

October 12, 2022

City of Bryant
Community Development
210 SW 3rd Street
Bryant, AR 72022

RE: **Target Building Signage and Drive Up Parking Variance Application**

Mr. Leonard:

Please accept this justification letter in response to the City of Bryant’s sign variance application, revised parking layout, and front walk/site sustainability improvements.

Building Signage and Exterior Improvements

The applicant is seeking a variance in the number of signs allowed per street frontage (Section 3.04 – Signs in Commercial C-2 District). The building is situated on a corner lot, allowing for one additional sign on the east frontage of the building, facing Mt. Carmel Road.

Target is proposing 4 signs on the frontage of the building facing northwest toward Mt. Carmel Road. The store currently has one large bullseye sign with “Target” underneath and a CVS Pharmacy sign. The proposed signage on the front of the building includes the following:

- 13'-0" bullseye 132.73 sf
 - 1'-2" "Order Pickup" sign 24.59 sf
 - "Drive Up" sign with 24" letters 77.10 sf
 - CVS Pharmacy sign (existing to remain) 36.62 sf
- 271.04 sf total**

Section 3.04 of the signage code for Commercial C-2 districts allows for two square feet per one linear foot of building façade. The front of the building is approximately 404’ in width, allowing for 808 square feet of total sign area. The proposed sign area is well below this threshold at approximately 271 square feet. The additional “Drive Up” sign is intended to be used as a wayfinding sign to direct customers utilizing the drive-up service to the correct location within the parking lot. The proposed “Order Pickup” sign near the entrance of the building is intended to direct customers to the front entrance for order pickup. Target has found that including these signs reduces customer confusion and circulating the parking lot, reducing the potential for collisions or other incidents. The existing CVS Pharmacy sign is intended to remain in place. All signs are of high quality and are intended to maintain a subtle but effective presence.

The east side of the store will also include one bullseye with “Target” sign (195.7 sf). The street frontage along the eastern side of the building is 347’-5” yielding an allowable signage area of approximately 695 square feet; the proposed signage area is well within the limits at approximately 196 sf. This sign is allowable as stated in Section 3.04 of the signage code for buildings fronting multiple streets.

In addition to the building signage, the proposed façade improvements include the installation of EIFS panelling along the front and east side of the store frontage.

Drive Up Parking Modifications

Target is proposing relocating and expanding the existing Drive-Up area including wayfinding signage. Wayfinding signage on the building is desired to give Target patrons an easy and identifiable location to pick up their online orders. As part of Target's "Drive Up" program, they are expanding the number of stalls at this store location. Along with expanding the total number of stalls, the drive up location is being relocated and a curb ramp installed to align with a proposed doorway from the building utilized by team members (doorway under separate permit). The relocation is proposed to provide a safer and more direct route for team members.

Exterior Site Sustainability and Front Walk Modifications

The existing parking lot islands contain mostly mulch and an unsustainable sod mix. Target is proposing to improve the planting materials within the parking lot islands, replacing the existing planting material with groundcover plant material to reduce urban heat island effect, amend soil in landscape area near critical root zone to create a healthier environment for tree species, and encourage pollinators prosperity. The design impact is anticipated to reduce CO2 with site vegetation and intercept additional rainwater runoff.

In addition to the revised planting within the parking lot, Target is proposing to improve a portion of the front entry walk with the installation of cart storage, bike racks, and benches with planter walls and plantings. Plans and a narrative for the site sustainability are provided with this submittal.

Additional Site Lighting – Drive Up Area

As part of the Drive Up expansion, the applicant is proposing to install two additional site lights for employee and customer safety in the drive up area. The proposed site lights will match existing site lights on site in type, size, color, and finish. Preliminary lighting plans are provided with this submittal.

Should you have any questions or require additional information, please do not hesitate to contact me at christian.jones@kimley-horn.com

Sincerely,



Christian Jones, P.E.
KIMLEY-HORN AND ASSOCIATES, INC



T 2 2 0 4 B r y a n t , A R

09.23.2022

Exterior Site Sustainability

Haley Maitre

Summary:

The Bryant design focuses on promoting biodiversity, while stewarding in the natural heritage of the central Arkansas region and maintaining a high-level of guest experience. With the implantation of native vegetation, pollinators are supported through the supply of additional food and shelter. Native plants are the best foundation for diversity and ecological growth within a community. Native plants are also more likely to establish quickly and provide year-round beauty. Cleaner air is also a byproduct of species restoration, as plants absorb the carbon dioxide emitted by cars. These native species showcase horticultural appeal at the front of each store and add economic value through the transformation of a parking area.

