

Bryant City Development Review Committee

Thursday, December 15th, 2016

9:00 a.m.

Bryant City Complex/Administration Conference Room

AGENDA

1650 Bryant Laundromat Addition

Chris Taylor - Bartlett Architecture - Requesting Site Plan Review.

Documents:

[Checklist.pdf](#)

[1650 Site Plan for DRC 12-9-2016.pdf](#)

Sally's Body Shop Expansion

Charlie Best - Requesting Site Plan Approval.

Documents:

[Bryant Planning Comm.doc](#)

[Sallys Body Shop Checklist.pdf](#)

[Sallys Body Shop Bryant.doc](#)

[Sallys Body Shop Site and Landscaping.pdf](#)

[Sallys Body Shop Survey.pdf](#)

[Sallys Body Shop Detention Maint. Plan.docx](#)

Proposed Development On Springhill Road

Eric Krebs - Sentinel Group - Discussion of Proposed Development.

Documents:

[SPRINGHILL Prelim2.pdf](#)

Permit Report

Greg Huggs

Phone: 501-943-0301

e-mail: tsmith@cityofbryant.com

Bryant Planning Commission

SMALL SCALE DEVELOPMENT COMMERCIAL BUILDING CHECKLIST

CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022
501-943-0309

PC MEETING DATE: THURSDAY OF EACH WEEK
TIME: 9:00 A.M.
PLACE: ADMINISTRATION CONFERENCE ROOM-BRYANT OFFICE COMPLEX
AGENDA DEADLINE: 5:00 P.M. FRIDAY PRIOR TO SCHEDULED MEETING DATE

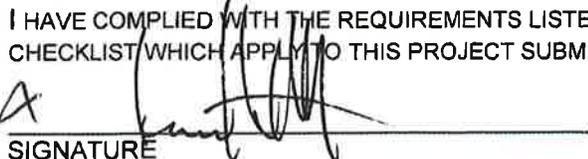
REQUIREMENTS FOR SUBMISSION

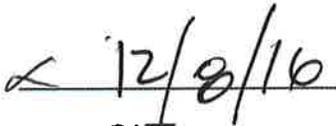
1. COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
2. ADA/ABA FORM COMPLETED
3. TWO FULL SETS OF BUILDING PLANS
4. 12 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
 - A. VICINITY MAP
 - B. LEGAL DESCRIPTION
 - C. LANDSCAPING PLAN
5. 12 FOLDED COPIES OF FLOOR PLAN
6. 12 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
7. A CD IN .PDF FORMAT
8. COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
9. 2 COPIES OF STORMWATER DETENTION PLAN
10. \$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.

NOTE: WHEN MAKING CHANGES TO AN APPROVED SITE PLAN, A REVISED SITE PLAN MUST BE SUBMITTED TO THE BRYANT PLANNING COMMISSION FOR APPROVAL. THIS MUST BE DONE PRIOR TO IMPLEMENTATION. FAILURE TO COMPLY WILL RESULT IN PENALTIES/FINES BEING IMPOSED IN ACCORDANCE WITH CITY ORDINANCES.

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.


SIGNATURE


DATE

City of Bryant Commercial Building Checklist

Name of Development Bryant Laundromat Addition
Site Location 110 Dell Dr. Bryant, AR 72022 Current zoning C-2
Owner Sadhvi Rentals LLC Phone _____

I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- ▲ 1. Name of Development ✓
- ▲ 2. Current zoning ✓
- ▲ 3. Name and Address of owner of Record ✓
- ▲ 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan ✓
- ▲ 5. Date of preparation of the plan ✓
- ▲ 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 7. Legal description of the property with exact boundary lines
- ▲ 8. North arrow & Scale ✓
- ▲ 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway ✓
- ▲ 10. Lot area in square feet ✓
- ▲ 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34") ✓
- ▲ 12. Existing streams, drainage channels, and other bodies of water ✓
- ▲ 13. Drainage easements for stormwater run-off and detention shown & labeled ✓
- ▲ 14. Location and name of existing streets ✓
- ▲ 15. Show source of water supply ✓
- ▲ 16. Show location of waste water connection to municipal system & sanitary sewer layout ✓
- ▲ 17. Fire Hydrant placement ✓
- ▲ 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets ✓
- ▲ 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan ✓
- ▲ 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated. ✓
- ▲ 21. Location, massing and pattern of existing vegetation to be retained ✓
- ▲ 22. Existing structures on the site ✓
- ▲ 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc. ✓
- ▲ 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context. ✓
- ▲ 25. Any variance approvals ✓

II ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan		
Proposed improvement is within building line setbacks Front _____ ft. Side _____ ft. CNR Side _____ ft. Back _____ ft.		
Parking requirements can be satisfied Floor Space _____ sq.ft. divided by 300 = _____ (no. of parking spaces required)		
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)	✓	
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation	✓	
Will there be a dumpster located on the site? <i>Ex.</i>		
Will there be a construction site office?		X
Have you made "One Call"?		X
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines	✓	
Design complies with Arkansas Plumbing Code and National Electric Code requirements	✓	
Foundation and structure meet earthquake requirements for Zone 1.	✓	
Structure meets Arkansas Energy Code for specified use.	✓	
Complies with Arkansas Fire Prevention Code	✓	
Complies with International Code Council regulations	✓	
Will a Site Clearance Permit be required? (City Ordinance 2002-03)		✓
Are you granted any variances by the Board of Adjustment?		✓
If you have been granted a variance please explain in detail:		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant	✓	_____
Spacing will be 40' between trees	✓	_____
Tree must be a minimum 3" in diameter at the base and 12' + tall	✓	_____
Existing trees meeting the minimum size can be counted to meet above criteria <i>N/A</i>	✓	_____
No trees can be planted within 30 feet of a property corner or driveway	_____	✓
Shrubs along street right-of-way lines cannot exceed 30 inches in height	✓	_____

IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
1. C-1 Zoning - Neighborhood Commercial		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183		
Front Yard: not less than 50 feet from front property line	//	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	/	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	✓	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	✓	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 3. C-2 Zoning - Lots fronting along roadways designated as interior local.		
Front Yard: none required	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor
or Authorized Agent _____ Date _____

Signature of Owner
(if owner-builder) _____ Date _____

Application of Permit Approved: _____ Date _____
Commission - Chairman

Bryant Water & Sewer Department

GREASE TRAP STANDARDS

The City of Bryant requires all commercial buildings comply with plumbing codes found in the Arkansas State Plumbing Code, Latest Edition. All new construction, remodeling, and modifications must conform to these plumbing standards for places of public accommodation and commercial facilities. These guidelines contain general design standards for construction and site elements relating to plumbing.

As of 7/27/04, the Bryant Sewer & Water Commission requires stringent specification standards for commercial or public businesses that involve any food preparation on the premise. The new standard requires calculations, and associated data to be submitted to the Bryant Water Utilities General Manager concurrent with the proposed building plumbing plans along with a grease trap calculation form. Building Permits will not be issued until this form has been received and approved by the Bryant Water Utilities General Manager.

All new buildings or strip centers containing sections designated for commercial enterprise are encouraged to provide a stub-out for a separate waste line for future grease interceptor installation. The owner of a new strip center shall consider suitable physical property space and sewer gradient that will be conducive for the installation of an exterior, in-ground grease interceptor(s) for any flex space contained within the strip center. Physical Property Restrictions and sewer gradient shall not be a defense for failure to install an exterior, in-ground grease interceptor.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the City of Bryant Water & Sewer Department. I further understand that copies of the Grease Interceptor Design and Structural Criteria regulations will be available from the Bryant Water/Wastewater Plant (501-847-8083) during business hours.

