



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: July 14, 2022 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Eyecare Center of Saline County - Parking Lot Improvements

Richardson Engineering - Requesting Approval for Parking Lot Improvements

- [0572-PLN-01.pdf](#)

2. Bryant Public Safety - New Training Range Addition

Ted Taylor - Requesting Approval for New Training Shooting Range Addition at Bryant Public Safety

- [0573-PLN-01.pdf](#)

3. Take 5 Carwash - 3017 Marketplace Ave - Signage

Arkansas Signs and Neon - Requesting Approval for Pole Sign

- [0574-PLN-01.pdf](#)

Staff Approved

4. Take 5 Carwash - 3017 Marketplace Ave - Signage

Arkansas Signs and Neon - Requesting Sign Permit Approval - Staff Approved Signs "A" and "B" Only

- [0574-PLN-01.pdf](#)

Permit Report

Adjournments

DETAILED PLANS:
PARKING LOT IMPROVEMENTS

3395 AR HWY 5 NORTH
 BRYANT, ARKANSAS 72019

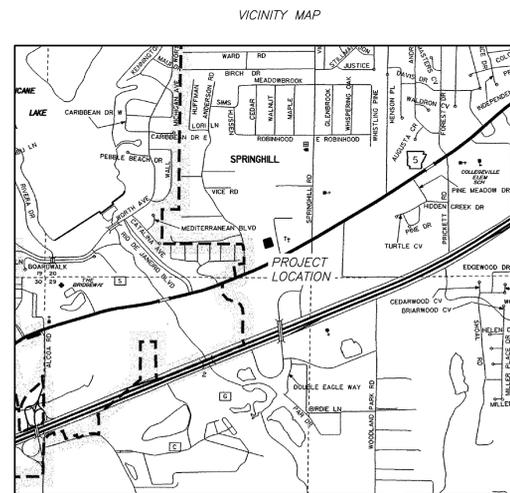
6/27/2022

PREPARED FOR:

BASCON GENERAL CONTRACTORS
 P.O. BOX 824
 BRYANT, AR 72022

PRE-CONSTRUCTION COPY -

PLANS FOR BIDDING PURPOSES.
 QUANTITIES TO BE VERIFIED PRIOR
 TO CONSTRUCTION. CONTRACTOR
 TO VERIFY GRADES WITH ENGINEER
 PRIOR TO CONSTRUCTION.



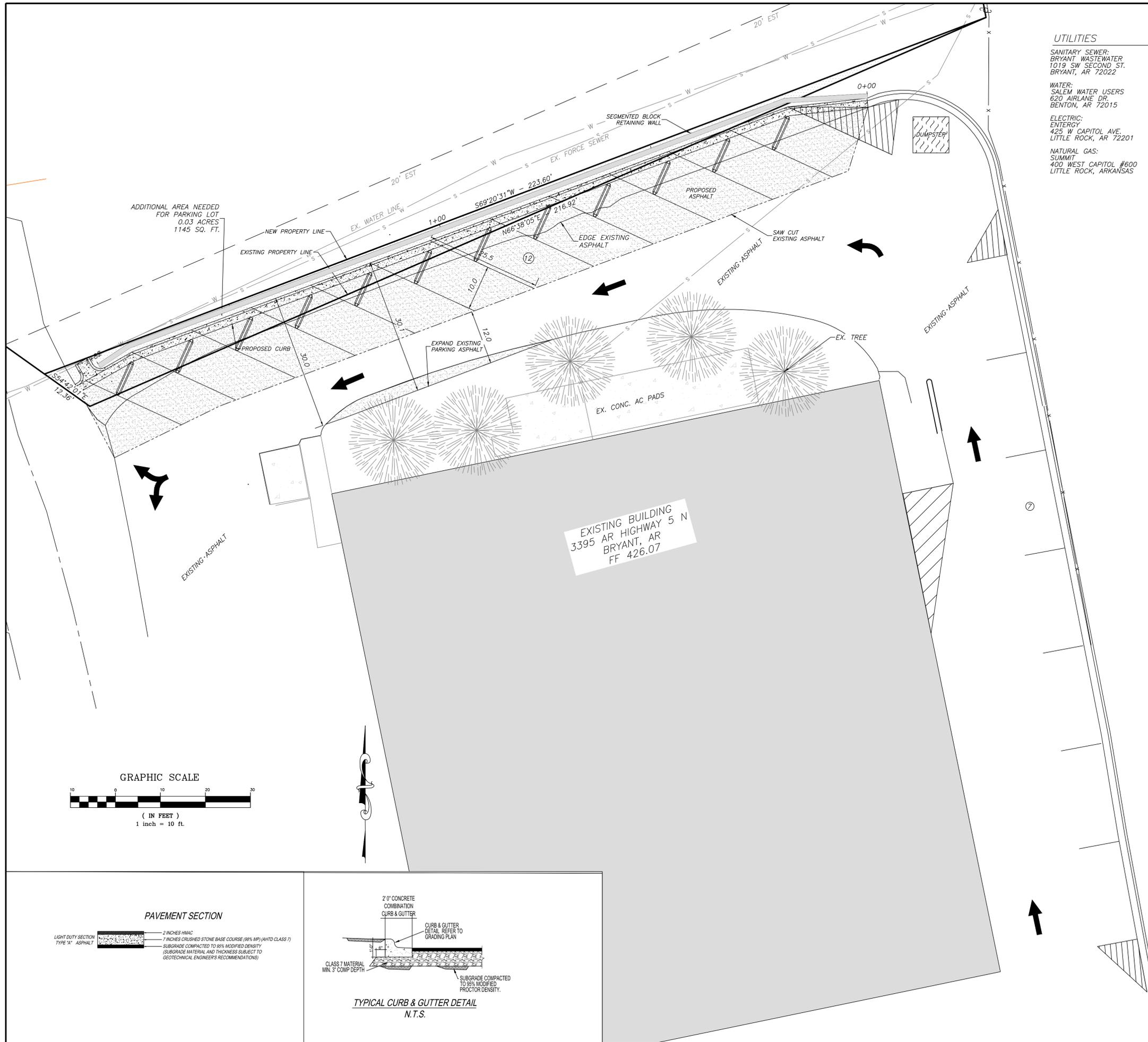
Prepared By:



325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225



<i>INDEX OF SHEETS</i>	
COVERSHEET	1
SWPPP	2
SITE PLAN	3
GRADING PLAN	4
WALL PROFILE	5



UTILITIES

SANITARY SEWER:
BRYANT WASTEWATER
1019 SW SECOND ST.
BRYANT, AR 72022

WATER:
SALEM WATER USERS
620 AIRLANE DR.
BENTON, AR 72015

ELECTRIC:
ENTERGY
425 W CAPITOL AVE.
LITTLE ROCK, AR 72201

NATURAL GAS:
SUMMIT
400 WEST CAPITOL #600
LITTLE ROCK, ARKANSAS

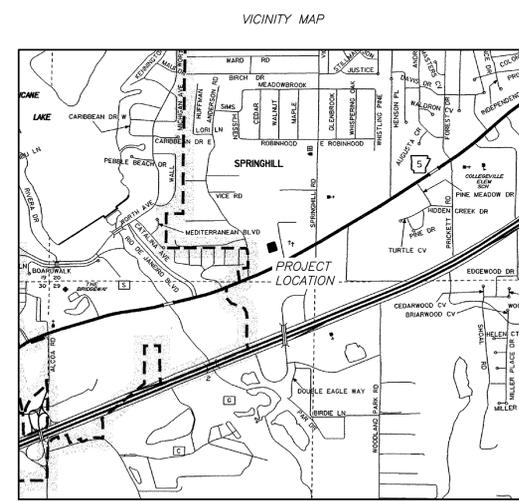
- GENERAL NOTES:**
- 1.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
 - 2.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
 - 3.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE AND BASE.
 - 4.) CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
 - 5.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
 - 6.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATION TO INCLUDE EXCAVATION & TRENCH SAFETY.
 - 7.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
 - 8.) ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO MEET THE CITY OF BRYANT SPECIFICATIONS AND STANDARDS.



ENGINEER
RICHARDSON ENGINEERING, PLLC
ADDRESS: 325 W. SOUTH ST.
BENTON, AR. 72015
PROJECT REPRESENTATIVE: ERIC RICHARDSON

DEVELOPERS
BASCON GENERAL CONTRACTORS
P.O. BOX 824
BRYANT, AR 72022

OWNER OF RECORD
JUSMIC INVESTMENTS LLC
9721 CONGO ROAD
BENTON, AR 72019



Legend

- Property Boundary
- Surveyed lines
- T Telephone
- G Gas Line
- X Wire / Chainlink Fence
- S Sanitary Sewer
- W Water Line
- Wooded area limits
- P Overhead Powerline

Water Box

- Sanitary Sewer Manhole
- Sanitary Sewer Manhole
- Telephone Pedestal
- Guy Wire
- Computed Corner
- Found Monument (Labeled)
- Proposed light pole
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- Gas Meter
- * APPROVED ADA SIDEWALK RAMP. REFER TO NOTES.

Prepared For	Date	Revision
BASCON GENERAL CONTRACTORS P.O. BOX 824 BRYANT, AR 72022	1	
	2	
	3	
	4	
	5	

Scale: 1" = 10'

Sheet: 3 of 5

RICHARDSON ENGINEERING
Planning • Engineering • Development Consulting
325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 14266
ERIC RYAN RICHARDSON

ENGINEER
RICHARDSON ENGINEERING, PLLC
ADDRESS: 325 W. SOUTH ST.
BENTON, AR. 72015
PROJECT REPRESENTATIVE: ERIC RICHARDSON

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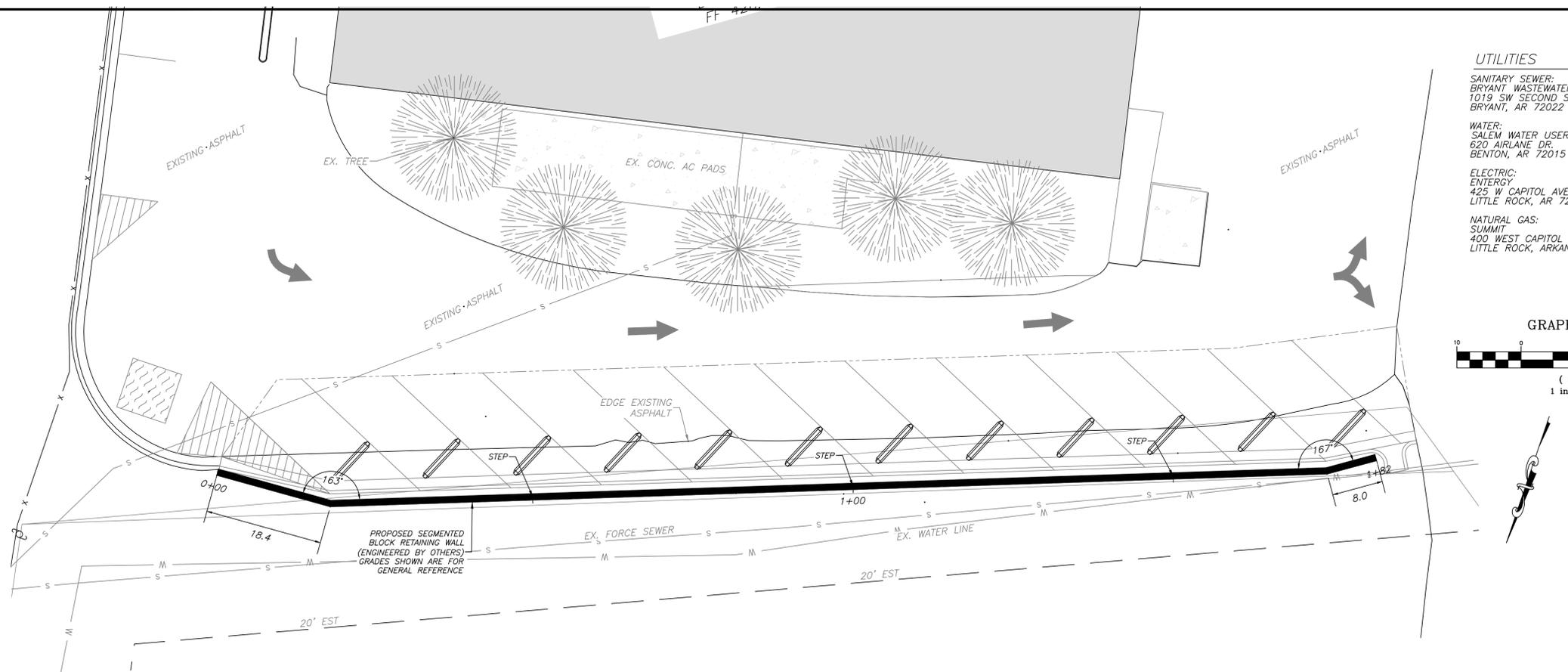
OWNER OF RECORD
JUSMIC INVESTMENTS LLC
9721 CONGO ROAD
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VICINITY MAP

SITE PLAN
PARKING LOT IMPROVEMENTS

BASCON GENERAL CONTRACTORS
P.O. BOX 824
BRYANT, AR 72022

3395 AR HWY 5 NORTH
BRYANT, ARKANSAS 72019



UTILITIES

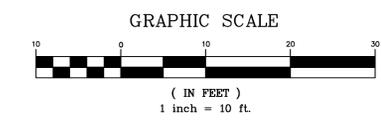
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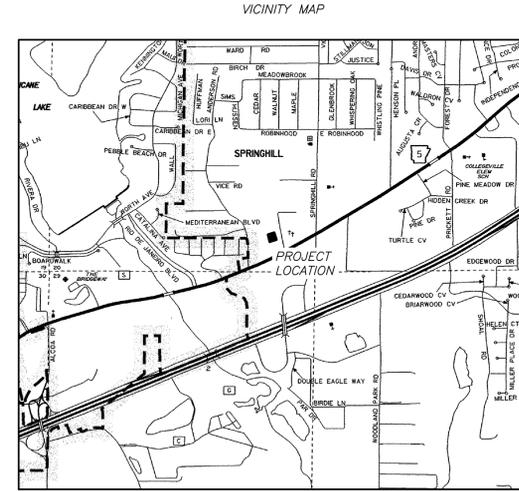
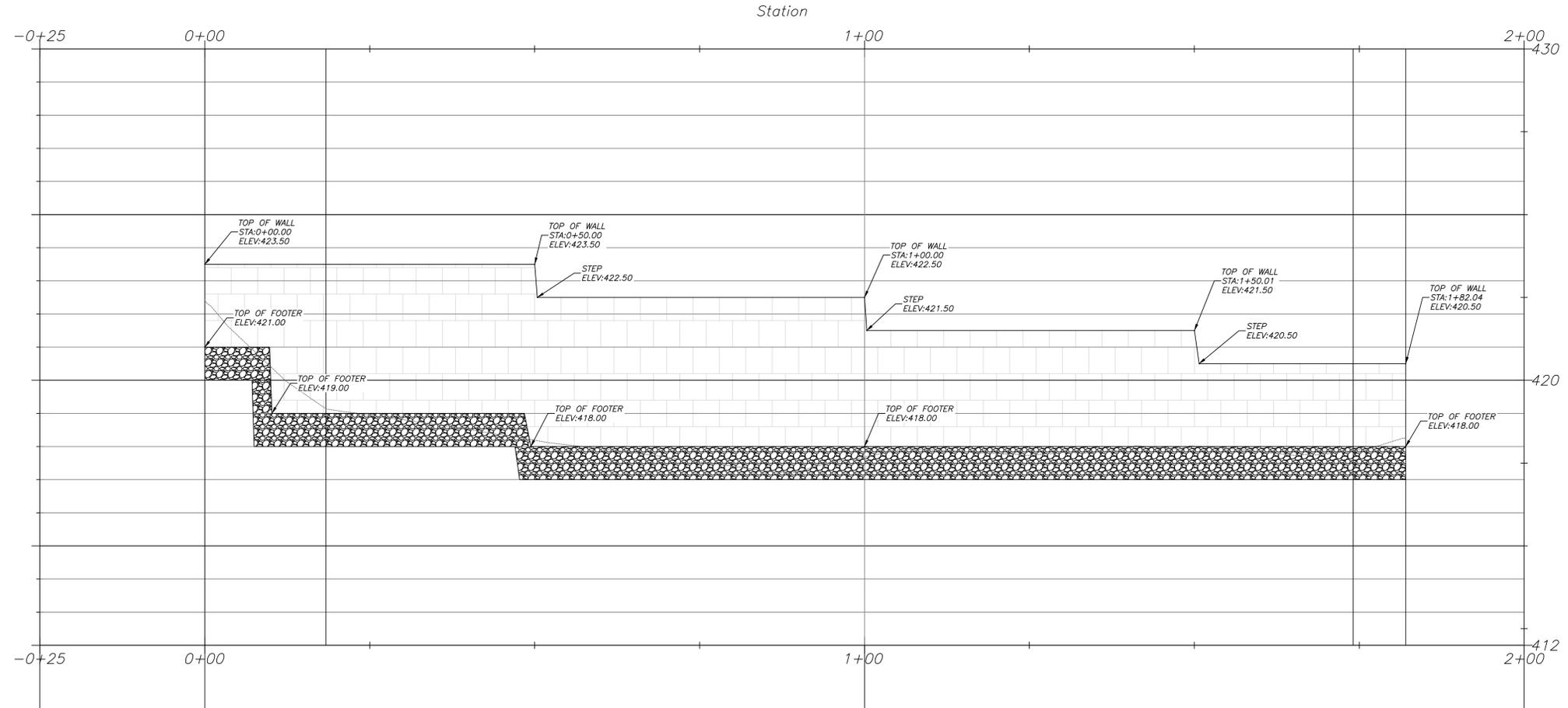
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325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225



RETAINING WALL PROFILE



RETAINING WALL PLAN/PROFILE
PARKING LOT IMPROVEMENTS
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Prepared For:
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Revision	Date	By
1		
2		
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Scale: 1" = 10'

Sheet: 5 of 5

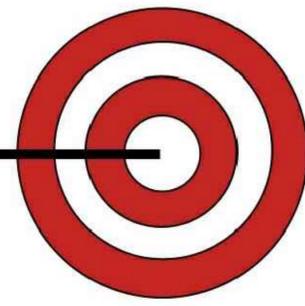
BRYANT POLICE DEPARTMENT

2-LANE 70 FEET "TACTICAL" RIFLE RATED RANGE

BRYANT, ARKANSAS

BY:

SHOOTING RANGE INDUSTRIES, LLC



SHEET INDEX:	
SHEET NO.	SHEET TITLE
A0	COVER SHEET
A1	RANGE DESIGN LAYOUT (PLAN AND SECTION VIEW)
A2	EXTERIOR ELEVATIONS (NORTH-SOUTH-EAST-WEST)
E1	ELECTRICAL LAYOUT (PLAN AND SECTION VIEW)
M1	H.V.A.C. LAYOUT UTILITY LAYOUT (PLAN VIEW)
M2	H.V.A.C. LAYOUT (SECTION VIEW)
S1	RANGE FOOTING LAYOUT AND LOAD REACTIONS AT CORNER BLOCKS (PLAN AND DETAILS)
D1	DETAILS

CUSTOMERS RESPONSIBILITIES
1. ANY SITE PREPARATION TO INCLUDE CONCRETE OR ASPHALT SURFACE THAT CAN WITHSTAND THE WEIGHT AND LOADS DEPICTED ON S1 OF THIS DESIGN PACKAGE. 2. ALL POWER SERVICE PROVISIONS TO INCLUDE FINAL CONNECTION TO THE MAIN DISCONNECT LOCATED ON THE READY RANGE UNIT. (150 AMP / 120/208V / 3 PHASE / 60 Hz)

RIFLE RATED RANGE

RIFLE TRAPS:
MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

SHOOTING RANGE INDUSTRIES LLC RESPONSIBILITIES
1. DESIGN, MANUFACTURE AND INSTALLATION OF DEPICTED MODULAR RANGE UNIT. 2. ANY AND ALL HEAVY EQUIPMENT REQUIRED TO UNLOAD (FREIGHT) AND PLACE UNIT ON PROVIDED FOUNDATION. THIS INCLUDES A 120 TON OR EQUAL CRANE AND FORKLIFT IF REQUIRED.

FOR CONSTRUCTION

ATTENTION:
THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
△	FOR CONSTRUCTION	02-16-2022	VP

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NOTE:
Drawings must not be scaled where no dimensions are given, the matter shall be referred to the engineer.
Should dimensions or details on these drawings conflict, precedence shall be given to the larger scale drawing.
Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions.
Written dimensions on these drawings shall have precedence over scaled dimensions.
Contractor to verify and be responsible for all dimensions and conditions in the field. This office must be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted.
Such conflicts noted above shall be reported immediately to the engineer.

NOTES

ORTHOGRAPHIC PROJECTION

MAINTENANCE AND RESPONSIBILITIES
NOTICE TO ALL SHOOTING OWNERS, MANAGERS & OPERATORS:
Shooting Range Industries, LLC (SRI) is in no way shape or form, responsible for the maintenance, operation, cleanliness, employee protection, lead collection or recycling, disposal or cleanup of any structure provided by SRI, or anyone affiliated or partnered with SRI.
SRI, or anyone affiliated or partnered with SRI, will not be held liable for any negligence on the part of the structure personnel for any of the above items.
Improper maintenance or repair of the structure(s) by any personnel or it's users for any of the aforementioned items, structure maintenance manuals have been provided with every range manufactured by SRI at time of purchase.
1. H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).
2. Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
3. Structures must have a negative air pressure or a min. of 10% of total air supply.
4. SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.
5. No storage or work to be performed behind bullet traps at any time.
6. SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).
The purpose of this letter/notes is to make sure you, as structure owner, manager, operator, or maintenance personnel are doing your part to make sure all people who come in contact with your structure are safe and comfortable in the indoor structure environment.
It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.
Customer Initial: _____ Date: _____

GENERAL NOTES
1. Air system comes as a completely balanced system by factory certified H.V.A.C. specialists however, it is the customer's responsibility to maintain a balanced air system.
2. If structure owner/operator does not understand any of the above operations, lead management, structure safety or will not accept responsibility they should immediately cease all operations to prevent employees and/or customers against health problems or bodily harm.
3. SRI has incorporated the customer's specified wall and ceiling ballistic protection in the building design as has been called out in the customer's design requirements, as such, the customer takes full responsibility to ensure that no ammunition is fired in the range that could exceed the design capabilities the customer has specified in the design requirements. The customer is solely responsible for proper range operation, range maintenance, and range safety in accordance with the range training and maintenance manual.

SHOOTING RANGE INDUSTRIES, LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILO

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

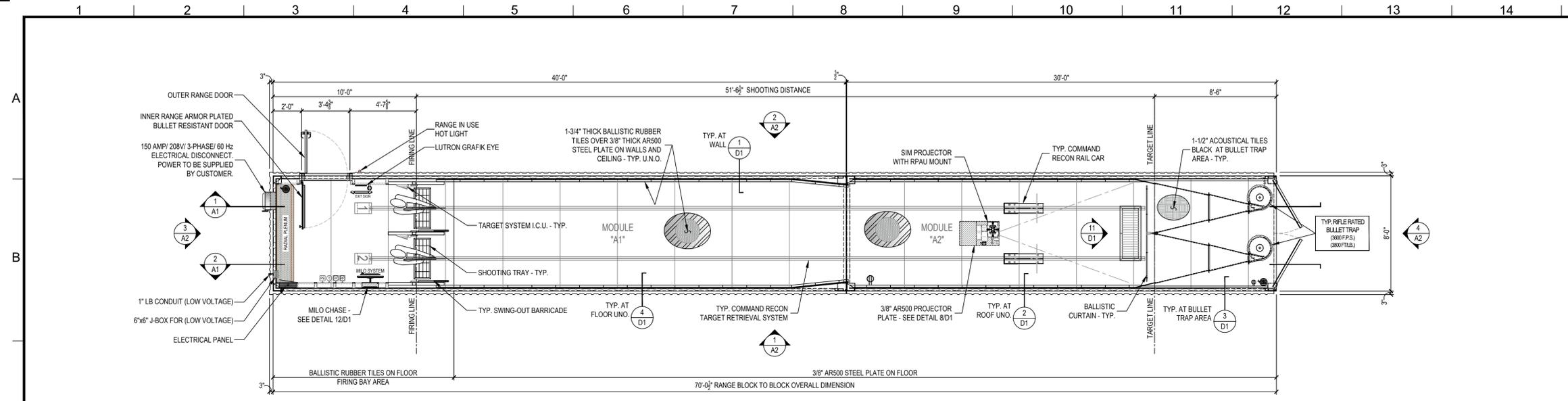
Drawing Title
COVER SHEET

Drawn	Date	Checked	Date	Approved	Date
VP	02-03-2022	MH	02-03-2022	JC	02-03-2022
Project No. SRI22103		Scale AS NOTED		Sheet No. A0 Sheet 1 of 8	
Drawing No. 22-103 Bryant PD				Rev. -	

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\A0-Cover-Sheet-Bryant PD.dwg

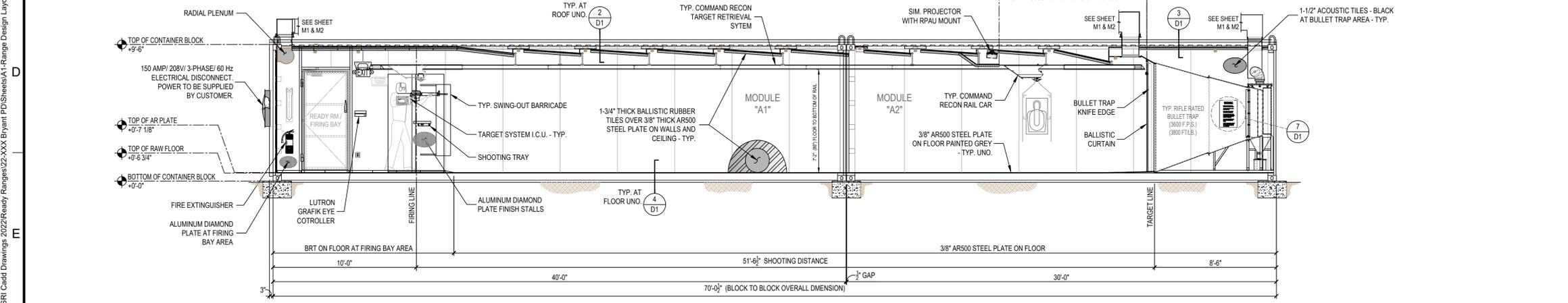
Plot Date: 3/10/2022 7:56:43 AM

Login: Vince Parrin

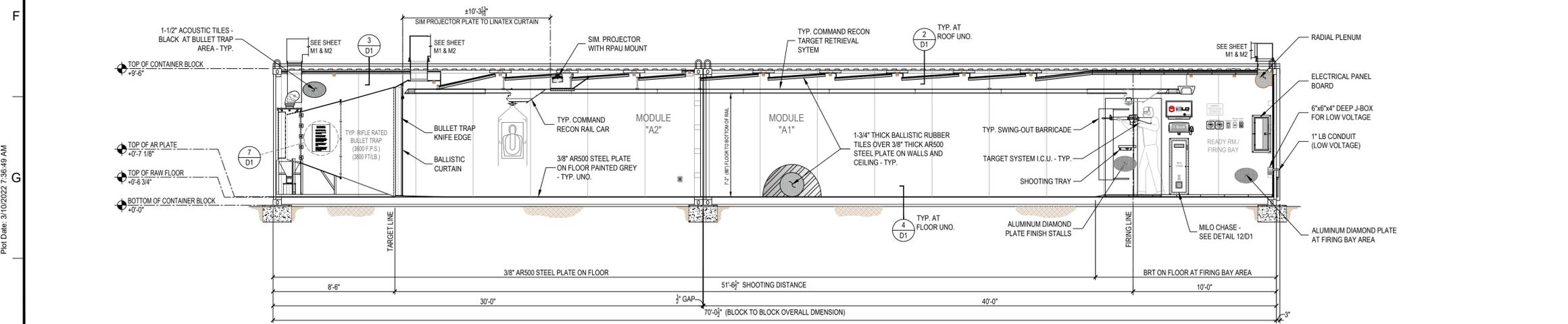


PLAN VIEW - RANGE DESIGN LAYOUT
SCALE: 1/4" = 1'-0"

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\A1 - Range Design Layout\Bryant PD.dwg



1 LONGITUDINAL SECTION - RANGE LAYOUT
SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - RANGE LAYOUT
SCALE: 1/4" = 1'-0"

Plot Date: 3/10/2022 7:36:49 AM
Login: Vince Parrin

SYMBOL SCHEDULE:	
SYMBOL	DESCRIPTION
	DUPLEX ELECTRICAL RECEPTACLE (PLAN)
	DUPLEX ELECTRICAL RECEPTACLE (ELEV)
	QUADRUPLEX ELECTRICAL RECEPTACLE (PLAN)
	QUADRUPLEX ELECTRICAL RECEPTACLE (ELEV)
	LUTRON GRAFIK EYE 3000 CONTROLLER 120 VOLT
	ZL TN SERIES LED STRIP LIGHT FIXTURE (DIMMABLE) 120 VOLT
	THERMOSTAT
	FILTER PRESSURE
	RANGE PRESSURE
	PRESSURE SENSOR
	FIRE EXTINGUISHER (WALL MOUNTED)
	BALLISTIC RUBBER TILE
	SONEX SOUND TILE
	POLISHED ALUMINUM DIAMOND TREAD PLATE
	3/8" AR-500 STEEL PLATE

NOTES

ORTHOGRAPHIC PROJECTION

MAINTENANCE AND RESPONSIBILITIES
NOTICE TO ALL SHOOTING OWNERS, MANAGERS & OPERATORS:
Shooting Range Industries, LLC (SRI) is not responsible for the maintenance, operation, cleanliness, employee protection, lead collection or recycling, disposal or cleanup of any structure provided by SRI, or anyone affiliated or partnered with SRI.

