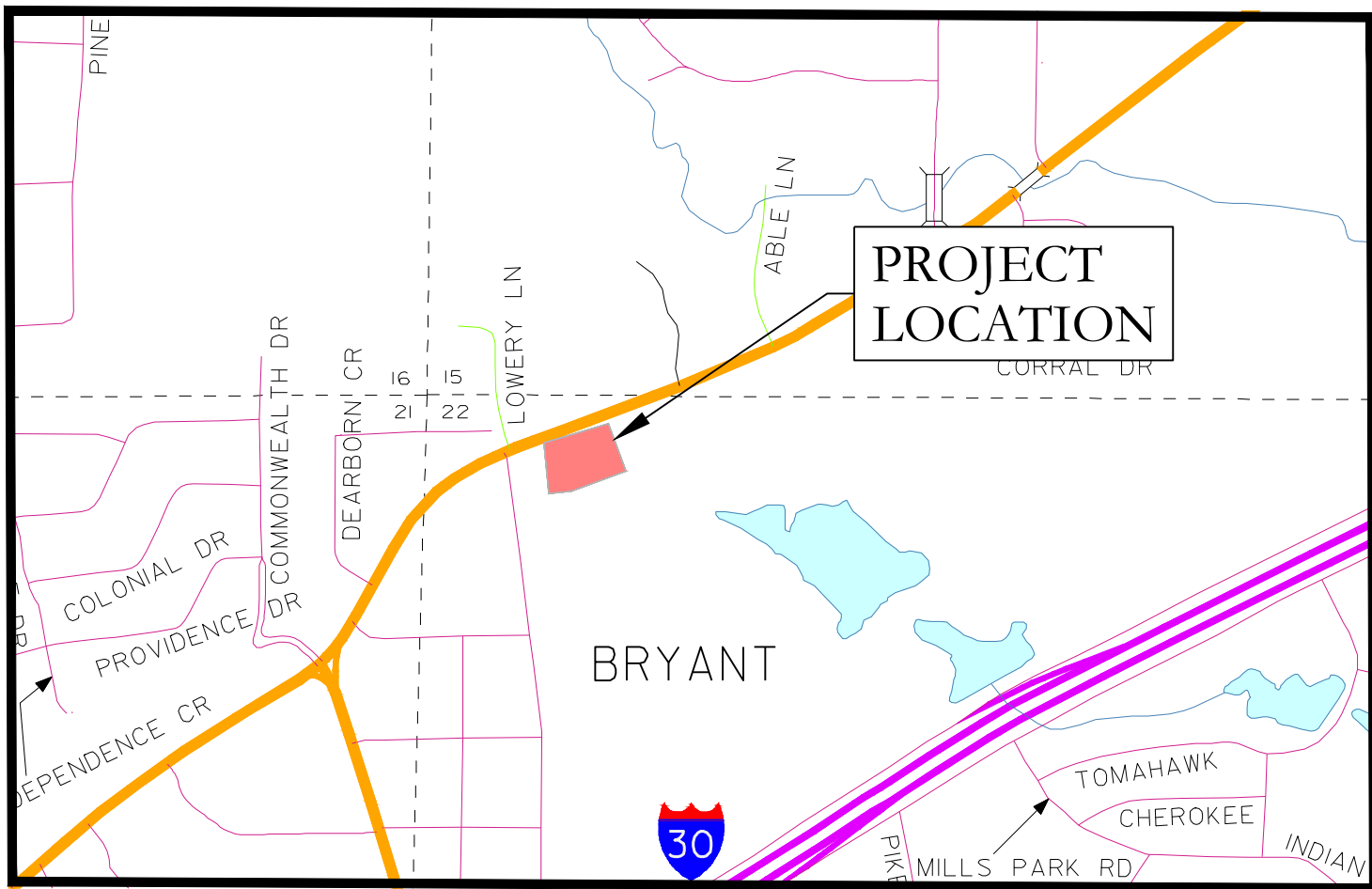


CONSTRUCTION PLANS
MARKET PLACE II
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, AR



VICINITY MAP



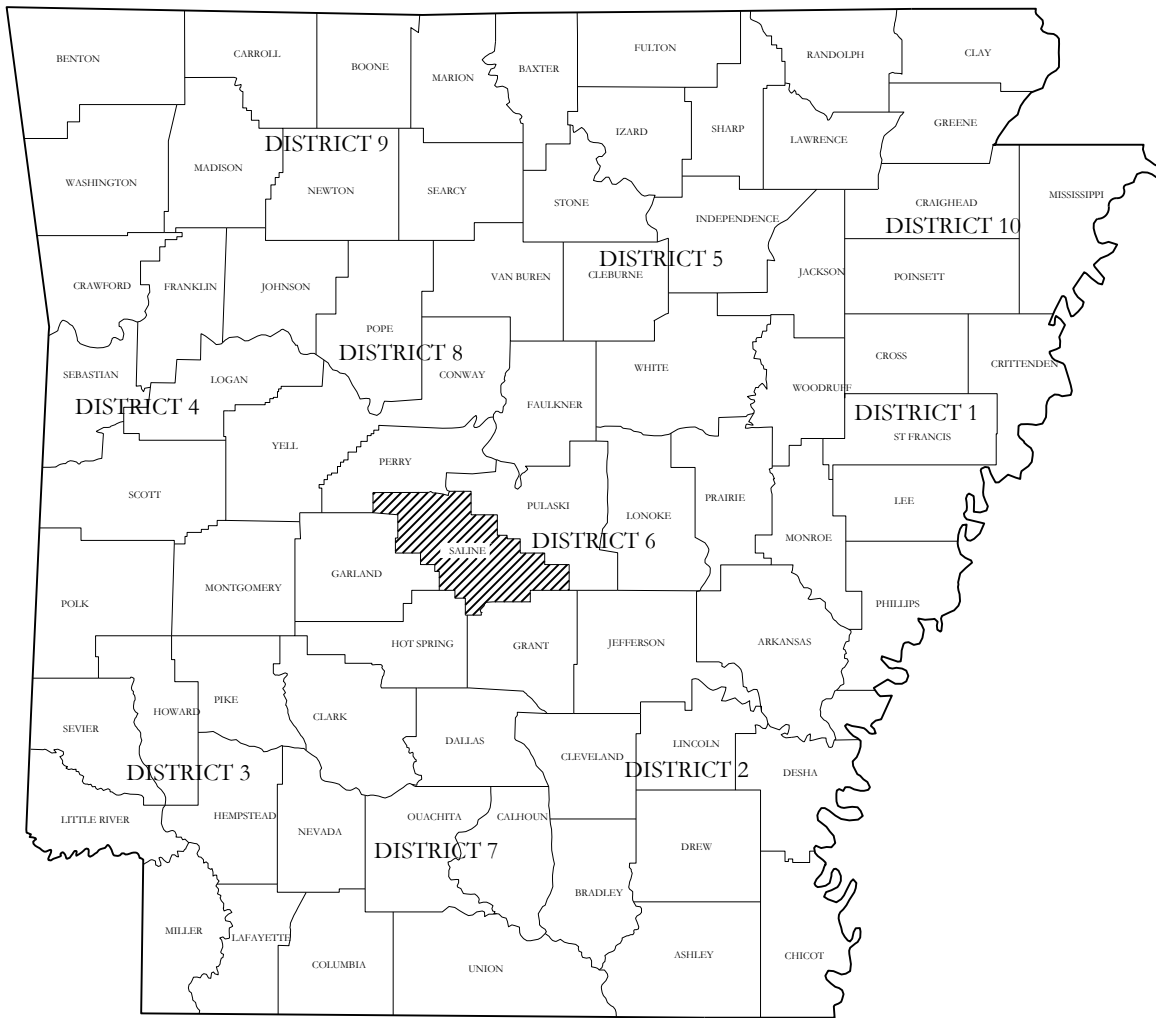
PREPARED BY:

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CONSULTING
ENGINEERS - SURVEYORS

129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

DRAWING INDEX

SHEET NO.	TITLE
C-1.0	SITE PLAN
C-2.0	GRADING PLAN
C-3.0	UTILITY PLAN
C-3.1-3.6	SEWER DETAILS
C-3.7-3.11	WATER DETAILS
C-4.1-4.2	PRE & POST DEV. CALCULATION
C-4.3-4.4	DRAINAGE CALCULATION
C-4.5	DRAINAGE PATH
C-5.1-5.3	EROSION CONTROL PLAN
C-6.0	LANDSCAPE PLAN



CIVIL ENGINEER

HOPE CONSULTING INC
129 N. MAIN STREET
BENTON, AR 72015

ARCHITECH

N/A

STRUCTURAL ENGINEER

N/A

GEOTECHNICAL ENGINEER

N/A

REVISION	SUBMISSION DATE
1. AS PER CITY COMMENT ON 09/18/25	11/19/2025
1. AS PER CITY COMMENT ON 11/20/25	11/25/2025

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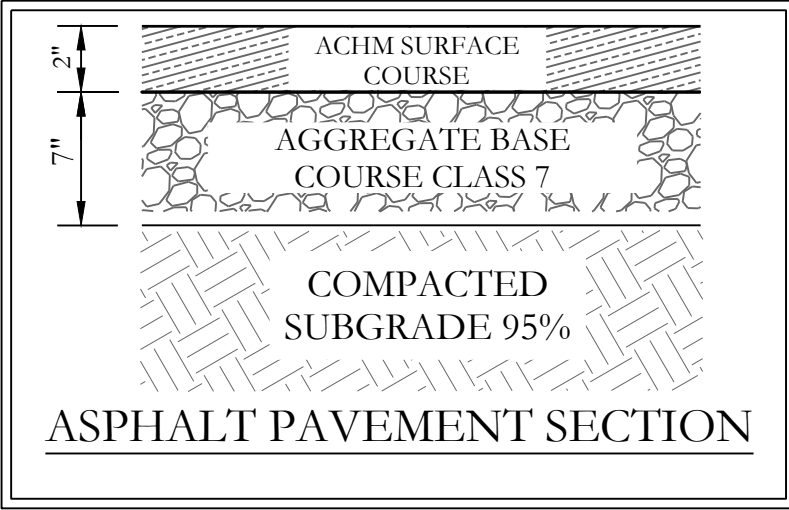
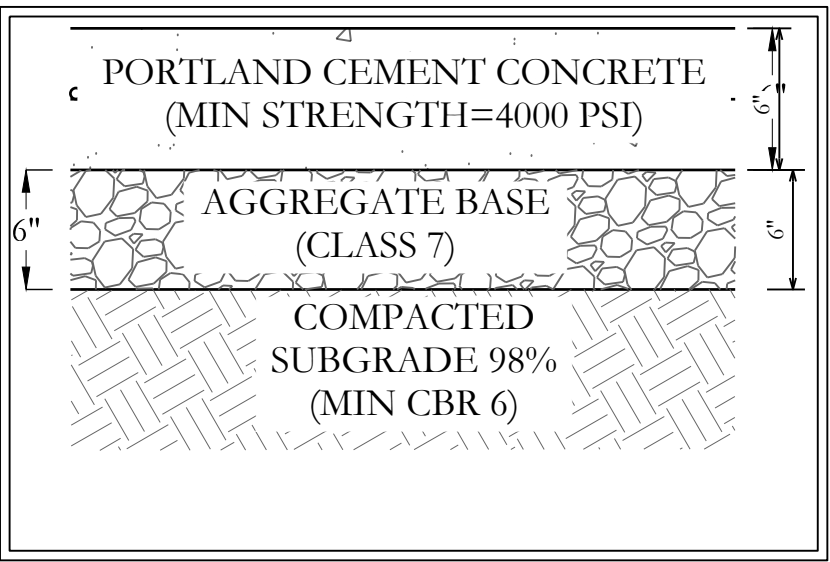
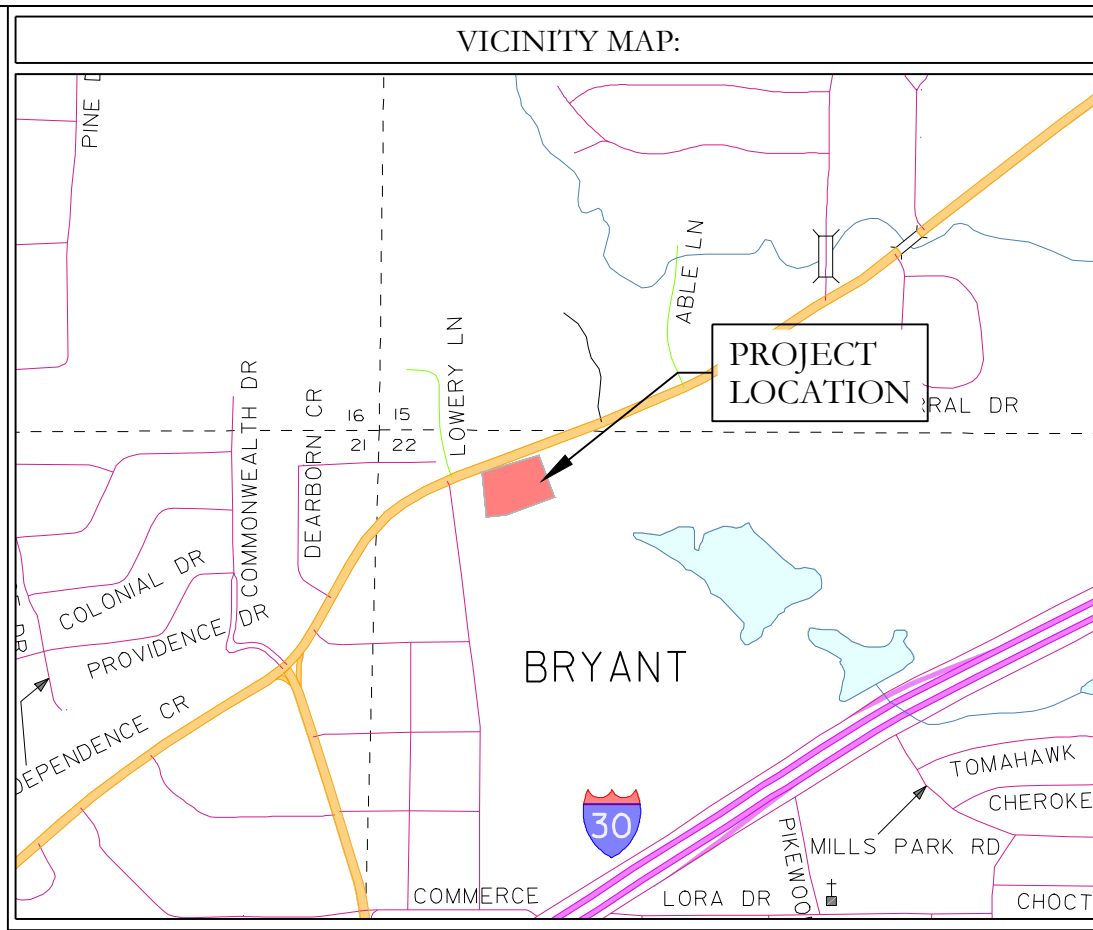
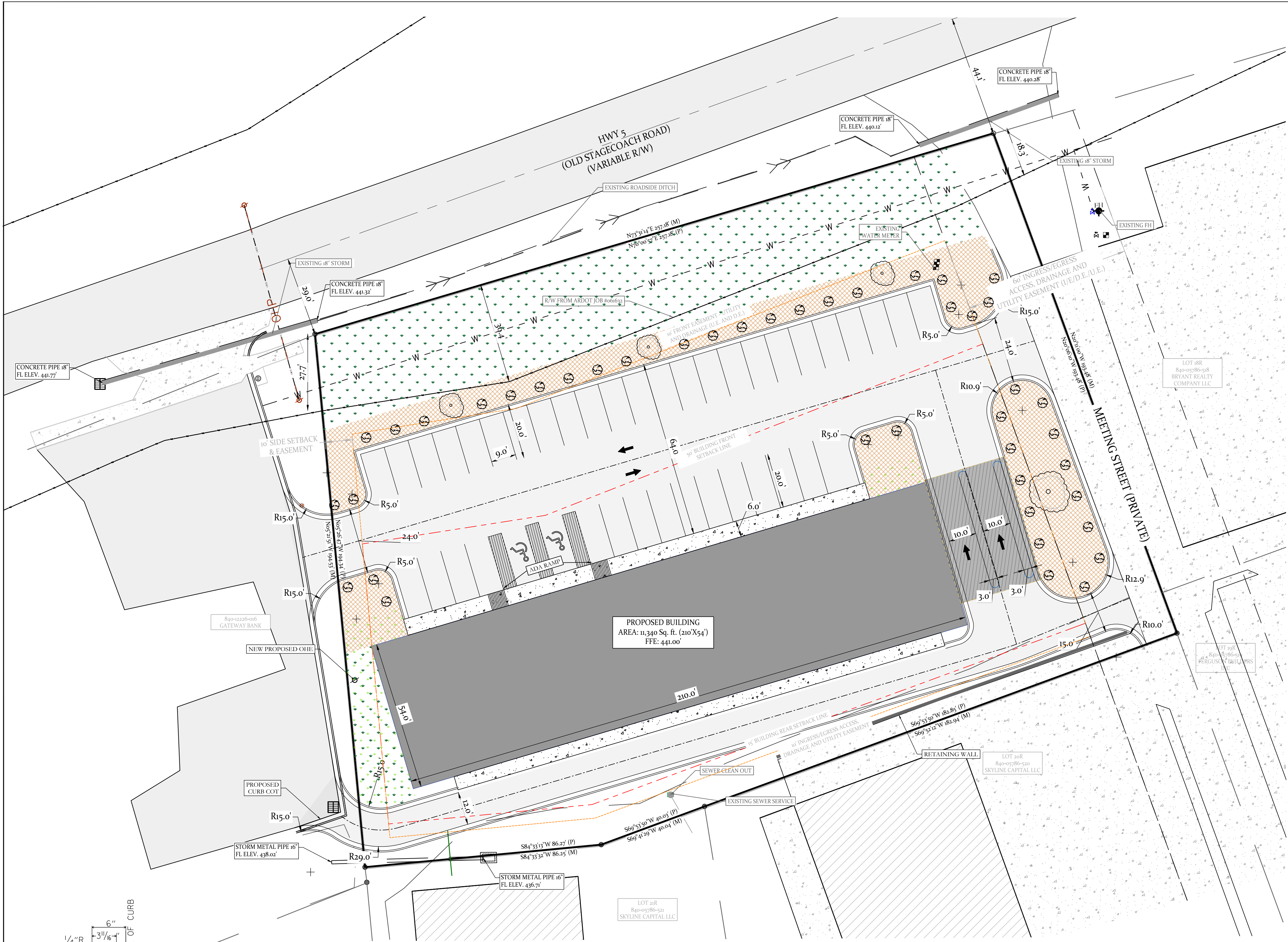
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Benton, Arkansas 72015
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RYE GENERAL CONTRACTORS

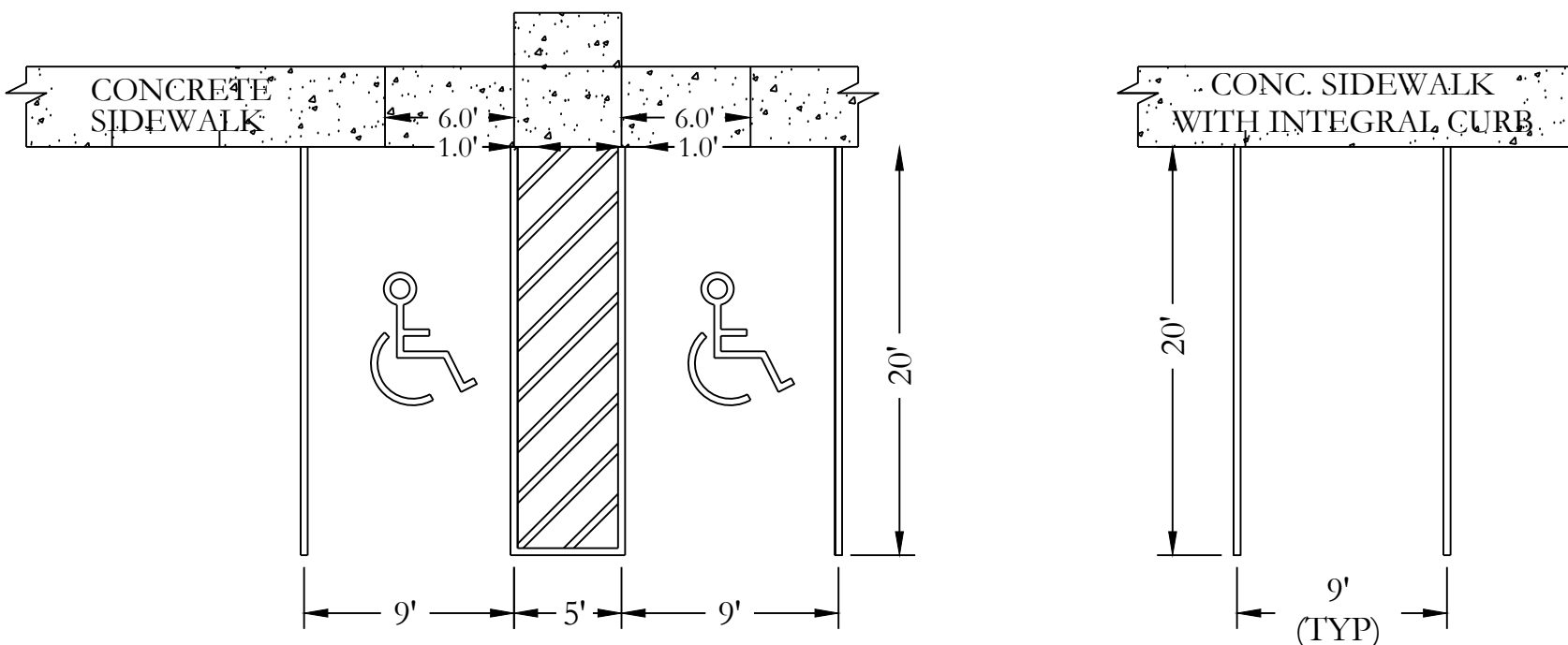
MARKET PLACE II
COVER SHEET

DATE:	11/25/2025	C.A.D. BY:		DRAWING NUMBER:
REVISED:	date	CHECKED BY:		25-0608
SHEET:	C-0.0	SCALE:		
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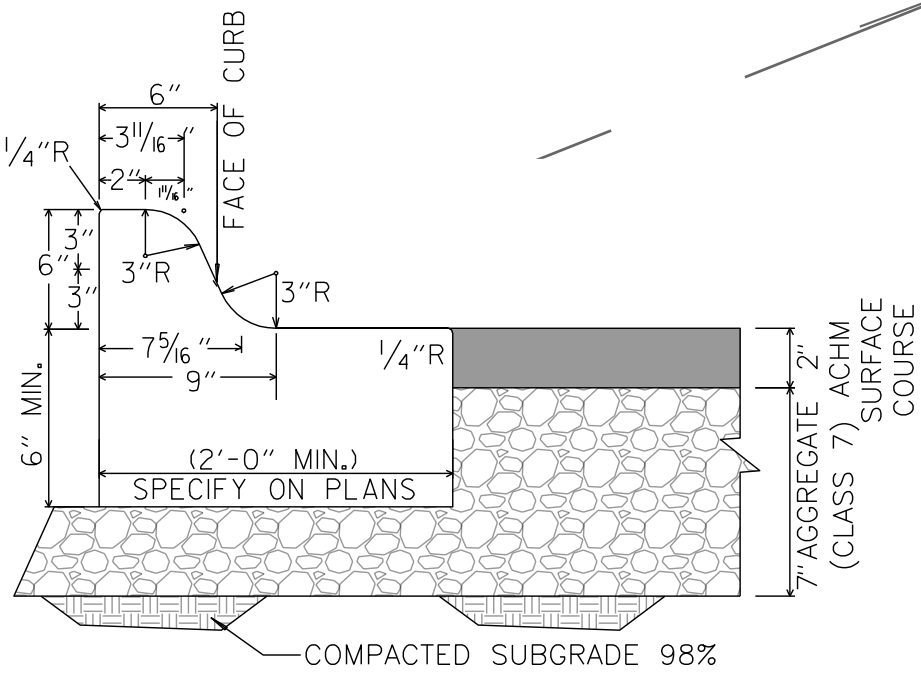




HEAVY DUTY CONCRETE PAVEMENT SECTION



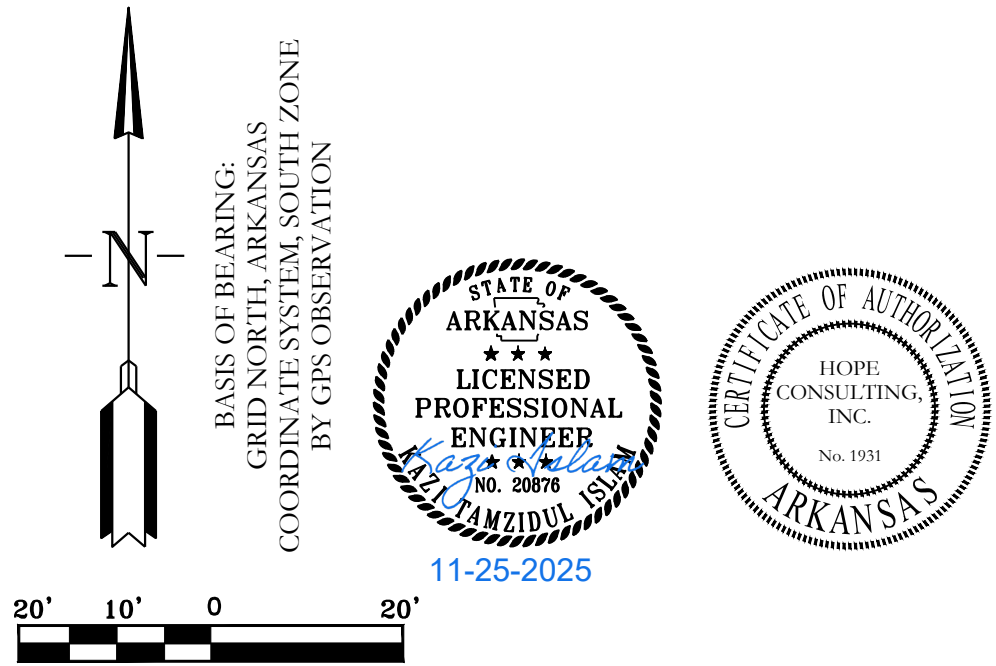
USE DIMENSIONS ABOVE UNLESS OTHERWISE NOTED
PARKING STALL & SIDEWALK DETAIL



CURB DETAILS

OWNER: Name: PHILLIP RYE Address: 7416 PALM BEACH, BENTON AR 72019 Phone: 501-317-9883 Email: philliprye@philliprye.com

DEVELOPER: Name: RYE GENERAL CONTRACTORS Address: 6128 HIGHWAY 5 NORTH AR 72022 Phone: Email:



SITE DATA	
TOTAL SITE AREA	1.30 ACRES
TOTAL DEVELOPMENT AREA	1.30 ACRES
GROSS BUILDING AREA	BUILDING 11130 SQ. FT.
BUILDING SETBACKS	FRONT SETBACK LINE: 30' RIGHT SIDE SETBACK LINE: AS SHOWN REAR SETBACK LINE: 15' LEFT SIDE SETBACK LINE: 10'
BUILDING HEIGHTS	1 STORY
BUSINESS TYPE	RETAIL
PARKING CALCULATION (PROVIDED)	PROVIDED PARKING SPACES 41 (2 ADA SPACES)

ZONING INFORMATION	
CURRENT ZONING	C 2 HIGHWAY COMMERCIAL

LEGEND	
PLSS Aliquot Corner	Clean Out
End Corner Monument	Water Meter
Set 1/2" Rebar/Cap (1664)	Power Pole
Computed Point	Sewer Manhole
(M) - As Measured	Light Pole
(P) - Per Deed or Plat Records	Telephone Pedestal
ESMT - Easement	Drainage Manhole
B.S.L. - Building Setback Lines	Gas Meter
Fence	Overhead Power
Sewer Line	Water Line
Telephone Line	Electric Line
Gas Line	Existing Access Agreement
Public Right-of-Way Dedication	

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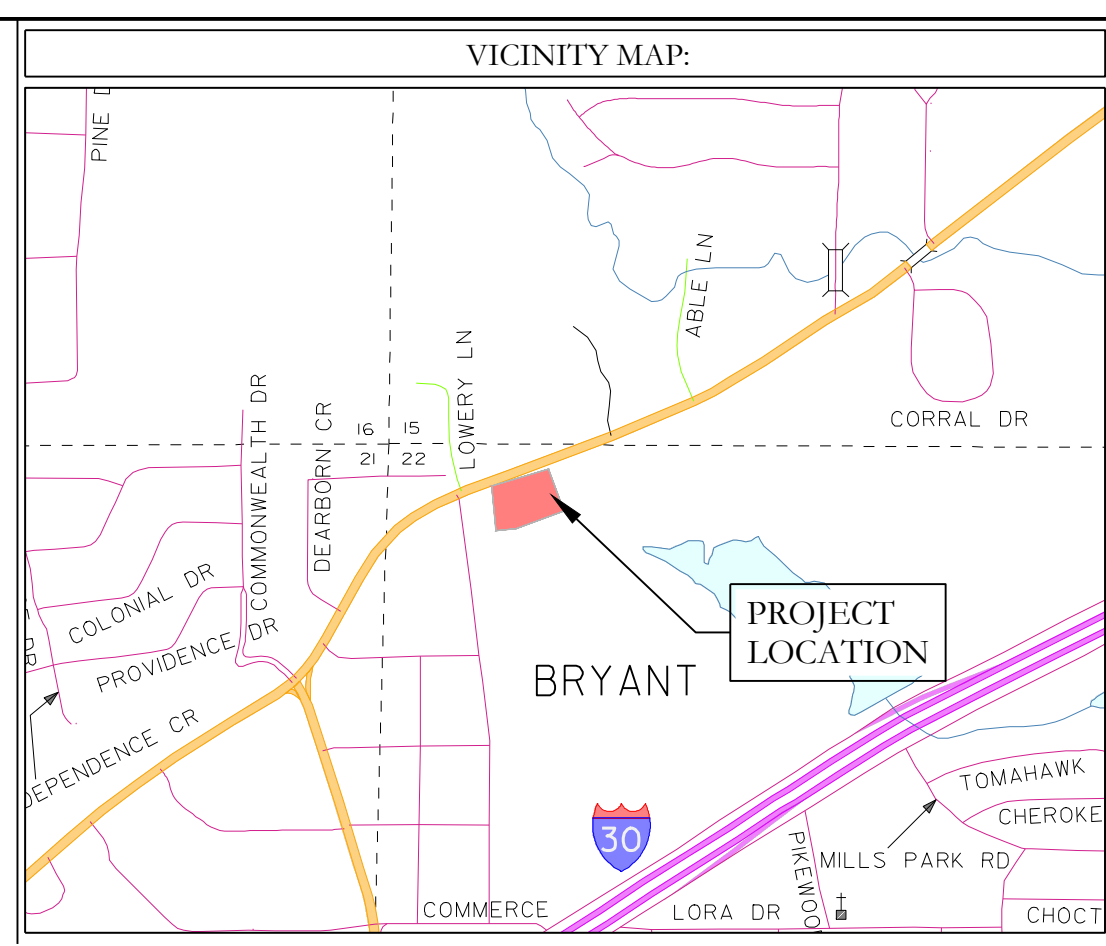
129 N. Main Street,
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MARKET PLACE II
PRELIMINARY SITE PLAN
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

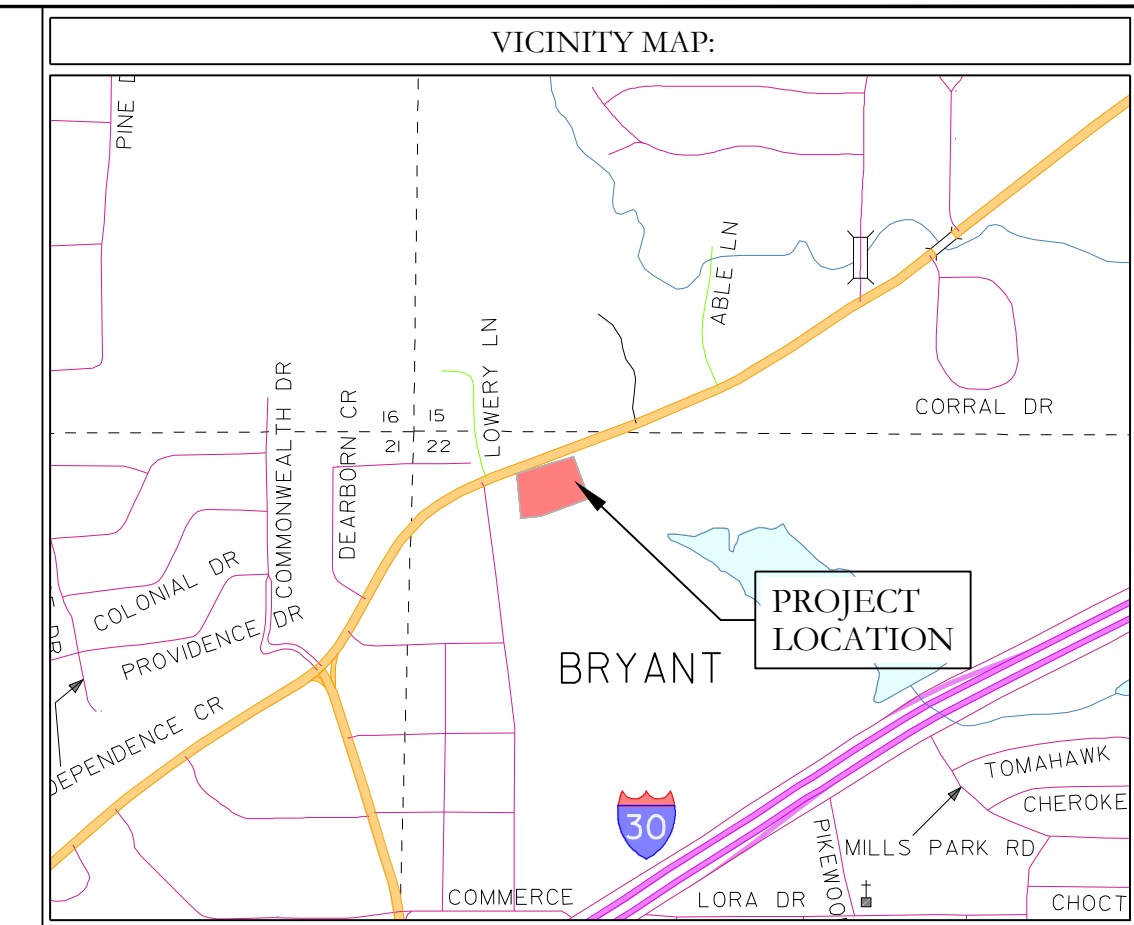
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REVISED:	CHECKED BY:	25-0608
SHEET: C-1.0	SCALE:	

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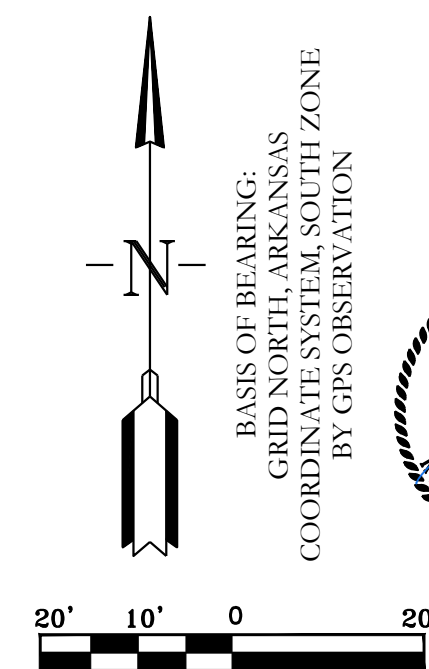


DATE: 11.25.25		C.A.D. BY:				DRAWING NUMBER: 25-0608	
REVISED:		CHECKED BY:					
SHEET: C-2.0		SCALE:					
500	01S	14W	0	22	440	62	1762

\\2. HOPE CONSULTING\1. PROJECTS FILES\9. 25-0608 LOT 22R MARKET PLACE-II PH3\11.20.25.DWG



SEWER LEGEND:	WATER LEGEND:
<p>SEWER SERVICE</p> <p>SEWER MAIN — S — S — SEWER MANHOLE</p> <p>NOTE: USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3" MINIMUM COVER CANNOT BE MAINTAINED.</p> <p>CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.</p>	<p>DUAL WATER METERS</p> <p>SINGLE WATER METER</p> <p>GATE VALVE</p> <p>45° FITTING</p> <p>90° FITTING</p> <p>TEE FITTING</p> <p>CROSS FITTING</p> <p>FIRE HYDRANT</p>



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DATE: 11.25.25		C.A.D. BY:		DRAWING NUMBER: 25-0608			
REVISED:		CHECKED BY:					
SHEET:	C-3.0	SCALE:					
500	01S	14W	0	22	440	62	1762

\\EA2.HOPECONSULTING\PROJECTS\FILES\9_25-0608 LOT 22R MARKET PLACE-II PH3\11-20-25 DWG

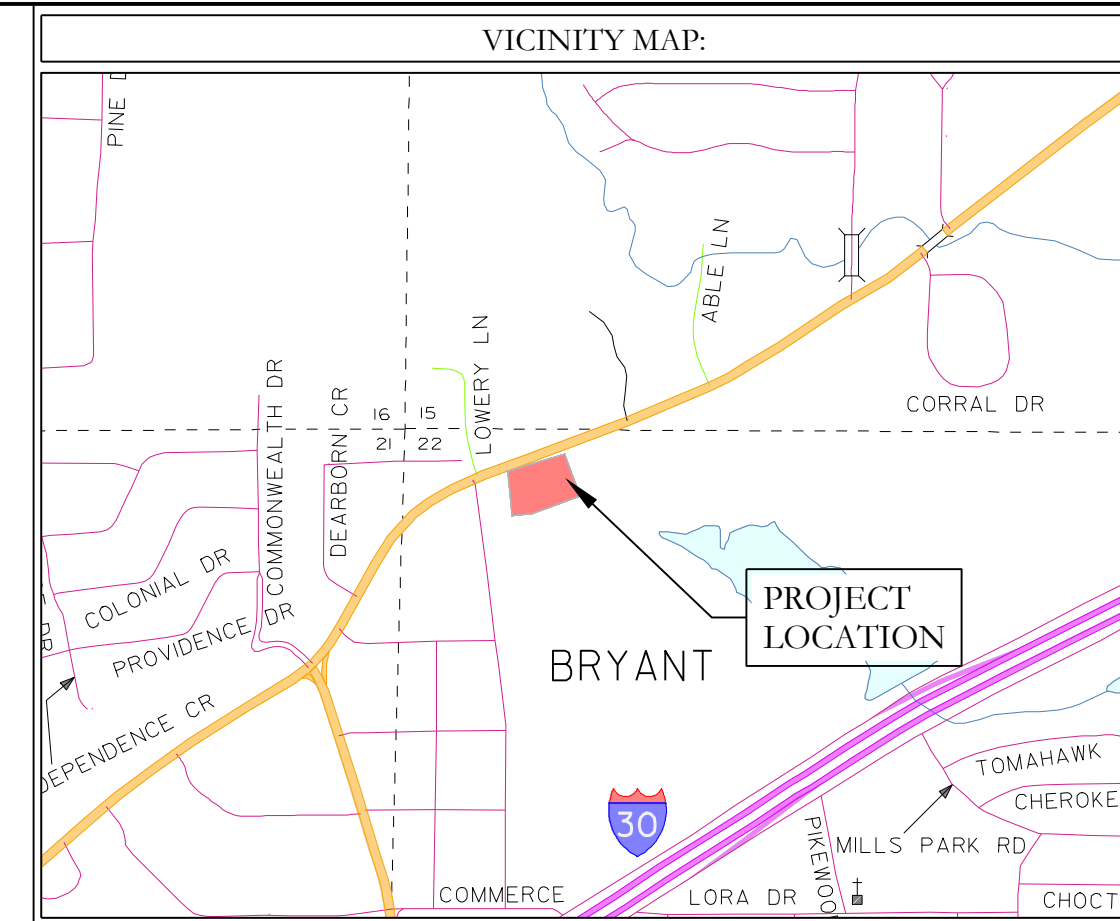
1. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING SEWER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE SEWER SYSTEM.
2. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
3. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.


SEWER TRENCH
(NON-PAVED AREA)


1. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING SEWER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE SEWER SYSTEM.
2. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B).
3. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.



SEWER MAIN INSTALLATION
PRIOR TO ROADWAY CONSTRUCTION

1. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING SEWER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE SEWER SYSTEM.
2. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
3. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.



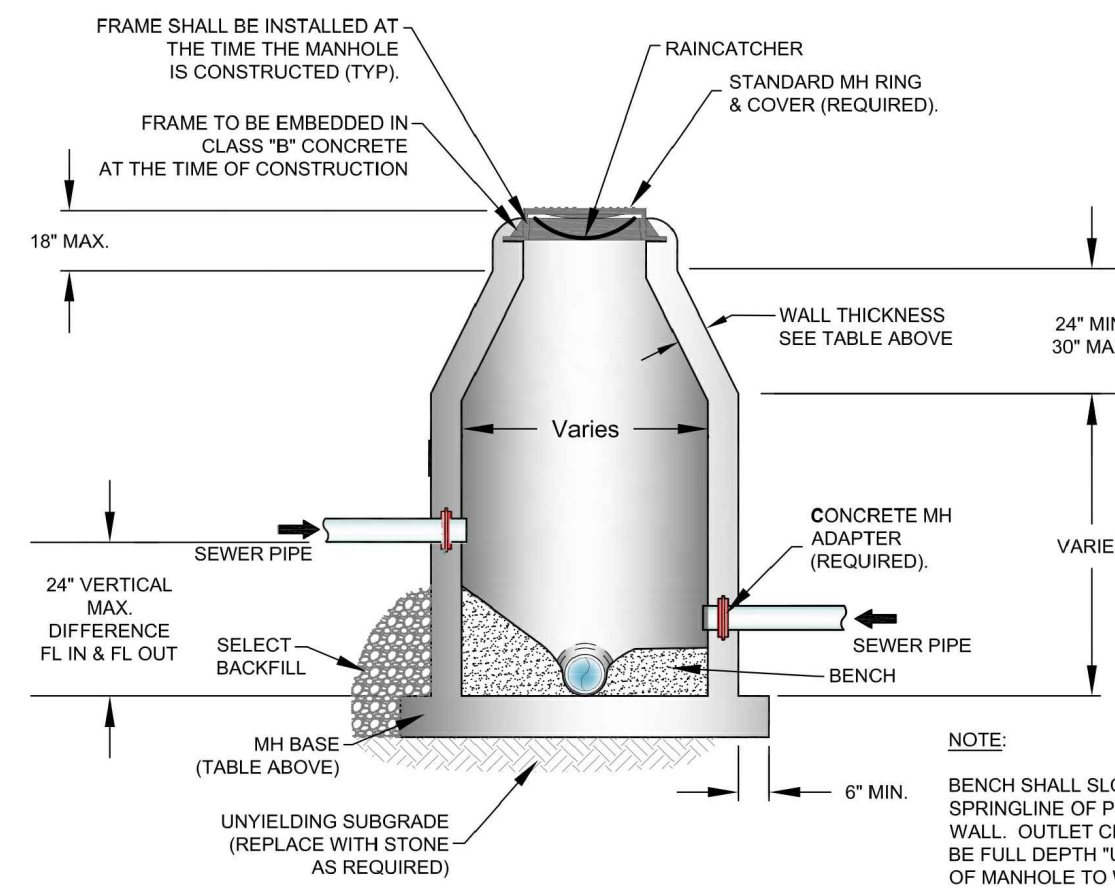
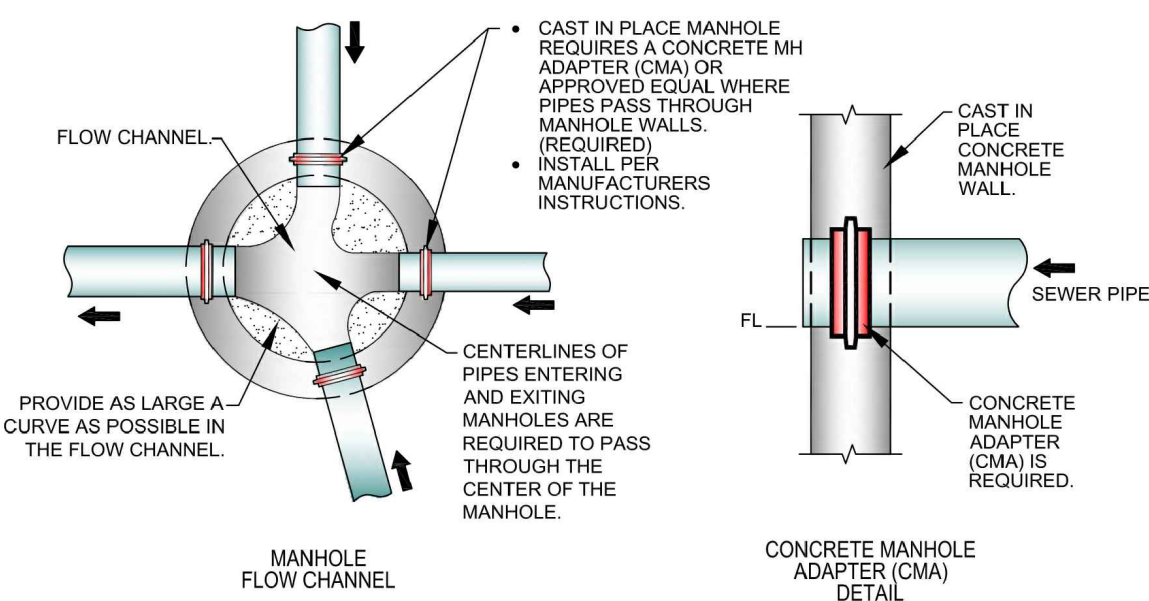
	CITY OF BRYANT, AR	TITLE: SEWER DETAILS	DATE: APRIL 2015	SHEET:
	WATER UTILITIES	DESCRIPTION:		
	210 S.W. 3rd, STREET	SEWER TRENCH (NON-PAVED AREA)		
	BRYANT, AR			
	PHONE: (807) 844-0468			
		DRAWN BY:	CHECKED BY:	FILE: S-Sewer Trench (Non-Paved Area).dwg

 CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 943-0468	TITLE: SEWER DETAILS	DATE: APRIL 2015	SHEET:
	DESCRIPTION: SEWER TRENCH (UNDER PAVEMENT)	REVISED	S2
DRAWN BY:	CHECKED BY:	FILE: S2-Sewer Trench (Under Pavement).dwg	


 CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 343-0468	TITLE: SEWER DETAILS		DATE: APRIL 2015	SHEET:
	DESCRIPTION:		REVISED	
	SEWER MAIN INSTALLATION		_____	
	PRIOR TO ROADWAY CONSTRUCTION		_____	
DRAWN BY: _____ CHECKED BY: _____ FILE: S3-Sewer Main Installation Prior to Roadway Const.dwg				

Inside Diameter of Manhole	Minimum Wall Thickness	Base Thickness	Minimum Ring & Cover Size
4' DIA	6"	6"	24" (< or Equal to 24" Pipes)
5' DIA	8"	8"	
6' DIA	8"	12"	36" (> 24" Pipes)

