

CONSTRUCTION PLANS
25300 I30N COMMERCIAL
BRYANT, AR



VICINITY MAP



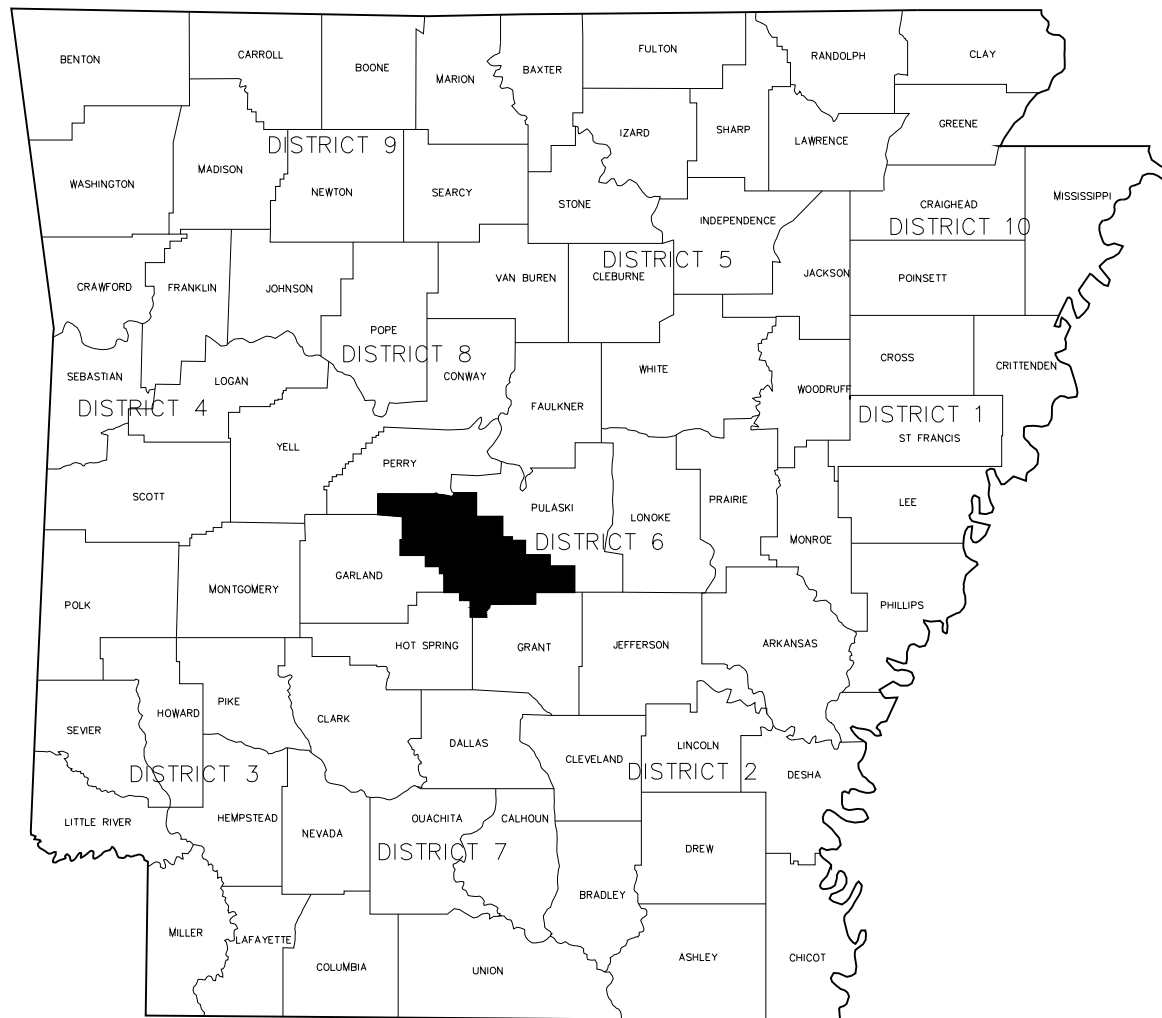
PREPARED BY:

HOPE
CONSULTING
ENGINEERS - SURVEYORS

129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
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DRAWING INDEX

SHEET NO.	TITLE
C-1.0	SITE PLAN
C-2.0	UTILITY PLAN
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C-2.3-2.4	BRYANT SEWER UTILITIES
C-3.0	NORTH EAST DETENTION POND
C-4.0	EROSION CONTROL PLAN
C-5.0	GRADING PLAN
C-6.0	LANDSCAPE PLAN
C-7.0	SOIL LOSS CALCULATION

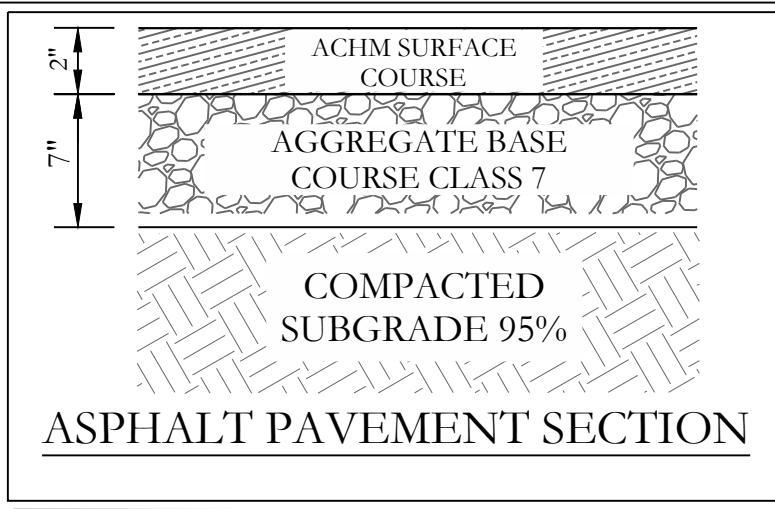
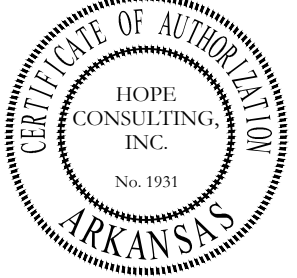
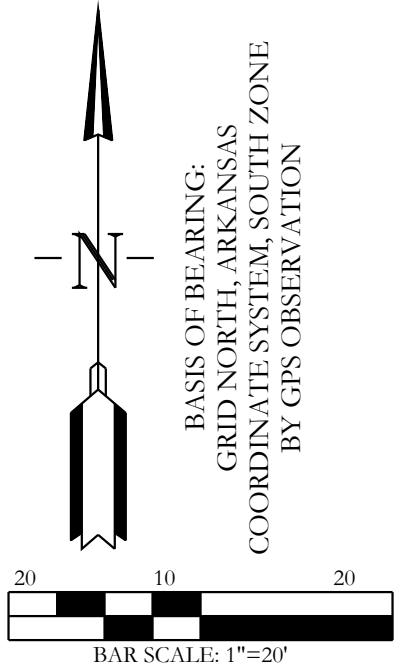
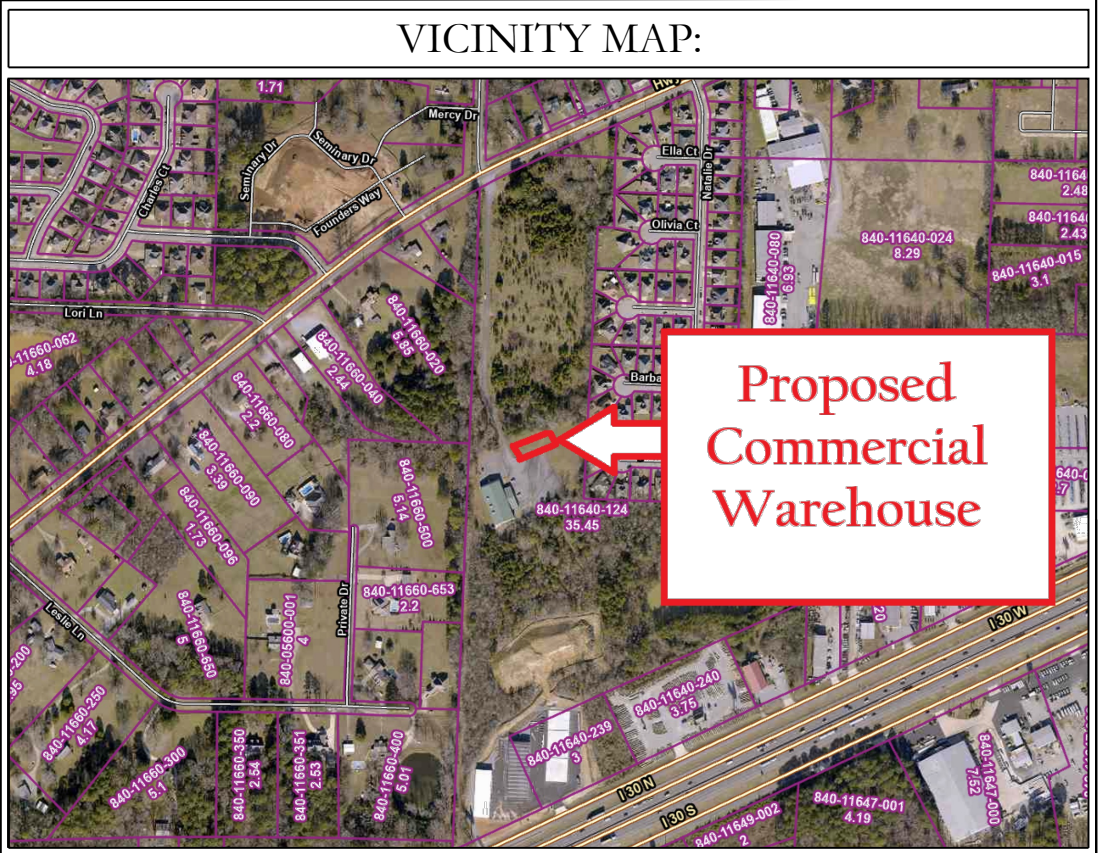
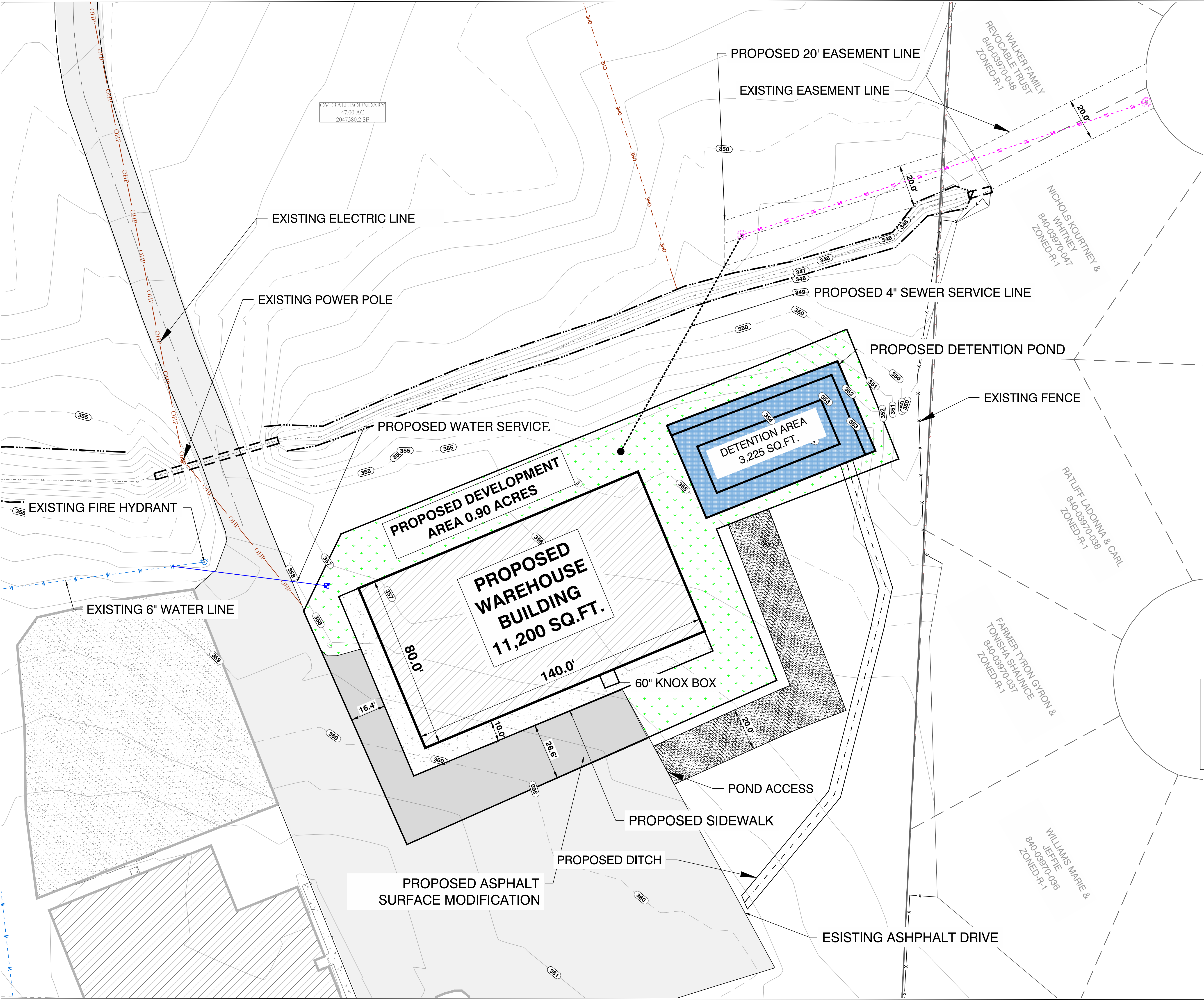


OWNER
STUART FINLEY
FINLEY & COMPANY
P.O. BOX 10, BRYANT, AR 72089

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CONSULTING
ENGINEERS - SURVEYORS

129 N. Market Street,
Benton, Arkansas 72015
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FOR USE AND BENEFIT OF:			
STUART FINLEY			
25300 I30 N COMMERCIAL			
BRYANT , SALINE COUNTY, AR			
DATE:	11/20/2025	C.A.D. BY:	DRAWING NUMBER:
REVISED:		CHECKED BY:	25-1210
SHEET:		SCALE:	
500	01S	14W	0 13 400 62 1664



ZONING INFORMATION	
CURRENT ZONING	C-2 HIGHWAY COMMERCIAL DISTRICT
MINIMUM LOT WIDTH (FT)	N/A
FRONT YARD SETBACK (FT)	N/A
REAR YARD SETBACK (FT)	N/A
SIDE YARD SETBACK (FT)	N/A
MAXIMUM BUILDING COVERAGE (SF)	11,200
SITE DATA	
TOTAL SITE AREA	3.95 ACRES
TOTAL DEVELOPMENT AREA	0.90 ACRES
GROSS BUILDING AREA	11,200 SQ. FT.
BUILDING HEIGHTS	1 STORY
BUSINESS TYPE	WAREHOUSE/BUILDING

OWNER:	DEVELOPER:
Name: <u>STUART FINLEY</u>	Name: <u>FINLEY & COMPANY</u>
Address: <u>P.O. BOX 10</u>	Address: <u>P.O. BOX 10</u>
<u>BRYANT, AR 72089</u>	<u>BRYANT, AR 72089</u>
Phone: <u>501-666-1300 or 501-258-9646</u>	Phone: <u>501-666-1300 or 501-258-9646</u>
Email: <u>stuart@finleyandcompany.com</u>	Email: <u>stuart@finleyandcompany.com</u>

LEGEND		
● - PLS Aliquot Corner	■ - Clean Out	—x—x— - Fence
● - Fnd. Corner Monument	■ - Water Meter	—OHIP— - Overhead Power
○ - Set 1/2" Rebar/Cap (1664)	⊗ - Power Pole	—SS— - Sewer Line
△ - Computed Point	⊗ - Sewer Manhole	—W— - Water Line
(M) - As Measured	⊗ - Light Pole	—UCT— - Telephone Line
⊗ - Per Deed or Plat Records	⊗ - Telephone Pedestal	—UGL— - Electric Line
ESMT - Easement	⊗ - Drainage Manhole	—G— - Gas Line
B.S.L. - Building Setback Lines	⊗ - Gas Meter	→ - Water Flow Path

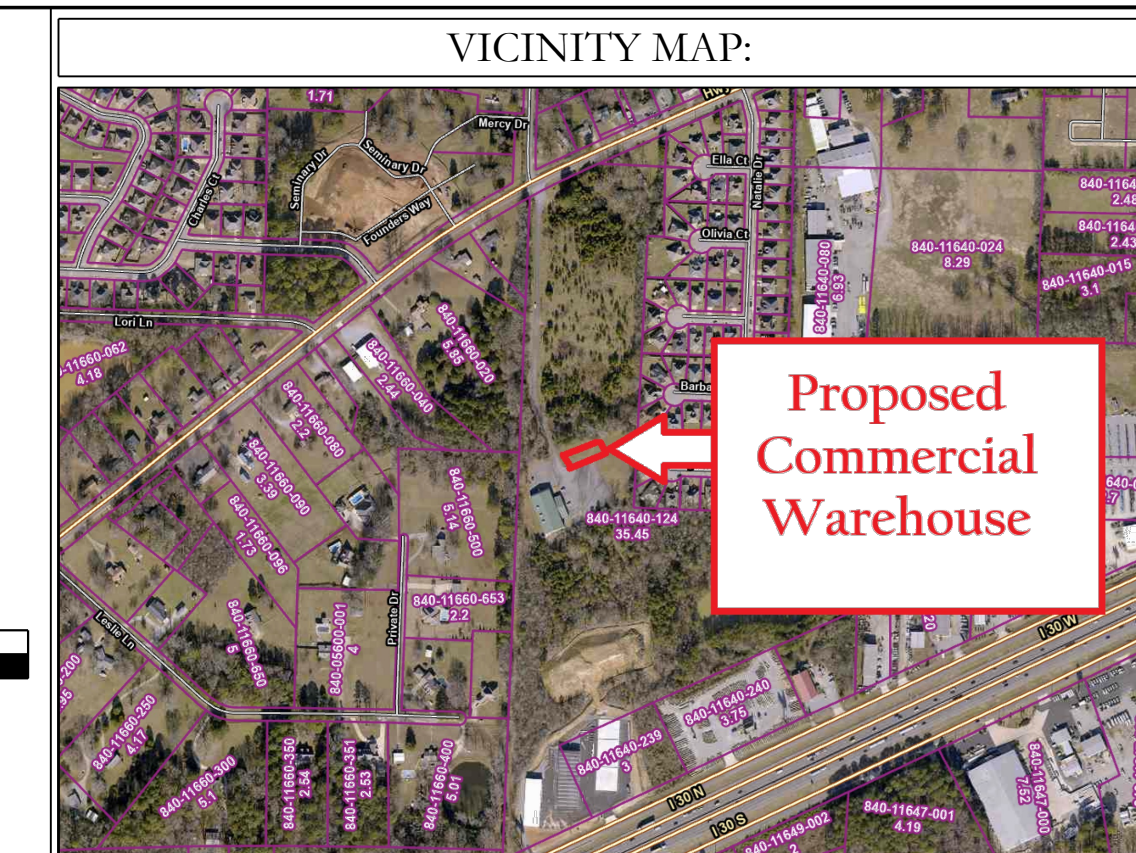
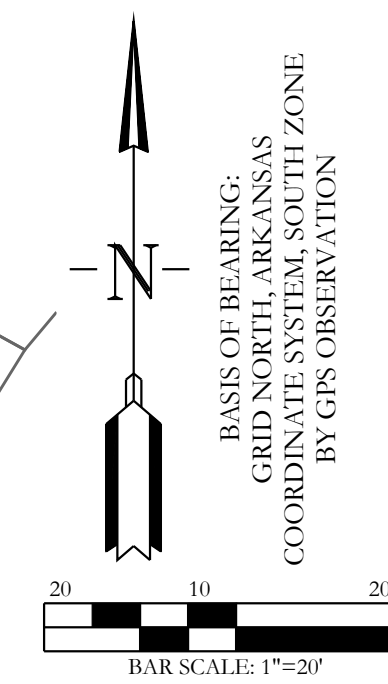
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FOR USE AND BENEFIT OF:
STUART FINLEY

COMM./25300 130N
SITE PLAT
IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 11/19/2025	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	25-1210
SHEET: C-1.0	SCALE: 1"=20'	
500	01S	14W 0 13 400 62 1664

THE UTILITY PLAN



WATER UTILITY NOTES:

- ALL WATER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BRYANT UTILITIES' "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION FOR WATER LINES AND SEWER LINES" 2015 EDITION.
- ALL SERVICE CROSSINGS SHALL BE 1" DRISCO SERVICE LINE ENCASED IN A 2" PVC SLEEVE.

