

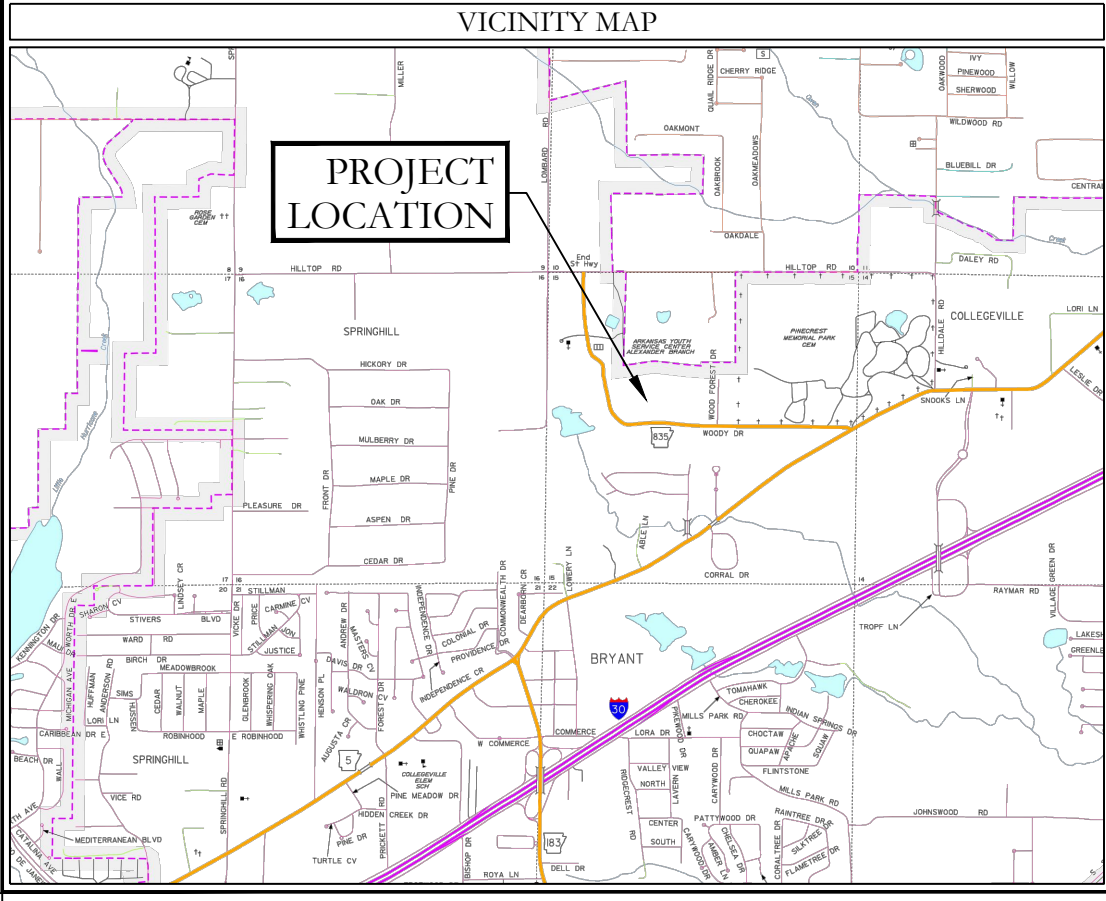
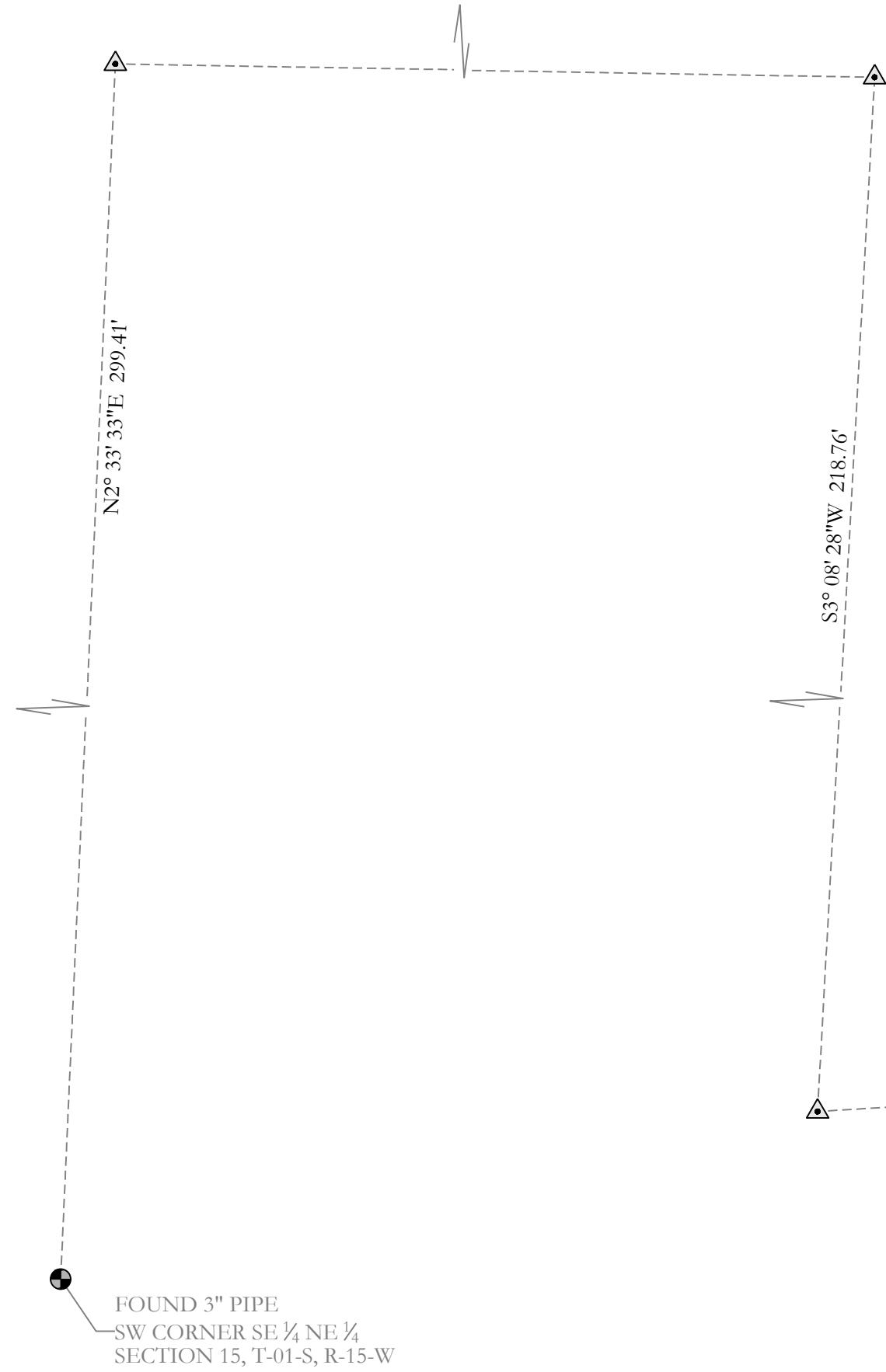