MANHOLE INFORMATION TABLE

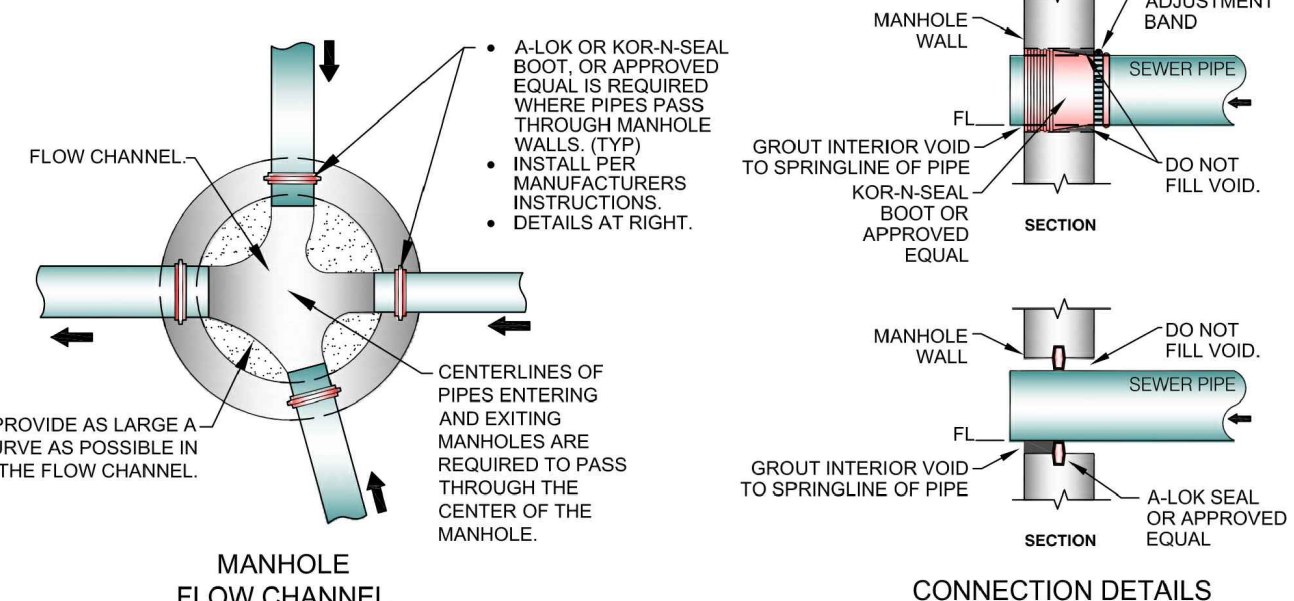


CAST-IN-PLACE MANHOLE

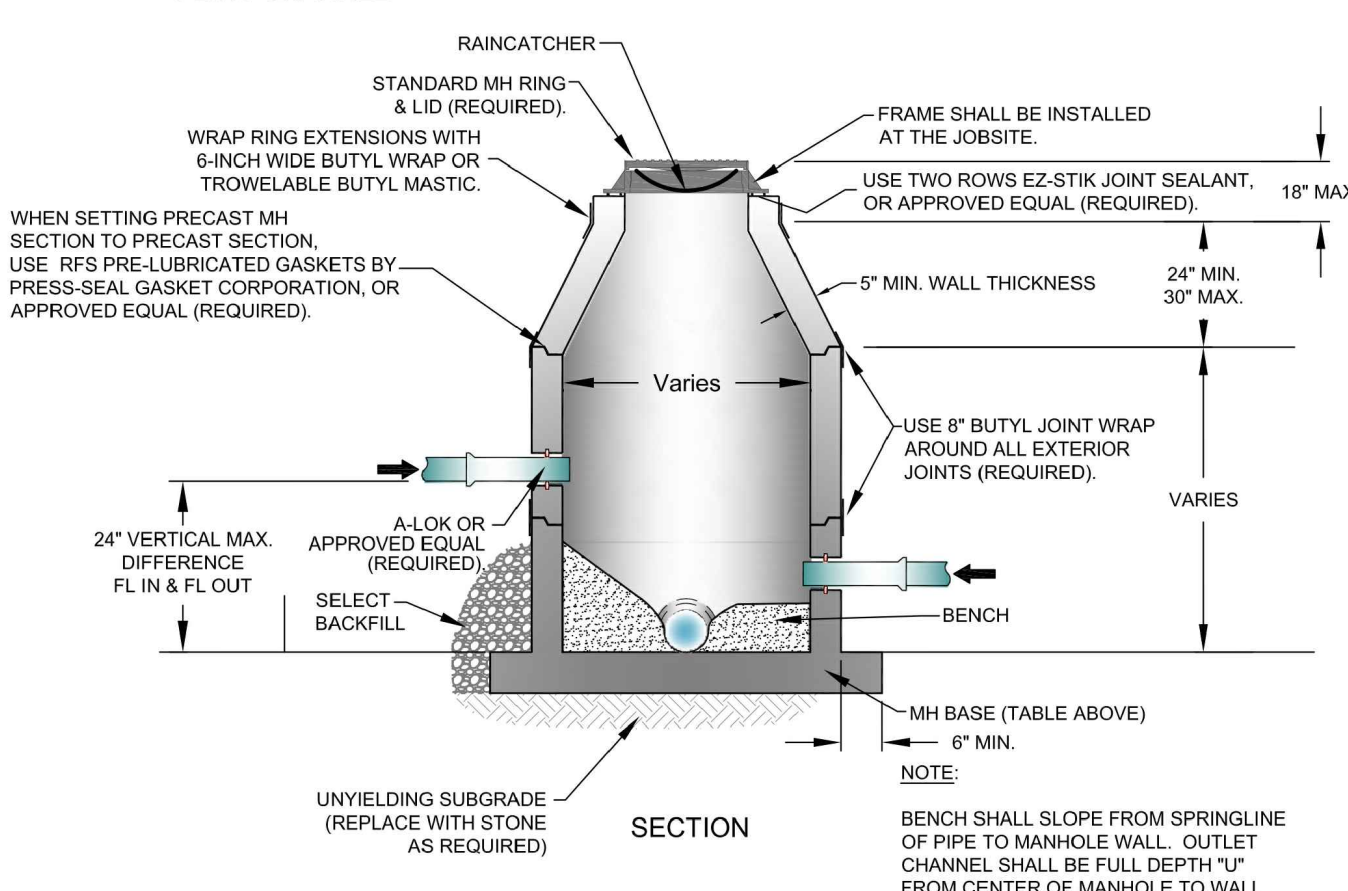
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		DESCRIPTION:	REVISED	<div style="font-size: 48pt; font-weight: bold; text-align: center;">S4</div>
		CAST-IN-PLACE MANHOLE		
		DRAWN BY:	CHECKED BY:	

Inside Diameter of Manhole	Minimum Wall Thickness	Base Thickness	Minimum Ring & Cover Size
4' DIA	5"	6"	24' (< or Equal to 24" Pipes)
5' DIA	7"	8"	
6' DIA	7"	8"	36' (> 24" Pipes)


MANHOLE INFORMATION TABLE

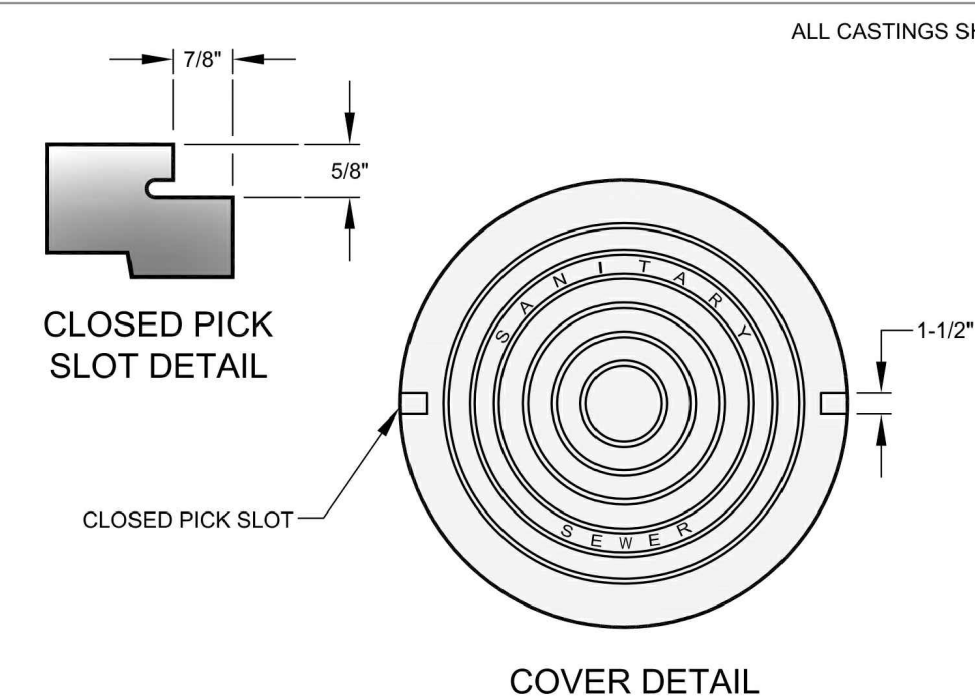


CONNECTION DETAILS



PRECAST MANHOLE

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 463-6000	TITLE: SEWER DETAILS DESCRIPTION: PRECAST MANHOLE	DATE: APRIL 2015 REVISED	SHEET: S5

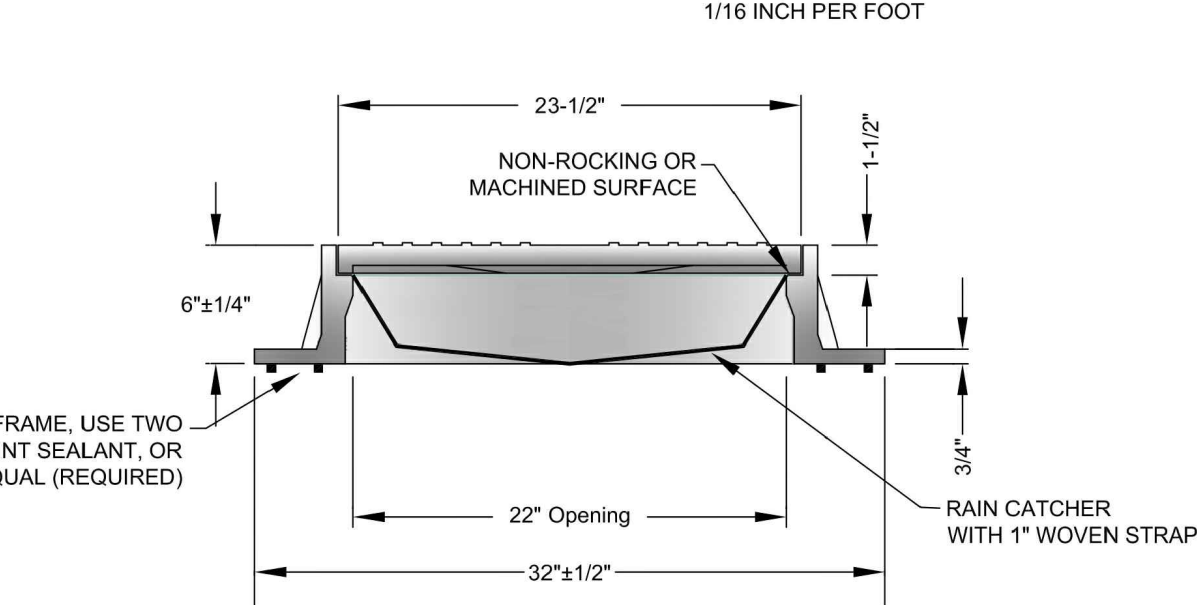


COVER DETAIL


1. MINIMUM WEIGHT OF RING: 100 POUNDS
2. MINIMUM WEIGHT OF COVER: 110 POUNDS
3. COVERS ARE FURNISHED WITH TWO CLOSED PICK SLOTS
4. CASTINGS SHALL BE "MADE IN USA"


DIMENSIONAL TOLERANCES

SHALL NOT EXCEED




FRAME AND COVER DETAIL

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 845-0440	TITLE: SEWER DETAILS	DATE: APRIL 2019	SHEET:
		DESCRIPTION: MANHOLE FRAME AND COVER	REVISED:	<div style="font-size: 48pt; font-weight: bold;">S6</div>
DRAWN BY: _____ CHECKED BY: _____ FILED BY: <i>Shalonda Eason and Coauthors</i>				



11-25-2025



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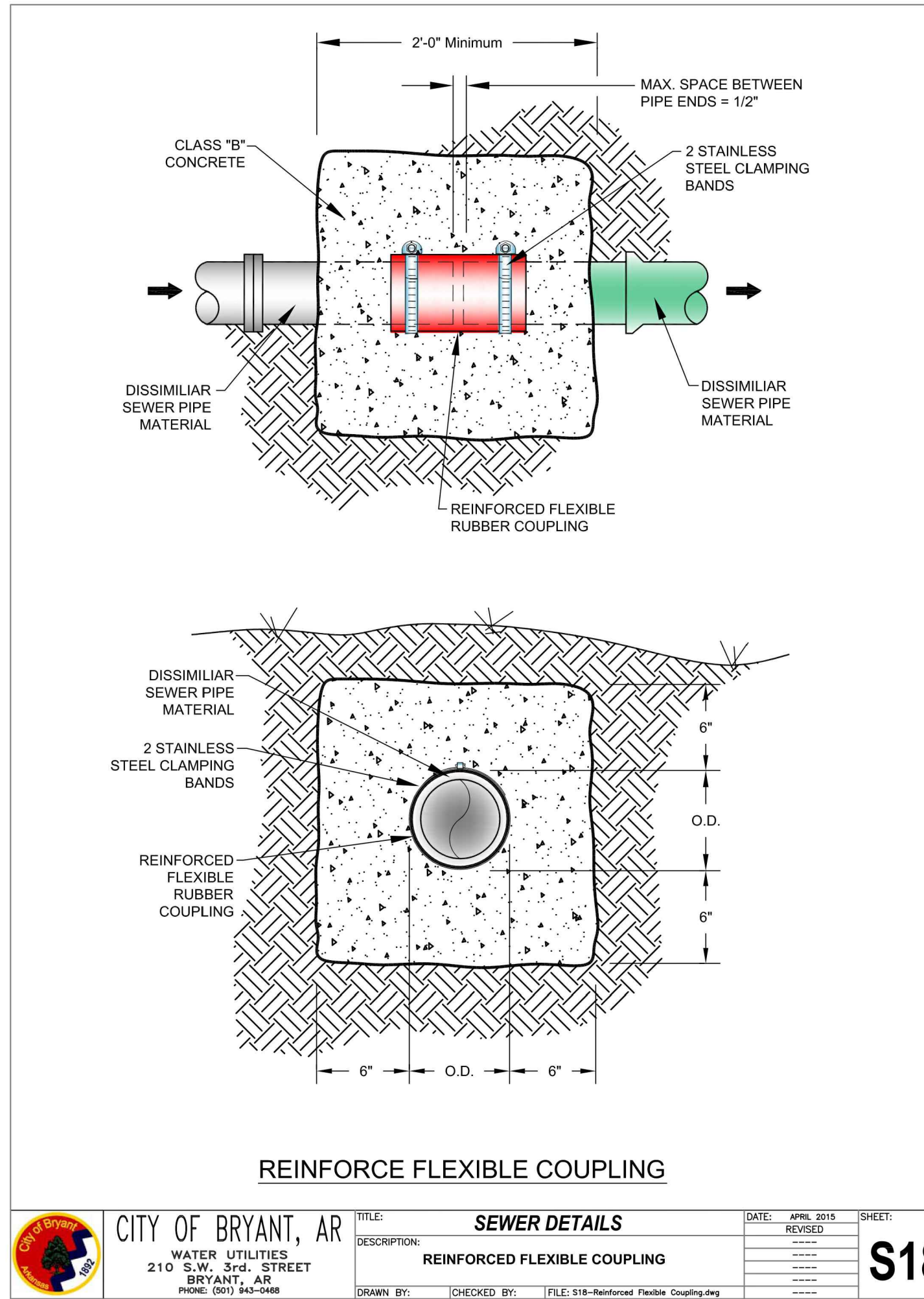
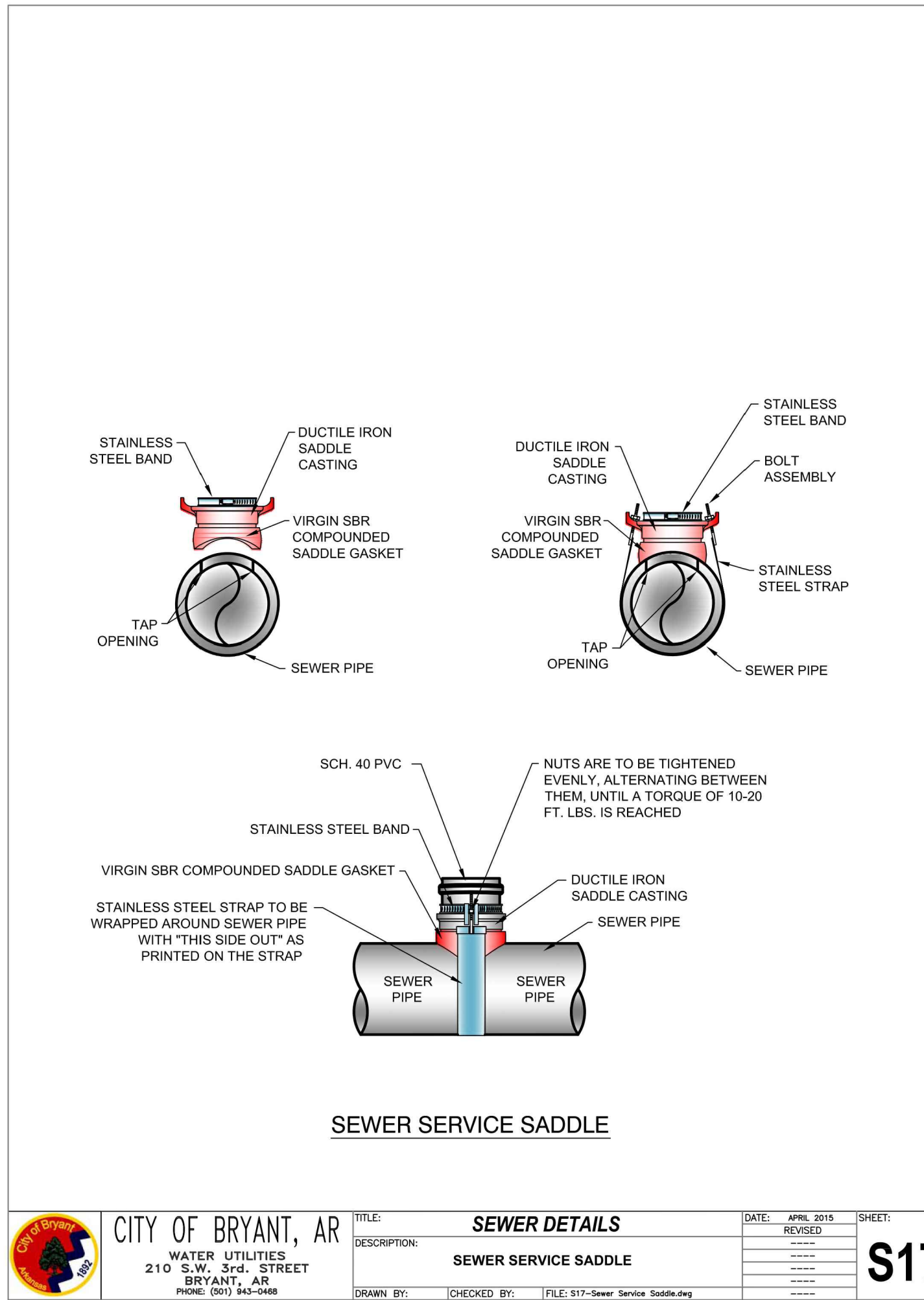
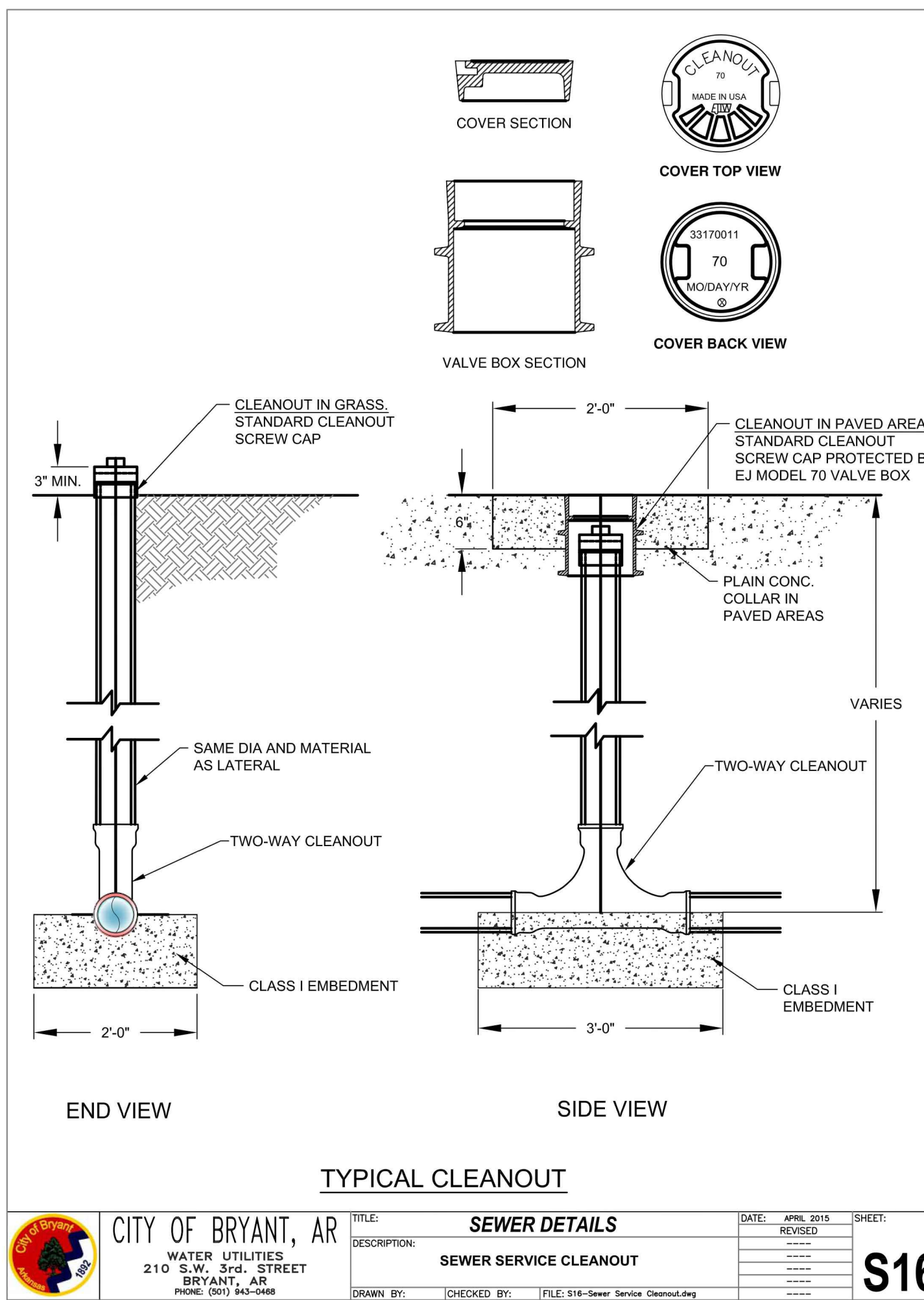
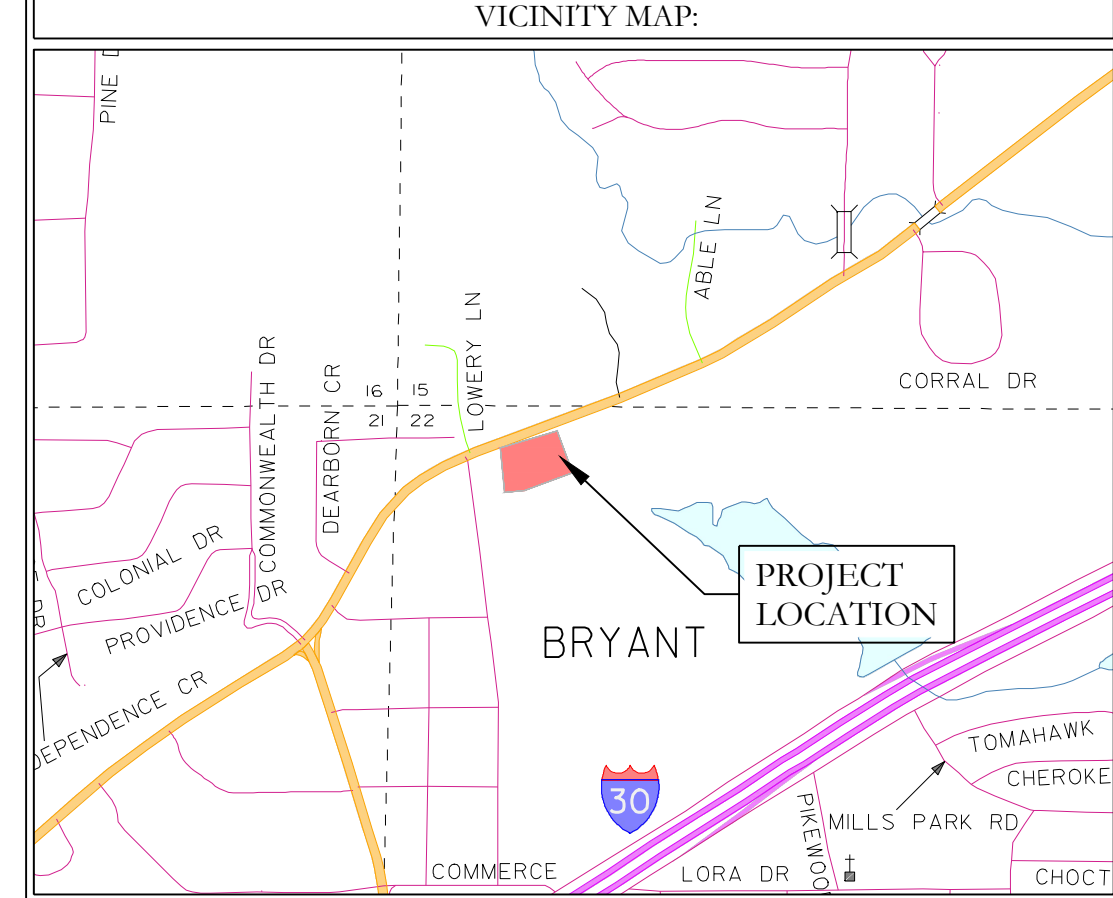
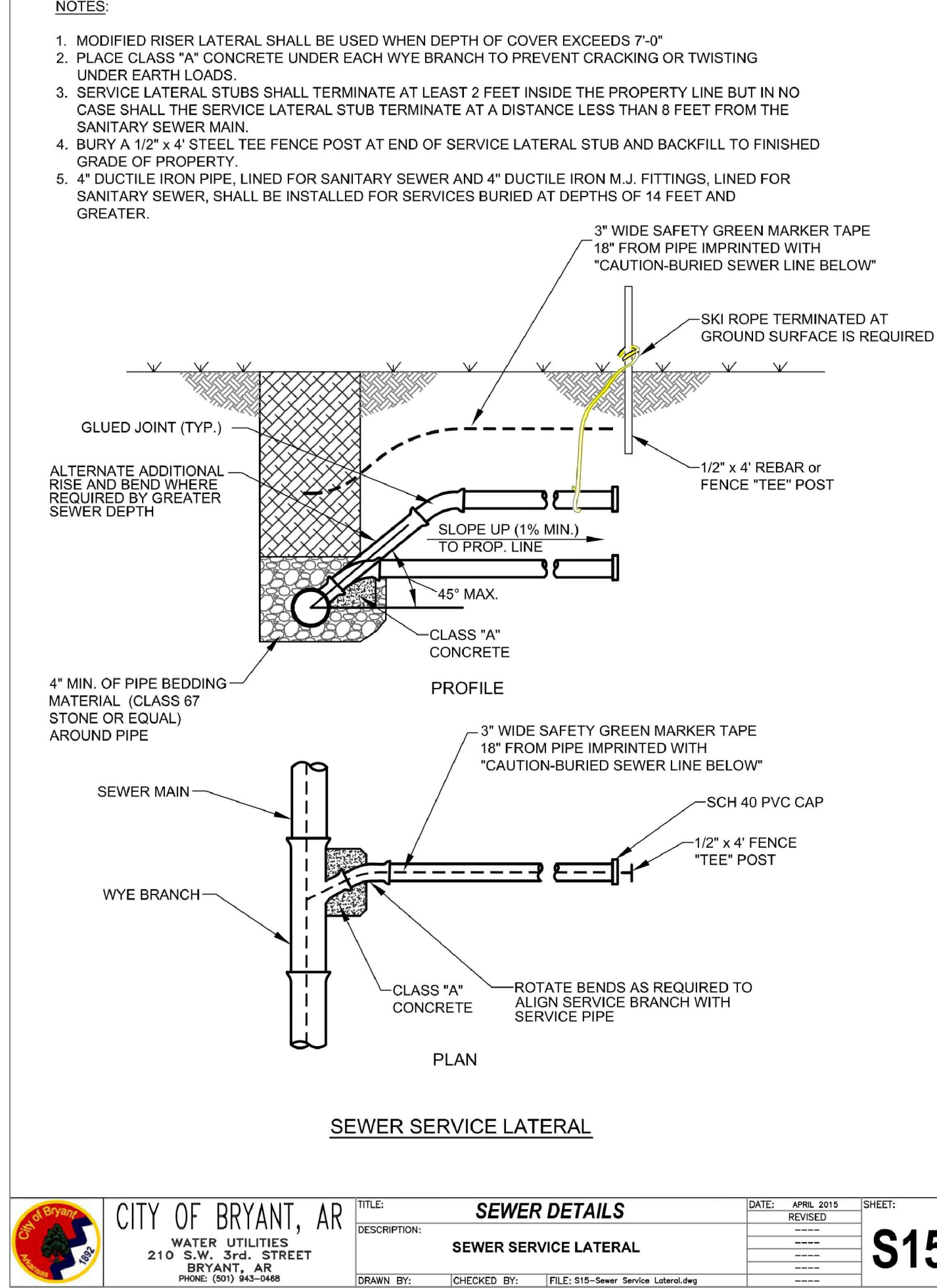
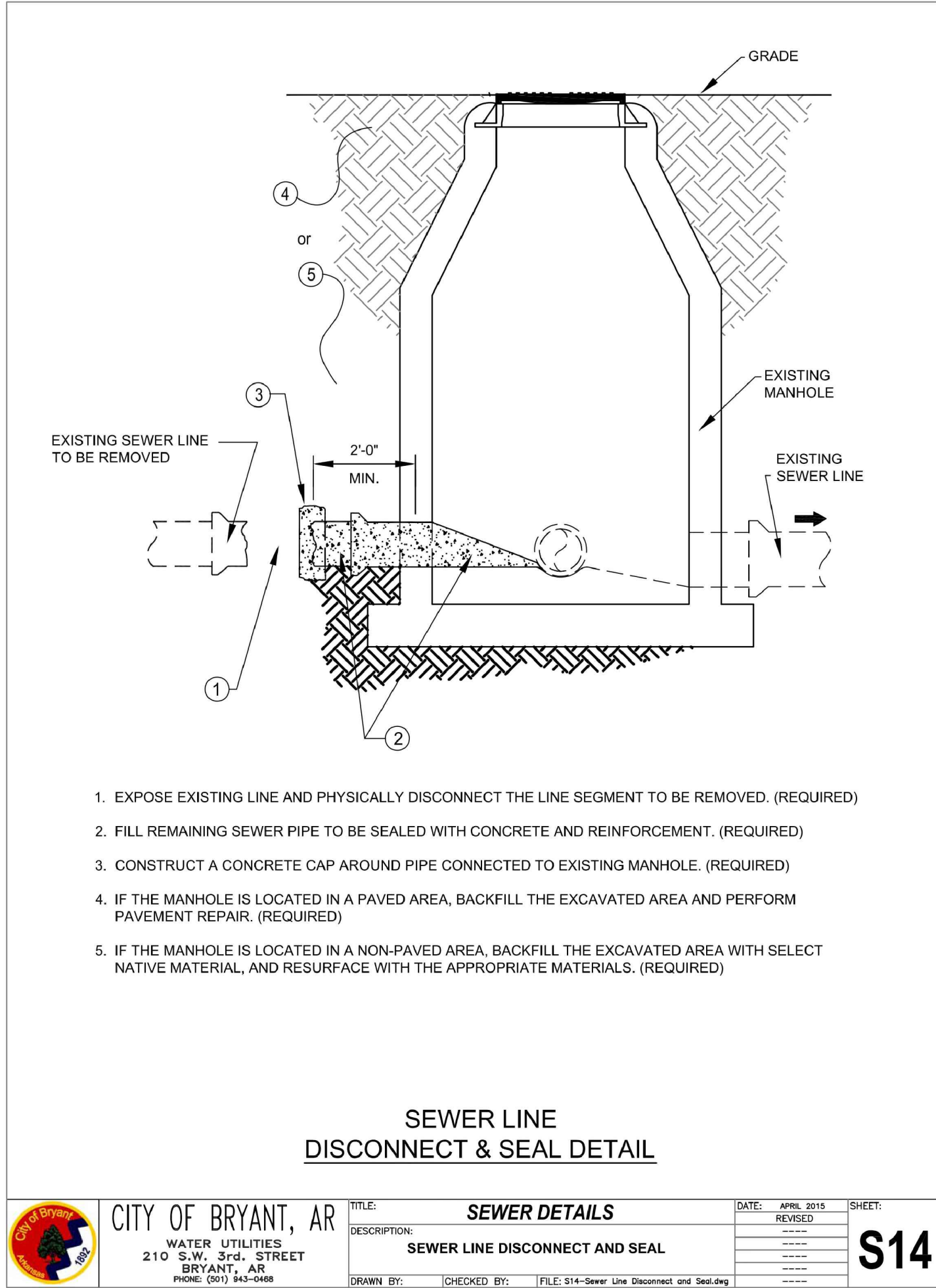
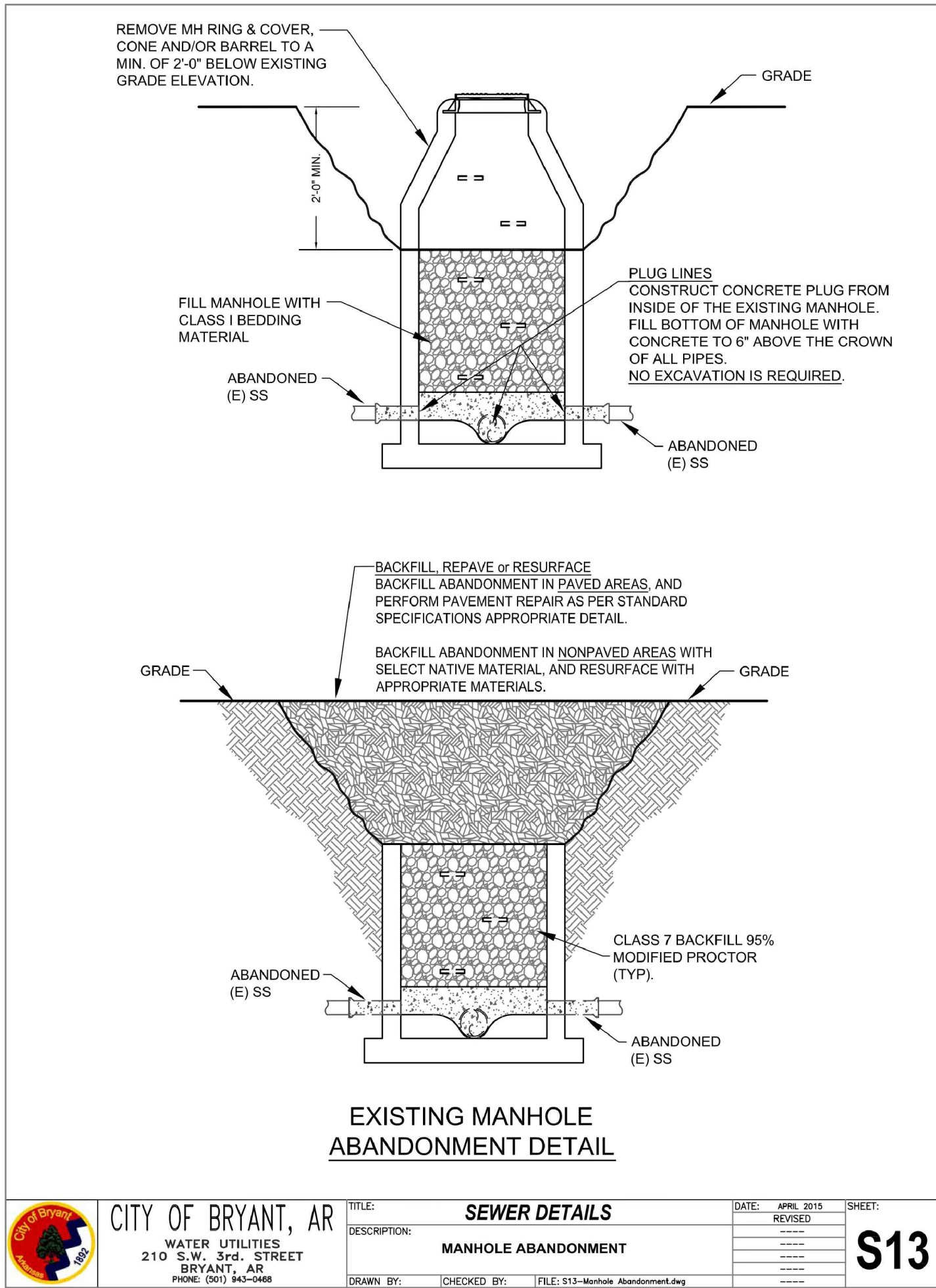
MARKET PLACE II

SEWER DETAILS 1

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

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REVISED:	CHECKED BY:	
SHEET:	SCALE:	

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**MARKET PLACE II
SEWER DETAILS 3**

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:	DRAWING NUMBER:
REVISION:		CHECKED BY:	25-0608
SHEET:	C-3.3	SCALE:	