UTILITY NOTES:

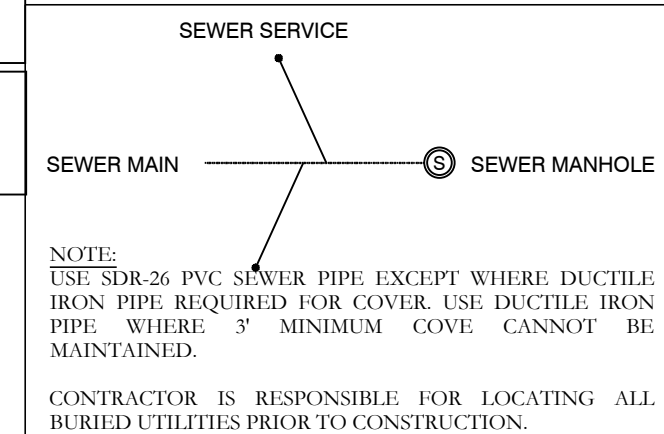
- MINIMUM DEPTH OF ALL WATER SERVICE LINES FROM THE MAIN TO THE WATER METER SHALL BE 30-INCHES.
- FOR THE PROTECTION OF THE SANITARY SEWER LINES FROM DAMAGE CAUSED BY UTILITIES INSTALLED AFTER THE SANITARY SEWER HAS BEEN CONSTRUCTED, THE MINIMUM DEPTH TO CROWN OF ALL GRAVITY SANITARY SEWERS SHALL BE 30-INCHES FOR PVC, AND 24-INCHES FOR DUCTILE IRON. THE MINIMUM DEPTH TO CROWN OF ALL FORCE MAIN SANITARY SEWERS SHALL BE 30-INCHES.
- ALL WATER AND SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT SPECIFICATIONS "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION FOR WATER LINES AND SEWER LINES" 2015 EDITION.
- EASEMENTS SHOWN ARE UTILITY EASEMENTS.
- PRIOR TO CONSTRUCTION PROVIDE APPROVAL LETTERS FROM HEALTH DEPARTMENT AND ALL UTILITIES SERVING THIS PROJECT.

WATER LEGEND:



SINGLE WATER METER

























SEWER LEGEND:



**Know what's below.
Call before you dig.**



LEGEND

	PI-SS Aliquot Corner		Clear Out		Fence
	Find Corner Monument		Water Meter		Overhead Power
	Set 1/2" Rebar/Cap (1664)		Power Pole		Sewer Line
	Computed Point		Sewer Manhole		Water Line
	As Measured		Light Pole		Telephone Line
	Per Read or Plat Records		Telephone Pedestal		Electric Line
	ESMT - Easement		Drainage Manhole		Gas Line
	B.S.L. - Building Setback Lines		Gas Meter		Water Flow Path

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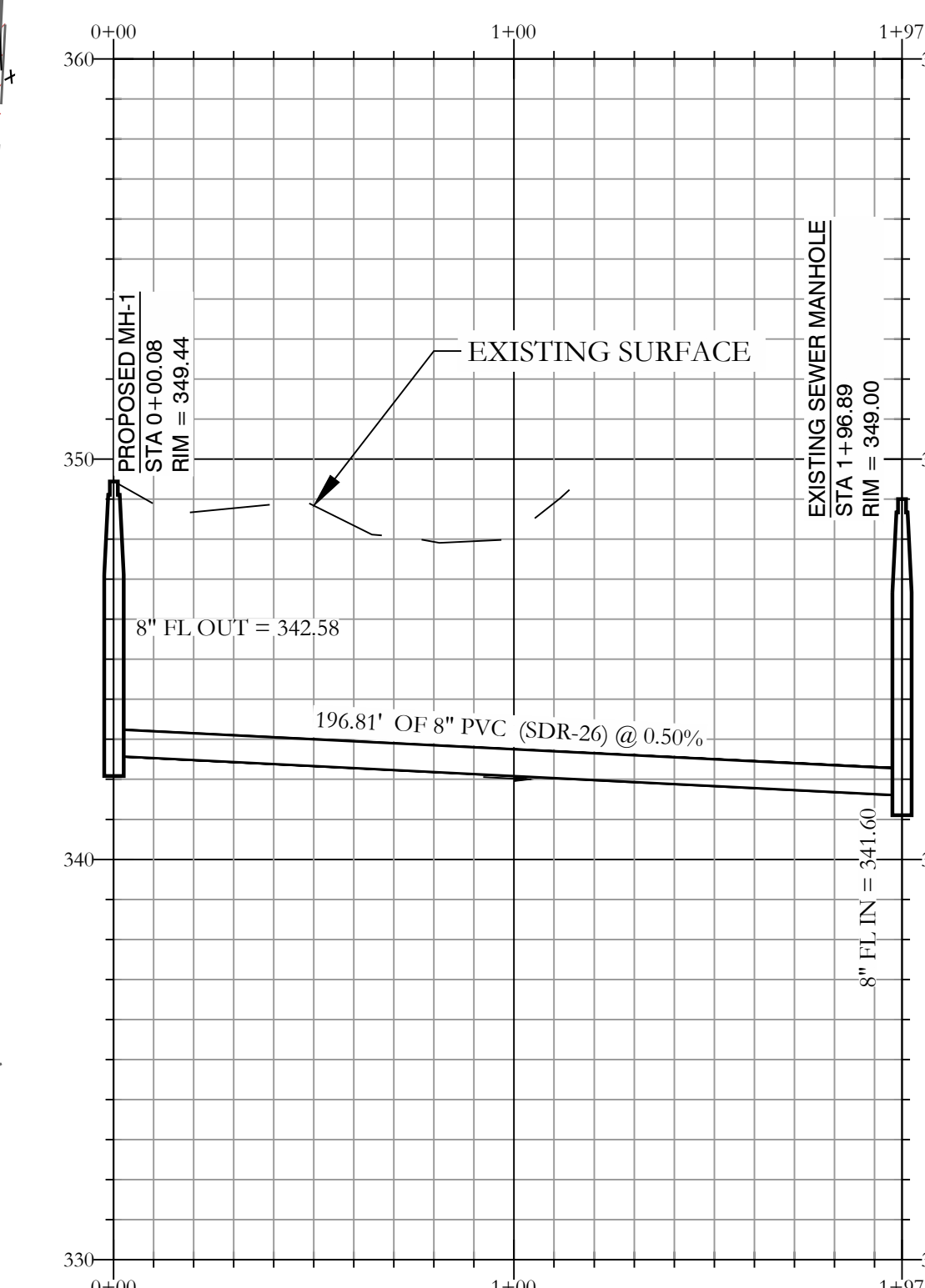
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FOR USE AND BENEFIT OF:
STUART FINLEY

COMM./25300 I30 N
UTILITY PLAN

A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS

DATE: 11/19/2025		C.A.D. BY:		DRAWING NUMBER: 25-1210			
REVISED:	##	CHECKED BY:					
SHEET:	C-2.0	SCALE: 1"=20'					
500	01S	14W	0	13	400	62	1664



PROPOSED SEWER A PROFILE

VERTICAL SCALE 1" = 5'
HORIZONTAL SCALE 1" = 50'

PROPOSED 20' EASEMENT LINE

EXISTING EASEMENT LINE

PROPOSED MH-1
0+00.08 (SEWER-A)
RIM:349.44
INV OUT:342.58 E

196.81' OF 8" PVC (SDR-26) @ 0.50%

— EG. 36" HDPE PIPE
ELEV. 345.17'

— PROPOSED 4" SEWER SERVICE LINE

— EXISTING FENCE

— EXISTING POWER POLE
WILL BE REMOVED

— EXISTING CREEK

— EXISTING ELECTRIC LINE

— EXISTING POWER POLE

— EG. 36" HDPE PIPE
ELEV. 348.61'

PROPOSED WATER SERVICE

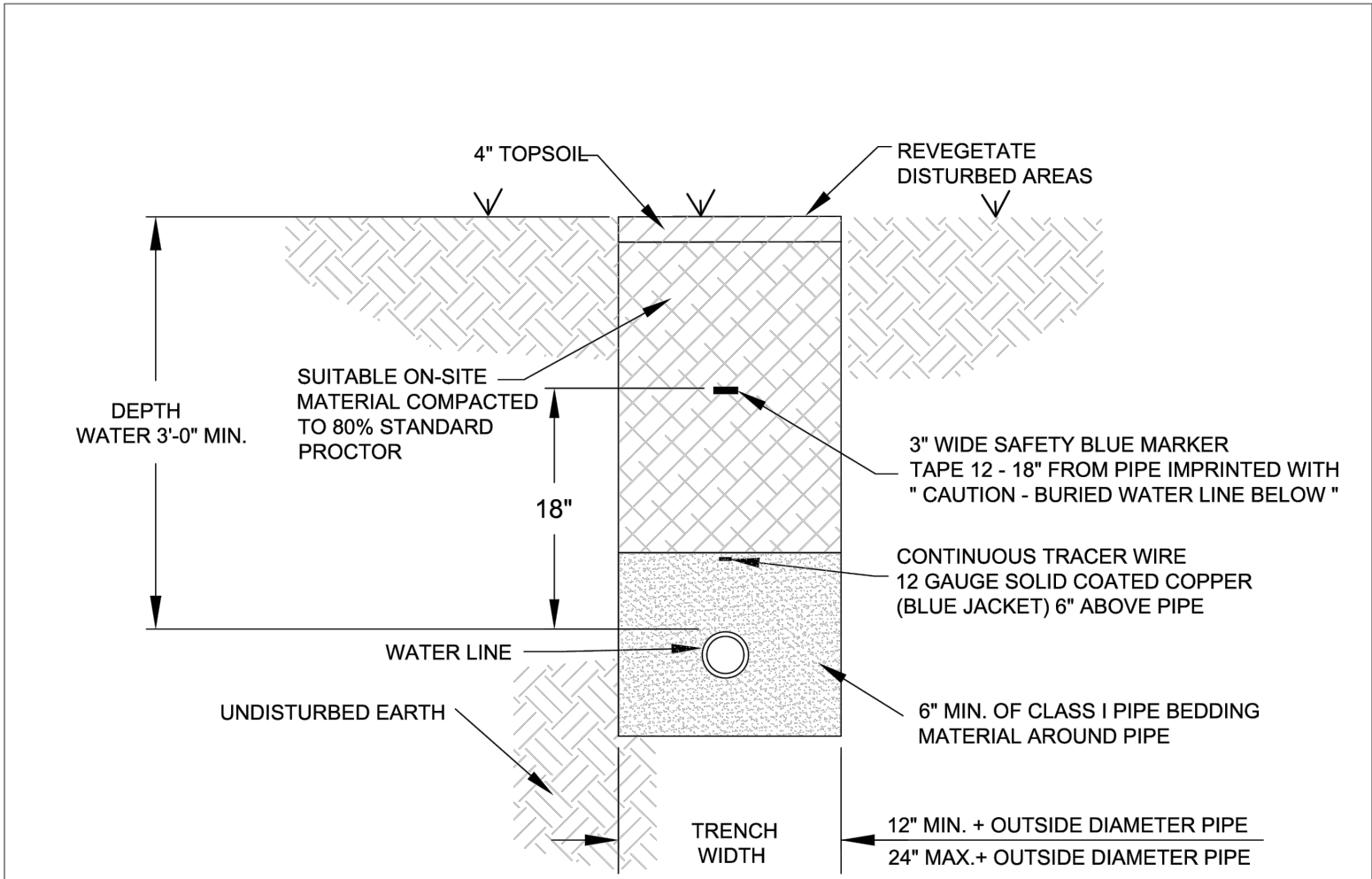
• EXISTING FIRE HYDRANT

EXISTING 6" WATER LINE

EXISTING POWER POLE
WILL BE REMOVED

— POND ACCESS

PROPOSED DITCH

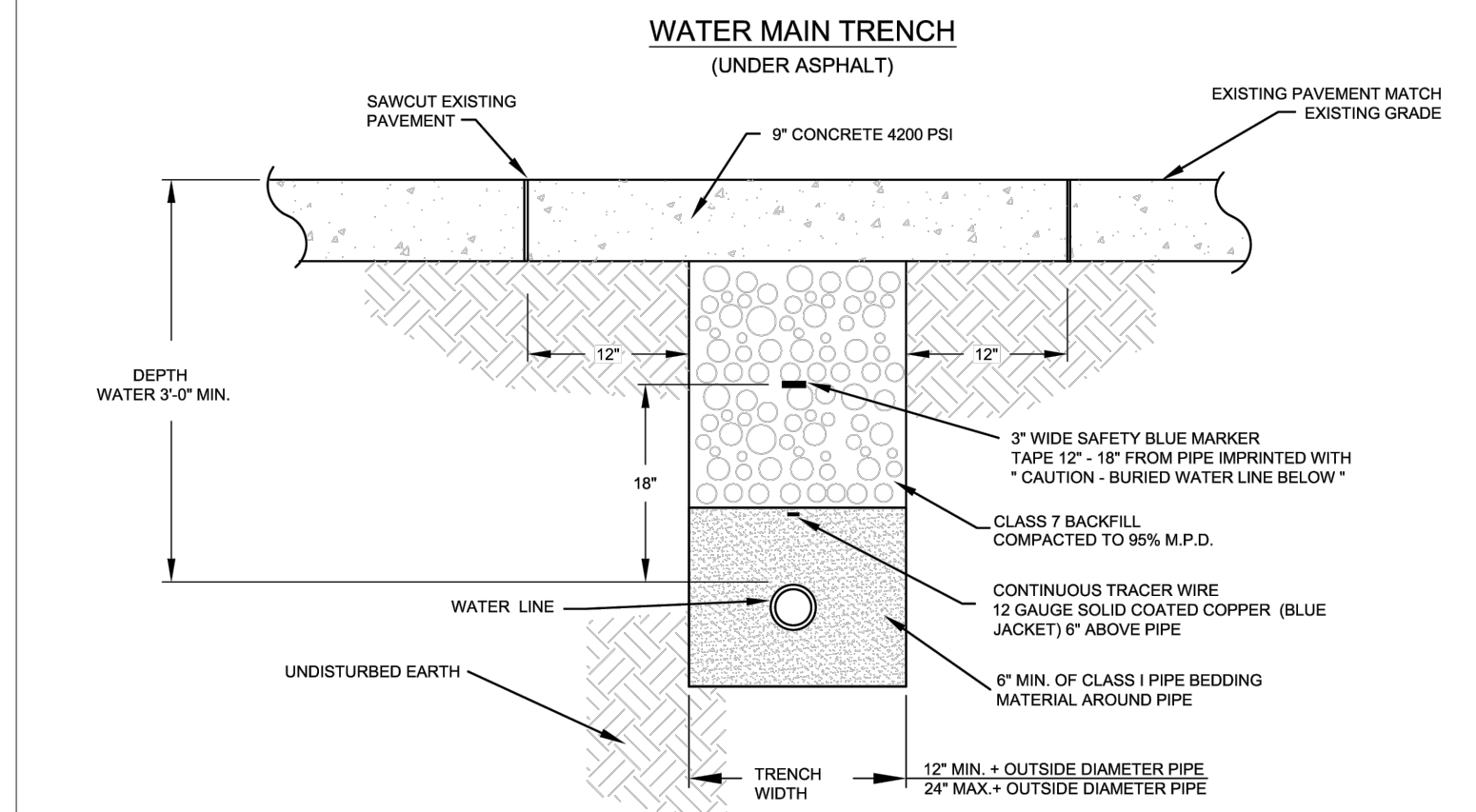
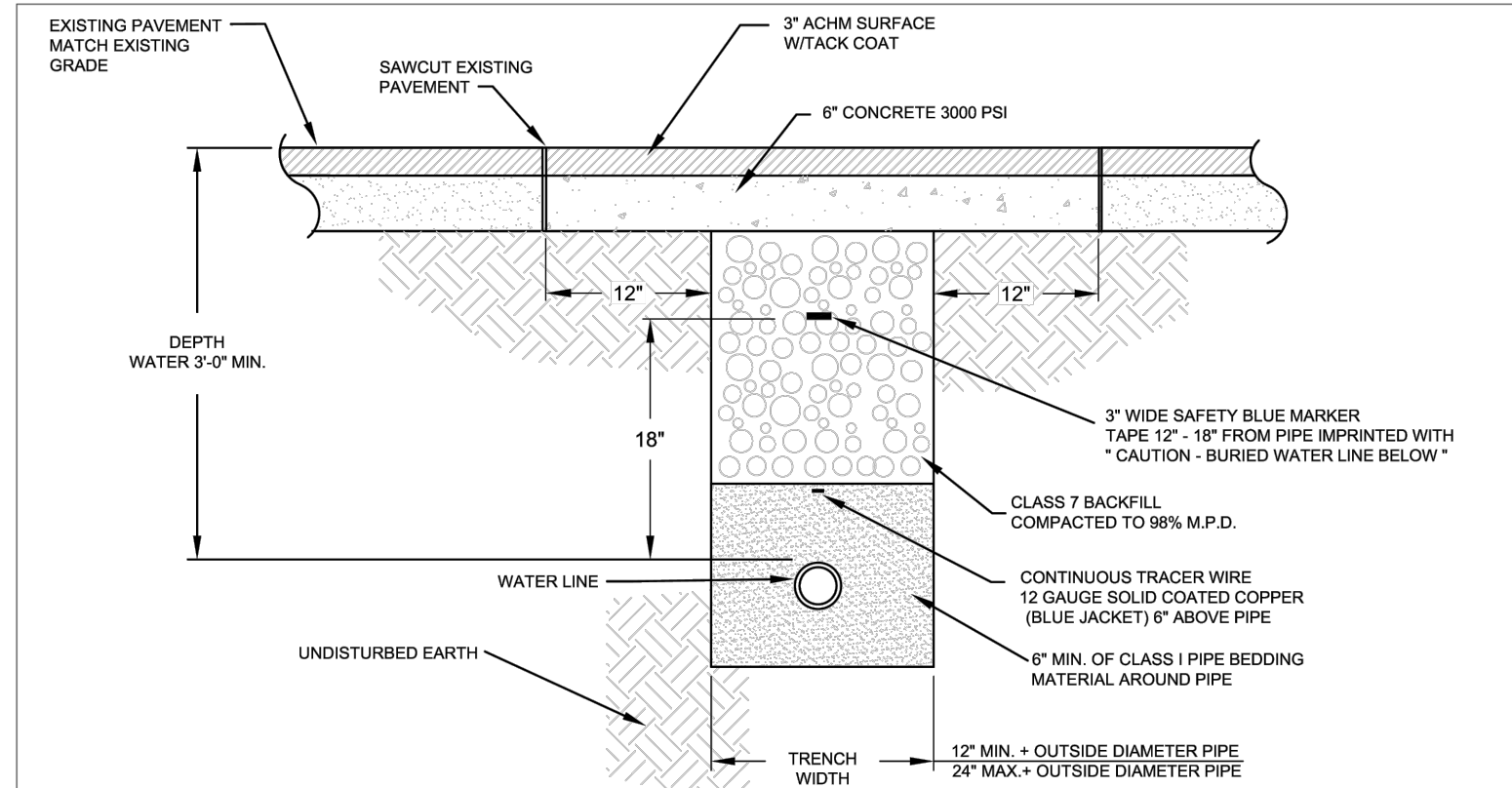


- NOTES:
1. ALL VALVES, BENDS, ETC. SHALL BE RESTRAINED.
 2. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING WATER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE WATER SYSTEM.
 3. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
 4. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.
 5. MAXIMUM PIPE COVER SHALL BE 60" UNDER NORMAL CONDITIONS. COVER GREATER THAN 60" MAY BE ALLOWED FOR SHORT DISTANCES WHERE REQUIRED BY FIELD CONDITIONS. NO HYDRANT SHALL BE ALLOWED WHERE LINES ARE GREATER THAN 60" DEEP.

