

<u>SYMBOLS</u>

LINE WORK

Θ	FOUND IRON PIN			
\	LIGHT POLE	=================	==========================	
X	POWER POLE	CURB		
	TELEPHONE PEDESTAL	INTERMEDIATE CONTOUR	1206	
	TV PEDESTAL		4005	
\bigcirc	MANHOLE	INDEX CONTOUR	—1205—— —	
0	SANITARY SEWER CLEANOUT	SS	SS	
\bigtriangleup	GAS METER	SANITARY SEWER LINE		
\bowtie	GAS VALVE	GAS LINE	(;	
	STORM SEWER PIPE	W	— — — W — — — — — — — — — — — — — — — —	
C	DOWN GUY	WATER LINE (SPECIFY SIZE & TYPE)		
	WATER VALVE		— —— UGT	
-0-	FIRE HYDRANT ASSEMBLY	UNDERGROUND TELEPHONE	AL	
\boxtimes	AIR RELEASE VALVE	UGE		
Ţ,	FIRE DEPARTMENT CONNECTION	OHE		
\bigcirc	WATER METER	OVERHEAD ELECTRIC	Į,	
\otimes	SPRINKLER HEAD	UGTV	— — UGTV — —	
E	ELECTRIC PEDESTAL	UNDERGROUND TELEVISION		
	GRATED INLET	OVERHEAD TELEVISION	— —— OHTV ———	
		Chain Link Fence	O	
	DROP INLET	////////////	//	
		WOOD FENCE		
	TDEE	BARBED WIRE FENCE	X	
	TREE	FIBER OPTIC	– — FO — — —	
\mathbf{X}	TREE TO BE REMOVED	RIGHT OF WAY		
XX		ROAD CENTERLINE		

GENERAL NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS.
- 2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE BEGINNING WORK.
- 3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
- 4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.
- CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. 6. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A
- DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR SPECIFICATIONS. 7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF
- ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- 8. ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER.
- 9. ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL. INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.



WATER/WASTEWATER BRYANT WATER DEPARTMENT 210 SW 3RD ST. BRYANT, AR 72022 (501) 943–0441

SUMMIT UTILITIES 2205 EAST ROOSEVELT ROAD LITTLE ROCK, AR 72201 PHONE: (800) 992-7552

<u>ELECTRIC</u> ENTERGY 425 W. CAPITAL AVE. LITTLE ROCK, AR 72201 (877) 387-2499

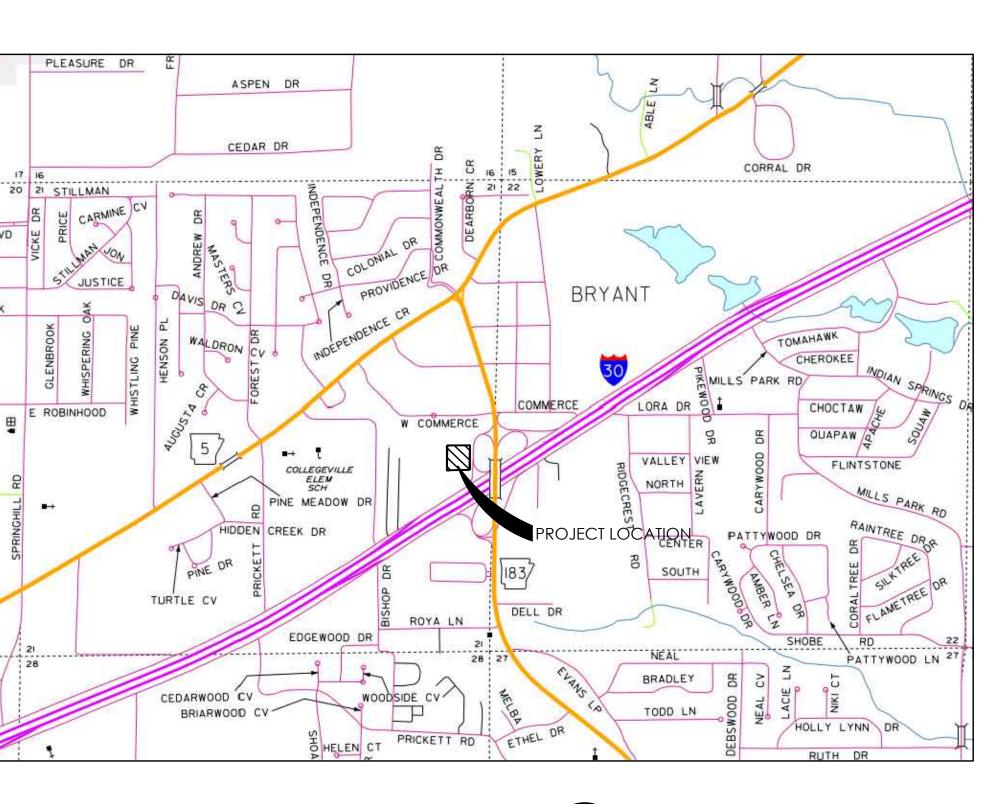
<u>TELEPHONE</u> AT&T (800) 288-2020

CABLE TELEVISION COMCAST CABLE (800) 934-6489

SITE STABILIZATION AND CERTIFICATION

CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

PANERA BREAD BRYANT, ARKANSAS



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BASIS OF BEARING: GRID NORTH, ARKANSAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (0302), DETERMINED BY GPS OBSERVATIONS. APPROXIMATE CONVERGENCE ANGLE IS , -00° 16'47.15220". DISTANCES ARE STATE PLANE GRID DISTANCES. COMBINED ADJUSTMENT FACTOR = 0.999970446.

PROJECT INFORMATION

ZONING:
MAXIMUM LOT COVERAGE:
MAX ALLOWABLE HEIGHT:
BUILDING SETBACKS:
SITE AREA:
BUILDING SIZE:
BUILDING USAGE:
FINISHED FLOOR ELEVATION:
PROPERTY USAGE:
PROPERTY OWNER:
DEVELOPER:
SITE ENGINEER/SURVEYOR:

REQUIRED PARKING:

PROVIDED PARKING:

C-3

35% ALLOWED 6% PROVIDED

5 STORY/60 FEET

FRONT: 50' SIDE: 25' REAR: 25'

1.57 ACRES \pm 2,480 SF

RESTAURANT WITH DRIVE THRU

SEE GRADING PLAN

GENERAL COMMERCIAL

ANCHOR REALTY INVESTMENTS, LLC 102 COUNTY CLUB PKWY. MAUMELLE, AR 72113 501-256-9187

TERRA EQUITIES, LLC 2530 WATKINS RD BIRMINGHAM, AL 35223 206-862-4398

CRAFTON, TULL & ASSOCIATES 10825 FINANCIAL CENTER PARKWAY, SUITE 300 LITTLE ROCK, AR 72211 PHONE: 501.664.3245 FAX: 501.664.6704

RETAIL COMMERCIAL 1 SPACE / 300 SF 2,480 SF / 300 SF = 8.3 SPACES67 SPACES

FLOOD PLAIN STATEMENT NO PORTION OF THE PROPERTY SHOWN HEREON IS LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP, PANEL NO. 05125C0380E, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED JUNE 5, 2020.

PROPERTY DESCRIPTION:

LANDS LYING IN PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 21. TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 1, SULLIVAN PLACE SUBDIVISION, BRYANT, SALINE COUNTY, ARKANSAS, FILED FOR RECORD AS INSTRUMENT NUMBER 1999-54493, RECORDS OF SALINE COUNTY, ARKANSAS, THENCE SOUTH 88 DEGREES 19 MINUTES 06 SECONDS EAST 63.73 FEET, THENCE SOUTH OO DEGREES 39 MINUTES 52 SECONDS EAST 109.60 FEET, WHICH IS THE POINT OF BEGINNING, THENCE CONTINUE SOUTH OO DEGREES 39 MINUTES 52 SECONDS EAST 200.97 FEET, THENCE NORTH 87 DEGREES 07 MINUTES 25 SECONDS WEST 5.01 FEET, THENCE SOUTH 00 DEGREES 39 MINUTES 52 SECONDS EAST 43.66 FEET. THENCE SOUTH 19 DEGREES 22 MINUTES 47 SECONDS WEST, 61.38 FEET, THENCE NORTH 70 DEGREES 37 MINUTES 13 SECONDS WEST, 22.95 FEET, THENCE NORTH 04 DEGREES 42 MINUTES 54 SECONDS EAST 53.18 FEET, THENCE NORTH 85 DEGREES 17 MINUTES 06 SECONDS WEST, 250.10 FEET, THENCE NORTH 04 DEGREES 42 MINUTES 54 SECONDS EAST 229.80 FEET, THENCE SOUTH 88 DEGREES 19 MINUTES 06 SECONDS EAST 270.29 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS MORE PARTICULARLY DESCRIBED IN ACCESS EASEMENT FILED FOR RECORD JULY 10, 2013, AS INSTRUMENT NUMBER 2013065418, RECORDS OF SALINE COUNTY, ARKANSAS.

(LEGEND (CONSTRUCT)

<u>SYMBOLS</u>

SET IRON PIN LIGHT POLE POWER POLE TELEPHONE PEDESTAL TV PEDESTAL MANHOLE SANITARY SEWER CLEANOUT GAS METER GAS VALVE STORM SEWER PIPE STRUCTURE NUMBER WATER VALVE FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER BACK FLOW PREVENTER REDUCER RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET) CIRCULAR DROP INLET,

GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

ND (CONSTRUCT)			
<u>LINEWORK</u>			
EASEMENT			
CURB		1000	
INTERMEDIATE CONTOUR			
INDEX CONTOUR			
SANITARY SEWER LINE			
GAS LINE			
WATER LINE			
UNDERGROUND TELEPHONE			
UNDERGROUND ELECTRIC			·
OVERHEAD ELECTRIC			•
FIBER OPTIC			
UNDERGROUND TELEVISION			
OVERHEAD TELEVISION			— OHTV ——
CHAIN LINK FENCE			
WOOD FENCE			//
BARBED WIRE FENCE	—× —		X
BUILDING SET BACK			
RIGHT OF WAY			
PROPERTY LINE			

ROAD CENTERLINE

Sheet List Table

SHEET
NUMBER
C-001
C-002
C-003
C-101
C-102
C-103
C-104
C-105
C-106
C-107
C-501
C-502
C-503
L-101
L-501
LI-501
LI-502

COVER SHEET PROJECT CONTROL DEMO PLAN SITE PLAN UTILITY PLAN GRADING PLAN PAVING PLAN EROSION CONTROL PH. I EROSION CONTROL PH. II EROSION CONTROL NOTES EROSION CONTROL DETAILS

SHEET TITLE

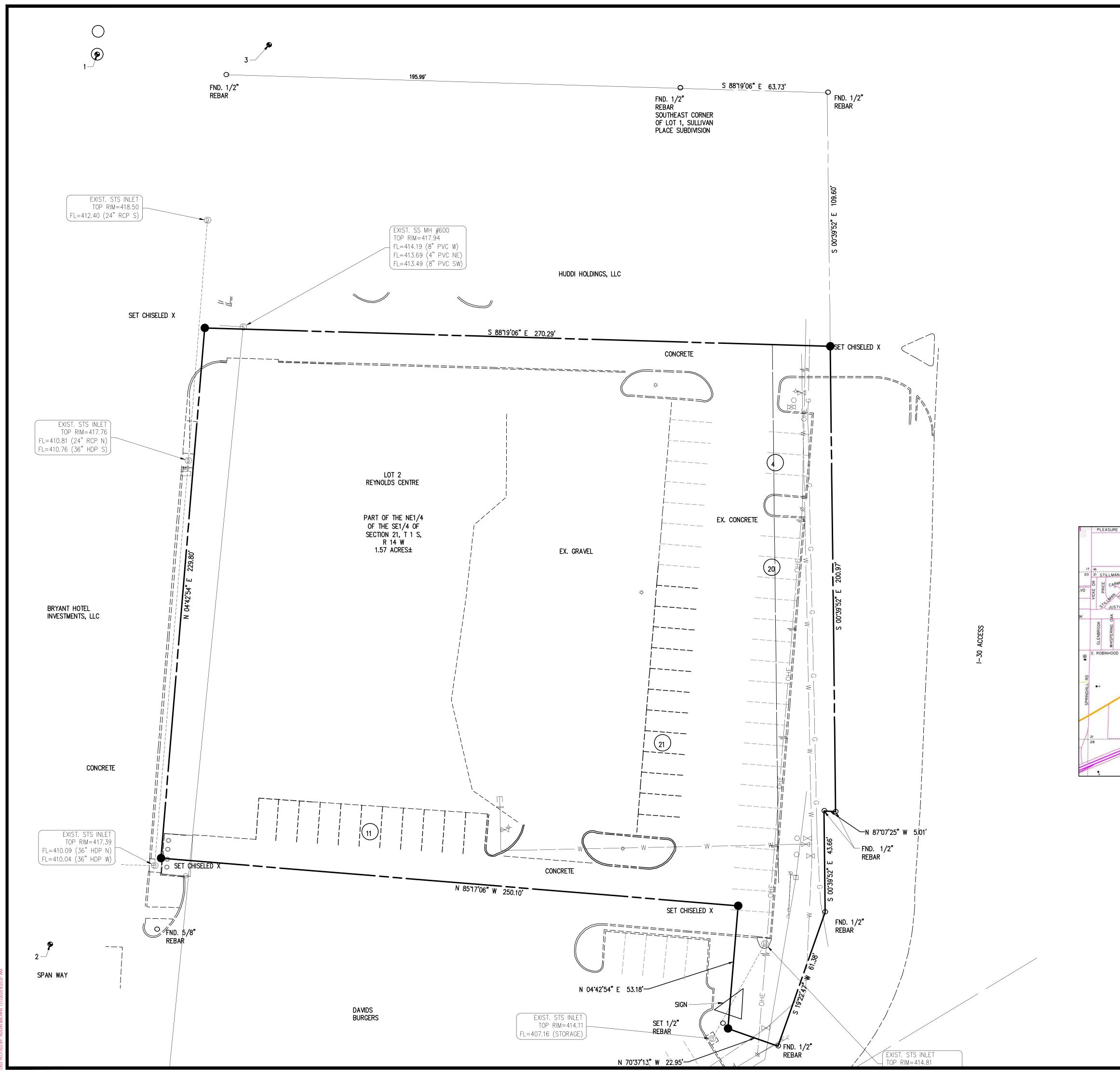
ADA DETAILS SITE DETAILS PLANTING PLAN PLANTING DETAILS IRRIGATION DETAILS SHT. 1

IRRIGATION DETAILS SHT. 2



Call before you dig.