SRI, or anyone affiliated or partnered with SRI, will not be held liable for any negligence on the part of the structure personnel for any of the above items.

Improper maintenance or repair of the structure(s) by any personnel or its users for any of the aforementioned items, should the manufacturer's manuals have been provided with every range manufactured by SRI at time of purchase.

- H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).
- Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
- Structures must have a negative air pressure or a min. of 10% of total air supply.
- SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.
- No storage or work to be performed behind bullet traps at any time.
- SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).

The purpose of this letter/notes is to make sure you, as structure owner, manager, operator, or maintenance personnel are doing your part to make sure all people who come in contact with your structure are safe and comfortable in the indoor structure environment.

It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.

GENERAL NOTES

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CUSTOMER SIGN OFF:
DATE: _____
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SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

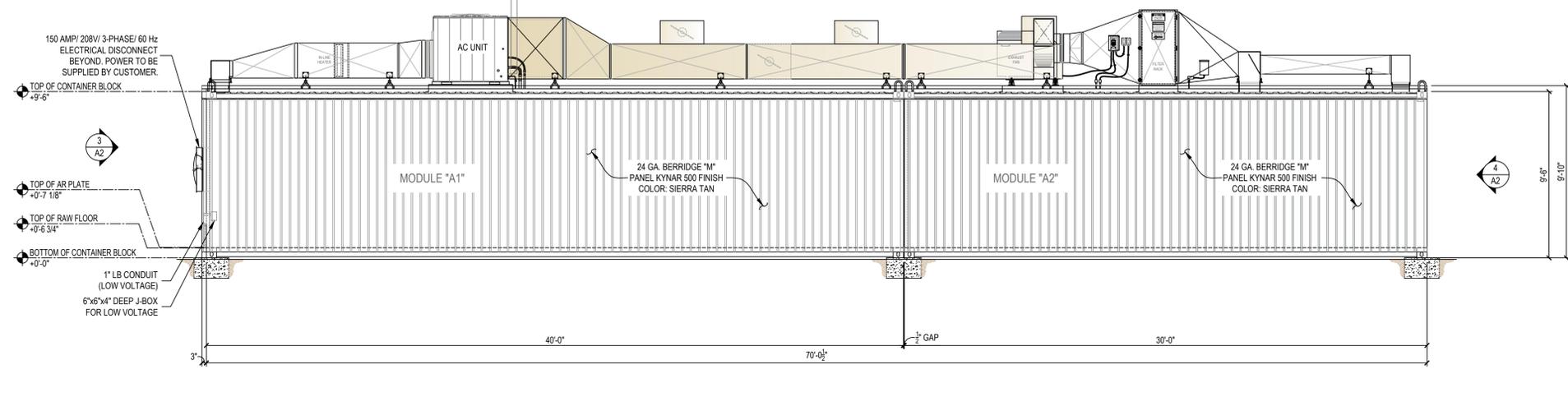
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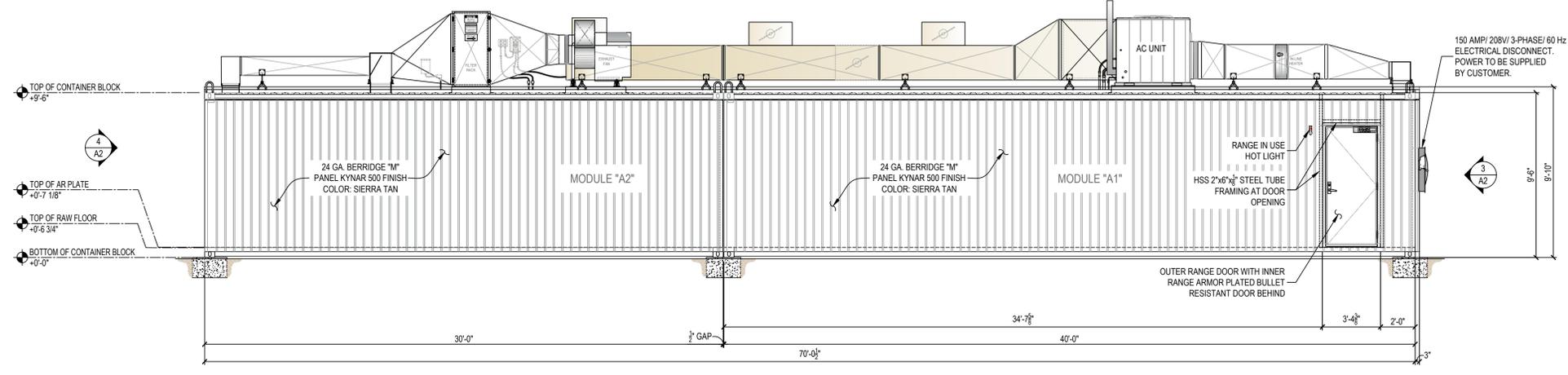
Drawing Title
RANGE DESIGN LAYOUT (PLAN & SECTION VIEW)

REVISION	DESCRIPTION	DATE	BY	Drawn	Date	Checked	Date	Approved	Date
1	FOR CONSTRUCTION	02-16-2022	VP	VP	02-03-2022	MH	02-03-2022	JC	02-03-2022

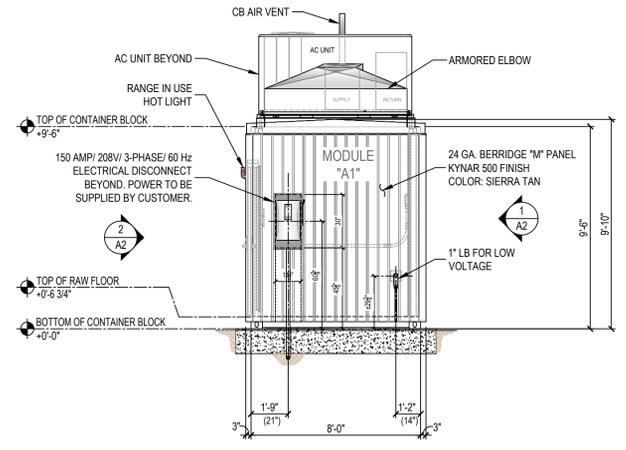
Project No.	Scale	Sheet No.
SRI22103	AS NOTED	A1
Drawing No.	22-103 Bryant PD	
Sheet	2 of 8	



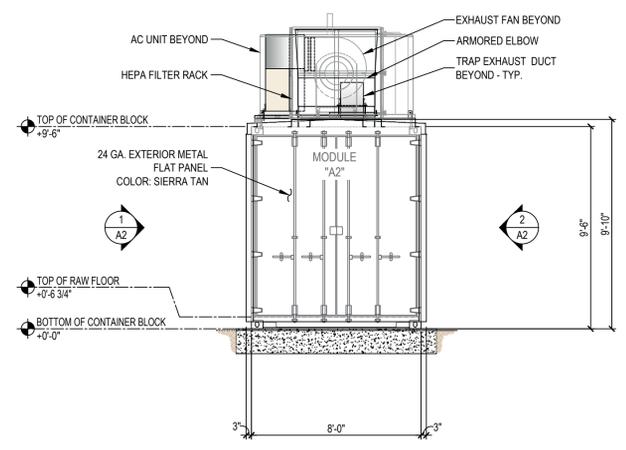
1 EXTERIOR ELEVATION - NORTH SIDE
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH SIDE
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - EAST SIDE
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - WEST SIDE
SCALE: 1/4" = 1'-0"

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- Air system comes as a completely balanced system by factory certified H.V.A.C. specialists however, it is the customer's responsibility to maintain a balanced air system.
- If structure owner/ operator does not understand any of the above operations, lead management, structure safety or will not accept responsibility they should immediately cease all operations to prevent employees and/or customers against health problems or bodily harm.
- SRI has incorporated the customer's specified wall and ceiling ballistic protection in the building design as has been called out in the customer's design requirements. As such, the customer takes full responsibility to ensure that no ammunition is fired in the range that could exceed the design capabilities the customer has specified in the design requirements. The customer is solely responsible for proper range operation, range maintenance, and range safety in accordance with the range training and maintenance manual.

RIFLE TRAPS:
MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

ATTENTION:
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PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
DATE: _____
SIGNATURE: _____

SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

Drawing Title
**EXTERIOR ELEVATIONS
(PLAN & SECTION VIEW)**

REVISION	DESCRIPTION	DATE	BY	Drawn	Date	Checked	Date	Approved	Date
1	FOR CONSTRUCTION	02-16-2022	VP	VP	02-03-2022	MH	02-03-2022	JC	02-03-2022
				Project No.	Scale			Sheet No.	
				SRI22103	AS NOTED			A2	
				Drawing No.			Sheet	3 of 8	
				22-103 Bryant PD			Rev.	-	

LIGHTING FIXTURE SCHEDULE								
QTY.	SYMBOL	BRAND	MODEL NO.	VOLTAGE	REQUIRED LAMPS		MOUNTING	REMARKS
					NUM.	TYPE		
12		LITHONIA	ZL1N	120V - 277V	1	0-10V DIMMING STD. NPF160 NIGHT SWITCHING DIMMING MODULE (3,600 LUMENS)	CEILING	LED STRIPLIGHT, SNAP ON FROSTED, DIFFUSE
1		LITHONIA	LHQM S W 3 R 120/277	120V - 277V	1	3.3 FIXTURE WATTS, LED EXIT, KRYPTON LAMP HEAD	WALL	COMBINATION EMERGENCY LIGHT AND EXIT FIXTURE

SYMBOL SCHEDULE:	
SYMBOL	DESCRIPTION
	DUPLEX ELECTRICAL RECEPTACLE (PLAN)
	DUPLEX ELECTRICAL RECEPTACLE (ELEV)
	QUADRUPLEX ELECTRICAL RECEPTACLE (PLAN)
	QUADRUPLEX ELECTRICAL RECEPTACLE (ELEV)
	LUTRON GRAFIK EYE 3000 CONTROLLER 120 VOLT
	ZL1N SERIES LED STRIP LIGHT FIXTURE (DIMMABLE) 120 VOLT
	THERMOSTAT
	FILTER PRESSURE
	RANGE PRESSURE
	PRESSURE SENSOR
	FIRE EXTINGUISHER (WALL MOUNTED)
	BALLISTIC RUBBER TILE
	SONEX SOUND TILE
	POLISHED ALUMINUM DIAMOND TREAD PLATE
	3/8" AR-500 STEEL PLATE

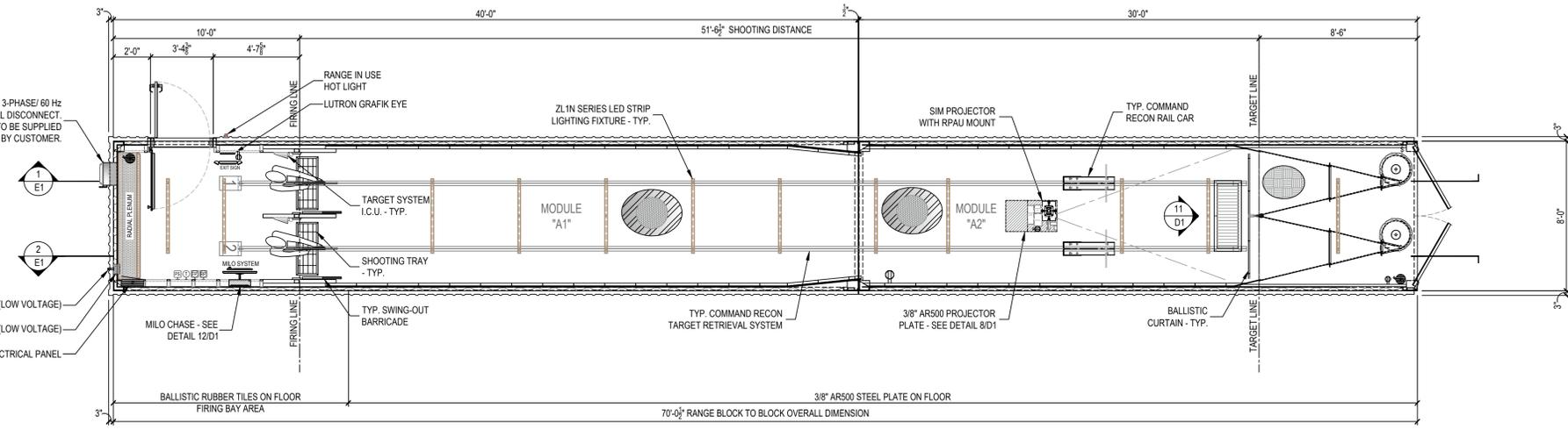
NOTES:
 Drawings must not be scaled where no dimensions are given, the matter shall be referred to the engineer.
 Should dimensions or details on these drawings conflict, precedence shall be given to the larger scale drawing.
 Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions.
 Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor to verify and be responsible for all dimensions and conditions in the field. This office will be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted.
 Such conflicts noted above shall be reported immediately to the engineer.

NOTES

ORTHOGRAPHIC PROJECTION

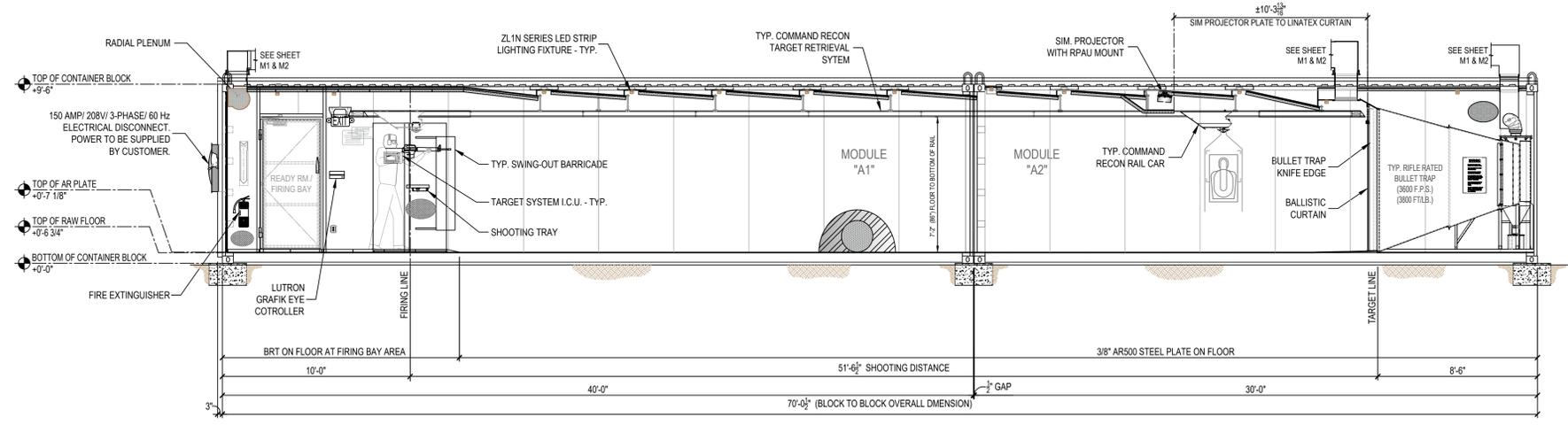
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 1. H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).
 2. Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
 3. Structures must have a negative air pressure or a min. of 10% of total air supply.
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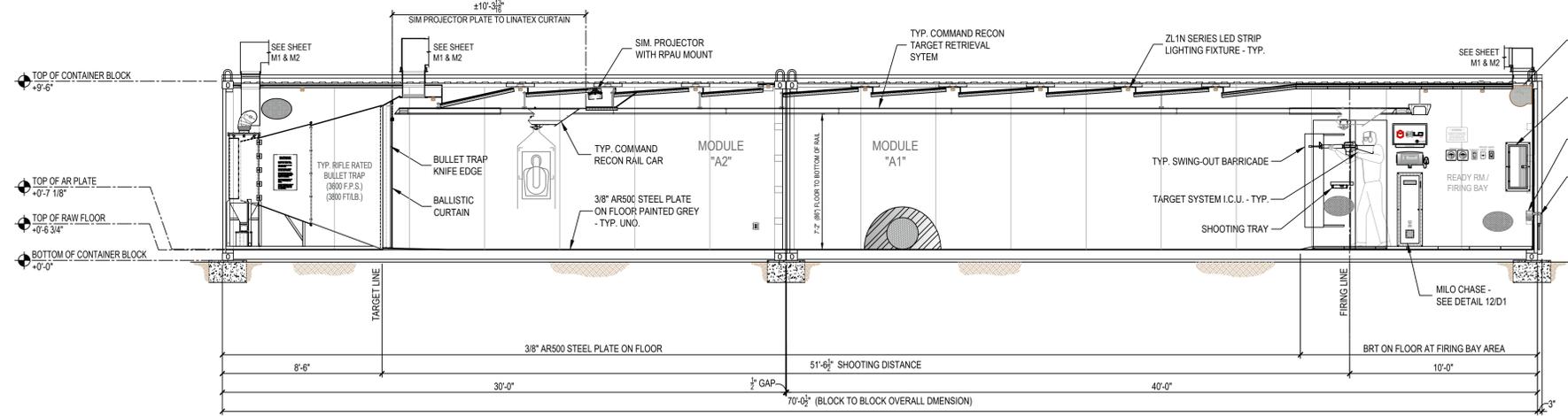
PLAN VIEW - ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"



1 LONGITUDINAL SECTION - ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

RIFLE TRAPS:
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SHOOTING RANGE INDUSTRIES, LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MIL0

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
ELECTRICAL LAYOUT
 (PLAN & SECTION VIEW)

REVISION	DESCRIPTION	DATE	BY	VP	Checked	Date	Approved	Date
1	FOR CONSTRUCTION	02-16-2022	VP		MH	02-03-2022	JC	02-03-2022

Drawn	Date	Checked	Date	Approved	Date
VP	02-03-2022	MH	02-03-2022	JC	02-03-2022
Project No.	Scale	Sheet No.			
SRI22103	AS NOTED	E1			
Drawing No.	22-103 Bryant PD				
Sheet	4 of 8				
Rev.					

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\E1 - Electrical Layout-Bryant PD.dwg
 Plot Date: 3/10/2022 7:37:01 AM
 Login: Vince Parrin

EXHAUST FAN SCHEDULE																
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR/ELECTRICAL DATA				ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS			
			CFM	S.P. IN/WG	RPM	FAN TYPE	DRIVE	HP	INPUT WATTS	VOLTS				PH	HZ	RPM
EF-1	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0			230/460	3	60	1,755	357.98	DAYTON 7H171

ROOF TOP UNIT SCHEDULE																							
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION			GAS HEAT SECTION			COMPRESSOR SECTION		ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS				
			CFM	ESP	BHP	HP	VOLTS	PH	MROPO (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	LEA. TEMP (F) WB	AMBIENT DB (F)	CAPACITY INPUT MBH	OUTPUT MBH				EAT (F)	LEA. (ARR)	HEAT CONTROL	
AC-1	FIRING RANGE	F	4,000	0.75		3	208	3		49.0		80	67		95	150	105	70	2 STAGE	R.L.-L.R 19.6/136.0	R410	1058 NET (1156 SHIPPRG)	TRANE YSC0120H3ELA
IH-1	FIRING RANGE		1,222				208	3														13.20 NET	WATCO DFC00H

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
D2	100% CLOSED	D2	75% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)
D3	100% OPEN	D3	40% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)

H.V.A.C. REFERENCE KEYNOTES

AC 1 = 10 TON GAS PACKAGE AC UNIT "TRANE" INPUT: 150,000 BTU / OUTPUT: 120,000 BTU 208-230V / 60 Hz / 3 PHASE MODEL # YSC0120H3ELA

EF 1 = ROOFBRACKET MOUNTED EXHAUST FAN "DAYTON" MODEL #7H171 5.0 HP, 208V / 60 Hz / 3 PHASE 12.50 AMP F.L.A. NEMA 3R

FR 1 = 99.97% 0.3 MICRON HEPA FILTER RACK WITH (4) - 24"x24"x12" SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS

VFD 1 = VEG VARIABLE FREQUENCY DRIVE, 5 MAX HP, 3 INPUT PHASE AC 240VAC INPUT VOLTAGE, 16 AMPS, MAX. OUTPUT MODEL NO. CFW081601D4A1Z

IH 1 = 15.0 kW / 41.64 AMP / 208V / 3-PHASE / 1,222 CFM / 400 FPM DUCT HEATER "WATCO" MODEL # DFC00H

PG 1, 2 = (2) - DWYER MAGNETIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG

TH 1 = NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28VAC 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR02414XZ1

NOTES

ORTHOGRAPHIC PROJECTION

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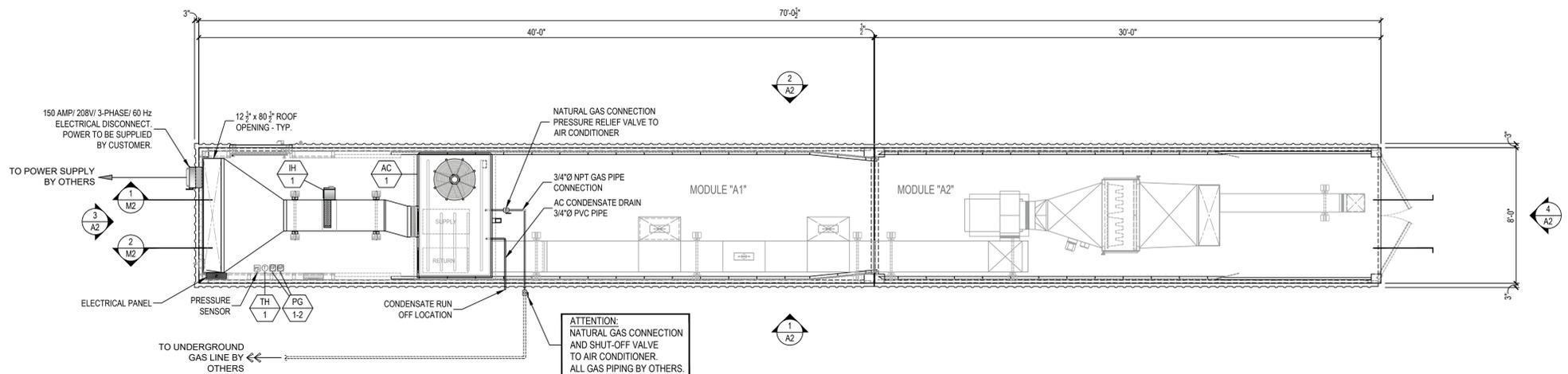
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GENERAL NOTES

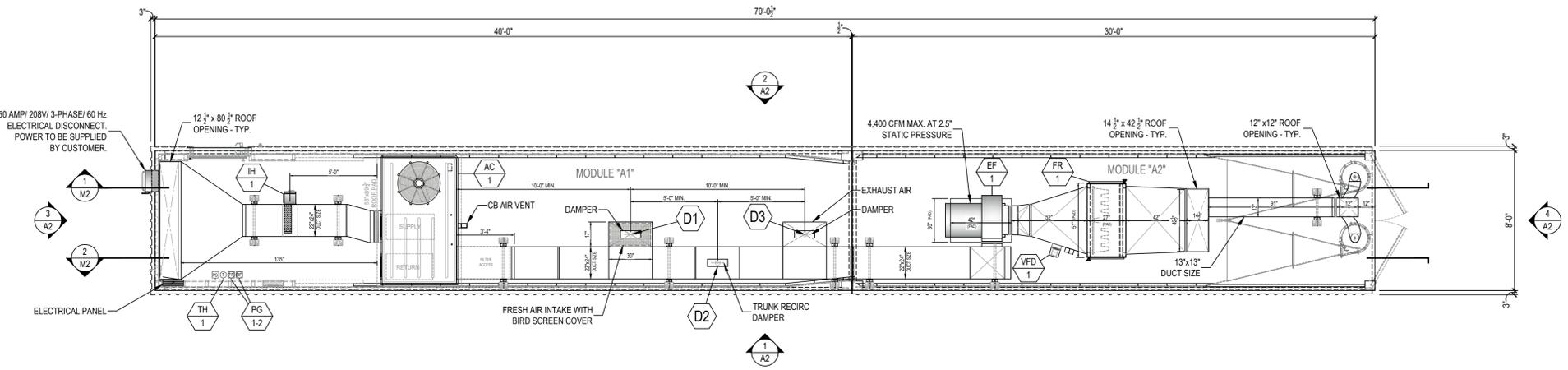
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PLAN VIEW - UTILITY LAYOUT
SCALE: 3/16" = 1'-0"



PLAN VIEW - H.V.A.C. LAYOUT
SCALE: 3/16" = 1'-0"



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DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
VP	FOR CONSTRUCTION	02-16-2022	VP

SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

Drawing Title
**H.V.A.C. LAYOUT
UTILITY LAYOUT
(PLAN VIEW)**

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

Project No. **SRI22103** Scale **AS NOTED** Sheet No. **M1**
Sheet 5 of 8

Drawing No. **22-103 Bryant PD**

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheet\M1-HVAC-Utility-Bryant PD.dwg

Plot Date: 3/10/2022 7:37:07 AM

Login: Vince Parrin

EXHAUST FAN SCHEDULE																
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR/ELECTRICAL DATA				ESTIMATED WEIGHT (LBS)	BASIS OF DESIGN	REMARKS			
			CFM	S.P. IN WG	RPM	FAN TYPE	DRIVE	HP	INPUT WATTS	VOLTS				PH	HZ	RPM
EF-1	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0			230/460	3	60	1,755	357.98	DAYTON 7H171

ROOF TOP UNIT SCHEDULE																							
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION			GAS HEAT SECTION			COMPRESSOR SECTION			ESTIMATED WEIGHT (LBS)	BASIS OF DESIGN	REMARKS			
			CFM	ESP	BHP	HP	VOLTS	PH	MROP (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	LEA. TEMP (F) WB	AMBIENT DB (F)	CAPACITY INPUT MBH	OUTPUT MBH	EAT. (F)				LEA. (ARR)	HEAT CONTROL	CAPACITY CONTROL
AC-1	FIRING RANGE	F	4,000	0.75		3	208	3		49.0	80	67		150	105	70			2 STAGE	R-L-L-R 19.6/136.0	R410	1058 NET (1156 SHPPING)	TRANE YSC0120H3ELA
IH-1	FIRING RANGE		1,222				208	3														13.20 NET	WATCO DFC00H

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PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
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ORTHOGRAHIC PROJECTION

H.V.A.C. SEQUENCE OF OPERATIONS

- EACH MODULE HVAC SYSTEM SHALL BE ACTIVATED BY SWITCH (THERMOSTAT) ON WALL.
- UPON ACTIVATION, THE EXHAUST FAN AND ROOFTOP UNIT SUPPLY FAN SHALL BE ENABLED. ALL FANS SHALL OPERATE AT CONSTANT SPEED TO MAINTAIN PROPER VELOCITY AND PRESSURIZATION INSIDE MODULE.
- THE SPACE TEMPERATURE SHALL BE CONTROLLED VIA THE THERMOSTAT TO MAINTAIN SETPOINT. COOLING WILL BE ACCOMPLISHED IN TWO (2) STAGES, VIA THE MULTI-STAGE COMPRESSOR. HEATING WILL BE ACCOMPLISHED IN FOUR (4) STAGES, VIA THE ROOFTOP UNITS GAS HEATER AND ELECTRIC HEAT STRIP LOCATED IN THE DUCT. THE ELECTRIC HEAT STRIP SHALL OPERATE AS THE PRIMARY HEATING SOURCE, AND THE ROOFTOP UNIT GAS HEATING SECTION SHALL OPERATE WHEN THE HEAT PUMP IS UNABLE TO MAINTAIN THE HEATING TEMPERATURE SETPOINT.

- NOTES:**
- POWER BY CUSTOMER.
 - CUSTOMER IS RESPONSIBLE FOR DRAINAGE LOCATION AND PROTECTION OF CONDENSATE LINES FROM FREEZING.