Site Challenges:

- Existing plant material lacks diversity and abundance within the parking islands
- The reoccurrence of plant species creates a mono-culture and the subsequent lack of biodiversity is not beneficial to pollinator species
- Existing parking islands consist of mostly mulch and an unsustainable sod mix

Design Response:

- Add groundcover plant material to reduce urban heat island effect and encourage pollinators prosperity
- Amended soil in landscape areas near critical root zone to create a healthier environment for the tree species
- Convert the turf area in the large linear landscape island to a regenerative landscape area.

Design Impact:

- Total Amended Soil Area: 18,276 SF
- Total Number of Parking Island Modified: 28
- Total Amount of CO₂ Sequestered Annually by Site Vegetation: 7,780 lbs of CO₂
- Runoff Intercepted by Site Vegetation: 57,800 gallons/year

Recommendations & Future Opportunities: Low to Medium Scope

- Utilize areas within landscape islands as potential rain gardens and stormwater filtration efforts
- Install additional landscape islands to minimize existing paving field and reduce the urban heat island effect
- Increase pollinator garden species in sodded perimeter areas to increase sustainability, biodiversity, and aesthetic qualities
- Add landscape islands at catch basins to mitigate stormwater and improve water quality.



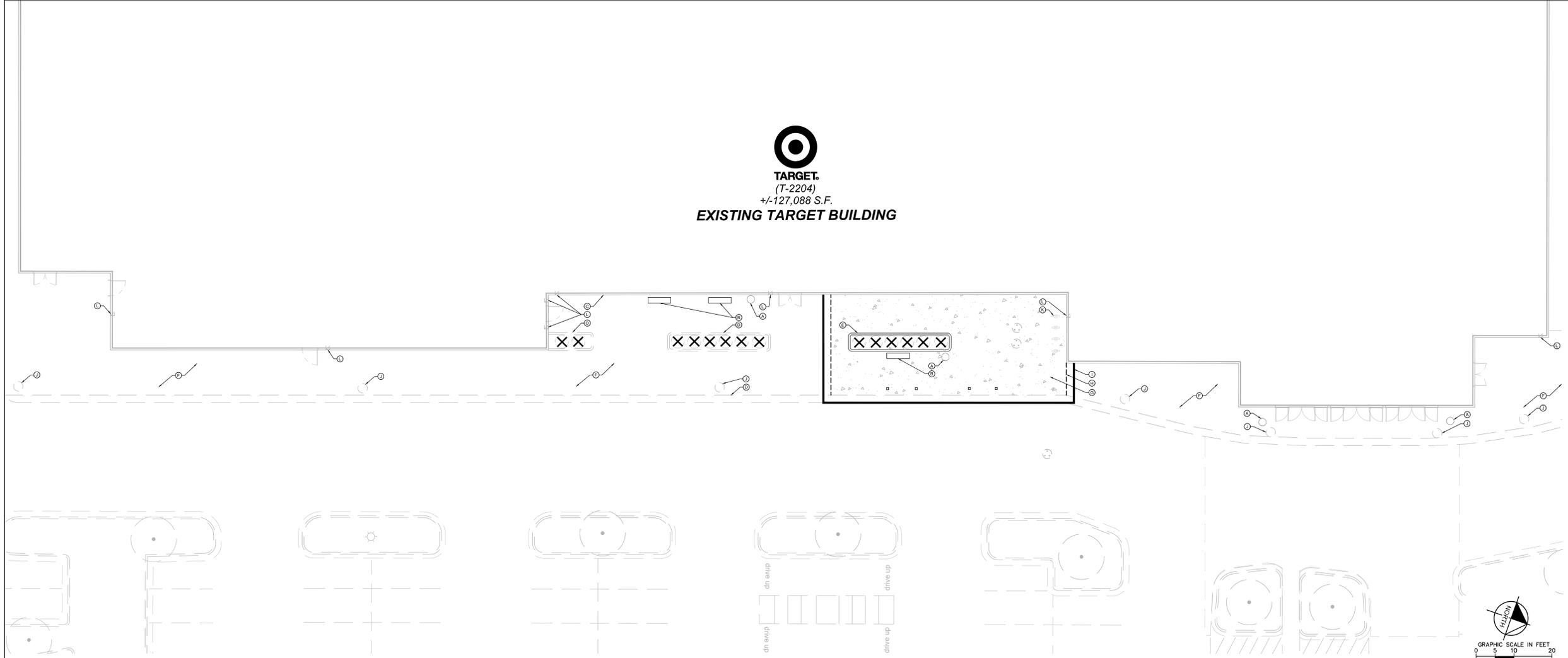
TARGET
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