10825 Financial Centre Parkway, Suite 300 Little Rock, Arkansas 72211
Crafton Tull engineering surveying 501.664.3245 t 501.664.6704 f
CERTIFICATE OF AUTHORIZATION:
PANERA BREAD BRYANT, AR
No. Description Date
This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24304000 ISSUE DATE: 01/6/25 CONTACT: T.TOLLEY QC Date: PRELIMINARY PLANS MATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT IS PLANS
Written authorization of Cratton, Tull & Associates, Inc.
C-001



WING: Z:\24304000_PANBRYANICIV/INIRASTRUCTURE\CIVIL\DWG\IPROJECT CONTROL.DWG UT_PROJECT CONTROL. LAST SAVED: AB1487, 11/21/2024 9:59:10 AM

	LEGEND (EXISTING)	
V		

<u>SYMBOLS</u>

•	CONTROL	POINT
	OONTINOL	

PROPERTY	LINE

<u>LINEWORK</u>

RIGHT-OF-WAY

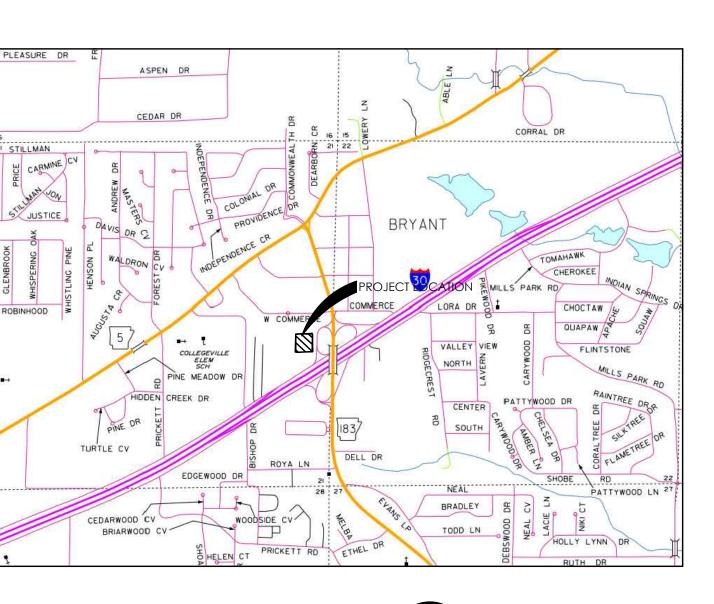
CENTERLINE

CURB



ONLY THE CONTROL POINTS, COORDINATE VALUES, AND ELEVATIONS SHOWN ON THIS SHEET SHALL BE USED ON THIS PROJECT. CRAFTON, TULL & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF USING CONTROL POINTS, COORDINATE VALUES OR ELEVATIONS ESTABLISHED OR DERIVED FROM OTHER SOURCES. CRAFTON, TULL & ASSOCIATES, AT ITS SOLE DISCRETION, MAY ALLOW THE USE OF ALTERNATIVE OR ADDITIONAL CONTROL, BY A WRITTEN AMENDMENT TO THIS SHEET SEALED BY THE RESPONSIBLE SURVEYOR. USERS OF THESE CONTROL POINTS SHALL EXERCISE DUE CARE AND GOOD SURVEYING PRACTICE AND IMMEDIATELY NOTIFY THE CRAFTON, TULL & ASSOCIATES PROJECT ENGINEER OF ANY INCONSISTENCIES IN THE OBSERVED COORDINATE VALUES, ELEVATIONS AND DESCRIPTIONS FOR CONTROL POINTS SHOWN ON THIS SHEET.

CONTROL POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	2023482.37	1161796.55	422.47	CTL ALUMCAP
2	2023097.95	1161776.29	414.58	CTL PKNAIL
3	2023486.40	1161870.80	423.60	CTL PKNAIL





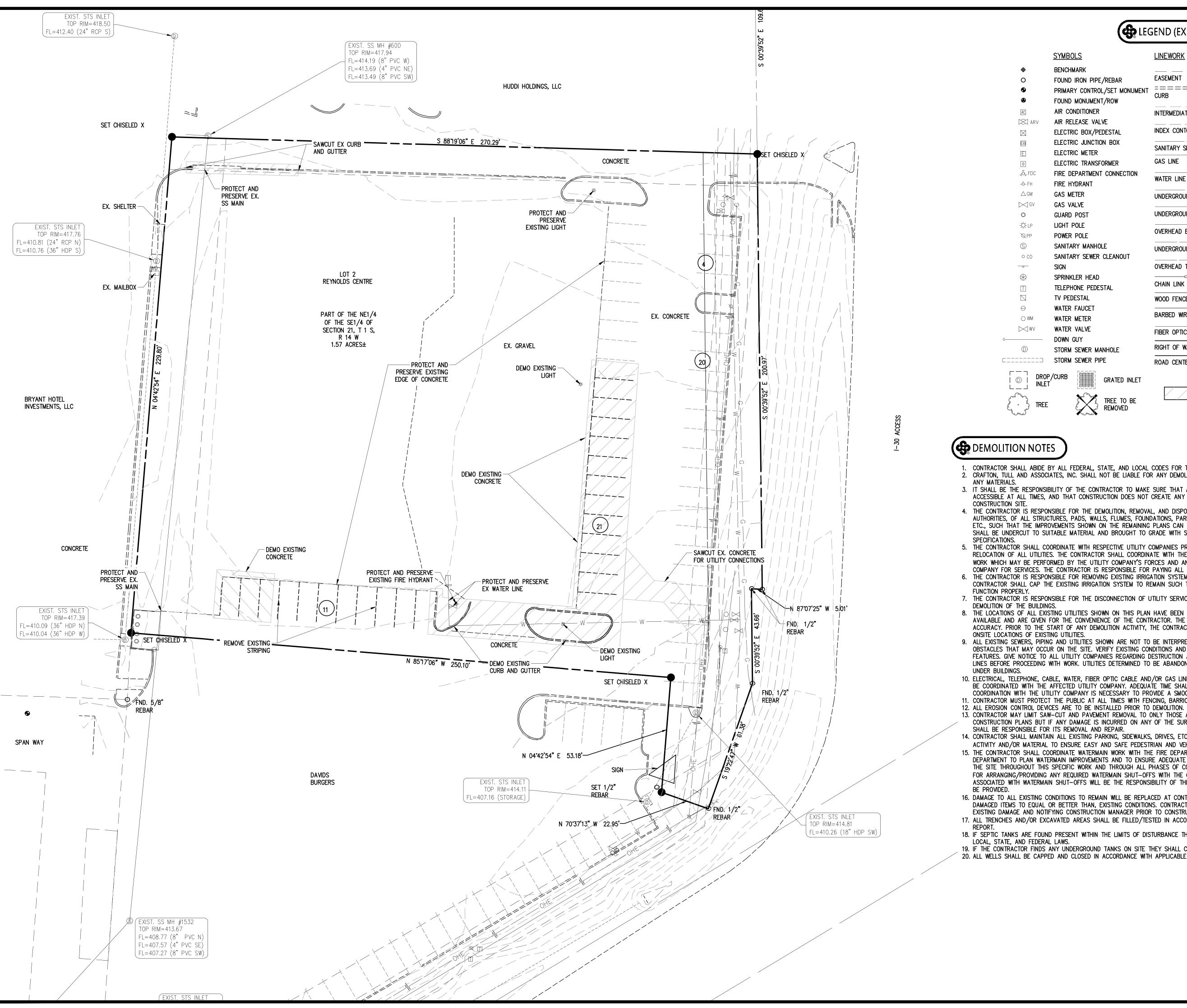


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Call before you dig. C-002

	0825 Financial Centre Parkway, Suite 300 Little Rock, Arkansas 72211 Crafton Tull engineering surveying
CERTIFICATE OF AU	501.664.3245 t 501.664.6704 f www.craftontull.com
GR 20'	APHIC SCALE IN FEET
P	ANERA BREAD bryant, ar
Key Plan	
No. 	Description Date
herein, as an ir property of Cro used, in whole written authori PROJECT NO: 243 ISSUE DATE: 01/	and the ideas and designs incorporated astrument of professional service, is the afton, Tull & Associates, Inc., and is not to be or in part, for any other project, without the zation of Crafton, Tull & Associates, Inc. add000 6/25 01LEY CONSTRUCTION CONSTRUC
PRELIM PLA © 2025 Crafton, Tu	Zation of Cratton, Iuli & Associates, Inc.



(LEGEND (EXISTING SYMBOLS)

<u>S</u>	YM	B	0	LS

BENCHMARK FOUND IRON PIPE/REBAR PRIMARY CONTROL/SET MONUMENT FOUND MONUMENT/ROW AIR CONDITIONER AIR RELEASE VALVE ELECTRIC BOX/PEDESTAL ELECTRIC JUNCTION BOX ELECTRIC METER ELECTRIC TRANSFORMER FIRE DEPARTMENT CONNECTION FIRE HYDRANT GAS METER GAS VALVE GUARD POST LIGHT POLE POWER POLE SANITARY MANHOLE SANITARY SEWER CLEANOUT SIGN SPRINKLER HEAD TELEPHONE PEDESTAL TV PEDESTAL WATER FAUCET WATER METER WATER VALVE DOWN GUY STORM SEWER MANHOLE STORM SEWER PIPE DROP/CURB GRATED INLET

TREE TO BE REMOVED

LINEWORK	
EASEMENT ====================================	
INTERMEDIATE CONTOUR	—1206—— —— ——
INDEX CONTOUR	—1205—— —— ——
SANITARY SEWER LINE (SPECIFY SIZE & T	YPE) SS
GAS LINE	
WATER LINE (SPECIFY SIZE & TYPE)	W
UNDERGROUND TELEPHONE	
UNDERGROUND ELECTRIC	∕\/
OVERHEAD ELECTRIC	
UDERGROUND TELEVISION	UGTV
OVERHEAD TELEVISION	OHTV
CHAIN LINK FENCE	
WOOD FENCE	//
BARBED WIRE FENCE	X
FIBER OPTIC FO	—— FO ———
RIGHT OF WAY	
ROAD CENTERLINE	

LIMITS OF DEMOLITION

	10825 Financial Centre Parkway, Suite 300 Little Rock, Arkansas 72211 Crafton Tull engineering surveying 501.664.3245 t 501.664.6704 f www.craftontull.com
= =	CERTIFICATE OF AUTHORIZATION:
	GRAPHIC SCALE IN FEET
	PANERA BREAD bryant, ar
s. DF IG D	
)	Key Plan
R	
ED LL	No. Description Date
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LL	
	This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. <u>PROJECT NO: 24304000</u> <u>ISSUE DATE: 01/6/25</u> CONTACT: T.TOLLEY
all	ISSUE DATE: 01/6/25 0 1113 CONTACT: T.TOLLEY DOCUMENT IS QC by: PRELIMINARY IN PRELIMINARY IN QC Date: NATURE AND IS NOT PRELIMINARY A FINAL, SIGNED PLANS AND SEALED This DOCUMENT IS

CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES FOR THE DEMOLITION AND DISPOSAL OF ALL MATERIALS 2. CRAFTON, TULL AND ASSOCIATES, INC. SHALL NOT BE LIABLE FOR ANY DEMOLITION PROCEDURES, SCHEDULING, AND DISPOSAL

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THAT ADJACENT PROPERTY IS NOT DAMAGED AND IS ACCESSIBLE AT ALL TIMES, AND THAT CONSTRUCTION DOES NOT CREATE ANY HARDSHIP TO LAND OWNERS ADJACENT TO THE

4. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNIN AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE

5. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE DISCONNECTION, REMOVAL AND RELOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES. 6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF SITE IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO

7. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO

8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR

9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATE FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP AL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF

10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. 11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.

13. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THES CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR

14. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. 15. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN WATERMAIN IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATERMAIN SHUT-OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WIL

16. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. REPAIRS SHALL RESTORE DAMAGED ITEMS TO EQUAL OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND NOTIFYING CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START. 17. ALL TRENCHES AND/OR EXCAVATED AREAS SHALL BE FILLED/TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING

18. IF SEPTIC TANKS ARE FOUND PRESENT WITHIN THE LIMITS OF DISTURBANCE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH

19. IF THE CONTRACTOR FINDS ANY UNDERGROUND TANKS ON SITE THEY SHALL CONTACT THE ENGINEER IMMEDIATELY. 20. ALL WELLS SHALL BE CAPPED AND CLOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL LAW.



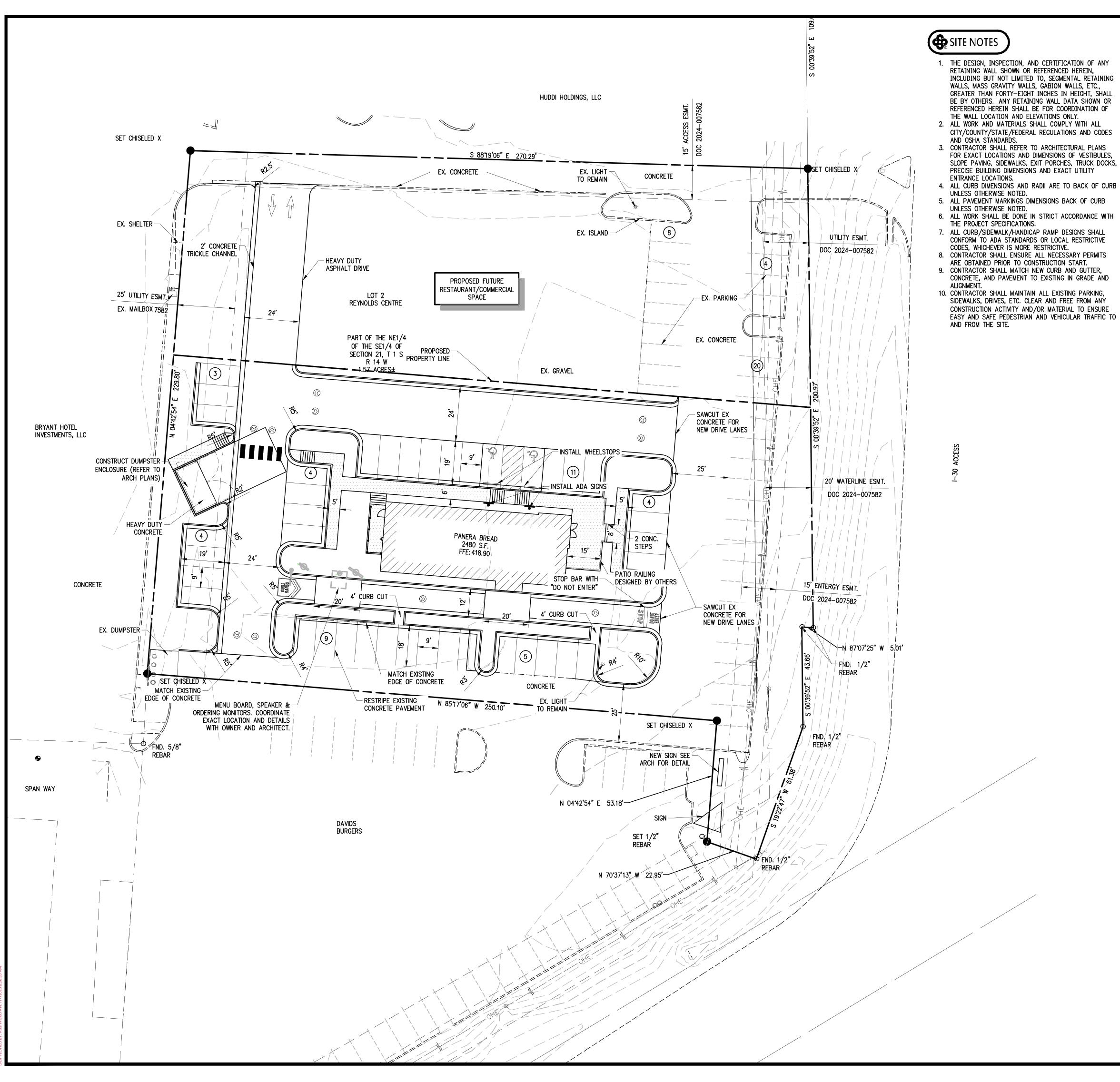
2025 Crafton, Tull & Associates, Ind

C-003

DEMO PLAN

RUCTION

Call before you dig.