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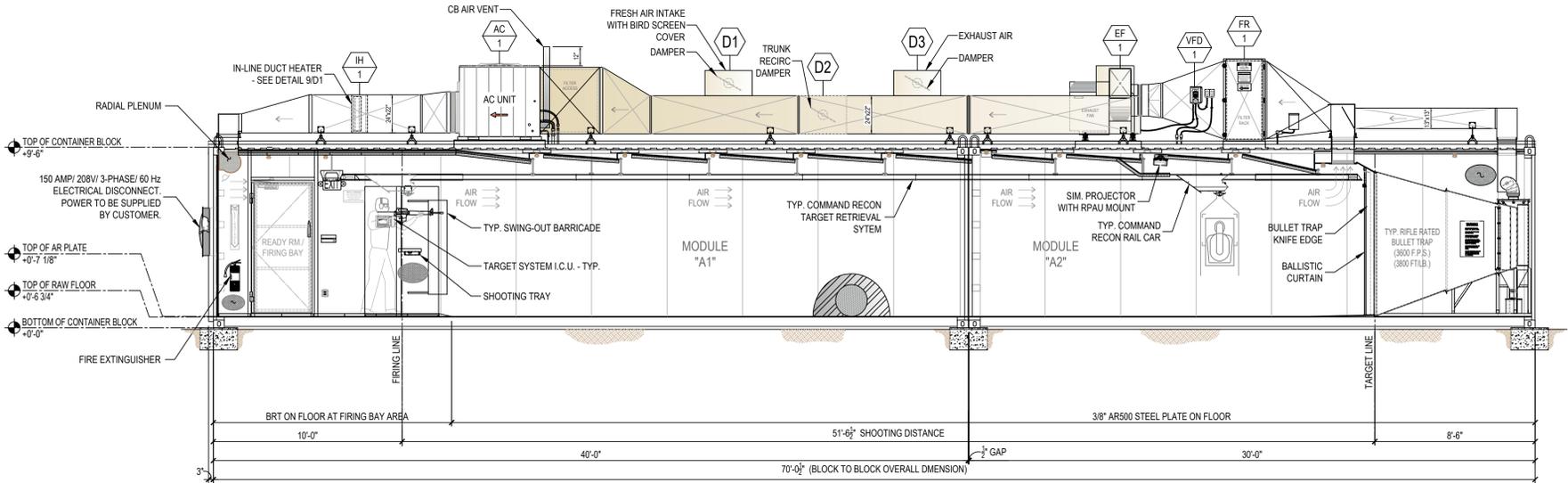
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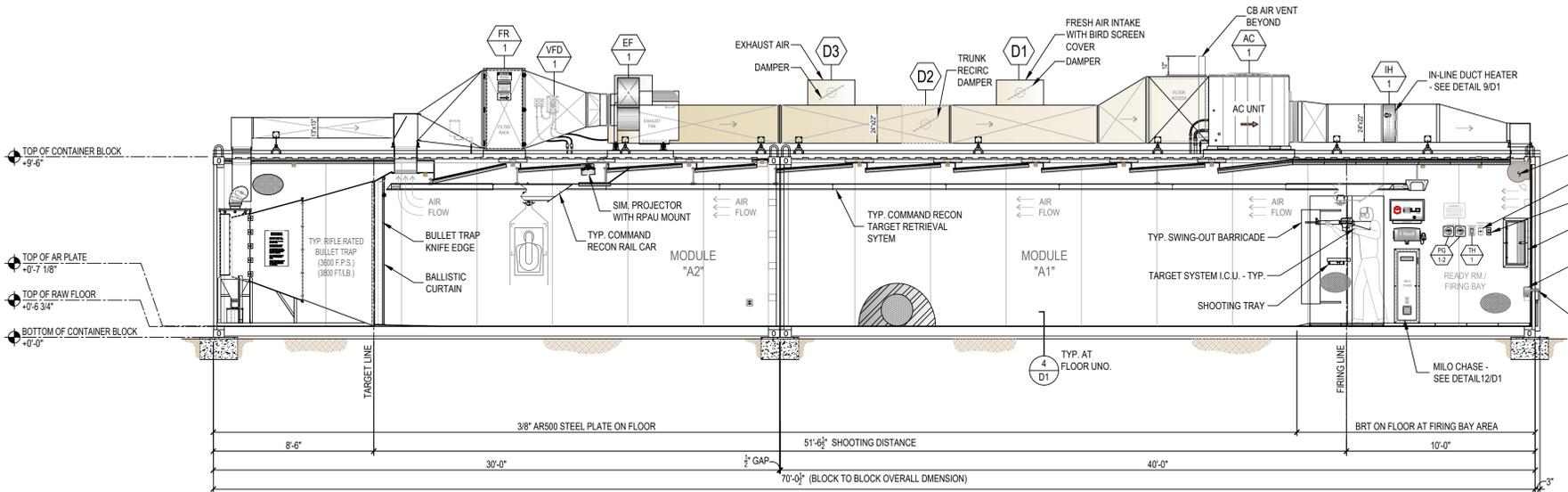
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1 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"

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CUSTOMER SIGN OFF:

DATE: _____

SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
1	FOR CONSTRUCTION	02-16-2022	VP

SHOOTING RANGE INDUSTRIES LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILO

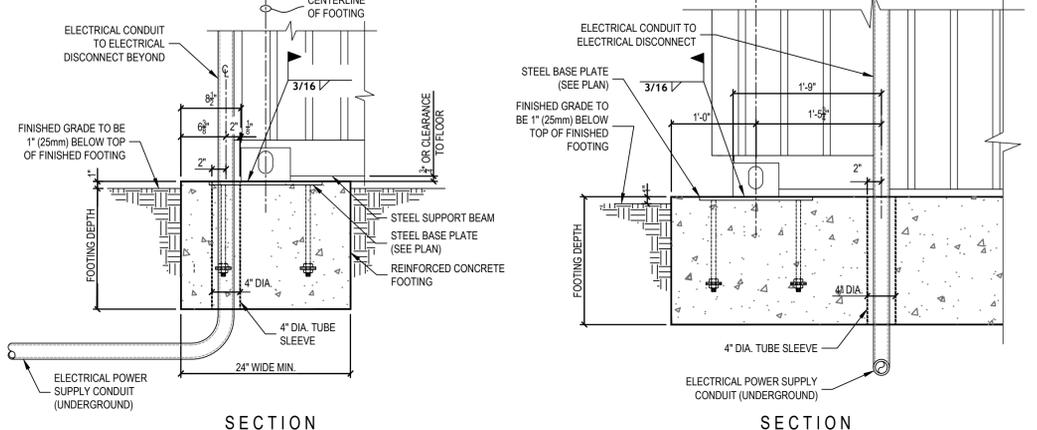
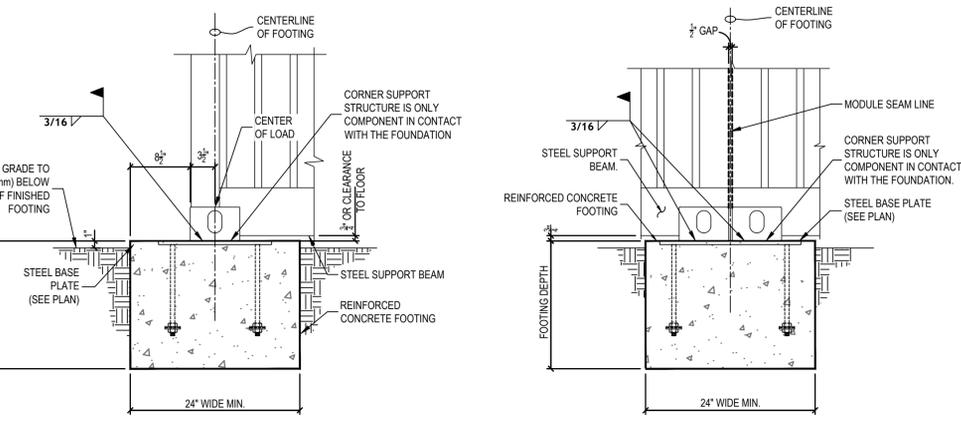
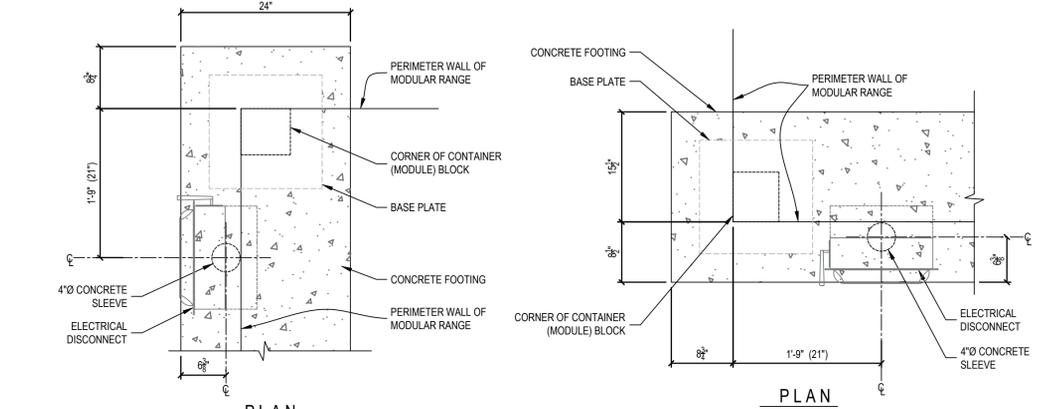
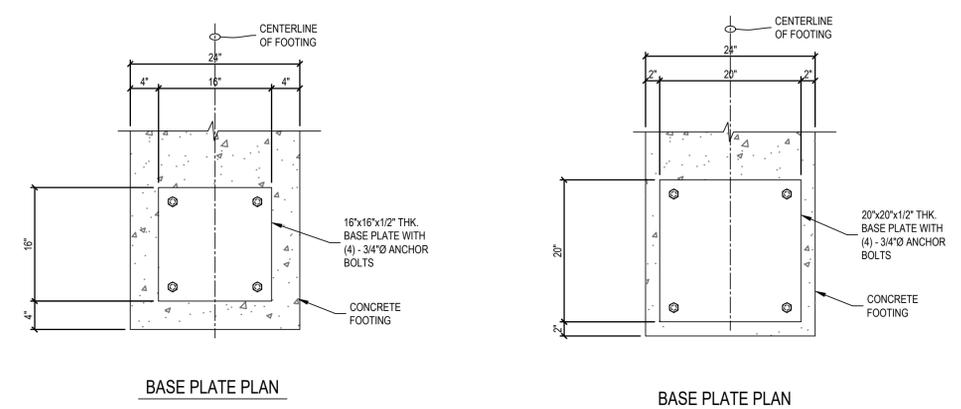
3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

Project No. **SRI22103** Scale **AS NOTED** Sheet No. **M2**
 Drawing No. **22-103 Bryant PD** Sheet **6 of 8**

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\M2-HVAC Section-Bryant-PD.dwg
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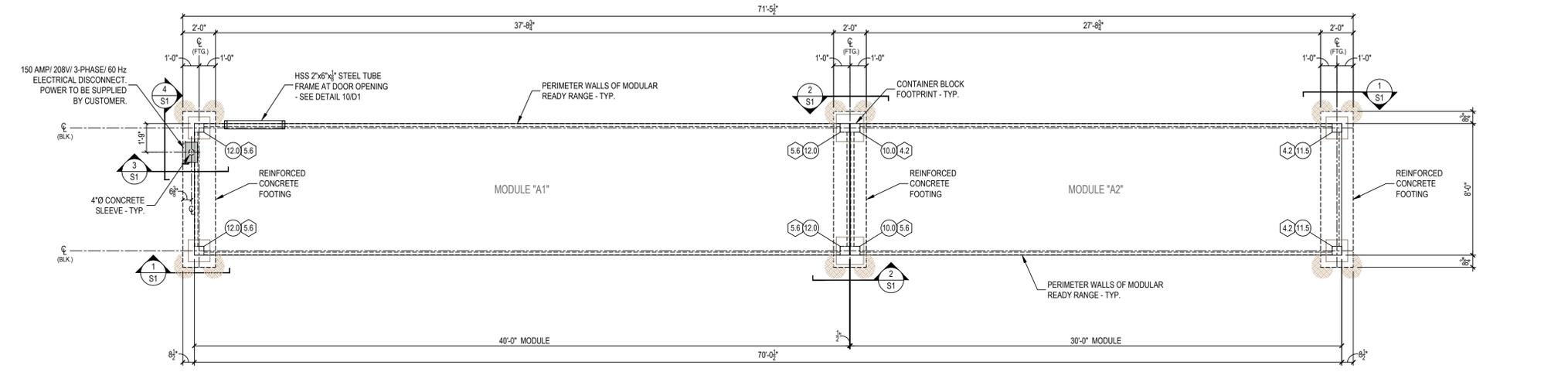


1 FOOTING DETAIL AT END CONDITION SCALE: N.T.S.

2 FOOTING DETAIL AT SEAM CONDITION SCALE: N.T.S.

3 FOOTING DETAIL AT ELECTRICAL DISCONNECT SCALE: N.T.S.

4 FOOTING DETAIL AT ELECTRICAL DISCONNECT SCALE: N.T.S.



DEAD LOAD KEYNOTES

10.0	10,000 LBS. (BASED ON UNFACTORED LOAD)
11.5	11,500 LBS. (BASED ON UNFACTORED LOAD)
12.0	12,000 LBS. (BASED ON UNFACTORED LOAD)

LIVE LOAD KEYNOTES

4.2	4,200 LBS. (BASED ON 70 LBS/ SQ. FT.)
5.6	5,600 LBS. (BASED ON 70 LBS/ SQ. FT.)

- NOTES:**
- CLIENT TO DETERMINE FOUNDATION: LENGTH, DEPTH, AND WIDTH DIMENSIONS BASED ON LOCAL SOIL CONDITION ANALYSIS.
 - WEIGHTS ARE BASED ON UNFACTORED LOADS.
 - TROWEL FINISH TO TOP OF FOOTING
 - TOLERANCE: HEIGHT = $\pm(1/4") - (1/4")$
LENGTH = $\pm(1/2") - (1/2")$
 - FINISH GRADE MINIMUM 1" BELOW TOP OF FOOTING

GROUNDING NOTES:

Lightning protection system to be designed per (NFPA 780) requirements and be installed and installed by others. A (#4) CU counterpoise conductor shall be installed per military design requirements and provided and installed by others. The range shall be grounded per NEC 250.50 requirements. This requirement shall be met by the installation of a concrete-encased electrode (20 lb bare #4 AWG CU conductor at bottom of footing) or 8" x 5/8" diameter copper ground rod. The lightning protection system shall be bonded to the grounding system per NEC 250.106 requirements. A #4 CU conductor shall bond range panel ground bus to counterpoise conductor connected to lightning protection system. The grounding requirements and lightning protection bonding shall be provided and installed by others.

It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.

CLIENT SHALL DESIGN THE CONCRETE FOOTINGS AND ANCHORING SYSTEM PER ASCE 7 OR PER GOVERNING BUILDING CODE.

FOOTING DESIGN MAY CHANGE BASE ON CUSTOMER REQUIREMENTS AND LOCAL SOIL CONDITIONS.

ATTENTION:

THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

FOR CONSTRUCTION

PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:

DATE: _____

SIGNATURE: _____

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NOTES:

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Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor to verify and be responsible for all dimensions and conditions in the field. This office must be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted. Such conflicts noted above shall be reported immediately to the engineer.

NOTES:

ORTHOGRAPHIC PROJECTION

MAINTENANCE AND RESPONSIBILITIES

NOTICE TO ALL SHOOTING OWNERS, MANAGERS & OPERATORS:

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SRI, or anyone affiliated or partnered with SRI, will not be held liable for any negligence on the part of the structure personnel for any of the above items.

Improper maintenance or repair of the structure(s) by any personnel or it's users for any of the above mentioned items, shall have precedence over the manual provided by every range manufactured by SRI at time of purchase.

- H.V.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for the operation (interlocking system) together.
- Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
- Structures must have a negative air pressure or a min. of 10% of total air supply.
- SRI is not liable for H.V.C. system maintenance, air quality, filtration maintenance and air filter change outs.
- No storage or work to be performed behind bullet traps at any time.
- SRI suggests least handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).

The purpose of this letter/invoice is to make sure you, as structure owner, manager, operator, or maintenance personnel are doing your part to make sure all people who come in contact with your structure are safe and comfortable in the indoor structure environment.

It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.

GENERAL NOTES

1. Air system comes as a completely balanced system by factory certified H.V.A.C. specialists however, it is the customer's responsibility to maintain a balanced air system.

2. If structure owner/ operator does not understand any of the above operations, lead management, structure safety or will not accept responsibility they should immediately cease all operations to prevent employees and/or customers against health problems or bodily harm.

3. SRI has incorporated the customer's specified wall and ceiling ballistic protection in the building design as has been called out in the customer's design requirements, as such, the customer takes full responsibility to ensure that no ammunition is fired in the range that could exceed the design capabilities the customer has specified in the design requirements. The customer is solely responsible for proper range operation, range maintenance, and range safety in accordance with the range training and maintenance manual.

SHOOTING RANGE INDUSTRIES LLC

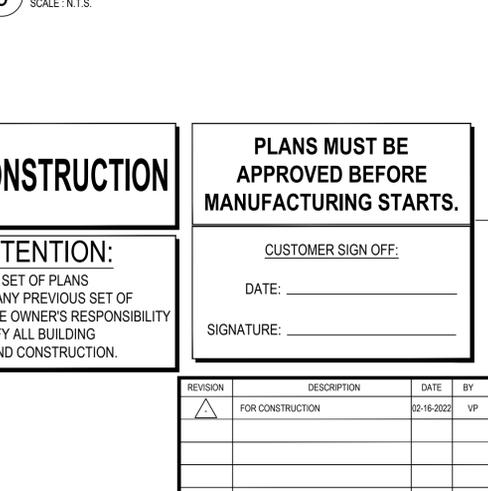
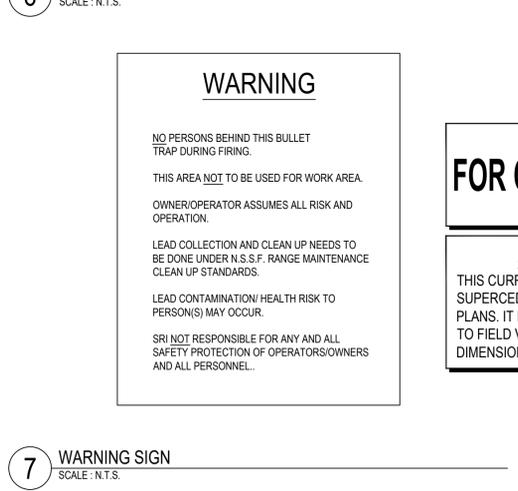
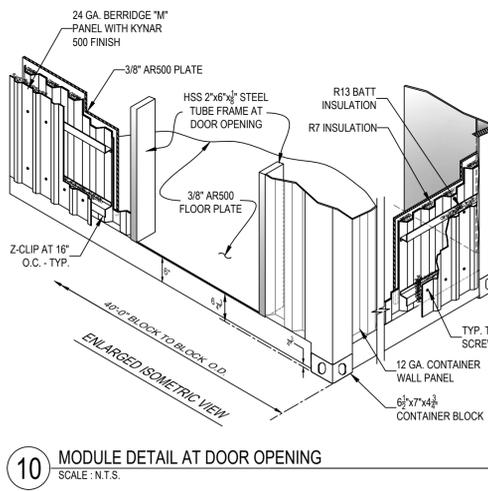
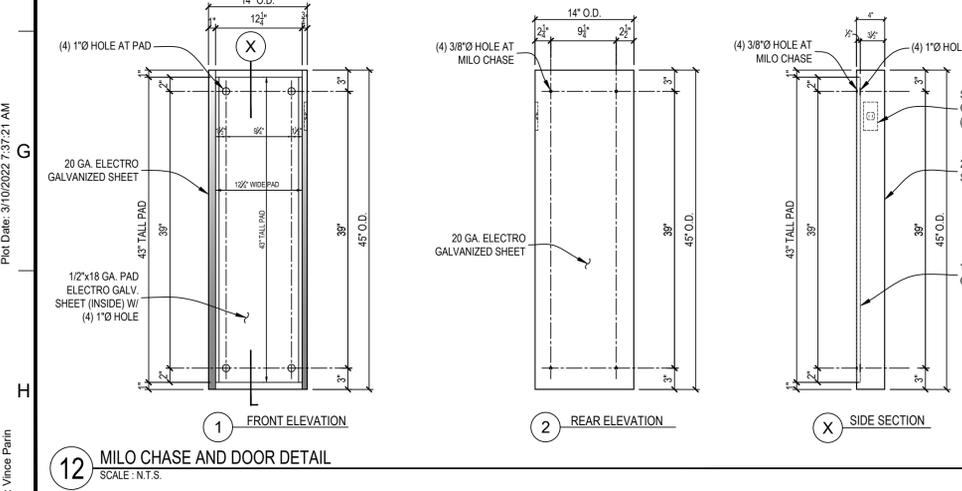
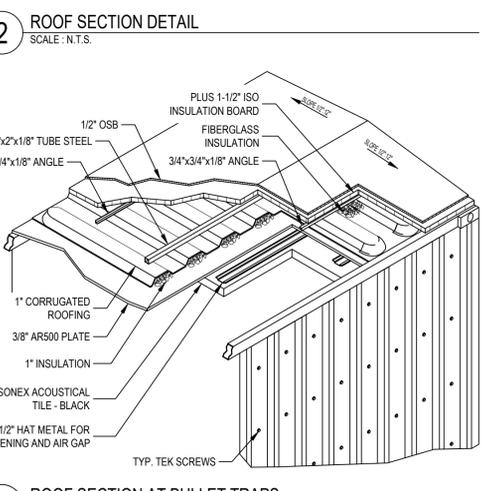
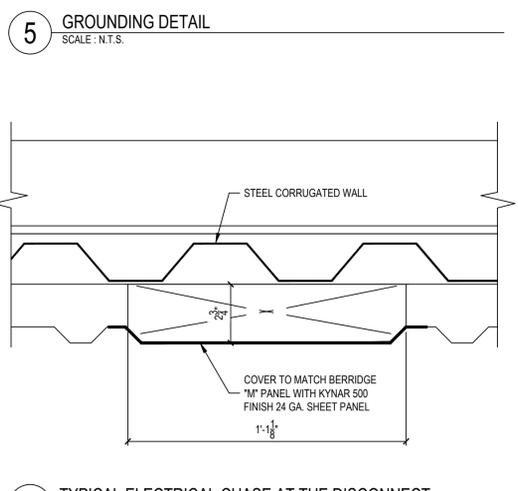
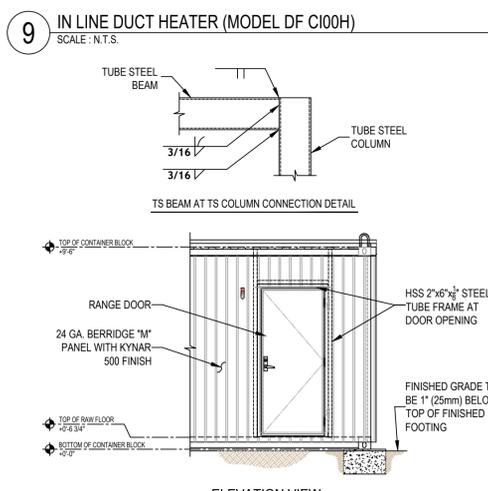
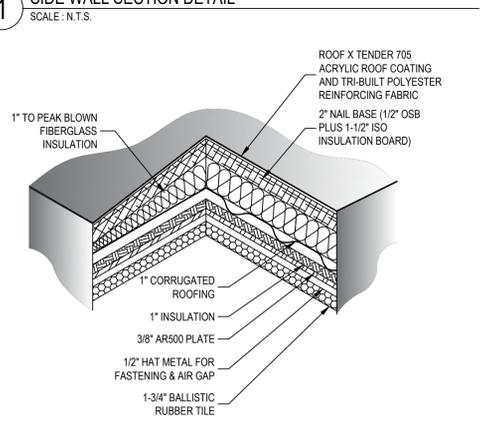
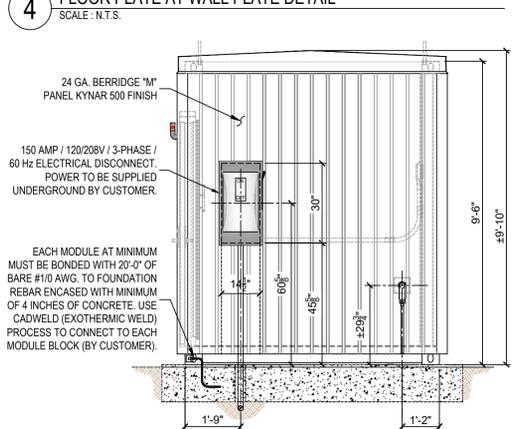
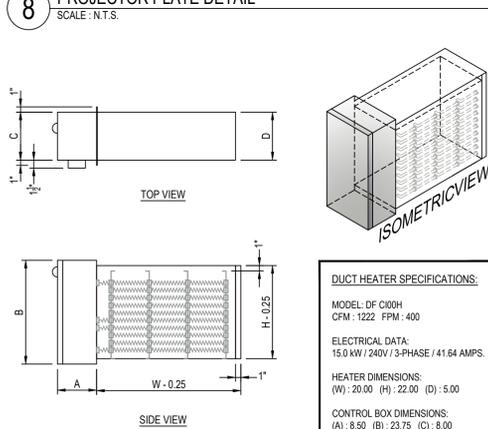
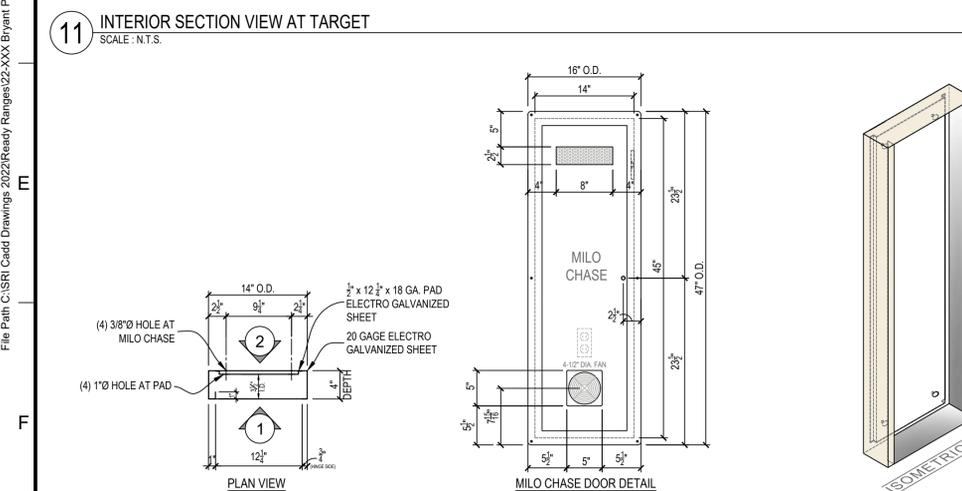
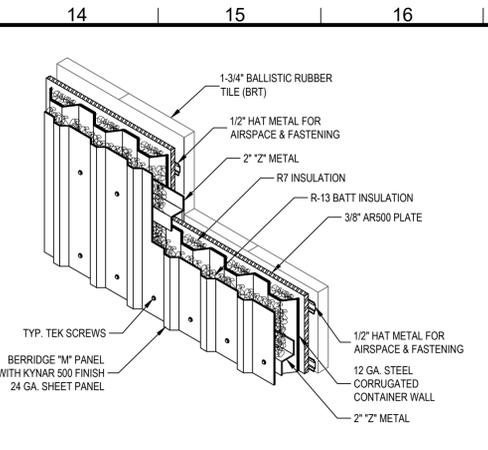
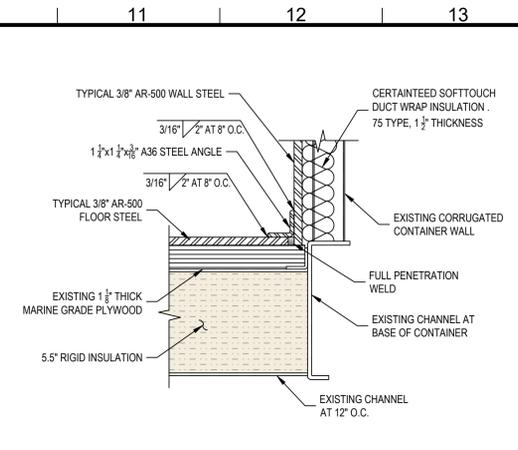
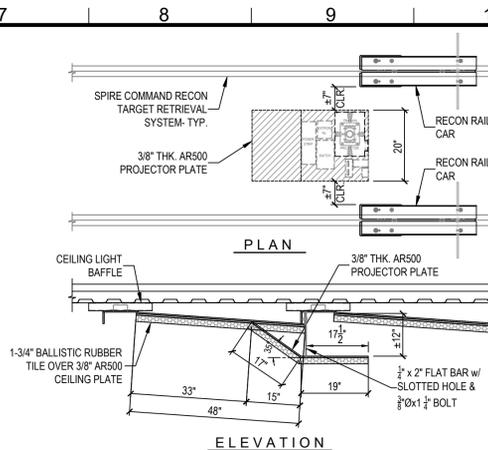
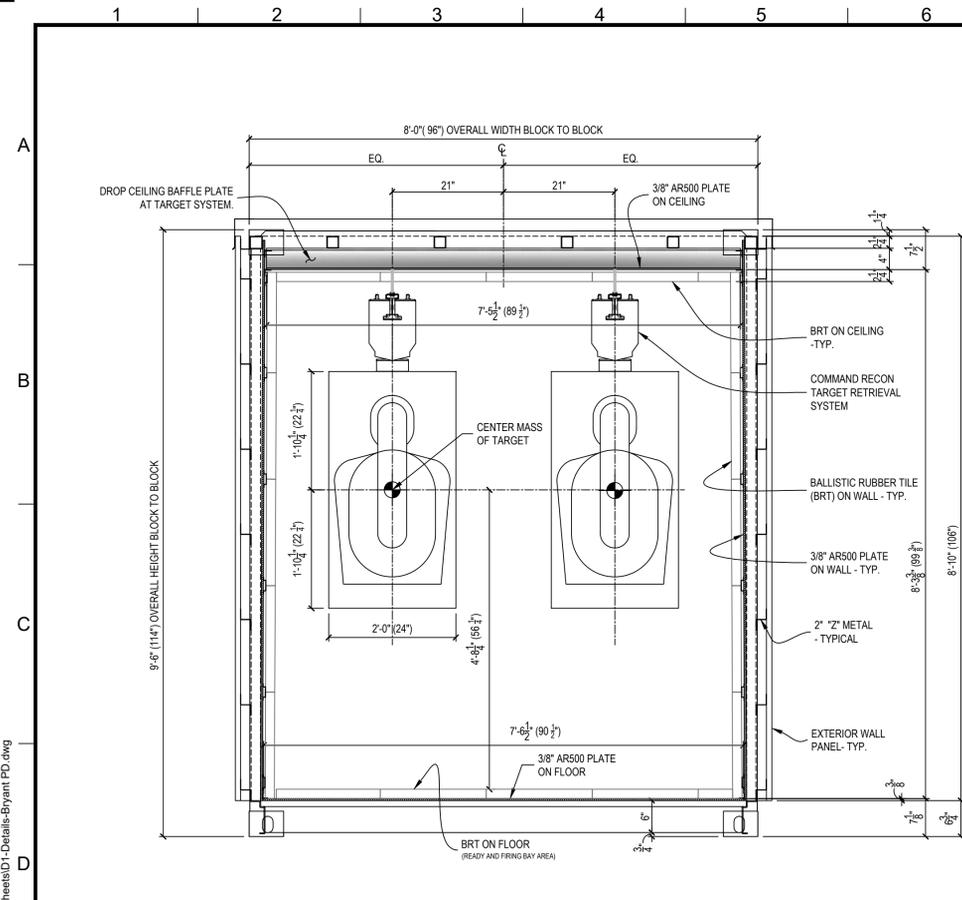
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MILD

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NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

REVISION	DESCRIPTION	DATE	BY	VP	Checked	Date	Approved	Date
1	FOR CONSTRUCTION	02-16-2022	VP		MH	02-03-2022	JC	02-03-2022

Project No.	Scale	Sheet No.
SRI22103	AS NOTED	S1
Drawing No.	Sheet	Rev.
22-103 Bryant PD	7 of 8	-



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NOTE: Drawings must not be scaled, where no dimensions are given, the matter shall be referred to the engineer. Should dimensions or details on these drawings conflict, precedence shall be given to the larger scale drawing. Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor to verify and be responsible for all dimensions and conditions in the field. This office must be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted. Such conflicts noted above shall be reported immediately to the engineer.