WATER MAIN TRENCH (NON-PAVED AREA)

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 842-2468	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET:
		DESCRIPTION: WATER MAIN TRENCH (NON-PAVED AREA)	REVISED:	
		DRAWN BY: []	CHECKED BY: []	FILE: W1-Water Trench (Non-Paved Area).dwg

W1

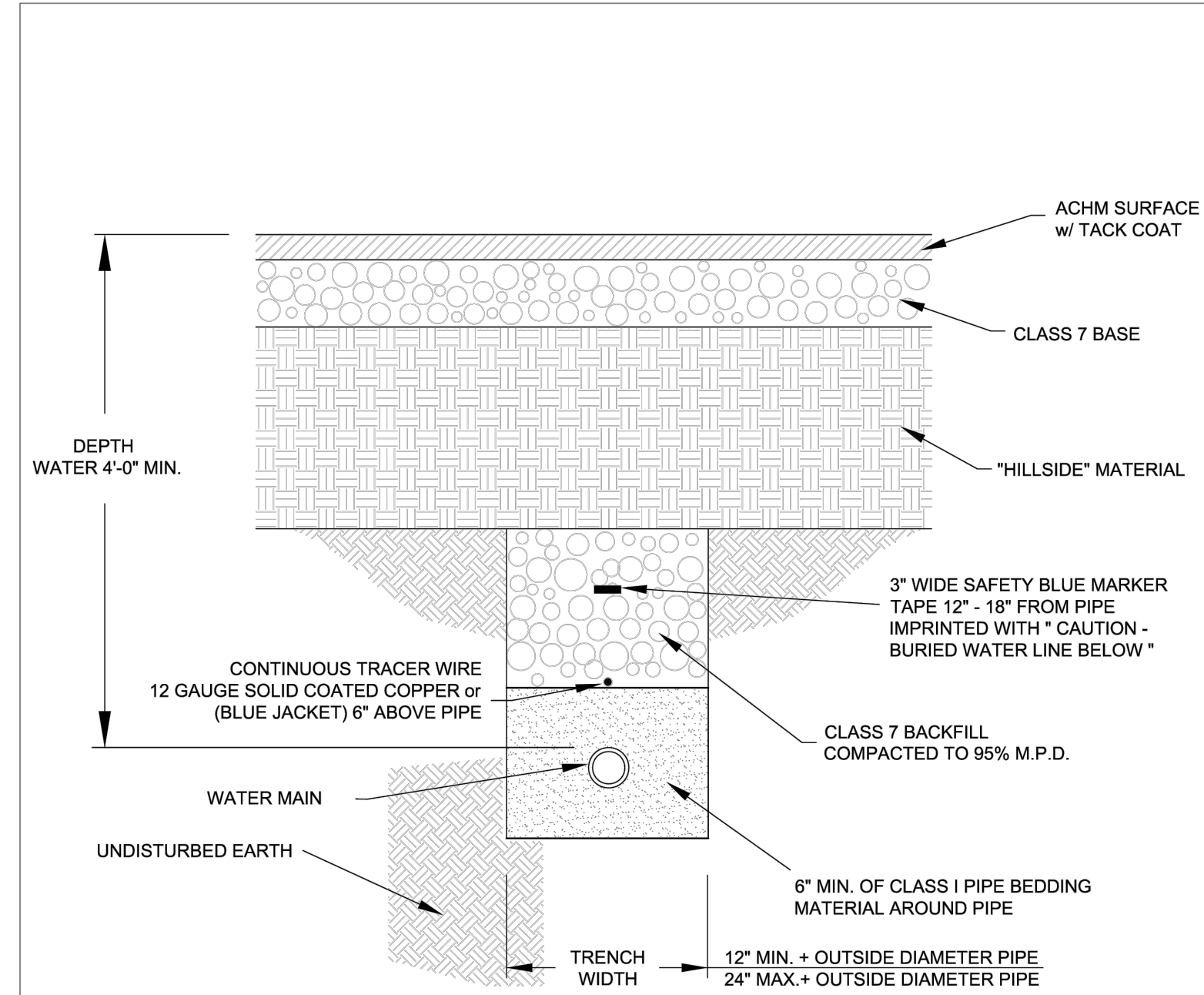


- NOTES:
1. ALL VALVES, BENDS, ETC. SHALL BE RESTRAINED.
 2. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING WATER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE WATER SYSTEM.
 3. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
 4. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.
 5. MAXIMUM PIPE COVER SHALL BE 60" UNDER NORMAL CONDITIONS. COVER GREATER THAN 60" MAY BE ALLOWED FOR SHORT DISTANCES WHERE REQUIRED BY FIELD CONDITIONS. NO HYDRANT SHALL BE ALLOWED WHERE LINES ARE GREATER THAN 60" DEEP.

WATER MAIN TRENCH (UNDER CONCRETE)

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 842-2468	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET:
		DESCRIPTION: WATER MAIN TRENCH (UNDER PAVEMENT)	REVISED:	
		DRAWN BY: []	CHECKED BY: []	FILE: W2-Water Trench (Under Pavement).dwg

W2

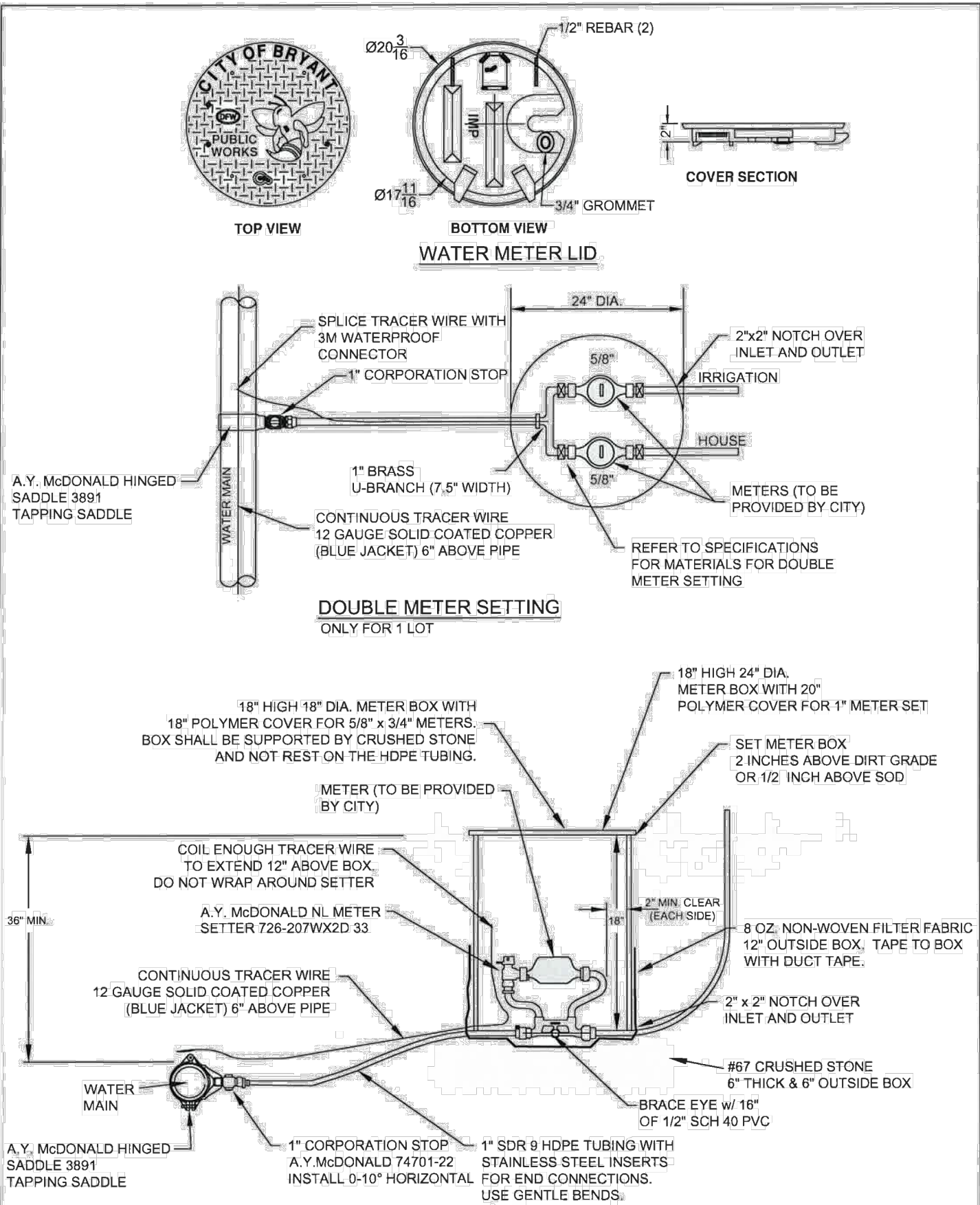


WATER MAIN INSTALLATION PRIOR TO ROADWAY CONSTRUCTION

- NOTES:
1. ALL VALVES, BENDS, ETC. SHALL BE RESTRAINED.
 2. THE CONTRACTOR SHALL PROVIDE ALL ITEMS NECESSARY TO CONNECT WITH ANY PART OF THE EXISTING WATER SYSTEM THAT WILL REMAIN IN ORDER TO ESTABLISH A SATISFACTORY AND ACCEPTABLE WATER SYSTEM.
 3. CONTRACTOR TO CONSTRUCT ALL TRENCH EXCAVATION IN ACCORDANCE WITH ALL OSHA REGULATIONS (29 CFR CH.XVII, SUBPART B)
 4. TRENCH SHALL BE EXCAVATED BELOW GRADE REQUIRED TO PROVIDE A MINIMUM 36" OF PIPE COVER.
 5. MAXIMUM PIPE COVER SHALL BE 60" UNDER NORMAL CONDITIONS. COVER GREATER THAN 60" MAY BE ALLOWED FOR SHORT DISTANCES WHERE REQUIRED BY FIELD CONDITIONS. NO HYDRANT SHALL BE ALLOWED WHERE LINES ARE GREATER THAN 60" DEEP.

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 842-2468	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET:
		DESCRIPTION: WATER MAIN INSTALLATION PRIOR TO ROADWAY CONSTRUCTION	REVISED:	
		DRAWN BY: []	CHECKED BY: []	FILE: W3-Water Main Installation Prior to Roadway Const.dwg

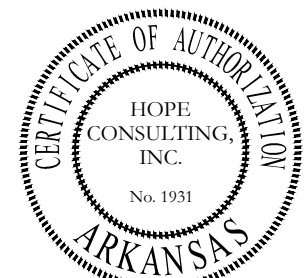
W3



SINGLE METER SETTING

	CITY OF BRYANT, AR WATER UTILITIES 210 S.W. 3rd. STREET BRYANT, AR PHONE: (501) 842-2468	TITLE: WATER DETAILS	DATE: APRIL 2015	SHEET:
		DESCRIPTION: METER SETTINGS	REVISED:	
		DRAWN BY: []	CHECKED BY: []	FILE: W10-Meter Settings.dwg

W10

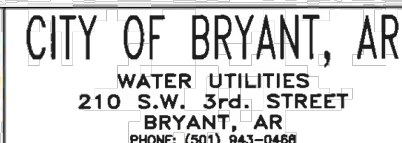


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FOR USE AND BENEFIT OF: STUART FINLEY							
COMM./25300 I30'N BRYANT WATER UTILITIES A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS							
DATE: 11/19/2025	C.A.D. BY:	DRAWING NUMBER: 25-1210					
REVISED: ##	CHECKED BY:						
SHEET: C-21	SCALE:						
500	01S	14W	0	13	400	62	1664



1. ALL WATER & SANITARY SEWER TRENCHES WHICH ARE UNDER THE PROCEEDING STREETS MUST BE BACKFILLED AS SHOWN ON THE TRENCHING, BEDDING, AND BACKFILL STANDARD SPECIFICATIONS.
2. WATER AND SEWER LINES SHALL MAINTAIN A MINIMUM OF HORIZONTAL SEPARATION OF 18 INCHES DISTANCE OF 10 FEET AT ALL TIMES.
3. WITH THE WATER LINE CROSSING ABOVE THE SEWER LINE.
4. ALL CORP. STOPS SHALL BE INSTALLED AT 45-90° ANGLE FROM HORIZONTAL.
5. ALL CORP. STOPS SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE TRENCH.
6. ALL WATER BOXES SHALL BE INSTALLED ON THE CUSTOMER SIDE OF THE WATER MAIN.
7. ALL WATER BOXES SHALL BE INSTALLED IN NON-PAVED AREAS, ANY METEOR BOX THAT GETS RELOCATED AT THE OWNER'S DISCRETION BEFORE A WATER MAIN WILL BE INSTALLED.

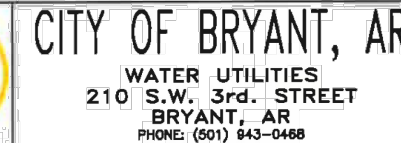


TITLE:			WATER DETAILS		
DESCRIPTION:			METER SERVICE LINE UNDER PAVEMENT		
ORIGINAL BY:	CHECKED BY:	FILE:	W11-Water Sander Line Used		

DATE: APRIL 2015	SHEET:
REVISED	
FOR THE YEAR	
FOR THE YEAR	
FOR THE YEAR	
FOR THE YEAR	
FOR THE YEAR	



- NOTES:**
1. COORDINATE INSTALLATION AND CONFIGURATION OF ALL 1-1/2" AND LARGER METER SETTINGS WITH THE CITY.
 2. ALL METER BOXES SHALL BE INSTALLED IN NON-PAVED AREAS. ANY METER BOX THAT GETS PLACED IN A PAVED AREA SHALL BE RELOCATED AT THE OWNER'S EXPENSE BEFORE A WATER METER WILL BE INSTALLED.
 3. SUPPORT METER INSTALLATION WITH 1"x24" SCH40 PVC THROUGH EACH BRACE EYE.

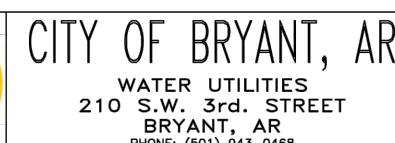


TITLE: WATER DETAILS		
DESCRIPTION: 2" WATER METER		
DRAWN BY:	CHECKED BY:	FILE: W12-2 Inch Water Meter.dwg

DATE: APRIL 2015	SHEET:
REVISED	W12

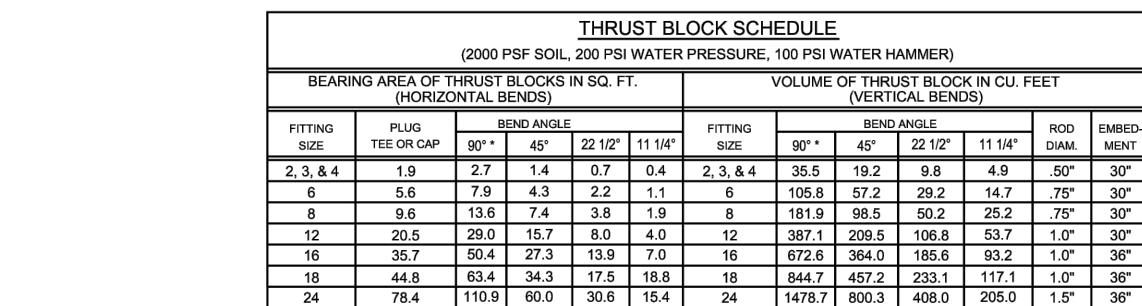


THE ANSI/AWWA C105/A21.5 STANDARD OUTLINES THREE METHODS OF INSTALLING
POLYETHYLENE ENCASMENT/ SLEEVING.



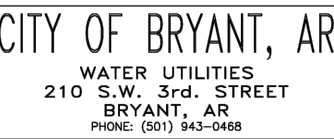
TITLE: WATER DETAILS		
DESCRIPTION: POLYETHYLENE PROTECTION MATERIAL		
REVISION: 01	DATE: 01/01/2020	BY: J. SMITH

DATE: APRIL 2015	SHEET:
REVISED	W14



- THRUST BLOCK NOTES:

1. CONCRETE FOR THRUST BLOCKS - CLASS A CONCRETE SHALL DEVELOP NOT LESS THAN 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS AND BE PLACED AGAINST UNDISTURBED SOIL.
2. ALL CONCRETE SHALL BE PLACED AGAINST THE VERTICAL THRUST CONCRETE. VERTICAL PENCILS SHALL BE PLACED ON CONCRETE TABLES WHERE BENDS TURN UP, OR LOADED WHERE BENDS TURN DOWN.
3. ALL POLYETHYLENE GLASS FIBER REINFORCED CONCRETE SHALL BE PLACED AGAINST THE VERTICAL THRUST CONCRETE.
4. BEARING AREA SHOWN IN PADS, IS BASED UPON A 2000 LB/SI. SOIL BEARING; AND UPON A PIPELINE PRESSURE OF 200 PSI. PLUS 100 PSI. WATER HAMMER. AREAS SHOWN SHALL BE ADJUSTED, SHOULD FIELD CONDITIONS VARY.
5. USE LONG-RADIUS FITTINGS, WHEREVER POSSIBLE.
6. ALL BOLTS FOR FITTINGS SHALL BE 316 STAINLESS STEEL.
7. ALL DUCTILE IRON FITTINGS SHALL BE FUSION-BONDED EPOXY COATED INSIDE AND OUTSIDE IN ACCORDANCE WITH AWWA C-115 (MAY 1971).
8. UNIT WEIGHT OF CONCRETE FOR VERTICAL THRUST BLOCKS IS 150 LB/CSQ. FT.