(LEGEND (EXISTING SYMBOLS)

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IG	
L R	
S	[
s, Ks,	
IRB	C
ΓH	
	_
)	

	<u>SYMBOLS</u>
\$	BENCHMARK
0	Found Iron Pipe/Rebar
•	PRIMARY CONTROL/SET MONUMEN
۲	FOUND MONUMENT/ROW
AC	AIR CONDITIONER
DSS ARV	AIR RELEASE VALVE
\boxtimes	ELECTRIC BOX/PEDESTAL
EB	ELECTRIC JUNCTION BOX
E	ELECTRIC METER
¢	ELECTRIC TRANSFORMER
J. FDC	FIRE DEPARTMENT CONNECTION
-&- FH	FIRE HYDRANT
\bigtriangleup GM	GAS METER
GV	GAS VALVE
0	GUARD POST
Ҿ	LIGHT POLE
ØPP	POWER POLE
S	SANITARY MANHOLE
• C0	SANITARY SEWER CLEANOUT
	SIGN
\otimes	SPRINKLER HEAD
T	TELEPHONE PEDESTAL
	TV PEDESTAL
\ominus	WATER FAUCET
⊖ WM	WATER METER
VW IV	WATER VALVE
<u> </u>	DOWN GUY
0	STORM SEWER MANHOLE
	STORM SEWER PIPE
DROP, INLET	CURB GRATED INLET

TREE TO BE REMOVED

<u>LINEWORK</u> EASEMENT CURB INTERMEDIATE CONTOUR INDEX CONTOUR SANITARY SEWER LINE (SPECIFY SIZE & TYPE) GAS LINE WATER LINE (SPECIFY SIZE & TYPE) UNDERGROUND TELEPHONE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC UNDERGROUND TELEVISION OVERHEAD TELEVISION CHAIN LINK FENCE WOOD FENCE BARBED WIRE FENCE FIBER OPTIC RIGHT OF WAY ROAD CENTERLINE

Ð	LEGEND	(CONSTRUC	T)
		-	



<u>SYMBOLS</u>

• 👌 TREE

<u>(X-X)</u> . \bigcirc

SET IRON PIN LIGHT POLE POWER POLE TELEPHONE PEDESTAL TV PEDESTAL MANHOLE SANITARY SEWER CLEANOUT GAS METER GAS VALVE STORM SEWER PIPE STRUCTURE NUMBER WATER VALVE FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER BACK FLOW PREVENTER REDUCER RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET) CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

END (CONSTRUCT)	
LINEWORK	
EASEMENT	
CURB	
INTERMEDIATE CONTOUR	
INDEX CONTOUR	
SANITARY SEWER LINE	
GAS LINE	
WATER LINE	
UNDERGROUND TELEPHONE	
UNDERGROUND ELECTRIC	
OVERHEAD ELECTRIC	
FIBER OPTIC	
UNDERGROUND TELEVISION	
CHAIN LINK FENCE	
WOOD FENCE	//
BARBED WRE FENCE	X
BUILDING SET BACK	
RIGHT OF WAY	
PROPERTY LINE	
ROAD CENTERLINE	



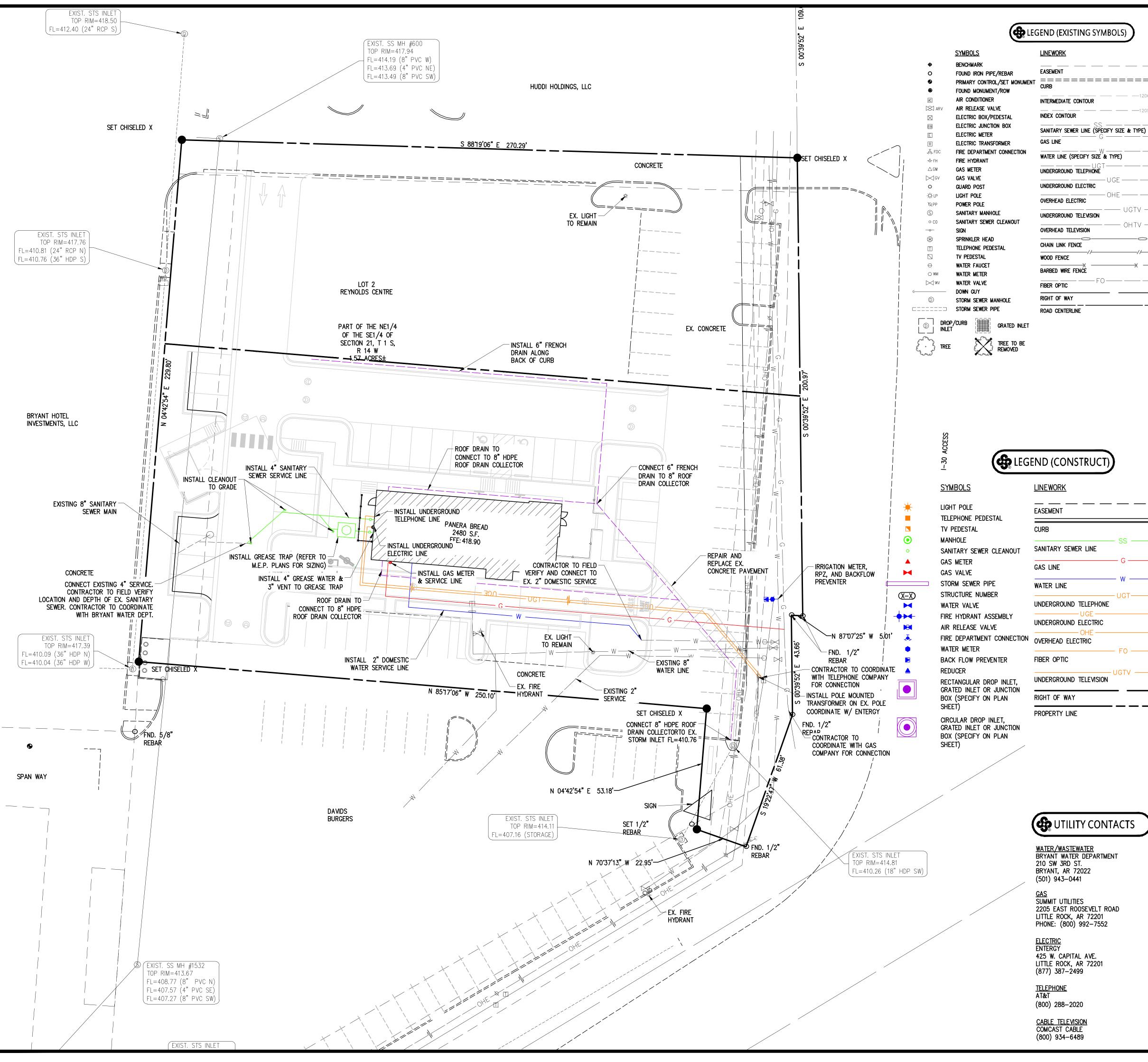
STANDARD PARKING SPACES	38
ACCESSIBLE PARKING SPACES	2
TOTAL PARKING SPACES	40



C.P. Crafton Tull engineering | surveying 501.664.3245 † 501.664.6704 f www.craftontull.com CERTIFICATE OF AUTHORIZATION: UNITE OF AUT CRAFTON, TULL & ASSOCIATES, INC. No. 109 RAPHIC SCALE IN FEFT PANERA BREAD BRYANT, AR This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24304000 ISSUE DATE: 01/6/25 CONTACT: T.TOLLEY THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT PRELIMINARY a final, signed AND SEALED Plans DOCUMENT 2025 Crafton, Tull & Associates, SITE PLAN C-101

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Little Rock, Arkansas 72211



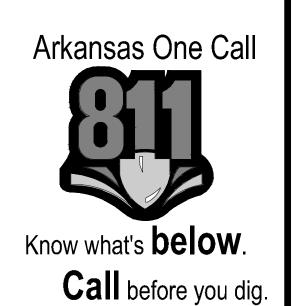
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- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.
- ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING. 4. ALL NECESSARY INSPECTIONS AND/OR
- CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES. THRUST BLOCKING SHALL BE PROVIDED AT ALL 6.
- BENDS, TEES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR MINIMUM HORIZONTAL SEPARATION BETWEEN THE
- OUTSIDE WALL OF THE WATERLINE AND THE OUTSIDE WALL OF THE SANITARY SEWER LINE OR SANITARY SEWER MANHOLE SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY SEWERS TH WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING
- 9. THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
- 10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING 11. SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS.
- 12. REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN. 13. ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR
- WATER AND SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY. 14. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- 15. DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL 16. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
- 17. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS 18. AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
- THE CONTRACTOR SHALL INCLUDE IN BID PRICE THI 19. DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED, AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.
- ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND 20. ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY C ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVIT IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

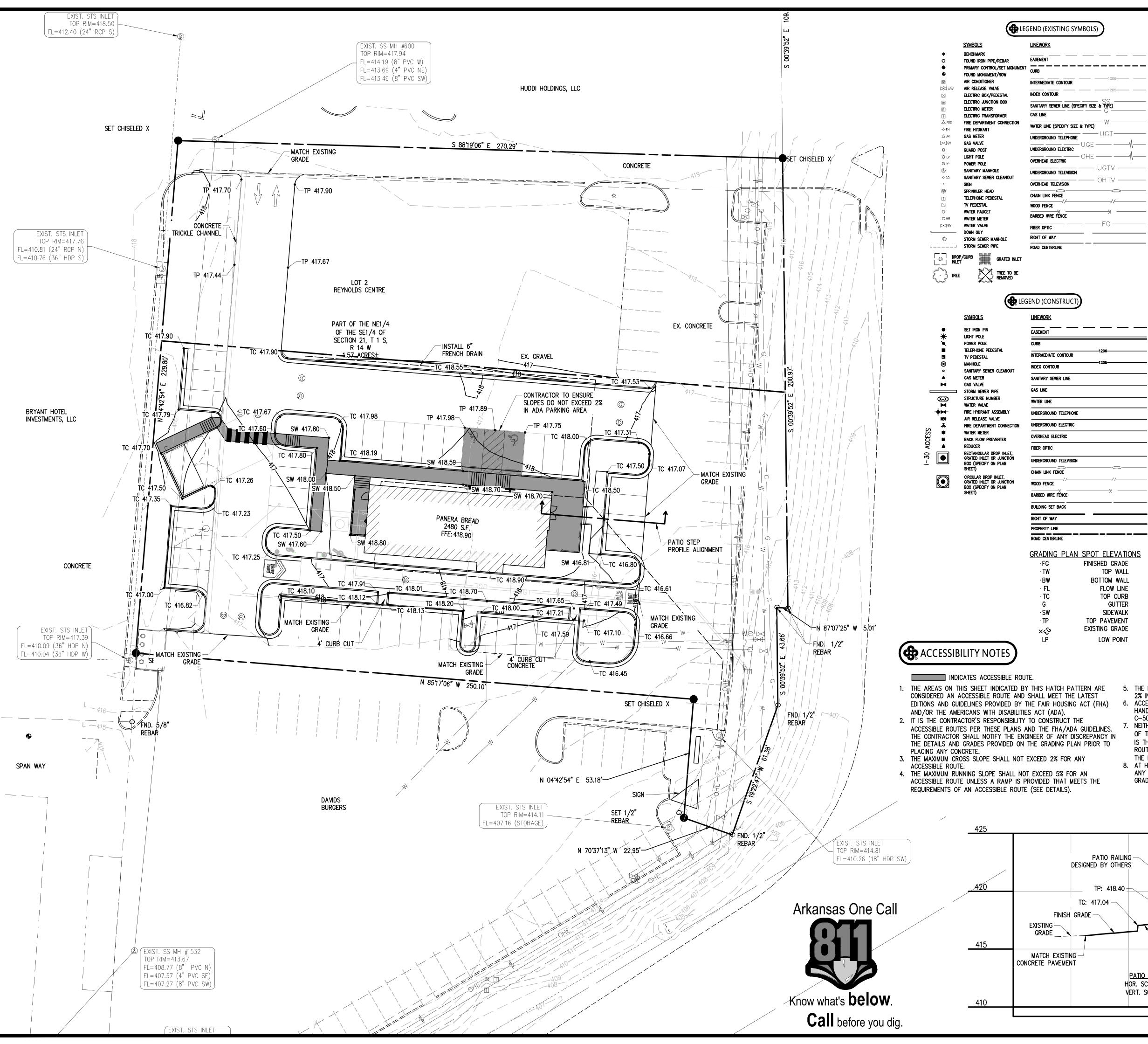


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CH: Cratton Tul engineering | surveying 501.664.3245 † 501.664.6704 f www.craftontull.com ERTIFICATE OF AUTHORIZATION: TE OF AUT CRAFTON, TULL & ASSOCIATES, INC. No. 109 RAPHIC SCALE IN FEFT PANERA BREAD BRYANT, AR This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24304000 THIS SSUE DATE: 01/6/25 CONTACT: T.TOLLEY DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT PRELIMINARY A FINAL, SIGNED AND SEALED plans DOCUMENT 2025 Crafton, Tull & Associates, UTILITY PLAN

10825 Financial Centre Parkway, Suite 300

Little Rock, Arkansas 72211



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FINISHED GRADE TOP WALL BOTTOM WALL FLOW LINE TOP CURB GUTTER SIDEWALK TOP PAVEMENT

- LOW POINT
- 5. THE MAXIMUM SLOPE OF AN ACCESSIBLE PARKING STALL NOT EXCEED

GRADING AND DRAINAGE NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
- 2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS. INSPECTIONS. AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING. BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
- 3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
- 4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS. 5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR
- FLATTER UNLESS OTHERWISE NOTED. 6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
- 7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- 8. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
- 9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
- 10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- 11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
- 12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
- 13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- 16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- 17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE. 18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS,
- DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. 19. IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR
- SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND PLACEMENT OF A FRENCH DRAIN SYSTEM.