NOTES

ORTHOGRAPHIC PROJECTION

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- SRI or anyone affiliated or partnered with SRI, will not be held liable for any negligence on the part of the structure personnel for any of the above items.
- Improper maintenance or repair of the structure(s) by any personnel or its users for any of the above mentioned items, SRI is not responsible for the operation (interlocking system).
1. H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for the operation (interlocking system).
 2. Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
 3. Structures must have a negative air pressure or a min. of 10% of total air supply.
 4. SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.
 5. No storage or work to be performed behind bullet traps at any time.
 6. SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).

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MIL0

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
DETAILS

REVISION	DESCRIPTION	DATE	BY	APPROVED	DATE
VP	FOR CONSTRUCTION	02-16-2022	VP	JC	02-03-2022

Drawn Date: 02.03.2022
 Checked Date: 02.03.2022
 Approved Date: 02.03.2022

Project No: SRI22103
 Scale: AS NOTED
 Sheet No: D1
 Sheet: 8 of 8

Drawing No: 22-103 Bryant PD
 Rev: -

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 Login: Vince Parrin

LIGHTING FIXTURE SCHEDULE								
QTY.	SYMBOL	BRAND	MODEL NO.	VOLTAGE	REQUIRED LAMPS		MOUNTING	REMARKS
					NUM.	TYPE		
12		LITHONIA	ZL1N	120V - 277V	1	0-10V DIMMING STD. NPH60 NIGHT SWITCHING DIMMING MODULE (3,500 LUMENS)	CEILING	LED STRIPLIGHT, SNAP ON FROSTED, DIFFUSE
1		LITHONIA	LHQM S W 3 R 120/277	120V - 277V	1	3.3 FIXTURE WATTS, LED EXIT, KRYPTON LAMP HEAD	WALL	COMBINATION EMERGENCY LIGHT AND EXIT FIXTURE

SYMBOL SCHEDULE:	
SYMBOL	DESCRIPTION
	DUPLEX ELECTRICAL RECEPTACLE (PLAN)
	DUPLEX ELECTRICAL RECEPTACLE (ELEV)
	QUADRUPLEX ELECTRICAL RECEPTACLE (PLAN)
	QUADRUPLEX ELECTRICAL RECEPTACLE (ELEV)
	LUTRON GRAFIK EYE 3000 CONTROLLER 120 VOLT
	ZL1N SERIES LED STRIP LIGHT FIXTURE (DIMMABLE) 120 VOLT
	THERMOSTAT
	FILTER PRESSURE
	RANGE PRESSURE
	PRESSURE SENSOR
	FIRE EXTINGUISHER (WALL MOUNTED)
	BALLISTIC RUBBER TILE
	SONEX SOUND TILE
	POLISHED ALUMINUM DIAMOND TREAD PLATE
	3/8" AR-500 STEEL PLATE

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SRI or anyone affiliated or partnered with SRI will not be held liable for any negligence on the part of the structure personnel for any of the above items.
 Improper maintenance or repair of the structure(s) by any personnel or its users for any of the aforementioned items, structural maintenance manuals have been provided with every range manufactured by SRI at time of purchase.

- H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).
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 3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

RIFLE TRAPS:
 MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG. STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

ATTENTION:
 THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

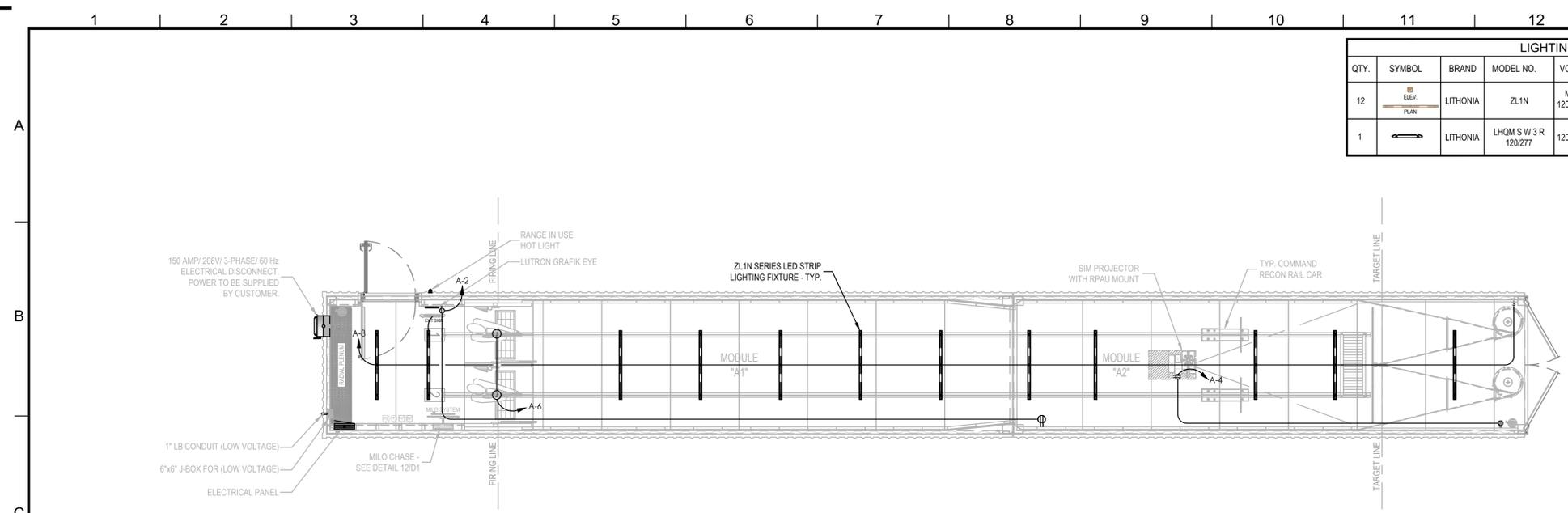
PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
 DATE: _____
 SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
1	FOR CONSTRUCTION	02-16-2022	VP

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

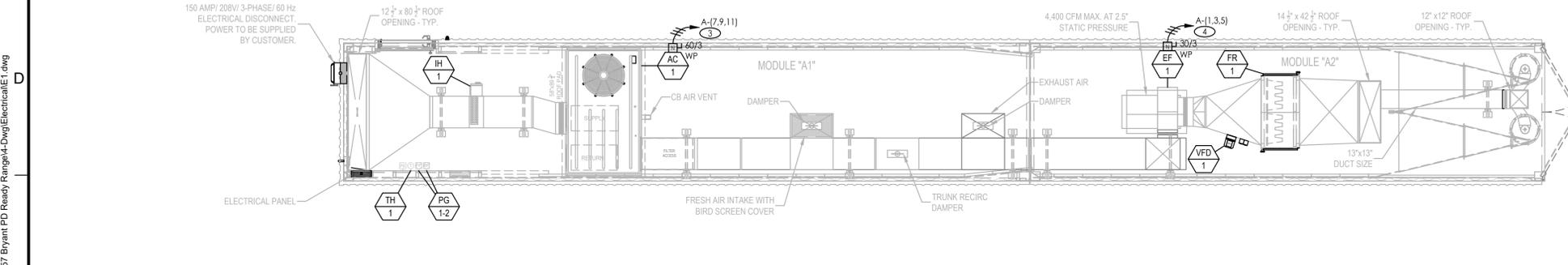
Project No: SRI22103
 Scale: AS NOTED
 Sheet No: E1
 Sheet 4 of 8



1 PLAN VIEW - ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"

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2 ROOF VIEW - ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"

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Login: Derek Thornhill

EXHAUST FAN SCHEDULE															
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR / ELECTRICAL DATA				ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS		
			CFM	S.P. IN WG	RPM	FAN TYPE	DRIVE	HP	VOLTS	PH				HZ	RPM
EF-1 TO EF-6	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0	208	3	60	1,755	357.98	DAYTON 7H171	PROVIDE WITH VFD

ROOF TOP UNIT SCHEDULE																									
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION				GAS HEAT SECTION			COMPRESSOR SECTION			ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS				
			CFM	ESP	BHP	HP	VOLTS	PH	MROP (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP. (F) DB	WB	AMBIENT DB (F)	CAPACITY INPUT MBH	OUTPUT MBH	EAT. (F)	LEA. (ARF)				HEAT CONTROL	CAPACITY CONTROL	POWER AMPS	REFRIG. TYPE
AC-1	FIRING RANGE	F	4,000	0.75	-	3	208	3	60	49.0	130,000	95	77	95	150	120	32	60	T-STAG	2 STAGE	R.L.-L.R. 19.6/136.0	R410	1058 NET (1156 SHPPING)	TRANE YSC0120HJELA	NONE
IH-1	FIRING RANGE	-	1,222	-	-	-	208	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	13.20 NET	WATCO DFC00H	NONE

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
D2	100% CLOSED	D2	75% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)
D3	100% OPEN	D3	40% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)

H.V.A.C. REFERENCE KEYNOTES

AC = 10 TON GAS PACKAGE A/C UNIT "TRANE" INPUT: 150,000 BTU / OUTPUT: 120,000 BTU 208-230V / 60 Hz / 3 PHASE MODEL # YSC120HJELA

EF = ROOFBRACKET MOUNTED EXHAUST FAN "DAYTON" MODEL #7H171 5.0 HP, 208V / 60 Hz / 3 PHASE 12.50 AMP F.L.A. NEMA 3R SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS

FR = 99.97% 0.3 MICRON HEPA FILTER RACK WITH (4) - 24"x24"x2" SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS

VFD = VEG VARIABLE FREQUENCY DRIVE, 5 MAX. HP, 3 INPUT PHASE AC 240VAC INPUT VOLTAGE, 16 AMPS, MAX. OUTPUT MODEL NO. CFW080160TD4A1Z

IH = 15.0 KW / 41.64 AMP / 208V / 3-PHASE / 1,222 CFM / 400 FPM DUCT HEATER "WATCO" MODEL # DFC00H

PG = (2) - DWYER MAGNEHELIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG

TH = NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28Vdc 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR024T4XZ1

NOTES

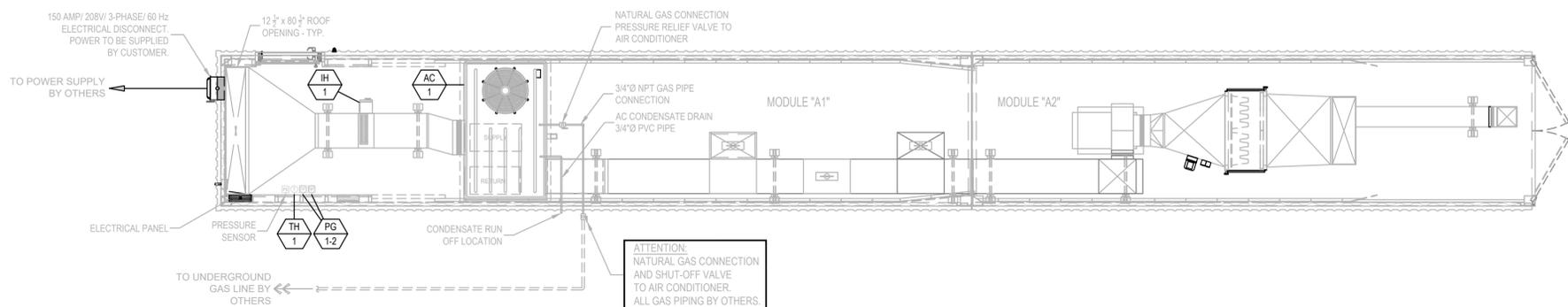
ORTHOGRAPHIC PROJECTION

H.V.A.C. SEQUENCE OF OPERATIONS

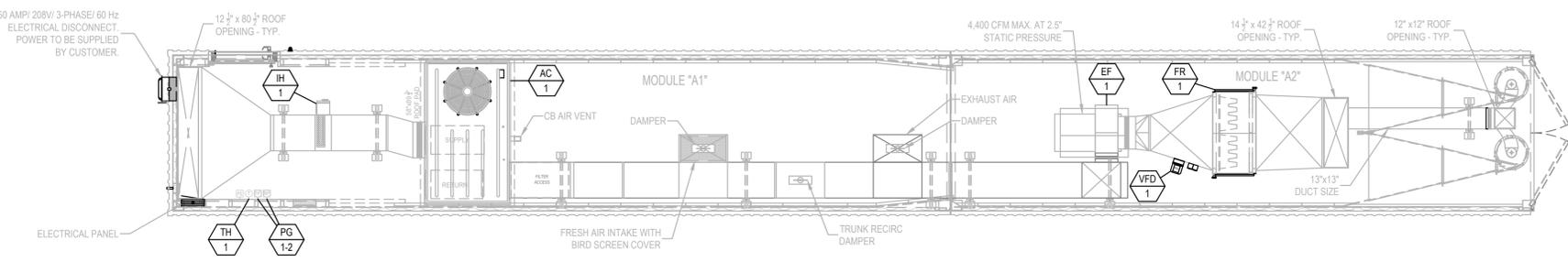
- EACH MODULE HVAC SYSTEM SHALL BE ACTIVATED BY SWITCH (THERMOSTAT) ON WALL.
- UPON ACTIVATION, THE EXHAUST FAN AND ROOFTOP UNIT SUPPLY FAN SHALL BE ENABLED. ALL FANS SHALL OPERATE AT CONSTANT SPEED TO MAINTAIN PROPER VELOCITY AND PRESSURIZATION INSIDE MODULE.
- THE SPACE TEMPERATURE SHALL BE CONTROLLED VIA THE THERMOSTAT TO MAINTAIN SETPOINT. COOLING WILL BE ACCOMPLISHED IN TWO (2) STAGES, VIA THE MULTI-STAGE COMPRESSOR. HEATING WILL BE ACCOMPLISHED IN FOUR (4) STAGES, VIA THE ROOFTOP UNIT'S GAS HEATER AND ELECTRIC HEAT STRIP LOCATED IN THE DUCT. THE ELECTRIC HEAT STRIP SHALL OPERATE AS THE PRIMARY HEATING SOURCE, AND THE ROOFTOP UNIT GAS HEATING SECTION SHALL OPERATE WHEN THE HEAT PUMP IS UNABLE TO MAINTAIN THE HEATING TEMPERATURE SETPOINT.

NOTES:

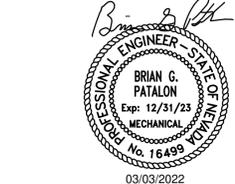
- POWER BY CUSTOMER.
- CUSTOMER IS RESPONSIBLE FOR DRAINAGE LOCATION AND PROTECTION OF CONDENSATE LINES FROM FREEZING.



PLAN VIEW - UTILITY LAYOUT
SCALE: 1/4" = 1'-0"



PLAN VIEW - H.V.A.C. LAYOUT
SCALE: 1/4" = 1'-0"



RIFLE TRAPS:

MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

ATTENTION:

THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:

DATE: _____

SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
VP	FOR CONSTRUCTION	02-16-2022	VP

MAINTENANCE AND RESPONSIBILITIES

NOTICE TO ALL SHOOTING OWNERS, MANAGERS & OPERATORS:

Shooting Range Industries, LLC (SRI) is not a way shape or form, responsible for the maintenance, operation, cleanliness, employee protection, lead collection or recycling, disposal or cleanup of any structure provided by SRI, or anyone affiliated or partnered with SRI.

SRI or anyone affiliated or partnered with SRI, will not be held liable for any negligence on the part of the structure personnel for any of the above items.

Improper maintenance or repair of the structure(s) by any personnel or its users for any of the aforementioned items, structure maintenance manuals have been provided with every range manufactured by SRI at time of purchase.

- H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).
- Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
- Structures must have a negative air pressure or a min. of 10% of total air supply.
- SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.
- No storage or work to be performed behind bullet traps at any time.
- SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).

The purpose of this letter/inlet is to make sure you, as structure owner, manager, operator, or maintenance personnel are doing your/their part to make sure all people who come in contact with your structure are safe and comfortable in the indoor structure environment.

It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.

GENERAL NOTES

- Air system comes as a completely balanced system by factory certified H.V.A.C. specialists however, it is the customer's responsibility to maintain a balanced air system.
- If structure owner/operator does not understand any of the above operations, lead management, structure safety or will not accept responsibility they should immediately cease all operations to prevent employees and/or customers against health problems or bodily harm.
- SRI has incorporated the customer's specified wall and ceiling ballistic protection in the building design as has been called out in the customer's design requirements, as such, the customer takes full responsibility to ensure that no ammunition is fired in the range that could exceed the design capabilities the customer has specified in the design requirements. The customer is solely responsible for proper range operation, range maintenance, and range safety in accordance with the range training and maintenance manual.

SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

Drawing Title
**H.V.A.C. LAYOUT
UTILITY LAYOUT
(PLAN VIEW)**

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

Project No. **SRI22103** Scale **AS NOTED** Sheet No. **M1**
Sheet 5 of 8

Drawing No. **22-103 Bryant PD** Rev. **-**

EVOLUTION ENGINEERING
3590 E. PATRICK LANE
LAS VEGAS, NV 89120
702-514-3366
revolutionmep.com

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EXHAUST FAN SCHEDULE															
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR / ELECTRICAL DATA				ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS		
			CFM	S.P. IN WG	RPM	FAN TYPE	DRIVE	HP	VOLTS	PH				HZ	RPM
EF-1 TO EF-5	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0	208	3	60	1,755	357.98	DAYTON 7H171	PROVIDE WITH VFD

ROOF TOP UNIT SCHEDULE																									
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION				GAS HEAT SECTION		COMPRESSOR SECTION		ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS						
			CFM	ESP	BHP	HP	VOLTS	PH	MROP (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	WIB	AMB. DB (F)	CAPACITY INPUT MBH	OUTPUT MBH				EAT. (F)	LEA. (ARF)	HEAT CONTROL	CAPACITY CONTROL	POWER AMPS	REFRIG. TYPE
AC-1	FIRING RANGE	F	4,000	0.75	-	3	208	3	60	49.0	130,000	95	77	95	150	120	32	60	T-STAG	2 STAGE	R.L.-L.R. 19.6/136.0	R410	1058 NET (1156 SHPPING)	TRANE YSC0120HSELA	NONE
IH-1	FIRING RANGE	-	1,222	-	-	-	208	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	13.20 NET	WATCO DFC00H	NONE

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
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D = DWYER MAGNEHELIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG

TH = NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28V AC 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR024TXZ1

NOTE:
 Drawings must not be scaled, where no dimensions are given, the matter shall be referred to the engineer.
 Should dimensions or details on these drawings conflict, precedence shall be given to the larger scale drawing.
 Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions.
 Written dimensions on these drawings shall have precedence over scaled dimensions.
 Contractor to verify and be responsible for all dimensions and conditions in the field. This office must be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted.
 Such conflicts noted above shall be reported immediately to the engineer.

NOTES

ORTHOGRAPHIC PROJECTION

H.V.A.C. SEQUENCE OF OPERATIONS

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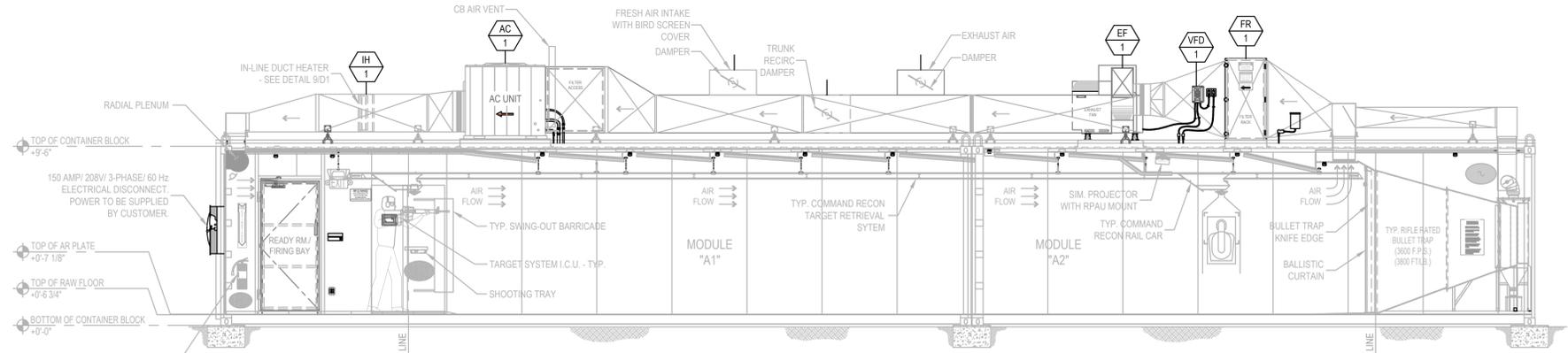
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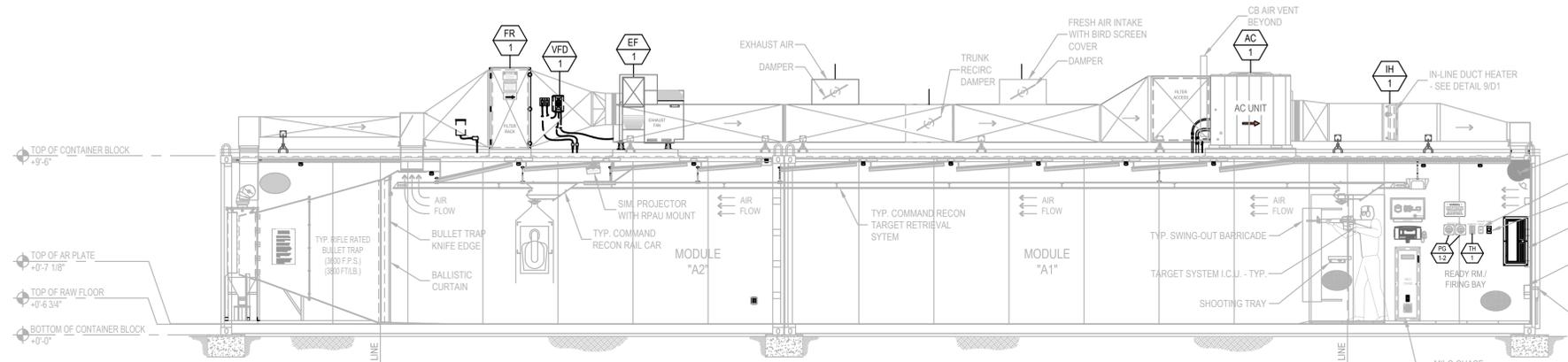
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1 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"

RIFLE TRAPS:
 MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

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PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
 DATE: _____
 SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY	Drawn	Date	Checked	Date	Approved	Date
1	FOR CONSTRUCTION	02-16-2022	VP	VP	02-03-2022	MH	02-03-2022	JC	02-03-2022

Project No: SRI22103
 Scale: AS NOTED
 Sheet No: M2
 Drawing No: 22-103 Bryant PD

SHOOTING RANGE INDUSTRIES LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MIL0

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
H.V.A.C. LAYOUT
 (PLAN AND SECTION VIEW)

EVOLUTION ENGINEERING
 3590 E. PATRICK LANE
 LAS VEGAS, NV 89120
 702-514-3366
 revolutionmep.com

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Plot Date: 3/3/2022 4:17:04 PM

Login: Brian Patalon

BRYANT POLICE DEPARTMENT
 MODULAR SHOOTING RANGE
 CITY OF BRYANT, ARKANSAS

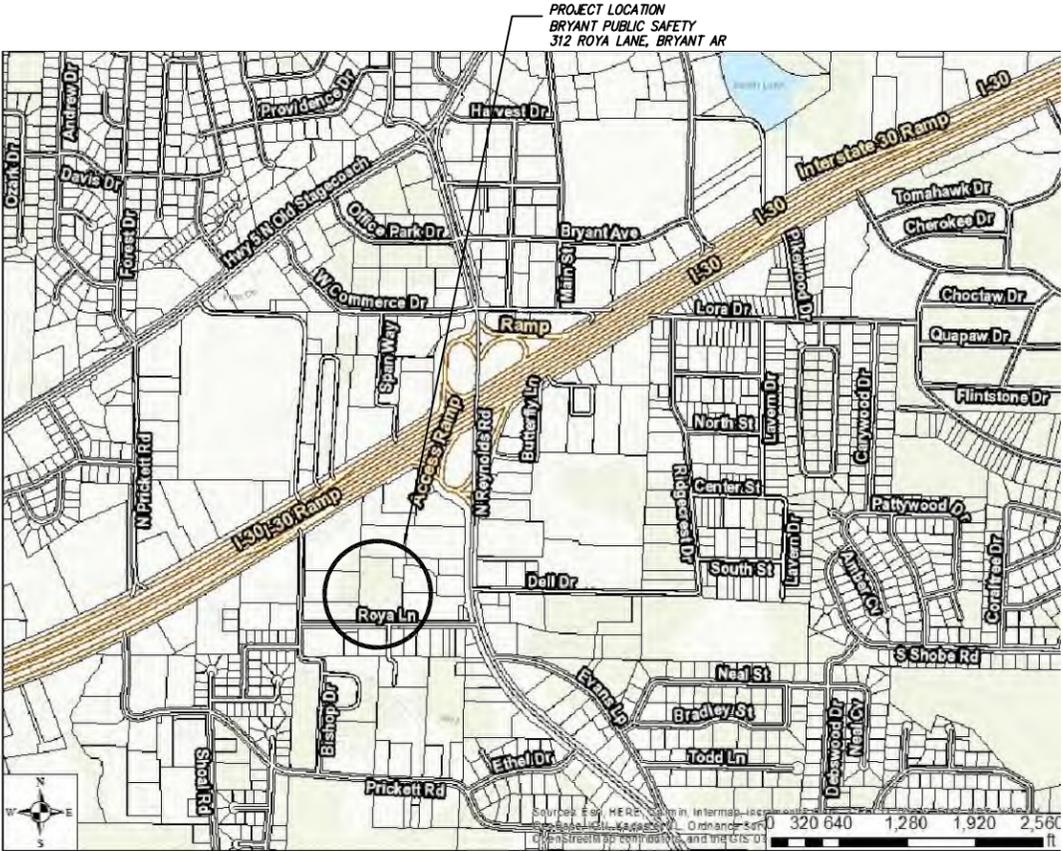


312 ROYA LANE
 BRYANT, ARKANSAS 72022
 PHONE: (501) 943-0943
 WWW.CITYOFBRYANT.COM

PREPARED BY:
 BRYANT ENGINEERING & CONST.

