



## **Bryant Planning Commission Meeting**

Monday, October 25, 2021

5:00 PM

Boswell Municipal Complex-City Hall Courtroom

210 SW 3rd Street

Or watch live on YouTube at:

<https://www.youtube.com/c/BryantArkansas>

## **Agenda**

### **CALL TO ORDER**

### **ANNOUNCEMENTS**

### **DRC REPORT**

1. Pinnacle Point Assisted Living Facility - HWY 5  
*Integrity Construction - Requesting Site Plan and Woody Drive Approval - Ward 2 - **Recommended Approval. Contingent upon Stormwater Comments Being Addressed***

### **NEW BUSINESS**

1. Pinnacle Point Assisted Living Facility - HWY 5  
*Integrity Construction - Requesting Site Plan and Woody Drive Approval - Ward 2*

### **DIRECTOR'S REPORT**

### **ADJOURNMENT**

**Master Street Plan**

- Local Road
- Proposed Local Road
- Collector
- Proposed Collector
- Minor Arterial
- Proposed Minor Arterial
- Interstate

**Boundaries and Constraints**

- Planning Area Boundary
- Other City
- Bryant
- Floodplain

**CITY OF BRYANT**  
  
**WALK BIKE DRIVE**  
**MASTER STREET PLAN**

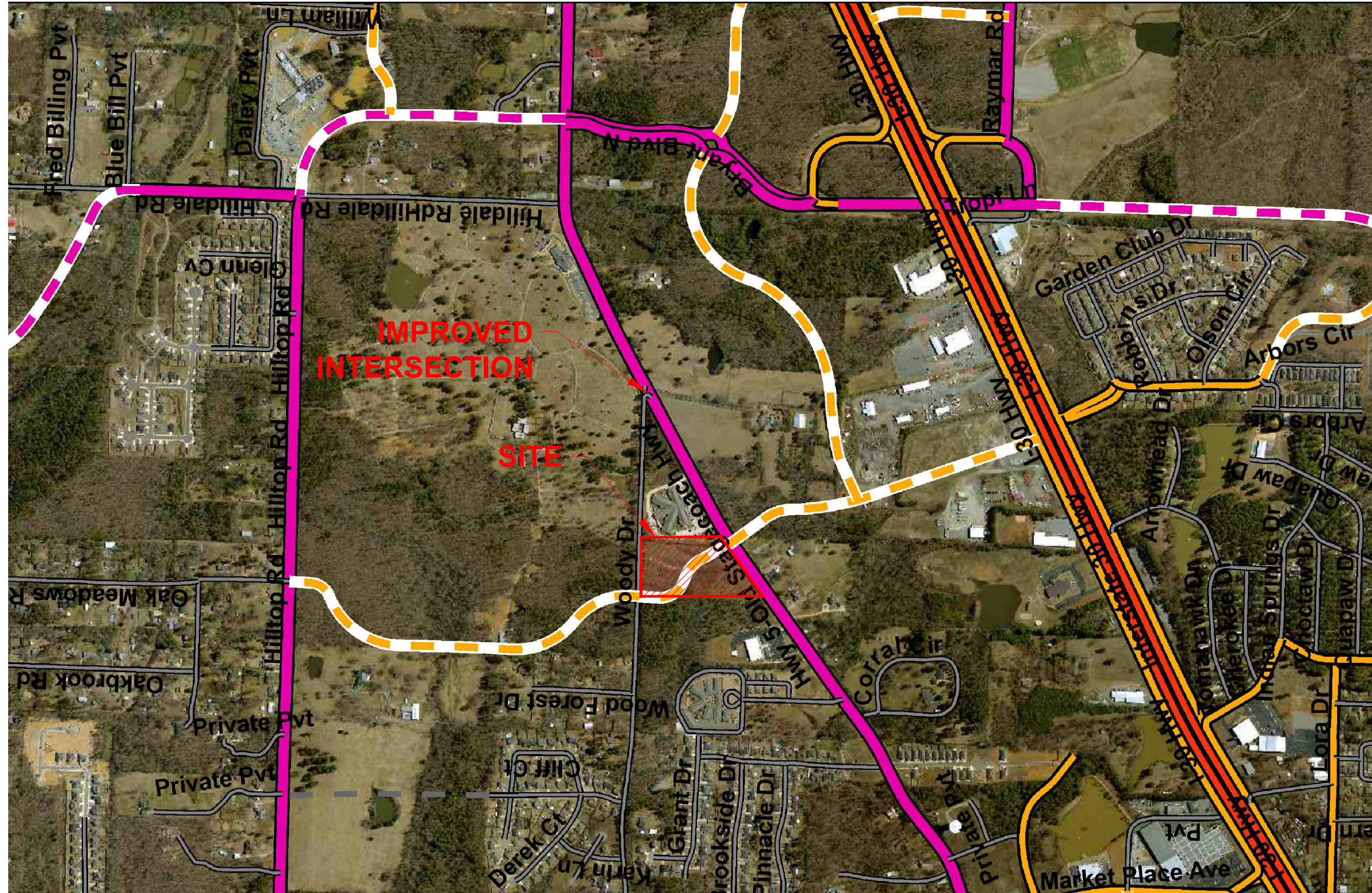
Revised: May 1, 2017

0 2,000 4,000 Feet

SEE EX-2

Planned Interchange

**SITE EXHIBIT EX-1**



Pickering Firm, Inc.  
 Facility Design • Civil Engineering • Surveying •  
 Transportation • Natural / Water Resources

317 South Church Street  
 Jonesboro, AR 72401  
 870.336.6663

<b>PINNACLE POINT AT BRYANT          ASSISTED LIVING FACILITY          STATE HIGHWAY #5 - BRYANT, ARKANSAS</b>	
DESCRIPTION	PROJECT #
VICINITY MAP	25526
SCALE	DATE
N.T.S.	SEP, 2018

TITLE

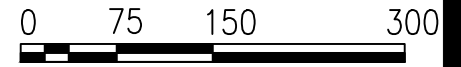
**MASTER  
 STREET PLAN  
 VICINITY MAP**

SHEET #

**EX-2**



NORTH



1 INCH = 150 FEET

FOREST HILLS CEMETERY INC

DEMO APPROXIMATELY 325 LF OF EXISTING WOODY DRIVE

6,122 SF± (0.14 AC±)

50' R.O.W.  
R200'

RELOCATED WOODY DRIVE AND HWY 5 INTERSECTION

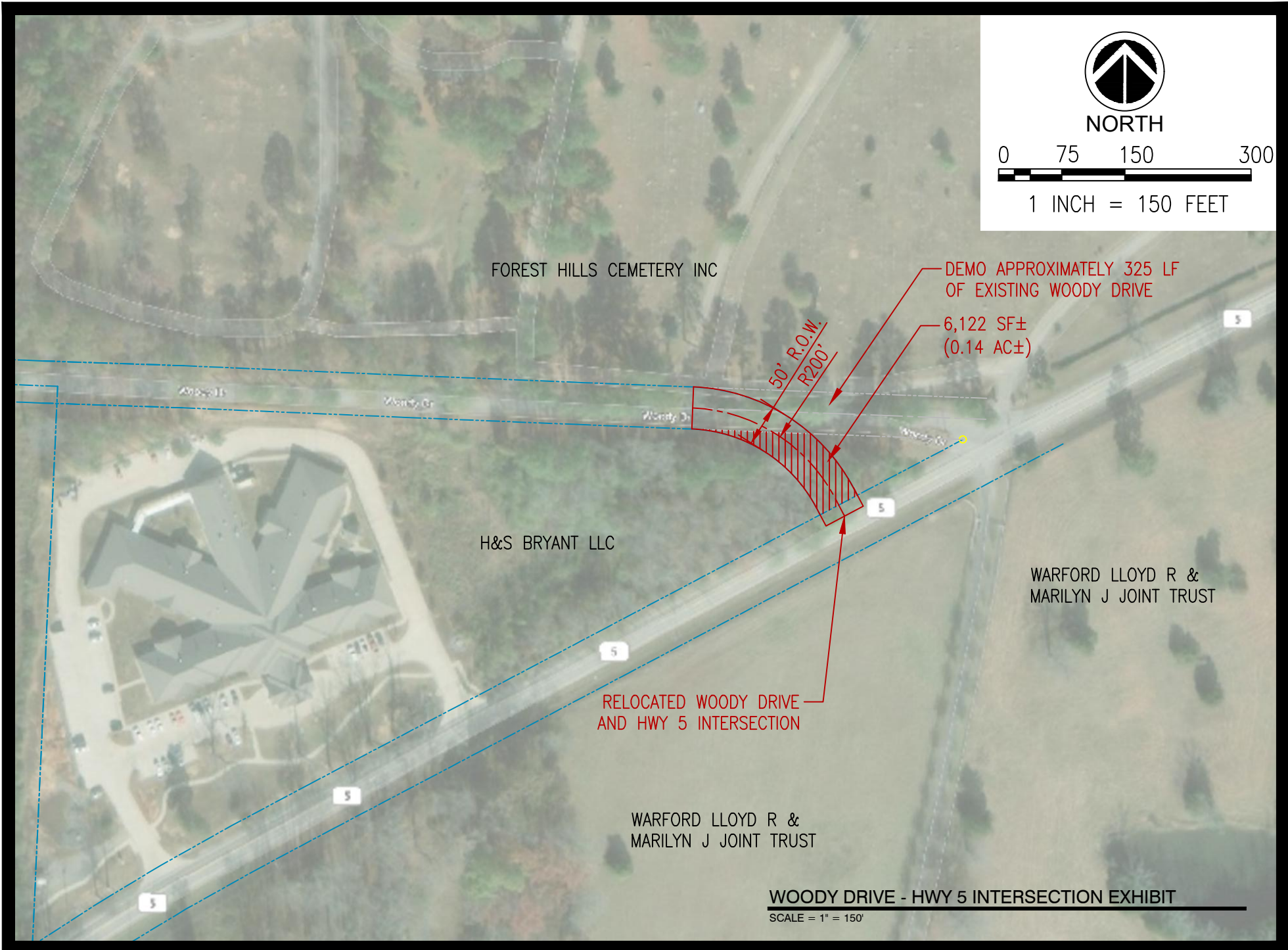
H&S BRYANT LLC

WARFORD LLOYD R & MARILYN J JOINT TRUST

WARFORD LLOYD R & MARILYN J JOINT TRUST

**WOODY DRIVE - HWY 5 INTERSECTION EXHIBIT**

SCALE = 1" = 150'



Index Of Sheets

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	TYPICAL SECTION AND PAVEMENT SCHEDULE
3	GENERAL NOTES
4	ESTIMATED QUANTITIES
5	PRESENT LAYOUT
6	PROPOSED LAYOUT
7	PROPOSED PROFILE
8	TRAFFIC CONTROL PLAN
9	SIGNAGE AND PAVEMENT MARKING PLAN
10	EROSION PREVENTION AND SEDIMENT CONTROL PLANS
11-14	CROSS - SECTIONS

CITY OF BRYANT,  
DEPARTMENT OF ENGINEERING

**SALINE COUNTY,  
ARKANSAS**

WOODY DRIVE REALIGNMENT

FROM: WOODY DRIVE  
TO: OLD STAGE COACH ROAD

**CONSTRUCTION**

YEAR	SHEET NO.
2019	1

ARDOT STANDARD DRAWING

	DESCRIPTION
PM-1	PAVEMENT MARKING DETAILS
SE-1	TABLES AND METHOD OF SUPERELEVATION FOR ONE-WAY TRAFFIC
SHS-1	STANDARD HIGHWAY SIGNS AND SUPPORT ASSEMBLIES
SHS-2	U-CHANNEL POST ASSEMBLIES
TC-1	STANDARD TRAFFIC CONTROLS FOR HIGHWAY CONSTRUCTION
TC-2	STANDARD TRAFFIC CONTROLS FOR HIGHWAY CONSTRUCTION
TEC-1	TEMPORARY EROSION CONTROL DEVICES
TEC-2	TEMPORARY EROSION CONTROL DEVICES
TEC-3	TEMPORARY EROSION CONTROL DEVICES

CITY OF BRYANT STANDARD DRAWING

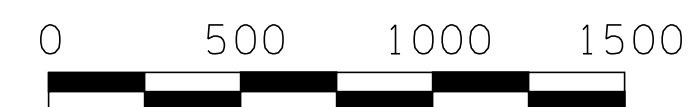
	DESCRIPTION
DETAIL 4	TYPICAL SECTION RURAL COLLECTOR STREET

BEGIN PROJECT  
STA. 17+55.50  
N 2028945.72  
E 1167554.07



END PROJECT  
STA. 19+84.29  
N 2028823.81  
E 1167733.97

SCALE: 1" = 500'



SPECIAL NOTES

THIS PROJECT TO BE CONSTRUCTED UNDER THE ARKANSAS STATE HIGHWAY COMMISSION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, EDITION OF 2014.

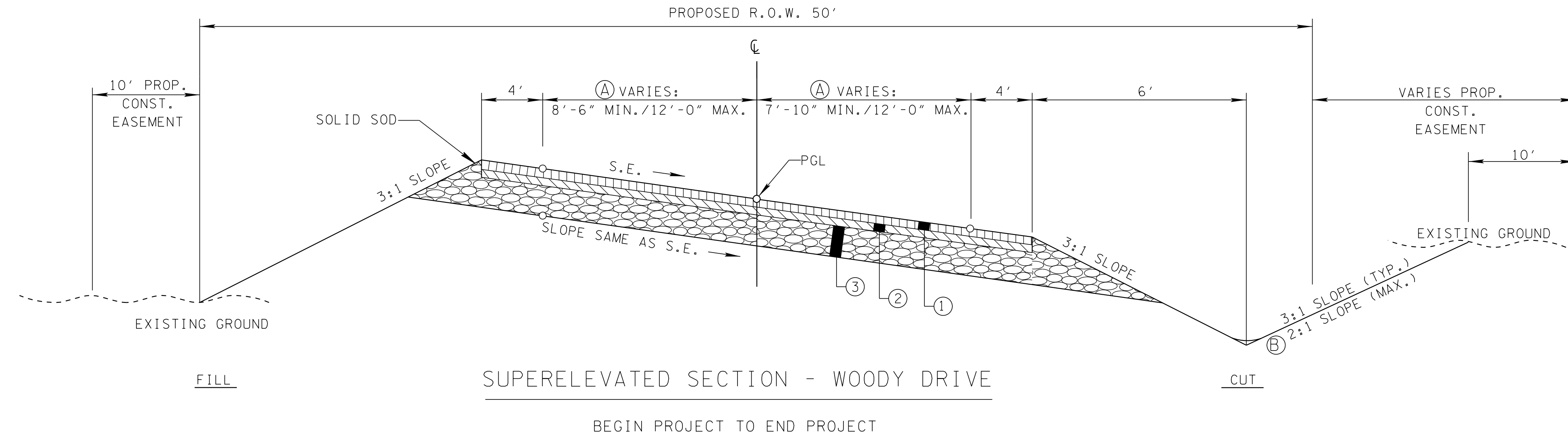
PROJECT LENGTH 0.043 MILES



PICKERING FIRM, INC.  
Service and Good Work, Our Foundation, Our Future.  
100 E. HUNTINGTON, SUITE B  
Jonesboro, AR 72401  
PH 870.819.7918



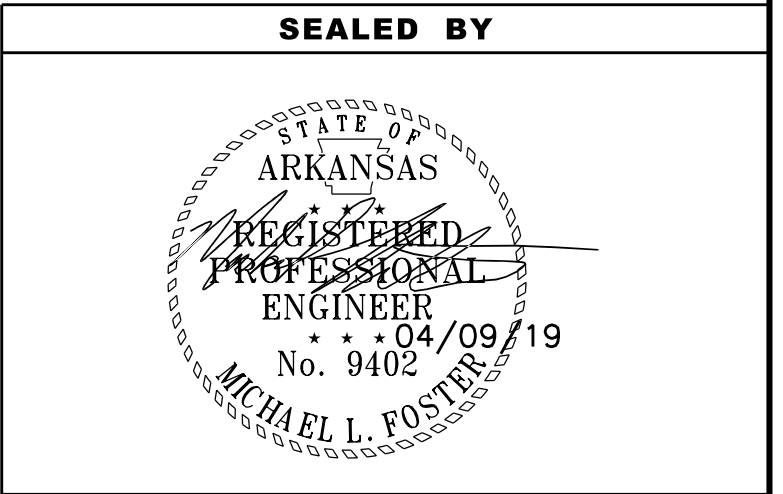
TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		2



**NOTES:**

- Ⓐ VARIES: FROM STA. 17+55.50 TO STA. 18+35.51
- Ⓑ SLOPES VARY (SEE CROSS-SECTIONS FOR MORE DETAIL)

PROPOSED PAVEMENT SCHEDULE	
①	ASPHALT CONCRETE HOT MIX SURFACE COURSE @ 1.5" THK. ITEM NO. 407
②	ASPHALT CONCRETE HOT MIX BINDER COURSE @ 2" THK. ITEM NO. 406
③	AGGREGATE BASE COURSE (CLASS 7) @ 8" THK. ITEM NO. 303



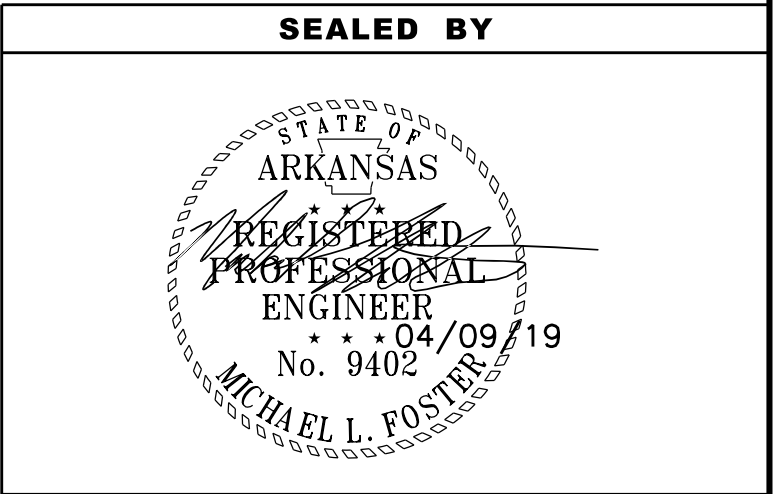
**CITY OF BRYANT**

TYPICAL SECTION  
AND  
PAVEMENT  
SCHEDULE

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		3

**GENERAL NOTES:**

1. GRADE LINE DENOTES FINISHED GRADE WHERE SHOWN ON PLANS.
2. ALL PIPE LINES, POWER, TELEPHONE, AND TELEGRAPH LINES TO BE MOVED OR LOWERED BY THE RESPECTIVE OWNERS AS PER AGREEMENT WITH SUCH OWNERS.
3. ANY EQUIPMENT OR APPURTENANCE THAT INTERFERES WITH THE PROPOSED CONSTRUCTION AND WHICH MAY BE THE PROPERTY OF UTILITY SERVICE ORGANIZATIONS SHALL BE MOVED BY THE OWNERS UNLESS OTHERWISE PROVIDED.
4. ALL LAND MONUMENTS LOCATED WITHIN THE CONSTRUCTION AREA SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 107.12 OF THE STANDARD SPECIFICATIONS.
5. ALL TREES THAT DO NOT DIRECTLY INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE SPARED AS DIRECTED BY THE ENGINEER. CARE AND DISCRETION SHALL BE USED TO ENSURE THAT ALL TREES NOT TO BE REMOVED SHALL BE HARMED AS LITTLE AS POSSIBLE DURING THE CONSTRUCTION OPERATIONS.
6. THE SEQUENCE AS SHOWN ON THE MAINTENANCE OF TRAFFIC PLANS IS A GENERAL OUTLINE FOR THE CONSTRUCTION OF THIS PROJECT, AND IN NO WAY IS IT INTENDED TO COVER EVERY ITEM IN THE PROJECT. ITEMS NOT CRITICAL TO THE CONSTRUCTION SEQUENCE MAY BE CONSTRUCTED IN ANY STAGE AS APPROVED BY THE RESIDENT ENGINEER.
7. ALL FLEXIBLE BASE AND ASPHALTIC PAVEMENTS REMOVED SHALL BE PAID FOR UNDER THE ITEM NO. 210 – UNCLASSIFIED EXCAVATION.ACCESS ALONG ROADWAYS SHALL BE MAINTAINED AT ALL TIMES.
8. THE EXISTING ASPHALT PAVEMENT TO BE REMOVED FROM THE REMAINING PAVEMENT SHALL BE SEPARATED BY SAWING ALONG A NEAT LINE. AFTER SAWING, THE PAVEMENT TO BE REMOVED SHALL BE CAREFULLY REMOVED IN A MANNER THAT WILL NOT DAMAGE THE PAVEMENT THAT IS TO REMAIN. ANY DAMAGE OF THE ASPHALT PAVEMENT THAT IS TO REMAIN IN PLACE SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKEOUT. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS, ELEVATIONS, STATIONS, ETC. BEFORE ORDERING MATERIALS OR PROCEEDING WITH WORK, AND SHALL BE RESPONSIBLE FOR SAME. IF ANY DISCREPANCY IN THE PLANS OR SPECIFICATIONS ARISES, THE CONTRACTOR SHALL CONTACT THE OWNER BEFORE INITIATING WORK AFFECTED BY THE DISCREPANCY.
10. THE CONTRACTOR IS CAUTIONED AND SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER’S REPRESENTATIVE OF ANY ERROR OR OMISSION ON THE PLANS WHICH MAY CREATE ADDITIONAL WORK OR EXPENSE BY THE CONTRACTOR, AND SHALL OBTAIN A WRITTEN WORK ORDER FROM THE OWNER’S REPRESENTATIVE PRIOR TO PROCEEDING WITH ANY EXTRA WORK WHICH MAY BE CAUSED FROM SUCH ERROR OR OMISSION ON THE PLANS.
11. THE CONTRACTOR SHALL MAKE APPLICATION FOR, OBTAIN, AND PAY FOR ALL NECESSARY LICENSES AND PERMITS REQUIRED FOR THIS PROJECT. THE CONTRACTOR SHALL INSURE THAT HIS OPERATIONS ARE CARRIED OUT IN CONFORMANCE WITH ALL APPLICABLE STATE, LOCAL, AND FEDERAL CODES, STATUTES, AND REGULATIONS CONCERNING THE PROTECTION OF LIVES AND PROPERTY. ANY CONSTRUCTION OBSERVATION BY THE OWNER OR HIS REPRESENTATIVE OF THE CONTRACTOR’S PERFORMANCE SHALL NOT LIMIT THE CONTRACTOR’S RESPONSIBILITY TO ABIDE BY ALL APPLICABLE REQUIREMENTS.
12. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO EXISTING FACILITIES AND/OR ADJACENT PROPERTIES, AND SHALL BE RESPONSIBLE FOR SAME.
13. CONTRACTOR SHALL CALL ARKANSAS ONE-CALL PRIOR TO ANY EXCAVATION AT THE SITE. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES ARE SHOWN BASED UPON FIELD SURVEYS AND INFORMATION PROVIDED BY OTHERS. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THE CONTRACTOR.
14. ACCESS ALONG ROADWAYS SHALL BE MAINTAINED AT ALL TIMES. COORDINATION WITH THE OWNER PRIOR TO ANY LANE CLOSURES IS REQUIRED.
15. CONTRACTOR SHALL KEEP AN ORDERLY WORK SITE AND SHALL DISPOSE OF ALL CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
16. CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE TO OWNER’S REPRESENTATIVE PRIOR TO COMMENCING WORK.
17. CONTRACTOR WILL BE PROVIDED WITH AN ELECTRONIC DRAWING FOR STAKE OUT PURPOSES.
18. CONTRACTOR SHALL ESTABLISH POSITIVE DRAINAGE OVER SITE, AND SHALL RE-ESTABLISH TURF COVER OVER ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED, OR OTHERWISE FINISHED, IN ACCORDANCE WITH THE SPECIFICATIONS.
19. ANY ADDITIONAL AREA NEEDED BY THE CONTRACTOR FOR STAGING, ETC. SHALL BE ACQUIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
20. ENCASEMENT PIPES SHALL EXTEND FROM R.O.W. TO R.O.W. ALL WORK FOR STEEL ENCASEMENT PIPES SHALL BE IN ACCORDANCE WITH THE CITY OF BRYANT, ARKANSAS STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES. STEEL ENCASEMENT PIPE WILL NOT BE PAID FOR SEPERATELY BUT SHALL BE INCLUDED IN THE COST OF OTHER ITEMS IN THE CONTRACT.



**CITY OF BRYANT**

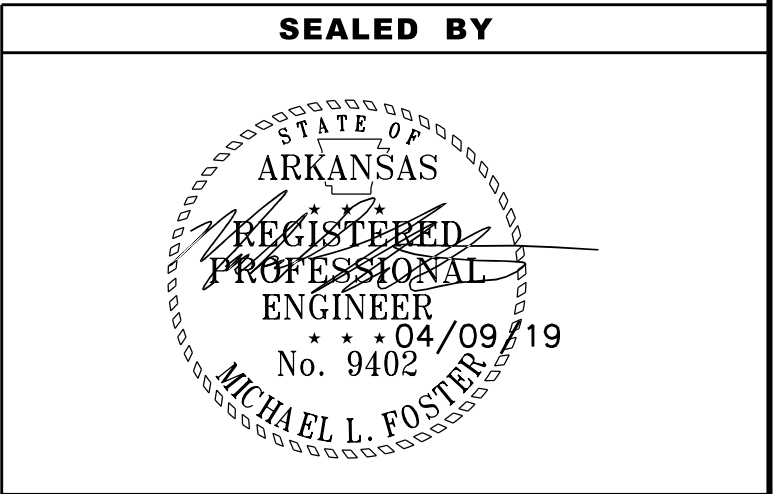
**GENERAL NOTES**

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		4

ESTIMATED ROADWAY QUANTITIES				
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	
	201	GRUBBING	AC	0.3
	201	CLEARING	AC	0.3
(1)	202	R&D OF SIGNS	EACH	3
(2)	210	UNCLASSIFIED EXCAVATION	CU. YD.	343
(3)	210	COMPACTED EMBANKMENT	CU. YD.	87
(4)	401	PRIME COAT	GAL	317
(5)	401	TACK COAT	GAL	80
	303	AGGR.BASE COURSE(CLASS 7)	TON	370
(6)	405	A.B.(PG64-22)ACHM BASE(2")	TON	93
(6)	406	A.B.(PG64-22)ACHM BINDER(1.5")	TON	40
	601	MOBILIZATION	LS	1
	603	MAINTENANCE OF TRAFFIC	LS	1
	604	SIGNS	SQ. FT.	103.5
	604	TRAFFIC DRUMS	EACH	29
	604	REMOVAL OF PAVEMENT MARKING	LF	283
	620	WATER	MG	0.015
(7)	621	SILT FENCE	LF	500
(7)	621	WATTLE (20")	LF	150
	624	SOLID SODDING	SQ. YD.	1162
	635	ROADWAY CONSTRUCTION CONTROL	LS	1
	718	REFL.PAINT PVMT.MRK.WH(4")	LF	621
	718	REFL.PAINT PVMT.MRK.YL(4")	LF	689
	718	REFL.PAINT PVMT.MRK.WH(12")	LF	1
(8)	SP	EROSION CONTROL	LS	1

**FOOTNOTES:**

- (1) INCLUDES ALL MATERIALS NECESSARY TO REMOVE AND RE-SET SIGNS TO NEW LOCATION.
- (2) INCLUDES 90 CU. YD. FOR SCARIFIED AREA. EARTHWORK QUANTITIES SHOWN ABOVE SHALL BE PAID AS PLAN QUANTITIES.
- (3) MATERIAL USED FOR THIS ITEM SHOULD CONSIST OF LOW PLASTICITY, COHESIVE SOILS OR GRANULAR MATERIALS. COHESIVE SOILS AVAILABLE ONSITE MUST HAVE A PLASTICITY INDEX OF NOT MORE THAN 20 AND BE FREE OF ORGANIC MATTER, DEBRIS, OR OTHER DELETERIOUS MATERIAL. MATERIAL MUST ALSO BE ACCEPTABLE TO THE ENGINEER.
- (4) QUANTITY IS BASED UPON ANN APPLICATION OF 0.40 GALLONS PER SQUARE YARD.
- (5) QUANTITY IS BASED UPON ANN APPLICATION OF 0.10 GALLONS PER SQUARE YARD.
- (6) MINERAL AGGGREGATE AND ASPHALT BINDER WILL NOT BE PAID SEPERATELY FOR ACHM ITEMS.
- (7) THE TEMPORARY EROSION CONTROL DEVICES SHOWN ABOVE AND ON THE PLANS SHALL BE INSTALLED IN SUCH A SEQUENCE AS TO DETER EROSION AND SEDIMENTATION FROM ENTERING U.S. WATERWAYS AS EXPLAINED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
- (8) ITEM COVERS ALL EROSION CONTROL MEASURES IDENTIFIED IN THE PLANS AND SWPPP NOT ALREADY COVERED BY SEPARATE PAY ITEMS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SIRE AND PROVIDING SUFFICIENT BMP'S IN ACCORDANCE WITH NPDES GENERAL PERMIT #ARR150000 INCLUDING BUT NOT LIMITED TO CONSTRUCTION/EXIT, SEDIMENT REMOVAL, TEMPORARY SANITARY FACILITIES, ETC.



**CITY OF BRYANT**

**ESTIMATED QUANTITIES**



TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		5

POT 16+56.93

MILLING DEPTH OF 1/2 INCHES IS REQUIRED FOR PORTION OF WOODY DRIVE TO REMAIN

BEGIN PROJECT  
STA. 17+55.50  
N 2028945.72  
E 1167554.07

CURVE WOODY-1  
PI 18+73.67  
N 2,028,941.1632  
E 1,167,672.1536  
Δ 60° 00' 43" (RT)  
D 28° 00' 00"  
R 204.63  
L 214.33  
T 118.17  
SE 0.079 FT/FT  
DESIGN SPEED 20 MPH  
TRANS. LENGTH 160

N



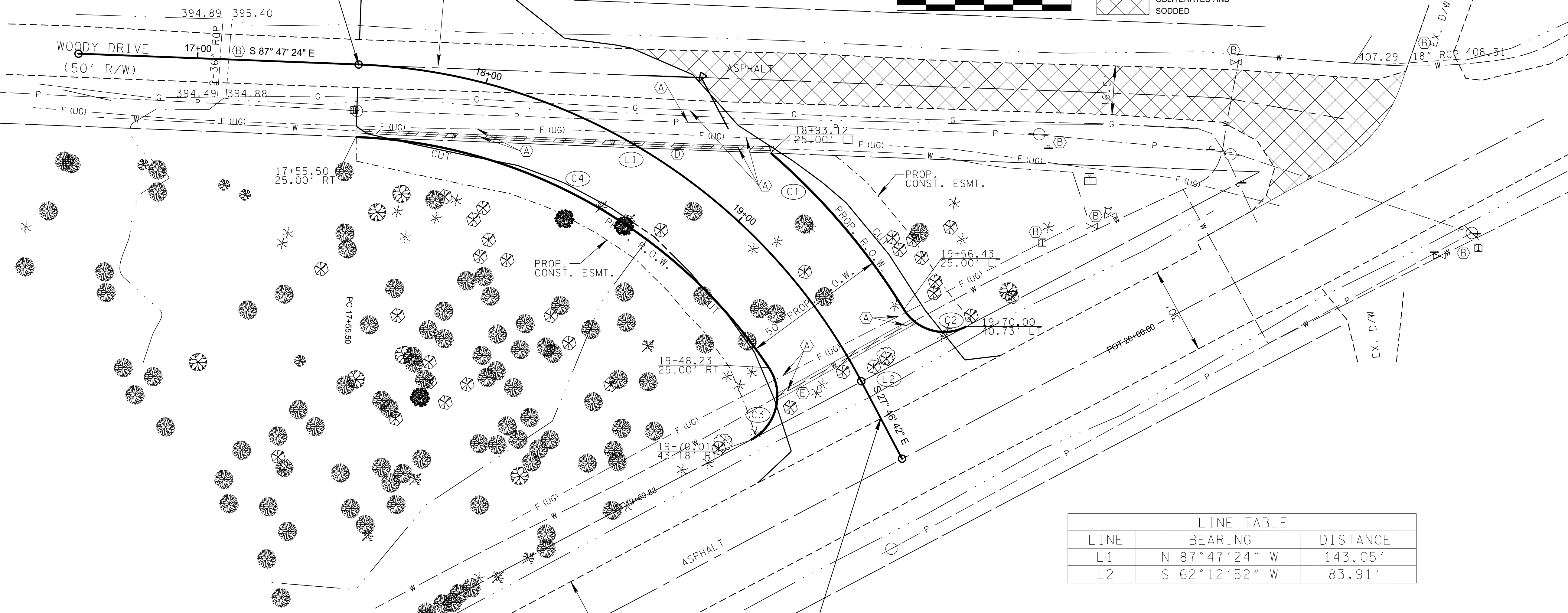
AREA TO BE SCARIFIED, OBLITERATED AND SODDED

RIGHT OF WAY LINE

WOODY DRIVE  
(50' R/W)

RIGHT OF WAY LINE

PORTION OF WATER LINE TO BE STEEL ENCASED



LINE	BEARING	DISTANCE
L1	N 87° 47' 24" W	143.05'
L2	S 62° 12' 52" W	83.91'

END PROJECT  
STA. 19+84.29  
N 2028823.81  
E 1167733.97

CURVE	RADIUS	LENGTH	CH. BRG.	CH. LENGTH
C1	229.63'	71.05'	S 40° 23' 38.27" E	70.76'
C2	16.26'	24.48'	S 74° 39' 15.24" E	22.23'
C3	17.29'	28.96'	S 14° 10' 33.61" W	25.69'
C4	179.63'	169.18'	N 60° 48' 29.02" W	163.00'

- (A) EXIST. UTILITY OR UTILITY APPURTENANCE TO BE ADJUSTED AND/OR RELOCATED BY OWNER OF UTILITY
- (B) EXIST. FEATURE TO REMAIN UNDISTURBED
- (C) REMOVE ANY TREES WITHIN THE SLOPE LIMITS AND ANY TREES HENDERING CONSTRUCTION WITHIN THE LIMITS OF THE EASEMENTS AT ENGINEERS DISCRETION.
- (D) 8" WATER LINE REQUIRES STEEL ENCASEMENT PIPE (APPROX. 143'). ENCASEMENT DIAMETER TO BE 16" WITH A MINIMUM WALL THICKNESS OF 0.25". STEEL ENCASEMENT TO BE PAID FOR IN COST OF OTHER ITEMS.
- (E) 12" WATER LINE REQUIRES STEEL ENCASEMENT PIPE (APPROX. 55'). ENCASEMENT DIAMETER TO BE 24" WITH A MINIMUM WALL THICKNESS OF 0.3125". STEEL ENCASEMENT TO BE PAID FOR IN COST OF OTHER ITEMS.

SEALED BY

**CITY OF BRYANT**

**PRESENT LAYOUT**

STA. 17+55.50 TO STA. 19+84.29  
SCALE: 1"= 20'

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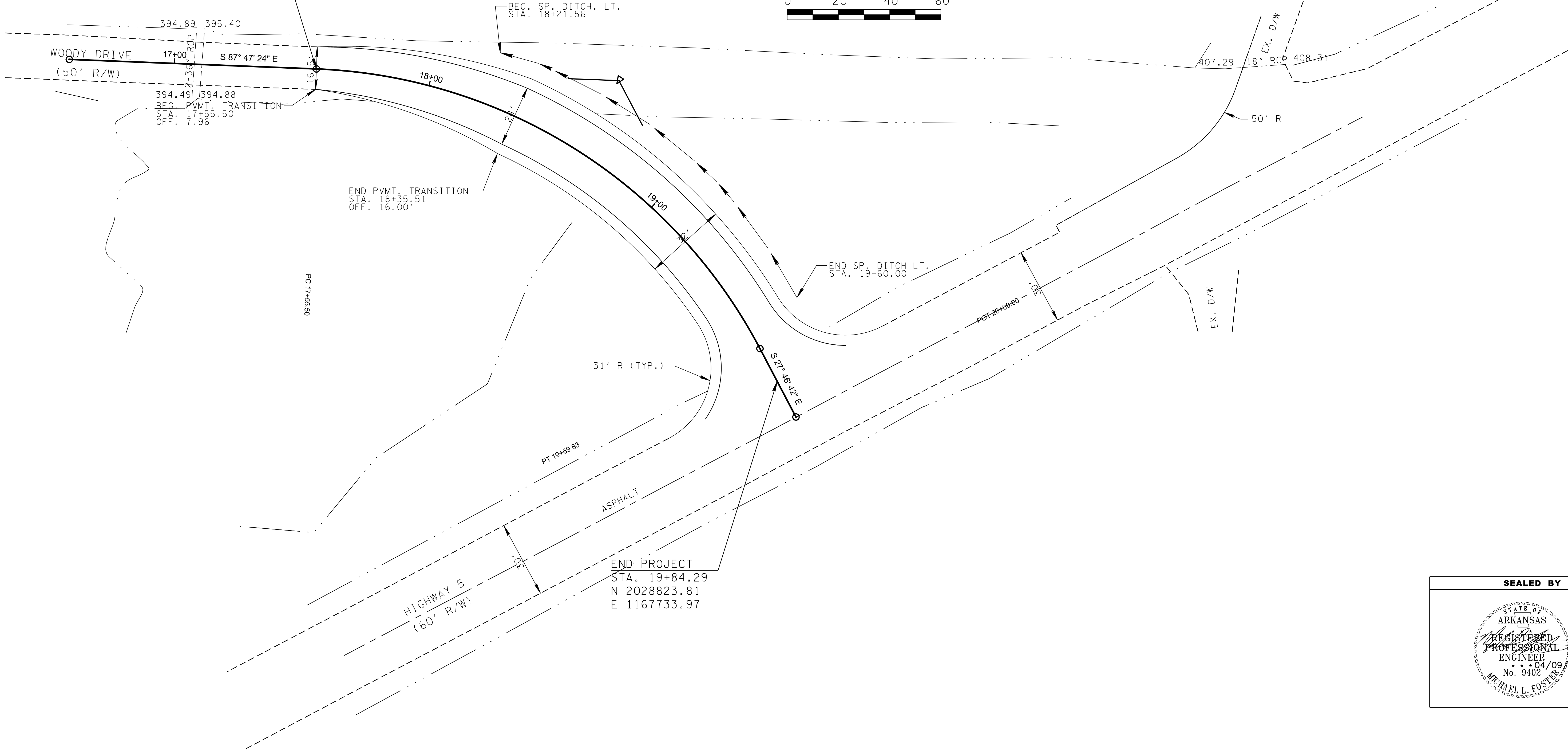
TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		6

POT 16+58.93

BEGIN PROJECT  
 STA. 17+55.50  
 N 2028945.72  
 E 1167554.07

CURVE WOODY-1  
 PI 18+73.67  
 N 2,028,941.1632  
 E 1,167,672.1536  
 Δ 60° 00' 43" (RT)  
 D 28° 00' 00"  
 R 204.63  
 L 214.33  
 T 118.17  
 SE 0.079 FT/FT  
 DESIGN SPEED 20 MPH  
 TRANS. LENGTH 160

N



END PVMT. TRANSITION  
 STA. 18+35.51  
 OFF. 16.00'

END PROJECT  
 STA. 19+84.29  
 N 2028823.81  
 E 1167733.97

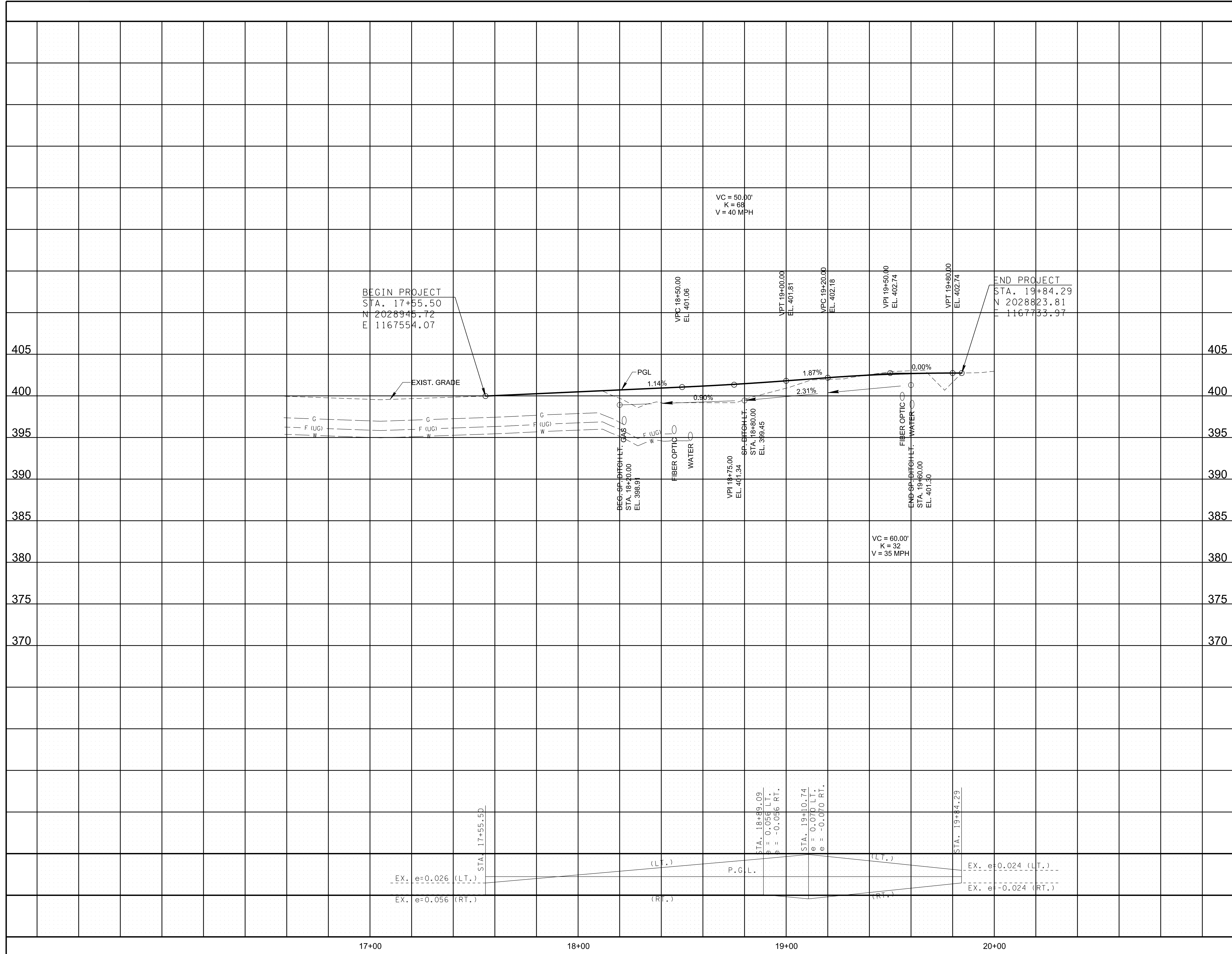
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**CITY OF BRYANT**

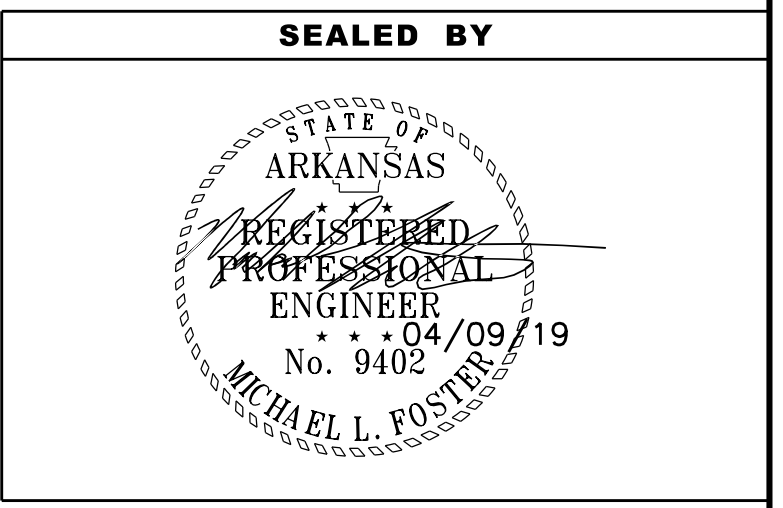
PROPOSED LAYOUT

STA. 17+55.50 TO STA. 19+84.29  
 SCALE: 1"=20'

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		7



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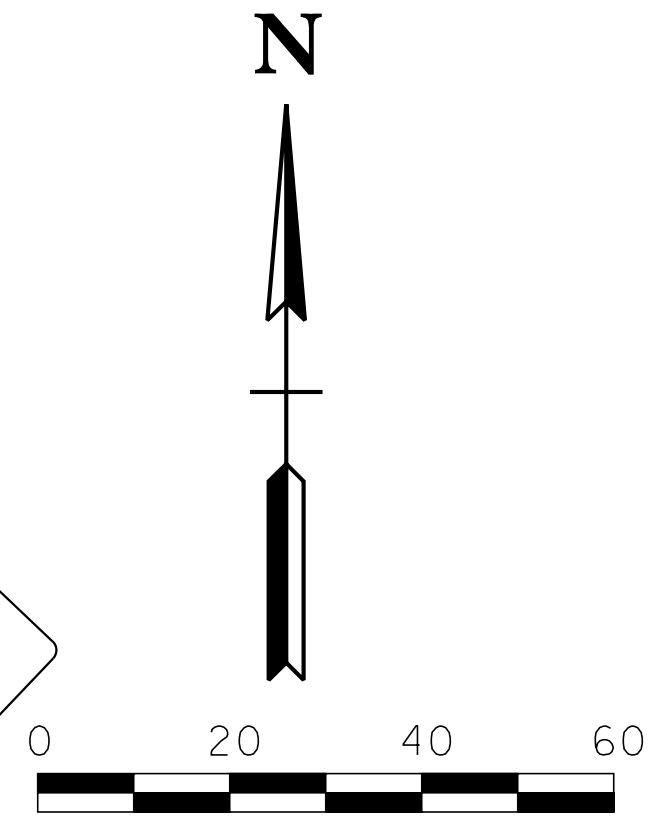
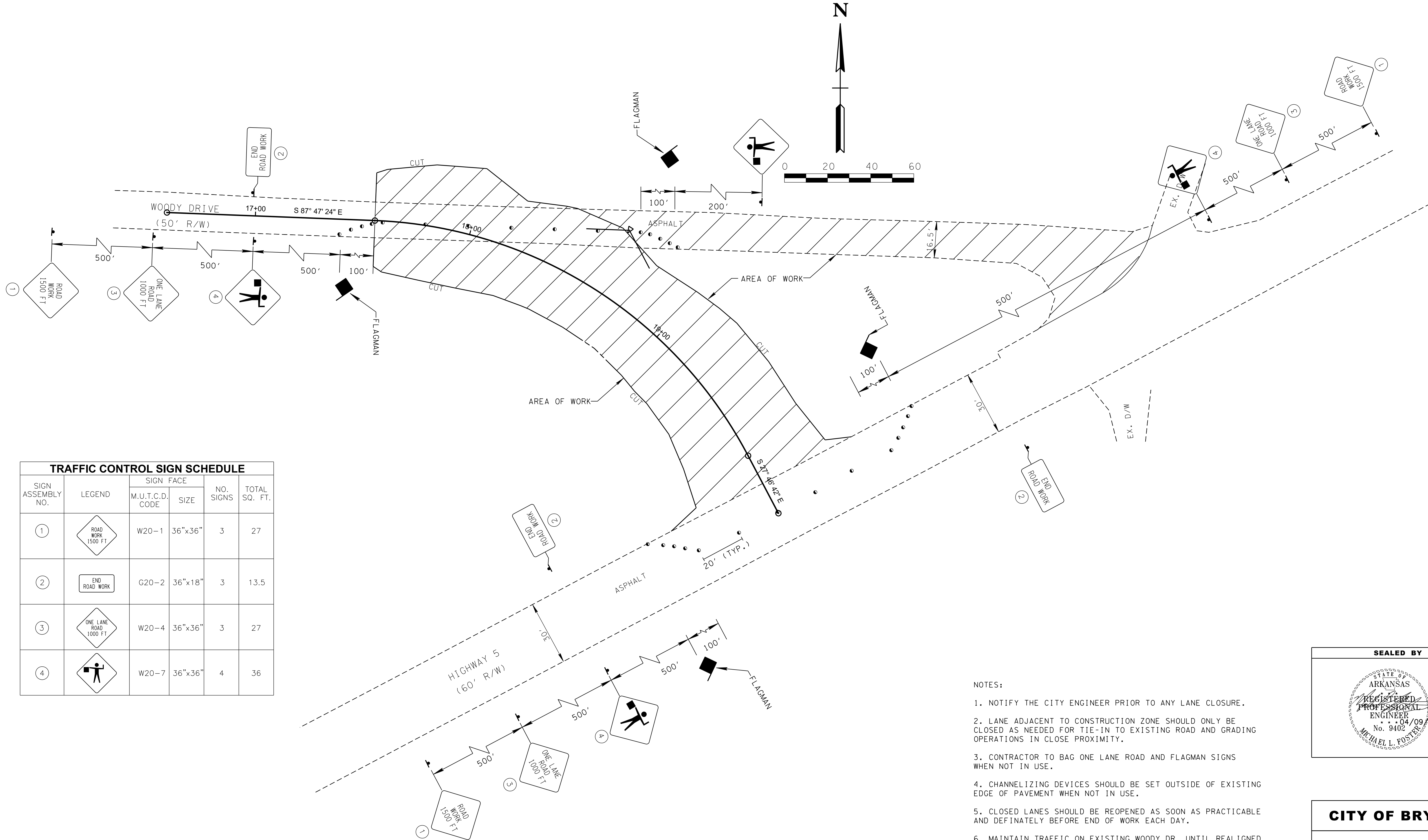
**CITY OF BRYANT**

**PROPOSED PROFILE**

STA. 17+55.50 TO STA. 19+84.29

SCALE: 1"= 20' HORIZ.  
 1"=5' VERT.

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		8



TRAFFIC CONTROL SIGN SCHEDULE					
SIGN ASSEMBLY NO.	LEGEND	SIGN FACE		NO. SIGNS	TOTAL SQ. FT.
		M.U.T.C.D. CODE	SIZE		
①		W20-1	36"x36"	3	27
②		G20-2	36"x18"	3	13.5
③		W20-4	36"x36"	3	27
④		W20-7	36"x36"	4	36

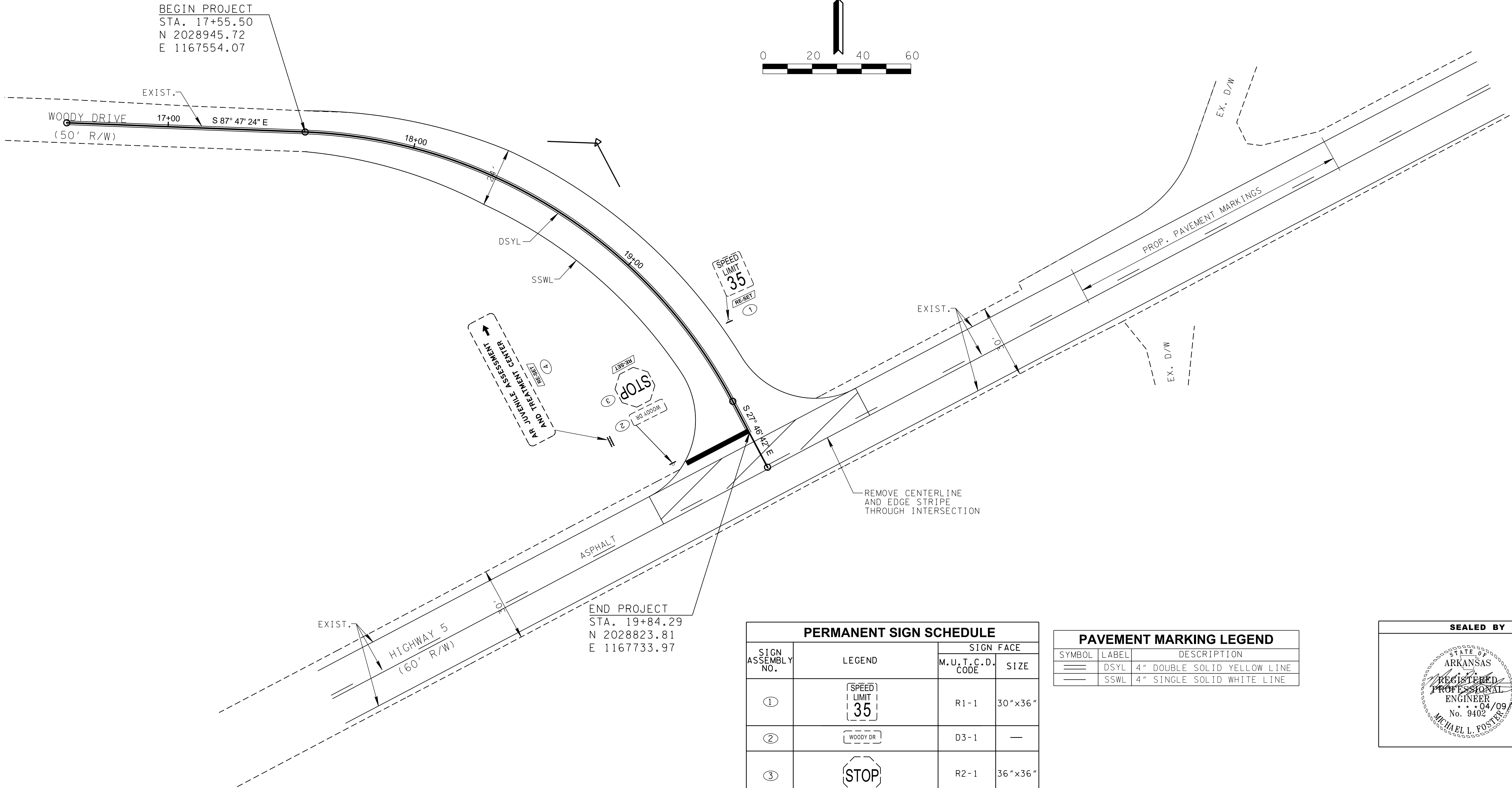
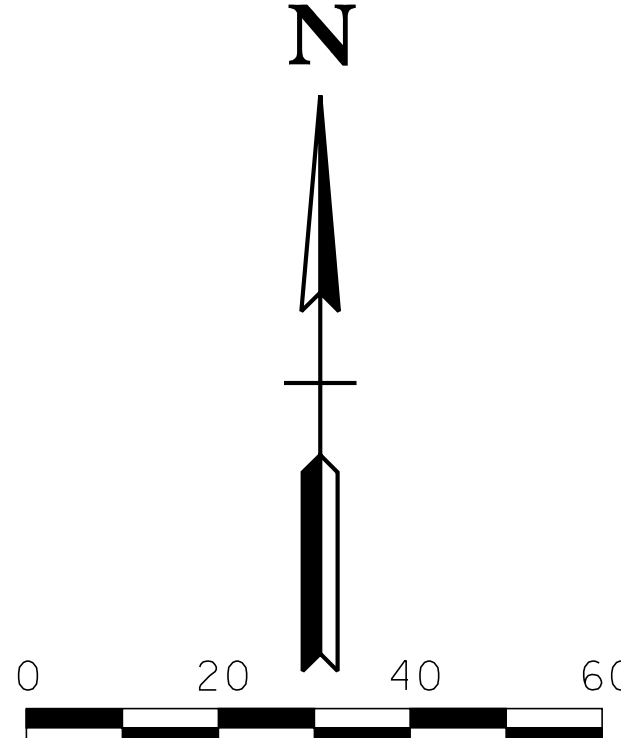
- NOTES:
1. NOTIFY THE CITY ENGINEER PRIOR TO ANY LANE CLOSURE.
  2. LANE ADJACENT TO CONSTRUCTION ZONE SHOULD ONLY BE CLOSED AS NEEDED FOR TIE-IN TO EXISTING ROAD AND GRADING OPERATIONS IN CLOSE PROXIMITY.
  3. CONTRACTOR TO BAG ONE LANE ROAD AND FLAGMAN SIGNS WHEN NOT IN USE.
  4. CHANNELIZING DEVICES SHOULD BE SET OUTSIDE OF EXISTING EDGE OF PAVEMENT WHEN NOT IN USE.
  5. CLOSED LANES SHOULD BE REOPENED AS SOON AS PRACTICABLE AND DEFINATELY BEFORE END OF WORK EACH DAY.
  6. MAINTAIN TRAFFIC ON EXISTING WOODY DR. UNTIL REALIGNED WOODY DR. IS COMPLETE.
  7. SHIFT TRAFFIC TO REALIGNED WOODY DR. TO COMPLETE BUSHING / OVERLAY AT BOP AND SCARIFYING OF WOODY DR. TO BE CLOSED.

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**CITY OF BRYANT**

**TRAFFIC CONTROL PLAN**

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		9



PERMANENT SIGN SCHEDULE			
SIGN ASSEMBLY NO.	LEGEND	SIGN FACE	
		M.U.T.C.D. CODE	SIZE
①		R1-1	30"x36"
②		D3-1	—
③		R2-1	36"x36"
④		—	—

PAVEMENT MARKING LEGEND		
SYMBOL	LABEL	DESCRIPTION
	DSYL	4" DOUBLE SOLID YELLOW LINE
	SSWL	4" SINGLE SOLID WHITE LINE

SIGNING LEGEND	
SYMBOL	DESCRIPTION
	EX. SIGN WITH ONE SUPPORT (1-SIDED)
	EX. SIGN WITH TWO SUPPORT (2-SIDED)
	EXIST. SIGN TO BE REMOVED & RE-SET

SEALED BY

**CITY OF BRYANT**

**SIGNING AND PAVEMENT MARKING PLAN**

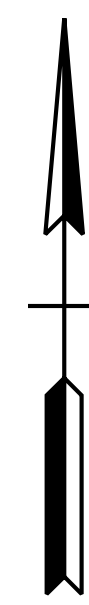
TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		10

POT 16+56.93

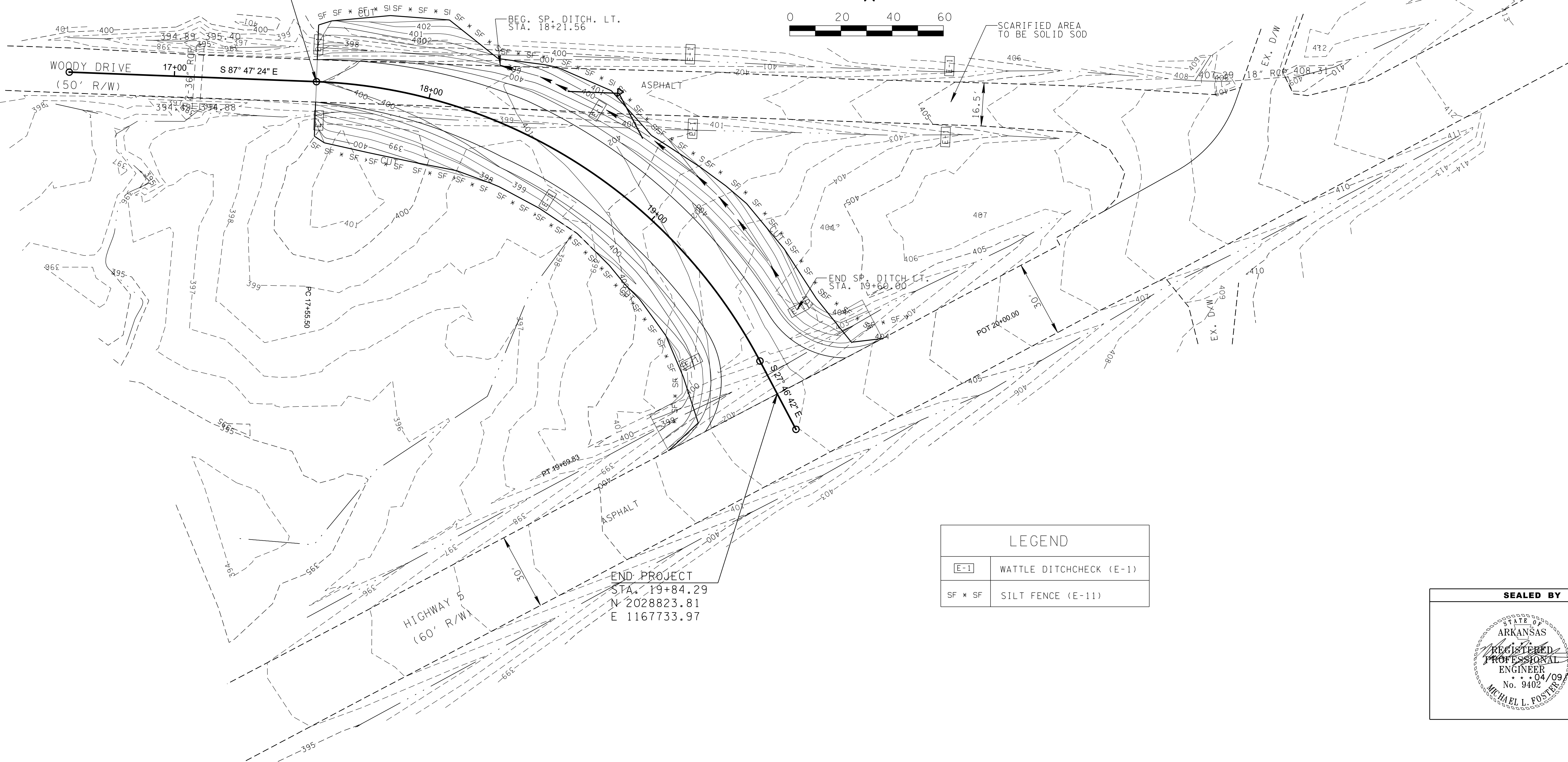
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T 118.17  
SE 0.079 FT/FT  
DESIGN SPEED 20 MPH  
TRANS. LENGTH 160

N



SCARIFIED AREA  
TO BE SOLID SOD



LEGEND	
[E-1]	WATTLE DITCHCHECK (E-1)
SF * SF	SILT FENCE (E-11)

END PROJECT  
STA. 19+84.29  
N 2028823.81  
E 1167733.97

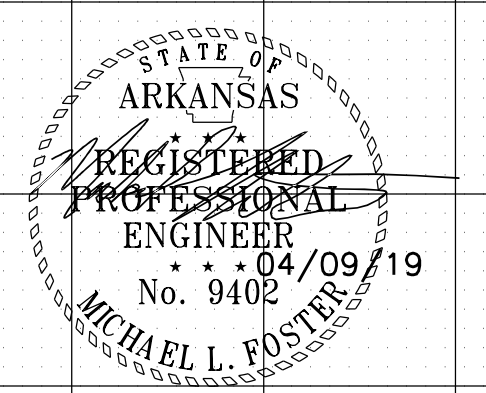
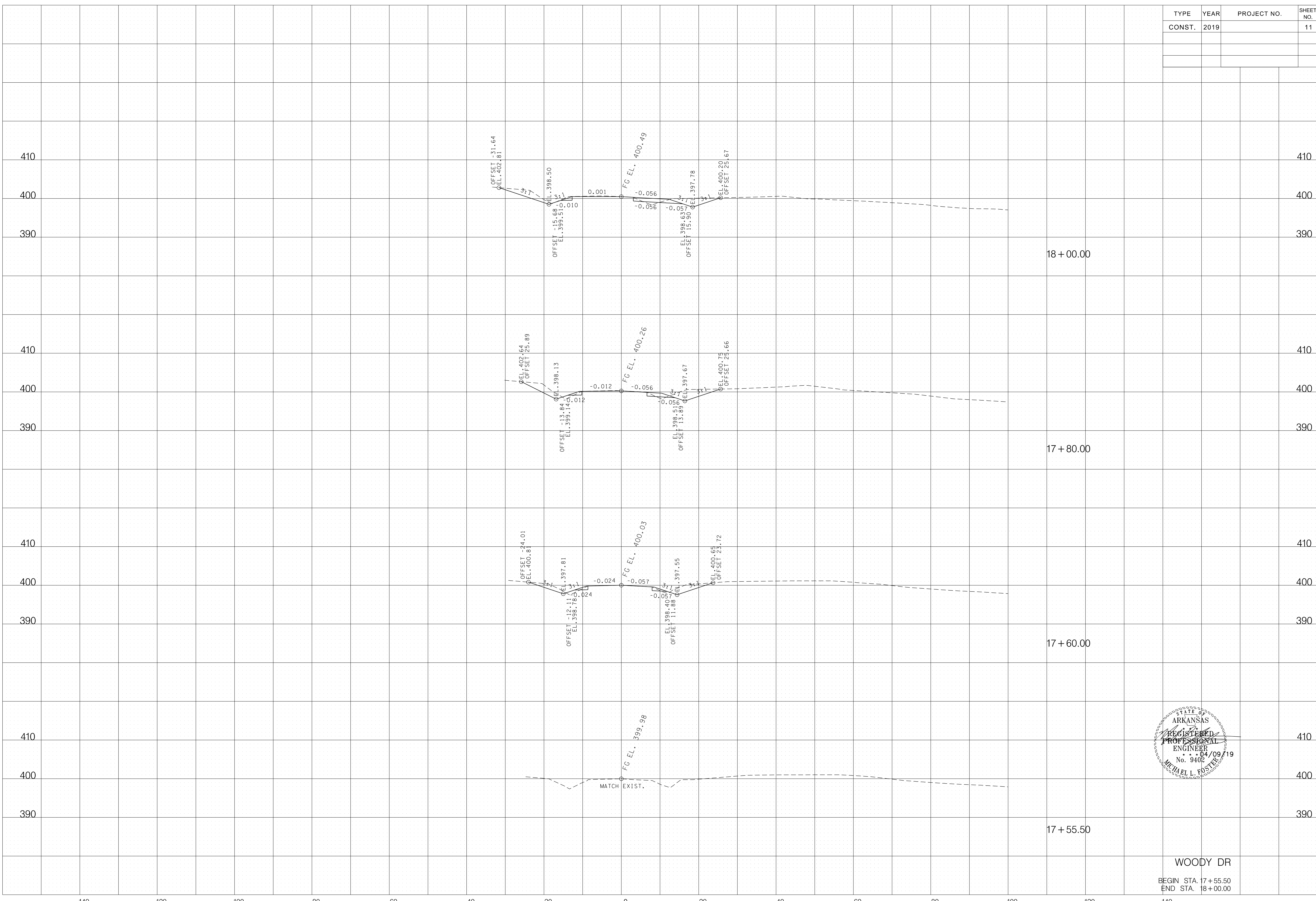
**SEALED BY**

**CITY OF BRYANT**

**EROSION PREVENTION & SEDIMENT CONTROL (EPSC) PLAN**

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		11

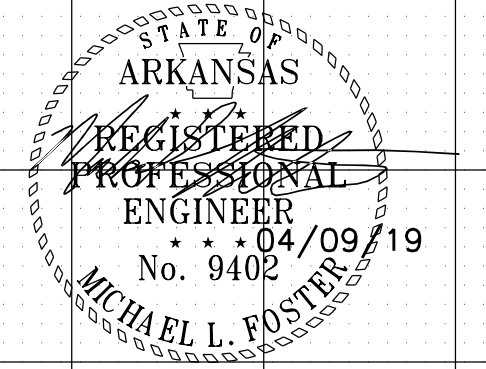
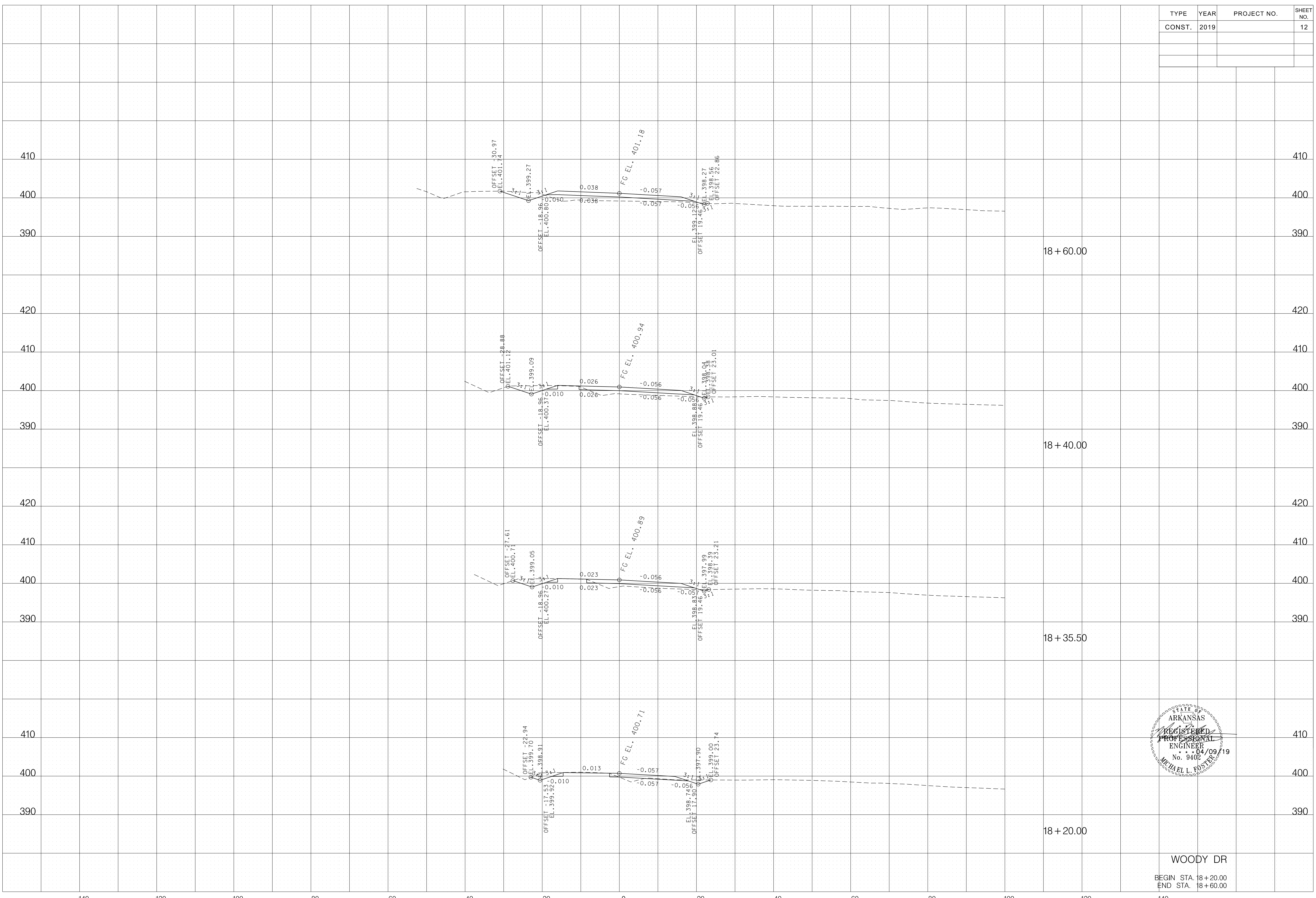
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WOODY DR  
BEGIN STA. 17+55.50  
END STA. 18+00.00

TYPE	YEAR	PROJECT NO.	SHEET NO.
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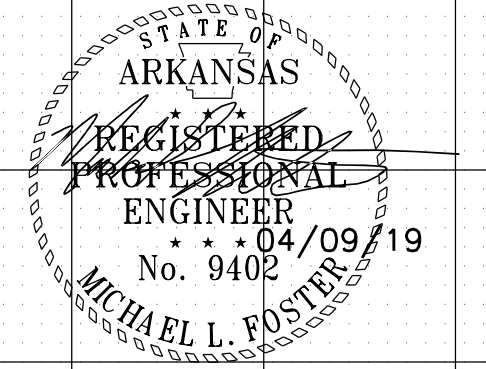
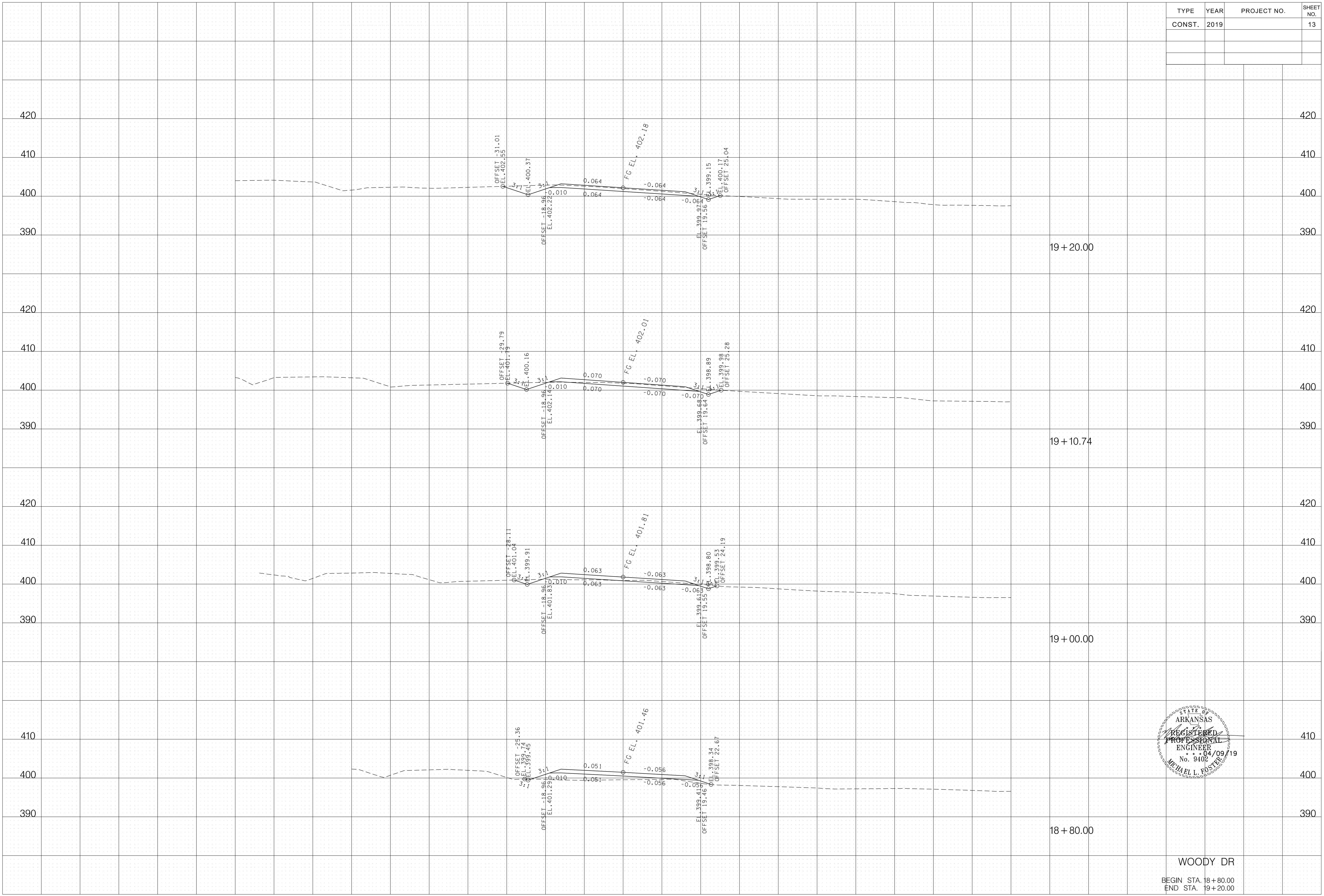
WOODY DR

BEGIN STA. 18+20.00  
END STA. 18+60.00



TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		13

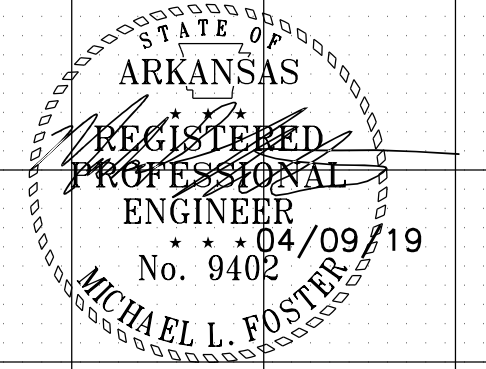
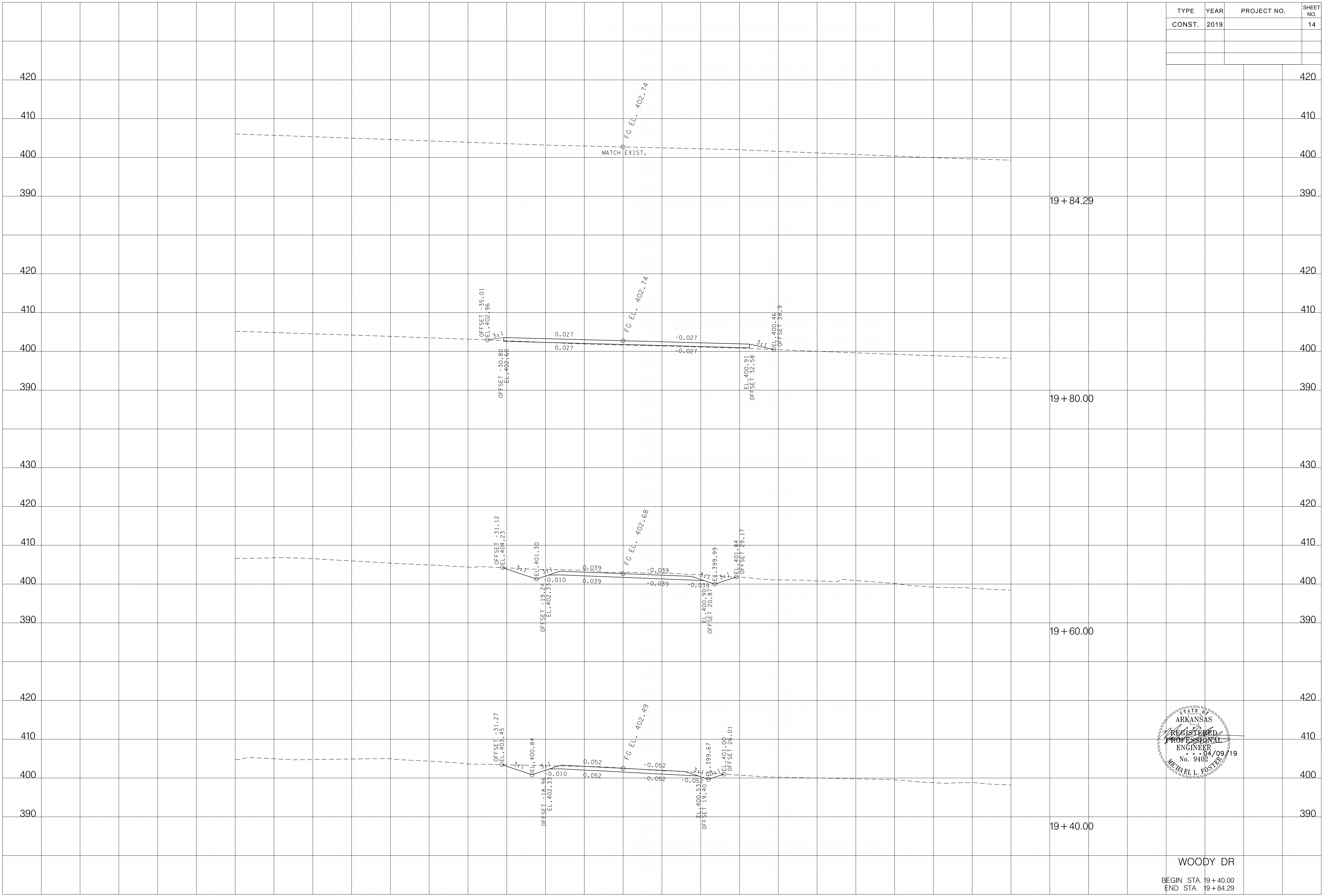
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WOODY DR  
BEGIN STA. 18+80.00  
END STA. 19+20.00

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		14

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WOODY DR  
BEGIN STA. 19+40.00  
END STA. 19+84.29



Office of Chief Counsel  
P.O. Box 1437, Slot S260  
Little Rock, AR 72203-1437  
P: 501.396.6168  
F: 501.682.8009  
TDD: 501.682.8933  
HUMANSERVICES.ARKANSAS.GOV

April 9, 2020

Pickering Firm, Inc.  
Attn: Greg Carrico  
6775 Lenox Center  
Memphis, TN 38115

*Re: Woody Drive Access Approval*

Dear Mr. Carrico,

The State Institutional Systems Board ("SIS Board") held a teleconference meeting on April 8, 2020. A quorum was reached and included on the agenda was the request for access to Woody Drive for the Landmark Lifestyles project in Alexander, Saline County, Arkansas. According to the state's lease, all improvements upon the land are owned by the Division of Youth Services ("DYS"), including any roads built. SIS Board approval for the requested access to Woody Drive was required.

