

HAWKINS VALLEY PHASE 1 FOR THOMAS D.B. COLLINS, LTD. CITY OF BRYANT, SALINE COUNTY, ARKANSAS

Prepared by:

GarNat Engineering, LLC

P.O. Box 116
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Ph (501) 408-4650

3825 Mt Carmel Road
Bryant, AR 72022
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DRAWING INDEX:

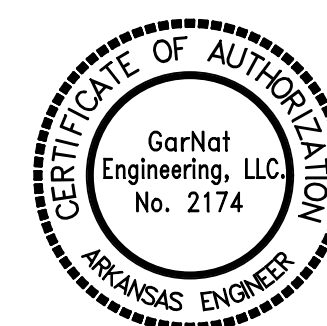
V1.0	PRELIMINARY PLAT
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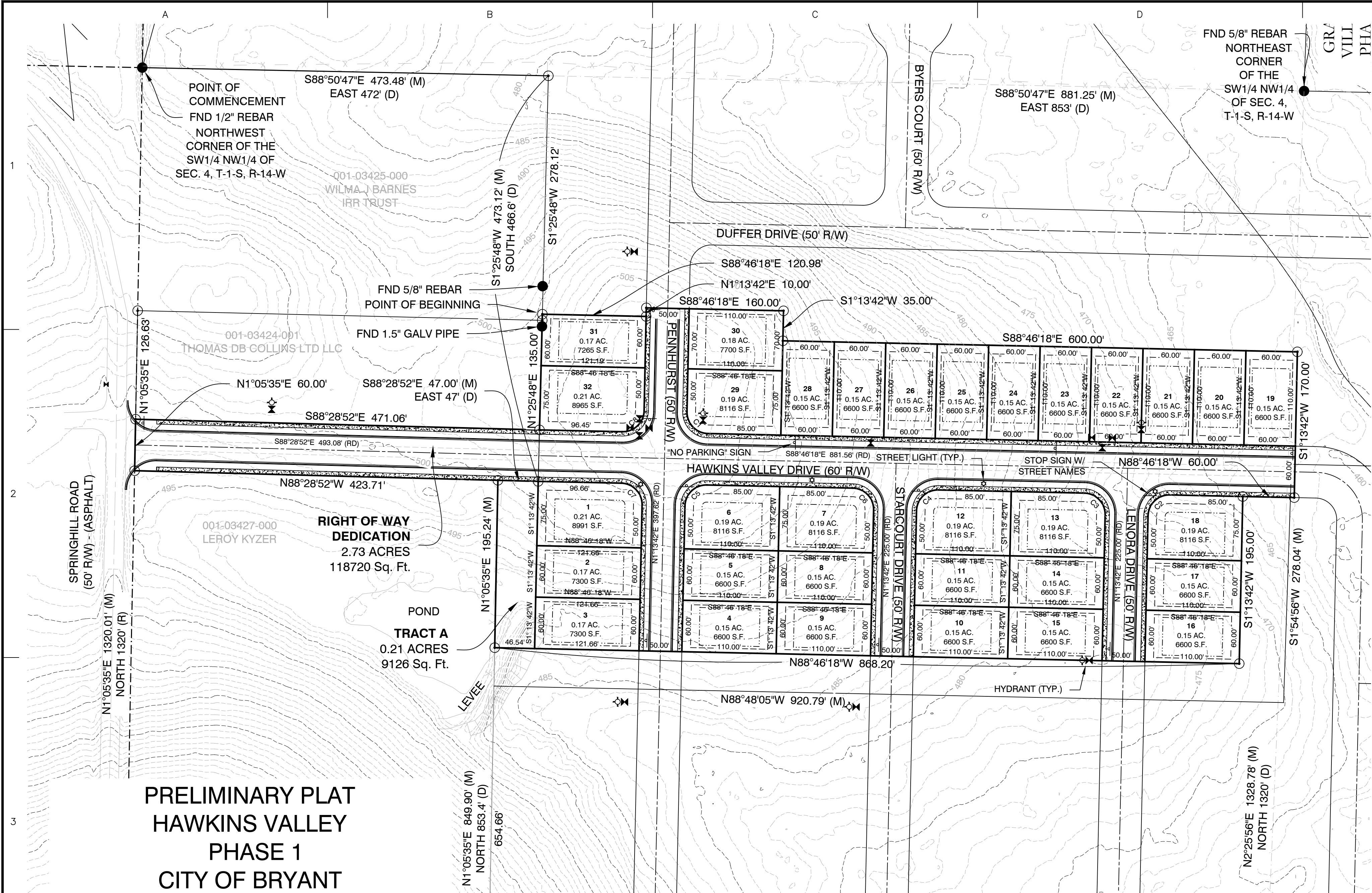


ARKANSAS



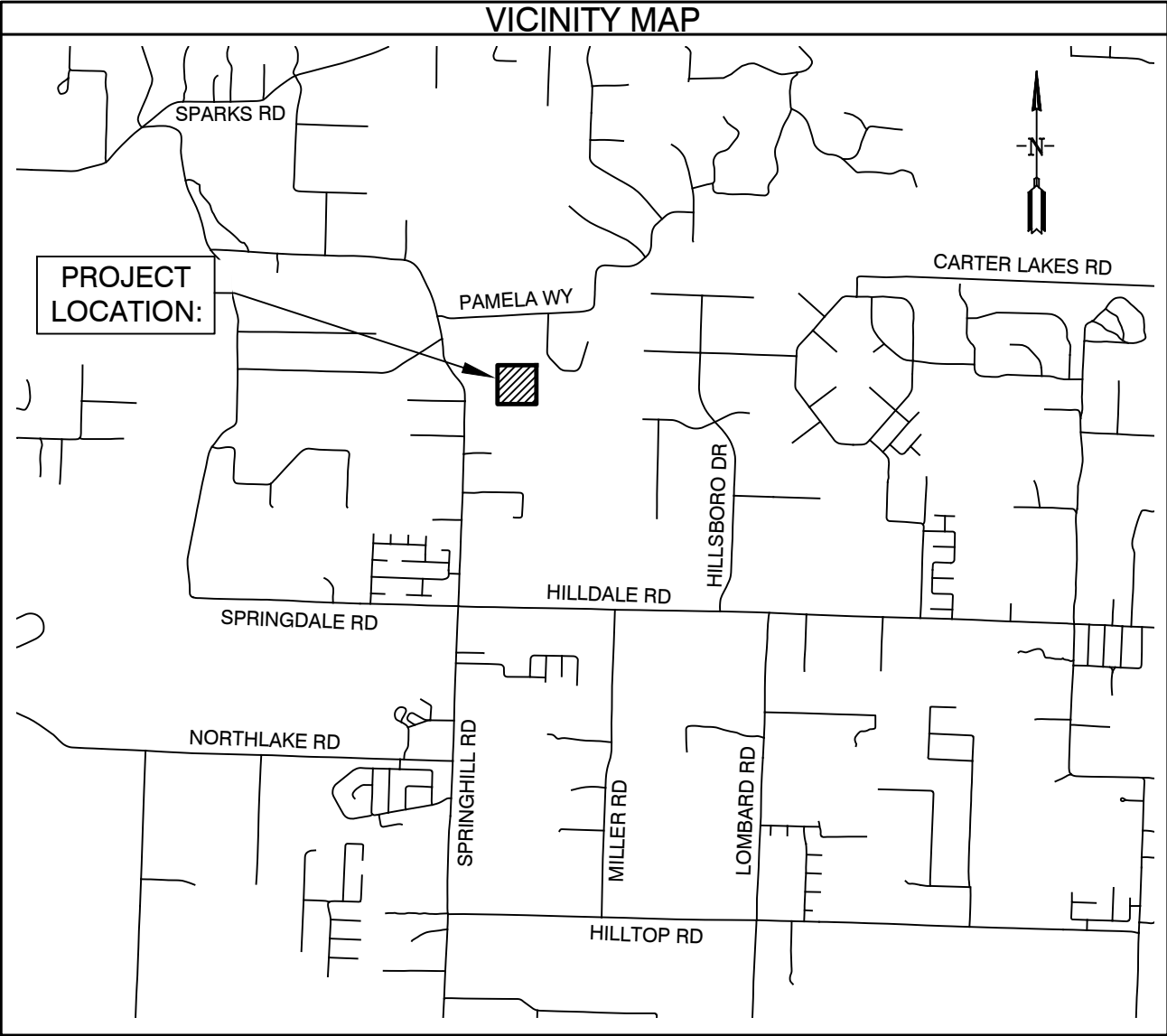
02-03-2025





SURVEY LEGEND

△	Computed point
●	Found monument
○	Set #4 RB/Plas. Cap
(M)	Measured
(R)	Record
(P)	Platted



Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.27	25.00	90°00'00"	N43°46'18"W	35.36'
C2	39.27	25.00	90°00'00"	N46°13'42"E	35.36'
C3	39.27	25.00	90°00'00"	N43°46'18"W	35.36'
C4	39.27	25.00	90°00'00"	S46°13'42"W	35.36'
C5	39.27	25.00	90°00'00"	N46°13'42"E	35.36'
C6	39.27	25.00	90°00'00"	S43°46'18"E	35.36'
C8	39.27	25.00	90°00'00"	S46°13'42"W	35.36'

- GENERAL NOTES:**
- ALL STREETS & DRAINAGE TO MEET CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 - ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF CITY OF BRYANT STANDARD SPECIFICATIONS PER PART 4.9.
 - NO FENCES CAN BE CONSTRUCTED IN DRAINAGE EASEMENTS WHERE OPEN DITCHES EXIST. ROADS WILL BE MAINTAINED, INSPECTED, & ACCEPTED BY SALINE COUNTY.
 - NO FENCES SHALL BE BUILT WITHIN THIS DRAINAGE EASEMENT.
 - NO POOLS OR PERMANENT STRUCTURES SHALL BE BUILT IN EASEMENTS.
 - NO FENCES SHALL BE BUILT IN ROAD RIGHT-OF-WAY OR ACCESS EASEMENTS.
 - THE NUMBER OF HOUSES IS LIMITED TO THIRTY, UNTIL SECONDARY FIRE ACCESS ROAD MEETING CITY OF BRYANT REQUIREMENTS IS CONSTRUCTED.

PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1-S
MIN. LOT SIZE: 6,600 S.F.
NUMBER OF LOTS: 32
SOURCE OF WATER: SALEM WATER
SOURCE OF SEWER: CITY OF BRYANT
BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN
EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
REAR - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN
STREET RIGHT OF WAY: 50' OR AS SHOWN
STREET WIDTH: 28' BOC TO BOC
LOT CORNERS: SET #4 REBAR WITH CAP

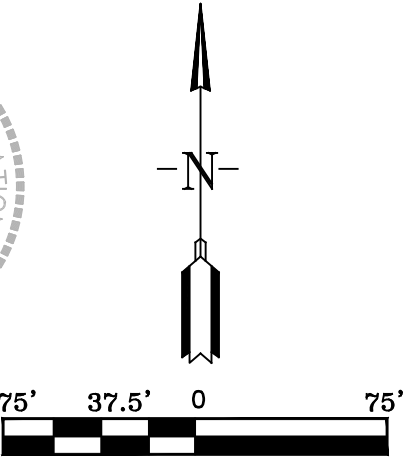
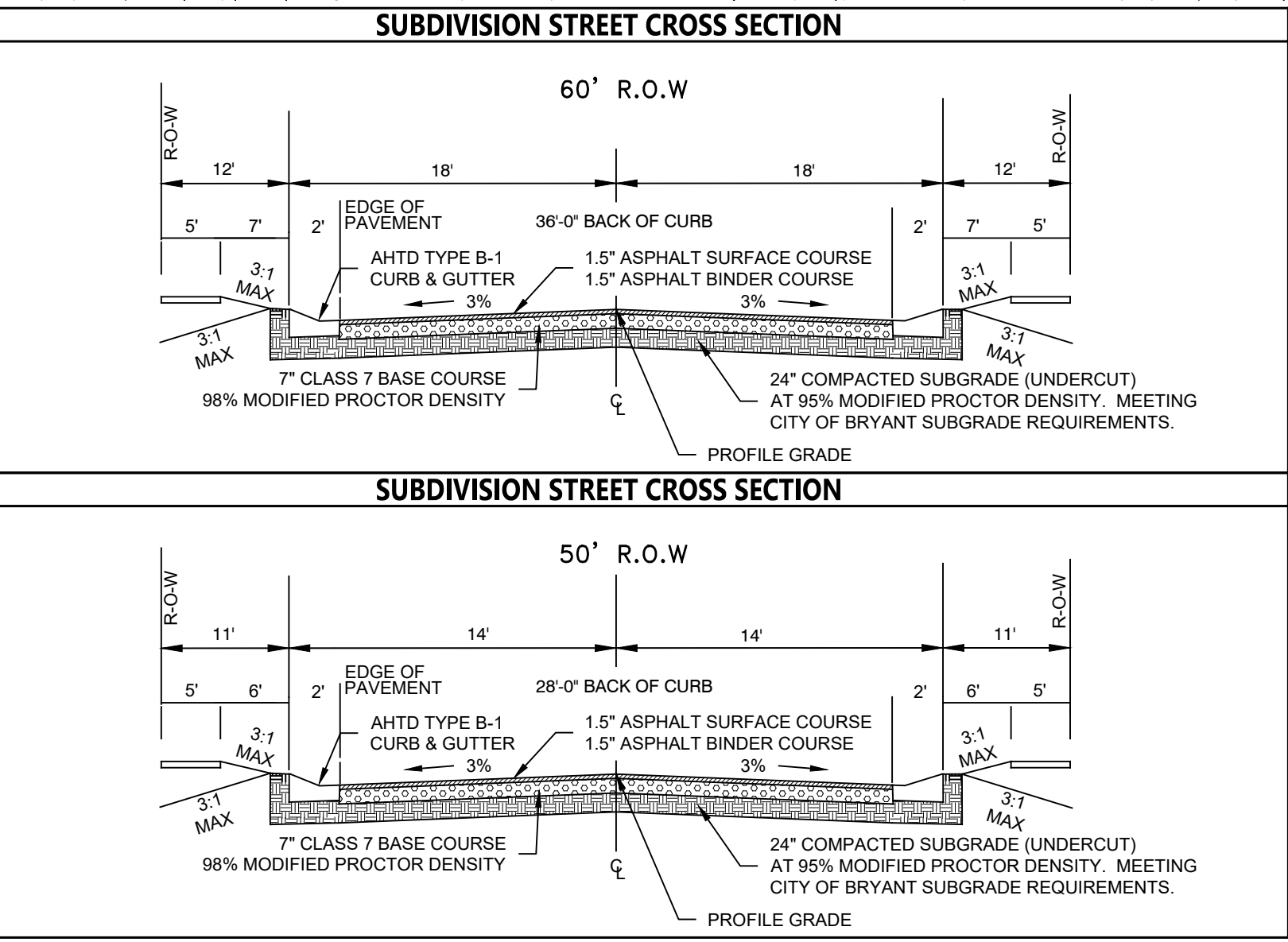


02-03-2025

PROPERTY DESCRIPTION:

PHASE 1 SUBDIVISION DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER (SW1/4 NW1/4) OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 14 WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR FOR THE NORTHWEST CORNER OF THE SAID SW1/4 NW1/4; THENCE S88°50'47"E, ALONG THE NORTH LINE THEREOF, FOR A DISTANCE OF 473.48 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S1°25'48"W, LEAVING SAID NORTH LINE, FOR A DISTANCE OF 278.12 FEET TO A SET 1/2" REBAR WITH CAP #1573 FOR THE **POINT OF BEGINNING**; THENCE S88°46'18"E FOR A DISTANCE OF 120.98 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE WEST RIGHT OF WAY OF PENNHURST; THENCE N1°13'42"E, ALONG SAID WEST RIGHT OF WAY, FOR A DISTANCE OF 10.00 FEET TO A POINT; THENCE S88°46'18"E, LEAVING SAID WEST RIGHT OF WAY, FOR A DISTANCE OF 160.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S1°13'42"W FOR A DISTANCE OF 35.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S88°46'18"E FOR A DISTANCE OF 600.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S1°13'42"W FOR A DISTANCE OF 170.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE SOUTH RIGHT OF WAY OF HAWKINS VALLEY DRIVE; THENCE N88°46'18"W, ALONG SAID SOUTH RIGHT OF WAY, FOR A DISTANCE OF 60.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S1°13'42"W, LEAVING SAID SOUTH RIGHT OF WAY, FOR A DISTANCE OF 195.24 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N88°46'18"W FOR A DISTANCE OF 868.20 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N1°05'35"E FOR A DISTANCE OF 195.24 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE SOUTH RIGHT OF WAY OF HAWKINS VALLEY DRIVE; THENCE N88°28'52"W, ALONG SAID SOUTH RIGHT OF WAY, FOR A DISTANCE OF 423.71 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST RIGHT OF WAY OF SPRINGHILL ROAD; THENCE N1°05'35"E, ALONG SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 60.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE NORTH RIGHT OF WAY OF HAWKINS VALLEY DRIVE; THENCE S88°28'52"E, LEAVING SAID SPRINGHILL ROAD EAST RIGHT OF WAY AND ALONG NORTH RIGHT OF WAY OF HAWKINS VALLEY DRIVE, FOR A DISTANCE OF 471.06 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N1°25'48"E, LEAVING SAID NORTH RIGHT OF WAY, FOR A DISTANCE OF 135.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING 8.17 ACRES, MORE OR LESS. SUBJECT TO THE RIGHT OF WAY OF SPRINGHILL ROAD AND ANY EXISTING EASEMENTS.



SURVEY PLAT CODE:
500-01S-14W-0-04-430-62-1573

BASIS OF BEARINGS:
NAD 83 ARKANSAS GRID SOUTH ZONE (GPS)

CERTIFICATIONS:

By affixing my seal and signature, I George P. Wooden, PLS No. 1573, hereby certify that this drawing correctly depicts a survey compiled under my supervision dated June 22, 2024.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0225E dated 6/5/2020, no portion of the property described hereon does lie within the 100 year flood hazard boundary.

PLAT CERTIFICATES:

OWNER:
Name: Phillip Pengelly
Address: Thomas DB Collins LTD, LLC
9360 Gilbert Road
Benton, Arkansas 72019

DEVELOPER:
Name: Lee Pengelly
Address: Thomas DB Collins LTD, LLC
9360 Gilbert Road
Benton, Arkansas 72019

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____
Name: Phillip Pengelly
Address: 9360 Gilbert Road, Benton, Arkansas 72019

Source of Title Saline County: Deed Book 2024, Page 013856

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:

I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____
Name: Vernon J. Williams
Address: Registered Professional Engineer No. 9551, Arkansas

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:

I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: _____ Signed: _____
Name: George P. Wooden
Address: Registered Land Surveyor No. 1573, Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:

All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations.

Date: _____ Signed: _____
Name: Lance Penfield, Chairman
Address: Bryant Planning Commission

BY

REVISION

DATE

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4

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Benton, AR 72018
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GNE

HAWKINS VALLEY
PHASE 1
CITY OF BRYANT,
SALINE COUNTY, ARKANSAS

CONTENTS:

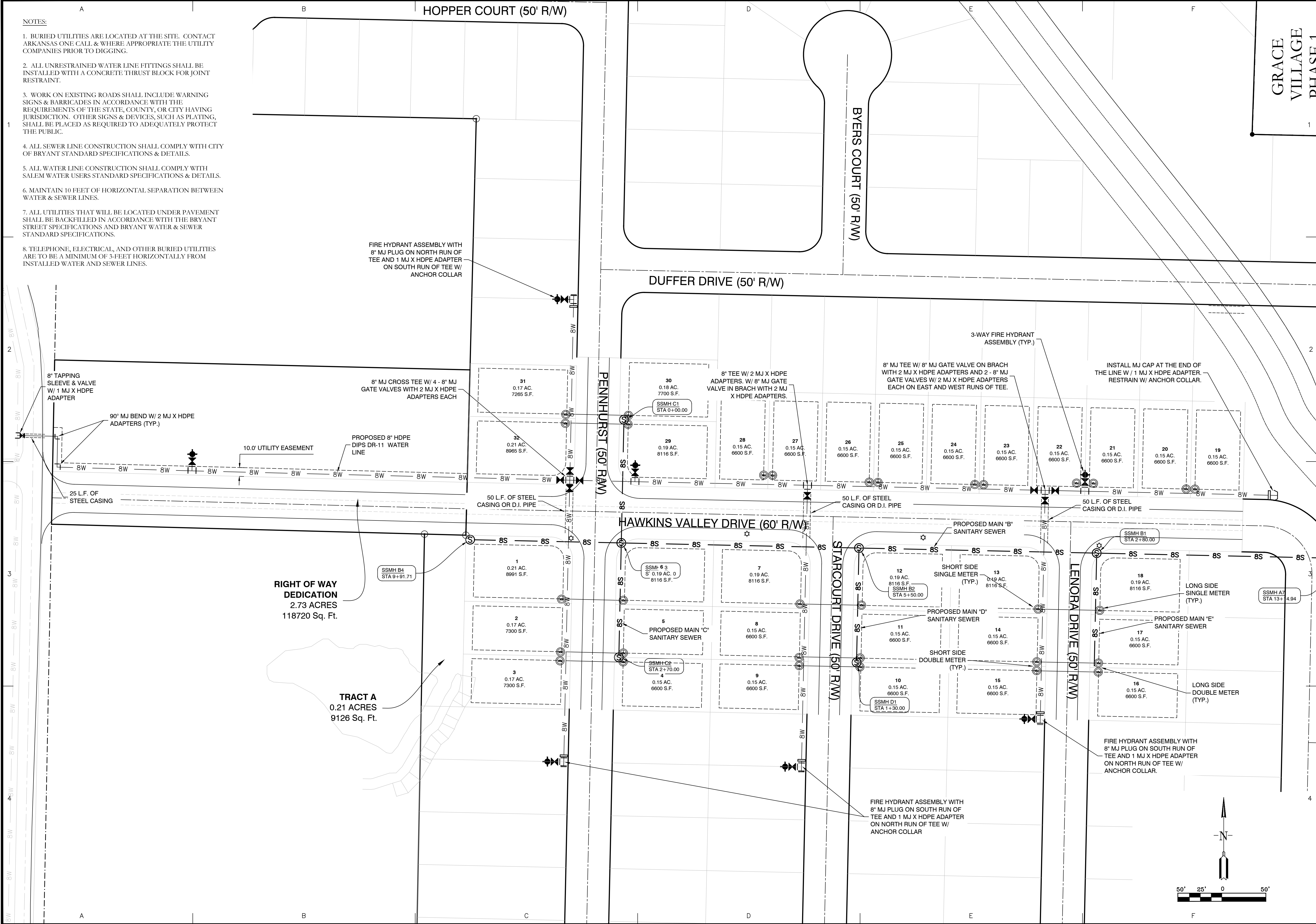
PRELIMINARY
PLAT

PROJECT NO:
24076

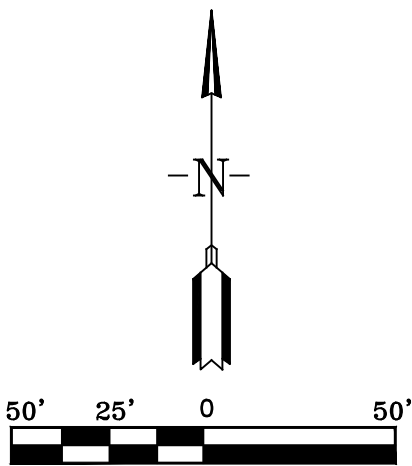
DATE:
DEC. 17, 2024

SHEET NO:

V1.0



- NOTES:
1. BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
 2. ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
 3. WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
 4. ALL SEWER LINE CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 5. ALL WATER LINE CONSTRUCTION SHALL COMPLY WITH SALEM WATER USERS STANDARD SPECIFICATIONS & DETAILS.
 6. MAINTAIN 10 FEET OF HORIZONTAL SEPARATION BETWEEN WATER & SEWER LINES.
 7. ALL UTILITIES THAT WILL BE LOCATED UNDER PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH THE BRYANT STREET SPECIFICATIONS AND BRYANT WATER & SEWER STANDARD SPECIFICATIONS.
 8. TELEPHONE, ELECTRICAL, AND OTHER BURIED UTILITIES ARE TO BE A MINIMUM OF 3-FEET HORIZONTALLY FROM INSTALLED WATER AND SEWER LINES.



