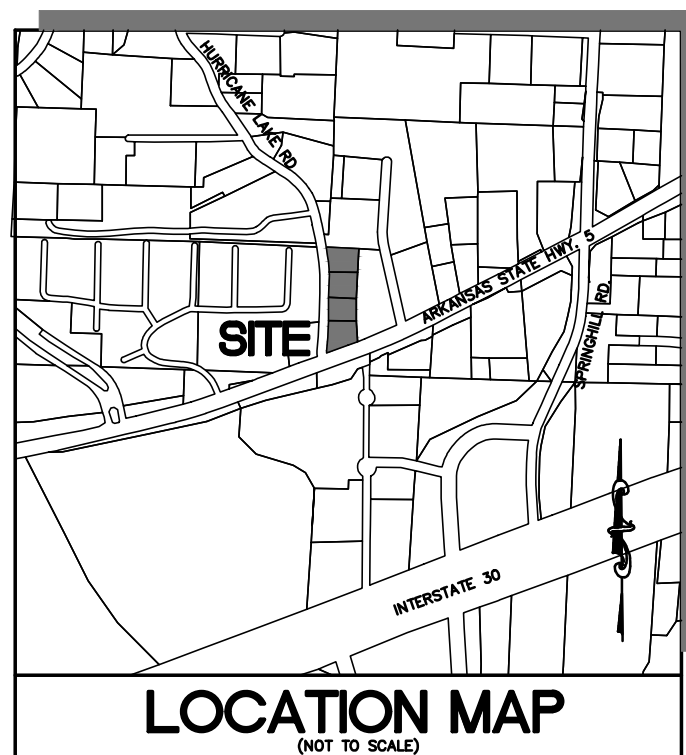


SITE DEVELOPMENT PLAN FOR GOOD DAY FARM DISPENSARY

A TRACT OF LAND BEING PART OF THE SE 1/4 OF SECTION 20,
TOWNSHIP 1 SOUTH, RANGE 14 WEST
CITY OF BRYANT, SALINE COUNTY, ARKANSAS

PERTINENT DATA

TRACT AREA: 1.99 ± AC. (86,509 S.F.)
CURRENT OWNER: NEATHERY SHARON CLYDENA
SITE ADDRESS: 3205 HWY 5 N, BRYANT, AR 72019
2320 HURRICANE LAKE RD, BRYANT, AR 72019
PARCEL ID: 840-12036-000, 840-12037-000, 840-12038-000,
840-12042-000
FEMA FLOOD MAP: 05125C0360E (REVISED JUNE 05, 2020)
EXISTING ZONING: SOUTH LOTS - "C-2" - HIGHWAY COMMERCIAL
NORTH LOTS - "R-M" - RESIDENTIAL
PROPOSED USE: COMMUNITY BUSINESS - MARIJUANA DISPENSARY



PARKING CALCS.