A vote was held after discussion and board members' questions were answered. All present voted in favor of the proposed access to Woody Drive, none were opposed. The official meeting minutes are forthcoming to be included as an attachment to this letter.

Sincerely,

A handwritten signature in blue ink, appearing to read "Sarah Cunningham".

Sarah Cunningham  
Attorney for Division of Youth Services  
Office of Chief Counsel

cc: Division of Youth Services Director, Michael Crump  
City of Bryant, Mayor Allen Scott  
State Institutional Systems Board Members



Office of Chief Counsel  
P.O. Box 1437, Slot S260  
Little Rock, AR 72203-1437  
P: 501.396.6168  
F: 501.682.8009  
TDD: 501.682.8933  
HUMANSERVICES.ARKANSAS.GOV

March 23, 2020

Arkansas Department of Transportation  
Attn: Mark Headley  
10324 Interstate 30  
Little Rock, AR 72209

*Re: Woody Drive Construction Approval*

Dear Mr. Headley,

The State Institutional Systems Board ("SIS Board") held a teleconference meeting on March 13, 2020. A quorum was reached and the only issue on the agenda was the approval of the proposed construction changes to the intersection of Highway 5 and Woody Drive in Alexander, Saline County, Arkansas. According to the state's lease, all improvements upon the land are owned by the Division of Youth Services ("DYS"). SIS Board approval for the proposed changes to Woody Drive was required.

A vote was held after discussion and board members' questions were answered. All present voted in favor of the proposed construction changes to the said intersection, none were opposed. The official meeting minutes are forthcoming to be included as an attachment to this letter.

Sincerely,

A handwritten signature in blue ink that reads "Sarah Cunningham".

Sarah Cunningham  
Attorney for Division of Youth Services  
Office of Chief Counsel

cc: Division of Youth Services Director, Michael Crump  
City of Bryant, Mayor Allen Scott  
State Institutional Systems Board Members

P.O. Box 1437, Slot S260 \* Little Rock, AR 72203-1437 \* 501.396.6168

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**SHEET INDEX**

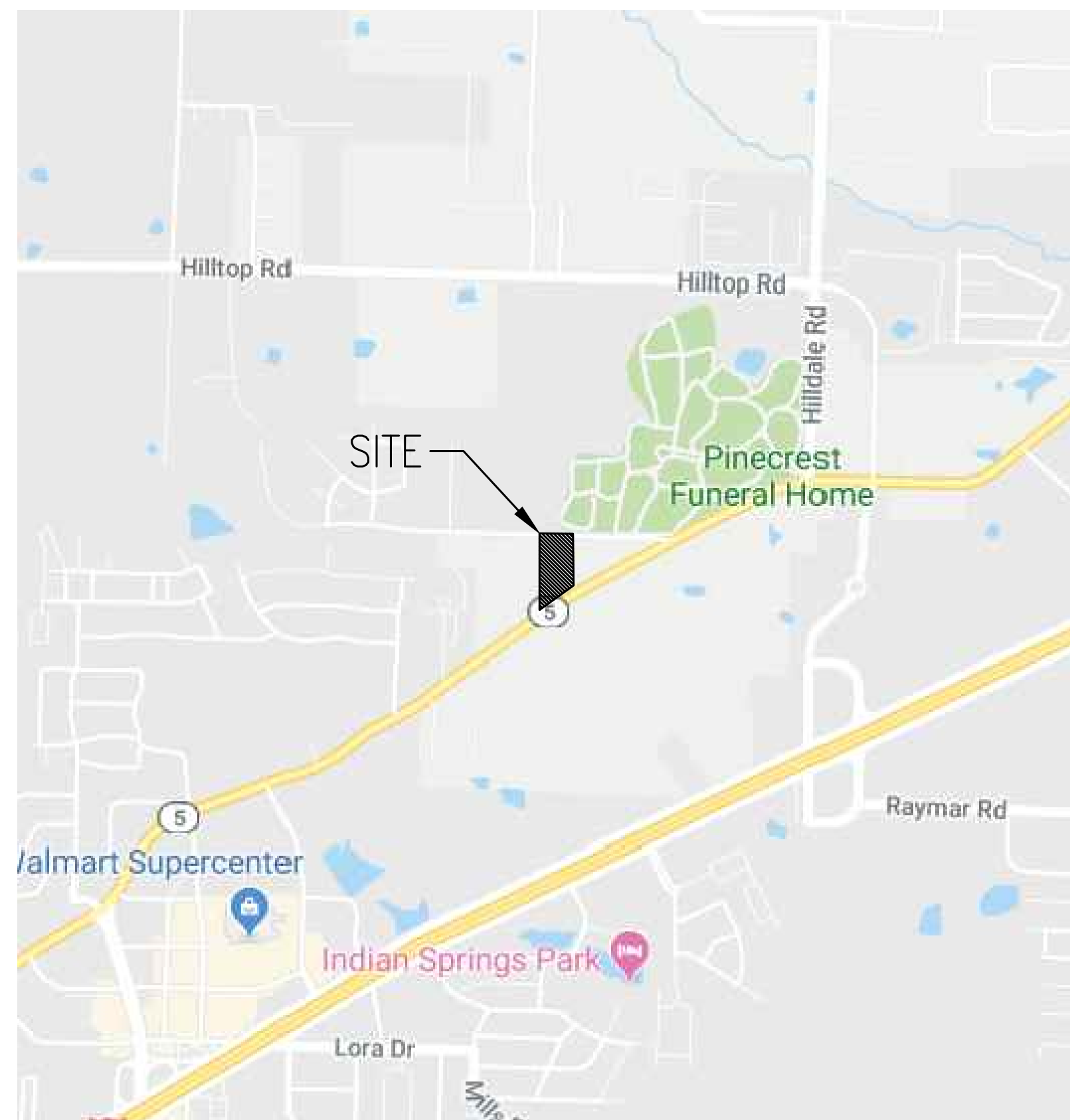
Sheet Number	Sheet Title
C-000	COVER SHEET
C-100	EXISTING CONDITIONS & DEMOLITION PLAN
C-110	OVERALL SITE PLAN
C-120	OVERALL GRADING & DRAINAGE PLAN
C-121	GRADING PLAN
C-130	OVERALL UTILITY PLAN
C-140	EROSION CONTROL PLAN- PHASE 1
C-141	EROSION CONTROL PLAN-PHASE 2
C-142	FINAL STABILIZATION PLAN
C-500	SITE DETAILS
C-510	GRADING & DRAINAGE DETAILS
C-511	GRADING & DRAINAGE DETAILS
C-520	UTILITY DETAILS
C-530	EROSION CONTROL DETAILS
L-100	OVERALL LANDSCAPE PLAN
L-101	LANDSCAPE PLAN & DETAILS
CS-001	GENERAL NOTES
CS-002	STRUCTURAL FRAMING PLANS AND DETAILS
CS-003	RETAINING WALL PLAN AND DETAILS

**PERMIT SET**

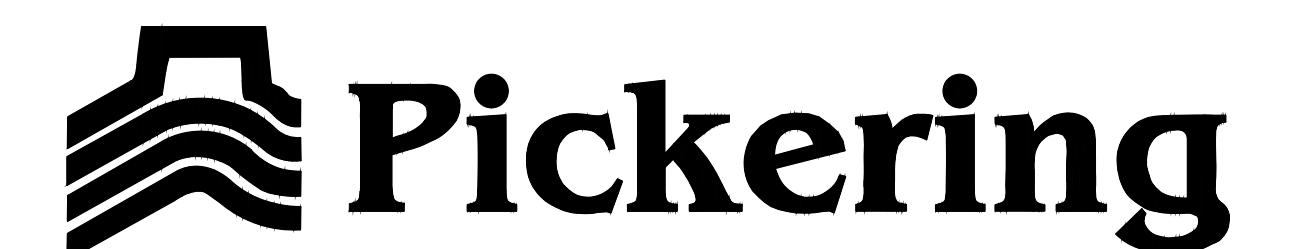
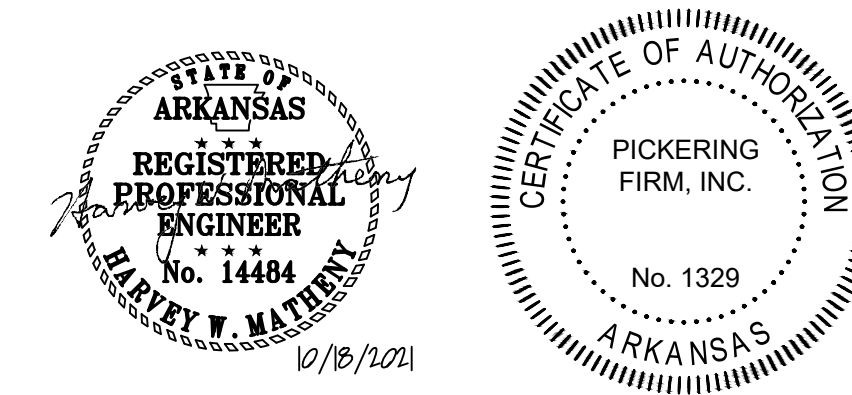
# PINNACLE POINT AT BRYANT ASSISTED LIVING AND MEMORY CARE FACILITY

(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)

**OCTOBER 18, 2021**



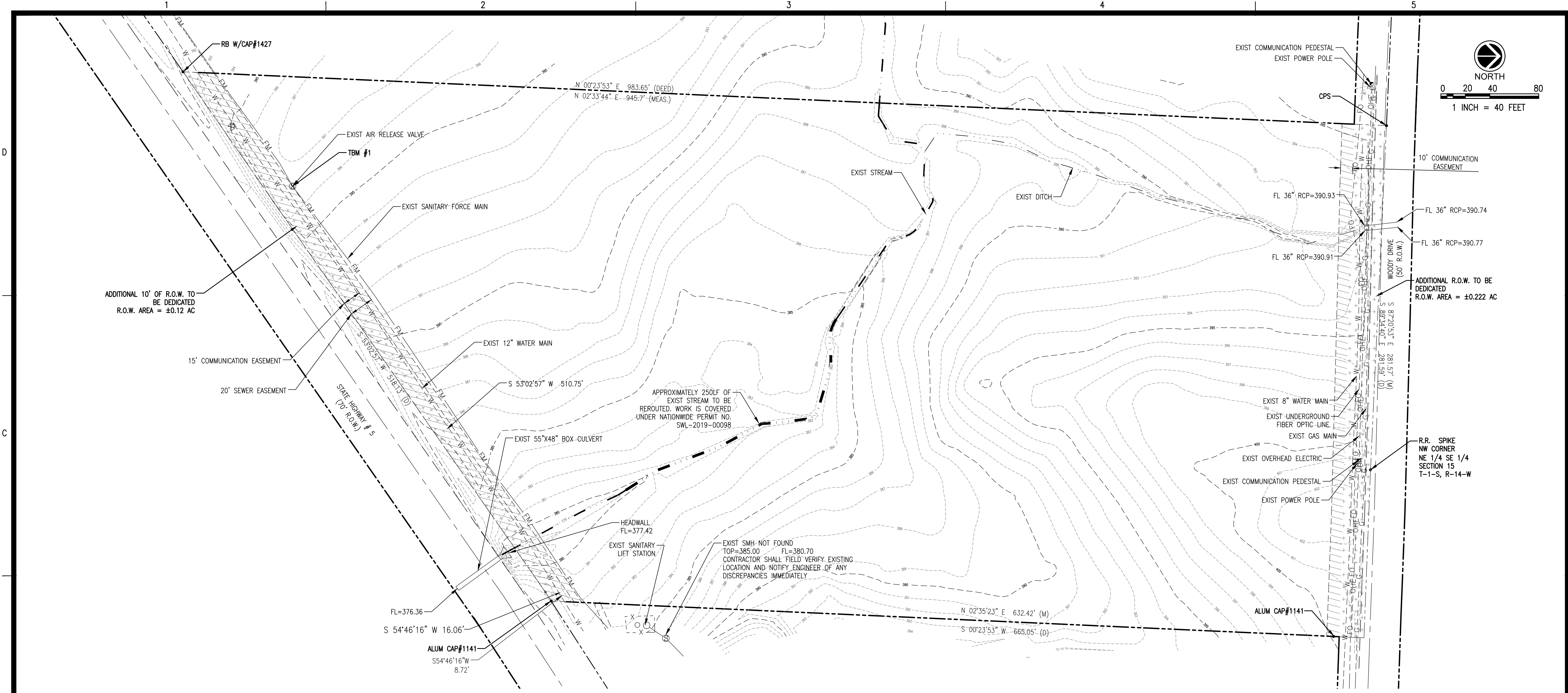
**VICINITY MAP**



Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying

6775 Lenox Center Court, Suite 300  
Memphis, TN 38115  
901.726.0810

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF PICKERING FIRM, INC. DEvised SOLELY FOR THIS CONTRACT. THIS PLAN SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY PURPOSE FOR WHICH IT WAS NOT INTENDED WITHOUT THE WRITTEN PERMISSION FROM PICKERING FIRM, INC.



REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM

Pickering Firm, Inc.  
 Architecture • Engineering  
 Planning • Surveying  
 6383 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0010

**PINNACLE POINT AT BRYANT  
 ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
 BRYANT, AR**

SEAL:

DATE: 10/18/2021

SHEET NUMBER:  
**C-100**

DESCRIPTION:  
 EXISTING CONDITIONS &  
 DEMOLITION PLAN

**FLOOD NOTE:**  
 THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

**SITE TBM:**

**SITE TBM #1**  
 THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE  
 N:2028095.8241, E:1166418.6672  
 ELEV: 396.87 (NAVD 88)

**SITE TBM #2**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028699.5496, E:1167607.0634  
 ELEV: 398.77 (NAVD 88)

**SITE TBM #3**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028841.9186, E:1167878.9694  
 ELEV: 408.96 (NAVD 88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**  
 INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND UTILITIES AND ANY OTHER ITEMS IN ACCORDANCE WITH THE ADEQ AND THE TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL STRICTLY FOLLOW ALL CITY, STATE, AND FEDERAL GUIDELINES FOR REMOVAL AND DISPOSAL OF THESE FACILITIES.
  2. CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.
  3. ANY EXISTING UTILITIES WITHIN 10' OF THE BUILDING FOOTPRINT SHALL BE COMPLETELY REMOVED AND DISPOSED OF PER LOCAL REGULATIONS.
  4. PRIOR TO COMMENCING ANY UTILITY WORK, CONTRACTOR SHALL NOTIFY ANY SURROUNDING PROPERTY OWNERS WHO MAY EXPERIENCE A DISRUPTION IN SERVICE.
  5. ANY IRRIGATION SLEEVES SHALL BE INSTALLED PRIOR TO PAVING AND BACKFILLED PROPERLY BY THE SITE CONTRACTOR.
  6. THE CONTRACTOR SHALL ENSURE ADEQUATE ACCESS IS PROVIDED TO ADJACENT PUBLIC STREETS DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH CITY OF BRYANT CODE ENFORCEMENT.
  7. WHEN REMOVING UTILITIES, CONTRACTOR SHALL GROUT AND SEAL ANY STRUCTURES THAT ARE TO REMAIN PER LOCAL REGULATIONS.
  8. UTILITIES SHOWN ARE LOCATED BY FIELD SURVEY AND RECORD DRAWINGS. ADDITIONAL UNDERGROUND UTILITIES WILL BE ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY INACTIVE STRUCTURES & ALERT THE ENGINEER OF ANY ACTIVE, UNMAPPED STRUCTURES.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF UTILITY DEMOLITION & RELOCATION.
  10. CONTRACTOR SHALL NOT INTERRUPT DRAINAGE FROM ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAYS.

PROPERTY DESCRIPTION DOCUMENT NUMBER 2010-002803

A PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND A PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, ALL IN SECTION 15, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE SAID NORTHEAST QUARTER OF SOUTHEAST QUARTER, AND RUN NORTH 90°00'00" EAST ALONG THE NORTH LINE THEREOF, FOR 137.40 FEET; THENCE SOUTH 00°23'53" WEST, FOR 665.05 FEET TO THE WESTERN RIGHT OF WAY OF ARKANSAS STATE HIGHWAY 35; THENCE THE FOLLOWING COURSES AND DISTANCES ALONG SAID RIGHT OF WAY; SOUTH 54°46'16" WEST, FOR 8.72 FEET; THENCE SOUTH 53°02'57" WEST, FOR 518.13 FEET; THENCE LEAVING SAID RIGHT OF WAY, NORTH 00°23'53" EAST, FOR 983.65 FEET TO THE NORTH LINE OF THE SAID NORTHWEST QUARTER OF SOUTHEAST QUARTER; THENCE SOUTH 89°34'40" EAST, ALONG SAID NORTH LINE, FOR 281.59 FEET TO THE POINT OF BEGINNING.

SUBJECT TO THE RIGHT OF WAY OF WOODY DRIVE

**LINE LEGEND**

---	D	---	D	---	D	---	D	---	D
---	FO	---	FO	---	FO	---	FO	---	FO
---	UGT	---	UGT	---	UGT	---	UGT	---	UGT
---	OHE	---	OHE	---	OHE	---	OHE	---	OHE
---	UGE	---	UGE	---	UGE	---	UGE	---	UGE
---	G	---	G	---	G	---	G	---	G
---	W	---	W	---	W	---	W	---	W
---	SS	---	SS	---	SS	---	SS	---	SS
---	X	---	X	---	X	---	X	---	X

**SYMBOL LEGEND**

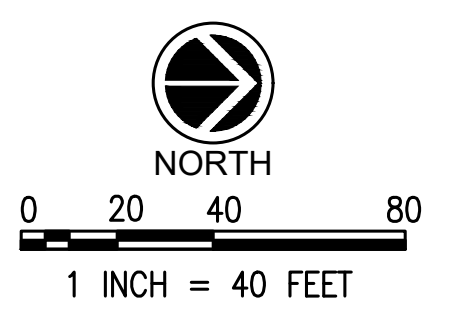
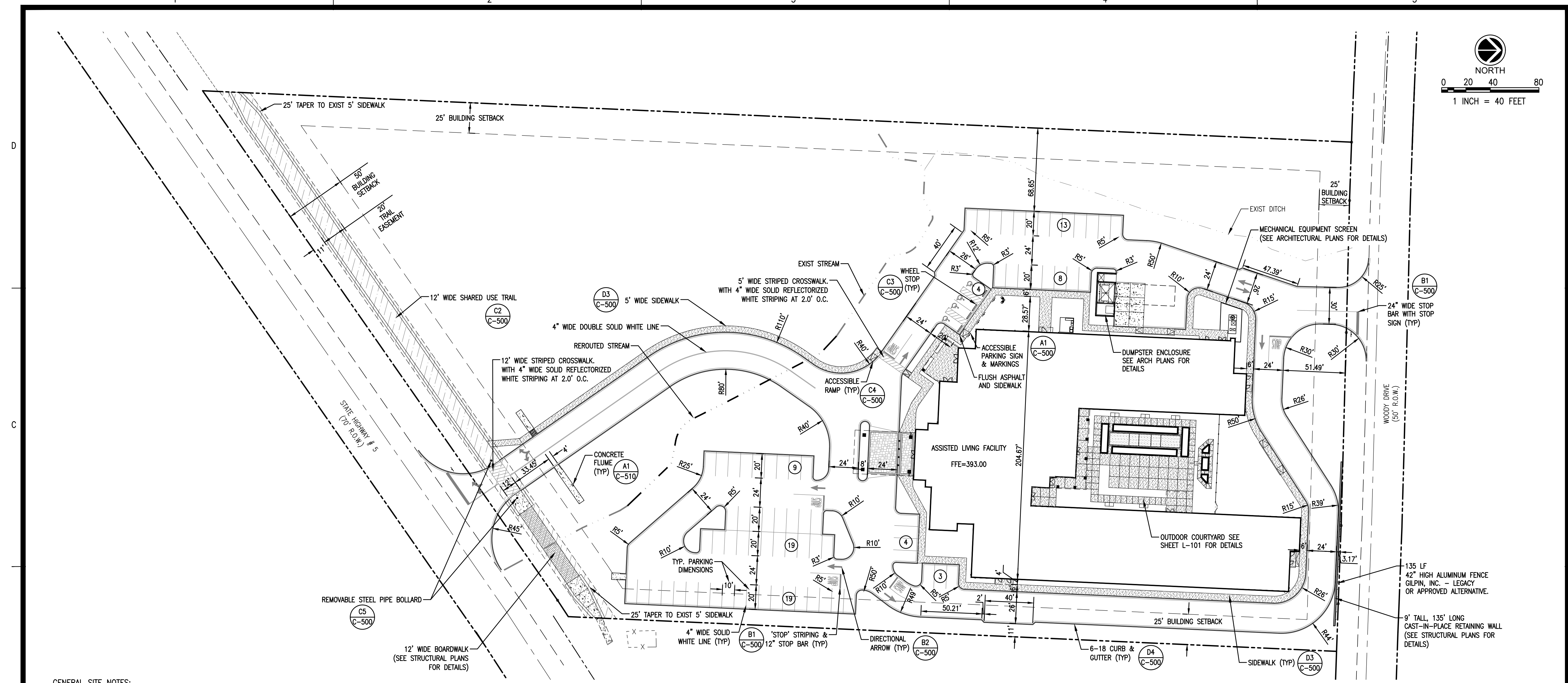
⊕	POWER POLE
⊙	METAL TRAFFIC POLE
⊗	LIGHT POLE
⊠	ELECTRIC BOX
⊡	ANCHOR GUY
⊕	TELEPHONE PEDESTAL
⊙	SANITARY SEWER MANHOLE
⊗	GAS VALVE
⊠	WATER VALVE
⊡	WATER METER/WATER SHUTOFF
⊕	FIRE HYDRANT
⊙	CURB INLET
⊗	DRAIN INLET
⊠	STORM SEWER MANHOLE
⊡	MONITOR WELL
⊕	FOUND IRON PIN/NAIL/SPIKE
⊙	SET IRON PIN/NAIL/SPIKE
⊗	FOUND CONCRETE MONUMENT
⊠	SIGN
⊡	TREE, SHRUB, PLANTING
⊕	FIRE DEPARTMENT CONNECTION
⊙	MONITOR WELL

**ABBREVIATIONS**

EP	EDGE OF PAVEMENT
ROW	RIGHT OF WAY
CL	CENTERLINE
RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
SP	SUBJECT PROPERTY LINE
TC	TOP OF CURB
BC	BOTTOM OF CURB
POB	POINT OF BEGINNING
HCR	HANDICAP RAMP
⊕	HANDICAP PARKING/ACCESS
SCO	SEWER CLEANOUT
INLET	INLET
HDWL	HEADWALL
PB	PLAT BOOK
PAGE	PAGE
C-	DEED CALL
C&M=	CALL & MEASURED DISTANCE
ESMT	EASEMENT

\*NOTE: ALL SYMBOLS, ABBREVIATIONS, OR LINESYLES DO NOT NECESSARILY APPEAR ON DRAWING(S). USE ONLY AS APPLICABLE.

K:\25526.01\CAD\PLANS\C-100 EXISTING CONDITIONS



**GENERAL SITE NOTES:**

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
  - OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
  - CONTACT THE CITY OF BRYANT CONSTRUCTION INSPECTION OFFICE.
  - CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
  - NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
  - BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER ADEQ AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLID SOD OR HYDROMULCH WITH SEEDING.
- ALL CONSTRUCTION SHALL MEET THE CITY OF BRYANT TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL AN ONE CALL AT 811 FOR THE LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR AT NO TIME SHALL ENCROACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

- ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
- ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
- FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
- ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXISTING UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
- CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.

SITE DATA:	
ZONING:	C-2 (HIGHWAY COMMERCIAL)
SITE AREA:	345,430 SF (7.93 AC)
BUILDING AREA:	41,000 (12% SITE AREA)
ROOMS:	79
PARKING REQUIRED:	79 (1/ROOM)
PARKING PROVIDED:	75 STANDARD SPACES 4 ACCESSIBLE SPACES 79 TOTAL SPACES

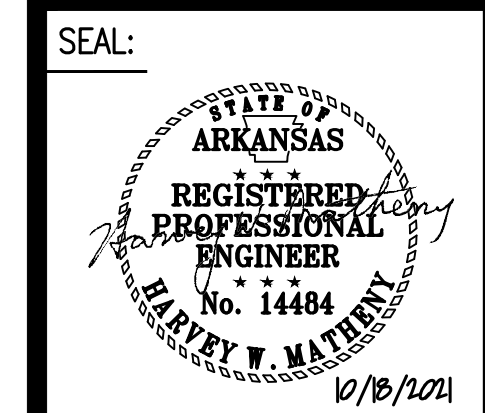
**FLOOD NOTE:**  
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

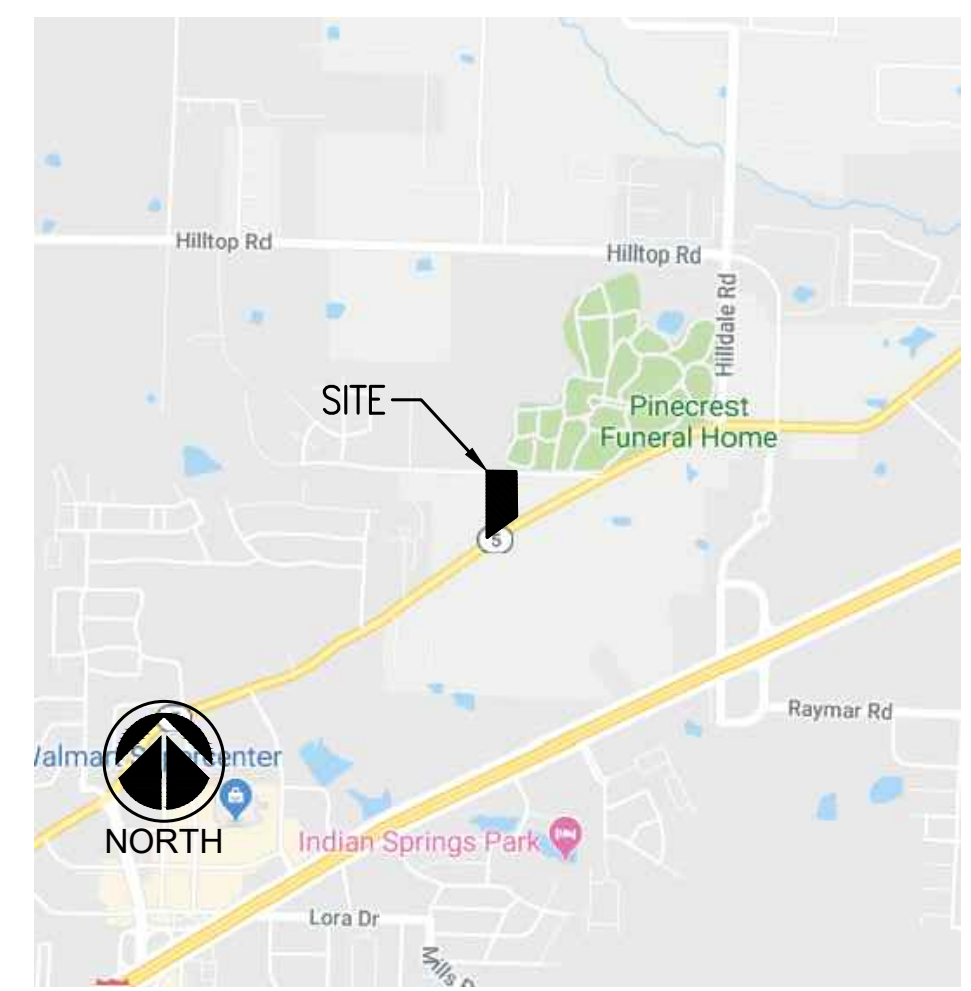


**PINNACLE POINT AT BRYANT  
ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
BRYANT, AR**



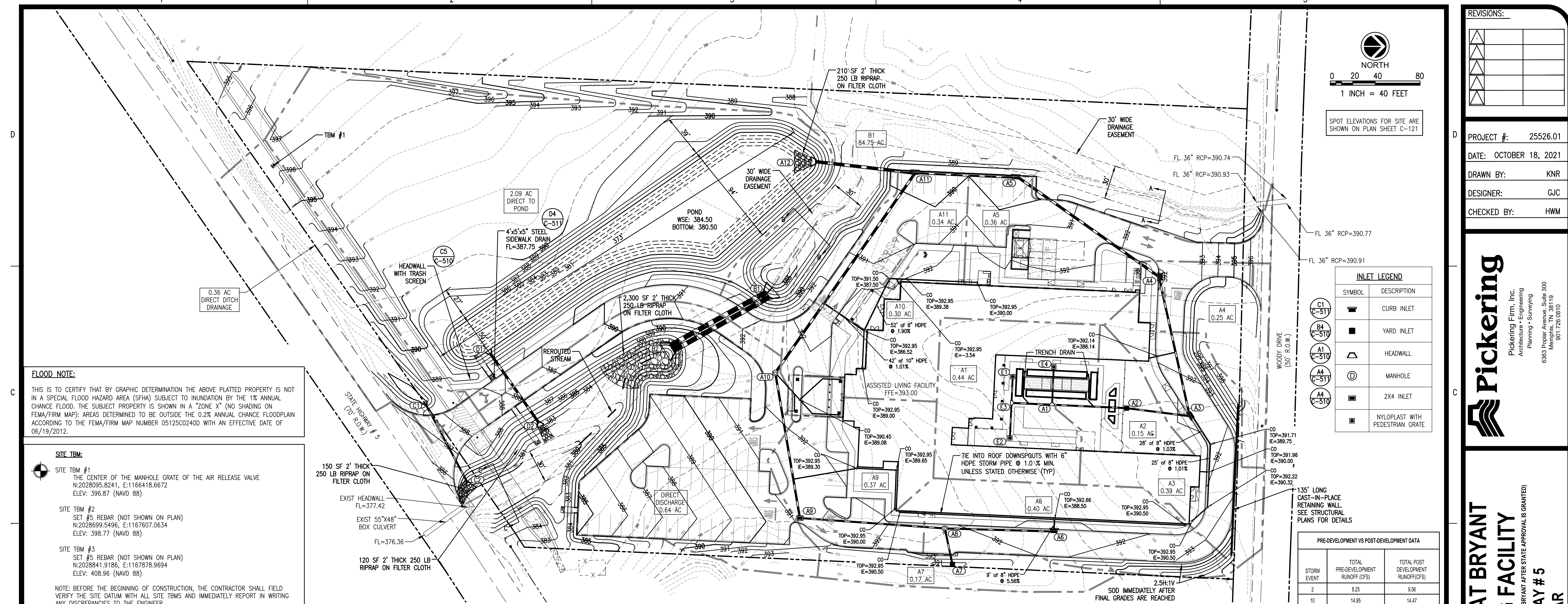
SHEET NUMBER:  
**C-110**

DESCRIPTION:  
OVERALL SITE PLAN



VICINITY MAP  
NOT TO SCALE

K:\25526.01\CAD PLANS\C-110 OVERALL SITE PLAN.DWG



**FLOOD NOTE:**  
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125002400 WITH AN EFFECTIVE DATE OF 06/19/2012.

**SITE TBM:**  
**SITE TBM #1**  
 THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE  
 N:2028095.8241, E:1166418.6672  
 ELEV: 396.87 (NAVD 88)  
**SITE TBM #2**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028699.5496, E:1167607.0634  
 ELEV: 398.77 (NAVD 88)  
**SITE TBM #3**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028841.9186, E:1167878.9694  
 ELEV: 408.96 (NAVD 88)  
 NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**GRADING AND DRAINAGE NOTES**

- CONTRACTOR TO VERIFY UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
- PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- ESTABLISH PERMANENT VEGETATION WITH SEEDING OR SOLID SOD ON DISTURBED AREAS.
- DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
- SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.
- CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED.
- MAXIMUM SLOPE IN ANY DIRECTION AT HANDICAP PARKING AREAS IS 2%. IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE AT SIDEWALK IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
- ADJUST TOPS ON CATCH BASINS AND CURB INLETS TO MEET FINAL GRADE.
- STORM DRAINAGE PIPE SHALL BE CLASS III, REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 WITH BUTYL-MASTIC OR RUBBER GASKET JOINTS, ADS HP STORM PIPE, OR APPROVED ALTERNATIVE, PER THE DRAWING AND PROJECT SPECIFICATIONS.
- EARTHWORK OPERATIONS SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 10, 2019.
- FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698)
- THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW 3% ABOVE OF THE OPTIMUM MOISTURE CONTENT.
- SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
- PROVIDE SUBGRADE FOR BUILDING PAD PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. THE EXPOSED SURFACE IN PAVEMENT OR BUILDING FLOOR AREAS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER AND MAY REQUIRE SOME IMPROVEMENTS IF THE MOISTURE CONTENTS ARE BEYOND ACCEPTABLE LIMITS.
- FILL MATERIAL SHOULD CONSIST OF MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER THAT ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 9 INCHES OR LESS IN LOOSE THICKNESS.
- IN AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL ENSURE STOCKPILED SOILS ARE WELL DRAINED AND ARE NOT ALLOWED TO INCREASE MOISTURE CONTENT.
- THE CONTRACTOR SHALL REMOVE SOILS WHICH DO NOT MEET OR EXCEED THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:  
 18.1. EXISTING SOILS SHALL BE UNDERCUT AND REPLACED WITH LOW VOLUME CHANGE SOILS TO A DEPTH OF 5' BELOW AND TO WITHIN 5' HORIZONTALLY OF THE BUILDING PAD.  
 18.2. EXISTING SOILS SHALL BE UNDERCUT IN PAVEMENT AREAS AS NECESSARY SO THAT AT LEAST 1 FOOT OF ENGINEERED FILL CAN BE CONSTRUCTED AS THE UPPER PAVEMENT SUBGRADE AFTER THOROUGH PROOF-ROLL TESTING THE EXISTING SOILS.  
 18.3. PRIOR TO ANY FILL OPERATIONS THE SITE SHALL BE PROOF-ROLLED AND ANY WEAK OR OTHERWISE UNUSABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH APPROVED ENGINEERED FILL.
- ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION. EXCESS SOILS WILL BE DISPOSED OFFSITE.
- UPON COMPLETION OF THE FILLING OPERATION, CARE SHOULD BE TAKEN TO MAINTAIN THE SUBGRADE MOISTURE CONTENT PRIOR TO CONSTRUCTION OF THE FLOOR SLAB. IF THE SUBGRADE SHOULD BECOME DESICCATED, THE AFFECTED MATERIAL SHOULD BE REMOVED OR THESE MATERIALS SHOULD BE SCARIFIED, MOISTENED AND RECOMPACTED PRIOR TO FLOOR SLAB PLACEMENT.
- FILL MATERIAL SHALL CONSIST OF NATURALLY OCCURRING EARTH MATERIALS WITH A PLASTICITY INDEX OF NOT MORE THAN 20%. IT SHALL BE FREE FROM ORGANIC MATTER AND CLAY BALLS WITH AN UPPER PARTICLE SIZE DIAMETER OF 2.5 INCHES.
- PROVIDE NECESSARY AND REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SUBMIT PROPOSED PIPE AND STRUCTURE DRAWINGS FOR ENGINEER TO REVIEW. NO INSTALLATION SHALL BEGIN UNTIL WRITTEN APPROVAL HAS BEEN GRANTED.

STORM DRAINAGE - PIPE DATA										
FROM	FLOW LINE ELEV.	TO	FLOW LINE ELEV.	PIPE DIA. (IN.)	SLOPE (%)	LENGTH (FT.)	DESIGN Q (25YR) (CFS)	PIPE CAPACITY (CFS)	MAX. (FPS) VELOCITY	DRAIN AREA (AC)
A1	387.85	A2	387.52	15"	0.50	67	3.30	4.93	4.0	0.44
A2	387.42	A3	387.14	15"	0.49	57	4.36	4.92	4.0	0.59
A3	387.04	A4	386.40	18"	0.50	127	7.17	8.07	4.6	0.98
A4	386.30	A5	385.52	24"	0.50	156	8.84	17.33	5.5	1.23
A5	385.42	A11	384.97	24"	0.54	84	11.07	17.93	5.7	1.59
A6	387.89	A8	387.46	15"	0.46	94	3.06	4.72	3.8	0.40
A7	387.75	A8	387.45	15"	0.91	33	1.30	6.69	5.5	0.17
A8	387.46	A9	386.76	15"	0.54	130	4.26	5.14	4.2	0.57
A9	386.66	A10	386.00	18"	0.50	131	6.87	8.07	4.6	0.94
A10	385.90	A11	384.97	24"	0.43	217	8.89	16.05	5.1	1.24
A11	384.87	A12	384.50	30"	0.43	86	21.77	29.13	5.9	3.17
B1	383.50	B2	382.50	48" (2)	1.02	98	***231.99	289.85	11.5	84.75
C1	384.50	C2	381.00	15"	4.42	79	2.75	13.57	11.1	0.36
D1	384.50	D2	382.00	24"	3.30	76	***12.14	44.49	14.2	5.25
E1	389.50	E3	388.25	12"	5.33	23	0.84	8.91	11.3	0.11
E2	389.20	E3	388.25	12"	3.06	31	1.68	6.75	8.6	0.22
E3	388.15	A1	387.95	12"	0.55	36	2.49	2.87	3.7	0.33
E4	389.25	A1	387.95	12"	3.84	34	0.84	7.56	9.6	0.11

\* PIPE SHALL BE ADS HP STORM  
 \*\* PIPE SHALL BE CLASS III RCP  
 \*\*\* DESIGN FLOW IS 100-YR

STORM DRAINAGE - STRUCTURE DATA						
STRUC. NO.	STRUC. TYPE	GRATE ELEV.	FLOW LINE ELEV.	AREA (AC)	DESIGN Q 25-YR (CFS)	
A1	NYLOPLAST TEE	N/A	387.85	0.00	....	
A2	YARD INLET	392.00	387.42	0.15	1.15	
A3	CURB INLET	391.30	387.04	0.39	2.98	
A4	CURB INLET	391.88	386.30	0.25	1.91	
A5	CURB INLET	389.52	385.42	0.36	2.75	
A6	CURB INLET	391.14	387.89	0.40	3.06	
A7	YARD INLET	390.90	387.75	0.17	1.30	
A8	MAN HOLE	392.10	387.46	0.00	....	
A9	2X4 INLET	391.00	386.66	0.37	2.83	
A10	MAN HOLE	392.50	385.90	0.30	....	
A11	CURB INLET	389.52	384.87	0.34	2.60	
A12	TYPE E HEADWALL	....	384.50	....	....	
B1	HEADWALL	....	383.50	84.75	** 231.99	
B2	HEADWALL	....	382.50	....	....	
C1	HEADWALL	....	384.50	0.36	2.75	
C2	TYPE E HEADWALL	....	381.00	....	....	
D1	HEADWALL	....	384.50	5.25	** 12.14	
D2	TYPE E HEADWALL	....	382.00	....	....	
E1	18" NYLOPLAST	392.50	389.50	0.11	0.84	
E2	24" NYLOPLAST	392.20	389.20	0.22	1.68	
E3	NYLOPLAST TEE	N/A	388.15	0.00	....	
E4	18" NYLOPLAST	392.25	389.25	0.11	0.84	

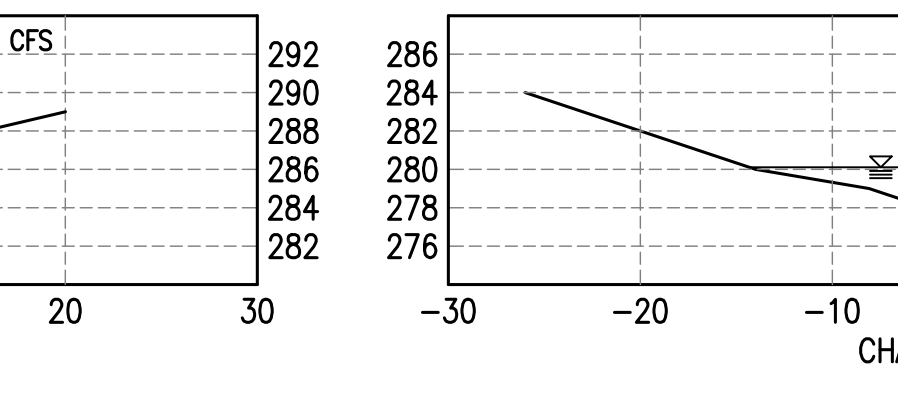
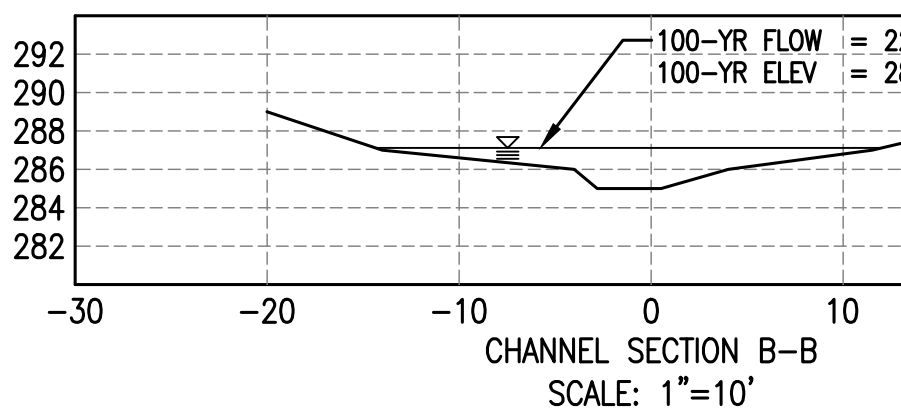
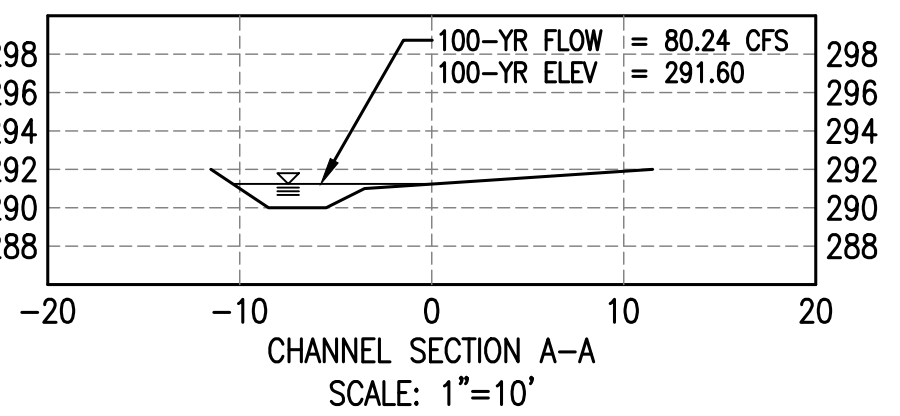
\* STRUCTURES LESS THAN 4' DEEP SHALL BE NYLOPLAST, ALL OTHER STRUCTURES SHALL BE PRECAST CONCRETE  
 \*\* DESIGN FLOW IS 100-YR  
 † NYLOPLAST STRUCTURES SHALL HAVE PEDESTRIAN GRATES

PRE-DEVELOPMENT VS POST-DEVELOPMENT DATA			
STORM EVENT	TOTAL PRE-DEVELOPMENT RUNOFF (CFS)	TOTAL POST DEVELOPMENT RUNOFF (CFS)	
2	8.25	9.56	
10	14.95	14.47	
25	19.21	17.00	
50	22.69	18.93	
100	26.20	20.80	

DETENTION POND DATA			
Stage (ft)	Elev. (ft)	Storage (cuft)	Discharge (cfs)
0.0	384.5	0	0.00
0.5	385.0	8,183	1.24
1.5	386.0	26,405	7.37
2.5	387.0	47,163	11.25
3.5	388.0	71,482	16.30
4.5	389.0	96,310	26.22

DRAINAGE AREA = 5.25 AC  
 4' WIDE EMERGENCY SPILLWAY ELEV = 387.70  
 TOP OF BANK ELEV = 389.00  
 18" OUTFALL PIPE WITH TRASH SCREEN ELEV = 384.50

DETENTION POND DATA				
STORM EVENT	POND INFLOW (CFS)	WATER SURFACE ELEVATION	POND OUTFLOW (CFS)	TOTAL STORAGE (CUF)
2	25.48	385.89	6.86	24,416
10	37.60	386.46	9.35	35,921
25	44.79	386.79	10.57	42,875
50	50.50	387.05	11.42	48,480
100	56.19	387.29	12.14	54,121



REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM

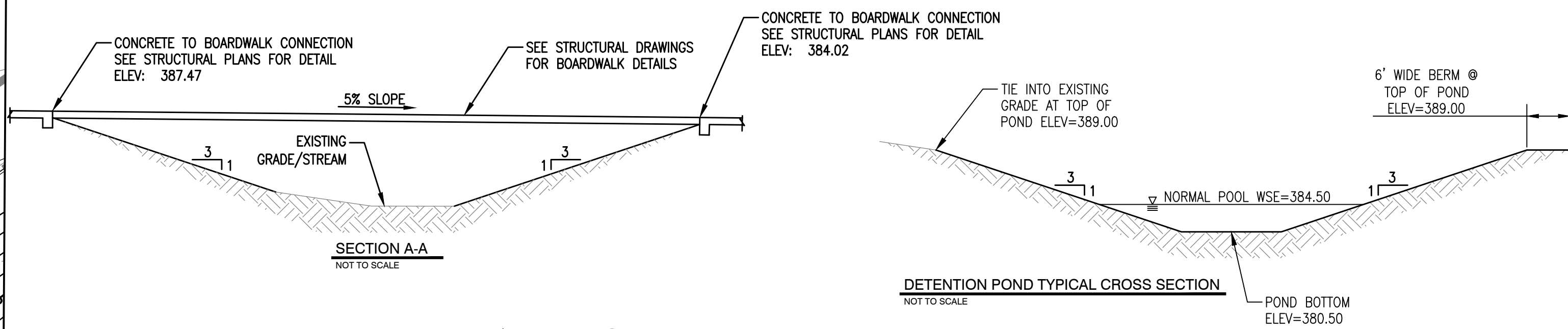
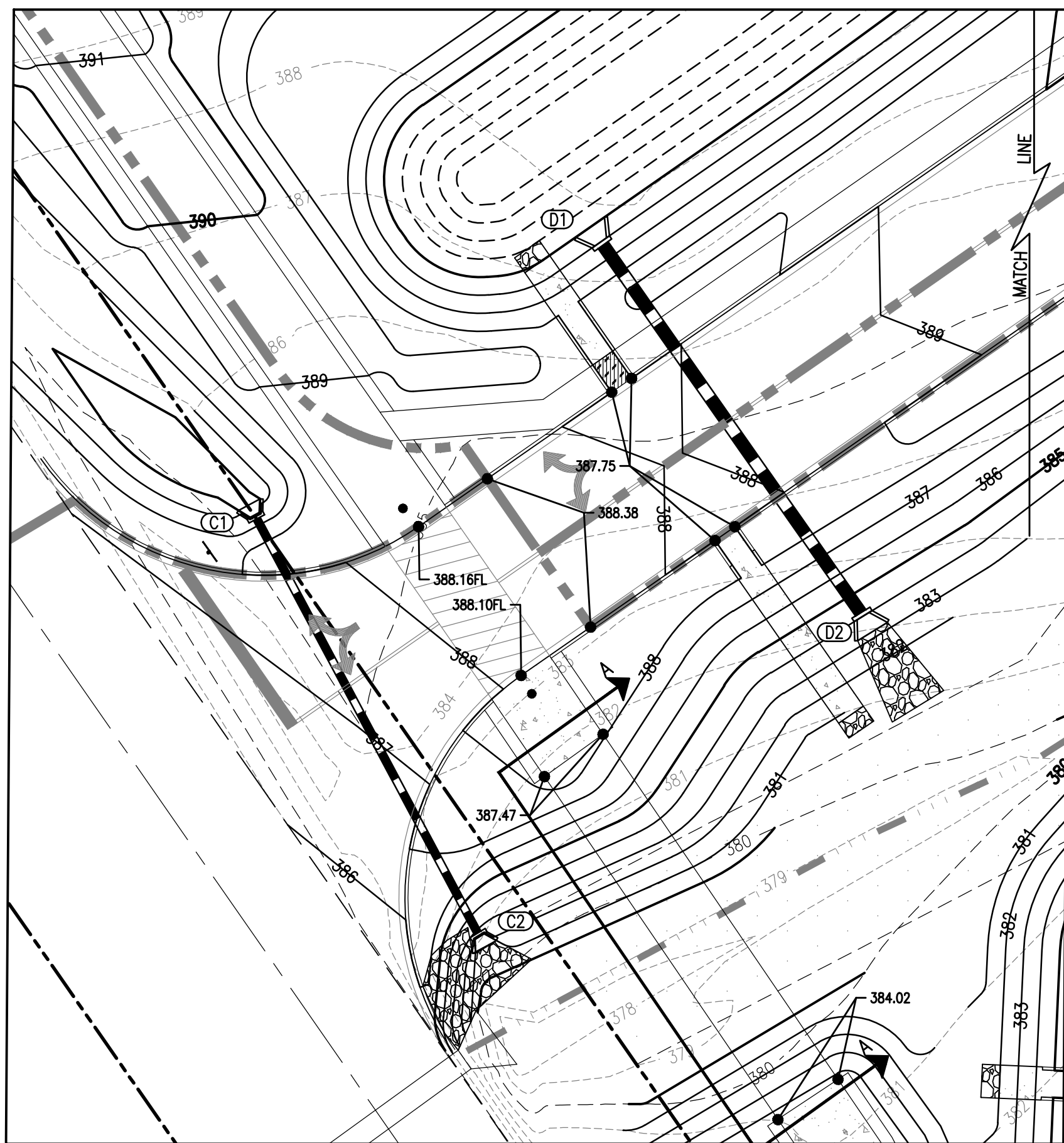
**Pickering**  
 Pickering Firm, Inc.  
 Architecture - Engineering  
 Planning - Surveying  
 6383 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0010

**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
 STATE HIGHWAY # 5 BRYANT, AR  
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)

SEAL:

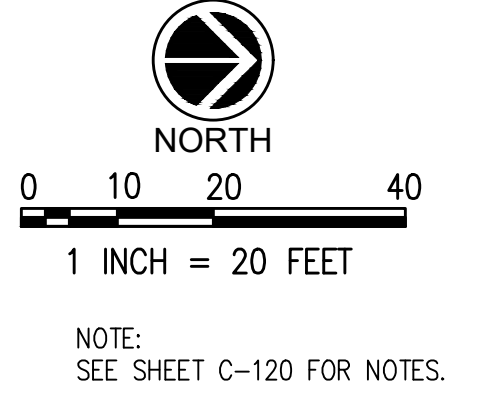
SHEET NUMBER:  
**C-120**  
 DESCRIPTION:  
 OVERALL GRADING & DRAINAGE PLAN



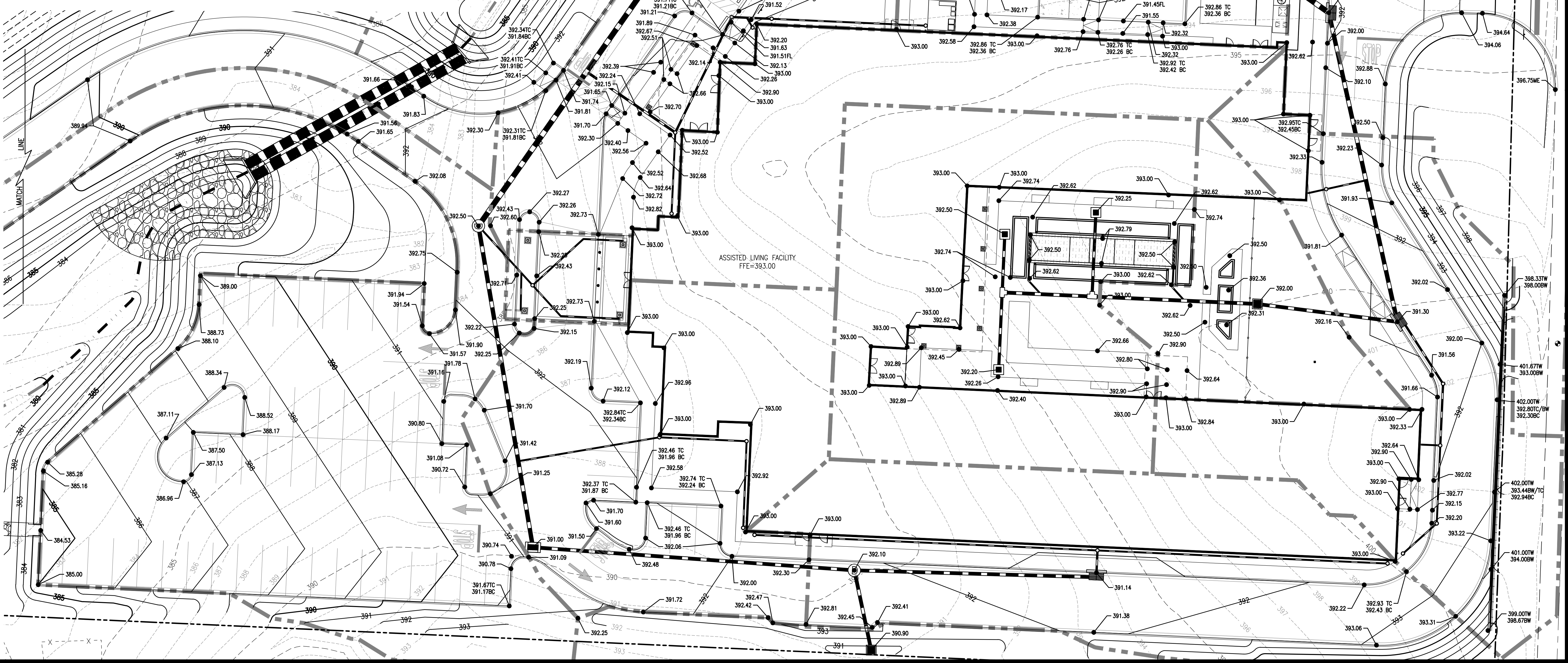


**SPOT LEGEND**

- TC= TOP OF CURB
- BC= BOTTOM OF CURB
- FL= FLUSH
- TW= GRADE AT TOP OF WALL
- BW= GRADE AT BOTTOM OF WALL
- ME= MATCH EXISTING



SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.



**REVISIONS:**


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM

**Pickering**  
 Pickering Firm, Inc.  
 Architecture • Engineering  
 Planning • Surveying  
 6363 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0010

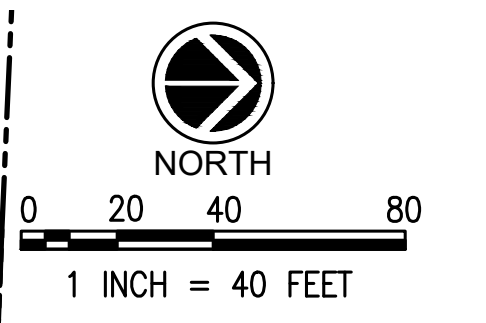
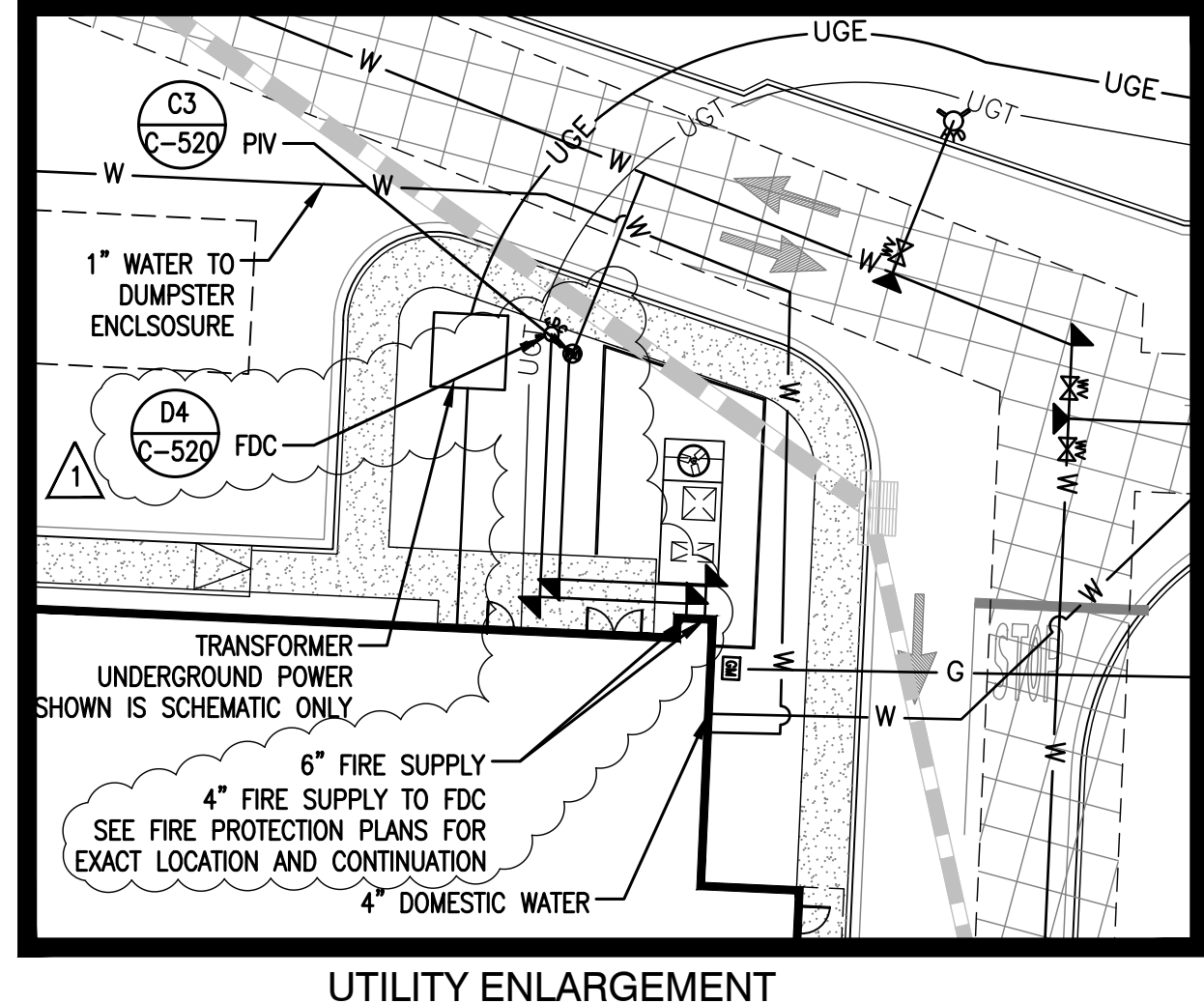
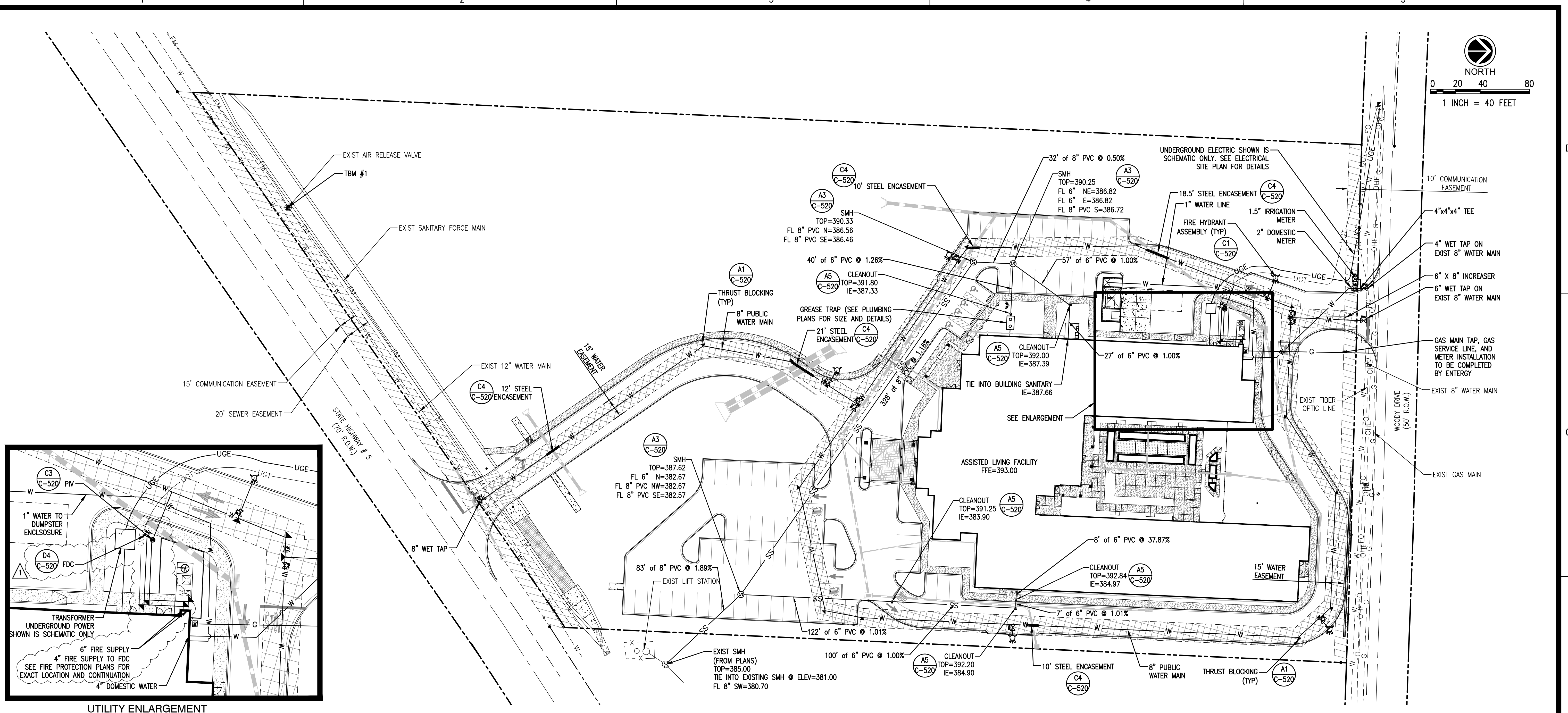
**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
 STATE HIGHWAY # 5  
 BRYANT, AR

SEAL:

SHEET NUMBER:  
**C-121**

DESCRIPTION:  
 GRADING PLAN

K:\25526.01\CAD PLANS\C-120 OVERALL GRADING.DWG



REVISIONS:		
NO.	DATE	REVISIONS
1	12/12/19	CITY COMMENTS

PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.6919

**Pinnacle Point at Bryant  
Assisted Living Facility**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
BRYANT, AR**

SEAL:

SHEET NUMBER:  
**C-130**  
DESCRIPTION:  
OVERALL UTILITY PLAN

**FLOOD NOTE:**  
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C02400 WITH AN EFFECTIVE DATE OF 06/19/2012.

**SITE TBM:**

**SITE TBM #1**  
THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE  
N:2028095.8241, E:1166418.6672  
ELEV: 396.87 (NAVD 88)

**SITE TBM #2**  
SET #5 REBAR (NOT SHOWN ON PLAN)  
N:2028699.5496, E:1167607.0634  
ELEV: 398.77 (NAVD 88)

**SITE TBM #3**  
SET #5 REBAR (NOT SHOWN ON PLAN)  
N:2028841.9186, E:1167878.9694  
ELEV: 408.96 (NAVD 88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

**WATER NOTES:**

- ALL MATERIALS AND INSTALLATION, TESTING, DISINFECTING, AND INSPECTIONS SHALL CONFORM TO THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, AND THE REQUIREMENTS OF THE STATE OF ARKANSAS. WATER LINES, FITTINGS AND CONNECTIONS ARE TO BE TESTED FOR WATER TIGHTNESS BY PRESSURE TESTING.
- ALL PIPE LINES, FIRE HYDRANTS, VALVES, AND FITTINGS ARE TO BE BLOCKED WITH CONCRETE THRUST BLOCKS IN ACCORDANCE WITH CITY OF BRYANT STANDARD DETAILS.
- SLEEVES FOR IRRIGATION AND SITE LIGHTING SHALL BE INSTALLED PRIOR TO PAVING.
- ALL PVC PIPE SHALL BEAR THE NSF SEAL OF APPROVAL.
- THE WATER PLAN SHOWN IS DIAGRAMMATIC ONLY. THE SITESWORK CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS INCLUDING MATERIALS, INSTALLATION, TESTING, AND INSPECTION. COORDINATE WITH CITY PUBLIC WORKS.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 30" COVER FROM FINISHED GRADE. WATER LINES SHALL BE PVC C900, CLASS 200.