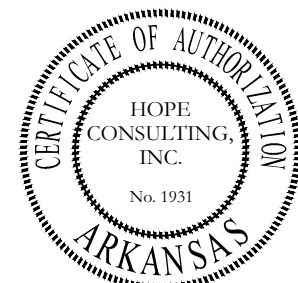


TITLE:			WATER DETAILS		
DESCRIPTION:			THRUST BLOCKING		
DRAWN BY:		CHECKED BY:	FILE: W16-Thrust		

DATE: APRIL 2015	SHEET:
REVISED	W

SHEET:

W16



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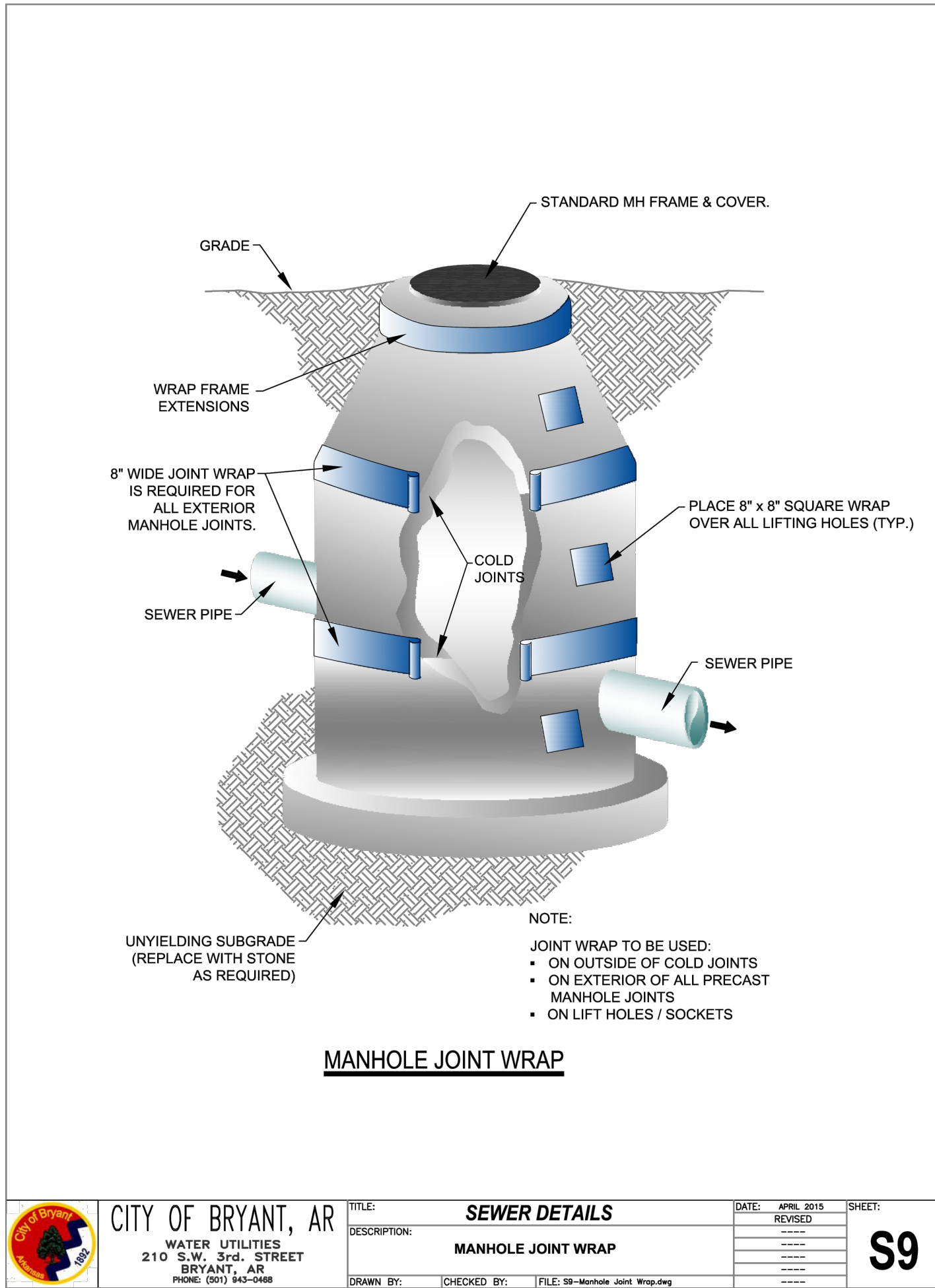
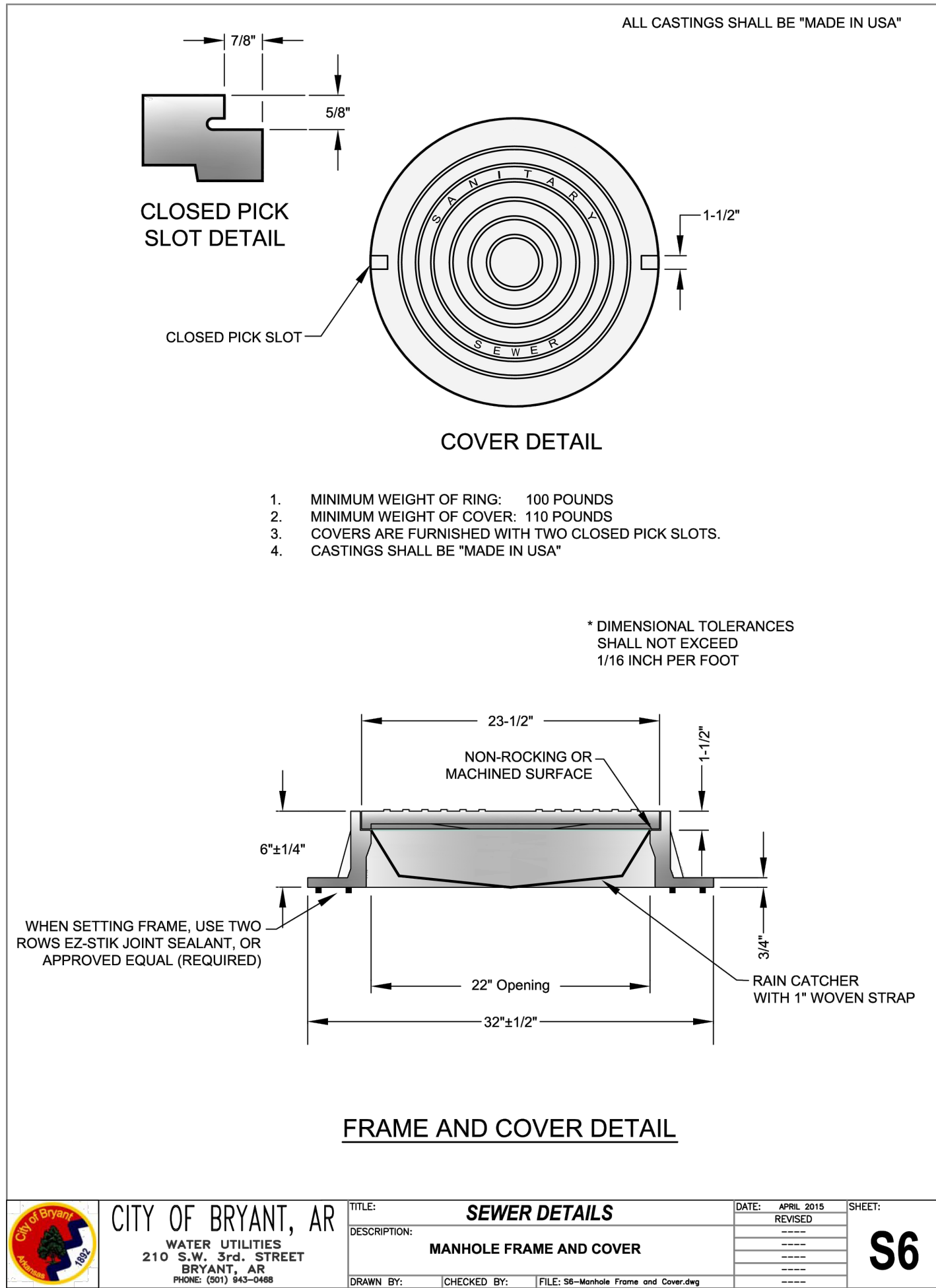
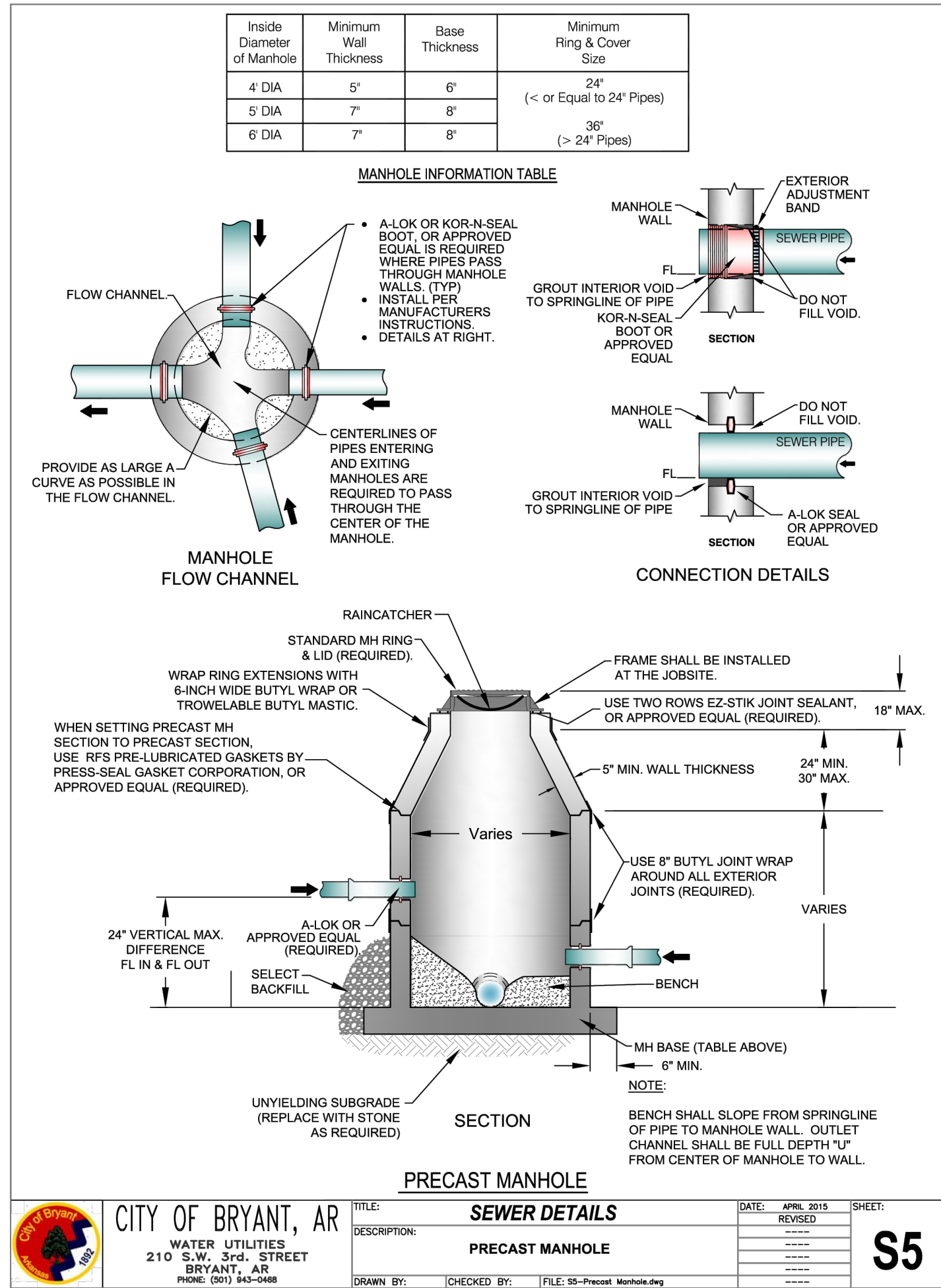
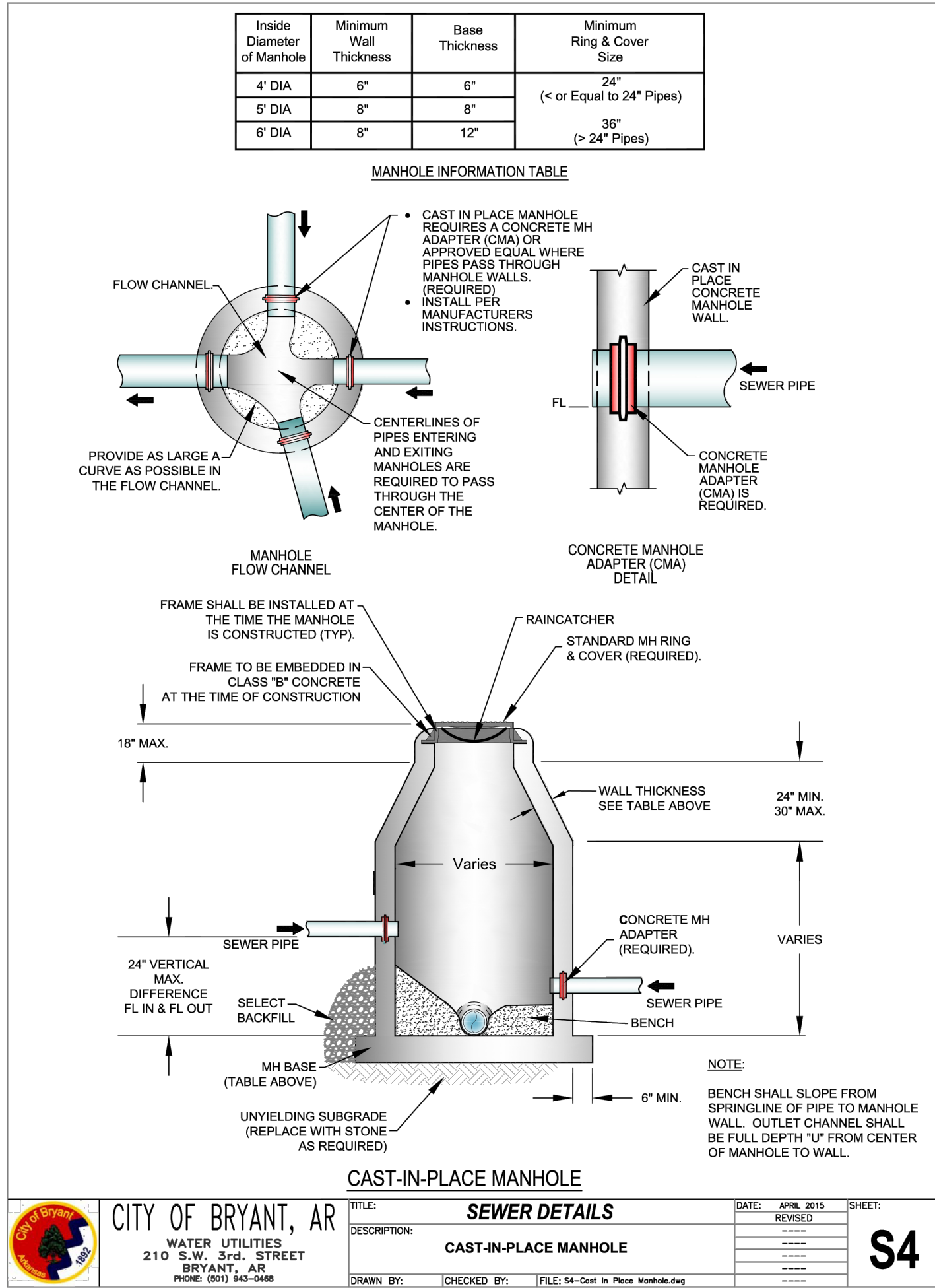
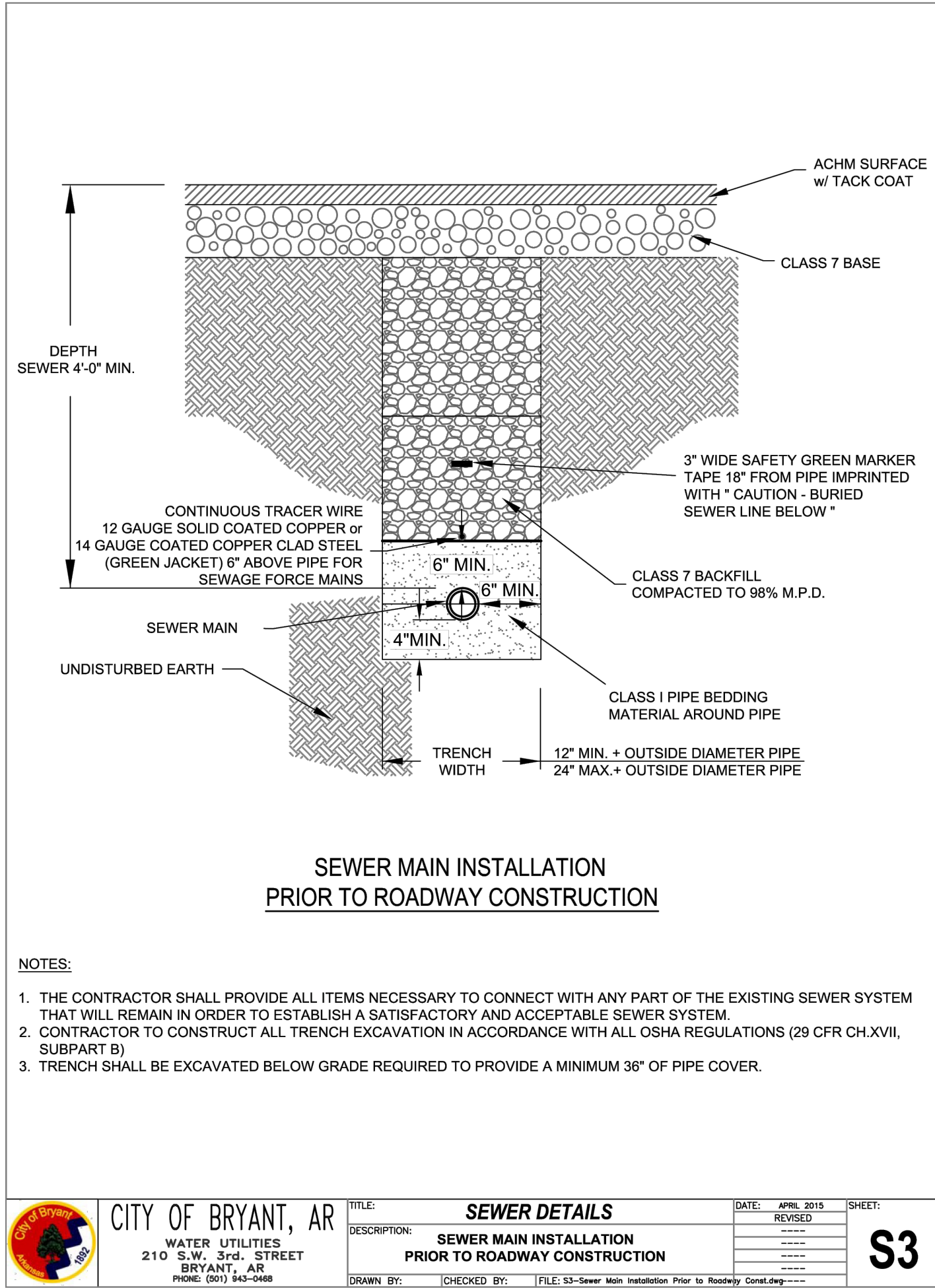
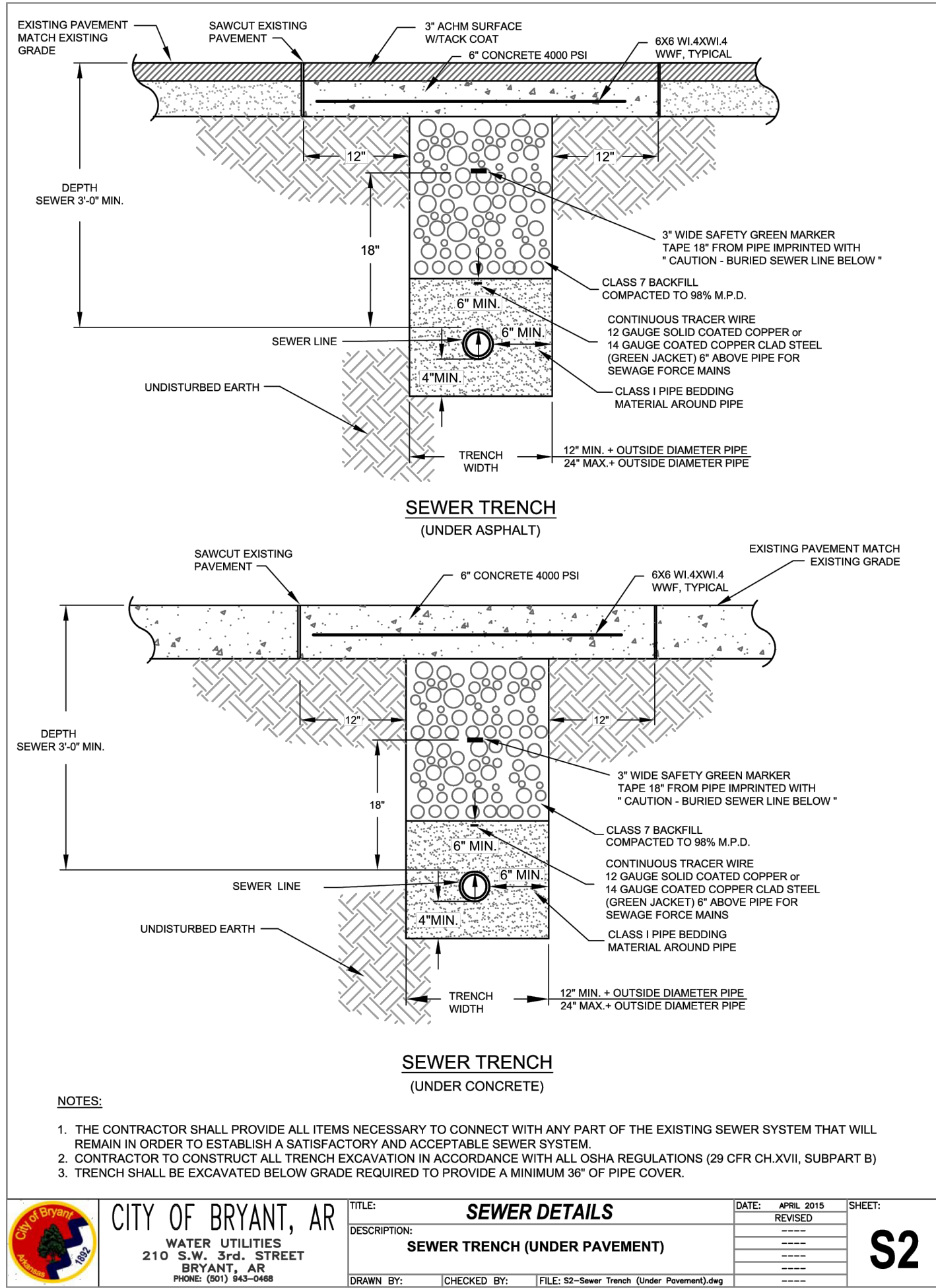
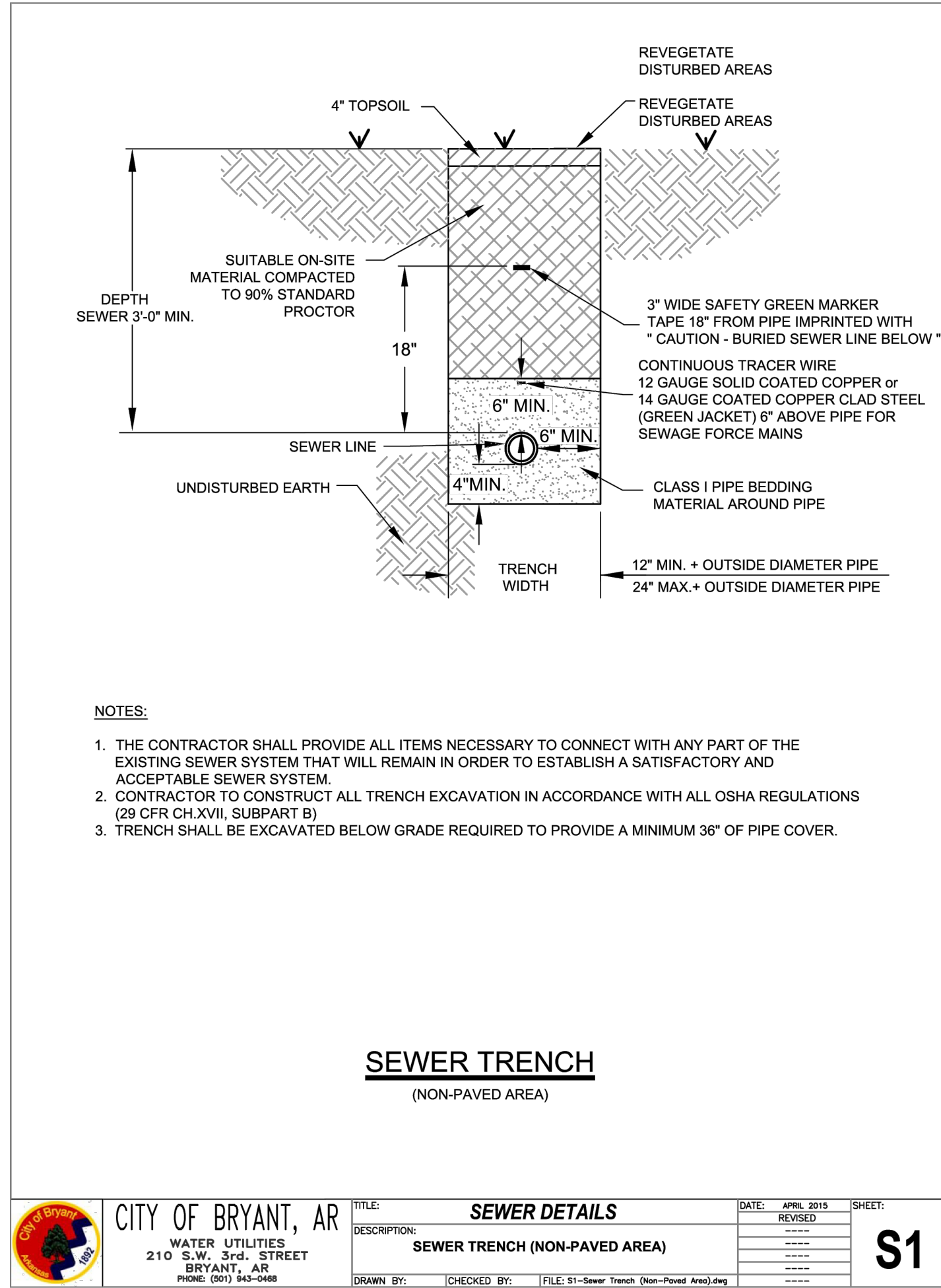
FOR USE AND BENEFIT OF:
STUART FINLEY