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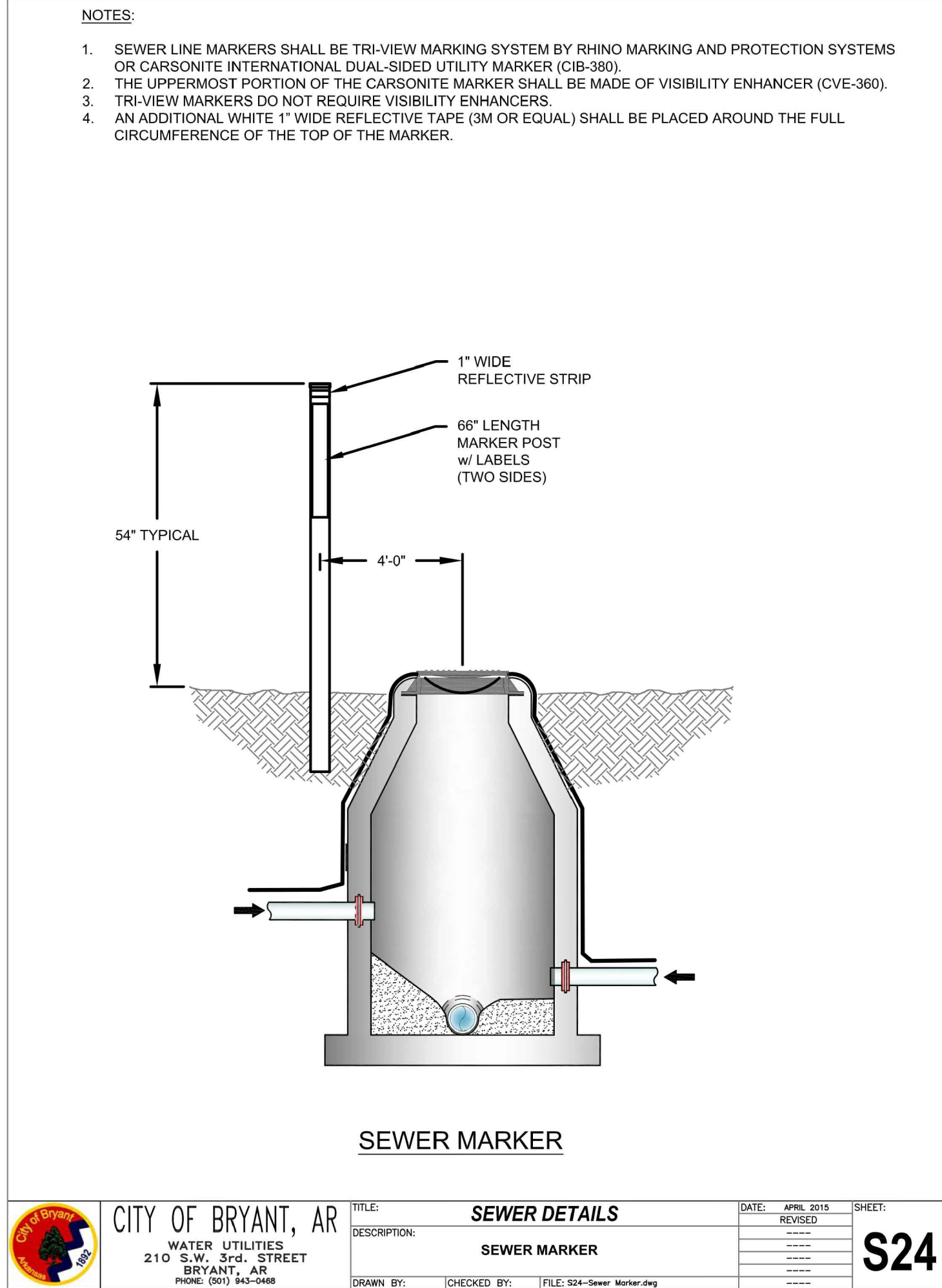
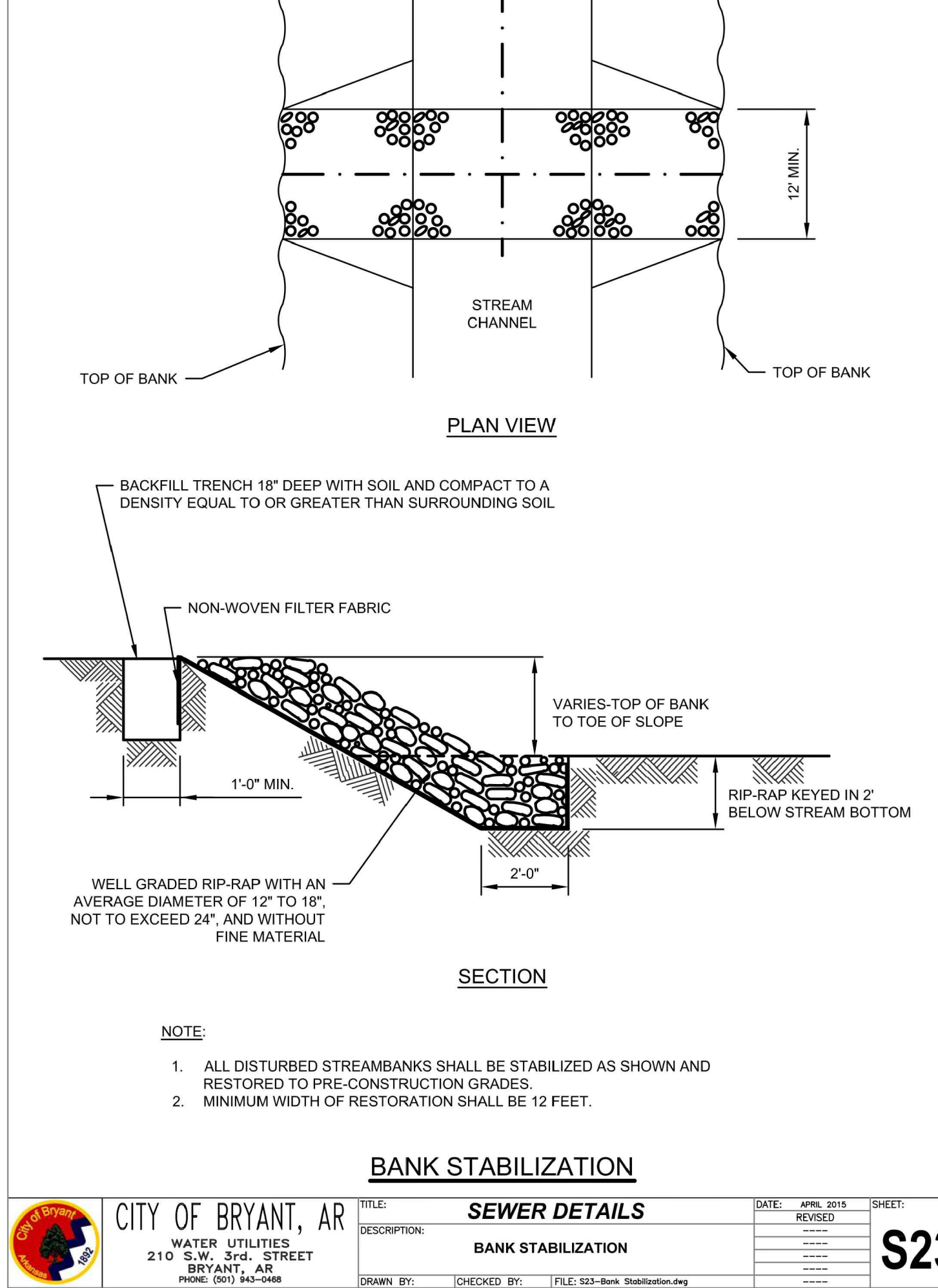
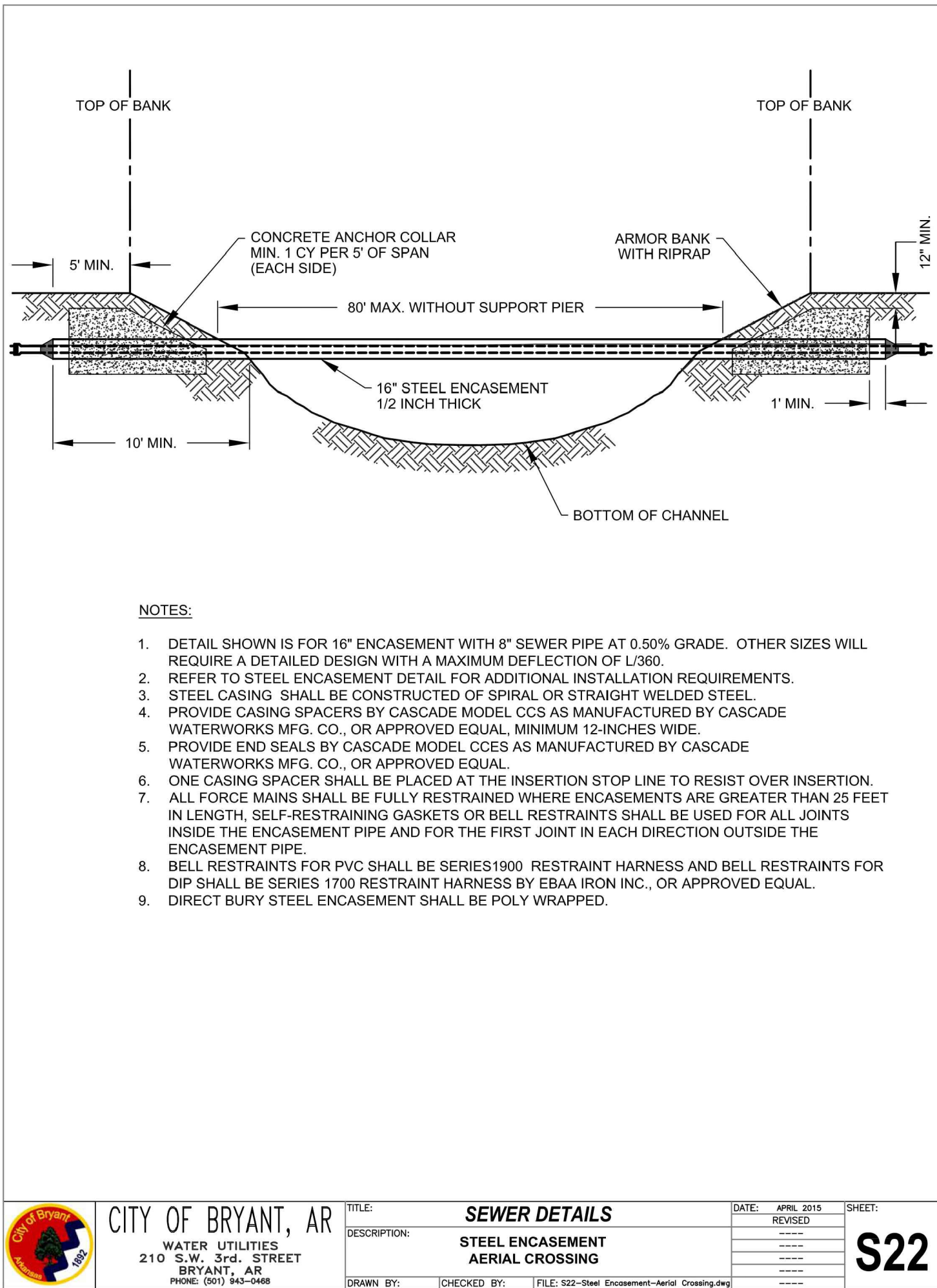
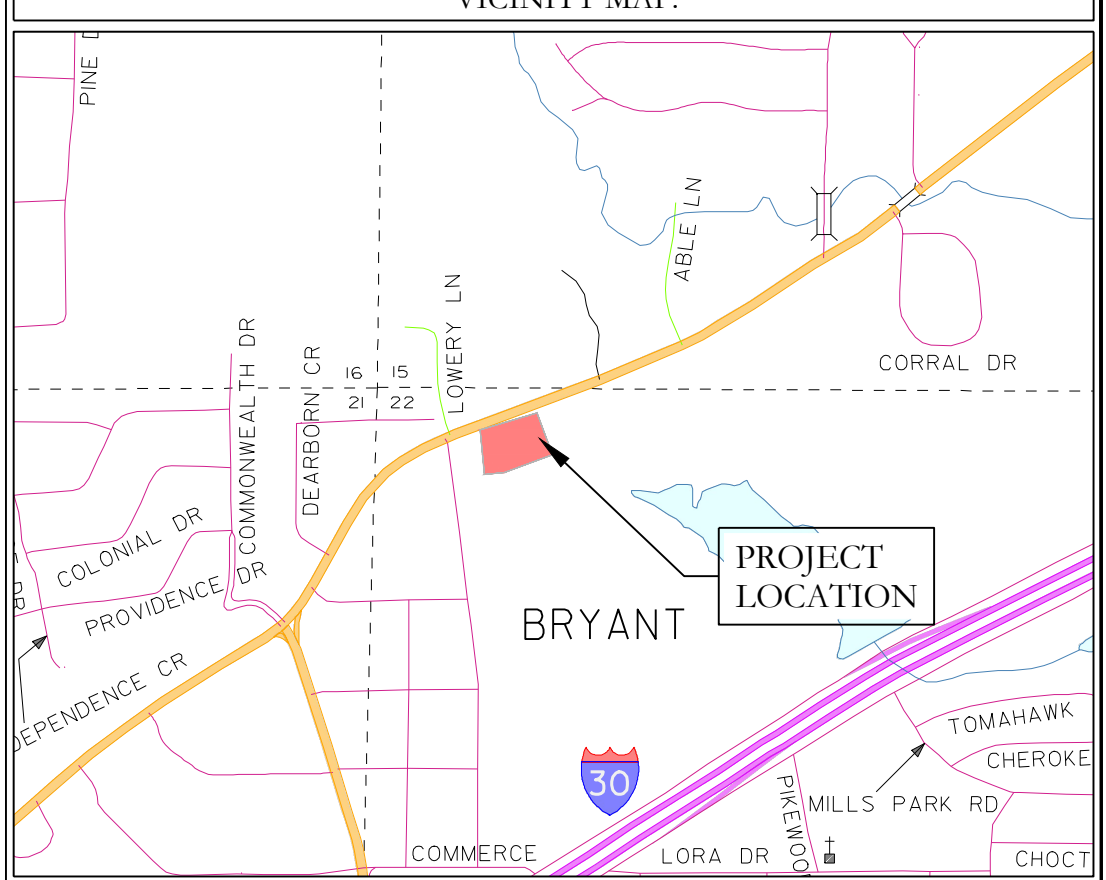
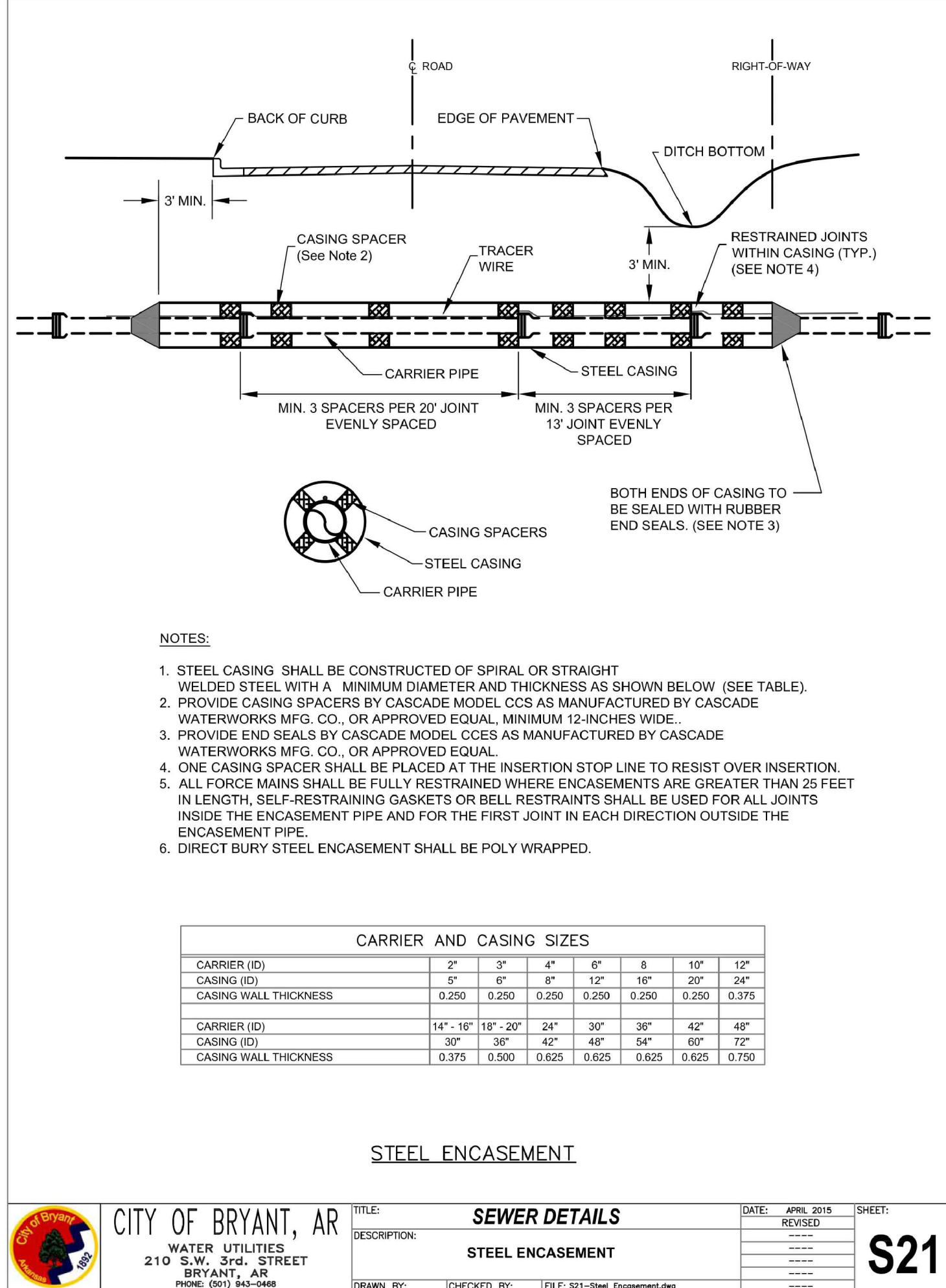
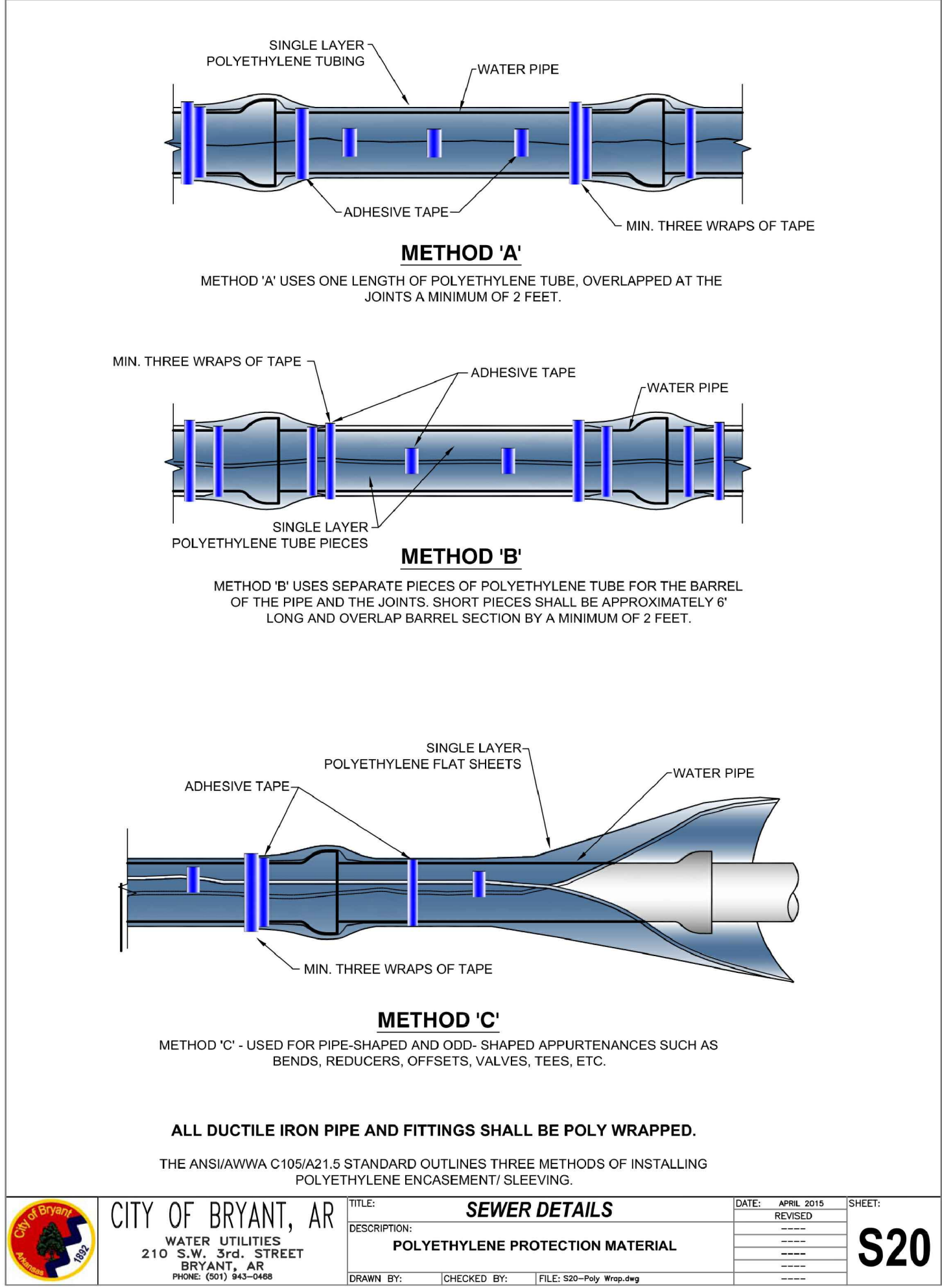
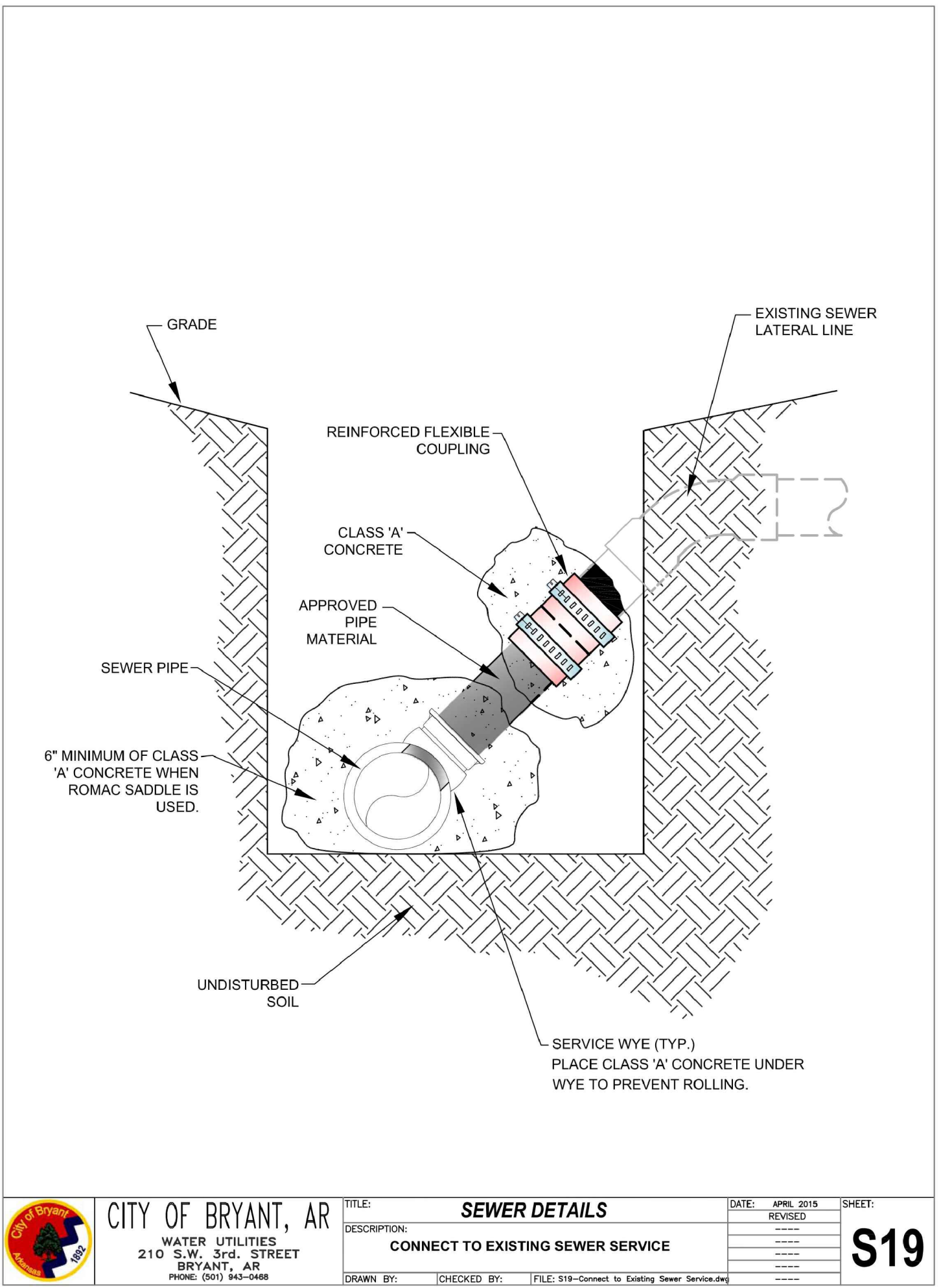
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VICINITY MAP:

PROJECT LOCATION

BRYANT

COMMERCE

LORA DR

CHOCT

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MARKET PLACE II
SEWER DETAILS 4

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25 C.A.D. BY: DRAWING NUMBER:
REVISED: CHECKED BY: 25-0608
SHEET: C-3.4 SCALE:


500 01S 14W 0 22 440 62 1762

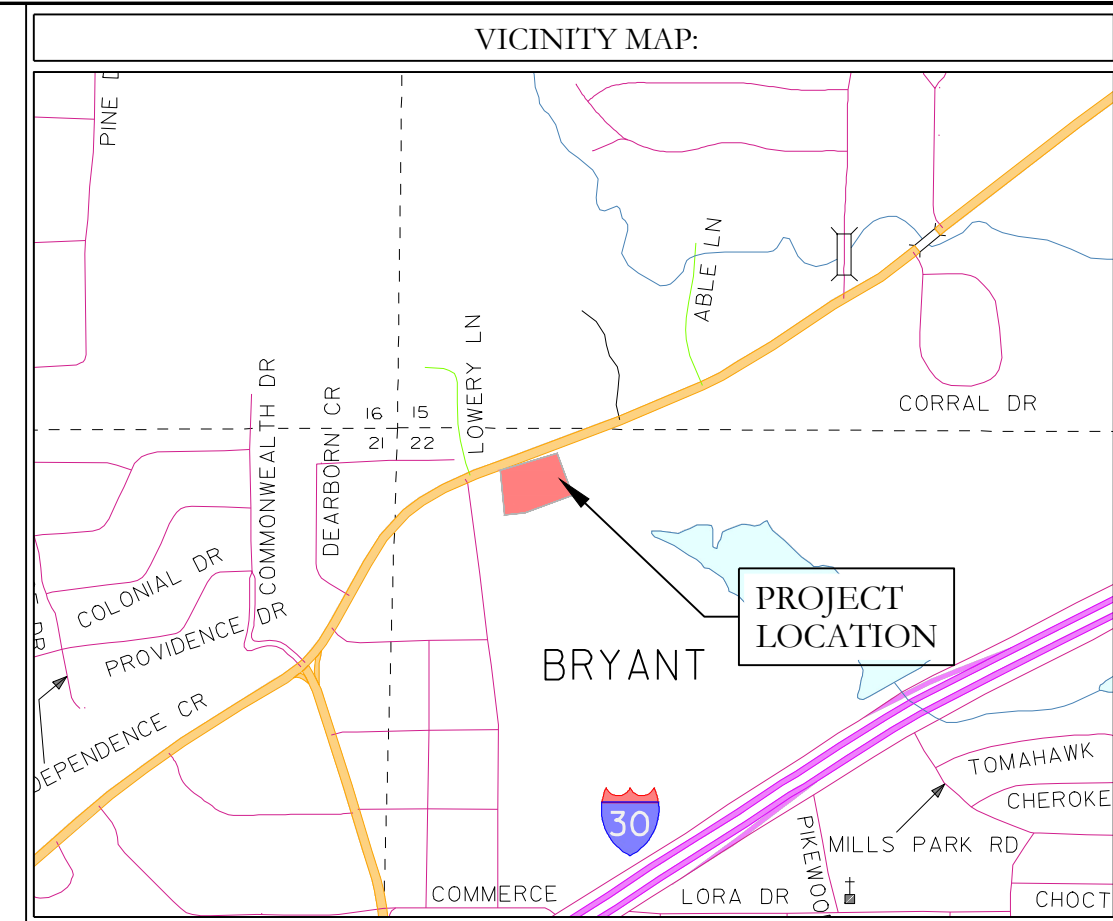
 CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 343-0468	TITLE: SEWER DETAILS	DATE: APRIL 2015	SHEET:
	DESCRIPTION: FORCE MAIN THRUST BLOCKING	REVISED _____ _____ _____	S25
DRAWN BY:	CHECKED BY:	FILE: SSW-Thrust Blocking.dwg	

AIR RELEASE VALVE


	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3RD. STREET BRYANT, AR PHONE (501) 843-0488	TITLE: SEWER DETAILS	DATE: APRIL 2015	SHEET:	
		DESCRIPTION:	REVISED	S26	
		AIR RELEASE VALVE			
		DRAWN BY:	CHECKED BY:		FILE: S26-Air Release Valve.dwg

CONCRETE ENCASEMENT

	CITY OF BRYANT, AR	TITLE: SEWER DETAILS DESCRIPTION: CONCRETE ENCASEMENT DETAIL	DATE: APRIL 2015 _____ _____ _____ _____ _____	SHEET: _____ _____ _____ _____ _____	
	WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 845-0408				




EMERGENCY PUMP CONNECTION DETAILS

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR 72015-0044	TITLE: SEWER DETAILS	DATE: APRIL 2018	SHEET:
		DESCRIPTION:	REVISED	S28
		EMERGENCY PUMP CONNECTION		
		DRAWN BY:	CHECKED BY:	


NOTES

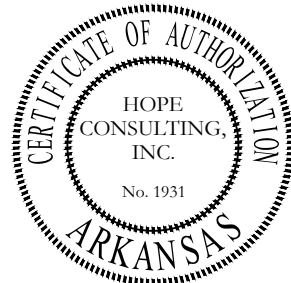
1. ALL VALVES SHALL BE SECURELY ANCHORED TO THE TEE.
2. ALL HARDWARE SHALL BE 316 STAINLESS STEEL.
3. IF DEPTH OF BURY EXCEEDS 4 FT., A VALVE STEM EXTENSION SHALL BE REQUIRED. THE VALVE STEM EXTENSION NUT SHALL BE WITHIN 24-INCHES TO 12-INCHES OF THE FINISHED SURFACE.

GATE VALVE DETAIL
2" - 12"

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR 72015 (501) 336-2400	TITLE: SEWER DETAILS	DATE: APRIL 2015	SHEET: <div style="font-size: 2em; font-weight: bold;">S29</div>
		DESCRIPTION: GATE VALVE	REVISED	

3-WAY GATE VALVE DETAIL

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR P.O. BOX 14000	TITLE: SEWER DETAILS	DATE: APRIL 2015 REVISED	SHEET:
		DESCRIPTION:	3-WAY GATE VALVES	
		DRAWN BY:	CHECKED BY:	IN CHARGE:
			S30	



11-25-2025

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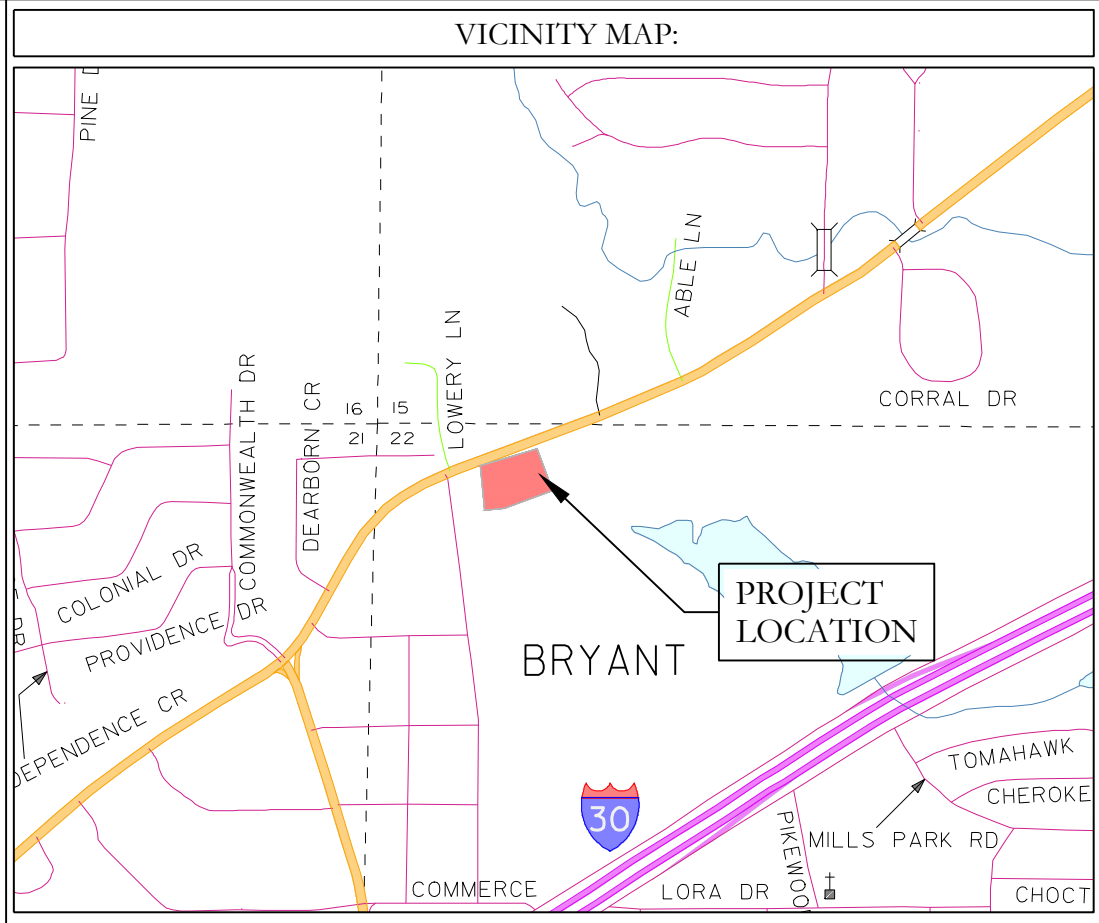
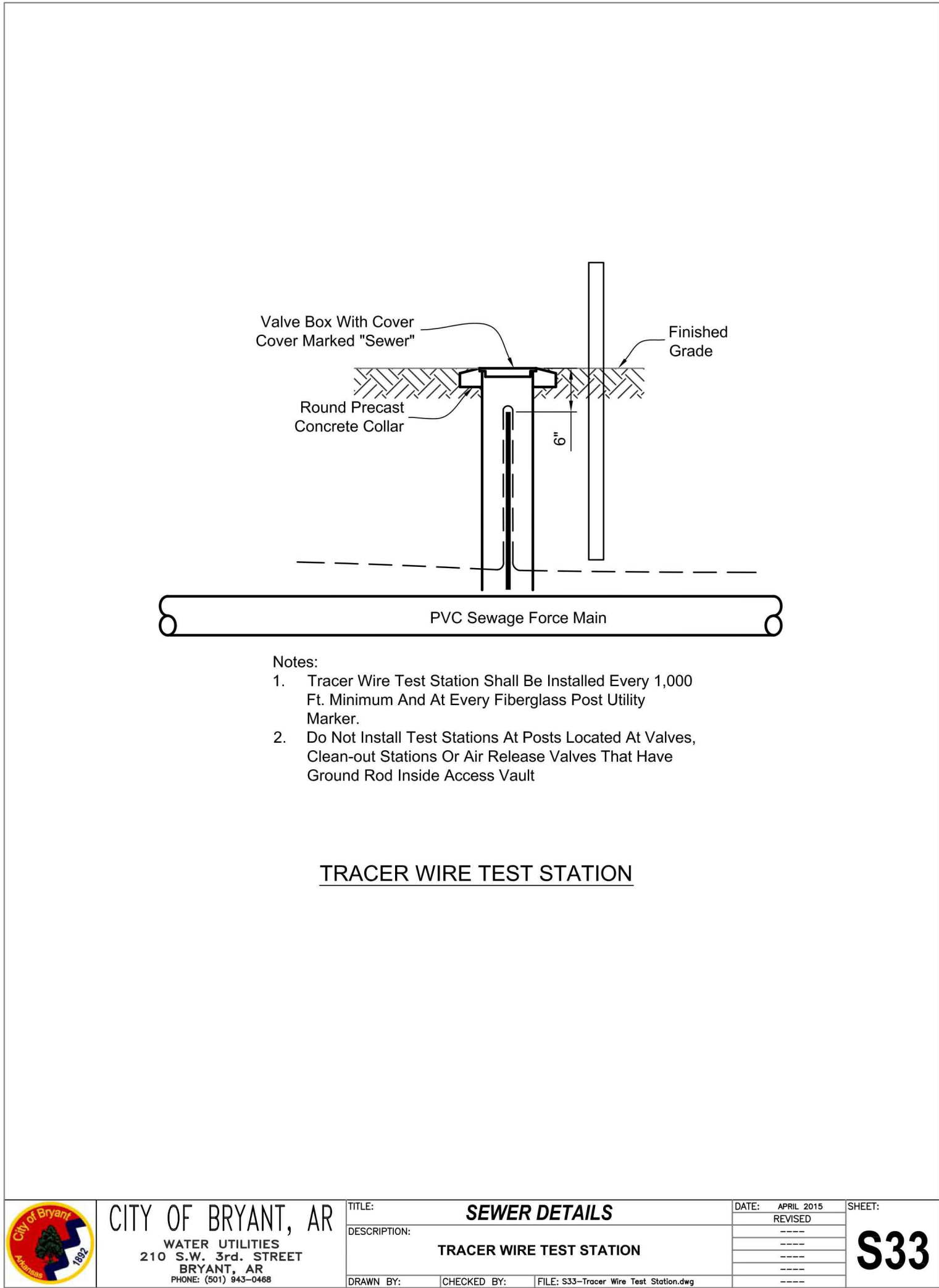
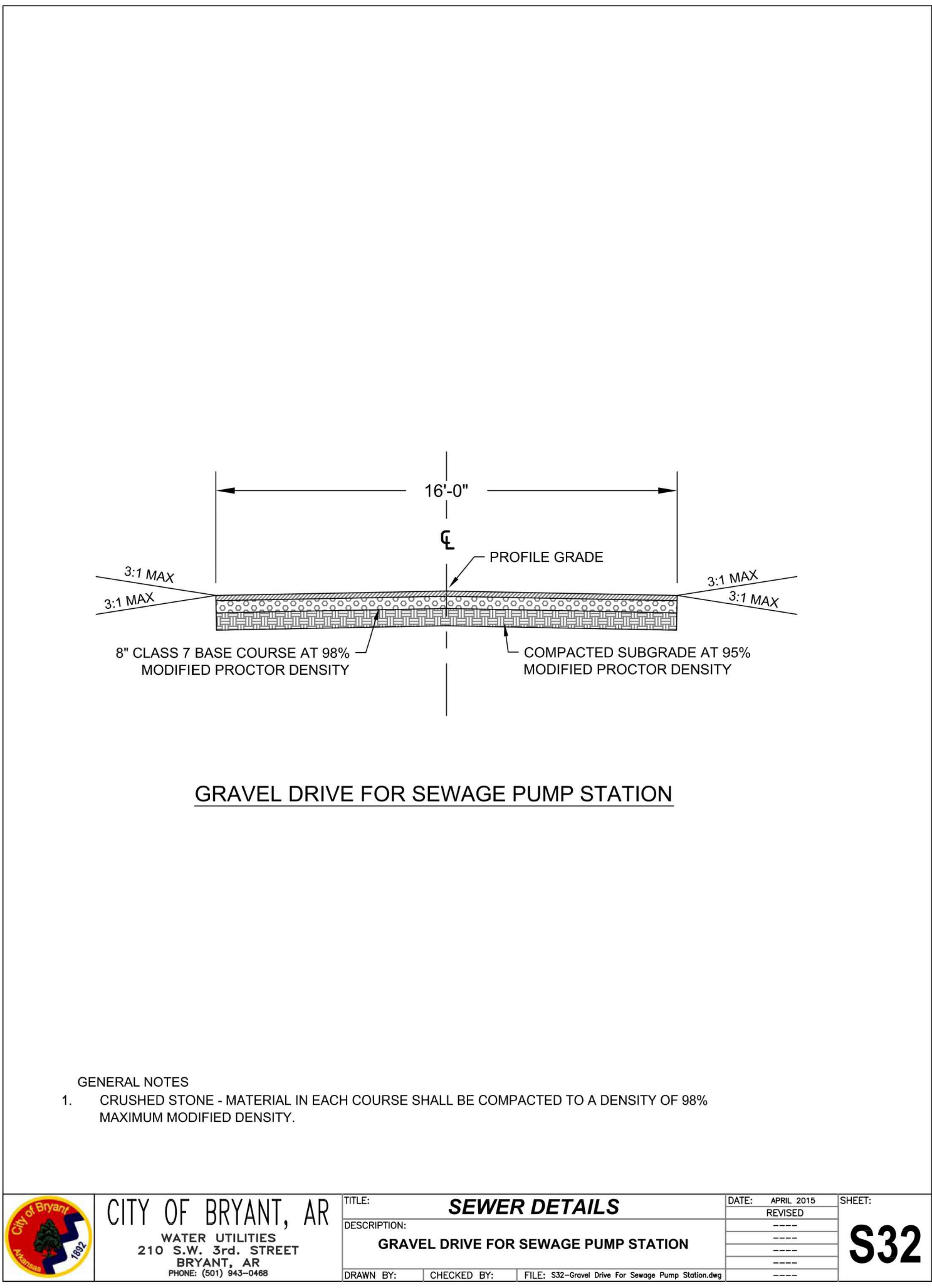
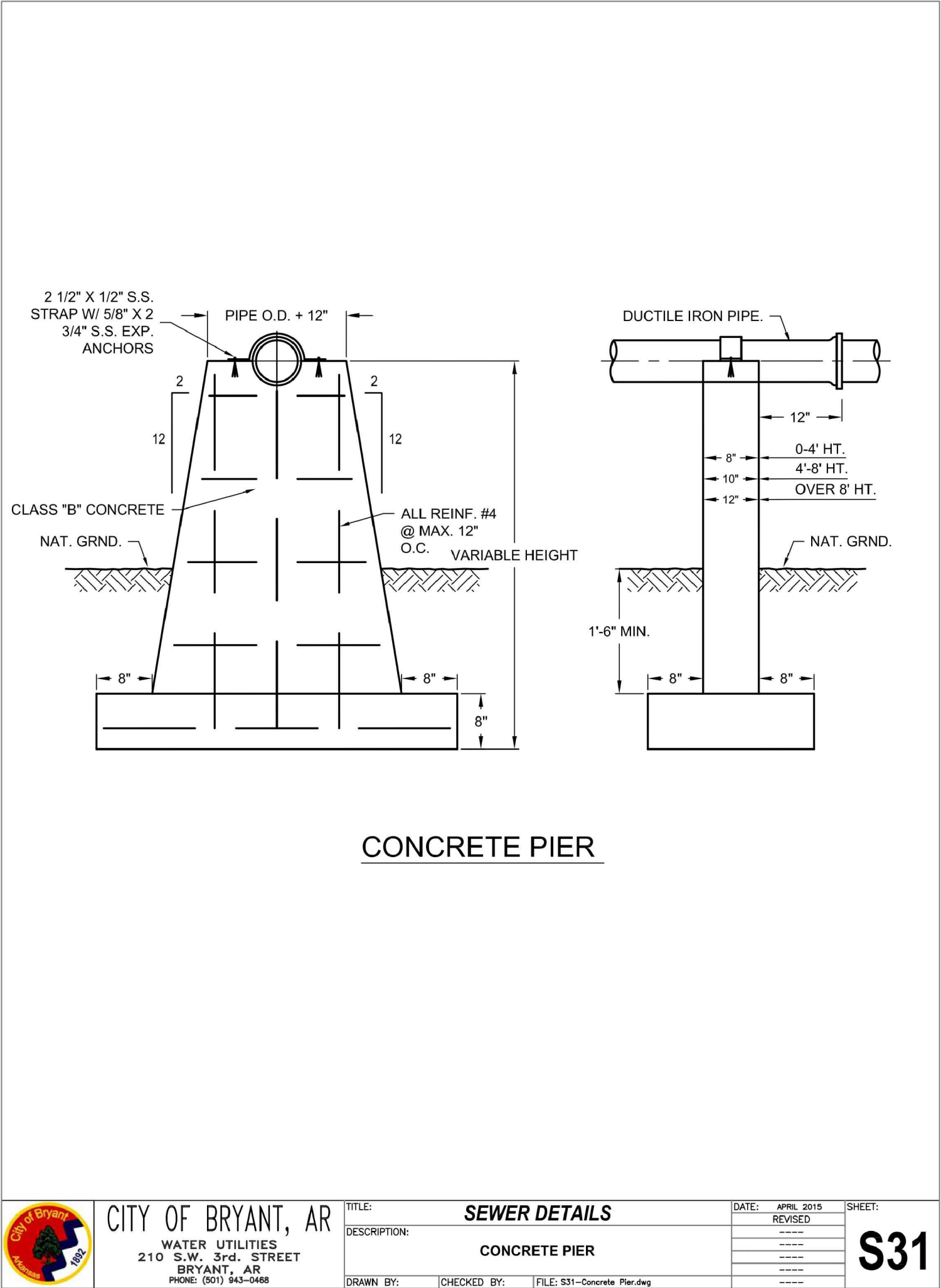
129 N. Main Street,
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FAX (501) 315-0024
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FOR USE AND BENEFIT OF:
RYE GENERAL CONTRACTORS

MARKET PLACE II
SEWER DETAILS 5

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25		C.A.D. BY:			DRAWING NUMBER: 25-0608		
REVISED:		CHECKED BY:					
SHEET: C-3.5		SCALE:					
500	01S	14W	0	22	440	62	1762



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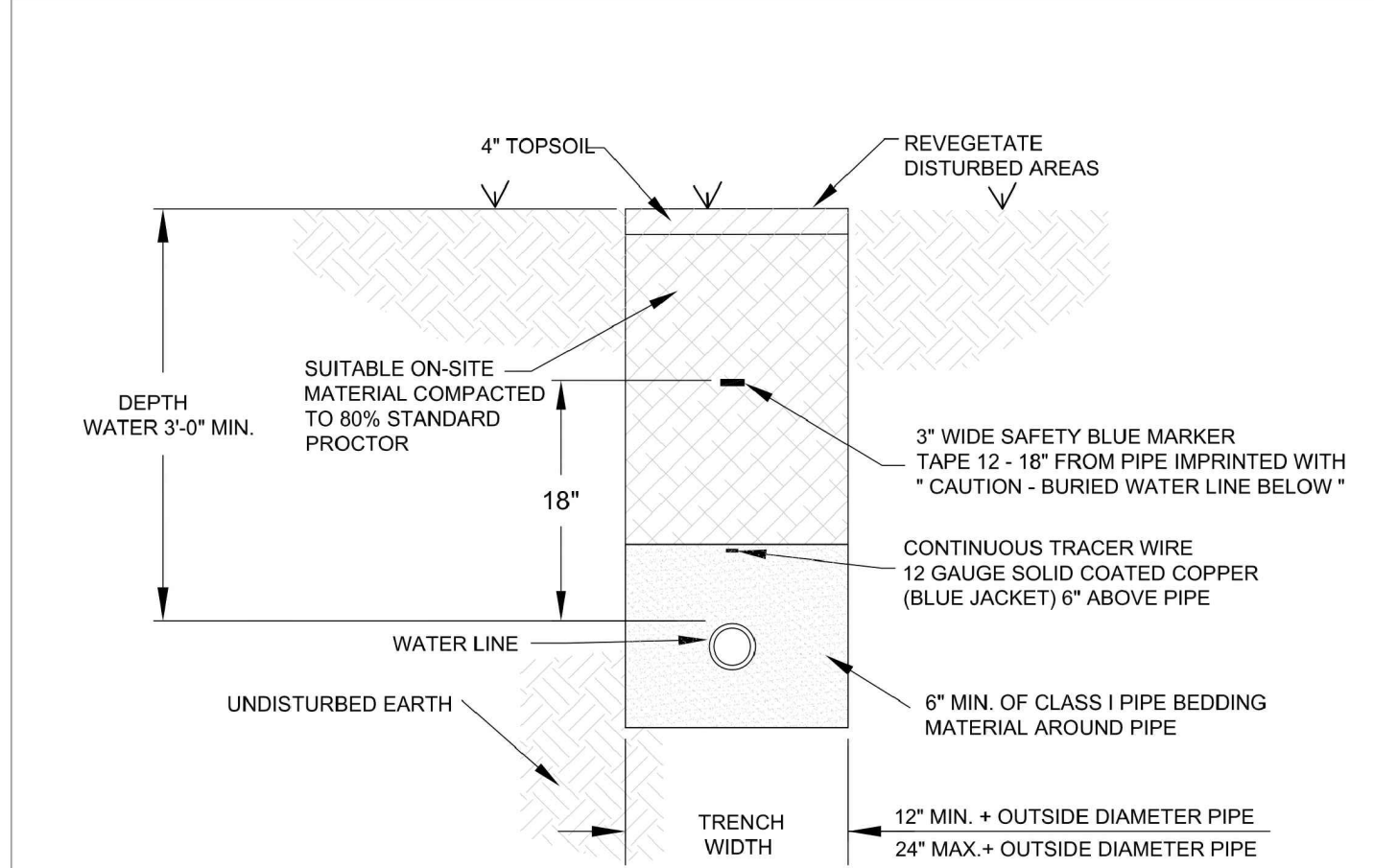
129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
RYE GENERAL CONTRACTORS

MARKET PLACE II
SEWER DETAILS 6

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:		DRAWING NUMBER:
REVISED:		CHECKED BY:		25-0608
SHEET:	C-3.6	SCALE:		
500	01S	14W	0 22 440 62 1762	

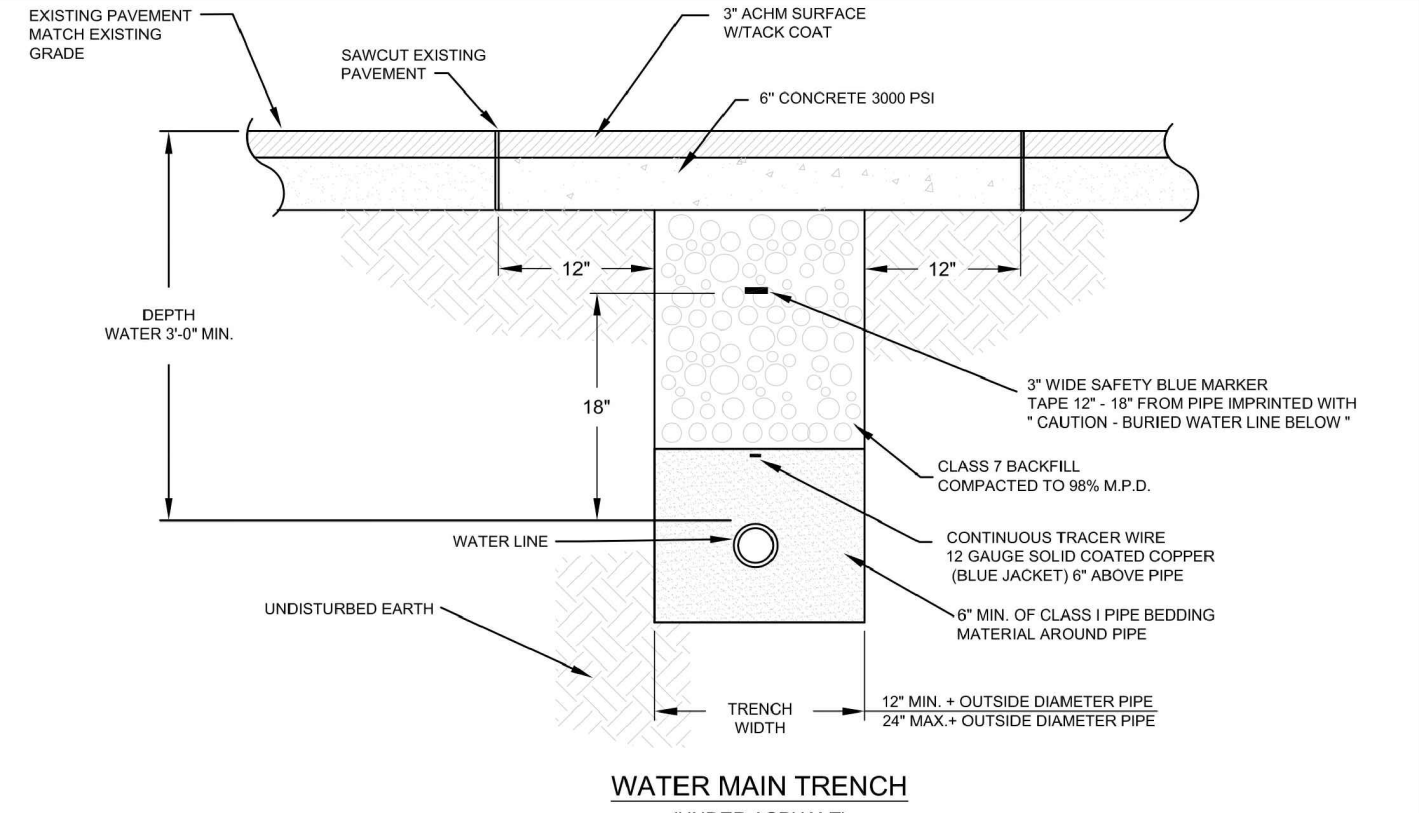


NOTES:

1. ALL VALVES, BENDS, ETC. SHALL BE RESTRAINED.
2. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING WATER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE WATER SYSTEM.
3. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
4. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.
5. MAXIMUM PIPE COVER SHALL BE 60" UNDER NORMAL CONDITIONS. COVER GREATER THAN 60" MAY BE ALLOWED FOR SHORT DISTANCES WHERE REQUIRED BY FIELD CONDITIONS. NO HYDRANT SHALL BE ALLOWED WHERE LINES ARE GREATER THAN 60" DEEP.

WATER MAIN TRENCH (NON-PAVED AREA)

CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd, STREET BRYANT, AR PHONE: (501) 843-0468	TITLE: WATER DETAILS DESCRIPTION: WATER MAIN TRENCH (NON-PAVED AREA) DRAWN BY: [] CHECKED BY: [] FILE: W1-Water Trench (Non-Paved Area).dwg	DATE: APRIL 2015 REVISED: [] SHEET: W1
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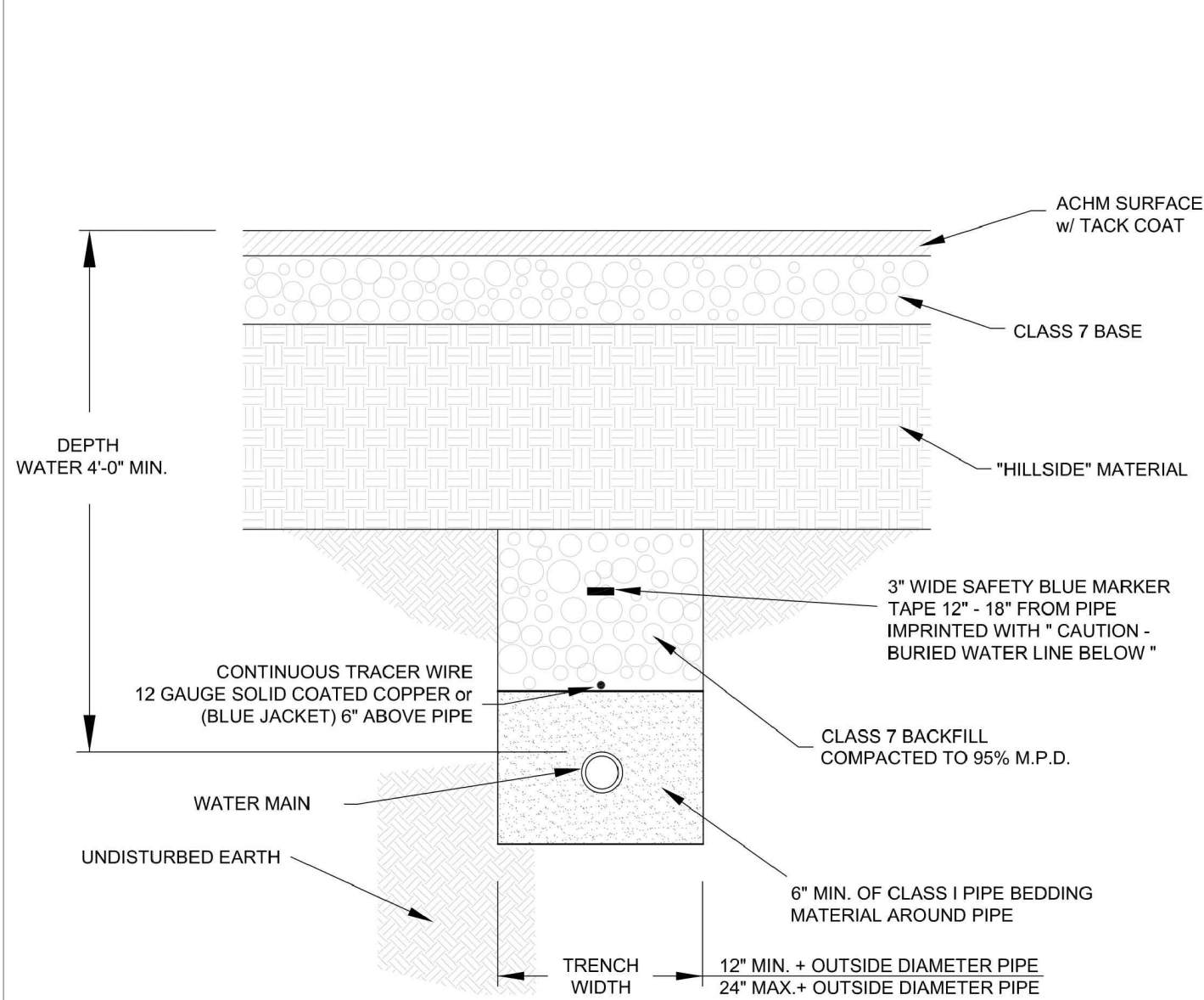


NOTES:

1. ALL VALVES, BENDS, ETC. SHALL BE RESTRAINED.
2. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING WATER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE WATER SYSTEM.
3. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
4. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.
5. MAXIMUM PIPE COVER SHALL BE 60" UNDER NORMAL CONDITIONS. COVER GREATER THAN 60" MAY BE ALLOWED FOR SHORT DISTANCES WHERE REQUIRED BY FIELD CONDITIONS. NO HYDRANT SHALL BE ALLOWED WHERE LINES ARE GREATER THAN 60" DEEP.