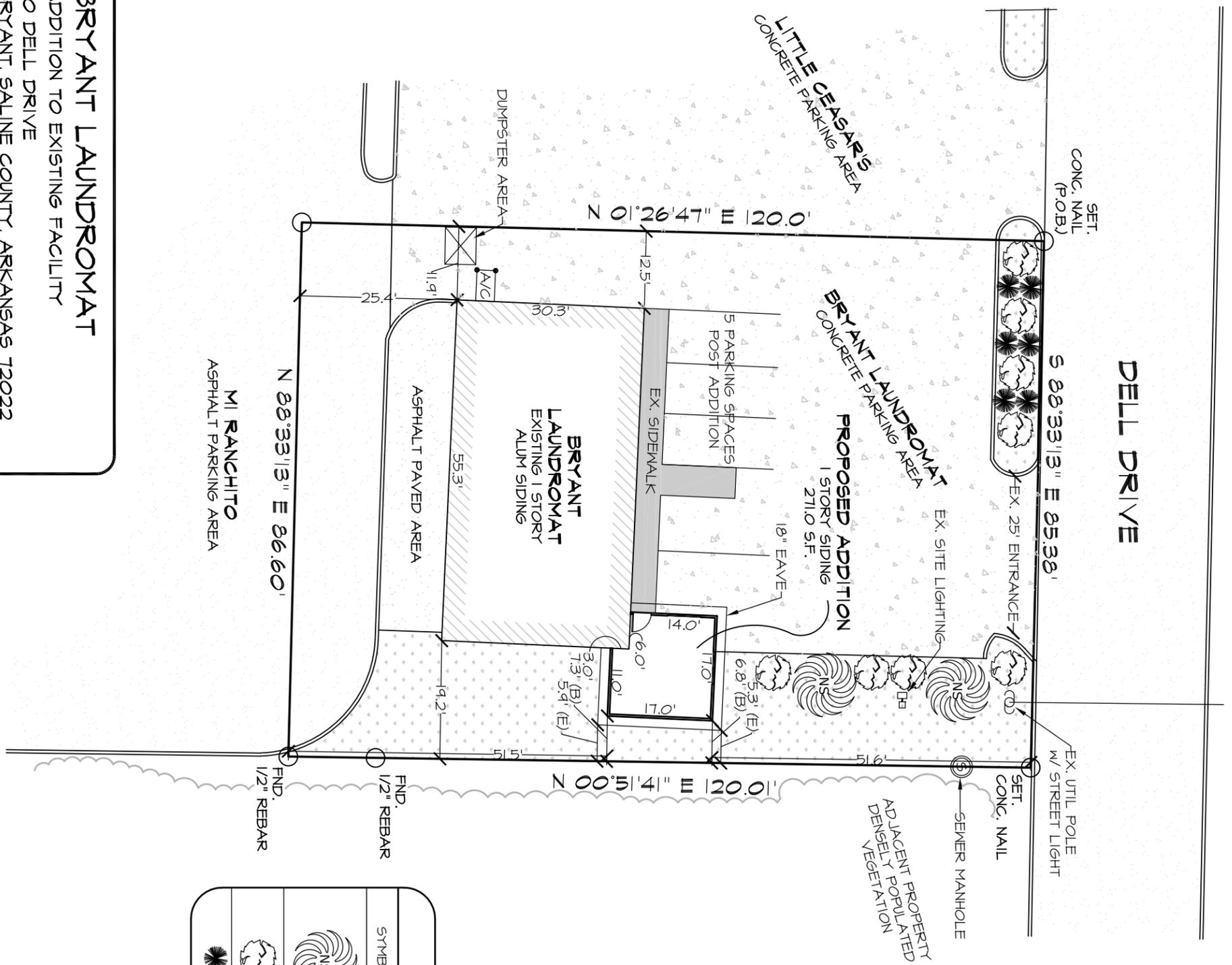
Project Name _____

Signature of Contractor
or Authorized Agent _____ Date _____

Signature of Owner
(if owner-builder) _____ Date _____

Calculations
Approved: _____ Date _____
Bryant Water Utilities General Manager

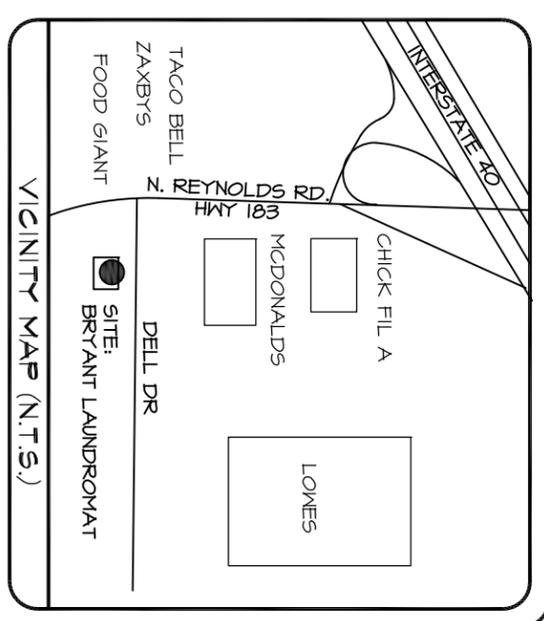
BRYANT LAUNDROMAT
 ADDITION TO EXISTING FACILITY
 110 DELL DRIVE
 BRYANT, SALINE COUNTY, ARKANSAS 72022



ADJACENT PROPERTY
 DENSELY POPULATED
 VEGETATION

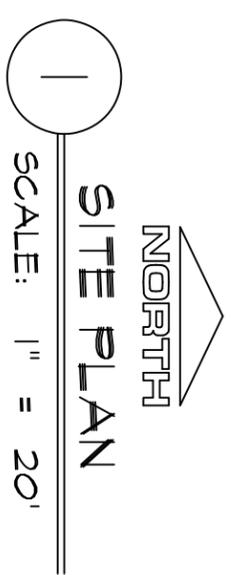
GENERAL SITE NOTES:
 SUBJECT PROPERTY AREA: 10318.80 S.F. OR 0.24 AC +/-
 CURRENT ZONING: C-2 HIGHWAY COMMERCIAL
 SOURCE OF WATER: CITY OF BRYANT
 SOURCE OF SEWER: CITY OF BRYANT
 UTILITY NOTE: NO UTILITIES REQUIRED FOR ADDITION

PROPERTY DESCRIPTION:
 A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHWEST CORNER OF THE SAID SW1/4 OF THE SW1/4, THENCE NORTH 02 DEGREES 34 MINUTES 04 SECONDS EAST ALONG THE WEST LINE THEREOF A DISTANCE OF 527.40 FEET TO A POINT; THENCE SOUTH 88 DEGREES 33 MINUTES 13 SECONDS EAST A DISTANCE OF 58.61 FEET TO POINT ON THE EAST RIGHT OF WAY LINE OF ARKANSAS STATE HIGHWAY NO. 183 (REYNOLDS ROAD); THENCE ALONG SAID EAST RIGHT OF WAY LINE, SOUTH 05 DEGREES 08 MINUTES 46 SECONDS EAST A DISTANCE OF 25.51 FEET TO A FOUND COTTON PICKER SPINDLE; THENCE LEAVING SAID RIGHT OF WAY LINE, SOUTH 88 DEGREES 33 MINUTES 13 SECONDS EAST A DISTANCE OF 164.94 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88 DEGREES 51 MINUTES 13 SECONDS WEST A DISTANCE OF 120.01 FEET TO A POINT; THENCE SOUTH 00 DEGREES 51 MINUTES 13 SECONDS WEST A DISTANCE OF 86.60 FEET TO A POINT; THENCE NORTH 01 DEGREES 26 MINUTES 47 SECONDS EAST A DISTANCE OF 120.00 FEET, RETURNING TO THE POINT OF BEGINNING, CONTAINING 0.24 ACRE, MORE OR LESS.



LANDSCAPING MATERIALS SCHEDULE

SYMBOL	QUANTITY	ABRV.	COMMON NAME	SCIENTIFIC NAME	SIZE (MIN.)
	2	NS	NELLY R STEVENS HOLLY	ILEX X ATTENUATA	2" CAL. x 12(T)
	8	EGH	EVERGREEN HOLLIES	ILEX SPECIES	18" MIN.
	6	ND	NANDINA	NANDINA DOMESTICA	18" MIN.



C-1
 SHEET 1 of 1

SITE PLAN
 PROJECT # 1650
 DATE: 12-08-16

BARTLETT ARCHITECTURE, inc.
 603 HIGHWAY #5 NORTH
 BENTON, ARKANSAS 72015
 (501) 794-4448

SADHYI RENTALS, LLC
 110 DELL DRIVE
 BRYANT, ARKANSAS 72022

Hurricane Valley, Inc.