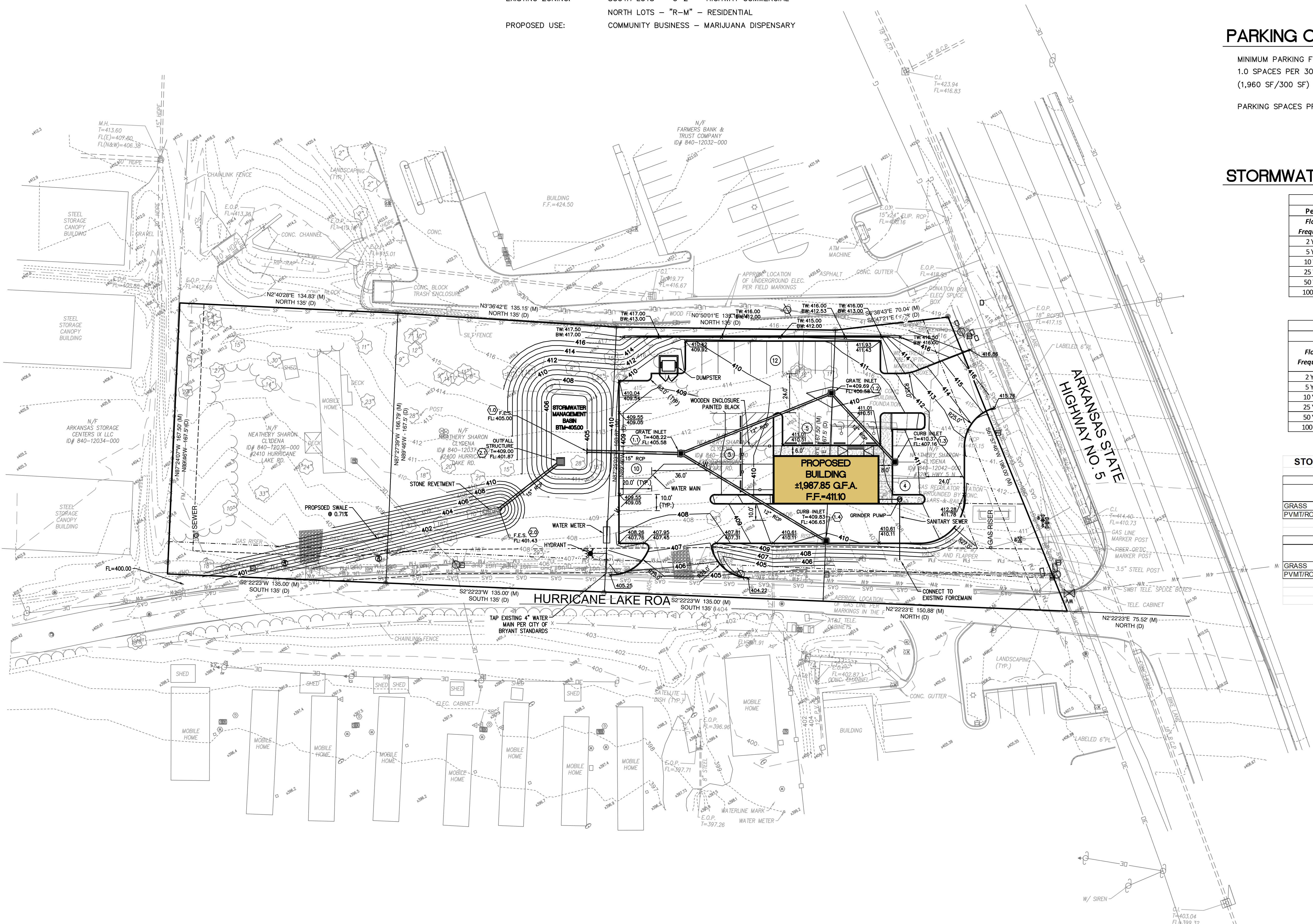
MINIMUM PARKING FOR C-2 DISTRICT:
1.0 SPACES PER 300 SF
(1,960 SF/300 SF) * 1.0 SPACE = 6.53 OR A MINIMUM OF 7 SPACES
PARKING SPACES PROVIDED = 36 SPACES (2 ADA)

STORMWATER MANAGEMENT

TABLE 2 Peak Discharge - Post-Developed Conditions		
Flood Frequency	Allowable Discharge (cfs)	Post-Developed Discharge (cfs)
2 Year	4.98	1.31
5 Year	7.34	5.41
10 Year	9.57	6.70
25 Year	11.35	8.32
50 Year	14.73	10.53
100 Year	15.78	11.16

TABLE 3 Stormwater Detention Summary			
Flood Frequency	Basin Discharge (cfs)	Basin WSEL (feet)	Basin Freeboard (feet)
2 Year	1.31	407.38	2.62
5 Year	5.41	407.78	2.22
10 Year	6.70	408.12	1.88
25 Year	8.32	408.37	1.63
50 Year	10.53	408.84	1.16
100 Year	11.16	409.00	1.00

STORMWATER DIFFERENTIAL RUNOFF			
PRE-DEVELOPED			
	ACRES	PI FACTOR (CFS/AC)	TOTAL Q(15)
GRASS	1.81	1.70	3.07
PVMT/ROOF	0.18	3.54	0.63
TOTAL Q(15) =			3.71
POST-DEVELOPED			
	ACRES	PI FACTOR (CFS/AC)	TOTAL Q(15)
GRASS	1.30	1.70	2.22
PVMT/ROOF	0.68	3.54	2.41
TOTAL Q(15) =			4.63
DIFFERENTIAL = POST - PRE = + 0.93			