WATER MAIN TRENCH (UNDER CONCRETE)

CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd, STREET BRYANT, AR PHONE: (501) 843-0468	TITLE: WATER DETAILS DESCRIPTION: WATER MAIN TRENCH (UNDER PAVEMENT) DRAWN BY: [] CHECKED BY: [] FILE: W2-Water Trench (Under Pavement).dwg	DATE: APRIL 2015 REVISED: [] SHEET: W2
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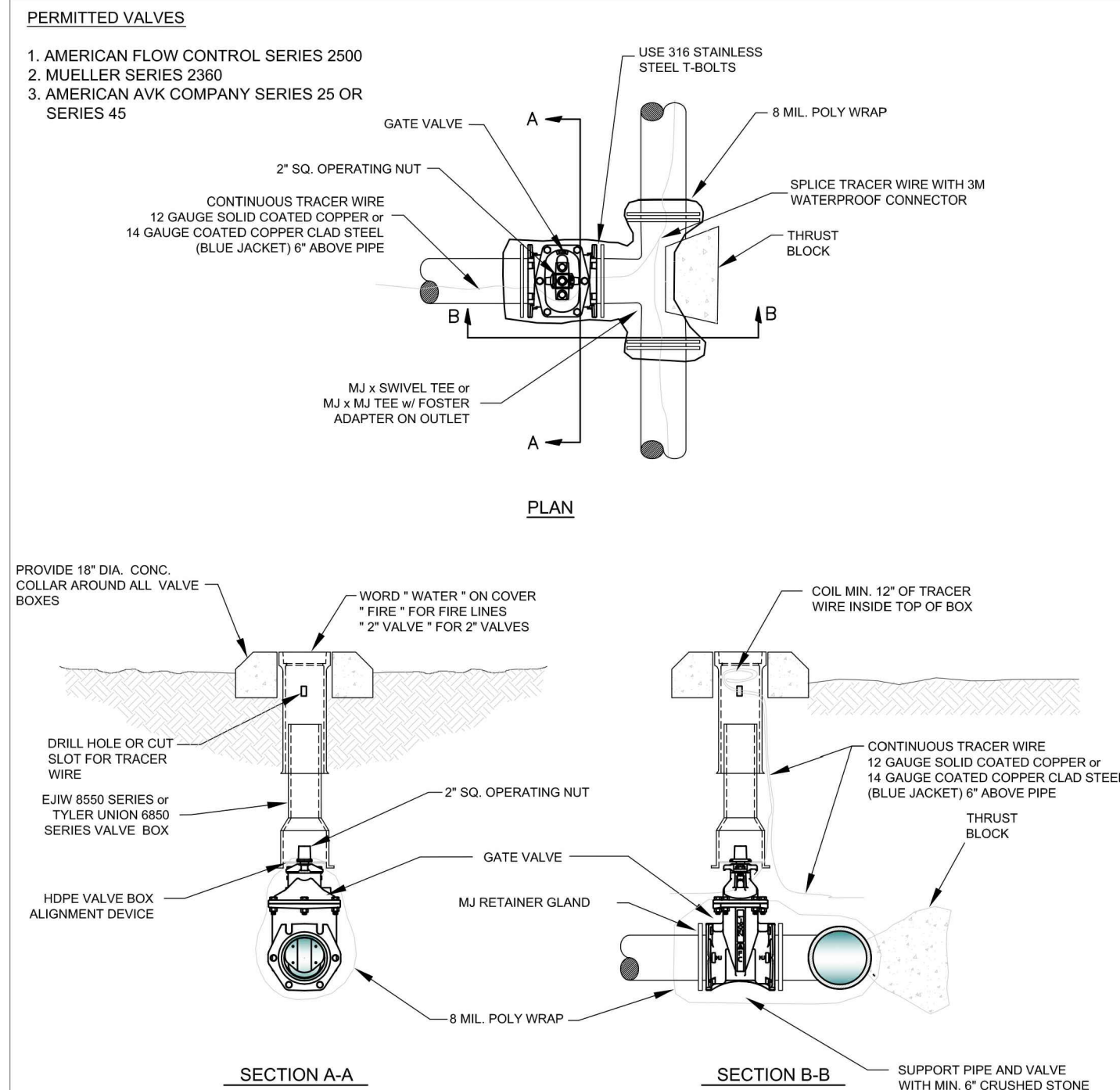


WATER MAIN INSTALLATION PRIOR TO ROADWAY CONSTRUCTION

NOTES:

1. ALL VALVES, BENDS, ETC. SHALL BE RESTRAINED.
2. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING WATER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE WATER SYSTEM.
3. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
4. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.
5. MAXIMUM PIPE COVER SHALL BE 60" UNDER NORMAL CONDITIONS. COVER GREATER THAN 60" MAY BE ALLOWED FOR SHORT DISTANCES WHERE REQUIRED BY FIELD CONDITIONS. NO HYDRANT SHALL BE ALLOWED WHERE LINES ARE GREATER THAN 60" DEEP.

CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd, STREET BRYANT, AR PHONE: (501) 843-0468	TITLE: WATER DETAILS DESCRIPTION: WATER MAIN INSTALLATION PRIOR TO ROADWAY CONSTRUCTION DRAWN BY: [] CHECKED BY: [] FILE: W3-Water Main Installation Prior to Roadway Const.dwg	DATE: APRIL 2015 REVISED: [] SHEET: W3
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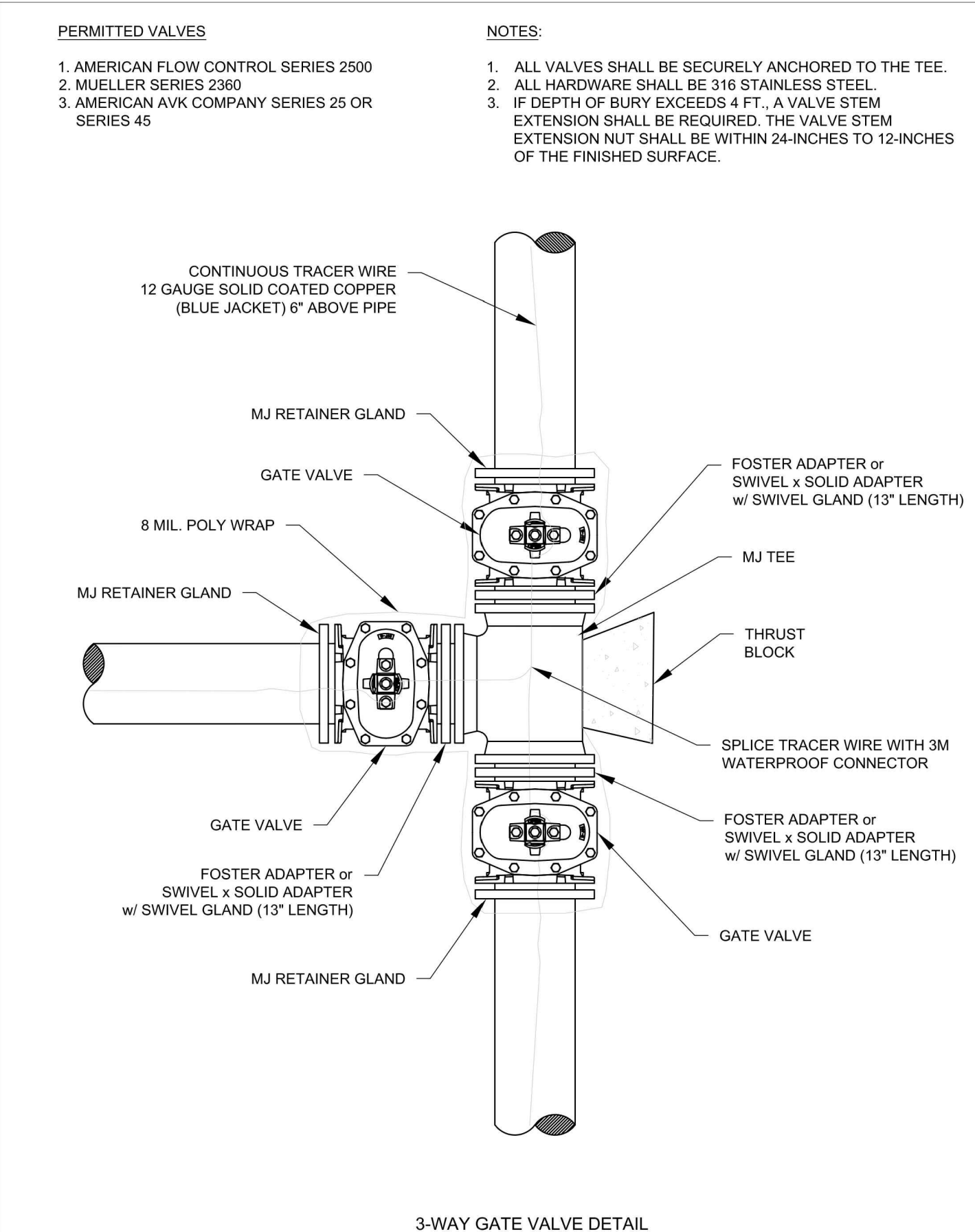


NOTES:

1. ALL VALVES SHALL BE SECURELY ANCHORED TO THE TEE.
2. ALL HARDWARE SHALL BE 316 STAINLESS STEEL.
3. IF DEPTH OF BURY EXCEEDS 4 FT., A VALVE STEM EXTENSION SHALL BE REQUIRED. THE VALVE STEM EXTENSION NUT SHALL BE WITHIN 24-INCHES TO 12-INCHES OF THE FINISHED SURFACE.

GATE VALVE DETAIL 2" - 12"

CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd, STREET BRYANT, AR PHONE: (501) 843-0468	TITLE: WATER DETAILS DESCRIPTION: GATE VALVE DRAWN BY: [] CHECKED BY: [] FILE: W4-Gate Valve.dwg	DATE: APRIL 2015 REVISED: [] SHEET: W4
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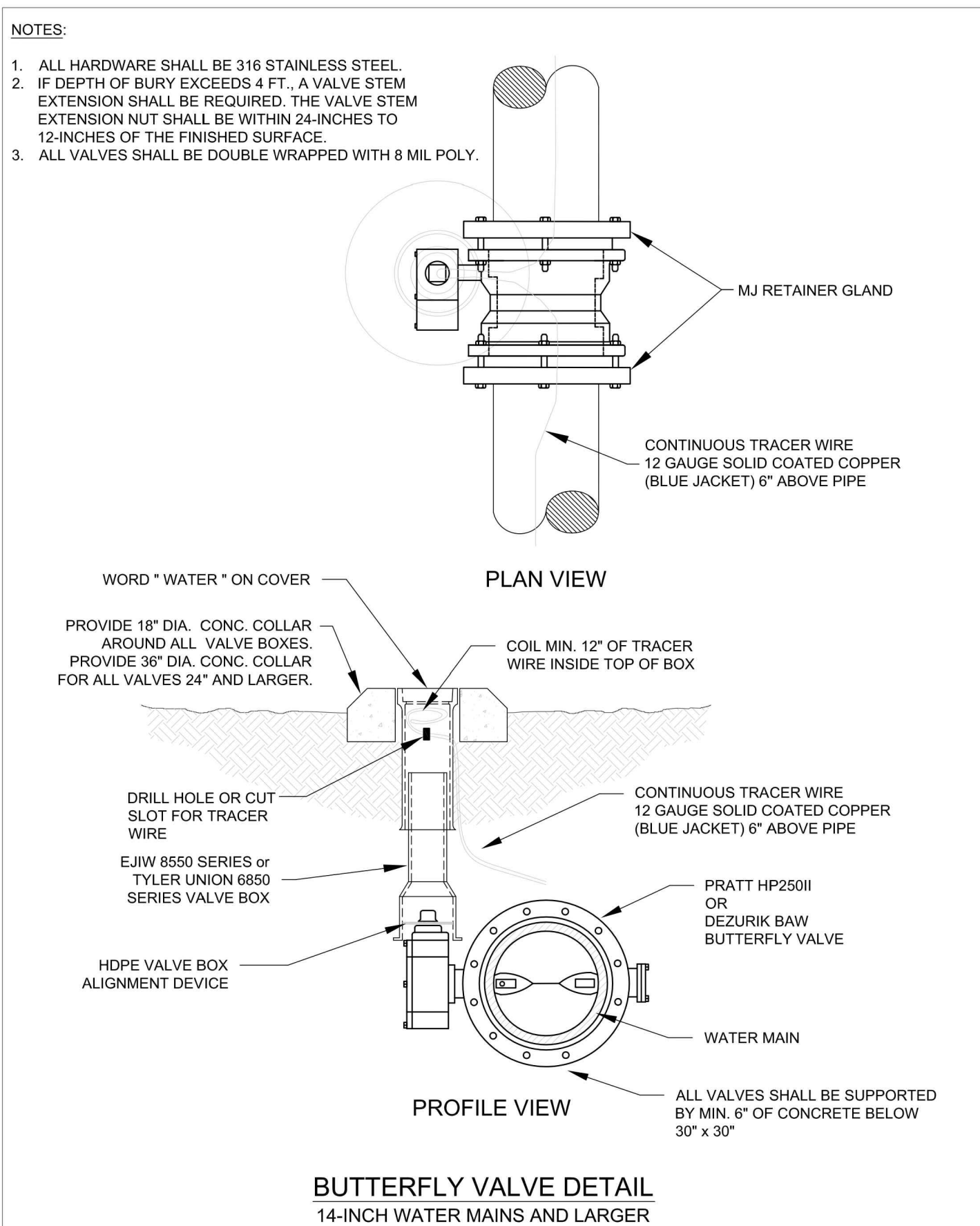


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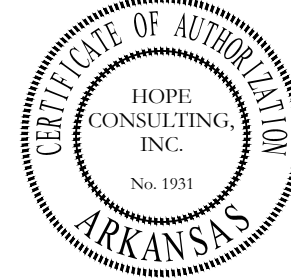
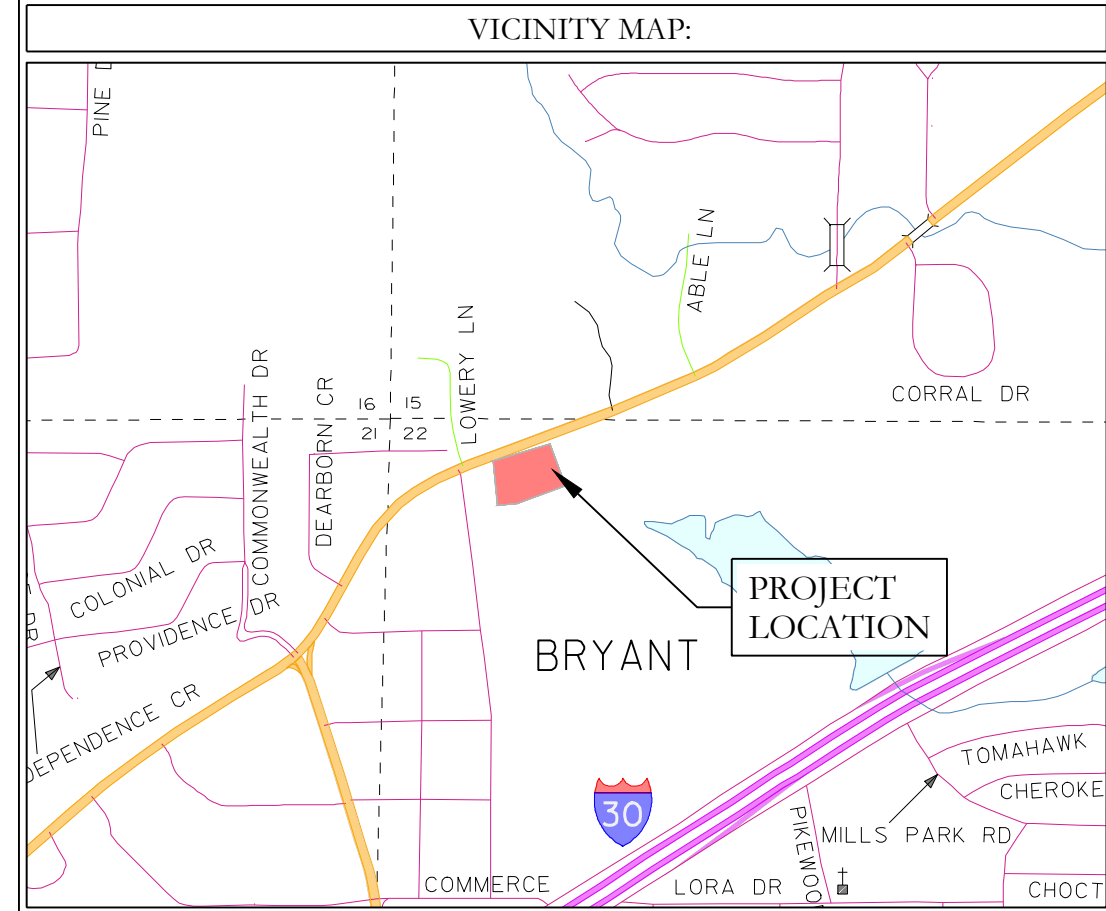
1. ALL VALVES SHALL BE SECURELY ANCHORED TO THE TEE.
2. ALL HARDWARE SHALL BE 316 STAINLESS STEEL.
3. IF DEPTH OF BURY EXCEEDS 4 FT., A VALVE STEM EXTENSION SHALL BE REQUIRED. THE VALVE STEM EXTENSION NUT SHALL BE WITHIN 24-INCHES TO 12-INCHES OF THE FINISHED SURFACE.

3-WAY GATE VALVE DETAIL

CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd, STREET BRYANT, AR PHONE: (501) 843-0468	TITLE: WATER DETAILS DESCRIPTION: 3-WAY GATE VALVES DRAWN BY: [] CHECKED BY: [] FILE: W5-3-Way Gate Valves.dwg	DATE: APRIL 2015 REVISED: [] SHEET: W5
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CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd, STREET BRYANT, AR PHONE: (501) 843-0468	TITLE: WATER DETAILS DESCRIPTION: BUTTERFLY VALVE DRAWN BY: [] CHECKED BY: [] FILE: W6-Butterfly Valve.dwg	DATE: APRIL 2015 REVISED: [] SHEET: W6
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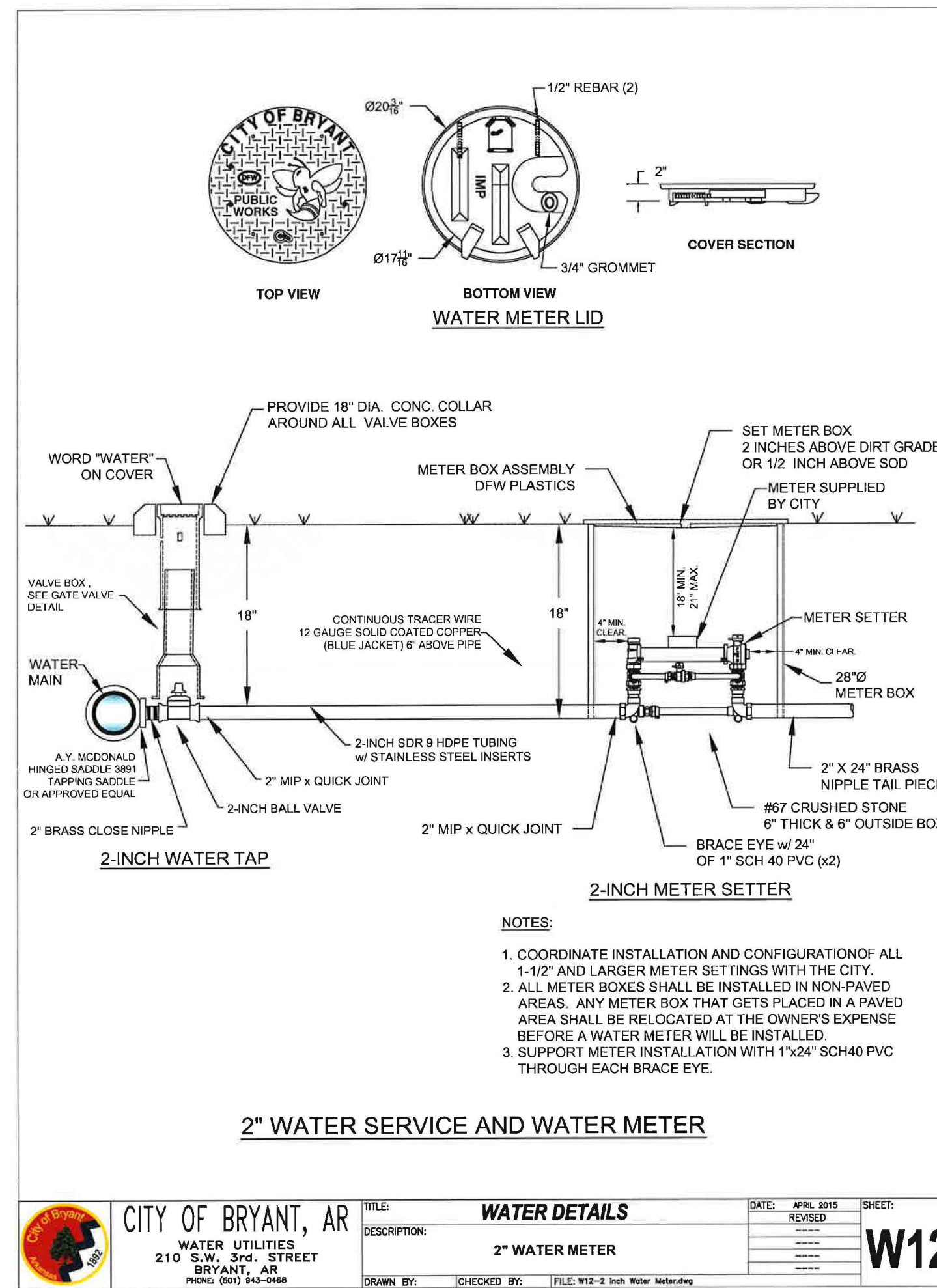
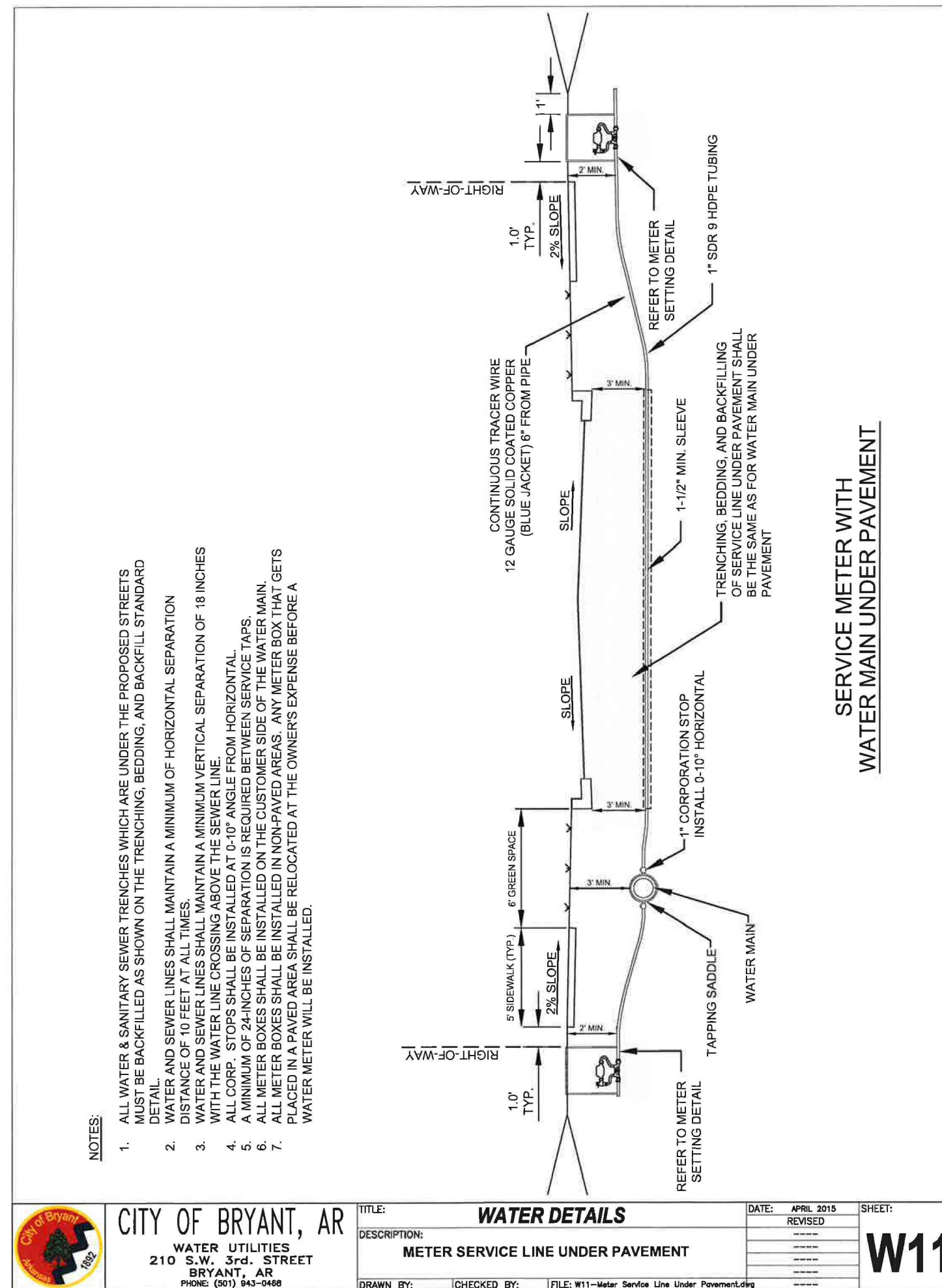
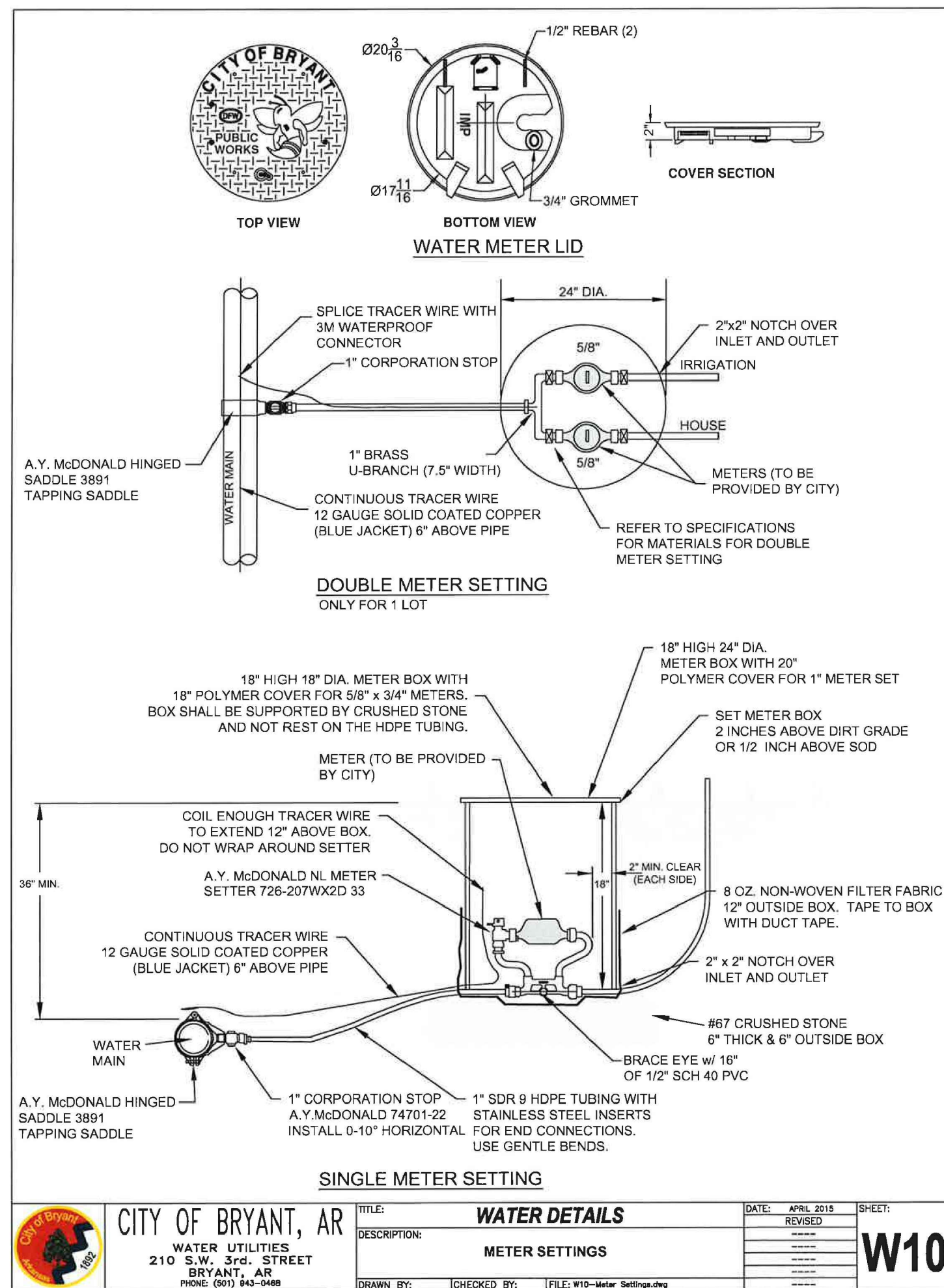
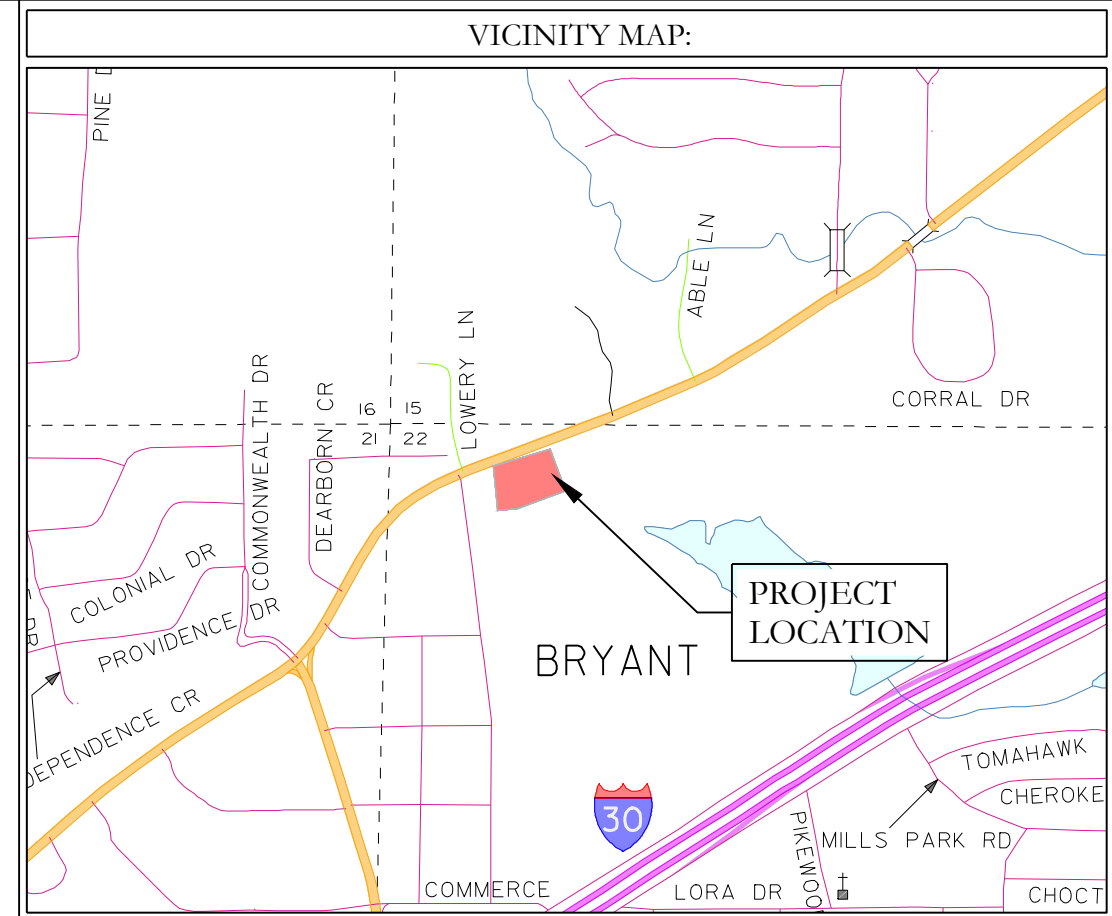
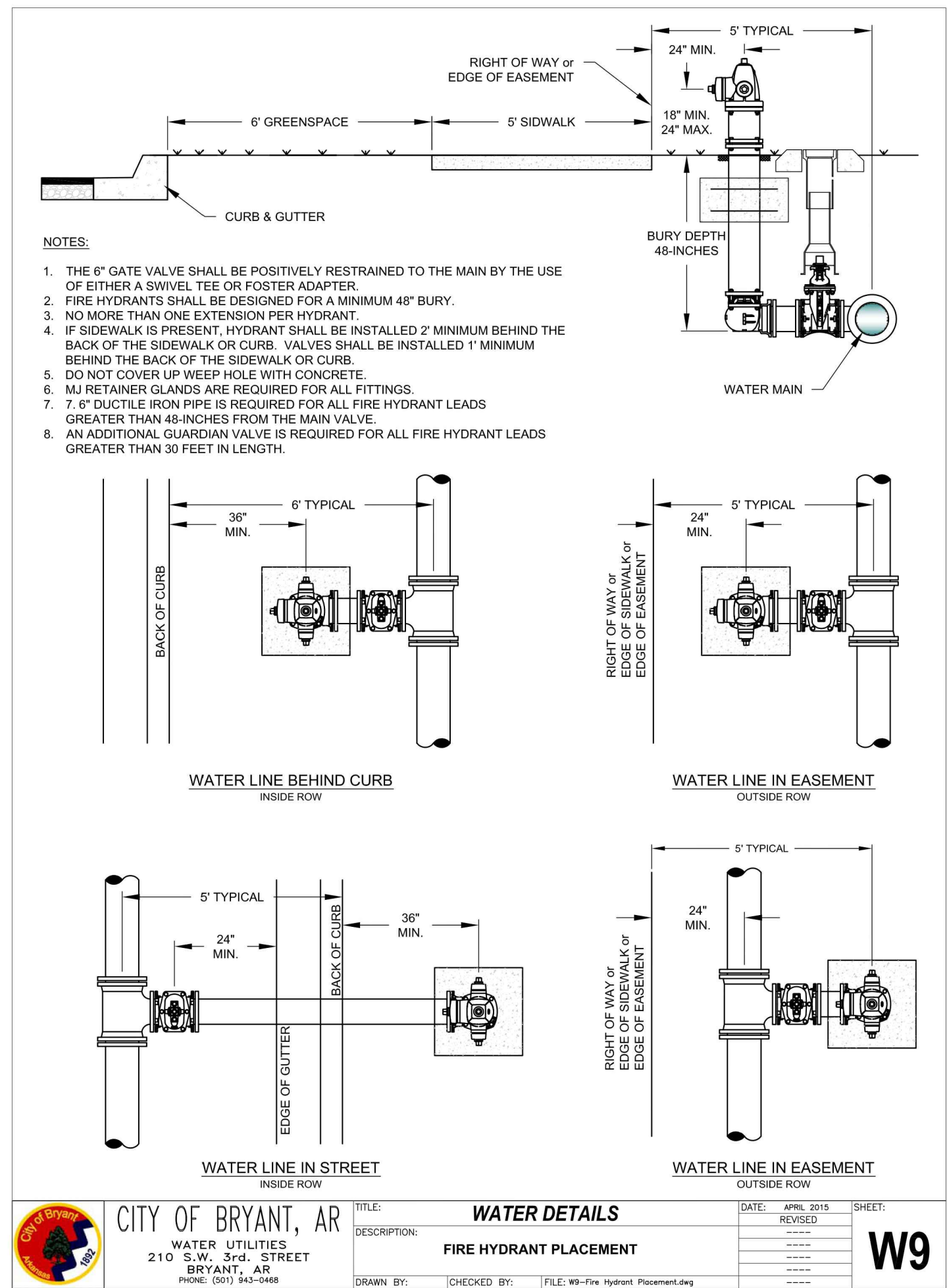
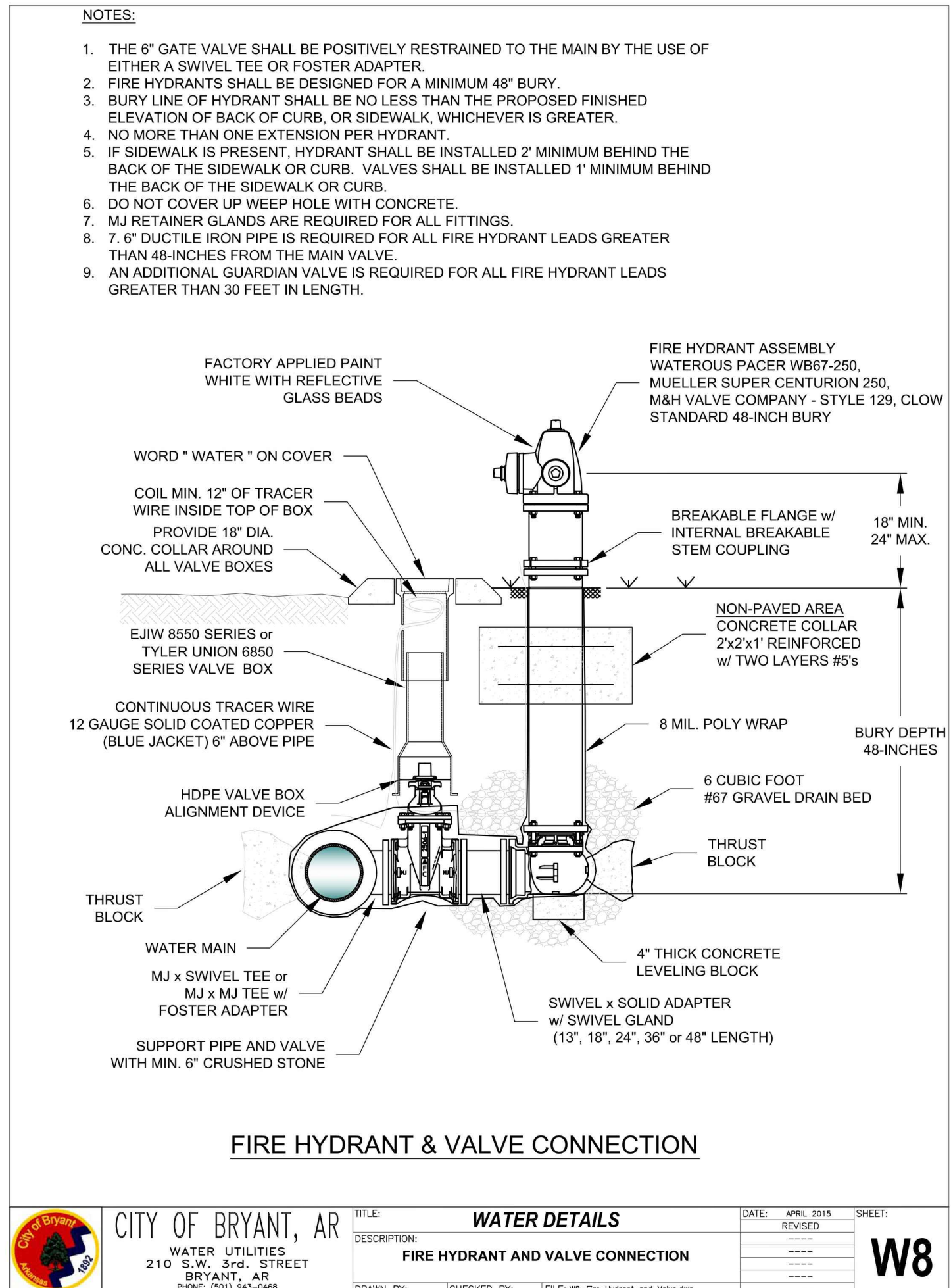
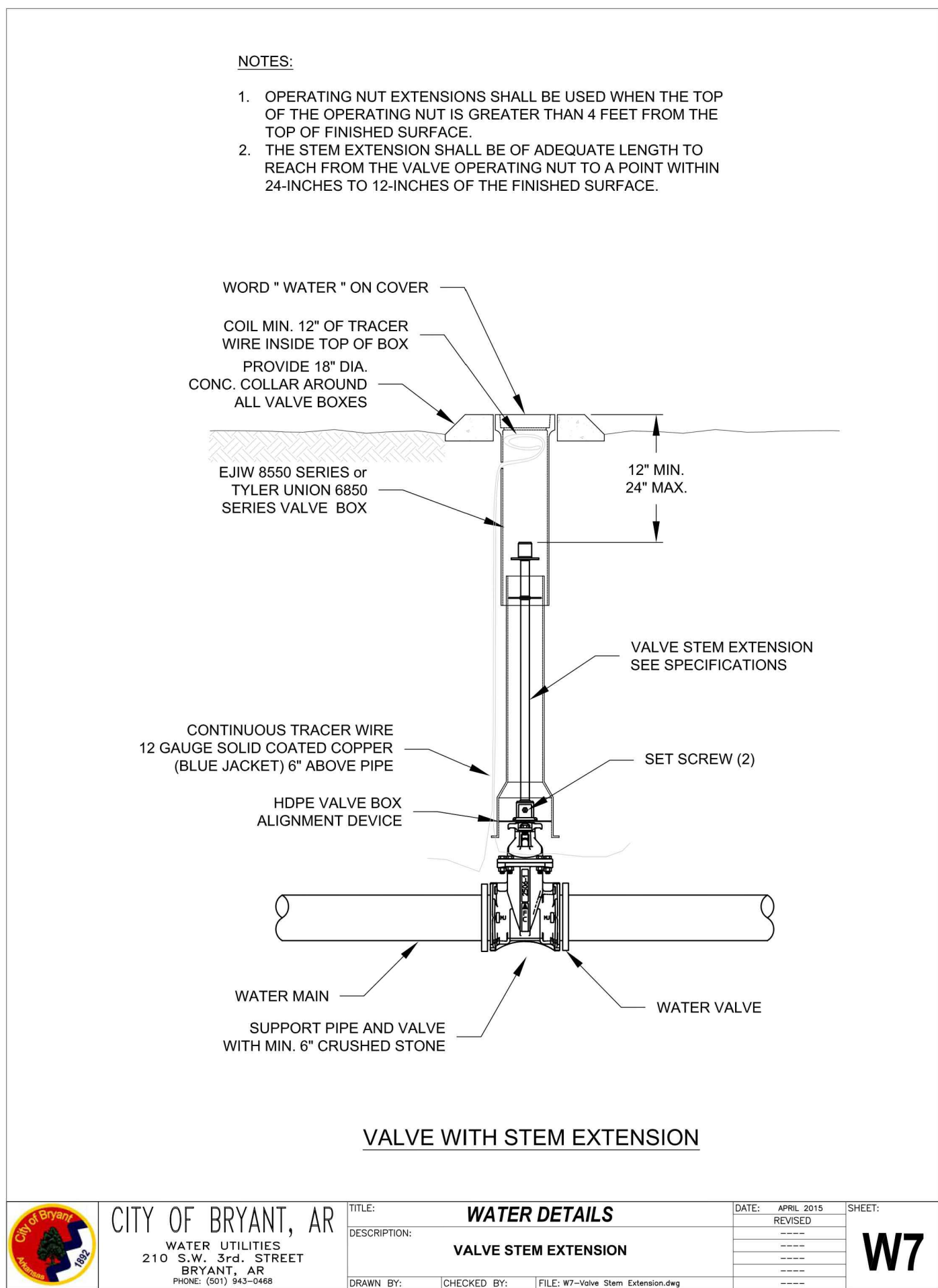
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 FAX (501) 315-0024
 www.hopeconsulting.com

FOR USE AND BENEFIT OF: RYE GENERAL CONTRACTORS

MARKET PLACE II WATER DETAILS 1

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:		DRAWING NUMBER:	
REVISION:		CHECKED BY:		25-0608	
SHEET:	C-3.7	SCALE:			
500	01S	14W	0	22	440
					62
					1762



STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 1931
11-29-2025

CERTIFICATE OF AUTHORIZATION
HOPE CONSULTING, INC.
No. 1931
11-29-2025

HOPE CONSULTING
ENGINEERS - SURVEYORS

129 N. Main Street,
Benton, Arkansas 72015
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FOR USE AND BENEFIT OF:
RYE GENERAL CONTRACTORS

MARKET PLACE II
WATER DETAILS 2

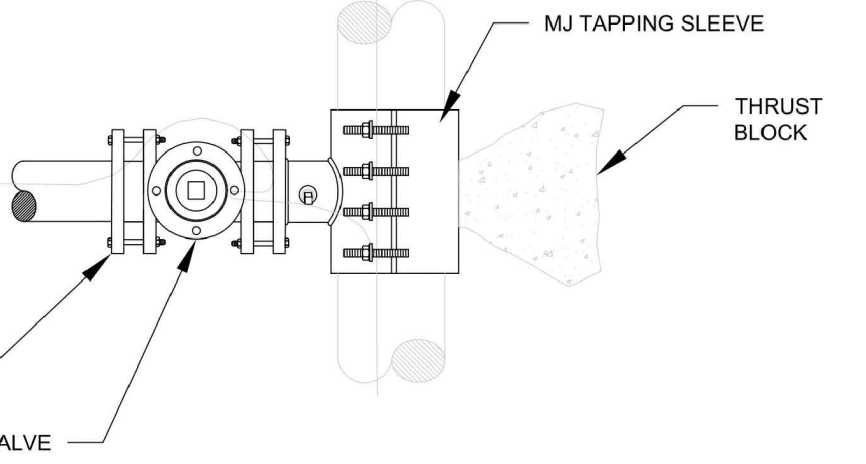
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25 C.A.D. BY: DRAWING NUMBER:
REVISED: CHECKED BY: 25-0608
SHEET: C-3.8 SCALE:

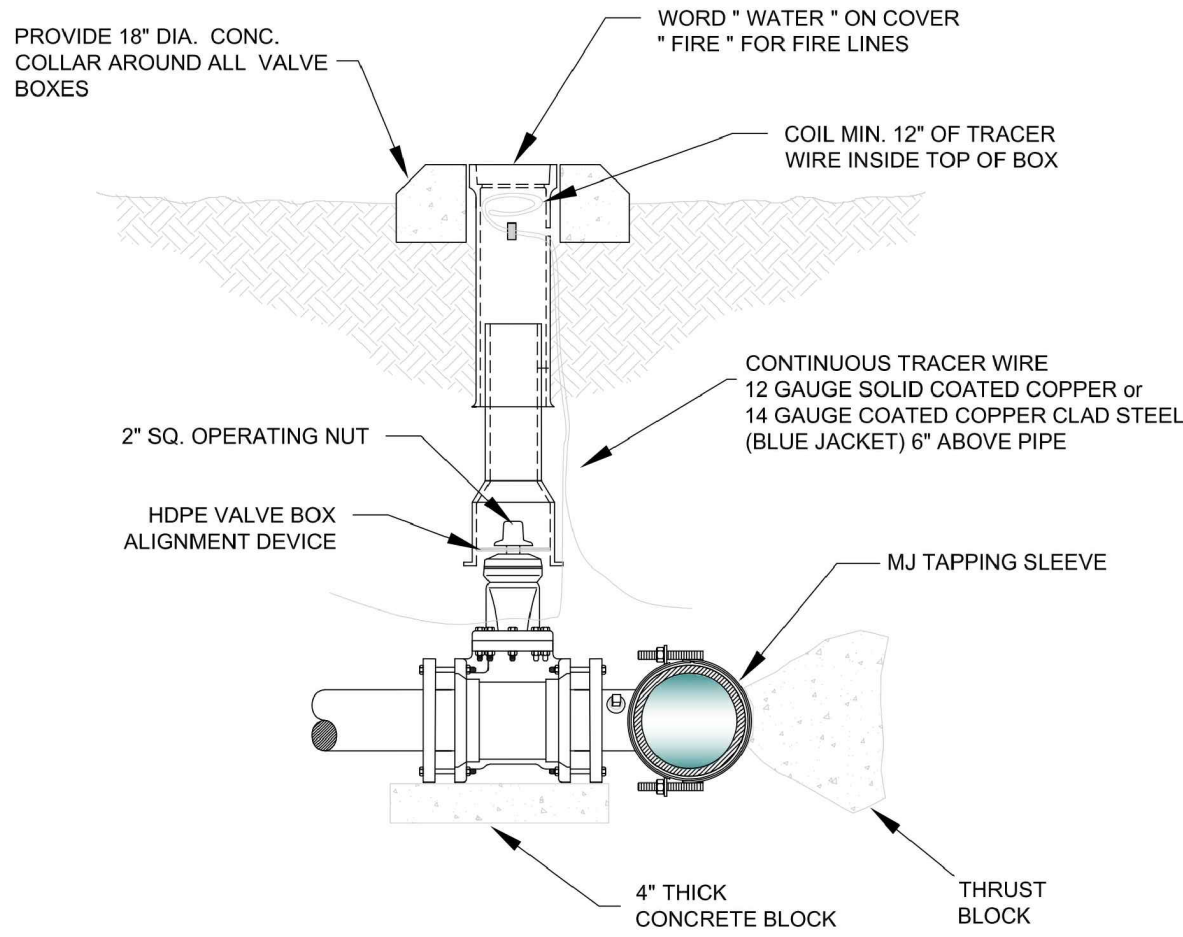
500 01S 14W 0 22 440 62 1762

NOTES:

1. TAPPING SLEEVE SHALL BE SMITH-BLAIR 862 OR FORD FAST.
2. AFTER THE TAP IS MADE, RE-TORQUE BOLTS ON SLEEVE TO SEAL TO FINAL SHAPE OF PIPE.
3. TAPPING SLEEVE AND VALVE SHALL BE WRAPPED WITH 8 MIL POLY WRAP.

