to individual property owners shall be not be made unless by Planning Commission decision. The Planning Commission shall make a map and/or documents indicating the proposed changes available in City Hall for review by interested citizens and property owners at least fifteen (15) days prior to the public hearing at which the changes will be considered.
6. Following the public hearing, the proposed amendments may be approved as presented, or in modified form, by a majority of the entire Planning Commission.
7. Following its adoption of the amendments to the Zoning Code or adopted plans, the commission shall certify the adopted plans and/or recommended zoning changes to the City Council for its adoption. Approval shall require of a majority of the entire City Council.

D. Amendment Initiated by Property Owners

1. Application: An application for amendment shall be filed with the required fee with the Administrative Official at least thirty (30) days in advance of the date of the Planning Commission meeting at which the application will be heard. The application for a Zoning Amendment shall be provided by

- the Administrative Official on forms developed by the City of Bryant.
2. Public Hearing Notice: Upon receiving the application, the Administrative Official shall set a date for the public hearing for the application at the next regularly scheduled Planning Commission meeting.
 - A. Publication: Notice of the public hearing shall be published at least one time at least fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant. The applicant shall bear the cost of such advertising. The notice shall include a description of the location of the subject property, the proposed zoning change, and the time and place of the public hearing. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
 - B. Posting of the Property: Notice of the public hearing shall be made by posting a sign on the property involved for the fifteen (15) consecutive days prior to the hearing. Posting of the sign by the prescribed time shall be the responsibility of the applicant. The city shall provide the sign. The sign shall be displayed to be prominently viewable by passing motorists or pedestrians. One sign shall be required for each two hundred (200) feet of street frontage abutting the property. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
 - C. Notification of Adjacent Land Owners: The applicant shall attempt to inform, by certified letter, return receipt requested, all owners of land within three hundred (300) of any boundary of the subject property of the public hearing. The notice shall include a description of the location of the subject property, the proposed zoning change, and the time and place of the public hearing. A certified list of property owners, all return receipts, and a copy of the notice shall be provided to Administrative Official at least five (5) days prior to the public hearing.
 3. Finding of Fact: Within thirty (30) days following the public hearing, the Planning Commission shall make a specific finding as to whether or not the change is consistent with the objectives of the Zoning Code, and the Plans adopted by the Planning Commission. The Planning Commission shall approve or deny the amendment application by a majority of the entire Planning Commission. If denied by the Planning Commission, the application will not be heard by the City Council unless the decision is appealed by the applicant.
 4. Authorization by City Council: If approved by the Planning Commission, the application shall be heard by the City Council at the next City Council meeting following the Planning Commission's approval. For approval, the application will require approval by a majority of the entire City Council via ordinance.
 5. Effect of Denial of Amendment: No application for an amendment which has been denied wholly or partly by the City Council shall be resubmitted for a period of one (1) year from the date of said denial, except upon decision by the Planning Commission if substantial changes in conditions have occurred. A change of ownership of the subject property will not be deemed a substantial change of conditions.

19.2 Conditional Use Permits

A. What is a Conditional Use?

Because of their unique character and impact on adjacent properties, some uses in this code are designated as conditional uses and require a permit. Depending on the nature of the use, such uses may or may not be desirable and appropriate in all circumstances and locations. Each application's location, design, configuration, and impact must be individually and carefully reviewed to determine if the use may be allowed with special restrictions and conditions of approval.

The conditional use permit process shall not allow an applicant to secure a use variance or be used as a means to circumvent the purpose and intent of the Comprehensive Plan or Zoning Code.

B. Uses

Uses listed in this code as "conditional uses" shall be the only uses for which a conditional use permit may be permitted as described in paragraph D of this Section. However, where the Planning Commission makes a specific determination to treat an unlisted use as a conditional use, in accordance with Section 4, paragraph B, an application for a conditional use permit may be accepted for review and approval/denial.

C. Conditions

The Planning Commission may impose reasonable conditions and restrictions on any conditional use permit as may be necessary to reduce or minimize the impacts of a the conditional use, ensure compatibility with surrounding property, and to carry out the purpose and intent of this Code.

Conditions required as part of the permit may be of two types. Threshold Conditions are conditions which must be met by all proposed permits before an application may be considered for approval. Such conditions are special provisions that apply to each specific use or zoning district as well as general application requirements. Imposed Conditions are those that the Planning Commission may apply through review of the permit.