**PROPERTY DESCRIPTION:**

PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE 1/4 NW 1/4) OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 14 WEST, IN SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SAID SE 1/4 NW 1/4 OF SECTION 15, A FOUND 3" PIPE, THENCE, ALONG THE WEST LINE OF THE SE 1/4 NW 1/4, N02°33'33"E, A DISTANCE OF 299.41 FEET TO A POINT; THENCE S89°01'50"E, A DISTANCE OF 199.07 FEET TO A POINT; THENCE S3°08'28"W, A DISTANCE OF 218.76 FEET TO A POINT; THENCE N86°26'32"E, A DISTANCE OF 249.65 FEET TO THE POINT OF BEGINNING; THENCE N5°52'51"E, A DISTANCE OF 148.22 FEET TO A POINT; THENCE N10°54'06"E, A DISTANCE OF 53.48 FEET TO A POINT; THENCE N43°42'18"E, A DISTANCE OF 100.43 FEET TO A POINT; THENCE S58°00'48"E, A DISTANCE OF 167.23 FEET TO A POINT; THENCE S18°27'48"W, A DISTANCE OF 189.54 FEET TO A POINT; THENCE S88°49'17"W, A DISTANCE OF 163.10 FEET TO A POINT; THENCE S86°26'32"W, A DISTANCE OF 13.47 FEET TO THE POINT OF BEGINNING; CONTAINING 45,584.694 SQUARE FEET OR 1.046 ACRES MORE OR LESS.