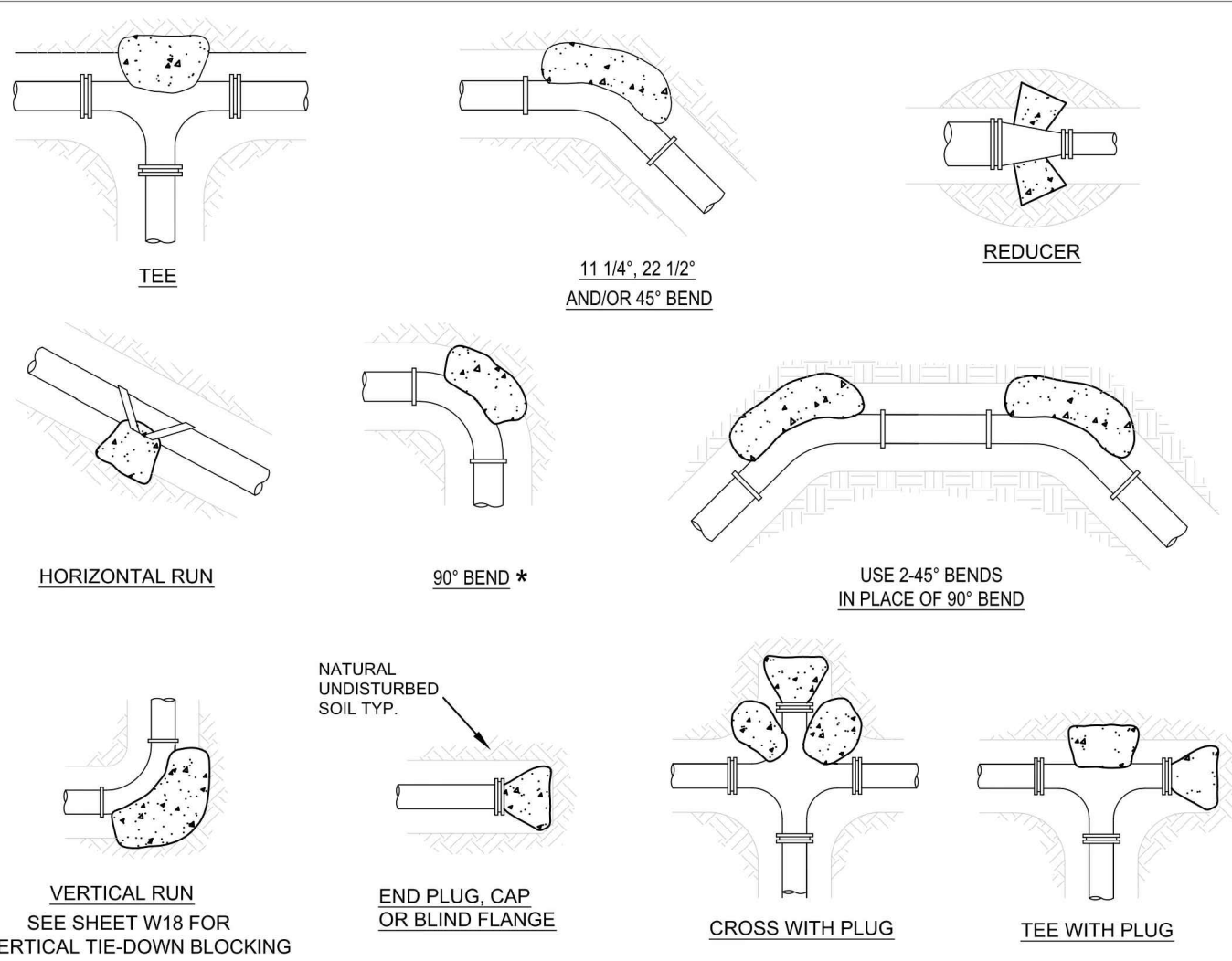


PLAN VIEW



PROFILE VIEW

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 843-0488	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET: W13
		DESCRIPTION: TAPPING SLEEVE AND VALVE	REVISED: _____	_____
		DRAWN BY: _____	CHECKED BY: _____	FILE: W13-Tapping Sleeve and Valve.dwg



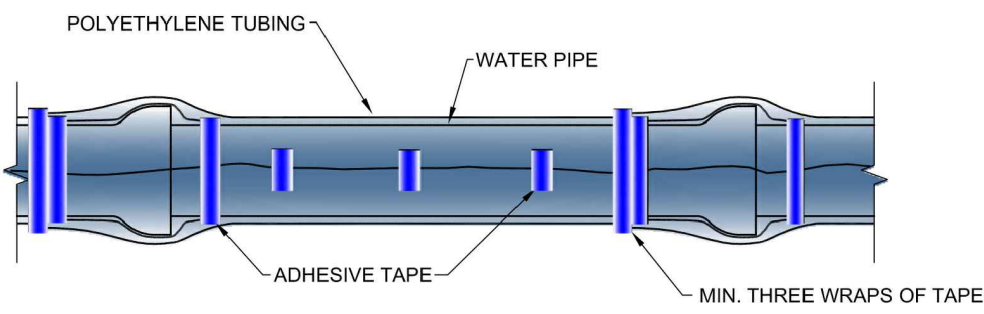
THRUST BLOCK SCHEDULE											
BEARING AREA OF THRUST BLOCKS IN SQ. FT. (HORIZONTAL BENDS)						VOLUME OF THRUST BLOCK IN CU. FEET (VERTICAL BENDS)					
FITTING SIZE	PLUS TEE OR CAP	BEND ANGLE				FITTING SIZE	PLUS TEE OR CAP	BEND ANGLE			
		90°	45°	22 1/2°	11 1/4°			90°	45°	22 1/2°	11 1/4°
2, 3, 4, 4	1.9	2.7	1.4	0.7	0.4	2, 3, 4, 4	35.5	19.2	9.8	4.9	.50"
6	5.6	7.9	4.3	2.2	1.1	6	108.8	57.2	29.2	14.7	.75"
8	9.6	13.6	7.4	3.8	1.9	8	161.9	86.5	43.2	22.2	.75"
12	20.5	29.0	15.7	8.0	4.0	12	387.1	209.5	106.8	53.7	1.0"
16	35.7	50.4	27.3	13.9	7.0	16	672.4	364.0	185.8	92.2	1.0"
18	44.8	63.4	34.3	17.5	8.8	18	844.7	467.2	233.1	117.1	1.0"
24	76.4	110.9	60.0	30.6	15.4	24	1476.7	800.3	408.0	205.0	1.5"

THRUST BLOCK NOTES:

1. CONCRETE FOR THRUST BLOCKS - CLASS A CONCRETE. SHALL DEVELOP NOT LESS THAN 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS AND BE PLACED AGAINST UNDISTURBED SOIL.
2. ALL BENDS, BOTH HORIZONTAL AND VERTICAL, SHALL BE BACKED WITH CONCRETE. VERTICAL BENDS SHALL BE PLACED ON CONCRETE PADS WHERE BENDS TURN UP, OR LOADED WHERE BENDS TURN DOWN.
3. WRAP PIPE JOINTS IN 8 MIL "POLYETHYLENE" BEFORE PLACING CONCRETE.
4. BEARING AREA SHOWN IN TABLE IS BASED UPON A 2000 LBS/SF. SOIL BEARING, AND UPON A PIPELINE PRESSURE OF 200 PSI, PLUS 100 PSI WATER HAMMER. AREAS SHOWN SHALL BE ADJUSTED, SHOULD FIELD CONDITIONS VARY.
5. MJ RESTRAINTS ARE REQUIRED FOR ALL FITTINGS.
6. USE LONG-RADIUS FITTINGS WHEREVER POSSIBLE.
7. ALL BOLTS FOR FITTINGS SHALL BE 316 STAINLESS STEEL.
8. ALL DUCTILE IRON FITTINGS SHALL BE FUSION-BONDED EPOXY COATED INSIDE AND OUTSIDE IN ACCORDANCE WITH ANSI/AWWA C116/A21.16.
9. UNIT WEIGHT OF CONCRETE FOR VERTICAL THRUST BLOCKS IS 150 LBS/CU. FT.

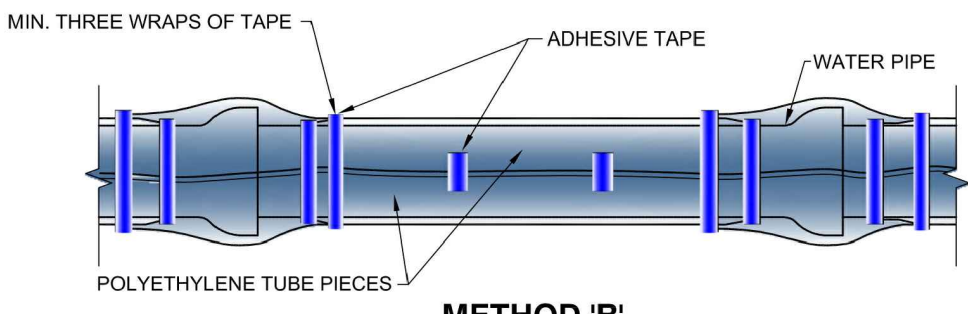
THRUST BLOCKING

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 843-0488	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET: W16
		DESCRIPTION: THRUST BLOCKING	REVISED: _____	_____
		DRAWN BY: _____	CHECKED BY: _____	FILE: W16-Thrust Blocking.dwg



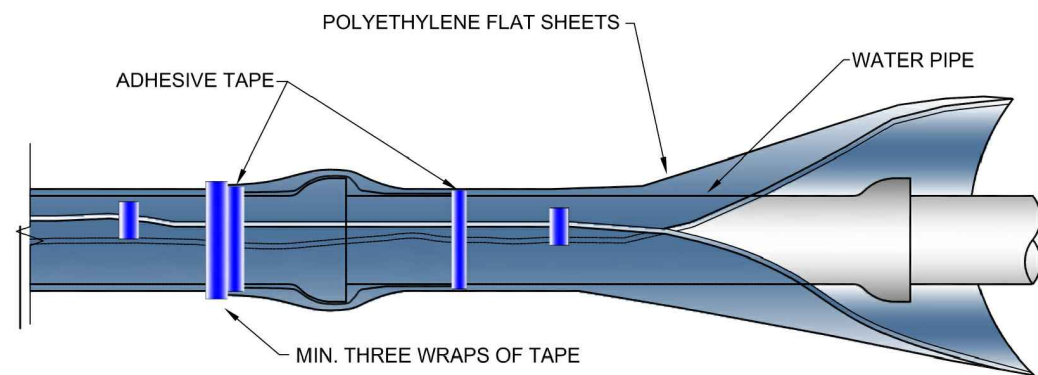
METHOD 'A'

METHOD 'A' USES ONE LENGTH OF POLYETHYLENE TUBE, OVERLAPPED AT THE JOINTS A MINIMUM OF 2 FEET.



METHOD 'B'

METHOD 'B' USES SEPARATE PIECES OF POLYETHYLENE TUBE FOR THE BARREL OF THE PIPE AND THE JOINTS. SHORT PIECES SHALL BE APPROXIMATELY 8' LONG AND OVERLAP BARREL SECTION BY A MINIMUM OF 2 FEET.



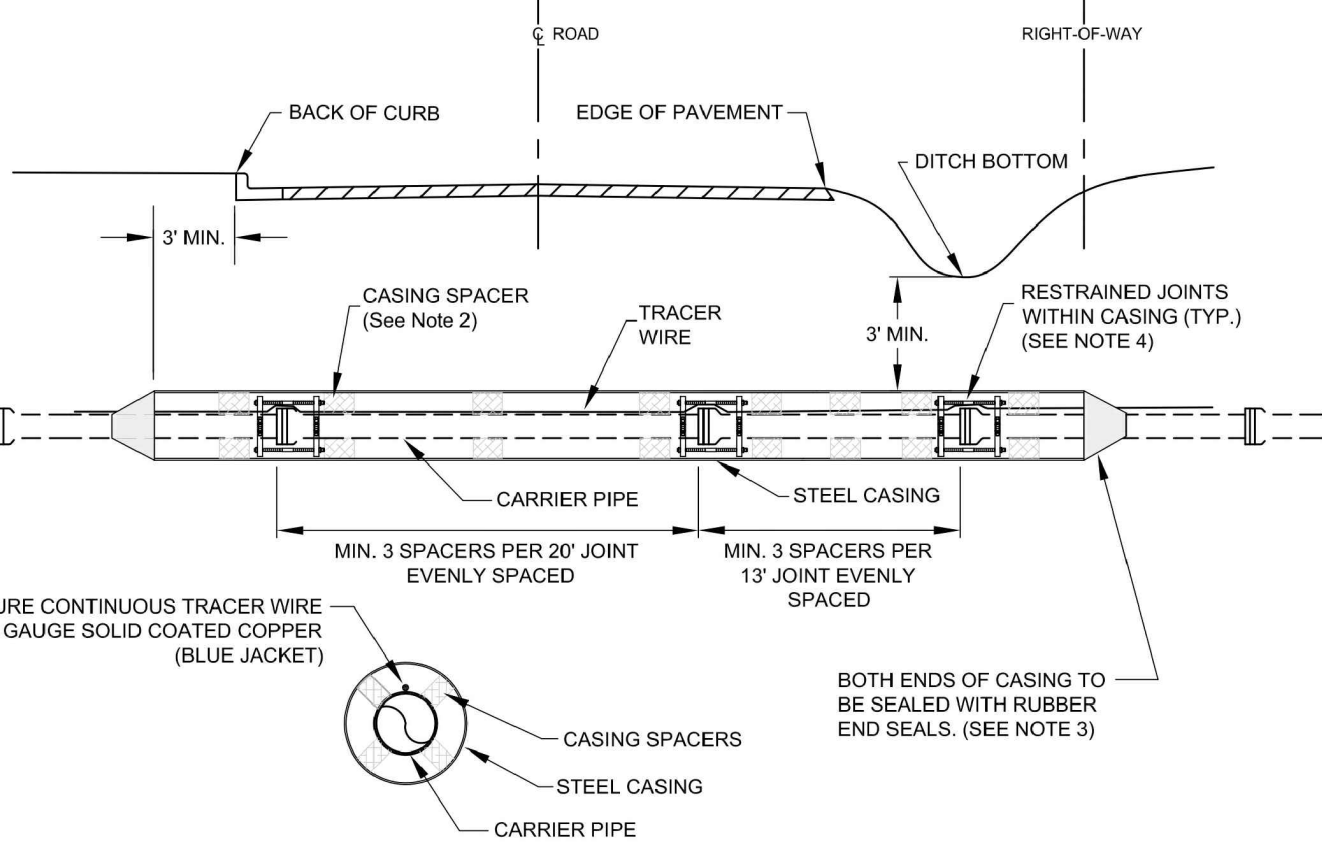
METHOD 'C'

METHOD 'C' - USED FOR PIPE-SHAPED AND ODD-SHAPED APPURTENANCES SUCH AS BENDS, REDUCERS, OFFSETS, VALVES, TEES, ETC.

ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE POLY WRAPPED.

THE ANSI/AWWA C105/A21.5 STANDARD OUTLINES THREE METHODS OF INSTALLING POLYETHYLENE ENCASEMENT/ SLEEVING.

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 843-0488	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET: W14
		DESCRIPTION: POLYETHYLENE PROTECTION MATERIAL	REVISED: _____	_____
		DRAWN BY: _____	CHECKED BY: _____	FILE: W14-Poly Wrap.dwg



NOTES:

1. STEEL CASING SHALL BE CONSTRUCTED OF SPIRAL OR STRAIGHT WELDED STEEL WITH A MINIMUM DIAMETER AND THICKNESS AS SHOWN BELOW (SEE TABLE).
2. PROVIDE CASING SPACERS BY CASCADE MODEL CCS AS MANUFACTURED BY CASCADE WATERWORKS MFG. CO. OR APPROVED EQUAL.
3. PROVIDE END SEALS BY CASCADE MODEL CCS AS MANUFACTURED BY CASCADE WATERWORKS MFG. CO. OR APPROVED EQUAL.
4. WHERE ENCASEMENTS ARE GREATER THAN 25 FEET IN LENGTH, SELF-RESTRAINING GASKETS OR BELL RESTRAINTS SHALL BE USED FOR ALL JOINTS INSIDE THE ENCASEMENT PIPE AND FOR THE FIRST JOINT IN EACH DIRECTION OUTSIDE THE ENCASEMENT PIPE.
5. BELL RESTRAINTS FOR PVC SHALL BE SERIES 1900. RESTRAINT HARNES AND BELL RESTRAINTS FOR DIP SHALL BE SERIES 1700 RESTRAINT HARNES BY EBAA IRON INC., OR APPROVED EQUAL.
6. DIRECT BURY STEEL ENCASEMENT SHALL BE POLY WRAPPED.
7. JACK AND BORE STEEL ENCASEMENT SHALL HAVE 17H HP MAGNESIUM ANODES CAD WELDED TO THE END OF THE ENCASEMENT PIPE.

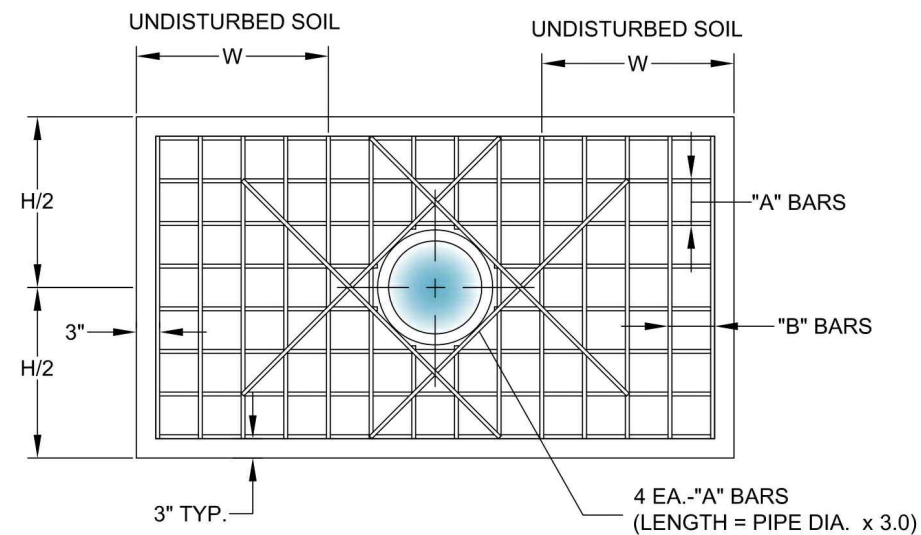
CARRIER AND CASING SIZES

CARRIER (DI)	2"	3"	4"	6"	8"	10"	12"
CASING (DI)	6"	6"	8"	12"	16"	20"	24"
CASING WALL THICKNESS	0.250	0.250	0.250	0.250	0.250	0.250	0.375
CARRIER (DI)	14"	16"	18"	20"	24"	30"	36"
CASING (DI)	30"	36"	42"	48"	54"	60"	72"
CASING WALL THICKNESS	0.375	0.500	0.625	0.625	0.625	0.625	0.750

STEEL ENCASEMENT

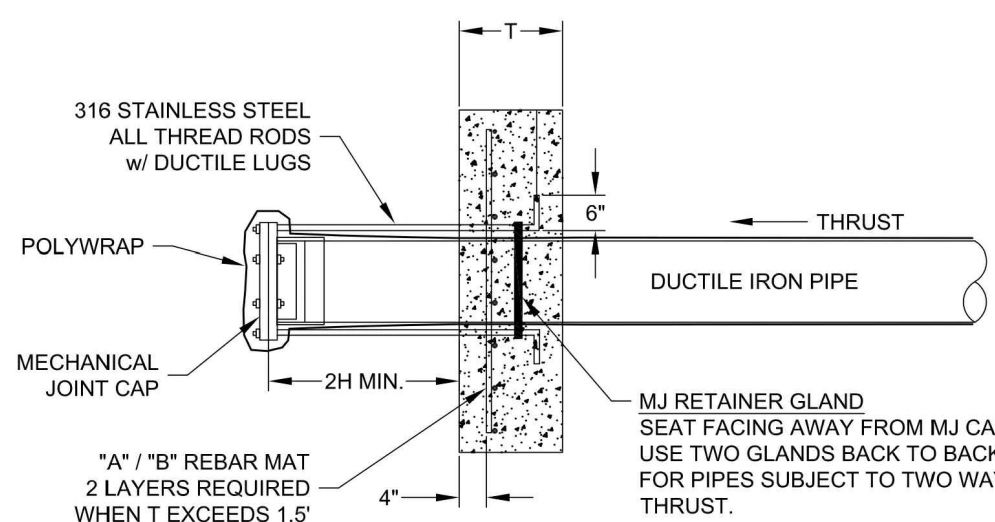
	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 843-0488	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET: W15
		DESCRIPTION: STEEL ENCASEMENT	REVISED: _____	_____
		DRAWN BY: _____	CHECKED BY: _____	FILE: W15-Steel Encasement.dwg

ANCHOR COLLAR SCHEDULE									
PIPE SIZE	*MINIMUM DIMENSIONS*			REINFORCING BARS					
	W	H	T	"A" BARS	"B" BARS				
6"	1.5"	2.0"	1.0"	#6 @ 6"	#6 @ 6"				
8"	2.0"	2.5"	1.0"	#6 @ 6"	#6 @ 6"				
12"	2.5"	4.0"	1.5"	#6 @ 6"	#6 @ 6"				
16"	3.5"	5.0"	1.5"	#6 @ 6"	#6 @ 6"				
20"	5.0"	5.5"	2.0"	#6 @ 6"	#6 @ 6"				
24"	6.5"	6.0"	2.0"	#7 @ 6"	#7 @ 10"				



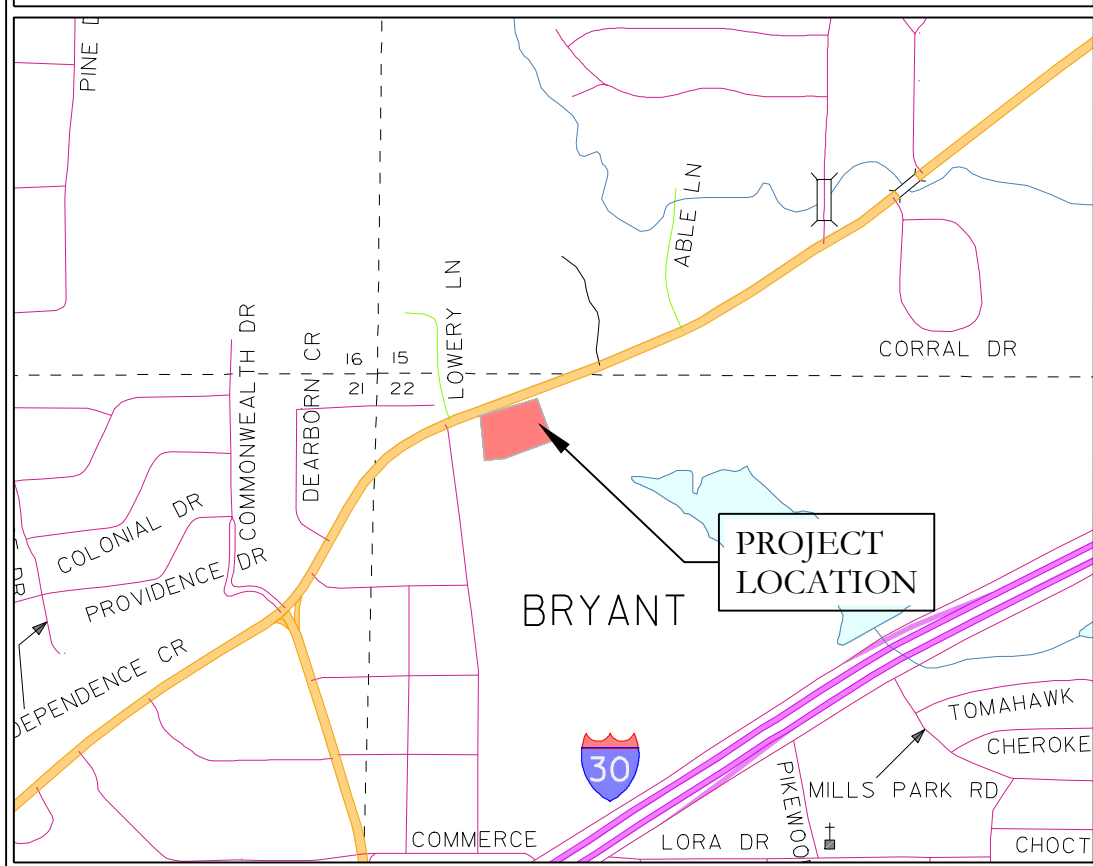
NOTES:

1. DESIGN PRESSURE IS 200 PSI PLUS 100 PSI SURGE AND 2,000 PSI SOIL BEARING.
2. ALL DIMENSIONS ARE MINIMUM REQUIREMENTS. ACTUAL FIELD CONDITIONS MAY REQUIRE LARGER DIMENSIONS.
3. ALL RETAINER GLANDS SHALL BE MEGA-LUG BY EBAA IRON.



	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 843-0488	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET: W18
		DESCRIPTION: ANCHOR COLLAR	REVISED: _____	_____
		DRAWN BY: _____	CHECKED BY: _____	FILE: W18-Anchor Collar.dwg

VICINITY MAP:



HOPE CONSULTING
ENGINEERS - SURVEYORS

129 N. Main Street,
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FOR USE AND BENEFIT OF:
RYE GENERAL CONTRACTORS

MARKET PLACE II
WATER DETAILS 3

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:	DRAWING NUMBER:
REVISED:		CHECKED BY:	25-0608
SHEET:	C-3.9	SCALE:	
500	01S	14W	0 22 440 62 1762

4/26/2015 11:46:29 AM

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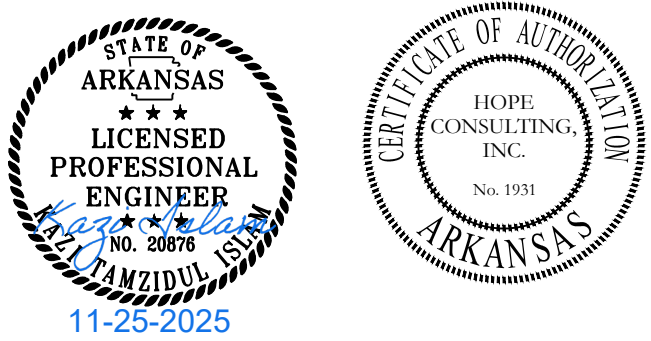
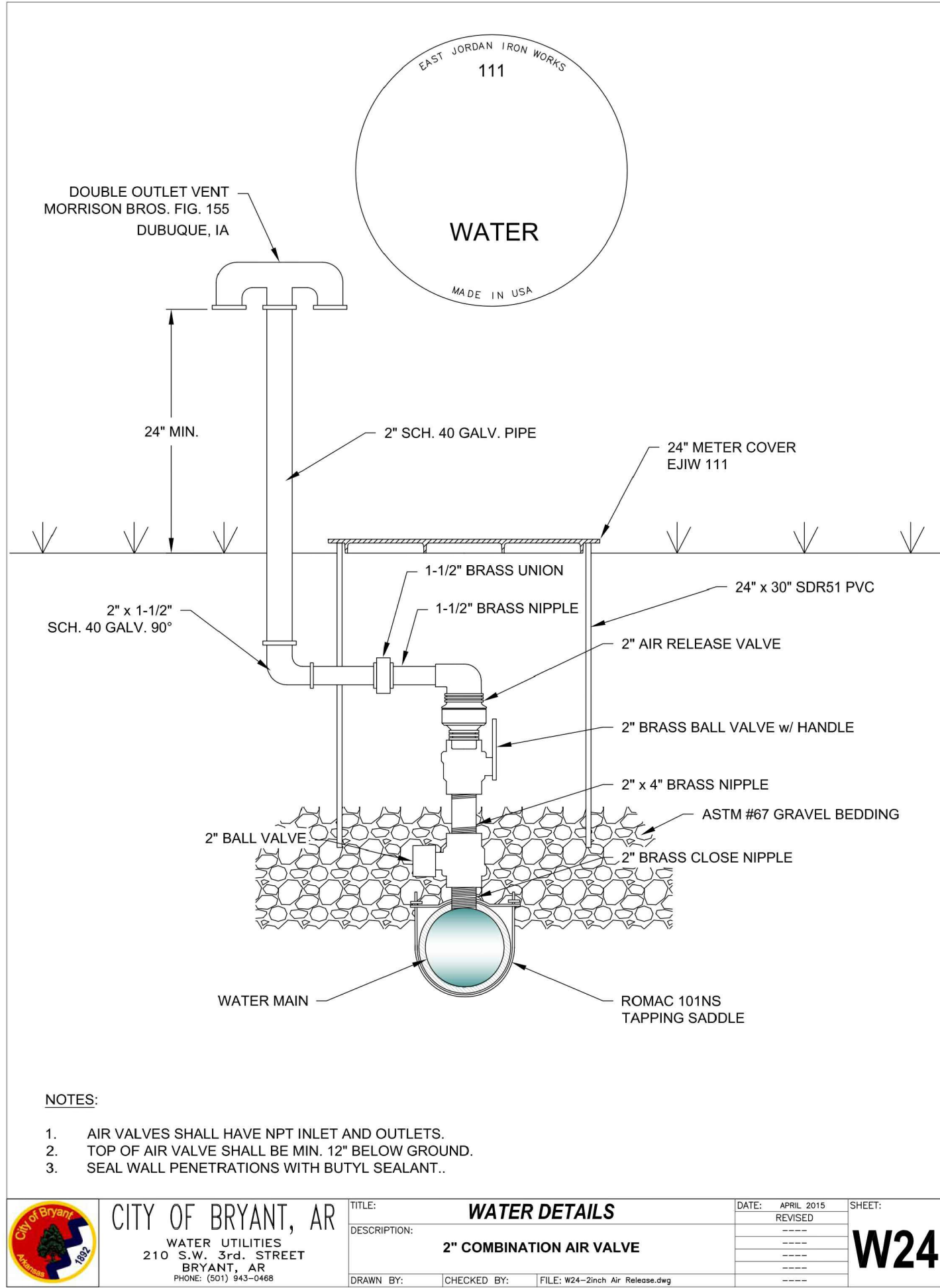
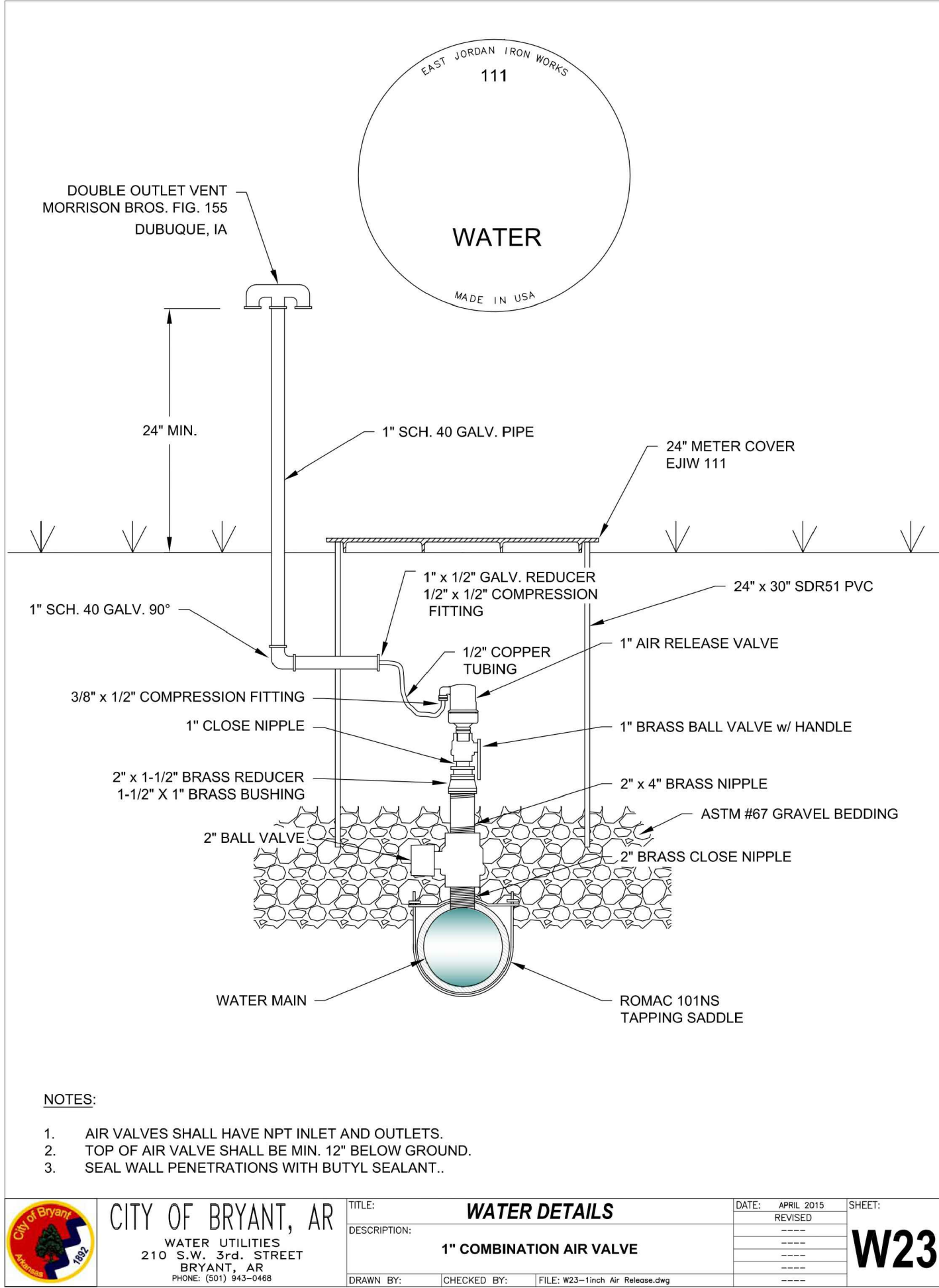
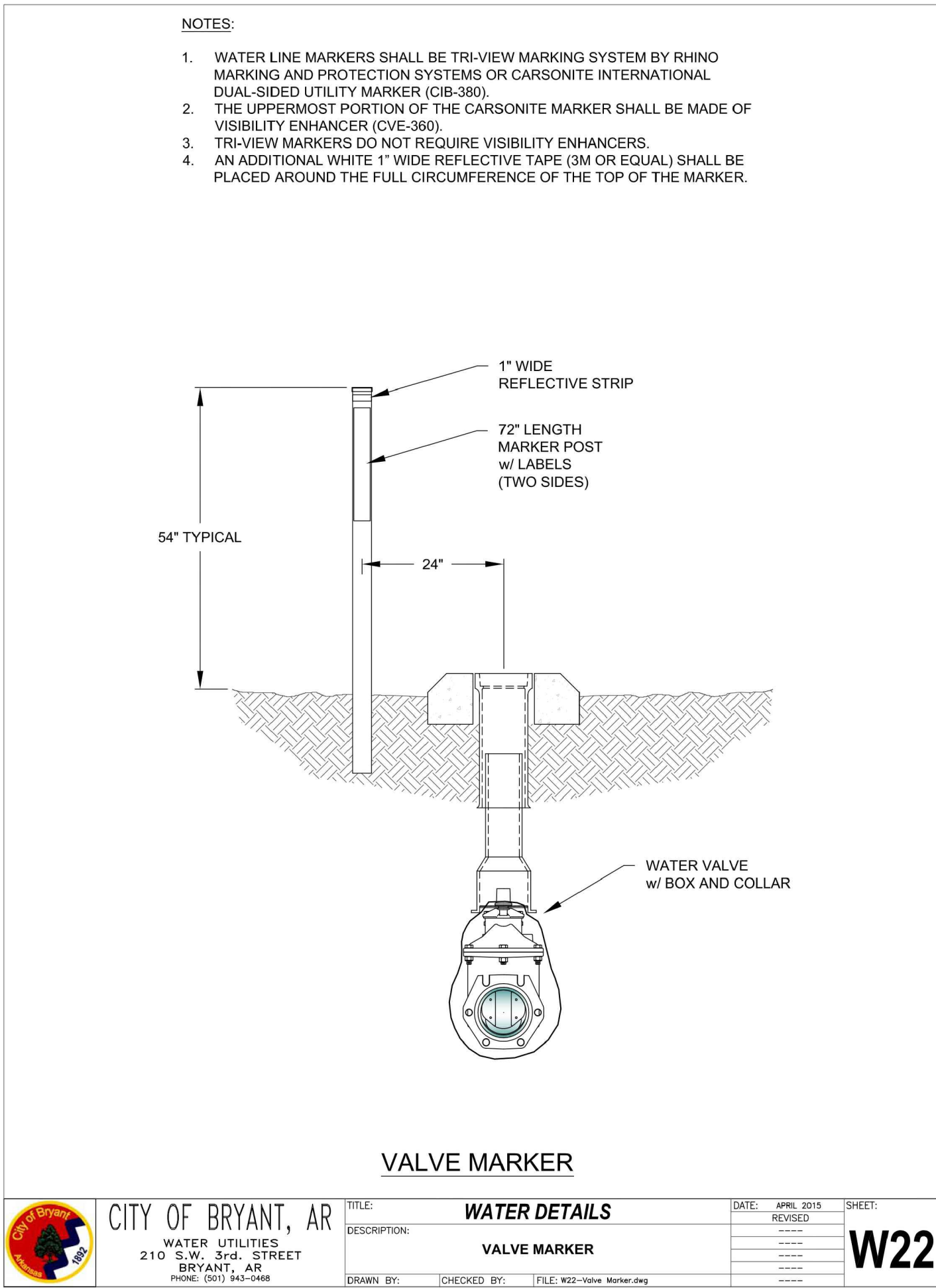
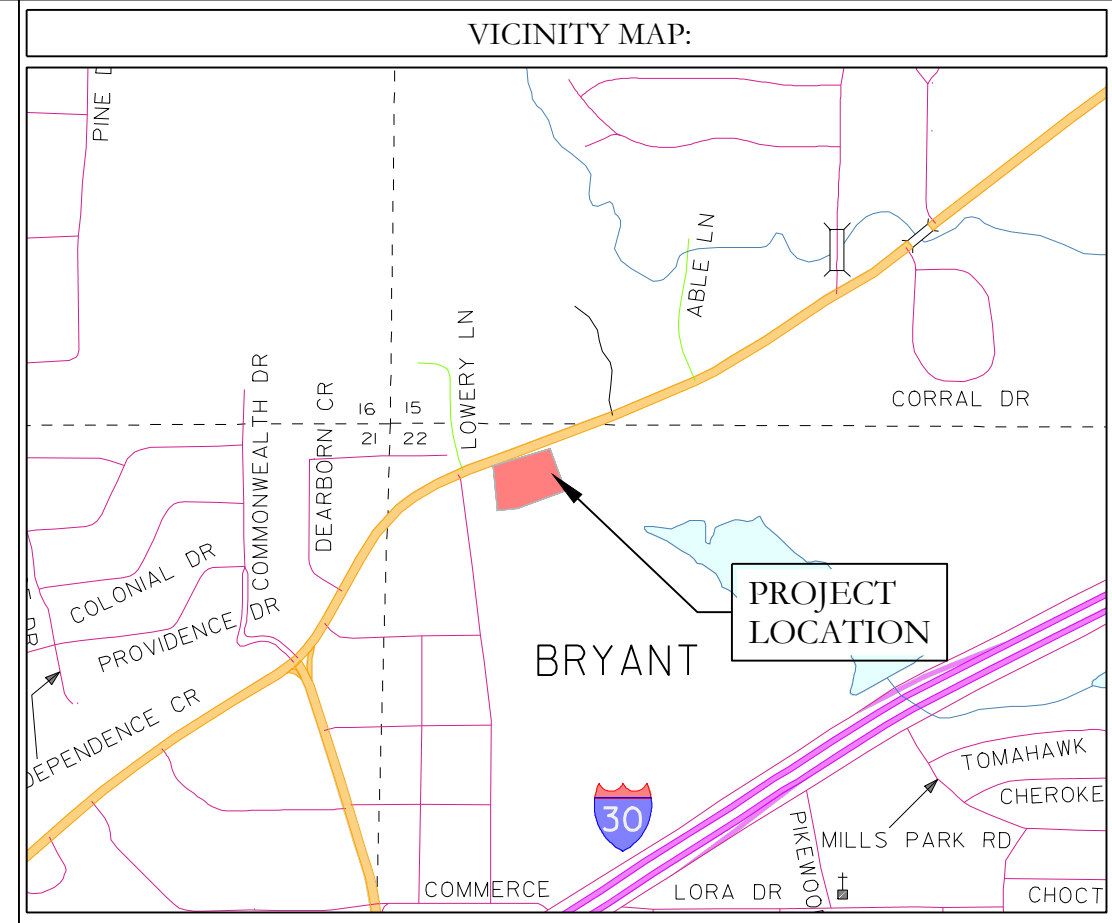
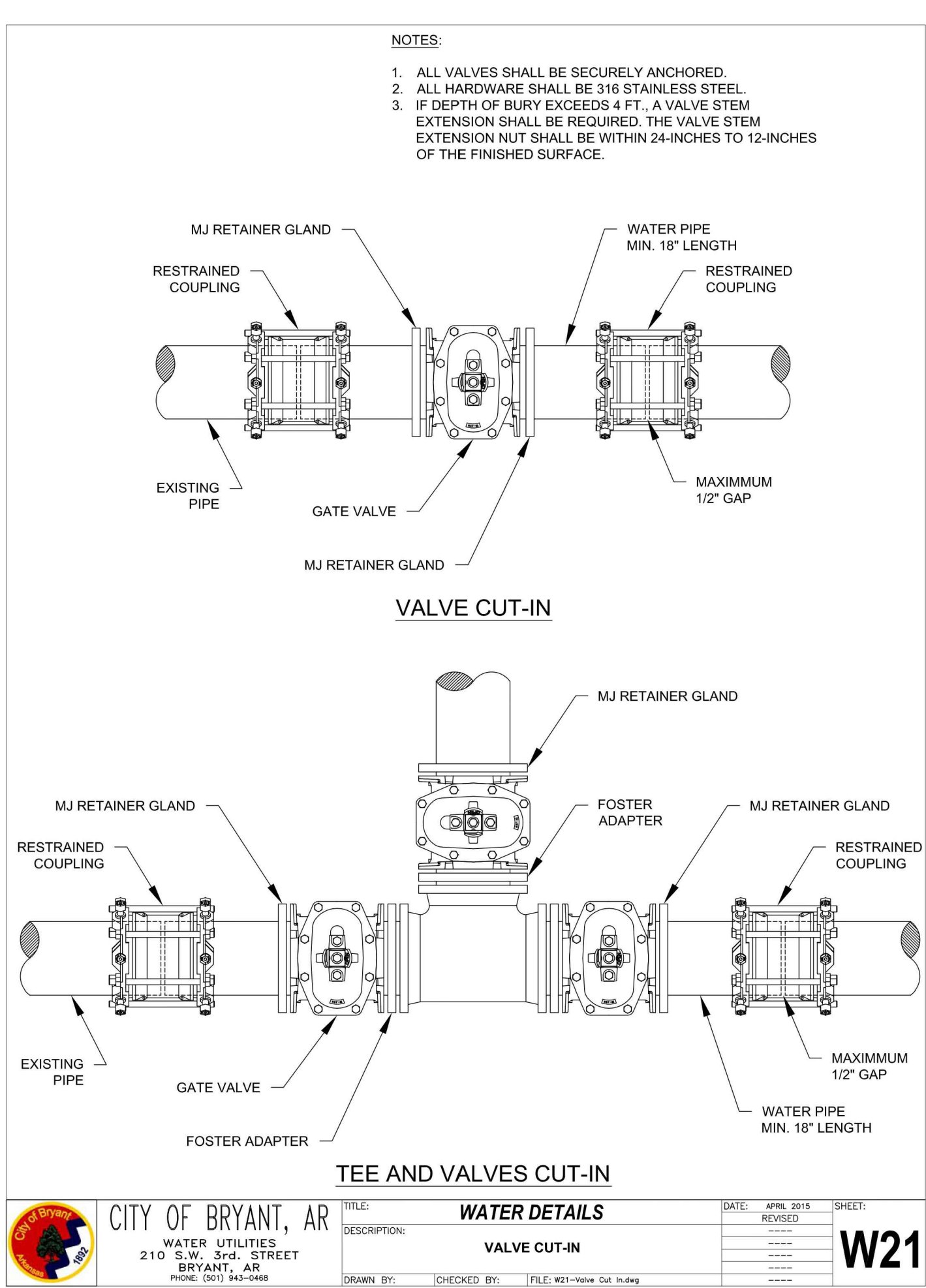
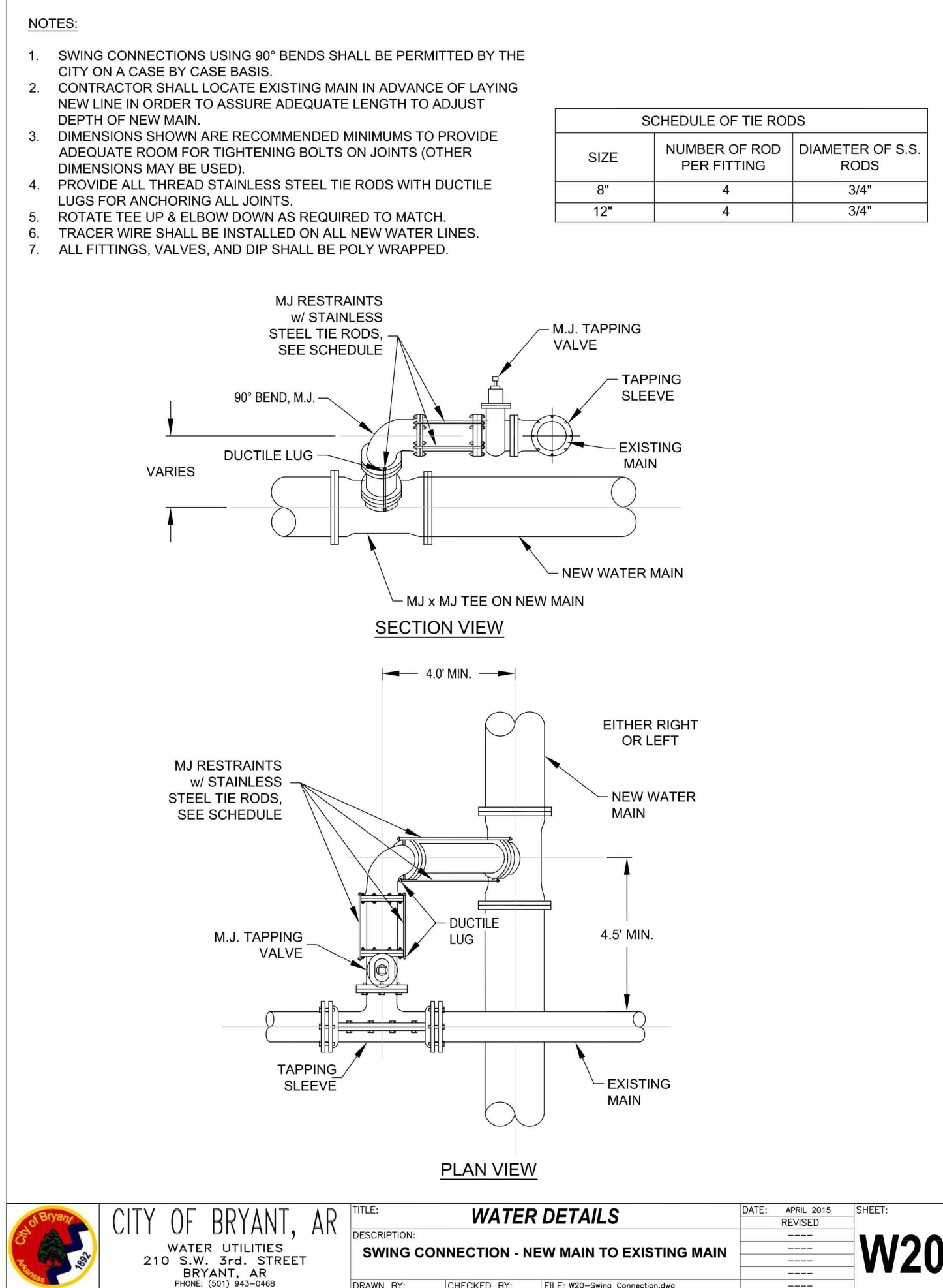
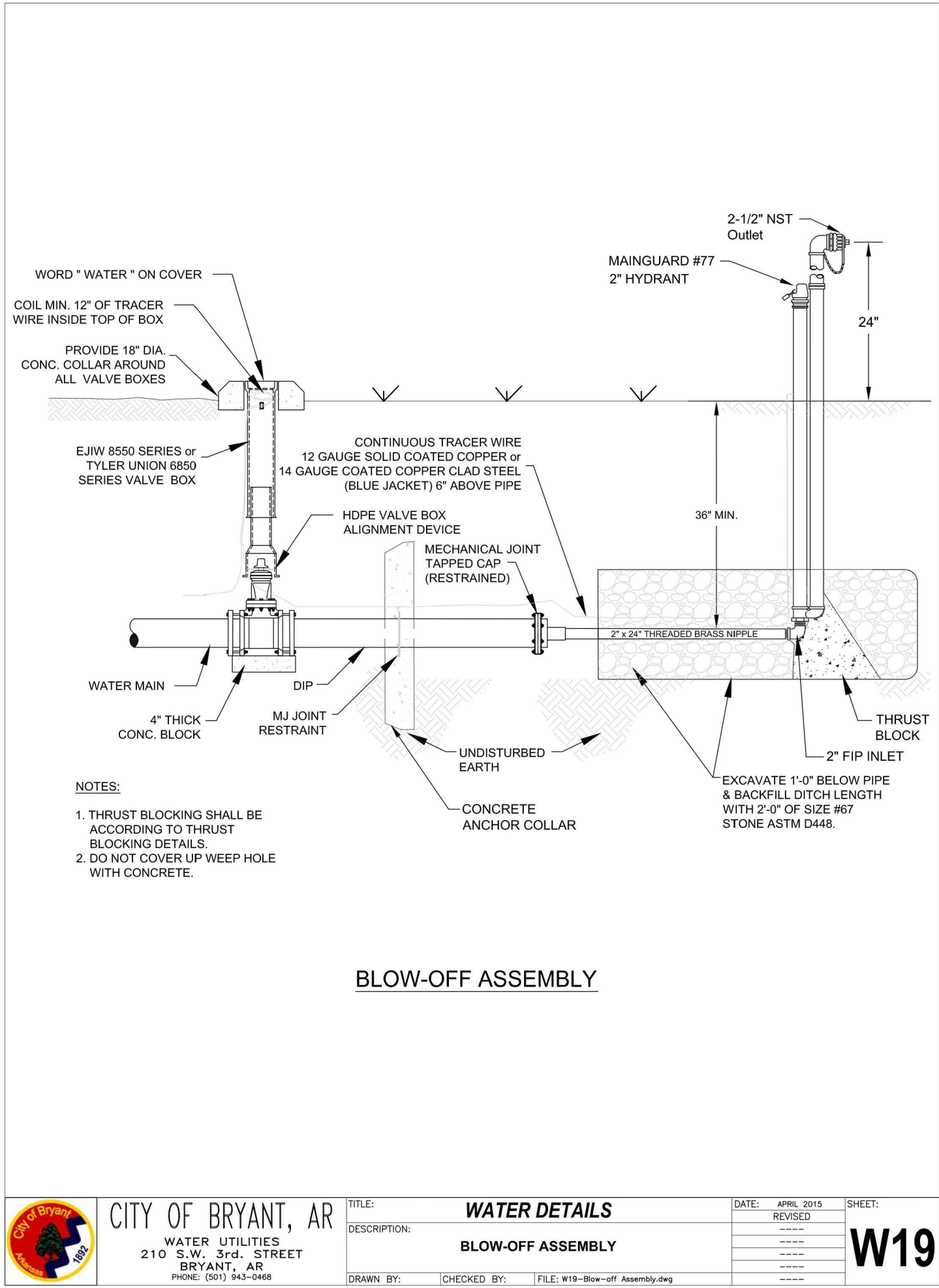
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EA:2 HOPE CONSULTING\PROJECTS\FILES\9_25-0608 LOT 2R MARKET PLACE-II\PH3\CIVIL.DWG; 25-0608 LOT 2R MARKET PLACE-II PH3 11.20.25.DWG