**WATER/SEWER SEPARATION NOTE:**

- WATER MAINS SHALL BE LAID AT LEAST 10' HORIZONTALLY AND 24" VERTICALLY FROM ANY SEWER OR MANHOLE (WATER OVER SEWER).
- WHERE LOCAL CONDITIONS PREVENT ADEQUATE VERTICAL SEPARATION, THE SANITARY SEWER MUST BE CONSTRUCTED OF DUCTILE IRON, PVC, OR REINFORCED CONCRETE, THE SEWER LINE MUST MEET REQUIREMENTS OF THE CITY OF BRYANT STANDARD SPECIFICATIONS, AND MUST BE PRESSURE TESTED [PURSUANT TO CHAPTER VI OF THE STATE HEALTH DEPARTMENT] MINIMUM STANDARD OF DESIGN OF WATER POLLUTION CONTROL FACILITIES.
- JOINTS IN THE SEWER PIPE SHALL BE LOCATED A MINIMUM OF 10' FROM THE INTERSECTED WATER MAIN.
- WHERE A 24" SEPARATION, WATER OVER SEWER, CANNOT BE MAINTAINED, THE SANITARY SEWER SHALL BE REINFORCED CONCRETE ENCASED FOR A DISTANCE OF TEN FEET EACH WAY FROM THE WATER LINE CROSSING.
- WHERE A WATER MAIN IS LAID BELOW THE SANITARY SEWER, REGARDLESS OF CLEAR SPACE, THE SANITARY SEWER SHALL BE REINFORCED CONCRETE ENCASED FOR A DISTANCE OF TEN FEET EACH WAY FROM THE WATER LINE CROSSING.

**GAS, TELEPHONE AND ELECTRIC NOTES:**

- ALL UTILITY CONSTRUCTION TO CONFORM TO THE LOCAL PROVIDER UTILITY STANDARDS AND SPECIFICATIONS.
- GAS, ELECTRIC, & TELEPHONE SERVICE SHOWN IS SCHEMATIC ONLY. GAS SERVICE TO BE PROVIDED BY CENTERPOINT ENERGY; ELECTRIC SERVICE TO BE PROVIDED BY ENTERGY; TELEPHONE SERVICE TO BE PROVIDED BY AT&T. SITE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY PROVIDERS AND THE BUILDING CONTRACTOR FOR GAS, ELECTRIC AND TELEPHONE SERVICE.
- CONTRACTOR SHALL COORDINATE LOCATION AND DEPTHS OF UTILITIES WITH UTILITY PROVIDERS PRIOR TO INSTALLATION OF CONDUIT AND/OR PIPING.
- SITE WORK CONTRACTOR SHALL ENSURE THAT SLEEVES FOR SITE LIGHTING AND IRRIGATION ARE INSTALLED PRIOR TO PAVING.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POWER FOR IRRIGATION SYSTEMS.
- PROVIDE PULLWIRE IN ALL EMPTY CONDUITS.

**SEWER NOTES:**

- ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES AND STATE OF AR SPECIFICATIONS.
- SEVENTY-TWO (72) HOURS BEFORE STARTING ANY EXCAVATION, THE CONTRACTOR SHALL CALL AR ONE CALL AT 811.
- THE CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL PVC SEWER LINES SHALL BE RATED AS SDR 26 IN ACCORDANCE WITH ASTM D-3034.
- CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE TO EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
- ALL SEWER LINES SHALL BE PRIVATE, UNLESS NOTED ON THE PLANS

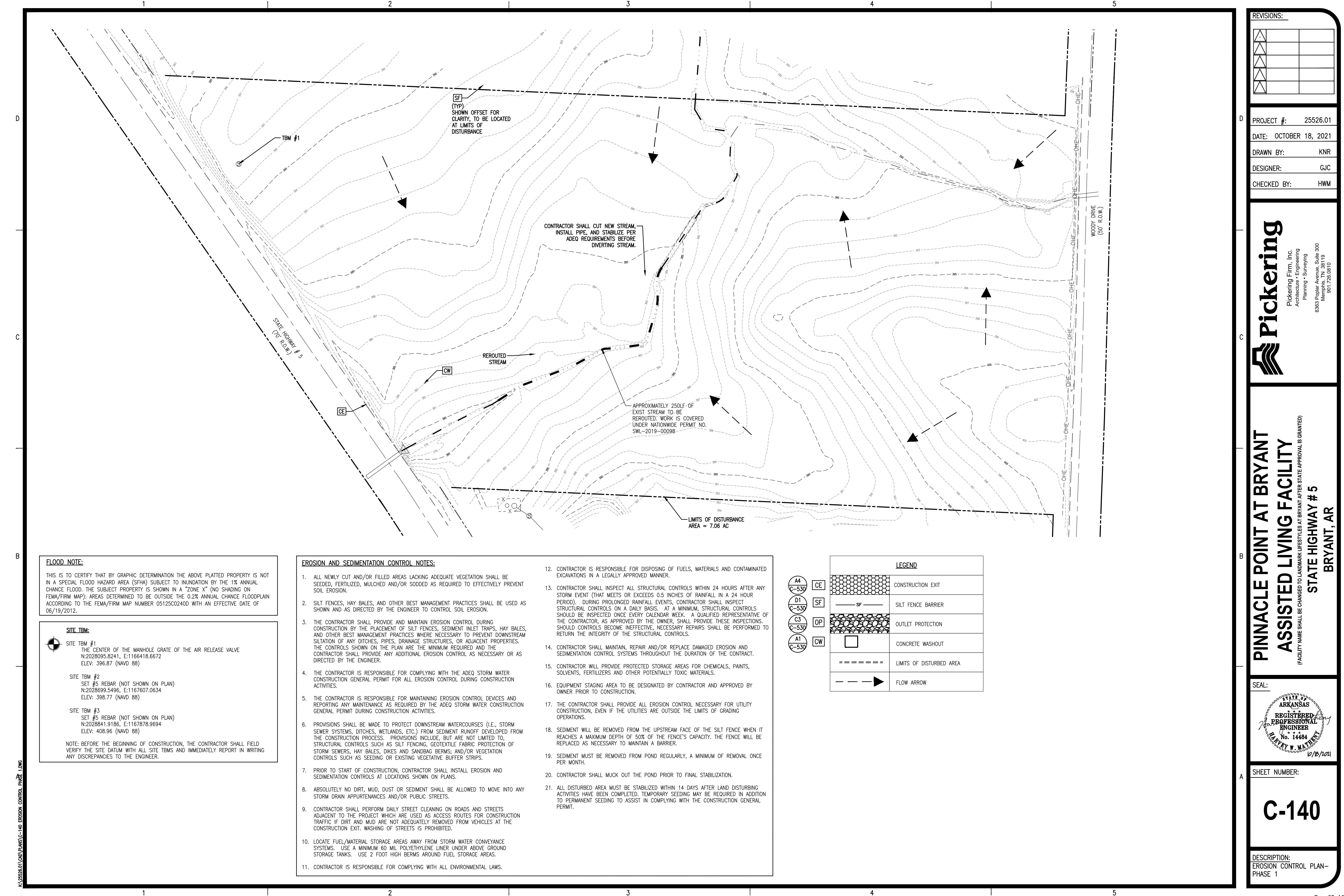
**LINE LEGEND**

- D ----- D ----- D ----- D ----- EXISTING STORM DRAINAGE
- FO ----- FO ----- FO ----- EXISTING UNDERGROUND FIBEROPTIC LINES
- UGT ----- UGT ----- UGT ----- EXISTING UNDERGROUND TELEPHONE LINES
- OHE ----- OHE ----- OHE ----- EXISTING OVERHEAD ELECTRIC LINES
- UGE ----- UGE ----- UGE ----- EXISTING UNDERGROUND ELECTRIC LINES
- G ----- G ----- G ----- EXISTING NATURAL GAS LINE
- W ----- W ----- W ----- EXISTING WATER LINE
- SS ----- SS ----- SS ----- EXISTING SANITARY SEWER LINE
- X ----- X ----- X ----- EXISTING FENCE
- T ----- T ----- T ----- OVERHEAD TELEPHONE LINES
- UGT ----- UGT ----- UGT ----- UNDERGROUND TELEPHONE LINES
- OHE ----- OHE ----- OHE ----- OVERHEAD ELECTRIC LINES
- UGE ----- UGE ----- UGE ----- UNDERGROUND ELECTRIC LINES
- G ----- G ----- G ----- NATURAL GAS LINE
- W ----- W ----- W ----- WATER LINE
- SS ----- SS ----- SS ----- SANITARY SEWER LINE
- X ----- X ----- X ----- FENCE

**SYMBOL LEGEND**

- |  |                            |  |       |                          |
|--|----------------------------|--|-------|--------------------------|
|  | POWER POLE                 |  | EP    | EDGE OF PAVEMENT         |
|  | METAL TRAFFIC POLE         |  | ROW   | RIGHT OF WAY CENTERLINE  |
|  | LIGHT POLE                 |  | RCP   | REINFORCED CONCRETE PIPE |
|  | ELECTRIC BOX               |  | CONC  | CONCRETE                 |
|  | ANCHOR GUY                 |  | CMP   | CORRUGATED METAL PIPE    |
|  | TELEPHONE PEDESTAL         |  | SP    | SUBJECT PROPERTY LINE    |
|  | SANITARY SEWER MANHOLE     |  | TC    | TOP OF CURB              |
|  | GAS VALVE                  |  | BC    | BOTTOM OF CURB           |
|  | WATER VALVE                |  | POB   | POINT OF BEGINNING       |
|  | WATER METER/WATER SHUTOFF  |  | HCR   | HANDICAP RAMP            |
|  | FIRE HYDRANT               |  | CPA   | HANDICAP PARKING/ACCESS  |
|  | CURB INLET                 |  | SCO   | SEWER CLEANOUT           |
|  | STORM SEWER MANHOLE        |  | INLET | INLET                    |
|  | MONITOR WELL               |  | HWL   | HEADWALL                 |
|  | FOUND IRON PIN/NAIL/SPIKE  |  | PB    | PLAT BOOK                |
|  | SET IRON PIN/NAIL/SPIKE    |  | PG    | PAGE                     |
|  | FOUND CONCRETE MONUMENT    |  | C=    | DEED CALL                |
|  | SIGN                       |  | C&M=  | CALL & MEASURED DISTANCE |
|  | TREE, SHRUB, PLANTING      |  | ESMT  | EASEMENT                 |
|  | FIRE DEPARTMENT CONNECTION |  |       |                          |
|  | MONITOR WELL               |  |       |                          |

\*NOTE: ALL SYMBOLS, ABBREVIATIONS, OR LINESYLES DO NOT NECESSARILY APPEAR ON DRAWING(S). USE ONLY AS APPLICABLE.



**FLOOD NOTE:**  
 THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

**SITE TBM:**

**SITE TBM #1**  
 THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE  
 N:2028095.8241, E:1166418.6672  
 ELEV: 396.87 (NAVD 88)

**SITE TBM #2**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028699.5496, E:1167607.0634  
 ELEV: 398.77 (NAVD 88)

**SITE TBM #3**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028841.9186, E:1167878.9694  
 ELEV: 408.96 (NAVD 88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

- EROSION AND SEDIMENTATION CONTROL NOTES:**
- ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION.
  - SILT FENCES, HAY BALES, AND OTHER BEST MANAGEMENT PRACTICES SHALL BE USED AS SHOWN AND AS DIRECTED BY THE ENGINEER TO CONTROL SOIL EROSION.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, SEDIMENT INLET TRAPS, HAY BALES, AND OTHER BEST MANAGEMENT PRACTICES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTROLS SHOWN ON THE PLAN ARE THE MINIMUM REQUIRED AND THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE ADEQ STORM WATER CONSTRUCTION GENERAL PERMIT FOR ALL EROSION CONTROL DURING CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REPORTING ANY MAINTENANCE AS REQUIRED BY THE ADEQ STORM WATER CONSTRUCTION GENERAL PERMIT DURING CONSTRUCTION ACTIVITIES.
  - PROVISIONS SHALL BE MADE TO PROTECT DOWNSTREAM WATERCOURSES (I.E., STORM SEWER SYSTEMS, DITCHES, WETLANDS, ETC.) FROM SEDIMENT RUNOFF DEVELOPED FROM THE CONSTRUCTION PROCESS. PROVISIONS INCLUDE, BUT ARE NOT LIMITED TO, STRUCTURAL CONTROLS SUCH AS SILT FENCING, GEOTEXTILE FABRIC PROTECTION OF STORM SEWERS, HAY BALES, DIKES AND SANDBAG BERMS; AND/OR VEGETATION CONTROLS SUCH AS SEEDING OR EXISTING VEGETATIVE BUFFER STRIPS.
  - PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATIONS SHOWN ON PLANS.
  - ABSOLUTELY NO DIRT, MUD, DUST OR SEDIMENT SHALL BE ALLOWED TO MOVE INTO ANY STORM DRAIN APPURTENANCES AND/OR PUBLIC STREETS.
  - CONTRACTOR SHALL PERFORM DAILY STREET CLEANING ON ROADS AND STREETS ADJACENT TO THE PROJECT WHICH ARE USED AS ACCESS ROUTES FOR CONSTRUCTION TRAFFIC IF DIRT AND MUD ARE NOT ADEQUATELY REMOVED FROM VEHICLES AT THE CONSTRUCTION EXIT. WASHING OF STREETS IS PROHIBITED.
  - LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. USE A MINIMUM 60 MIL POLYETHYLENE LINER UNDER ABOVE GROUND STORAGE TANKS. USE 2 FOOT HIGH BERMS AROUND FUEL STORAGE AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL ENVIRONMENTAL LAWS.
  - CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF FUELS, MATERIALS AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
  - CONTRACTOR SHALL INSPECT ALL STRUCTURAL CONTROLS WITHIN 24 HOURS AFTER ANY STORM EVENT (THAT MEETS OR EXCEEDS 0.5 INCHES OF RAINFALL IN A 24 HOUR PERIOD). DURING PROLONGED RAINFALL EVENTS, CONTRACTOR SHALL INSPECT STRUCTURAL CONTROLS ON A DAILY BASIS. AT A MINIMUM, STRUCTURAL CONTROLS SHOULD BE INSPECTED ONCE EVERY CALENDAR WEEK. A QUALIFIED REPRESENTATIVE OF THE CONTRACTOR, AS APPROVED BY THE OWNER, SHALL PROVIDE THESE INSPECTIONS. SHOULD CONTROLS BECOME INEFFECTIVE, NECESSARY REPAIRS SHALL BE PERFORMED TO RETURN THE INTEGRITY OF THE STRUCTURAL CONTROLS.
  - CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEMS THROUGHOUT THE DURATION OF THE CONTRACT.
  - CONTRACTOR WILL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS AND OTHER POTENTIALLY TOXIC MATERIALS.
  - EQUIPMENT STAGING AREA TO BE DESIGNATED BY CONTRACTOR AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL NECESSARY FOR UTILITY CONSTRUCTION, EVEN IF THE UTILITIES ARE OUTSIDE THE LIMITS OF GRADING OPERATIONS.
  - SEDIMENT WILL BE REMOVED FROM THE UPSTREAM FACE OF THE SILT FENCE WHEN IT REACHES A MAXIMUM DEPTH OF 50% OF THE FENCE'S CAPACITY. THE FENCE WILL BE REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
  - SEDIMENT MUST BE REMOVED FROM POND REGULARLY, A MINIMUM OF REMOVAL ONCE PER MONTH.
  - CONTRACTOR SHALL MUCK OUT THE POND PRIOR TO FINAL STABILIZATION.
  - ALL DISTURBED AREA MUST BE STABILIZED WITHIN 14 DAYS AFTER LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED. TEMPORARY SEEDING MAY BE REQUIRED IN ADDITION TO PERMANENT SEEDING TO ASSIST IN COMPLYING WITH THE CONSTRUCTION GENERAL PERMIT.

LEGEND	
	CONSTRUCTION EXIT
	SILT FENCE BARRIER
	OUTLET PROTECTION
	CONCRETE WASHOUT
	LIMITS OF DISTURBED AREA
	FLOW ARROW

REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM

**Pickering**  
 Pickering Firm, Inc.  
 Architecture • Engineering  
 Planning • Surveying  
 6383 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0010

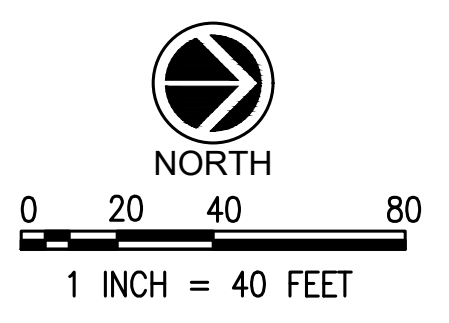
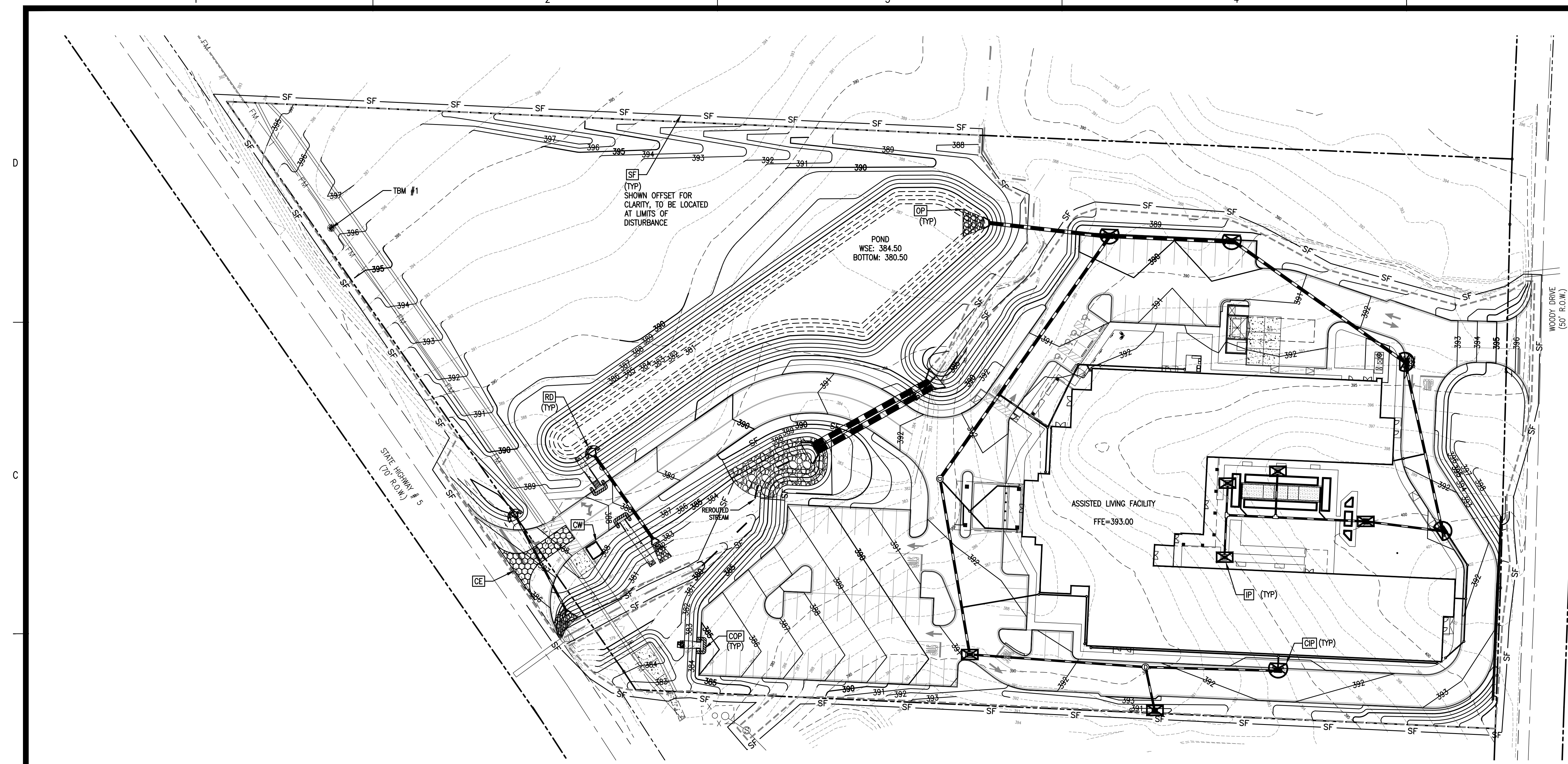
**PINNACLE POINT AT BRYANT  
 ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
 BRYANT, AR**

SEAL:

SHEET NUMBER:  
**C-140**

DESCRIPTION:  
 EROSION CONTROL PLAN-  
 PHASE 1

K:\25526.01\CAD PLANS\C-140 EROSION CONTROL PHASE 1.DWG



REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM

**Pickering**  
 Pickering Firm, Inc.  
 Architecture • Engineering  
 Planning • Surveying  
 6363 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0010

**PINNACLE POINT AT BRYANT  
 ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
 BRYANT, AR**

SEAL:  
  
 HARVEY T. MATHENY  
 No. 14484  
 10/18/2021

SHEET NUMBER:  
**C-141**

DESCRIPTION:  
 EROSION CONTROL  
 PLAN-PHASE 2

**FLOOD NOTE:**  
 THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

**EROSION AND SEDIMENTATION CONTROL NOTES:**  
 \*SEE SHEET C-140 FOR NOTES.

**SITE TBM:**

**SITE TBM #1**  
 THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE  
 N:2028095.8241, E:1166418.6672  
 ELEV: 396.87 (NAVD 88)

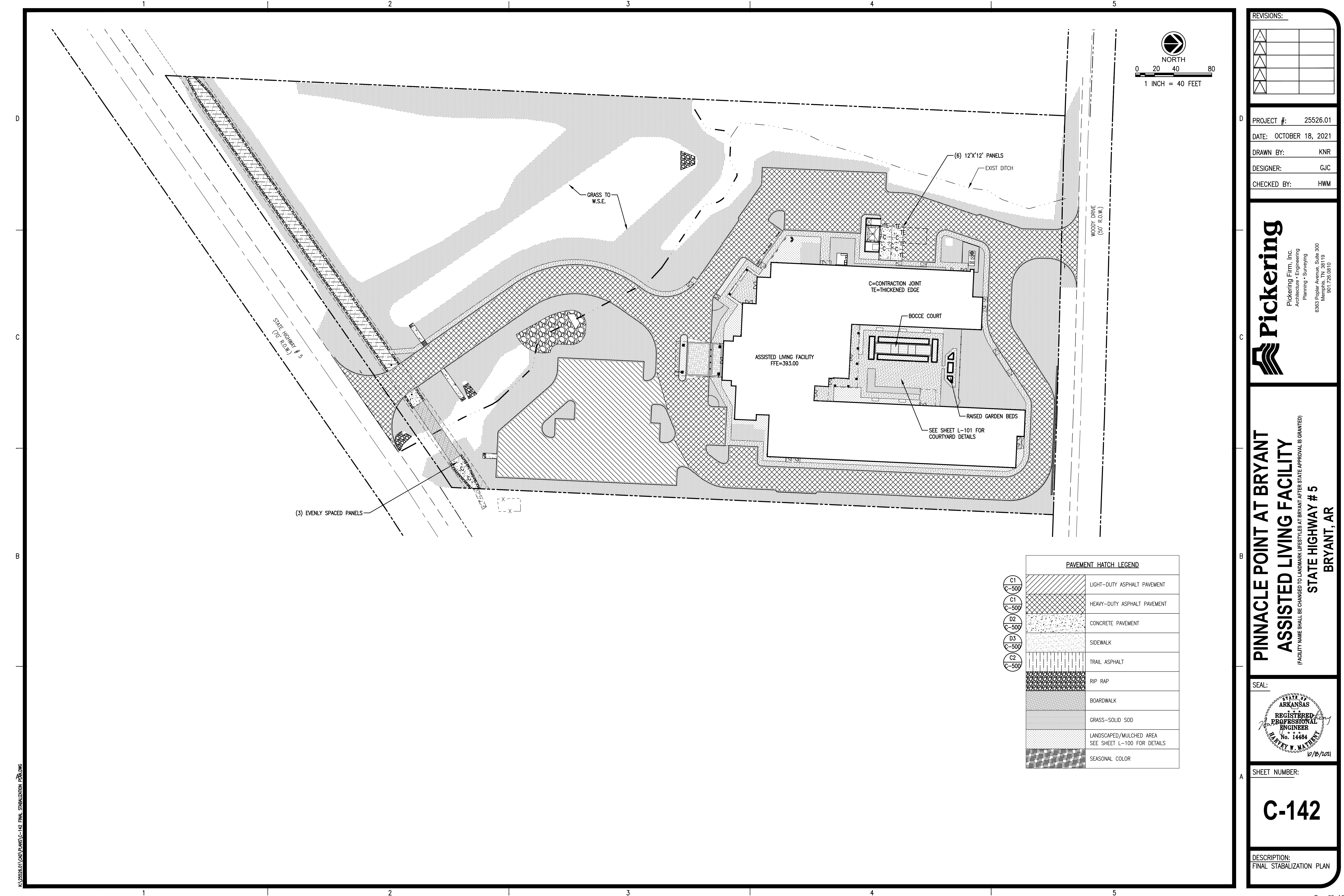
**SITE TBM #2**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028699.5496, E:1167607.0634  
 ELEV: 398.77 (NAVD 88)

**SITE TBM #3**  
 SET #5 REBAR (NOT SHOWN ON PLAN)  
 N:2028841.9186, E:1167878.9694  
 ELEV: 408.96 (NAVD 88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

LEGEND	
CIP	CURB INLET PROTECTION
IP	INLET PROTECTION
COP	CURB OPENING PROTECTION
RD	ROCK FILTER DAM
CE	CONSTRUCTION EXIT
SF	SILT FENCE BARRIER
OP	OUTLET PROTECTION
CW	CONCRETE WASHOUT
	LIMITS OF DISTURBED AREA

K:\25526.01\CAD\PLANS\C-140 EROSION CONTROL PHASE 2.DWG



REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM

**Pickering**  
 Pickering Firm, Inc.  
 Architecture • Engineering  
 Planning • Surveying  
 6363 Poplar Avenue, Suite 300  
 Memphis, TN 38119  
 901.726.0010

**PINNACLE POINT AT BRYANT  
 ASSISTED LIVING FACILITY**  
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
 STATE HIGHWAY # 5  
 BRYANT, AR

PAVEMENT HATCH LEGEND

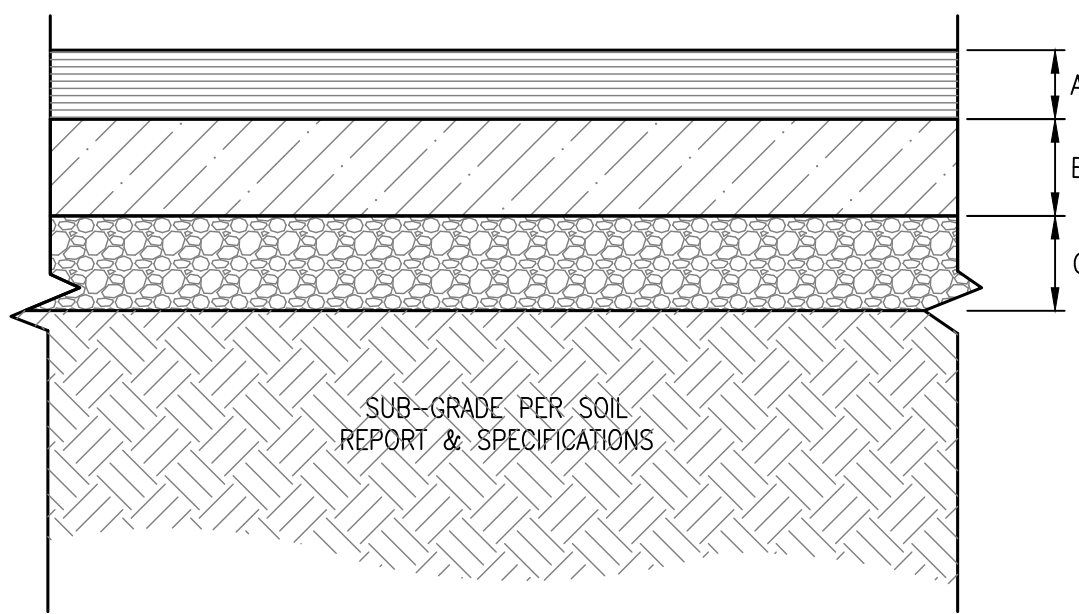
C1 C-500		LIGHT-DUTY ASPHALT PAVEMENT
C1 C-500		HEAVY-DUTY ASPHALT PAVEMENT
D2 C-500		CONCRETE PAVEMENT
D3 C-500		SIDEWALK
C2 C-500		TRAIL ASPHALT
		RIP RAP
		BOARDWALK
		GRASS-SOLID SOD
		LANDSCAPED/MULCHED AREA SEE SHEET L-100 FOR DETAILS
		SEASONAL COLOR

SEAL:

SHEET NUMBER:  
**C-142**

DESCRIPTION:  
 FINAL STABILIZATION PLAN

K:\25526.01\CAD PLANS\C-142\_FINAL STABILIZATION PLAN.dwg



**STANDARD DUTY ASPHALT PAVING**

- A = 3" ASPHALT CONCRETE WEARING COURSE, ARDOT SECTION 407
- B = NOT APPLICABLE
- C = 8" CRUSHED AGGREGATE BASE, ARDOT SECTION 303, CLASS 7

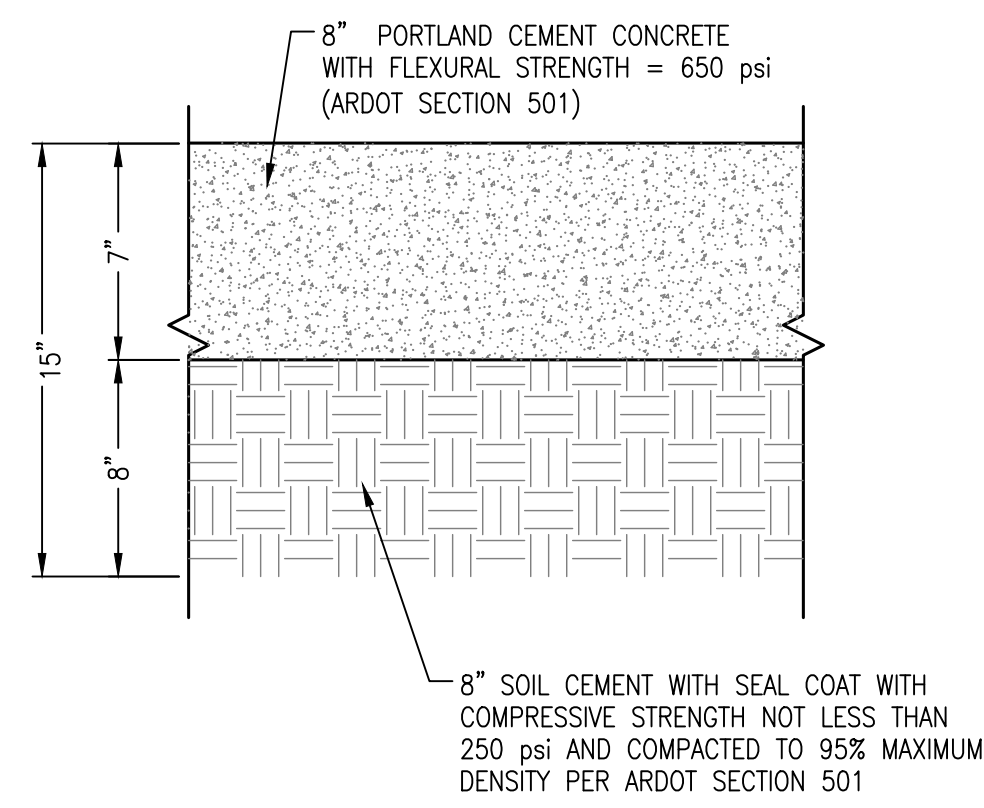
**HEAVY DUTY ASPHALT PAVING**

- A = 1.5" ASPHALT CONCRETE WEARING COURSE, ARDOT SECTION 407
- B = 2.5" ASPHALT CONCRETE BINDER LAYER, SECTION ARDOT 406
- C = 8" CRUSHED AGGREGATE BASE, ARDOT SECTION 303, CLASS 7

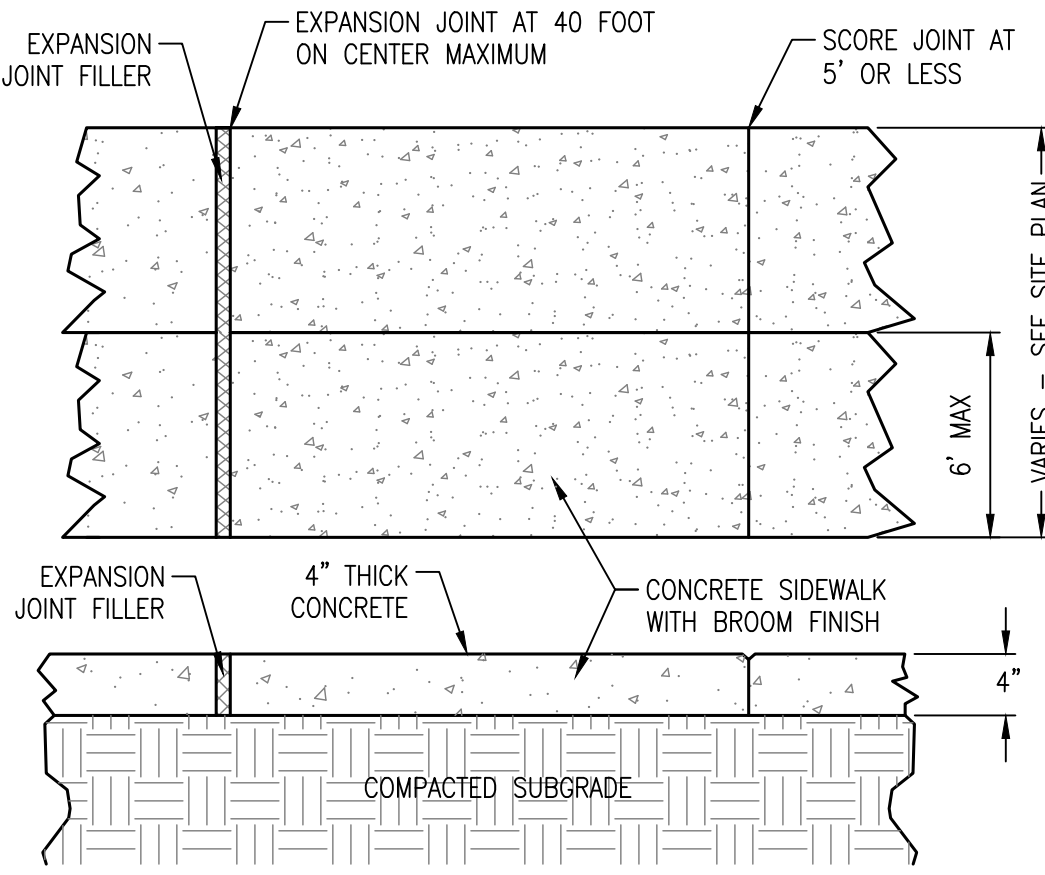
**PAVEMENT NOTES**

- SURFACE COURSES, BASE AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
- SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR.

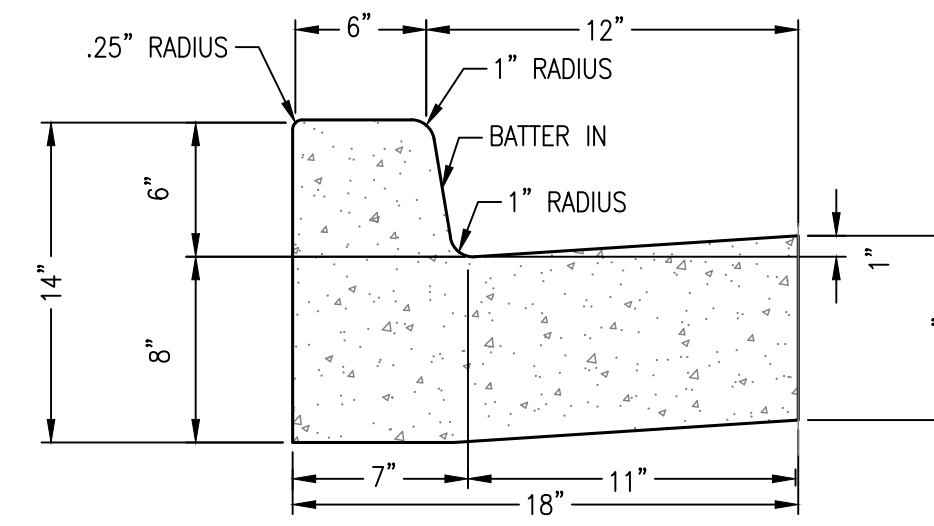
**C1 STANDARD HEAVY DUTY ASPHALT**  
NOT TO SCALE



**D2 CONCRETE PAVEMENT**  
NTS



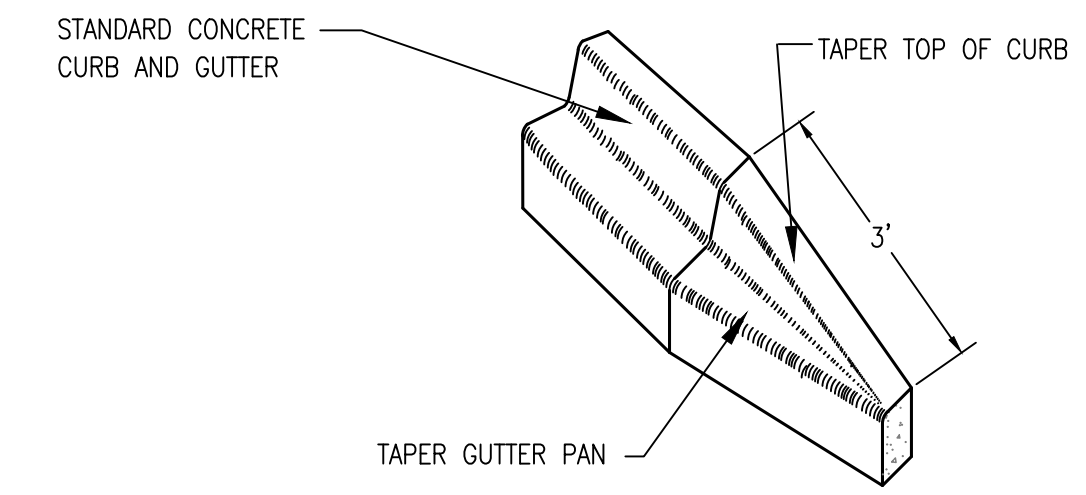
**D3 CONCRETE SIDEWALK - VARIED WIDTH**  
NOT TO SCALE



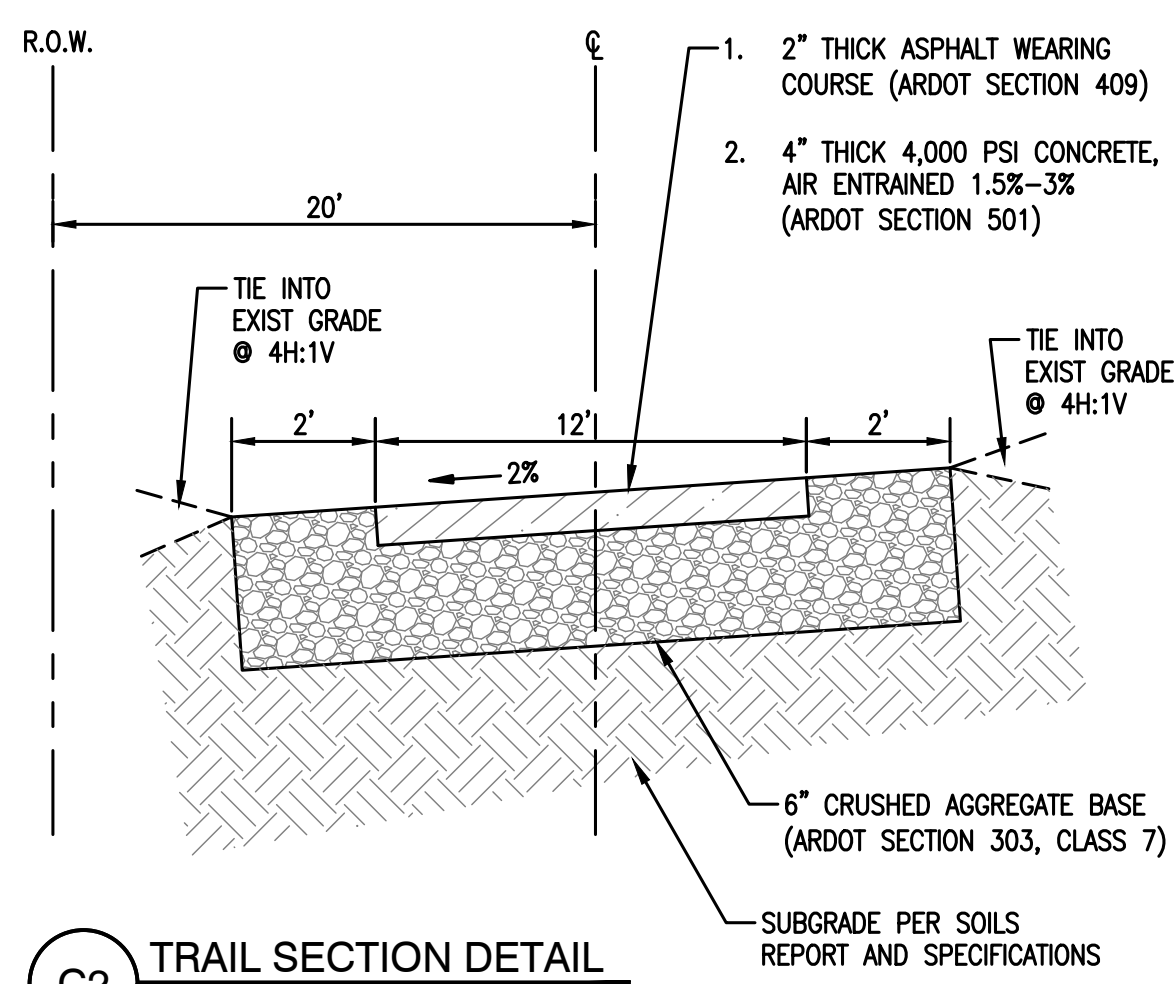
**NOTES:**

- PRE-MOLDED FIBER EXPANSION JOINT MATERIAL SHALL BE USED IN ALL EXPANSION JOINTS.
- SAWCUT JOINTS SHALL BE INSTALLED AT 10 FOOT CENTERS MAXIMUM.
- EXPANSION JOINTS SHALL BE INSTALLED AT 40 FOOT CENTERS MAXIMUM.
- EXPANSION JOINTS SHALL BE INSTALLED AT ENDS OF RADII.
- EXPANSION JOINTS SHALL BE LOCATED A MINIMUM OF 5 FEET FROM INLET STRUCTURES.
- CONCRETE TO BE 3,500 P.S.I.

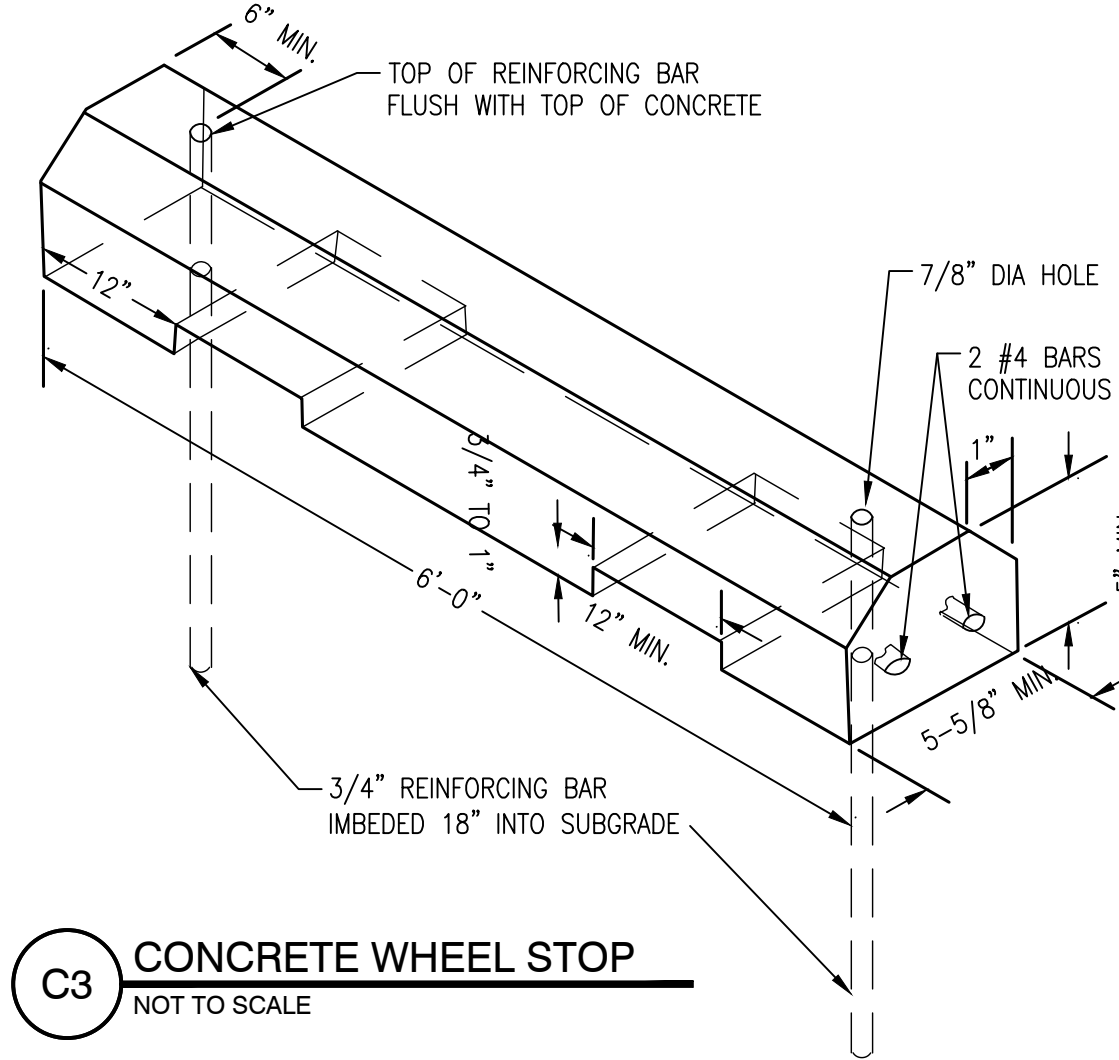
**D4 6-18 CURB & GUTTER**  
NOT TO SCALE



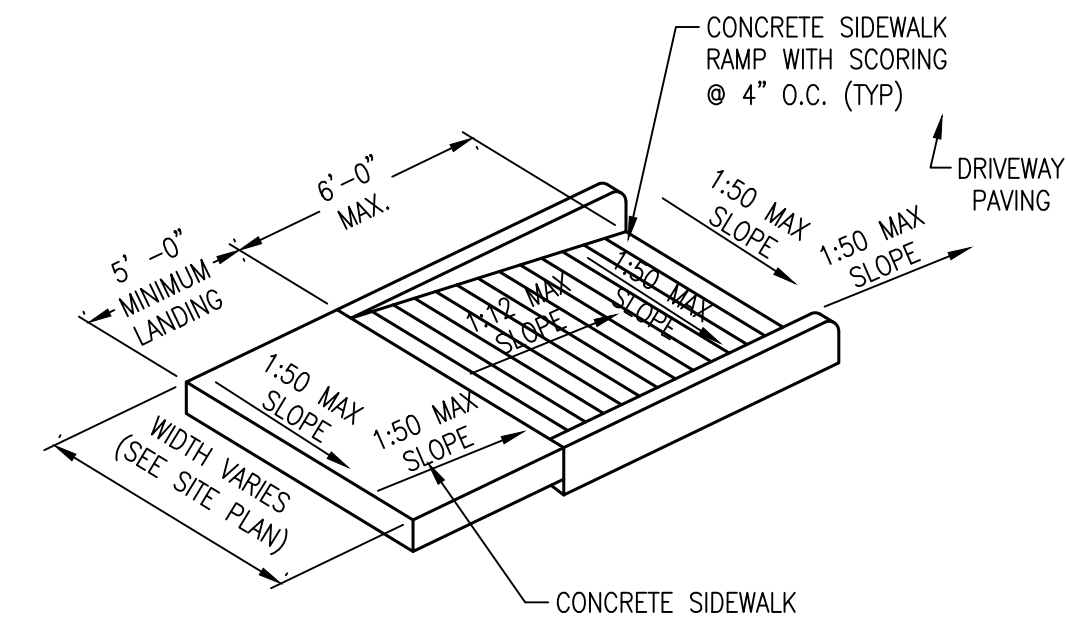
**D5 CURB TERMINATION DETAIL**  
NOT TO SCALE



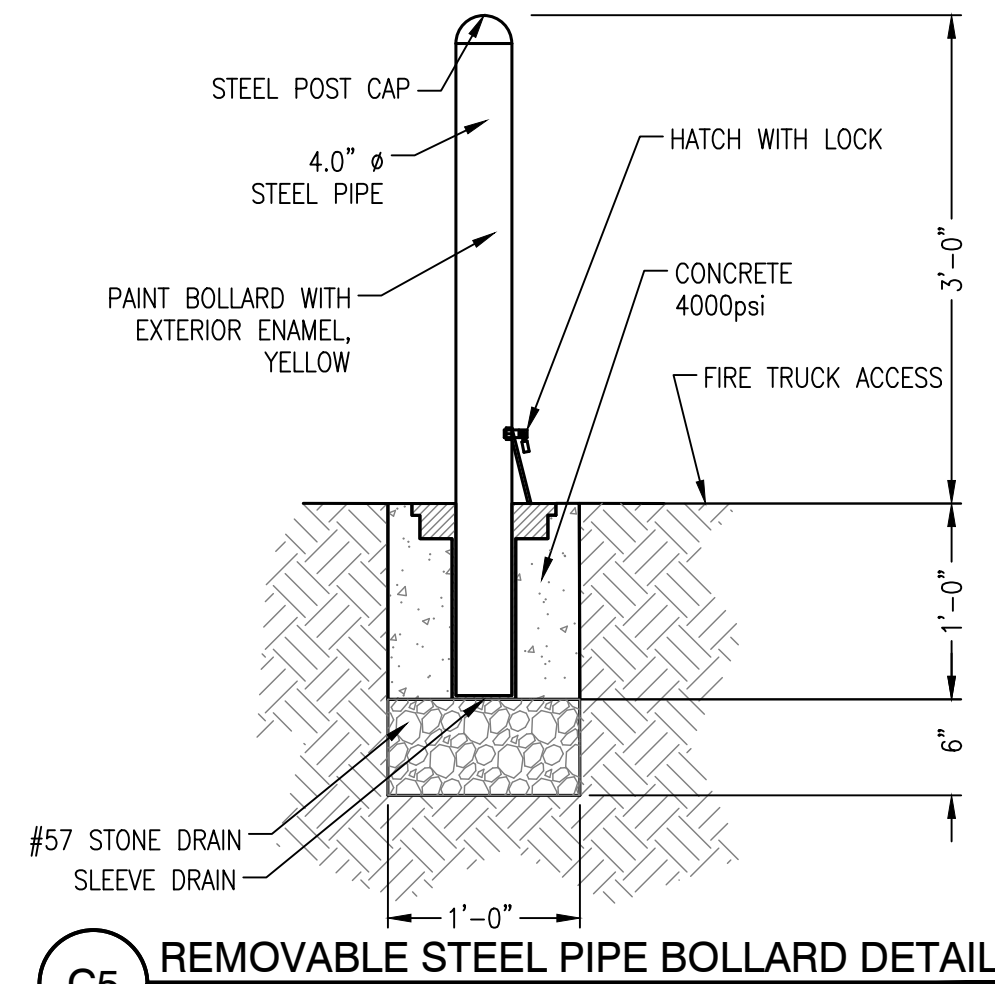
**C2 TRAIL SECTION DETAIL**  
NOT TO SCALE



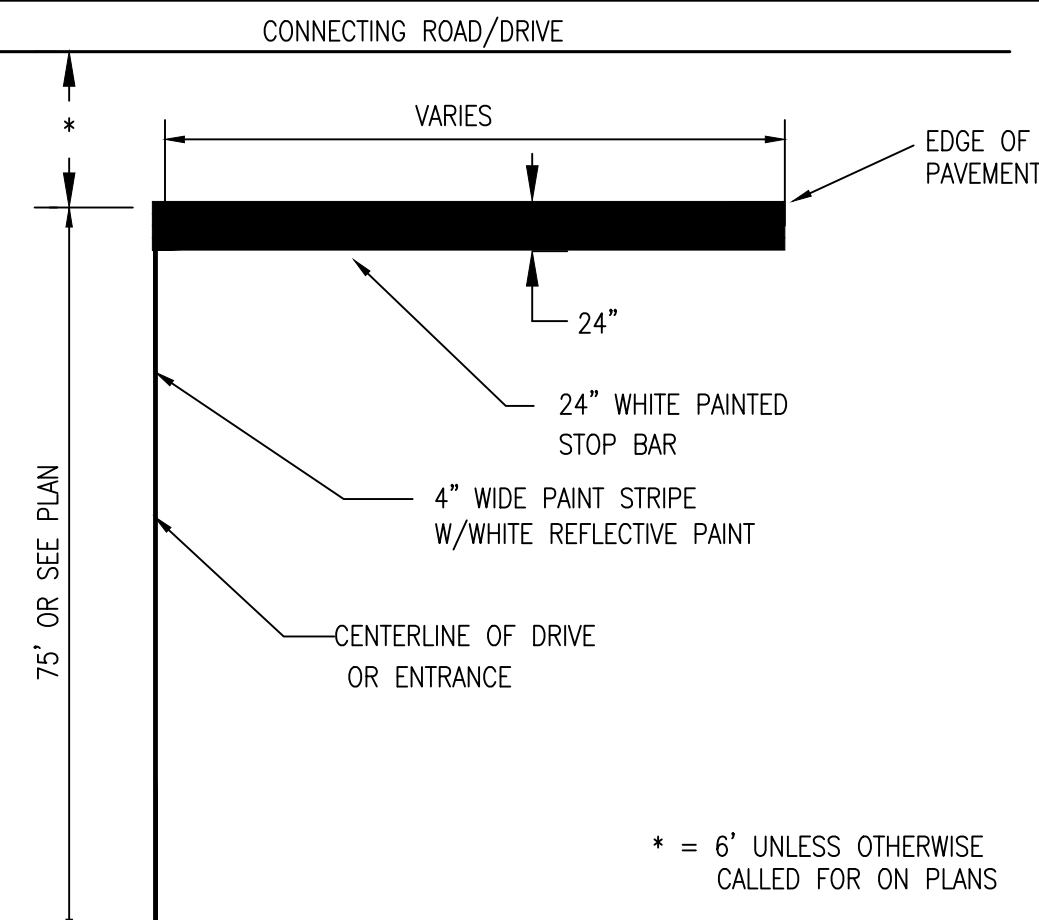
**C3 CONCRETE WHEEL STOP**  
NOT TO SCALE



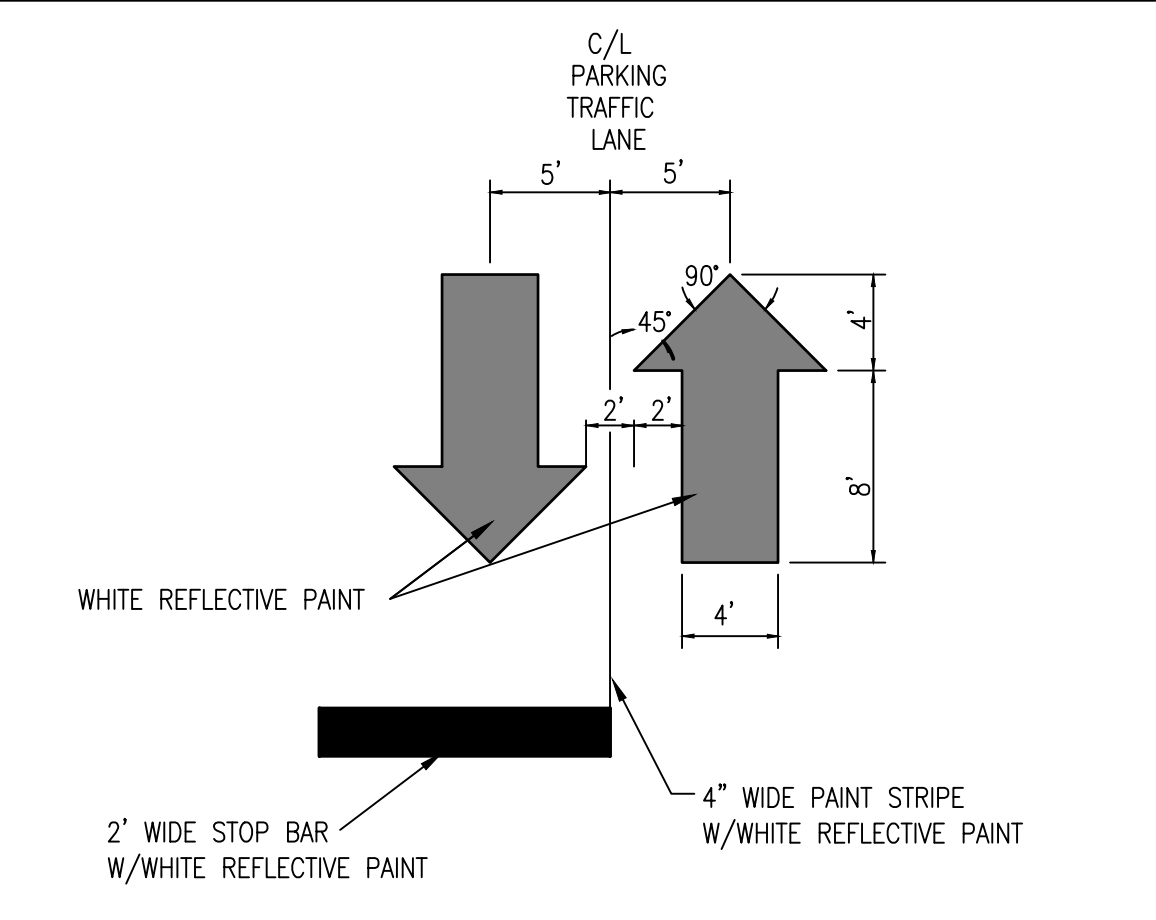
**C4 ACCESSIBLE SIDEWALK RAMP**  
NOT TO SCALE



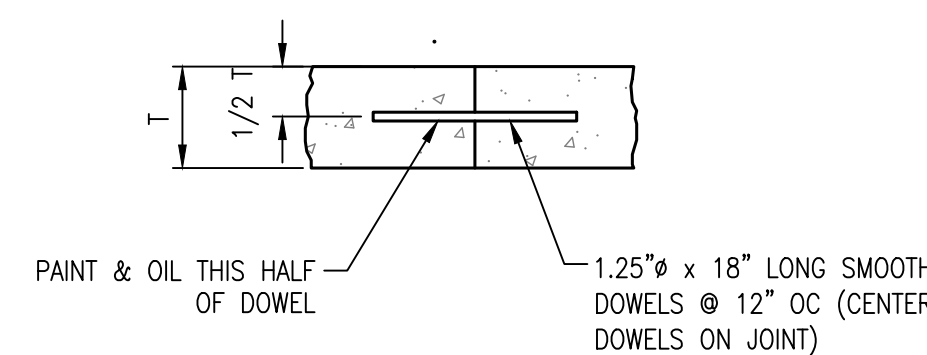
**C5 REMOVABLE STEEL PIPE BOLLARD DETAIL**  
NOT TO SCALE



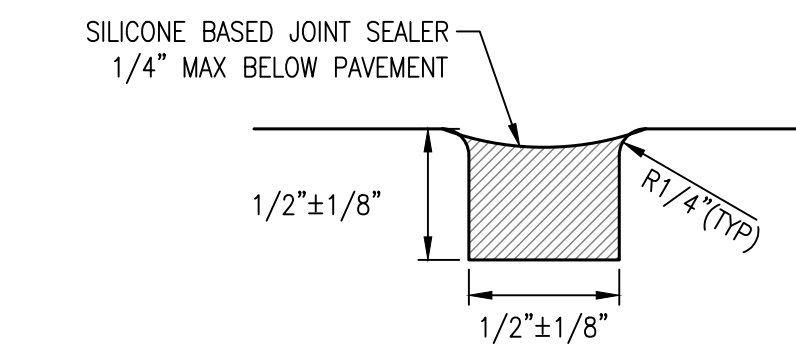
**B1 STOP BAR DETAIL**  
NOT TO SCALE



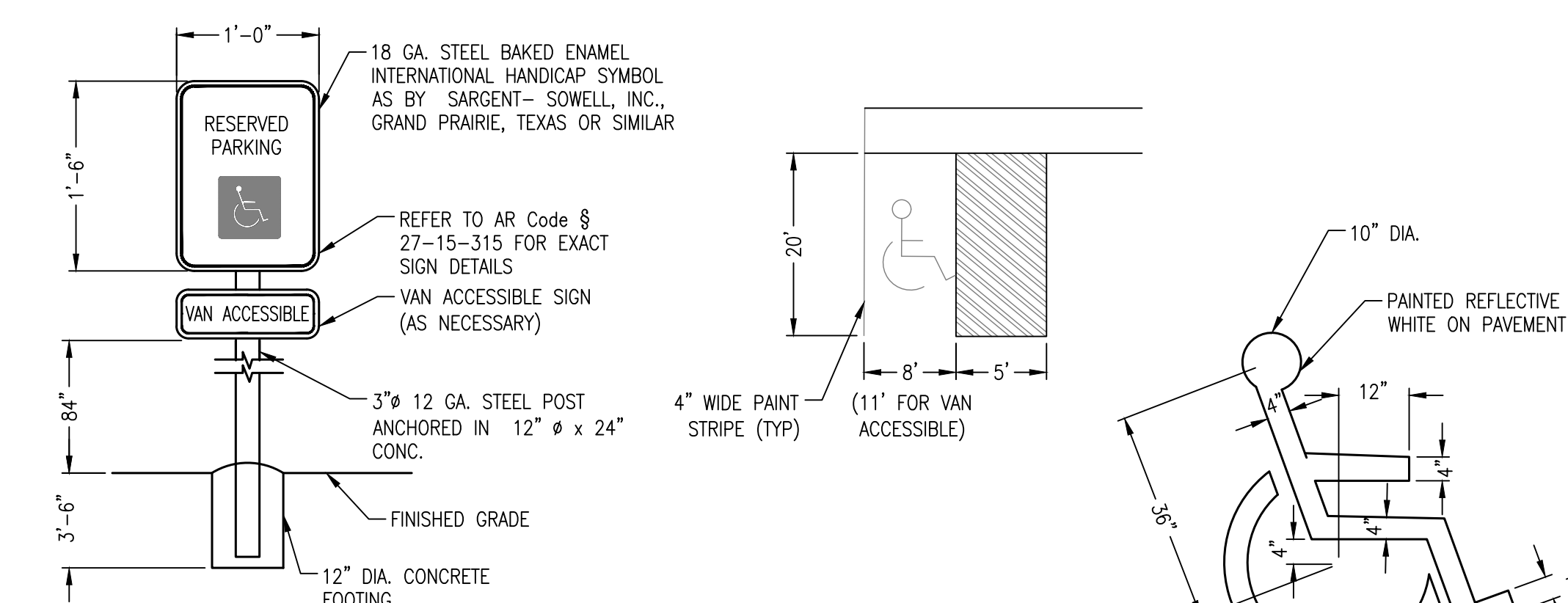
**B2 TRAFFIC ARROWS**  
NOT TO SCALE



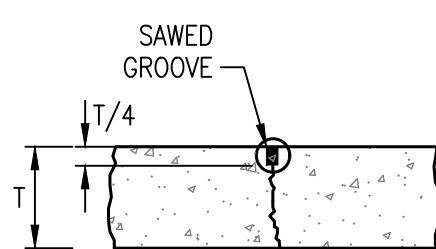
**B3 CONSTRUCTION JOINT**  
NOT TO SCALE



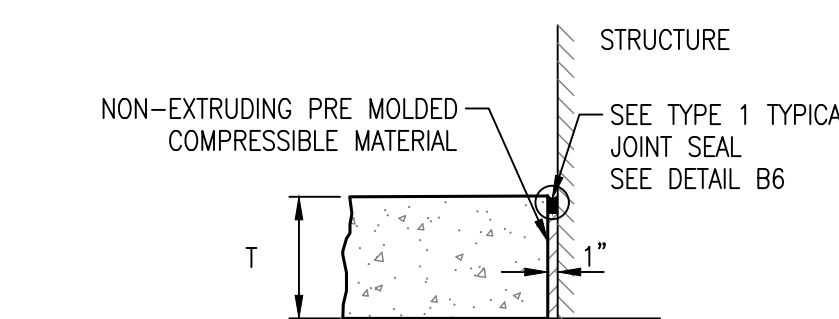
**B4 JOINT SEAL - TYPE 1**  
NOT TO SCALE



**A1 ACCESSIBLE PARKING DETAILS**  
NOT TO SCALE



**A3 CONTRACTION JOINT**  
NOT TO SCALE



**A4 EXPANSION JOINT**  
NOT TO SCALE

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

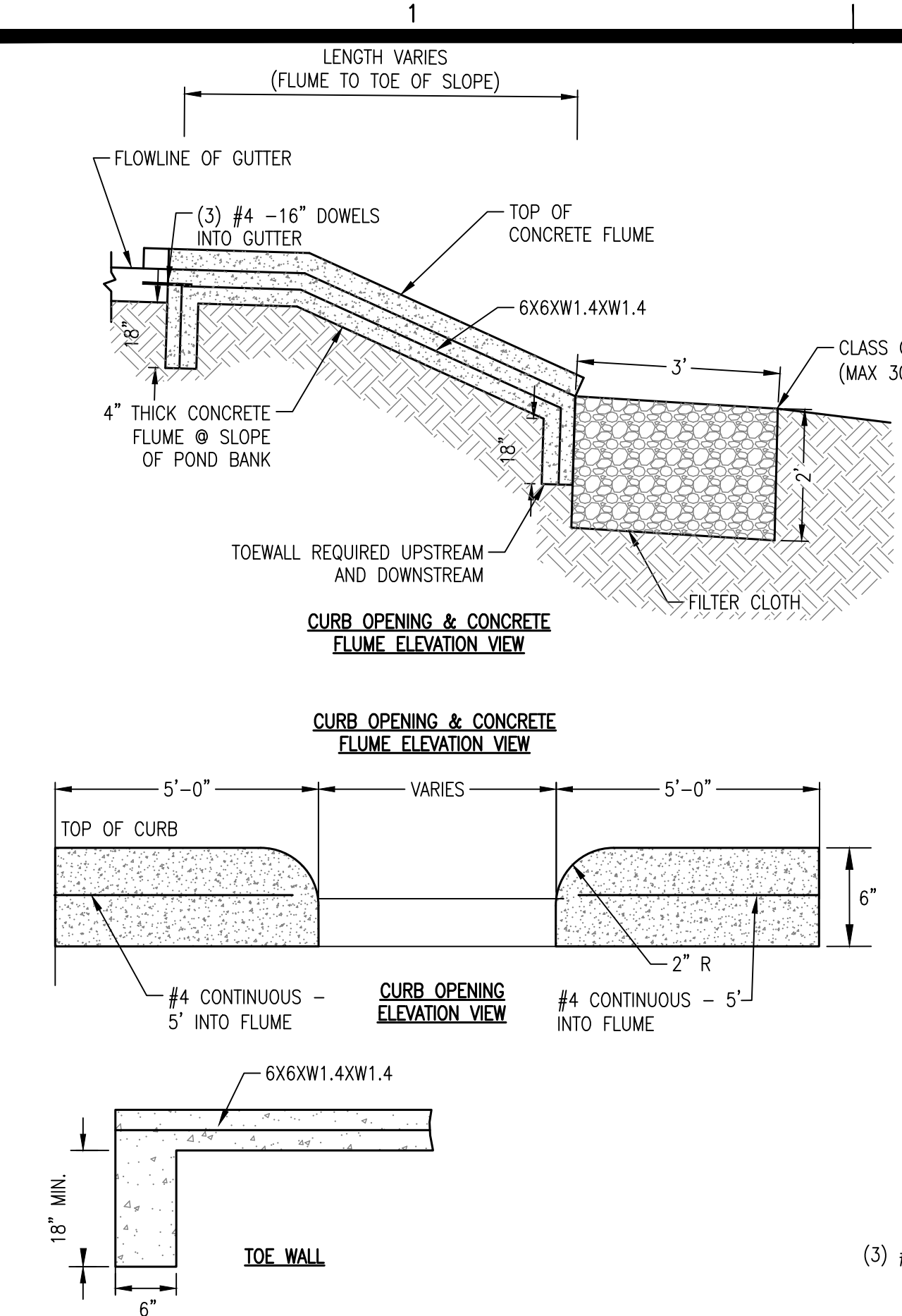
**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5 BRYANT, AR**