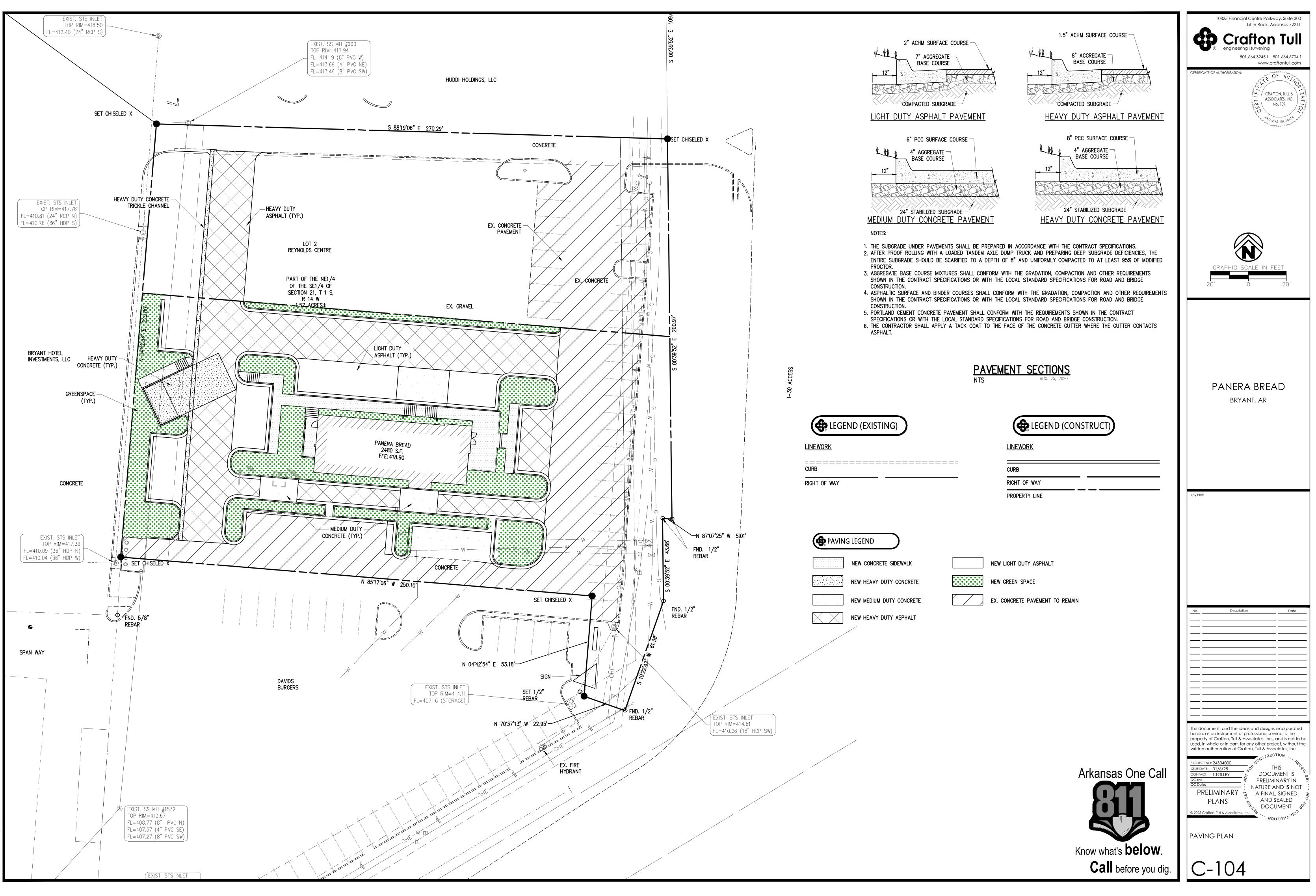
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2% IN ANY DIRECTION. 6. ACCESSIBLE ROUTE DETAILS FOR SIDEWALKS, CROSSWALKS, RAMPS, HANDRAILS, AND HANDICAP PARKING STALLS ARE PROVIDED ON SHEETS C-502. . NEITHER THE OWNER NOR THE ENGINEER WILL MAKE EXHAUSTIVE CHECKS OF THE CONTRACTOR'S WORK ON THE ACCESSIBLE ROUTES. RATHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THE PLANS AND DETAILS TO ENSURE COMPLIANCE WITH THE FHA/ADA. 8. AT HIS ÓWN EXPENSE, THE CONTRACTOR SHALL REMOVE AND REPLACE ANY SECTIONS OF AN ACCESSIBLE ROUTE THAT EXCEED THE MAXIMUM GRADES. THIS SHALL BE STRICTLY ENFORCED. 425 PATIO RAILING DESIGNED BY OTHERS 420 TP: 418.40 -BLDG FFE: 418.90 PATIO TC: 417.04 2 STEPS OFF OF PATIO 415 5' SIDEWALK

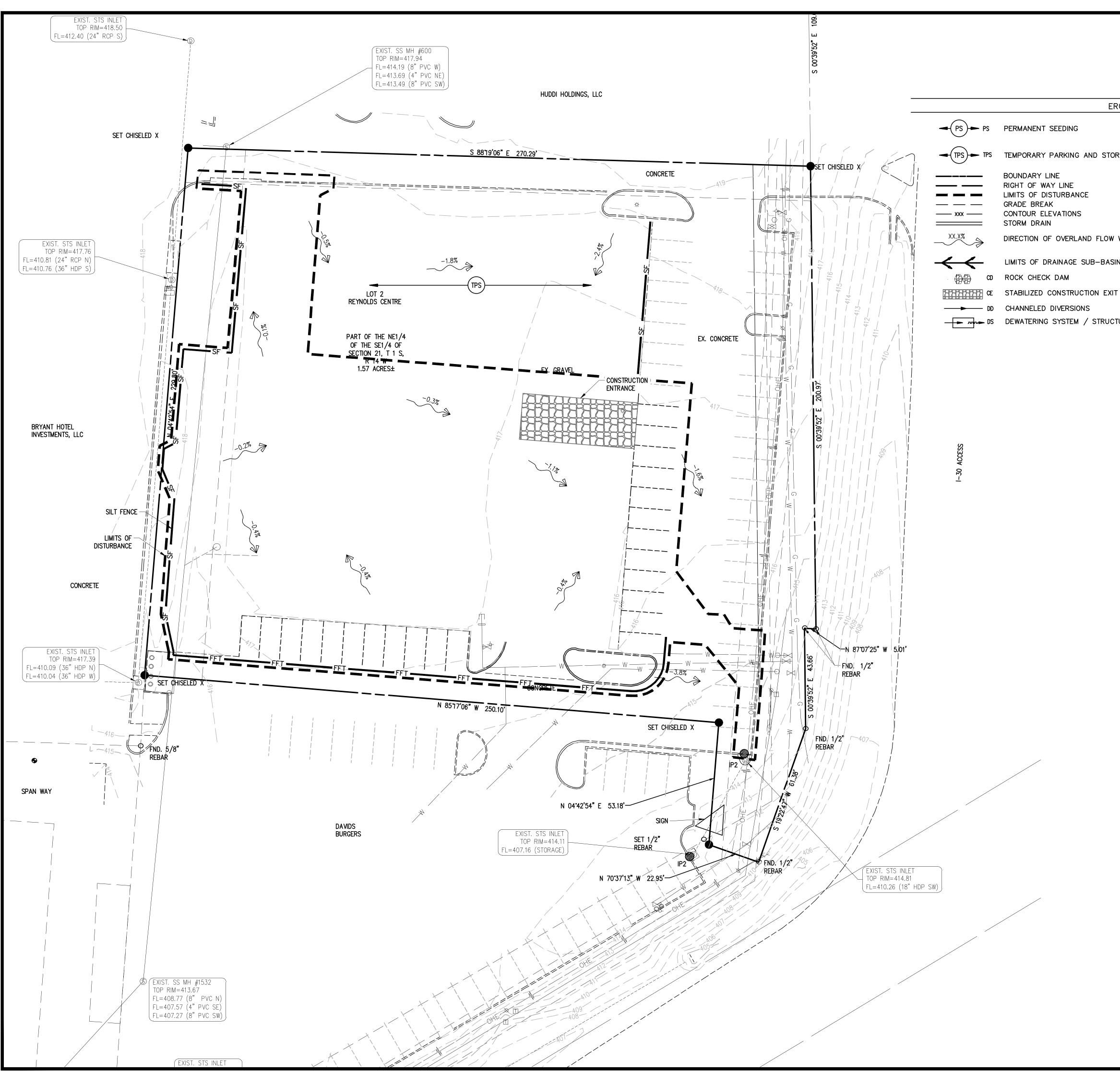
> PATIO RET. WALL HOR. SCALE: 1"=20'

> VERT. SCALE: 1"=5'

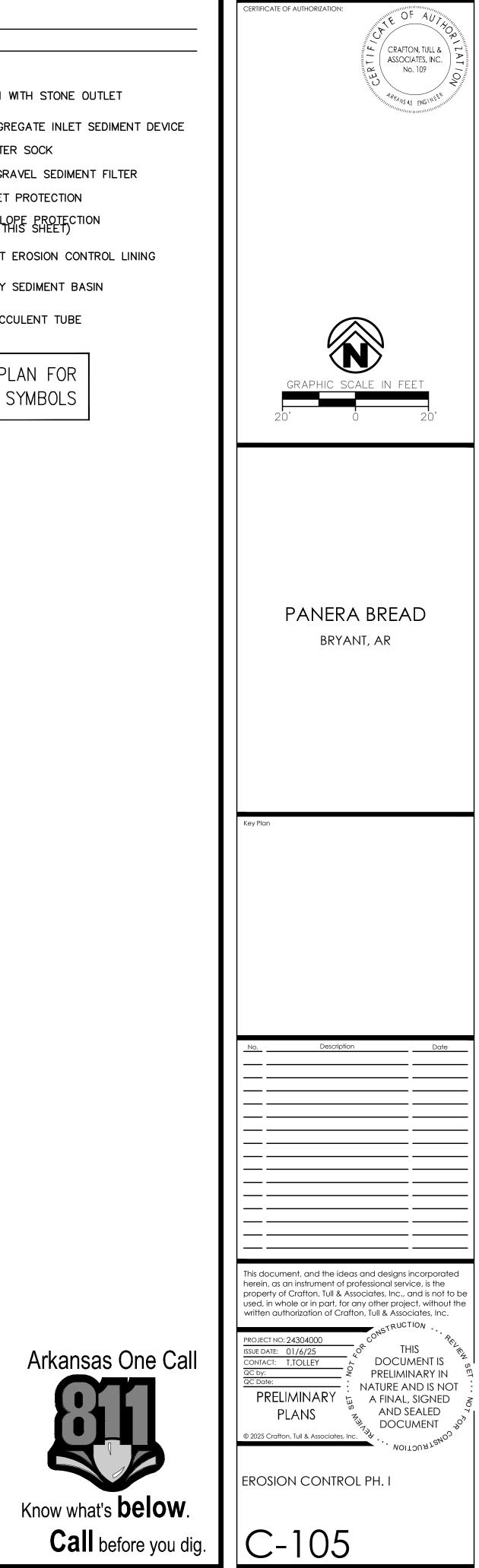
10825 Financial Centre Parkway, Suite 300 Little Rock, Arkansas 72211 CH) Cratton Tul engineering | surveying 501.664.3245 † 501.664.6704 f www.craftontull.com RTIFICATE OF AUTHORIZATION OF AUT CRAFTON, TULL & ASSOCIATES, INC. No. 109 RAPHIC SCALE IN FEFT PANERA BREAD BRYANT, AR This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24304000 THIS SSUE DATE: 01/6/25 CONTACT: T.TOLLEY DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT PRELIMINARY A FINAL, SIGNED AND SEALED plans DOCUMENT 2025 Crafton, Tull & Associates, I GRADING PLAN C-103



AWING: 2'.24304000_PANBRYANICIV/INFRASTRUCTURE/CIVIL/DWG\.IPAVING PLAN.DW 'OUT: PAVING PLAN, LAST SAVED: AB1487, 12/4/2024 9:44:48 AM T PLOTTED BY: AUSTN BROWN, 1/7/2025 8:39:05 AM