DRAWING INDEX

G1.0	TITLE SHEET
G2.0	GENERAL NOTES
C1.0	OVERALL SITE PLAN
C1.1	ENLARGED SITE PLAN
C2.0	GENERAL DETAILS OF FOUNDATION
C3.0	TEMPORARY EROSION CONTROL PLAN
TEC-1	AHTD TEMPORARY EROSION CONTROL DEVICES 1



VICINITY MAP - BRYANT, ARKANSAS



SALINE COUNTY, ARKANSAS

D
C
B
A

APPROVED BY:			DESIGNED BY:	REV	DESCRIPTION	BY	DATE	NORTH:	SCALE:	NAME: BRYANT PUBLIC SAFETY BUILDING	CITY OF BRYANT ARKANSAS	BRYANT POLICE DEPARTMENT MODULAR SHOOTING RANGE TITLE SHEET	SUBMITTAL DATE:
TITLE			BRYANT PD	A	DRC SUBMITTAL	BPD	11/23/21						11/23/21
SIGNATURE			DRAWN BY:										WORK ORDER NO.:
DATE			BEC										SHEET NO.:
TITLE			CHECKED BY:							BRYANT, ARKANSAS 72022			G1 OF G1
SIGNATURE													
DATE													
DATE													

XXX###XXX.DWG

1. SAFETY

- 1.1. JOBSITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 1.2. THIS RESPONSIBILITY COVERS THEIR OWN WORK FORCE, ALL SUBCONTRACTORS, VISITING PERSONNEL, OFFICIALS, AND THE GENERAL PUBLIC WHICH MAY HAVE ACCESS TO THE JOBSITE.
- 1.3. THE CONTRACTOR SHALL EXERCISE COMPLETE CONTROL OVER WHO HAS ACCESS TO THE JOBSITE TO ENSURE JOBSITE SAFETY.
- 1.4. THE CONTRACTOR SHALL CONFORM TO ALL SECURITY AND SAFETY REQUIREMENTS OF THE OWNER.
- 1.5. ANY SAFETY OR OTHER TRAINING REQUIRED BY THE OWNER FOR THE WORK FORCE MUST BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

2. PERMITS

- 2.1. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AS REQUIRED BY REGULATING AUTHORITIES OR BY THE OWNER. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE TERMS AND CONDITIONS ASSOCIATED WITH EACH REQUIRED PERMIT, AS WELL AS ADHERING TO THE RULES AND REGULATIONS OF EACH REGULATING AUTHORITY.

3. CONTRACT DOCUMENTS

- 3.1. ALL WORK SHALL CONFORM TO THE PLANS, THESE NOTES, AND SPECIFICATIONS IN ALL RESPECTS AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.

4. INDEMNITY

- 4.1. BY ACCEPTING THE CONTRACT FOR THIS WORK, THE CONTRACTOR, AT THEIR OWN EXPENSE AND RISK, HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER, PROJECT ENGINEER, THEIR OFFICERS, AGENTS, EMPLOYEES, CONSULTANTS, AND REPRESENTATIVES FOR DAMAGE TO THE PROPERTY OR INJURY TO, OR DEATH, OF ANY PERSONS, FROM ANY AND ALL CLAIMS, DEMANDS, ACTIONS OF ANY KIND WHATSOEVER ARISING OUT OF AND IN CONNECTION WITH THE AGREEMENT OR PROSECUTION OF WORK UNDER IT, WHETHER SUCH CLAIMS, DEMANDS, ACTIONS, OR LIABILITY ARE CAUSED BY THE CONTRACTOR, ITS AGENTS, EMPLOYEES, SUBCONTRACTORS, PRODUCTS INSTALLED ON THE PROJECT OR CAUSED BY ANY OTHER PARTY.

5. CONSTRUCTION PROCEDURES, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS UNLESS OTHERWISE MODIFIED ON THE DRAWINGS OR IN THESE NOTES OR SPECIFICATIONS.

- 5.1. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION – ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT.
- 5.2. INTERNATIONAL BUILDING CODE
- 5.3. ACI 315 MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES
- 5.4. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING STEEL.
- 5.5. CITY OF BRYANT – WATER/WASTEWATER SPECIFICATIONS.
- 5.6. CITY OF BRYANT – MINIMUM STREETS STANDARDS.
- 5.7. CITY OF BRYANT – STORMWATER MANUAL & EROSION CONTROL PLAN

6. SITE

- 6.1. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- 6.2. CONTRACTOR IS NOT TO PERFORM WORK BEYOND THE DESIGNATED WORK LIMITS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNER.
- 6.3. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
- 6.4. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL ITEMS, SHOWN TO BE REMOVED OR RELOCATED AND NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE REQUIRED TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
- 6.5. CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED MANHOLES, VALVE BOXES, ETC. TO FINISH GRADE, WHERE REQUIRED.

7. STRUCTURES

- 7.1. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM Poured MORTAR INVERT IN TO INVERT OUT.
- 7.2. BEDDING FOR STORM STRUCTURES SHALL CONSIST OF A MINIMUM OF 6-INCHES OF COMPACTED #57 STONE ON TOP OF COMPACTED SUBGRADE.
- 7.3. AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SCARIFIED TO MINIMUM DEPTH OF 0'-8" AND COMPACTED TO MINIMUM OF 95% OPTIMUM DENSITY. ANY AREAS THAT FAIL COMPACTION ARE TO BE STABILIZED AS DIRECTED BY THE ENGINEER.

8. PRIOR TO PLACING FILL IN LOW AREAS, SUCH AS PREVIOUSLY EXISTING CREEKS, PONDS, OR LAKES, PERFORM FOLLOWING PROCEDURES:

- 8.1. DRAIN WATER OUT BY GRAVITY WITH DITCH HAVING FLOW LINE LOWER THAN LOWEST ELEVATION IN LOW AREA. IF DRAINAGE CANNOT BE PERFORMED BY GRAVITY DITCH, USE ADEQUATE PUMP TO OBTAIN THE SAME RESULTS.
- 8.2. AFTER DRAINAGE OF LOW AREA IS COMPLETE, REMOVE MULCH, MUD DEBRIS, AND OTHER UNSUITABLE MATERIAL BY USING ACCEPTABLE EQUIPMENT AND METHODS THAT WILL KEEP NATURAL SOILS UNDERLYING LOW AREA DRY AND UNDISTURBED.

9. UTILITIES

- 9.1. AN ATTEMPT HAS BEEN MADE TO APPROXIMATELY LOCATE UTILITIES ON THE DRAWINGS.
- 9.2. UTILITIES SHOWN ON THE DRAWINGS WERE LOCATED BY VISUAL OBSERVATION, AND BY TRANSCRIBING FROM RECORD MAPS AND PLANS.
- 9.3. NO EXCAVATIONS WERE MADE TO CONFIRM SUB-SURFACE UTILITIES. NEITHER THE SURVEYOR NOR PROJECT ENGINEER GUARANTEES THAT ALL UTILITIES HAVE BEEN SHOWN, OR THAT THOSE SHOWN ARE FULLY ACCURATE.
- 9.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS AND/OR RELOCATION OF EXISTING UTILITIES THAT ARE DAMAGED AS A RESULT OF WORK OF THIS PROJECT.
- 9.5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROPERLY DISCONNECTING, ABANDONING, RELOCATING, AND/OR ADJUSTING ALL AFFECTED UTILITIES WITHIN THE PROJECT AREA.
- 9.6. ALL UTILITY WORK SHALL BE COORDINATED AND EXECUTED IN ACCORDANCE WITH THE OWNER AND/OR GOVERNING UTILITY COMPANY CODES, SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- 9.7. DESIGN AND ALIGNMENT OF UNDERGROUND TELEPHONE, TV CABLE, GAS AND ELECTRIC SERVICES SHALL BE PROVIDED BY THE INDIVIDUAL UTILITIES AND ARE NOT NECESSARILY SHOWN WITH THESE PLANS. CONTRACTOR SHALL PROVIDE CONDUITS SIZED TO ACCOMMODATE UTILITY ROUTING WITH PULL STRINGS WHERE NECESSARY.
- 9.8. CONTRACTOR TO PROVIDE ALL NECESSARY APPURTENANCES NECESSARY FOR COMPLETE UTILITY SERVICES WHICH ARE NOT PROVIDED BY THE UTILITY COMPANY.
- 9.9. WATER AND SEWER RELOCATIONS SHOWN SHALL COMPLY WITH THE CITY OF BRYANT'S STANDARD WATER AND SEWER SPECIFICATIONS AND DETAILS. SERVICE LINE WORK SHALL BE COMPLETED BY A LICENSED PLUMBER AND COMPLY WITH ARKANSAS PLUMBING CODE.

10. DISPOSAL OF DEBRIS, WASTE OR SPOIL

- 10.1. BURNING OF DEBRIS AND WASTE IS NOT ALLOWED. CONTRACTOR MAY BE REQUIRED TO PROPERLY HAUL AWAY AND DISPOSE OF ANY WASTE MATERIAL REMOVED FROM THE SITE.
- 10.2. ANY WASTE OR SPOIL MATERIAL WHICH IS EXCAVATED FROM THE JOB SITE IS TO BE DISPOSED OF AS DIRECTED BY THE ENGINEER OR OWNER.
- 10.3. REMOVAL AND DISPOSAL OF EXCAVATED WASTE MATERIAL IS CONSIDERED SUBSIDIARY TO ALL OTHER ITEMS IN THE PROJECT, AND WILL NOT BE PAID FOR SEPARATELY.
- 10.4. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIAL REMOVED FROM THIS SITE.
- 10.5. CONTRACTOR SHALL REMOVE FROM SITE AND DISPOSE OF MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN OPINION OF THE ENGINEER, IS UNSUITABLE OR UNDESIRABLE FOR BACKFILLING OR SUBGRADE PURPOSES. DISPOSE OF IN A MANNER SATISFACTORY TO ENGINEER. BACKFILL UNDERCUT AREAS WITH LAYERS OF SUITABLE MATERIAL AND COMPACT AS SPECIFIED HEREIN.

11. SUBSTITUTIONS

- 11.1. SUBSTITUTIONS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT ENGINEER.

12. ENVIRONMENTAL

- 12.1. THE CONTRACTOR IS TO MEET ALL ENVIRONMENTAL REQUIREMENTS OF THE OWNER AND ANY REGULATORY AGENCY HAVING AUTHORITY OVER THIS SITE.
- 12.2. THE CONTRACTOR IS TO UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) FOR CONTROL OF EROSION DURING ALL CONSTRUCTION PHASES OF THIS PROJECT.
- 12.3. MINIMUM BMP'S REQUIRED FOR THE PROJECT ARE LISTED ON SHEET THESE PLANS. CONTRACTOR SHALL PROVIDE THESE BMP'S AND ANY OTHERS REQUIRED FOR THE PROJECT.
- 12.4. CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF ACCUMULATED TRASH AND DEBRIS. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING MEASURES TO AVOID TRACKING OF MUD, DIRT, ROCKS, AND DEBRIS ONTO AREAS OUTSIDE THE PROJECT AREA. CONTRACTOR SHALL CLEAN PAVEMENTS WHEN NECESSARY OR AS OTHERWISE DIRECTED, AND SHALL CONTROL DUST BY SWEEPING AND WATERING AS NEEDED. DE-TRACKING MAY BE REQUIRED AT ALL ENTRANCES.

13. FINAL SITE CONDITIONS

- 13.1. ALL DISTURBED AREAS NOT RECEIVING PAVEMENT OR LANDSCAPING SHALL HAVE VEGETATION ESTABLISHED AT TIME OF FINAL INSPECTION.
- 13.2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPE 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- 13.3. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- 13.4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS
- 13.5. UPON PARTIAL OR FINAL COMPLETION OF GRADING WORK, SPREAD TOPSOIL, SEED, FERTILIZER, AND MULCH IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE STORM WATER POLLUTION PREVENTION PLAN.

14. TRAFFIC CONTROL

- 14.1. CONTRACTOR SHALL ENGAGE A SUBCONSULTANT WHO SPECIALIZES IN MAINTENANCE OF TRAFFIC PLANS. SUBCONSULTANT SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN FOR THE PROJECT THAT COMPLIES WITH THE REQUIREMENTS OF MUTCD AND ALL APPLICABLE AUTHORITIES HAVING JURISDICTION OVER ROAD RIGHT-OF-WAY. CONTRACTOR SHALL SUBMIT MAINTENANCE OF TRAFFIC PLAN TO ENGINEER FOR APPROVAL PRIOR TO BEGINNING WORK.

15. MODULAR SHOOTING RANGE – MANUFACTURER REQUIREMENTS:

- 15.1. INSTALLATION OF CONCRETE PAD OR STRIP FOOTERS FOR THE READY RANGE MODULES PER SRI DRAWINGS AND WRITTEN INSTRUCTION. INSPECTION OF SUCH SITE PREPARATIONS TO BE CONDUCTED BY SRI REPRESENTATIVE BEFORE READY RANGE PRODUCT IS SHIPPED FROM FACTORY.
- 15.2. CONTRACTOR IS TO PROVIDE 208V, 3PH, 125AMP TO 300AMP PRIMARY POWER ("WYE" SYSTEM) NEEDED FORMCSATS TO THE CONNECTION BOX ON EACH SET OF MODULES. SRI WILL PROVIDE DETAILED POWER REQUIREMENTS BASED ON CUSTOMER COMPLETED QUESTIONNAIRE, SPECIFIC SITE/RANGE HEATING AND COOLING REQUIREMENTS AND AVAILABILITY OF NATURAL/LP GAS. SRI WILL PROVIDE CONNECTION BOX LOCATIONS CLEARLY MARKED ON SHOP DRAWINGS.
- 15.3. CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL SITE ACCESS REQUIREMENTS FOR CRANES, TRUCKS, RANGE MODULE DELIVERY AND FORKLIFTS TO INCLUDE, ROADS, GROUND WORK, UTILITY CLEARANCES, OVERHEAD CLEARANCES (TREES, POWER LINES), SITE LAYDOWN/STAGING AREA AS REQUIRED FOR PROJECT SIZE.
- 15.4. CONTRACTOR IS TO PROVIDE 115V TEMPORARY POWER TO THE INSTALL SITE AS WELL AS DUMPSTER AND PORTA-TOILETS OR RESTROOMS FOR USE DURING INSTALLATION.
- 15.5. CONTRACTOR IS TO PROVIDE FINAL CONNECTION OF UTILITIES, (POWER, NATURAL GAS OR PROPANE), TO THE READY RANGE BY LOCALLY CERTIFIED SERVICE PROVIDER/CONTRACTOR PER THE PLANS AND SPECIFICATION DURING THE INSTALLATION PERIOD.
- 15.6. CONTRACTOR IS TO ASSURE COORDINATION WITH OTHER TRADES, LOCAL AGENCIES TO MARK UNDERGROUND POWER AND GAS LINES AS WELL AS THE LOCAL POWER BOARD RELATED TO THE SURROUNDING POWER LINES AND THE SUPPLY OF SUITABLE POWER AS PER SRI DETAILED PROJECT DRAWINGS.
- 15.7. CONTRACTOR IS RESPONSIBLE FOR SITE SCHEDULE ANY SHUT DOWN BY ACTIONS OF OTHERS THAN THAT OF SRI, AN 'IDLE JOB FEE' OF \$650.00 FOR PER MAN PER CALENDAR DAY PLUS SITE EQUIPMENT, THAT WORK CANNOT COMMENCE, WILL BE ASSESSED.

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C
B
A

XXX###XXX.DWG

APPROVED BY:	DESIGNED BY: BRYANT PD	REV A	DESCRIPTION DRC SUBMITTAL	BY BPD	DATE 11/23/21	NORTH:	SCALE: N/A	NAME: BRYANT PUBLIC SAFETY BUILDING		BRYANT POLICE DEPARTMENT MODULAR SHOOTING RANGE GENERAL NOTES	SUBMITTAL DATE: 11/23/21
TITLE	SIGNATURE	DATE	DRAWN BY: BEC				ADDRESS: 312	WORK ORDER NO.:			
TITLE	SIGNATURE	DATE	CHECKED BY:				STREET: ROYA LANE	SHEET NO.:			
TITLE	SIGNATURE	DATE					PHONE: BRYANT, ARKANSAS 72022	G2.0 OF G2.0			



APPROVED BY:		
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE

DESIGNED BY:	REV	DESCRIPTION	BY	DATE	NORTH:
BRYANT PD	A	DRC SUBMITTAL	BPD	11/23/21	
DRAWN BY:					
BEC					
CHECKED BY:					

SCALE:

0' 15' 30'

GRAPHIC SCALE

NAME: BRYANT PUBLIC SAFETY BUILDING

ADDRESS: 312

STREET: ROYA LANE

PHONE:

BRYANT, ARKANSAS 72022

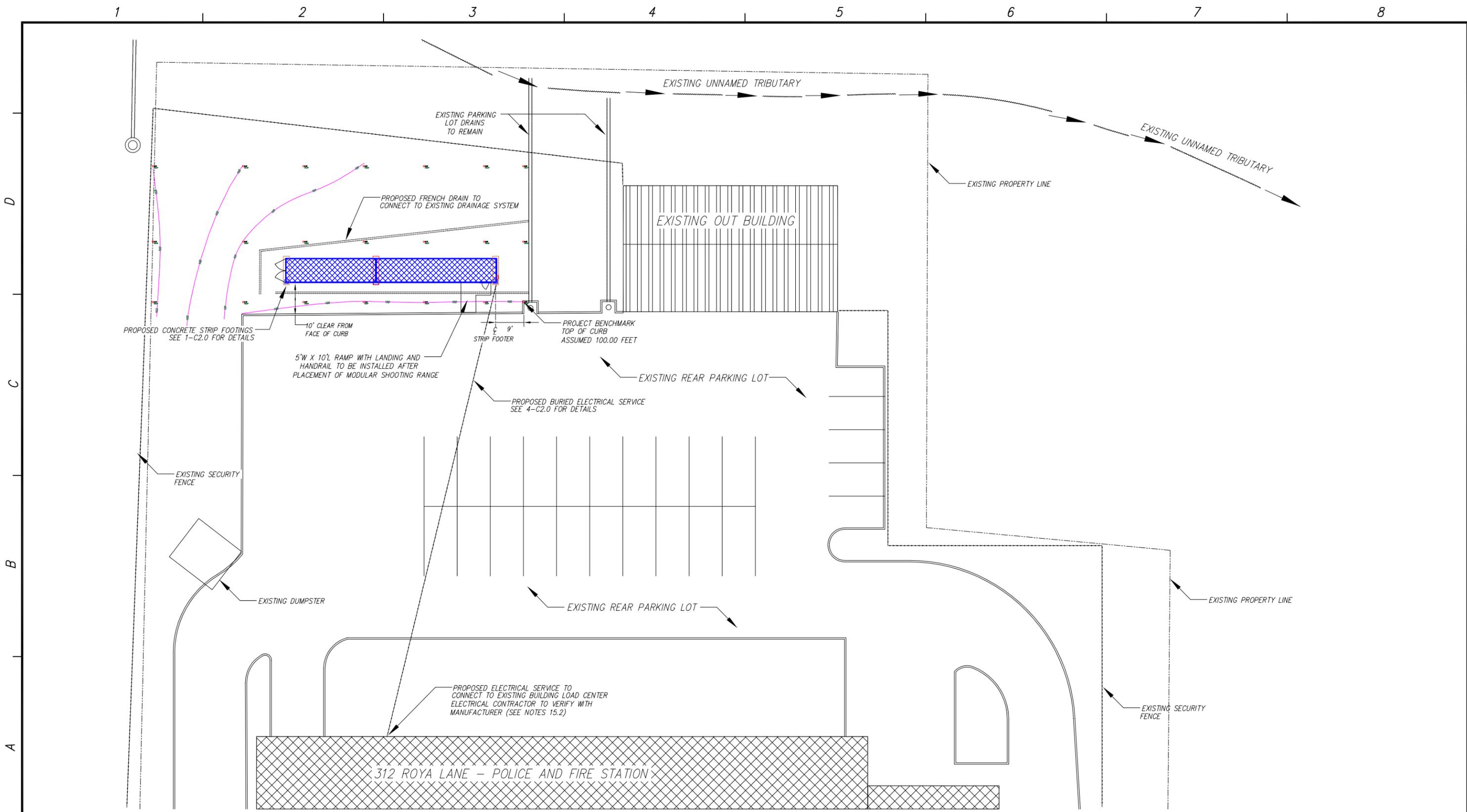


MODULAR SHOOTING RANGE

ENLARGED PLAN & GENERAL ARRANGEMENT

SUBMITTAL DATE:	11/23/21
WORK ORDER NO.:	
SHEET NO.:	C1.0 OF C1.0

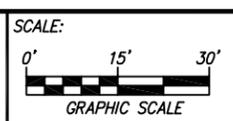
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APPROVED BY:		
TITLE	SIGNATURE	DATE
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TITLE	SIGNATURE	DATE

DESIGNED BY:	REV	DESCRIPTION	BY	DATE
BRYANT PD	A	DRC SUBMITTAL	BPD	11/23/21
DRAWN BY:				
BEC				
CHECKED BY:				

NORTH:



NAME: BRYANT PUBLIC SAFETY BUILDING

ADDRESS: 312

STREET: ROYA LANE

PHONE:

BRYANT, ARKANSAS 72022



MODULAR SHOOTING RANGE
ENLARGED PLAN &
GENERAL ARRANGEMENT

SUBMITTAL DATE:
11/23/21

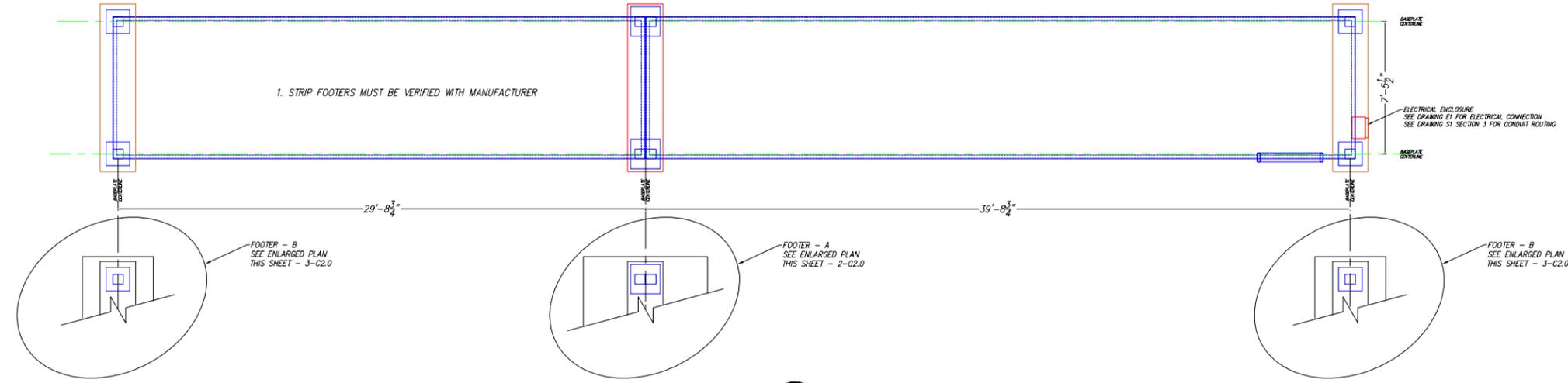
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SHEET NO.:

C1.1 OF C1.1

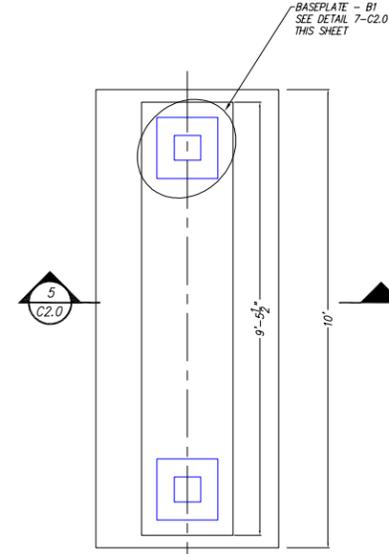
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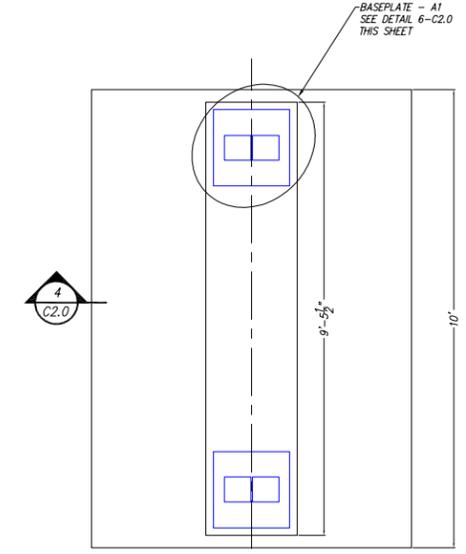


PLAN: STRIP FOOTER
SCALE: AS INDICATED

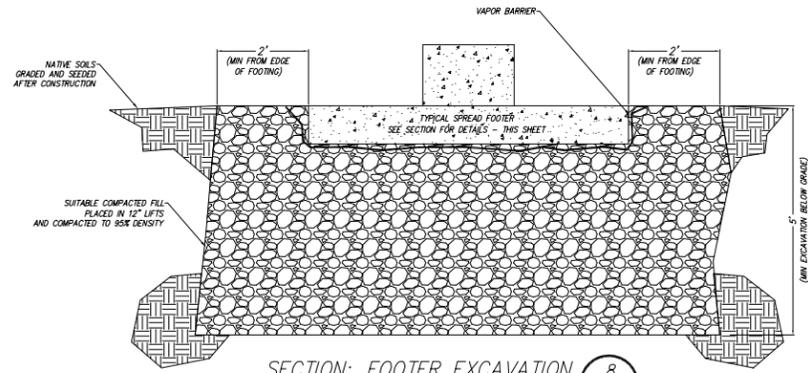
- NOTES:
1. STRIP FOOTERS MUST BE VERIFIED WITH MANUFACTURER SEE GENERAL NOTE 15.1
 2. LOCATIONS OF FOOTINGS MUST BE UNDERCUT AS INDICATED AND REPLACED WITH CRUSHED STONE (57) IN LIFTS OF 12 INCHES AND EACH LIFT COMPACTED TO 95% DENSITY.
 3. ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH CRSI REQUIREMENTS
 4. CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.