Professional Engineering Consultants

P.O. Box 118 (72089) 1506 Prickett Road

Bryant, AR

501-847-7282

December 9, 2016

City of Bryant Planning Commission
210 S.W. 3rd Street
Bryant, AR 72022

Bryant Planning Commission:

I am requesting the review of the attached Site and Grading plans for a proposed expansion of Sally's Body Shop located at 421 Roya Lane.

Enclosed are the following:

- Checklist
- Copy of survey.
- 3 copies of the Site & Grading Plan, Landscape Plan, Front & Rear Elevations, and Floor Plan.
- Detention calculations with \$250 check for the review fee.
- CD with Site and Landscaping Plans, Detention Calculations and Detention Maintenance Plan

Sincerely:

Charles Best. P.E.



210 S.W. 3rd Street
Bryant, AR 72022
PHONE: 501-847-5559 ext. #505
FAX: 501-847-5332
EMAIL: ljones@cityofbryant.com

SMALL SCALE DEVELOPMENT COMMERCIAL CHECKLIST

PC MEETING DATE: THURSDAY OF EACH WEEK
TIME: 9:00 A.M.
PLACE: ADMIN CONFERENCE ROOM – BRYANT OFFICE COMPLEX
AGENDA DEADLINE: 5:00 P.M. FRIDAY PRIOR TO THE REGULAR SCHEDULED MEETING DATE

REQUIREMENTS FOR SUBMISSION

1. COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
2. ADA/ABA FORM COMPLETED
3. TWO FULL SETS OF BUILDING PLANS
4. 12 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
 - A. VICINITY MAP
 - B. LEGAL DESCRIPTION, AND
 - C. THE LANDSCAPING PLAN (THE LANDSCAPING PLAN MAY BE A SEPARATE DOCUMENT)
5. 12 FOLDED COPIES OF FLOOR PLAN
6. 12 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
7. AN IBM COMPATIBLE DISKETTE OR CDR WITH THE DATA IN PDF FORMAT
8. COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
9. 2 COPIES OF STORMWATER DETENTION PLAN.
10. \$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.

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I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

SIGNATURE

A handwritten signature in blue ink, appearing to read "Charles Best", written over a horizontal line.

DATE

12/9/16

**CITY OF BRYANT
SMALL SCALE DEVELOPMENT
COMMERCIAL CHECKLIST**

Name of Development SALLY'S BODY SHOP EXPANSION
Site Location 421 ROYAL LAKE Current zoning C-2
Owner AZALEA AND MICHAEL JASSO Phone 847-8639

I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- 1. Name of Development
- 2. Current zoning
- 3. Name and Address of owner of Record
- 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan
- 5. Date of preparation of the plan
- 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within 1/2 mile
- 7. Legal description of the property with exact boundary lines
- 8. North arrow & Scale
- 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway
- 10. Lot area in square feet
- 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34")
- 12. Existing streams, drainage channels, and other bodies of water
- 13. Drainage easements for stormwater run-off and detention shown & labeled
- 14. Location and name of existing streets
- 15. Show source of water supply
- 16. Show location of waste water connection to municipal system & sanitary sewer layout
- 17. Fire Hydrant placement
- 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets
- 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan
- 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated.
- 21. Location, massing and pattern of existing vegetation to be retained
- 22. Existing structures on the site
- 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc.
- 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context.
- 25. Any variance approvals

II ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan		
Proposed improvement is within building line setbacks Front <u>NA</u> ft. Side <u>NA</u> ft. CNR Side _____ ft. Back <u>50</u> ft.	✓	
Parking requirements can be satisfied Floor Space <u>9000</u> sq.ft. divided by 300 = _____ (no. of parking spaces required)		
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)	✓	
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation		
Will there be a dumpster located on the site?		✓
Will there be a construction site office?		✓
Have you made "One Call"?		✓
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines	✓	
Design complies with Arkansas Plumbing Code and National Electric Code requirements	✓	
Foundation and structure meet earthquake requirements for Zone 1.	✓	
Structure meets Arkansas Energy Code for specified use.	✓	
Complies with Arkansas Fire Prevention Code	✓	
Complies with International Code Council regulations	✓	
Will a Site Clearance Permit be required? (City Ordinance 2002-03)		✓
Are you granted any variances by the Board of Adjustment?		✓
If you have been granted a variance please explain in detail:		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant		✓
Spacing will be 40' between trees	✓	
Tree must be a minimum 3" in diameter at the base and 12' + tall	✓	
Existing trees meeting the minimum size can be counted to meet above criteria		✓
No trees can be planted within 30 feet of a property corner or driveway	✓	
Shrubs along street right-of-way lines cannot exceed 30 inches in height	✓	

IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
1. C-1 Zoning - Neighborhood Commercial		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183		
Front Yard: not less than 50 feet from front property line	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
3. C-2 Zoning - Lots fronting along roadways designated as interior local.		
Front Yard: none required	✓	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	✓	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	✓	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	✓	_____
Parking: one space per each 300 sq. ft. of occupied space	✓	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	✓	_____

V. SITE PLAN ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- 26. Completed Checklist
- 27. Completed ADA/ABA Form
- 28. Two full sets of Building Plans
- 29. 12 copies of Site Plan (folded to no larger than 8 1/2 X 14 size) that includes vicinity map and landscaping plan (minimum size 17" X 34" paper)
- 30. 12 copies of Landscaping Plan (folded to no larger than 8 1/2 X 14 size)
- 31. 12 copies of building floor plan (folded to no larger than 8 1/2 X 14 size)
- 32. Copy of Stormwater Detention Plan
- 33. Copy of ADEQ Stormwater Pollution Prevention Plan for property containing one acre or larger.
- 34. IBM compatible diskette or CD with data in PDF format.
- 35. Receipt for \$250.00 for Stormwater Detention and Drainage Plan review

I CERTIFY that the design of SALLY'S BODY SHOP EXPANSION in the City of Bryant, Arkansas complies with the above regulations, laws and codes.