COMM./25300 I30 N
BRYANT WATER UTILITIES

A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS

DATE:	11/19/2025	C.A.D. BY:	DRAWING NUMBER: 25-1210
REVISED:	##	CHECKED BY:	
SHEET:	C-2.2	SCALE:	

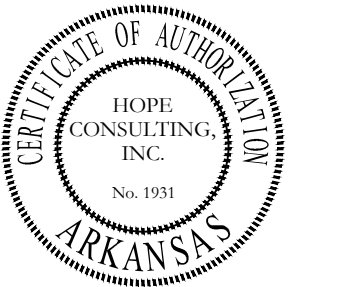
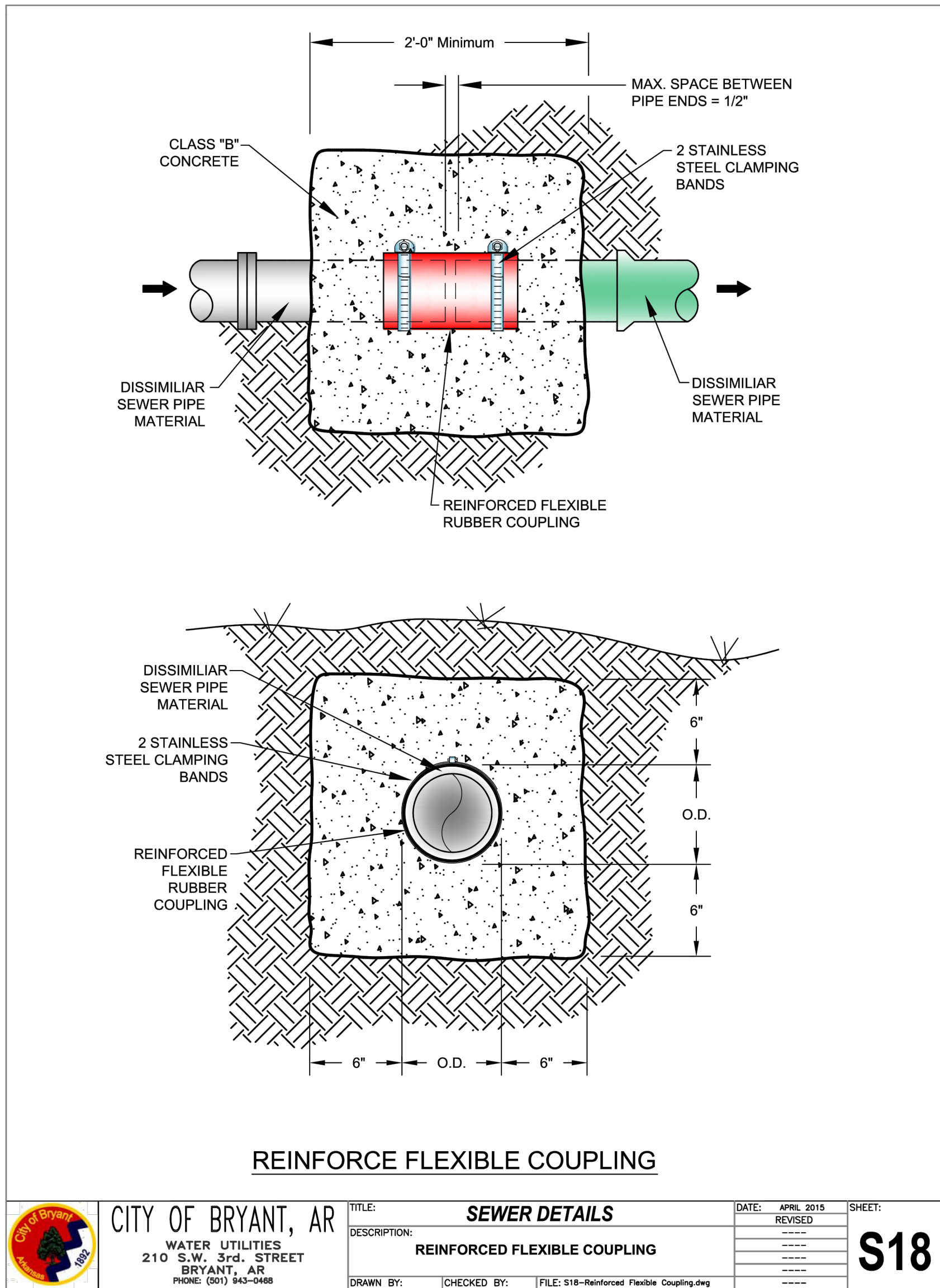
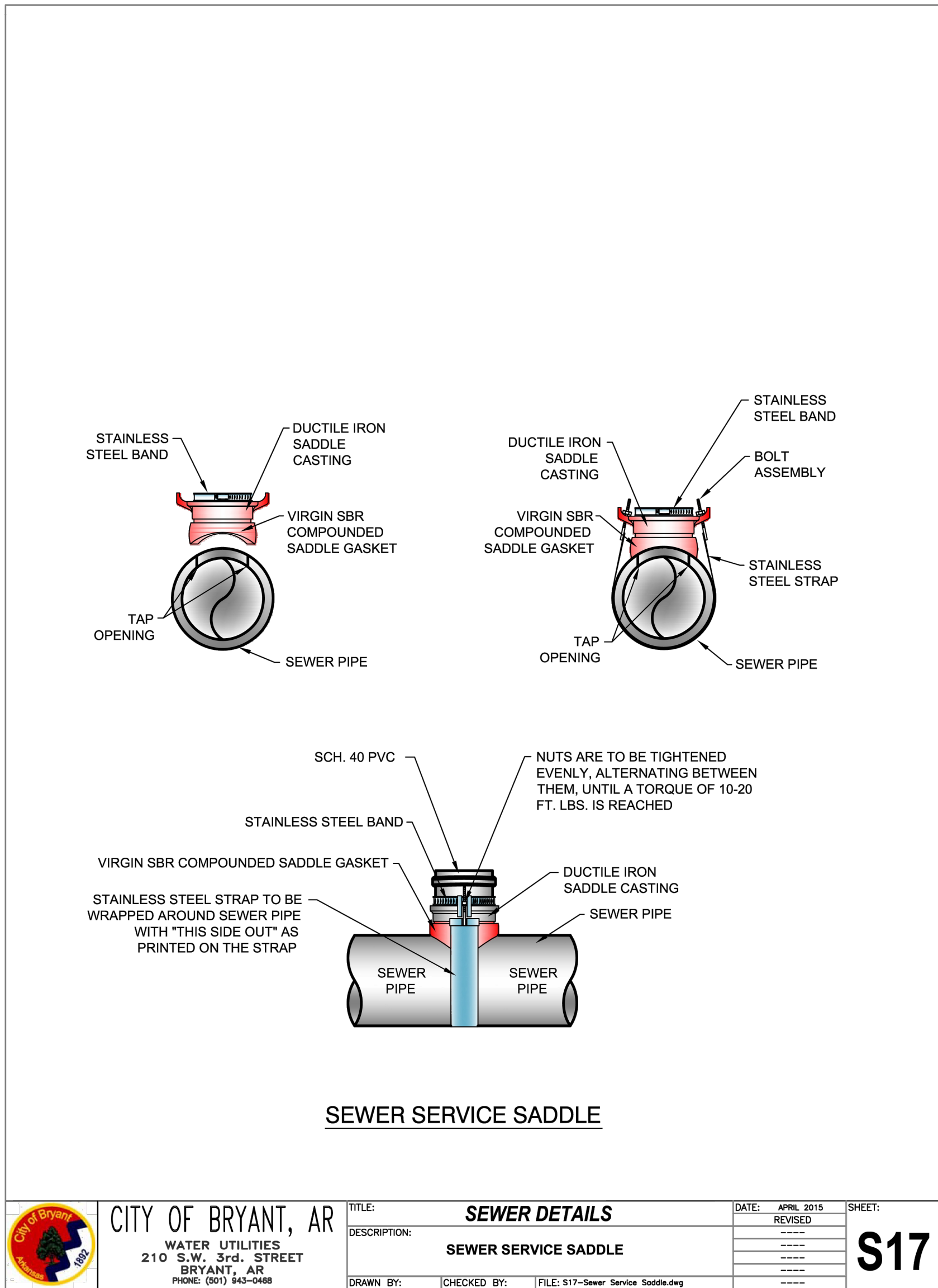
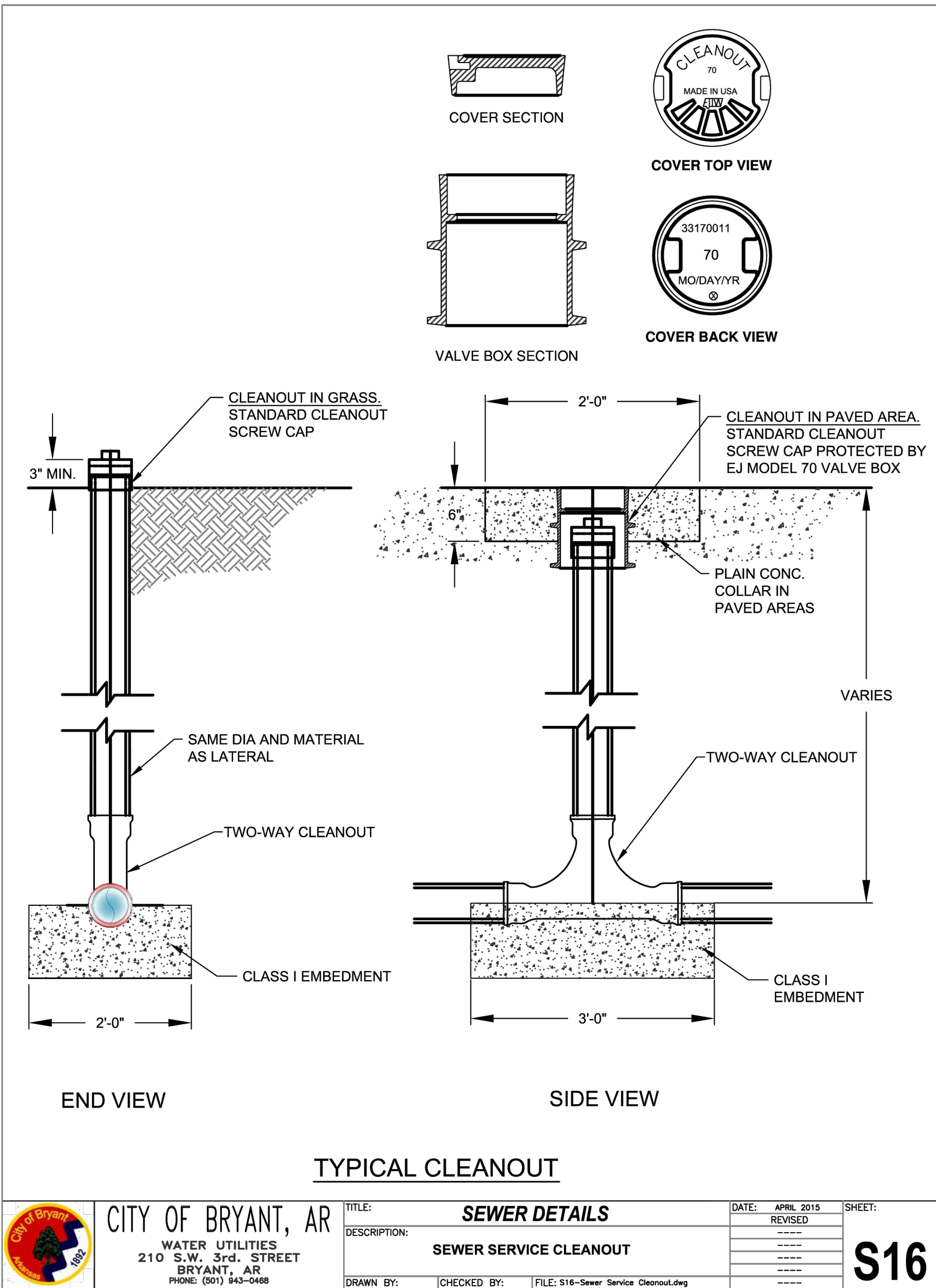
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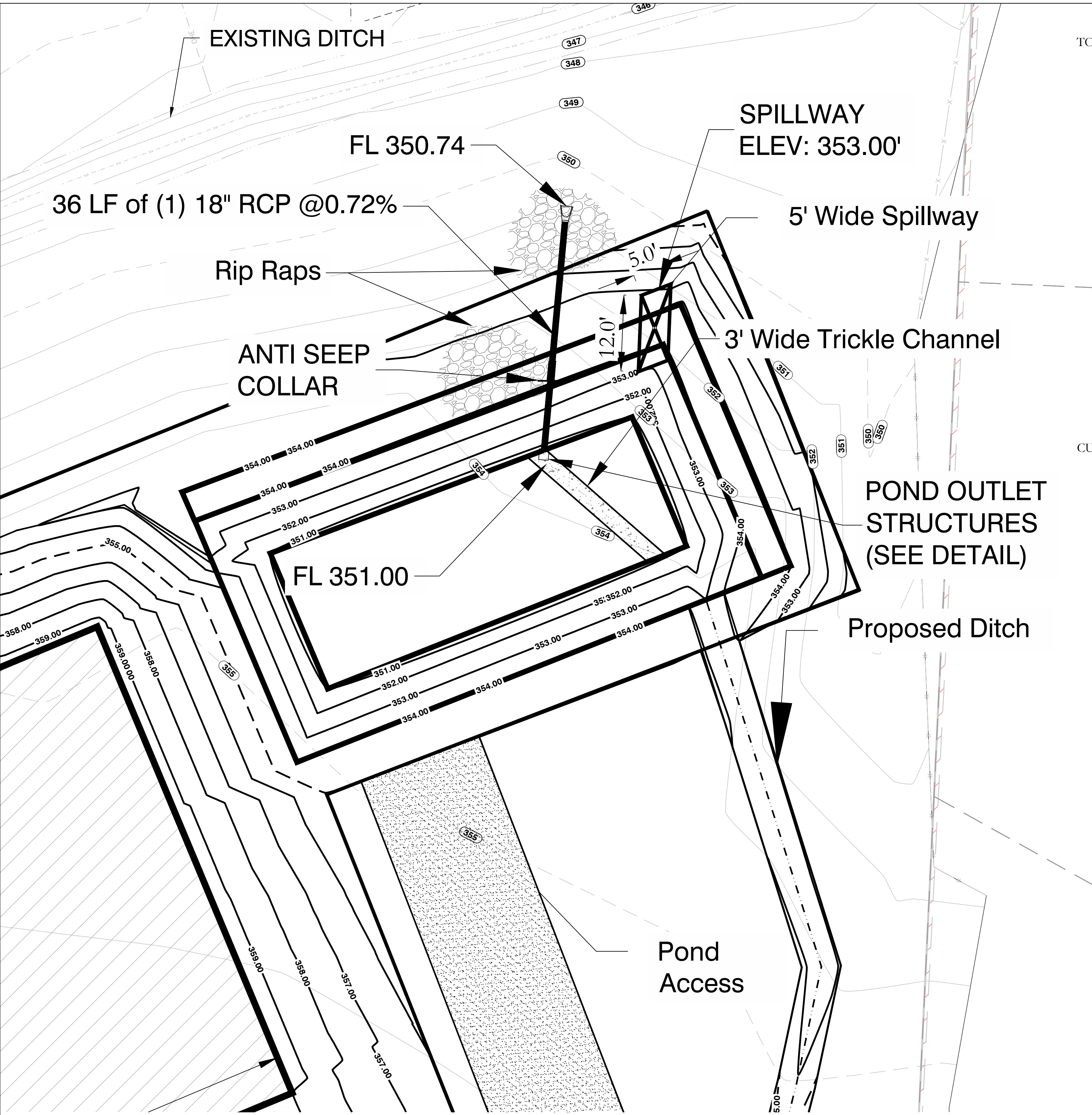
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REVISID:	##	CHECKED BY:	25-1210
SHEET:	C-2.3	SCALE:	
500	01S	14W	0 13 400 62 1664



