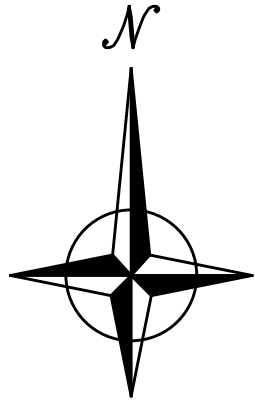
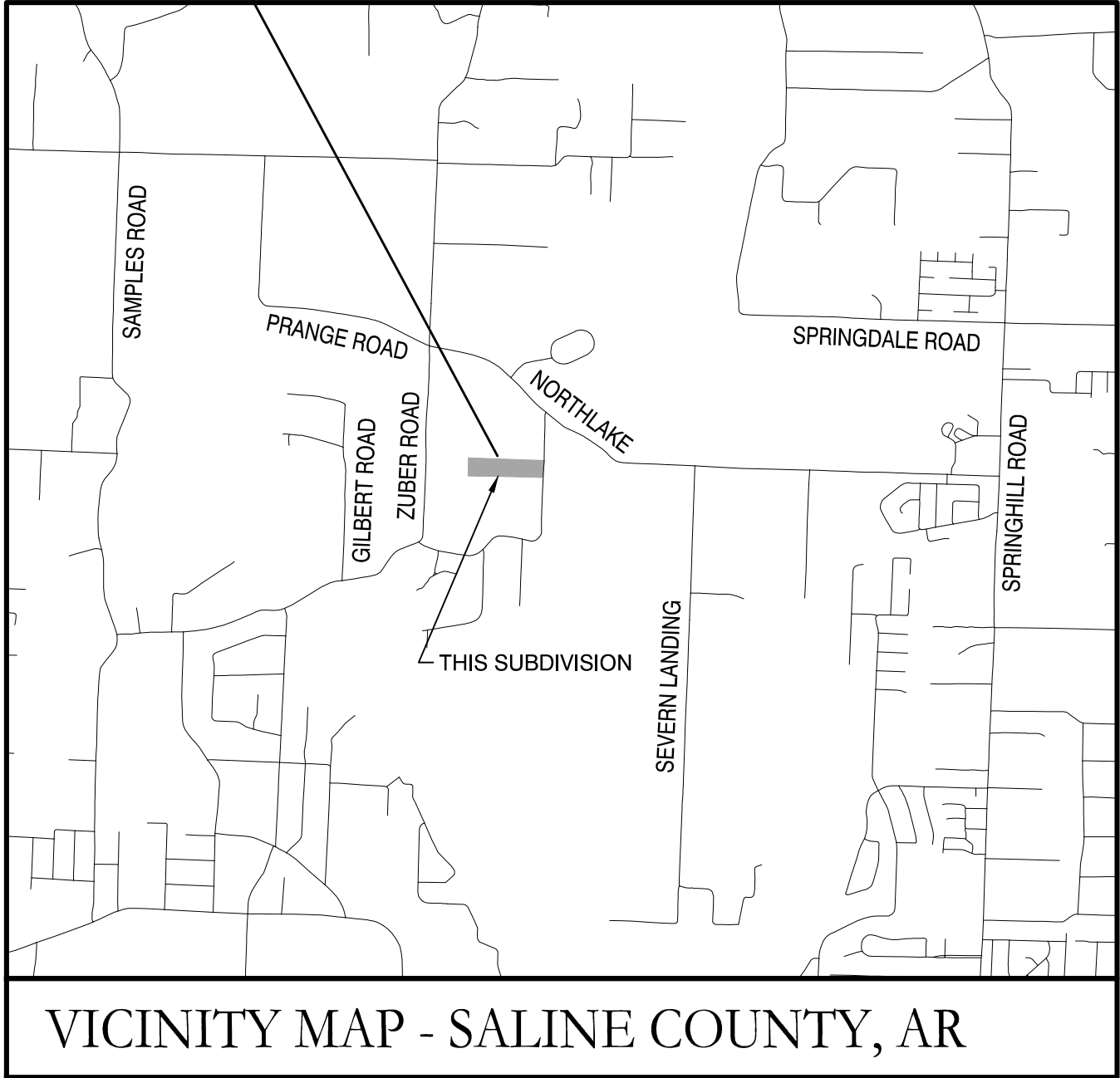


SARATOGA PLACE SUBDIVISION CITY OF BRYANT, SALINE COUNTY, ARKANSAS

SARATOGA PLACE
SUBDIVISION



Prepared by:

GarNat Engineering, LLC

P.O. Box 116
Benton, AR 72018
Ph (501) 408-4650

3825 Mt Carmel Road
Bryant, AR 72022
www.garnatengineering.com

Designing our client's success

DRAWING INDEX:

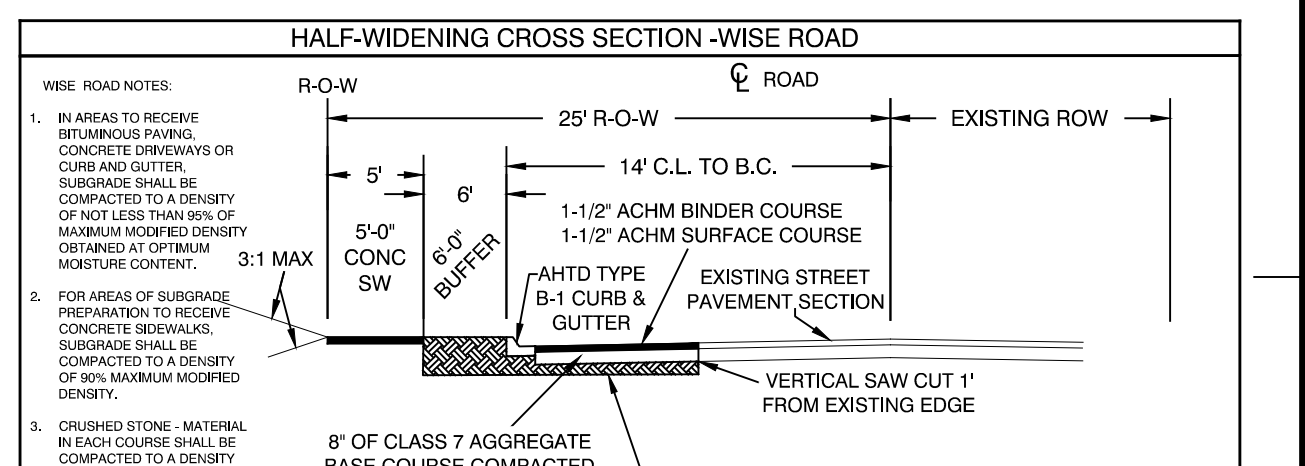
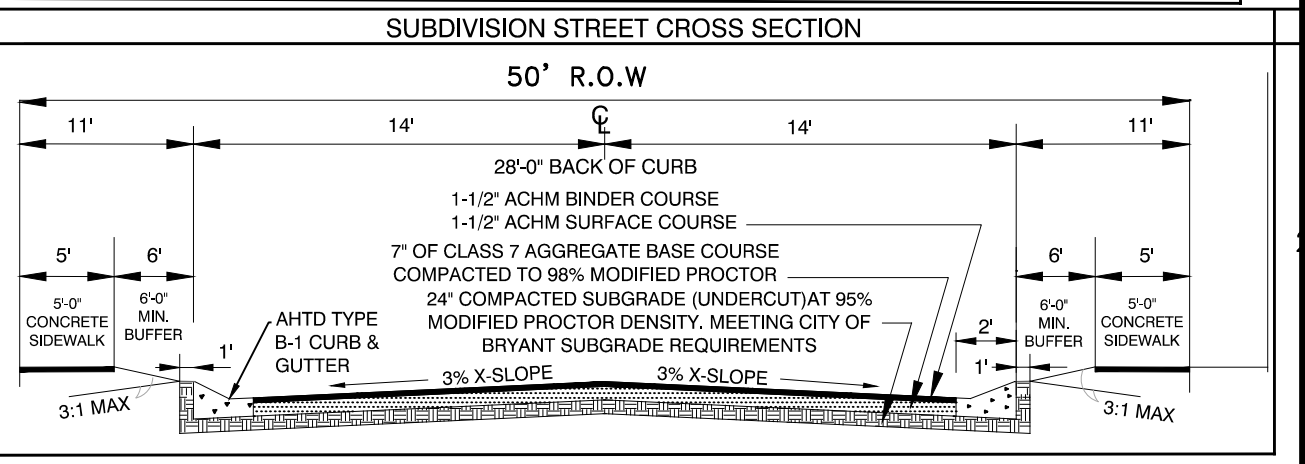
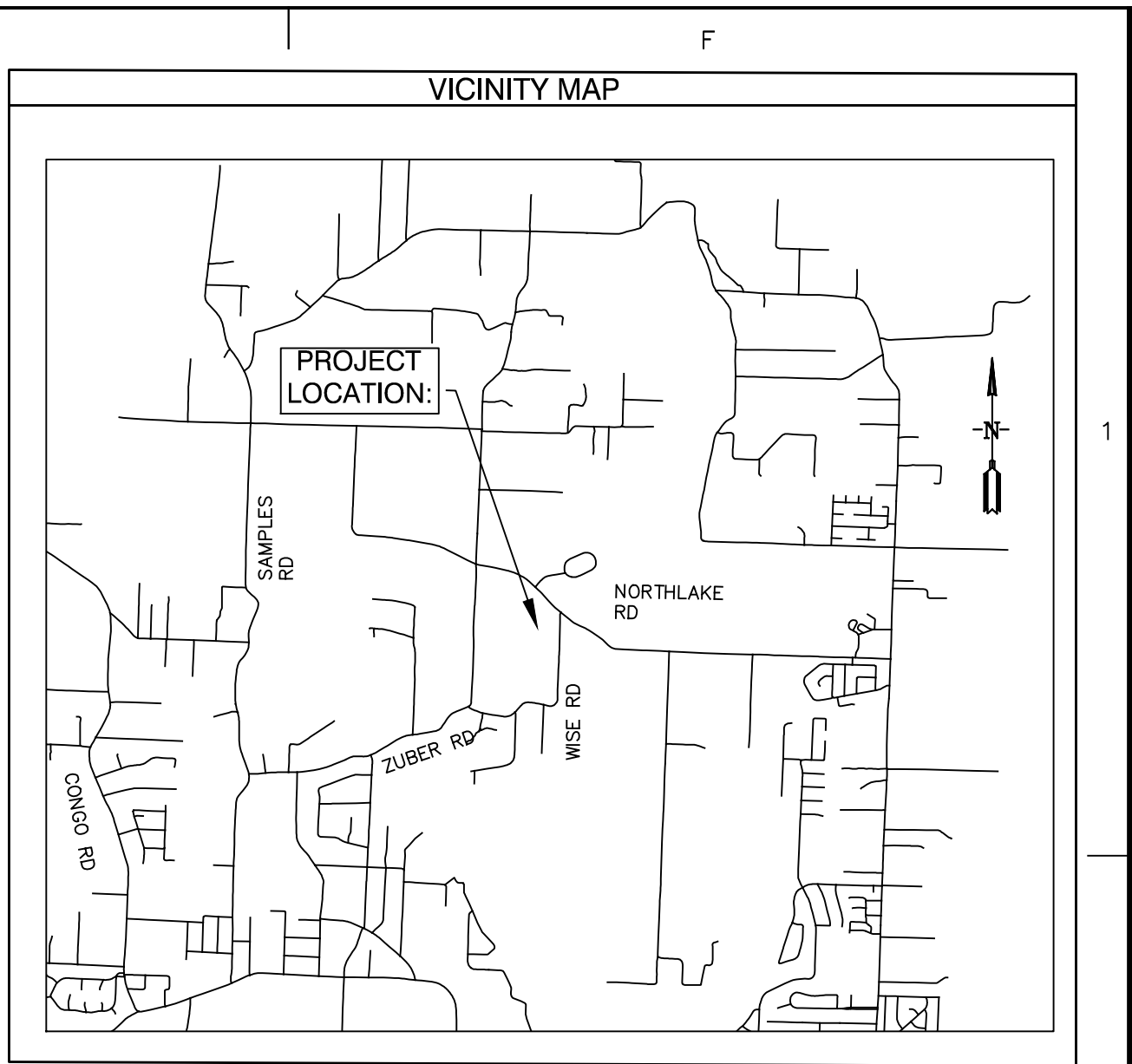
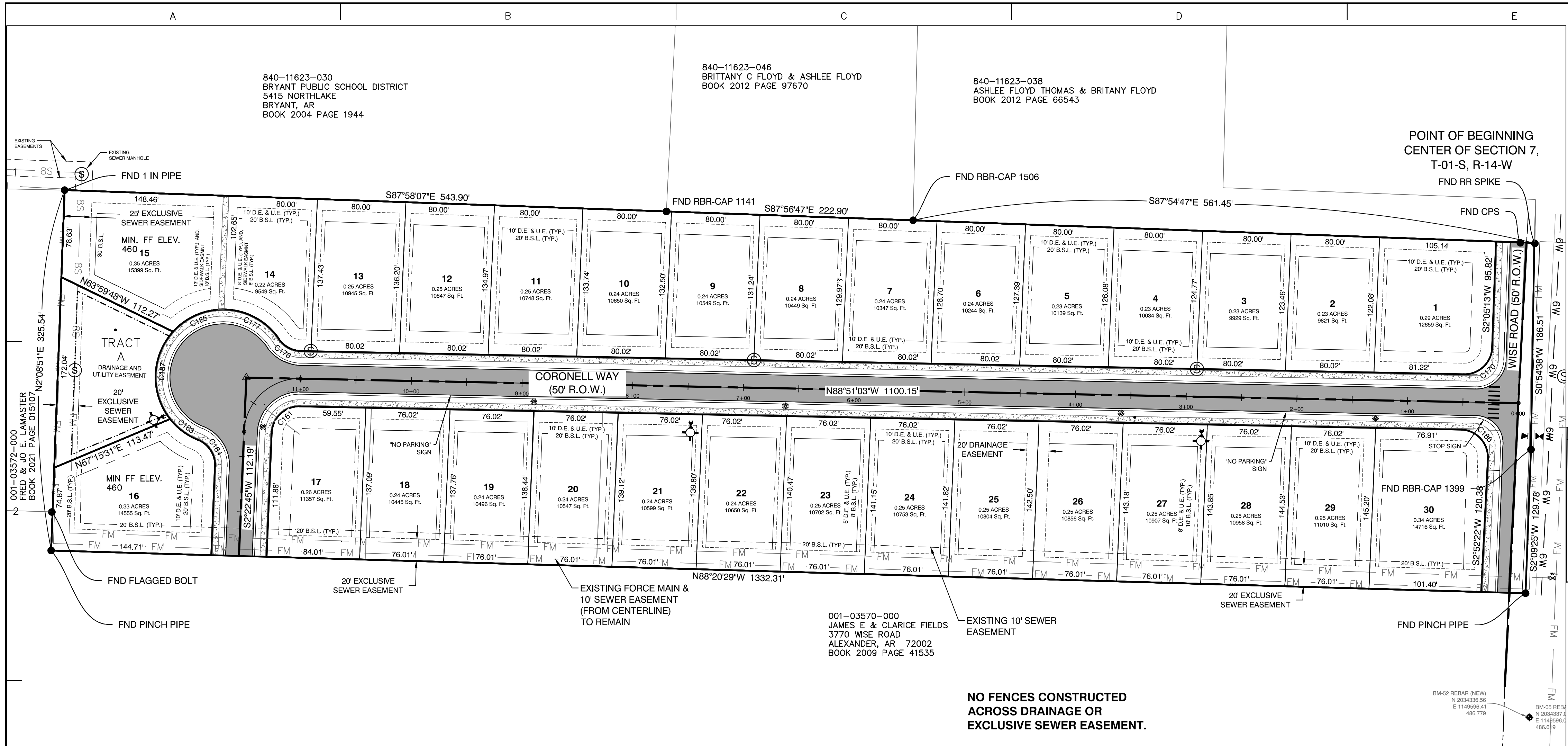
- 1 FINAL PLAT
- 2 OVERALL WATER & SANITARY SEWER PLAN
- 3 SANITARY SEWER PROFILE
- 4 OVERALL STREET & DRAINAGE PLAN
- 5 OVERALL STREET & DRAINAGE PROFILE
- 7 POND CONTROL STRUCTURE DETAIL