AZALEA ANN MICHAEL DASSO

Owner

421 Royal Lane

Mailing Address

Bryant

City

CHARLES BEST
HORNICAL VALLEY INC

Engineer/Architect

847-7282

Phone #

12/9/16

Date

CITY USE

Action Taken:

Special Conditions:

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

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The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor
or Authorized Agent _____



Date 12/9/16

Signature of Owner
(if owner-builder) _____

Date _____

Hurricane Valley, Inc.
Professional Engineering Consultants
P.O. Box 118 (72089) 1506 Pricket Road
Bryant, AR
Tel 501-847-7282 Fax 501-847-2431

STORM WATER DETENTION PLAN

Salley's Body Shop
Roya Lane & Bishop
Bryant, Arkansas

December 9, 2016

PROJECT DESCRIPTION

The original project consisted of constructing an automotive body repair shop on a 1.54-acre tract located at 421 Roya Lane. The original detention was designed to serve the entire 1.54 acres after being fully developed. This project is the addition of a 8500 SF building and additional paving. The original detention area will is to be relocated and redesigned to meet current requirements.

DETENTION PLAN

The construction activity consists of grading approximately 0.5 acres of surface area; placements of fill material, construction of a building, and paving. Storm water is to be detained with above ground detention.

DETENTION POND CALCULATIONS

This tract was used previously for parking and is currently partially graveled. It has a slope of approximately 1%. I estimate the current runoff coefficient to be 0.55. The runoff coefficient of the site after construction is completed is expected to be 0.92 for paved & roof areas and 0.55 for graveled areas.

Pre-development

Flow Dist. L = 350 ft.
Slope = 1%
Total Area = 1.54 acres
Conc. Time (Tc) = 15 min.
Return Period = 25 years Intensity = 6.2 in/hr
Return Period = 100 years Intensity = 7.8 in/hr
Coefficient (undev) = 0.55

$$Q (\text{undev}) = Aci = 1.54 \times 0.55 \times 7.8 = 6.61 \text{ cfs}$$

Discharge Design

$$Q (\text{undev}) = Aci = 1.54 \times 0.55 \times 6.2 = 5.25 \text{ cfs}$$

Post Development

Flow Dist. $L = 350$ ft. Slope = 1 %
Conc. Time (T_c) = 5 min.
Return Period = 100 years Intensity = 10.0 in/hr
Coefficient (undev) = 0.92
Approx. 0.5 acres to remain vegetated.
 $Q(\text{dev}) = Aci \quad 1.54 \times 0.92 \times 10 = 14.17$ cfs

Detention Pond Volume Required

Diff. = $14.17 - 6.61 = 7.56$ cfs

Total Required $V = 7.56 \times 5 \times 60 = 2268$ CF

Discharge

low-flow pipe discharge allowed 5.25 cfs (see "Discharge Design" above)

Try 12 inch PVC pipe $H = 1.67$ ft
 $Q = CA(2gh)^{1/2} = 0.6(.79)(2)(32.2)(1.67)^{1/2} = 4.92 < 5.25$ cfs **OK**

Use 12 Dia Hole

Spillway

Return Period = 100 years Intensity = 10 in/hr
 $1.54 \times 0.92 \times 10 = 14.17$ cfs

$14.17 - 4.92$ (12 in. pipe) = 9.25 cfs (required spillway)

10ft wide x 7 in. deep wier = 14.52 cfs > 9.52 cfs **OK**

Use 10 ft wide

CONTRACTOR

Not selected.

SKETCH

See attached sketch.

Respectfully submitted,

Charles F. Best, P.E.

REVISED ON:		
NO.	DATE OF REVISION	BY
1	11-30-09	JH

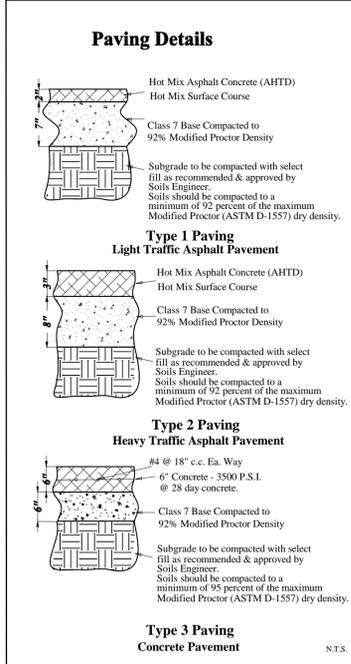
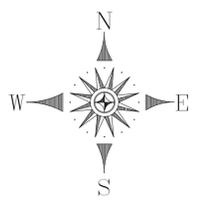
Utilities:
 Water - City of Bryant
 Sewer - City of Bryant
 Power - Entergy
 Gas - Centerpoint