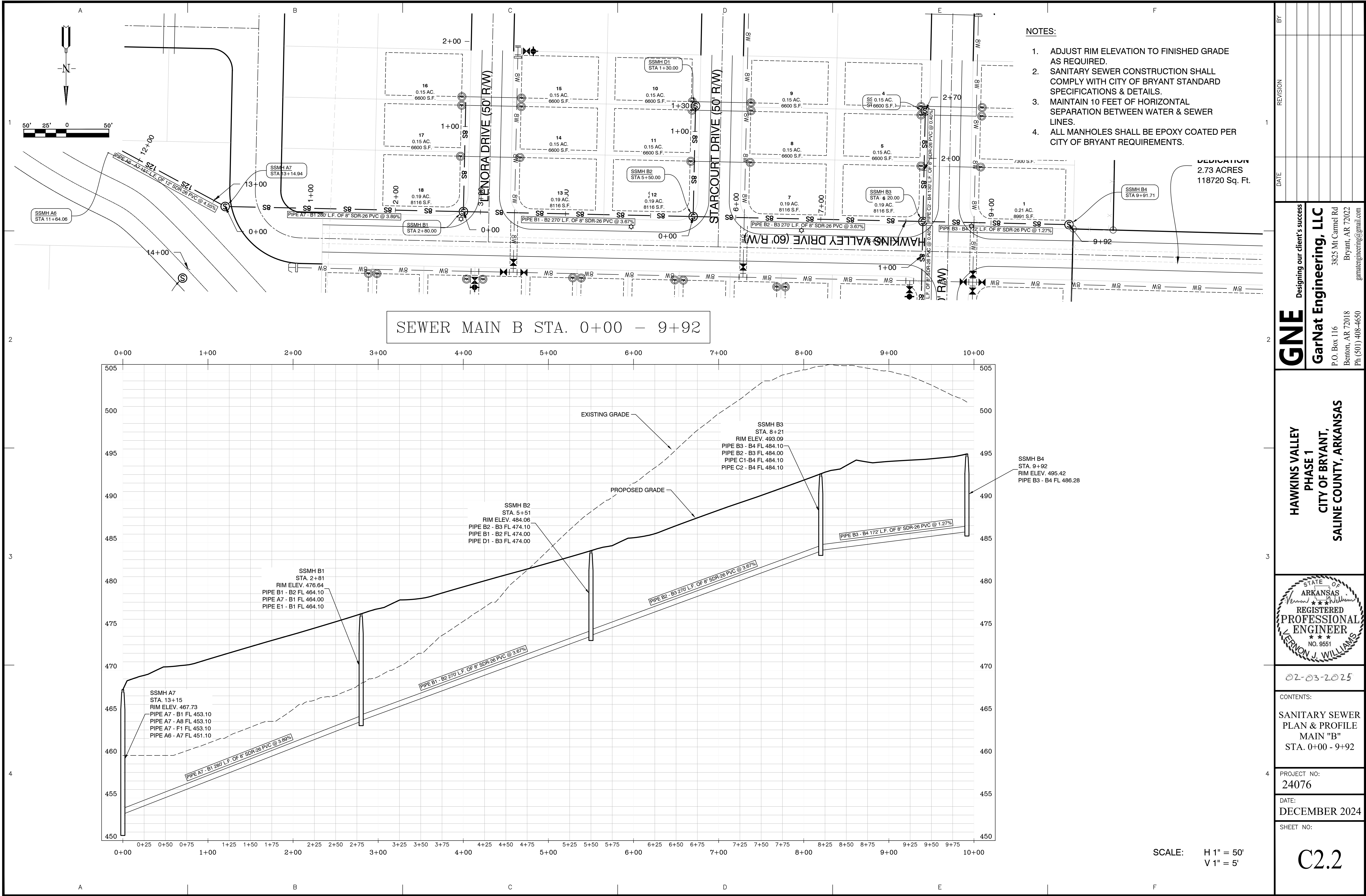
BY	REVISION	DATE
	1	
PHASE 1		
HAWKINS VALLEY PHASE 1		
CITY OF BRYANT, ARKANSAS		
SALINE COUNTY, ARKANSAS		
REGISTERED PROFESSIONAL ENGINEER K. KERNON J. WILLIAMS NO. 9551		
02-03-2025		
CONTENTS:		
WATER & SANITARY SEWER PLAN		
PROJECT NO: 24076		
DATE: DECEMBER 2024		
SHEET NO: C2.0		

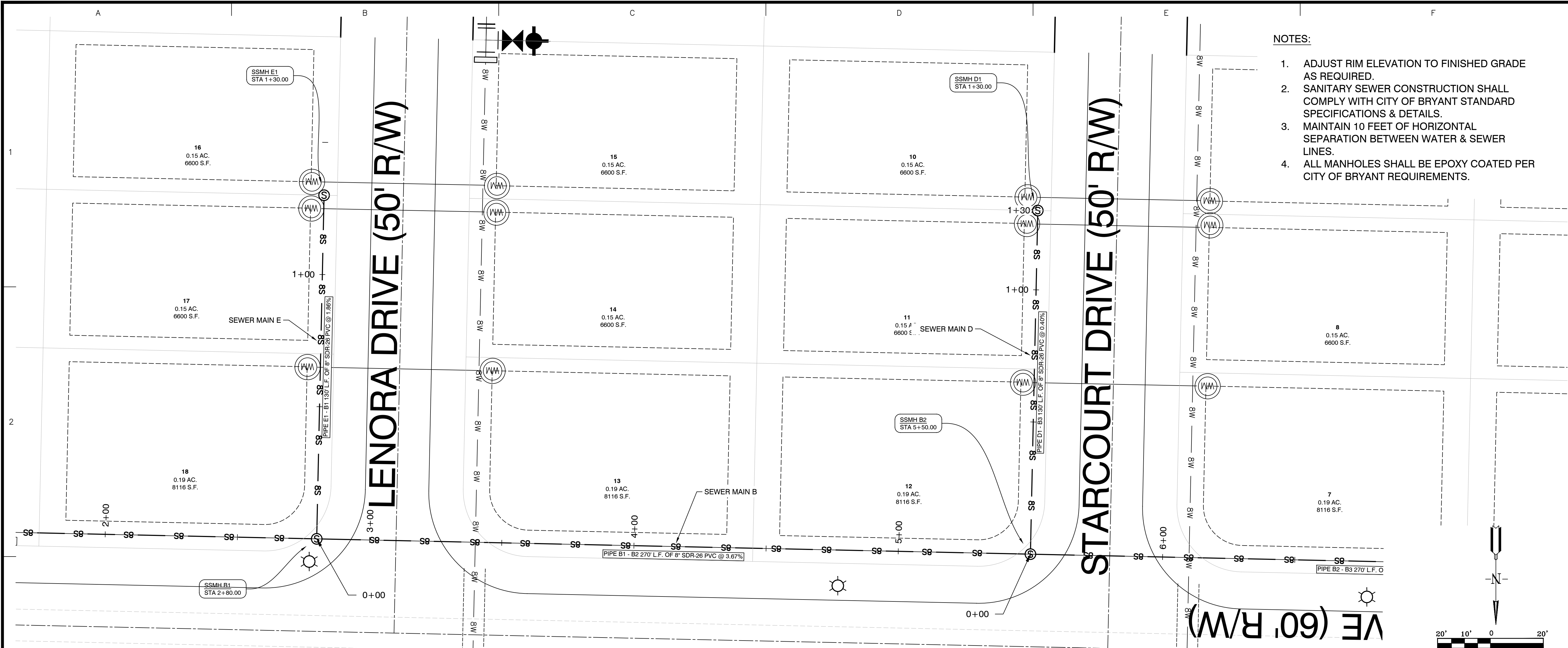
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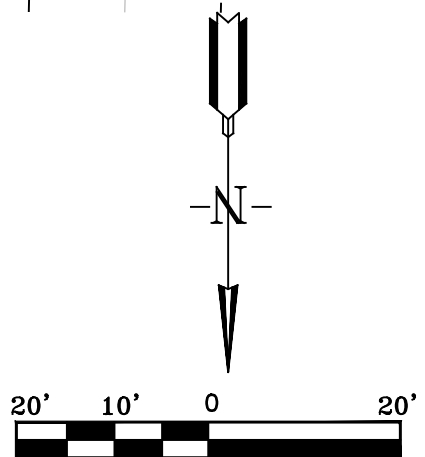
P.O. Box 116
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3825 Mt Carmel Rd
Bryant, AR 72022