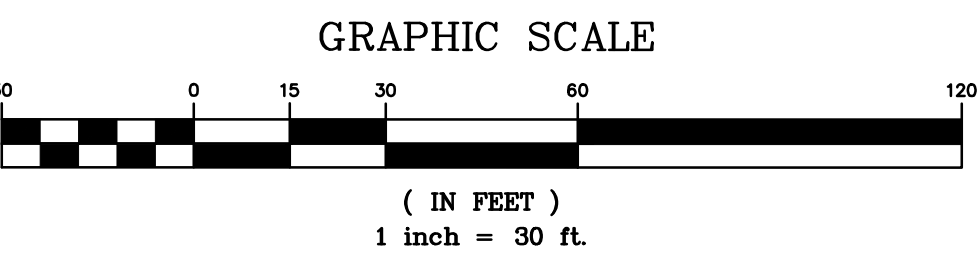
LEGEND	
	BENCH MARK
	FOUND IRON ROD
	FOUND IRON PIPE
	RIGHT OF WAY MARKER
	UTILITY POLE
	SUPPORT POLE
	UTILITY POLE WITH LIGHT
	LIGHT STANDARD
	ELECTRIC METER
	ELECTRIC MANHOLE
	ELECTRIC PEDESTAL
	ELECTRIC SPLICE BOX
	ELECTRIC BREAKER
	GAS DRIP
	GAS METER
	GAS VALVE
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	TELEPHONE SPLICE BOX
	CABLE TV PEDESTAL
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	WATER MANHOLE
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	CLEAN OUT
	STORM MANHOLE
	GRATED MANHOLE
	STORMWATER INLET
	GRATED STORMWATER INLET
	SANITARY MANHOLE
	TREE
	BUSH
	TRAFFIC SIGNAL
	PARKING METER
	STREET SIGN
	SPRINKLER
	MAIL BOX

ABBREVIATIONS	
C.O.	CLEANOUT
DB	DEED BOOK
E	ELECTRIC
FL	FLOWLINE
FT	FEET
IND.	FOUND
G	GAS
M.H.	MANHOLE
N.O.F.	NOW OR FORMERLY
P.B.	PLAY BOOK
P.C.	PAGE
P.V.C.	POLYVINYL CHLORIDE PIPE
R.B.	RADIAL BEARING
R.C.P.	REINFORCED CONCRETE PIPE
SQ.	SQUARE
V.C.P.	VECTORED CLAY PIPE
W	WATER
(86 W)	RIGHT-OF-WAY WIDTH

USGS BENCHMARK
BENCHMARK R 338 ELEV=405.82 (NAVD83)
DESCRIBED BY ARKANSAS DEPARTMENT OF
TRANSPORTATION 2013 THE STATION IS LOCATED ABOUT
5.9 MI (9.5 KM) EAST-SOUTHEAST OF CONDO,
3.0 MI (4.8 KM) WEST OF ALEXANDER AND 1.8 MI (2.9
KM) NORTH OF BRYANT.
TO REACH FROM THE INTERSECTION OF BASELINE ROAD
AND NORTH FRONTAGE ROAD PARALLELING I-30, GO WEST
ON NORTH FRONTAGE ROAD FOR 7.48 MI TO THE STATION
ON THE RIGHT, IN THE CENTER OF A HEADWALL.
IT IS 85 FT (25.9 M) WEST OF A COMBINATION POLE AND
20 FT (6.1 M) NORTH OF THE CENTERLINE OF NORTH
FRONTAGE ROAD.

PREPARED BY:
STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
257 CHESTERFIELD BUSINESS PARKWAY
ST. LOUIS, MO 63005
PH. (636) 530-9100, FAX (636) 530-9130
EMAIL: GENERAL@STOCKASSOC.COM
WEB: WWW.STOCKASSOC.COM

PREPARED FOR:
GOOD DAY FARM
C/O REGAN ETHERIDGE
SENIOR PROJECT MANAGER-
STORE DEVELOPMENT, DESIGN & CONSTRUCTION
425 W. CAPITOL AVE.,
LITTLE ROCK, AR 72201