ARKANSAS

RECORD
DRAWING





BY	REVISION
DATE	

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116
 Benton, Arkansas 72018
 Ph (501) 408-4650
 gmatengineering@gmail.com

OWNER: Thomas D.B. Collins LTD
DEVELOPER: Thomas D.B. Collins LTD
Address: 39 Walnut Valley Drive, Little Rock, AR 72211

CERTIFICATE OF OWNER:
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.
 Date: _____ Signed: _____
 Name: Phillip Pengelly
 Address: 39 Walnut Valley Drive, Little Rock, Arkansas 72211

CERTIFICATE OF ENGINEERING ACCURACY:
 I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.
 Date: _____ Signed: _____
 Vernon J. Williams
 Registered Professional Engineer
 No. 9551, Arkansas

CERTIFICATE OF FINAL PLAT APPROVAL:
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held July 10, 2023. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.
 Date: _____ Signed: _____
 Rick Johnson, Chairman
 Bryant Planning Commission

SURVEY LEGEND
 ▲ - Computed point
 ● - Found monument
 ○ - Set #4 RB/Plas. Cap
 (M) - Measured
 (R) - Record
 (P) - Platted

GENERAL NOTES:
 1. ALL STREETS & DRAINAGE TO MEET CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 2. ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF CITY OF BRYANT STANDARD SPECIFICATIONS PER PART 4.9

PLAT CERTIFICATES:
CERTIFICATE OF RECORDING:

CERTIFICATE OF SURVEYING ACCURACY:
 I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on March 28, 2017; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.
 Date: _____ Signed: _____
 George P. Wooden
 Registered Land Surveyor
 No. 1573, Arkansas

CERTIFICATE OF ENGINEERING ACCURACY:
 I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on March 28, 2017; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.
 Date: _____ Signed: _____
 George P. Wooden
 Registered Land Surveyor
 No. 1573, Arkansas

CERTIFICATE OF FINAL PLAT APPROVAL:
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held July 10, 2023. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.
 Date: _____ Signed: _____
 Rick Johnson, Chairman
 Bryant Planning Commission

FINAL PLAT SARATOGA PLACE SUBDIVISION CITY OF BRYANT SALINE COUNTY, ARKANSAS

NO FENCES CONSTRUCTED ACROSS DRAINAGE OR EXCLUSIVE SEWER EASEMENT.

PROPERTY SPECIFICATIONS:
 ZONING CLASSIFICATION: R-1-S
 MIN. LOT SIZE: 6,000 S.F.
 NUMBER OF LOTS: 30
 SOURCE OF WATER: SALEM WATER
 SOURCE OF SEWER: CITY OF BRYANT
 BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN
 EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 REAR - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN
 STREET RIGHT OF WAY: 50' OR AS SHOWN
 STREET WIDTH: 28' B.O.C. TO B.O.C.
 LOT CORNERS: SET #4 REBAR WITH CAP
 TRACT A WILL BE OWNED & MAINTAINED BY PROPERTY OWNERS ASSOCIATION. THE ENTIRE LIMITS OF TRACT A ARE A DRAINAGE AND UTILITY EASEMENT.

DOCUMENTS USED FOR THE PREPARATION OF THIS SURVEY

- JAMES RASBURY 2012-03-06
- HOPE ENGINEERS FOR COOK 1988
- HOPE ENGINEERS FOR COOK 1993-07-06
- BROOKS SURVEYING 2008-04-17
- BOOK 2018 PAGE 006759
- BOOK 2014 PAGE 33990
- BOOK 2012 PAGE 97670
- BOOK 2012 PAGE 66543
- BOOK 2010 PAGE 59382
- BOOK 2010 PAGE 32719
- BOOK 2009 PAGE 41535
- BOOK 2008 PAGE 35197 GENERAL WARRANTY DEED
- BOOK 2004 PAGE 1944 WARRANTY DEED
- GLO ORIGINAL PLAT T1S R14W DATED 1822-08-22
- GLO DUPLICATE PLAT T1S R14W DATED 1859
- BOOK 2012 PAGE 68815 EASEMENT

PROPERTY SPECIFICATIONS:

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 LOT CORNERS: SET #4 REBAR WITH CAP
 TRACT A WILL BE OWNED & MAINTAINED BY PROPERTY OWNERS ASSOCIATION. THE ENTIRE LIMITS OF TRACT A ARE A DRAINAGE AND UTILITY EASEMENT.

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C161	38.73	25.00	88°46'12"	S46° 45' 51"W	34.97
C170	38.86	25.00	89°03'44"	S46° 37' 05"W	35.06
C176	19.09	25.00	43°45'28"	N56° 16' 42"W	18.63
C177	58.23	61.00	54°41'25"	N61° 44' 40"W	56.04
C183	31.52	61.00	29°36'25"	S53° 07' 50"E	31.17
C184	30.68	25.00	70°18'48"	S32° 46' 39"E	28.79
C185	51.80	61.00	48°39'21"	S66° 34' 57"W	50.26
C186	40.02	25.00	91°43'24"	S42° 59' 20"E	35.88
C187	85.78	61.00	80°33'51"	S1° 57' 31"W	78.89

PROPERTY SPECIFICATIONS:
 ZONING CLASSIFICATION: R-1-S
 MIN. LOT SIZE: 6,000 S.F.
 NUMBER OF LOTS: 30
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 TRACT A WILL BE OWNED & MAINTAINED BY PROPERTY OWNERS ASSOCIATION. THE ENTIRE LIMITS OF TRACT A ARE A DRAINAGE AND UTILITY EASEMENT.

BASIS OF BEARINGS:
 NAD 83 ARKANSAS GRID SOUTH ZONE (GPS)

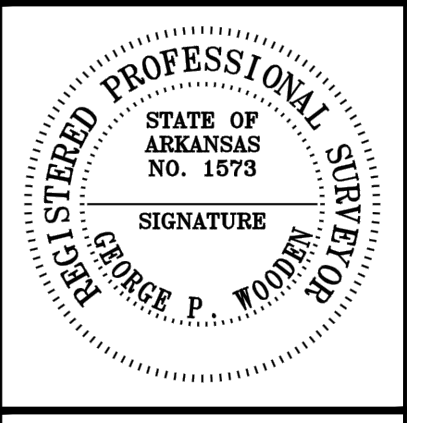
CERTIFICATIONS:
 By affixing my seal and signature, I George P. Wooden, PLS No. 1573, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0225D dated 3/28/2017, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.