CURVE DATA					
Curve #	Delta	Chord B & D	Arc Length	Arc Radius	
C18	106°14'28"	N60°44'10"W 79.99	92.71	50.00	
C19	50°42'44"	N32°58'02"W 21.41	22.13	25.00	



**CERTIFICATIONS:**

**OWNER:** Name: \_\_\_\_\_ Address: \_\_\_\_\_

**DEVELOPER:** Name: \_\_\_\_\_ Address: \_\_\_\_\_

**CERTIFICATE OF OWNER:**  
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, planted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution \_\_\_\_\_ Name: \_\_\_\_\_

Source of Title: \_\_\_\_\_

**CERTIFICATE OF SURVEYING ACCURACY:**  
I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution \_\_\_\_\_ Jonathan L. Hope  
Registered Professional  
Land Surveyor No. 1762  
Arkansas

**CERTIFICATE OF FINAL ENGINEERING ACCURACY:**  
I, Kazi Islam, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

Date of Execution \_\_\_\_\_ Kazi Islam  
Registered Professional  
Engineer, No. 20876  
Arkansas

**CERTIFICATE OF FINAL APPROVAL:**  
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held \_\_\_\_\_, 20\_\_\_\_. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution \_\_\_\_\_ Rick Jordan,  
Bryant Planning Commission



By affixing my seal and signature, I Jonathan L. Hope PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C10240D, dated 06/19/2012.

**PROPERTY SPECIFICATIONS:**

OWNER: TED VAN TASSEL 510 TALLEY ROAD LITTLE ROCK, AR 7204	AVERAGE LOT SIZE: 10000 SQ FT NUMBER OF LOTS: 1 SOURCE OF WATER: CITY OF BRYANT SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC: CITY ENERGY
DEVELOPER: TED VAN TASSEL 510 TALLEY ROAD LITTLE ROCK, AR 7204	BUILDING SETBACKS: FRONT: 20' OR AS SHOWN REAR: 20' OR AS SHOWN SIDE: 8' OR AS SHOWN
ENGINEERS: HOPE CONSULTING INC. 117 S. MARKET STREET BENTON, AR 72015	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION: MEADOW RIDGE PHASE 4 INSTRUMENT # 00 - 3234 00 - 3236	ZONING: R2

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

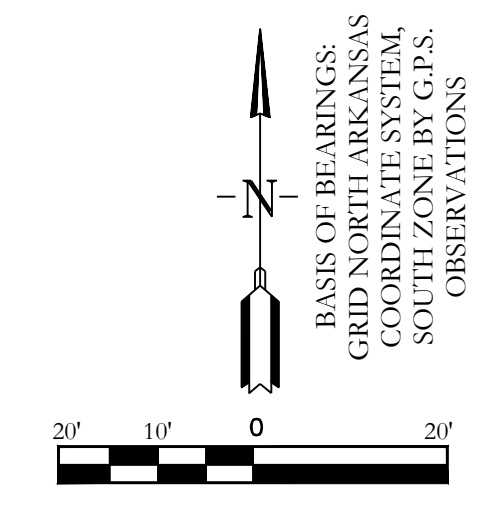
117 S. Market Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**TED VAN TASSEL**

REPLAT OF LOT 72  
**MEADOW RIDGE SUBDIVISION PHASE 4**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 6/16/2023	C.A.D. BY: B. JOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	18-0440
SHEET:	SCALE: 1" = 20'	
500	01S 14W 0 15 420	62 1762

REPLAT OF LOT 72  
**MEADOW RIDGE SUBDIVISION PHASE 4**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS



**LEGEND**

- - Stop Sign
- ⊙ - Street light
- ⊕ - Fire Hydrant
- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap (SIP)
- (D) - Deeded
- (M) - Measured
- (P) - Platted