ROSION CONTRO		CERTIFICATE OF A
DRAGE	 SF SF SILT FENCE ST ST SEDIMENT BASIN WITH STONE OUTLET Ø IP1 BLOCK AND AGGREGATE INLET SEDIMENT DEVICE Ø IP2 CURB INLET FILTER SOCK Ø IP3 GRATED INLET GRAVEL SEDIMENT FILTER Ø IP4 SILT FENCE INLET PROTECTION Ø 0P1 RIP_RAP_SLOPE PROTECTION 	
V W∕ GRADE	ECL PERMANENT EROSION CONTROL LINING	
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CTURE	NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS	G 20'
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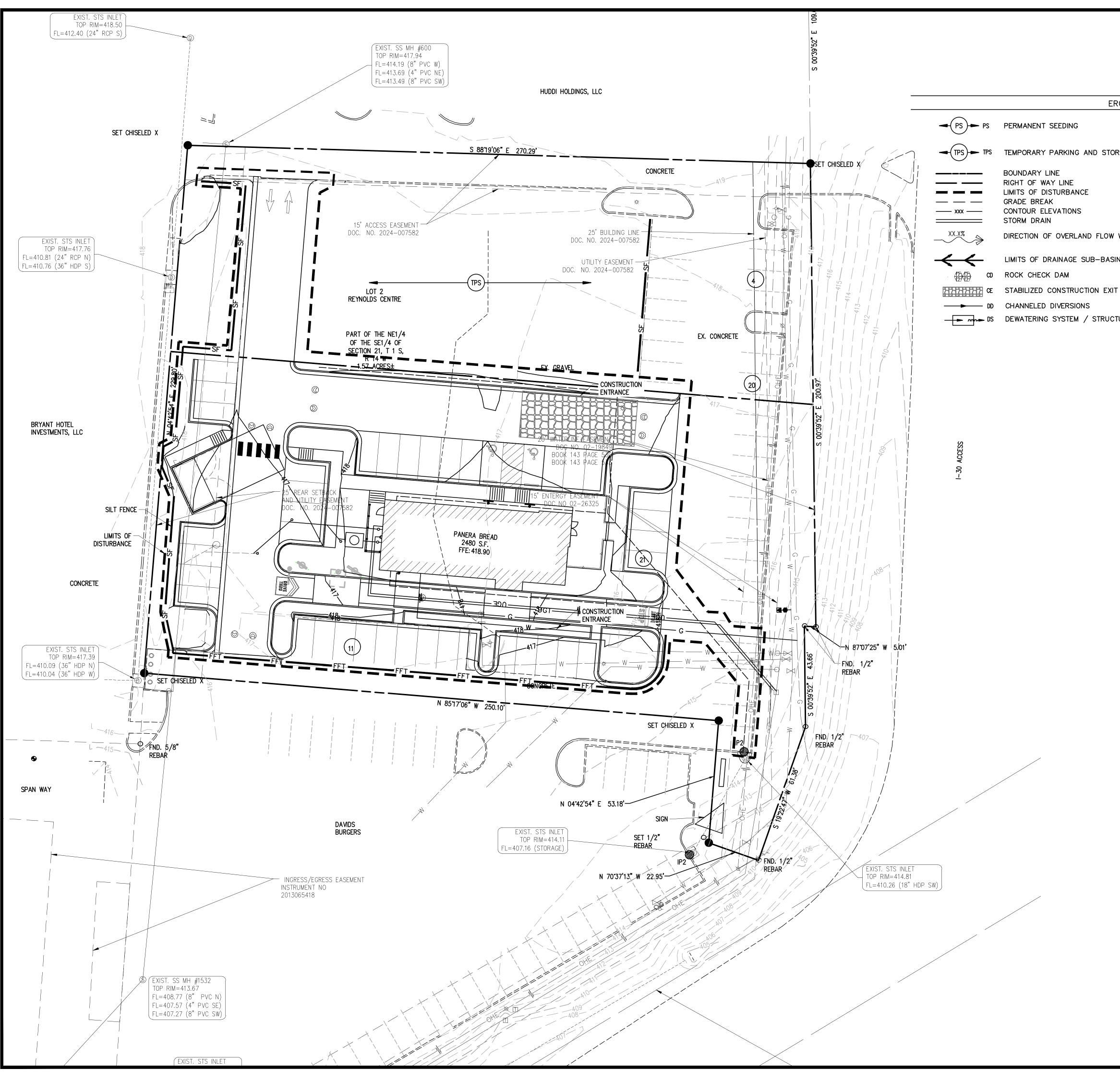
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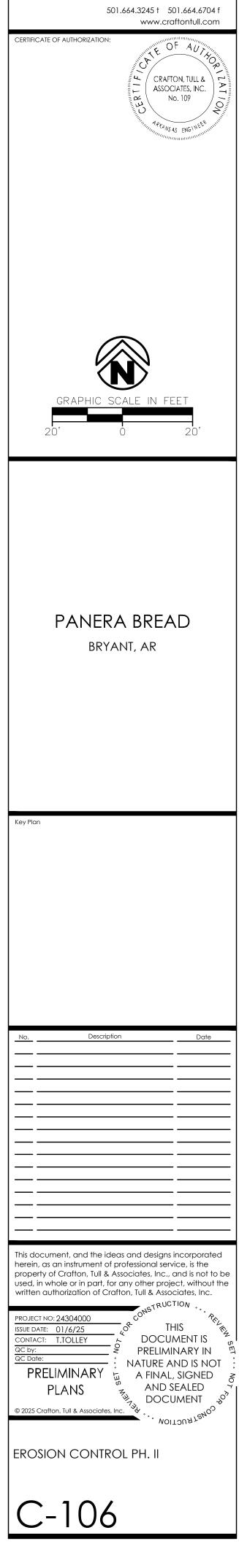
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	IP4 SILT FENCE INLET PROTECTION	
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SIN	SB SB TEMPORARY SEDIMENT BASIN	
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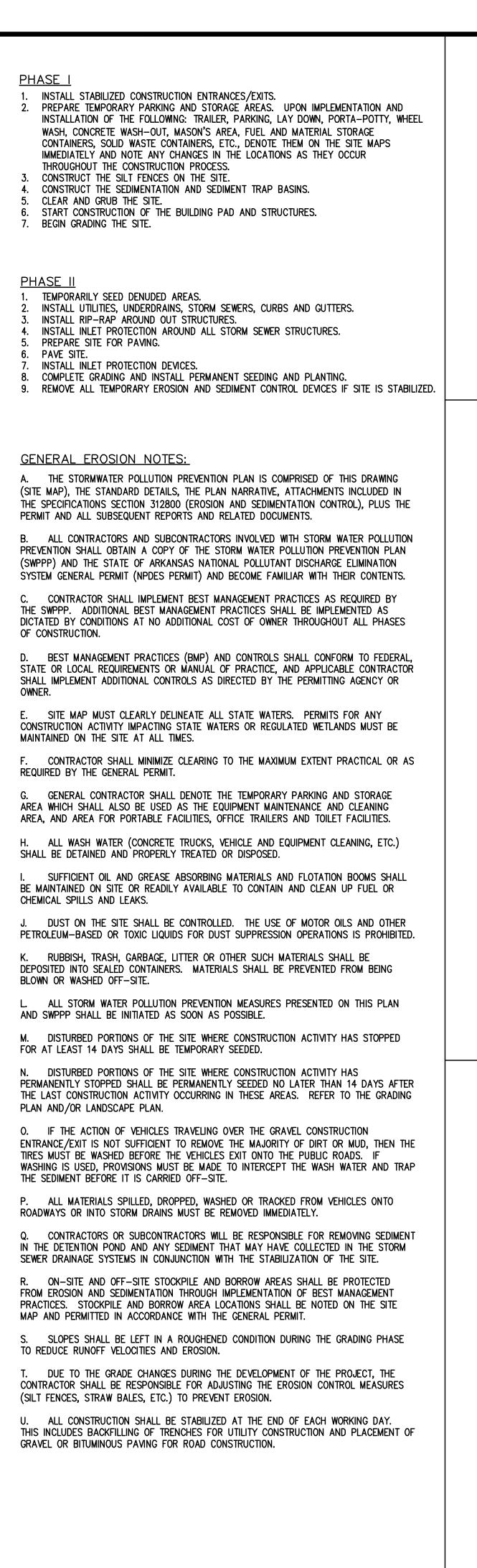
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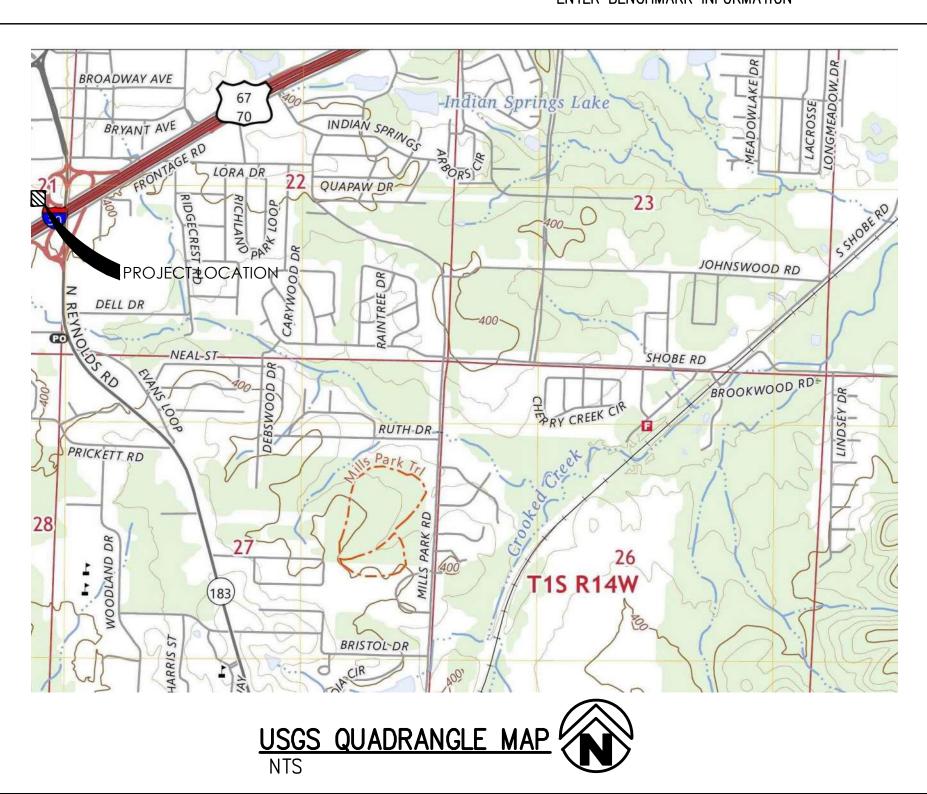
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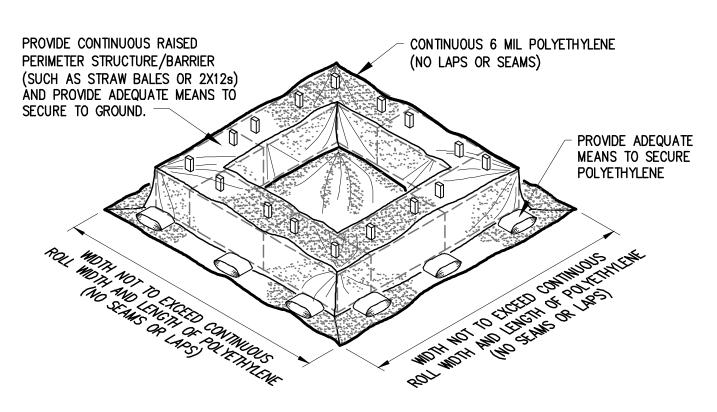
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Know what's **below**. **Call** before you dig.







CONCRETE WASH-OUT BASIN

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE																		
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE																		
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
STORM FACILITIES																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING/SEED/FINAL STABILIZATION																		

ACREAGE	SUMMARY
IMPERVIOUS AREA	0.6
SEEDED AREA	0.2
TOTAL DISTURBED	0.8

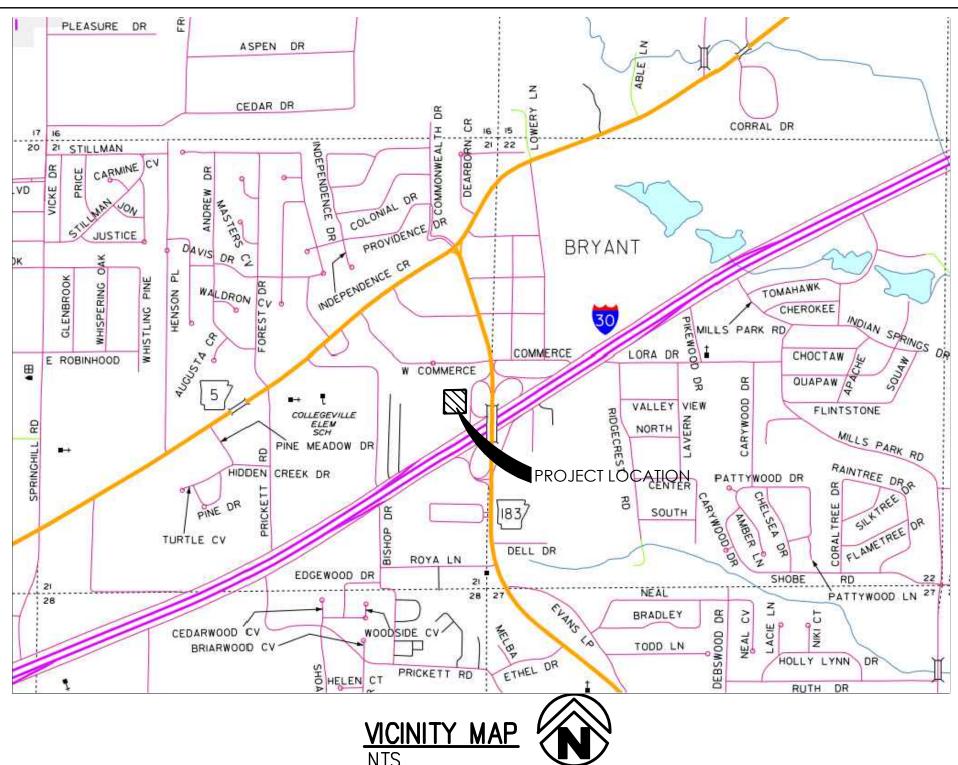
DEVELOPER/OWNER: TERRA EQUITIES, LLC 2530 WATKINS RD. BIRMINGHAM, AL 35223

SITE OPERATOR/GENERAL CONTRACTOR:

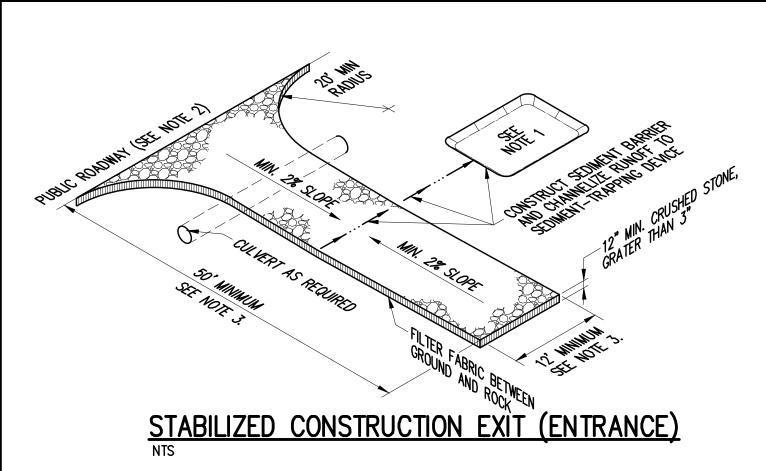
SUPERINTENDENT:

TBD

T.B.M. ENTER BENCHMARK INFORMATION



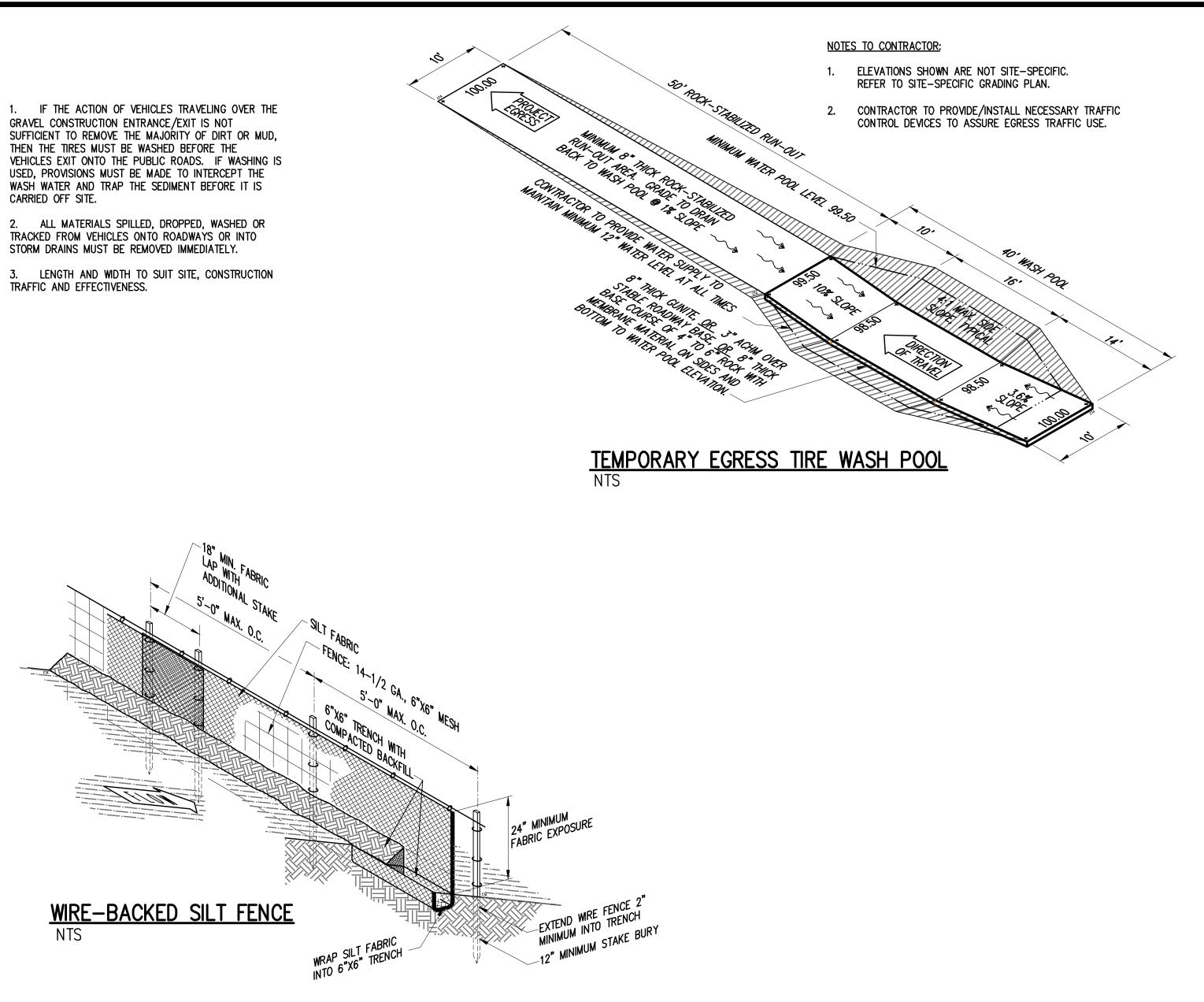
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	CERTIFICATE OF AUTHORIZATION:
	PANERA BREAD BRYANT, AR
	Key Plan
	No. Description Date
TLINTSTONE MILLS PARK RD RAINTREE DROR HU JUNC RD RD CTAW C	This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: 24304000 ISSUE DATE: 01/6/25 QC Date: CONSTRUCTION PRELIMINARY PLANS NATURE AND IS NOT WOILDNULS AFINAL, SIGNED DOCUMENT
	EROSION CONTROL NOTES

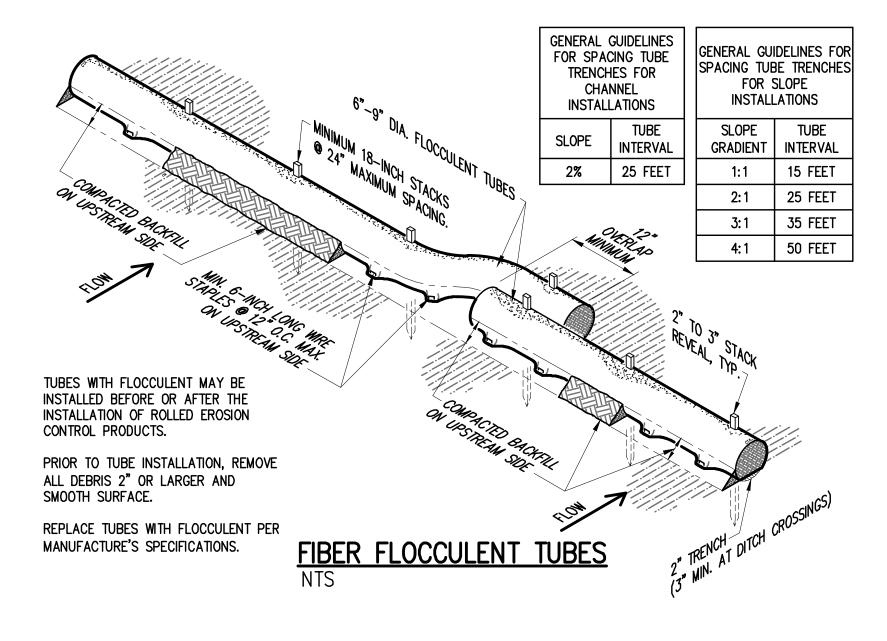


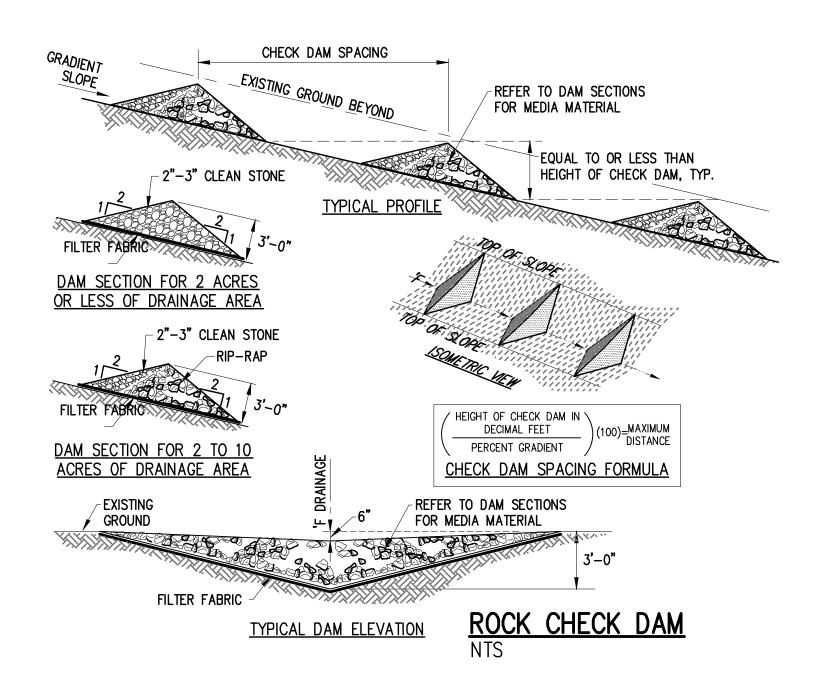
1. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.

TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

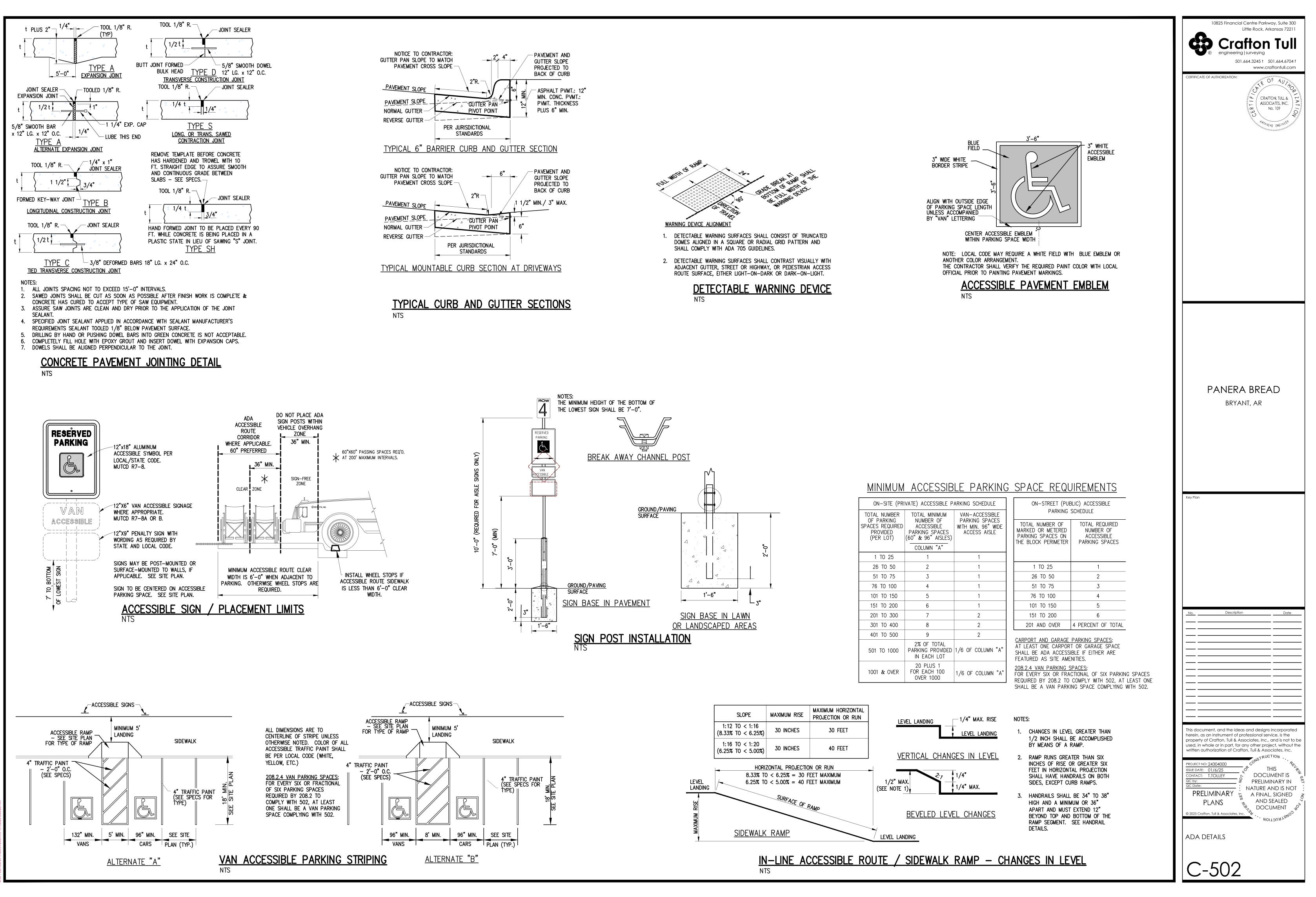
3. LENGTH AND WIDTH TO SUIT SITE, CONSTRUCTION



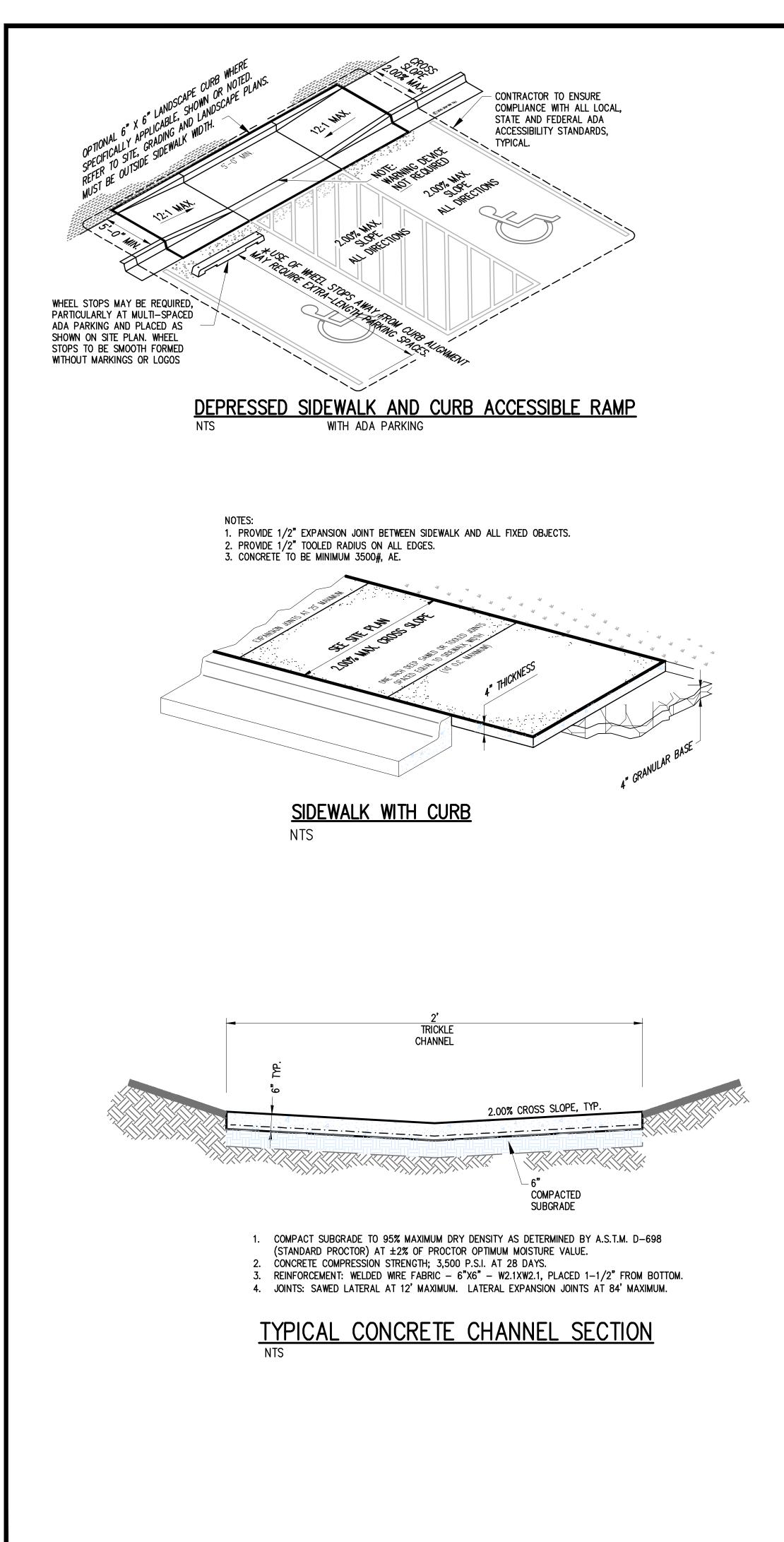




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Key Plan
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EROSION CONTROL DETAILS