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FOR USE AND BENEFIT OF: STUART FINLEY							
COMM./25300 I30 N BRYANT SEWER UTILITIES A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS							
DATE:	11/19/2025	C.A.D. BY:		DRAWING NUMBER:			
REVISED:	##	CHECKED BY:		25-1210			
SHEET:	C-24	SCALE:					
500	01S	14W	0	13	400	62	1664



NORTH EAST DETENTION POND

DETENTION POND MAINTENANCE PLAN

Background
The Detention pond is located at the North East of the subjected property. It is designed to temporarily detain stormwater to meet water quantity criteria before discharging off the property.

Routine Maintenance
Routine maintenance will include but not be limited to:
-Moving of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.

-The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.

-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.

-Inspect the pond and outlet pipe for non-routine maintenance need.

Periodic or Non-Routine Maintenance
The routine inspection of the pond area and discharge pipe will identify needed repairs and non-routine maintenance. These items may include but not be limited to:
-Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.

-Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.

-Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.

-Existing ditch will be maintained by regular inspection, sediment removal, clearing debris, controlling vegetation.

-Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.

-For questions or concerns about Tract "A", contact at (501)315-2626.

EXISTING DITCH

FL 350.74

36 LF of (1) 18" RCP @0.72%

Rip Raps

ANTI SEEP COLLAR

SPILLWAY ELEV: 353.00'

5' Wide Spillway

3' Wide Trickle Channel

FL 351.00

POND OUTLET STRUCTURES (SEE DETAIL)

Proposed Ditch

Pond Access

TOP OF LEVEE = 354.00'

353.00'

5' WIDE, 1' DEEP SPILLWAY

6" CONCRETE SPILLWAY

SPILLWAY END VIEW
NTS

SPILLWAY DESIGN

Spillway Capacity, $Q=CLH^{3/2}$

C Discharge Coefficient	L Spillway Width (ft)	H Head over Crest (ft)
2.5	5	1
	Spillway Capacity (cfs)	12.5
	100 year Flow(cfs)	6.9

Adequate

TOP OF LEVEE = 354.00'

GRASS 3:1 SLOPE

100 YEAR ELEV. =353.00'

25 YEAR ELEV. =352.81'

FL OUT ELEV. =350.74'

GROUT - 50% PENETRATION

12" GROUT MINIMUM THICKNESS RIP-RAP

A FILTER FABRIC BETWEEN RIP-RAP AND SOIL FOUNDATION COMPLYING WITH AASHTO M288

NATURAL GRADE FL.=350.60'

OUTLET SECTION

EARTHEN SLOPE NOTE:
EARTHEN DETENTION POND SLOPES ON BOTH THE INTERIOR AND EXTERIOR OF THE POND SHALL HAVE A MAXIMUM SLOPE OF 3:1.

NOTE:

1. DETENTION POND WILL BE REQUIRED TO BE STABILIZED WITH SOLID SOD/SEED STABILIZATION PER THE STORM WATER MANAGEMENT MANUAL.
2. DETENTION POND WILL HAVE A 5' WIDE LEVEE.
3. DETENTION POND REQUIRED STORAGE 5,420 CUFT. THE DESIGNED DETENTION POND'S AVAILABLE STORAGE 6,758 CUFT.
4. THE EXISTING DITCH HAS FLOW FOR 100 YEAR 116 CFS. THE FLOW FROM POND IS 6.9 CFS FOR 100 YEAR

72" WIDE

12" DEEP

PROPOSED DITCH SECTION

4.0'

4.0'

COLLAR

ANTI SEEP COLLAR

DETAIL (NTS)
TRICKLE CHANNEL SECTION

3'

0.5% +/- SIDE SLOPE

3000 PSI CONCRETE MIN

BOLTED ANCHOR HEAVY DUTY GRATE OVER OPEN TOP

WEIR OPENING

ELEV. 351.00

2.5'

1.5'

4.0'

2.5'

1.5'

POND OUTLET STRUCTURE

VICINITY MAP:

Proposed Commercial Warehouse

BAR SCALE: 1"=10'

811

Know what's below. Call before you dig.

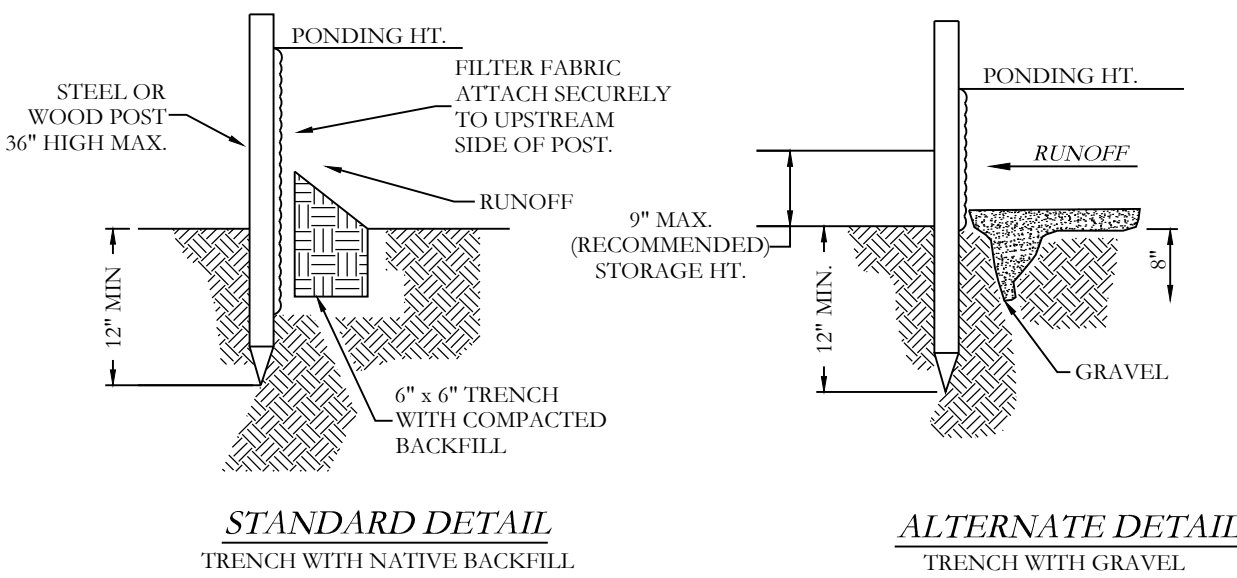
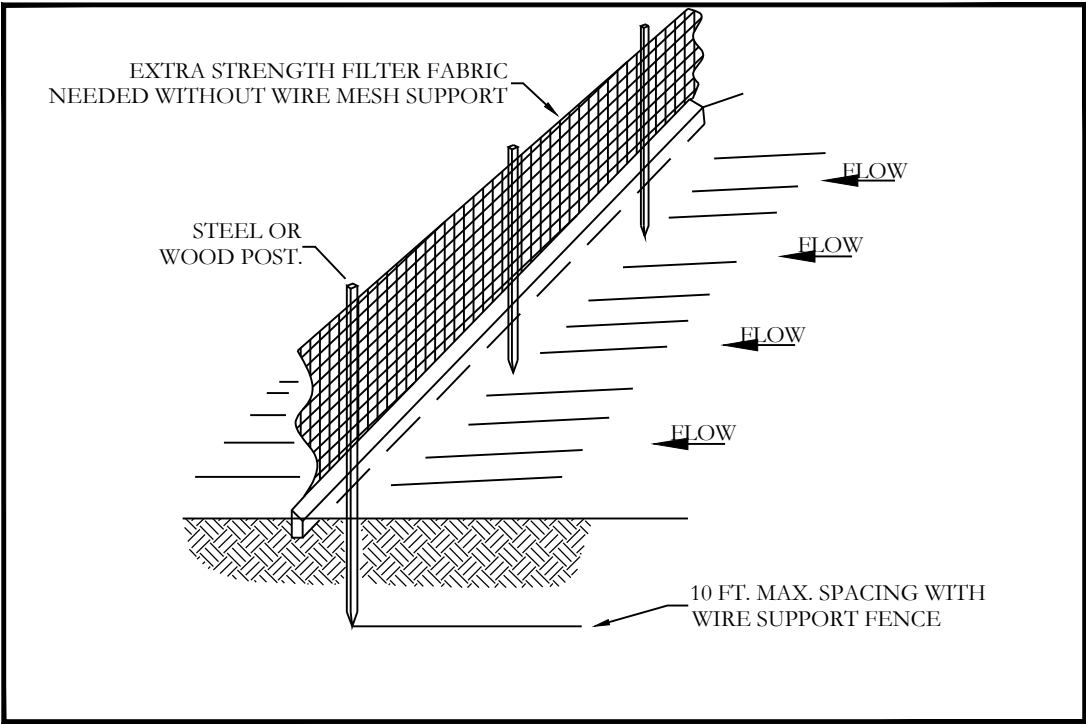
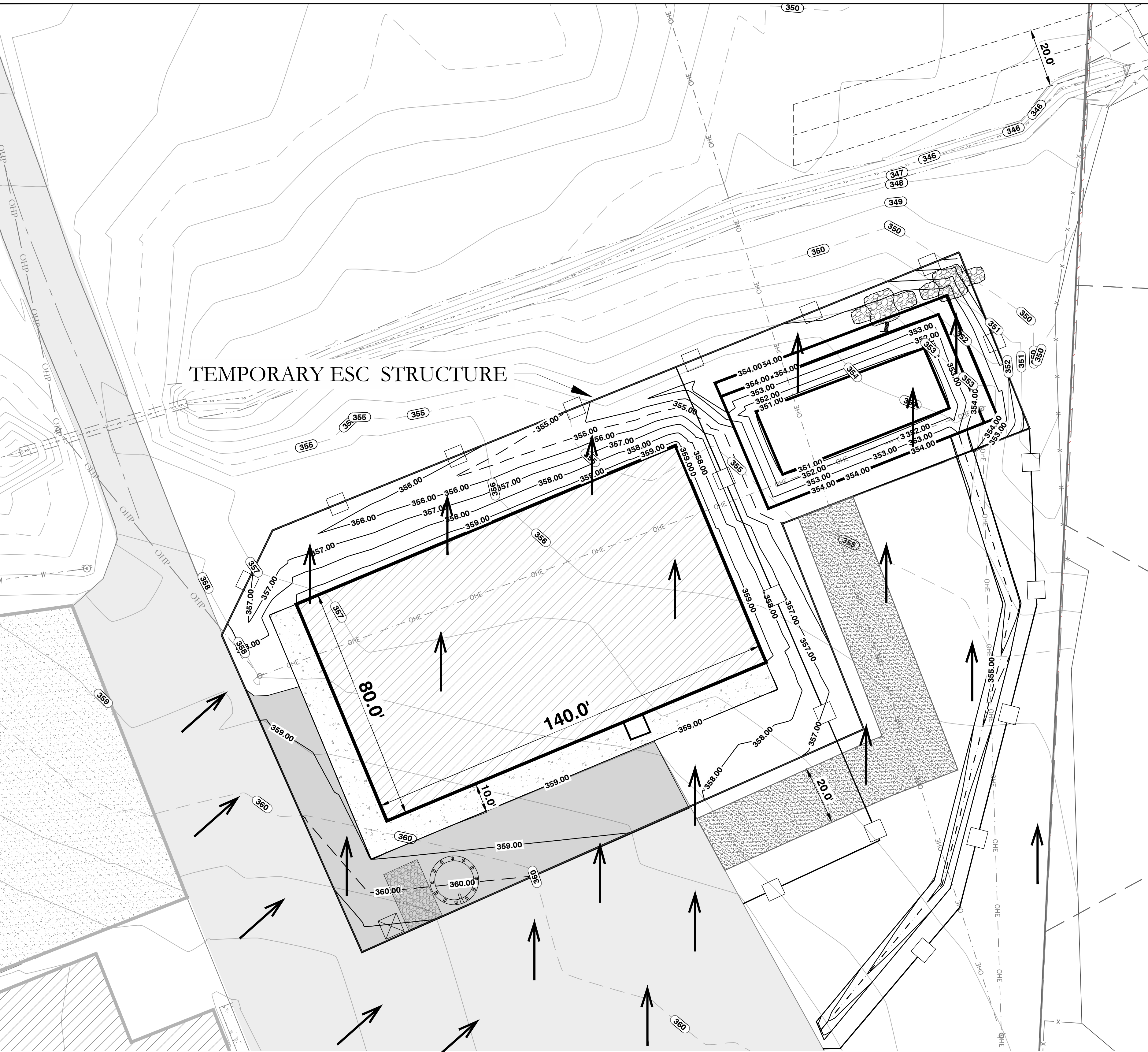
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FOR USE AND BENEFIT OF:
STUART FINLEY

25-1210 Comm./ 25300 I30 N
NORTH EAST DETENTION POND
A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS

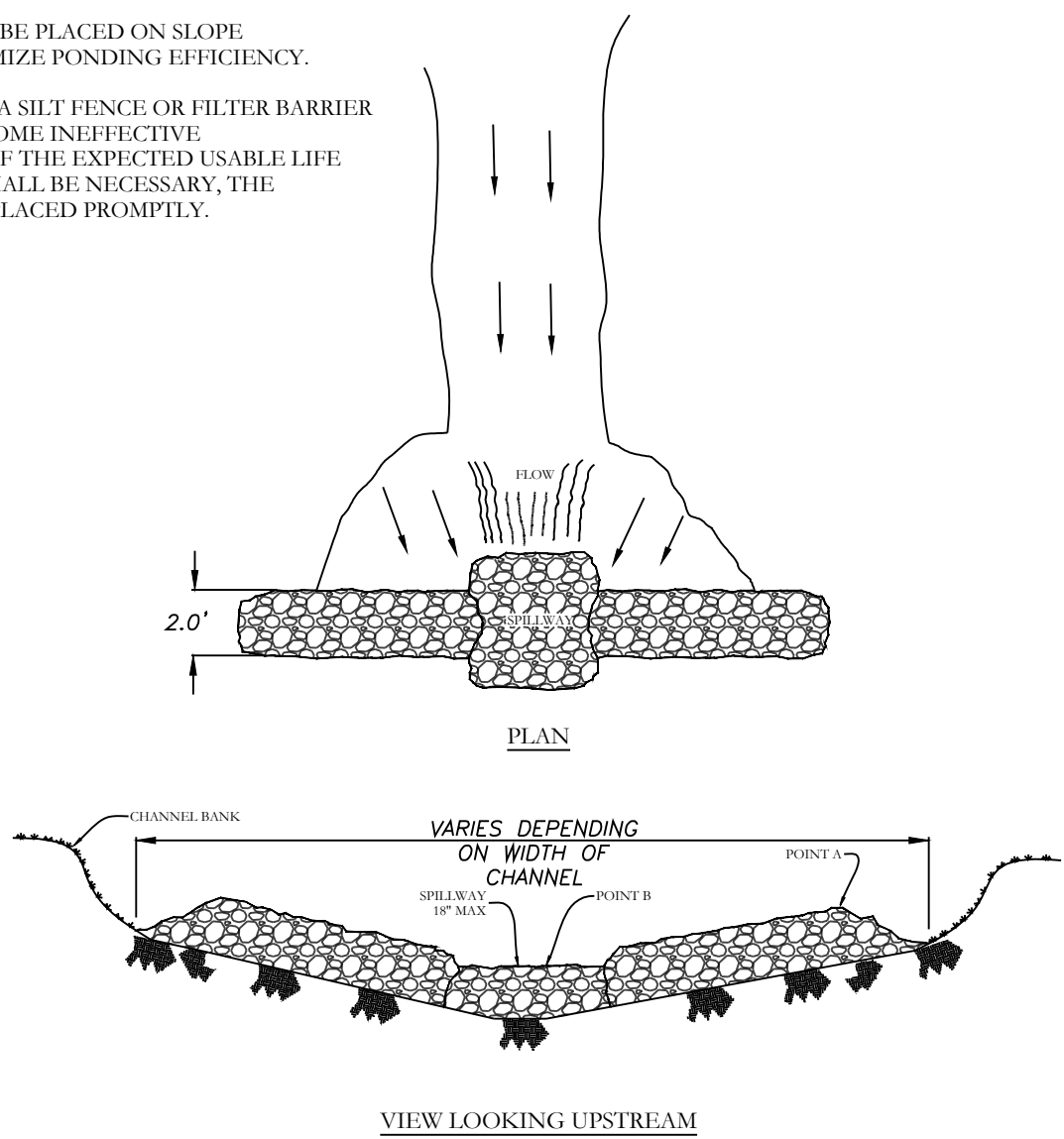
DATE:	11/19/2025	C.A.D. BY:	DRAWING NUMBER:
REVISED:	##	CHECKED BY:	25-1210
SHEET:	C-3.0	SCALE:	1"=10'
500	01S	14W	0 13 400 62 1664



SILT FENCE MATERIAL: IT SHALL BE GEOTEXTILE FABRIC, MINIMUM 3 FT HEIGHT, HAVING 10 FT MAXIMUM SPACING WITH STEEL WIRE SUPPORT FENCE.