PROPERTY DESCRIPTION:
 LEGAL DESCRIPTION
 A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A RAILROAD SPIKE BEING THE CENTER OF SAID SECTION 7; THENCE CONTINUING ALONG THE EAST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, S0°54'38"W A DISTANCE OF 186.51 FEET TO A FOUND REBAR WITH CAP #1399, THENCE S2°09'25"W A DISTANCE OF 129.78 FEET TO A FOUND PINCH PIPE; THENCE N88°20'29"W A DISTANCE OF 1332.31 FEET TO A FOUND PINCH PIPE; THENCE ALONG THE WEST LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, N2°08'51"E A DISTANCE OF 325.54 FEET TO A FOUND 1" PIPE; THENCE ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER THE FOLLOWING CALLS, S87°58'07"E A DISTANCE OF 543.90 FEET TO A FOUND REBAR WITH CAP #1141; S87°56'47"E A DISTANCE OF 222.90 FEET TO A FOUND REBAR WITH CAP #1506; AND S87°54'47"E A DISTANCE OF 561.45 FEET TO THE POINT OF BEGINNING; CONTAINING 9.81 ACRES (427,323.6 SQUARE FEET), MORE OR LESS, SUBJECT TO WISE ROAD RIGHT OF WAY.

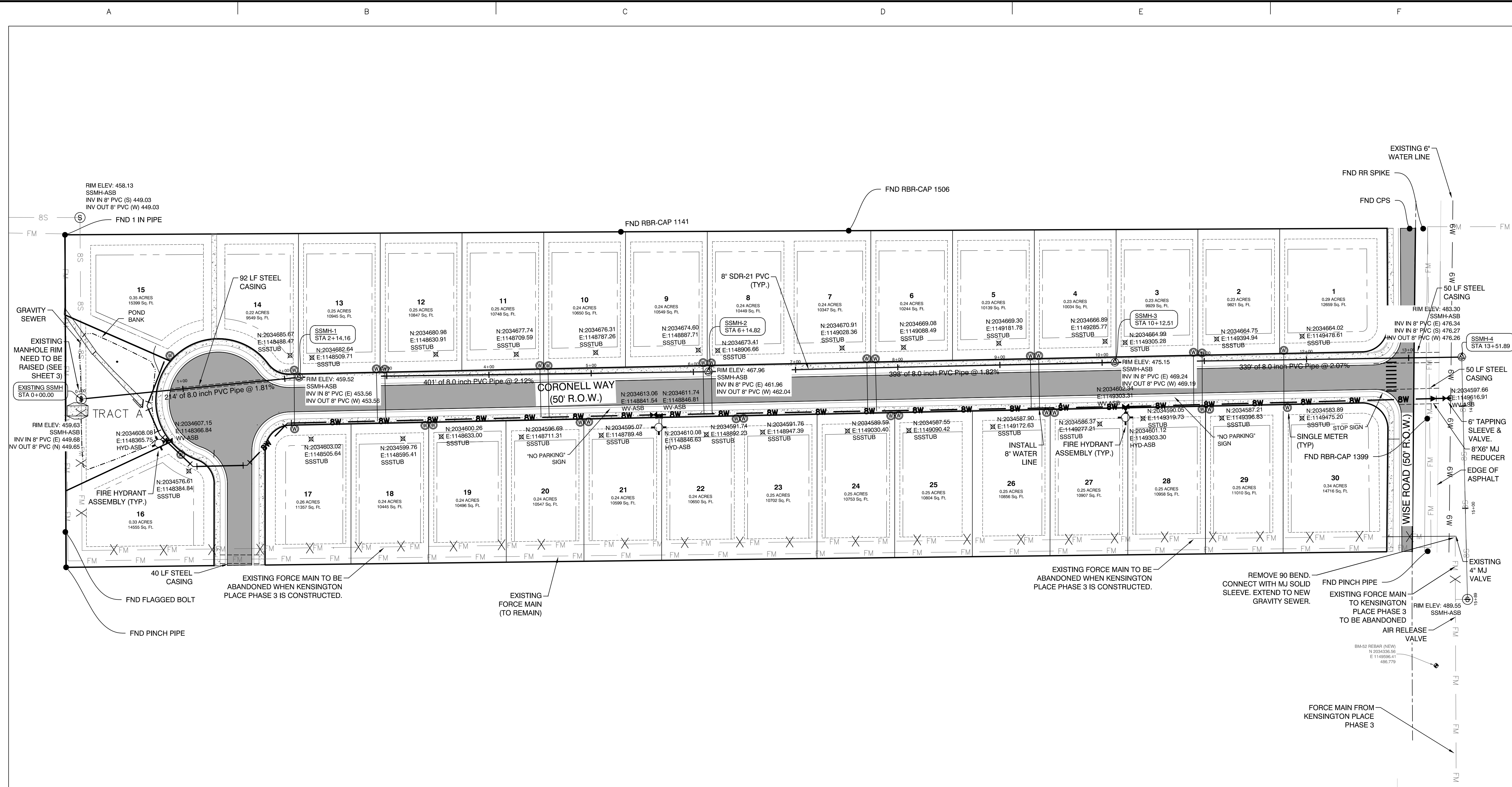
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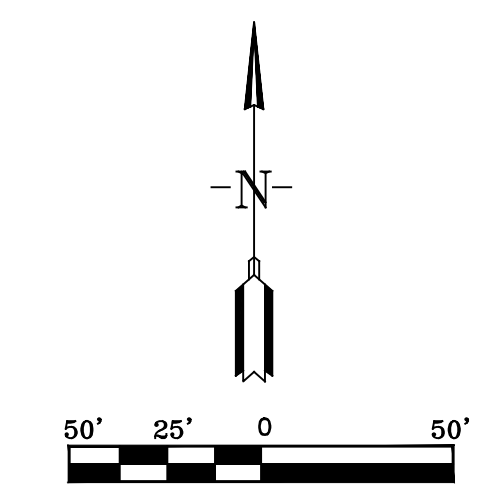


CONTENTS:
FINAL PLAT

PROJECT NO:
 17084
 DATE:
 JUNE 16, 2023
 SHEET NO:
 1



- NOTES:**
- BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
 - ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
 - WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
 - ALL SEWER LINE CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 - ALL WATER LINE CONSTRUCTION SHALL COMPLY WITH SALEM WATER USERS STANDARD SPECIFICATIONS & DETAILS.
 - MAINTAIN 10 FEET OF HORIZONTAL SEPARATION BETWEEN WATER & SEWER LINES. MAINTAIN 18" VERTICAL COVER BETWEEN WATER AND SEWER LINE.