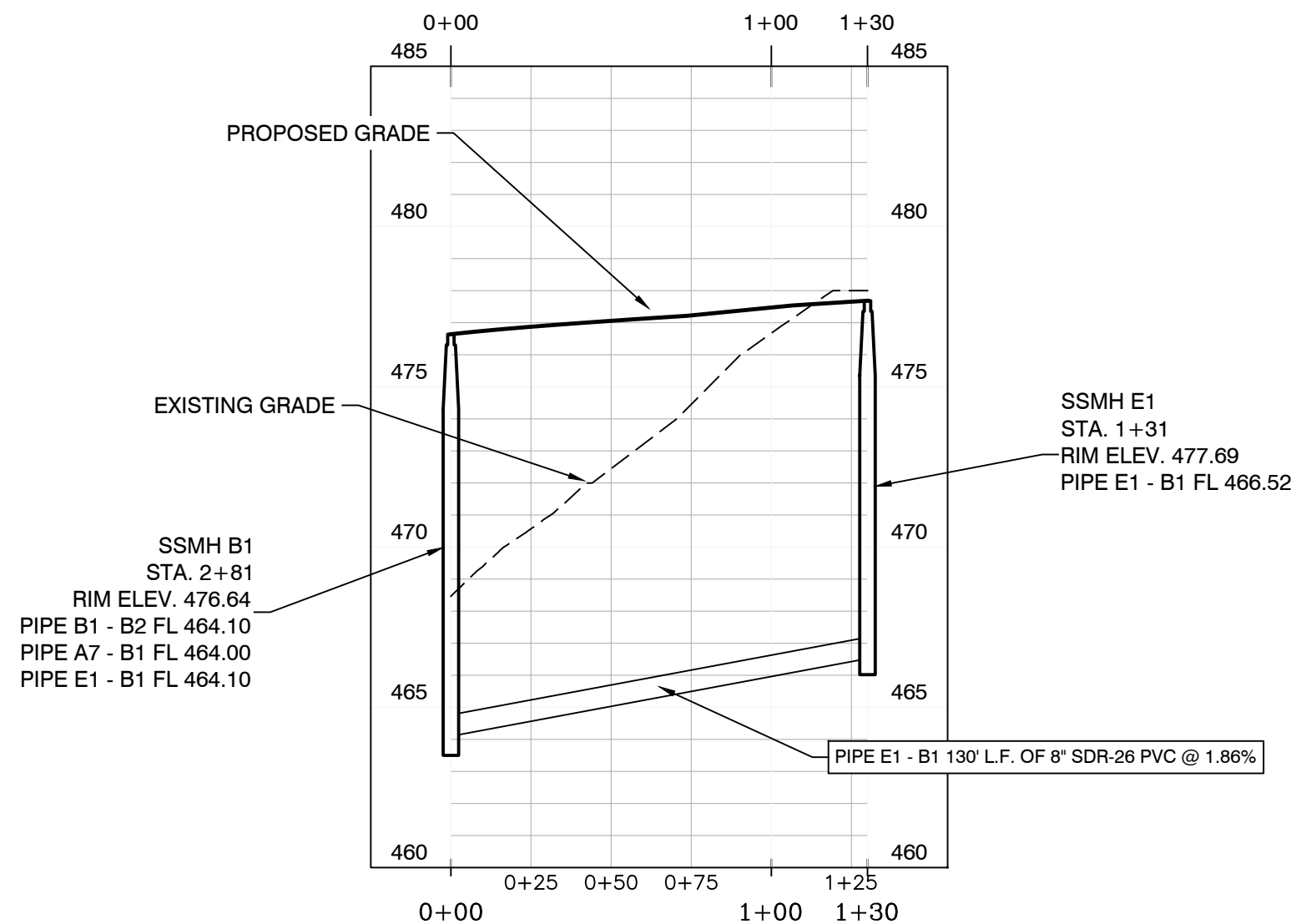




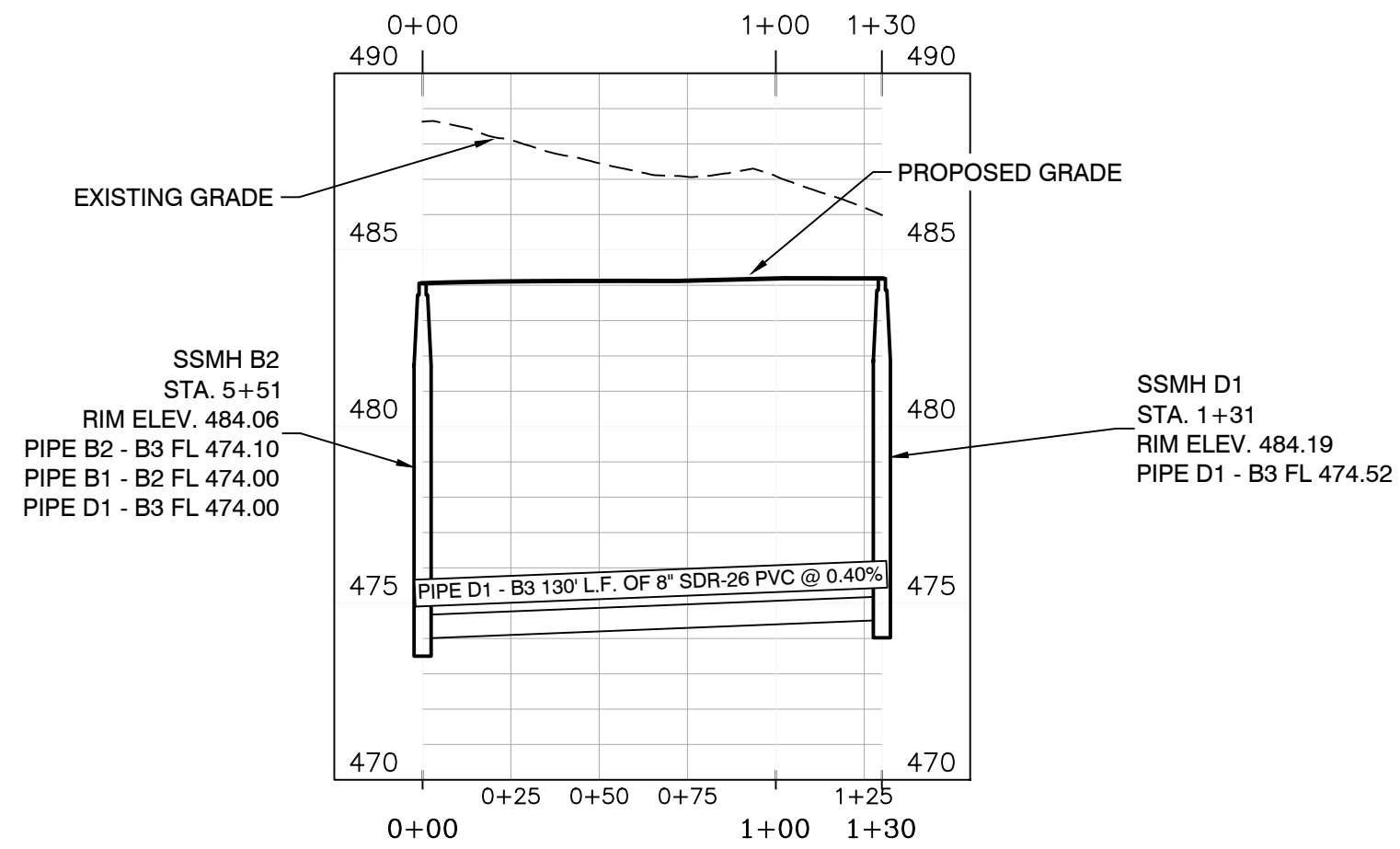
- NOTES:
1. ADJUST RIM ELEVATION TO FINISHED GRADE AS REQUIRED.
 2. SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 3. MAINTAIN 10 FEET OF HORIZONTAL SEPARATION BETWEEN WATER & SEWER LINES.
 4. ALL MANHOLES SHALL BE EPOXY COATED PER CITY OF BRYANT REQUIREMENTS.