Owner:
 Azalea and Micheal Jasso
 421 Royla Ln
 Bryant, AR 72022

Engineer:
 Hurricane Valley Inc.
 P.O. Box 118 Bryant, AR
 501-847-7282

Legal Description:
 See survey

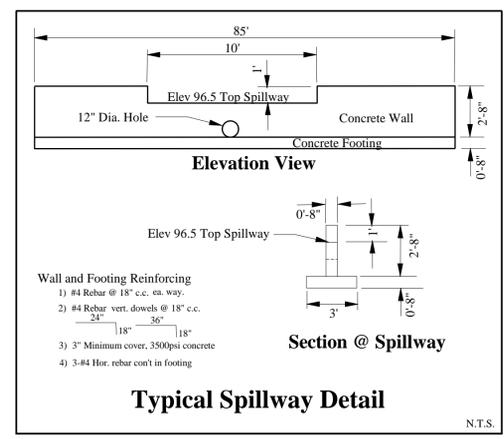
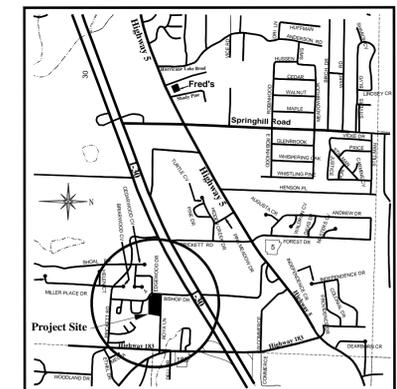
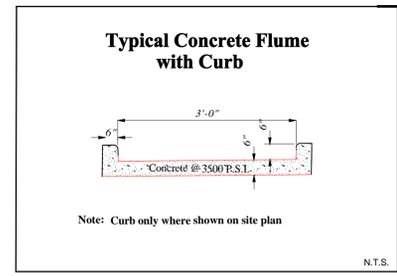
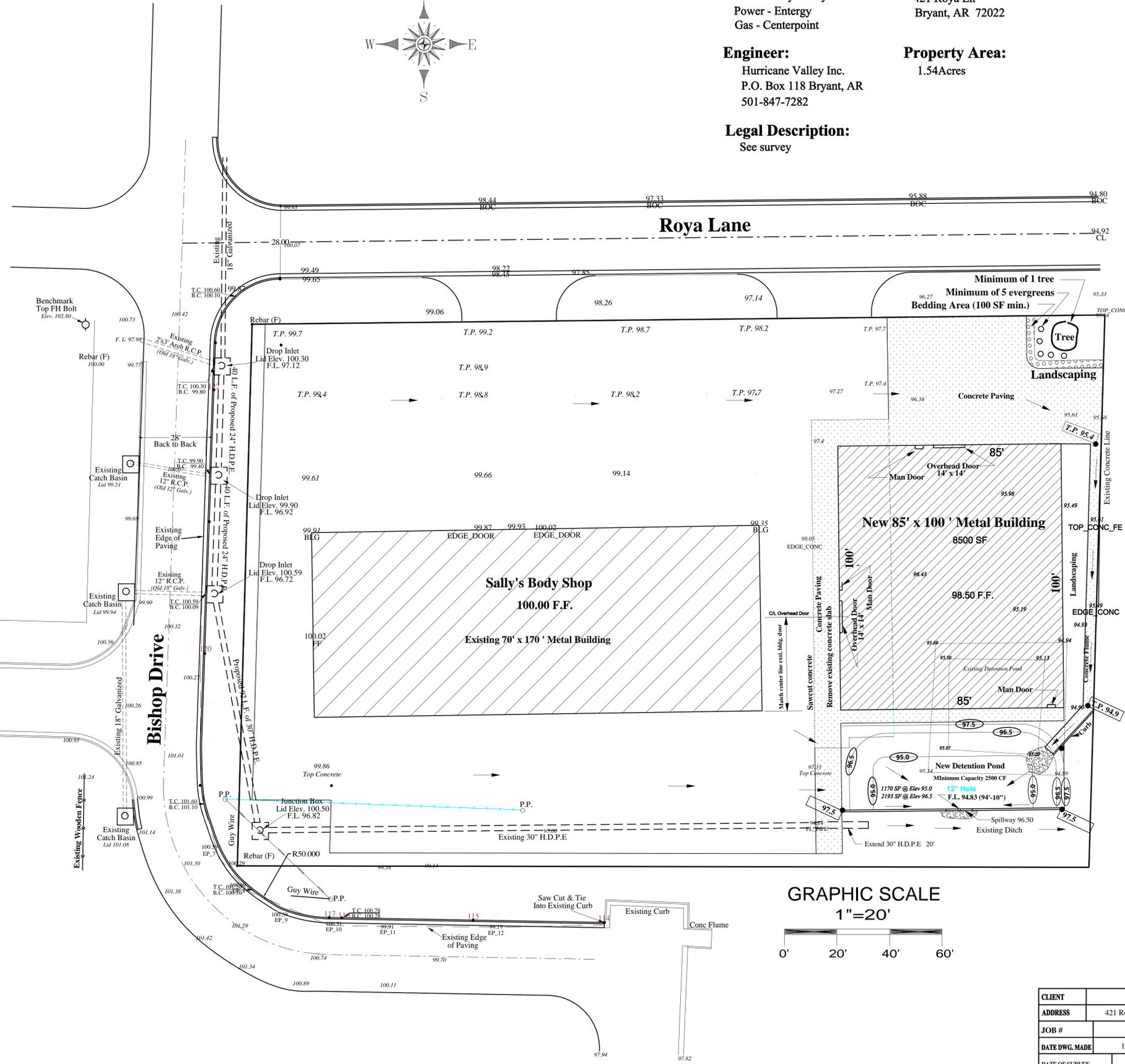
Property Area:
 1.54Acres