SEAL:  
REGISTERED PROFESSIONAL ENGINEER  
No. 14484  
HARVEY T. WATNEY  
10/18/2021

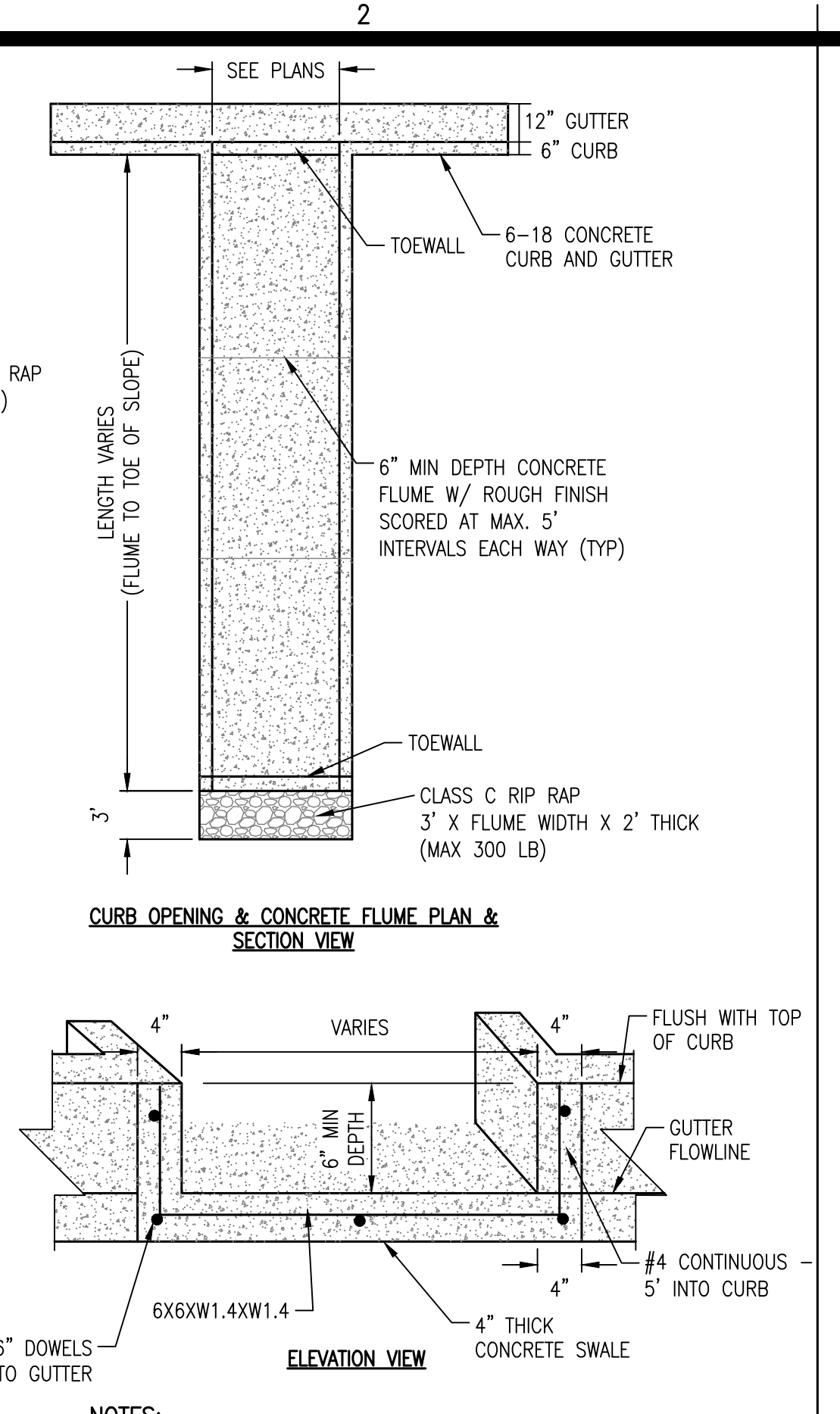
SHEET NUMBER:  
**C-500**

DESCRIPTION:  
SITE DETAILS

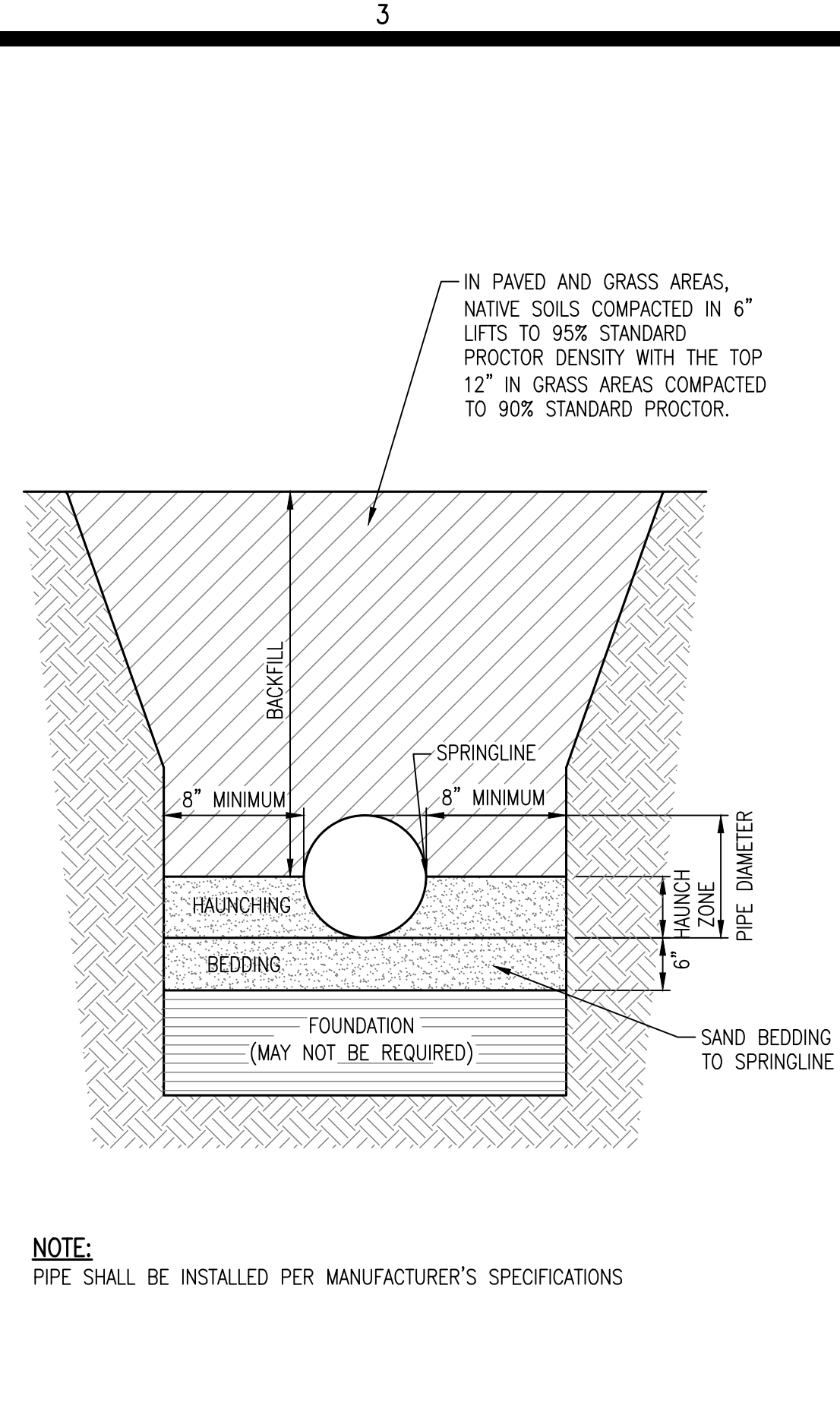
K:\25526.01\CAD PLANS\C-500 SITE DETAILS.DWG



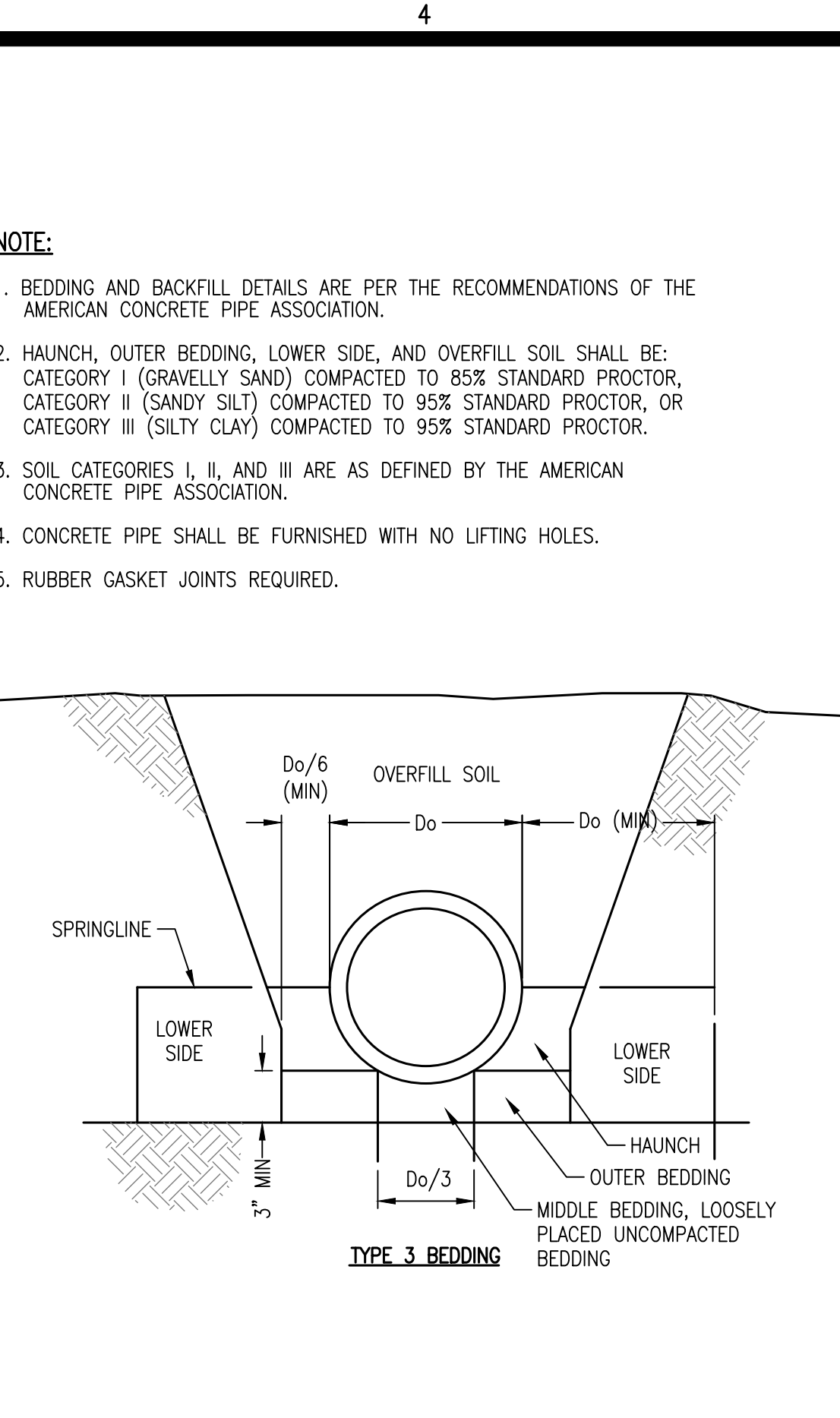
**C1 CONCRETE CURB OPENING/FLUME**  
NTS



**C3 FLEXIBLE PIPE BEDDING AND BACKFILL**  
NOT TO SCALE



**C4 CONCRETE PIPE BEDDING AND BACKFILL**  
NOT TO SCALE

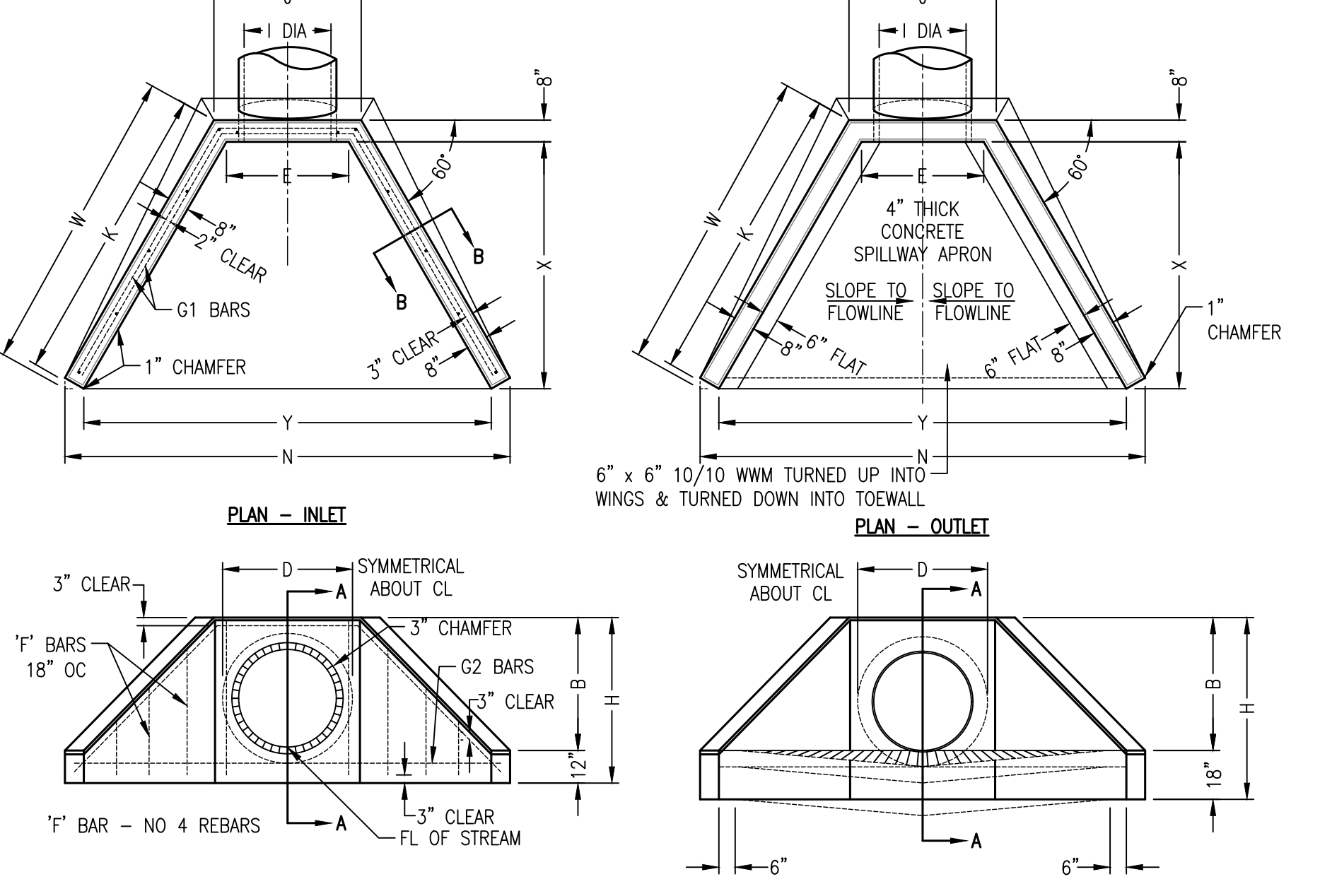


**C5 DETENTION POND OUTLET (W/ TRASH SCREEN)**  
NTS

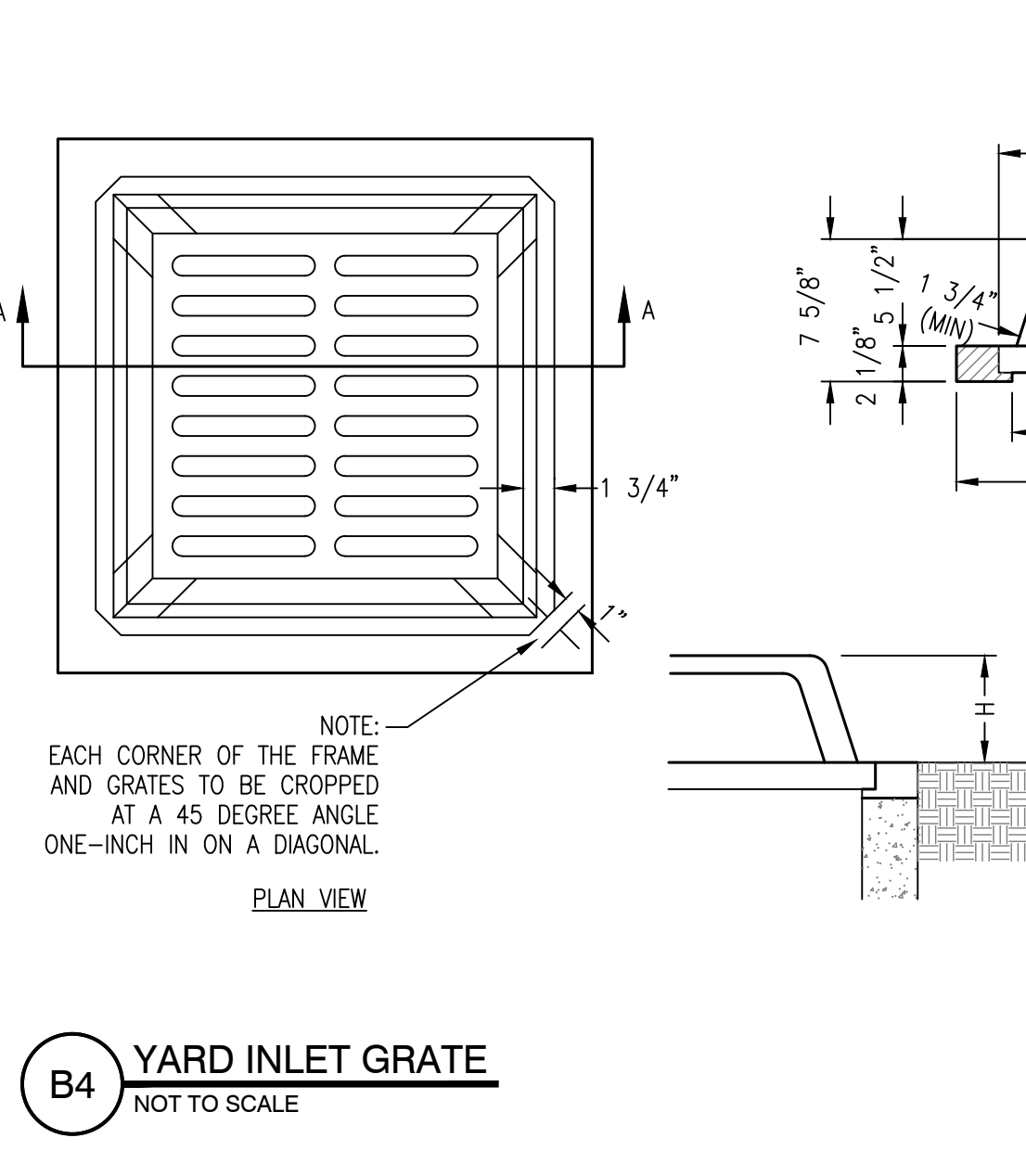
TABLE OF DIMENSIONS AND DIAMETERS

DIM.	DIA.	15"	18"	21"	24"	30"	36"
B		1' 11-1/2"	2' 2-1/4"	2' 5-1/4"	2' 8-1/2"	3'-3"	3' 9-1/2"
D		1' 7-1/4"	1' 10-1/2"	2' 1-1/2"	2'-5"	3'-0"	3'-7"
E		1' 9-1/4"	2' 0-1/2"	2' 3-1/2"	2'-7"	3'-2"	3'-9"
H		3' 1-1/4"	3' 4-1/2"	3' 7-1/2"	3'-11"	4'-6"	5'-1"
J		2' 7-5/8"	2' 10-7/8"	3' 1-7/8"	3' 5-3/8"	4' 0-3/8"	4' 10-5/8"
K		4' 10-5/8"	5' 5-3/4"	6' 0-5/8"	6' 8-1/4"	7' 11-1/4"	9' 2-1/4"
N		7' 11-1/2"	8' 9-7/8"	9' 7-7/8"	10' 6-7/8"	12' 4-7/8"	14' 2-7/8"
W		5' 3-3/4"	5'-11"	6' 5-7/8"	7' 1-1/2"	8' 4-1/2"	9' 7-1/2"
X		3' 10-1/4"	4' 4-1/2"	4' 10-1/2"	5'-5"	6'-6"	7'-7"
Y		6' 2-5/8"	7' 1-1/8"	7'-11"	8' 10-1/8"	10' 8-1/8"	12' 6-1/8"
DIA.		15"	18"	21"	24"	30"	36"
B		4'-4"	4' 10-1/2"	5'-5"	6'-0"	6' 6-1/2"	7'-1"
D		4'-2"	4'-9"	5'-4"	6'-0"	6'-7"	7'-2"
E		4'-4"	4'-10"	5'-6"	6'-2"	6'-9"	7'-4"
H		5'-8"	6'-3"	6'-10"	7'-6"	8'-1"	8'-8"
J		5' 2-3/8"	5' 9-3/8"	6' 4-3/8"	7' 0-3/8"	7' 7-3/8"	8' 2-3/8"
K		10' 5-1/4"	11' 8-1/4"	12' 11-1/4"	14' 3-1/2"	15' 6-1/2"	16' 9-1/2"
N		16' 0-7/8"	17' 10-7/8"	19' 8-7/8"	21' 9-1/8"	23' 7-1/8"	25' 5-1/8"
W		10' 10-1/2"	12' 1-1/2"	13' 4-1/2"	14' 8-5/8"	15' 11-5/8"	17' 2-5/8"
X		8'-8"	9'-9"	10-10"	12'-0"	13'-1"	14'-2"
Y		14' 4-1/8"	16' 2-1/8"	18' 0-1/8"	20' 0-1/4"	21' 10-1/4"	23' 8-1/4"

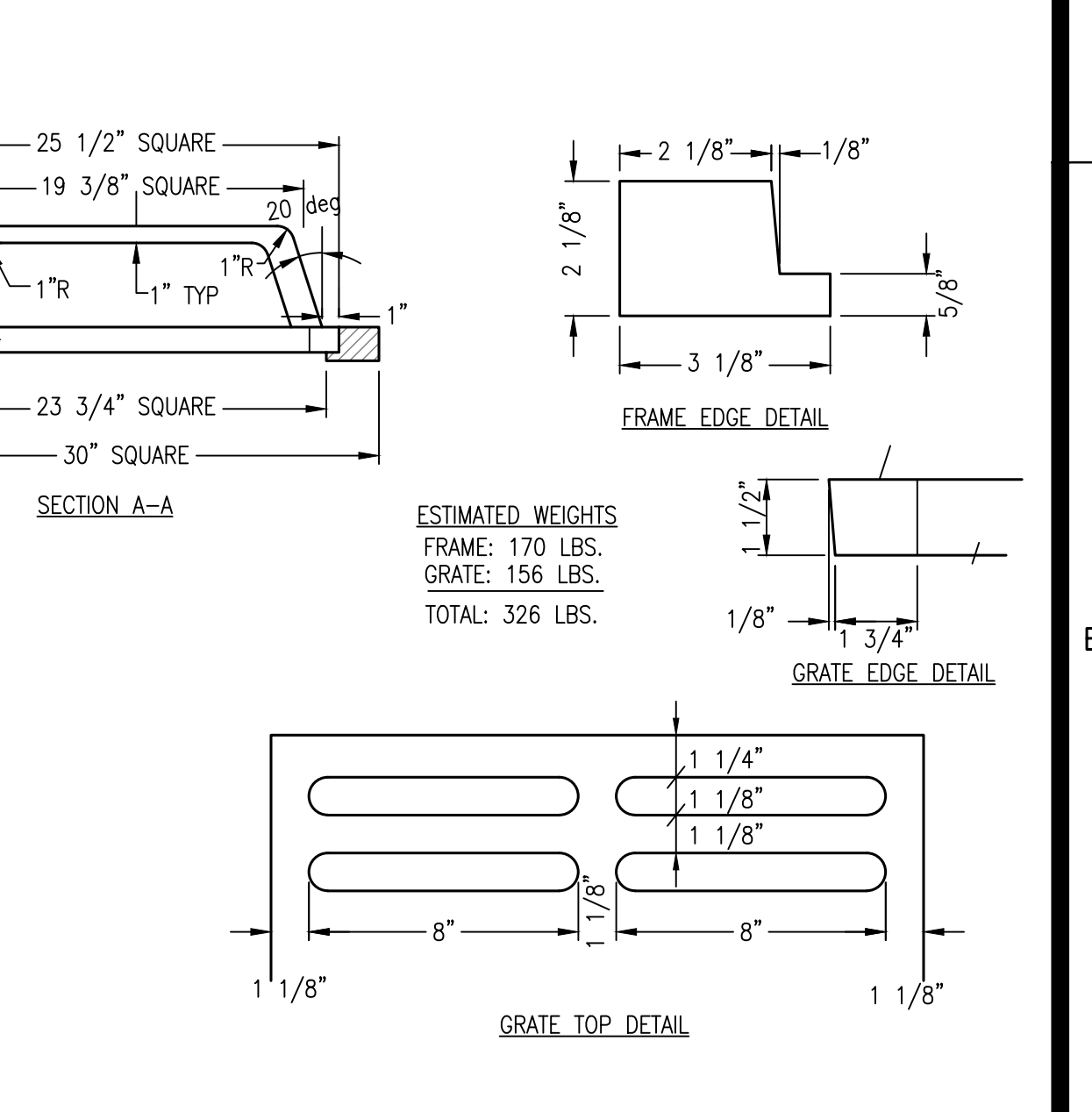
NOTE: CONCRETE SHALL BE 3,500 PSI



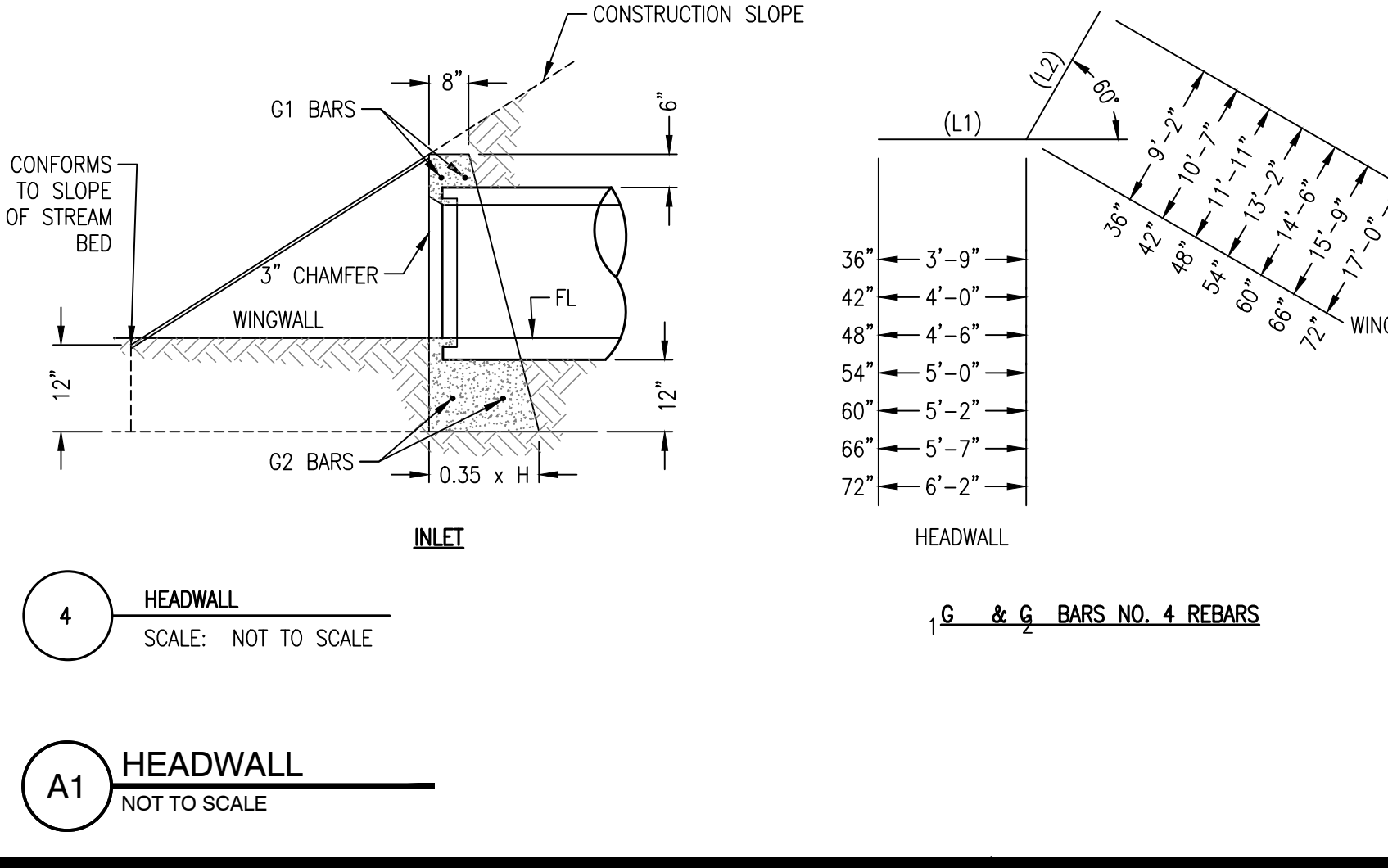
**B4 YARD INLET GRATE**  
NOT TO SCALE



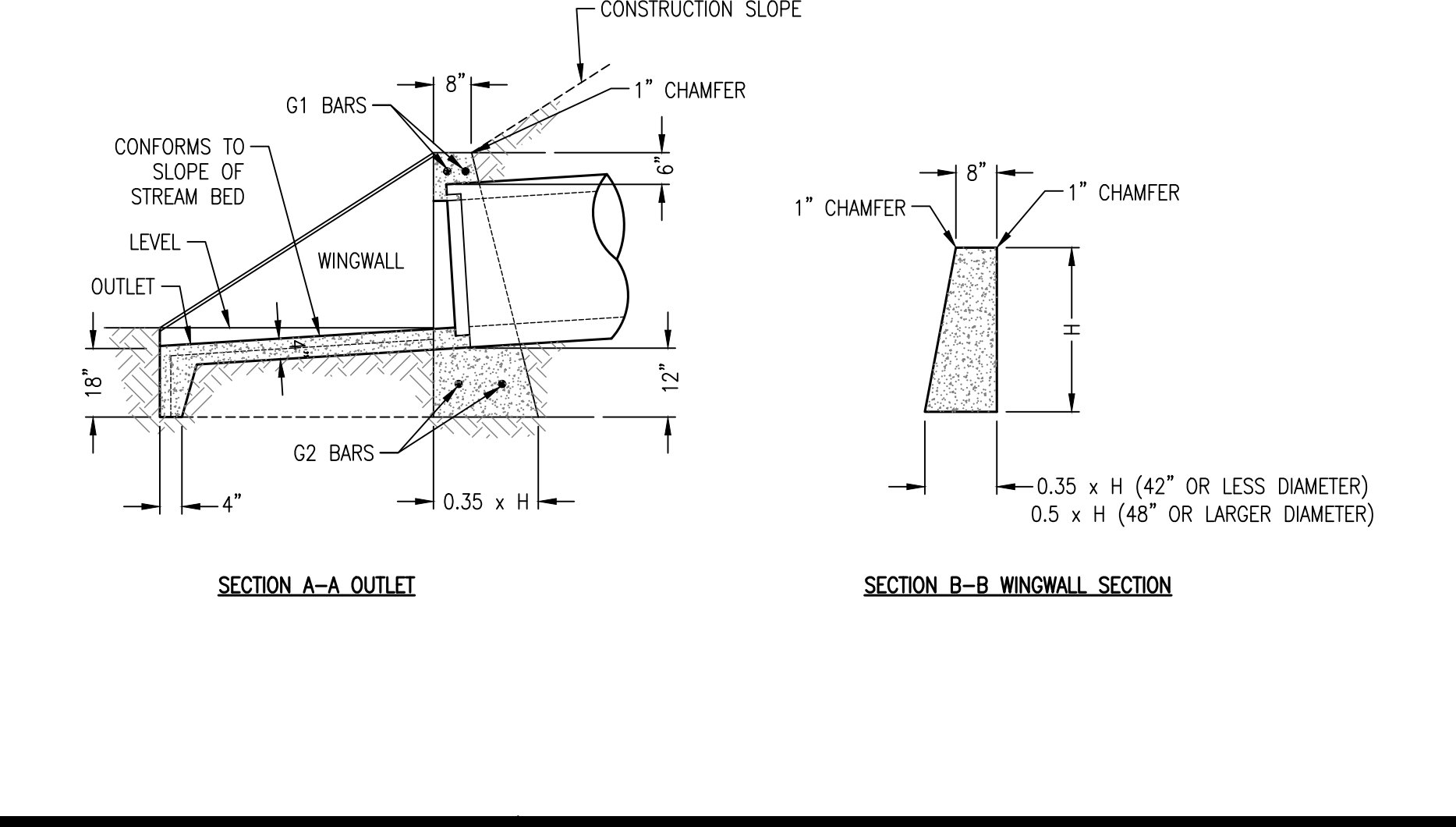
**A4 2X4 INLET**  
NOT TO SCALE



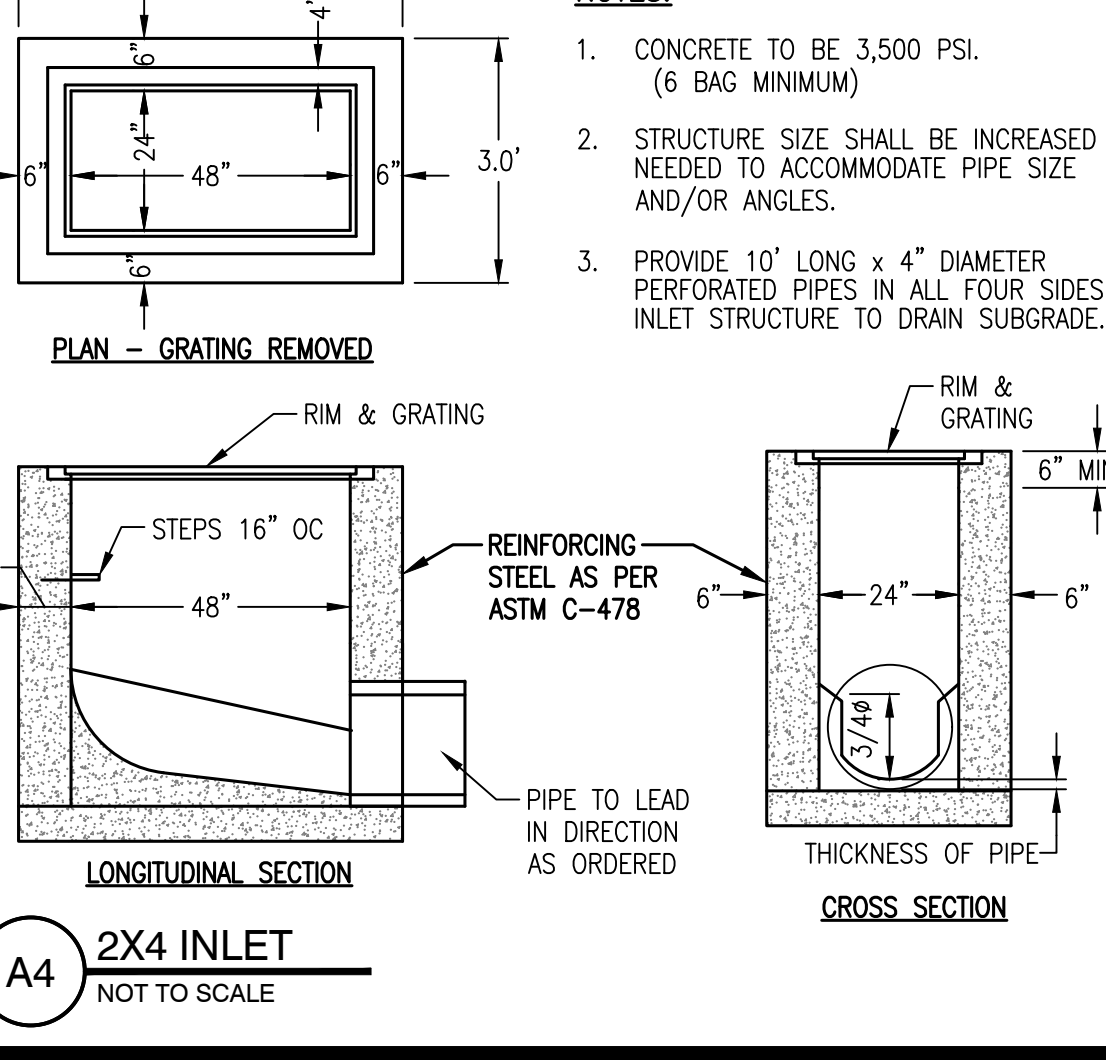
**A5 YARD INLET**  
NOT TO SCALE



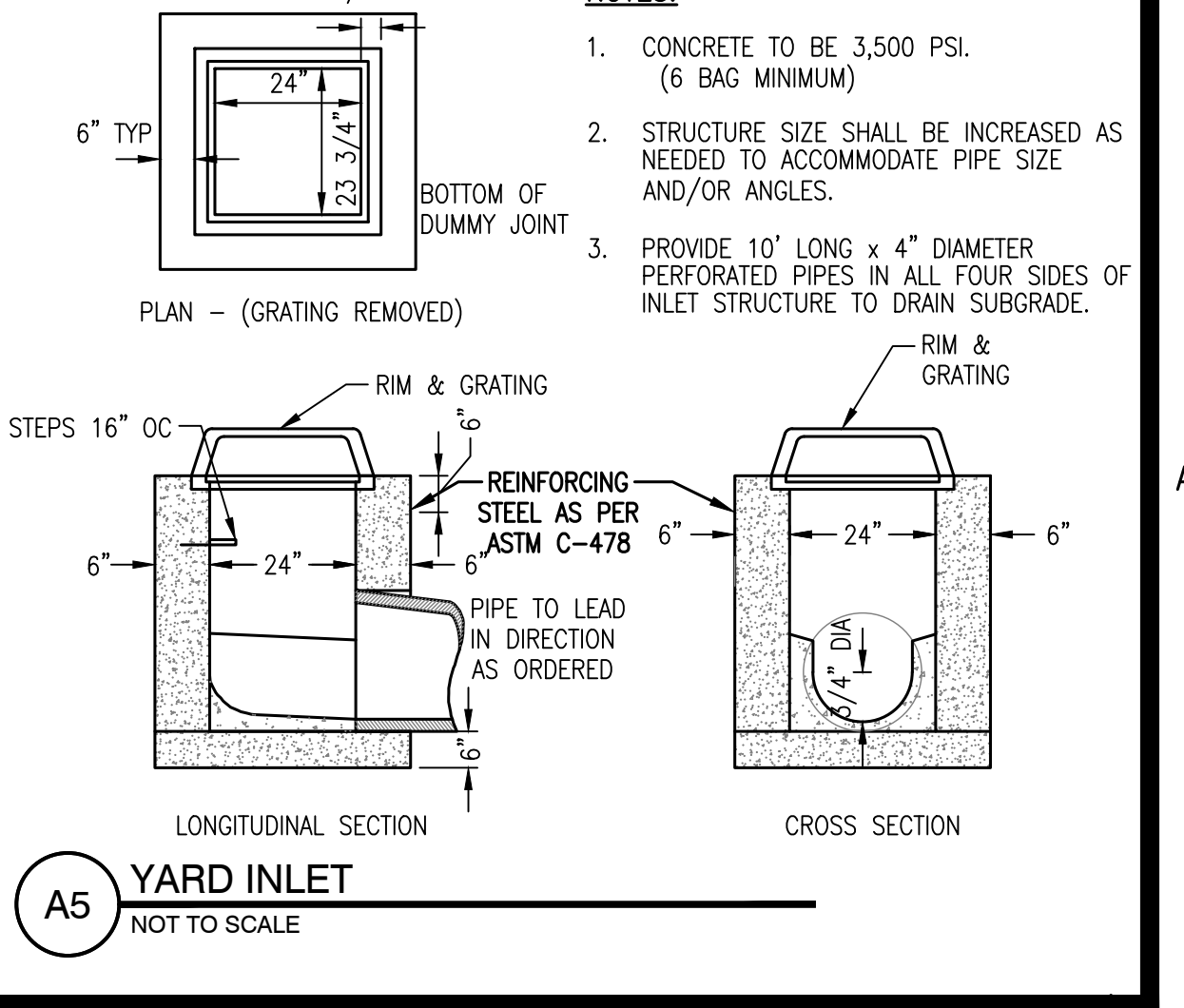
**A1 HEADWALL**  
NOT TO SCALE



**A2 2X4 INLET**  
NOT TO SCALE



**A3 HEADWALL**  
NOT TO SCALE



**A4 2X4 INLET**  
NOT TO SCALE

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**Pinnacle Point at Bryant**  
**Assisted Living Facility**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5**  
**BRYANT, AR**

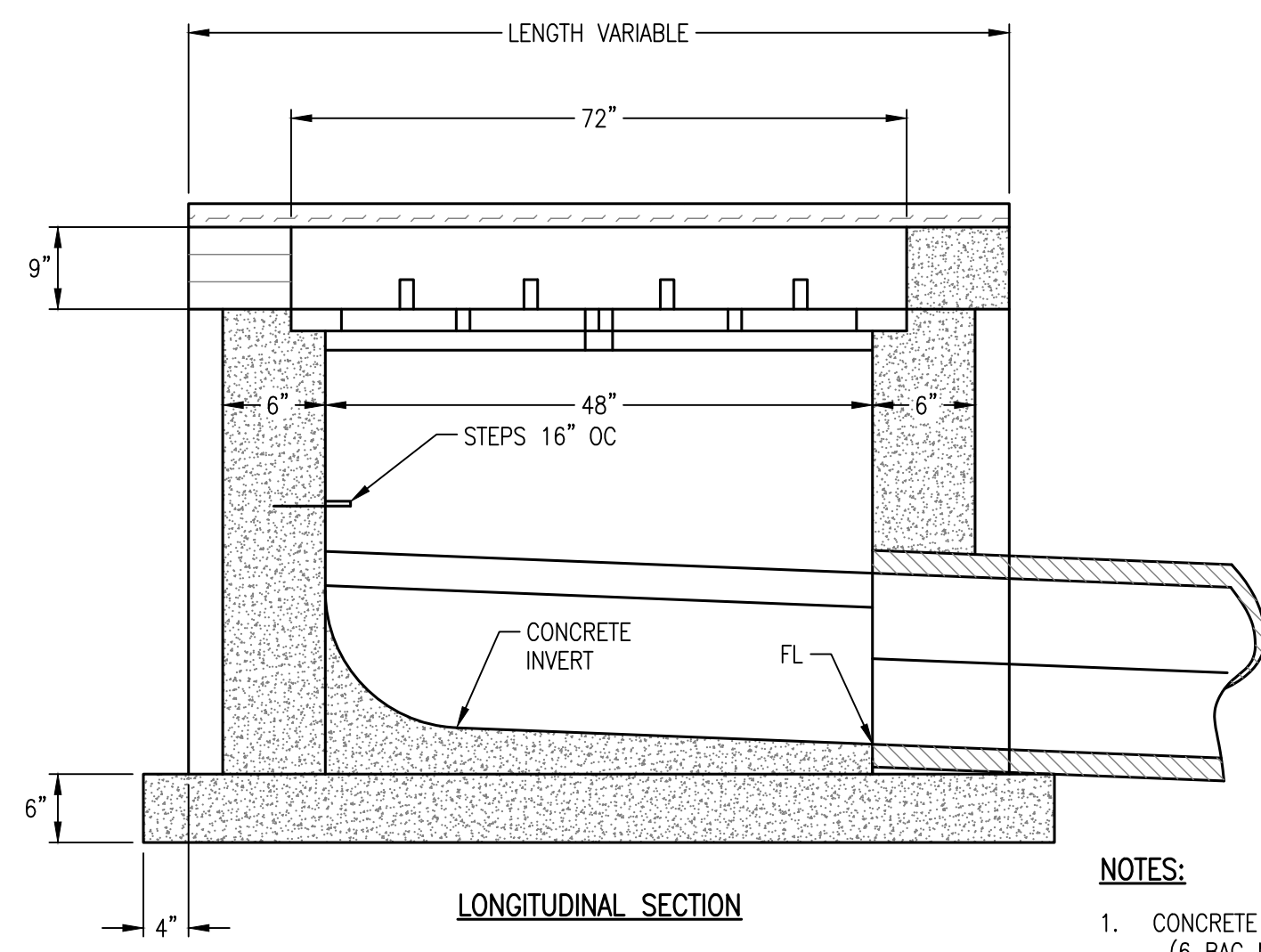
SEAL:

REGISTERED PROFESSIONAL ENGINEER  
No. 14484  
HARVEY T. WATKINS  
10/18/2021

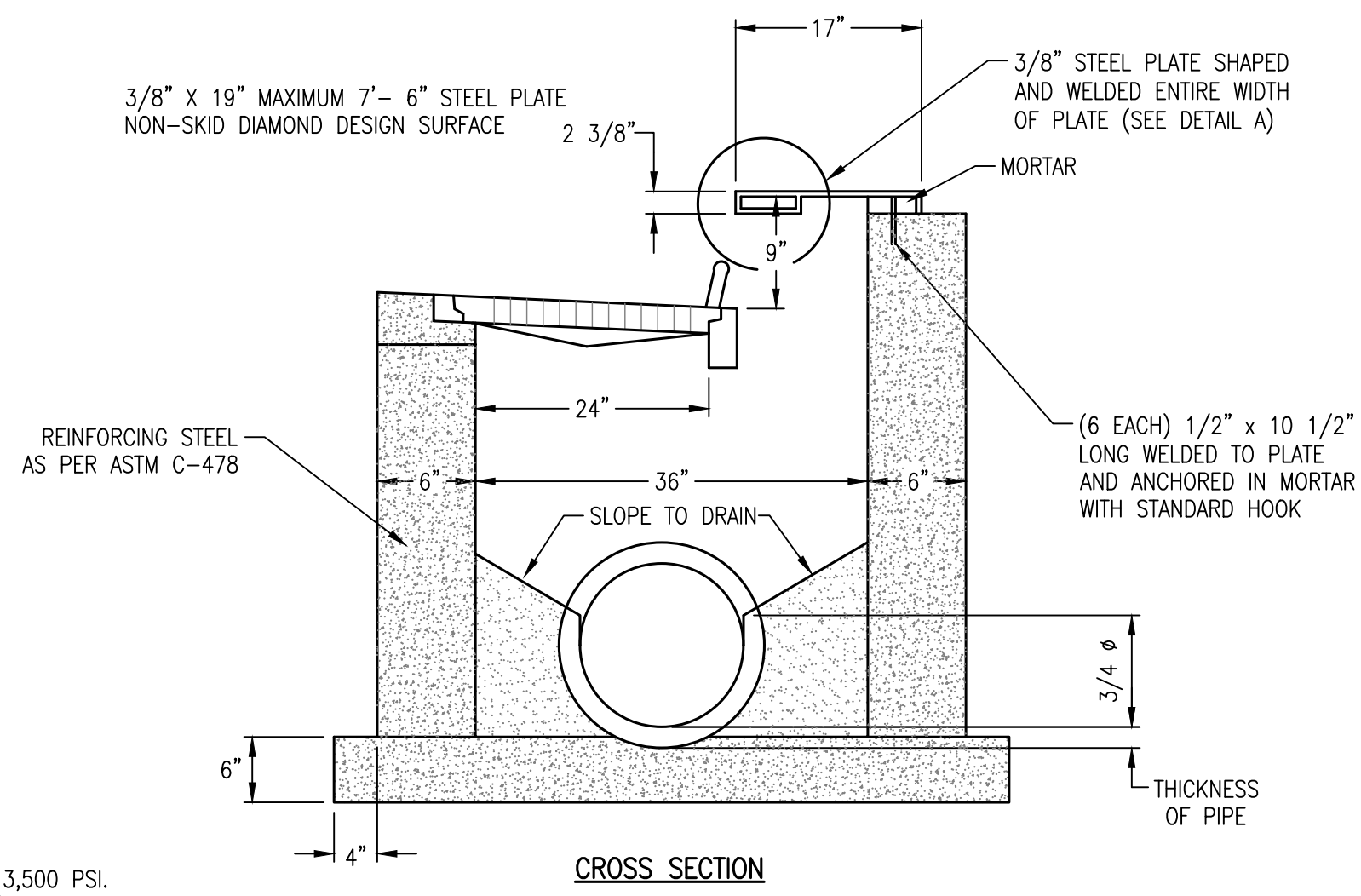
SHEET NUMBER:  
**C-510**

DESCRIPTION:  
GRADING & DRAINAGE  
DETAILS

K:\25526.01\CAD\PLANS\C-510 GRADING & DRAINAGE DETAILS.DWG



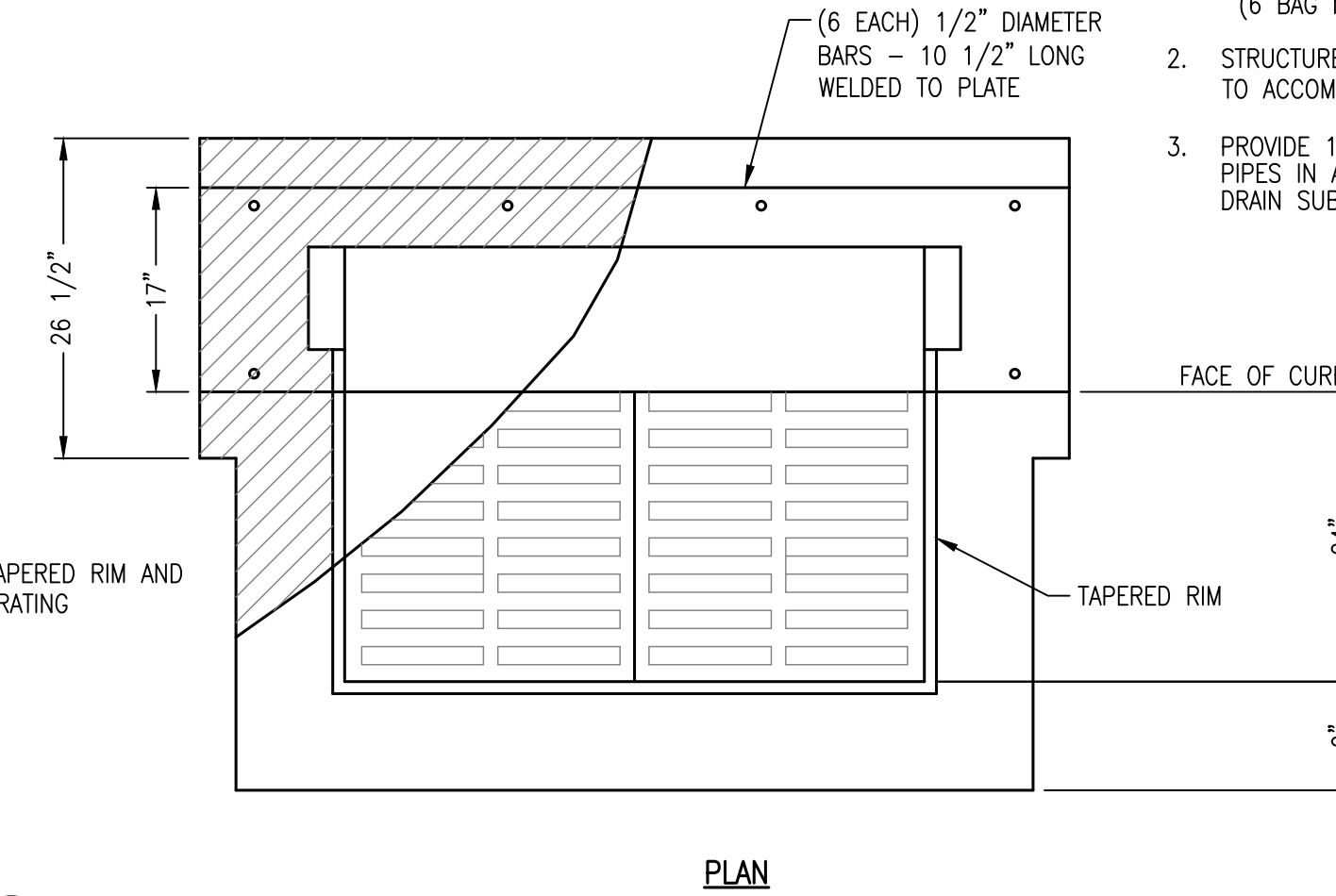
LONGITUDINAL SECTION



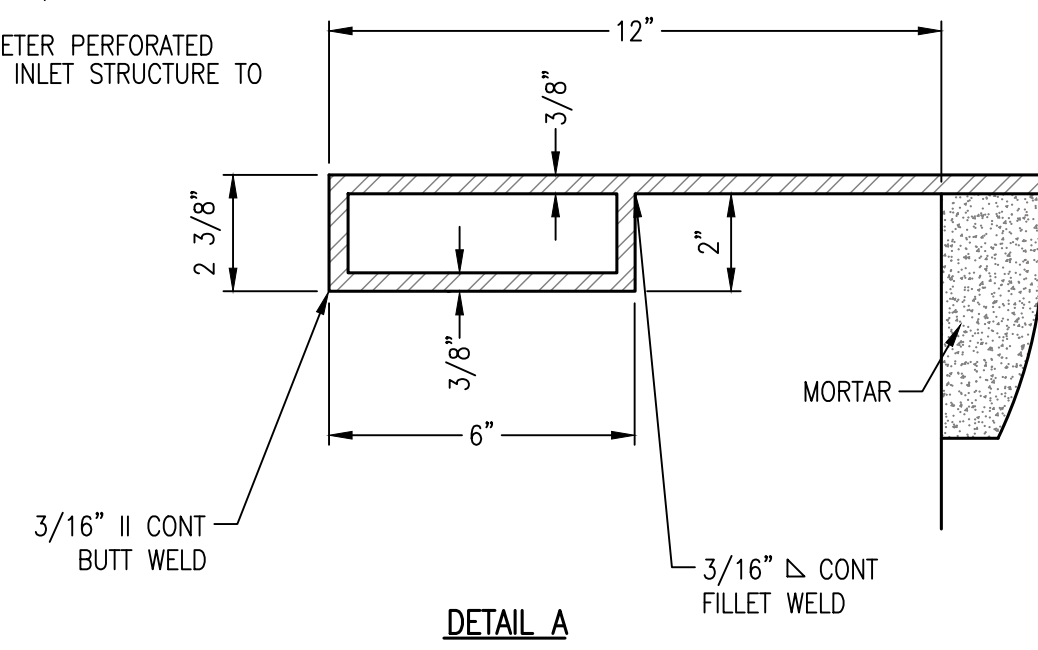
CROSS SECTION

NOTES:

1. CONCRETE TO BE 3,500 PSI. (6 BAG MINIMUM)
2. STRUCTURE SIZE SHALL BE INCREASED AS NEEDED TO ACCOMMODATE PIPE SIZE AND/OR ANGLES.
3. PROVIDE 10' LONG x 4" DIAMETER PERFORATED PIPES IN ALL FOUR SIDES OF INLET STRUCTURE TO DRAIN SUBGRADE.

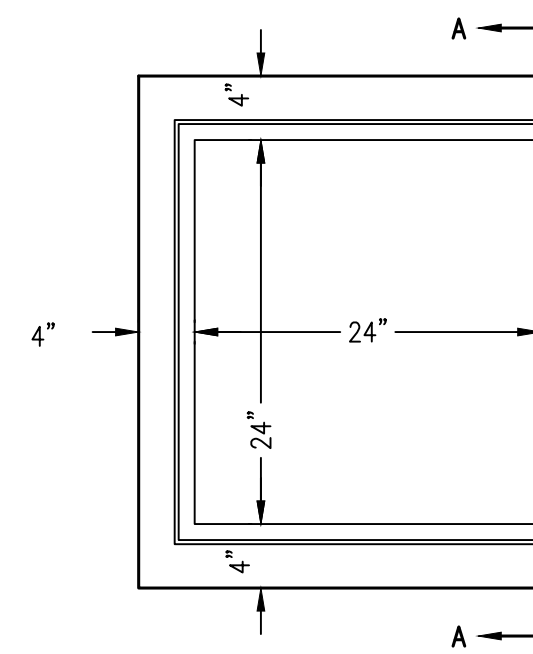


PLAN

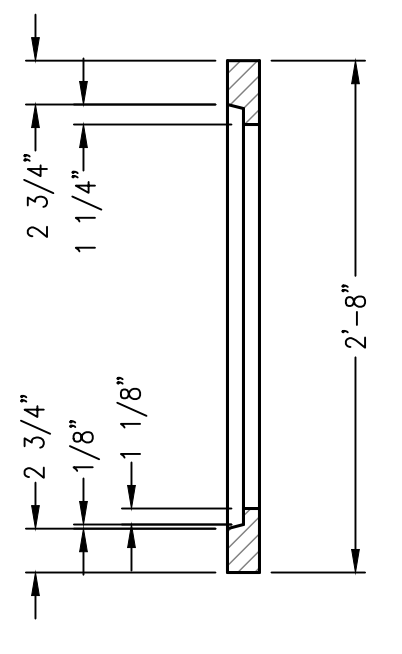


DETAIL A

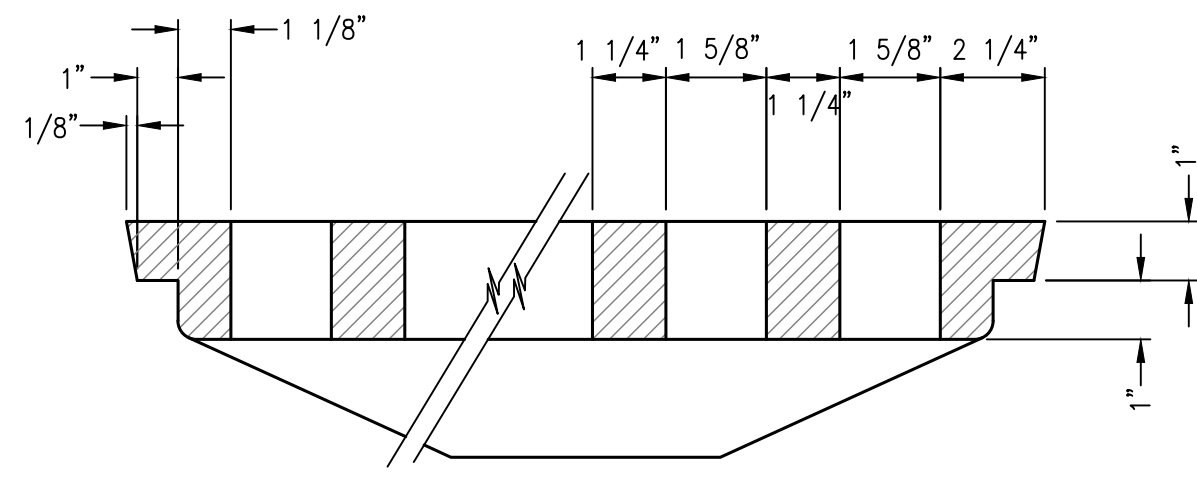
C1 CURB INLET  
NOT TO SCALE



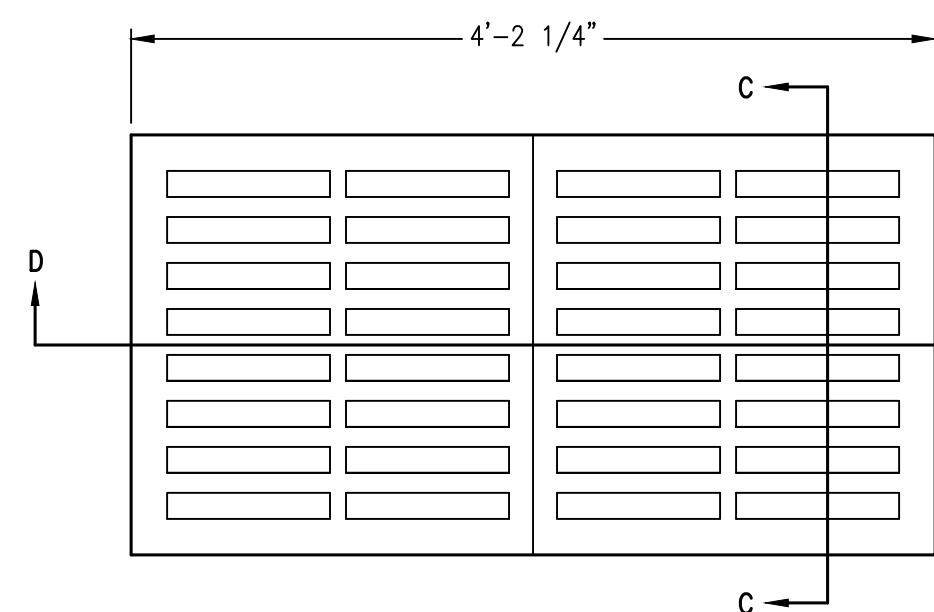
HALF RIM PLAN



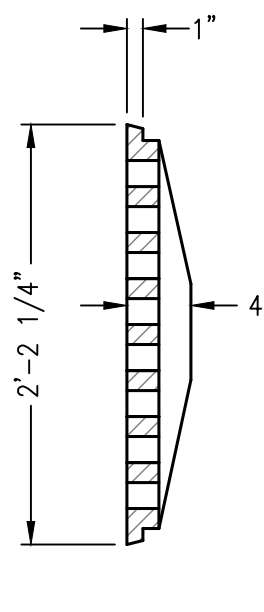
SECTION A-A



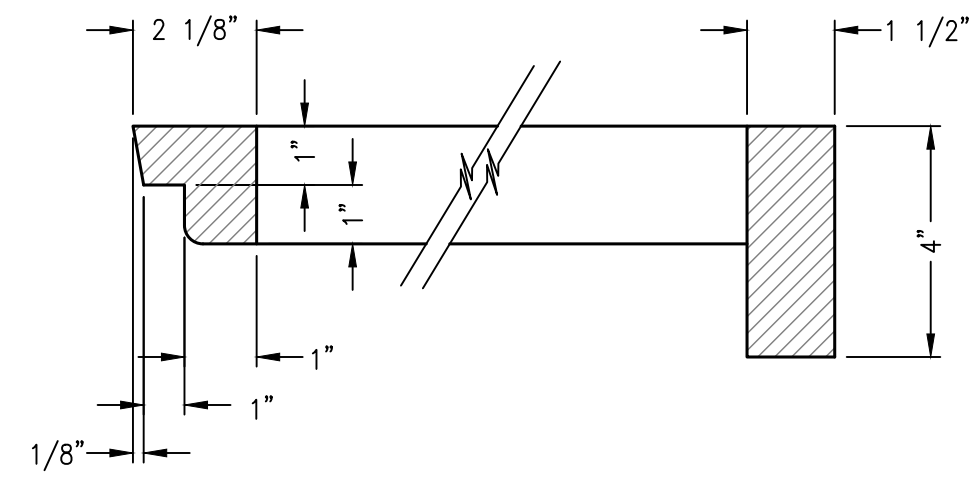
SECTION C-C



GRATING PLAN

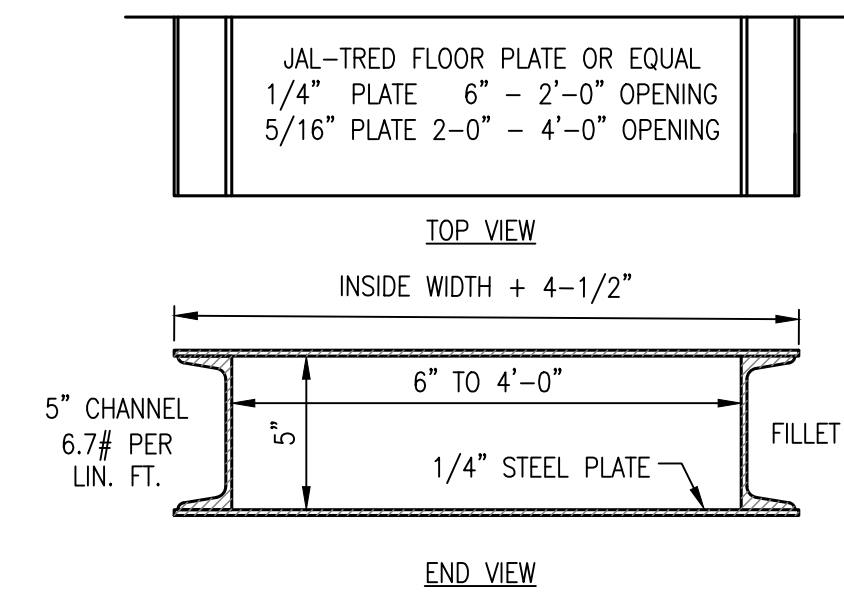


SECTION A-A

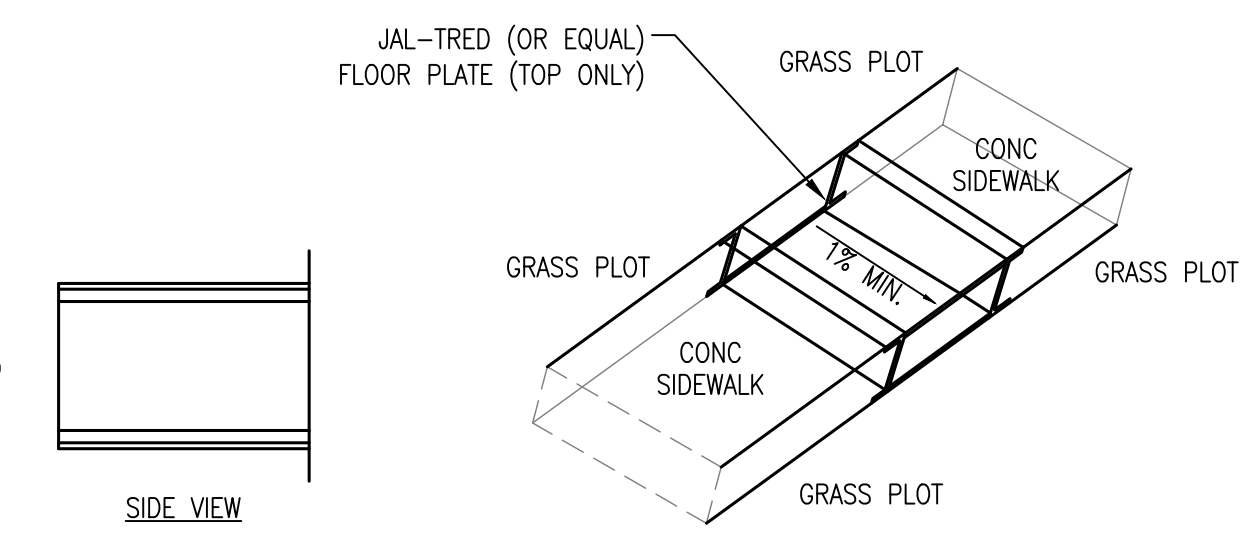


SECTION D-D

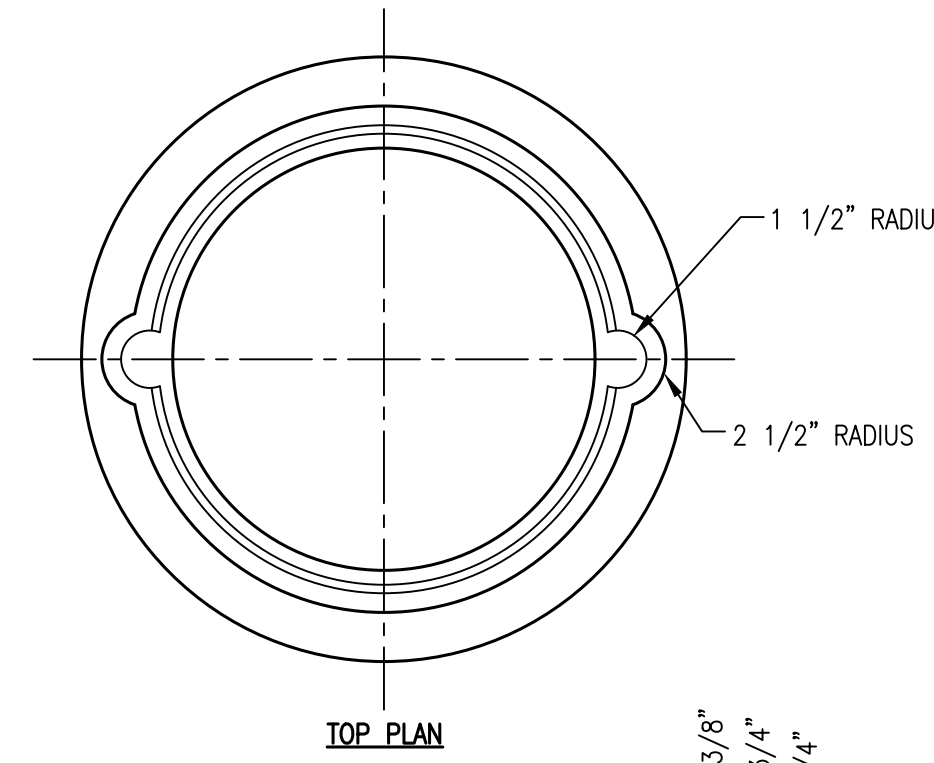
A1 2X4 INLET GRATE  
NOT TO SCALE



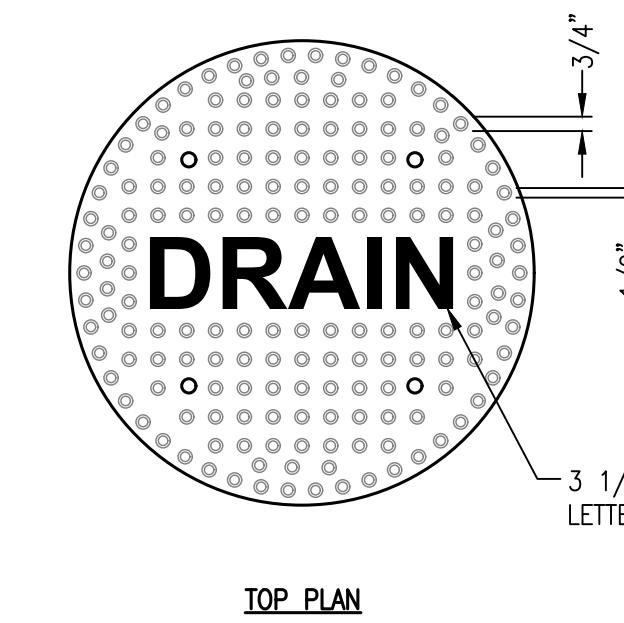
END VIEW



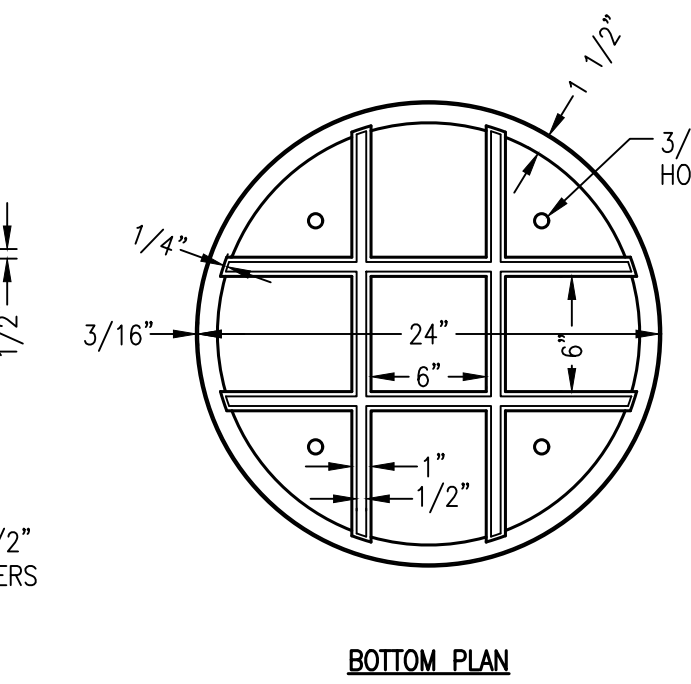
D4 PREFABRICATED SIDEWALK DRAIN  
NOT TO SCALE