SEWER MAIN E STA. 0+00 - 1+30



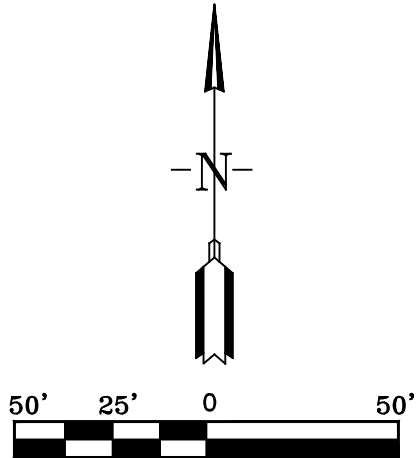
SEWER MAIN D STA. 0+00 - 1+30



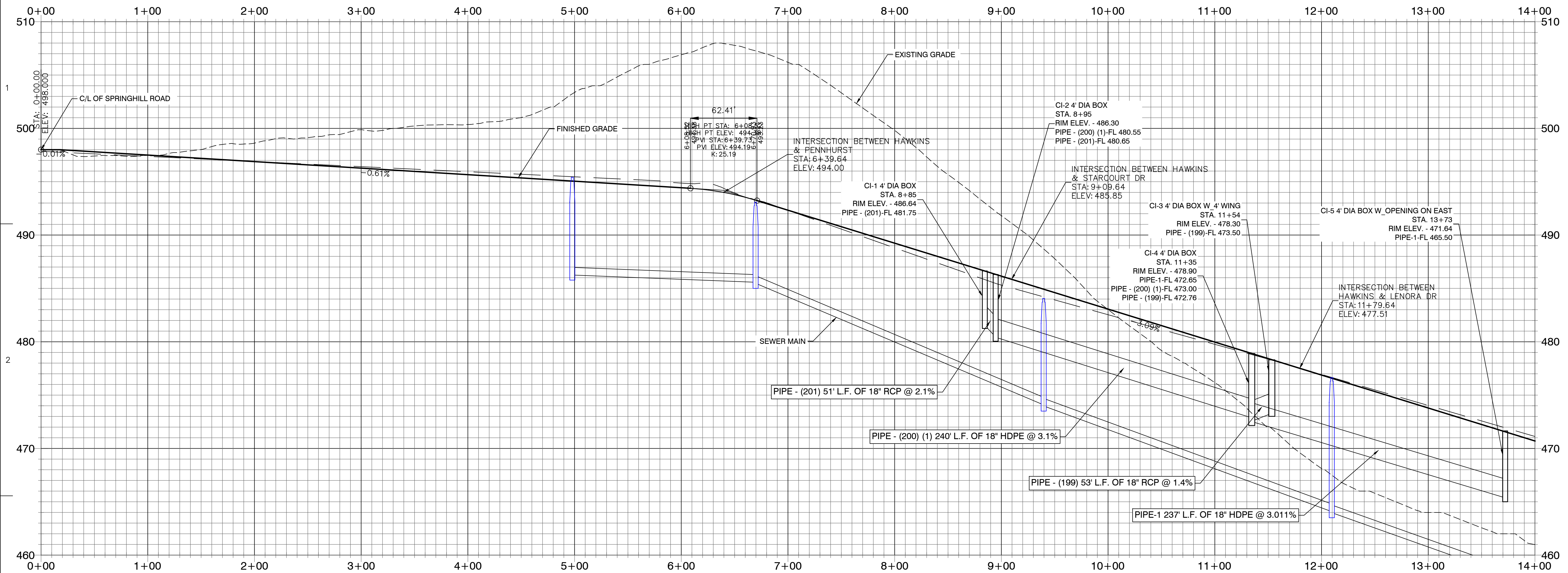
SCALE: H 1" = 50'
V 1" = 5'

BY		REVISION		DATE	
Designing our client's success					
GarNat Engineering, LLC			3825 Mt Carmel Rd Bryant, AR 72022 gamateengineering@gmail.com		
HAWKINS VALLEY PHASE 1 CITY OF BRYANT, SALINE COUNTY, ARKANSAS					
02-03-2025					
CONTENTS: SANITARY SEWER PLAN & PROFILE MAIN "D" & MAIN "E" STA. 0+00 - 1+30					
PROJECT NO: 24076					
DATE: DECEMBER 2024					
SHEET NO:					
C2.4					

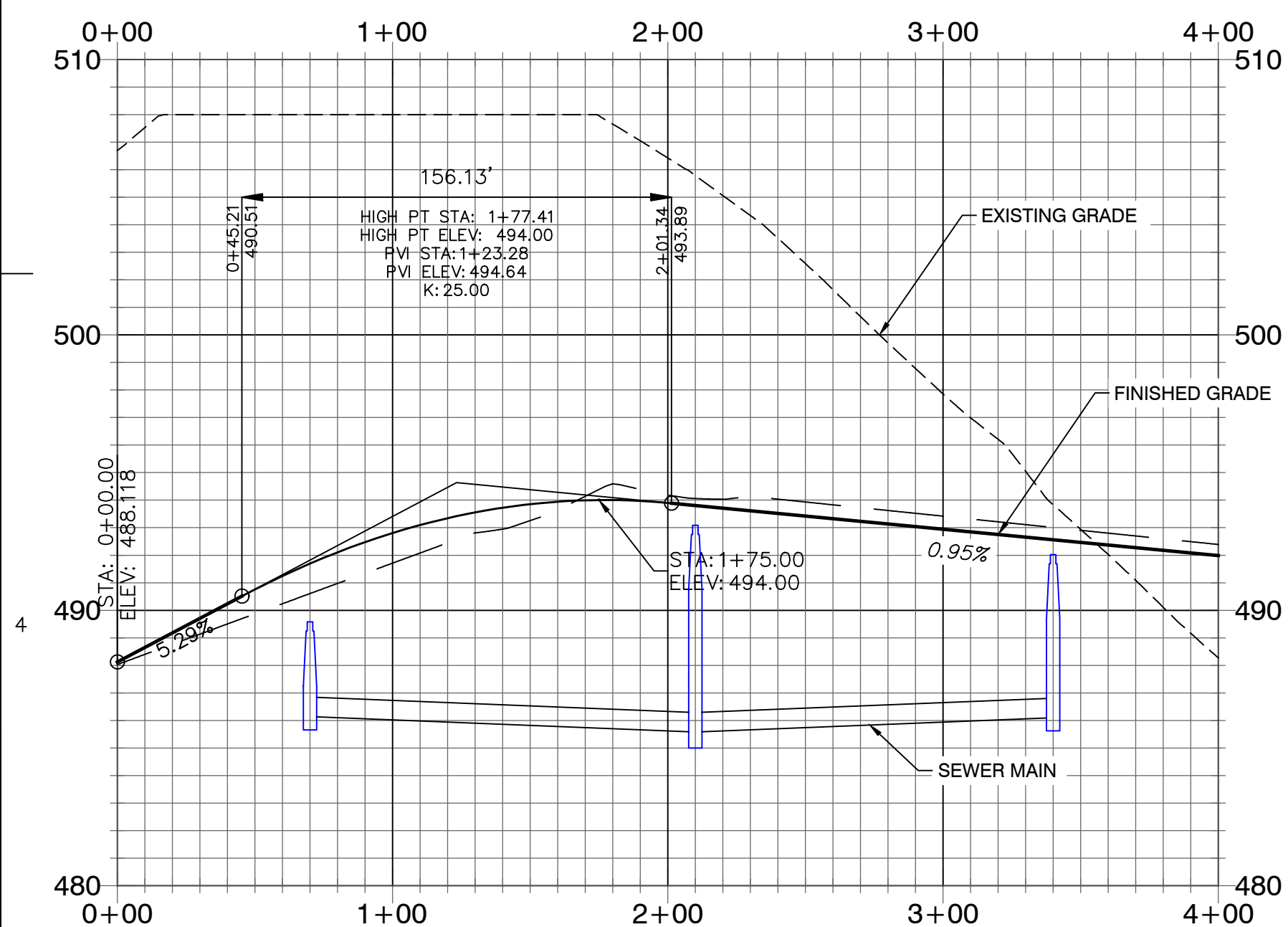
© Project 2024 Project 24076 Hawkins Valley Springhill Road Springhill, AR 72076