TARGET
(T-2204)
+/-127,088 S.F.
EXISTING TARGET BUILDING

Kimley»Horn

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401 B STREET, SUITE 600
SAN DIEGO, CA 92101
PHONE: 619-234-9411
WWW.KIMLEY-HORN.COM

Date	No.	Description
09/23/2022	0	DESIGN DEVELOPMENT SUBMITTAL



1 DEMO PLAN
SCALE: 1"=10'

L100

DEMOLITION PLAN NOTES

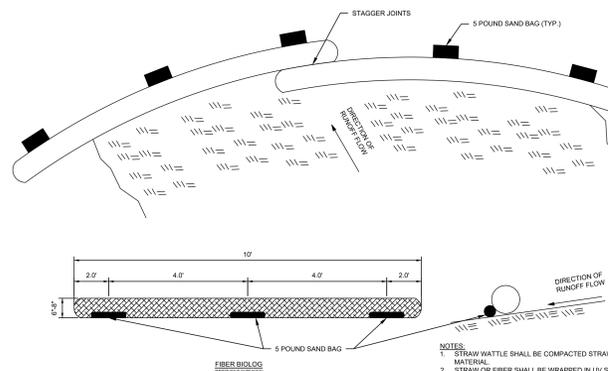
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVEWAYS, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNER'S REPRESENTATIVE.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY OF MANSFIELD, RICHLAND COUNTY AND ODOT.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

KEYNOTE LEGEND

- ⊖ REMOVE TRASH RECEPTACLE (TYP.)
- ⊖ REMOVE BENCH (TYP.)
- ⊖ BUILDING CURB TO REMAIN (TYP.)
- ⊖ CONCRETE CURBS TO REMAIN (TYP.)
- ⊖ REMOVE CONCRETE CURB (TYP.)
- ⊖ CONCRETE SIDEWALK TO REMAIN (TYP.)
- ⊖ REMOVE CONCRETE SIDEWALK (TYP.)
- ⊖ SAWCUT LINE (TYP.)
- ⊖ FIBER BIO-LOG
- ⊖ SPHERICAL BOLLARD TO REMAIN (TYP.)
- ⊖ REMOVE BIKE RACK (TYP.)
- ⊖ SECURITY CAMERA TO REMAIN (TYP.)

LEGEND

- | EXISTING | REMOVALS | PROPERTY LINE (TYP.) |
|----------|----------|-------------------------------|
| | | CONCRETE SURFACE (TYP.) |
| | | FULL DEPTH SAWCUT (TYP.) |
| | | TREE (TYP.) |
| | | LIMITS OF CONSTRUCTION (TYP.) |
| | | CURB & GUTTER (TYP.) |
| | | WATERMAIN (TYP.) |
| | | SIGN (TYP.) |
| | | STORM MANHOLE (TYP.) |
| | | ROOF DRAIN (TYP.) |
| | | HYDRANT (TYP.) |
| | | LIGHT POLE (TYP.) |
| | | SPHERICAL BOLLARD (TYP.) |
| | | CYLINDRICAL BOLLARD (TYP.) |
| | | BENCH (TYP.) |
| | | TRASH RECEPTACLE (TYP.) |
| | | BIKE RACK (TYP.) |
| | | BUILDING CURB (TYP.) |
| | | TABLE (TYP.) |
| | | CART STORAGE (TYP.) |



2 FIBER BIO-LOG
SCALE: N.T.S.

L100



TARGET
BRYANT, AR
7377 ALCOA RD,
BRYANT, AR 72022

PROJECT NUMBER **T-2204**

CONFIG:

DRAWN BY: CDE

CHECKED BY: EIW

DEMO PLAN
FRONT WALK

L100



Know what's below.
Call before you dig.