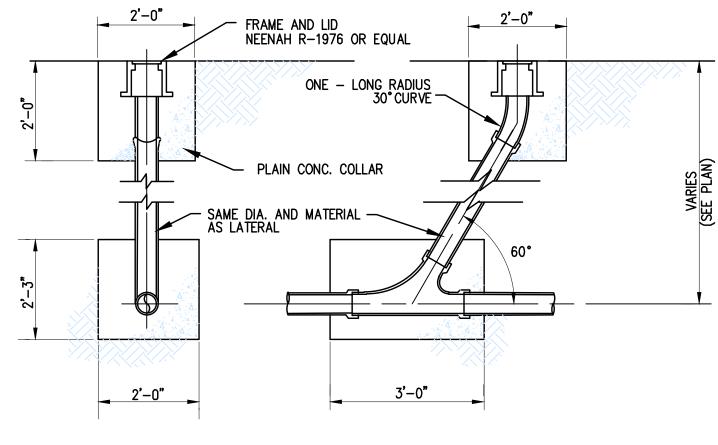


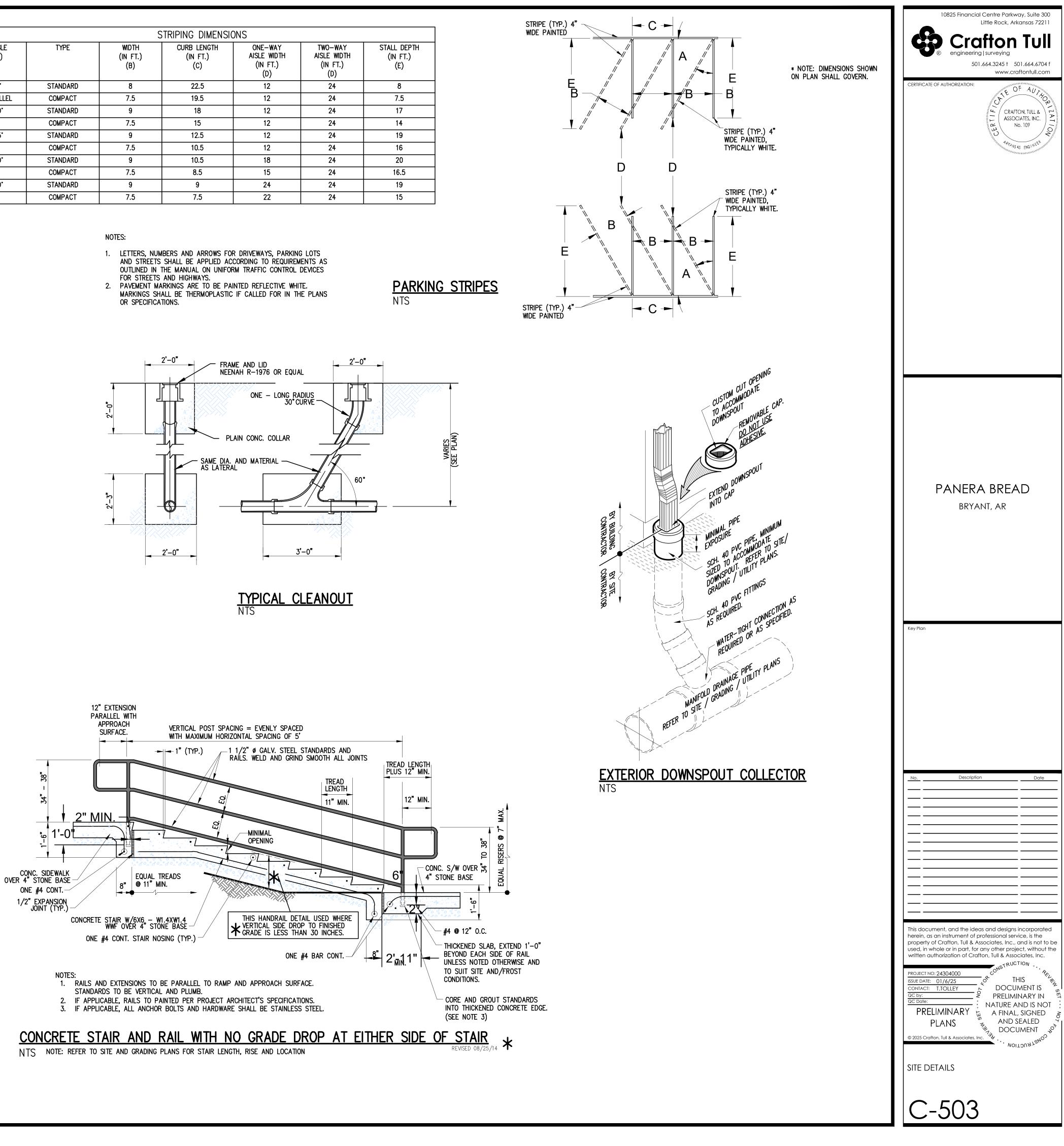
s: 2:/24304000_PANBRYANTCIV\INFRASTRUCTURE\CIVIL\DWG\!DEFAILS.DW ADA DETAILS , LAST SAVED: AB1487, 12/3/2024 4:15:02 PM ПЕП RV- А ПСТИ В РОМИ 177/2005 8-30-38 AM

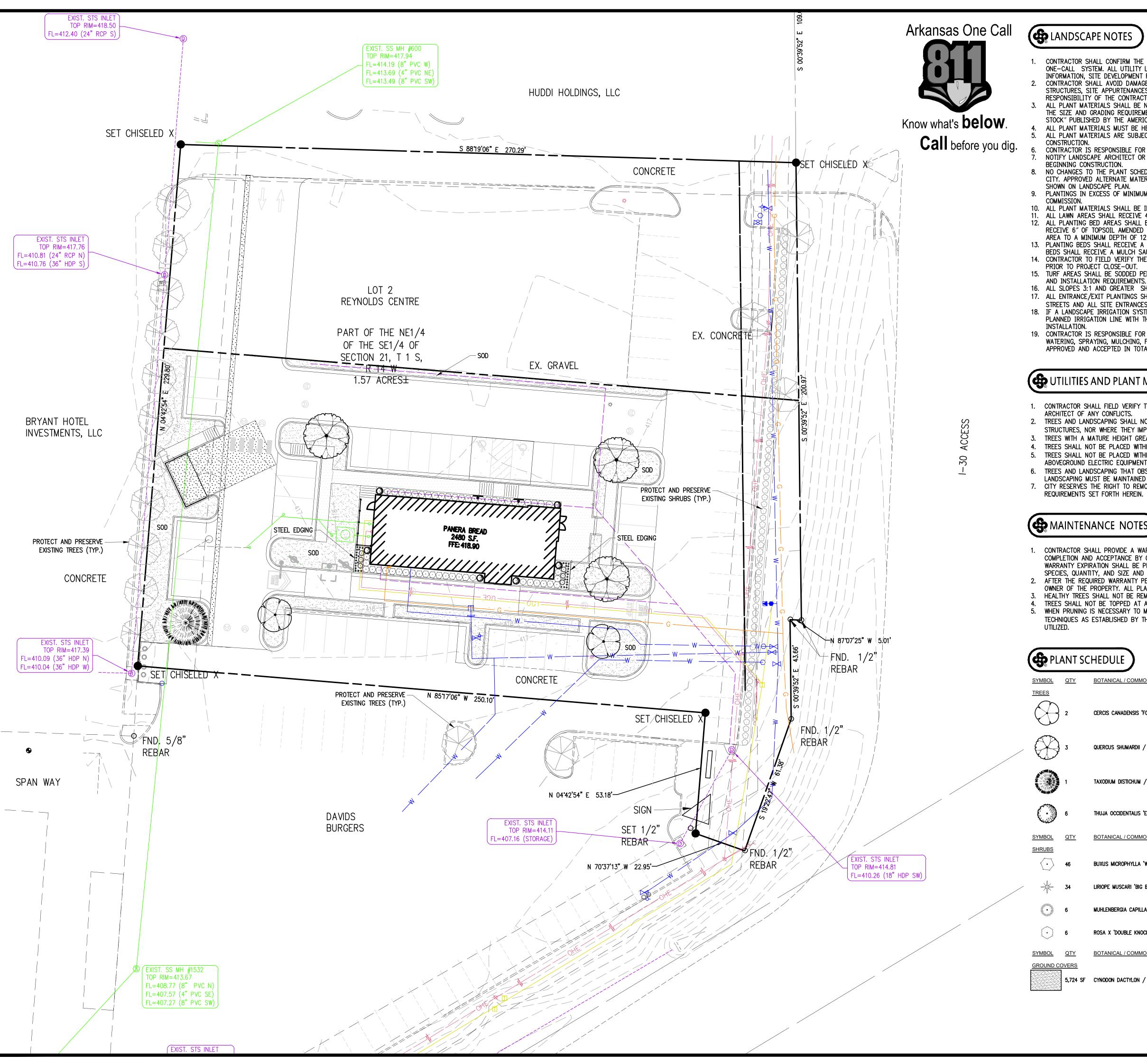


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ANGLE (A)	TYPE	MDTH (IN FT.) (B)	CURB LENGTH (IN FT.) (C)	ONE-WAY AISLE WIDTH (IN FT.) (D)	TWO-WAY AISLE WDTH (IN FT.) (D)	STALL DEPTH (IN FT.) (E)
0.	STANDARD	8	22.5	12	24	8
PARALLEL	COMPACT	7.5	19.5	12	24	7.5
30*	STANDARD	9	18	12	24	17
	COMPACT	7.5	15	12	24	14
45 °	STANDARD	9	12.5	12	24	19
	COMPACT	7.5	10.5	12	24	16
60 °	STANDARD	9	10.5	18	24	20
	COMPACT	7.5	8.5	15	24	16.5
90°	STANDARD	9	9	24	24	19
i	COMPACT	7.5	7.5	22	24	15