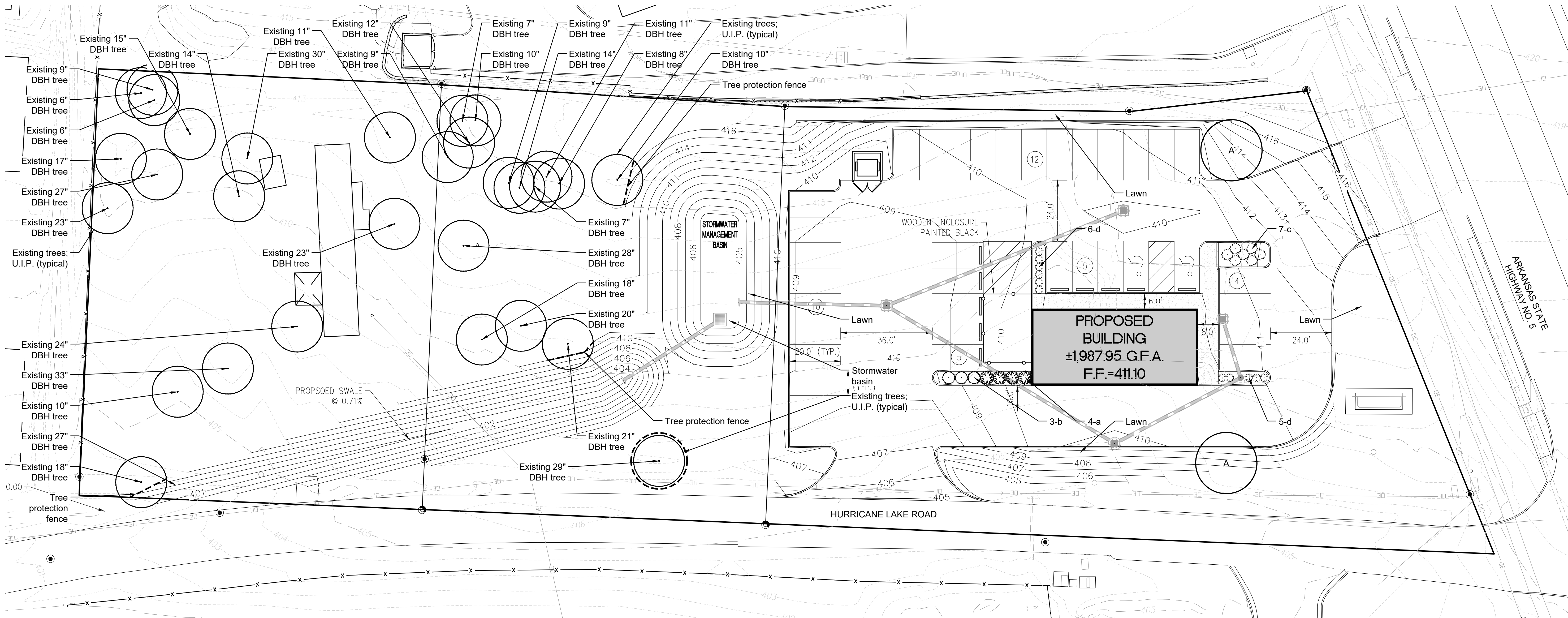
PREPARED BY:
STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005 PH. (636)
530-9100 FAX (636) 530-9130
e-mail: general@stockassoc.com
Web: www.stockassoc.com

SITE DEVELOPMENT PLAN FOR:
GOOD DAY FARM - BRYANT
3205 HIGHWAY 5 N,
BRYANT, ARKANSAS 72019

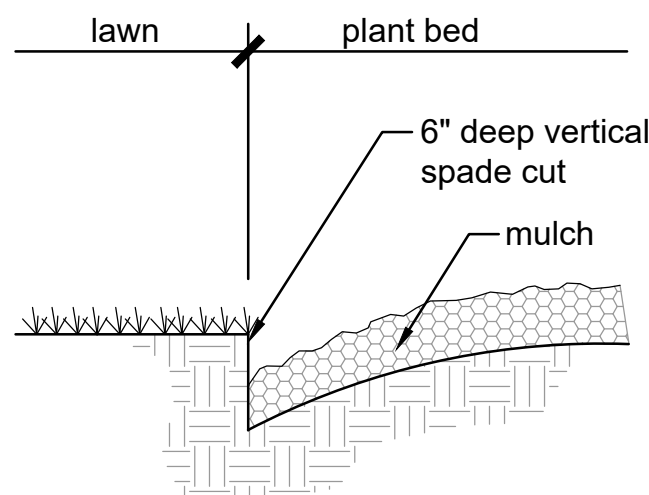
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 10000
George M. Stook
5/21/25
GEORGE M. STOOK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

REVISIONS:

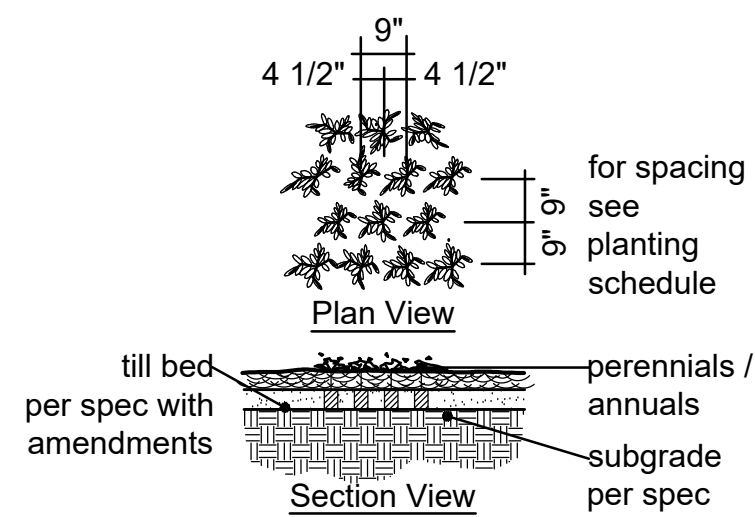
DRAWN BY:	LCW	CHECKED BY:	GMS
DATE:	05-21-2025	JOB NO:	2025-7775
W.S.D. P. #		BASE MAP #	
S.L.C. HAT #		HAT S.U.P. #	
M.D.N.R. #			
SHEET TITLE:			
SITE DEVELOPMENT PLAN			
SHEET NO.: 1.0			



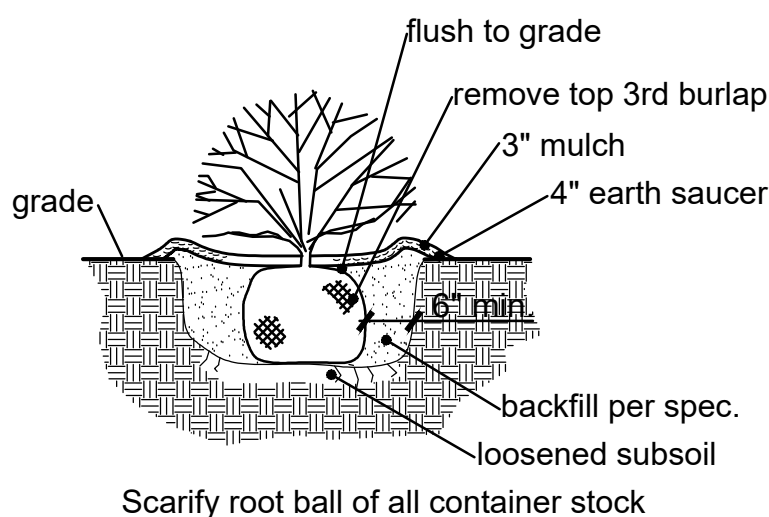
Landscape Plan
SCALE 1"=20'