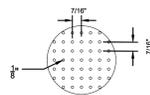
MANUFACTURER:
LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
(830) 430-6209

MODEL: TRIPLE UNIT
TRASH / RECYCLING
RECEPTACLE

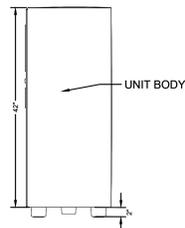
FINISH: METALLIC
STEEL/ POWDER COAT

NOTES: INSTALL PER
MANUFACTURER'S
SPECIFICATIONS AND
RECOMMENDATIONS

OPTIONAL PERFORATED DETAIL



ELEVATION- SIDE VIEW

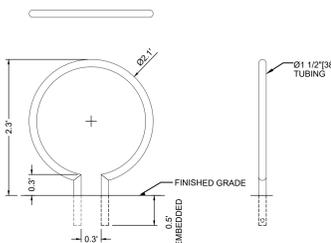


MANUFACTURER: LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
(830) 430-6209

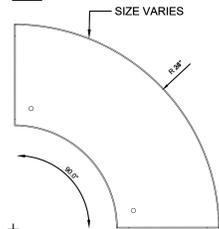
MODEL: RING BIKE RACK

FINISH: POWDER COAT METALLIC STEEL

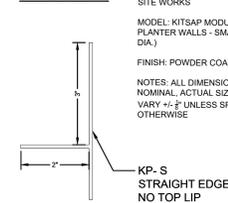
NOTE: INSTALL PER MANUFACTURER'S
SPECIFICATIONS AND RECOMMENDATIONS



PLAN



TOP LIP OPTION



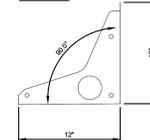
MANUFACTURER: TOURNESOL
SITE WORKS

MODEL: KITSAP MODULAR
PLANTER WALLS - SMALL (5'
DIA.)

FINISH: POWDER COAT WHITE

NOTES: ALL DIMENSIONS ARE
NOMINAL. ACTUAL SIZE MAY
VARY +/- 1/8\"/>

SECTION



1 TRIPLE UNIT TRASH / RECYCLING RECEPTACLE

SCALE: N.T.S.

L201

2 RING BIKE RACK

SCALE: N.T.S.

L201

3 TOURNESOL PLANTER WALL

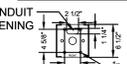
SCALE: N.T.S.

L201

PLAN- TOP VIEW



BASE PLATE DETAIL



MANUFACTURER:
LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
(830) 430-6209

MODEL: PROFILE UNLIT PERIMETER BOLLARD

FINISH: METALLIC STEEL/POWDER COAT

NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS AND
RECOMMENDATIONS

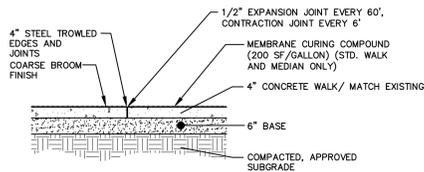
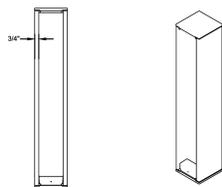
ELEVATION- FRONT



ELEVATION- BACK



SIDE SECTION



NOTE:
ALL EXCAVATION, 6\"/>

4 PROFILE BOLLARD

SCALE: N.T.S.

L201

5 CONCRETE SIDEWALK

SCALE: N.T.S.

L201



TARGET
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

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401 B STREET, SUITE 600
SAN DIEGO, CA 92101
PHONE: 619-234-9411
WWW.KIMLEY-HORN.COM

Date No. Description

09/23/2022 0 DESIGN DEVELOPMENT SUBMITTAL



BRYANT, AR
7377 ALCOA RD.
BRYANT, AR 72022

PROJECT NUMBER T-2204

CONFIG:

DRAWN BY: CDE

CHECKED BY: EIW

SITE FURNITURE
DETAILS FRONT
WALK

L201



Know what's below.
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EXISTING TARGET BUILDING

LEGEND

EXISTING



PROPERTY LINE (TYP.)

TREES TO BE PROTECTED (TYP.)