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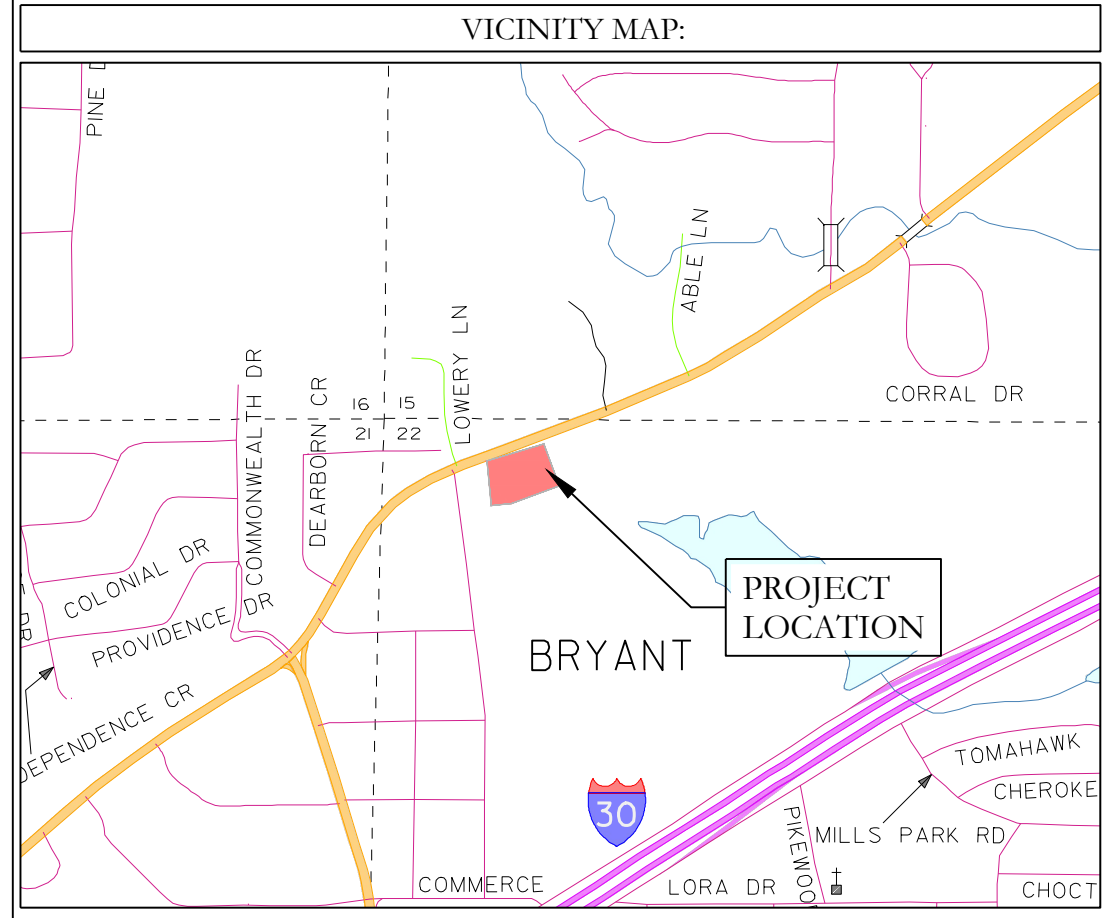
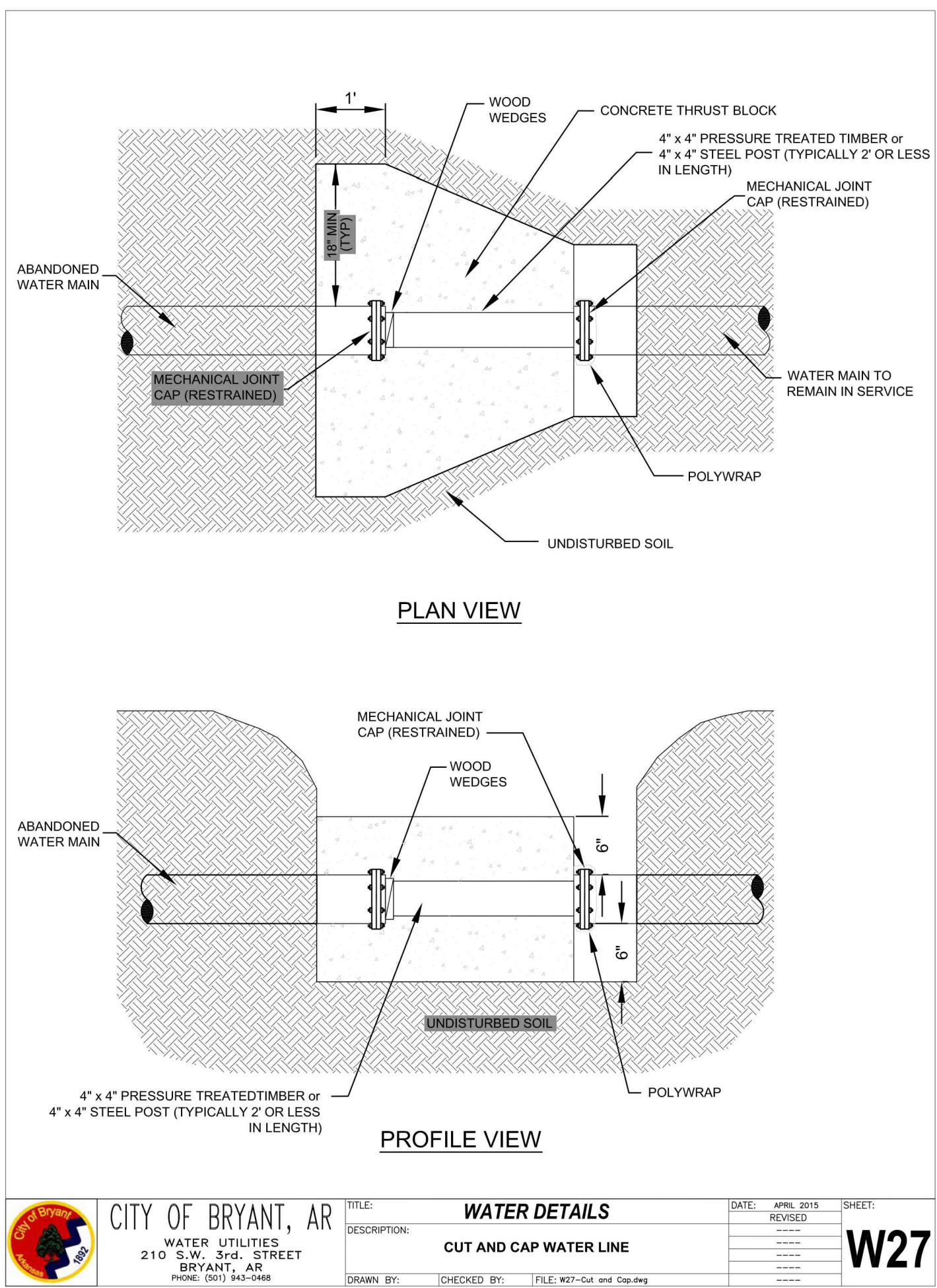
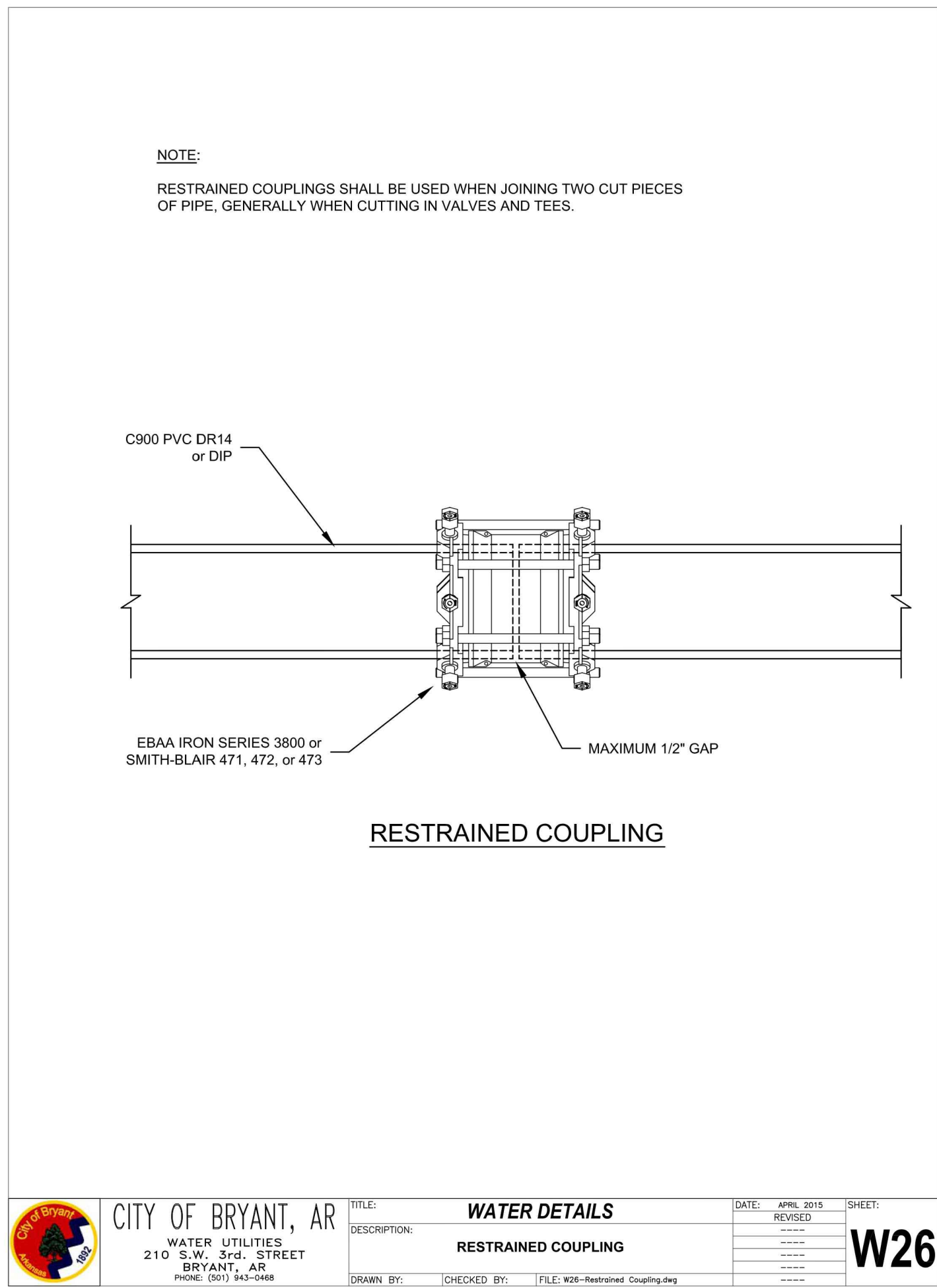
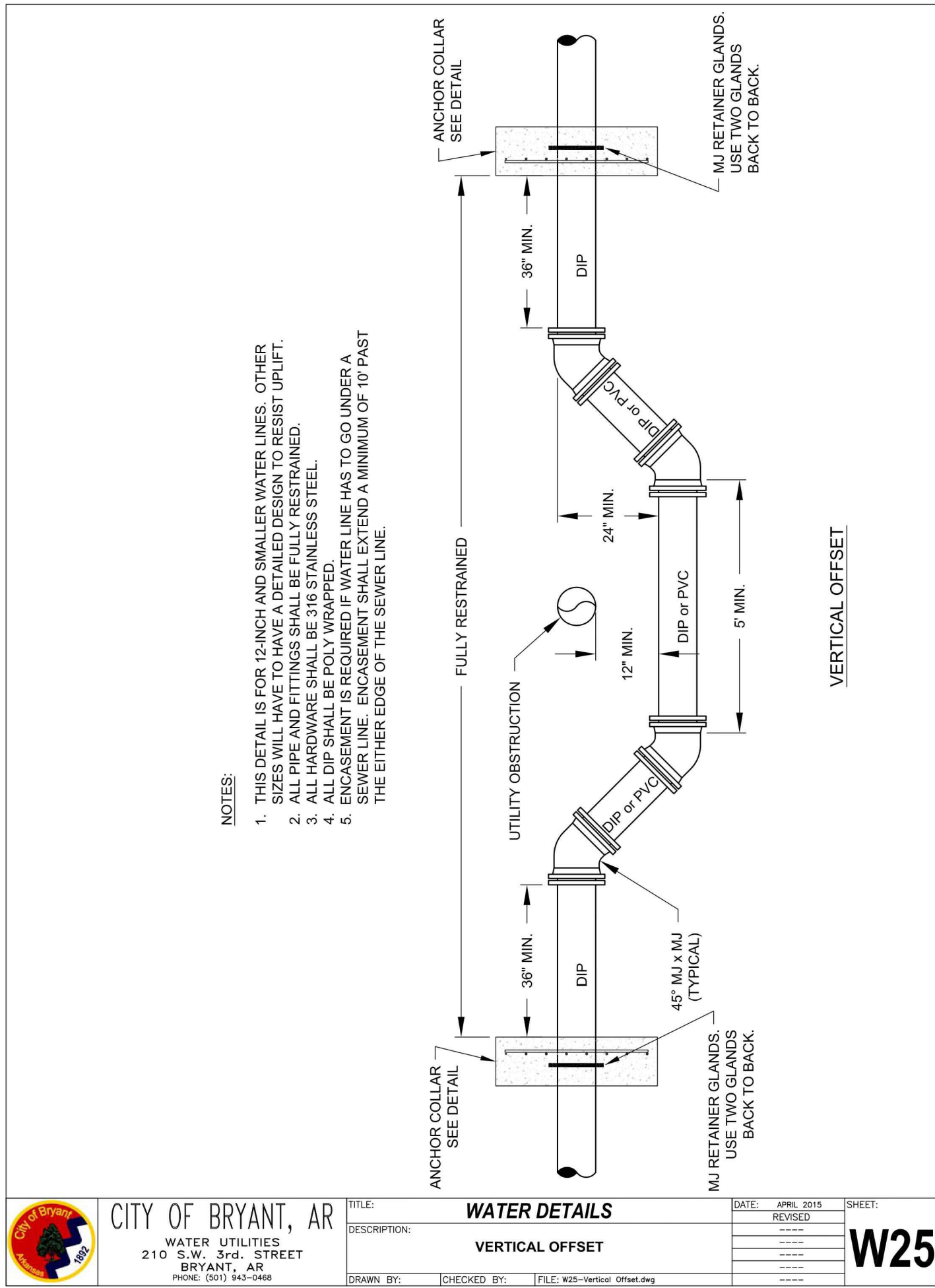
MARKET PLACE II
WATER DETAILS 4

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

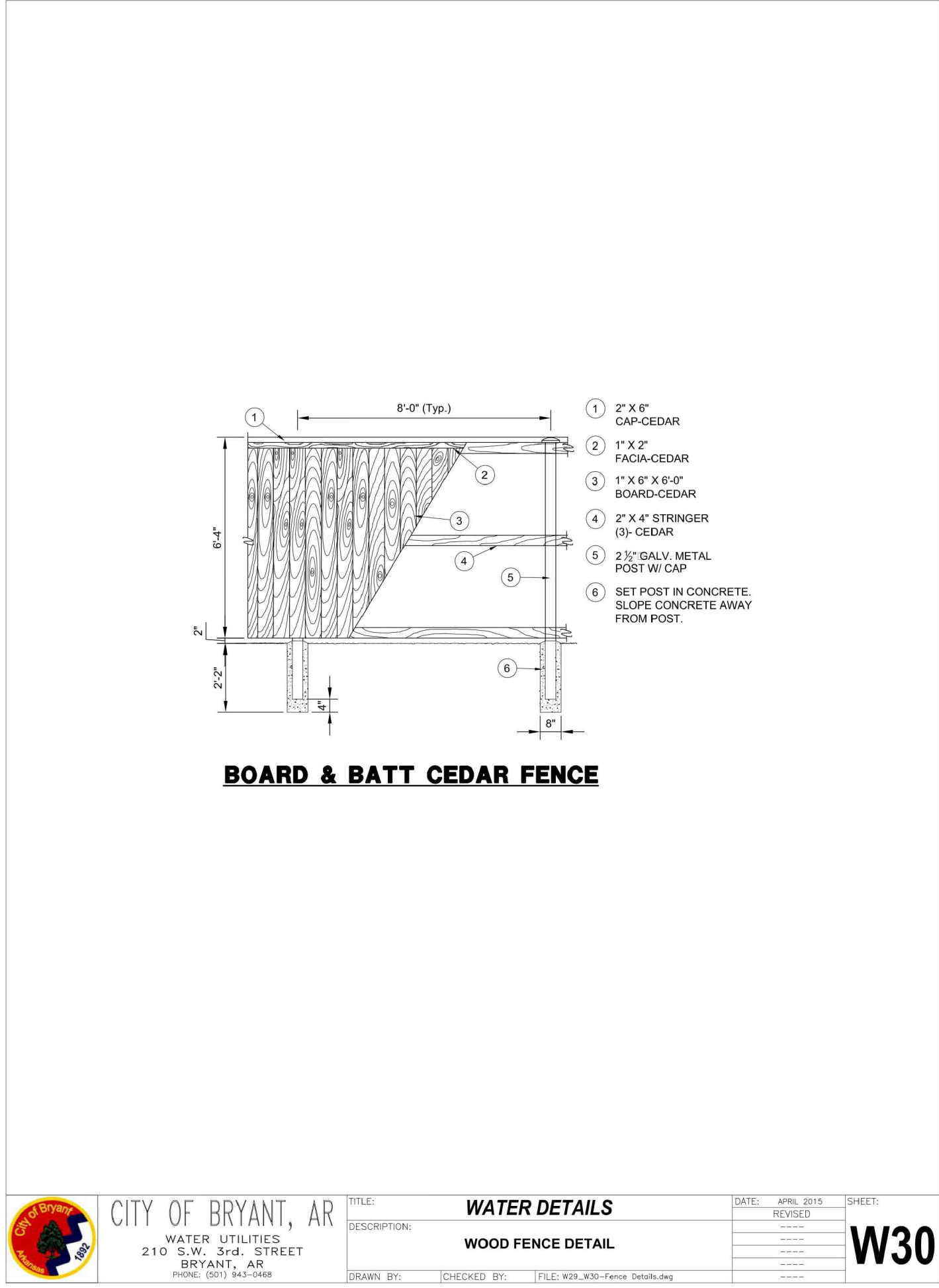
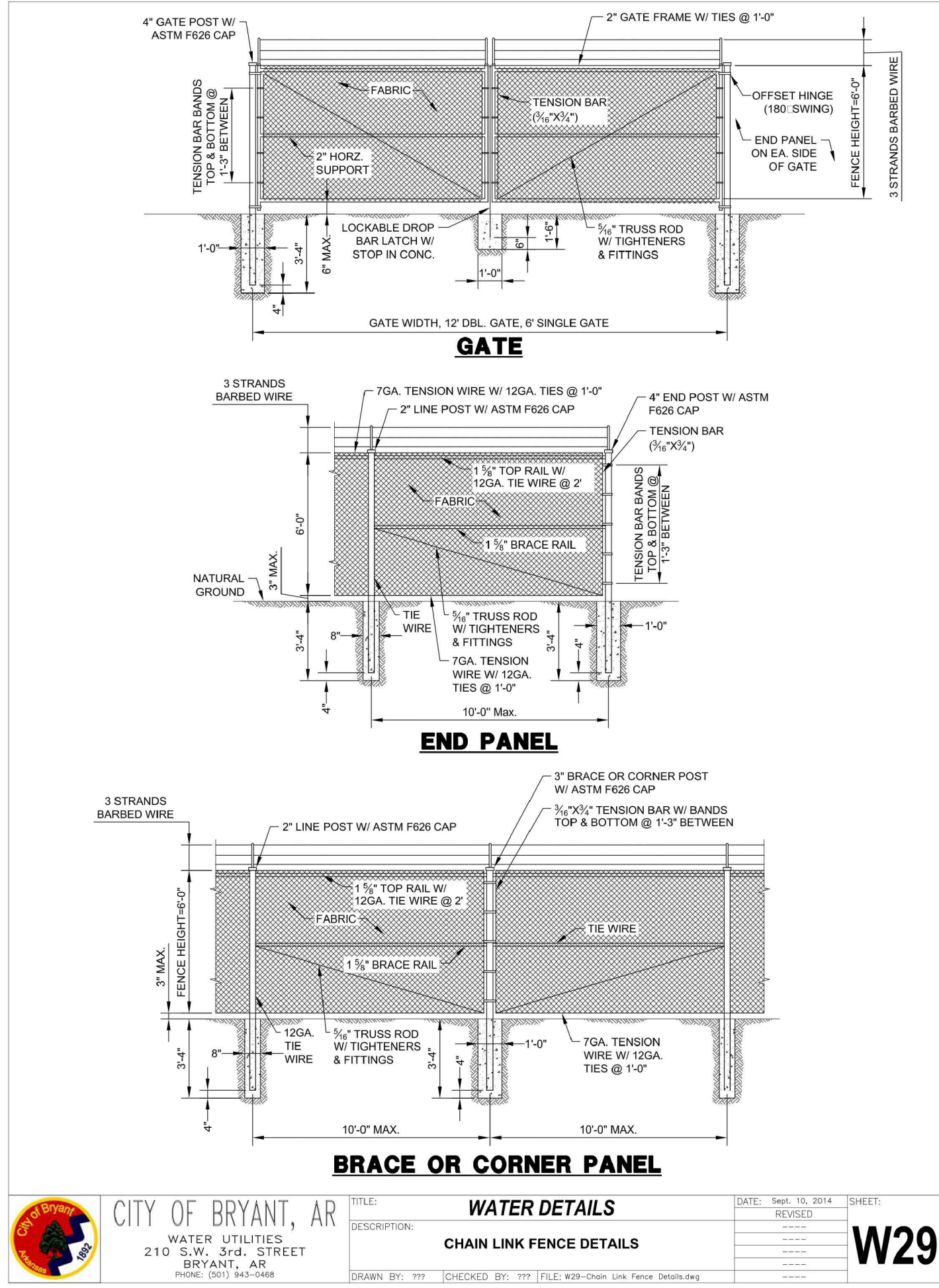
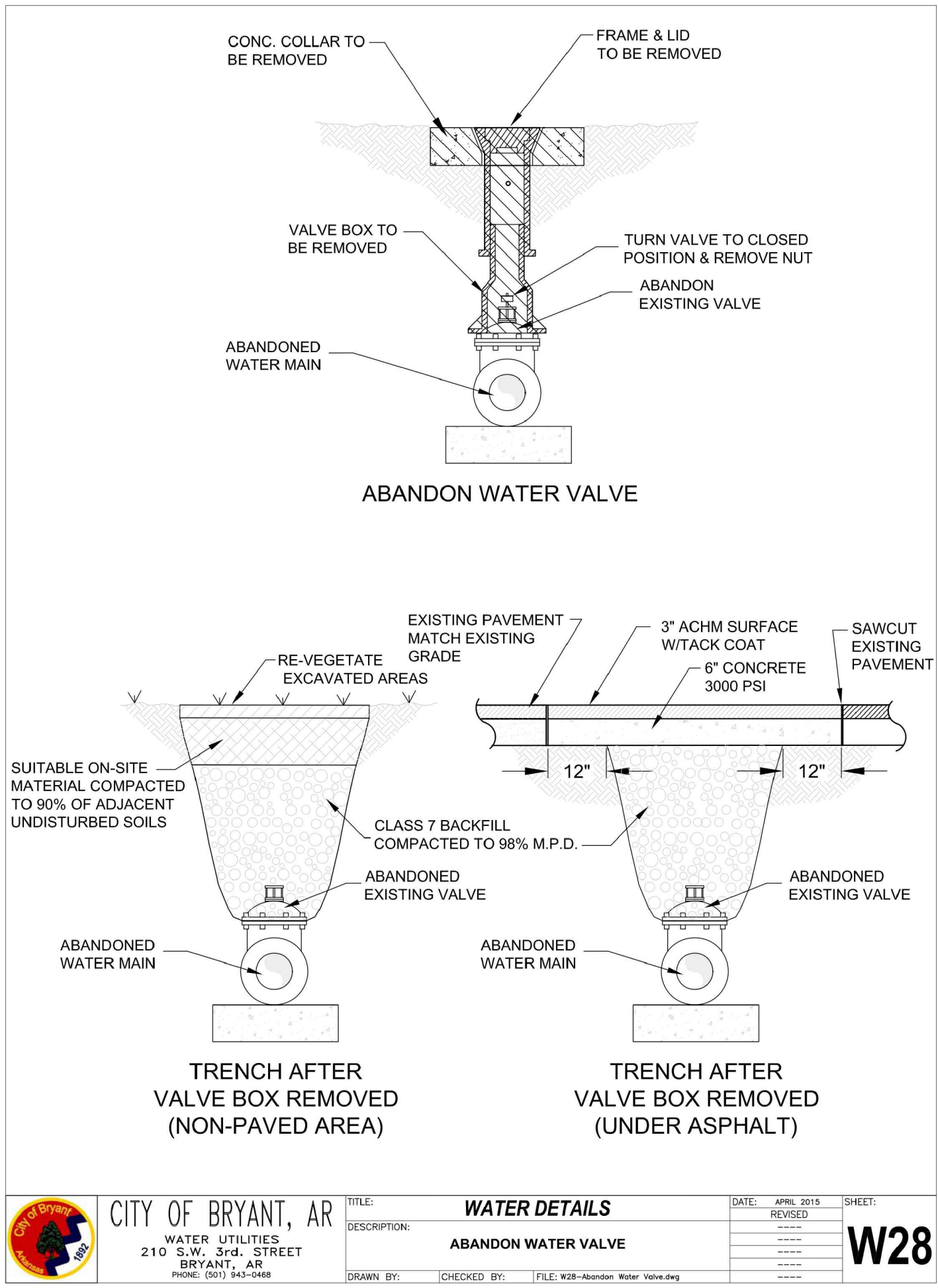
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REVISION:		CHECKED BY:	25-0608
SHEET:	C-3.10	SCALE:	

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4/16/2015 11:47:46 AM



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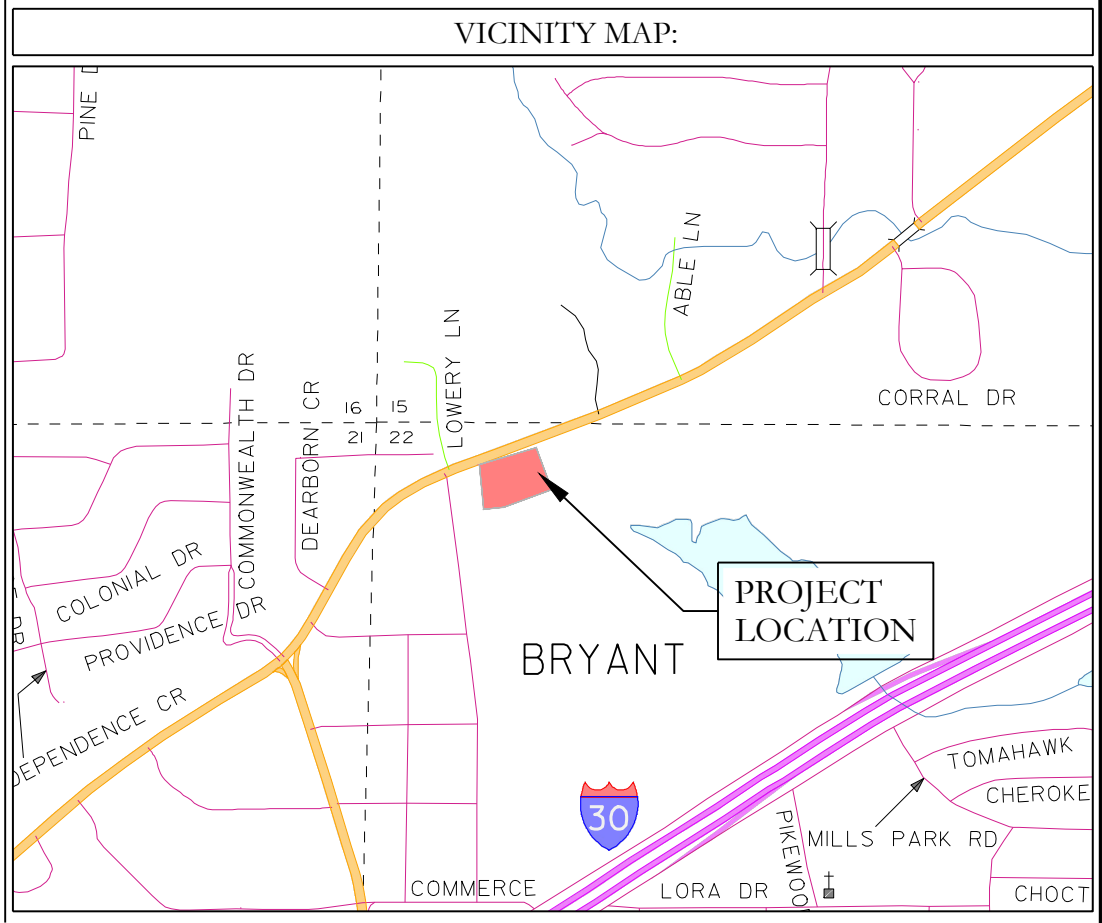
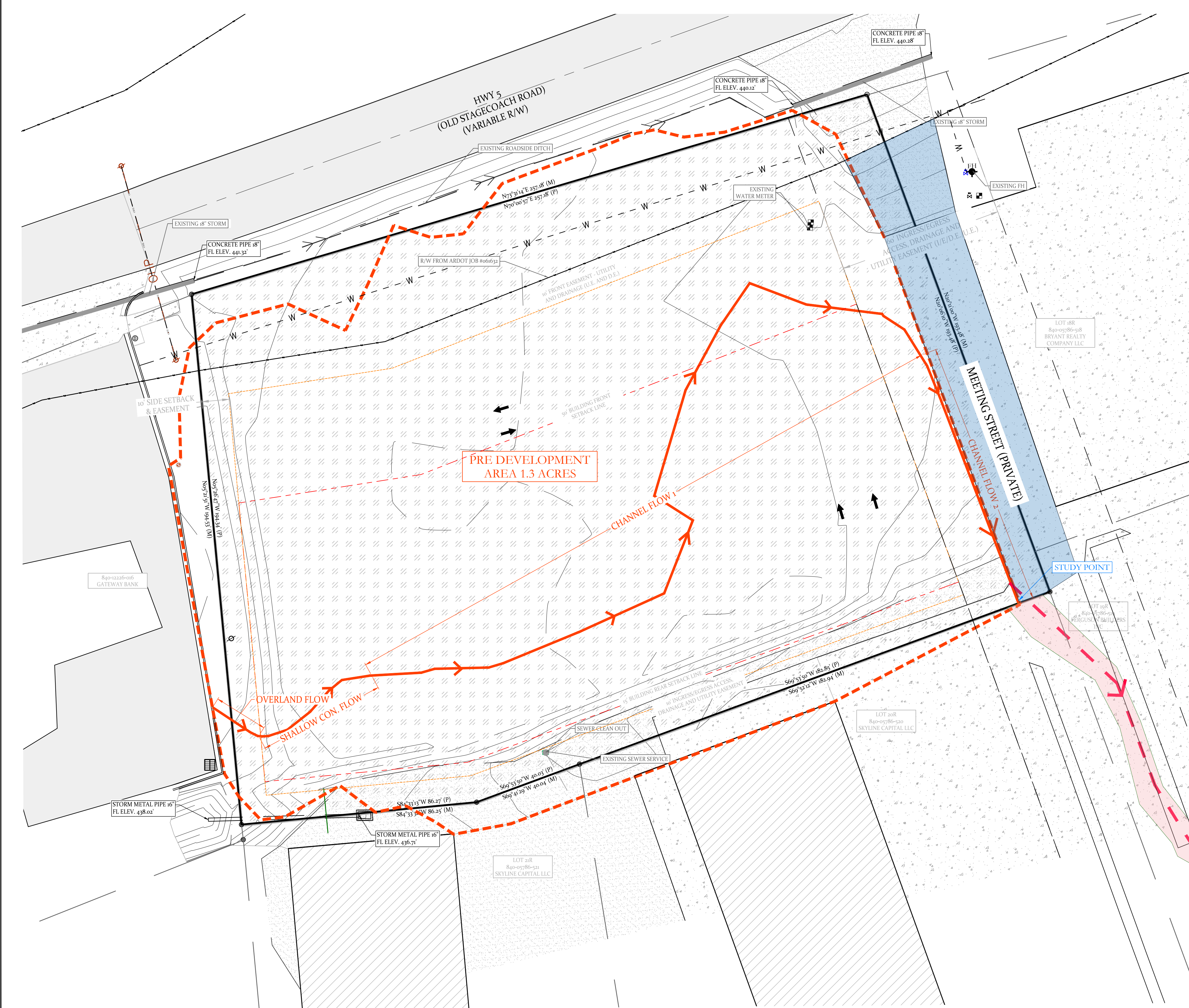
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MARKET PLACE II
WATER DETAILS 5

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:		DRAWING NUMBER:	
REVISION:		CHECKED BY:		25-0608	
SHEET:	C-3.11	SCALE:			
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				62	1762

EA-2: HOPE CONSULTING\1. PROJECTS FILES\9. 25-0608 LOT 2R MARKET PLACE-II PH3 CIVIL.DWG (25-0608 LOT 2R MARKET PLACE-II PH3 11.25.25.DWG



PRE DEVELOPMENT AREA TOC:

Area A						
Time of Concentration, tc (min)						
Area (ft2)	56814.3					
Area (Acre)	1.30					
Total Length, L (ft)	480.0					
Change in Elevation (ft)	9.2					
Slope, S (ft/ft)	0.019					
N (Coeff. Of roughness, Table 400-3)	0.100					
L _i (overland/sheet flow, ft)	10.0	Velocity, V (ft/sec)	Length, L (ft)	Height, h (ft)	Slope, S (ft/ft)	Mannings, n
L _{scs} (shallow concentrated, ft)	60.0					
L _{cs} (channel , ft)	310.0					
$t_i = 0.83 \frac{(N L_i)^{0.467}}{S^{0.5}}$, (min)		2.93	10.0	0.8	0.080	
$t_{scs} = \frac{L_{scs}}{60 V}$, (min) , unpaved $V=16.1345(S^{0.5})$		0.29	3.42	60.0	2.7	0.045
$t_{cs} = \frac{L_{cs}}{60 V}$, (min)						
$V = \frac{1.49}{n} R^{\frac{2}{3}} S^{\frac{1}{2}}$	Ch1	4.49	1.15	310.0	2.0	0.006
	Ch2	0.16	10.66	100.0	3.7	0.037
Total time of concentration, tc (min)		7.87				
USE		7.50	min			

MARKET PLACE-II PHASE 3
PRE DEVELOPMENT DRAINAGE AREA

OWNER:

Name: PHILLIP RYE

Address: 7416 PALM BEACH, BENTON

AR 72019

Phone: 501-317-9883

Email: philliprye@philliprye.com

DEVELOPER:

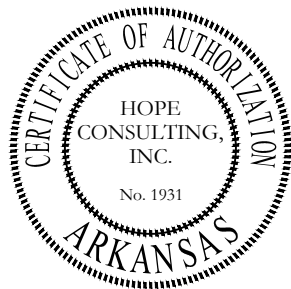
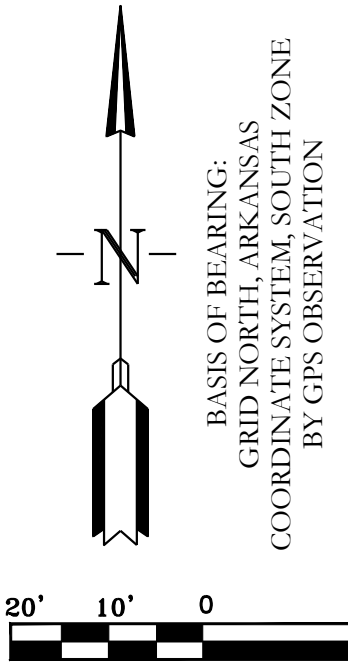
Name: RYE GENERAL CONTRACTORS

Address: 6128 HIGHWAY 5 NORTH

AR 72022

Phone:

Email:



SITE DATA	
TOTAL SITE AREA	1.30 ACRES
TOTAL DEVELOPMENT AREA	1.30 ACRES
GROSS BUILDING AREA	BUILDING 111340 SQ. FT.
BUILDING SETBACKS	FRONT SETBACK LINE: 50' RIGHT SIDE SETBACK LINE: AS SHOWN REAR SETBACK LINE: 10' LEFT SIDE SETBACK LINE: 10'
BUILDING HEIGHTS	1 STORY
BUSINESS TYPE	RETAIL
PARKING CALCULATION (PROVIDED)	PROVIDED PARKING SPACES 41 @ ADA SPACES

LEGEND	
PLSS Aliquot Corner	Clean Out
End, Corner Monument	Water Meter
Set 1/2" Rebar/Cap (664)	Power Pole
Computed Point	Sewer Manhole
As Measured	Light Pole
Per Deed or Plat Records	Telephone Pedestal
ESMT - Easement	Drainage Manhole
B.S.L. - Building Setback Lines	Gas Meter
Fence	Existing Access Agreement
Overhead Power	Public Right-of-Way Dedication
Sewer Line	
Water Line	
Telephone Line	
Electric Line	
Gas Line	

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FOR USE AND BENEFIT OF:
RYE GENERAL CONTRACTORS

MARKET PLACE II
PRE DEVELOPMENT AREA TOC CALULATION
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25

C.A.D. BY:

REVISID:

CHECKED BY:

SHEET: C-4.1

SCALE:

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25-0608

500

01S

14W

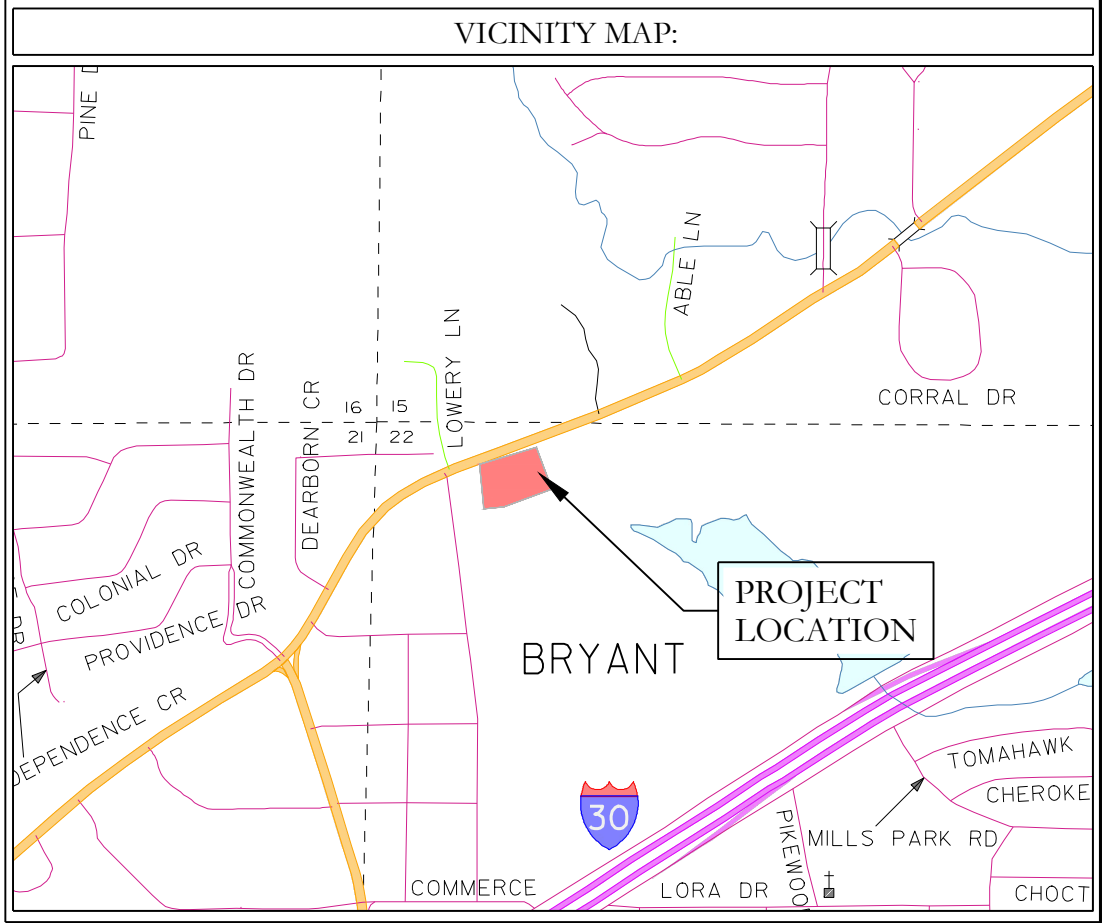
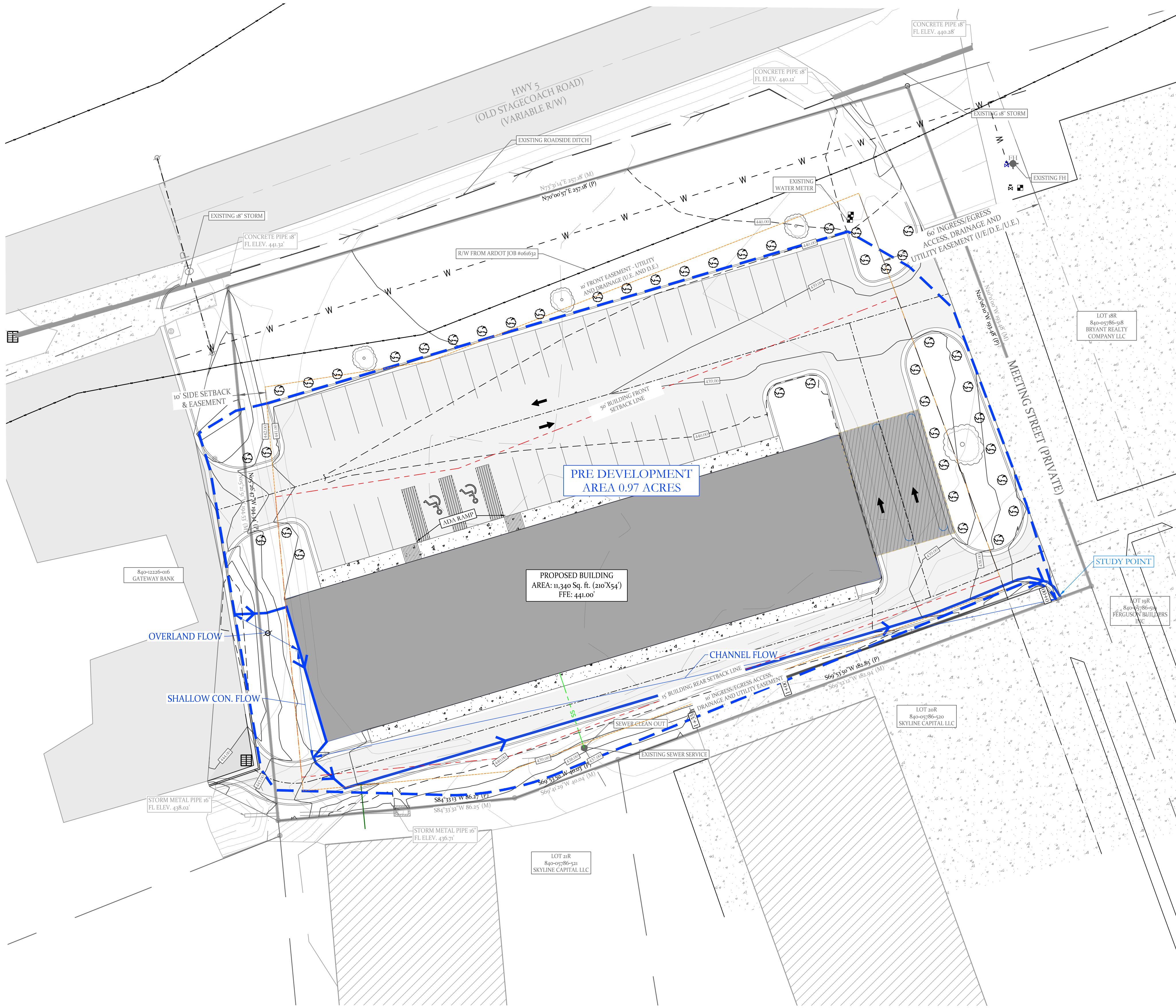
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1762