DATE	REVISION
12/05/2017	REVISED PER CITY OF BRYANT
12/14/2017	REVISED PER CITY OF BRYANT
2/23/2017	REVISED PER ADH
09/22/2020	REVISED PER CITY OF BRYANT

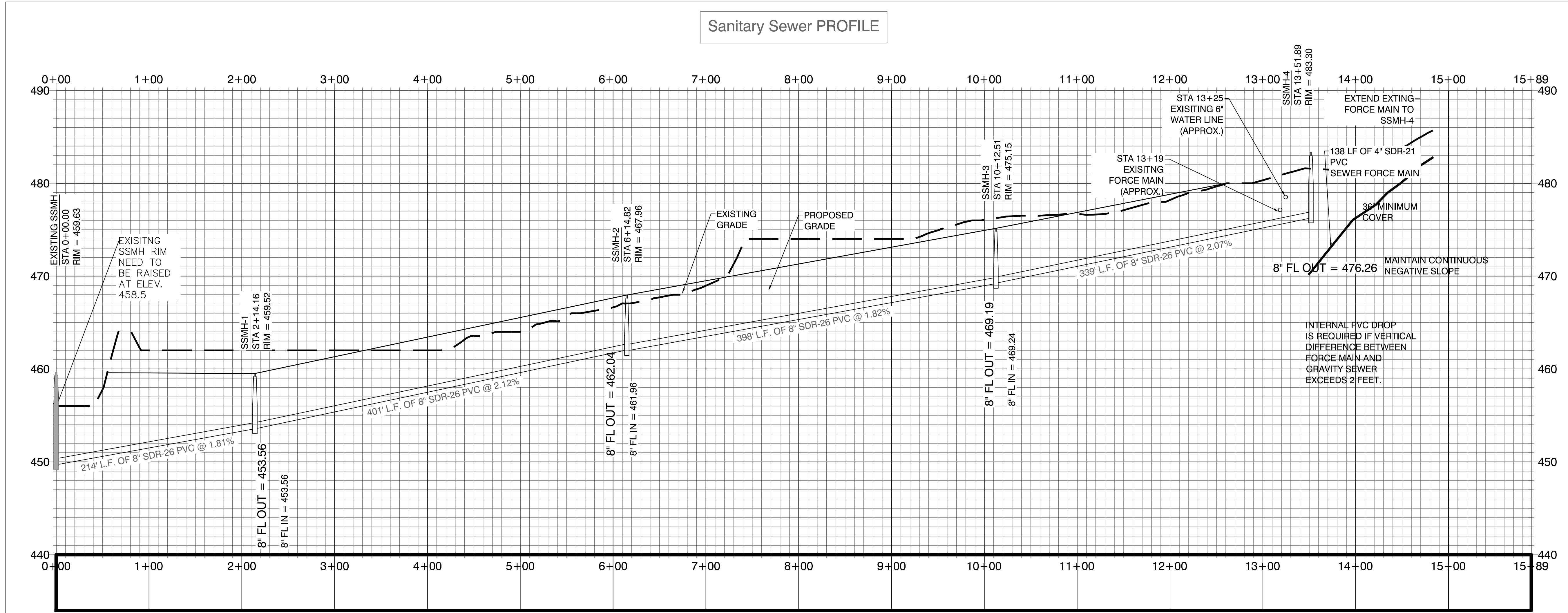
GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116 (72018)
 2909 Military Road
 Benton, Arkansas 72015
 Ph (501) 408-4650
 Fx (888) 900-3068
 gnatengineering@gmail.com

SARATOGA PLACE SUBDIVISION
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS

**RECORD
 DRAWING**

CONTENTS:	
OVERALL WATER & SANITARY SEWER PLAN	
PROJECT NO:	17084
DATE:	AUG. 26, 2020
SHEET NO:	2

Sanitary Sewer PROFILE



- NOTES:**
- ADJUST RIM ELEVATION TO FINISHED GRADE AS REQUIRED.
 - SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
 - MAINTAIN 10 FEET OF HORIZONTAL SEPARATION BETWEEN WATER & SEWER LINES.
 - ALL MANHOLES SHALL BE EPOXY COATED PER CITY OF BRYANT REQUIREMENTS.
 - ALL DUCTILE IRON GRAVITY SEWER SHALL BE POLY WRAPPED & EPOXY COATED PER CITY OF BRYANT REQUIREMENTS.
 - LIFT STATION & FORCE MAIN DISCHARGE MANHOLES SHALL HAVE SPECIAL EPOXY COATING PER CITY OF BRYANT REQUIREMENTS.



REVISION	DATE

GNE Designing our client's success
GarNat Engineering, LLC
 Ph (501) 408-4650
 P.O. Box 116 (72018)
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SARATOGA PLACE SUBDIVISION
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS

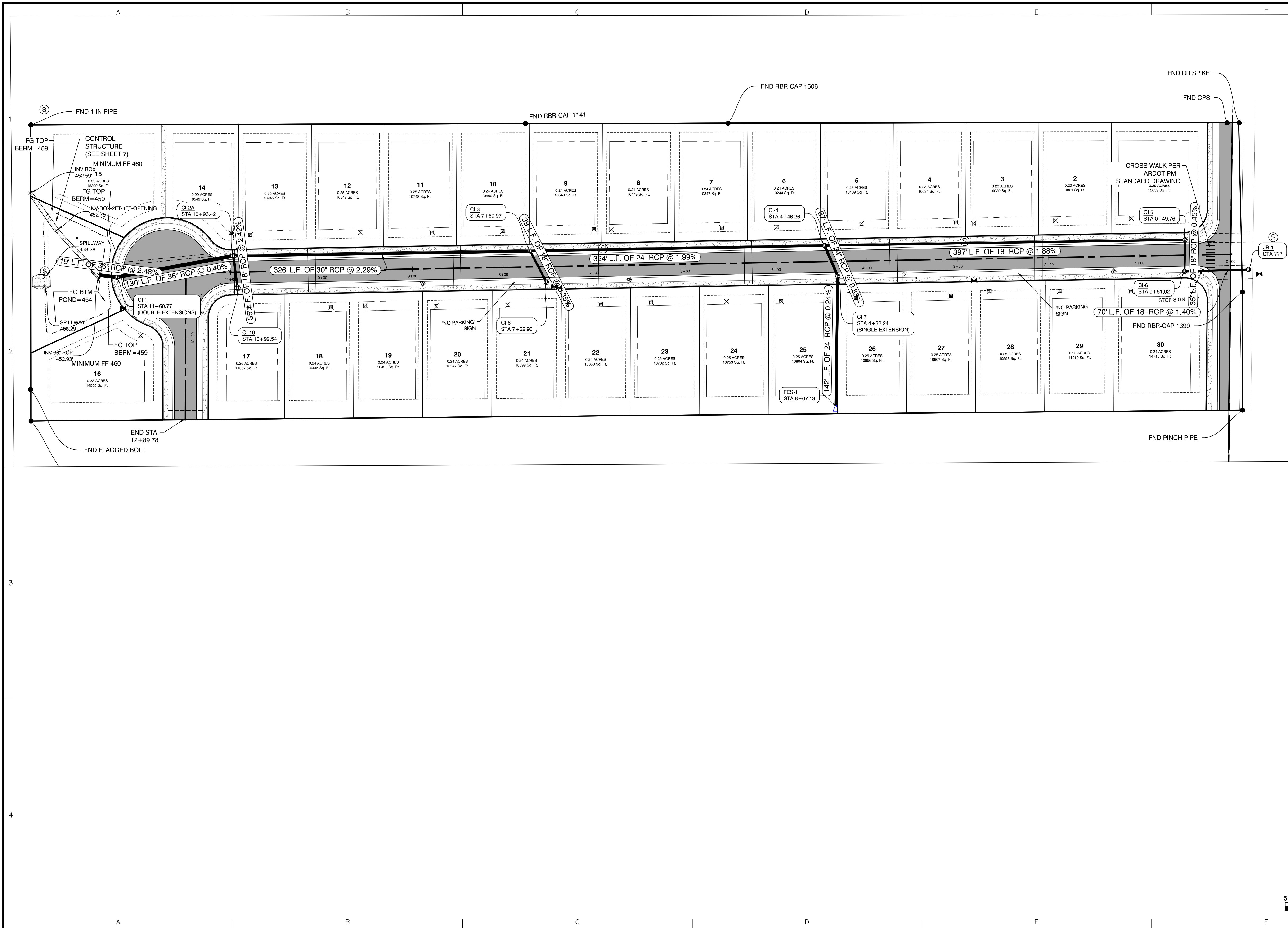
**RECORD
 DRAWING**

CONTENTS:
 SANITARY SEWER
 PROFILE

PROJECT NO:
 17084

DATE:
 AUG. 26, 2020

SHEET NO:
3



REVISION	BY
1	REVISED PER CITY OF BRYANT

DATE: 09/22/2020

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116 (72018) Ph (501) 408-4650
 2909 Military road Fx (888) 900-3068
 Benton, Arkansas 72015 gnatengineering@gmail.com

SARATOGA PLACE SUBDIVISION
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS

**RECORD
 DRAWING**

CONTENTS:
**OVERALL
 STREET &
 DRAINAGE
 PLAN**

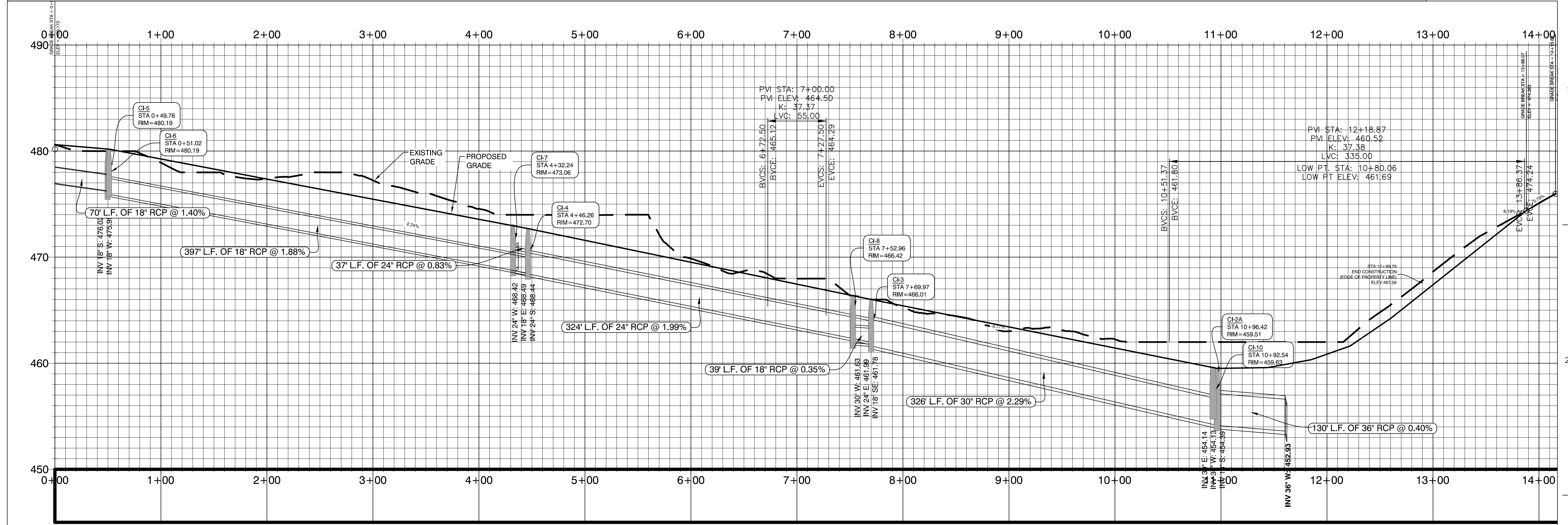
PROJECT NO:
17084

DATE:
AUG. 26, 2020

SHEET NO:
4

J:\Projects\2017 Projects\17084 Saratoga Place - Main Road Subdivision\Drawings\Overall\Overall.dwg Saratoga Place ASB 180-08223.dwg