SHRUBS AND GROUNDCOVER TO REMAIN AND ENHANCED WITH NEW PLANTING

STORM CATCHBASIN (TYP.)

HYDRANT (TYP.)

LIGHT POLE (TYP.)

CART STORAGE (TYP.)



TARGET
1000 NICOLLETT MALL
MINNEAPOLIS, MN 55403

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SAN DIEGO, CA 92101
PHONE: 619-234-2411
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Date No. Description

09/23/2022 0 DESIGN DEVELOPMENT SUBMITTAL

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CAL.	HT.
	2	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	B # B	3' CAL
	2	NYSSA SYLVATICA / BLACK GUM	B # B	3' CAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	
	47	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	3 GAL	
	184	ILEX GLABRA / INKBERY HOLLY	3 GAL	
	57	ITEA VIRGINICA / VIRGINIA SKEETSPIRE	3 GAL	
	51	RHUS AROMATICA / FRAGRANT SUMAC	3 GAL	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	
	326	CALYPTOCARPUS VIALIS / HORSEHERB	1 GAL	24" o.c.
	1278	IRIS VERSICOLOR / BLUE FLAG	1 GAL	12" o.c.
	1912	RUDBECKIA X 'AMERICAN GOLD RUSH' / AMERICAN GOLD RUSH CONEFLOWER	1 GAL	12" o.c.
	619	SOLIDAGO RUSOSA / WRINKLELEAF GOLDENROD	1 GAL	24" o.c.
	1261	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL	30" o.c.
GROUND COVER AREAS	QTY	BOTANICAL / COMMON NAME	CONT.	
	204	SHREDDED HARDWOOD MULCH	MULCH	

NOTE:

- TOTAL SOIL AREA TO BE AMENDED: 18,276 SF
- AMENDED SOIL PROFILE FROM TOP TO BOTTOM:
 - 3" DEPTH SHREDDED HARDWOOD MULCH
 - 18"-24" DEPTH AMENDED SOIL PER SPECIFICATIONS
 - FILTER FABRIC WRAPPING FREE DRAINING AGGREGATE
 - 4" DEPTH FREE DRAINING AGGREGATE BASE
 - 3" WIDE PERFORATED PIPE WITH DRAIN AND SOCK FOR SOIL AERATION THROUGH DEPTH OF AMENDED SOIL PROFILE. PIPE LOCATIONS TO BE DETERMINE BY LANDSCAPE ARCHITECT IN CONSTRUCTION DOCUMENT SET.

PROPOSED PLANT LOCATIONS IN EXISTING SHRUB AND GROUNDCOVER AREAS TO REMAIN ARE APPROXIMATE. THESE PROPOSED PLANTS SHALL BE LOCATED WITHIN OPEN SPACES BETWEEN EXISTING SHRUB AND GROUNDCOVER PLANTS TO ENHANCE THE AREA AND PLANTED IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT.



TARGET
17-2204
4112 688 S.F.
EXISTING TARGET BUILDING



GRAPHIC SCALE IN FEET
0 15 30 60



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Know what's below.
Call 811 before you dig.