POST DEVELOPMENT AREA TOC:

Time of Concentration, tc (min)								
Area (ft2)	42090.7	Velocity, V (ft/sec)	Length, L (ft)	Height, h (ft)	Slope, S (ft/ft)	Mannings, n	Hydraulic Radius, R	
Area (Acre)	0.97							
Total Length, L (ft)	370.0							
Change in Elevation (ft)	10.8							
Slope, S (ft/ft)	0.029							
N (Coeff. Of roughness, Table 400-3)	0.400							
L _i (overland/sheet flow, ft)	30.0							
L _{scs} (shallow concentrated, ft)	40.0							
L _{cs} (channel , ft)	300.0							
$t_i = 0.42 \frac{(N L_i)^{0.8}}{p^{0.5} S^{0.4}}$, (min)	3.72							
$t_{scs} = \frac{L_{scs}}{60 V}$, (min) , unpaved $V=16.1345(S^{0.5})$	0.83	0.81	40.0	0.1	0.003			
$t_{cs} = \frac{L_{cs}}{60 V}$, (min) $V = \frac{1.49}{n} R^{\frac{2}{3}} S^{\frac{1}{2}}$ Ch1	0.54	9.35	300.0	7.1	0.024	0.011	0.300	
Total time of concentration, tc (min)	5.08							
	USE	5.00	min					

OWNER:

Name: PHILLIP RYE

Address: 7416 PALM BEACH, BENTON

AR 72019

Phone: 501-317-9883

Email: philliprye@philliprye.com

DEVELOPER:

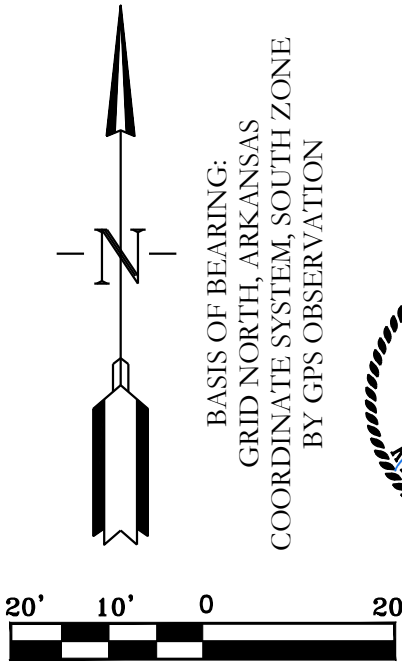
Name: RYE GENERAL CONTRACTORS

Address: 6128 HIGHWAY 5 NORTH

AR 72022

Phone:

Email:



SITE DATA	
TOTAL SITE AREA	1.30 ACRES
TOTAL DEVELOPMENT AREA	1.30 ACRES
GROSS BUILDING AREA	BUILDING 111340 SQ. FT.
BUILDING SETBACKS	FRONT SETBACK LINE: 60' RIGHT SIDE SETBACK LINE: AS SHOWN REAR SETBACK LINE: 15' LEFT SIDE SETBACK LINE: 10'
BUILDING HEIGHTS	1 STORY
BUSINESS TYPE	RETAIL
PARKING CALCULATION (PROVIDED)	PROVIDED PARKING SPACES 41 (2 ADA SPACES)

LEGEND	
● - PLSS Aliquot Corner	■ - Clean Out
○ - Find Corner Monument	■ - Overhead Power
△ - Set 1/2" Rebar/Cap (1664)	■ - Power Pole
△ - Computed Point	■ - Sewer Manhole
(M) - As Measured	○ - Light Pole
(P) - Per Deed or Plat Records	○ - Telephone Pedestal
ESMT - Easement	○ - Drainage Manhole
B.S.L. - Building Setback Lines	○ - Gas Meter
— - Fence	— - Water Line
— - Telephone Line	— - Electric Line
— - Gas Line	— - Public Right-of-Way Dedication

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MARKET PLACE II

POST DEVELOPMET AREA TOC CALCULATION

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25

C.A.D. BY:

REVISIONS:

CHECKED BY:

SHEET: C-4.2

SCALE:

DRAWING NUMBER: 25-0608

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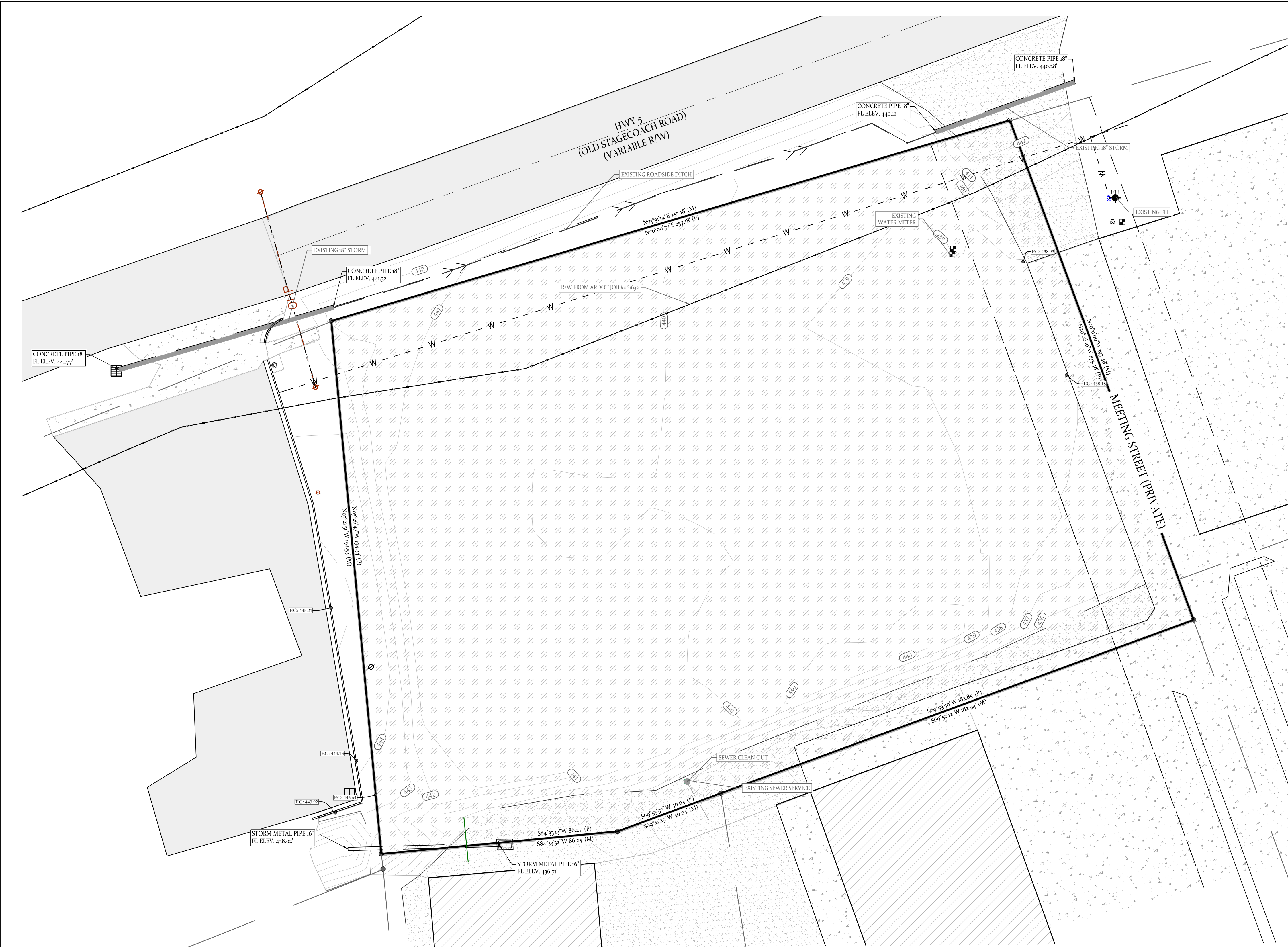
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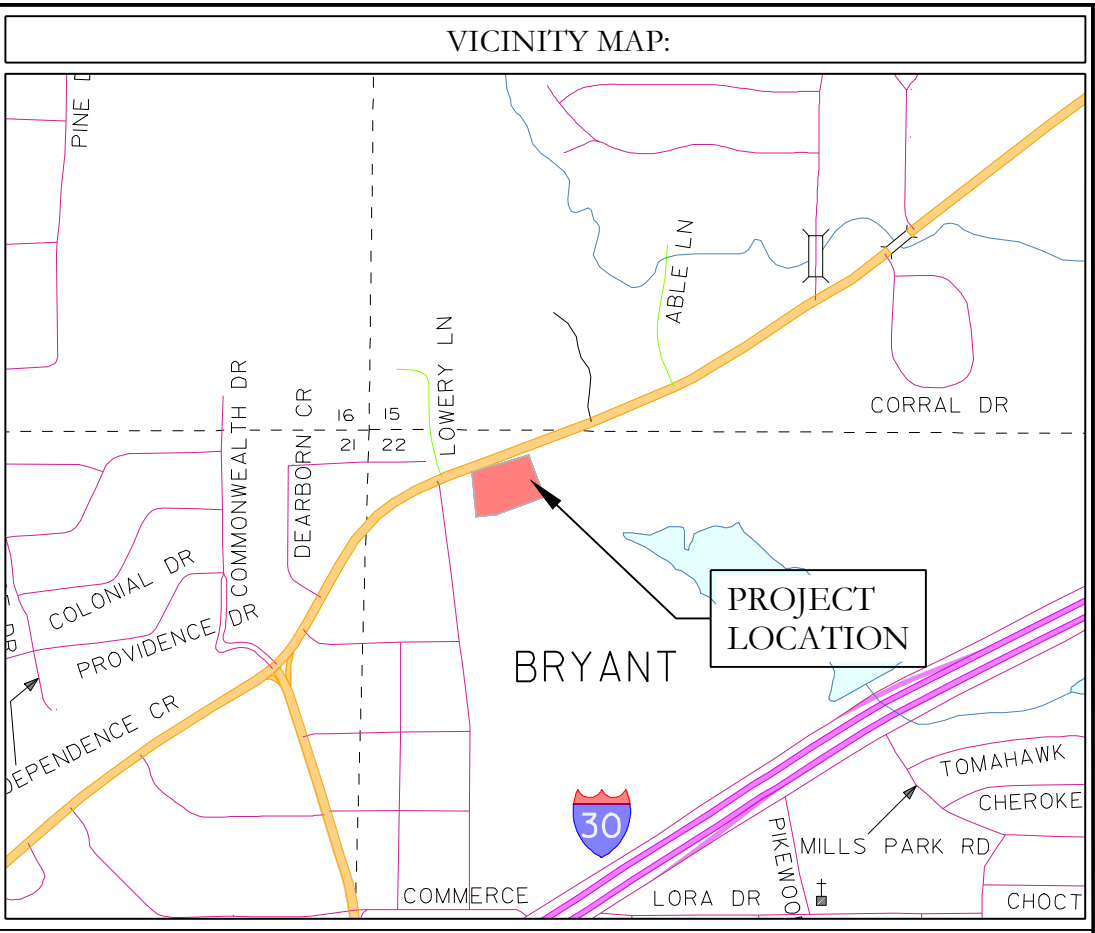


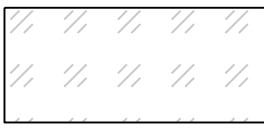
MARKET PLACE-II PHASE 3
PRE DEVELOPMENT

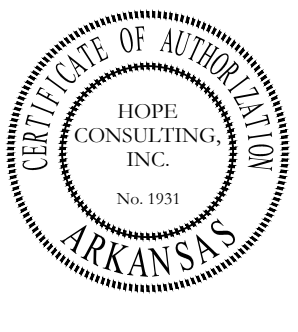
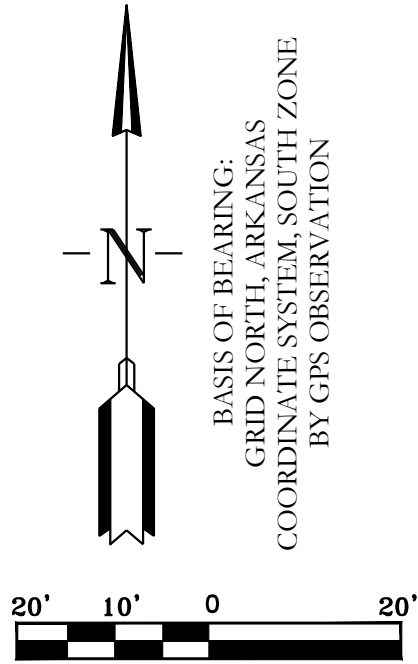
DRAINAGE CALCULATION(PRE DEVELOPMENT)

SURFACE TYPE	RUNOFF CO-EFFICIENT (100-yr.)	AREA (ha)	TOTAL AREA (ha), A	RAINFALL INTENSITY (inches/hr) (5 min Duration Rain)			
				5 YEAR	10 YEAR	25 YEAR	100 YEAR
POOR CONDITION, AVERAGE SLOPE	0.53	1.3	1.3	7.28	8.21	9.43	11.2

PEAK DISCHARGE,Q = CIA	5.02 cfs	5.66 cfs	6.50 cfs	7.72 cfs
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RUNOFF CO-EFFICIENT FOR SURFACE TYPE		
HATCH TYPE	SURFACE TYPE	RUNOFF CO-EFFICIENT (100- yr)
	POOR CONDITION, AVERAGE SLOPE	0.53



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MARKET PLACE II
DRAINAGE CALCULATION (PRE DEVELOPMENT)
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25
REVISD:
SHEET: C-4.3

C.A.D. BY:
CHECKED BY:
SCALE:

DRAWING NUMBER:
25-0608

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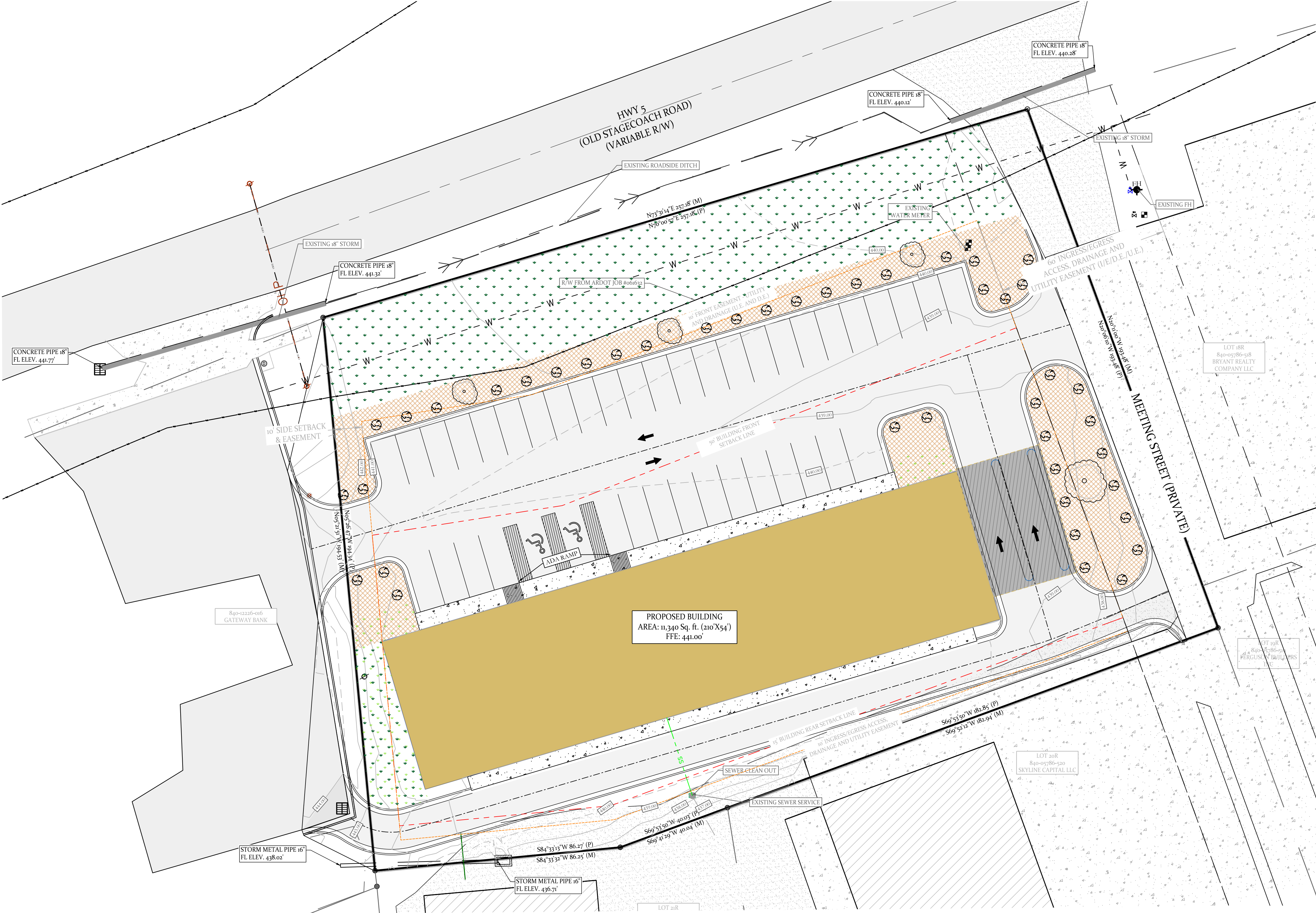
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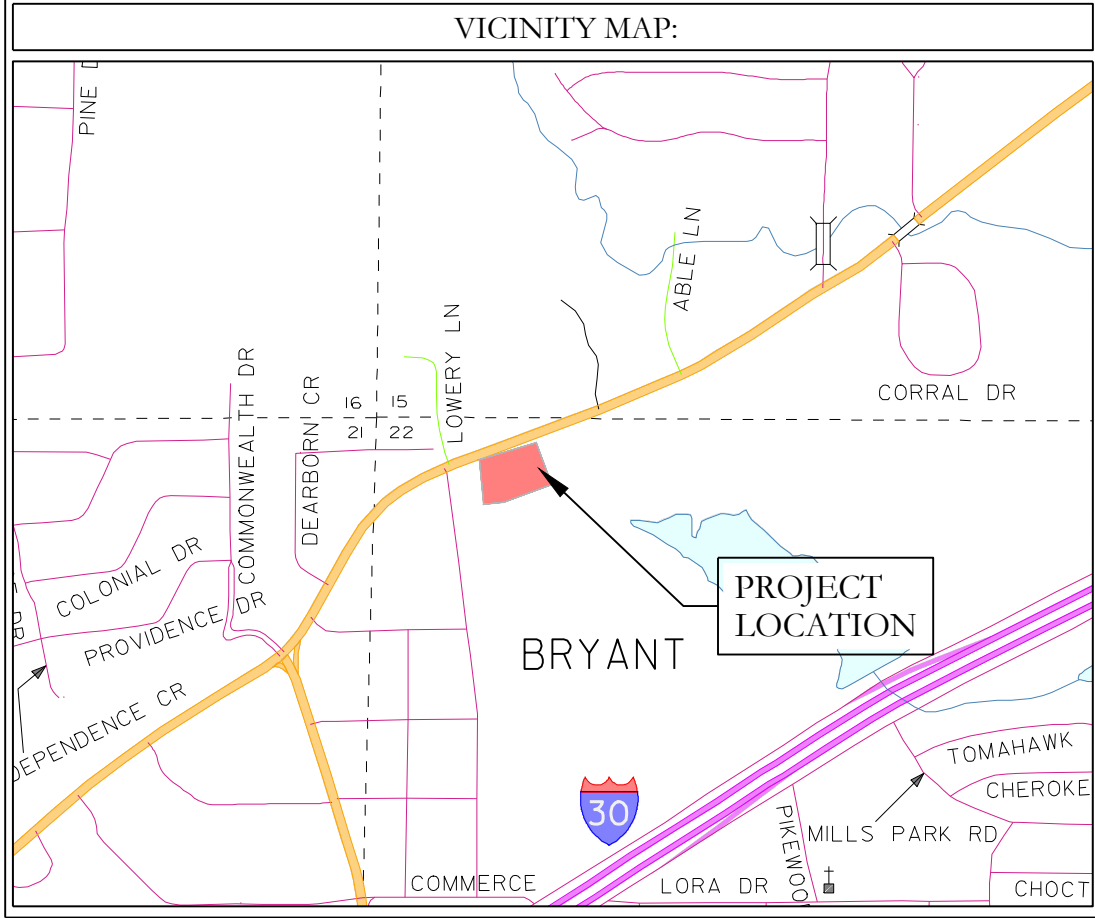
MARKET PLACE-II PHASE 3
POST DEVELOPMENT

DRAINAGE CALCULATION (POST DEVELOPMENT)

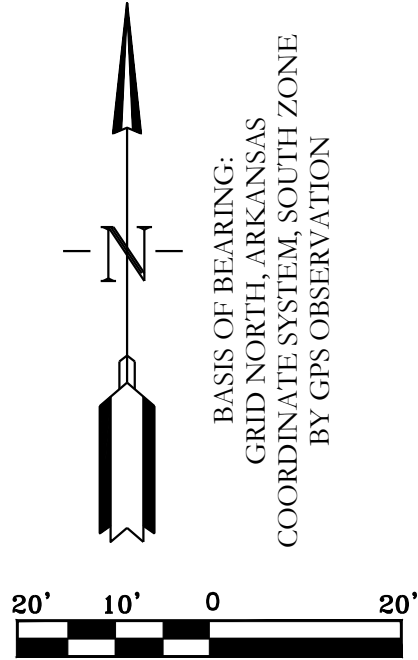
SURFACE TYPE	RUNOFF CO-EFFICIENT (100-yr.)	AREA (ha)	TOTAL AREA (ha), A	AVG. RUNOFF CO-EFFICIENT, C	RAINFALL INTENSITY (inches/hr) (5 min Duration Rain)			
					5 YEAR	10 YEAR	25 YEAR	100 YEAR
ASPHALTIC	0.95	0.6	0.99	0.88	7.28	8.21	9.43	11.2
MULCH BED	0.46	0.13						
GREEN AREA*	0.46	0.02						
ROOF	0.97	0.2						
CONCRETE	0.97	0.04						

PEAK DISCHARGE, Q = CIA	6.35 cfs	7.16 cfs	8.22 cfs	9.76 cfs
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NOTE: *THE NORTHERN PORTION OF THE GREEN AREA WILL NOT BE INCLUDED IN THE DRAINAGE CALCULATION, AS IT DOES NOT CONTRIBUTE TO THE PROJECT'S SURFACE RUNOFF.



RUNOFF CO-EFFICIENT FOR SURFACE TYPE		
HATCH TYPE	SURFACE TYPE	RUNOFF CO-EFFICIENTS
	ASPHALTIC	0.95
	GREEN AREA	0.33
	MULCH BED	0.13
	ROOF	0.97
	CONCRETE	0.97



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MARKET PLACE II
DRAINAGE CALCULATION (POST DEVELOPMENT)
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:		DRAWING NUMBER:	
REVISID:		CHECKED BY:			25-0608
SHEET:	C-4.4	SCALE:			

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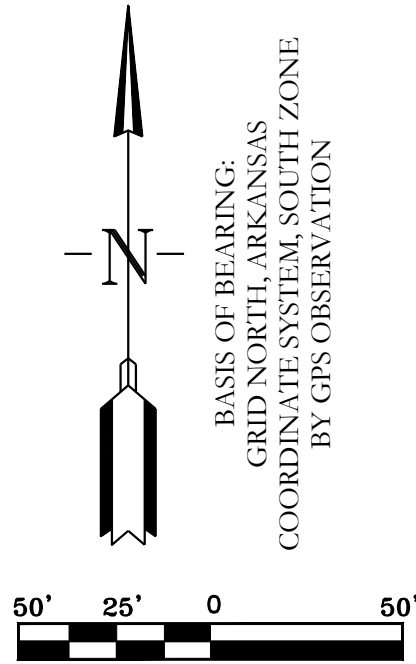
Meeting Street Drainage Capacity		
Path length	$L_{(path)}$	175.00 ft
Elevation	E	3.00 ft
Slope	S	0.017 ft/ft
Path width	W	6.00 ft
Avg depth	D	0.50 ft
Flow Area	A	3.00 ft ²
Wetted Perimeter	P	12.04 ft
Hydraulic Radius	R	0.249 ft
Manning's Coefficient	n	0.01
Peak Discharge, $Q = \frac{1.49}{n} * A * R^{2/3} * S^{1/2} = 20.97$ cfs		

Alley Path Drainage Capacity		
Path length	$L_{(path)}$	630.00 ft
Elevation	E	8.50 ft
Slope	S	0.013 ft/ft
Path width (Avg.)	W	11.00 ft
Avg depth	D	0.42 ft
Flow Area	A	4.58 ft ²
Wetted Perimeter	P	22.02 ft
Hydraulic Radius	R	0.208 ft
Manning's Coefficient	n	0.01
Peak Discharge, $Q = \frac{1.49}{n} * A * R^{2/3} * S^{1/2} = 25.20$ cfs		

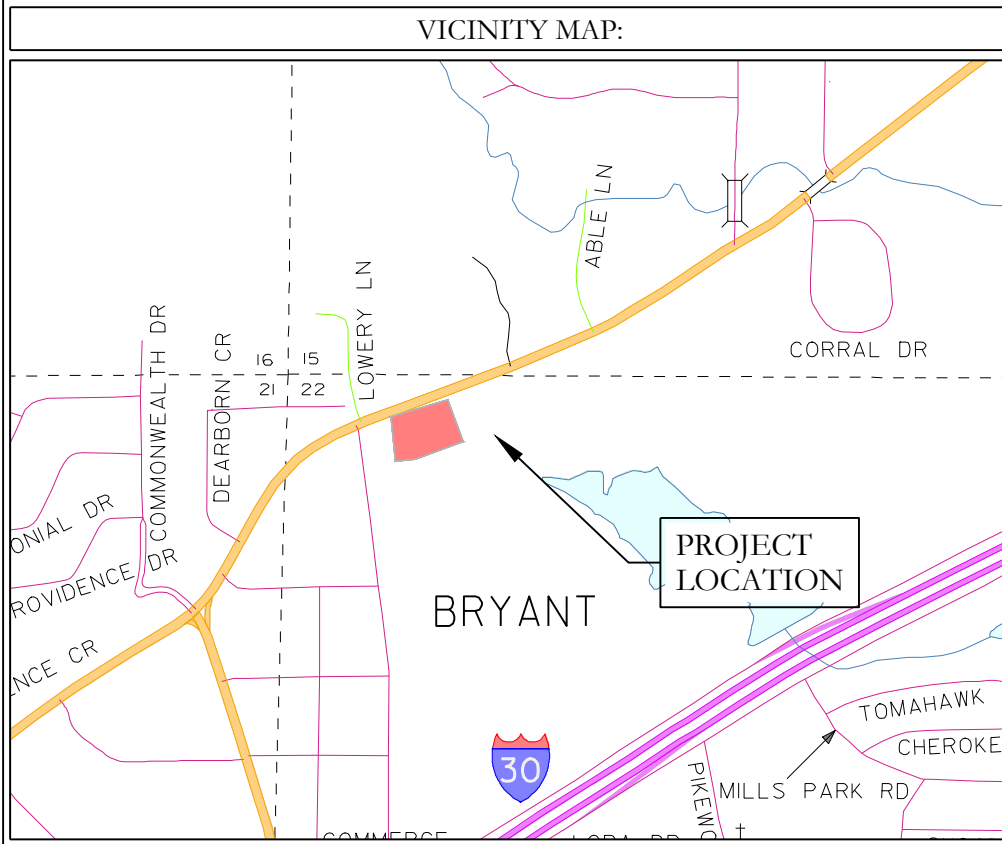
MARKET PLACE-II PHASE 3

DRAINAGE FLOW PATH

- MEETING STREET
- ALLEY PATH



BASIS OF BEARING:
GRID NORTH ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE
BY GPS OBSERVATION



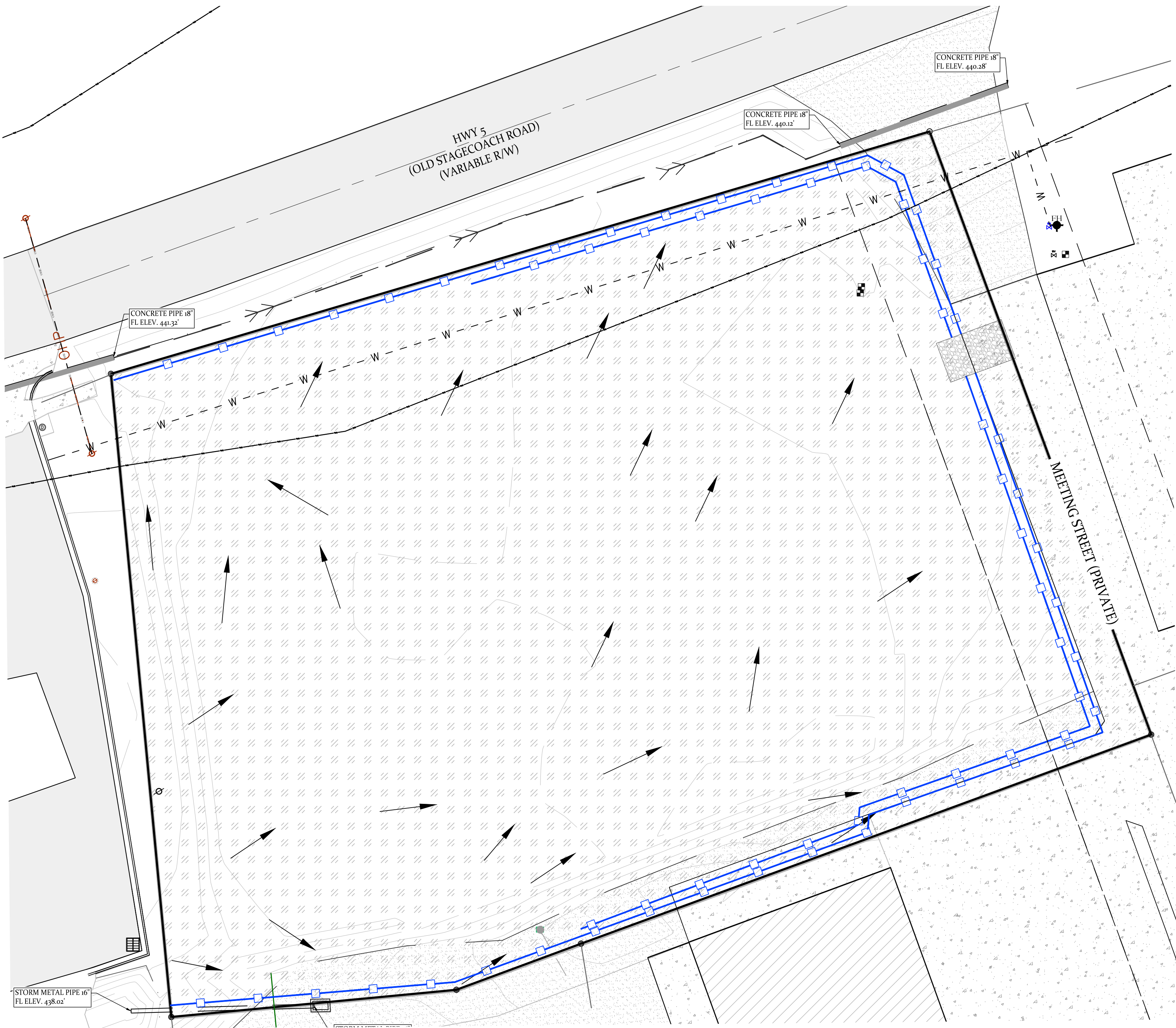
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FOR USE AND BENEFIT OF:
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MARKET PLACE II
DRAINAGE FLOW PATH
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:		DRAWING NUMBER:	
REVISED:		CHECKED BY:			25-0608
SHEET:	C-4.5	SCALE:			
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				62	1762



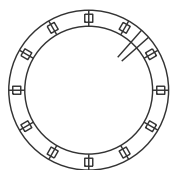
MARKET PLACE-II PHASE 3
PRE-CONSTRUCTION PHASE OR
INITIAL PHASE

ERC LEGEND

SITE POSTING



CONC. WASHOUT



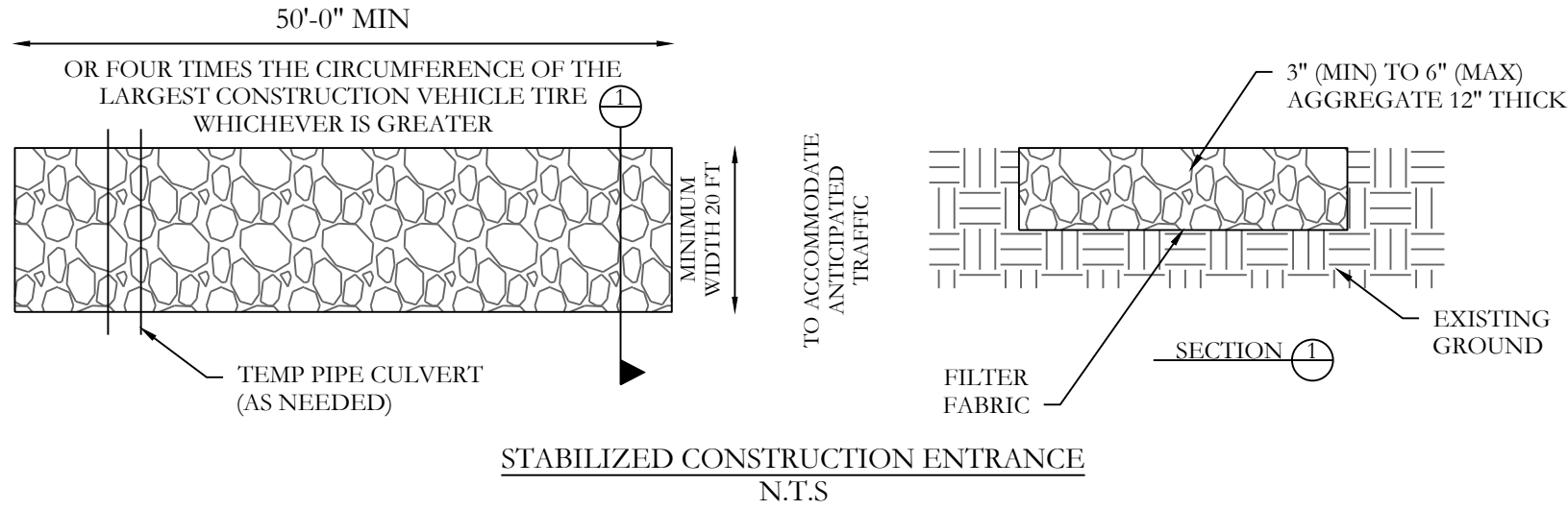
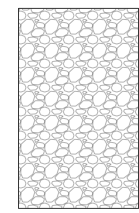
SILT FENCE



RIP RAP CHECK DAM



CONSTRUCTION
ENTRANCE



EROSION CONTROL CONSTRUCTION PHASES

PRE-CONSTRUCTION:

1. INSTALL SILT FENCES AROUND THE PROJECT SITE.
2. ESTABLISH A CONSTRUCTION ENTRANCE TO CONTROL SITE ACCESS AND MINIMIZE DISTURBANCE.
3. MAINTAIN EXISTING DRAINAGE SWALES.

CONSTRUCTION:

1. INSTALL CONCRETE WASHOUT AREAS.
2. CONSTRUCT RIP-RAP CHECK DAMS FOR EROSION CONTROL.
3. MAINTAIN SILT FENCES THROUGHOUT CONSTRUCTION.

POST-CONSTRUCTION:

1. SEED OR SOD AND MULCH DISTURBED AREAS TO STABILIZE SOIL.
2. MAINTAIN SILT FENCES UNTIL VEGETATION IS FULLY ESTABLISHED.
3. REPAIR OR REPLACE DAMAGED BMPs WITHIN 3 BUSINESS DAYS OR BEFORE THE NEXT RAIN EVENT.

SWPPP SPECIFIC NOTES

1. ALL DEVELOPMENT SHALL COMPLY WITH CITY OF BRYANT AND ADEQ ARR150000 STORMWATER PERMIT REQUIREMENTS.
2. INSTALL SILT FENCE AS SHOWN ON THE PLANS; ADD ADDITIONAL FENCING WHERE HEAVY RUNOFF MAY OCCUR. CONTRACTOR SHALL INSPECT AND INSTALL SUPPLEMENTAL MEASURES AS NEEDED TO CONTAIN RUNOFF.
3. CONSTRUCT RIP-RAP CHECK DAMS PER ADEQ REQUIREMENTS. LOCATIONS SHOWN ARE APPROXIMATE; ADD ADDITIONAL CHECK DAMS AS SITE CONDITIONS REQUIRE.
4. MAINTAIN CONSTRUCTION ENTRANCES/EXITS TO PREVENT TRACKING OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
5. IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY BASED ON SITE CONDITIONS.
6. CONTRACTOR SHALL UTILIZE ACCEPTED BEST MANAGEMENT PRACTICES (BMPs) FOR ALL SEDIMENT AND RUNOFF CONTROL MEASURES.

INSPECTION AND MAINTENANCE PLAN

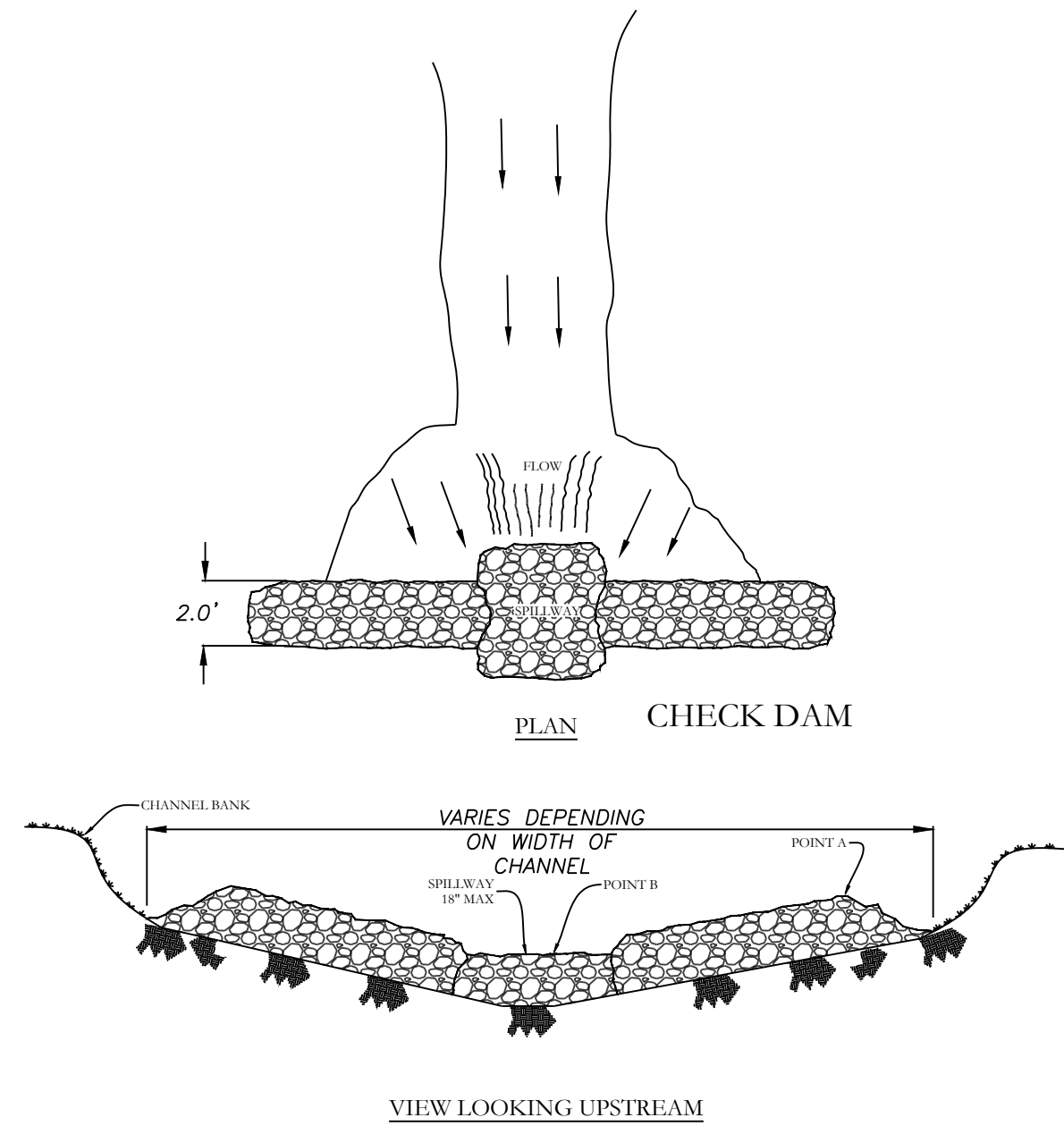
QUALIFIED PERSONNEL MUST INSPECT ALL DISTURBED AREAS AT LEAST ONCE EVERY 7 DAYS, AND ALSO WITHIN 24 HOURS AFTER ANY STORM OF ≥ 0.5 IN. DESCRIBE PROCEDURES TO KEEP THE FOLLOWING IN GOOD AND EFFECTIVE OPERATING CONDITION:

- VEGETATION
- EROSION & SEDIMENT CONTROL MEASURES
- ANY OTHER PROTECTIVE MEASURES LISTED IN THE SITE PLAN

SEQUENCE OF CONSTRUCTION PLAN

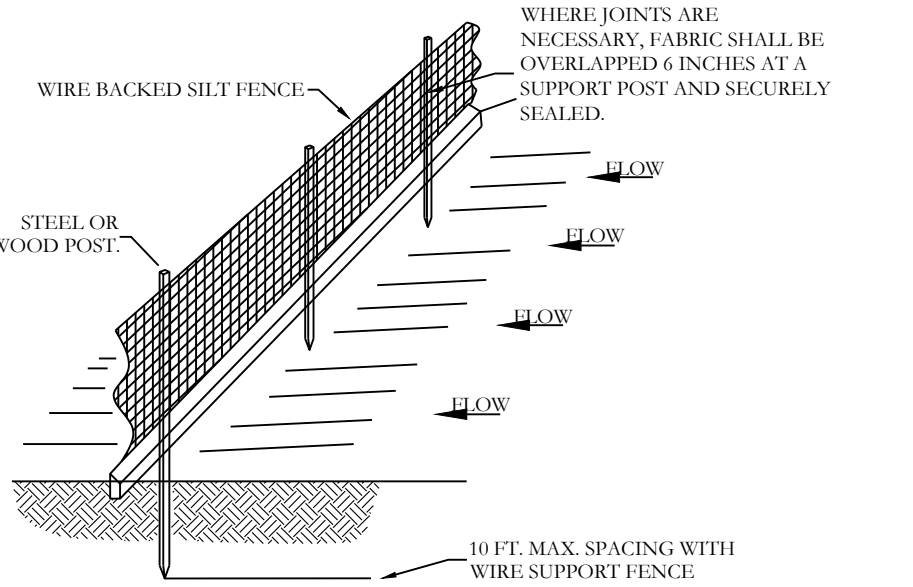
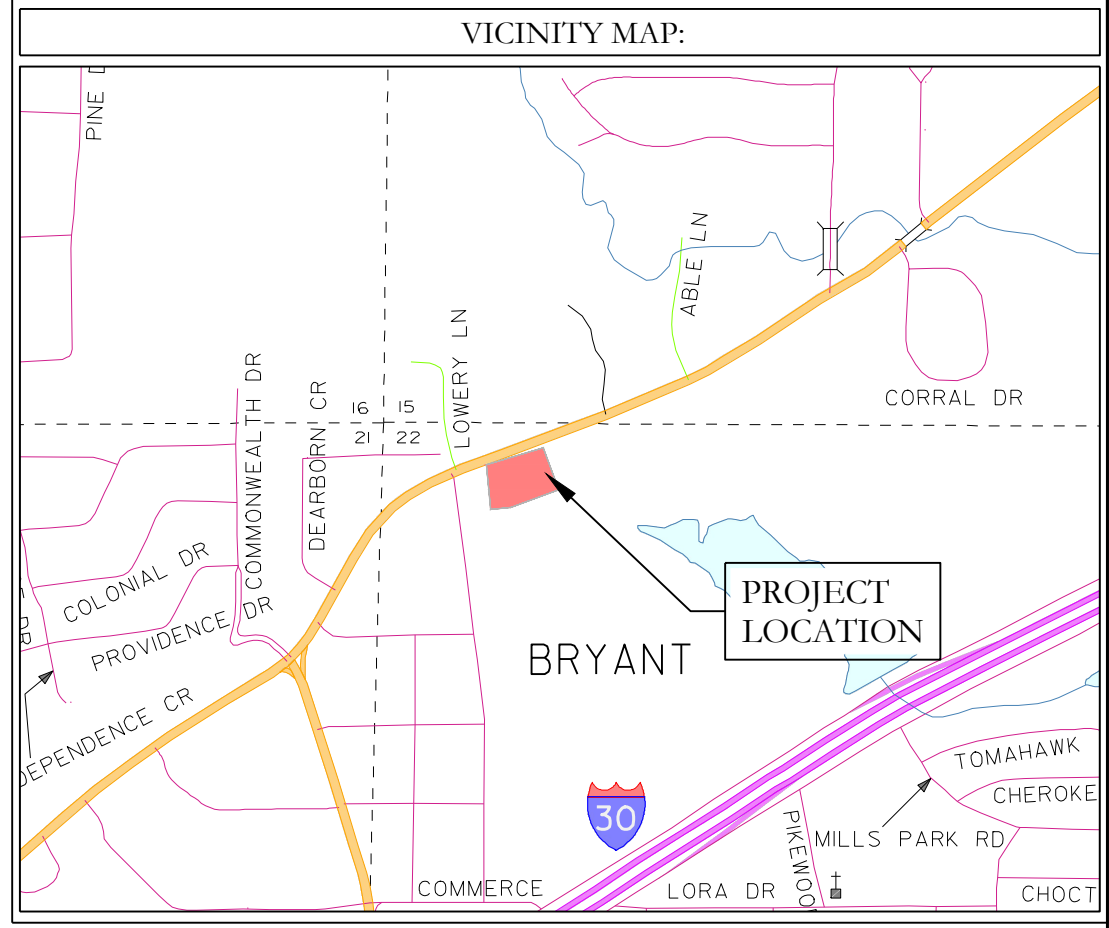
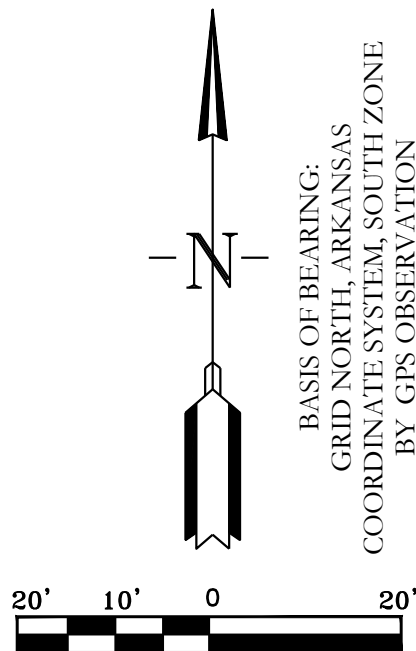
Step	Activity	ESC/Control Measures	Notes
1	Install temporary ESC	Silt fence, construction entrance, riprap	Must be installed before any land disturbing activity
2	Site Clearing	Maintain temporary ESC, protect sensitive areas	Limit disturbance to only necessary areas
3	Final Grading / Slope Stabilization	Temporary ESC still in place	Install permanent measures where needed
4	Permanent Control Installation	Permanent pond structures, spillway, riprap, ditches	Remove temporary ESC only after permanent controls installed and stabilized
5	Vegetation / Stabilization	Permanent seeding / sod	Stabilize slopes and disturbed areas as soon as possible
6	Monitoring & Maintenance	Weekly inspections, repair damaged ESC measures	Follow SWPPP inspection schedule (every 7 days or after rain ≥ 0.5 "
7	Site Final Stabilization	Confirm 80% vegetative cover or equivalent permanent measures	Required before filing Notice of Termination (NOT)
8	Project Completion / Termination	Remove temporary measures, submit NOT	Only after full stabilization

(Reference: Bryant Stormwater Management Manual, Sections 1104.4.1-1104.4.7)

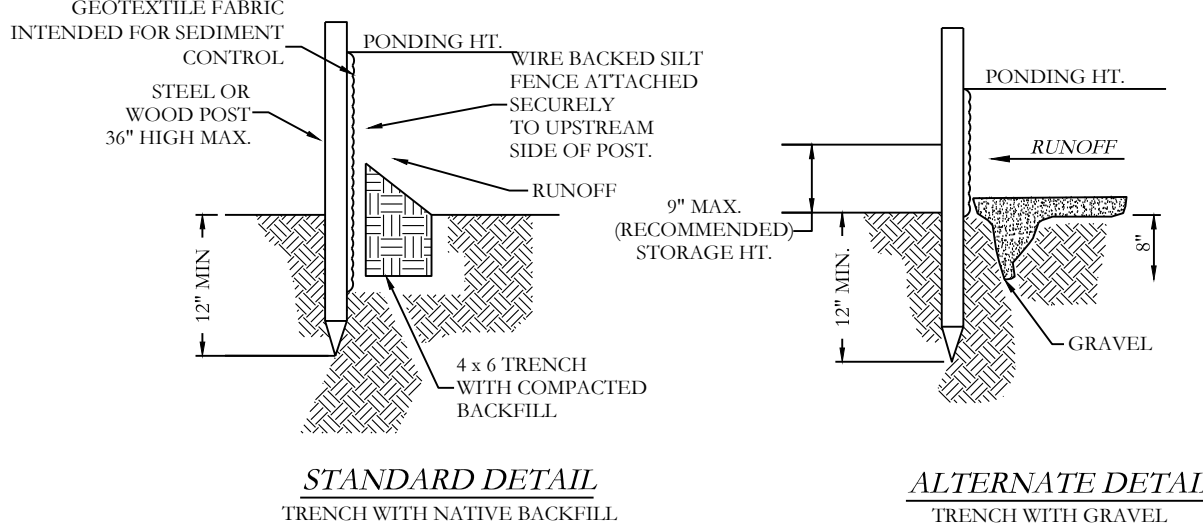


NOTES:

- 1) POINT 'A' MUST BE HIGHER THAN POINT 'B' (SPILLWAY HEIGHT).
- 2) PLACE RIP-RAP BARRIER PERPENDICULAR TO THE FLOW WITH TIGHT GROUPING. USE LOOSE ROCK OR AGGREGATE PLACED OVER SOIL SURFACES, BROKEN CONCRETE IS NOT ACCEPTABLE. STRAW, ROCKS, OR FILTER FABRIC TO FILL ANY GAPS AND TAMP BACKFILL MATERIAL TO PREVENT EROSION OR FLOW AROUND THE DAM.
- 3) USE CLEAN CRUSHED STONE OR COBBLE IN A SMALLER GRADATION IN CHECK DAM.
- 4) SPILLWAY HEIGHT SHALL NOT EXCEED 18\"/>
- 5) INSPECT AFTER EACH SIGNIFICANT STORM, MAINTAIN AND REPAIR PROMPTLY.