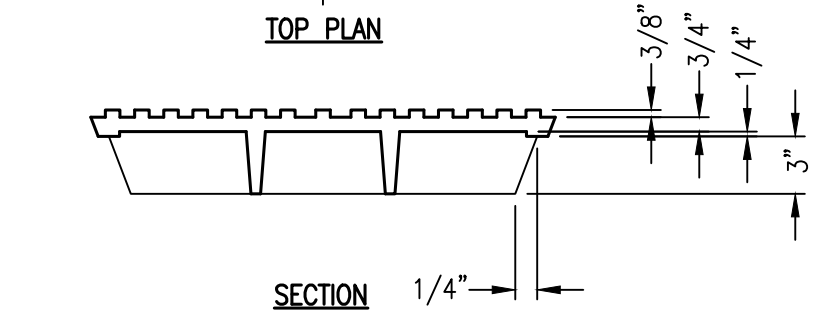
TOP PLAN



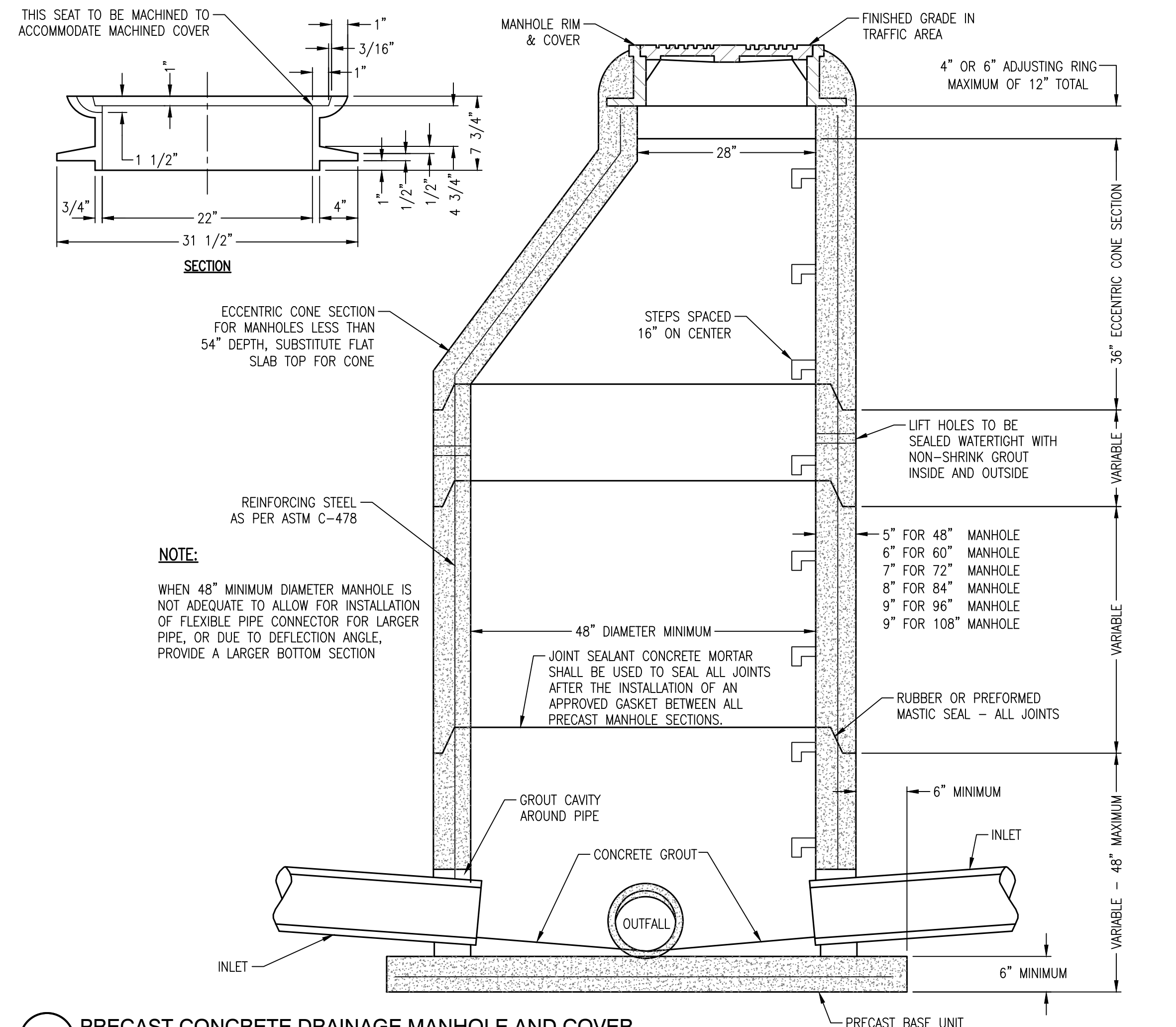
TOP PLAN



BOTTOM PLAN



SECTION



A4 PRECAST CONCRETE DRAINAGE MANHOLE AND COVER  
NOT TO SCALE

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**Pinnacle Point at Bryant  
Assisted Living Facility**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
STATE HIGHWAY # 5  
BRYANT, AR

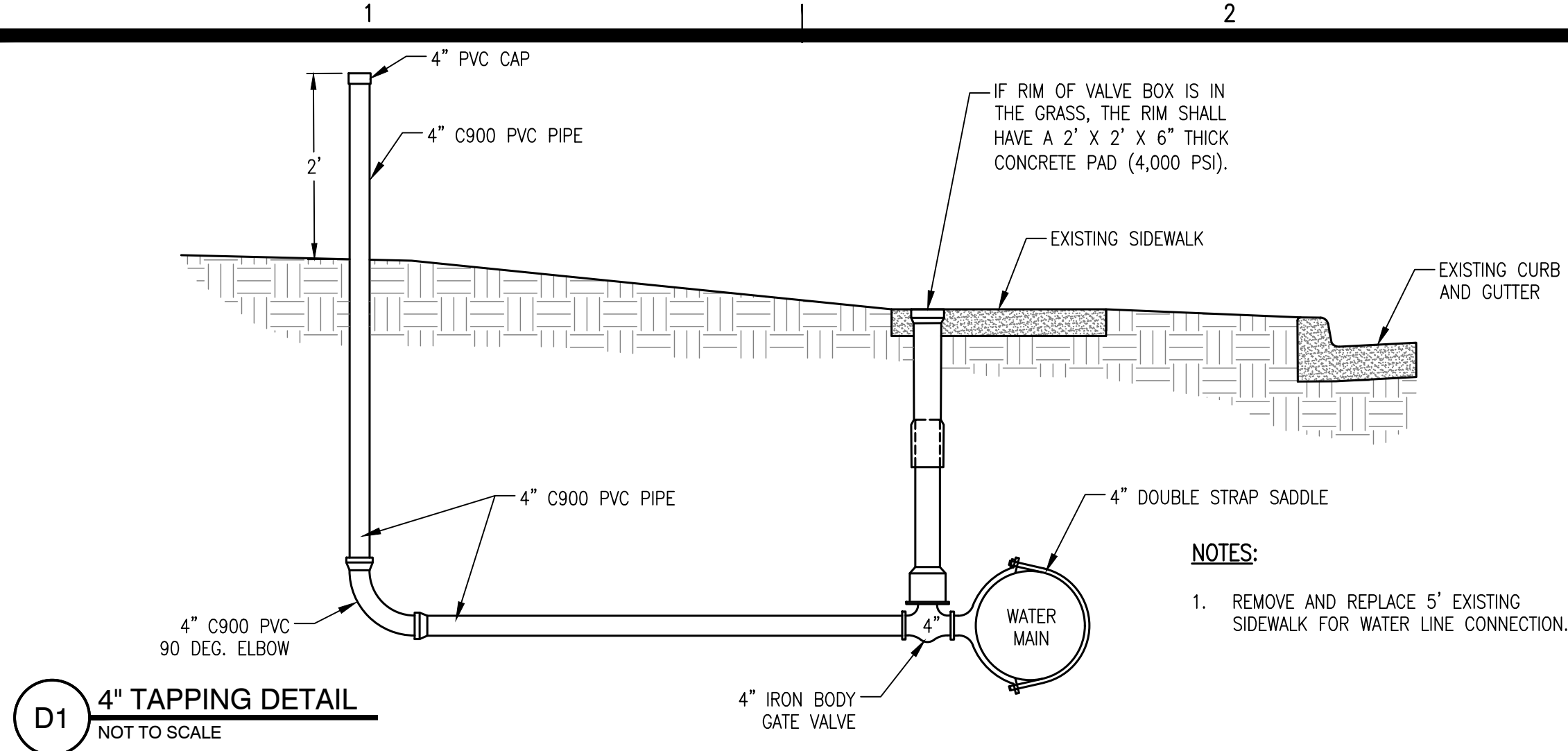
SEAL:  
REGISTERED PROFESSIONAL ENGINEER  
No. 14484  
HARVEY T. WATNEY  
10/18/2021

SHEET NUMBER:  
**C-511**

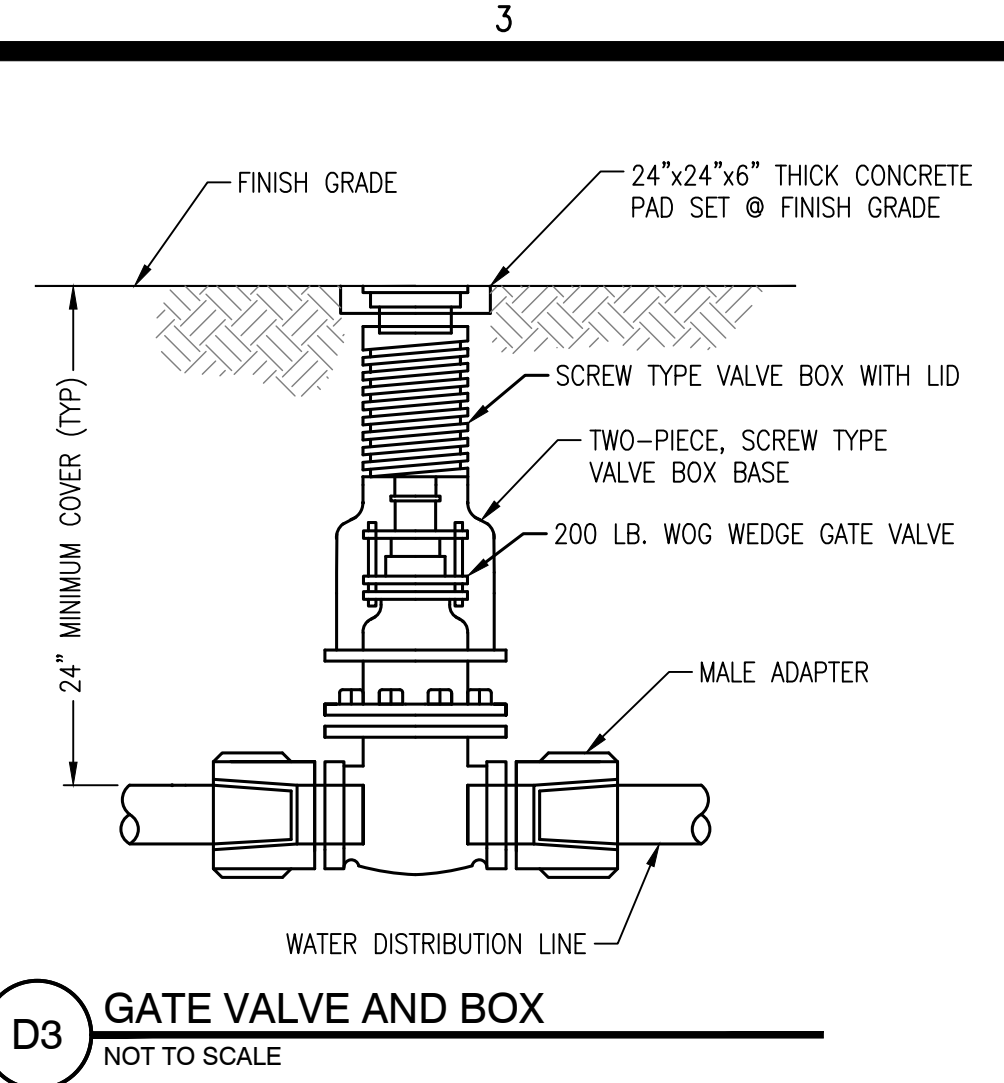
DESCRIPTION:  
GRADING & DRAINAGE  
DETAILS

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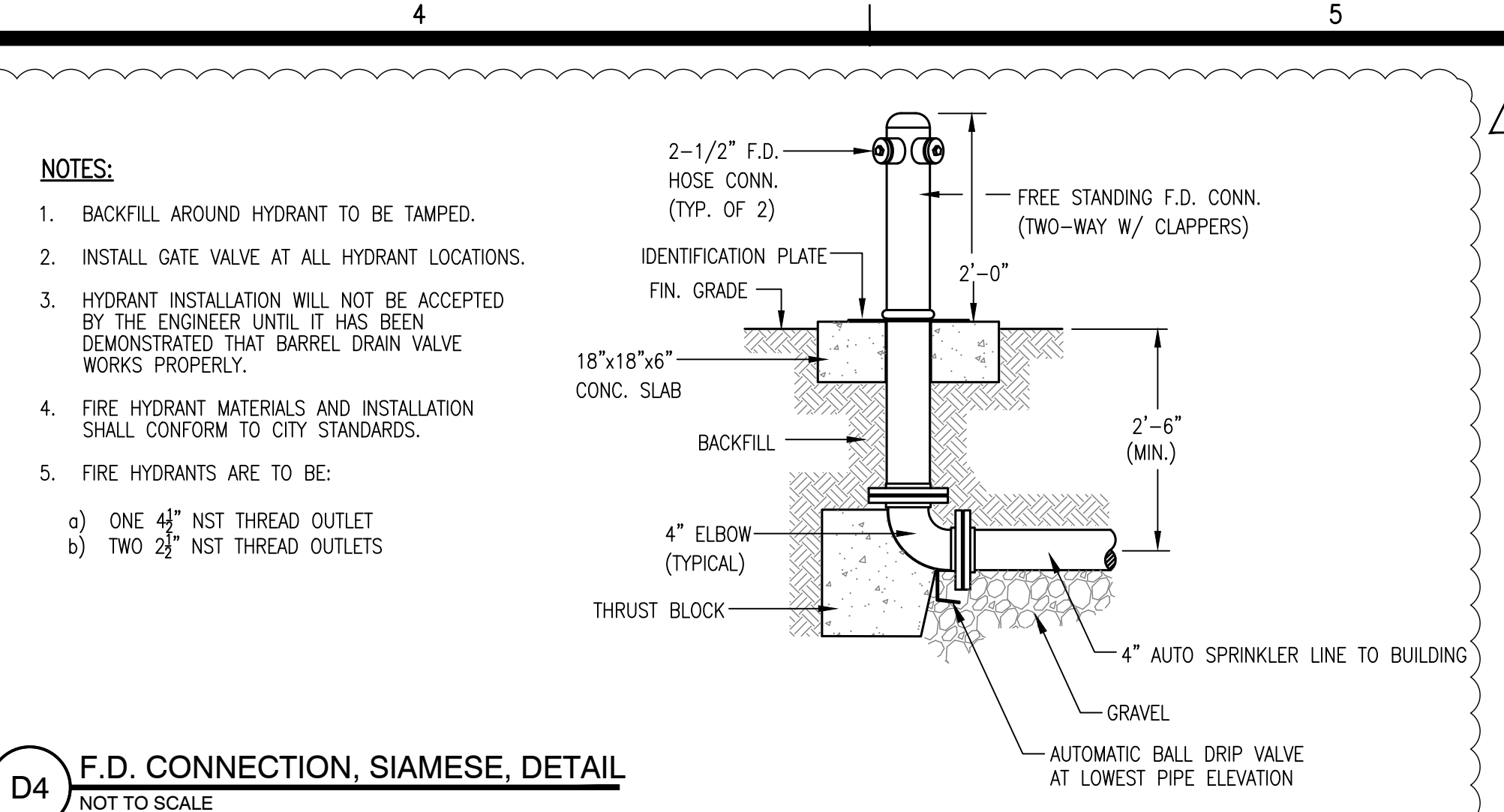




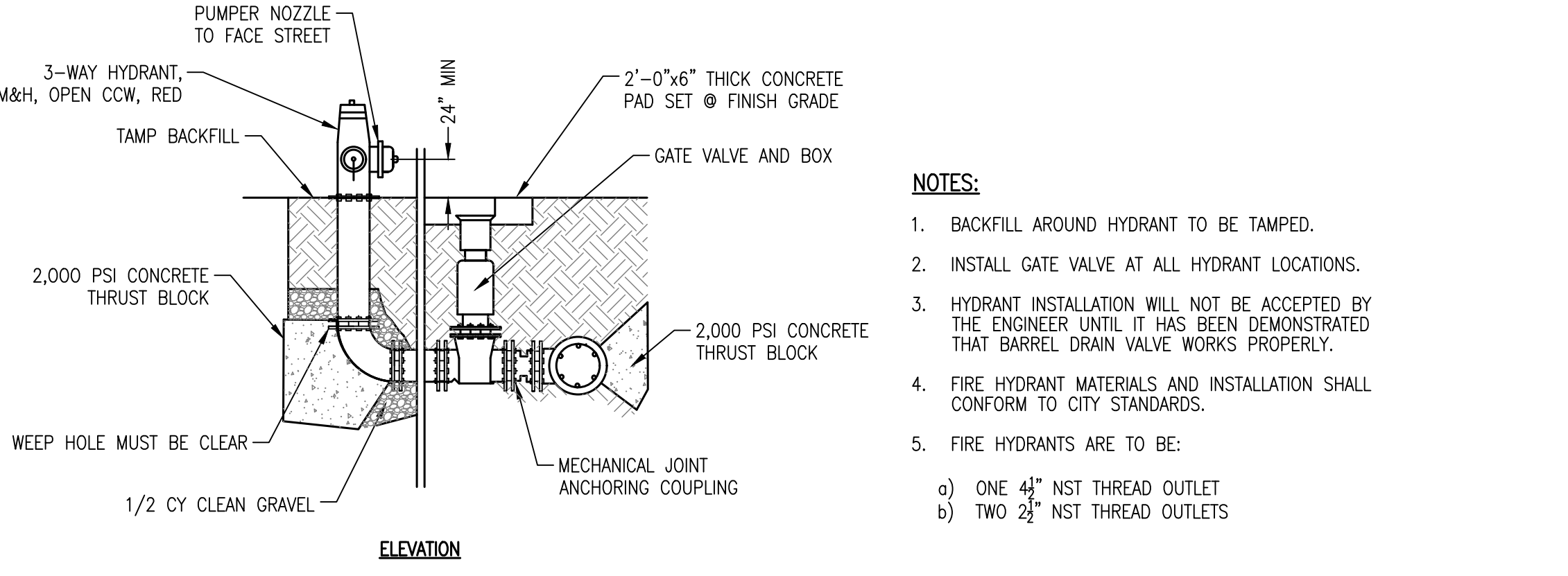
**D1** 4" TAPPING DETAIL  
NOT TO SCALE



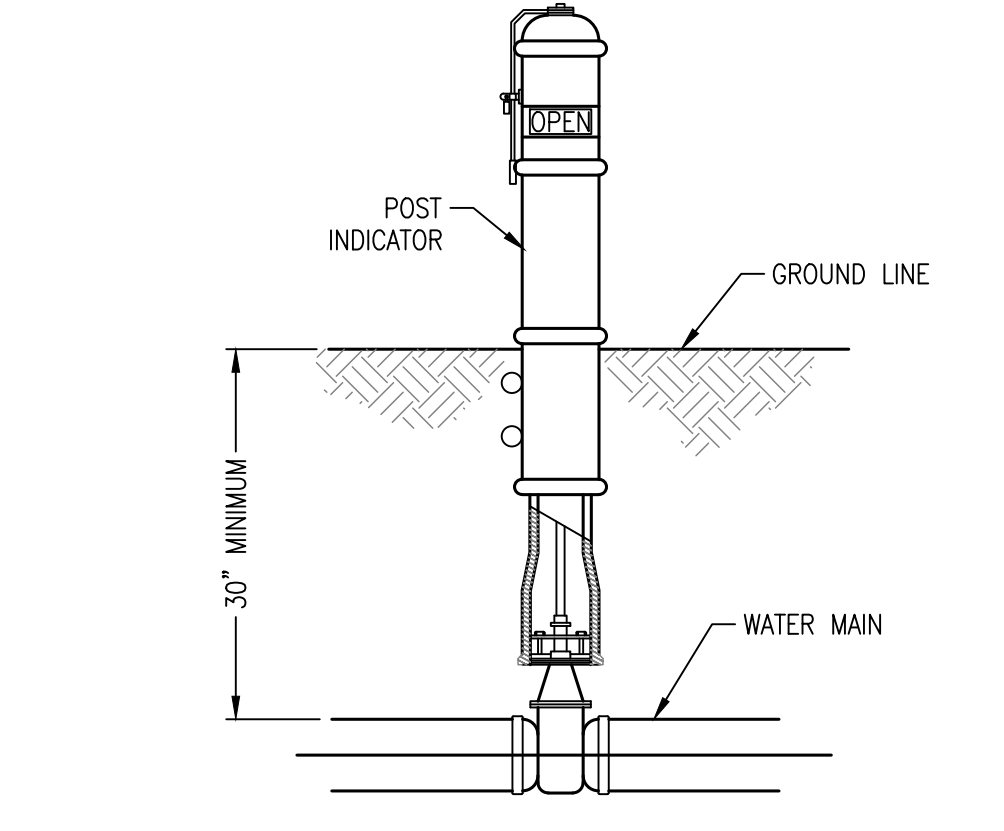
**D3** GATE VALVE AND BOX  
NOT TO SCALE



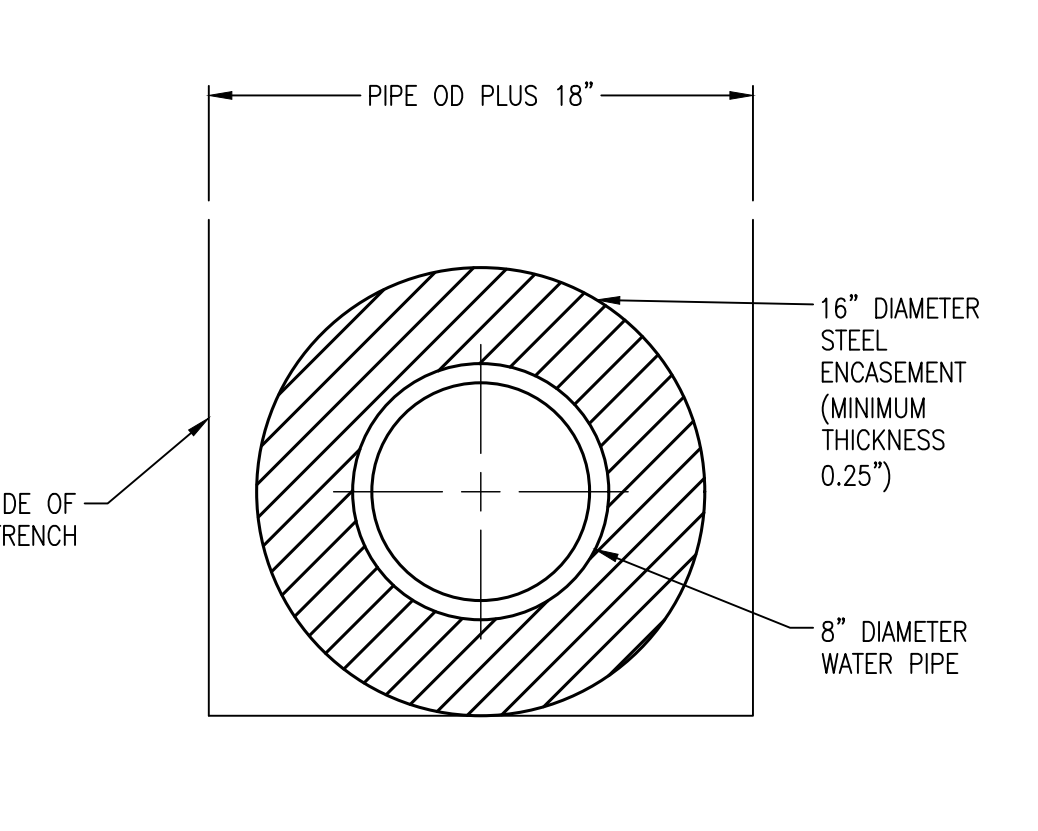
**D4** F.D. CONNECTION, SIAMESE, DETAIL  
NOT TO SCALE



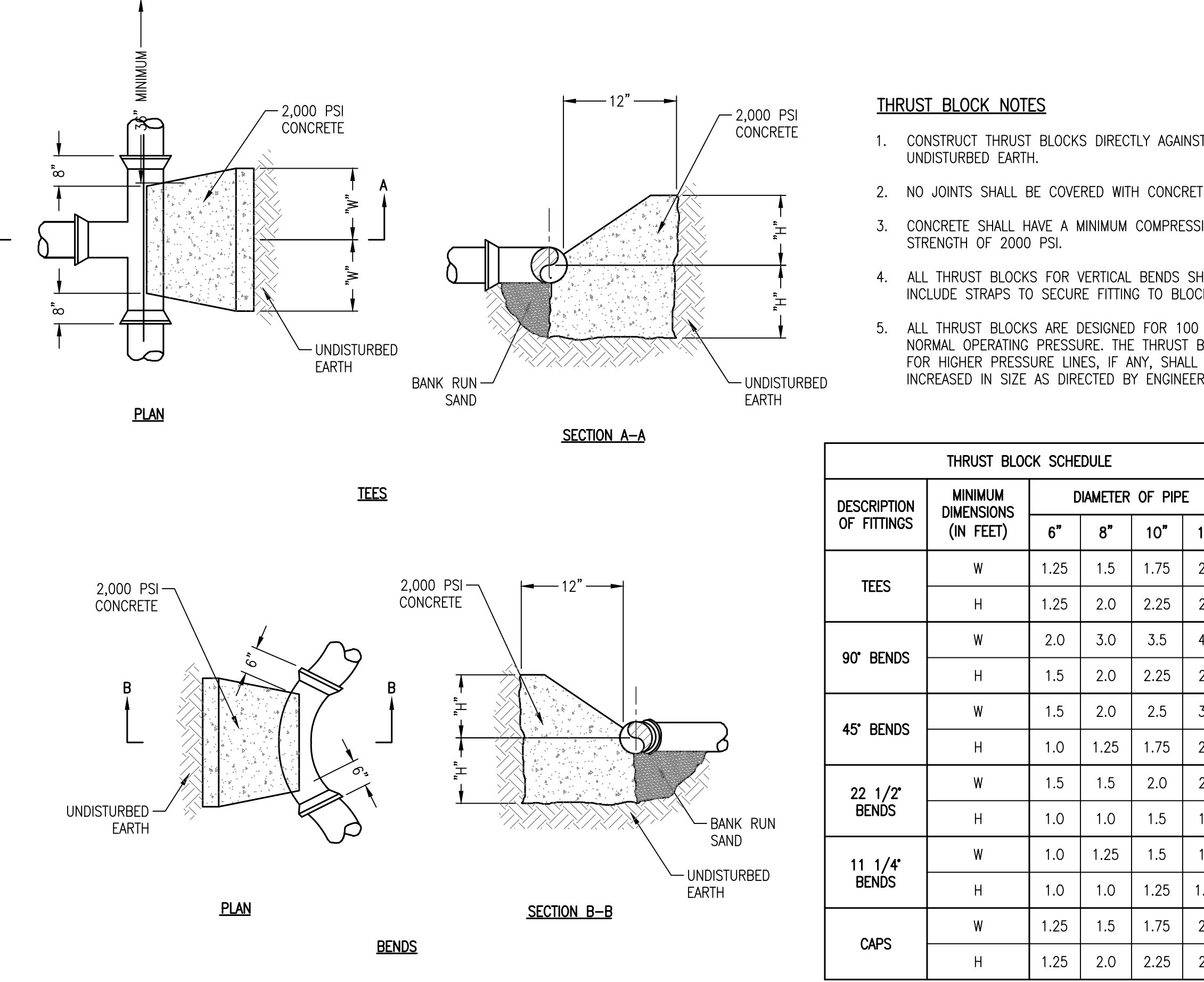
**C1** FIRE HYDRANT ASSEMBLY  
NOT TO SCALE



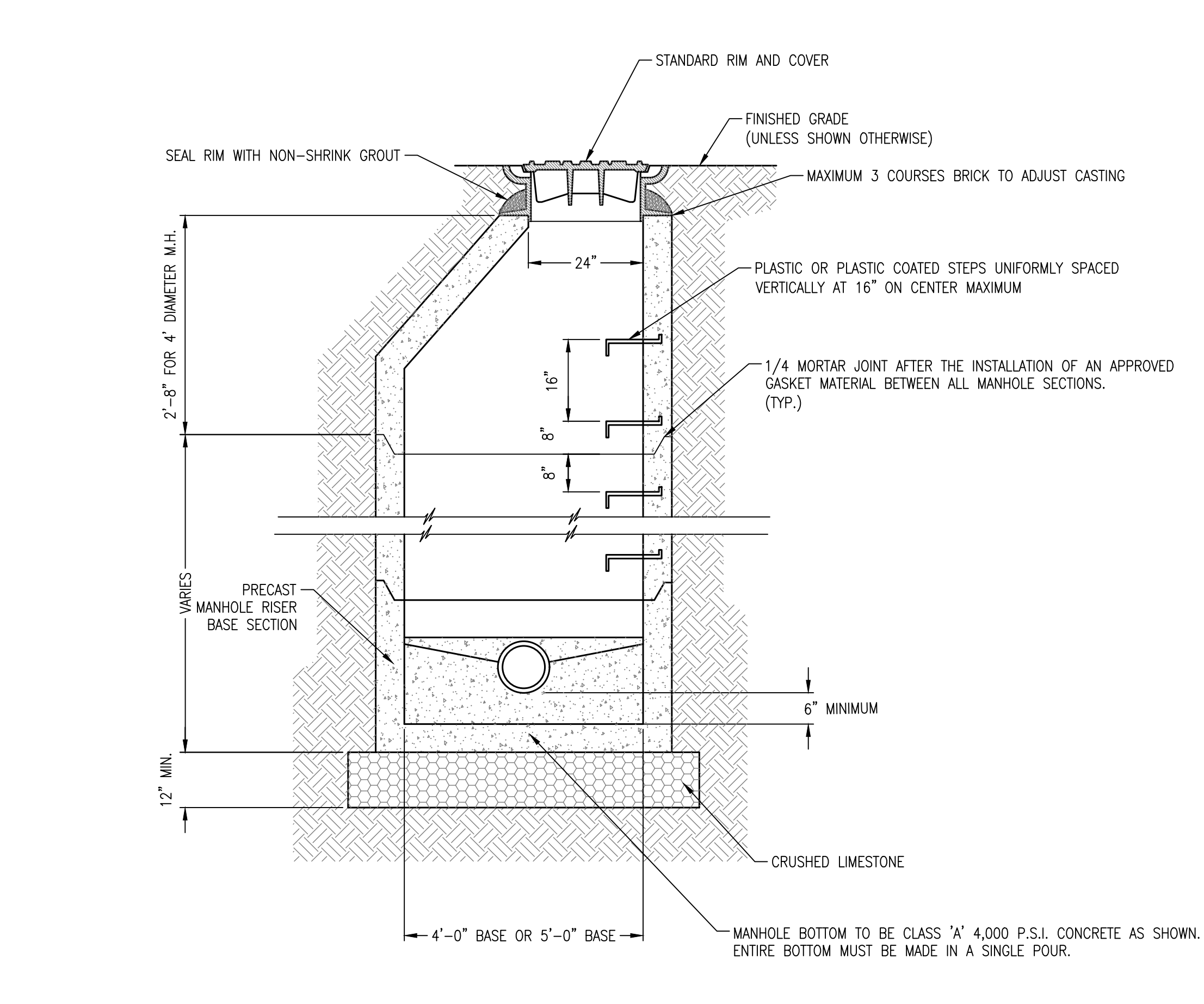
**C3** POST INDICATOR VALVE  
NOT TO SCALE



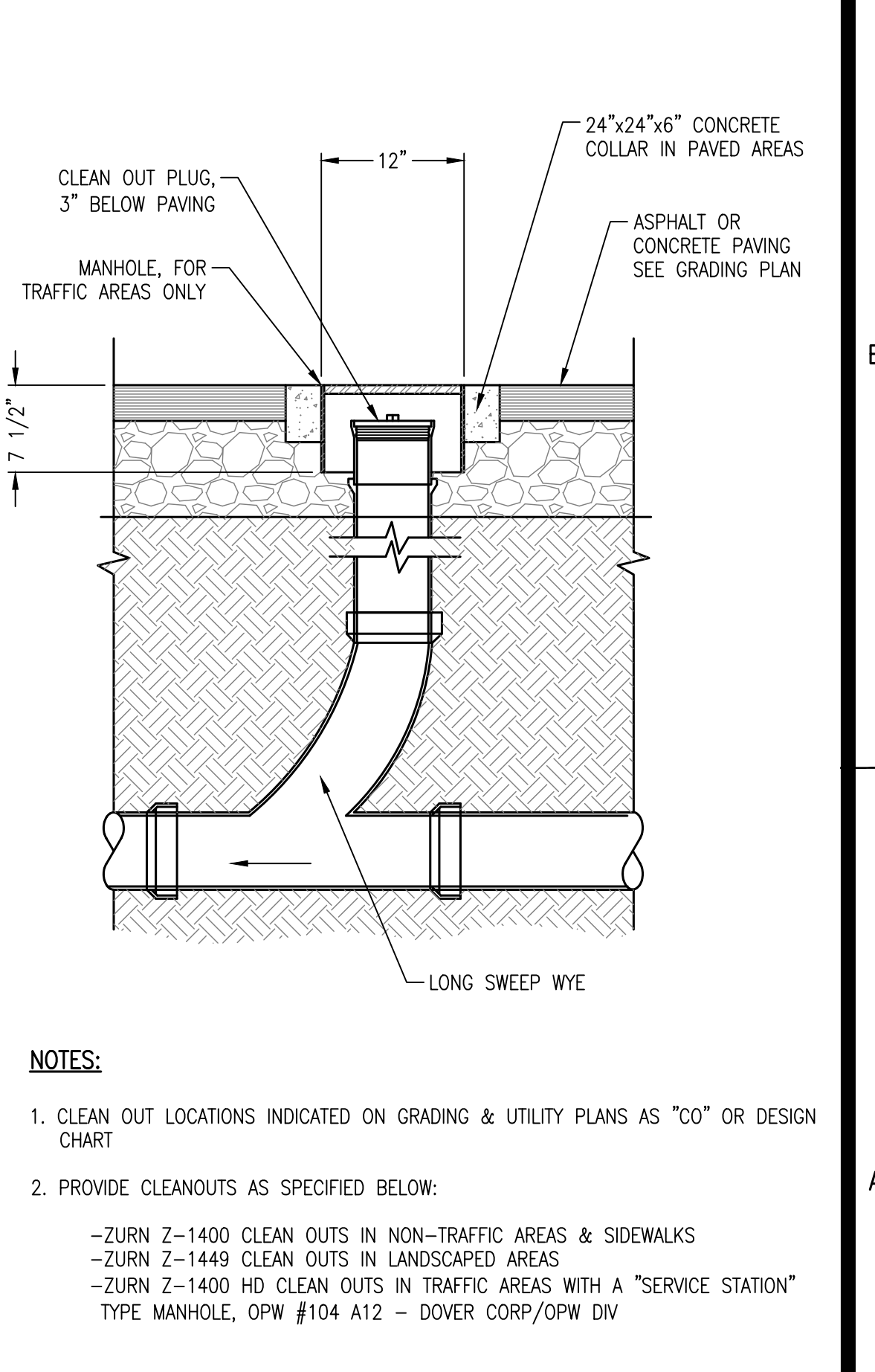
**C4** STEEL ENCASEMENT  
NOT TO SCALE



**A1** THRUST BLOCKING  
NOT TO SCALE



**A3** PRECAST SEWER MANHOLE  
NOT TO SCALE



**A5** CLEANOUT  
NOT TO SCALE

REVISIONS:

NO.	DATE	CITY	COMMENTS
1	12/12/19		
2			
3			
4			

PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

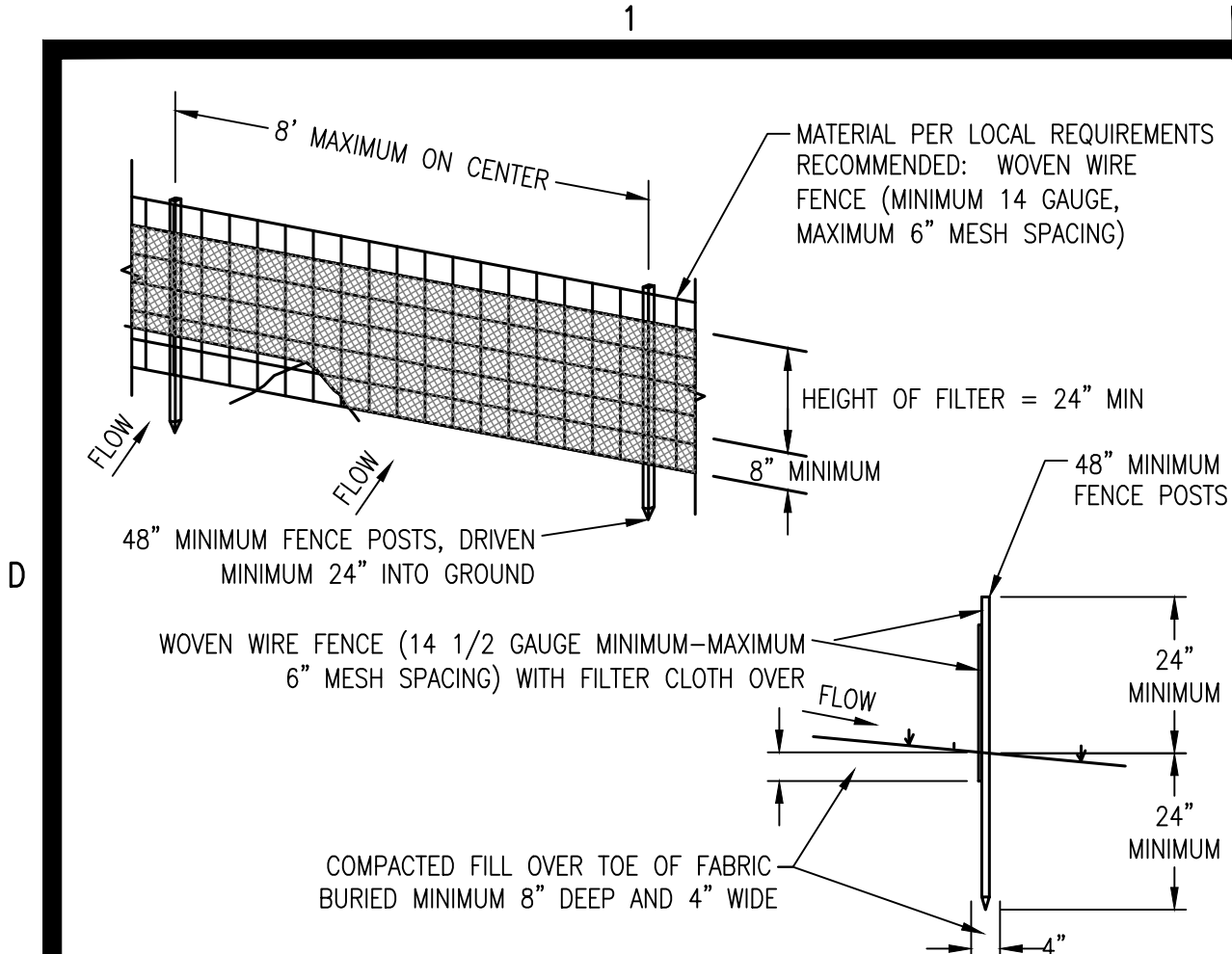
**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
STATE HIGHWAY # 5  
BRYANT, AR

SEAL:  
STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 14484  
HARVEY T. WATNEY  
10/18/2021

SHEET NUMBER:  
**C-520**

DESCRIPTION:  
UTILITY DETAILS

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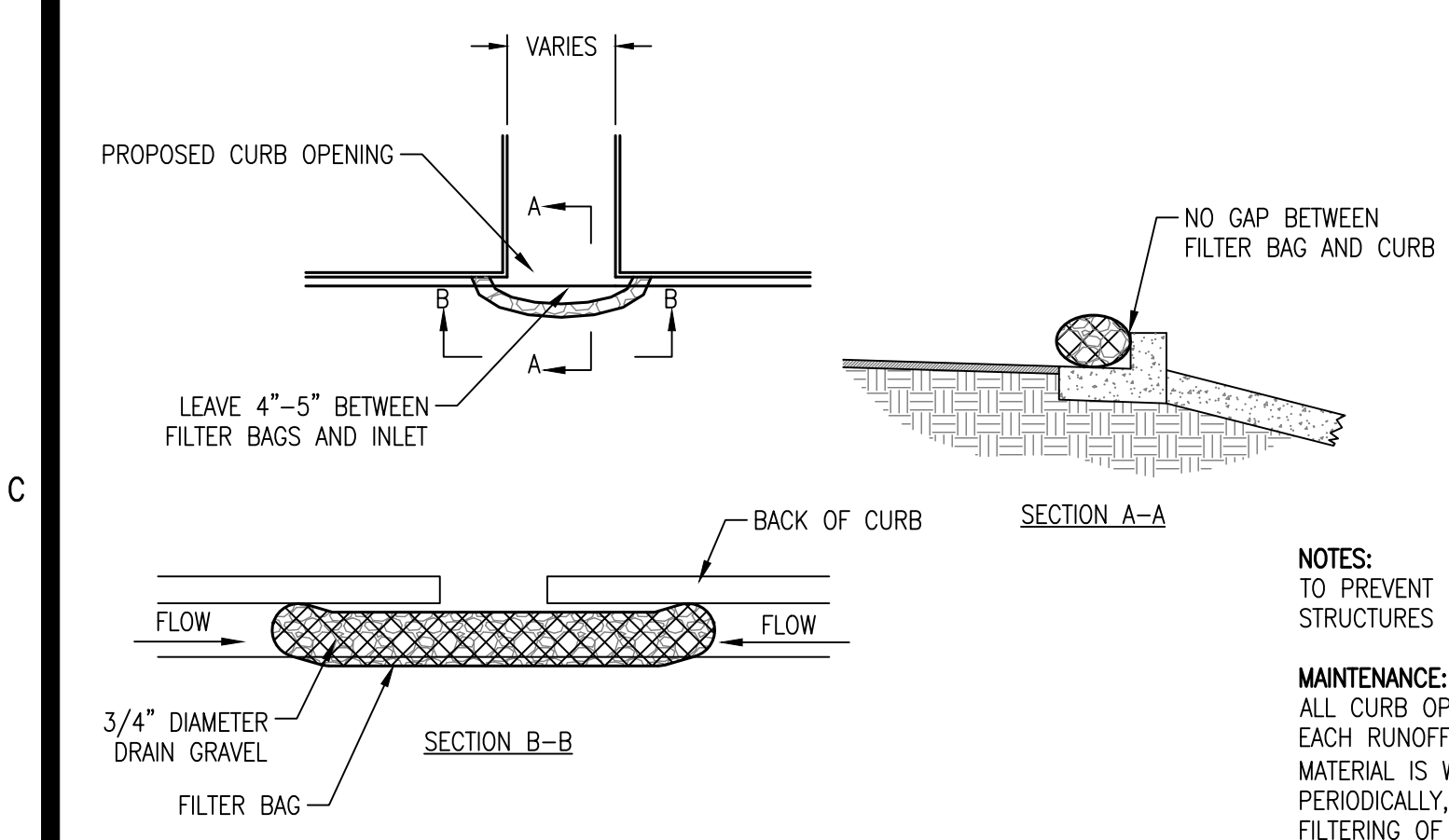
**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
- WHEN TWO SECTIONS OR FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY (6) INCHES AND FOLDED.
- LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER "T" OR "U" TYPE  
 POSTS: LOCATED MAXIMUM 8' OC  
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA 6" MAX MESH OPENING  
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL.  
 PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL.

6. INDICATED ON EROSION CONTROL PLANS AS "SF".

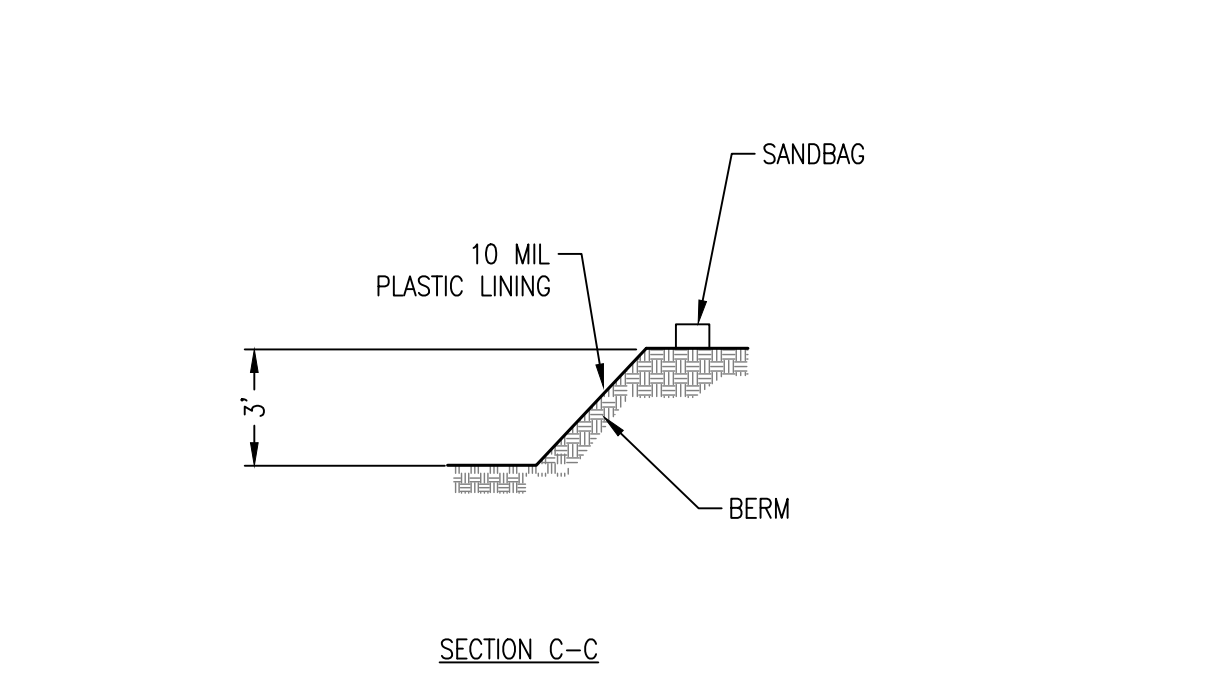
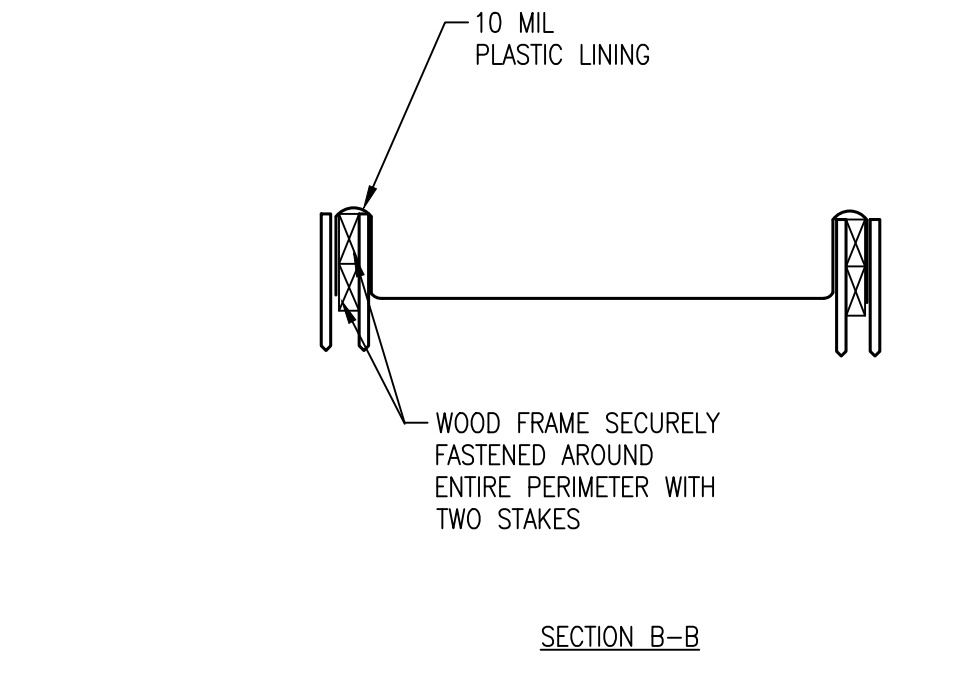
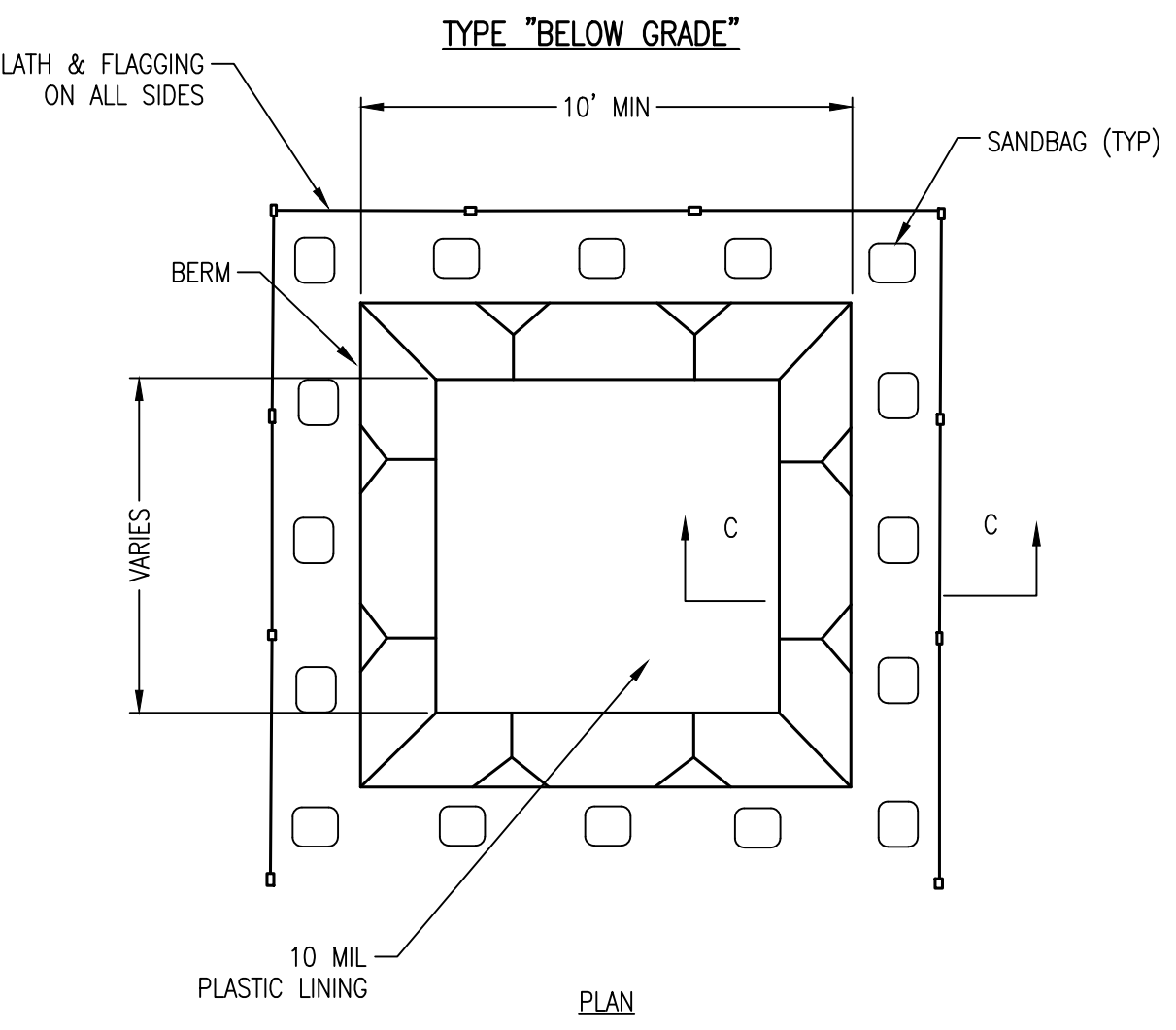
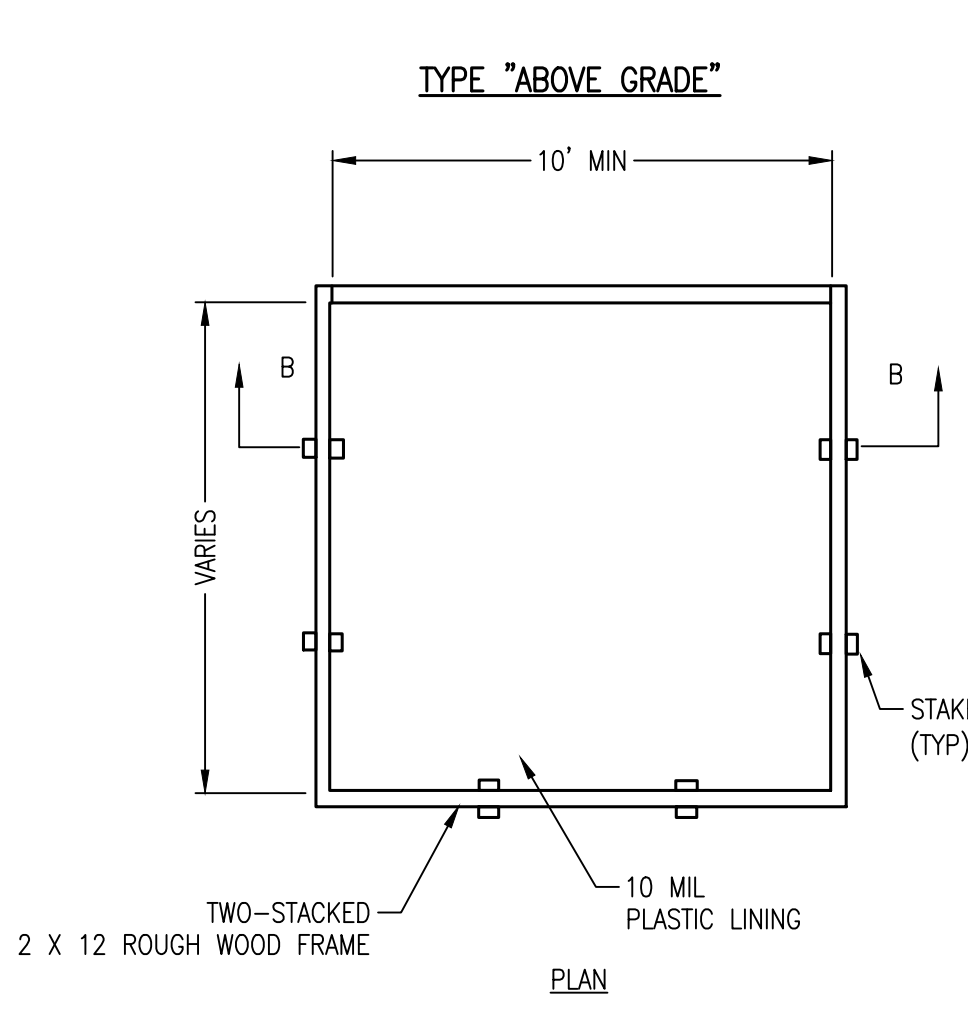
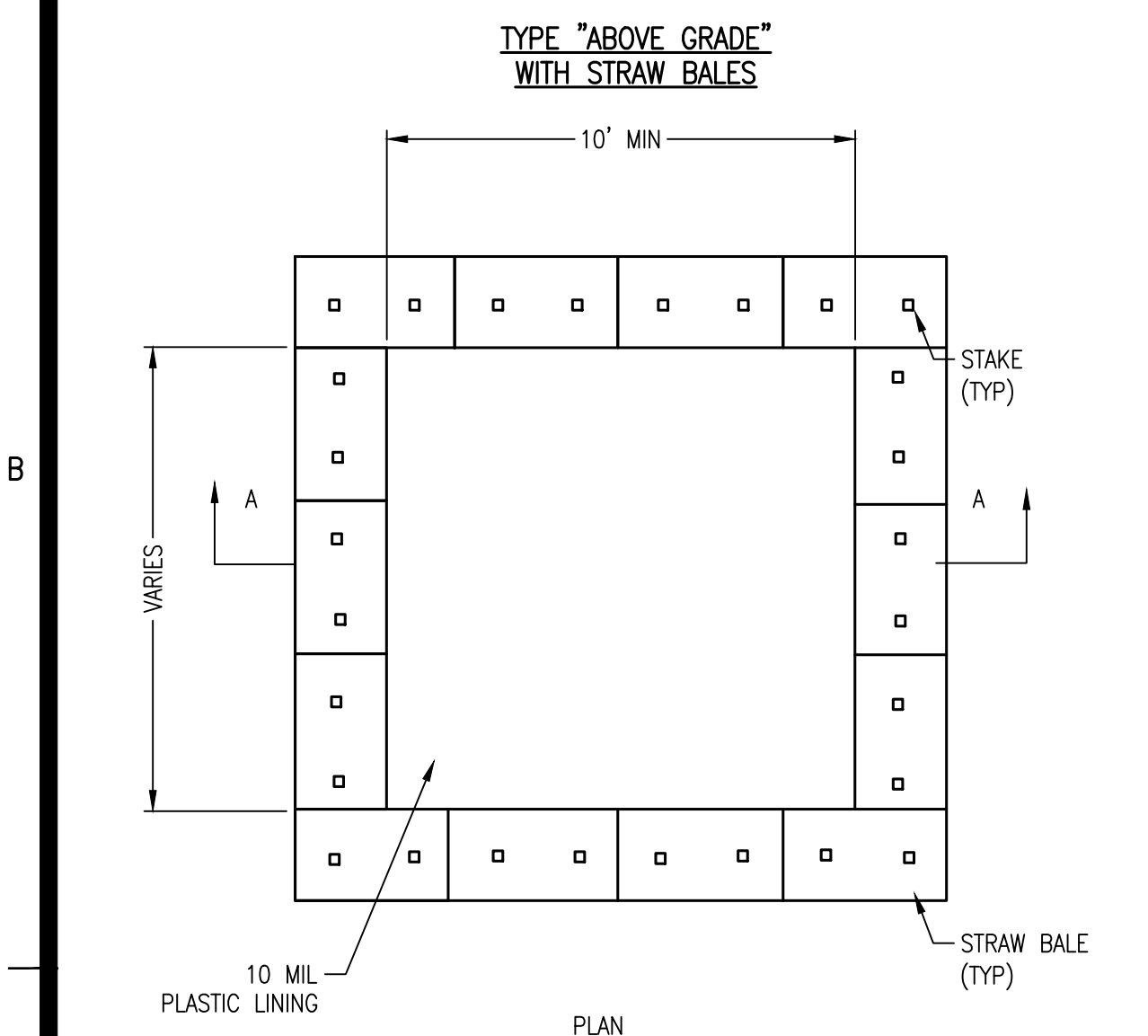
**D1 SILT FENCE EROSION PROTECTION**  
NOT TO SCALE



**NOTES:**  
 TO PREVENT DAMAGES TO VEHICLES, SIGNS WARNING DRIVERS ABOUT THE STRUCTURES MAY BE NECESSARY.

**MAINTENANCE:**  
 ALL CURB OPENING GRAVEL FILTERS SHALL BE INSPECTED AND REPAIRED AFTER EACH RUNOFF EVENT. SEDIMENT DEPOSITS ARE TO BE REMOVED ONCE MATERIAL IS WITHIN 8 CM (3 INCHES) OF THE TOP OF ANY BLOCK. PERIODICALLY, THE GRAVEL SHALL BE RAKED TO INCREASE INFILTRATION AND FILTERING OF RUNOFF WATERS. ACCUMULATED SEDIMENT IS TO BE REMOVED IMMEDIATELY FROM ROADS AND STREETS.

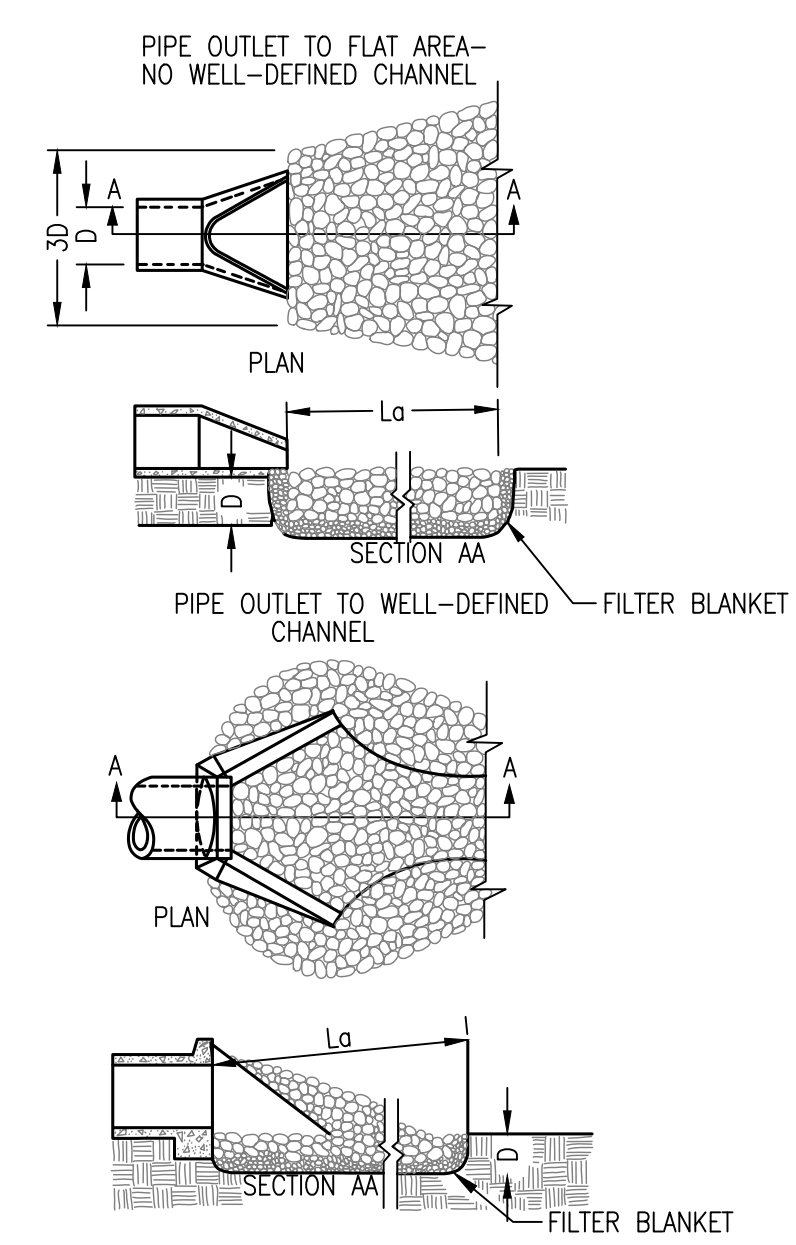
**C1 CURB OPENING PROTECTION**  
NOT TO SCALE



**NOTES:**

- ACTUAL LAYOUT DETERMINED IN FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

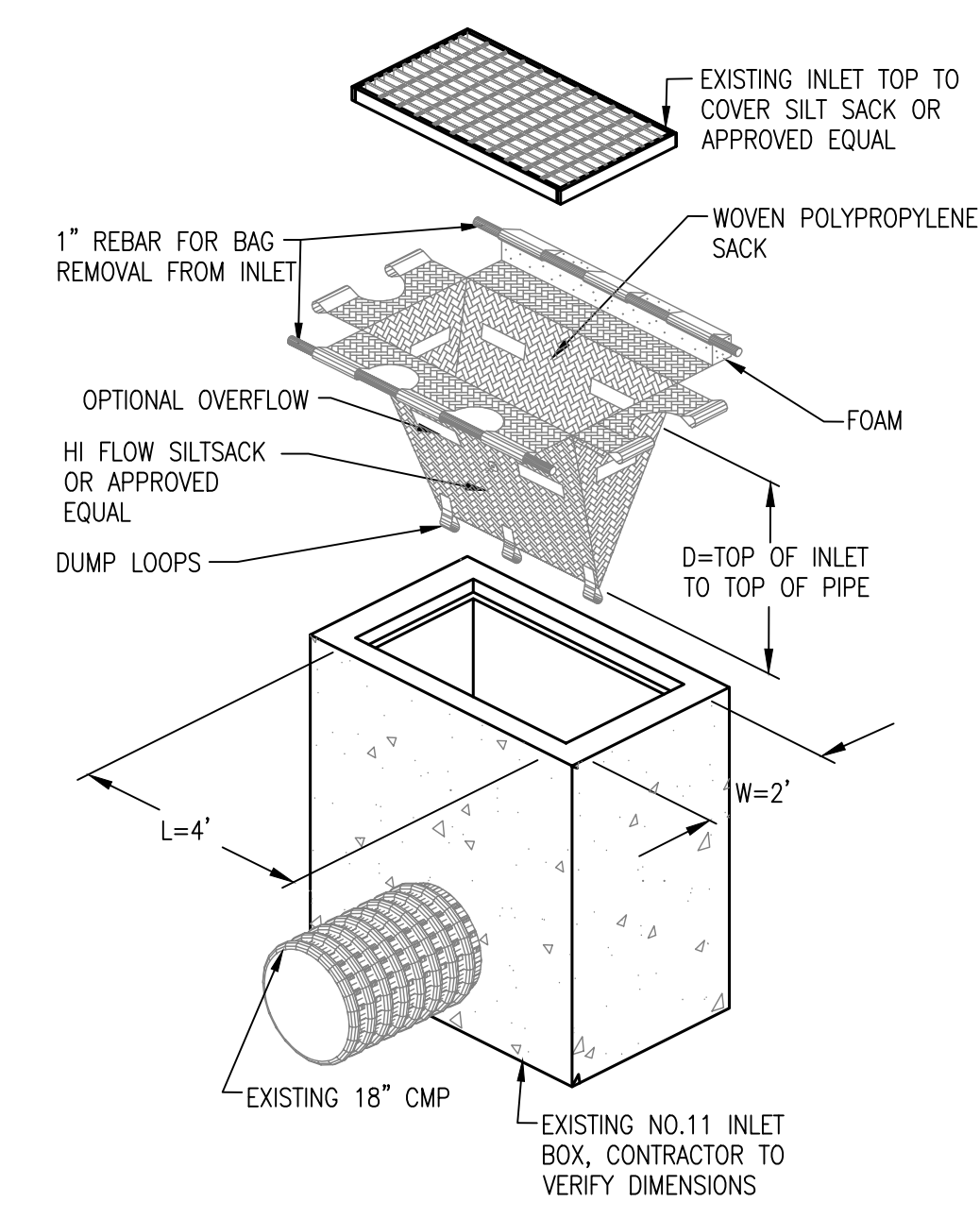
**A1 CONCRETE WASHOUT**  
NOT TO SCALE



**NOTES:**

- Lo IS THE LENGTH OF THE RIPRAP APRON.
- D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
- IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OF TO THE TOP OF THE BANK, WHICHEVER IS LESS.
- A FILTER BLANKET OR FILTER FABRIC SHALL BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

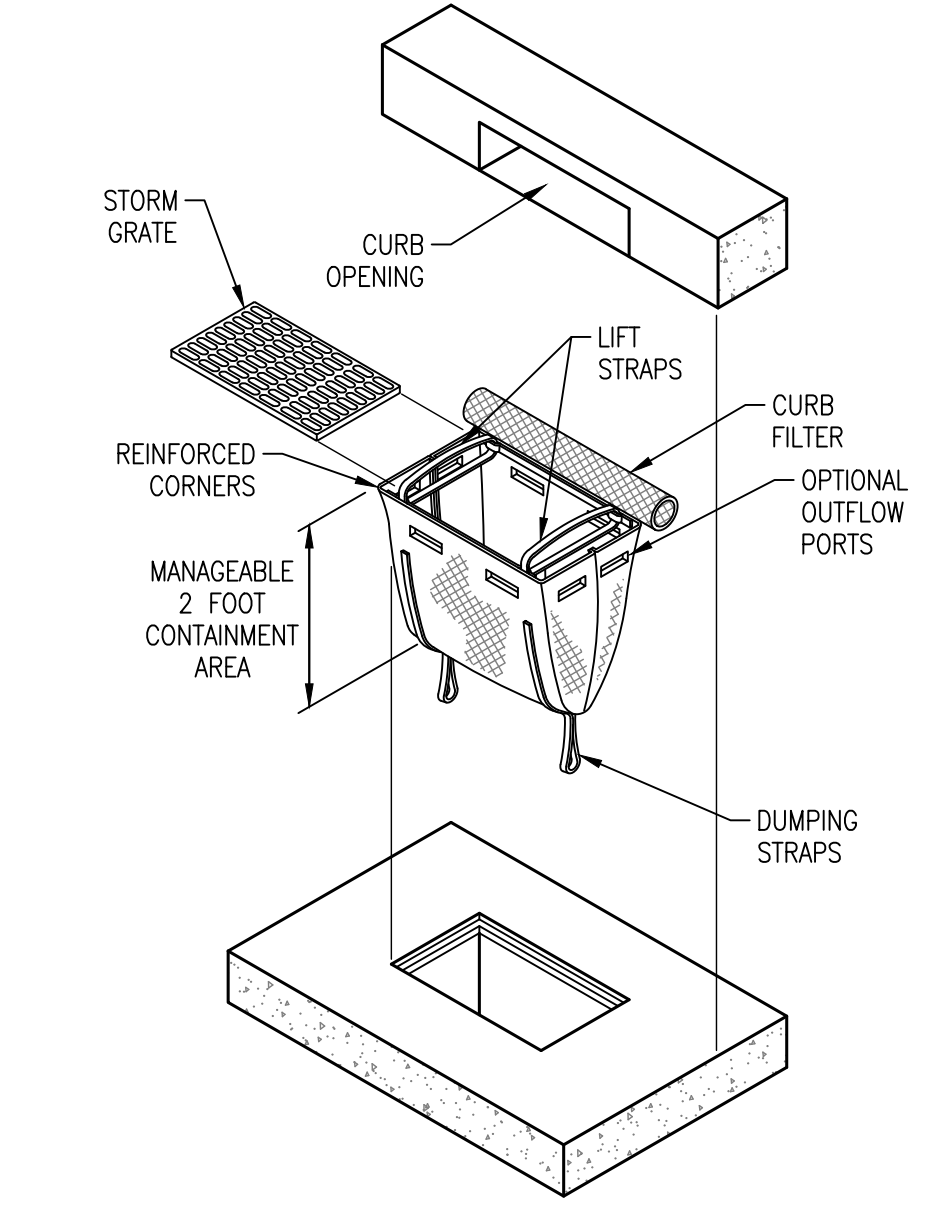
**C3 RIPRAP OUTLET PROTECTION**  
NOT TO SCALE



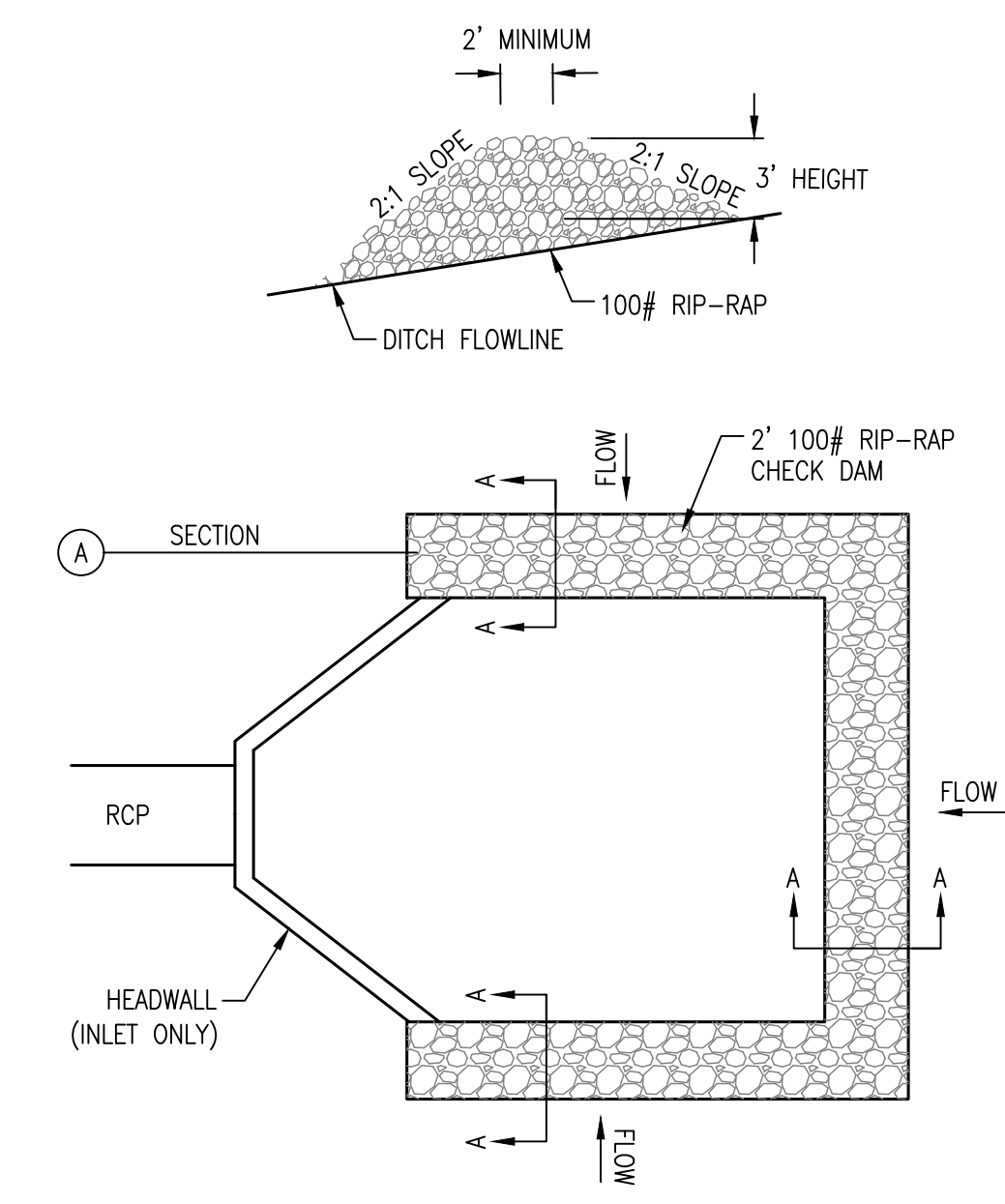
**NOTES:**

- SILT SACK OR APPROVED EQUAL TO BE USED INSIDE INLETS AND OTHER OPENINGS INTO DRAINAGE SYSTEMS THROUGHOUT CONSTRUCTION.
- THERE MUST BE NO GAPS OR TEARS IN THE SILT SACK OR APPROVED EQUAL THAT WOULD ALLOW WATER TO BYPASS TREATMENT.
- THE SACK SHOULD BE INSPECTED AT LEAST TWICE A WEEK @ LEAST 72 HOURS APART. THE SACK SHOULD BE INSPECTED FOR LEAKS AND EMPTIED DURING THESE INSPECTIONS.