BRYANT, AR
7377 ALCOA RD,
BRYANT, AR 72022

PROJECT NUMBER T-2204

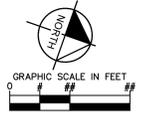
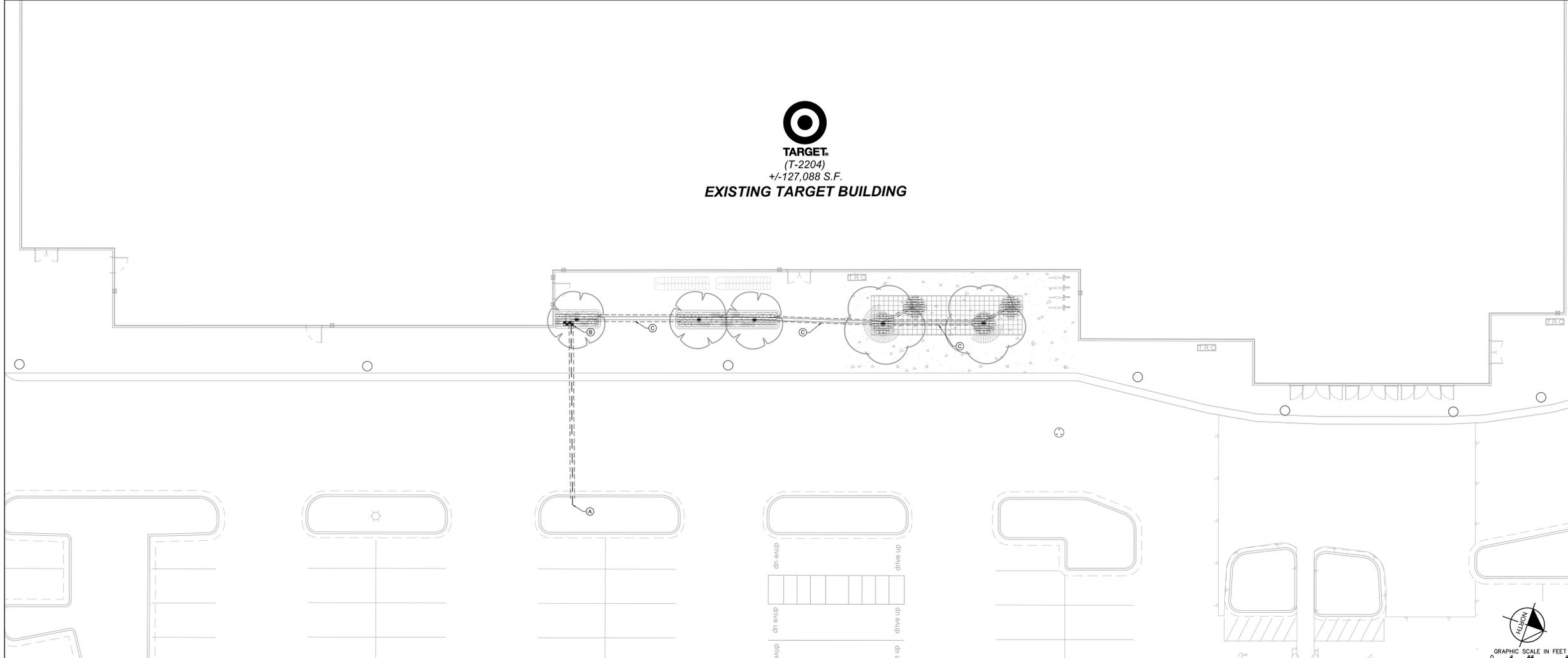
CONFIG:

DRAWN BY: OS

CHECKED BY: KSS/HM

LANDSCAPE PLAN
EXTERIOR SITE

L301



1 IRRIGATION PLAN
SCALE: 1"=10'

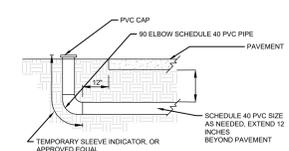
IRRIGATION NOTES

- IRRIGATION SYSTEM IS DIAGRAMMATIC. CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION. ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS. IF APPLICABLE, ZONE PARAMETERS: TURF AREAS SHALL HAVE SPRAYS/ROTORS, SHRUBS/PERENNIAL AREAS SHALL HAVE DRIP, AND TREES SHALL HAVE BUBBLERS.
- ALL PIPE 1.5" OR GREATER SHALL BE SDR 26 CLASS 200 FOR MAINLINE AND CLASS 160 FOR LATERAL PVC PIPE (DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"). ALL PIPE 1.25" OR 1" SHALL BE 100 POLY PIPE OR CLASS 160 PVC PIPE, AS INDICATED (DO NOT EXCEED 15 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE APPROXIMATELY 18" FOR MAINLINE AND 12" FOR LATERAL LINES, OR AS REQUIRED. FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT MATERIAL.
- ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL.
- ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES (SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE VALVE BOXES.
- CONTROLLER TO BE COMMERCIAL TYPE, SIZED FOR NUMBER OF ZONES, CAPABLE OF 2-WIRE TECHNOLOGY, INCLUDING DECODER MODULE AND SURGE PROTECTION. SYSTEM TO BE 2-WIRE TECHNOLOGY WITH REQUIRED GROUNDING/LIGHTNING PROTECTION). MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHERRAINFREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BORDERS AND HARDWARE FOR ALL EXPOSED AREA, AS DIRECTED BY OWNER. INSTALL WEATHERRAINFREEZE SENSOR ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S) PER OWNER'S APPROVAL.
- FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE.
- MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #8 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING, AS NEEDED. SLEEVE DEPTH IS