General Site Construction Notes:

- See Architectural Drawings for grading details at buildings.
- Finish contours and grades shown are for finished surfaces; allowances shall be made for pavements, slabs, topsoil, soil, etc. Uniform planes and surfaces shall be shaped between finished spot elevations and/or finish contours shown. Minimum pavement slopes shall be 1% minimum. Concrete curb & gutter slope shall not be less than 0.5% spill-out curb shall be used on the high side of pavement.
- The contractor shall control erosion as shown in the SWPPP.
- All areas to be cut or filled shall be cleared and grubbed. The maximum fill slope shall be 3:1. All fills shall be made in 8" lifts and compacted at optimum moisture content to 95% of modified proctor density (ASTM D-1557), as determined by in-place density tests. Fill material shall be tested and approved by the engineer prior to placement. Cut areas shall be tested and approved by the engineer prior to placement of additional subgrade material or base.
- The contractor shall coordinate with each utility company prior to any excavation. Any damage to utility lines caused by the contractor's operations shall be repaired at the contractor's expense. The contractor shall verify the horizontal and vertical alignment of existing and proposed storm sewer, sanitary sewer and water lines to ensure that they are installed with adequate cover and clearance. All rough grading shall be complete before installation of storm sewer, sanitary sewer and appurtenances, water mains, services and appurtenances. All utility trenches shall be backfilled and compacted with select material as specified in note #4 above.
- The contractor shall comply with all applicable laws, codes and ordinances governing work of this type.
- The installations of all culvert pipes are to be in accordance with City of Bryant specifications.
- All existing improvements that interfere with the work, and are not to be saved shall be removed and disposed of. The contractor shall protect improvements in the right-of-way that are to remain.
- All water mains, sewer mains and the appurtenances including installation, shall comply with the Plans and Specifications. Connections shall not be made to existing lines until new construction has been tested and approved.
- The contractor's attention is specifically called to the location of the existing improvements. The contractor shall be solely responsible for damaging any existing improvements that are to remain. Prior to submitting his bid, the contractor shall review the plans and specifications. He shall visit the site and inspect the condition of the site and the adjacent improvements.
- The contractor shall call "One-Call" for location of all utilities prior to commencement of any excavation.
- Any excess excavated material, not required for construction of fills shall be hauled off the site.
- Materials:
 - Concrete:
 - 13.1.1 Ready-mix concrete to be used with a minimum compressive strength at 28 days of 3500 psi.
 - 13.1.2 Unless otherwise authorized by the Engineer, the slump shall not exceed 4 inches.
 - 13.1.3 Ready-mix concrete shall be obtained from the same approved source in order to minimize color differences in the concrete where used for sidewalks, curbing and paving.
 - Concrete Reinforcing Materials:
 - 13.2.1 Bars shall conform to "Specifications for Deformed Billet-Steel Bars for Concrete Reinforcement", ASTM A-615, grade 60.
 - 13.2.2 Wire fabric shall conform to "Specifications for Wire Fabric for Concrete Reinforcement", ASTM A-185.
 - 13.2.3 Supports, Spacers and Chairs: Types which will hold reinforcement in position shown in accordance with requirements of ACI 318 except as specified.
- Saw-cut Control Joints:
 - 14.1 Depth of cut: 1/4 of slab thickness
 - 14.2 Maximum spacing based upon thickness, unless noted otherwise:

14.2.1 4-inch slab	10ft c.c. or as shown
14.2.2 5-inch or larger slab	15ft c.c.



Legend

- 95.0 Finish Grade
- 95.0 Finish Contour
- Power Pole
- Exist. Contour
- Finish Elev. Contour
- Telephone
- Centerline
- Water Line
- Powerline
- Proposed Curb
- Concrete
- Rip-Rap
- Property Line



CLIENT	421 Royla Lane, Bryant, AR	DSGN BY	CHARLES BEST
ADDRESS	421 Royla Lane, Bryant, AR	DWN BY	
JOB #	15058	CHKD BY	
DATE DWG. MADE	12-09-2016	APPR BY	
DATE OF SURVEY		SCALE	1" = 20'

HURRICANE VALLEY INC.
 PROFESSIONAL ENGINEERING CONSULTANTS
 P.O. BOX 118 BRYANT, ARKANSAS
 501-847-7282
 FAX: 501-847-2431

Sally's Body Shop Expansion
 Site and Landscaping Plan
 Bryant, Arkansas
 SHEET 1 OF 1

Hurricane Valley, Inc.
Professional Engineering Consultants
P.O. Box 118 (72089) 1506 Pricket Road
Bryant, AR
Tel 501-847-7282

STORM WATER DETENTION MAINTENANCE PLAN

Sally's Body Shop Expansion

421 Roya Lane
Bryant, Arkansas

December 9, 2016

Azalea and Michael Jasso (owners of property) will be responsible for the inspection and maintenance of the storm water detention ponds. Inspections are to be scheduled as directed in this document. All documentation on scheduled inspections, dates of inspections, and maintenance completed shall be retained by Azalea and Michael Jasso for a period of three years.

DETENTION PONDS

Monthly Maintenance (as applicable):

- Mow grass on the slopes and bottom of detention pond.