**C4 INLET PROTECTION-SILT SACK**  
NOT TO SCALE



**B4 CURB INLET PROTECTION-SILT SACK**  
NOT TO SCALE



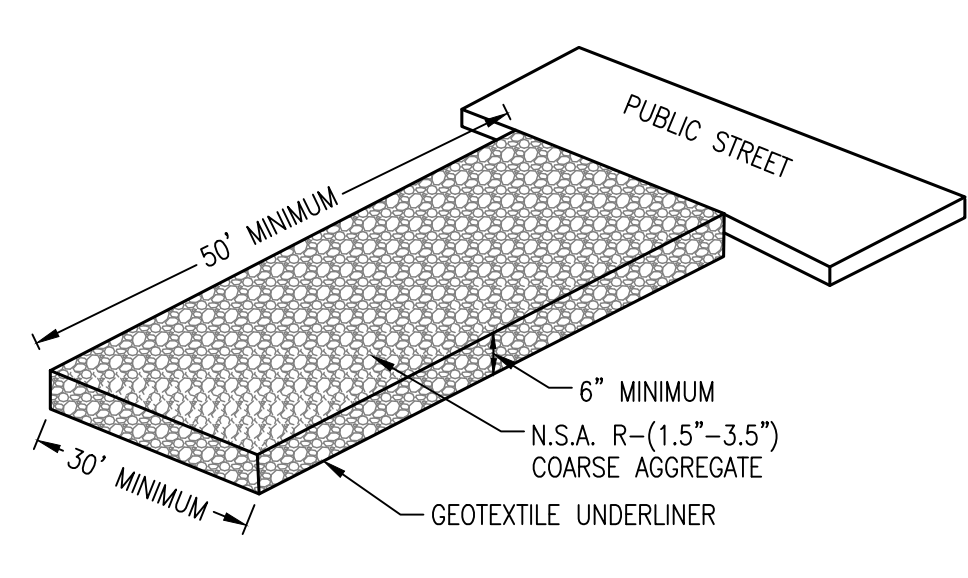
**B5 STONE CHECK DAM**  
NOT TO SCALE

**DEFINITION-** A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

**PURPOSE-** TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

**CONDITIONS WHERE PRACTICE APPLIES-** WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVE DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.

**PLANNING CONSIDERATIONS-** GENERAL CRITERIA REQUIRES THAT ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH DAY. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.



**A4 CONSTRUCTION EGRESS**  
NOT TO SCALE

**DESIGN CRITERIA**

- AGGREGATE SIZE- N.S.A. R-(1.5"-3.5" INCH STONE) SHOULD BE USED.
- ENTRANCE DIMENSIONS- THE AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
- WASHING- IF CONDITIONS ON THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- LOCATION- THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

**CONSTRUCTION SPECIFICATIONS-** THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

**MAINTENANCE-** THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANEST OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM



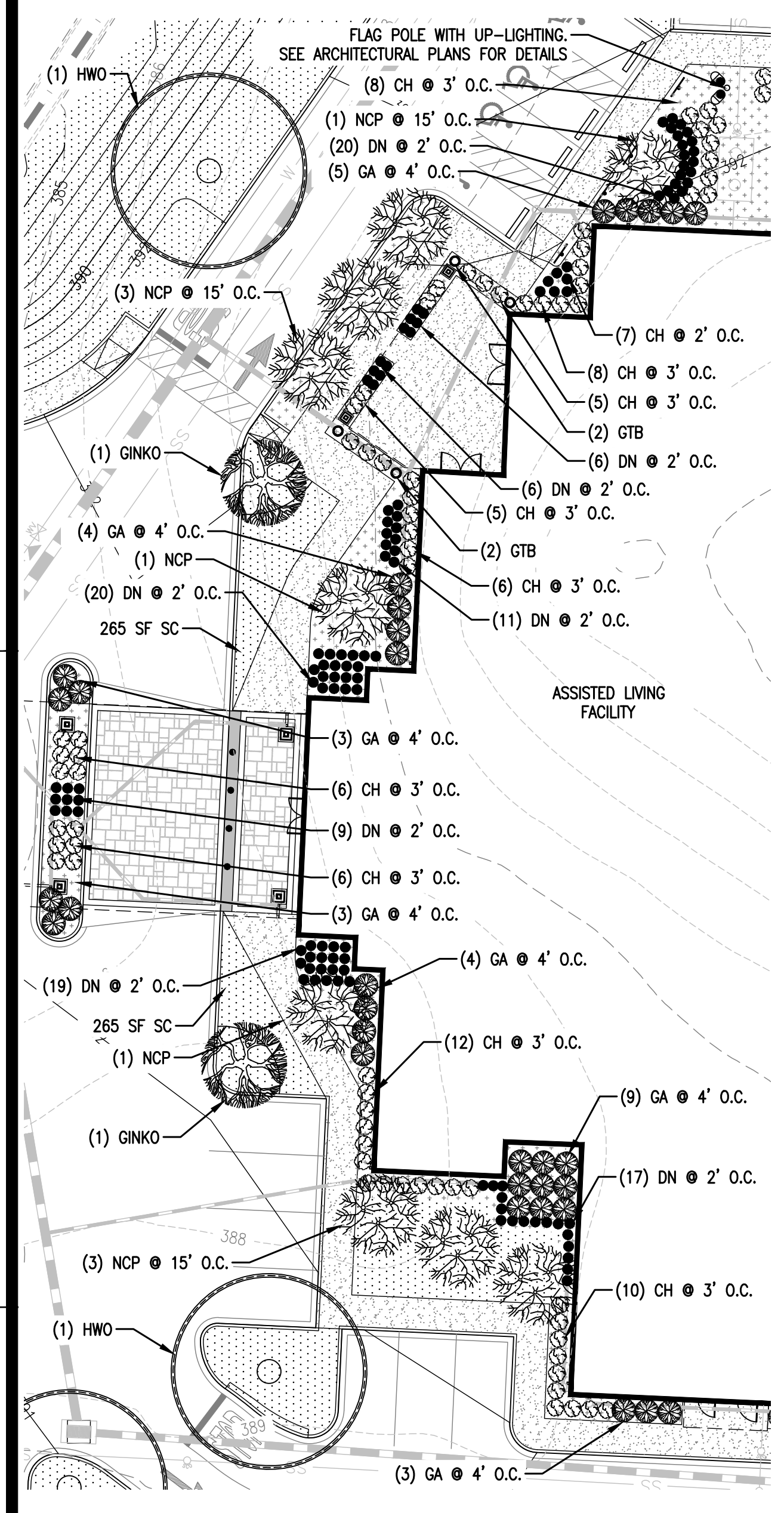
**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
 STATE HIGHWAY # 5 BRYANT, AR



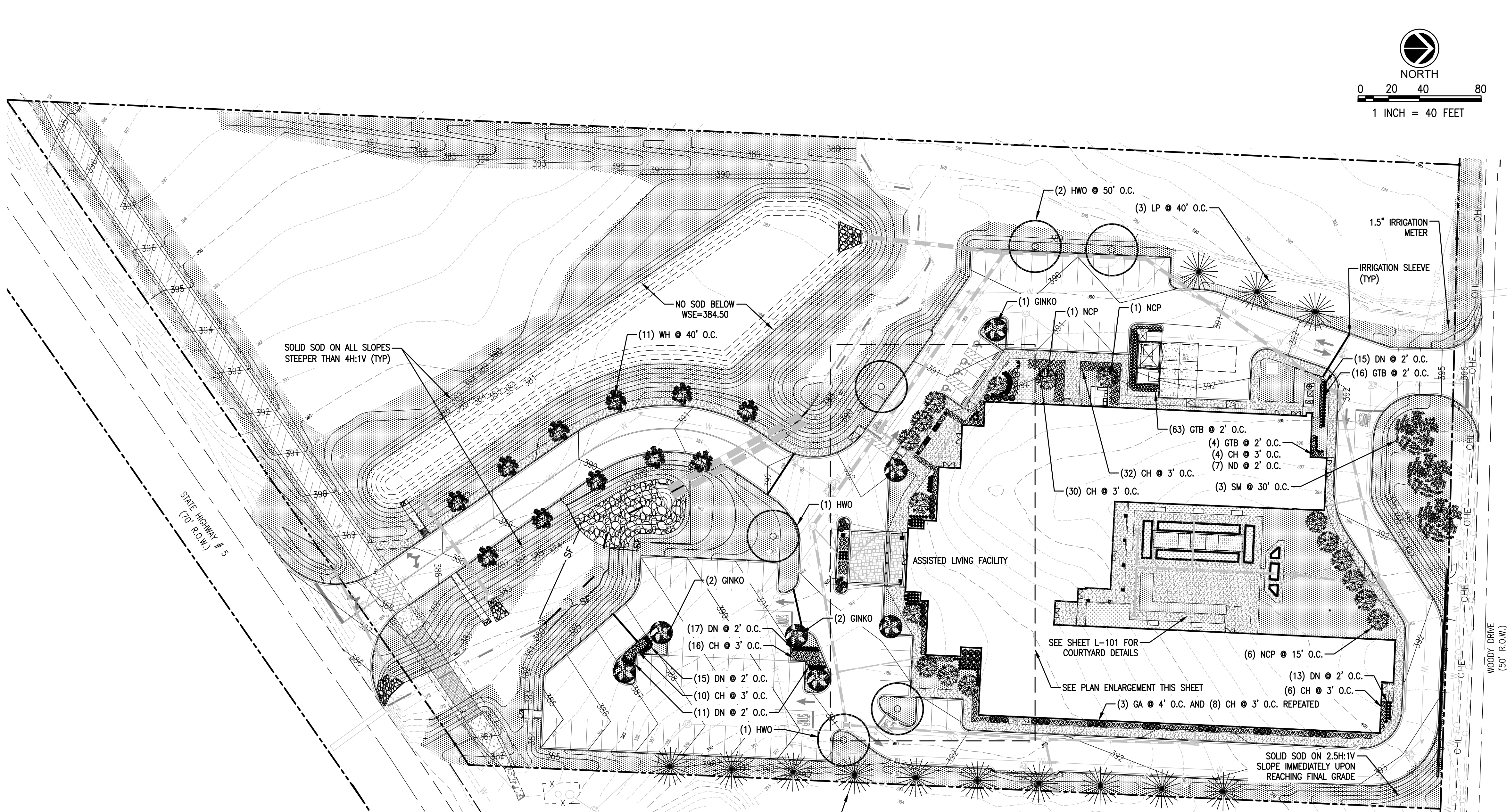
SHEET NUMBER:  
**C-530**

DESCRIPTION:  
 EROSION CONTROL DETAILS

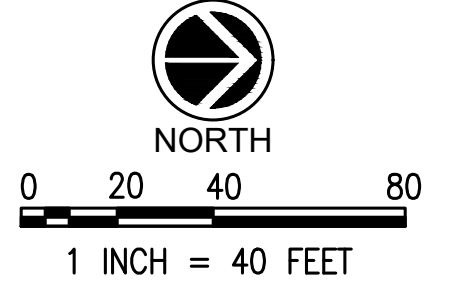
K:\25526.01\CD\PLANS\C-530 EROSION CONTROL DETAILS.DWG



**C1 PLAN ENLARGEMENT 1**  
SCALE: 1"=20'



**C2 LANDSCAPE PLAN**  
SCALE: 1"=40'



- LANDSCAPE NOTES:**
- SEED, SOLID SOD, OR HYDOMULCH ALL AREAS DISTURBED AND OUTSIDE LIMITS OF PAVING AS SHOWN.
  - SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. ALTERNATIVE RECOMMENDATIONS WILL BE CONSIDERED IF SUPPLEMENTED BY A SOIL TEST. SOIL HAVING A PH LESS THAN 6 SHALL BE THOROUGHLY MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACIDIC REACTION (A PH OF 6 TO 6.5). 15-15 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER. 4" MINIMUM THICKNESS OF TOPSOIL IS REQUIRED.
  - THE LANDSCAPE CONTRACTOR SHALL INSPECT ALL BACKFILL AND PLACEMENT OF TOPSOIL TO DETERMINE WHETHER OR NOT A "HARDPAN" SITUATION EXISTS DUE TO PREVIOUS SOIL CONDITIONS, PLACEMENT AND COMPACTION OF FILL DURING CONSTRUCTION, OR ANY OTHER CONTRIBUTING FACTOR PRIOR TO INSTALLATION OF PLANT MATERIALS. IF SUCH A SITUATION IS ANTICIPATED, IT SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY, PRIOR TO THE INSTALLATION OF PLANT MATERIAL FOR A REMEDY.
  - UPON SECURING PLANT MATERIAL, AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT FOR A PRE-INSTALLATION INSPECTION TO VERIFY ALL PLANT MATERIALS CONFORMANCE TO SPECIFICATIONS.
  - HERBICIDE PRE-EMERGENT (TRIFLUR OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.
  - ALL PLANTING BEDS TO HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. BARK CHIPS ARE NOT ACCEPTABLE.
  - ALL TREES TO BE STAKED AS PER PLANTING DETAIL, AND SHALL REMAIN IN PLACE THROUGHOUT THE WARRANTY PERIOD OF ONE YEAR.
  - DIMENSIONS FOR HEIGHTS, SPREAD, AND CALIPER OF TRUNK SPECIFIED ON THE DRAWING IS A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT. EACH PLANT SHALL HAVE A UNIFORM AND CONSISTENT SHAPE AS IT PERTAINS TO THE PARTICULAR SPECIES. ANY PLANT MATERIAL WHICH FAILS TO CONFORM IS SUBJECT TO REJECTION BY THE CONSULTANT.
  - THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS, FILLING PLANTED AREAS AT THE REQUIRED SPACING AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
  - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO A HEIGHT MEASURED 5' ABOVE FINISH GRADE. ALL DEAD TREES AND/OR LIMBS TO BE REMOVED.
  - LANDSCAPE CONTRACTOR TO VERIFY LOCATION AND PROTECT ALL ABOVE AND BELOW GROUND UTILITIES. REPLACE DAMAGED UTILITIES AT NO EXPENSE TO THE OWNER. PROTECT AREAS FROM SILTATION AS NEEDED.
  - NURSERY: COMPANY SPECIALIZING IN GROWING AND CULTIVATING THE PLANTS SPECIFIED IN THIS SECTION WITH MINIMUM TEN (10) YEARS' DOCUMENTED EXPERIENCE, INSPECTED AND APPROVED BY STATE PLANT INSPECTION AGENCIES. CONSIDER ALL NURSERIES WITHIN THE SOUTHEASTERN PORTION OF THE U.S. FOR PLANT MATERIAL NEEDS FOR THE PROJECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LISTS. PRIOR TO BIDDING, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND SATISFIED HIMSELF THAT HE CAN SUPPLY ALL THE PLANTS SPECIFIED ON THE DRAWINGS IN THE QUANTITY, SIZE, VARIETY, AND QUALITY NOTED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THE REQUIREMENT TO FURNISH AND INSTALL ALL PLANT MATERIAL, IN STRICT ACCORDANCE WITH CONTRACT REQUIREMENTS AND WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
  - LIMITATIONS: DO NOT PROCEED WITH PLANT MATERIAL INSTALLATION UNTIL SITE UTILITY CONSTRUCTION AND FINISH GRADING IS COMPLETE. COORDINATE SCHEDULING OF PLANT MATERIAL INSTALLATION WITH OTHER CONTRACTORS INVOLVED IN THE AFOREMENTIONED CONSTRUCTION.
  - PROVIDE HOSE AND PLANT MATERIAL WATERING EQUIPMENT AS REQUIRED.
  - HANDLE PLANTS FROM BOTTOM OF BALL. PROTECT PLANT ROOTS AND TOPS FROM SUN OR DRYING WINDS UNTIL FINAL PLANTING. PLANTS WITH CRACKED, BROKEN OR LOOSELY WRAPPED BALLS SHALL BE REJECTED.
  - DURING THE PROGRESS OF ALL OPERATIONS, PROTECT WALLS, WALKS, CURB, BENCHES, AND OTHER STRUCTURES WITH WOOD STRIPS OR PADDING, OR OTHER APPROVED MEANS AS REQUIRED.
  - LANDSCAPE AND SOD INSTALLER AND SUPERVISOR QUALIFICATIONS: COMPANY SPECIALIZING IN LANDSCAPE DEVELOPMENT CONSTRUCTION, PARTICULARLY SOIL PREPARATION, LAWNS, AND LIVE PLANT MATERIALS; WITH AT LEAST FIVE (5) YEARS EXPERIENCE IN SUCH WORK.
  - REPLACEMENT PLANT MATERIALS SHALL CARRY A ONE (1) YEAR WARRANTY PERIOD.
  - ANY PLANTS THAT ARE 25 PERCENT OR MORE DEAD SHALL BE CONSIDERED DEAD. ONE YEAR WARRANTY SHALL COMMENCE AT FINAL ACCEPTANCE. WARRANTY SHALL EXTEND INTO NEXT GROWING PERIOD WHEN DORMANT PLANTS ARE INSTALLED.
  - PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, DISEASE FREE WELL-BRANCHED, AND DENSELY FOLIATE WHEN IN LEAF. TREES SHALL NOT HAVE FORKED LEADERS.
  - PLANTS SHALL CONFORM TO MEASUREMENTS SPECIFIED EXCEPT THAT PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED. USE OF SUCH PLANTS SHALL NOT INCREASE CONTRACT SUM. PLANTS THAT MEET THE MEASUREMENTS SPECIFIED BUT DO NOT POSSESS A NORMAL BALANCE BETWEEN HEIGHT AND SPREAD SHALL BE REJECTED.
  - TREES WHICH HAVE DAMAGED OR CROOKED LEADERS, OR MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH ABRASIONS OF THE BARK, SUN SCALDS, DISFIGURING KNOTS, OR FRESH CUTS OF LIMBS OVER 3/4 INCH WHICH HAVE NOT COMPLETELY CALLEDUS, WILL BE REJECTED.
  - PLANT SIZES AND QUALITY SHALL MEET OR EXCEED STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN (LATEST EDITION).
  - THE PERSON IN CHARGE OF OR IN CONTROL OF THE PROPERTY, WHETHER AS OWNER, LESSEE, TENANT, OCCUPANT OR OTHERWISE, SHALL BE RESPONSIBLE FOR THE CONTINUED PROPER MAINTENANCE OF ALL LANDSCAPING MATERIALS.
  - PRIOR TO PLANTING TREES, CONTRACTOR TO VERIFY THAT NO CONFLICTS EXIST BETWEEN THE TREE AND ALL EXISTING AND PROPOSED UTILITIES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND POWER FOR A FULLY AUTOMATED IRRIGATION SYSTEM WITHIN ALL LANDSCAPED AREAS.
  - IRRIGATION SLEEVES TO BE INSTALLED PRIOR TO PAVING.

LANDSCAPE LEGEND						
SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE AT PLANTING	NOTES
	HWO	HIGHTOWER WILLOW OAK	Quercus Phellos 'OPSTA'	6	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	SM	SOUTHERN MAGNOLIA	Magnolia grandiflora	3	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	LP	LOBLOLLY PINE	Pinus Taeda	13	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	GINKO	GINKO (Male)	Ginko bilaba	7	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	NCP	'NATCHEZ' CREPE MYRTLE	Lagerstoemia indica 'Natchez'	17	12'-14' TALL	3-5 CANES, SINGLE TRUNK
	WH	WASHINGTON HAWTHORN	Crataegus phaenopyrum	11	12'-14' TALL	3-5 CANES, SINGLE TRUNK
	GA	GLOSSY ABELIA	Abelia x grandiflora	49	24" SPREAD 30" HEIGHT (MIN)	FULL PLANT, FREE OF WEEDS
	CH	CARISSA HOLLY	Ilex cornuta 'Carissa'	217	15"-18" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	GTB	GREEN TOWER BOXWOOD	Buxus sempervirens 'Monrue'	87	24"-30" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	DN	'FIRE POWER' DWARF NANDINA	Nandina domestica 'Firepower'	204	SIZE AT PLANTING	FULL PLANT, FREE OF WEEDS
	SC	SEASONAL COLOR	Varies by season			OWNER TO CHOOSE
	SS	SEED/SOD	Tifway 419 Bermuda			FREE OF WEEDS
	MU	MULCH	Mulch			3" (MIN) DEEP, SHREDDED HARDWOOD BARK

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6383 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5 BRYANT, AR**

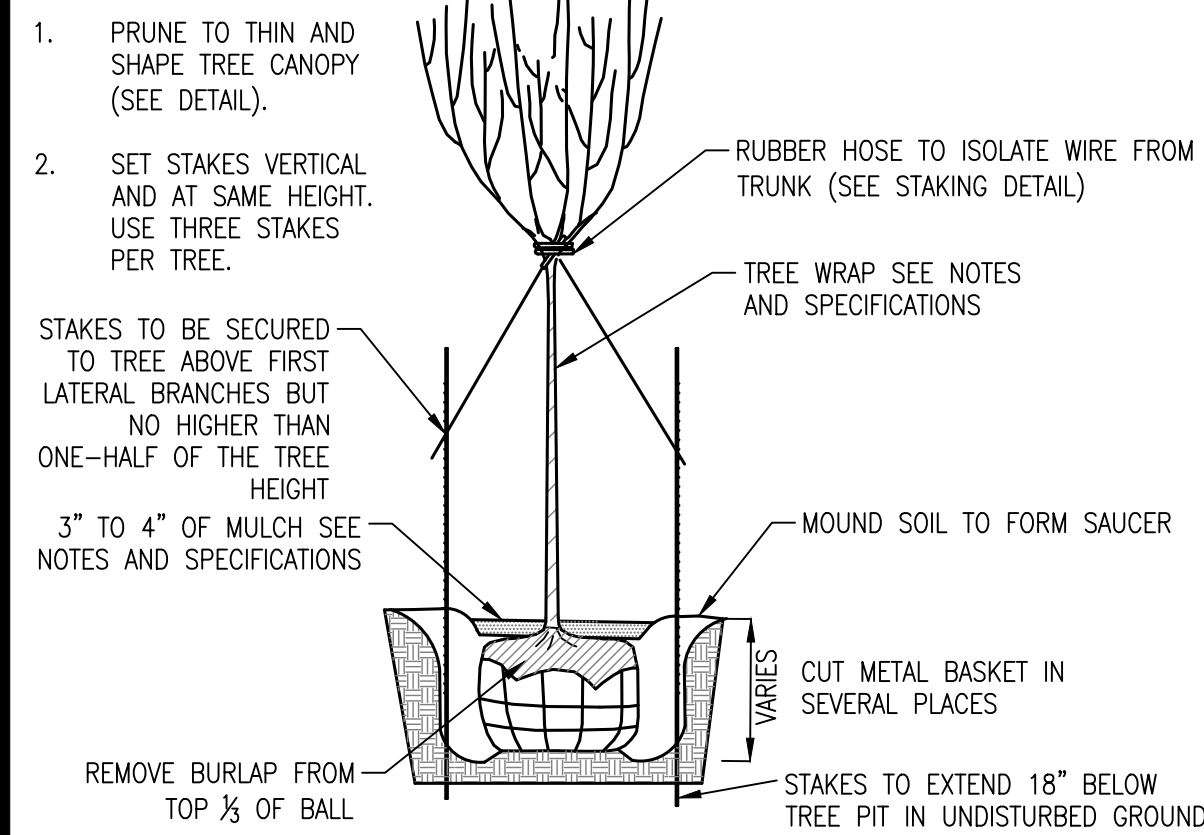
SEAL:

SHEET NUMBER:  
**L-100**

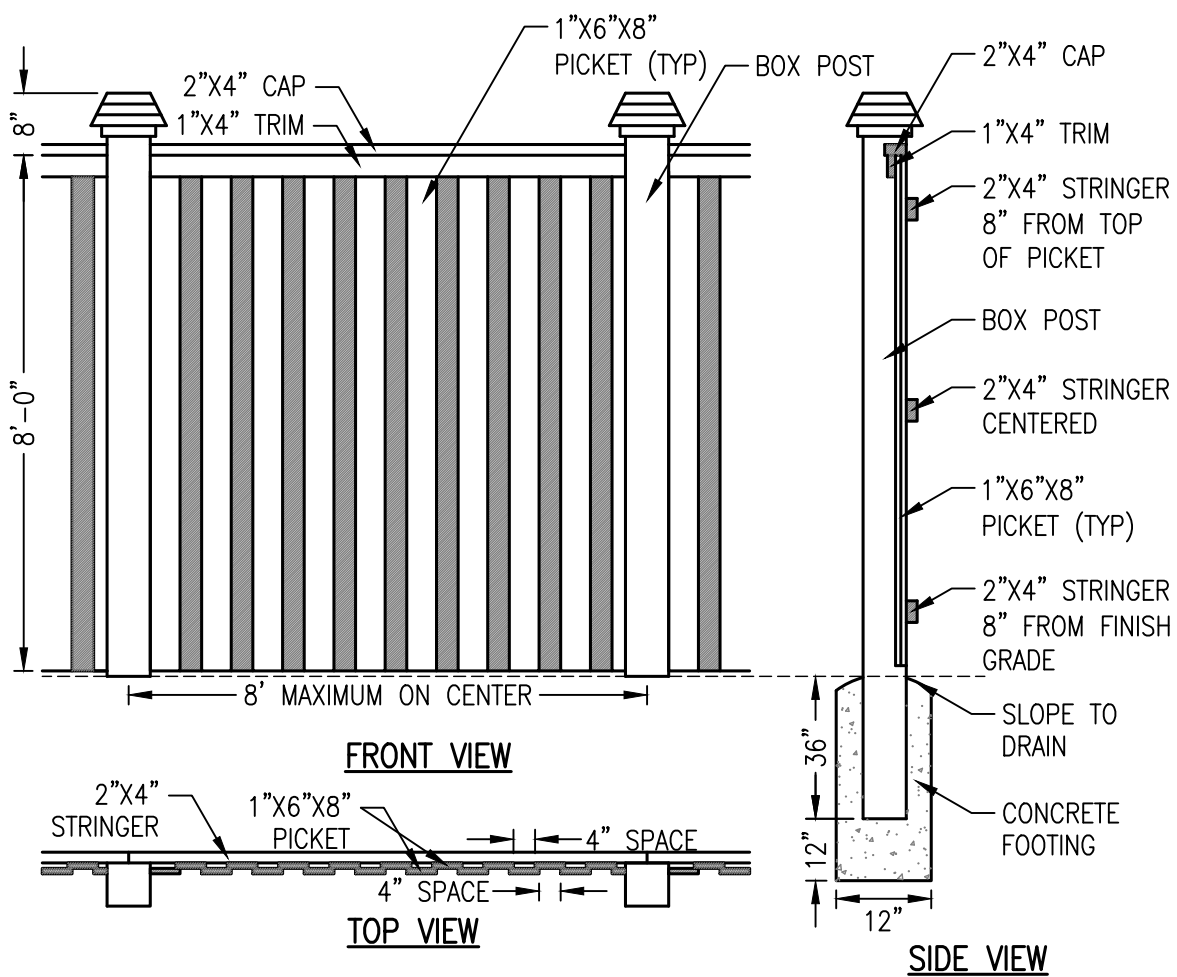
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OVERALL LANDSCAPE PLAN

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**NOTES:**

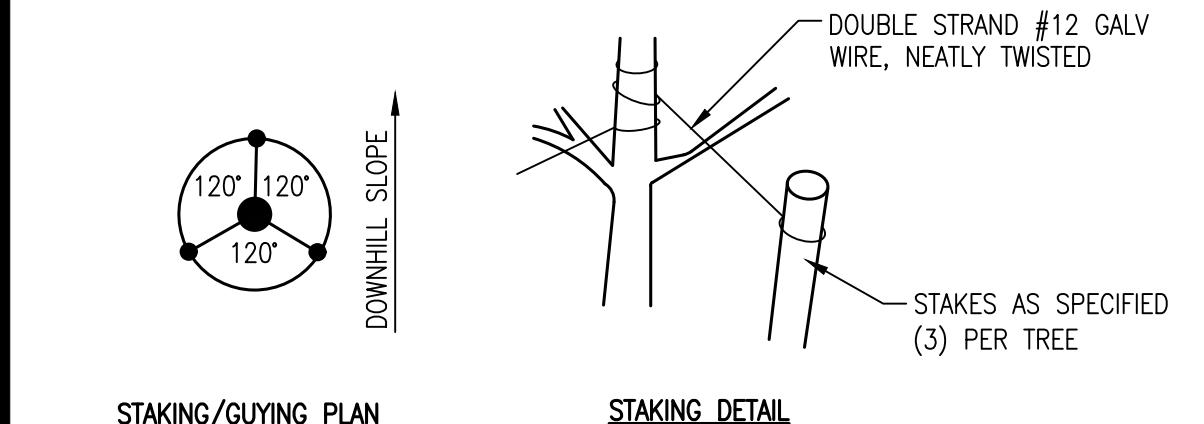


**D1 TYPICAL TREE PLANTING**  
NOT TO SCALE

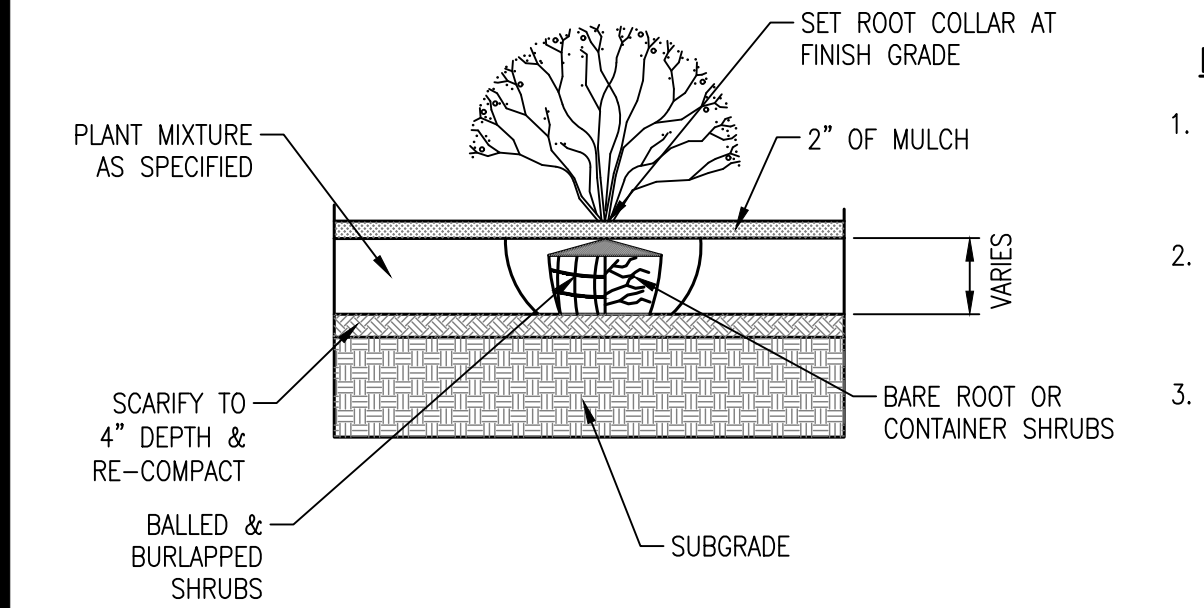


- NOTES:**
1. ALL NAILS AND HARDWARE ARE TO BE HOT DIPPED GALVANIZED
  2. ALL WOOD MEMBERS TO BE TREATED WESTERN RED CEDAR, OR APPROVED ALTERNATIVE
  3. ALL CONCRETE SHALL BE 4,000 PSI

**C2 8' TALL WOOD PRIVACY FENCE**  
NOT TO SCALE

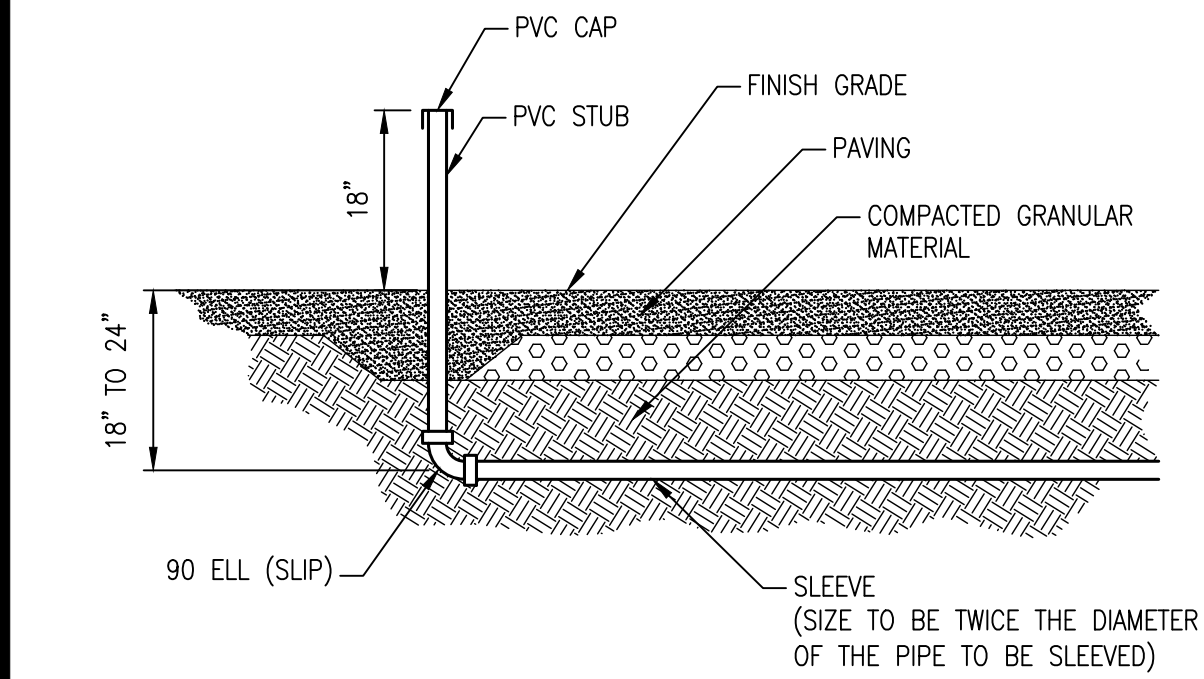


**C1 TREE STAKING AND GUYING**  
NOT TO SCALE



- NOTES:**
1. DO NOT PRUNE EVERGREENS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.
  2. THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).
  3. REMOVE BURLAP FROM TOP 1/3 OF BALL OR WITH CONTAINER PLANTS. REMOVE POTS AND SPLIT BALLS AS SPECIFIED.

**B1 TYPICAL SHRUB PLANTING**  
NOT TO SCALE

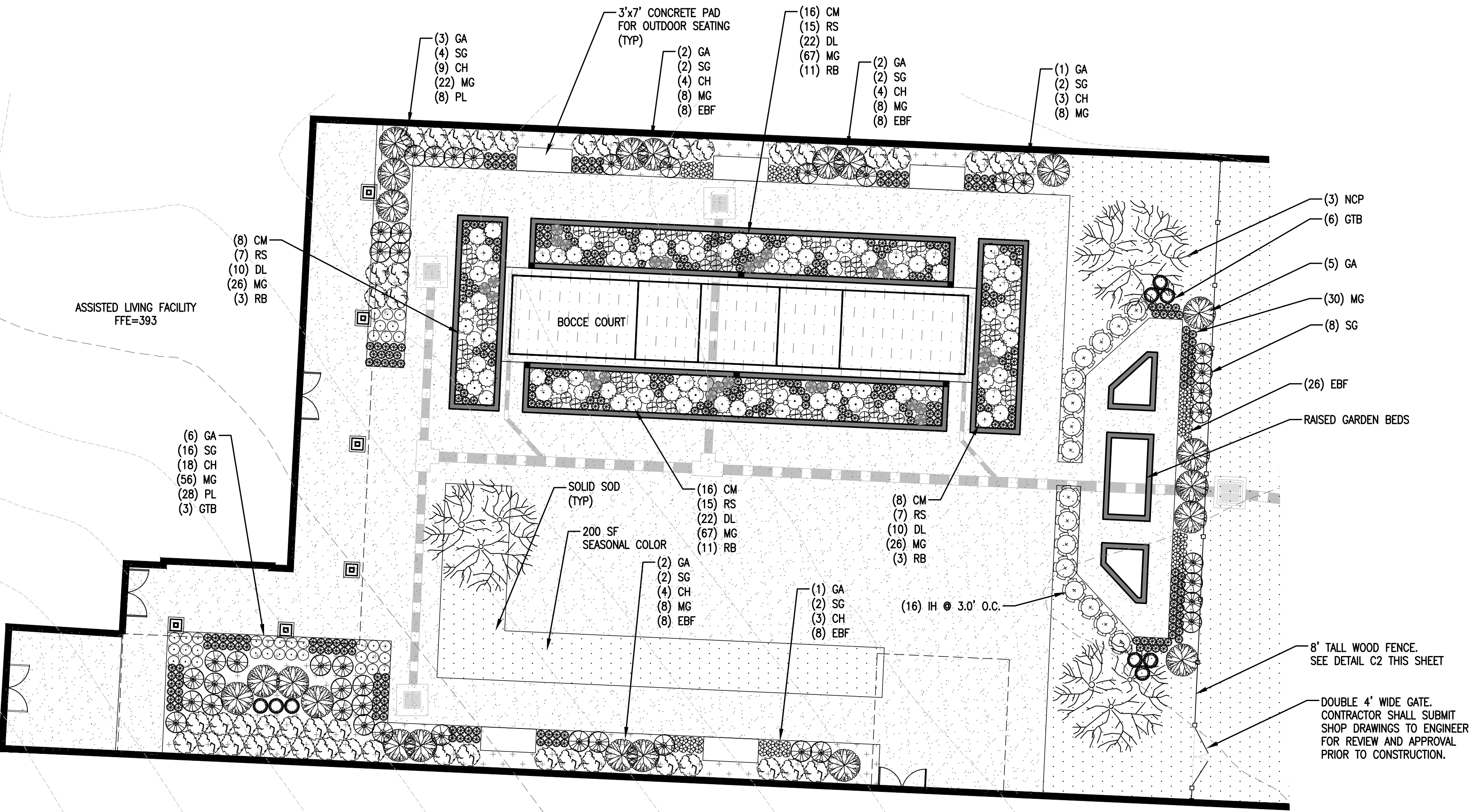


- NOTES:**
1. INSTALL IRRIGATION CONDUIT WITH A MINIMUM COVER OF 18\"/>
  - 2. SLEEVING SHALL BE MINIMUM SCHEDULE 40, ASTM D1785, RIGID, UNPLASTICIZED POLYVINYL CHLORIDE PIPE.
  - 3. INSTALL SLEEVES PRIOR TO COMMENCEMENT OF PAVING. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVE PLACEMENT WITH GENERAL CONTRACTOR.
  - 4. MAINTAIN 6\"/>
  - 5. TRENCHES SHALL BE BACKFILLED WITH SAND AND COMPACTED IN LAYERS OF 95% COMPACTION. USE A MINIMUM OF 6\"/>
  - 6. ALL SLEEVES SHALL BE A MINIMUM OF TWICE THE DIAMETER OF THE PIPE TO BE SLEEVED

**A1 IRRIGATION SLEEVE**  
NOT TO SCALE

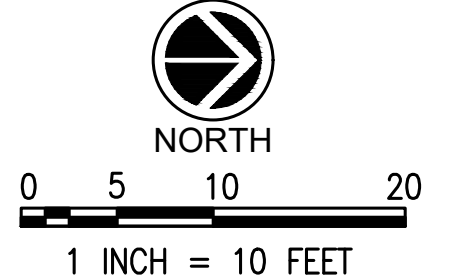
**NOTES:**

1. SEE SHEET L-100 FOR NOTES



**A3 COURTYARD DETAIL**  
SCALE: 1" = 10'

LANDSCAPE LEGEND						
SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE AT PLANTING	NOTES
	NCP	'NATCHEZ' CREPE MYRTLE	Lagerstomia indica 'Natchez'	3	12'-14' TALL	3-5 CANES, SINGLE TRUNK
	GA	GLOSSY ABELIA	Abelia x grandiflora	25	24" SPREAD 30" HEIGHT (MIN)	FULL PLANT, FREE OF WEEDS
	CH	CARISSA HOLLY	Ilex cornuta 'Carissa'	50	15"-18" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	SG	SHENANDOAH SWITCHGRASS	Panicum virgatum 'Shenandoah'	42	3 GAL	FULL PLANT, FREE OF WEEDS
	CM	CATMINT	Nepeta x faassenii 'Novanepjun'	48	1 GAL	FULL PLANT, FREE OF WEEDS
	RS	RUSSIAN SAGE	Perovskia atriplicifolia	44	1 GAL	FULL PLANT, FREE OF WEEDS
	DL	DAYLILY	Hemerocallis	194	1 GAL	FULL PLANT, FREE OF WEEDS
	PL	PLANTAIN LILY	Ilex cornuta 'Carissa'	194	1 GAL	FULL PLANT, FREE OF WEEDS
	EBF	ELIJAH BLUE FESCUE	Festuca glauca 'Elijah Blue'	55	1 GAL	FULL PLANT, FREE OF WEEDS
	MG	MONDO GRASS	Ophiopogon japonicus	346	1 GAL	FULL PLANT, FREE OF WEEDS
	RB	RUDBECKIA	Ophiopogon japonicus	28	1 GAL	FULL PLANT, FREE OF WEEDS
	IH	INDIAN HAWTHORN	Rhampholepis indica	16	15"-18" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	GTB	GREEN TOWER BOXWOOD		9	24"-30" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	SC	SEASONAL COLOR	Varies by season			OWNER TO CHOOSE
	SS	SEED/SOD	Tifway 419 Bermuda			FREE OF WEEDS
	MU	MULCH	Mulch			3" (MIN) DEEP, SHREDDED HARDWOOD BARK



**REVISIONS:**


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
STATE HIGHWAY # 5  
BRYANT, AR

SEAL:

SHEET NUMBER:  
**L-101**

DESCRIPTION:  
LANDSCAPE PLAN & DETAILS

K:\25526.01\CAD PLANS\L-101 LANDSCAPE PLAN & DETAILS.DWG

**A. GENERAL**

**1. GENERAL:**  
THE STRUCTURES ARE DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE STRUCTURES AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE DOWNS WHICH MIGHT BE NECESSARY.

**2. SAFETY:**  
IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

**3. DISCREPANCIES:**  
SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE SPECIFICATIONS, OTHER CONTRACT DOCUMENTS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN. REQUEST CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

**4. SUBMITTALS:**  
**A.** SUBMITTALS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO SUBMITTING TO ARCHITECT.  
**B.** SUBMITTALS WILL BE REVIEWED BY THE STRUCTURAL ENGINEER FOR GENERAL CONFORMANCE WITH THE PRINCIPLES AND CONTRACT DOCUMENTS OF THE PROJECT. CONTRACTOR IS NOT RELIEVED FROM HIS SOLE RESPONSIBILITY REGARDING CHECKING OF DIMENSIONS, QUANTITIES, COORDINATION OF THE WORK OF ALL TRADES, CORRELATION OF DESIGN DOCUMENTS THAT MAY CONTAIN CONTRADICTORY INFORMATION AND FOR INFORMATION THAT PERTAINS TO THE FABRICATION, CONSTRUCTION PROCESSES AND/OR SAFETY REQUIREMENTS

**5. QUALITY REQUIREMENTS:**  
**A.** REFERENCE TO STANDARD SPECIFICATIONS OR CODES OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE STANDARDS IN EFFECT AS OF DATE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.  
**B.** CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES BETWEEN THE CONDITIONS FOUND AND THOSE INDICATED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.  
**C.** NO PIPES, DUCTS, CHASES, ETC. SHALL BE PLACED IN STRUCTURAL BEAM AND COLUMN MEMBERS NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY THE STRUCTURAL ENGINEER WHEN DOCUMENTS BY OTHER DISCIPLINES SHOW OPENINGS, POCKETS, ETC. NOT INDICATED ON THE STRUCTURAL DRAWINGS, BUT ARE LOCATED IN STRUCTURAL MEMBERS.  
**D.** CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARKANSAS. SUBMIT SHOP DRAWINGS, DESIGN LOAD DATA, SUPPORT REACTIONS, AND CERTIFICATION THAT ELEMENTS ARE DESIGNED FOR LOADS SPECIFIED IN THE CONTRACT DOCUMENTS OR IN THE BUILDING CODE. ALL DOCUMENTS NOTED SHALL BE SEALED BY THE LICENSED ENGINEER. THE FOLLOWING ELEMENTS AND THEIR CONNECTIONS SHALL BE BY THE CONTRACTOR'S STRUCTURAL ENGINEER:  
- TEMPORARY BRACING AND SHORING

**DESIGN LOADS**

1. STRUCTURAL DESIGN CODE	IBC 2012
2. GRAVITY LOADS	
BOARDWALK DEAD LOAD	20 PSF
BOARDWALK LIVE LOAD	60 PSF
3. SEISMIC DESIGN LOADS	
Ss	0.348g
S1	0.147g
SDs	0.353g
SD1	0.217g
SEISMIC RISK CATEGORY:	II
SEISMIC DESIGN CATEGORY:	C
COMPONENT IMPORTANCE FACTOR Ip:	1.00
SOIL PROFILE TYPE:	D
BASIC STRUCTURAL SYSTEM:	CANTILEVERED TIMBER FRAME
COMPONENT RESPONSE FACTOR, Rp:	1 1/2
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE
BASE SHEAR:	4.0 KIPS
BASE SHEAR PER PILE:	0.3 KIPS

**B. REINFORCED CONCRETE**

**1. MATERIALS:**  
**A.** SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."  
**B.** MINIMUM COMPRESSIVE STRENGTH FOR STRUCTURAL CONCRETE IS AS FOLLOWS: ALL NORMAL WEIGHT EXCEPT AS INDICATED

CLASS	LOCATION	f'c, PSI
I	FOOTINGS	4000 WITH AIR
II	CONCRETE IN RETAINING WALL	4000 WITH AIR
II	BACKFILL BELOW FOOTINGS	1500

**C.** DEFORMED REINFORCING BARS: FY = 60,000

**2. CONTINGENCIES:**  
**A.** PROVIDE SUPPORTS AS REQUIRED TO MAINTAIN ALIGNMENT OF SCHEDULED REINFORCING. SUCH SUPPORTS ARE TO BE REFLECTED IN THE BID.

**3. FOOTINGS:**  
**A.** PROVIDE LEAN CONCRETE (CLASS IV) UNDER FOUNDATIONS FOR ACCIDENTAL OVER-EXCAVATION, SOFT SPOTS, AND TRENCHES.

**4. SPLICES:** UNLESS NOTED OTHERWISE, MINIMUM LAP SPLICE LENGTHS TO BE 48 BAR DIAMETERS.

**5. CONCRETE COVER:** UNLESS NOTED OTHERWISE, DETAIL REINFORCING TO PROVIDE CONCRETE COVER AS FOLLOWS:  
**A.** CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES  
**B.** CONCRETE EXPOSED TO EARTH OR WEATHER:  
#5 BARS AND SMALLER 1-1/2 INCHES  
OTHERS 2 INCHES

**C. FOUNDATION NOTES**

- RETAINING WALL FOOTINGS HAS BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF PER GEOTECHNICAL REPORT PREPARED BY TERRACON DATED APRIL 10, 2019. ALLOWABLE BEARING CAPACITY TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR'S SOILS ENGINEER.
- SEE CIVIL PLANS FOR TOP OF FOOTING ELEVATION.
- EXCAVATIONS ARE ASSUMED TO BE LAID BACK TO A 1.5H TO 1.0V SLOPE. IF REQUIRED SHEETING OR SHORING TO BE INSTALLED TO MAINTAIN THE 2 TO 1 SLOPE. KEEP EXCAVATIONS FREE OF WATER. PROVIDE SHORING AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF EXISTING STRUCTURE.
- RETAINING WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 40 PCF AND A FRICTION COEFFICIENT OF 0.32 PER GEOTECHNICAL REPORT PREPARED BY TERRACON DATED APRIL 10, 2019.
- REFERENCE GEOTECHNICAL REPORT, PREPARED BY TERRACON DATED APRIL 10, 2019, FOR REQUIREMENTS OF REMOVAL AND REPLACEMENT OF EXISTING SOIL UNDER RETAINING WALL FOOTING.

**C. TIMBER**

- ALL TIMBER SHALL BE SELECT STRUCTURAL SOUTHERN PINE (M.C.-19%) OR EQUAL
- ALL TIMBER SHALL BE PRESSURE TREATED LUMBER. STEEL TO BE GALVANIZED. FASTENERS TO BE GALVANIZED AND COMPATIBLE WITH WOOD TREATMENT MATERIAL.
- ALL JOISTS/STUDS 2 TO 3 INCHES THICK AND 12 INCHES WIDE SHALL MEET THE FOLLOWING MINIMUM STRESS PROPERTIES:  
ALLOWABLE BENDING STRESS (Fb+) 2,850 PSI  
SHEAR STRESS (Fv) 175 PSI  
COMPRESSIVE STRESS (Fc) 565 PSI (PERPENDICULAR TO GRAIN)  
MODULES OF ELASTICITY (E) 1800000 PSI

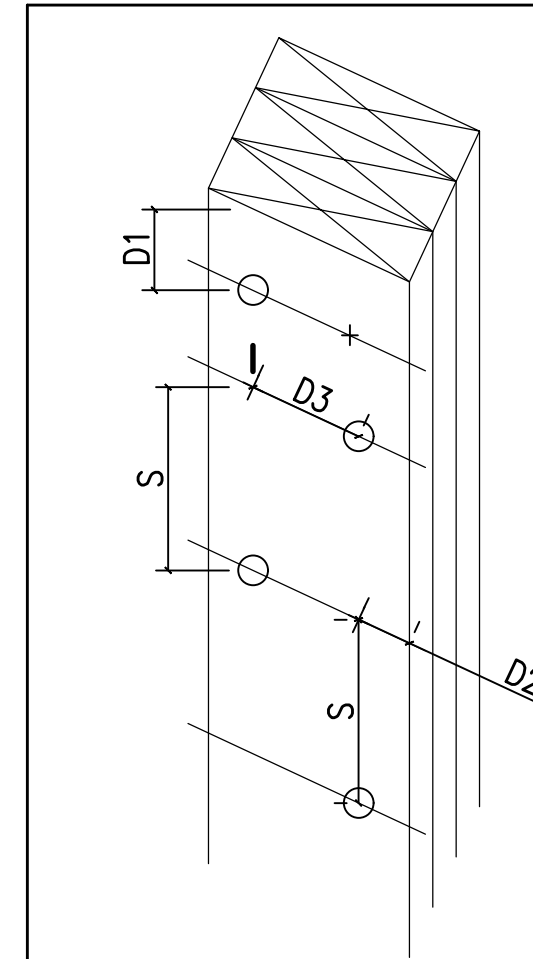
**D. TIMBER PILES**

- PILES SHALL BE DRIVEN TO THE MINIMUM TIP ELEVATIONS INDICATED ON THE PLANS, USING AN APPROVED HAMMER, WITH A CAPACITY AT LEAST EQUAL TO THE HAMMER MANUFACTURER'S RECOMMENDATION FOR THE TOTAL WEIGHT OF PILE AND CHARACTER OF SUBSURFACE MATERIAL TO BE ENCOUNTERED.
- TIMBER PIER PILES SHALL BE DRIVEN TO A MINIMUM ALLOWABLE BEARING CAPACITY OF 10 TONS AS DETERMINED BY THE ENGINEER NEWS RECORD FORMULAS GIVEN BELOW:  
**A.** FOR SINGLE-ACTING HAMMER:  $P = 2Wh/(S+0.1)$   
**B.** FOR DOUBLE-ACTING HAMMER:  $P = 2E/(S+0.1)$   
**C.** WHERE:  
P = SAFE LOAD IN TONS  
Wr = WEIGHT OF RAM IN POUNDS  
h = HEIGHT OF HAMMER FALL IN FEET  
S = AVERAGE PENETRATION IN INCHES PER BLOW FOR LAST SIX (6) INCHES
- ALL PILE CONSTRUCTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE FOLLOWING:  
-NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS-2012)  
-AMERICAN INSTITUTE FOR TIMBER CONSTRUCTION (ATC)  
-AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA)
- NEW TIMBER PILES SHALL CONFORM TO ASTM D 25. MINIMUM BUTT DIAMETER MEASURED 3 FEET FROM THE BUTT END SHALL BE 12 INCHES.
- NEW TIMBER SHALL BE TREATED WITH ACZA OR CCA IN ACCORDANCE WITH AWPA (USE CATEGORY SYSTEM U1-06 COMMODITY SPECIFICATION). PRESERVATION RETENTION SHALL BE 0.60 POUNDS PER CUBIC FOOT.
- FIELD TREAT ALL CUTS, ABRASIONS, BOLT HOLES AND OTHER SURFACE DAMAGE IN TREATED TIMBER PILES IN ACCORDANCE WITH AWPA M4-06.
- SPODDING, PRE-AUGERING AND/OR JETTING OF PILING WILL NOT BE ALLOWED.

**QUALITY ASSURANCE PLAN**

ALL INSPECTIONS, TESTINGS, AND VERIFICATIONS SHALL BE IN ACCORDANCE WITH IBC'S TABLES 1704.3 AND 1704.4 AND AS OUTLINED IN THE TABLE BELOW. THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION BY A CERTIFIED DEPUTY INSPECTOR. THE SPECIAL INSPECTOR SHALL BE EMPLOYED BY THE OWNER OR AN AGENT OF THE OWNER BUT NOT BY THE CONTRACTOR OR ANY OTHER PERSON RESPONSIBLE FOR THE WORK. THE SPECIAL INSPECTOR'S DUTIES ARE TO INSPECT THE ITEMS LISTED BELOW AND SUBMIT REPORTS TO THE BUILDING OFFICIAL AND THE ENGINEER/ARCHITECT DESCRIBING THE WORK AND ANY DEFICIENCIES OBSERVED.

ITEM	FREQUENCY	
	CONTINUOUS	PERIODIC
<b>1. CONTINUOUS FOOTINGS AND WALLS</b>		
A. INSPECT PLAN DIMENSIONS AND DEPTH.		X
B. INSPECT COMPACTED FILL, GRADING, AND EXCAVATIONS.		X
C. INSPECT QUANTITY AND SPACING OF BARS.		X
D. INSPECT PROPER CLEARANCE TO TOP AND BOTTOM BARS IS PROVIDED.		X
E. VERIFY PROPER LAPS ARE PROVIDED.		X
F. INSPECT FOR CORNER BARS, STEP BARS, DOWELS, ANCHOR BOLTS, OR EMBEDDED MATERIAL.		X
G. INSPECT FOR PROPER DOWEL EMBEDMENT INTO FOOTING AND EXTENSION ABOVE FOOTING.	X	
H. VERIFY SOILS ENGINEER HAS APPROVED DESIGN BEARING CAPACITY.		X
I. VERIFY THAT ALL LOOSE MATERIAL IS REMOVED FROM BOTTOM OF FOOTING. NO SIDE FORMING IS PERMITTED.		X
J. INSPECT BOLTS TO BE INSTALLED IN FOOTING AND PIERS PRIOR TO AND DURING CONCRETE PLACEMENT.		X
<b>2. CONCRETE VERIFICATION AND INSPECTION</b>		
A. VERIFY USE OF REQUIRED DESIGN MIX.		X
B. SAMPLE FRESH CONCRETE AND PERFORM SLUMP AND AIR CONTENT TESTS. DETERMINE THE TEMPERATURE OF FRESH CONCRETE AT THE TIME OF MAKING SPECIMENS FOR STRENGTH TESTS.	X	
C. INSPECT CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	
D. INSPECT FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.		X
E. INSPECT PLACEMENT OF REINFORCING STEEL IN CONCRETE FOOTINGS, WALLS, SLABS.		X
F. VERIFY SAMPLING AND TESTING OF REINFORCING STEEL (MILL REPORTS AND IDENTIFICATION OF STEEL).		X
<b>3. STRUCTURAL WOOD</b>		
A. NAILING, BOLTING, AND OTHER FASTENING OF ELEMENTS	X	
B. TIMBER PILE SIZE AND DEPTH	X	



BUILT UP BEAM NAILING SCHEDULE					
BUILT UP SECTION	END DISTANCE D1	EDGE DISTANCE D2	ROW SPACING D3	NAIL SPACING S	NAIL SIZE
(3) 2x12	4"	3"	5 1/2"	12"	20d
(4) 2x12	4"	3"	5 1/2"	12"	20d

**NOTE:**  
1. ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE BEAM.  
2. CONTRACTOR SHALL PRE-DRILL STUDS WITH 1/8" DRILL BIT WHEN USING 20d NAILS. THIS PREVENTS SPLITTING OF WOOD.