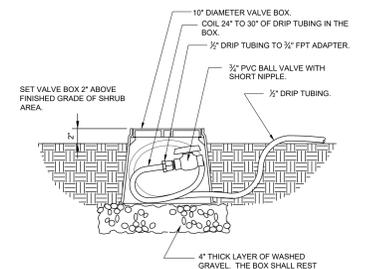
- IRRIGATION KEYNOTES**
- POINT OF CONNECTION, VERIFY LOCATION WITH OWNER
 - MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND VALVE WITHIN THE PROPERTY LINE, 6" FROM B.O.C. WHEN POSSIBLE, AND IN GREEN SPACE. COORDINATE WITH OTHER DISCIPLINES TO AVOID CONFLICTS (TYP.)
 - ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE) BETWEEN DRIPLINE AND SOD EDGE OR PAVEMENT EDGE (TYP.)



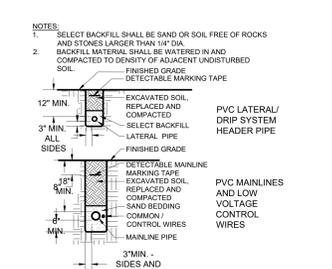
2 TYPICAL SLEEVE DETAIL
SCALE: N.T.S.



3 DRIP FLUSH VALVE
SCALE: 1 1/2" = 1'-0"

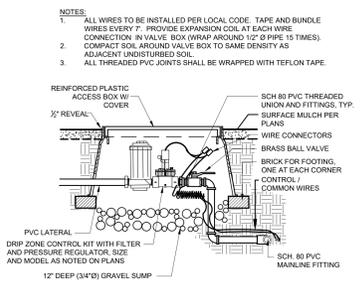


4 PIPE TRENCHING AND BACKFILL - MAINLINE, LATERALS, AND MARKING TAPE
SCALE: N.T.S.

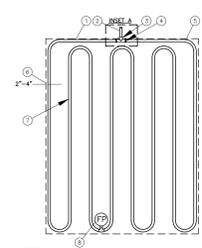


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1401 1402	RAIN BRD RWS-M-B-C W/ RWS-SOCK 1401 MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE AND SAND SOCK FOR SANDY SOIL.	5	30
[Symbol]	RAIN BRD KC2-100-PRO-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PRESS VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM/30 GPM	2	
[Symbol]	AREA TO RECEIVE DRIPLINE RAIN BRD XF-CV-40-2 XF-CV SUB-SURFACE AND ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 4.3PSI CHECK VALVE, 0.4 GPM EMITTER AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY 1/2" INSERT FITTINGS	215.6 L.F.	
[Symbol]	IRRIGATION LATERAL LINE, PVC CLASS 200 SDR 21	237.6 L.F.	
[Symbol]	PVC CLASS 200 IRRIGATION PIPE, ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" SIZE	48.9 L.F.	
[Symbol]	PIPE SLEEVE: PVC SCHEDULE 40	120.1 L.F.	



5 DRIP ZONE CONTROL KIT
SCALE: N.T.S.



6 XFCV ON-SURFACE DRIPLINE - QUICK LAYOUT
SCALE: N.T.S.

NOTES:

- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BRD WEB SITE (WWW.RAINBRD.COM) FOR SUGGESTED SPACING.
- LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
- WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

XFCV Dripline Maximum Lateral Lengths (feet)	1/2" Spacing		18" Spacing	
	10' Spacing	18" Spacing	10' Spacing	18" Spacing
40' Maximum per Row	84	84	84	84
50'	102	102	102	102
60'	120	120	120	120
80'	168	168	168	168
100'	216	216	216	216

Date	No.	Description
09/23/2022	0	DESIGN DEVELOPMENT SUBMITTAL

TARGET
 BRYANT, AR
 7377 ALCOA RD.
 BRYANT, AR 72022

PROJECT NUMBER **T-2204**
 CONFIG:
 DRAWN BY: CDE
 CHECKED BY: EIW

IRRIGATION PLAN
FRONT WALK

L400