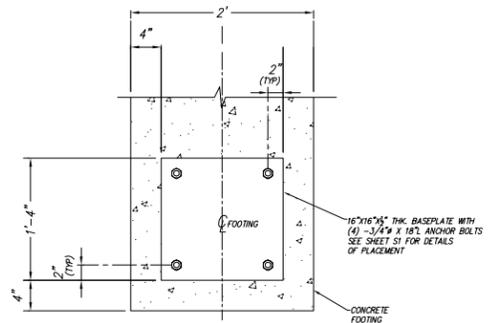
PLAN: FOOTER - B
SCALE: 1" = 2'-0" REQD: 2 C2.0



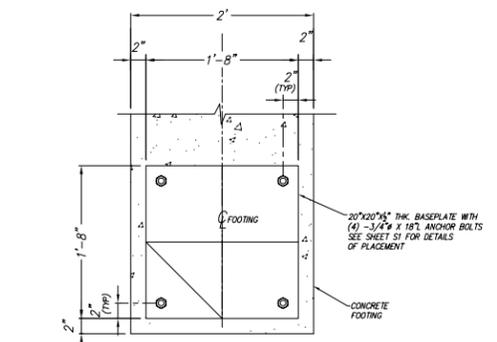
PLAN: FOOTER - A
SCALE: 1" = 2'-0" REQD: 1 C2.0



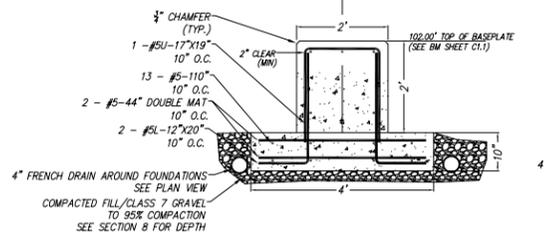
SECTION: FOOTER EXCAVATION
SCALE: 1" = 2'-0" REQD: 1 C2.0



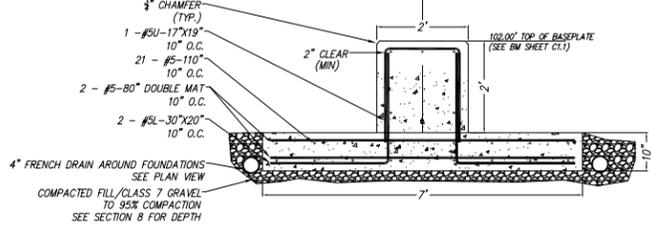
DETAIL: BASEPLATE A-1
SCALE: 1" = 1'-0" REQD: 4 C2.0



DETAIL: BASEPLATE A-1
SCALE: 1" = 1'-0" REQD: 2 C2.0



SECTION: FOOTER - B
SCALE: 1" = 2'-0" REQD: 2 C2.0



SECTION: FOOTER - A
SCALE: 1" = 2'-0" REQD: 1 C2.0

APPROVED BY:	DESIGNED BY:	REV	DESCRIPTION	BY	DATE
TITLE	BPW	A	DRC SUBMITTAL	BPD	11/23/21
SIGNATURE	DRAWN BY:				
DATE	BPW				
TITLE	CHECKED BY:				
SIGNATURE	BPW				
DATE					
TITLE					
SIGNATURE					
DATE					

NORTH:	SCALE:
	0' 4' 8'
	GRAPHIC SCALE

NAME:	BRYANT PUBLIC SAFETY BUILDING
ADDRESS:	312
STREET:	ROYA LANE
PHONE:	
	BRYANT, ARKANSAS 72022

CITY OF BRYANT ARKANSAS	
MODULAR SHOOTING RANGE	
FOUNDATION DETAILS	
GENERAL ARRANGEMENT	

SUBMITTAL DATE:	11/23/21
WORK ORDER NO.:	
SHEET NO.:	C2.0 OF C2.0

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City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

*CL Signs "A+B" Approved 6/30/2022
 Pole Sign "D" to DRC on 7/14/2022
 for Approval*

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 06/21/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name TAKE 5 CAR WASH (CURRENTLY CARWASH USA)
 Address 3017 MARKET PLACE
 City, State, Zip BRYANT AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business TAKE 5 CAR WASH
 Address/Location of sign 3017 MARKET PLACE
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	90" X 99"	62.1	21' 7"	14'	<i>eL</i>
B	WALL	90" X 99"	62.1	21'7"	14'	<i>eL</i>
C	WALL	76" X 130.9"	69.1	20'	14'	
E						
F		JOB COSTS \$50000.00				
G						

Approved 6/30/2022

Cannot Approve →

To DRC For Approval →

D	PYLON	135" X 149.2"	139.9	25'	165"
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SIGNS E, F, G & H ARE DIRECTIONAL ONLY AND LESS THAN THE ALLOWED 6SF EACH

** Directional Signs do Not Need to be Permitted.*



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

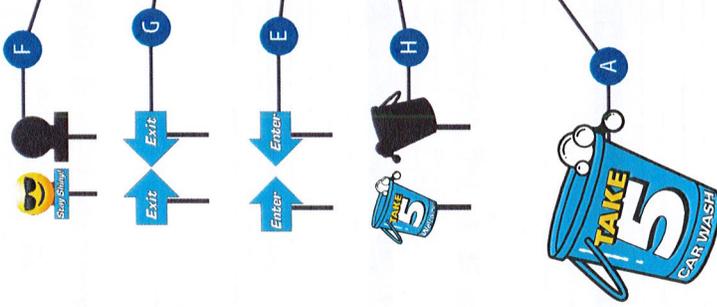
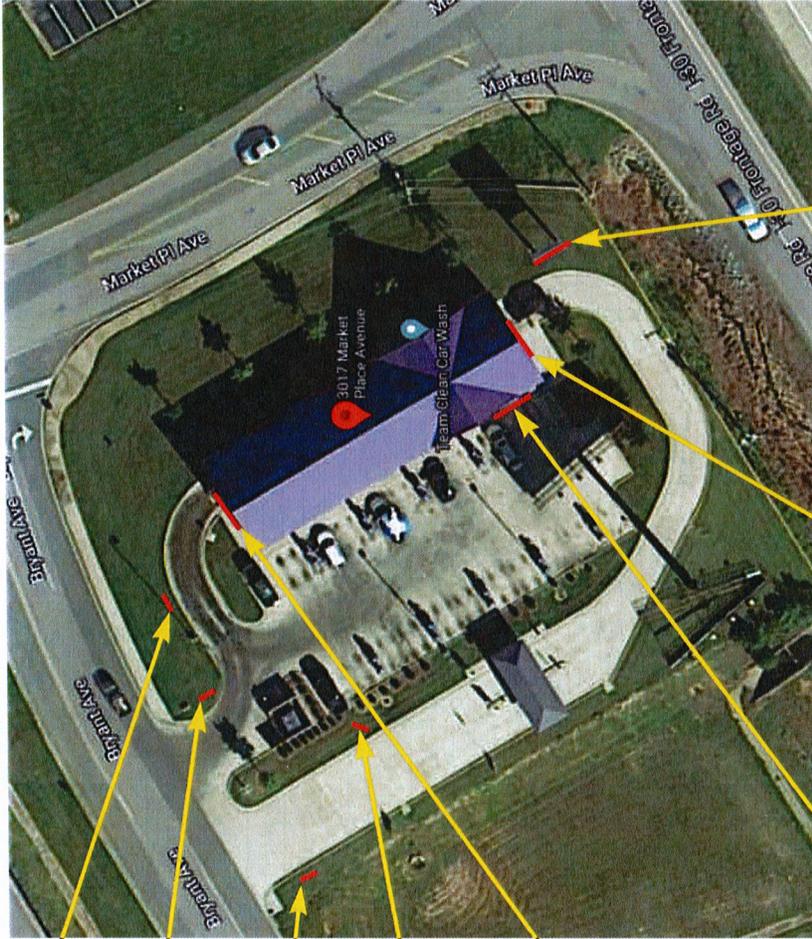
Description:
Site Plan

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



CAR
WASH



C

A

H

E

G

F

Site & Sign Location Plan

Scale: NTS



1100 Berkshire Blvd. Suite 200, Wyomissing, PA | (Toll Free): 844.460.6631 | (Fax): 610.478.1332 | www.egansign.com

This design/engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour.

Sign Management Made Simple





Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Sign Code

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/JAR
04/29/2022 - SK
05/12/2022 - SK/JAR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104

PRE-PERMIT SIGN INFO - Additional Notes	Property ID:	CWUSAE	VARIANCE
1. Variance Meeting: <u>2nd Mondays</u> App. Deadline: <u>15 days</u> prior to meeting date Est. Fees: <u>\$165</u>			
2. Processing Time: <u>Allow 80-90 days</u> Waiting Period after approval & how long? <u>Allow 30 days</u>			
3. Attorney or expediter required? <input type="checkbox"/> Yes <input type="checkbox"/> No			
4. Probability of obtaining variance? <u>50%</u> Other: <u>Mailing labels for all abutters within 300 ft radius</u>			
5. Documents Required: <input type="checkbox"/> Engineering Seal <input type="checkbox"/> Ut. Number <input type="checkbox"/> Building Elevations <input type="checkbox"/> Overl Authorization Ltr <input type="checkbox"/> Property/D# <input type="checkbox"/> Site Plan <input type="checkbox"/> Legal Description <input type="checkbox"/> Add'l Prof. Seals			
NOTES			
Follow allowances above, up to aggregate max:			
5) The maximum aggregate surface area of all permitted signs for any establishment shall not exceed 300 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 100 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.			
6) Pole signs will be spaced no closer than 60 feet from any other pole sign.			

PRE-PERMIT SIGN INFO	Property ID:	CWUSAE
A.) Project Name: <u>CWUSAE</u> Date Completed: <u>1/9/20</u>		
B.) Street Address: <u>3017 Marketplace</u>		
C.) City / State / Zip: <u>Bryant, AR 72022</u>		
D.) Municipal Contact: <u>Colton Leonard</u>		
E.) Contact Phone: <u>501-943-9301</u> Email: <u>cleonard@silverbryant.com</u>		
F.) Address/City/ST/Zip: <u>210 SW 3rd St. Bryant, AR 72022</u>		
G.) Jurisdiction: <u>Bryant</u> City/Town of: <u>Bryant</u> Fax: <u>(501) 943-0992</u>		
H.) Zoning Category: <u>C2 Commercial</u>		
I.) Permit app fee: <u>\$50</u> Masked Sign Plan: <u>No</u>		
J.) Permit Process time: <u>Allow 2 weeks</u> If <u>yes</u> is copy available? <u>No</u>		
K.) Permit required if only relocating? <u>No</u>		
L.) Property Owner approval needed? <u>Yes</u>		
M.) Temporary/coming-soon Banners allowed? <u>Yes</u>		
N.) Temporary Freestanding Signs allowed? <u>Yes</u>		
O.) Temporary Signs require Permit? Time allowed: <u>Permit is only required if displayed for more than 7 days (up to 30 max w/perm)</u> Yes, Applications may be mailed		
P.) Can app be mailed or must it be submitted in person? <u>Yes, Applications may be mailed</u>		
ATTACHED SIGNS		
1.) Formula for sq ft. <u>Follow aggregate max below in notes for ALL signs. Wall signs cannot exceed 2 sf per lineal foot of street frontage facing wall.</u>		
2.) Set Ft for bldg sides/rear <u>Formula above, must face street.</u>		
3.) Does Each elevation have own calc, or is allowance based on Main Elevation? <u>street frontage facing elevations, up to aggregate max.</u>		
4.) Transferable allowances? <u>No</u>		
5.) # allowed <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
6.) Calculation Method: <u>Box Entire letter set/Cabinet, including Backer Panel</u>		
7.) Max. Overall Height: <u>cannot exceed roofline/height of wall</u>		
8.) Exposed raceway for Channel Letters allowed? <u>Yes</u>		
9.) Special Wall sign codes-this property: <u>No</u>		
10.) Special storefront building colors: <u>No</u>		
FREESTANDING SIGNS		
1.) Formula for sq ft. <u>Follow aggregate max below in notes for all signs. Allowance includes wall and F/S</u> (Max Sq Feet- Main ID & Secondary)		
2.) # allowed <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
3.) Height Max: <u>25 ft or height of building (whichever is lower)</u> Grade-to-sign Clearance: <u>10 ft, cannot obstruct vision</u>		
4.) Set-back: <u>10 ft from curbline</u> Calculation Method: <u>Count only largest sign face</u>		
DIRECTIONAL SIGNS		
1.) # Allowed: <u>as needed</u> Illumination: <u>Internal & External</u>		
2.) Max SqFt: <u>6 sf</u> Max. Height: <u>not regulated</u>		
3.) Permit: <u>No</u> Custom Logo: <u>Yes</u>		
DOOR/WINDOW VINYL		
1.) # Allowed: <u>No limit, not regulated</u> Max Sq Ft: <u>Not regulated</u>		
2.) Logos counted in sign area? <u>Not regulated</u>		
3.) Included in wall sign allowance? <u>No</u>		
4.) Sign permit required? <u>No</u>		
Note: <u>As permitted in the City Codebook. This permit is not required for signs that are temporary, used for the review process, interpretations, calculations or tests of color allowances. Where required by local authority, it is understood a permit will be obtained prior to manufacture.</u>		



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EGAN SIGN

Sign Management Made Simple



Client:
Boiling US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

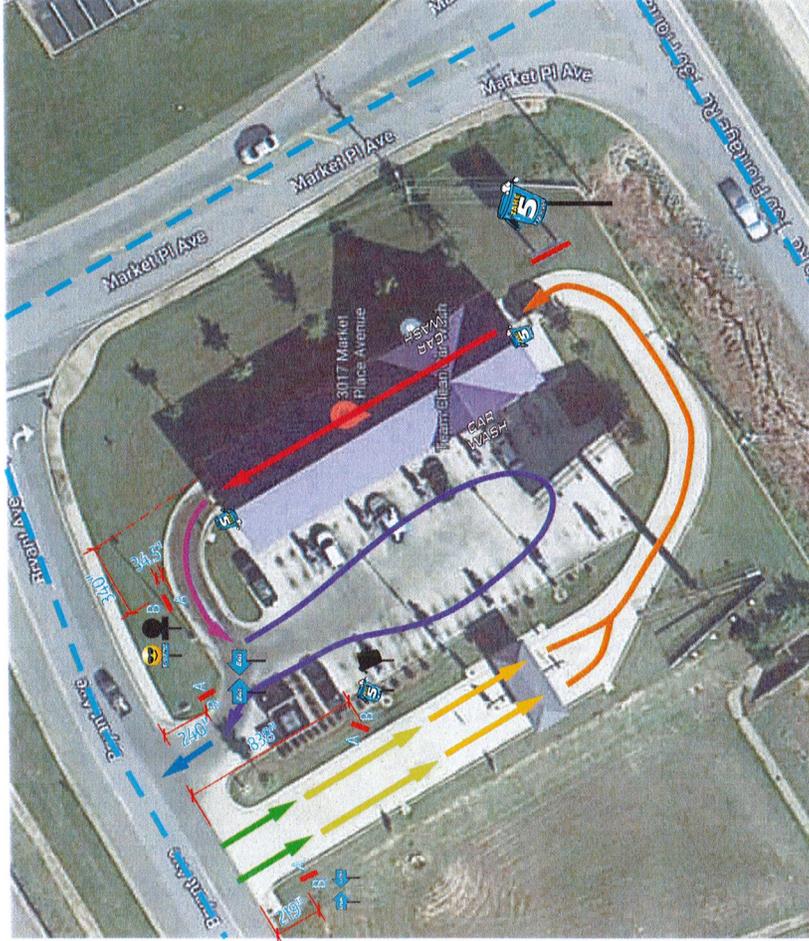
Description:
Journey Plan

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



MESSAGE MAPPING	
ZONE 1	ROADSIDE LOCATION VISIBILITY
ZONE 2	ENTRANCE/EXIT SELECTION / HYDROPHOBIC
ZONE 3	THE APPROACH TO THE SERVICE AREA / PRE-SALE OPTIONS
ZONE 4	PAID STATION / MENU - WASH SELECTION
ZONE 5	PRE WASH / REINFORCEMENT CONFERENCE
ZONE 6	WASH / COMPLETION
ZONE 7	WASH EXIT / THANK YOU
ZONE 8	VICIOUS EXPERIENCE GUARANTEE
ZONE 9	EXIT: THANK YOU / WELCOME BACK

Journey Plan

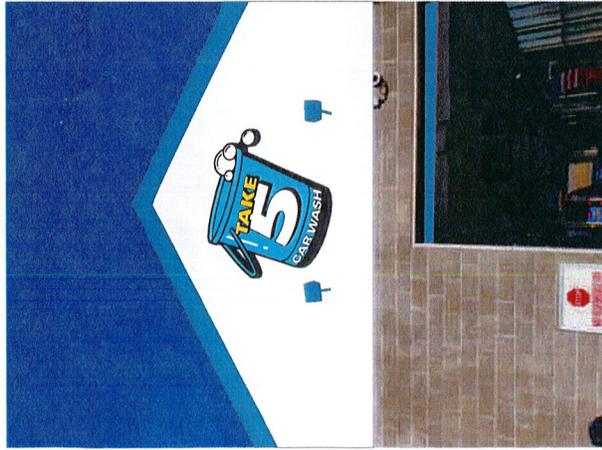


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Sign Management Made Simple

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Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf
 Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 62.1 sf

Existing: 59.4 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.8 sf

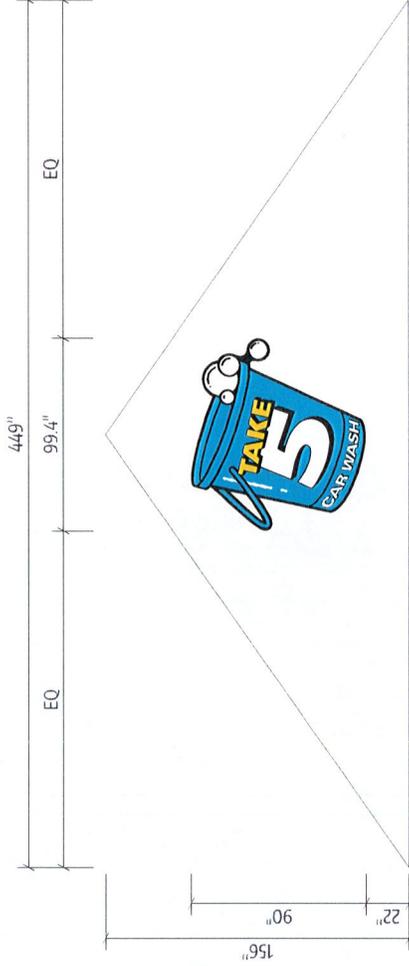
Sign G - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters



Scale: 3/16" = 1'-0"



Client:

Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)

Remove existing signage.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:

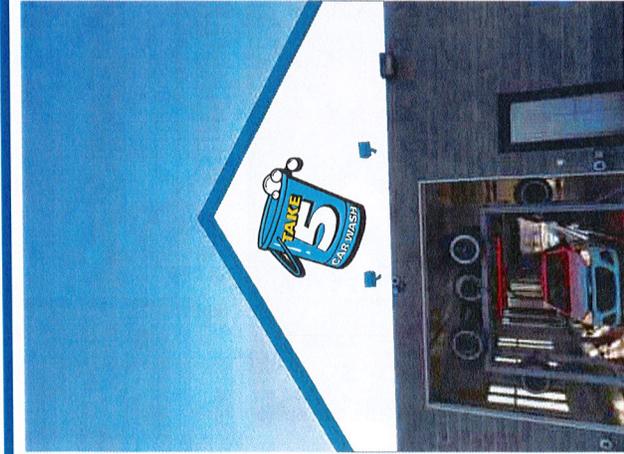
28104_Bryant.pdf
 Project Number: 28104

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Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf
 Calculation: $2 * 263 = 526$ sf

Allowed: 400 sf total

Used: 62.1 sf

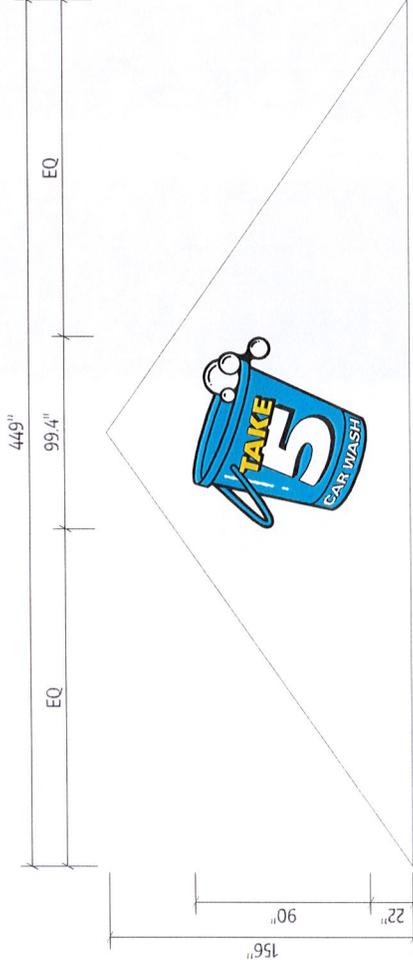
- Existing: 59.4 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.6 sf
- Sign G - 3.8 sf
- Sign H - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters

B

Scale: 3/16" = 1'-0"



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:
 Take 5 Car Wash #65

Description:
T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)

Remove existing signage.

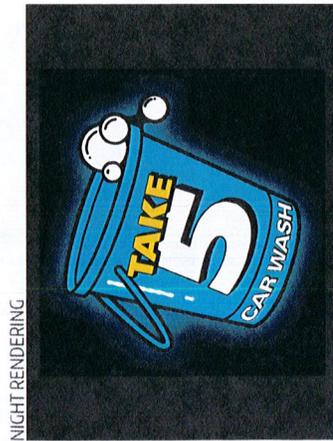
Color Key:

- PMS 2791 C
- PMS 107 C
- Black
- White

Layout Date:
 04/21/2022 - AR

Revision Date:
 04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

File Name:
 28104_Bryant.pdf
 Project Number: 28104



EGAN SIGN
 Illuminated Channel Letters
 Scale: NTS
 A/B

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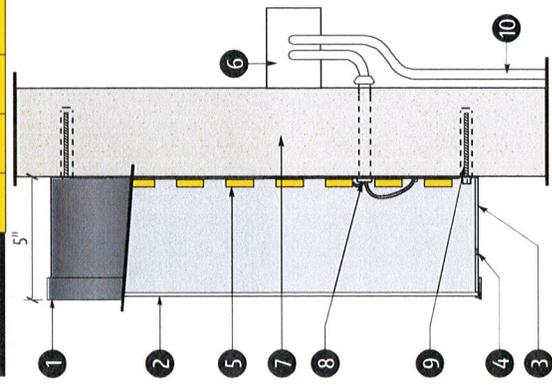
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Illuminated Channel Letters	X	X1	Y	Total Square Feet
T5-ILCL-31.5	31.5	4.2	34.8	7.6
T5-ILCL-40	40	5.3	44.2	12.3
T5-ILCL-41	41	5.5	45.3	12.9
T5-ILCL-48	48	6.4	53	17.7
T5-ILCL-55	55	7.3	60.8	23.2
T5-ILCL-56	56	7.5	61.9	24.1
T5-ILCL-59	59	7.9	65.2	26.7
T5-ILCL-60	60	8	66.3	27.6
T5-ILCL-66	66	8.8	73	33.5
T5-ILCL-68	68	9.1	75.1	35.5
T5-ILCL-72	72	9.6	79.6	39.8
T5-ILCL-76	76	10.1	84	44.3
T5-ILCL-80	80	10.7	88.4	49.1
T5-ILCL-84	84	11.2	92.8	54.1
T5-ILCL-90	90	12	99.4	62.1

CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 PLEXIGLAS FACE W/ DIGITALLY PRINTED GRAPHICS TO MATCH COLOR KEY
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
 This includes proper grounding and bonding of the sign.



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111
Location Address:
 Take 5 Car Wash #65

Description:
 T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)
 QTY: 2
 Provide LED illuminated channel letters w/ digitally printed graphics; installed flush to facade.

Color Key:
 PMS 2191 C
 PMS 107 C
 Black
 White

Layout Date:
 04/21/2022 - AR

Revision Date:
 04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

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Project Number: 28104



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

Remove existing signage.

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



Existing



Proposed

Square Footage Calculation:

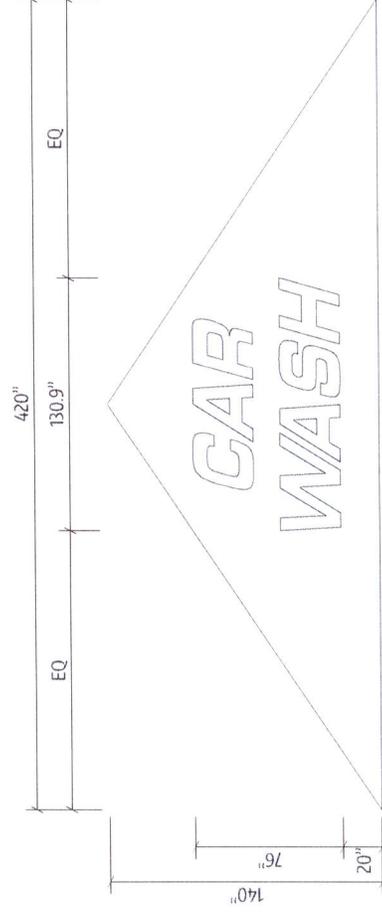
Code: 2 sf per linear feet of street
frontage facing wall; max of 400 sf
Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 69.1 sf

- Existing: 59.4 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.8 sf
- Sign G - 4.4 sf

Total Used: 348.8 sf total



Illuminated Channel Letters



Scale: 3/16" = 1'-0"

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Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

Qty: 1

Provide 5" deep LED illuminated channel letters mounted flush to facade per detail.

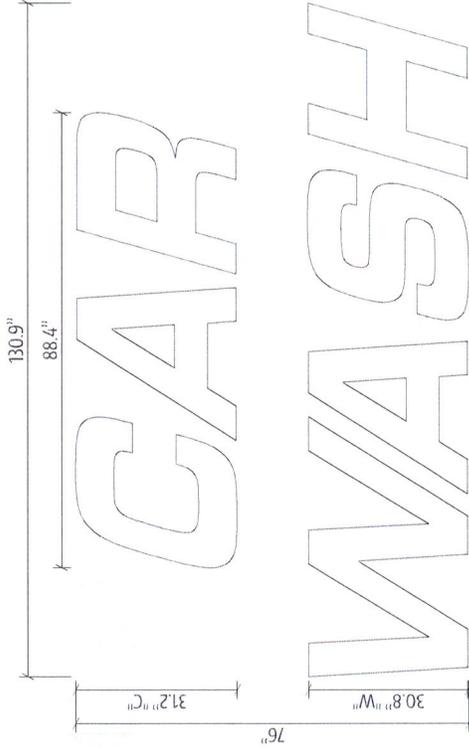
Color Key:

- White
- Black

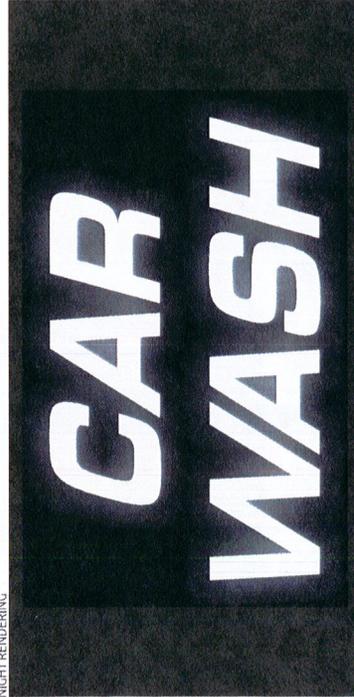
Layout Date:
04/27/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pcf
Project Number: 28104



NIGHT RENDERING



Illuminated Channel Letters

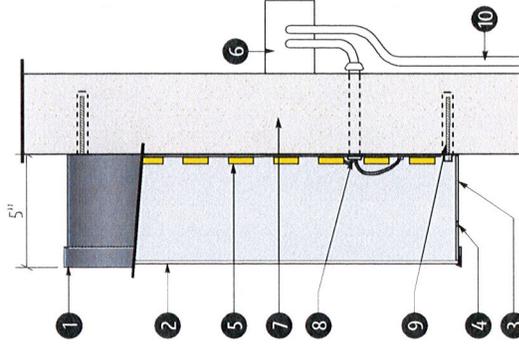


Scale: 1/2"=1'-0"

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Sign Management Made Simple

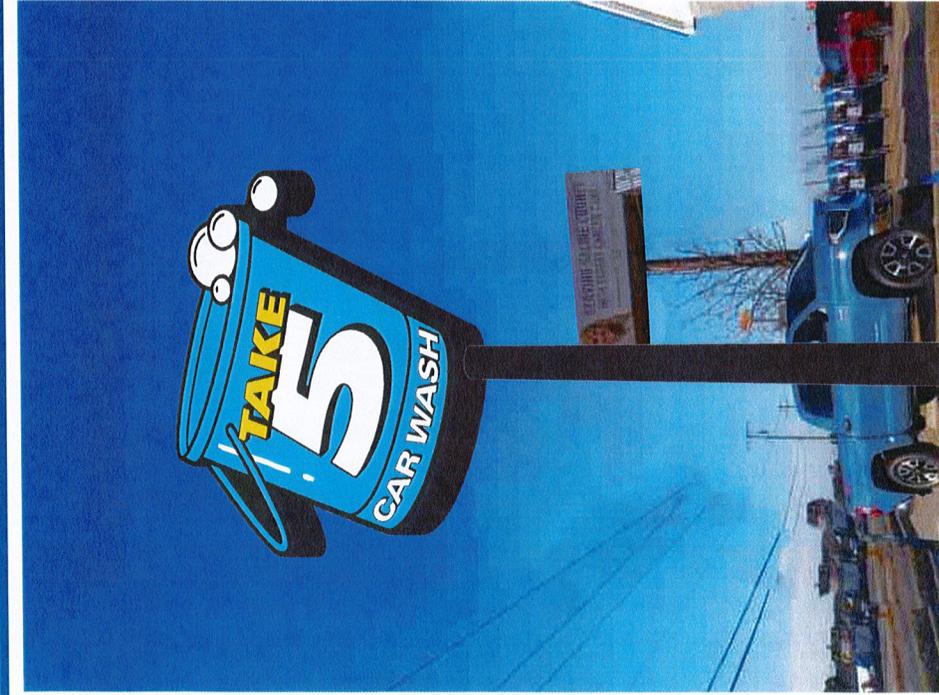


CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

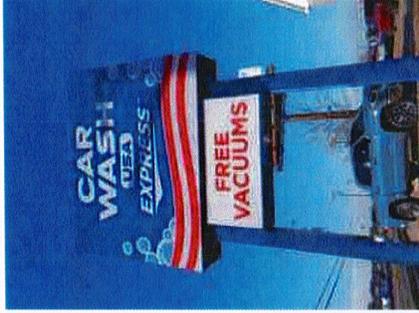
- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 WHITE POLYCARBONATE FACES
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
This includes proper grounding and bonding of the sign.





Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf freestanding signs NTE 25' h
 Calculation: 2 * 203 = 526 sf

Allowed: 400 sf total

Used: 139.9 sf

Existing: 182.2 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.8 sf

Sign G - 4.4 sf

Total Used: 348.8 sf total



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:
 Take 5 Car Wash #65

Description:

T5-PYLON
 Illuminated Pylon Sign
 (139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

Remove existing sign and posts.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White
- Digitally Printed Gradient

Layout Date:

04/21/2022 - AR

Revision Date:

04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

File Name:
 28104_Bryant.pdf
Project Number: 28104

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D Pylon Sign

Scale: NTS

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Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
T5-PYLON
Illuminated Pylon Sign
(139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

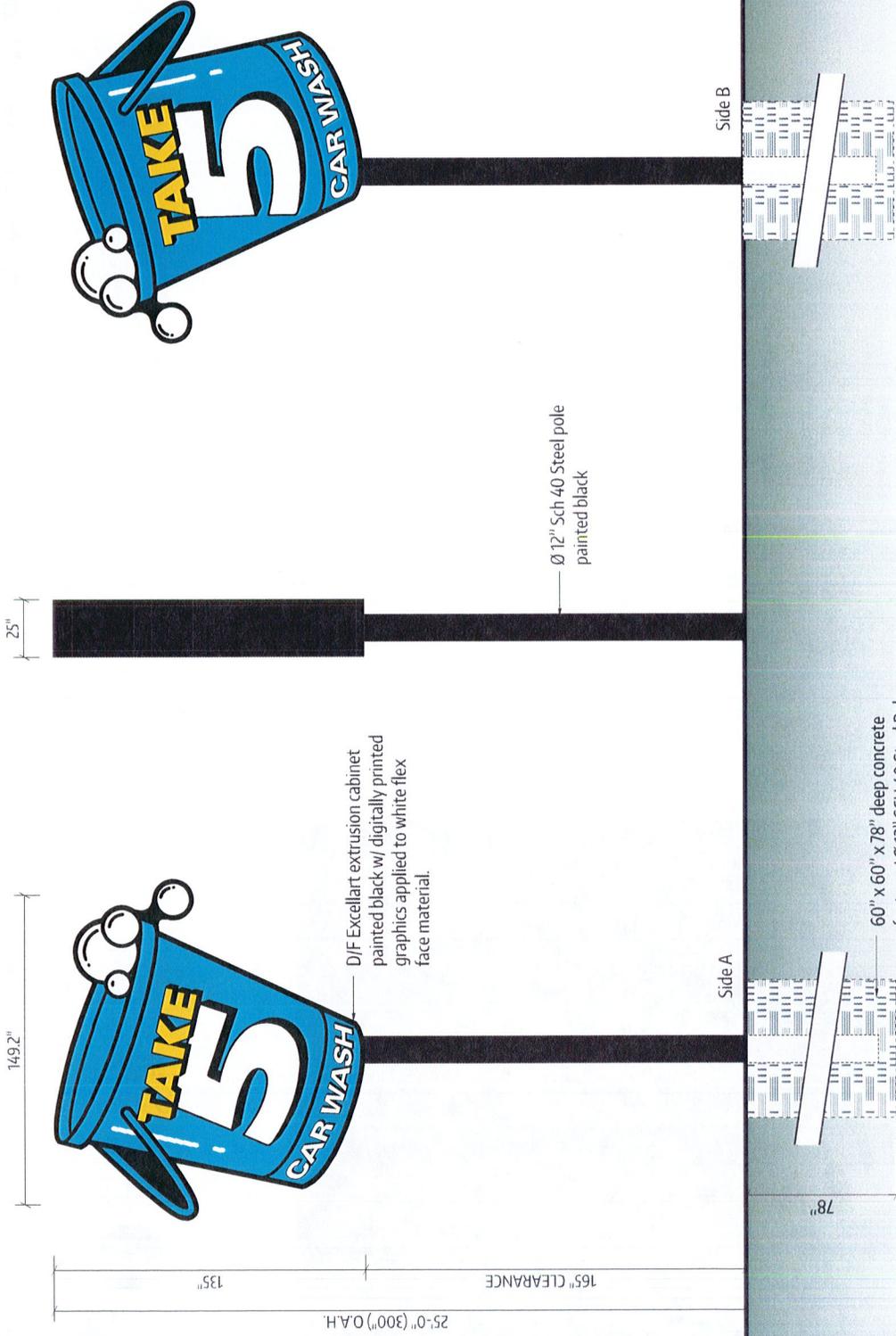
Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

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Project Number: 28104



Illuminated Pylon Sign

Scale: 1/4" = 1'-0"

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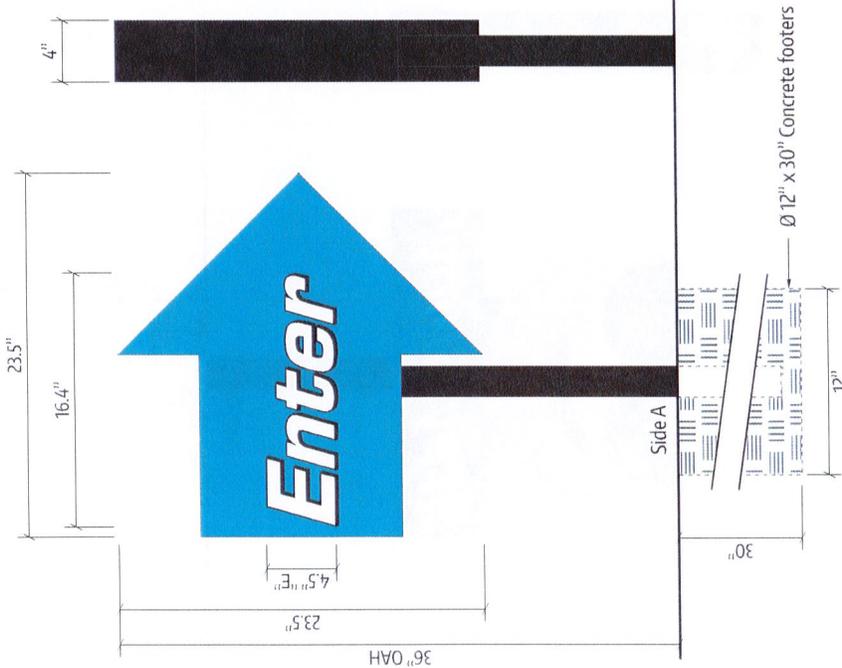
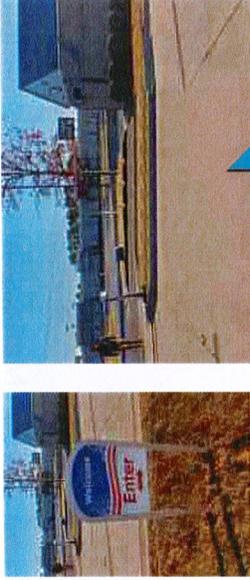
EGAN
SIGN

Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

Used: 3.8 sf



Existing

Proposed

Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer vinyl to match color key

2" Square aluminum tube frame painted black

Side B

Side A

Ø 12" x 30" Concrete footers

D/F Directional

E

Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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EGAN SIGN



Client:

Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Color Key:

- PMS 2791 C
- White
- Black

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

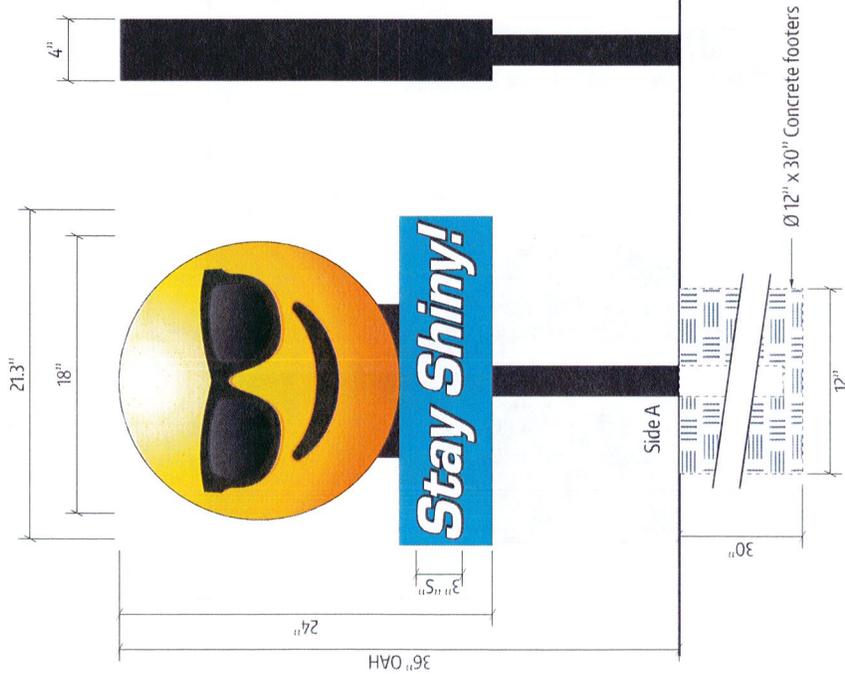
File Name:

28104_Bryant.pdf
Project Number: 28104

Square Footage Calculation:

Allowed: 6 sf

Used: 3.6 sf



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

2" Square aluminum tube frame painted black

Side B

Side A

S/F Wayfinding

F

Scale: 1/12" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(3.6 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

■ PMS 2191 C

■ Digitally Printed Gradient

□ White

■ Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
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EGAN SIGN

Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

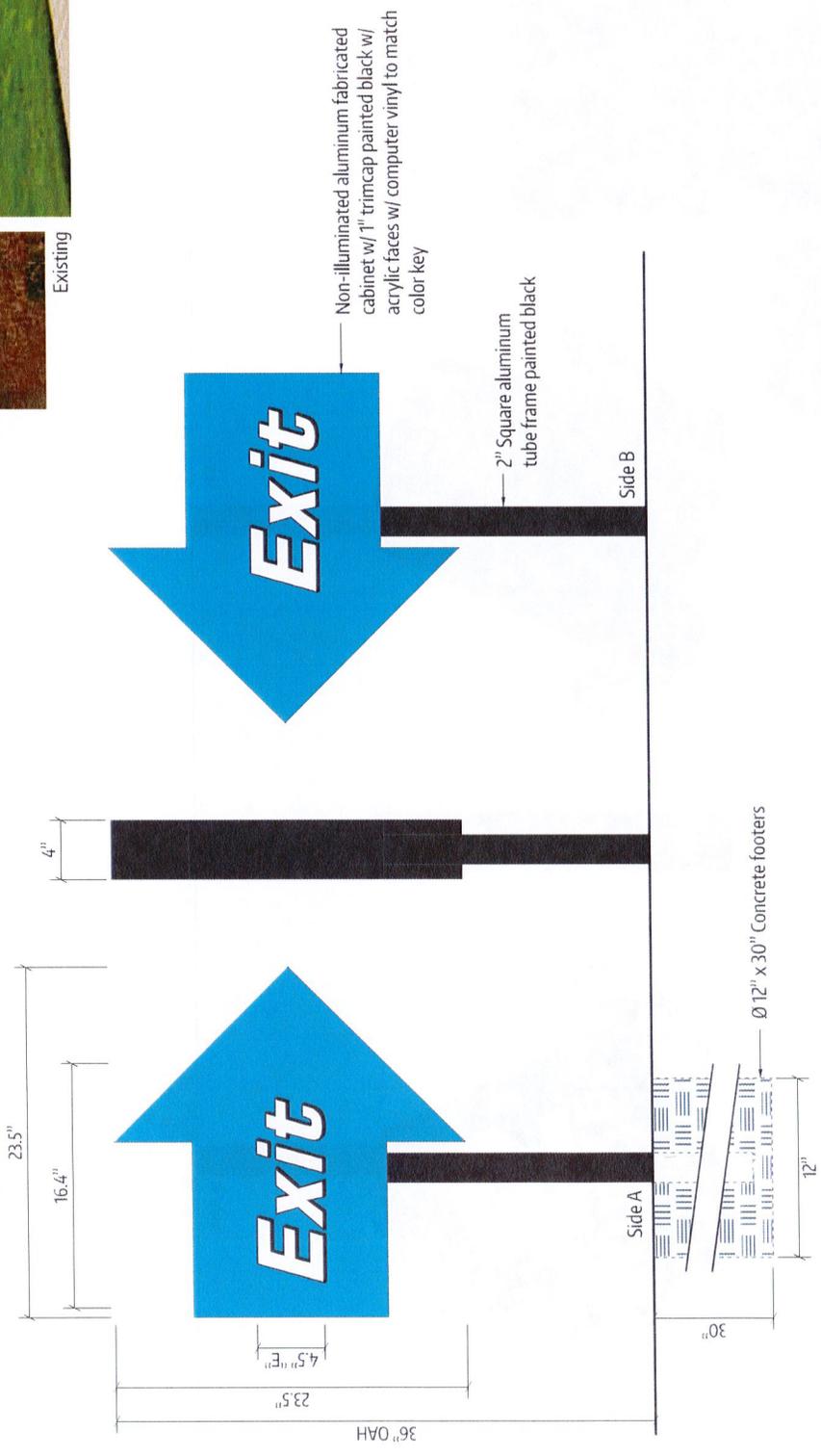
File Name:
28104_Bryant.pdf
Project Number: 28104



Proposed



Existing



Square Footage Calculation:

Allowed: 6 sf
Used: 3.8 sf

D/F Directional



Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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EGAN SIGN

Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

Used: 4.4 sf



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(4.4 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- PMS 107 C
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

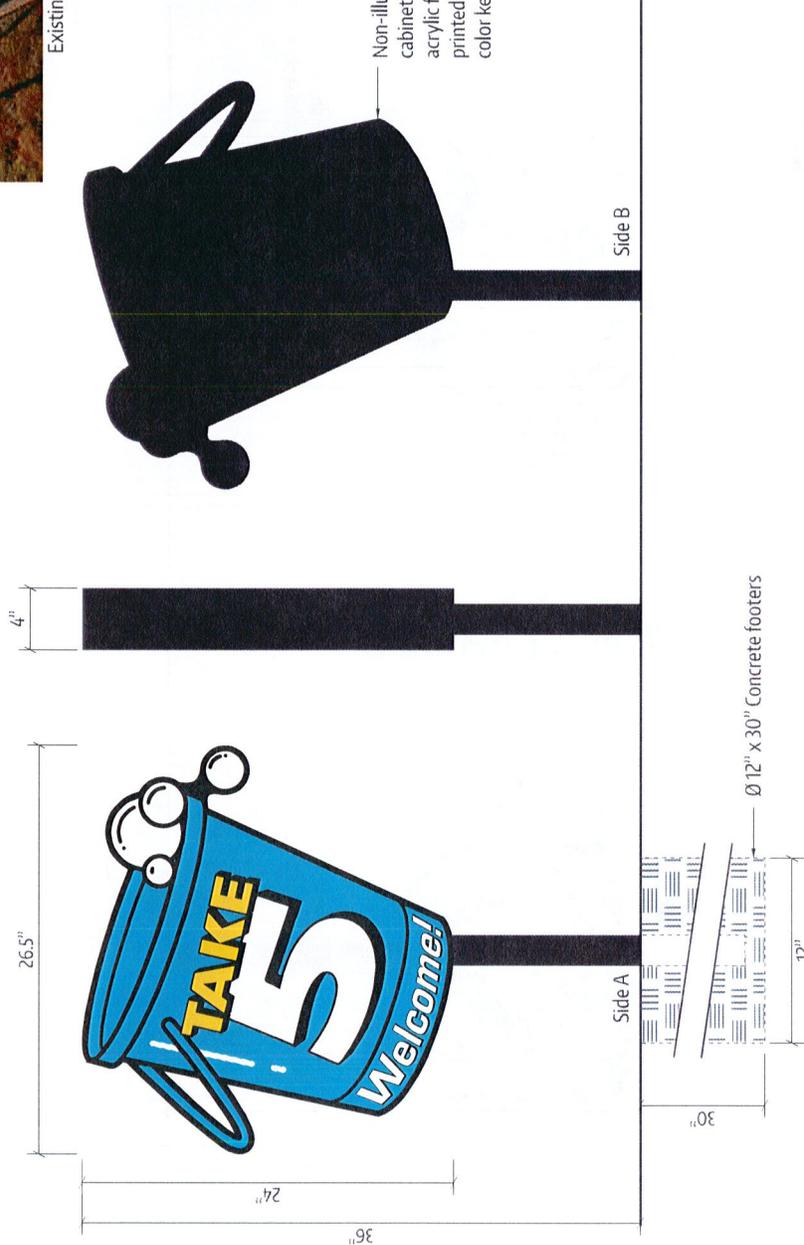
File Name:
28104_Bryant.pdf
Project Number: 28104



Existing



Proposed



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

S/F Wayfinding

H

Scale: 1 1/2" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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EGAN SIGN

Sign Management Made Simple



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

*CL Signs "A+B" Approved 6/30/2022
 Pole Sign "D" to DRC on 7/14/2022
 for Approval*

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 06/21/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name TAKE 5 CAR WASH (CURRENTLY CARWASH USA)
 Address 3017 MARKET PLACE
 City, State, Zip BRYANT AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business TAKE 5 CAR WASH
 Address/Location of sign 3017 MARKET PLACE
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Lora A. Rand

_____, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	90" X 99"	62.1	21' 7"	14'	<i>eL</i>
B	WALL	90" X 99"	62.1	21'7"	14'	<i>eL</i>
C	WALL	76" X 130.9"	69.1	20'	14'	
E						
F		JOB COSTS \$50000.00				
G						

Approved 6/30/2022

Cannot Approve →

To DRC For Approval →

D	PYLON	135" X 149.2"	139.9	25'	165"
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SIGNS E, F, G & H ARE DIRECTIONAL ONLY AND LESS THAN THE ALLOWED 6SF EACH

** Directional Signs do Not Need to be Permitted.*



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

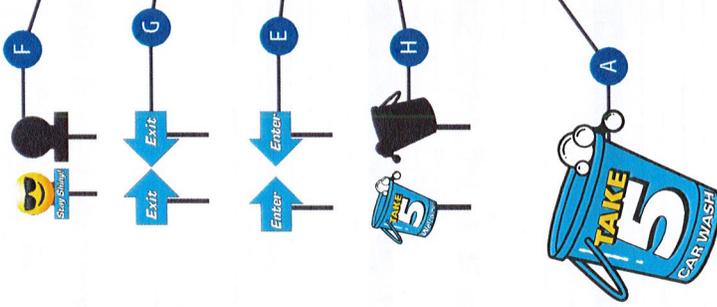
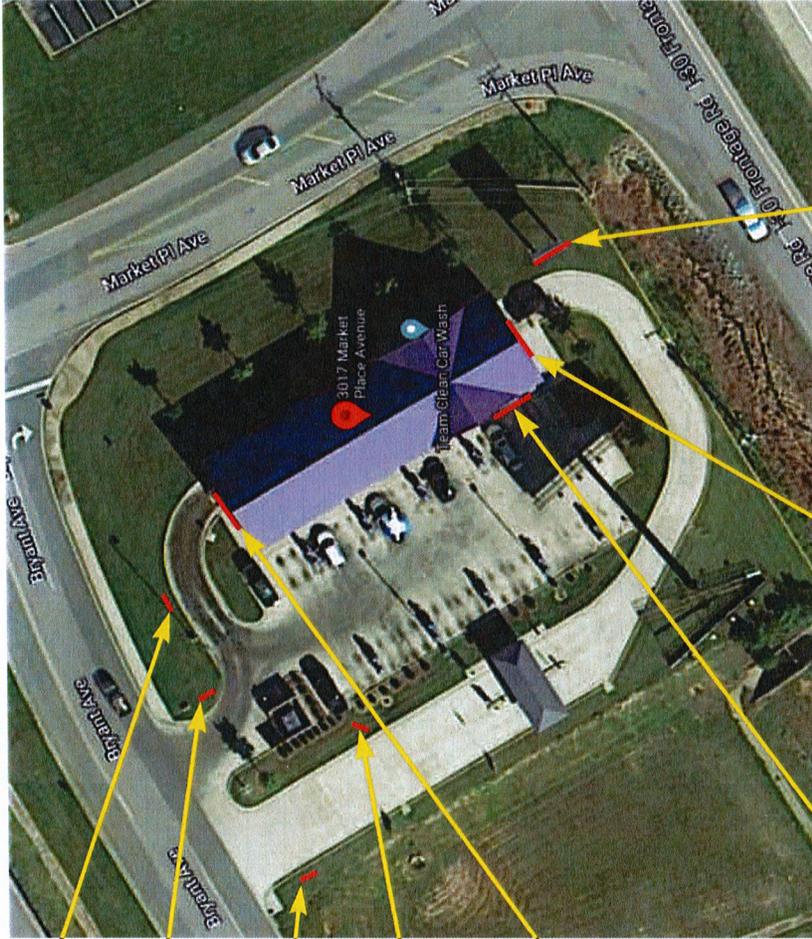
Description:
Site Plan

Color Key:

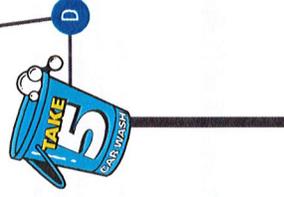
Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



CAR
WASH



C

Site & Sign Location Plan

Scale: NTS



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Sign Management Made Simple

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SIGN

VICINITY MAP:





Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Sign Code

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/JAR
04/29/2022 - SK
05/12/2022 - SK/JAR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104

PRE-PERMIT SIGN INFO - Additional Notes	Property ID:	CWUSAE	VARIANCE
1. Variance Meeting: <u>2nd Mondays</u> App. Deadline: <u>15 days</u> prior to meeting date Est. Fees: <u>\$165</u>			
2. Processing Time: <u>Allow 80-90 days</u> Waiting Period after approval & how long? <u>Allow 30 days</u>			
3. Attorney or expediter required? <input type="checkbox"/> Yes <input type="checkbox"/> No			
4. Probability of obtaining variance? <u>50%</u> Other: <u>Mailing labels for all abutters within 300 ft radius</u>			
5. Documents Required: <input type="checkbox"/> Engineering Seal <input type="checkbox"/> Ut. Number <input type="checkbox"/> Building Elevations <input type="checkbox"/> Overl Authorization Ltr <input type="checkbox"/> Property/D# <input type="checkbox"/> Site Plan <input type="checkbox"/> Legal Description <input type="checkbox"/> Add'l Prof. Seals			
NOTES			
Follow allowances above, up to aggregate max:			
5) The maximum aggregate surface area of all permitted signs for any establishment shall not exceed 300 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 100 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.			
6) Pole signs will be spaced no closer than 60 feet from any other pole sign.			

PRE-PERMIT SIGN INFO	Property ID:	CWUSAE
A.) Project Name: <u>CWUSAE</u> Date Completed: <u>1/9/20</u>		
B.) Street Address: <u>3017 Marketplace</u>		
C.) City / State / Zip: <u>Bryant, AR 72022</u>		
D.) Municipal Contact: <u>Colton Leonard</u>		
E.) Contact Phone: <u>501-943-9301</u> Email: <u>cleonard@silverbryant.com</u>		
F.) Address/City/ST/Zip: <u>210 SW 3rd St. Bryant, AR 72022</u>		
G.) Jurisdiction: <u>Bryant</u> City/Town of: <u>Bryant</u> Fax: <u>(501) 943-0992</u>		
H.) Zoning Category: <u>C2 Commercial</u>		
I.) Permit app fee: <u>\$50</u> Masked Sign Plan: <u>No</u>		
J.) Permit Process time: <u>Allow 2 weeks</u> If <u>yes</u> is copy available? <u>No</u>		
K.) Permit required if only relocating? <u>No</u>		
L.) Property Owner approval needed? <u>Yes</u>		
M.) Temporary/coming-soon Banners allowed? <u>Yes</u>		
N.) Temporary Freestanding Signs allowed? <u>Yes</u>		
O.) Temporary Signs require Permit? Time allowed: <u>Permit is only required if displayed for more than 7 days (up to 30 max w/perm)</u> Yes, Applications may be mailed		
P.) Can app be mailed or must it be submitted in person? <u>Yes, Applications may be mailed</u>		
ATTACHED SIGNS		
1.) Formula for sq ft. <u>Follow aggregate max below in notes for ALL signs. Wall signs cannot exceed 2 sf per lineal foot of street frontage facing wall.</u>		
2.) Set Ft for bldg sides/rear <u>Formula above, must face street.</u>		
3.) Does Each elevation have own calc, or is allowance based on Main Elevation? <u>street frontage facing elevations, up to aggregate max.</u>		
4.) Transferable allowances? <u>No</u>		
5.) # allowed <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
6.) Calculation Method: <u>Box Entire letter set/Cabinet, including Backer Panel</u>		
7.) Max. Overall Height: <u>cannot exceed roofline/height of wall</u>		
8.) Exposed raceway for Channel Letters allowed? <u>Yes</u>		
9.) Special Wall sign codes-this property: <u>No</u>		
10.) Special storefront building colors: <u>No</u>		
FREESTANDING SIGNS		
1.) Formula for sq ft. <u>Follow aggregate max below in notes for all signs. Allowance includes wall and F/S & Secondary.</u>		
2.) # allowed <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
3.) Height Max: <u>25 ft or height of building (whichever is lower)</u> Grade-to-sign Clearance: <u>10 ft, cannot obstruct vision</u>		
4.) Set-back: <u>10 ft from curbline</u> Calculation Method: <u>Count only largest sign face</u>		
DIRECTIONAL SIGNS		
1.) # Allowed: <u>as needed</u> Illumination: <u>Internal & External</u>		
2.) Max SqFt: <u>6 sf</u> Max. Height: <u>not regulated</u>		
3.) Permit: <u>No</u> Custom Logo: <u>Yes</u>		
DOOR/WINDOW VINYL		
1.) # Allowed: <u>No limit, not regulated</u> Max Sq Ft: <u>Not regulated</u>		
2.) Logos counted in sign area? <u>Not regulated</u>		
3.) Included in wall sign allowance? <u>No</u>		
4.) Sign permit required? <u>No</u>		
Note: <u>As permitted in our Sign Codebook. This permit is not required for signs that are completely self-contained, where a permit will be obtained prior to manufacture or use of your awnings. Where required by local authority, it is understood a permit will be obtained prior to manufacture.</u>		



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EGAN SIGN

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Client:
Boiling US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

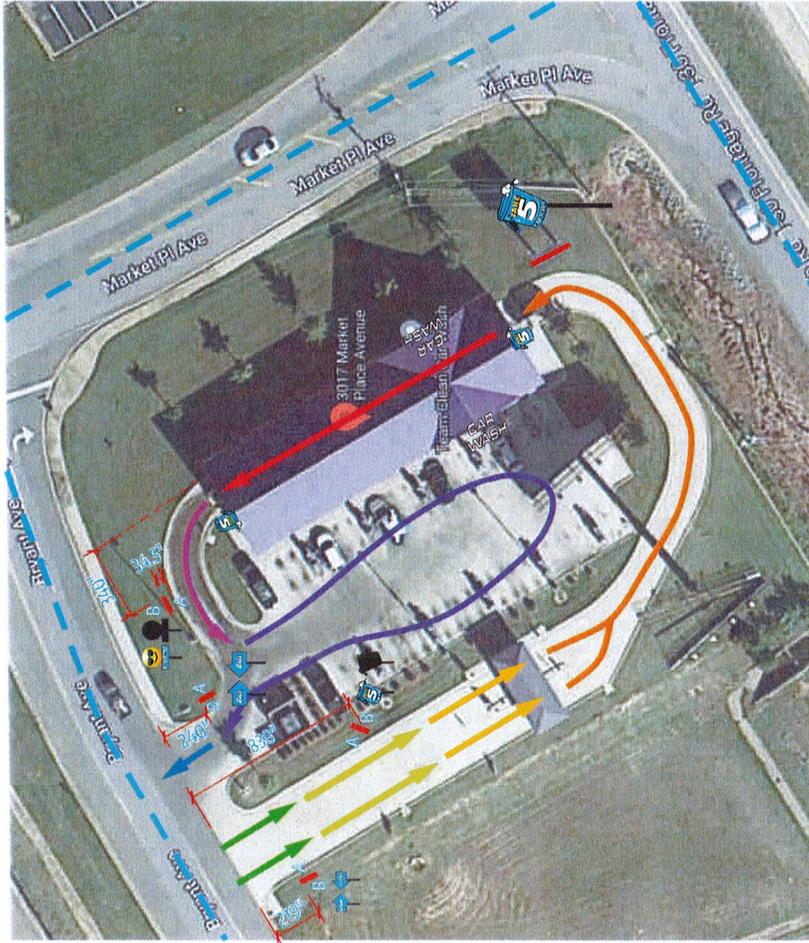
Description:
Journey Plan

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/02/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



MESSAGE MAPPING	
ZONE 1	ROADSIDE LOCATION VISIBILITY
ZONE 2	ENTRANCE/RECEPTION / HYDRATING
ZONE 3	THE APPROACH TO THE WASH / PRE-SELL OPTIONS
ZONE 4	PAV STATION / MENU / WASH SELECTION
ZONE 5	PRE WASH / REINFORCEMENT CONFERENCE
ZONE 6	WASH / COMPRESSION
ZONE 7	WASH DRY / THANK YOU
ZONE 8	VICIOUS EXPERIENCE GUARANTEE
ZONE 9	EXIT / THANK YOU / WAVE BACK

Journey Plan

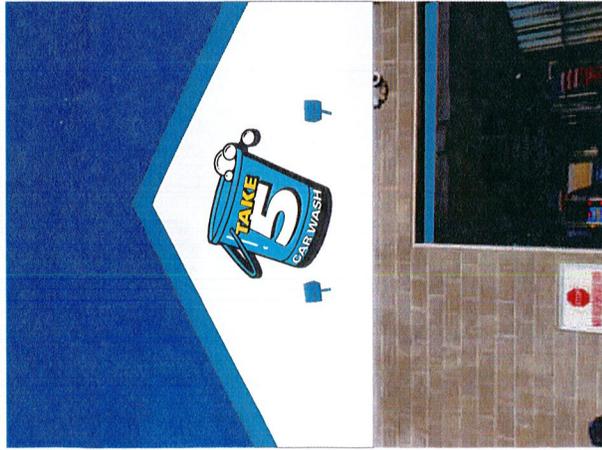


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SIGN



Proposed



Existing

Square Footage Calculation:

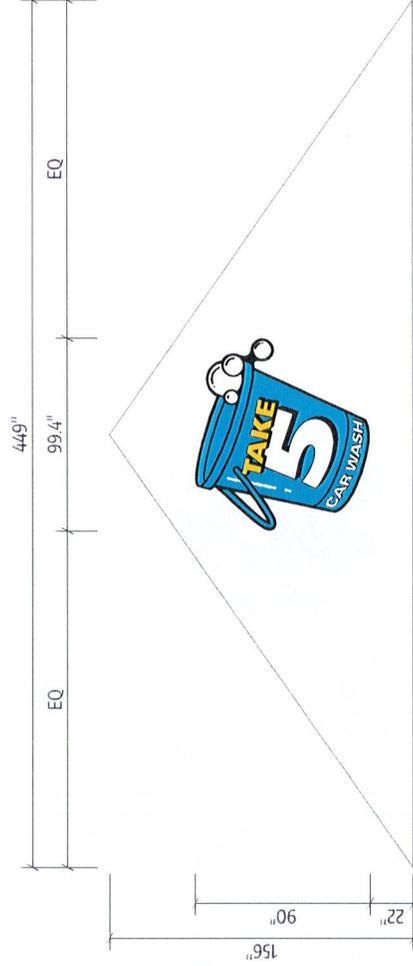
Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf
 Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 62.1 sf

- Existing: 59.4 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.8 sf
- Sign G - 4.4 sf

Total Used: 348.8 sf total



Client:

Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)

Remove existing signage.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:

28104_Bryant.pdf
 Project Number: 28104

Illuminated Channel Letters

A

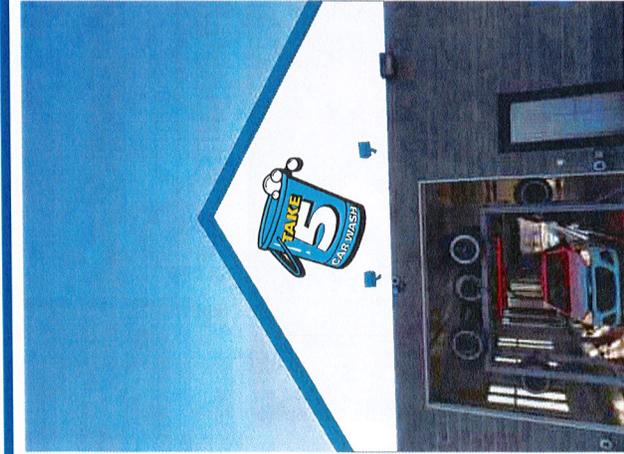
Scale: 3/16" = 1'-0"

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Sign Management Made Simple





Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf

Calculation: $2 * 263 = 526$ sf

Allowed: 400 sf total

Used: 62.1 sf

Existing: 59.4 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.6 sf

Sign G - 3.8 sf

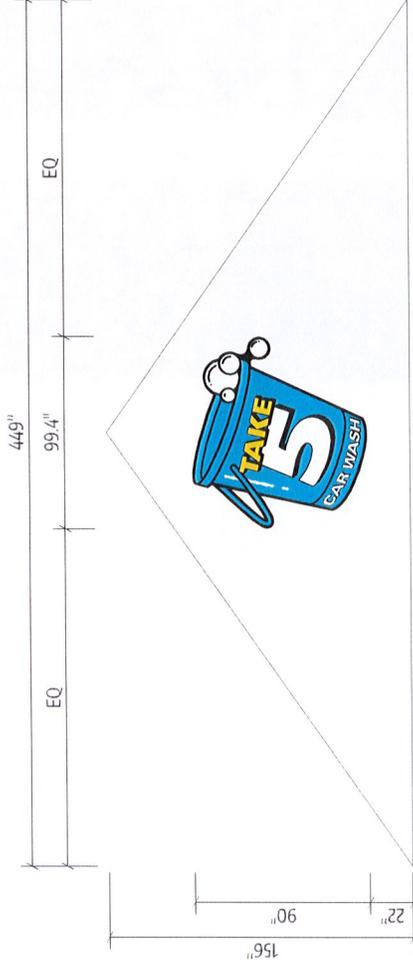
Sign H - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters

B

Scale: 3/16" = 1'-0"



Client:

Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

T5-ILCL-90
Illuminated Channel Letters
(62.1 sq ft)

Remove existing signage.