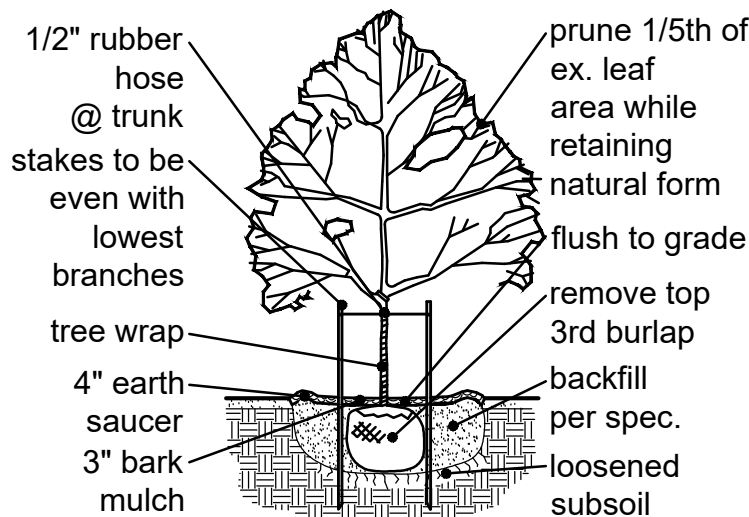
Spade Cut Bed Edge



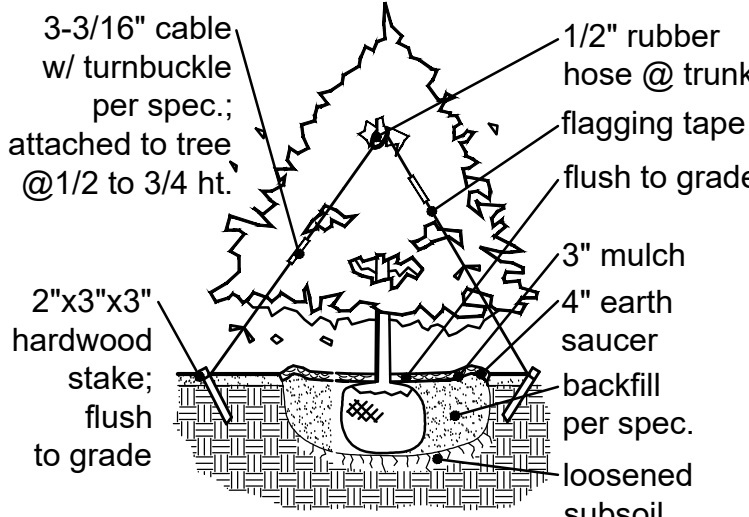
Typical Perennial Planting



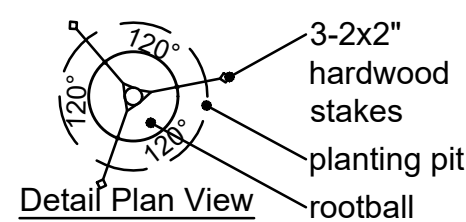
Typical Shrub Planting



Typical Canopy Tree Planting



Typical Evergreen Planting



Tree Protection Detail

PLANTING SCHEDULE					
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CANOPY-SHADE TREE					
A	2	Acer saccharum 'Baista'	Fall Fiesta Sugar Maple	3" caliper	B & B

Landscape Summary:

- Minimum landscaping criteria:
 - C-2 zoning = 1 tree per 1/2 acre
 - 41,666 s.f. / 2 = 1.91 half-acre units x 1 tree = 2 trees required
 - C-2 zoning = 1 evergreen per 2,000 s.f.
 - 1,988 s.f. / 2,000 s.f. = 1 evergreen required

PLANTING SCHEDULE					
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHRUBS-ORNAMENTAL GRASSES-PERENNIALS-ANNUALS-GROUNDCOVER					
a	4	Ilex x meserveae meserveae 'Heckenstar'	Castle Wall Blue Holly	18" tall	60" o.c.
b	3	Ilex x meserveae 'SMNIFA'	Castle Keep Blue Holly	18" tall	60" o.c.
c	6	Abelia x grandiflora 'Radiance'	Radiance Abelia	18" tall	48" o.c.
d	11	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	18" tall	36" o.c.

Landscape Notes:

- Provide lawn in all disturbed areas.
All 3:1 or steeper slopes shall be lawn seed and have erosion control blanket.
- Topsoil in all disturbed lawn areas at 6" depth.
- Soil mix in all shrub beds at 8" depth.
- All mulch to be double ground bark mulch.
- Bed edges to be spade cut.

Tree Protection Notes:

- Pre-construction meeting to be held on-site to include a presentation of tree protection measures to operators, construction supervisors, developer's representative, and city zoning inspector.
- Clearing Limits to be rough staked in order to facilitate location for installation of protection fencing. No early maintenance schedule is required.
- No clearing or grading shall begin in areas where the treatment and preservation measures have not been completed, including the installation of tree protection fencing as shown on the plan. Where necessary, Contractor may perform minor tree clearing prior to installing silt fencing and tree protection fencing provided they maintain tree protection area.
- Tree Protection Fencing shall be 4-foot high temporary plastic construction fence. No equipment traffic/parking, concrete washout, material storage or other such construction activity shall be permitted to penetrate the protection fencing except for the removal of dead or invasive plant material. All ground plane in planting areas shall be mulched with hardwood bark mulch. Tree Protection Signage will be placed along the Protection Fencing as shown as the dashed line on the plan.
- Tree protection measures to be maintained throughout construction.



Lee Hess - Landscape Architect
AR License # LA-712056

Consultants:

GOOD DAY FARMS
3205 HIGHWAY 5 N
BRYANT, ARKANSAS 72019

Revisions:

Date	Description	No.

Drawn: RS
Checked: LH



Sheet Title: LANDSCAPE PLAN

Sheet No: L1.01

Date: 5/20/25
Job #: 813.150