SILT FENCE



EROSION CONTROL NOTES

SOD DETENTION AREA POST-CONSTRUCTION (IF APPLICABLE) MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEVEES. CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE.

RIP RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP.

CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY.

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EXISTING VEGETATION WILL ONLY BE REMOVED INSIDE ROW AND WITHIN HOUSE FOOTPRINTS AS THEY ARE CONSTRUCTED. ADDITIONAL WIRE-BACKED SILT FENCING WILL BE ADDED TO INDIVIDUAL LOTS AS HOME CONSTRUCTION TAKES PLACE.

THE ECP IS SUBJECT TO CHANGE BASED ON CURRENT SITE CONDITIONS. ADDITIONAL MEASURES MAY BE NEEDED TO MITIGATE ILLICIT DISCHARGES OF SEDIMENT AND/OR DEBRIS FROM THE SITE.

ALL STORMWATER INLETS ON AND ADJACENT TO THE SITE WILL BE PROTECTED FROM SEDIMENT INTRUSION.

STORMWATER CONTROLS WILL BE INSPECTED AT LEAST ONCE EVERY SEVEN DAYS.

ALL EROSION CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE PROJECT AND UNTIL PERMANENT VEGETATION IS ESTABLISHED, AND SEDIMENT TRAPS WILL BE CLEANED AS REQUIRED.

ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED, BASED ON SITE-SPECIFIC CONDITIONS.

EXISTING VEGETATION SHALL BE PRESERVED WHEREVER FEASIBLE.

ALL DISTURBED AREAS LEFT IDLE FOR 14 DAYS OR LONGER SHALL BE TREATED WITH TEMPORARY VEGETATION AND MULCHING.

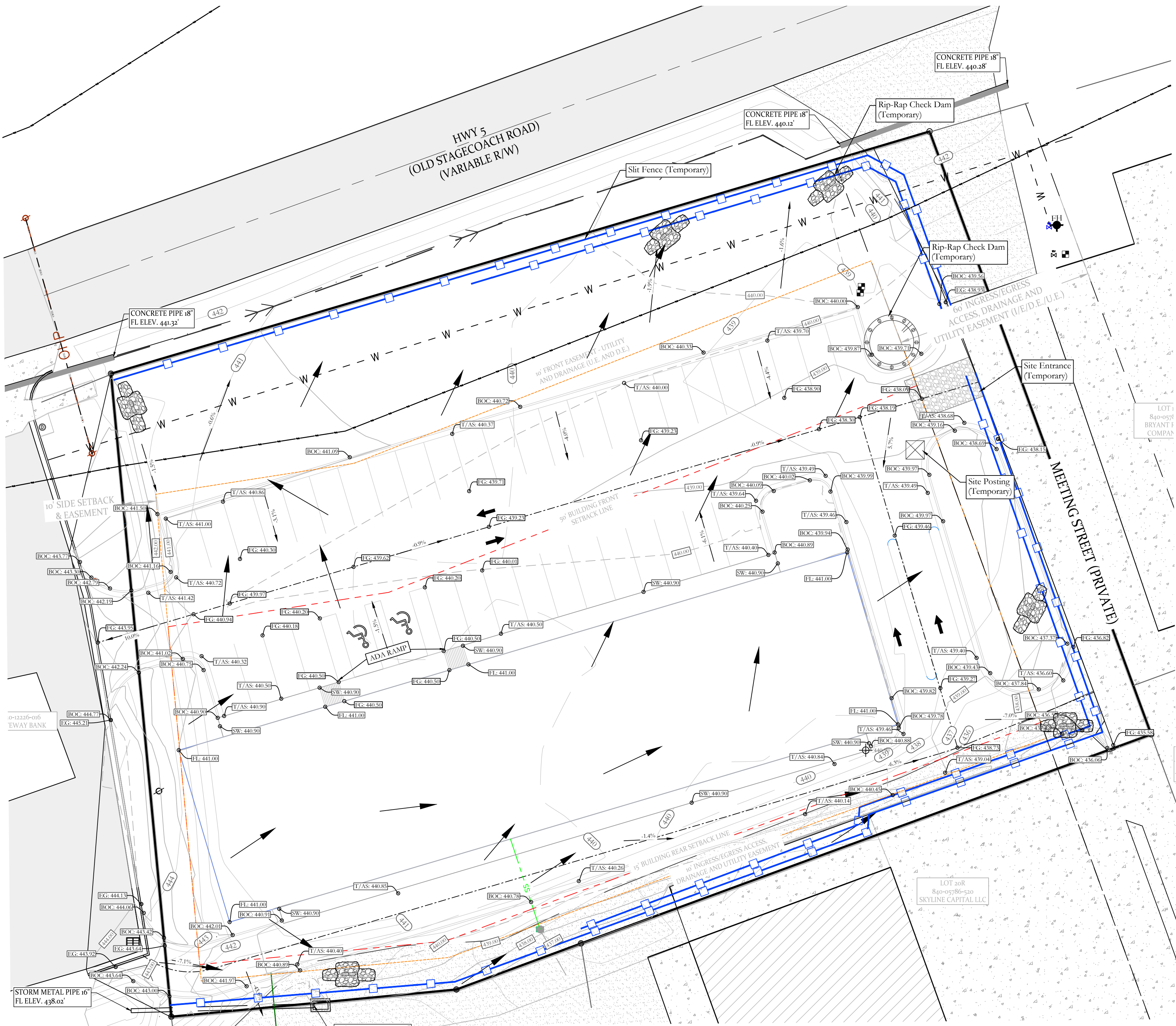
HOPE CONSULTING
ENGINEERS - SURVEYORS

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Benton, Arkansas 72015
PH. (501)315-2626
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FOR USE AND BENEFIT OF:
RYE GENERAL CONTRACTORS

MARKET PLACE II
ECP PRE CONSTRUCTION PHASE
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	CAD. BY:		DRAWING NUMBER:	
REVISED:		CHECKED BY:		25-0608	
SHEET:	C-5.1	SCALE:			
500	01S	14W	0	22	440
				62	1762



**MARKET PLACE-II PHASE 3
CONSTRUCTION PHASE**

ERC LEGEND

SITE POSTING

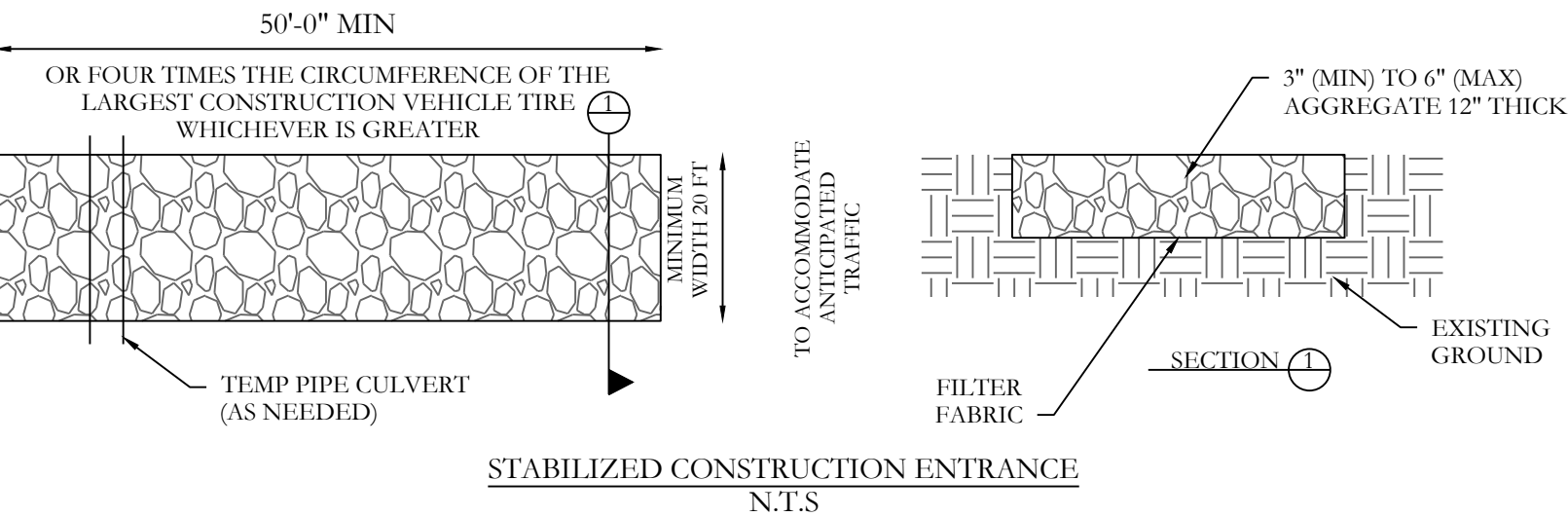
CONC. WASHOUT

SILT FENCE

RIP RAP CHECK DAM

CONSTRUCTION
ENTRANCE

LEGEND
BOC = TOP OF BACK OF CURB
FG = FINISHED GRADE
EG = EXISTING GRADE
SW = TOP OF SIDEWALK
T/AS = TOP OF ASPHALT



EROSION CONTROL CONSTRUCTION PHASES

PRE-CONSTRUCTION:

1. INSTALL SILT FENCES AROUND THE PROJECT SITE.
2. ESTABLISH A CONSTRUCTION ENTRANCE TO CONTROL SITE ACCESS AND MINIMIZE DISTURBANCE.
3. MAINTAIN EXISTING DRAINAGE SWALES.

CONSTRUCTION:

1. INSTALL CONCRETE WASHOUT AREAS.
2. CONSTRUCT RIP-RAP CHECK DAMS FOR EROSION CONTROL.
3. MAINTAIN SILT FENCES THROUGHOUT CONSTRUCTION.

POST-CONSTRUCTION:

1. SEED OR SOD AND MULCH DISTURBED AREAS TO STABILIZE SOIL.
2. MAINTAIN SILT FENCES UNTIL VEGETATION IS FULLY ESTABLISHED.
3. REPAIR OR REPLACE DAMAGED BMPs WITHIN 3 BUSINESS DAYS OR BEFORE THE NEXT RAIN EVENT.

SWPPP SPECIFIC NOTES

1. ALL DEVELOPMENT SHALL COMPLY WITH CITY OF BRYANT AND ADEQ ARR15000 STORMWATER PERMIT REQUIREMENTS.
2. INSTALL SILT FENCE AS SHOWN ON THE PLANS; ADD ADDITIONAL FENCING WHERE HEAVY RUNOFF MAY OCCUR. CONTRACTOR SHALL INSPECT AND INSTALL SUPPLEMENTAL MEASURES AS NEEDED TO CONTAIN RUNOFF.
3. CONSTRUCT RIP-RAP CHECK DAMS PER ADEQ REQUIREMENTS. LOCATIONS SHOWN ARE APPROXIMATE; ADD ADDITIONAL CHECK DAMS AS SITE CONDITIONS REQUIRE.
4. MAINTAIN CONSTRUCTION ENTRANCES/EXITS TO PREVENT TRACKING OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
5. IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY BASED ON SITE CONDITIONS.
6. CONTRACTOR SHALL UTILIZE ACCEPTED BEST MANAGEMENT PRACTICES (BMPs) FOR ALL SEDIMENT AND RUNOFF CONTROL MEASURES.

INSPECTION AND MAINTENANCE PLAN

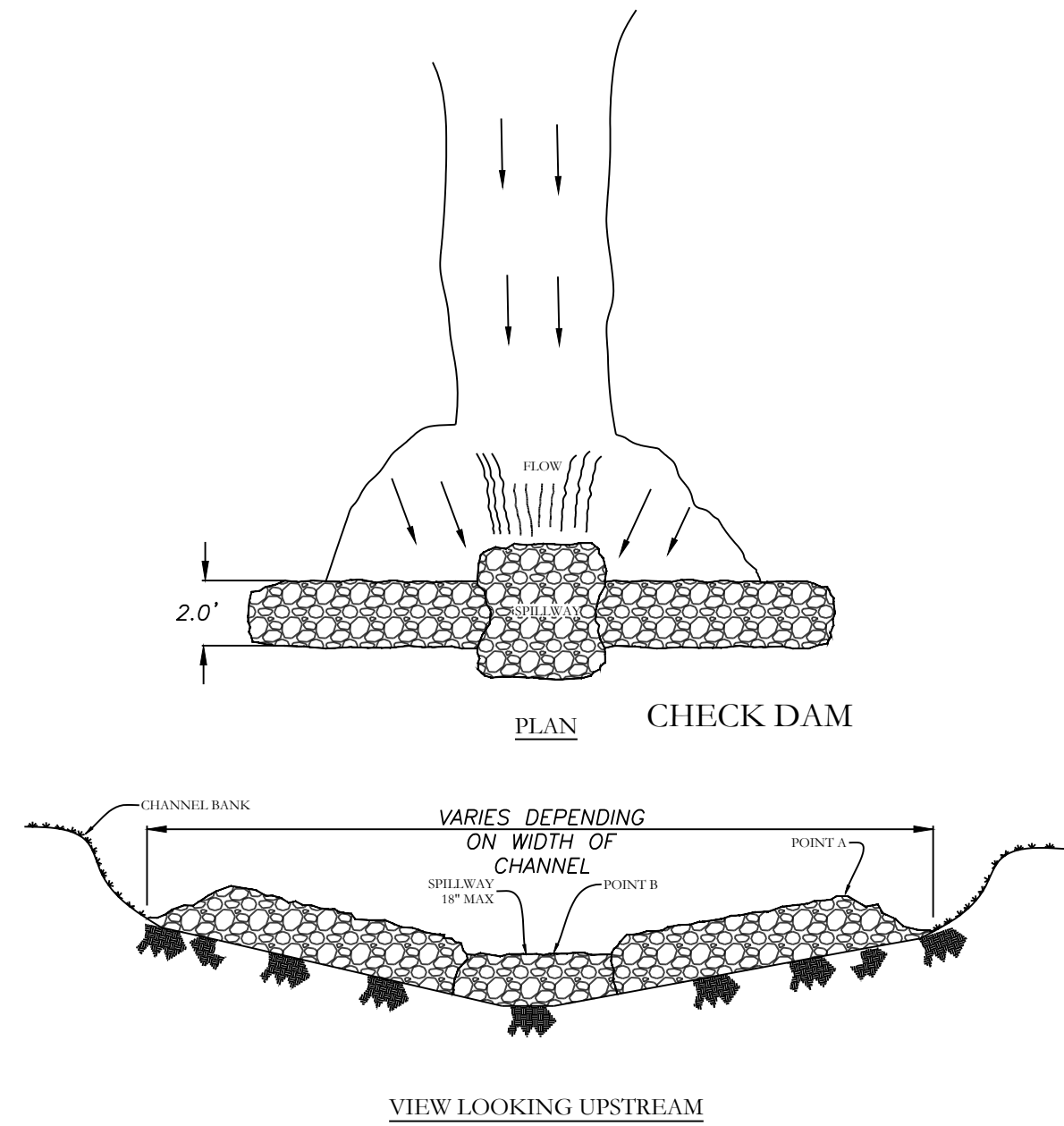
QUALIFIED PERSONNEL MUST INSPECT ALL DISTURBED AREAS AT LEAST ONCE EVERY 7 DAYS, AND ALSO WITHIN 24 HOURS AFTER ANY STORM OF ≥ 0.5 IN. DESCRIBE PROCEDURES TO KEEP THE FOLLOWING IN GOOD AND EFFECTIVE OPERATING CONDITION:

- VEGETATION
- EROSION & SEDIMENT CONTROL MEASURES
- ANY OTHER PROTECTIVE MEASURES LISTED IN THE SITE PLAN

SEQUENCE OF CONSTRUCTION PLAN

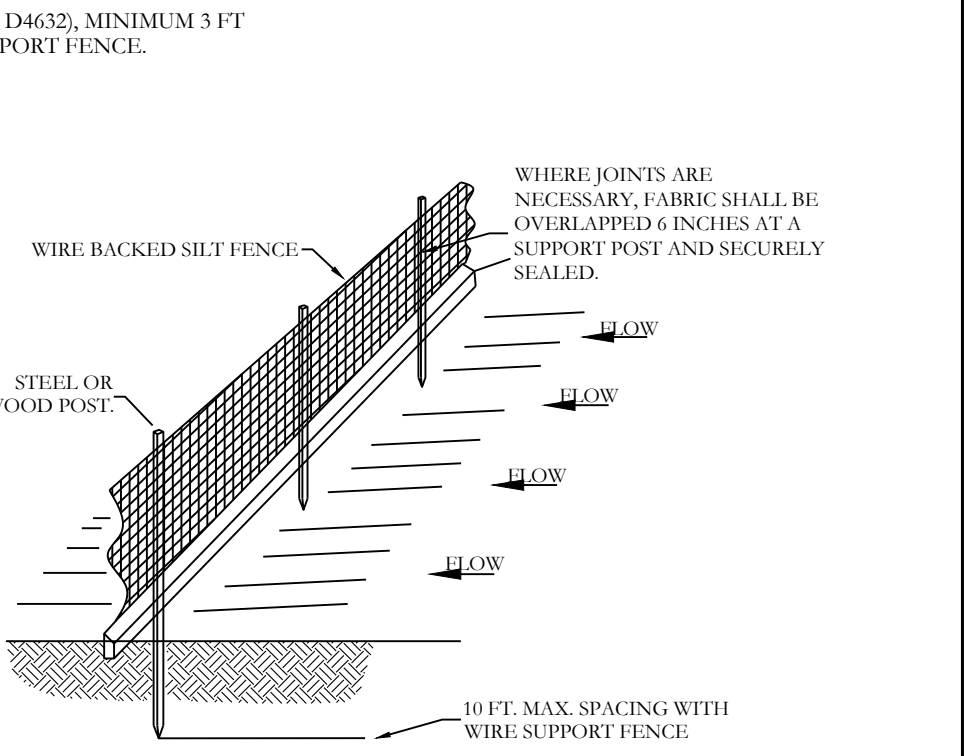
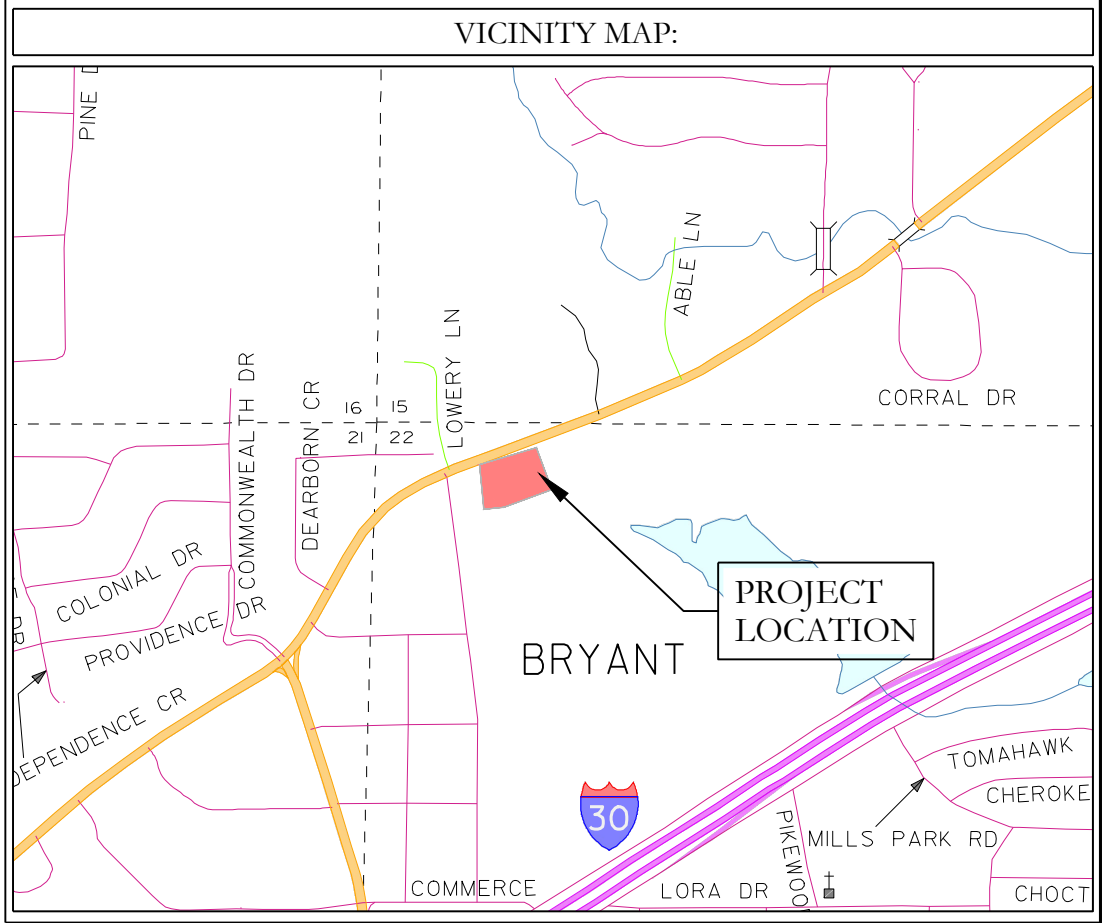
Step	Activity	ESC/Control Measures	Notes
1	Install temporary ESC	Silt fence, construction entrance, riprap	Must be installed before any land disturbing activity
2	Site Clearing	Maintain temporary ESC, protect sensitive areas	Limit disturbance to only necessary areas
3	Final Grading / Slope Stabilization	Temporary ESC still in place	Install permanent measures where needed
4	Permanent Control Installation	Permanent pond structures, spillway, riprap, ditches	Remove temporary ESC only after permanent controls installed and stabilized
5	Vegetation / Stabilization	Permanent seeding / sod	Stabilize slopes and disturbed areas as soon as possible
6	Monitoring & Maintenance	Weekly inspections, repair damaged ESC measures	Follow SWPPP inspection schedule (every 7 days or after rain ≥ 0.5 ")
7	Site Final Stabilization	Confirm 80% vegetative cover or equivalent permanent measures	Required before filing Notice of Termination (NOT)
8	Project Completion / Termination	Remove temporary measures, submit NOT	Only after full stabilization

(Reference: Bryant Stormwater Management Manual, Sections 1104.4.1-1104.4.7)

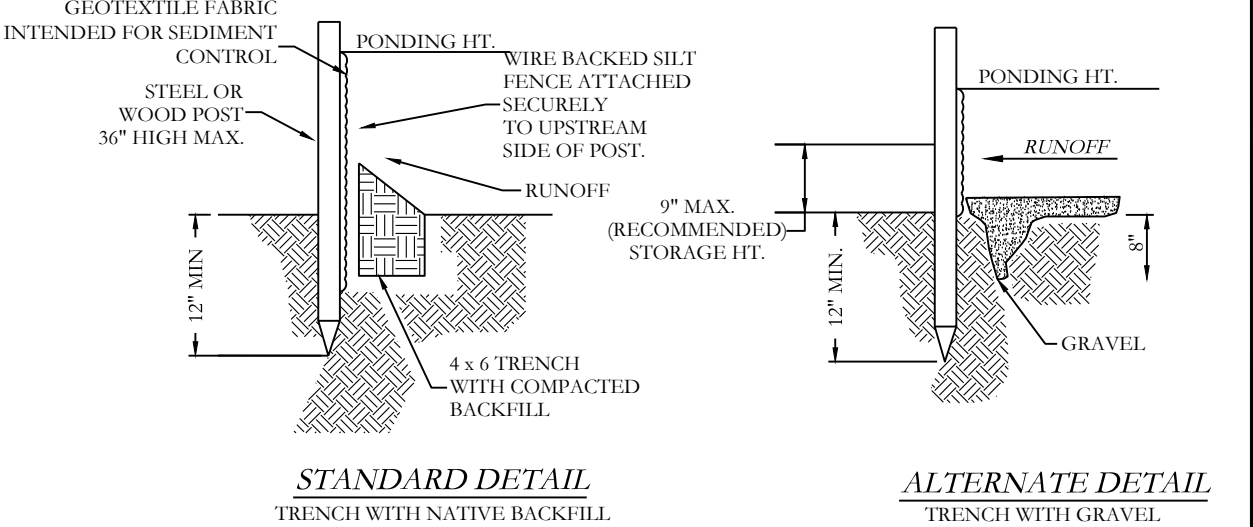


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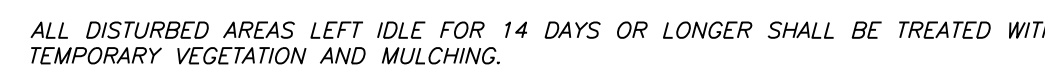
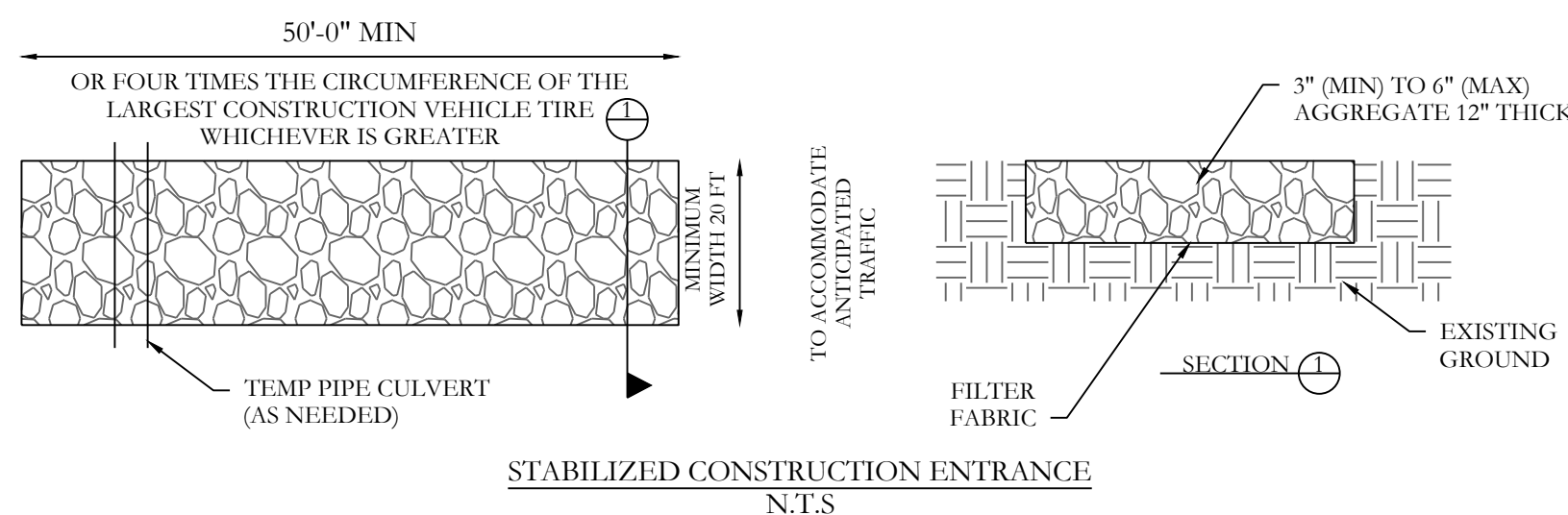
MARKET PLACE II
ECP CONSTRUCTION PHASE
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11.25.25
REVISED:
SHEET: C-5.2

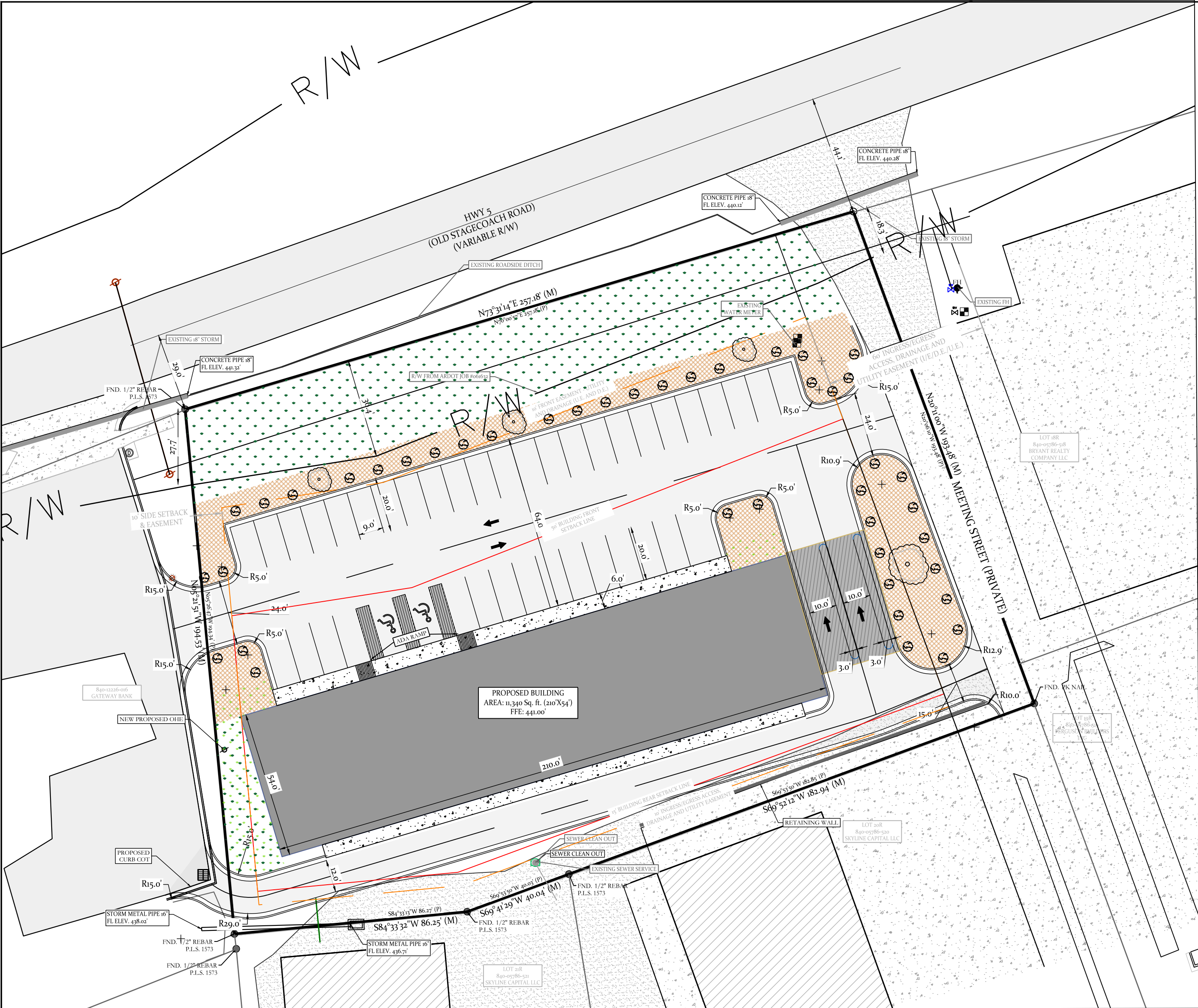
C.A.D. BY:
CHECKED BY:
SCALE:

DRAWING NUMBER:
25-0608
500 01S 14W 0 22 440 62 1762

2025 HOPE CONSULTING - BRYANT NORTH ARKANSAS 72015 25-0608 ECP II MARKET PLACE II PHASE 3 SWPPP

CONSTRUCTION
ENTRANCE

DATE: 11.25.25		C.A.D. BY:				DRAWING NUMBER: 25-0608	
REVISED:		CHECKED BY:					
SHEET: C-5.3		SCALE:					
500	01S	14W	0	22	440	62	1762



GENERAL NOTES:

- NO PLANTING WITHIN 5 FEET OF A FIRE HYDRANT.
- SPACING WILL BE 40' BETWEEN TREES.
- TREE MUST BE A MINIMUM 3" IN DIAMETER @ THE BASE AND 12'+ TALL.
- EXISTING TREES MEETING THE MINIMUM SIZE CAN BE COUNTED TO MEET THE CRITERIA.
- NO TREES CAN BE PLANTED WITHIN THIRTY-FOOT (30') OF A PROPERTY COMER OR DRIVEWAY.
- SHRUBS ALONG STREET FIGHT-OF-WAY LINES CANNOT EXCEED THIRTY INCHES (30") IN HEIGHT.

SEPARATIONS NOTED IN THE ZONING REGULATIONS MUST BE BERMED OR SCREENED WITH LANDSCAPING AND GROUND COVER OR GRASS.

MAINTENANCE:

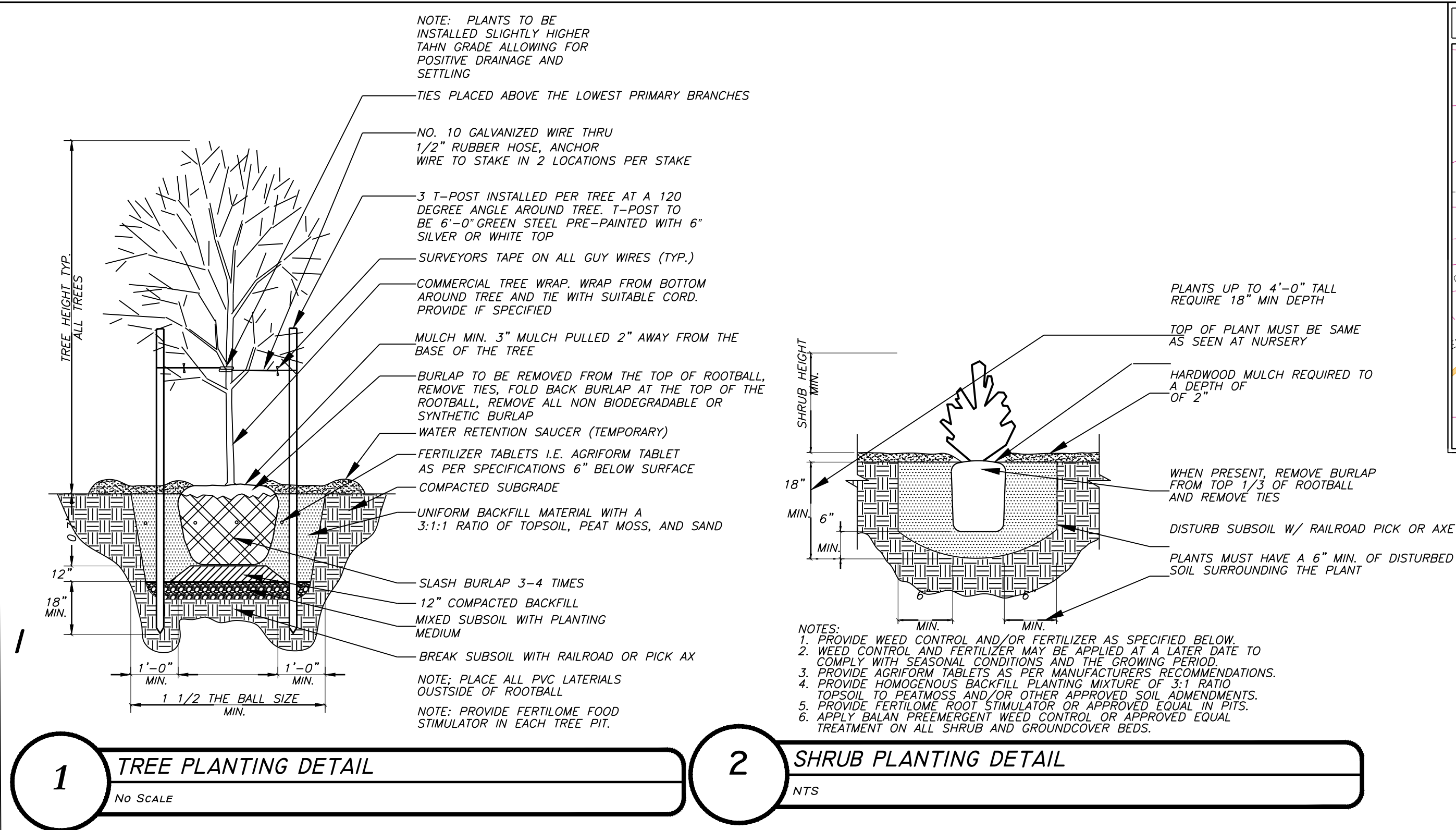
THE DEVELOPER, HIS SUCCESSOR AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR REGULAR WEEDING, IRRIGATING, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTING ON PRIVATE PROPERTY OF A DEVELOPMENT. PLANT MATERIALS WHICH ARE INSTALLED FOR COMPLIANCE WITH THIS ORDINANCE, BOTH ON PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY, WHICH EXHIBIT EVIDENCE OF INSECT PESTS, DISEASE AND/OR DAMAGE, SHALL BE APPROPRIATELY TREATED AND DEAD PLANT MATERIALS SHALL BE REPLACED.

THE OWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY SHALL BE RESPONSIBLE FOR THE TREE PLANTING STRIP LYING BETWEEN THE PRIVATE PROPERTY LINE AND THE CURBLINE OR BACKSLOPE LINE AND SHALL BE REQUIRED TO REGULARLY WEED, MOW, PRUNE AND MAINTAIN PLANTINGS IN COMPLIANCE WITH GOOD HORTICULTURAL PRACTICES.

IF THE OWNER OF LAND THUS SITUATED AS IN ABOVE, NEGLECTS OR REFUSES TO MAINTAIN THE AREAS AS PROSCRIBED, AFTER HAVING BEEN GIVEN TEN (10) DAYS NOTICE IN WRITING TO MAINTAIN BY THE CITY, THE OWNER SHALL BE GUILTY OF A MISDEMEANOR.


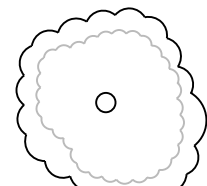

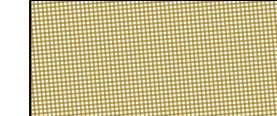
THE CITY OF BRYANT PLANNING COMMISSION WILL REVIEW AND ACT ON ALL LANDSCAPING PROPOSALS AT THE TIME BUILDING PLANS ARE SUBMITTED AND IN THE CASE OF SUBDIVISION AT THE PRELIMINARY PLAT SUBMITTAL.

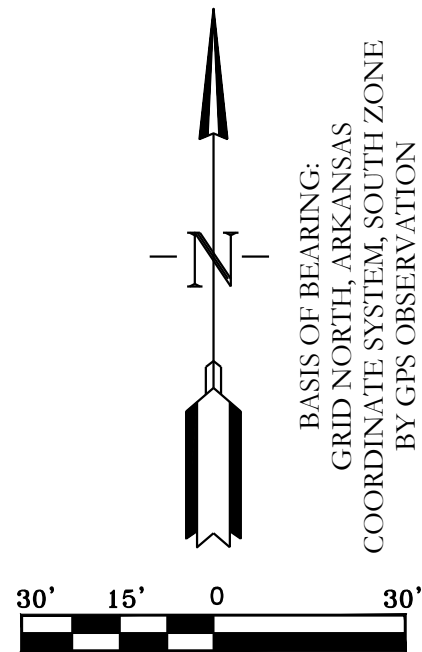
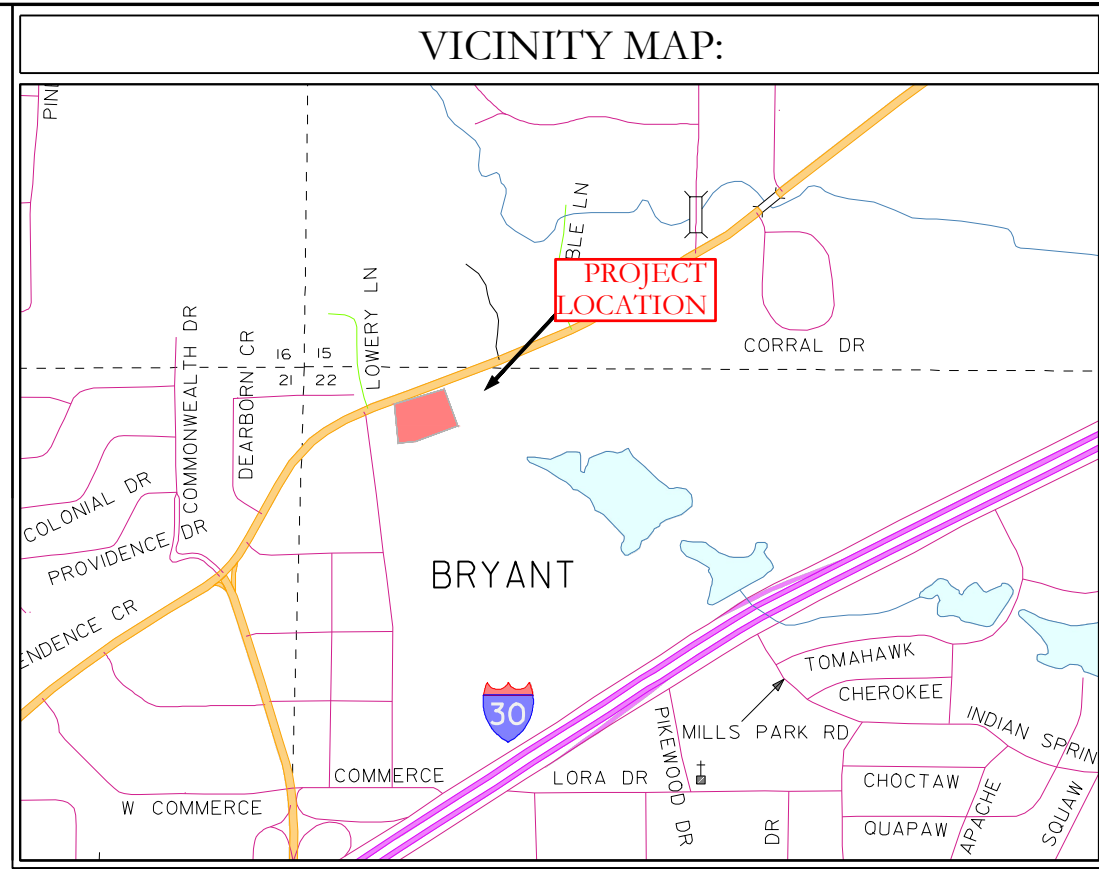
A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED FOR A COMMERCIAL ESTABLISHMENT NOR WILL THE FINAL SUBDIVISION PLAT BE APPROVED UNTIL LANDSCAPING REQUIREMENTS ARE SATISFIED.



LANDSCAPE CALCULATION:	
GREEN SPACE	TOTAL DEVELOPMENT AREA: 56621.2 SF OR 1.3 AC GREEN SPACE: 15995.3 SF (15995.3 / 56621.2 = 0.282=28.2%)
LANDSCAPE (REQUIRED)	TREE REQUIRED FOR EACH 1/3 ACRE (56621.2 SF OR 1.3 AC/0.5 = 2.6=3 NOS OF TREES) SHRUB REQUIRED FOR EACH 2,000 SF OF TOTAL LAND AREA FOR DEVELOPMENT (56621.2 SF / 2000 SF =48.64 =48)
LANDSCAPE (PROVIDED)	TREE PROVIDED = 5 TREES. SHRUB PROVIDED = 34

TREE LEGENDS

COMMON NAME:	BOTANICAL NAME:	HEIGHT OF PLANTING	QTY.:
 SHRUBS GLOSSY ABELIA	ABELIA GRANIFLORA		38
 TREE AMERICAN HOLLY	ILEX OPACA	12'-0"	4
 SOD (INCLUDES MULCH BEDS)	BERMUDA		
 MULCH BEDS (OPTIONAL) PLANTER/FLOWER BED			



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FOR USE AND BENEFIT OF:
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MARKET PLACE II
LANDSCAPE PLAN

6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS

DATE:	11.25.25	C.A.D. BY:		DRAWING NUMBER: 25-0608
REVISED:		CHECKED BY:		
SHEET:	C-6.0	SCALE:	1" = 30"	
500	01S	14W	0 22 440 62 1762	

FILE: J:\HOPE CONSULTING\1. PROJECTS\FILES\9. 25-0608\LOT 22B MARKET PLACE-II\HYD\CIVIL.DWG 25-0608 LOT 22B MARKET PLACE-II PHS 11.25.25.DWG