CORONELL WAY DRAINAGE PROFILE



BY	REVISION	DATE
NC	REVISE PER BRYANT	12/5/2017

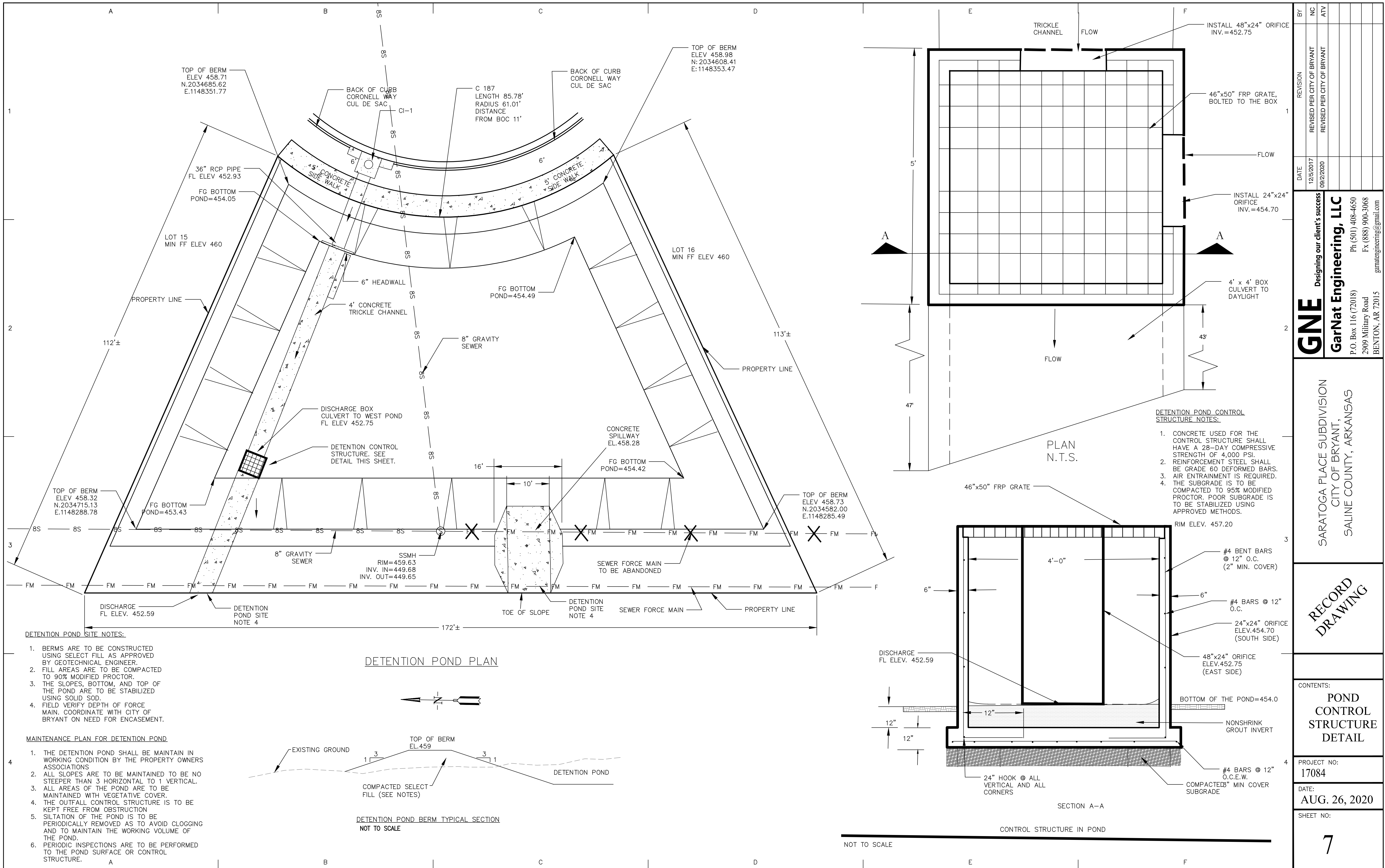
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SARATOGA PLACE SUBDIVISION
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS

RECORD
DRAWING

CONTENTS:
STREET PROFILES & DRAINAGE DETAILS
PROJECT NO: 17084
DATE: AUG. 26, 2020
SHEET NO: 5

J:\Projects\2017 Projects\17084 Saratoga Place - Main Road Subdivision\Drawings\DWG\Preliminary Plans and other\2017\17084 Saratoga Place ASB 130-08223.dwg



BY	NC	ATV
REVISION	REVISOR	DATE
1	REVISED PER CITY OF BRYANT	12/5/2017
2	REVISED PER CITY OF BRYANT	09/2/2020

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GarNat Engineering, LLC
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 BENTON, AR 72015
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SARATOGA PLACE SUBDIVISION
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS

**RECORD
 DRAWING**

CONTENTS:
**POND
 CONTROL
 STRUCTURE
 DETAIL**

PROJECT NO:
17084

DATE:
AUG. 26, 2020

SHEET NO:
7