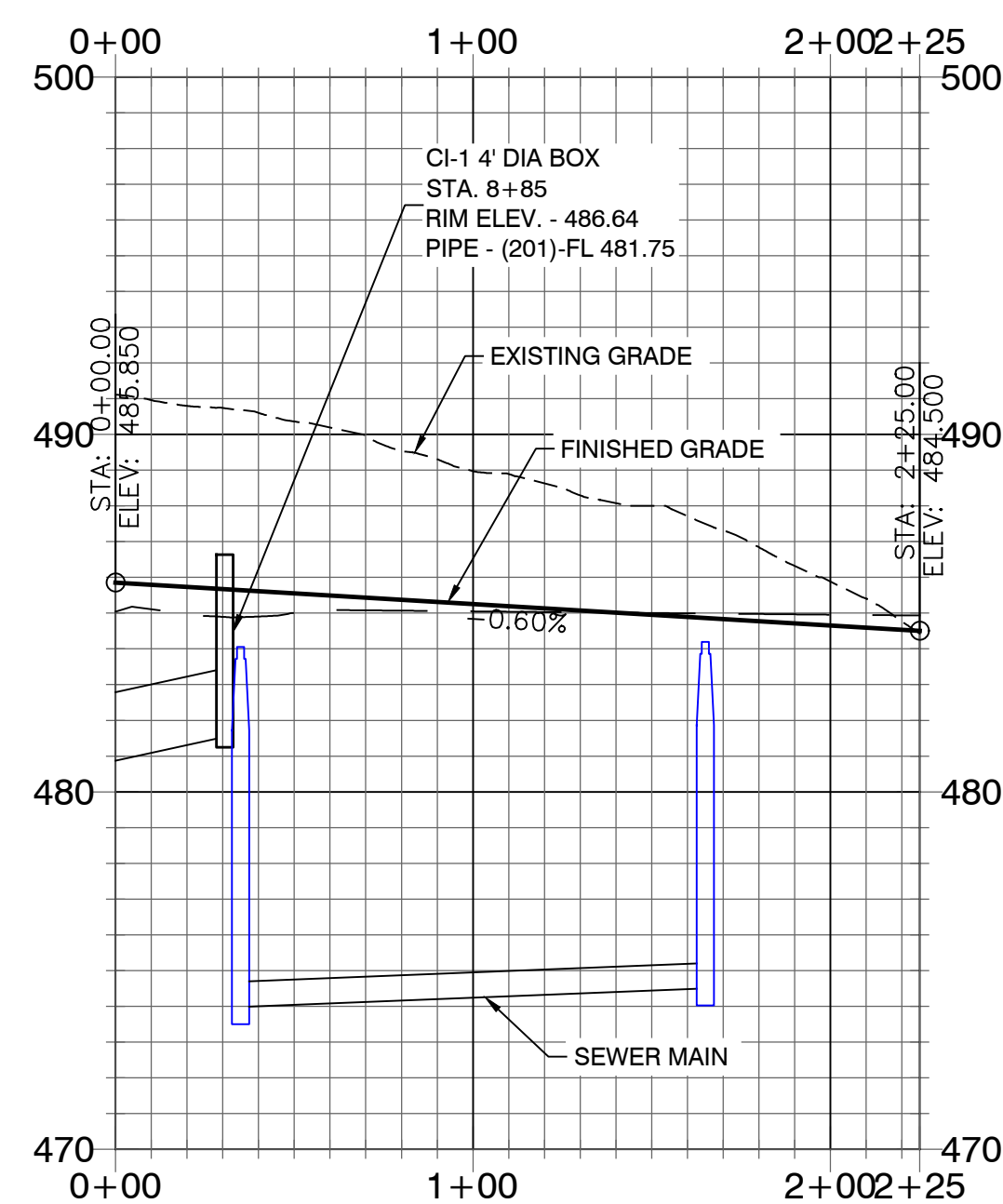
FOR: THOMAS DB COLLINS, LTD, LLC HAWKINS VALLEY PHASE 1 SALINE COUNTY, ARKANSAS GNE GarNat Engineering, LLC P.O. Box 116 3825 Mt Carmel Rd Benton, AR 72018 Ph (501) 408-4650 garnatengineering@gmail.com	DATE	REVISION	BY
	Designing our client's success		
STATE OF ARKANSAS <i>Vernon J. Williams</i> REGISTERED PROFESSIONAL ENGINEER NO. 9551 VERNON J. WILLIAMS 1-06-2025			
CONTENTS: STREET & DRAINAGE PLAN			
PROJECT NO: 24076			
DATE: JAN 2025			
SHEET NO: C3.0			