○ INDICATES NAILS DRIVEN FROM NEAR FACE  
+ INDICATES NAILS DRIVEN FROM FAR FACE

**4A** OPTION 2 FOR BUILT UP 2x12's  
N.T.S S-DET107

REVISIONS:


PROJECT #: 25526.01  
DATE: JULY 19, 2019  
DRAWN BY: RCS  
DESIGNER: YAS  
CHECKED BY: YAS



Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6775 Lenox Center Court, Suite 300  
Memphis, TN 38115  
901.726.0610

**PINNACLE POINT AT BRYANT  
ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
BRYANT, AR**

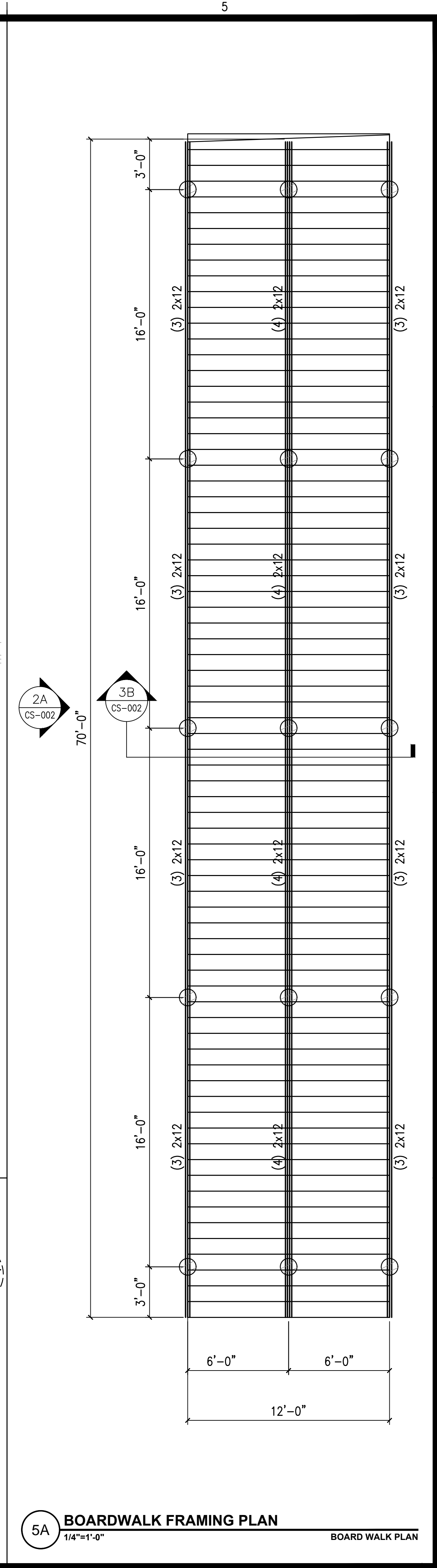
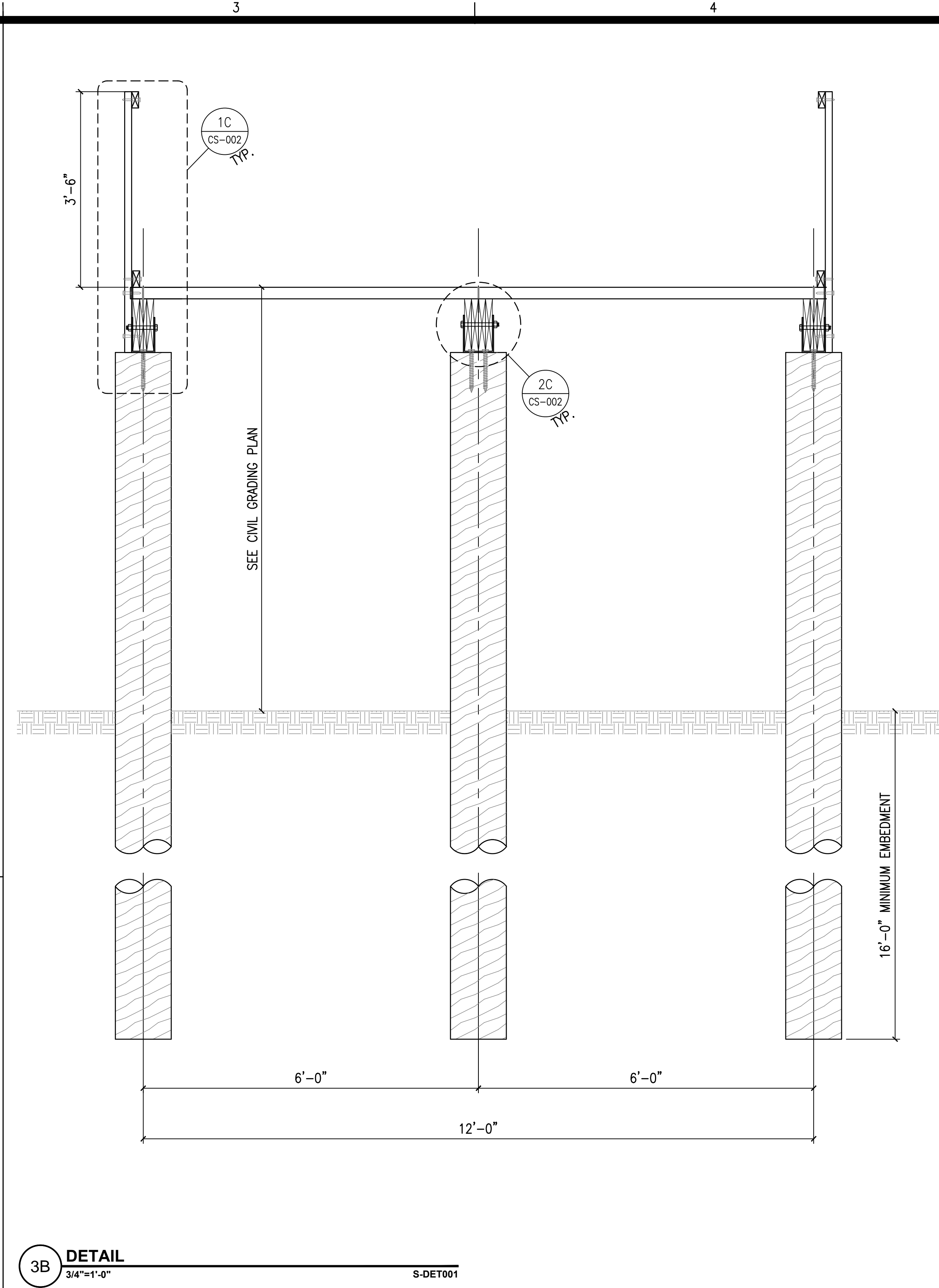
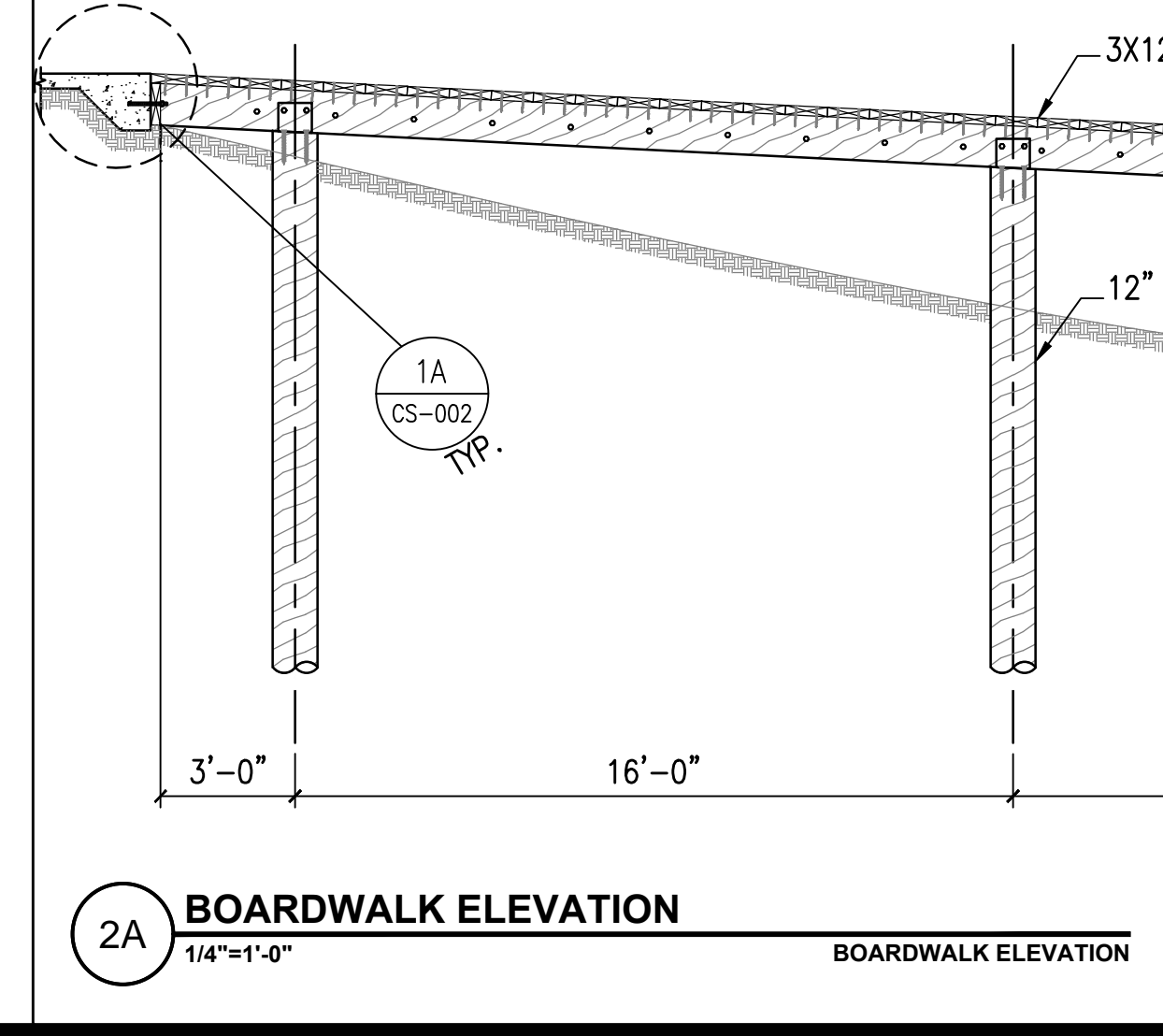
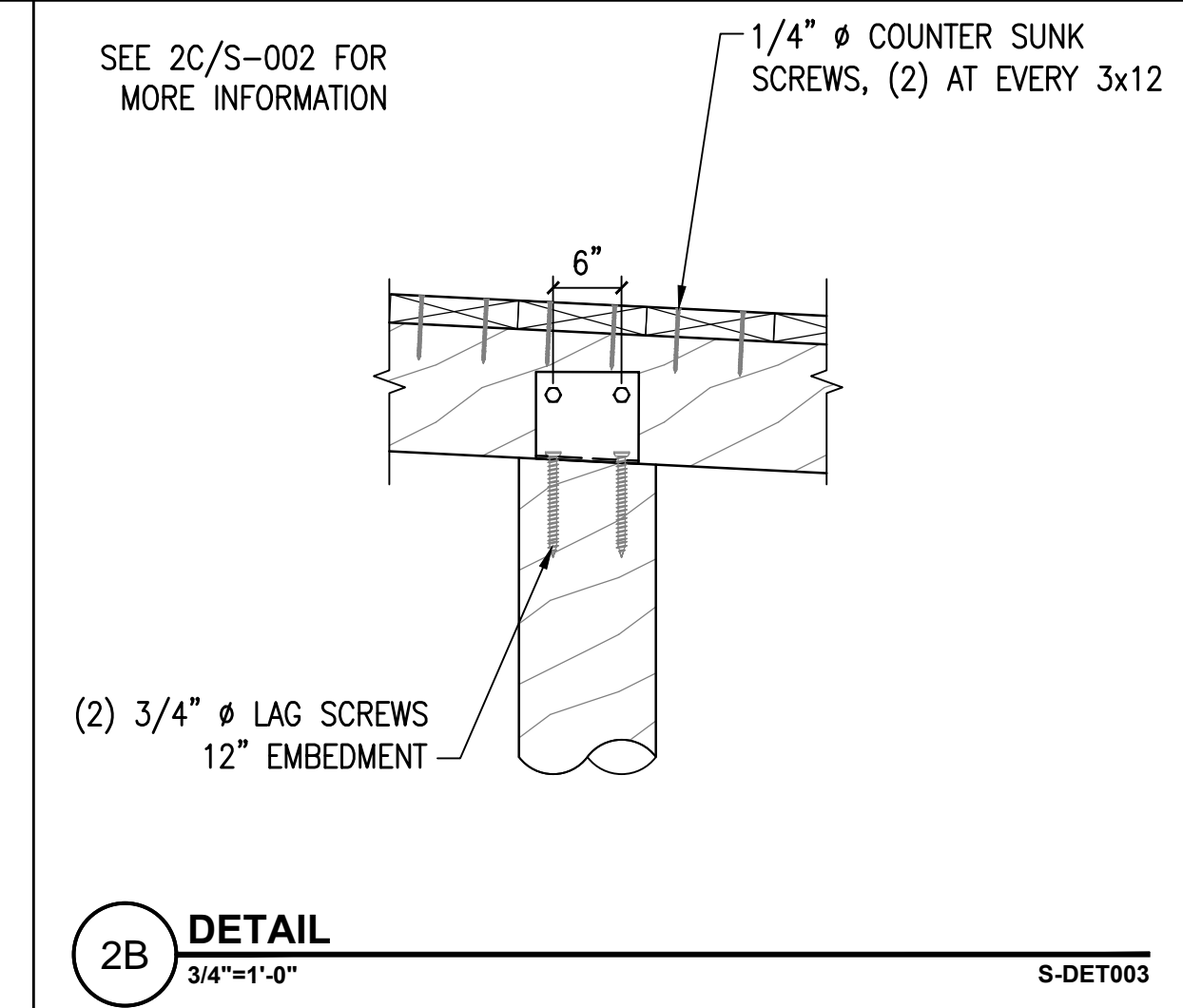
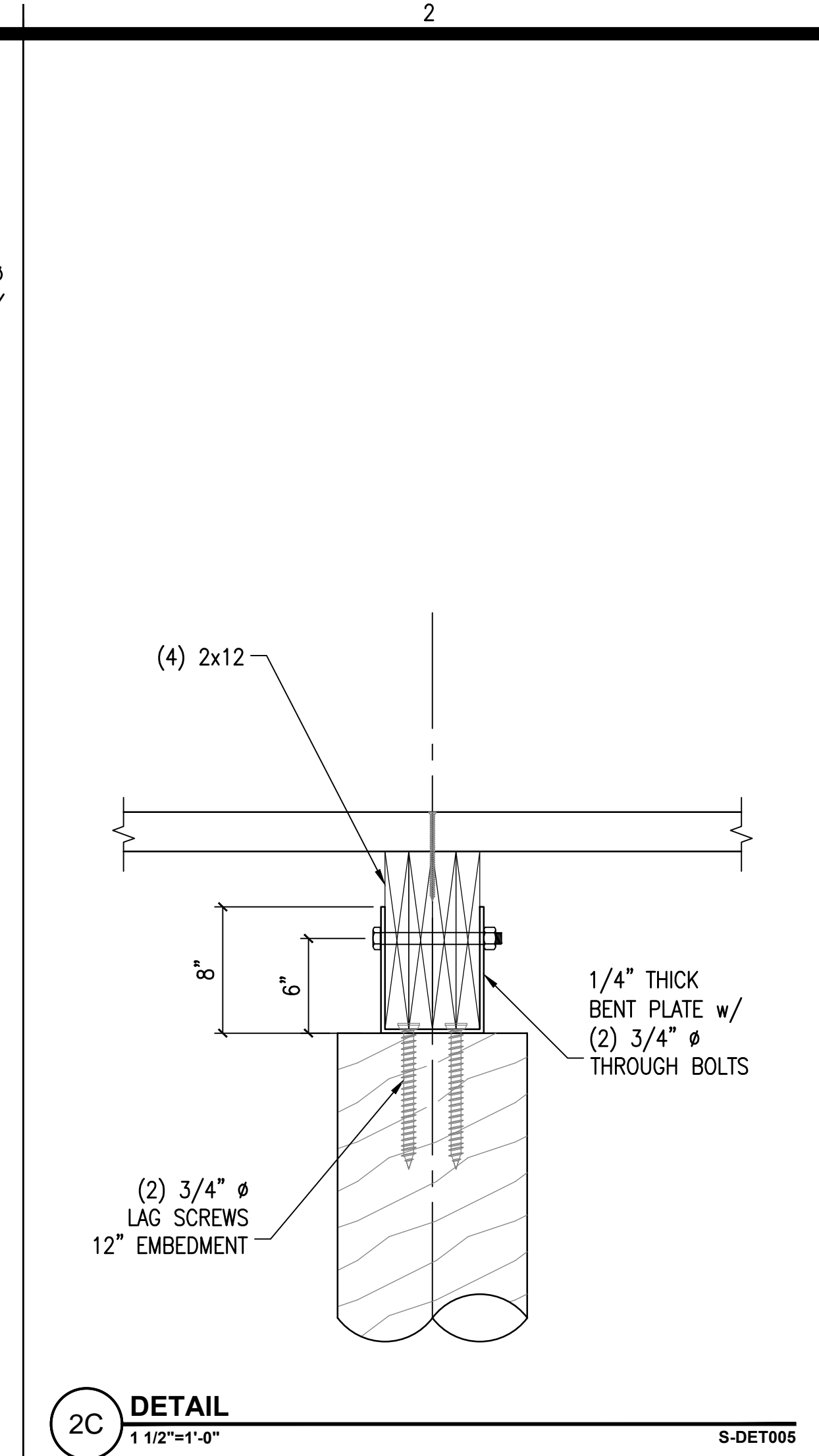
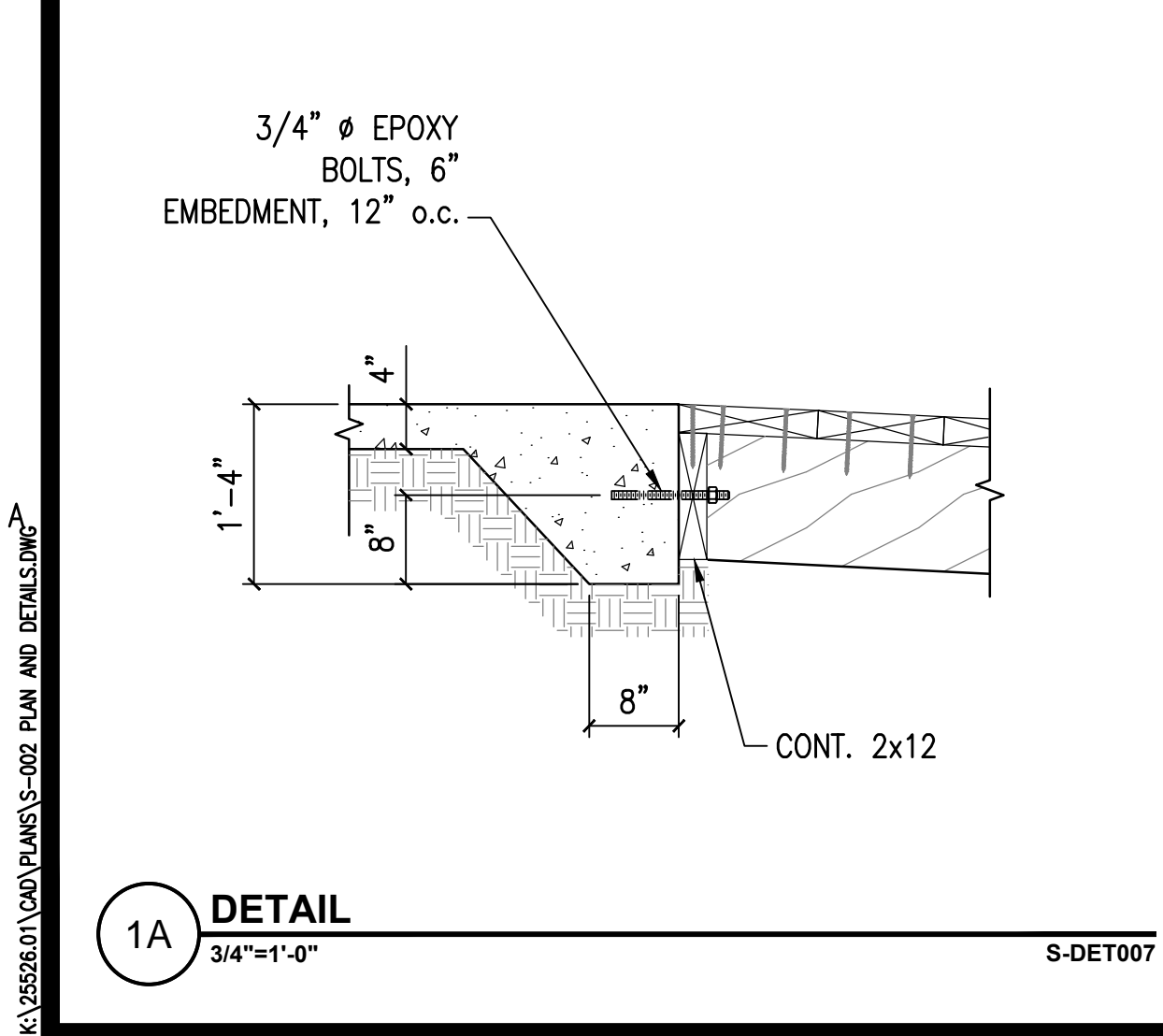
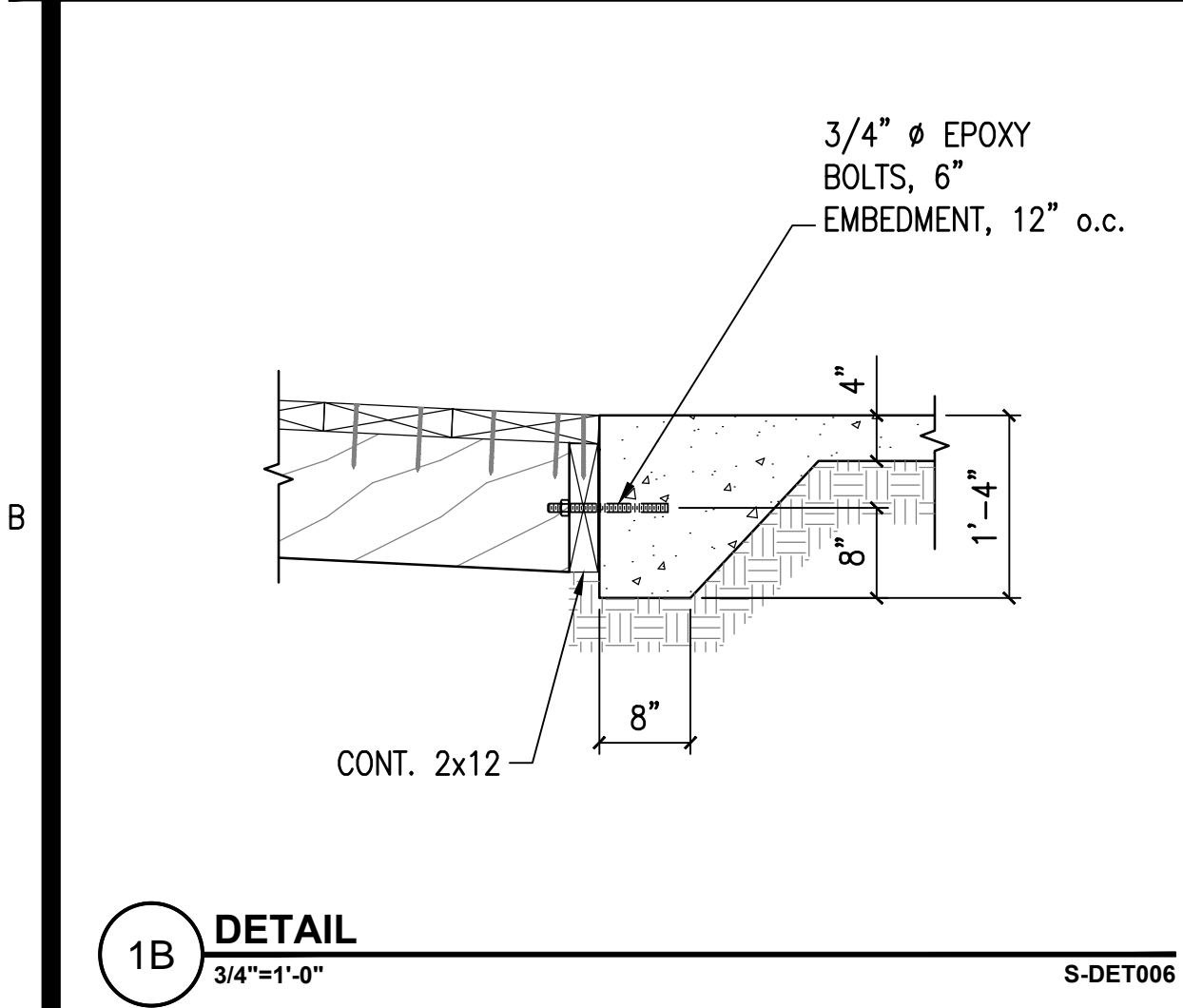
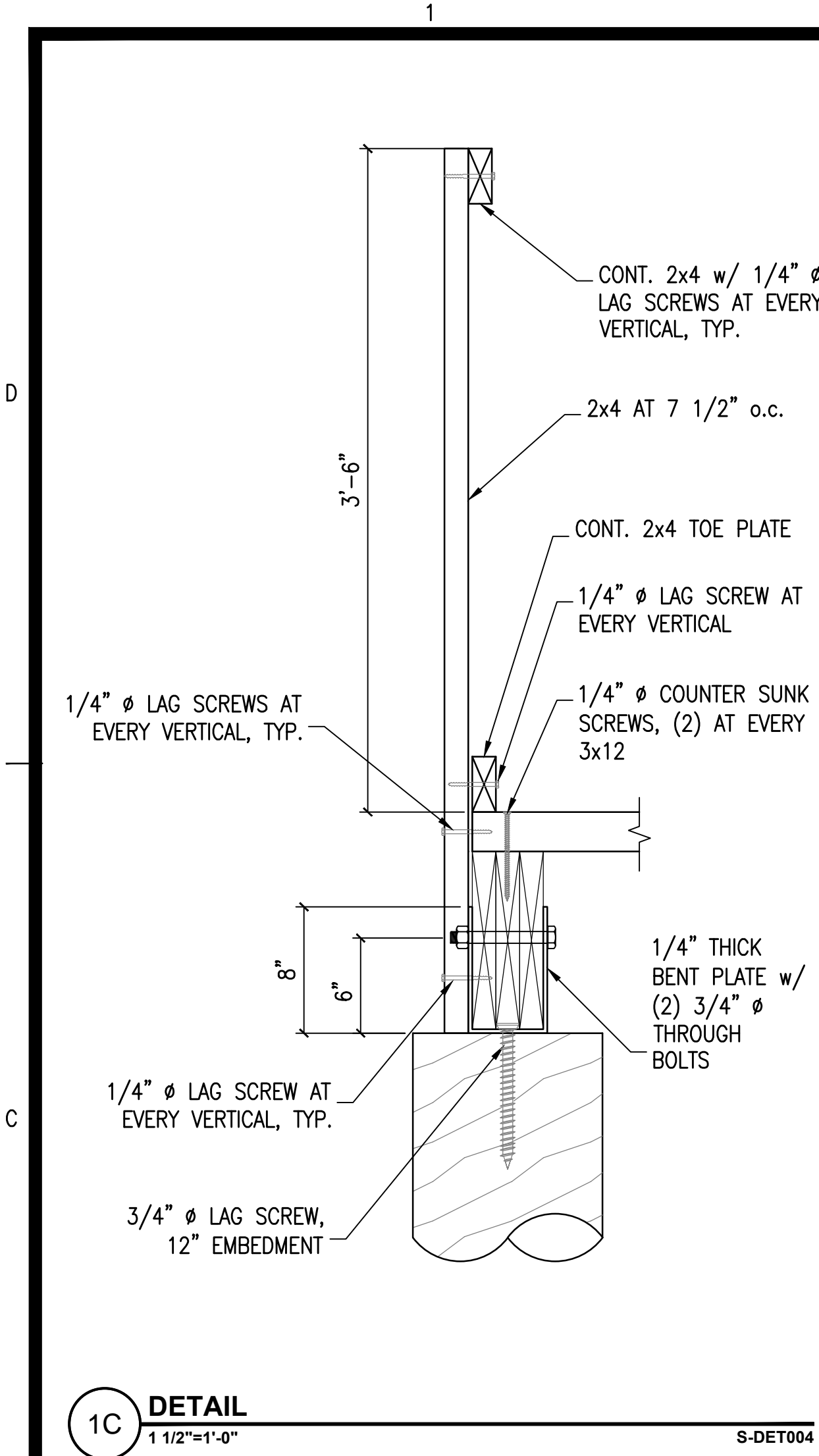
SEAL:

SHEET NUMBER:

**CS-001**

DESCRIPTION:  
GENERAL NOTES

K:\25526.01\CAD PLANS\S-01 GENERAL NOTES.DWG



REVISIONS:


PROJECT #: 25526.01  
DATE: JULY 19, 2019  
DRAWN BY: RCS  
DESIGNER: YAS  
CHECKED BY: YAS

**Pickering**  
Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6775 Lenox Center Court, Suite 300  
Memphis, TN 38115  
901.726.0810

**Pinnacle Point at Bryant Assisted Living Facility**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
STATE HIGHWAY # 5  
BRYANT, AR

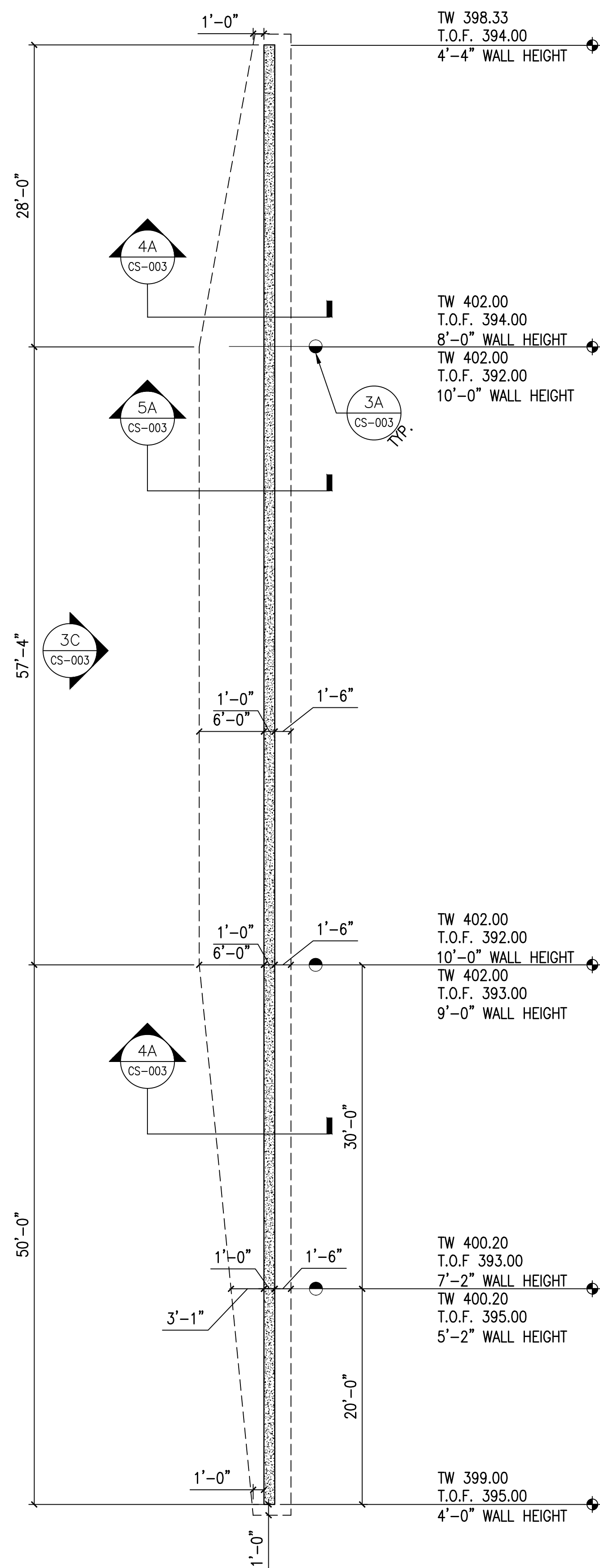
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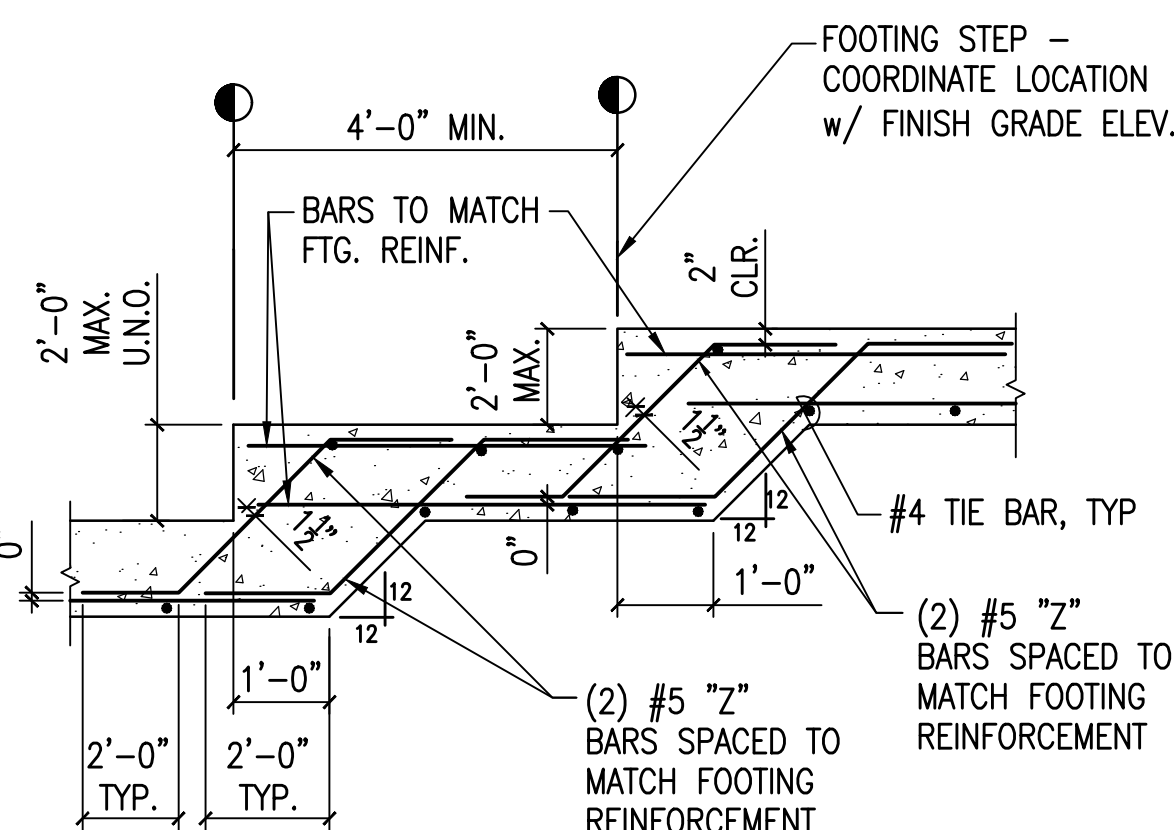
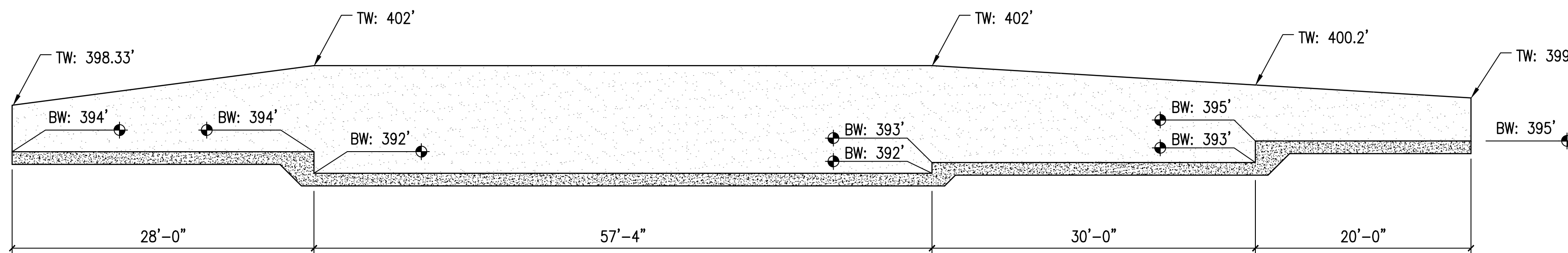
DESCRIPTION:  
STRUCTURAL FRAMING  
PLANS AND DETAILS

K:\25526.01\CAD\PLANS\S-002 PLAN AND DETAILS.DWG

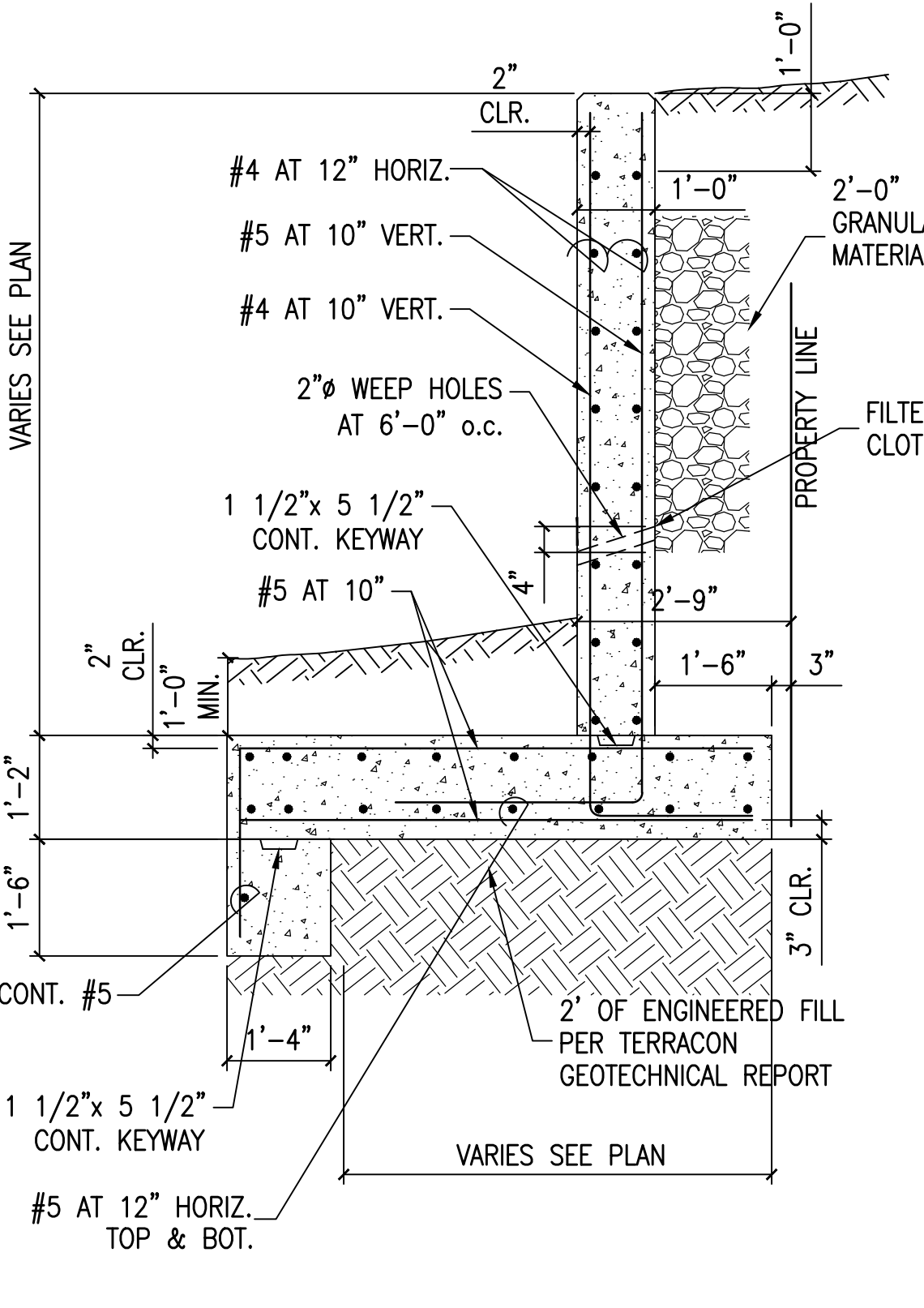
NOTE: T.O.F. = TOP OF FOOTING  
T.W. = TOP OF WALL



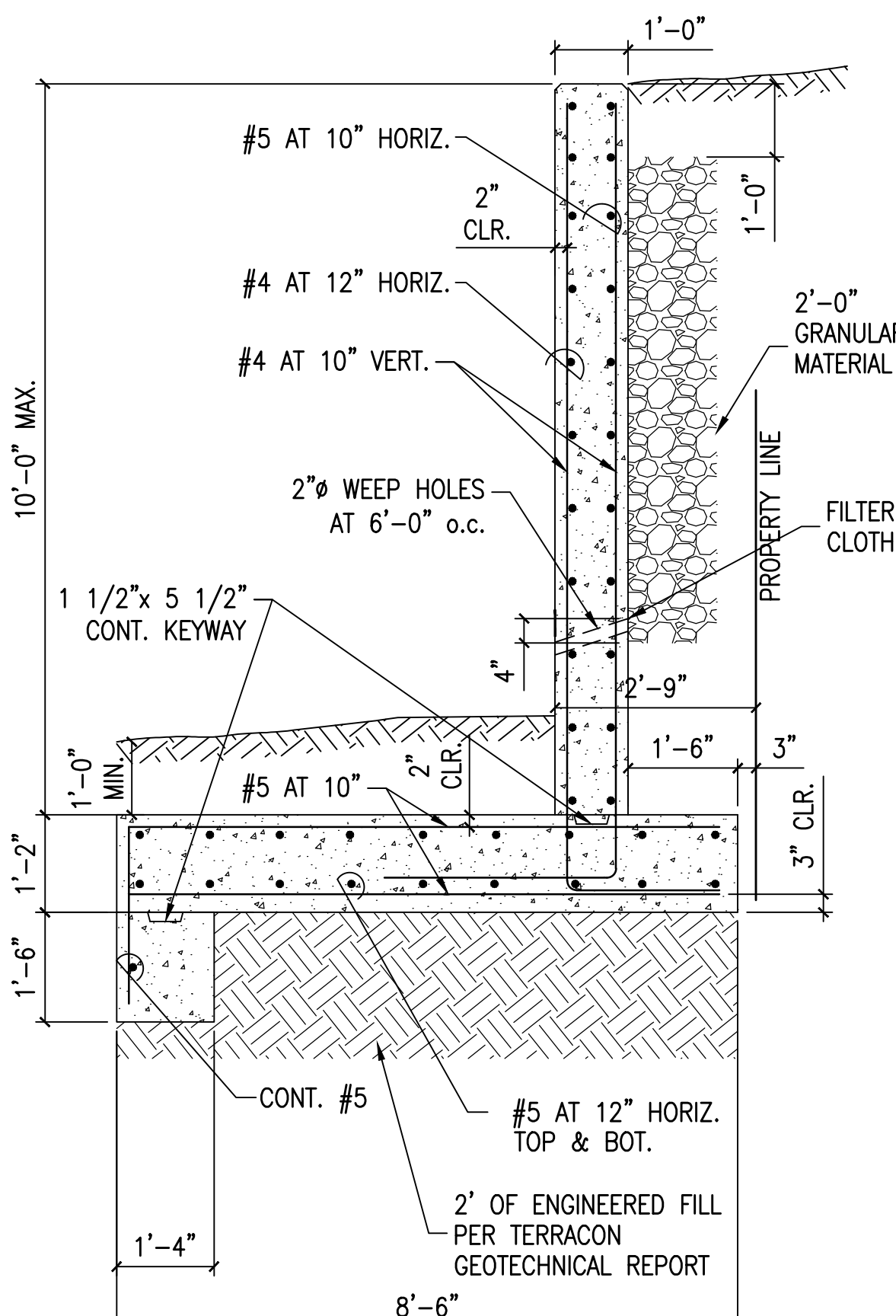
**3C RETAINING WALL ELEVATION**  
1/8"=1'-0" RETAINING WALL PLAN



**3A TYP. STEPPED FOOTING**  
1/2"=1'-0" S-DET008



**4A DETAIL**  
1/2"=1'-0" S-RET02



**5A DETAIL**  
1/2"=1'-0" S-RET01

REVISIONS:


PROJECT #: 25526.01  
DATE: JULY 19, 2019  
DRAWN BY: RCS  
DESIGNER: YAS  
CHECKED BY: YAS



**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5 BRYANT, AR**

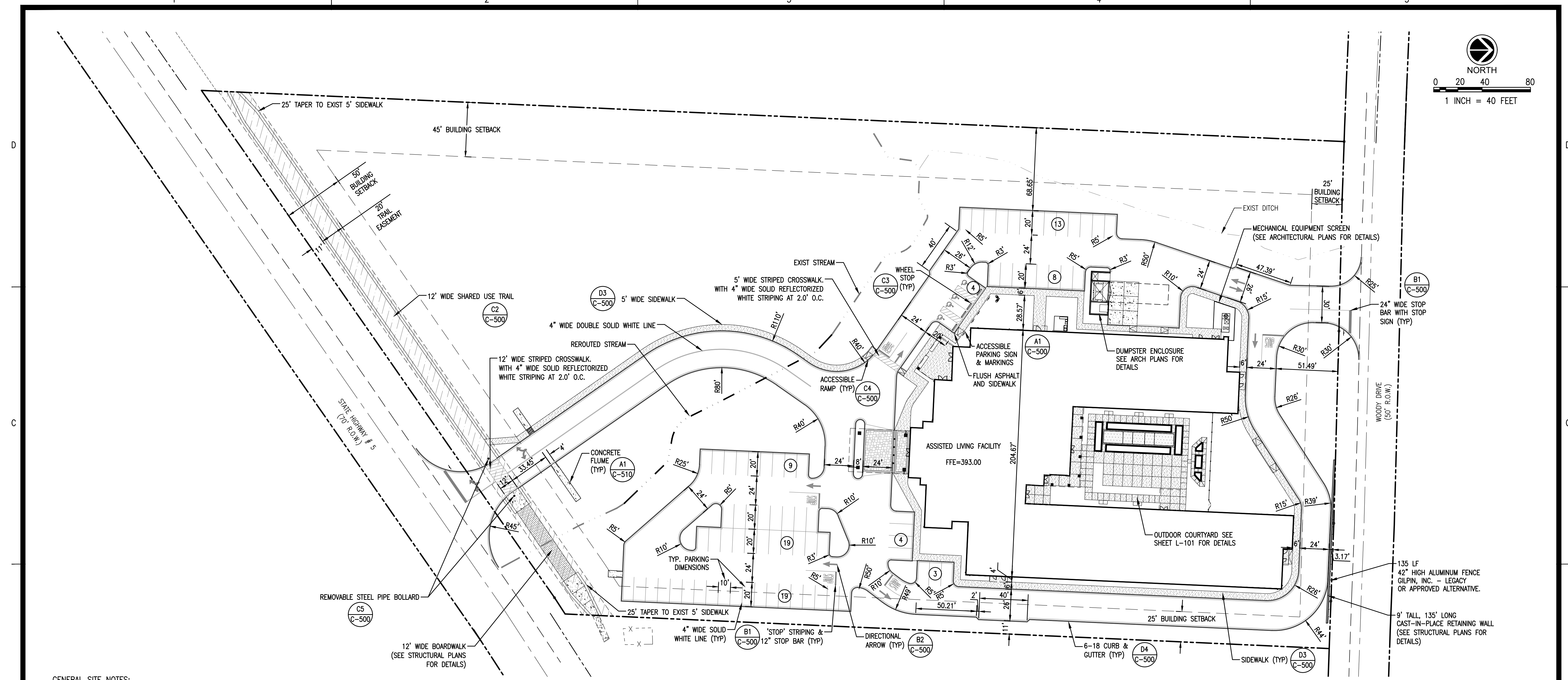
SEAL:

SHEET NUMBER:

**CS-003**

DESCRIPTION:  
RETAINING WALL PLAN AND DETAILS

K:\25526.01\CAD\PLANS\S-003 PLAN AND DETAILS.DWG



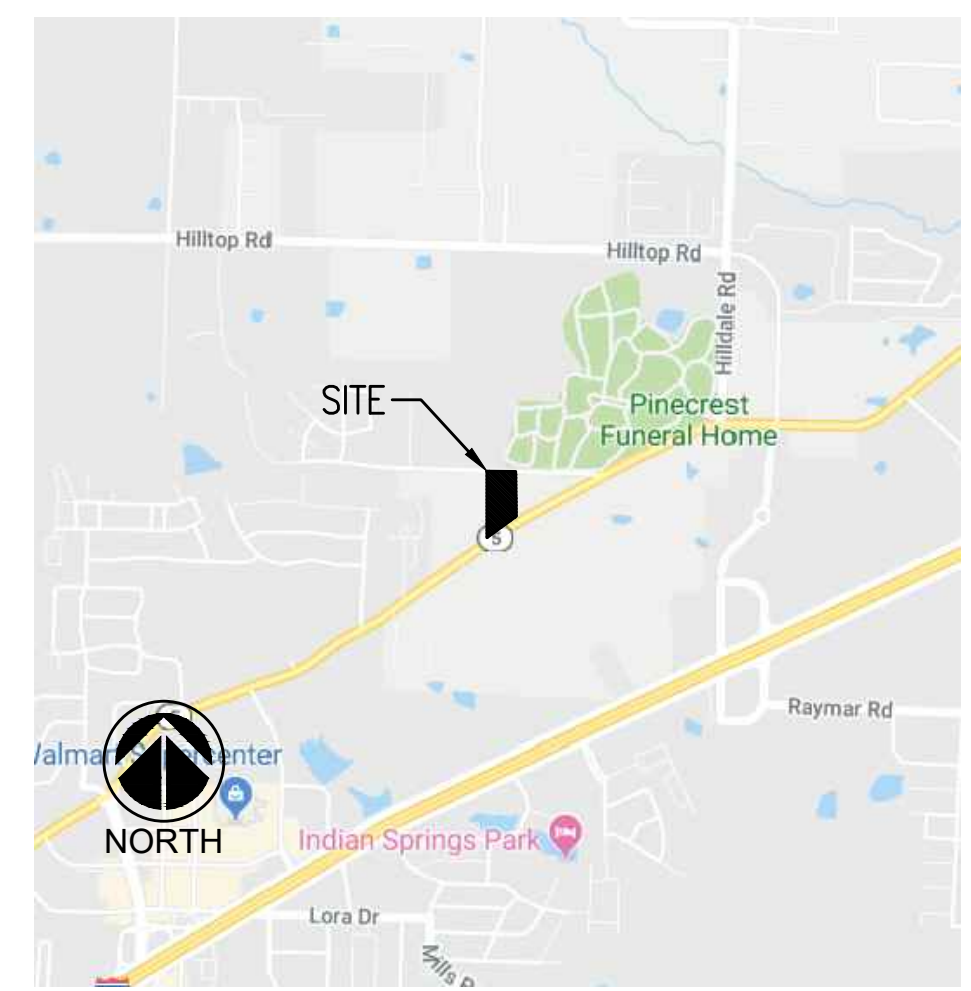
**GENERAL SITE NOTES:**

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
  - OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
  - CONTACT THE CITY OF BRYANT CONSTRUCTION INSPECTION OFFICE.
  - CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
  - NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
  - BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER ADEQ AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLID SOD OR HYDROMULCH WITH SEEDING.
- ALL CONSTRUCTION SHALL MEET THE CITY OF BRYANT TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL AR ONE CALL AT 811 FOR THE LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR AT NO TIME SHALL ENCRoACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

- ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
- ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
- FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
- ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXISTING UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
- CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.

SITE DATA:	
ZONING:	C-2 (HIGHWAY COMMERCIAL)
SITE AREA:	345,430 SF (7.93 AC)
BUILDING AREA:	41,000 (12% SITE AREA)
ROOMS:	79
PARKING REQUIRED:	79 (1/ROOM)
PARKING PROVIDED:	75 STANDARD SPACES 4 ACCESSIBLE SPACES 79 TOTAL SPACES

**FLOOD NOTE:**  
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.



REVISIONS:


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
 DRAWN BY: KNR  
 DESIGNER: GJC  
 CHECKED BY: HWM



**PINNACLE POINT AT BRYANT  
 ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5  
 BRYANT, AR**



SHEET NUMBER:  
**C-110**

DESCRIPTION:  
 OVERALL SITE PLAN

K:\25526.01\CAD PLANS\C-110 OVERALL SITE PLAN.DWG



# Stormwater Management Facility Operation, Inspection, and Maintenance Manual

Subdivision Name:

*Landmark Lifestyles Subdivison*

Located at:

*Tax Parcel: 84011719000  
Highway 5  
Bryant, AR*

Prepared for:

*Pinnacle Point at Bryant, LLC*

Prepared by:



Pickering Firm, Inc.  
6363 Poplar Avenue, Suite 300  
Memphis, Tennessee 38119  
(901) 726-0810  
[www.pickeringfirm.com](http://www.pickeringfirm.com)

**Stormwater Management Facility  
Operation, Inspection, and Maintenance (OIM) Manual  
Owner Authorization**

- All properties which will be served by the facility (Parties) are granted rights to construct, use, reconstruct, repair and maintain access to the detention pond;
- All Parties are responsible for repairs and maintenance of the facility and any unpaid ad valorem taxes, public assessments for improvements, and unsafe building and public nuisance abatement liens charged against the facility, including all interest charges together with attorney fees, costs, and expenses of collection.
- Transferees, Successors and Assigns. All lots served by the detention pond intend this agreement to bind and benefit the owners and occupiers and their transferees, successors, and assigns.

**IN WITNESS WHEREOF, the Parties have executed this Agreement as of \_\_\_\_\_ day of \_\_\_\_\_, 2021.**

**Pinnacle Point at Bryant, LLC**

**Name: \_\_\_\_\_ Signature: \_\_\_\_\_**

**Title: \_\_\_\_\_ Date: \_\_\_\_\_**

**An authorized signatory**

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- I. Contact Information**
- II. Compliance with Stormwater Facility Maintenance Requirements**
- III. Preventative Measures to Reduce Maintenance Costs**
- IV. Safety**
- V. Field Inspection Equipment**
- VI. Inspecting Stormwater Management Facilities**
  - A. Inspection Procedures
- VII. Maintaining Stormwater Management Facilities**
  - A. Maintenance Categories
  - B. Maintenance Personnel
  - C. Maintenance Log

### **Appendices**

**Appendix A** – Stormwater Facilities Map; Facility plan and detail sheets

**Appendix B** – Inspection Forms

**Stormwater Management Facility  
Operation, Inspection, and Maintenance (OIM) Manual**

**I. Contact Information**

Facility contact information:

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**II. Compliance with Stormwater Facility Maintenance Requirements**

All property owners are responsible for ensuring that stormwater facilities installed on their property are properly maintained and that they function as designed. In some cases, this maintenance responsibility may be assigned to others through special agreements. The maintenance responsibility for a stormwater facility may be designated on the subdivision plat, the site development plan, and/or within a maintenance agreement for the property. Property owners should be aware of their responsibilities regarding stormwater facility maintenance.

**III. Preventative Measures to Reduce Maintenance Costs**

Key maintenance activities are listed below

- Keep properties, streets and gutters, and parking lots free of trash, debris, and lawn clippings.
- Ensure the proper disposal of hazardous wastes and chemicals.
- Plan lawn care to minimize the use of chemicals and pesticides.
- Be aware of automobiles leaking fluids. Use absorbents such as cat litter to soak up drippings – dispose of properly.
- Re-vegetate disturbed and bare areas to maintain vegetative stabilization.
- Clean out the upstream components of the storm drainage system, including inlets, storm sewers and outfalls.
- Do not store materials outdoors (including landscaping materials) unless properly protected from runoff.

#### **IV. Safety**

Keep safety considerations at the forefront of inspection procedures at all times. Likely hazards should be anticipated and avoided. Never enter a confined space (outlet structure, manhole, etc.) without proper training or equipment. A confined space should never be entered without at least one additional person present.

If a toxic or flammable substance is discovered, leave the immediate area and contact the local emergency authorities at 911.

Vertical drops may be encountered in areas located within and around the facility. Avoid walking on top of retaining walls or other structures that have a significant vertical drop. If a vertical drop is identified within the pond that is greater than 48" in height, make the appropriate note/comment on the maintenance inspection report.

**If any hazard is found within the facility area that poses an immediate threat to public safety, contact the local emergency authorities immediately.**

#### **V. Field Inspection Equipment**

It is imperative that the appropriate equipment is taken to the field with the inspector(s). This is to ensure the safety of the inspector and allow the inspections to be performed as efficiently as possible. Below is a list of the equipment that may be necessary to perform the inspections of all Stormwater Management Facilities:

- Protective clothing and boots.
- Safety equipment (vest, hard hat, confined space entry equipment).
- Communication equipment.
- Operation, Inspection, and Maintenance Manual for the site including stormwater management facility location maps.
- Clipboard.
- Manhole Lid Remover
- Shovel.

Some of the items identified above need not be carried by the inspector (manhole lid remover, shovel, and confined space entry equipment). However, this equipment should be available to the inspector.

#### **VI. Inspecting Stormwater Management Facilities**

The quality of stormwater leaving the site relies heavily on the proper operation and maintenance of permanent best management practices. Stormwater management facilities must be periodically inspected to ensure that they function as designed. The inspection will determine the appropriate maintenance that is required for the facility.

A. Inspection Procedures

Detention/retention areas, earthen berms, intake structures, piping, discharge structures, spillways, pipe flares, weirs and fencing shall be regularly inspected, maintained and repaired to ensure their proper operation and to prevent the creation of any hazards or nuisances. All stormwater management facilities are required to be inspected by a qualified individual. The inspector shall use the inspection form found in Appendix C.

1. Every three months piping and outlet structures shall be inspected and cleared of any accumulated debris;
2. The area(s) shall be inspected visually after rainfall events in excess of 1" in 24 hours;
3. Inspections of overall detention/retention area(s) and detention/retention components shall occur monthly with their conditions noted on an inspection form. If any remedial action is required, it should be noted and corrected;

**VII. Maintaining Stormwater Management Facilities**

Stormwater management facilities must be properly maintained to ensure that they operate correctly in order to operate as they were designed to. Routine maintenance performed on a frequently scheduled basis, can help avoid more costly rehabilitative maintenance that results when facilities are not adequately maintained.

A. Maintenance Categories

Stormwater management facility maintenance programs are separated into three broad categories of work. The categories are separated based upon the magnitude and type of the maintenance activities performed. A description of each category follows:

Routine Work

The majority of this work consists of scheduled mowing and trash and debris pickups for stormwater management facilities during the growing season. This includes items such as the removal of debris/material that may be clogging the outlet structure well screens and trash racks. It also includes activities such as weed control, mosquito treatment, and algae treatment. These activities shall be performed numerous times during the year, that will vary based on the season. The exact schedule will be determined by the facilities maintenance staff, but at a minimum the follow must be completed.

1. Detention/retention area shall be mowed during the growing season May through September to maintain the turf height of 6-inches or less. Any brush or trees that may grow within the detention areas bottom, slopes or banks shall be removed;

2. Litter and foreign materials shall be removed from the detention area(s) weekly. Large or noxious pieces of litter shall be removed immediately.

#### Restoration Work

This work consists of a variety of isolated or small-scale maintenance and work needed to address operational problems. Most of this work can be completed by a small crew, with minor tools, and small equipment.

1. Erosion in detention/retention areas shall be promptly repaired and stabilized with appropriate Best Management Practices (BMP's);
2. Major deposits of sediment shall be removed from the detention/retention area on an annual basis or after any extreme storm event. Excavated materials shall be properly disposed of off-site. Every five years the detention area(s) shall be surveyed to confirm that the original as-constructed contours have been maintained

#### Rehabilitation Work

This work consists of large-scale maintenance and major improvements needed to address failures within the stormwater management facilities. This work may also require more specialized maintenance equipment, surveying, construction permits or assistance through private contractors and consultants.

#### B. Maintenance Personnel

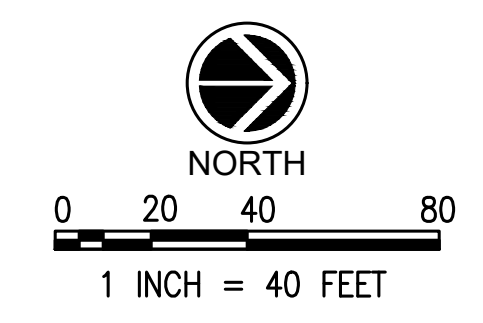
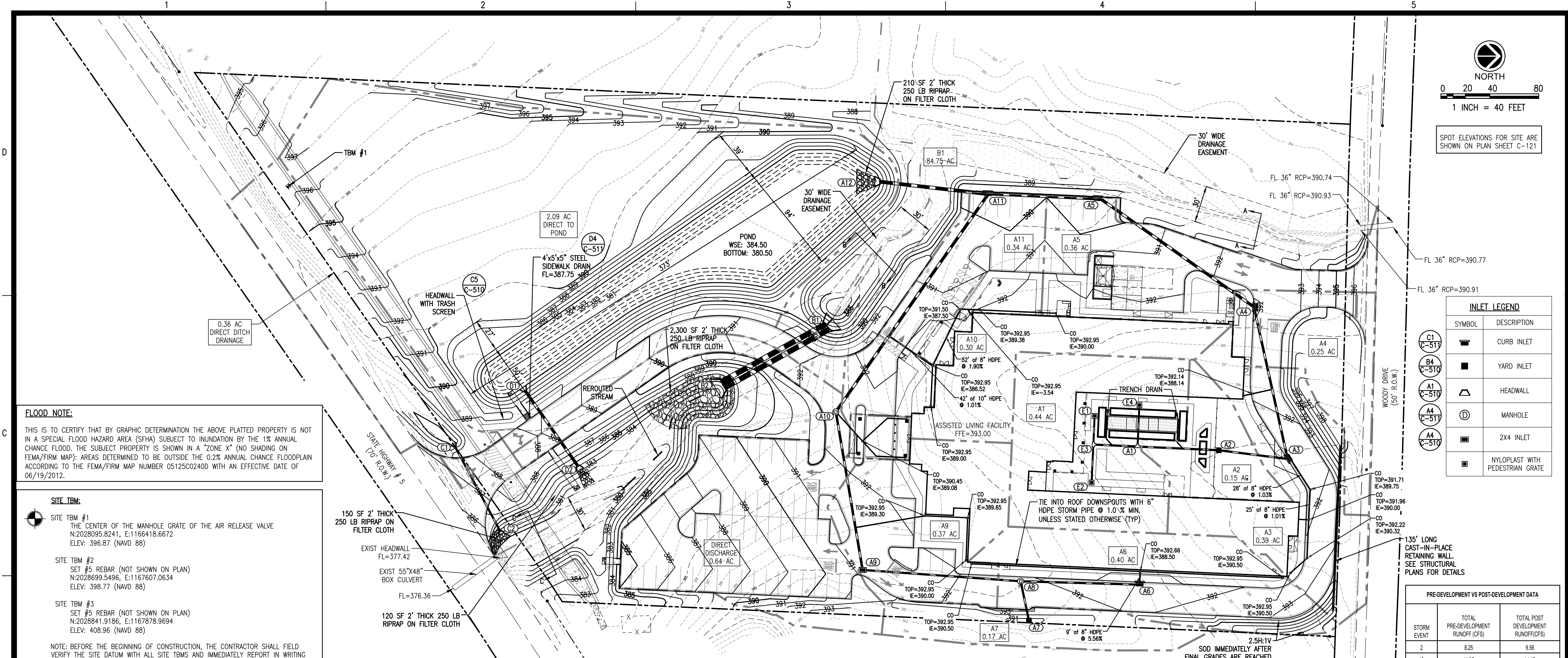
Maintenance personnel must be qualified to properly maintain stormwater management facilities. Inadequately trained personnel can cause additional problems resulting in additional maintenance costs.

#### C. Maintenance Log

Maintain a log to track maintenance activities undertaken throughout the year. This log should be verified during the annual inspection. These records shall be provided to the public works department of the City of Bryant Arkansas upon request.

**Appendix A**  
**Stormwater Facilities Map**  
**Facility plan and Detail sheets**





SPOT ELEVATIONS FOR SITE ARE SHOWN ON PLAN SHEET C-121

INLET LEGEND	
SYMBOL	DESCRIPTION
	CURB INLET
	YARD INLET
	HEADWALL
	MANHOLE
	2X4 INLET
	NYLOPLAST WITH PEDESTRIAN GRATE

**FLOOD NOTE:**  
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125002400 WITH AN EFFECTIVE DATE OF 06/19/2012.

**SITE TBM:**  
SITE TBM #1  
THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE  
N:2028095.8241, E:1166418.6672  
ELEV: 396.87 (NAVD 88)  
SITE TBM #2  
SET #5 REBAR (NOT SHOWN ON PLAN)  
N:2028699.5496, E:1167607.0634  
ELEV: 398.77 (NAVD 88)  
SITE TBM #3  
SET #5 REBAR (NOT SHOWN ON PLAN)  
N:2028841.9186, E:1167878.9694  
ELEV: 408.96 (NAVD 88)  
NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

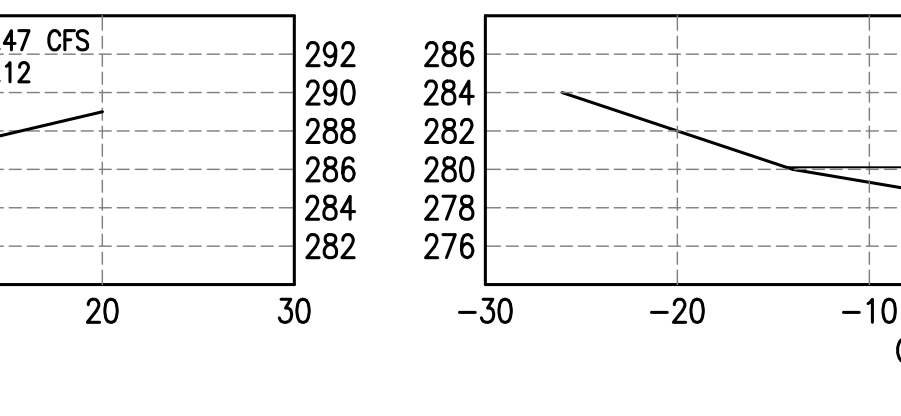
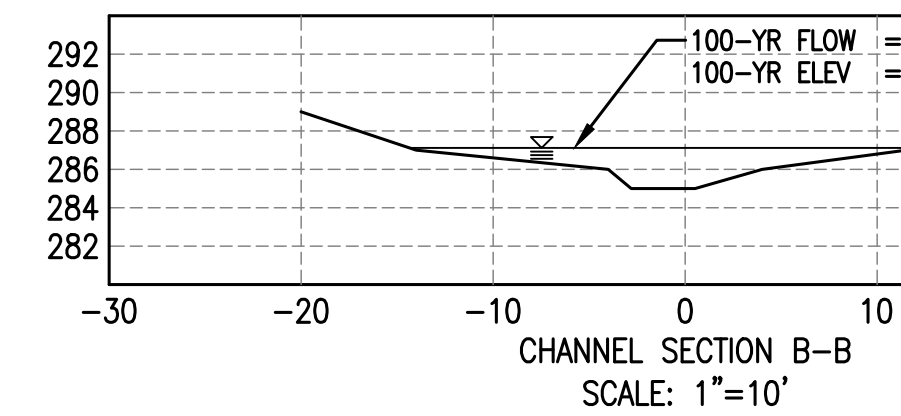
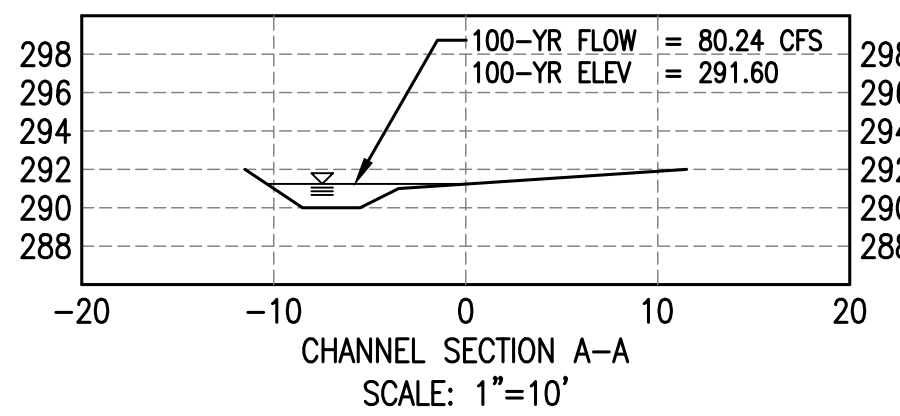
- GRADING AND DRAINAGE NOTES**
- CONTRACTOR TO VERIFY UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
  - PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
  - ESTABLISH PERMANENT VEGETATION WITH SEEDING OR SOLID SOD ON DISTURBED AREAS.
  - DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
  - SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.
  - CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED.
  - MAXIMUM SLOPE IN ANY DIRECTION AT HANDICAP PARKING AREAS IS 2%. IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE AT SIDEWALK IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
  - ADJUST TOPS ON CATCH BASINS AND CURB INLETS TO MEET FINAL GRADE.
  - STORM DRAINAGE PIPE SHALL BE CLASS III, REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 WITH BUTYL-MASTIC OR RUBBER GASKET JOINTS, ADS HP STORM PIPE, OR APPROVED ALTERNATIVE, PER THE DRAWING AND PROJECT SPECIFICATIONS.
  - EARTHWORK OPERATIONS SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 10, 2019.
  - FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698)
  - THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW 3% ABOVE OF THE OPTIMUM MOISTURE CONTENT.
  - SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
  - PROVIDE SUBGRADE FOR BUILDING PAD PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. THE EXPOSED SURFACE IN PAVEMENT OR BUILDING FLOOR AREAS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER AND MAY REQUIRE SOME IMPROVEMENTS IF THE MOISTURE CONTENTS ARE BEYOND ACCEPTABLE LIMITS.
  - FILL MATERIAL SHOULD CONSIST OF MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER THAT ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 9 INCHES OR LESS IN LOOSE THICKNESS.
  - IN AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
  - THE CONTRACTOR SHALL ENSURE STOCKPILED SOILS ARE WELL DRAINED AND ARE NOT ALLOWED TO INCREASE MOISTURE CONTENT.
  - THE CONTRACTOR SHALL REMOVE SOILS WHICH DO NOT MEET OR EXCEED THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
    - EXISTING SOILS SHALL BE UNDERCUT AND REPLACED WITH LOW VOLUME CHANGE SOILS TO A DEPTH OF 5' BELOW AND TO WITHIN 5' HORIZONTALLY OF THE BUILDING PAD.
    - EXISTING SOILS SHALL BE UNDERCUT IN PAVEMENT AREAS AS NECESSARY SO THAT AT LEAST 1 FOOT OF ENGINEERED FILL CAN BE CONSTRUCTED AS THE UPPER PAVEMENT SUBGRADE AFTER THOROUGH PROOF-ROLL TESTING THE EXISTING SOILS.
    - PRIOR TO ANY FILL OPERATIONS THE SITE SHALL BE PROOF-ROLLED AND ANY WEAK OR OTHERWISE UNUSABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH APPROVED ENGINEERED FILL.
  - ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION. EXCESS SOILS WILL BE DISPOSED OFFSITE.
  - UPON COMPLETION OF THE FILLING OPERATION, CARE SHOULD BE TAKEN TO MAINTAIN THE SUBGRADE MOISTURE CONTENT PRIOR TO CONSTRUCTION OF THE FLOOR SLAB. IF THE SUBGRADE SHOULD BECOME DESICCATED, THE AFFECTED MATERIAL SHOULD BE REMOVED OR THESE MATERIALS SHOULD BE SCARIFIED, MOISTENED AND RECOMPACTED PRIOR TO FLOOR SLAB PLACEMENT.
  - FILL MATERIAL SHALL CONSIST OF NATURALLY OCCURRING EARTH MATERIALS WITH A PLASTICITY INDEX OF NOT MORE THAN 20%. IT SHALL BE FREE FROM ORGANIC MATTER AND CLAY BALLS WITH AN UPPER PARTICLE SIZE DIAMETER OF 2.5 INCHES.
  - PROVIDE NECESSARY AND REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
  - DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.
  - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SUBMIT PROPOSED PIPE AND STRUCTURE DRAWINGS FOR ENGINEER TO REVIEW. NO INSTALLATION SHALL BEGIN UNTIL WRITTEN APPROVAL HAS BEEN GRANTED.