D. Procedure for Authorizing

1. Application: An application for a conditional use permit shall be filed with the required fee with the Administrative Official at least thirty (30) days in advance of the date of the Planning Commission meeting at which the application will be heard. The application shall be provided by the Administrative Official on forms developed by the City of Bryant.
2. Public Hearing Notice: Upon receiving the application, the Administrative Official shall set a date for the public hearing for the application at the next regularly scheduled Planning Commission meeting.
 - A. Publication: Notice of the public hearing shall be published at least one time at least fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant. The applicant shall bear the cost of such advertising. The notice shall include a description of the location of the subject property, the proposed use, and the time and place of the public hearing. Failure to provide notice in this manner shall require delay of the public

- hearing until notice has been properly made.
- B. Posting of the Property: Notice of the public hearing shall be made by posting a sign on the property involved for the fifteen (15) consecutive days prior to the hearing. Posting of the sign by the prescribed time shall be the responsibility of the applicant. The city shall provide the sign. The sign shall be displayed to be prominently viewable by passing motorists or pedestrians. One sign shall be required for each two hundred (200) feet of street frontage abutting the property. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
3. Development Plan Requirement: A development plan for a conditional use permit shall be required. The development plan shall include a letter of intent and a site plan. The site plan shall include the following:
- A. Location, size, and use of buildings/signs/land or improvements;
 - B. Location, size, and arrangement of driveways and parking and loading areas as well as any vehicular maneuvering areas;
 - C. Existing topography and any proposed grading;
 - D. Proposed and existing lighting;
 - E. Proposed landscaping and screening;
 - F. Use of adjacent properties;
 - G. Scale, north arrow, and vicinity map
 - H. Additional information that may be requested by the Administrative Official due to unique conditions of the site.
4. Development Plan Review: The application shall be reviewed by the Administrative Official and Development Review Committee. The Administrative Official shall provide a report and recommendation to the Planning Commission on the application's relation to and probable effect on the surrounding area as well as its compliance with the requirements of this Code and other applicable codes.
5. Public Hearing and Planning Commission Action: The Planning Commission shall hold a public hearing to allow public comment regarding the application. Within sixty (60) days following the public hearing, the Planning Commission shall then make one of the following determinations: approve the permit as requested; approve the permit with modifications; refer the permit back to the Development Review Committee for additional consideration; or deny the permit. Applications referred back to Development Review Committee shall be subject to an additional public hearing and meet the notice requirements listed in Section 19.2, Paragraph D, item 2.
6. Appeal: Any applicant or other affected party aggrieved by a decision of the Planning Commission as it relates to a conditional use permit shall have the right to appeal to the City Council. Such appeal must be filed in writing with the City Clerk within fifteen (15) days after the Planning Commission action. The City Council may affirm, modify, deny the application. The City Council may also refer the application back to the Planning Commission for reconsideration. Such action shall not be subject to a public hearing.

E. Standards of Review and Finding of Fact

Before any conditional use permit shall be approved, the Planning Commission shall make a finding of fact to support the following standards of review, where

applicable:

1. The establishment, maintenance, or operation of the proposed conditional use will not be detrimental to or endanger the public health, safety, or welfare;
2. The proposed conditional use will not harm other property in the vicinity;
3. The establishment of the Conditional Use will not impede the normal or orderly development and improvement of the surrounding properties;
4. The size of the site is adequate for the proposed use;
5. Traffic generated by the use will not unduly burden transportation facilities in the vicinity;
6. Adequate buffering devices such as fencing, landscaping, or grading are used to sufficiently protect adjacent property;
7. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust, and odor have been addressed in the proposed application;

F. Fees

The application fee for a conditional use permit shall be \$150. Such fee is non-refundable. No application shall be accepted and no action taken unless and until the application fee is paid in full.

G. Status and Revocation of a Conditional Use Permit

1. Construction: An approved conditional use permit must be commenced within six (6) months of the approval of the permit. If construction is required as part of the permit, construction must commence within six (6) months and must be completed within twenty-four (24) months.
2. Discontinuance: The permit for any use that has been discontinued for a period of greater than 365 days shall be considered invalid and revoked. Future use of the property must comply with the provisions of the underlying zoning district until a new Conditional Use Permit is obtained. The permit shall run with the land and shall be transferable from occupant/owner to occupant/owner.
3. Revocation: In the case where any of the specific terms and conditions of a conditional use permits are violated, ignored, or otherwise not observed the Administrative Official may revoke such permit. A 30-day written notice using certified mail shall be addressed to the applicant indicating the nature of the non-compliance and the applicant's right to file an appeal to the Board of Adjustment. If no appeal is filed within the 30-day period, and the non-compliance has not been corrected within 45 days of receipt of the written notice, the permit shall be revoked. Revocation shall be immediate and shall prevent use of the property in a general manner as specified within the original permit. The property shall revert to its use status prior to issuance of the conditional use permit.

H. Concurrent Applications

Conditional use permit applications and zoning amendment as well as site plan review applications may be processed by the city concurrently. However, approval for the zoning amendment or site plan shall not be considered effective unless and until the conditional use permit is approved.