- NOTE:
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - 4) IF THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER SHALL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SILT FENCE



- NOTES:
- 1) POINT 'A' MUST BE HIGHER THAN POINT 'B' (SPILLWAY HEIGHT).
 - 2) PLACE RIP-RAP BARRIER PERPENDICULAR TO THE FLOW WITH TIGHT CROUING. USE STEEL, ROCKS, OR FILTER FABRIC TO FILL ANY GAPS AND TAMP BACKFILL MATERIAL TO PREVENT EROSION OR FLOW AROUND THE DAM.
 - 3) SPILLWAY HEIGHT SHALL NOT EXCEED 18".
 - 4) INSPECT AFTER EACH STORM EVENT AND MAINTAIN AND REPAIR PROMPTLY.

RIP-RAP CHECK DAM

EROSION CONTROL NOTES

SOD OR NO SEED DETENTION AREA POST-CONSTRUCTION (IF APPLICABLE)

MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEAVES

CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE

RIP RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP

CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY

SOME EROSION CONTROL MEASURES, SILT FENCING, OR CHECK DAMS MAY NOT BE NECESSARY DURING INITIAL ROW CLEARING BUT MAY BE NEEDED ONCE LOT CLEARING AND HOME BUILDING BEGINS

ERC LEGEND

SITE POSTING

DISTURBED AREA

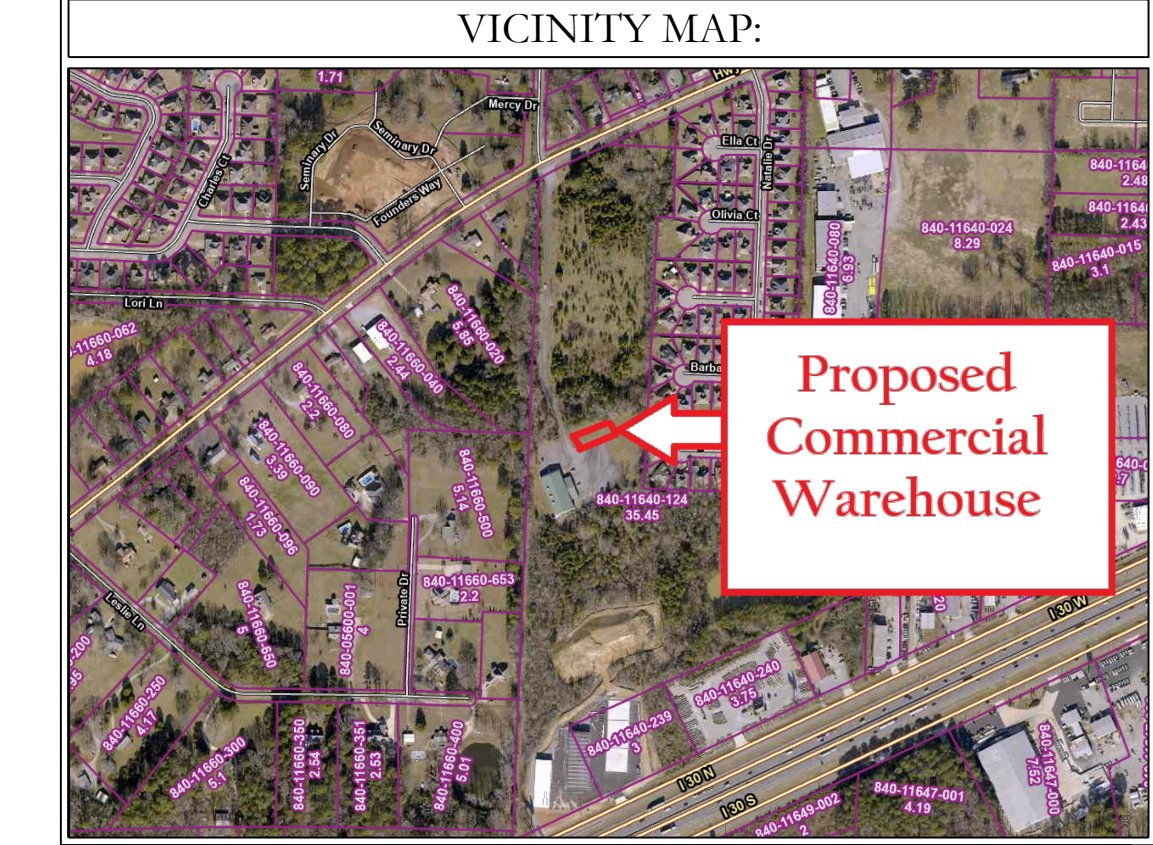
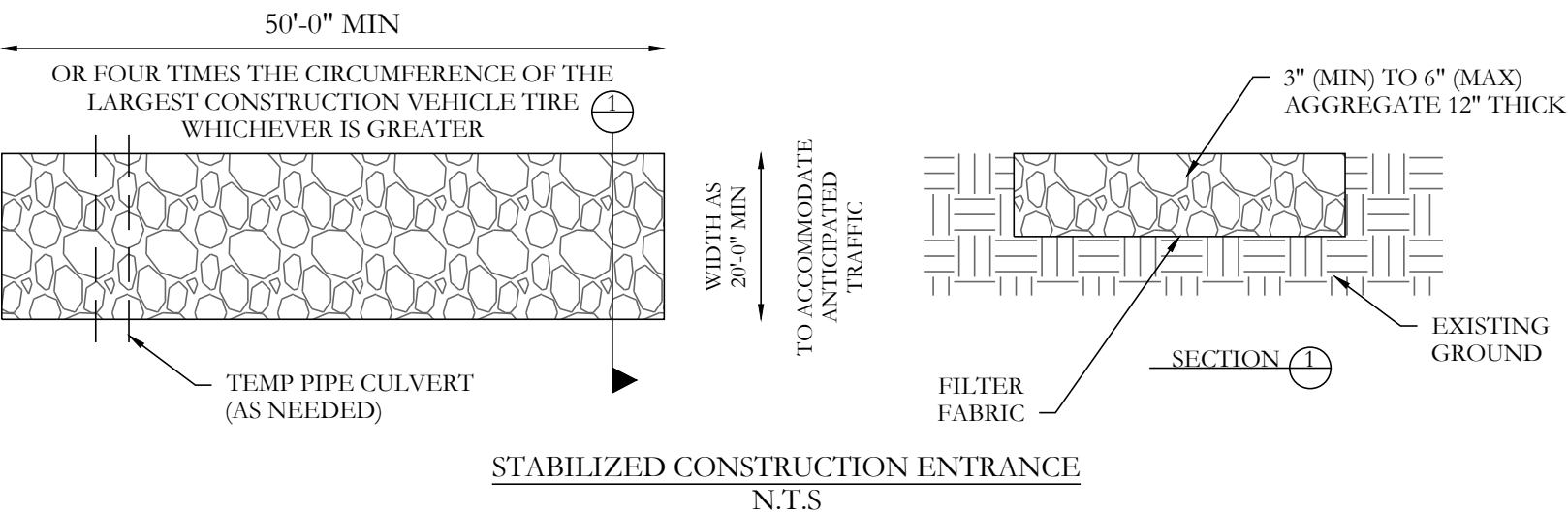
WATER FLOW

CONC. WASHOUT DETENTION AREA

SILT FENCE

RIP RAP CHECK DAM

CONSTRUCTION ENTRANCE



SEQUENCE OF CONSTRUCTION PLAN

Step	Activity	ESC / Control Measures	Notes
1.	Install temporary ESC	Silt fence, construction entrance, riprap	Must be installed before any land disturbing activity
2.	Site Clearing	Maintain temporary ESC, protect sensitive areas	Limit disturbance to only necessary areas
3.	Pond Construction	Temporary ESC continues	Cover disturbed areas not immediately worked
4.	Final Grading / Slope Stabilization	Temporary ESC still in place	Install permanent measures where needed
5.	Permanent Control Installation	Permanent pond structures, spillway, riprap, ditches	Remove temporary ESC only after permanent controls installed and stabilized
6.	Vegetation / Stabilization	Permanent seeding / sod	Stabilize slopes and disturbed areas as soon as possible
7.	Monitoring & Maintenance	Weekly inspections, repair damaged ESC measures	Follow SWPPP inspection schedule (every 7 days or after rain ≥ 0.5 "
8.	Site Final Stabilization	Confirm 80% vegetative cover or equivalent permanent measures	Required before filing Notice of Termination (NOT)
9.	Project Completion / Termination	Remove temporary measures, submit NOT	Only after full stabilization

(Reference: Bryant Stormwater Management Manual, Sections 1104.4.1-1104.4.7)

INSPECTION & MAINTENANCE PLAN

1. Inspect all disturbed areas weekly and within 24 hours after any storm ≥ 0.5 inches.
 2. Maintain in effective condition:
 - Vegetation
 - Erosion & sediment control measures
 - Other protective measures shown on the plan
- (Ref: Bryant Stormwater Management Manual, Section 1104.4.7)

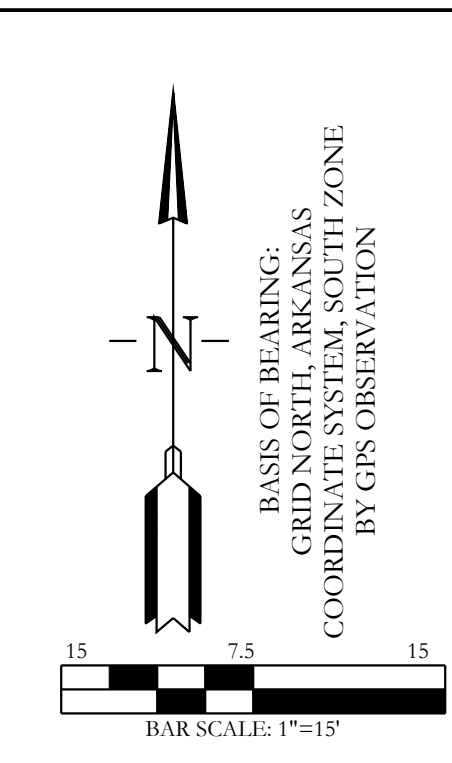
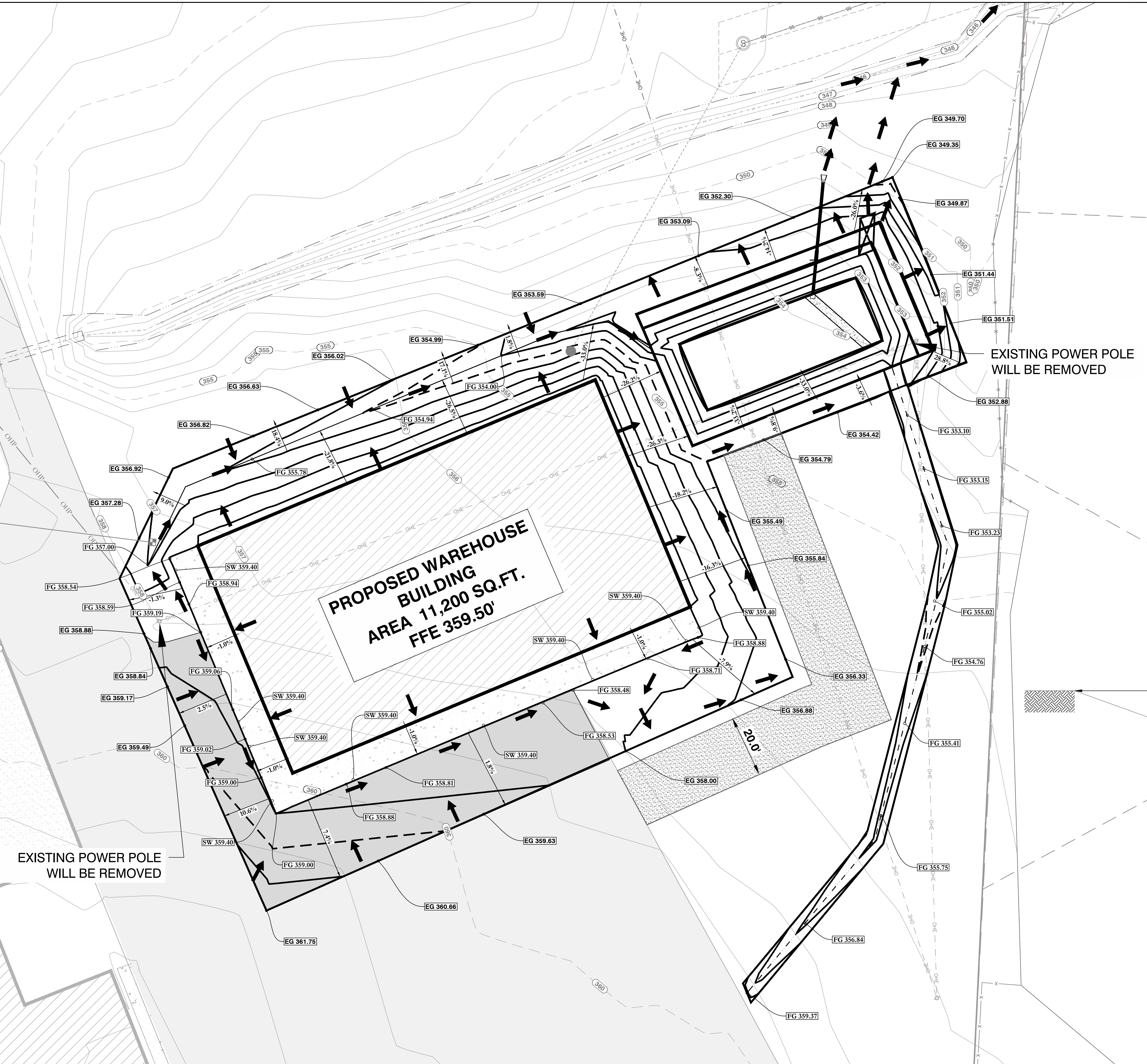


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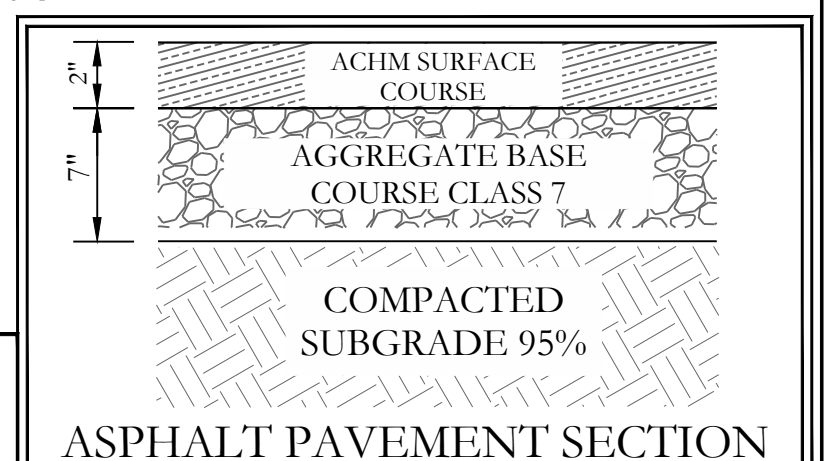
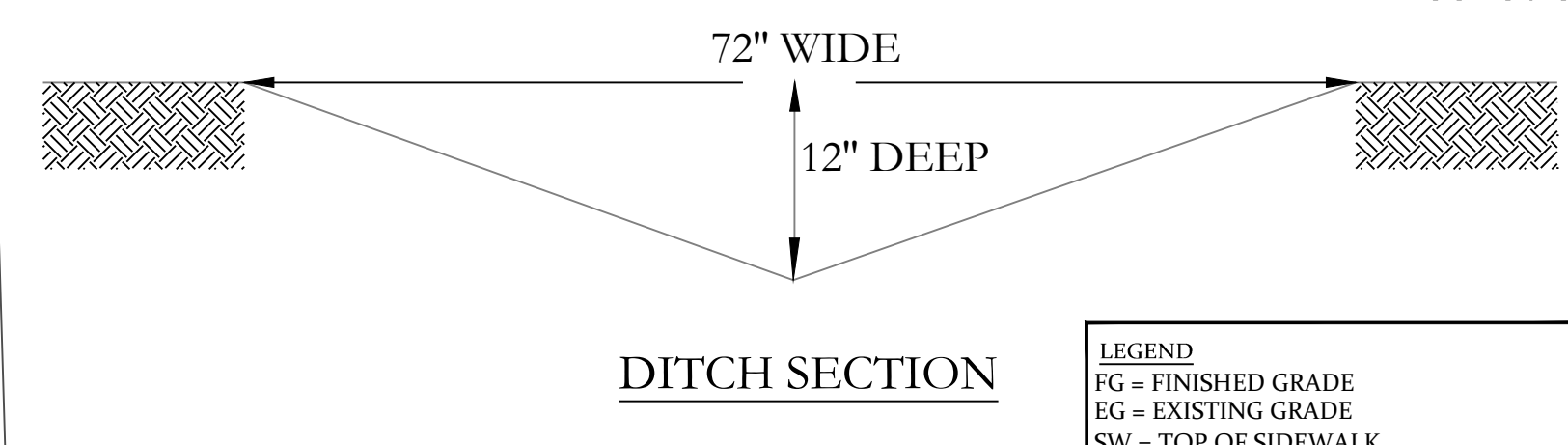
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25-1210 Comm./ 25300 I30 N						
EROSION CONTROL PLAN						
A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS						
DATE:	11/19/2025	C.A.D. BY:			DRAWING NUMBER:	
REVISION:	##	CHECKED BY:			25-1210	
SHEET:	C-40	SCALE:	1"=20'			
500	01S	14W	0	13	400	62 1664