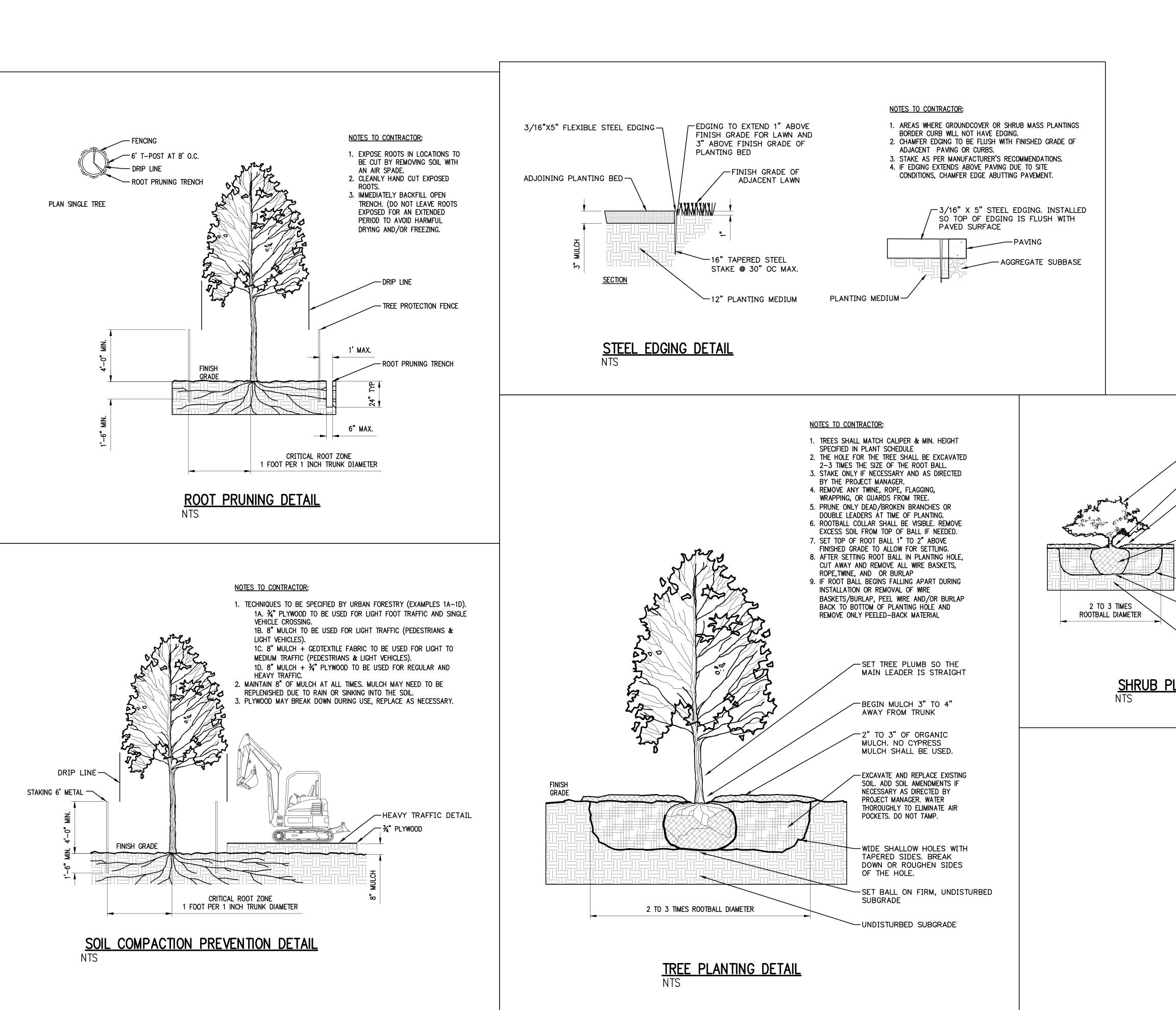






10825 Financial Centre Parkway, Suite 300 Little Rock, Arkansas 72211 C.P Cratton Tu enaineerina I survevinc CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK BY CONTACTING THE 501.664.3245 † 501.664.6704 f ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY www.craftontull.com INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC. 2. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK. ANY DAMAGES TO UTILITIES, ERTIFICATE OF AUTHORIZATION INTE OF AUT STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT NO COST TO OWNER. 3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN (CONTAINER OR BALLED & BURLAPPED) AND SHALL MEET OR EXCEED CRAFTON, TULL & THE SIZE AND GRADING REQUIREMENTS ESTABLISHED BY THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY ASSOCIATES, INC. STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. No. 109 ALL PLANT MATERIALS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND/OR DISEASE. 5. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT OR QUANTITY DISCREPANCIES PRIOR TO 8. NO CHANGES TO THE PLANT SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND CITY. APPROVED ALTERNATE MATERIALS SHALL MEET THE SAME CRITERIA FOR TYPE, SIZE, AND FUNCTION AS THOSE 9. PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY THE PLANNING 10. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED. 11. ALL LAWN AREAS SHALL RECEIVE 4" OF TOPSOIL TO MEET FINAL GRADE IN ACCORDANCE WITH GRADING PLAN. 12. ALL PLANTING BED AREAS SHALL BE PREPARED BY REMOVING EXISTING SOD AND WEEDS. PLANTING BED AREAS SHALL RECEIVE 6" OF TOPSOIL AMENDED TO ENHANCE FAVORABLE GROWING CONDITIONS. SOIL MIX SHALL BE TILLED INTO BED AREA TO A MINIMUM DEPTH OF 12" 13. PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. ALL TREES NOT LOCATED IN PLANTING BEDS SHALL RECEIVE A MULCH SAUCER PER DETAIL. 14. CONTRACTOR TO FIELD VERIFY THE LIMITS OF DISTURBANCE. ALL DISTURBED AREAS MUST BE STABILIZED PER CITY CODE PRIOR TO PROJECT CLOSE-OUT. 15. TURF AREAS SHALL BE SODDED PER PLANTING PLAN. REFER TO PLANT SCHEDULE AND LANDSCAPE NOTES FOR SPECIES AND INSTALLATION REQUIREMENTS. 16. ALL SLOPES 3:1 AND GREATER SHALL RECEIVE SOD. ON SLOPES OF 4:1 OR GREATER, SOD SHALL BE STAPLED IN PLACE. 17. ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREETS AND ALL SITE ENTRANCES/EXITS PER CITY CODE. 18. IF A LANDSCAPE IRRIGATION SYSTEM IS TO BE CONSTRUCTED, LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF RAPHIC SCALE IN FEET PLANNED IRRIGATION LINE WITH THE IRRIGATION CONTRACTOR PRIOR TO PLANTING BED CONSTRUCTION AND PLANT 19. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL. (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS APPROVED AND ACCEPTED IN TOTAL BY OWNER. CONTINUES AND PLANT MATERIALS CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF UTILITIES PRIOR TO LANDSCAPE INSTALLATION AND NOTIFY LANDSCAPE 2. TREES AND LANDSCAPING SHALL NOT BE PLACED WHERE THEY INTERFERE WITH SITE DRAINAGE CHANNELS, LINES, OR STRUCTURES, NOR WHERE THEY IMPEDE DETENTION/RETENION FUNCTIONS. 3. TREES WITH A MATURE HEIGHT GREATER THAN 20' SHALL NOT BE PLANTED WITHIN 20' OF OVERHEAD UTILITIES. 4. TREES SHALL NOT BE PLACED WITHIN 5' OF UNDERGROUND UTILITIES. 5. TREES SHALL NOT BE PLACED WITHIN 3' OF ANY ABOVEGROUND ELECTRICAL EQUIPMENT, NOR WITHIN 5' FROM DOORS OF PANERA BREAD ABOVEGROUND ELECTRIC EQUIPMENT. 6. TREES AND LANDSCAPING THAT OBSCURE VISIBILITY SHALL NOT BE PLACED WITHIN 3' OF A FIRE HYDRANT. ALL OTHER BRYANT, AR LANDSCAPING MUST BE MAINTAINED TO ENSURE VISIBILITY OF FIRE HYDRANT. 7. CITY RESERVES THE RIGHT TO REMOVE LANDSCAPING THAT BLOCKS ACCESS TO UTILITIES OR FAILS TO MEET THE REQUIREMENTS SET FORTH HEREIN. 1. CONTRACTOR SHALL PROVIDE A WARRANTY ON ALL PLANT MATERIALS FOR A MINIMUM OF ONE YEAR FROM PROJECT COMPLETION AND ACCEPTANCE BY OWNER. ANY PLANT MATERIAL THAT DIES, TURNS BROWN, OR DEFOLIATES PRIOR TO WARRANTY EXPIRATION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. AFTER THE REQUIRED WARRANTY PERIOD, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION BY THE OWNER OF THE PROPERTY. ALL PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER OF THE PROPERTY. Kev Plan HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME. TREES SHALL NOT BE TOPPED AT ANY TIME. WHEN PRUNING IS NECESSARY TO MAINTAIN THE HEALTH OF THE TREE OR FOR PUBLIC SAFETY, PROPER PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE OPERATIONS" SHALL BE BOTANICAL / COMMON NAME <u>CONT</u> CAL <u>HEIGHT</u> CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD B & B 2"CAL 8'-10' HT. QUERCUS SHUMARDII / SHUMARD OAK B & B 2.5"CAL 10'-12' HT. TAXODIUM DISTICHUM / BALD CYPRESS B & B 2.5"CAL 10'-12' HT. THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE 2"CAL 6'-8' HT. 15 GAL BOTANICAL / COMMON NAME <u>SIZE</u> HEIGHT SPREAD BUXUS MICROPHYLLA 'WINTERGREEN' / BOXWOOD 3 GAL. 18" MIN. HT This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF 2 GAL. 6" HT. MIN used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. MUHLENBERGIA CAPILLARIS / PINK MUHLY 5 GAL. 18" HT. MIN. PROJECT NO: 24304000 THIS ISSUE DATE: 01/6/25 CONTACT: T.TOLLEY DOCUMENT IS ROSA X 'DOUBLE KNOCKOUT' / KNOCKOUT ROSE 5 GAL. 18" HT. MIN. PRELIMINARY IN NATURE AND IS NOT PRELIMINARY A FINAL, SIGNED CONT BOTANICAL / COMMON NAME AND SEALED Plans DOCUMENT 2025 Crafton, Tull & Associates, Ir 5,724 SF CYNODON DACTYLON / BERMUDA GRASS SOLID SOD PLANTING PLAN

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Know what's below . Call before you dig.	L-501

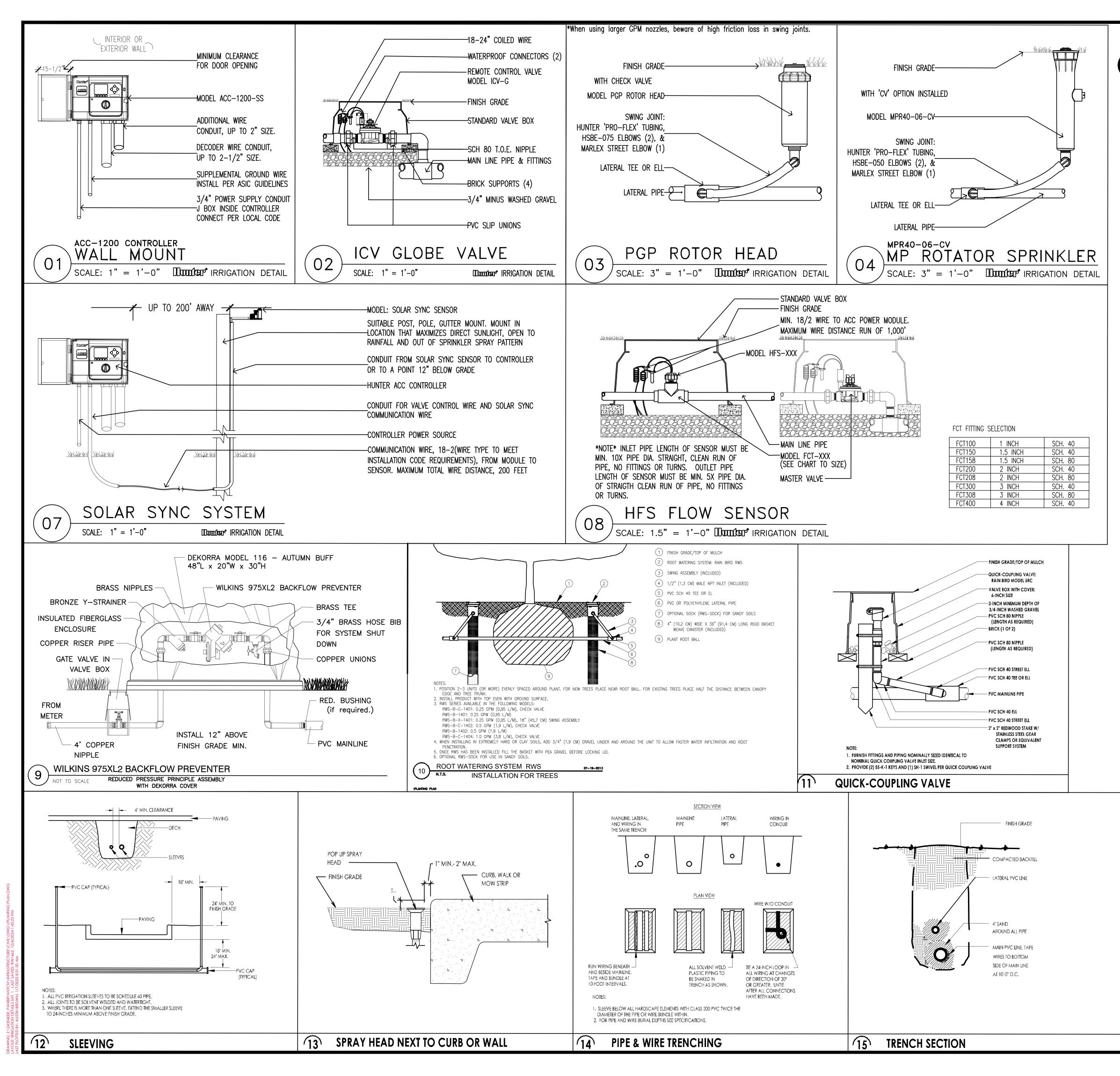
DAMAGED, DISEASED, OR WEAK STEMS BEGIN MULCH 3" TO 4" AWAY FROM BASE - EXCAVATE AND REPLACE EXISTING SOIL. ADD SOIL AMENDMENTS IF NECESSARY. WATER THOROUGHLY TO ELIMINATE AIR POCKETS. DO NOT TAMP. - ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. SET TOP OF BALL 1" TO 2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.

- FOR WOODY PLANTS, PRUNE ALL

- TAPERED SIDES BREAK DOWN OR ROUGHEN SIDES OF HOLE
- SET BALL ON FIRM, UNDISTURBED SUBGRADE

- UNDISTURBED SUBGRADE

SHRUB PLANTING DETAIL



IRRIGATION NOTES

- 1. CONTRACTOR SHALL CAREFULLY VERIFY A MINIMUM DYNAMIC WATER PRESSURE OF 85psi WITH A FLOW RATE OF 75gpm AT THE WATER METER LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF WATER PRESSURE IS LESS THAN OR SIGNIFICANTLY HIGHER THAN NOTED.
- 2. PLEASE NOTE: IF PRESSURE IS NOT SATISFACTORY THERE MAY BE A NEED FOR A BOOSTER PUMP TO ENHANCE PERFORMANCE OF THE SYSTEM. THE LANDSCAPE CONTRACTOR SHALL REPORT PRESSURE FINDINGS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE SYSTEM FOR DETERMINATION OF ANY BOOSTER NEEDS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL UTILITIES DURING THE INSTALLATION. CONTRACTOR SHALL SEEK ASSISTANCE FROM THE LOCAL UTILITIES IN THE LOCATION OF THE UTILITIES PRIOR TO EXCAVATION.
- 4. CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS, ADHERE TO ALL MUNICIPAL CODES AND FOLLOW STANDARD AND ACCEPTED LOCAL PRACTICES.
- 5. A DRAIN VALVE SHALL BE INSTALLED AT THE LOWEST PORTION OF EACH ZONE AND AT 100' INTERVALS ON THE MAINLINE FOR WINTERIZATION.
- 6. VALVE WIRING SHALL BE 12 GAUGE SINGLE STRAND COPPER DIRECT BURIAL DECODER SYSTEM IRRIGATION WIRE. PROVIDE ALL SPLICES SHALL BE WATERPROOF AND PLACED AT VALVE LOCATIONS ONLY.
- 7. ALL LATERAL LINE PIPING SHALL BE CLASS 200 SDR 21 PVC. ALL MAINLINE PIPING SHALL BE SCHEDULE 40 PVC. ALL FITTINGS SHALL BE SCH. 40 TYPE 1. USE A PVC SOLVENT AND PRIMER AS RECOMMENDED/APPROVED BY THE PIPE MANUFACTURER. ALL MATERIAL AND EQUIPMENT SHALL BE OF DOMESTIC MANUFACTURER PROCEEDING WITH RELATED WORK.
- 8. PLACE ALL PIPING ON THE PERIMETER OF LANDSCAPE AREAS WHERE POSSIBLE. PLACE VALVES IN PLANTING AREAS WHERE POSSIBLE. LIMIT TRENCHING AROUND EXISTING TREES AS MUCH AS POSSIBLE. BE AWARE OF THE LOCATION OF NEW TREES AND SHRUBS AND PLACE PIPING AWAY FROM THE ROOT BALLS.
- 9. THERE SHALL BE A CLOSED LOOP MAINLINE AROUND THE PERIMETER OF THE PROPERTY TO AID IN BALANCE OF FLOWS AND PRESSURE, AND ALLOW FOR FUTURE EXPANSION OF THE SYSTEM..
- 10. PROVIDE FOR WINTERIZATION BY THE BLOW OUT METHOD.
- 11. COORDINATE LOCATION OF THE CONTROL BOX AND RAIN SENSOR WITH THE OWNER.
- 12. PROVIDE 100% COVERAGE FOR ALL LANDSCAPE AREAS AND MAKE FINAL ADJUSTMENTS TO OBTAIN OPTIMAL PERFORMANCE. ALL PLANT BEDS SHALL BE DRIP IRRIGATION PLACED ON SEPARATE ZONES FROM THE TURF AREAS.
- 13. CONTRACTOR TO PROVIDE SERVICE TAPS, LINES AND METER FOR IRRIGATION SYSTEM SERVICE
- 14. COMPACT BACK FILL IN ALL TRENCHES TO STANDARD SUB GRADE COMPACTION REQUIREMENTS GIVEN IN SITE GRADING SPECIFICATIONS.
- 15. CONTRACTOR IS RESPONSIBLE FOR SIZING ALL WIRING TO CONTROL VALVES. DIRECT BURIAL QUALITY WIRE WITH SEALED WATERPROOF CONNECTORS REQUIRED.
- 16. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS.
- 17. WHEN TRENCHING UNDER THE DRIPLINE OF EXISTING TREES EXTREME CARE MUST BE GIVEN TO AVOID ROOT DAMAGE. IF AT ALL POSSIBLE AVOID TRENCHING INSIDE THE DRIPLINE BY GOING AROUND THE TREE RATHER THAN UNDER IT. IF TRENCHING MUST OCCUR UNDER THE DRIPLINE, USE EITHER TUNNELING OR HAND-DIGGING METHODS RATHER THAN A MECHANICAL TRENCHER. MINIMIZE THE IMPACTS OF ROOT SEVERING BY AVOIDING CONSTRUCTION DURING HOT, DRY WEATHER, KEEPING TREES WELL WATERED BEFORE AND AFTER DIGGING AND COVERING ROOTS WITH SOIL OR MULCH AS SOON AS POSSIBLE.

USE EQUIPMENT SPECIFIED AND STANDARDS SHOWN IN THE IRRIGATION DETAILS OF THIS SET

*** TREE WATERING NOTE ***:

1. CONTRACTOR SHALL PLUMB THE RAIN BIRD-RWS-B-C-SOCK 1401 INTO ZONES ACCORDING TO THE FLOWS AND PRESSURES ALLOWED. THESE ZONES SHALL BE ON SEPARATE CONTROL CIRCUITS TO PROVIDE AN ALTERNATE WATERING SOURCE FOR THE TREES DURING ESTABLISHMENT.

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