STORM DRAINAGE - PIPE DATA										
FROM	FLOW LINE ELEV.	TO	FLOW LINE ELEV.	PIPE DIA. (IN.)	SLOPE (%)	LENGTH (FT.)	DESIGN Q (25YR) (CFS)	PIPE CAPACITY (CFS)	MAX. (FPS) VELOCITY	DRAIN AREA (AC)
A1	387.85	A2	387.52	15"	0.50	67	3.30	4.93	4.0	0.44
A2	387.42	A3	387.14	15"	0.49	57	4.36	4.92	4.0	0.59
A3	387.04	A4	386.40	18"	0.50	127	7.17	8.07	4.6	0.98
A4	386.30	A5	385.52	24"	0.50	156	8.84	17.33	5.5	1.23
A5	385.42	A11	384.97	24"	0.54	84	11.07	17.93	5.7	1.59
A6	387.89	A8	387.46	15"	0.46	94	3.06	4.72	3.8	0.40
A7	387.75	A8	387.45	15"	0.91	33	1.30	6.69	5.5	0.17
A8	387.46	A9	386.76	15"	0.54	130	4.26	5.14	4.2	0.57
A9	386.66	A10	386.00	18"	0.50	131	6.87	8.07	4.6	0.94
A10	385.90	A11	384.97	24"	0.43	217	8.89	16.05	5.1	1.24
A11	384.87	A12	384.50	30"	0.43	86	21.77	29.13	5.9	3.17
B1	383.50	B2	382.50	48" (2)	1.02	98	***231.99	289.85	11.5	84.75
C1	384.50	C2	381.00	15"	4.42	79	2.75	13.57	11.1	0.36
D1	384.50	D2	382.00	24"	3.30	76	***12.14	44.49	14.2	5.25
E1	389.50	E3	388.25	12"	5.33	23	0.84	8.91	11.3	0.11
E2	389.20	E3	388.25	12"	3.06	31	1.68	6.75	8.6	0.22
E3	388.15	A1	387.95	12"	0.55	36	2.49	2.87	3.7	0.33
E4	389.25	A1	387.95	12"	3.84	34	0.84	7.56	9.6	0.11

\* PIPE SHALL BE ADS HP STORM  
\*\* PIPE SHALL BE CLASS III RCP  
\*\*\* DESIGN FLOW IS 100-YR

STORM DRAINAGE - STRUCTURE DATA					
STRUC. NO.	STRUC. TYPE	GRATE ELEV.	FLOW LINE ELEV.	AREA (AC)	DESIGN Q 25-YR (CFS)
A1	NYLOPLAST TEE	N/A	387.85	0.00	...
A2	YARD INLET	392.00	387.42	0.15	1.15
A3	CURB INLET	391.30	387.04	0.39	2.98
A4	CURB INLET	391.88	386.30	0.25	1.91
A5	CURB INLET	389.52	385.42	0.36	2.75
A6	CURB INLET	391.14	387.89	0.40	3.06
A7	YARD INLET	390.90	387.75	0.17	1.30
A8	MAN HOLE	392.10	387.46	0.00	...
A9	2X4 INLET	391.00	386.66	0.37	2.83
A10	MAN HOLE	392.50	385.90	0.30	...
A11	CURB INLET	389.52	384.87	0.34	2.60
A12	TYPE E HEADWALL	...	384.50	...	...
B1	HEADWALL	...	383.50	84.75	** 231.99
B2	HEADWALL	...	382.50	...	...
C1	HEADWALL	...	384.50	0.36	2.75
C2	TYPE E HEADWALL	...	381.00	...	...
D1	HEADWALL	...	384.50	5.25	** 12.14
D2	TYPE E HEADWALL	...	382.00	...	...
E1	18" NYLOPLAST	392.50	389.50	0.11	0.84
E2	24" NYLOPLAST	392.20	389.20	0.22	1.68
E3	NYLOPLAST TEE	N/A	388.15	0.00	...
E4	18" NYLOPLAST	392.25	389.25	0.11	0.84

\* STRUCTURES LESS THAN 4' DEEP SHALL BE NYLOPLAST, ALL OTHER STRUCTURES SHALL BE PRECAST CONCRETE  
\*\* DESIGN FLOW IS 100-YR  
† NYLOPLAST STRUCTURES SHALL HAVE PEDESTRIAN GRATES



PRE-DEVELOPMENT VS POST-DEVELOPMENT DATA		
STORM EVENT	TOTAL PRE-DEVELOPMENT RUNOFF (CFS)	TOTAL POST DEVELOPMENT RUNOFF (CFS)
2	8.25	9.56
10	14.95	14.47
25	19.21	17.00
50	22.69	18.93
100	26.20	20.80

DETENTION POND DATA			
Stage (ft)	Elev. (ft)	Storage (cuft)	Discharge (cfs)
0.0	384.5	0	0.00
0.5	385.0	8,183	1.24
1.5	386.0	26,405	7.37
2.5	387.0	47,163	11.25
3.5	388.0	71,482	16.30
4.5	389.0	96,310	26.22

DRAINAGE AREA = 5.25 AC  
4' WIDE EMERGENCY SPILLWAY ELEV = 387.70  
TOP OF BANK ELEV = 389.00  
18" OUTFALL PIPE WITH TRASH SCREEN ELEV = 384.50

DETENTION POND DATA				
STORM EVENT	POND INFLOW (CFS)	WATER SURFACE ELEVATION	POND OUTFLOW (CFS)	TOTAL STORAGE (CUF)
2	25.48	385.89	6.86	24,416
10	37.60	386.46	9.35	35,921
25	44.79	386.79	10.57	42,875
50	50.50	387.05	11.42	48,480
100	56.19	387.29	12.14	54,121

REVISIONS:

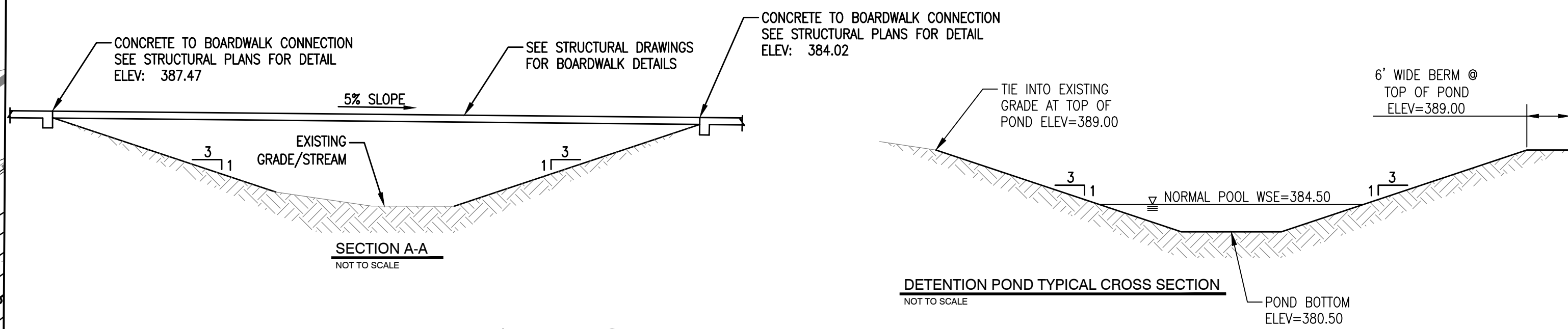
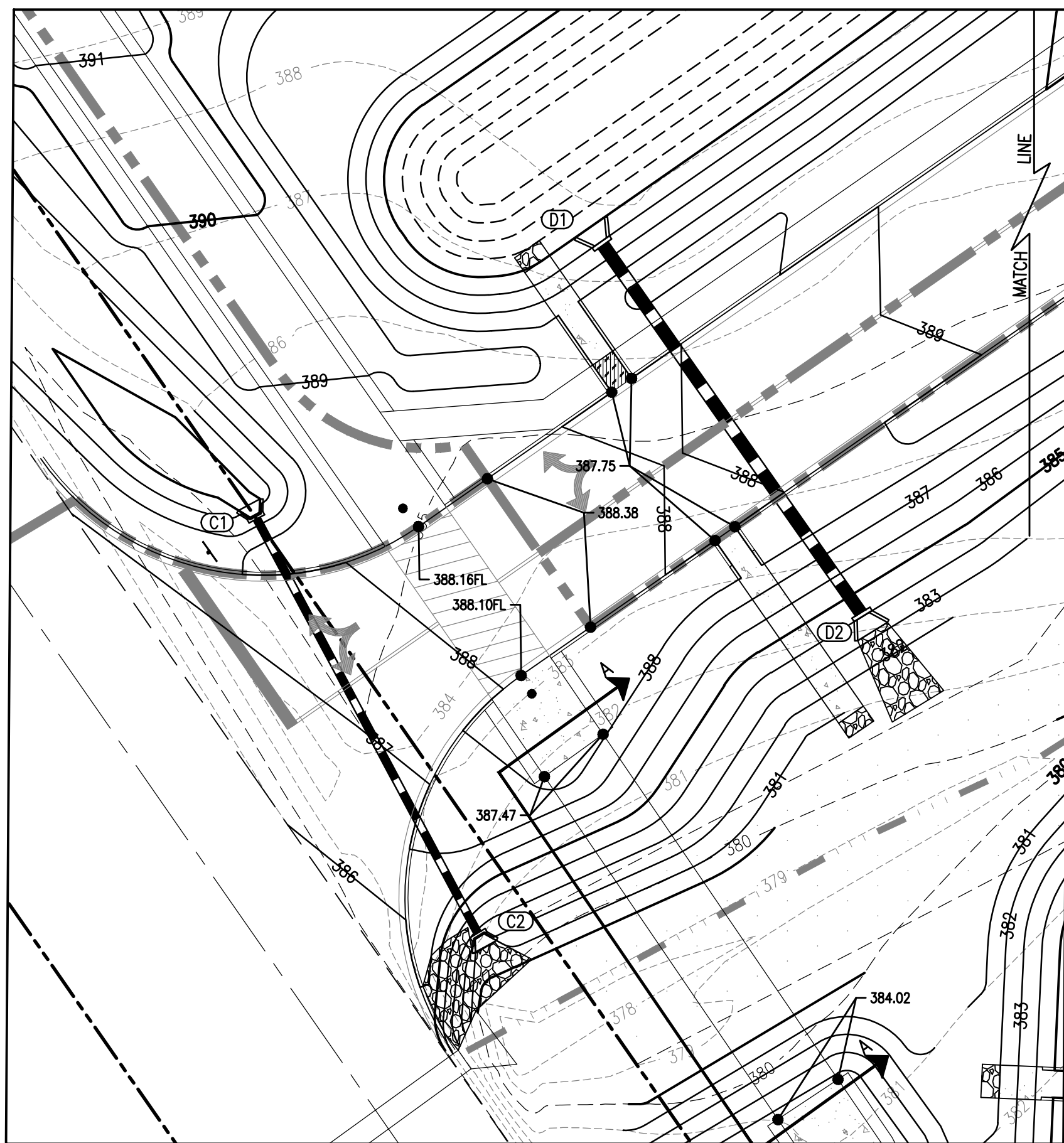

PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6383 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**Pinnacle Point at Bryant Assisted Living Facility**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
STATE HIGHWAY # 5  
BRYANT, AR

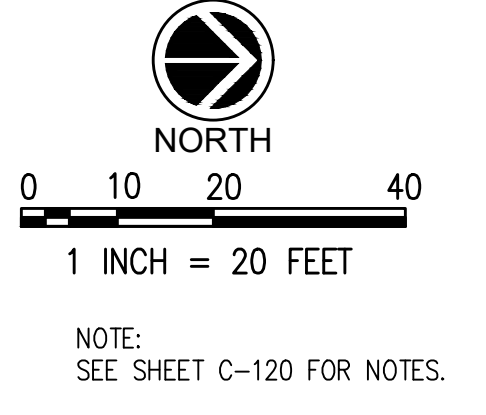
SEAL:  
STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 14484  
DAVE Y. WATNEY  
10/18/2021

SHEET NUMBER:  
**C-120**  
DESCRIPTION:  
OVERALL GRADING & DRAINAGE PLAN

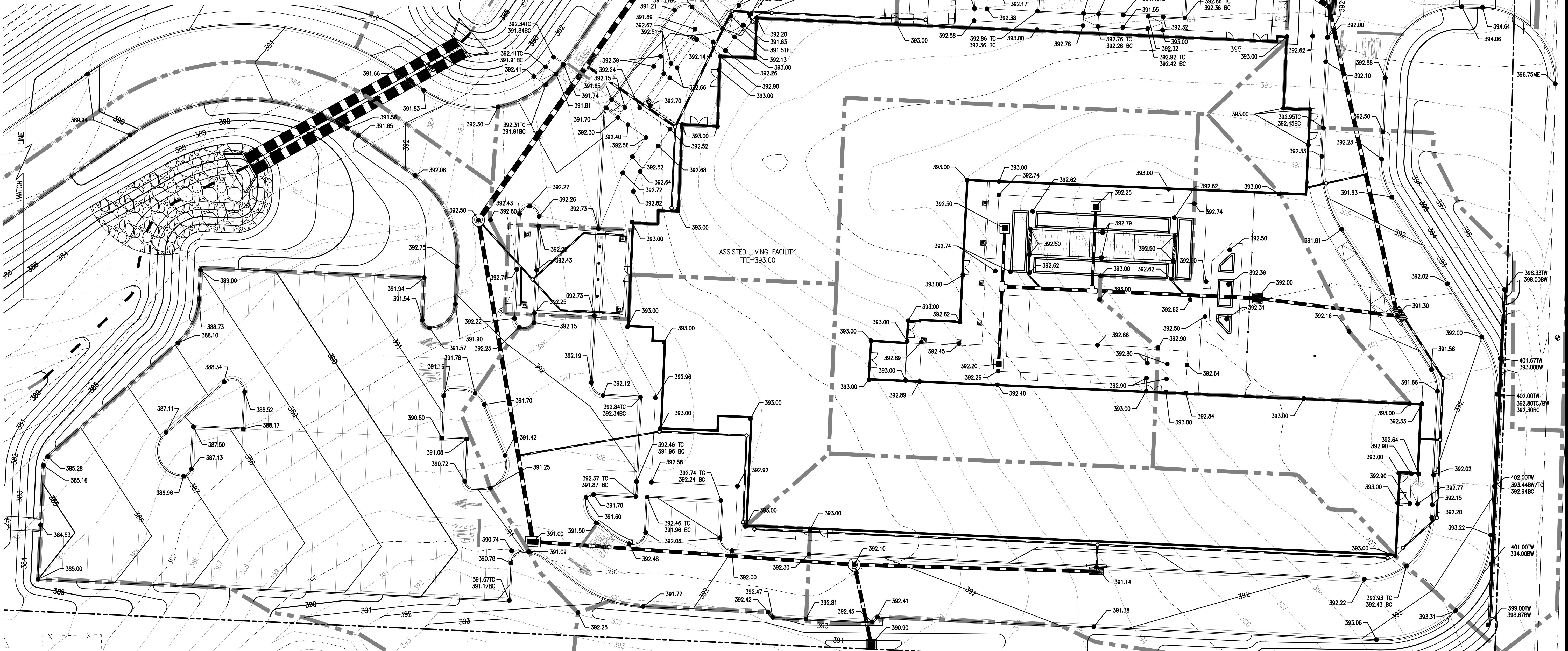


**SPOT LEGEND**

- TC= TOP OF CURB
- BC= BOTTOM OF CURB
- FL= FLUSH
- TW= GRADE AT TOP OF WALL
- BW= GRADE AT BOTTOM OF WALL
- ME= MATCH EXISTING



SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.



**REVISIONS:**


PROJECT #: 25526.01  
 DATE: OCTOBER 18, 2021  
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 CHECKED BY: HWM

**Pickering**  
 Pickering Firm, Inc.  
 Architecture • Engineering  
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 6363 Poplar Avenue, Suite 300  
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 901.726.0010

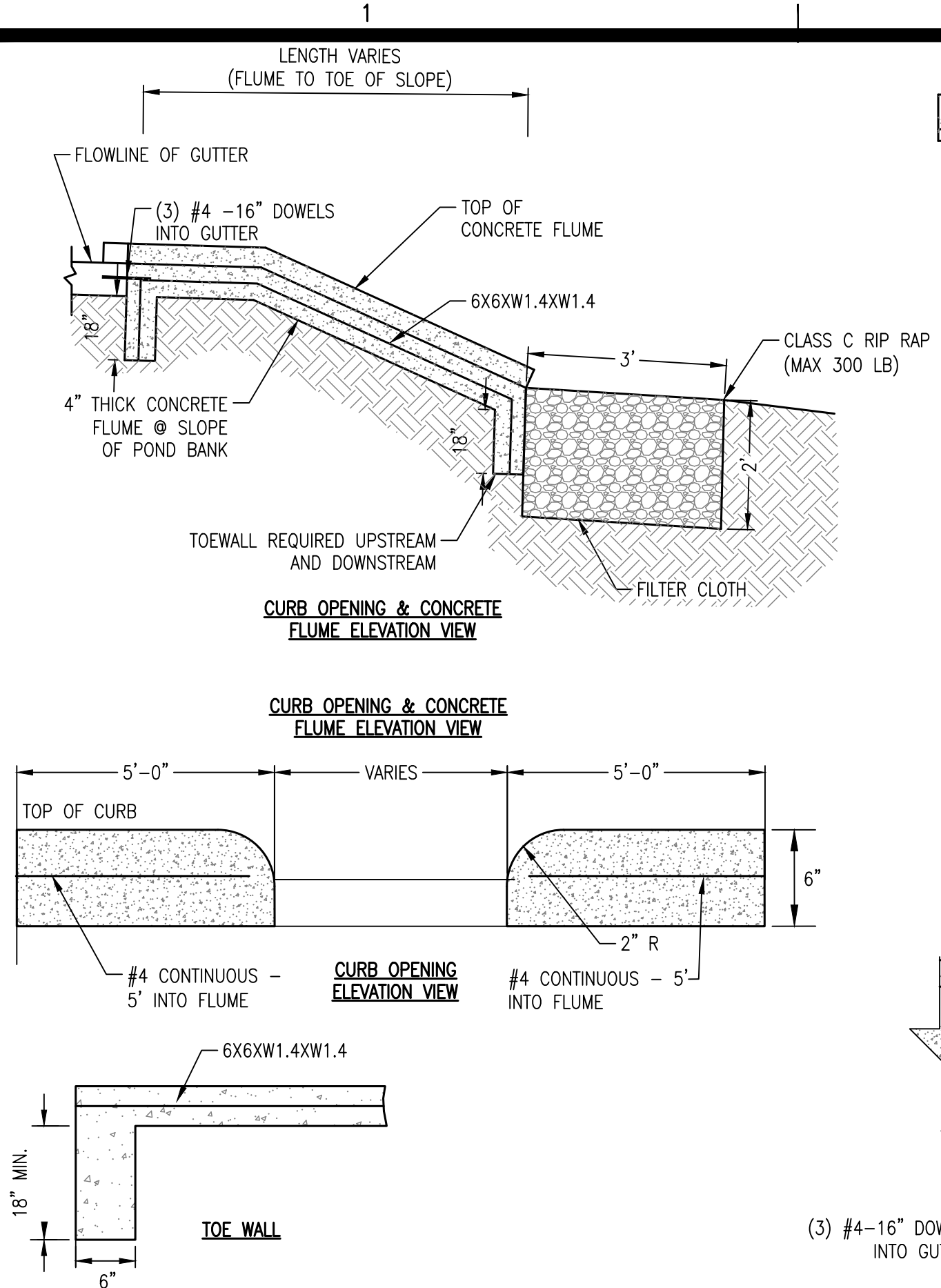
**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
 STATE HIGHWAY # 5  
 BRYANT, AR

SEAL:

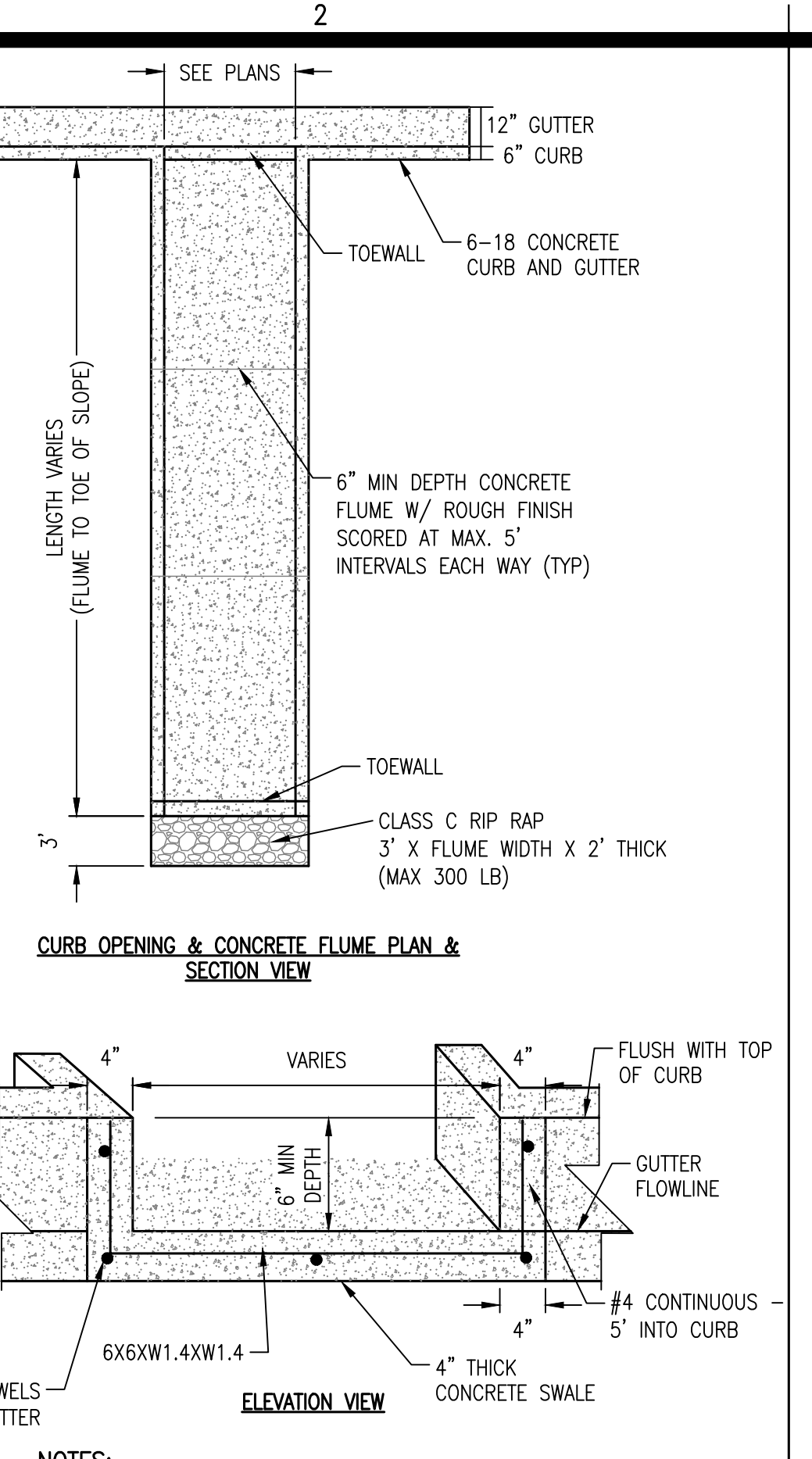
SHEET NUMBER:  
**C-121**

DESCRIPTION:  
 GRADING PLAN

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**C1 CONCRETE CURB OPENING/FLUME**  
NTS

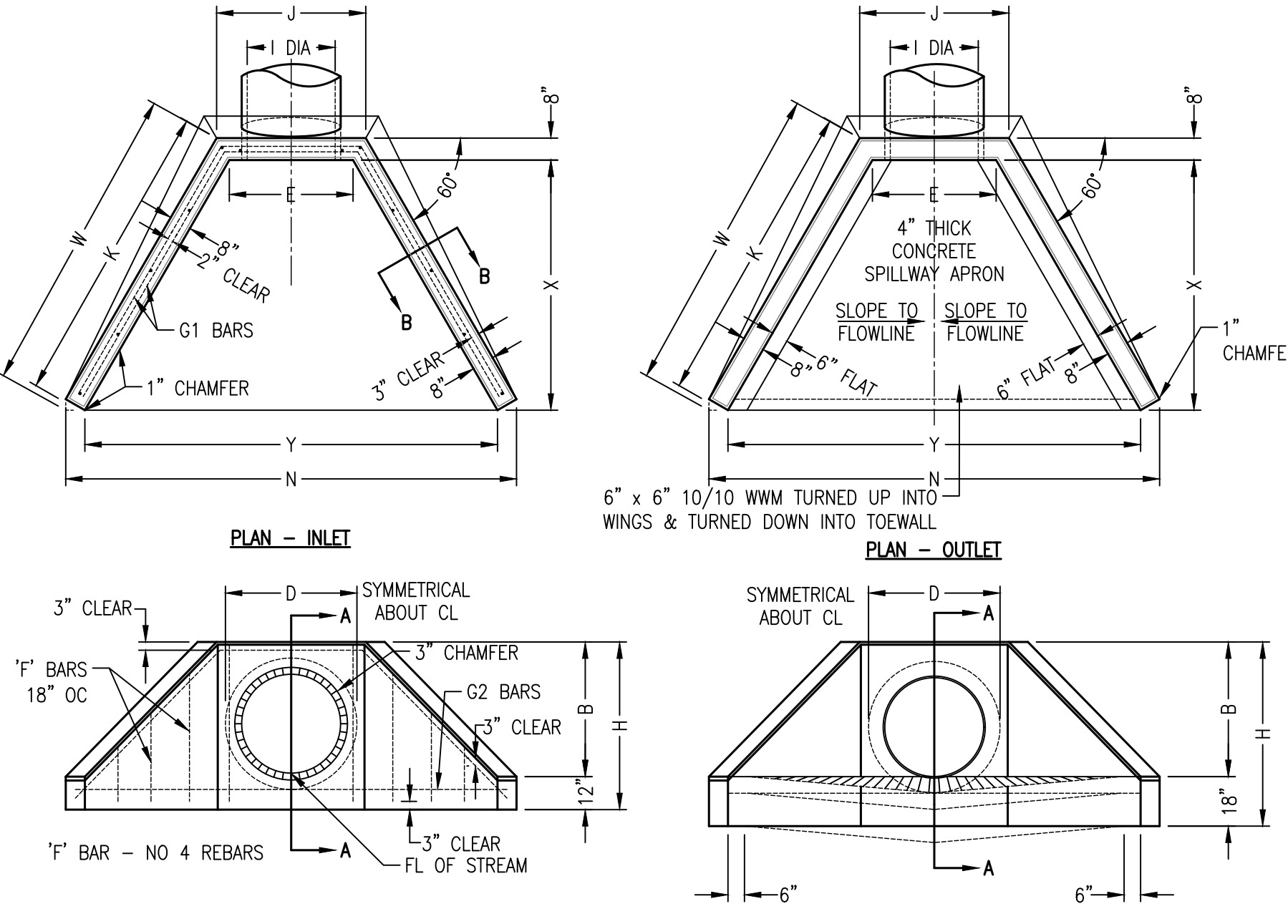


**C3 FLEXIBLE PIPE BEDDING AND BACKFILL**  
NOT TO SCALE

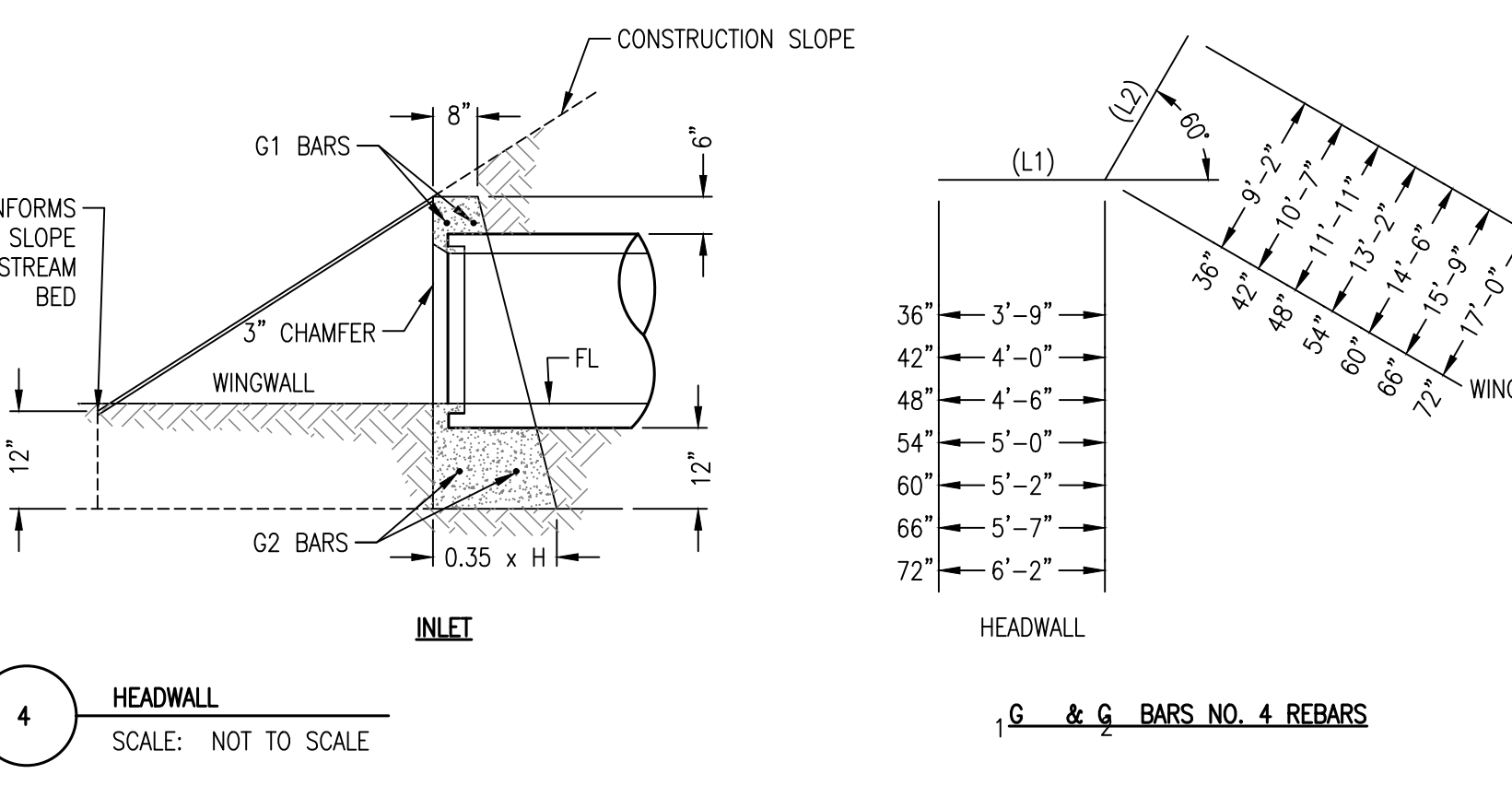
TABLE OF DIMENSIONS AND DIAMETERS

DIM.	DIA.	15"	18"	21"	24"	30"	36"
B		1' 11-1/2"	2' 2-1/4"	2' 5-1/4"	2' 8-1/2"	3'-3"	3' 9-1/2"
D		1' 7-1/4"	1' 10-1/2"	2' 1-1/2"	2'-5"	3'-0"	3'-7"
E		1' 9-1/4"	2' 0-1/2"	2' 3-1/2"	2'-7"	3'-2"	3'-9"
H		3' 1-1/4"	3' 4-1/2"	3' 7-1/2"	3'-11"	4'-6"	5'-1"
J		2' 7-5/8"	2' 10-7/8"	3' 1-7/8"	3' 5-3/8"	4' 0-3/8"	4' 10-5/8"
K		4' 10-5/8"	5' 5-3/4"	6' 0-5/8"	6' 8-1/4"	7' 11-1/4"	9' 2-1/4"
N		7' 11-1/2"	8' 9-7/8"	9' 7-7/8"	10' 6-7/8"	12' 4-7/8"	14' 2-7/8"
W		5' 3-3/4"	5'-11"	6' 5-7/8"	7' 1-1/2"	8' 4-1/2"	9' 7-1/2"
X		3' 10-1/4"	4' 4-1/2"	4' 10-1/2"	5'-5"	6'-6"	7'-7"
Y		6' 2-5/8"	7' 1-1/8"	7'-11"	8' 10-1/8"	10' 8-1/8"	12' 6-1/8"
DIM.	DIA.	42"	48"	54"	60"	66"	72"
B		4'-4"	4' 10-1/2"	5'-5"	6'-0"	6' 6-1/2"	7'-1"
D		4'-2"	4'-9"	5'-4"	6'-0"	6'-7"	7'-2"
E		4'-4"	4'-10"	5'-6"	6'-2"	6'-9"	7'-4"
H		5'-8"	6'-3"	6'-10"	7'-6"	8'-1"	8'-8"
J		5' 2-3/8"	5' 9-3/8"	6' 4-3/8"	7' 0-3/8"	7' 7-3/8"	8' 2-3/8"
K		10' 5-1/4"	11' 8-1/4"	12' 11-1/4"	14' 3-1/2"	15' 6-1/2"	16' 9-1/2"
N		16' 0-7/8"	17' 10-7/8"	19' 8-7/8"	21' 9-1/8"	23' 7-1/8"	25' 5-1/8"
W		10' 10-1/2"	12' 1-1/2"	13' 4-1/2"	14' 8-5/8"	15' 11-5/8"	17' 2-5/8"
X		8'-8"	9'-9"	10-10"	12'-0"	13'-1"	14'-2"
Y		14' 4-1/8"	16' 2-1/8"	18' 0-1/8"	20' 0-1/4"	21' 10-1/4"	23' 8-1/4"

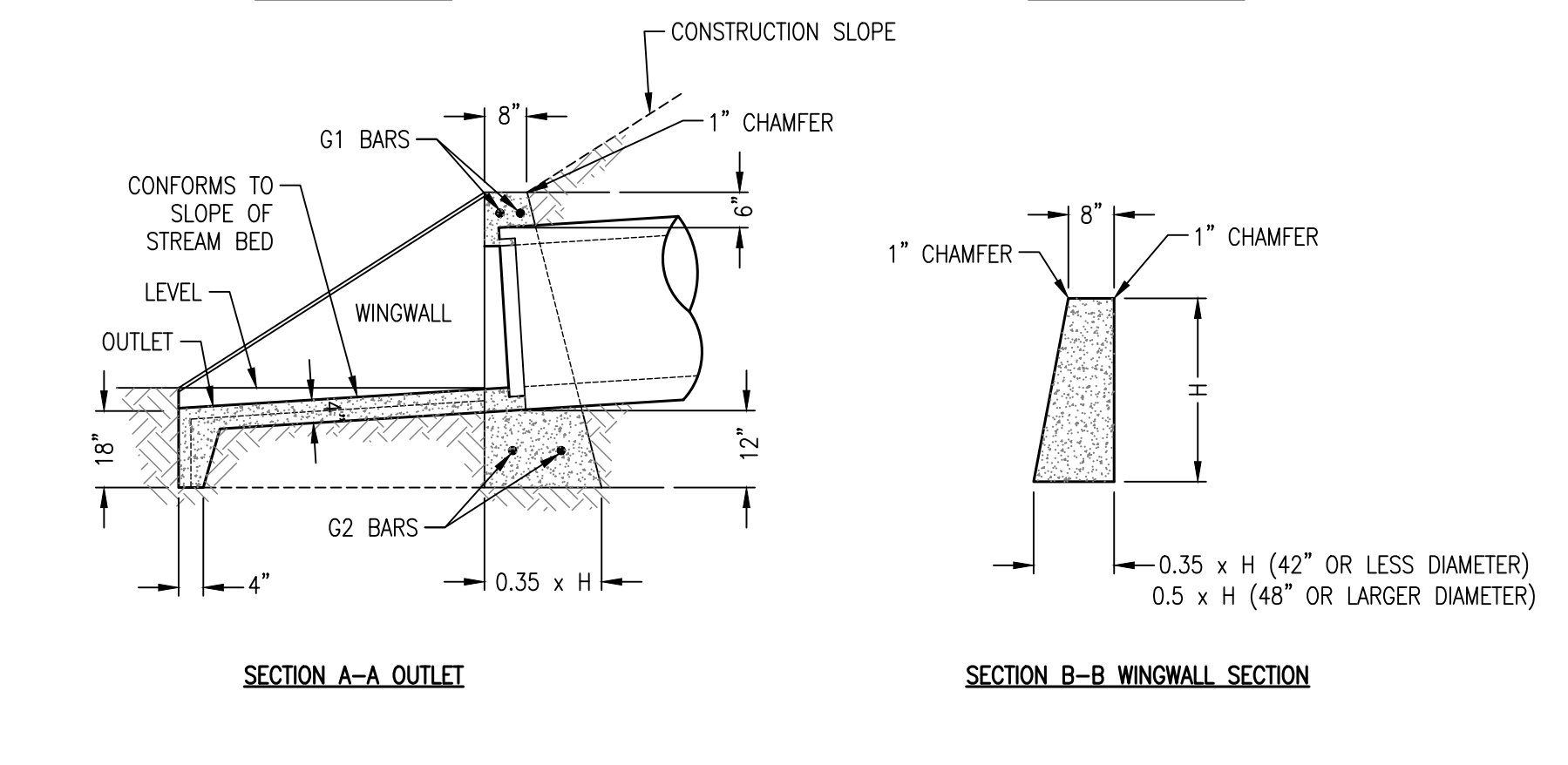
NOTE: CONCRETE SHALL BE 3,500 PSI



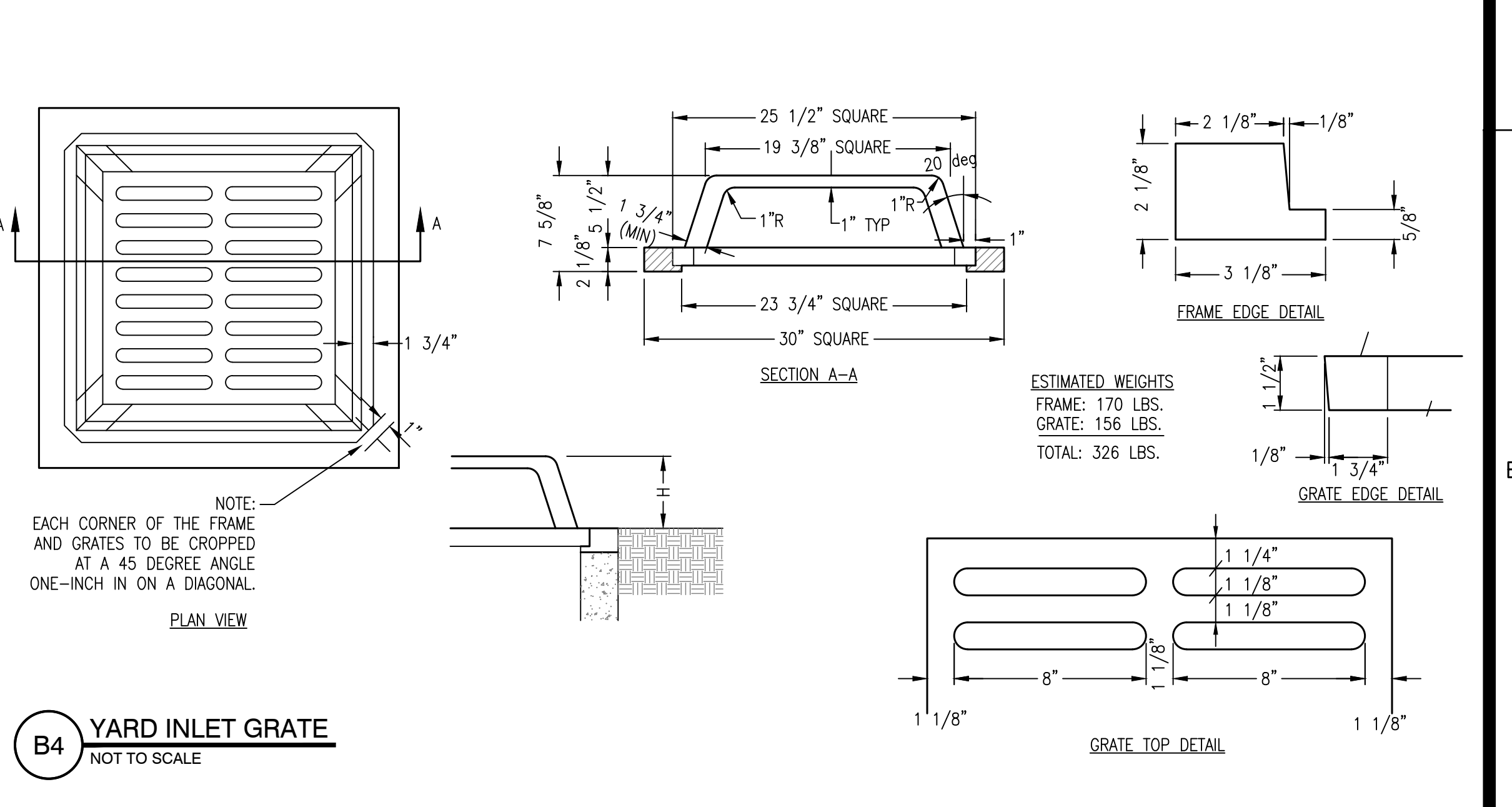
**B4 YARD INLET GRATE**  
NOT TO SCALE



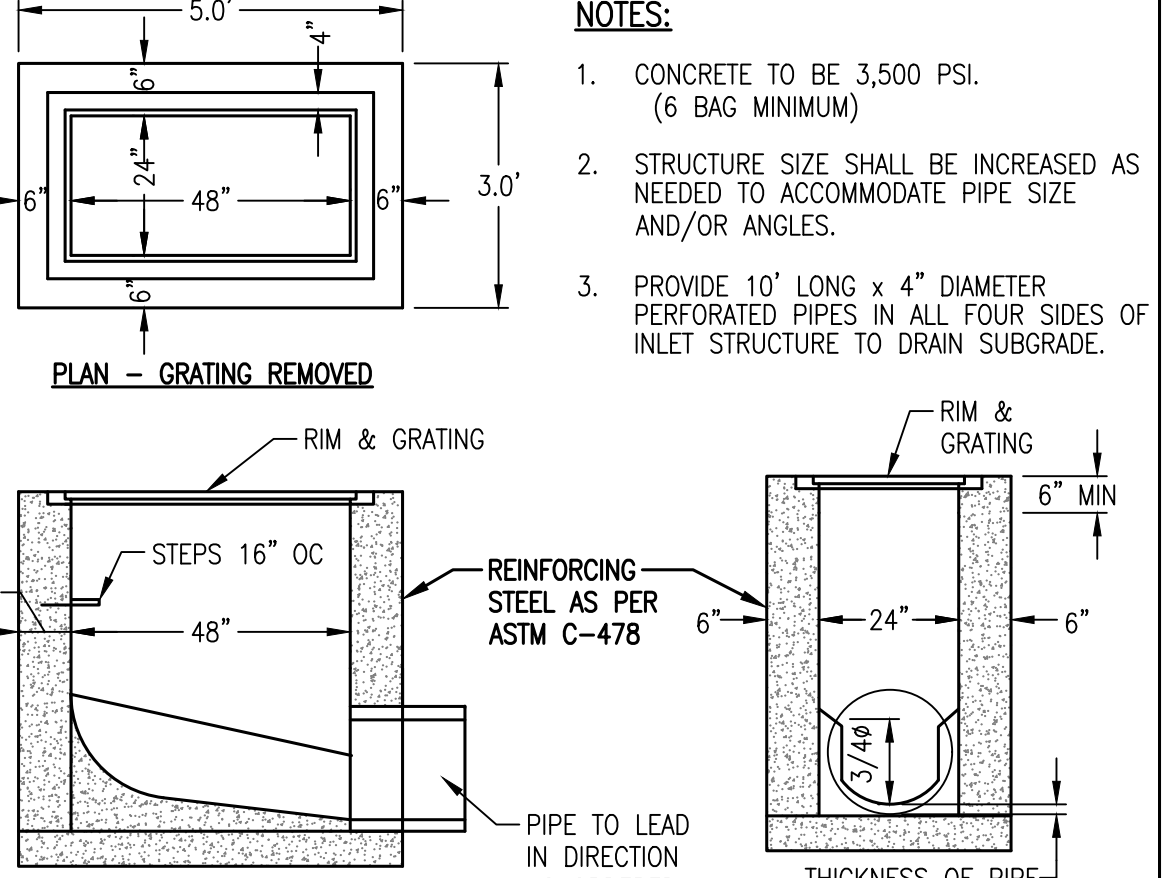
**A1 HEADWALL**  
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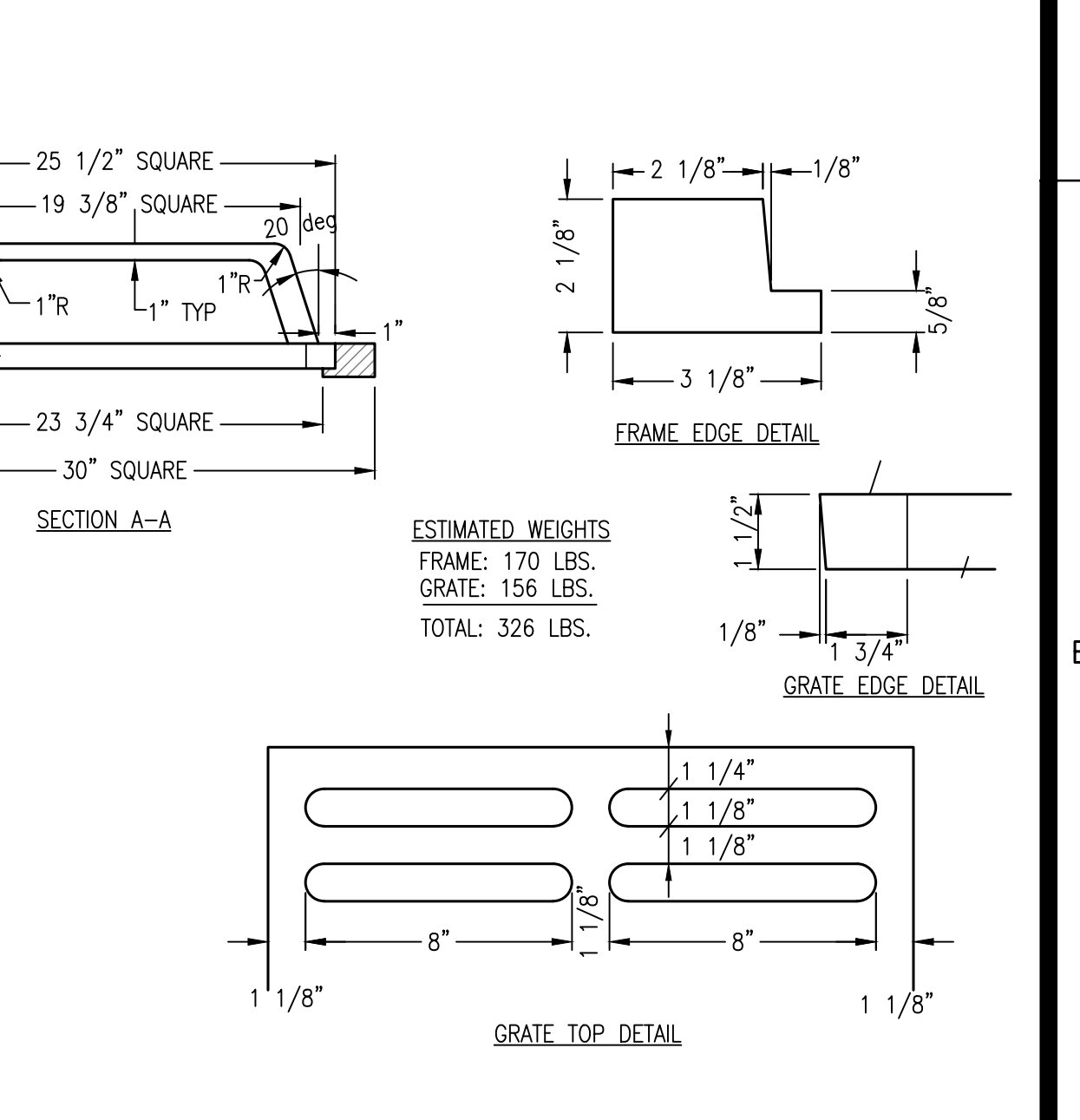
**A4 2X4 INLET**  
NOT TO SCALE



**A5 YARD INLET**  
NOT TO SCALE



**C4 CONCRETE PIPE BEDDING AND BACKFILL**  
NOT TO SCALE



**C5 DETENTION POND OUTLET (W/ TRASH SCREEN)**  
NTS

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

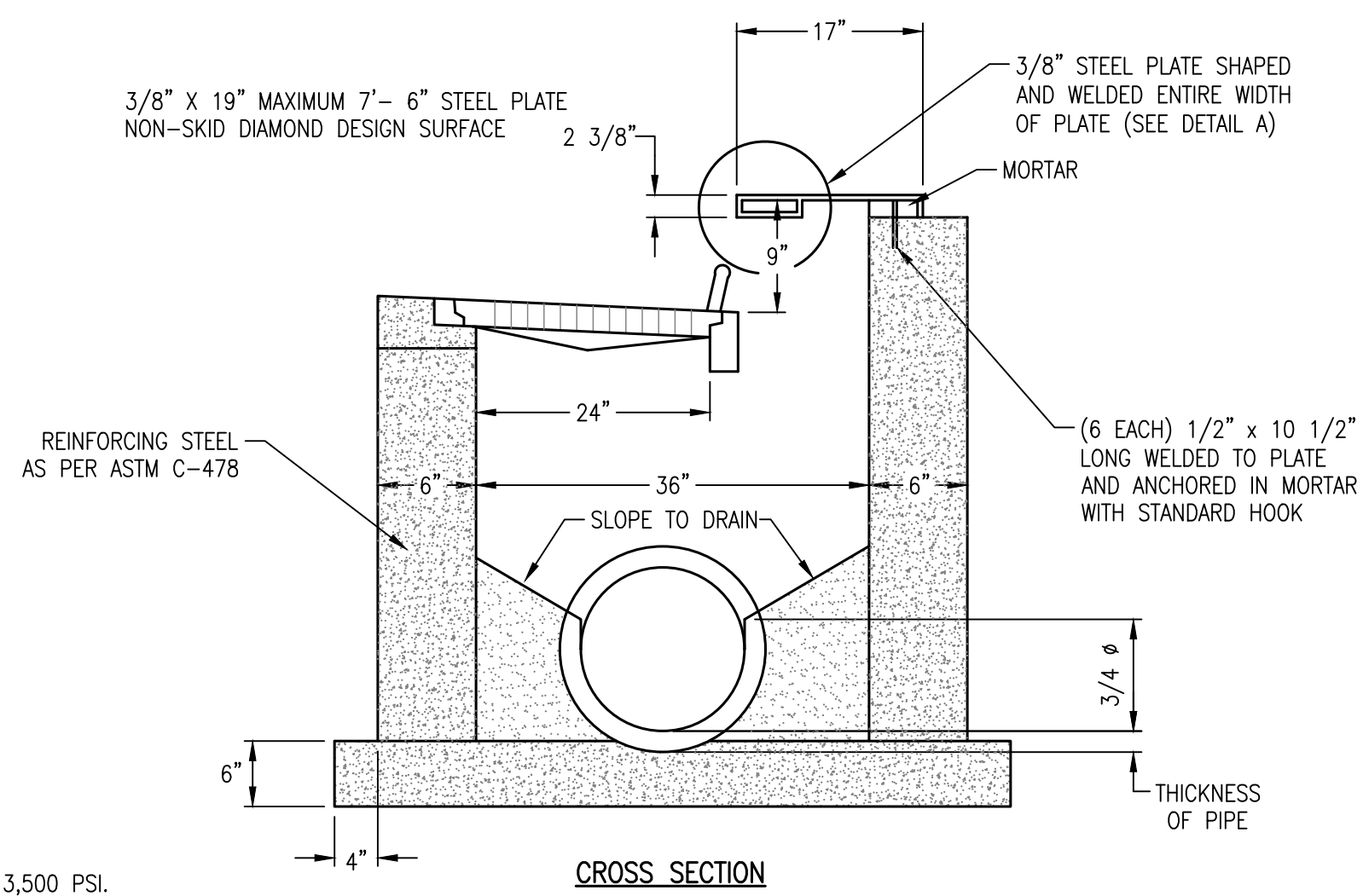
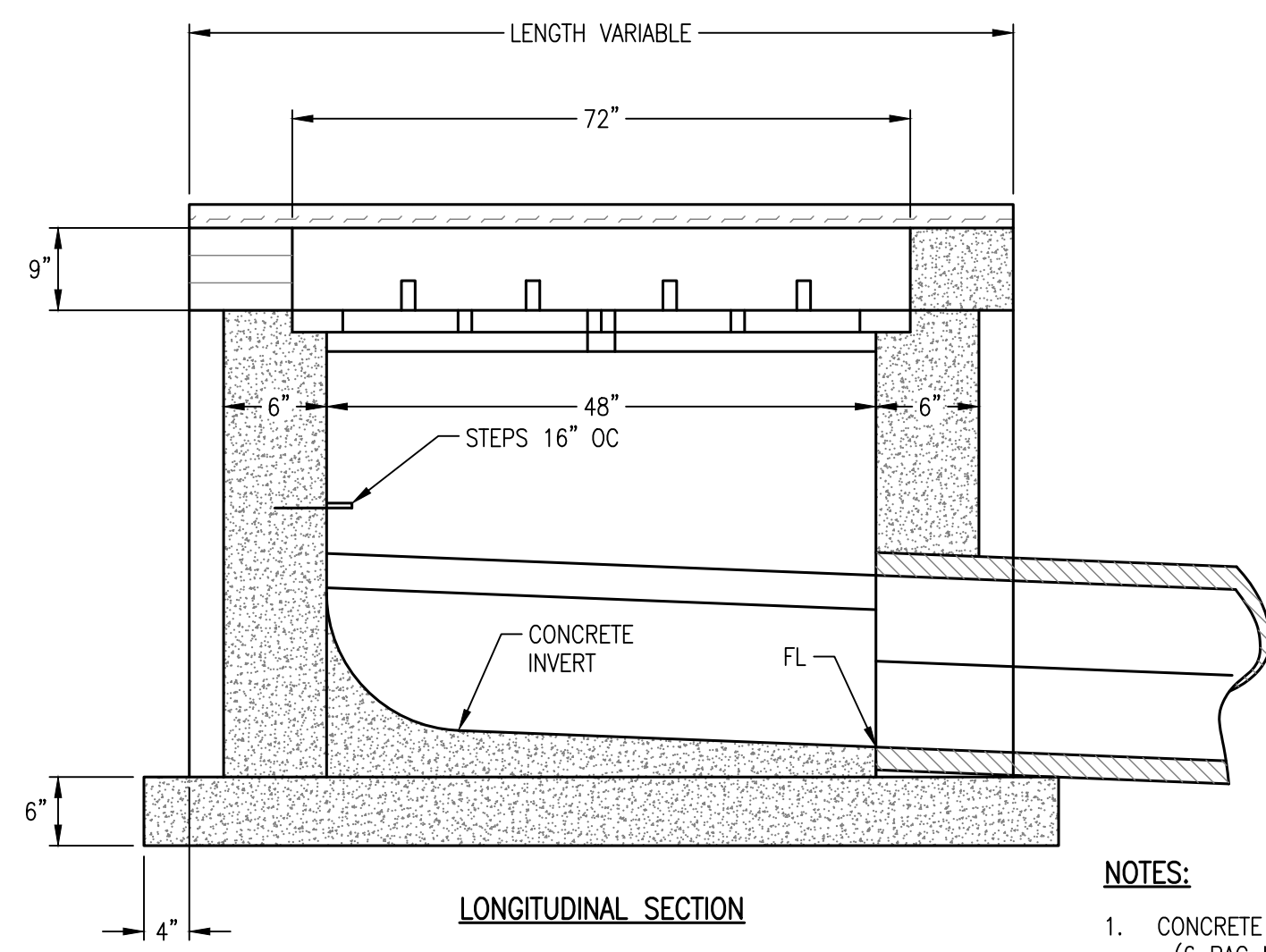
**Pickering**  
Pickering Firm, Inc.  
Architecture - Engineering  
Planning - Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**Pinnacle Point at Bryant**  
**Assisted Living Facility**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5**  
**BRYANT, AR**

SEAL:  
ARKANSAS  
REGISTERED  
PROFESSIONAL  
ENGINEER  
No. 14484  
HARVEY T. WATNEY  
10/18/2021

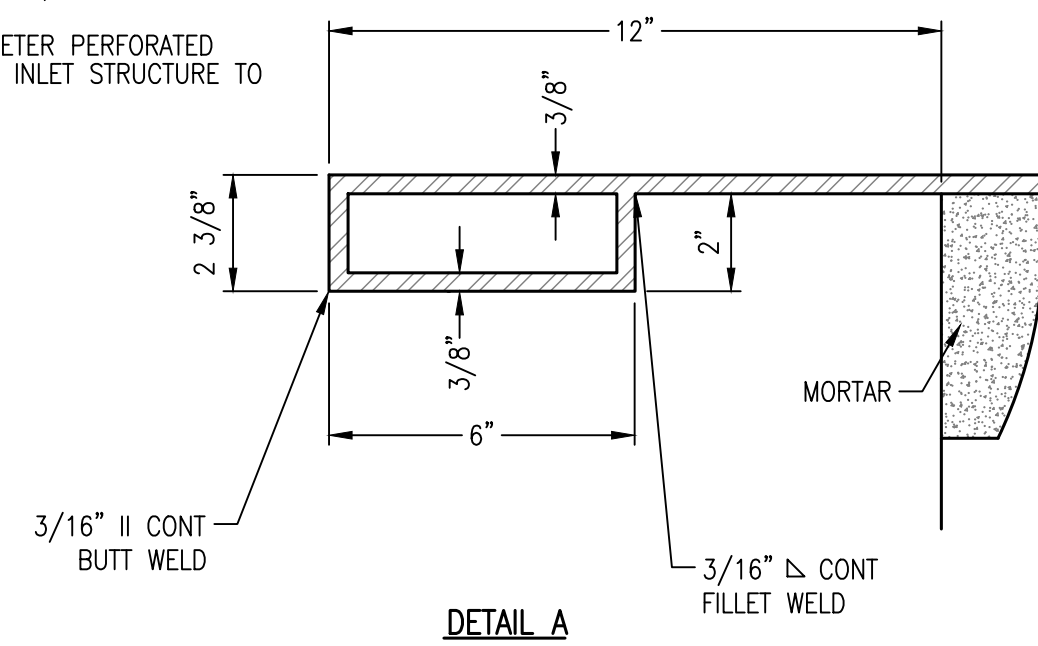
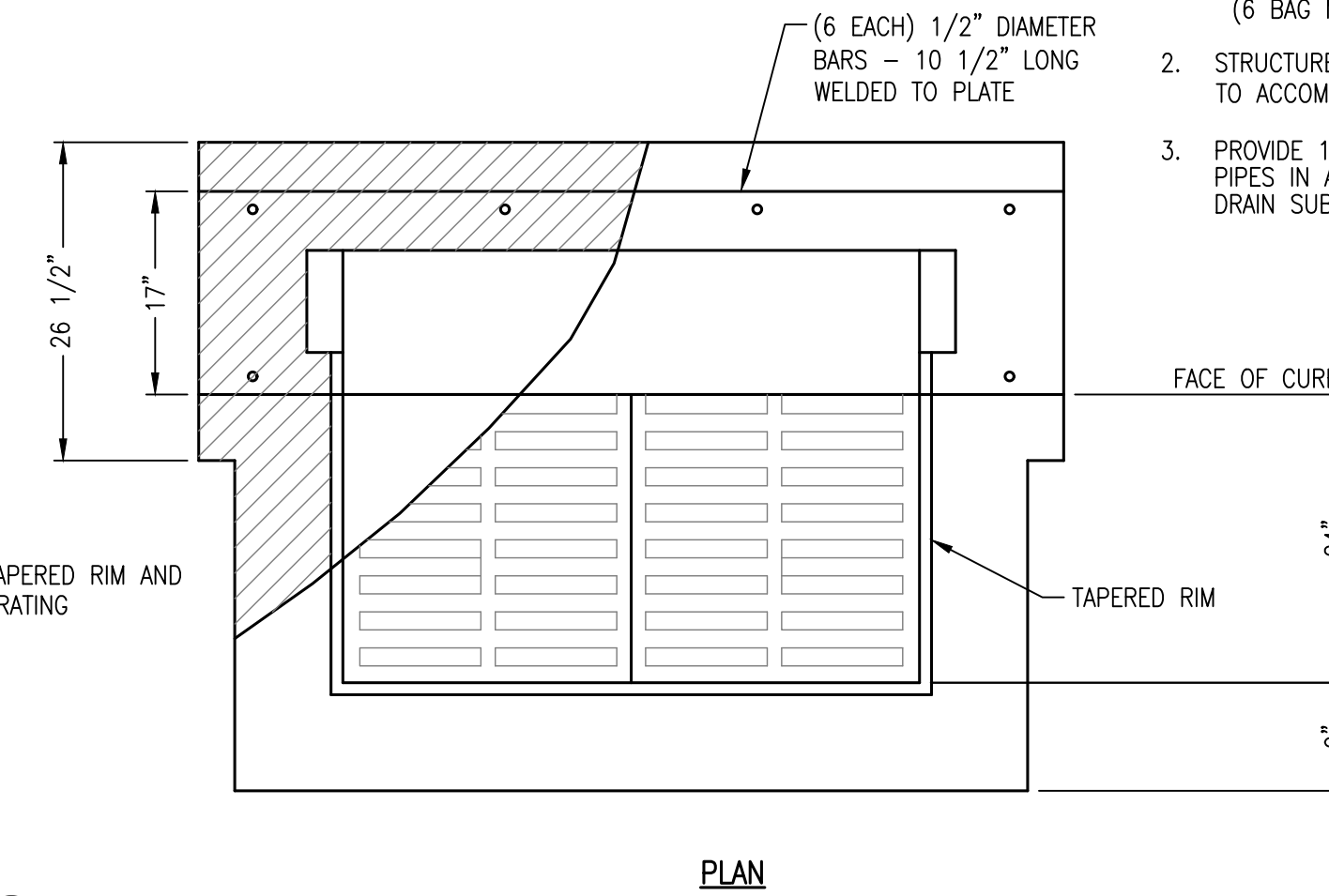
SHEET NUMBER:  
**C-510**  
DESCRIPTION:  
GRADING & DRAINAGE  
DETAILS

K:\25526.01\CAD\PLANS\C-510 GRADING & DRAINAGE DETAILS.DWG



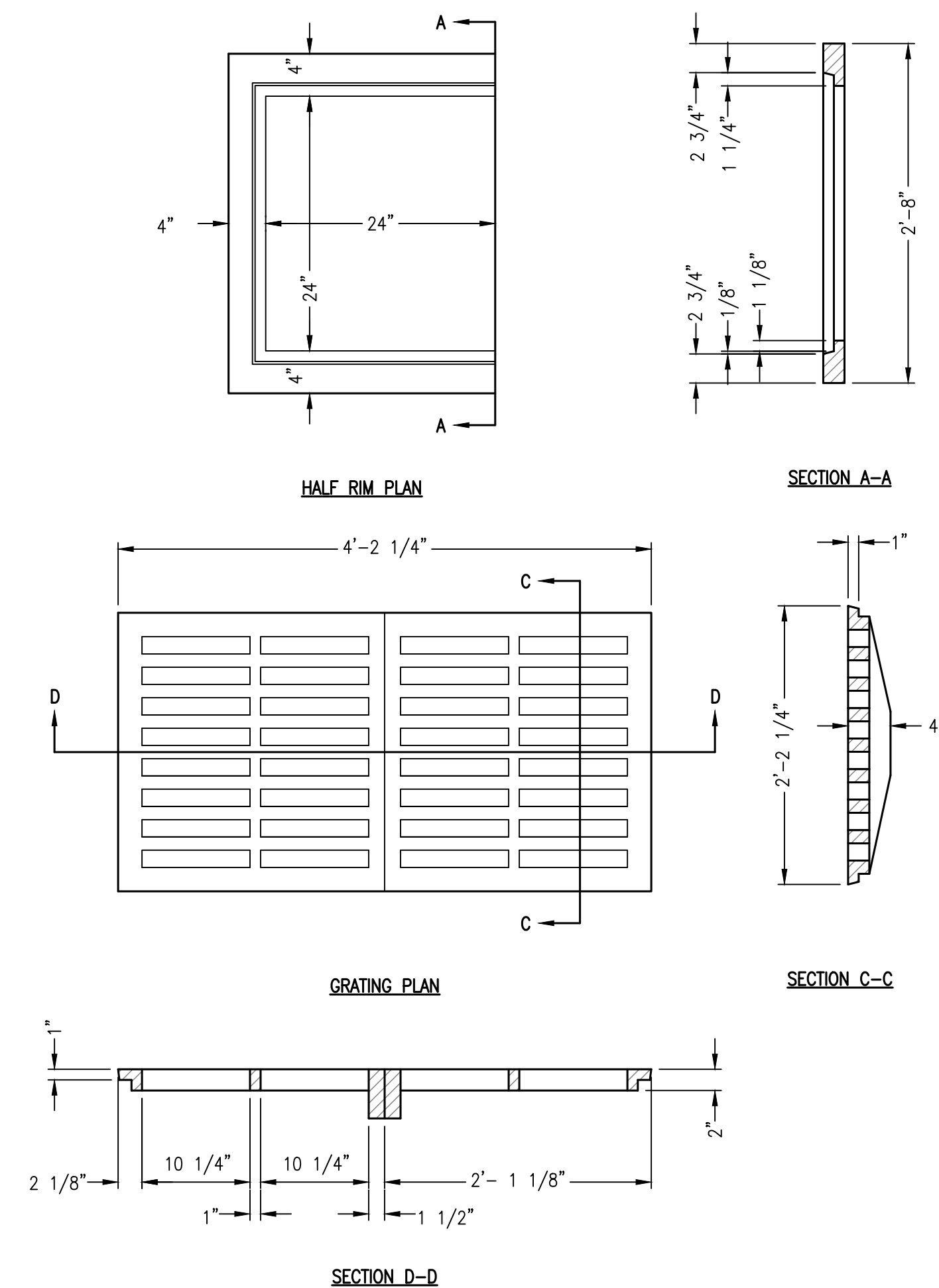
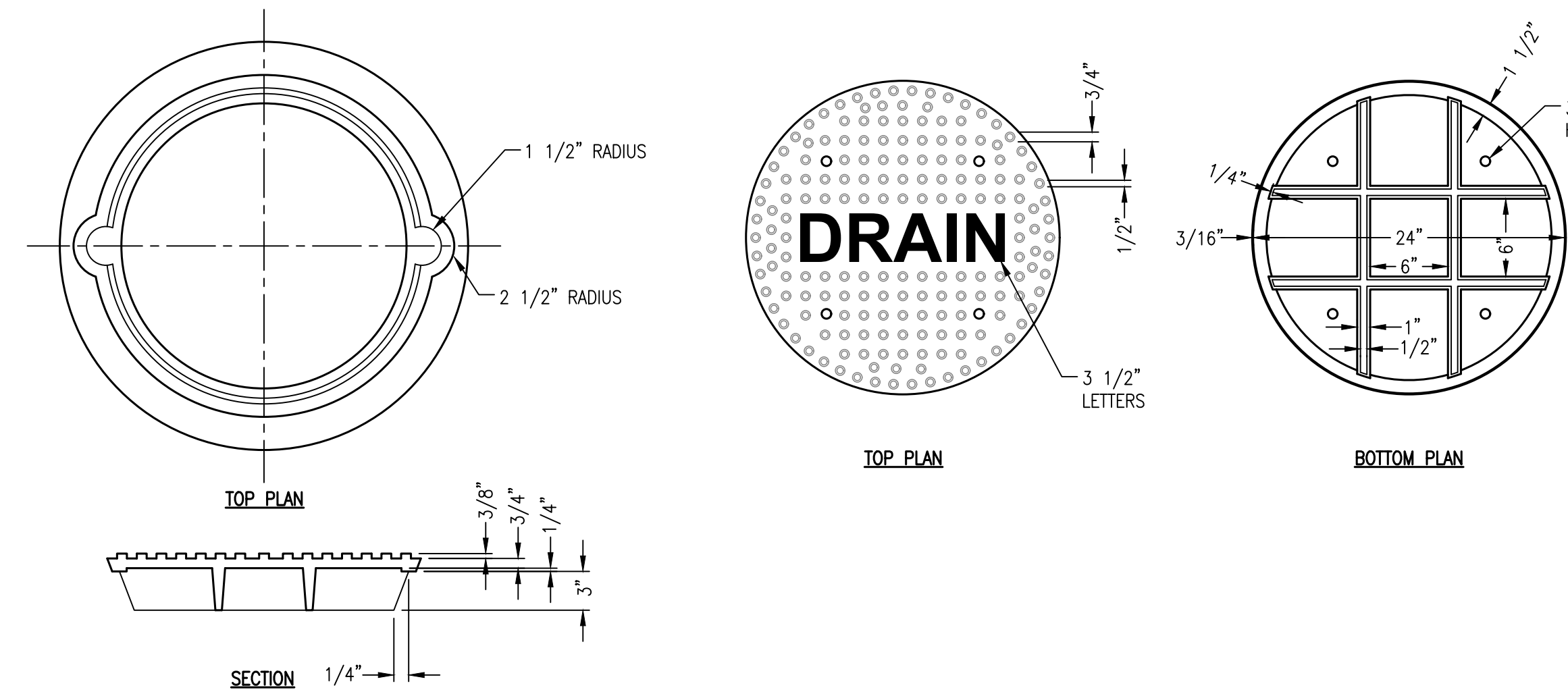
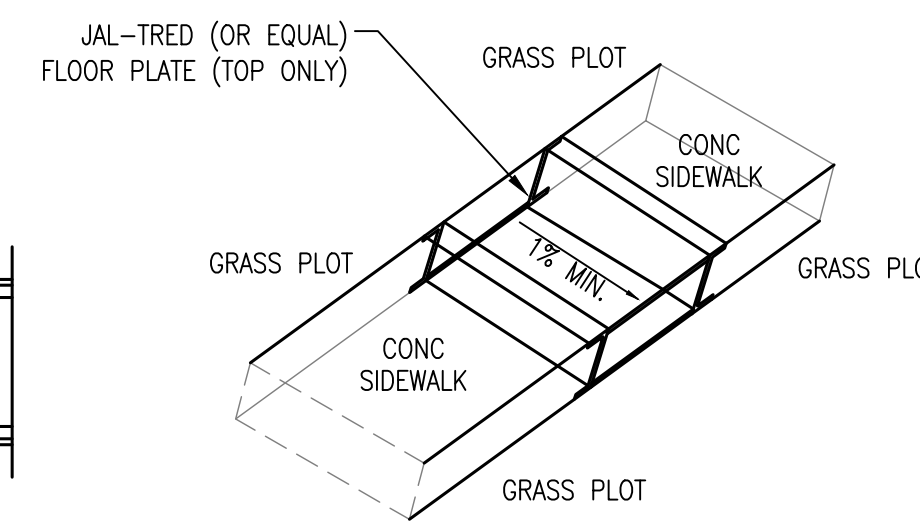
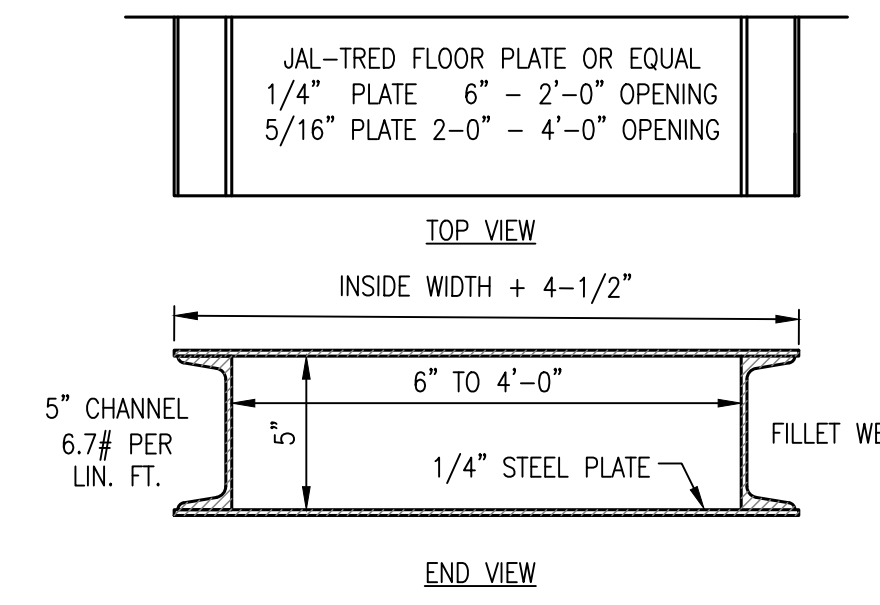
**NOTES:**

1. CONCRETE TO BE 3,500 PSI. (6 BAG MINIMUM)
2. STRUCTURE SIZE SHALL BE INCREASED AS NEEDED TO ACCOMMODATE PIPE SIZE AND/OR ANGLES.
3. PROVIDE 10' LONG x 4" DIAMETER PERFORATED PIPES IN ALL FOUR SIDES OF INLET STRUCTURE TO DRAIN SUBGRADE.

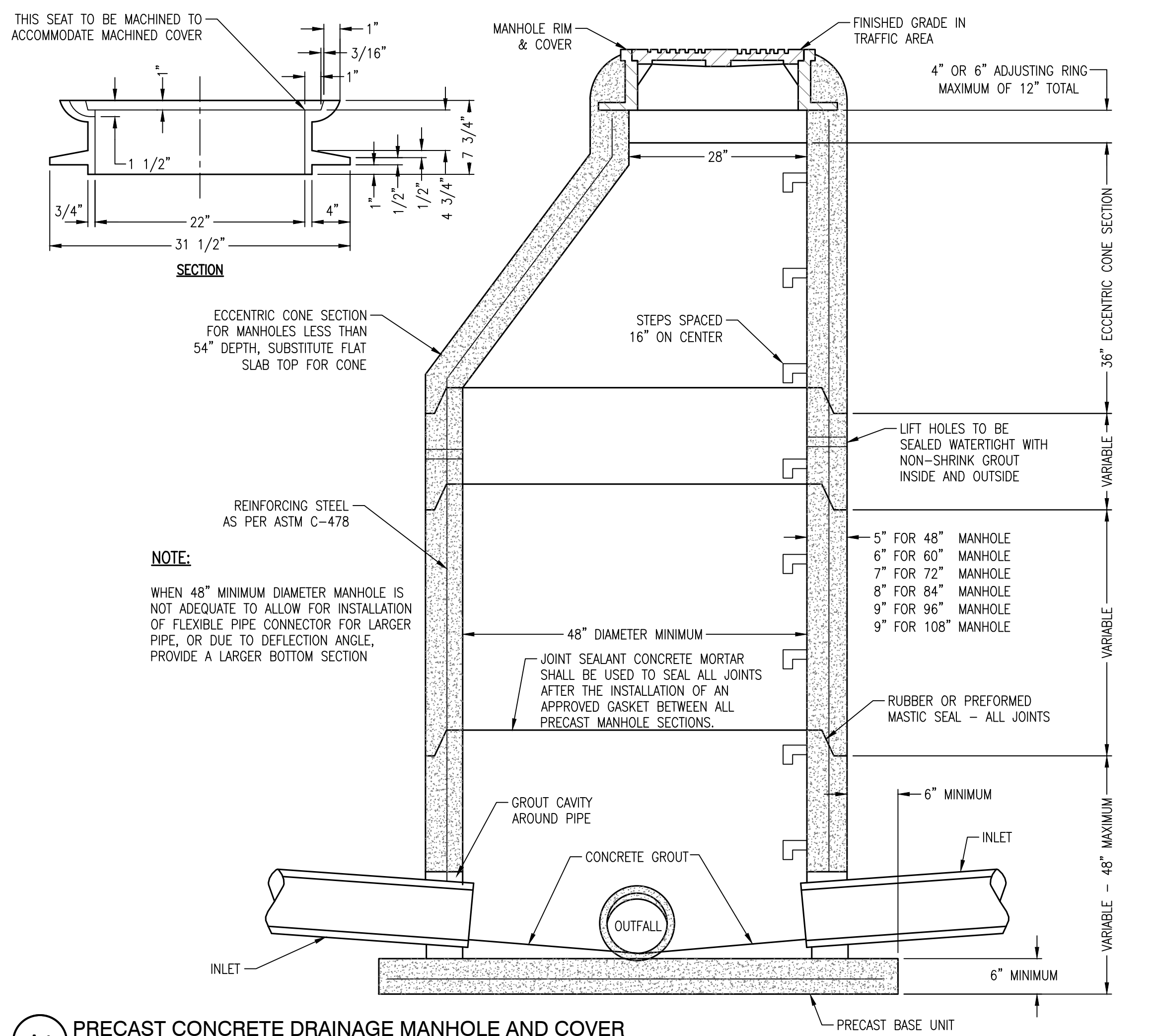


**C1 CURB INLET**  
NOT TO SCALE

**D4 PREFABRICATED SIDEWALK DRAIN**  
NOT TO SCALE



**A1 2X4 INLET GRATE**  
NOT TO SCALE



**A4 PRECAST CONCRETE DRAINAGE MANHOLE AND COVER**  
NOT TO SCALE

REVISIONS:


PROJECT #: 25526.01  
DATE: OCTOBER 18, 2021  
DRAWN BY: KNR  
DESIGNER: GJC  
CHECKED BY: HWM

**Pickering**  
Pickering Firm, Inc.  
Architecture • Engineering  
Planning • Surveying  
6363 Poplar Avenue, Suite 300  
Memphis, TN 38119  
901.726.0010

**PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY**  
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)  
**STATE HIGHWAY # 5 BRYANT, AR**

SEAL:  
REGISTERED PROFESSIONAL ENGINEER  
No. 14484  
HARVEY T. WATNEY  
10/18/2021

SHEET NUMBER:  
**C-511**

DESCRIPTION:  
GRADING & DRAINAGE  
DETAILS

K:\25526.01\CAD PLANS\C-511 GRADING & DRAINAGE DETAILS.DWG

**Appendix B**  
**Inspection Forms**



NORTH

0 25 50 100

1 INCH = 50 FEET

# LANDMARK LIFESTYLES ASSISTED LIVING AND MEMORY CARE CENTER STORMWATER DETENTION POND INSPECTION REPORT

DATE: \_\_\_\_/\_\_\_\_/\_\_\_\_

BANK SLOPES AND BERM


INFLOW PIPE, HEADWALL, AND RIPRAP


SIDEWALK DRAIN, FLUME, AND RIPRAP


ADDITIONAL COMMENTS


OUTFLOW PIPE, HEADWALL, AND TRASH SCREEN


OUTFLOW PIPE, HEADWALL, AND RIPRAP