Color Key:

- PMS 2791 C
- PMS 107 C
- Black
- White

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:

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Project Number: 28104



EGAN SIGN
 Illuminated Channel Letters
 Scale: NTS
 A/B

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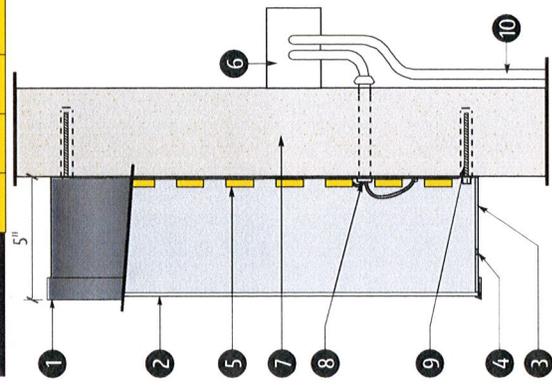
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Illuminated Channel Letters	X	X1	Y	Total Square Feet
T5-ILCL-31.5	31.5	4.2	34.8	7.6
T5-ILCL-40	40	5.3	44.2	12.3
T5-ILCL-41	41	5.5	45.3	12.9
T5-ILCL-48	48	6.4	53	17.7
T5-ILCL-55	55	7.3	60.8	23.2
T5-ILCL-56	56	7.5	61.9	24.1
T5-ILCL-59	59	7.9	65.2	26.7
T5-ILCL-60	60	8	66.3	27.6
T5-ILCL-66	66	8.8	73	33.5
T5-ILCL-68	68	9.1	75.1	35.5
T5-ILCL-72	72	9.6	79.6	39.8
T5-ILCL-76	76	10.1	84	44.3
T5-ILCL-80	80	10.7	88.4	49.1
T5-ILCL-84	84	11.2	92.8	54.1
T5-ILCL-90	90	12	99.4	62.1

CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 PLEXIGLAS FACE W/ DIGITALLY PRINTED GRAPHICS TO MATCH COLOR KEY
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
 This includes proper grounding and bonding of the sign.



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111
Location Address:
 Take 5 Car Wash #65

Description:
 T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)
 QTY: 2
 Provide LED illuminated channel letters w/ digitally printed graphics; installed flush to facade.

Color Key:
 ■ PMS 2191 C
 ■ PMS 107 C
 ■ Black
 ■ White

Layout Date:
 04/21/2022 - AR

Revision Date:
 04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

File Name:
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Project Number: 28104



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

Remove existing signage.

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



Existing



Proposed

Square Footage Calculation:

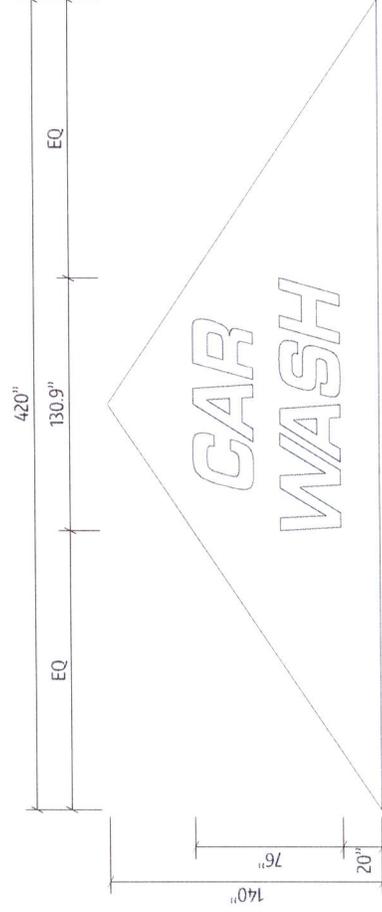
Code: 2 sf per linear feet of street
frontage facing wall; max of 400 sf
Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 69.1 sf

- Existing: 59.4 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.8 sf
- Sign G - 4.4 sf

Total Used: 348.8 sf total



Illuminated Channel Letters



Scale: 3/16" = 1'-0"

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Sign Management Made Simple





Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

Qty: 1

Provide 5" deep LED illuminated channel letters mounted flush to facade per detail.

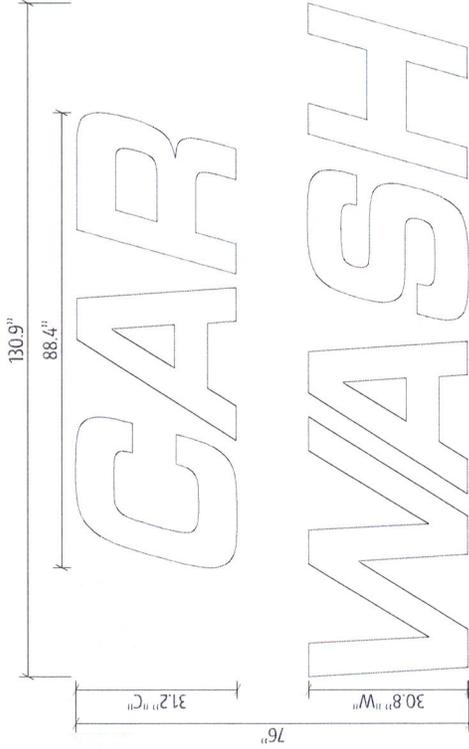
Color Key:

- White
- Black

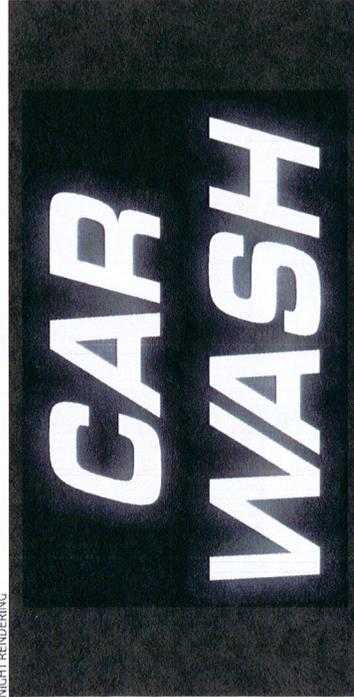
Layout Date:
04/27/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



NIGHT RENDERING



Illuminated Channel Letters



Scale: 1/2"=1'-0"

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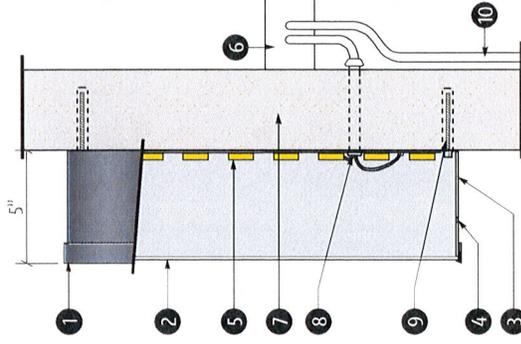
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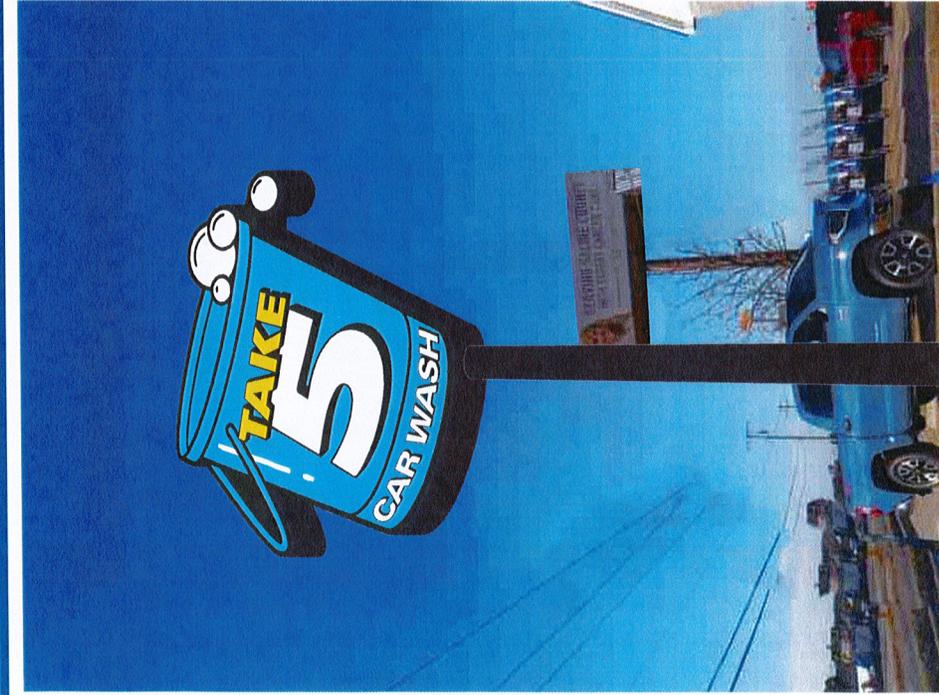
CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 WHITE POLYCARBONATE FACES
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
This includes proper grounding and bonding of the sign.



Sign Management Made Simple



Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf freestanding signs NTE 25' h
 Calculation: 2 * 203 = 526 sf

Allowed: 400 sf total

Used: 139.9 sf

Existing: 182.2 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.8 sf

Sign G - 4.4 sf

Total Used: 348.8 sf total



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:
 Take 5 Car Wash #65

Description:

T5-PYLON
 Illuminated Pylon Sign
 (139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

Remove existing sign and posts.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White
- Digitally Printed Gradient

Layout Date:

04/21/2022 - AR

Revision Date:

04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

File Name:
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Pylon Sign

Scale: NTS



EGAN SIGN

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Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
T5-PYLON
Illuminated Pylon Sign
(139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

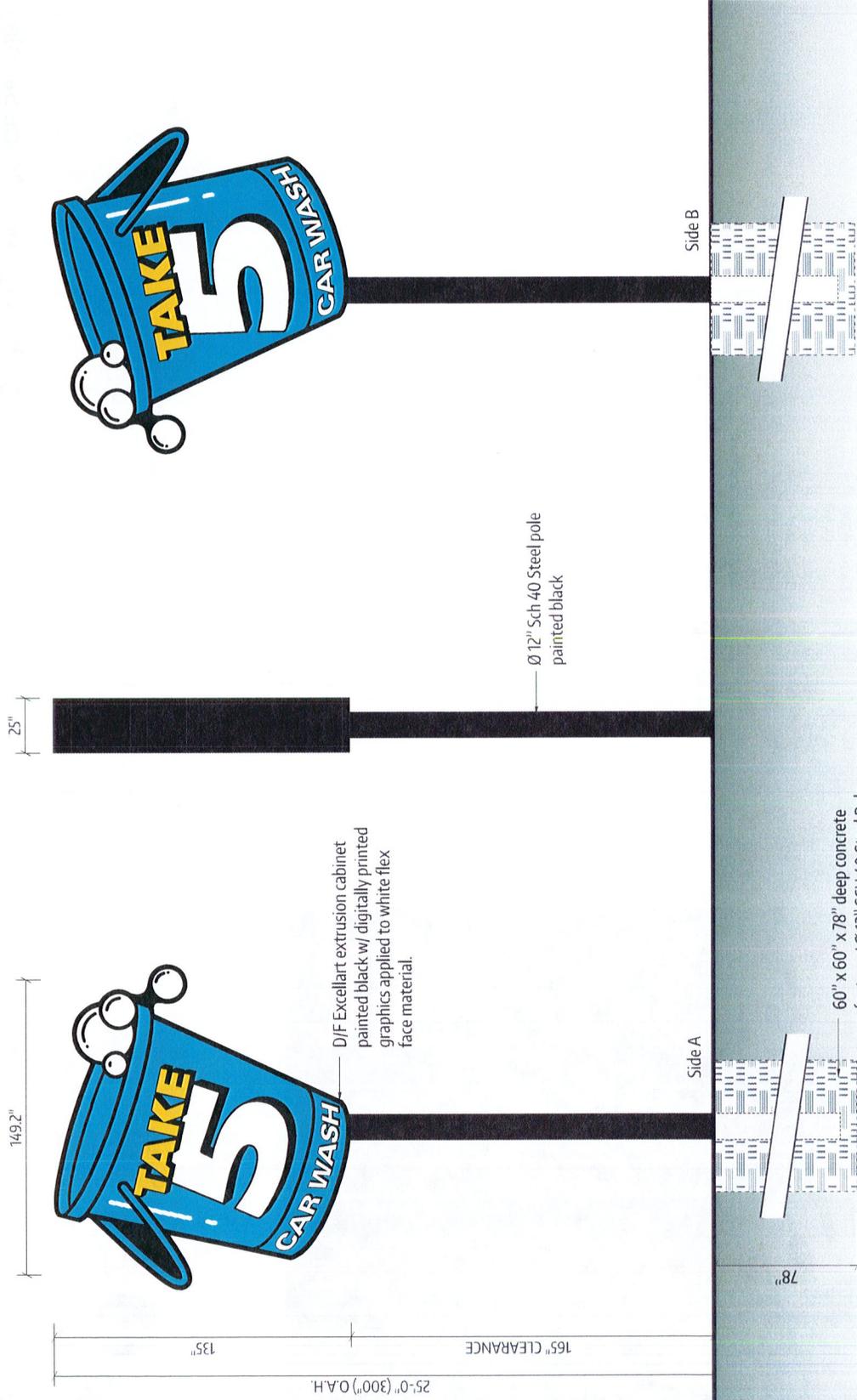
Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



Illuminated Pylon Sign

Scale: 1/4" = 1'-0"

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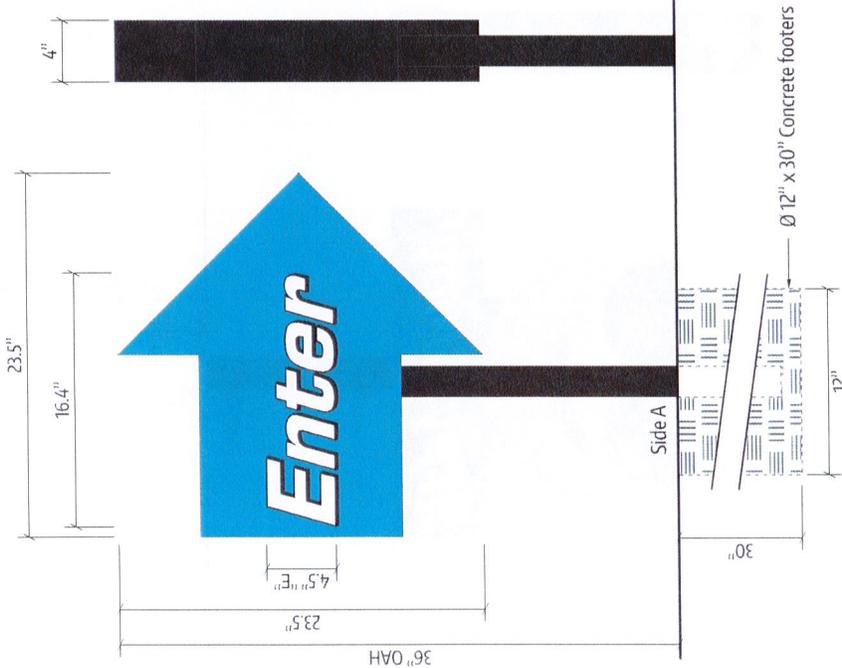
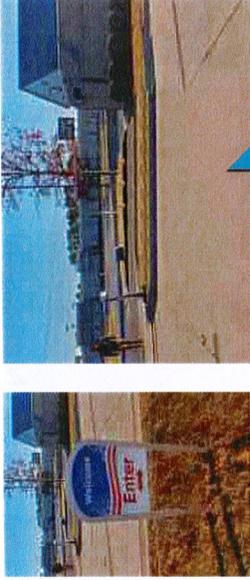
Sign Management Made Simple

EGAN
SIGN

Square Footage Calculation:

Allowed: 6 sf

Used: 3.8 sf



Existing

Proposed

Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer vinyl to match color key

2" Square aluminum tube frame painted black

Side B

Side A

Ø 12" x 30" Concrete footers

E D/F Directional

Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.



Client:

Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Color Key:

- PMS 2791 C
- White
- Black

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:

28104_Bryant.pdf
Project Number: 28104

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Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

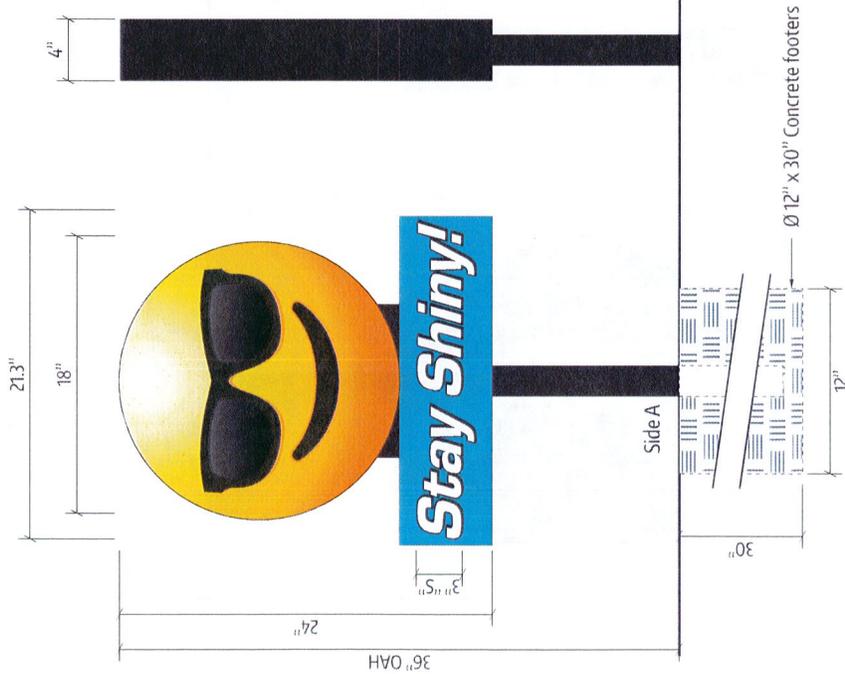
Used: 3.6 sf



Existing

Proposed

Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key



S/F Wayfinding

F

Scale: 1/12" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(3.6 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- Digitally Printed Gradient
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
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Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

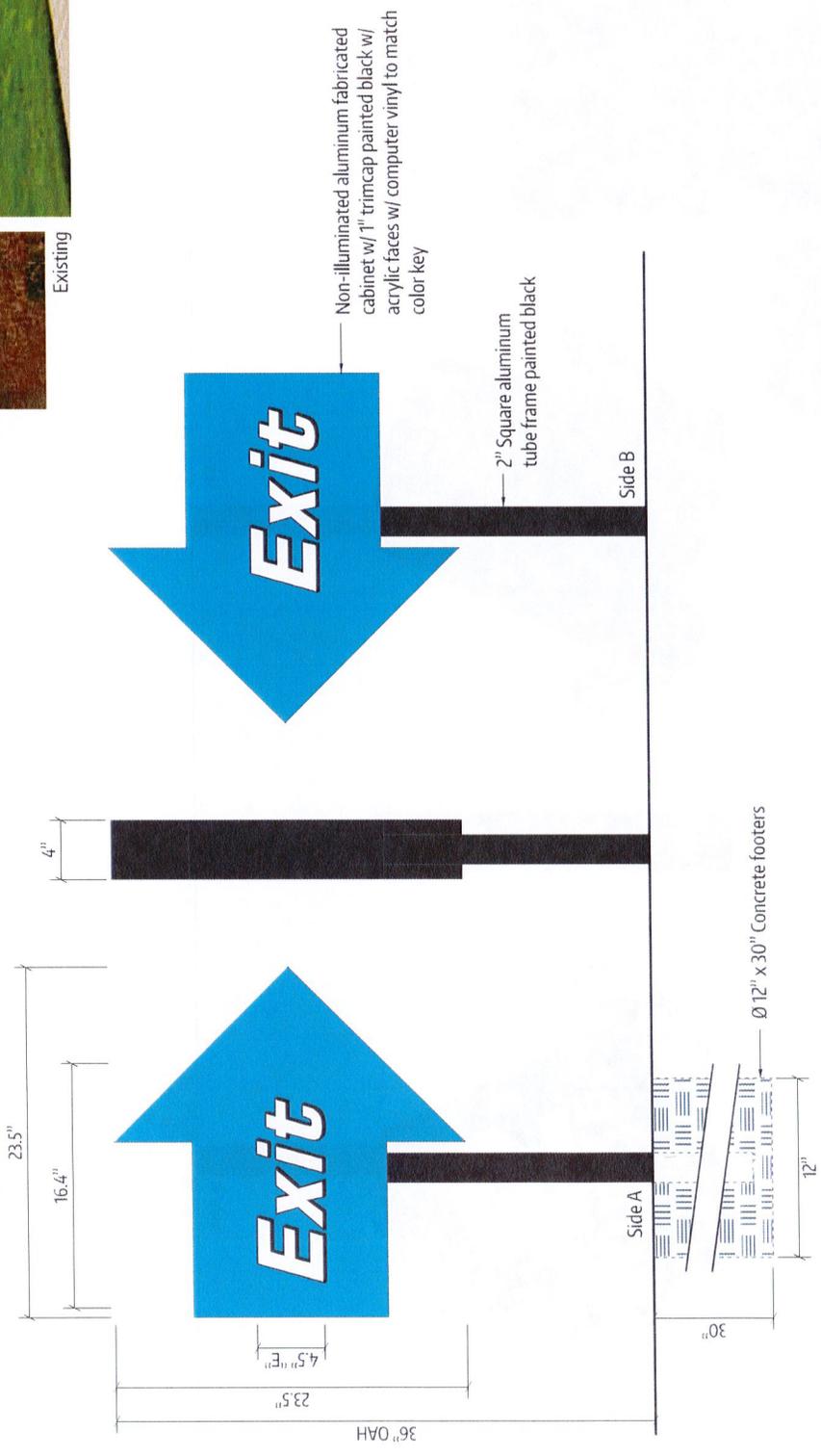
File Name:
28104_Bryant.pdf
Project Number: 28104



Proposed



Existing



D/F Directional

G

Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

Square Footage Calculation:

Allowed: 6 sf

Used: 3.8 sf

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Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

Used: 4.4 sf



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(4.4 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- PMS 107 C
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

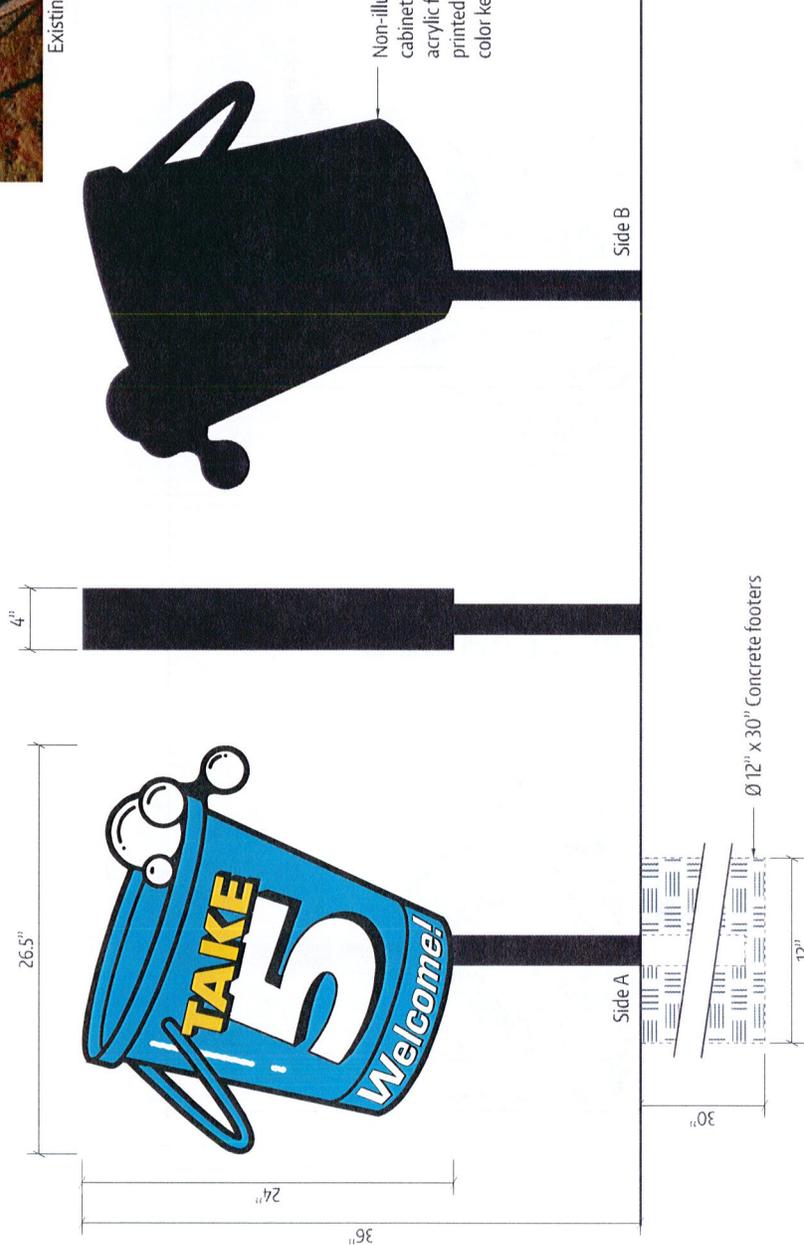
File Name:
28104_Bryant.pdf
Project Number: 28104



Existing



Proposed



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

S/F Wayfinding

H

Scale: 1 1/2" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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Sign Management Made Simple