GRADING PLAN NOTES

1. DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
 2. SPOT ELEVATIONS SHOWN ARE FINISHED GROUND, SIDEWALK ELEVATIONS, EXISTING GROUND.
 3. CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR.
 4. FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY.
 5. THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW TO 3% ABOVE THE OPTIMUM MOISTURE CONTENT.
 6. SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
 7. ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION.
 8. OWNER IS RECOMMENDED TO HAVE FENCE AROUND DETENTION POND.
- Note: Detention pond will be built before construction



EXISTING POWER POLE
WILL BE REMOVED

EXISTING POWER POLE
WILL BE REMOVED

LEGEND
FG = FINISHED GRADE
EG = EXISTING GRADE
SW = TOP OF SIDEWALK

- LEGEND**
- PLSS Aliquot Corner
 - Fnd. Corner Monument
 - Set 1/2" Rebar/Cap (1664)
 - Computed Point
 - (M) - As Measured
 - (P) - Per Deed or Plat Records
 - ESMT - Easement
 - B.S.L. - Building Setback Lines
 - Clean Out
 - Water Meter
 - Power Pole
 - Sewer Manhole
 - Light Pole
 - Telephone Pedestal
 - Drainage Manhole
 - Gas Meter
 - Fence
 - Overhead Power
 - Sewer Line
 - Water Line
 - Telephone Line
 - Electric Line
 - Gas Line
 - Water Flow Path



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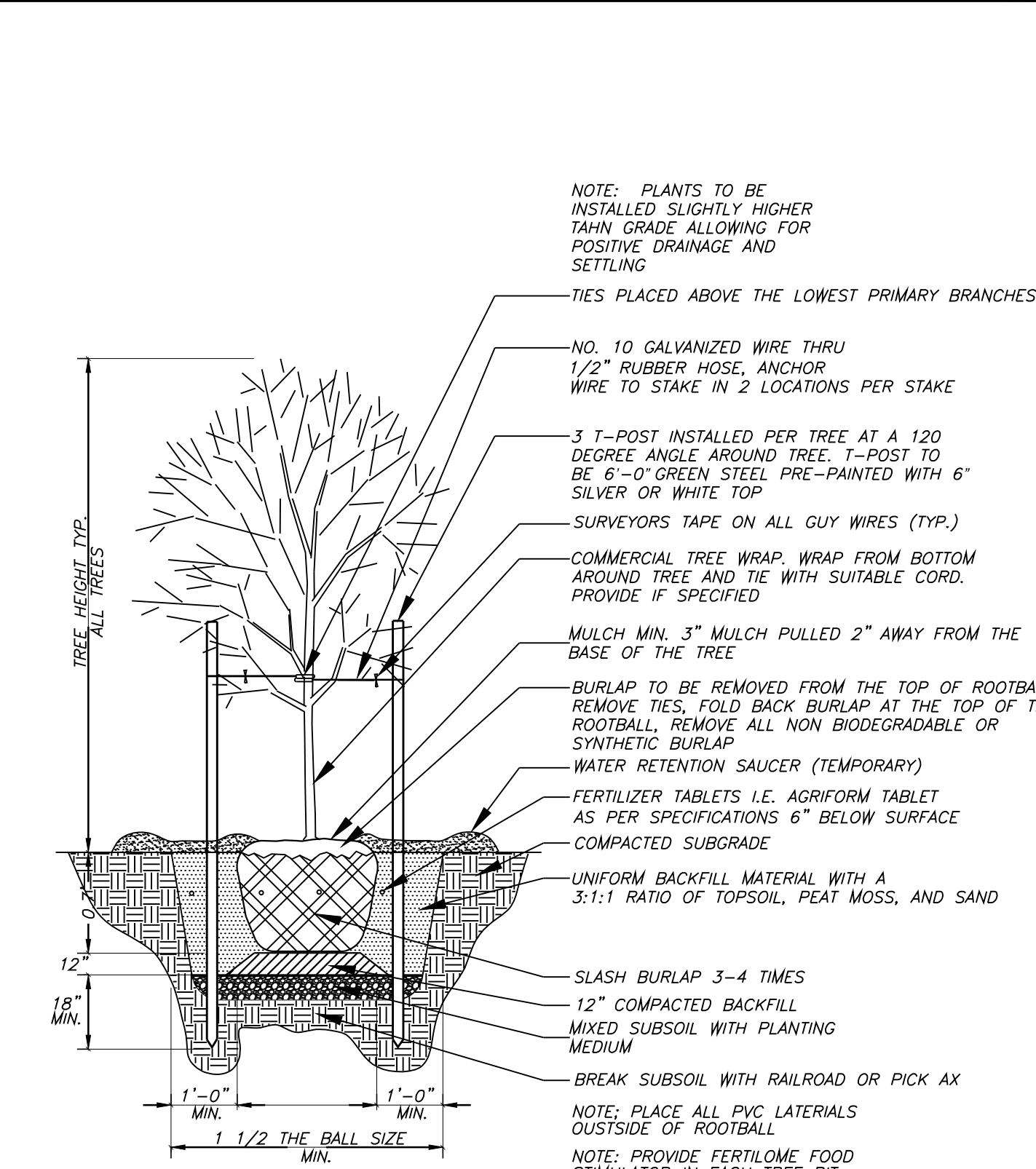
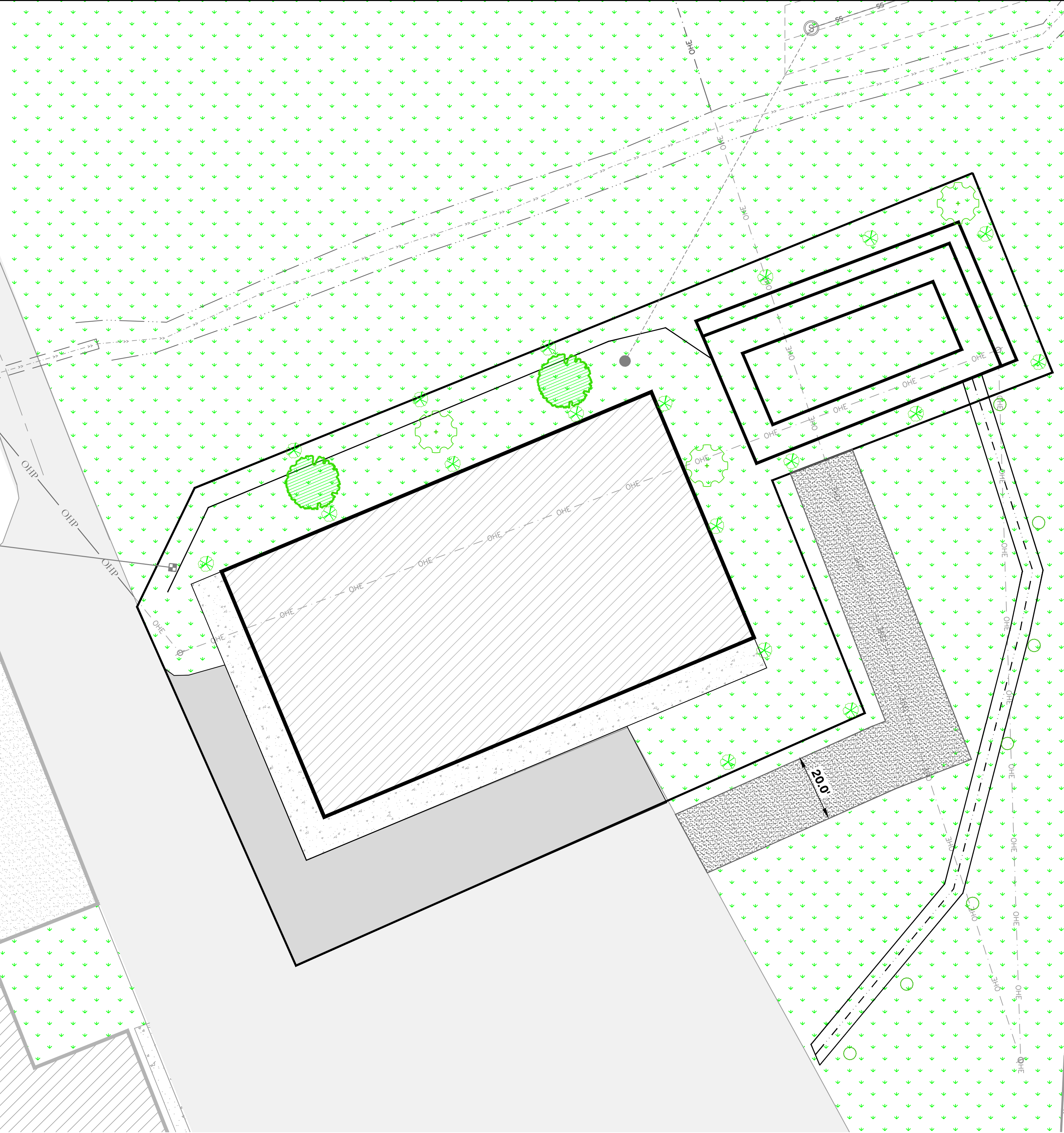
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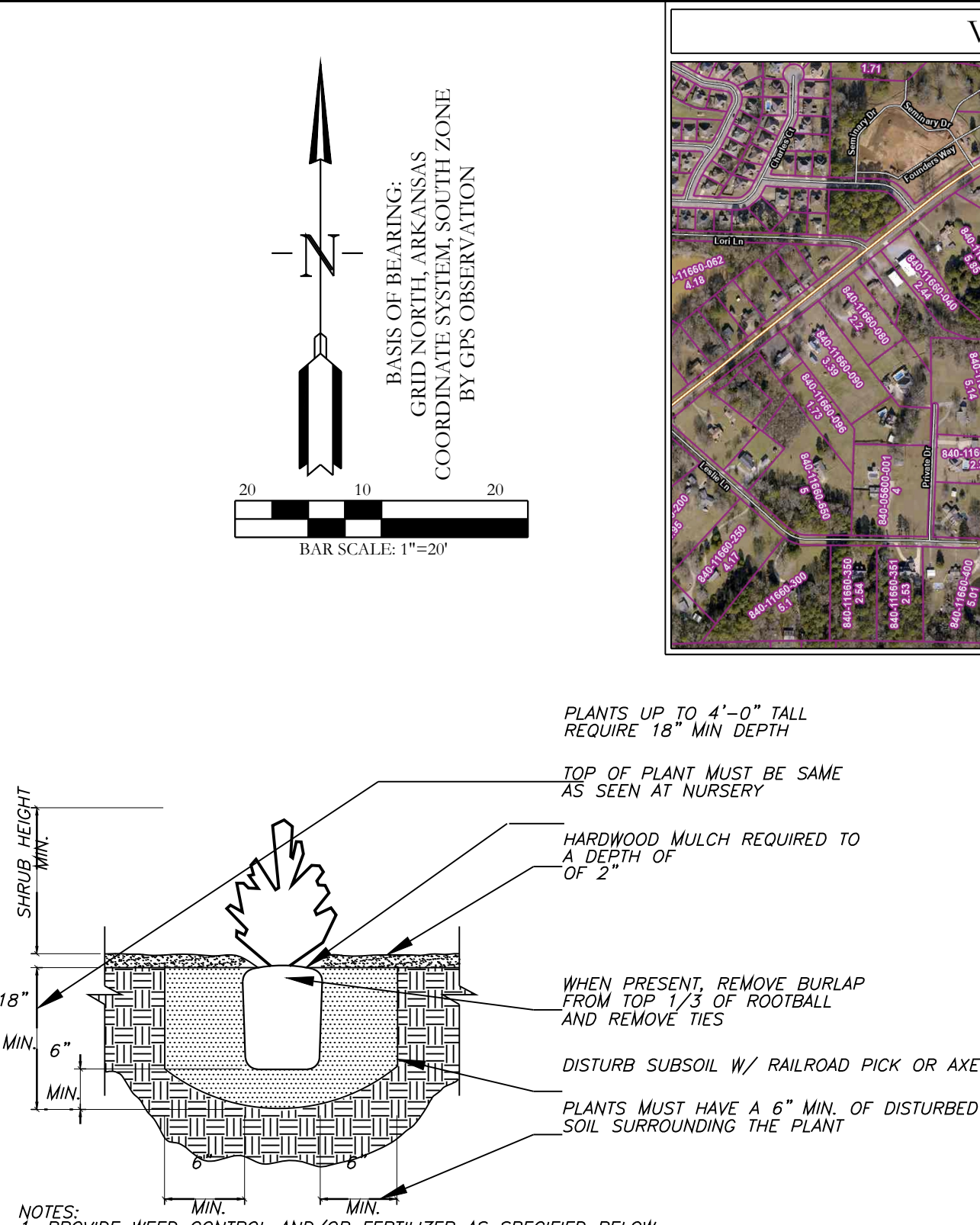
25-1210 Comm./ 25300 130 N
GRADING PLAN
A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS

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SHEET: C-5.0	SCALE: 1"=15'	

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1 TREE PLANTING DETAIL
No Scale



2 SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:

- NO PLANTING WITHIN 5 FEET OF A FIRE HYDRANT.
- SPACING WILL BE 40' BETWEEN TREES.
- TREE MUST BE A MINIMUM 3" IN DIAMETER @ THE BASE AND 12'+ TALL.
- EXISTING TREES MEETING THE MINIMUM SIZE CAN BE COUNTED TO MEET THE CRITERIA.
- NO TREES CAN BE PLANTED WITHIN THIRTY-FOOT (30') OF A PROPERTY CORNER OR DRIVEWAY.
- SHRUBS ALONG STREET FIGHT-OF-WAY LINES CANNOT EXCEED THIRTY INCHES (30") IN HEIGHT.
- SEPARATIONS NOTED IN THE ZONING REGULATIONS MUST BE BERMED OR SCREENED WITH LANDSCAPING AND GROUND COVER OR GRASS.

MAINTENANCE:

- THE DEVELOPER, HIS SUCCESSOR AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR REGULAR WEEDING, IRRIGATING, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTING ON PRIVATE PROPERTY OF A DEVELOPMENT. PLANT MATERIALS WHICH ARE INSTALLED FOR COMPLIANCE WITH THIS ORDINANCE, BOTH ON PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY, WHICH EXHIBIT EVIDENCE OF INSECT PESTS, DISEASE AND/OR DAMAGE, SHALL BE APPROPRIATELY TREATED AND DEAD PLANT MATERIALS SHALL BE REPLACED.
- THE OWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY SHALL BE RESPONSIBLE FOR THE TREE PLANTING STRIP LYING BETWEEN THE PRIVATE PROPERTY LINE AND THE CURBLINE OR BACKSLOPE LINE AND SHALL BE REQUIRED TO REGULARLY WEED, MOW, PRUNE AND MAINTAIN PLANTINGS IN COMPLIANCE WITH GOOD HORTICULTURAL PRACTICES.
- IF THE OWNER OF LAND THUS SITUATED AS IN ABOVE, NEGLECTS OR REFUSES TO MAINTAIN THE AREAS AS PROSCRIBED, AFTER HAVING BEEN GIVEN TEN (10) DAYS NOTICE IN WRITING TO MAINTAIN BY THE CITY, THE OWNER SHALL BE GUILTY OF A MISDEMEANOR.
- THE CITY OF BRYANT PLANNING COMMISSION WILL REVIEW AND ACT ON ALL LANDSCAPING PROPOSALS AT THE TIME BUILDING PLANS ARE SUBMITTED AND IN THE CASE OF SUBDIVISION AT THE PRELIMINARY PLAT SUBMITTAL.
- A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED FOR A COMMERCIAL ESTABLISHMENT NOR WILL THE FINAL SUBDIVISION PLAT BE APPROVED UNTIL LANDSCAPING REQUIREMENTS ARE SATISFIED.

TREE LEGENDS			
TREE TYPES:	TREE SPECIES:	HEIGHT AT PLANTING:	QTY:
	SHRUBS		
	EVERGREEN HOLLIES - ILEX SPECIES		20
	NANDINA -		
	NANDINA DOMESTICA		7
	TREES		
	AMERICAN HOLLY - ILEX OPACA	12'-0"	03
	SOUTHERN MAGNOLIA - MONGNOLIA GRANDIFLORA	12'-0"	02
	SOD (INCLUDES MULCH BEDS)		
	BERMUDA		
	MULCH BEDS (OPTIONAL) PLANTER/FLOWER BED		
	P.L.S. PLANTER/FLOWER BED		

LANDSCAPE CALCULATION:	
GREEN SPACE	TOTAL DEVELOPMENT AREA: 39,204 SF GREEN SPACE: 15,720 SF (15,720 / 39,204 = 0.4=40%)
LANDSCAPE (REQUIRED)	TREE REQUIRED FOR EACH 1/2 ACRE (39,204 SF OR 0.90 AC/0.5 = 1.8=2) SHRUB REQUIRED FOR EACH 2,000 SF OF TOTAL LAND AREA FOR DEVELOPMENT (39,204 SF / 2,000 SF = 19.6 = 20)
LANDSCAPE (PROVIDED)	TREE PROVIDED = 5 TREES SHRUB PROVIDED = 27



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25-1210 Comm./ 25300 130 N LANDSCAPE PLANNING A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS			
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Soil Loss Calculation for Ware house (25300 I30N)

25300 I30 N a commercial development site is being proposed in city of Bryant. A site plan has already submitted to the city for review. The site will be cleared prior to building construction. The site is not located within the 100-year flood hazard boundary.

Total site area = 3.95 acres

Total disturbed area = 0.90 acres

The volume of excavation will exceed 3,000 cubic yards.

Initial soil loss calculation:

Soil loss in tons per acre per year, A = 300 (K) (LS) (C) (P)

Site soil was previously identified from the Soil Survey of Saline County.

From the site topography, a 2% slope is observed over the length of 215-foot length of the major disturbed area. Soil erodibility factor, K of 0.49 has collected (<https://websoilsurvey.nrcs.usda.gov/app/>).

City of Bryant Stormwater & Drainage Manual, identifies the slope length factor, LS = 0.51 for 2% slope and 215-foot slope length. (**Calculated using RUSLE**)

Assuming the soil will need to be mulched and seeded with grass to at least a 60 percent ground cover, C = 0.042

Buffer zone, filter strips, natural vegetation, interceptor swales control practices are being implemented and therefore practice factor, P=0.5.

Soil Loss in tons/acres/years= 300*0.49*0.51*0.042*0.5=1.57 tons/acres/years

The potential soil loss of 1.57 tons/acre/year is within the allowable soil loss of 8 tons/acre/year.(Ref: **Bryant Stormwater Drainage & Manual, section:200.3**)

Initial soil calculation with no erosion control measures = 300 (0.49) (0.51) = **74.97 tons/acre/year.**



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25-1210 Comm./ 25300 I30 N SOIL LOSS CALCULATION A COMMERCIAL IN BRYANT CITY, SALINE COUNTY, ARKANSAS			
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