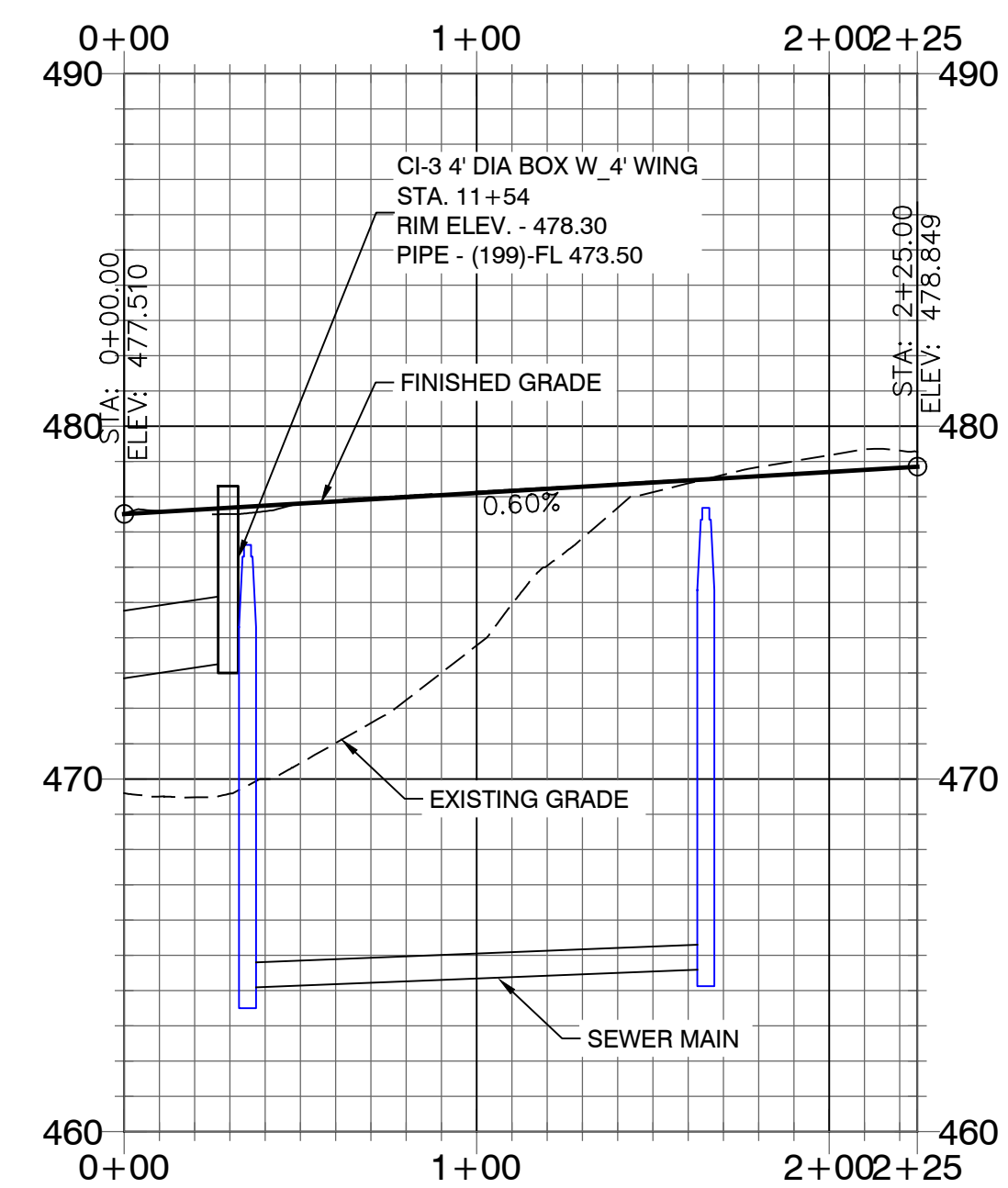
PENNHURST ROAD PROFILE



STARCOURT DRIVE PROFILE



LENORA DRIVE PROFILE



SCALE: H 1" = 50'
 V 1" = 5'

[illegible]

GNE

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**FOR: THOMAS DB COLLINS, LTD, LLC
HAWKINS VALLEY
PHASE 1
SALINE COUNTY, ARKANSAS**



- 06-2025

ROAD PROFILES

PROJECT NO:
24076

DATE: JAN 2025

SHEET NO:

C3.1

\\\\192.168.0.58\\Projects\\2024 Projects\\24076 Hawkins Valley Springhill Road Strawberry Lane Lee Pengelly\\Drawings\\DWGs\\Design\\24076-Springhill-Road-Drainage Map-RB.dwg

1

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3

4

A

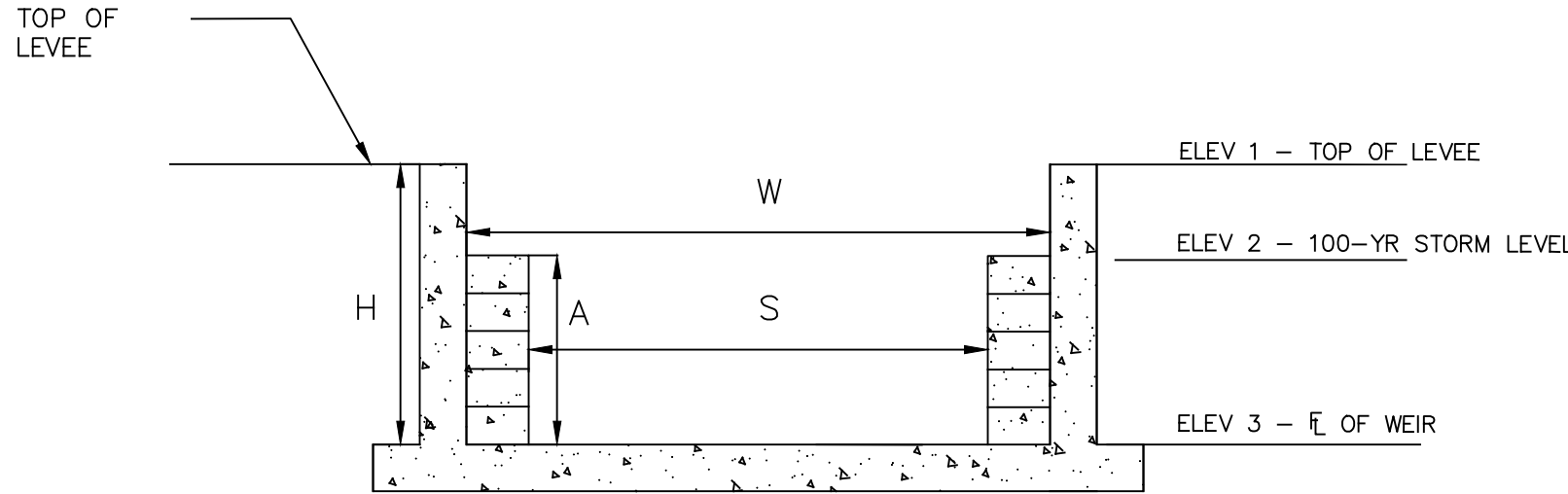
B

C

D

E

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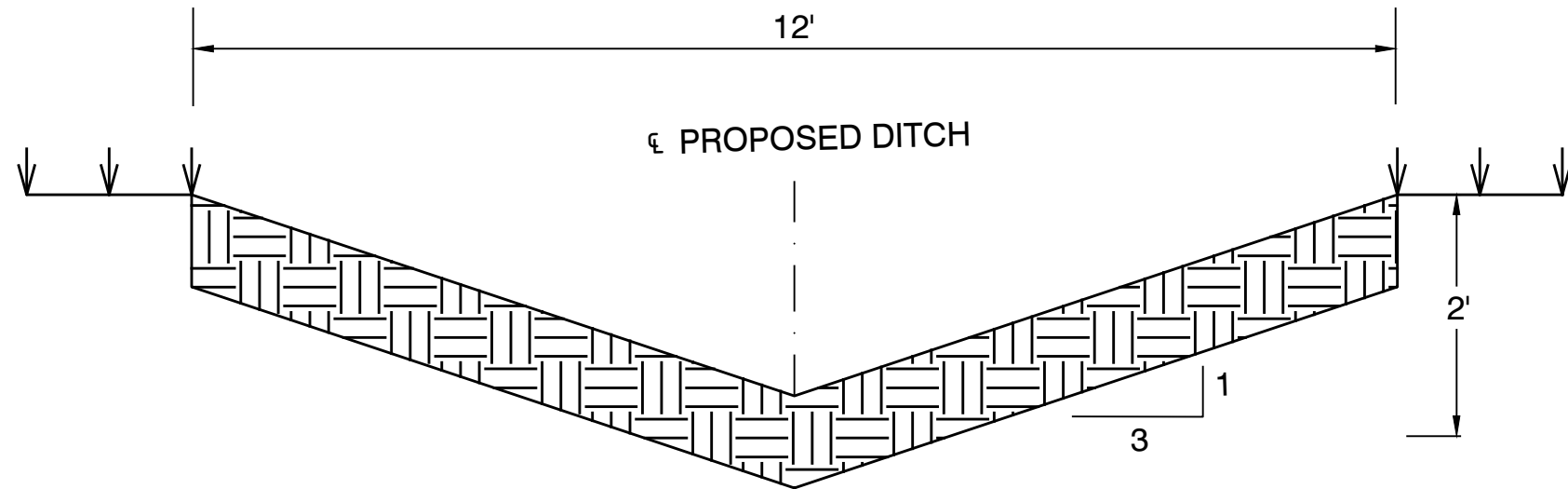


**DETENTION OUTLET
SECTION**
NOT TO SCALE

CONTROL STRUCTURE								
OUTLET STRUCTURE	L	W	H	ELEV 1	ELEV 2	ELEV 3	S	A
1	5'-0"	7'-8"	5'-1"	468.00	467.00	462.95	5'-9"	4'-0"

DETENTION OUTLET NOTES:

- ALL CONCRETE WALLS SHALL BE A MINIMUM OF 6" THICK & REINFORCED WITH #4'S @ 12" O.C. BOTH WAYS.
- BOTTOM SLAB SHALL BE 12" THICK & REINFORCED WITH #4'S @ 12" O.C. BOTH WAYS.



TYPICAL DITCH CROSS SECTION
(N.T.S)

A

B

C

D

E

F

BY

REVISION

DATE

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FOR: THOMAS DB COLLINS, LTD, LLC

HAWKINS VALLEY

PHASE 1

SALINE COUNTY, ARKANSAS



1-06-2025

CONTENTS:

**OUTLET
STRUCTURE
DETAILS**

**PROJECT NO:
24076**

**DATE:
JAN 2025**

SHEET NO:

C3.2