Biennial Maintenance (Spring & Fall):

- Check outlets for clogging with trash or dead vegetation, clean when necessary
- Remove dead vegetation that obstructs flow

Annual Maintenance (Early Spring):

- Check outlets for sediment in-fill, clean when necessary
- Check pond for sediment accumulation, remove if 6" or more has accumulated

CONCRETE SWALES and SPILLWAY

Monthly Maintenance (as applicable):

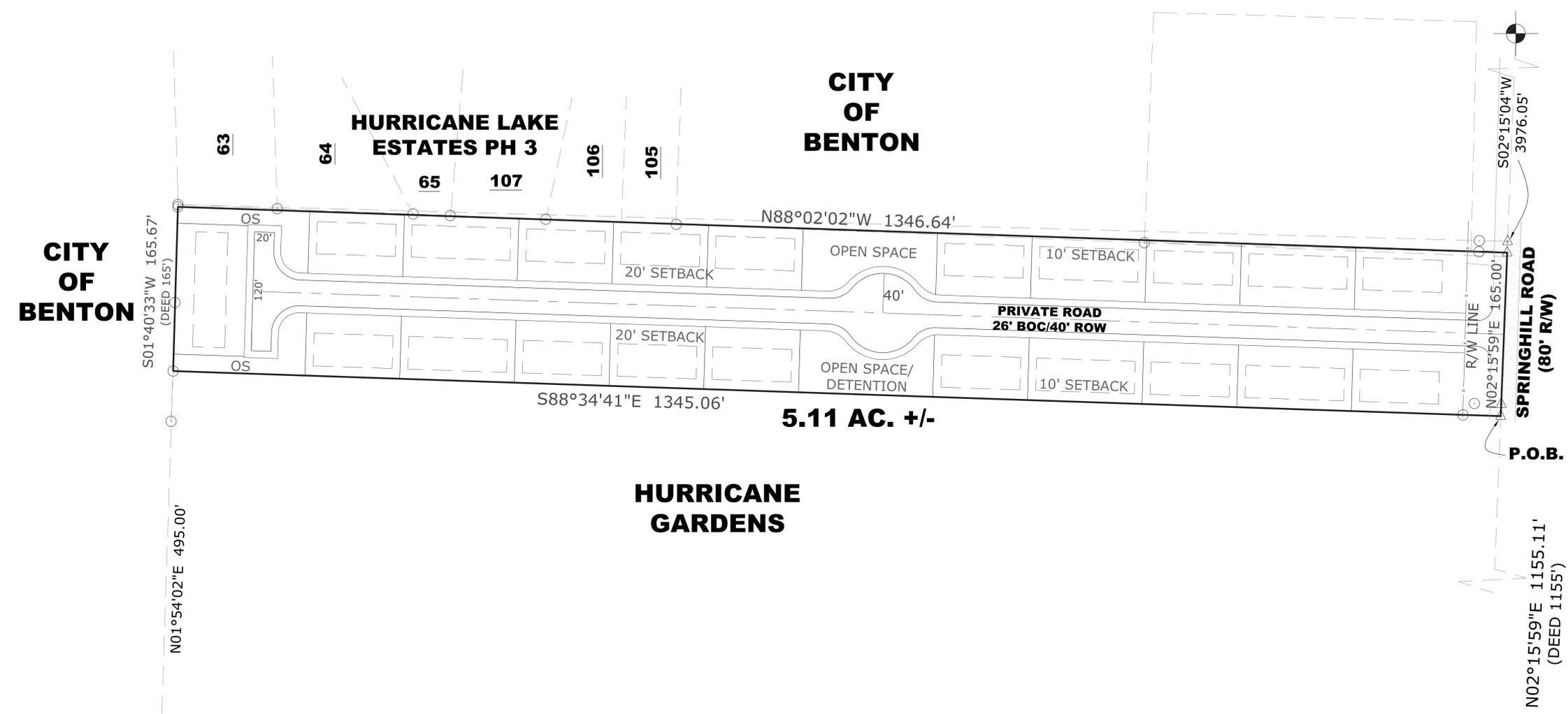
- Clean debris as necessary.

Annual Maintenance (Early Spring):

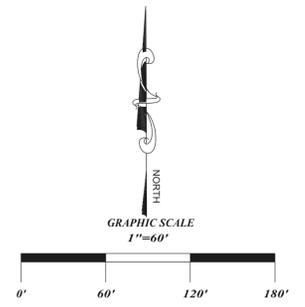
- Check swales for sediment accumulation, or in-fill, clean when necessary



VICINITY MAP - N.T.S.



LAYOUT NOTES:
 SETBACKS:
 FRONT: 20 FT
 SIDE: 8 FT (25 FT AT ROAD ROW)
 REAR: 10 FT
 MAX. 21 LOTS
 USE: DUPLEXES
 LOT WIDTH: VARIES FROM 96' TO 116'
 LOT DEPTH: 62.5 FT
 PRIVATE ROAD: 40' ROW/26' BOC
 OPEN SPACE: 10%



The Sentinel Group, LLC
 Civil Engineering - Development - Planning - Project Management
 2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

OWNER / DEVELOPER
IVES AND ASSOCIATES

**PRELIM LAYOUT
 SPRINGHILL PUD
 SPRINGHILL RD.,
 BRYANT, ARKANSAS**

DATE: 11/01/2016	C.A.D. BY: EEK	DRAWING NUMBER:
REVISER:	CHECKED BY: E. Krebs	SH-1
	SCALE: 1" = 60'	SHEET NUMBER: