



Bryant Development Review Committee Meeting

Thursday, October 14, 2021

9:00 AM

Boswell Municipal Complex-City Hall Courtroom
210 SW 3rd Street

Or watch live on YouTube at:

<https://www.youtube.com/c/BryantArkansas>

Agenda

CALL TO ORDER

NEW BUSINESS

1. St Regis at Hurricane Lake - 4013 Springhill Road - Rezoning
Keith Johnson - Requesting Recommendation for Approval of Rezoning *from R-2 to R-1*
2. 4916 N. Shobe Road - Rezoning
Michael Bolin and Assoc. - Requesting Recommendation for Approval of Rezoning *From R-E to R-1*

REQUEST TO ADD

1. Pinnacle Point Assisted Living at Bryant - Hwy 5
Integrity Construction - Requesting Recommendation for Site Plan Re-Approval

STAFF APPROVED

1. Wingstop - 5311 HWY 5 - Sign
*Ace Sign Company - Requesting Approval for Facade Sign - **Staff Approved***
2. Bryant Family Chiropractic - 3405 Marketplace Dr - Sign
*Arkansas Sign and Neon - Requesting Approval for Facade Sign - **Staff Approved***
3. Anytime Fitness - 105 Progress Way - Sign
*Action Sign and Neon - Requesting Approval for Facade Sign - **Staff Approved Front Facade Sign Only***

PERMIT REPORT

ADJOURNMENT



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: September 30, 2021

Applicant or Designee:	Property Owner (If different from Applicant):
Name <u>St. Regis at Hurricane Lake, LLC</u>	Name _____
Address <u>4013 Springhill Rd.</u>	Address _____
Phone <u>(501) 940-8309</u>	Phone _____
Email Address <u>Cammie@conwaycorp.net</u>	Email Address _____

Property Information:

Address 4013 Springhill Rd.

Parcel Number 84011853-002

Existing Zoning Classification R-02

Requested Zoning Classification R-01

Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and black descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map

Additional Requirements:

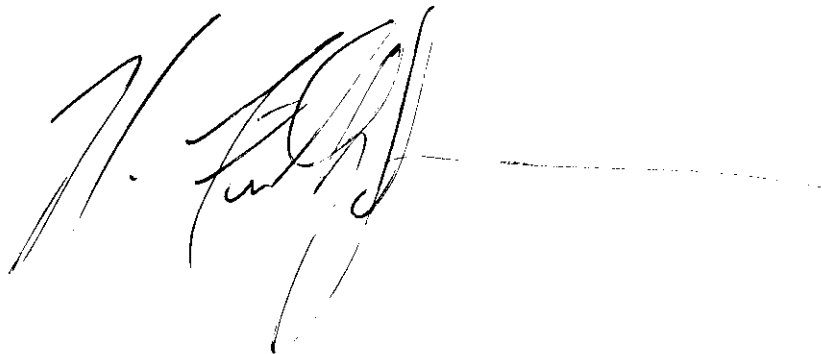
Items below must be completed before the public hearing can occur. Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I N. Keith Johnson, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.



St. Regis at Hurricane Lake, LLC
4013 Springhill Road
Bryant, AR 72019

Telephone : (501) 847-6888

e-mail: st.regisliving@gmail.com

September 30, 2021

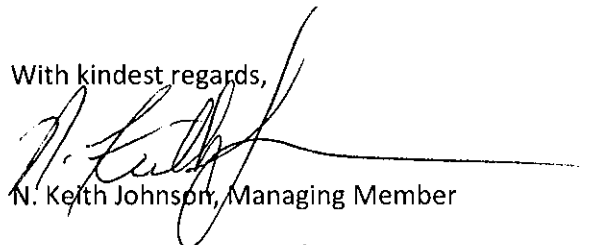
City of Bryant, Arkansas
Community Development
210 SW 3rd Street
Bryant, AR 72022

Re: Rezoning request, 4013 Springhill Rd.

To Whom It May Concern:

St. Regis at Hurricane Lake, LLC requests a rezoning of its property located at 4013 Springhill Rd., Bryant, AR 72019 from R-2 Single Family to R-1 for the construction of up to six (6) duplex units. We are looking at expanding our duplex facility on this property which lies in Bryant, Arkansas (the existing units are in Benton city limits). The legal description of this property is attached to this letter as Exhibit "A". We respectfully request this rezoning request be placed on the earliest available Planning Commission Agenda.

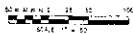
With kindest regards,



N. Keith Johnson, Managing Member

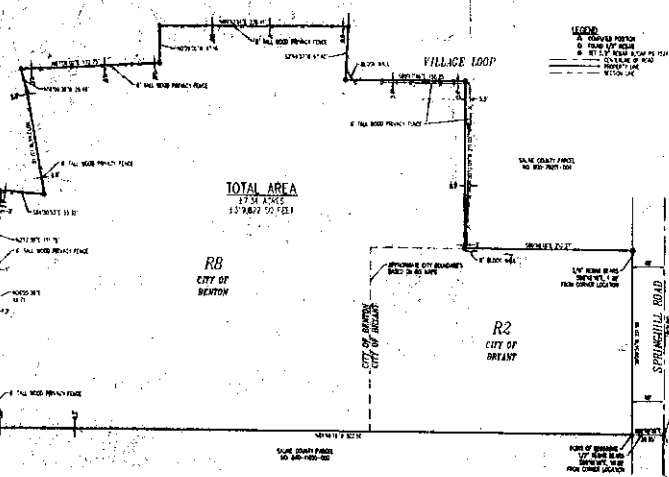
St. Regis at Hurricane Lake, LLC

SURVEY TRAIL DESCRIPTION
THE SURVEY TRAIL DESCRIBED IN THIS REPORT IS A SURVEY TRAIL... (The text is extremely small and mostly illegible, but appears to be a detailed description of the survey trail.)



~THE VILLAGE AT HURRICANE LAKE PHASE II~

HURRICANE LAKE ESTATES PHASE III



GENERAL SURVEY NOTES
1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. ALL BEARINGS ARE TRUE BEARINGS EXCEPT WHERE SHOWN OTHERWISE.
3. THE TOTAL AREA OF THE SURVEY TRAIL IS 157,882.90 S.F.
4. THE SURVEY TRAIL IS BOUNDARY SURVEY.
5. THE SURVEY TRAIL IS A SURVEY TRAIL... (The text is mostly illegible due to small font size.)



SURVEY TRAIL DESCRIPTION
THE SURVEY TRAIL DESCRIBED IN THIS REPORT IS A SURVEY TRAIL... (The text is mostly illegible due to small font size.)

GENERAL SURVEY NOTES
1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. ALL BEARINGS ARE TRUE BEARINGS EXCEPT WHERE SHOWN OTHERWISE.
3. THE TOTAL AREA OF THE SURVEY TRAIL IS 157,882.90 S.F.
4. THE SURVEY TRAIL IS BOUNDARY SURVEY.
5. THE SURVEY TRAIL IS A SURVEY TRAIL... (The text is mostly illegible due to small font size.)

GENERAL SURVEY NOTES
1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. ALL BEARINGS ARE TRUE BEARINGS EXCEPT WHERE SHOWN OTHERWISE.
3. THE TOTAL AREA OF THE SURVEY TRAIL IS 157,882.90 S.F.
4. THE SURVEY TRAIL IS BOUNDARY SURVEY.
5. THE SURVEY TRAIL IS A SURVEY TRAIL... (The text is mostly illegible due to small font size.)

ENGINEERING, INC.
BOUNDARY SURVEY
A PART OF THE NE 1/4 SE 1/4 SECTION 17, TOWNSHIP 14 WEST
ST. REGS AT HURRICANE LAKE, LLC
SALINE COUNTY ARKANSAS

DATE	BY	SCALE

NO.	DATE	REVISIONS
1		

STATE OF ARKANSAS
COUNTY OF SALINE
PUBLIC RECORDS
FILE NO. 001
FILE DATE 10/20/2020

THIS INSTRUMENT PREPARED BY:
Sycara Higgins & Butler, PLLC
113 South Market Street, Heavener, AR 72015

FILED
SALINE COUNTY
CIRCUIT CLERK

2011 MAR -8 PM 12:31



COMMISSIONER'S DEED

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, in the Circuit Court of Saline County, Arkansas, on the 9th day of November, 2010 it was ordered, adjudged and decreed in a case styled Summit Bank vs. T & R Properties, L.L.C. et al, Case No. CV-2009-1430-3, that the Plaintiff, Summit Bank, have judgment against the Defendants, T & R Properties, L.L.C.; St. Regis Development Company, L.L.C.; Robert Denton; Tommy Denton; The Malvern National Bank and Lewis Lumber & Supply, for the property names in Paragraph 3 of the original Complaint filed herein in the sum of \$104,609.67, with interest thereon until paid at the rate of \$28.46 per day from October 20, 2009, together with the cost of said action and attorney's fees in the amount of \$5,000.00 and it was decreed that all of the right, title, interest, equity and estate of T & R Properties, L.L.C., St. Regis Development Company, L.L.C., Robert Denton, Tommy Denton, The Malvern National Bank and Lewis Lumber & Supply, as well as all rights of redemption of Defendants T & R Properties, L.L.C.; St. Regis Development Company, L.L.C.; Robert Denton and Tommy Denton, in and to the property hereinafter described be foreclosed and forever barred, and that upon default in the payment of said judgment, interest, attorney's fee, and costs, this Commissioner should give notice of the time, terms and place of sale and sell at public auction to the highest bidder, on a credit of three months, at the front door of the county courthouse of Saline County in Benton, Arkansas, between the hours of nine o'clock in the morning and three o'clock in the afternoon, following proper publication of notice, the following described property:

TRACT 1: PART OF THE SE1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS NOW KNOWN AS: MORE FULLY DESCRIBED AS FOLLOWS: Commencing at the Southeast corner of said SE1/4 and run thence N01°06'E, along the East line thereof, for 1320 feet; thence N89°55'W for 15.86 feet to the West line of Springhill Road; run thence N00°12'W, along the West line of road for 61 feet to the point of beginning of land herein described; run thence N89°55'W for 340.96 feet; thence N01°06'E, parallel with the East line of said SE1/4 for 171.45 feet; thence S89°55'E for 337.06 feet to the West line of said road; run thence S00°12'W, along the West line of road, for 171.44 feet to the point of beginning, containing 1.40 acres, more or less AND TRACT 2: ALL THAT PART OF THE SE1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS MORE FULLY DESCRIBED AS FOLLOWS: Commencing at the Southeast corner of said SE1/4 and run thence N01°06'E, along the East line thereof for 1320 feet; thence N89°55'W for 15.86 feet to the West line of Springhill Road and the point of beginning of the land herein described; thence N00°12'W, along the West line of road for 61 feet, thence N89°55'W 340.96 feet; thence S01°06'E, parallel with the East line of said

948910 11

11016847

SE1/4 for 61 feet, more or less, to the South line of the N1/2 of SE1/4; thence S89°55'E 340.96 feet, more or less, to the point of beginning, containing .48 acres, more or less **AND LESS AND EXCEPT:** A 0.49 ACRE PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY ARKANSAS; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: Commencing at the SE corner of said NE1/4 of the SE1/4; thence S89°46'43"W 355.86 feet; thence N 00°12'57"E 60.99 feet to the point of beginning; thence N00°12'57"E 171.43 feet; thence N89°50'09"E 117.03 feet; thence S00°12'14"W 39.32 feet; thence S19°37'11"E 34.87 feet; thence S03°19'07"E 21.32 feet; thence S03°20'29"E 59.67 feet; thence S60°32'03"W 37.30 feet; thence S89°46'35"W 101.48 feet to the point of beginning.

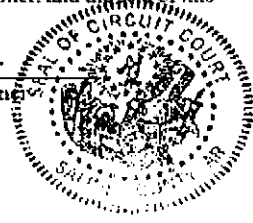
AND WHEREAS, said sale was conducted according to the judgment and decree of said court and in accordance with Arkansas law, which sale was duly reported to the court and approved by the court in an order dated March 8, 2011 and the undersigned Commissioner was directed to make a deed to the purchaser, Summit Bank, who offered the highest and best bid at said sale;

AND WHEREAS, the undersigned Commissioner and the Grantee named herein, who was the purchaser at said sale, have in all respects complied with and conformed to Arkansas law, and their respective actions have been approved by and have been in accordance with the orders of the court,

NOW THEREFORE, Dennis Milligan, as Commissioner, acting for and on behalf of the Circuit Court of Saline County, Arkansas, and in accordance with its Order and Decree, in consideration of the premises and of the sum of Ninety Thousand and no 100 Dollars (\$90,000.00) does hereby grant, bargain, sell and convey unto Summit Bank, Grantee, and unto its successors and assigns forever, together with all tenements, hereditaments and appurtenances thereunto belonging.

In Witness Whereof, I have hereunto affixed my hand as Commissioner, and the seal of this court, this 8th day of March, 2011

Dennis Milligan
Dennis Milligan, Commissioner



ACKNOWLEDGEMENT

STATE OF ARKANSAS)
)ss.
COUNTY OF SALINE)

Be it remembered that on this day personally appeared before the undersigned, a Notary Public, within the County and State aforesaid, Dennis Milligan who acknowledged that he was the Commissioner in the aforesaid case and as said Commissioner had executed the foregoing instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this 8th day of March, 2011

My Commission Expires: 02/01/2012

Deanna Lewis
NOTARY PUBLIC



FILED FOR RECORD

Deanna Lewis *4/6*

MAR 08 2011

10:31 AM
DENNIS MILLIGAN, CIRCUIT CLERK
Deanna Lewis DC



Early order 2010:01-01-01: See attached for at least one page 1 corner with a 60-11-day stamp that has placed in the instrument. Expiration of commission period 1/1/2012.

WITNESS MY HAND AND SEAL OF OFFICE
Summit Bank
1500 Military Road
PO Box 1529, Benton AR 72015

THIS INSTRUMENT PREPARED BY
Spears Beffman & Butler, PLLC
113 South Market Street, Benton, AR 72015

FILED
SALINE COUNTY
CIRCUIT CLERK

2011 MAR -9 PM 02:34


BY _____

COMMISSIONER'S DEED

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, in the Circuit Court of Saline County, Arkansas, on the 9th day of November, 2010 it was ordered, adjudged and decreed in a case styled Summit Bank vs T & R Properties, LLC, et al, Case No. CV-2009-1430-3, that the Plaintiff, Summit Bank, have judgment against the Defendants, T & R Properties, LLC; St. Regis Development Company, LLC; Robert Denton; Tommy Denton; The Malvern National Bank and Lewis Lumber & Supply, for the property names in Paragraph 3 of the original Complaint filed herein in the sum of \$104,609.67, with interest thereon until paid at the rate of \$28.46 per day from October 20, 2009, together with the cost of said action and attorney's fees in the amount of \$5,000.00 and it was decreed that all of the right, title, interest, equity and estate of T & R Properties, LLC, St. Regis Development Company, LLC, Robert Denton, Tommy Denton, The Malvern National Bank and Lewis Lumber & Supply, as well as all rights of redemption of Defendants T & R Properties, LLC; St. Regis Development Company, LLC; Robert Denton and Tommy Denton, in and to the property hereinafter described be foreclosed and forever barred, and that upon default in the payment of said judgment, interest, attorney's fee, and costs, this Commissioner should give notice of the time, terms and place of sale and sell at public auction to the highest bidder, on a credit of three months, at the front door of the county courthouse of Saline County in Benton, Arkansas, between the hours of nine o'clock in the morning and three o'clock in the afternoon, following proper publication of notice, the following described property:

TRACT 1: PART OF THE SE1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS NOW KNOWN AS: MORE FULLY DESCRIBED AS FOLLOWS: Commencing at the Southeast corner of said SE1/4 and run thence N01°06'E, along the East line thereof, for 1320 feet; thence N89°55'W for 15.86 feet to the West line of Springhill Road; run thence N00°12'W, along the West line of road for 61 feet to the point of beginning of land herein described; run thence N89°55'W for 340.96 feet; thence N01°06'E, parallel with the East line of said SE1/4 for 171.45 feet; thence S89°55'E for 337.06 feet to the West line of said road; run thence S00°12'W, along the West line of road, for 171.44 feet to the point of beginning, containing 1.40 acres, more or less AND TRACT 2: ALL THAT PART OF THE SE1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS MORE FULLY DESCRIBED AS FOLLOWS: Commencing at the Southeast corner of said SE1/4 and run thence N01°06'E, along the East line thereof for 1320 feet; thence N89°55'W for 15.86 feet to the West line of Springhill Road and the point of beginning of the land herein described; thence N00°12'W, along the West line of road for 61 feet, thence N89°55'W 340.96 feet; thence S01°06'E, parallel with the East line of said

648910 11

11016847

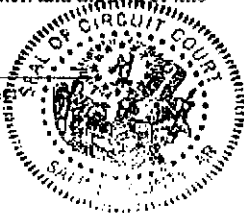
SE1/4 for 61 feet, more or less, to the South line of the N1/2 of SE1/4; thence S89°55'E 340.96 feet, more or less, to the point of beginning, containing .48 acres, more or less **AND LESS AND EXCEPT:** A 0.49 ACRE PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY ARKANSAS; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: Commencing at the SE corner of said NE 1/4 of the SE 1/4; thence S89°46'43"W 355.86 feet; thence N00°12'57"E 60.99 feet to the point of beginning; thence N00°12'57"E 171.43 feet; thence N89°50'09"E 117.03 feet; thence S00°12'14"W 39.32 feet; thence S19°37'11"E 34.87 feet; thence S03°19'07"E 21.32 feet; thence S03°20'29"E 59.67 feet; thence S60°32'03"W 37.30 feet; thence S89°46'35"W 101.48 feet to the point of beginning.

AND WHEREAS, said sale was conducted according to the judgment and decree of said court and in accordance with Arkansas law, which sale was duly reported to the court and approved by the court in an order dated March 8, 2011 and the undersigned Commissioner was directed to make a deed to the purchaser, Summit Bank, who offered the highest and best bid at said sale;

AND WHEREAS, the undersigned Commissioner and the Grantee named herein, who was the purchaser at said sale, have in all respects complied with and conformed to Arkansas law, and their respective actions have been approved by and have been in accordance with the orders of the court,

NOW THEREFORE, Dennis Milligan, as Commissioner, acting for and on behalf of the Circuit Court of Saline County, Arkansas, and in accordance with its Order and Decree, in consideration of the premises and of the sum of Ninety Thousand and no 100 Dollars (\$90,000.00) does hereby grant, bargain, sell and convey unto Summit Bank, Grantee, and unto its successors and assigns forever, together with all tenements, hereditaments and appurtenances thereunto belonging.

In Witness Whereof, I have hereunto affixed my hand as Commissioner, and the seal of this court, this 8th day of March, 2011

Dennis Milligan
Dennis Milligan, Commissioner


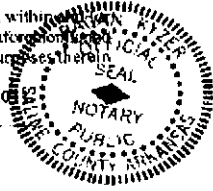
ACKNOWLEDGEMENT

STATE OF ARKANSAS)
) ss
COUNTY OF SALINE)

Be it remembered that on this day personally appeared before the undersigned, a Notary Public, within the County and State aforesaid, Dennis Milligan who acknowledged that he was the Commissioner in the aforesaid case and as said Commissioner had executed the foregoing instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this 8th day of March, 2011

My Commission Expires: 02/01/2012

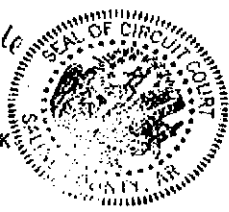
Ragan Lyzga
NOTARY PUBLIC


FILED FOR RECORD

Doc # 10011 *Pages 4/6*

MAR 08 2011

10:31 *P*
DENNIS W. JONES, CIRCUIT CLERK
Diana Jones DC



Early order 2010 12 8. See page 16. Put at least the large corner stamp of 60111-day early. The last stamp at the bottom. Easy to consider per 17500.0001

WITNESSES: Summit Bank
WITNESSES ADDRESS: 1800 Military Road
PO Box 1529, Benton AR 72015



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: September 24, 2021

Applicant or Designee:

Name _____
 Address _____
 Phone _____
 Email Address _____

Property Owner (If different from Applicant):

Name Lagniappe Development, Inc.
 Address 824 Tele Road, LR, AR 72223
 Phone 501-779-0477
 Email Address dcloud@cmsllc.cc

Property Information:

Address 4916 No. Shobe Rd., Bryant, AR
 Parcel Number 840-05916-000, 840-05917-000, 840-05922-000, 840-05923-000
 Existing Zoning Classification R-E
 Requested Zoning Classification R-1
 Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)
Lots 4, 5, 6,7,18, 19, 20, 21, Block 1, Midway Subdivision

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map


Additional Requirements:

Items below must be completed before the public hearing can occur. Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING


I, _____, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

MICHAEL BOLIN & ASSOCIATES, INC.

CONSULTING ENGINEERS
P.O. Box 605
BENTON, AR 72018-0605

September 29, 2021

Mr. Truett Smith
City of Bryant
210 Southwest 3rd Street
Bryant, AR 72022

Re: Lagniappe Development
Midway Subdivision
Bryant, Arkansas

Dear Mr. Smith:

This is to request rezoning of Lots 4, 5, 6, 7, 18, 19, 20 and 21, Block 1 of Midway Subdivision, Saline County, Arkansas.

We request that this property be rezoned from R-E to R-1.

Very truly yours,

MICHAEL BOLIN & ASSOCIATES, INC.



Michael Bolin, P.E.
President

MB:lo

September 24, 2021

Mr. Truett Smith
City of Bryant
210 Southwest 3rd Street
Bryant, AR 72022

Dear Mr. Smith:

I authorize Michael Bolin of Michael Bolin & Associates, Inc. to represent me in the rezoning process for property located at 4916 North Shobe Road, Bryant, Arkansas.

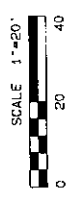
Very truly yours,

LAGNIAPPE DEVELOPMENT, INC.

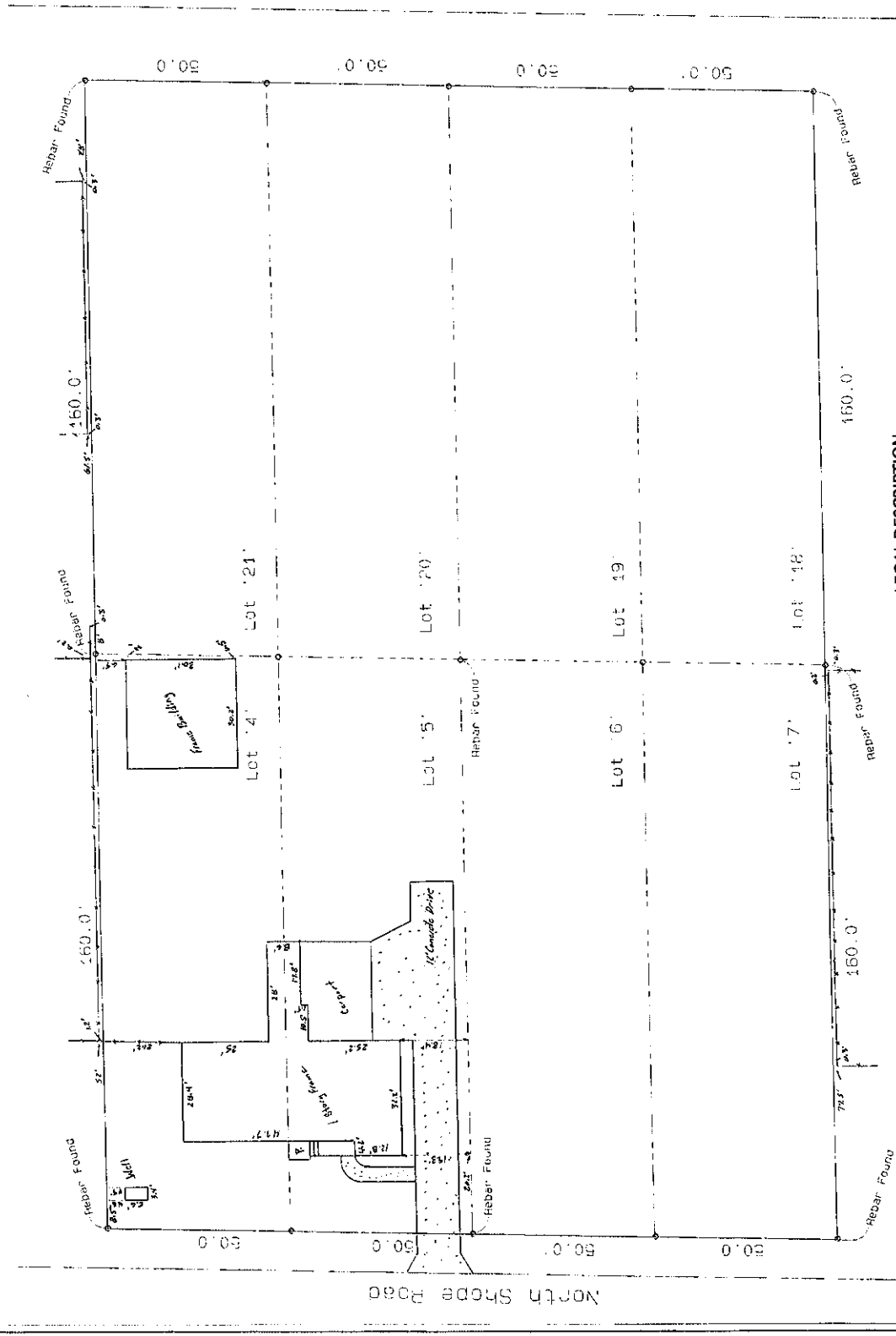


Dave Cloud
Property Owner

9/24/21



LEGEND:
 (F) - Found
 S.S. - See #5 Rebar Set w/ Cap
 P.O.B. - Point of Beginning
 C.P. - E.S. Stan Cunningham, Jr. PL 13 13175
 [---] - Fence



LEGAL DESCRIPTION

Lots 4, 5, 6, 7, 18, 19, 20 and 21, Block 1 of Midway Subdivision of the NW¼ of the NE¼, Section 13, Township 1 South, Range 14 West of Saline County, Arkansas.

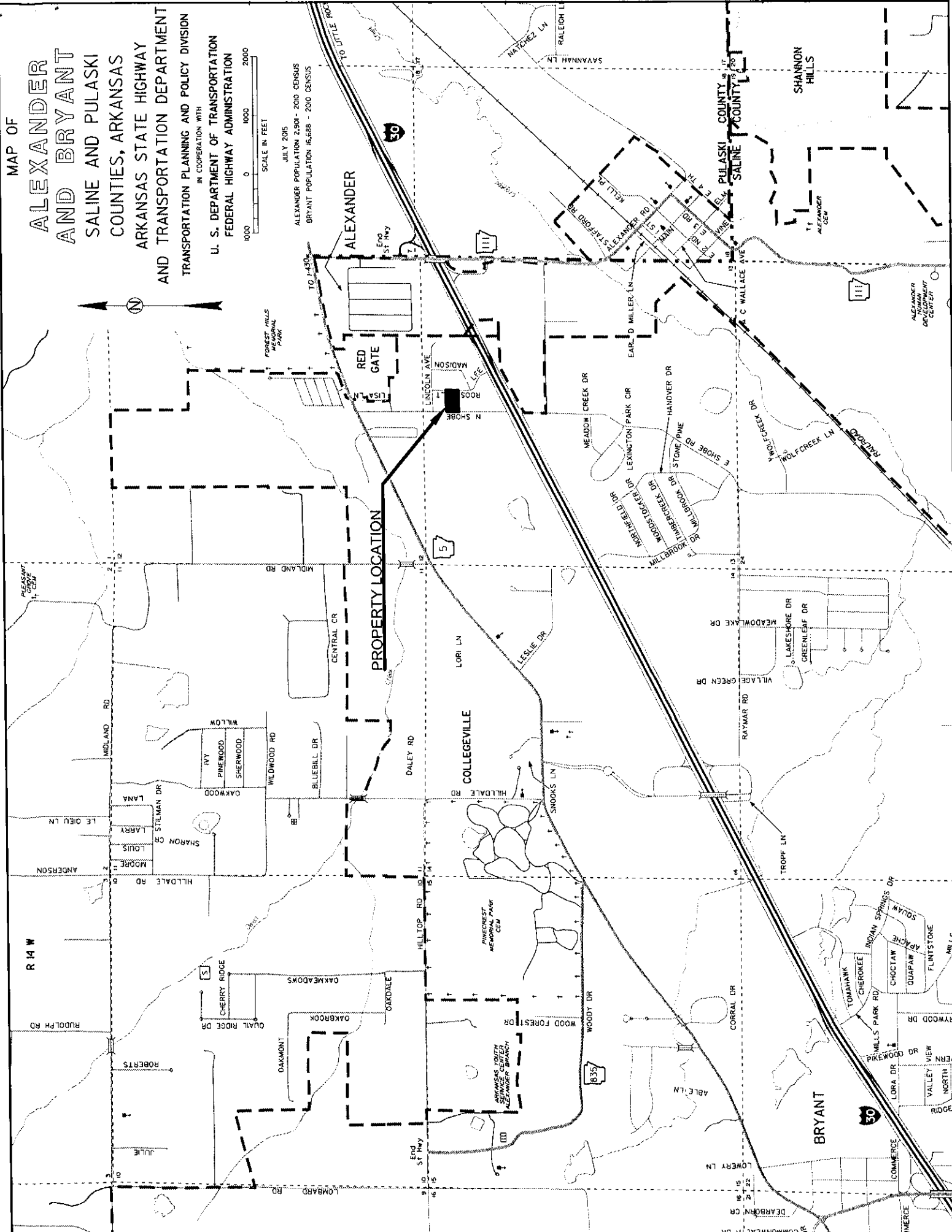


Prepared By: Cunningham Surveying, LLC
 E.S. Stan Cunningham, Jr.
 2105 Lorraine Drive
 Little Rock, AR 72206
 501-882-2535
 501-993-1389

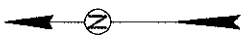
PROPERTY SURVEY
 Christena Baugh, Simmons First National Bank and
 First National Title Company
 Date: September 16, 2015
 Scale: 1" = 20'
 Address: 4916 N. Shore Road, Bryant, AR 72022

- NOTES:**
1. Basis of bearings - As per Plat
 2. This Survey was Based on:
 - (I) Adjacent Survey in the Field
 - (II) The Plat
 3. The plat is subject to any and all rules and Regulations, City or County that may apply.
 4. No monuments recorded or unrecorded were noted at this time except those mentioned.
 5. This survey was completed without the use and benefits of a complete and accurate title search.
 6. Contractor is responsible for verifying all measurements prior to beginning construction. (If Applicable)
 7. Declaration is made to original purchaser of the survey it is not transferable to additional institutions or subsequent owners.

This is to certify that the above described land has been surveyed. The corners are as marked as shown and are in accordance with existing monuments in the vicinity. This certification is for and limited to the parties shown herein.



MAP OF
**ALEXANDER
AND BRYANT**
SALINE AND PULASKI
COUNTIES, ARKANSAS
ARKANSAS STATE HIGHWAY
AND TRANSPORTATION DEPARTMENT
TRANSPORTATION PLANNING AND POLICY DIVISION
IN COOPERATION WITH
U. S. DEPARTMENT OF TRANSPORTATION
FEDERAL HIGHWAY ADMINISTRATION



SCALE IN FEET
1000 0 1000 2000

JULY 2015
ALEXANDER POPULATION 2,901 - 2000 CENSUS
BRYANT POPULATION 16,688 - 2000 CENSUS

SHEET INDEX

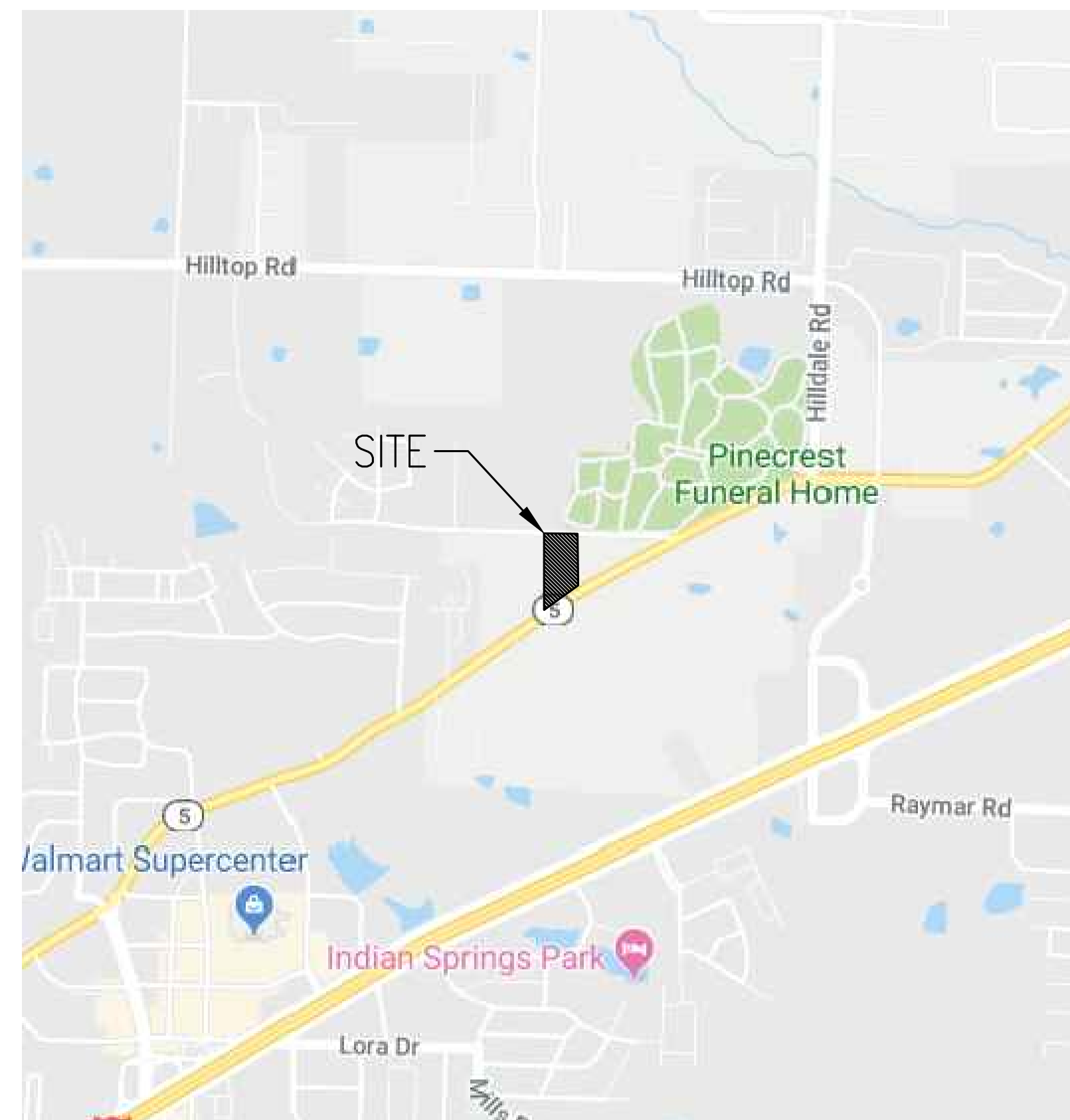
Sheet Number	Sheet Title
C-000	COVER SHEET
C-100	EXISTING CONDITIONS & DEMOLITION PLAN
C-110	OVERALL SITE PLAN
C-120	OVERALL GRADING & DRAINAGE PLAN
C-121	GRADING PLAN
C-130	OVERALL UTILITY PLAN
C-140	EROSION CONTROL PLAN- PHASE 1
C-141	EROSION CONTROL PLAN-PHASE 2
C-142	FINAL STABILIZATION PLAN
C-500	SITE DETAILS
C-510	GRADING & DRAINAGE DETAILS
C-511	GRADING & DRAINAGE DETAILS
C-520	UTILITY DETAILS
C-530	EROSION CONTROL DETAILS
L-100	OVERALL LANDSCAPE PLAN
L-101	LANDSCAPE PLAN & DETAILS
CS-001	GENERAL NOTES
CS-002	STRUCTURAL FRAMING PLANS AND DETAILS
CS-003	RETAINING WALL PLAN AND DETAILS

PERMIT SET

PINNACLE POINT AT BRYANT ASSISTED LIVING AND MEMORY CARE FACILITY

(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)

JULY 19, 2019



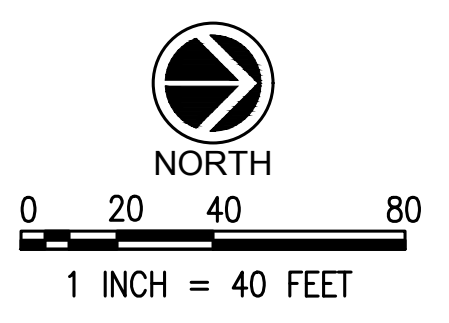
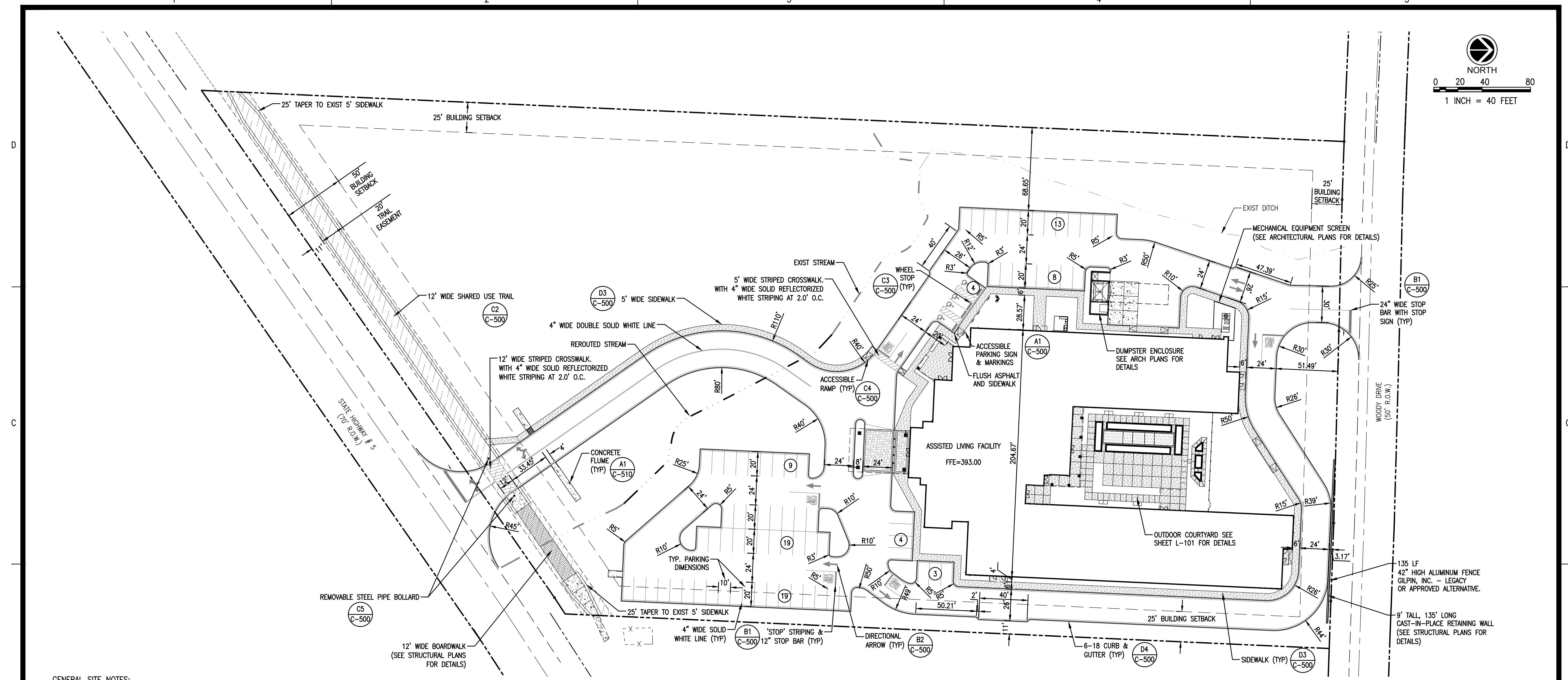
VICINITY MAP



Pickering Firm, Inc.
Architecture • Engineering
Planning • Surveying

6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF PICKERING FIRM, INC. DEvised SOLELY FOR THIS CONTRACT. THIS PLAN SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY PURPOSE FOR WHICH IT WAS NOT INTENDED WITHOUT THE WRITTEN PERMISSION FROM PICKERING FIRM, INC.



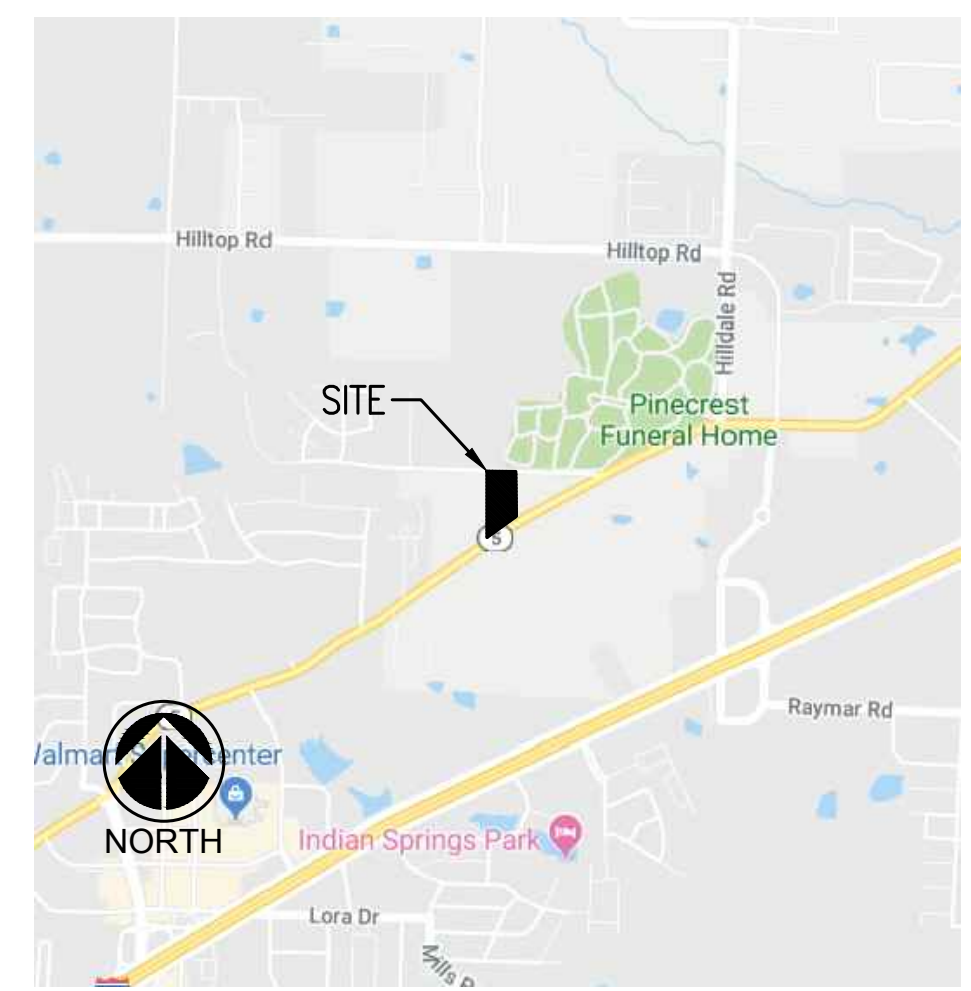
GENERAL SITE NOTES:

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
 - OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
 - CONTACT THE CITY OF BRYANT CONSTRUCTION INSPECTION OFFICE.
 - CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
 - NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
 - BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER ADEQ AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLID SOD OR HYDROMULCH WITH SEEDING.
- ALL CONSTRUCTION SHALL MEET THE CITY OF BRYANT TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL AN ONE CALL AT 811 FOR THE LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR AT NO TIME SHALL ENCRoACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

- ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
- ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
- FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
- ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXISTING UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
- CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.

SITE DATA:	
ZONING:	C-2 (HIGHWAY COMMERCIAL)
SITE AREA:	345,430 SF (7.93 AC)
BUILDING AREA:	41,000 (12% SITE AREA)
ROOMS:	79
PARKING REQUIRED:	79 (1/ROOM)
PARKING PROVIDED:	75 STANDARD SPACES 4 ACCESSIBLE SPACES 79 TOTAL SPACES

FLOOD NOTE:
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.



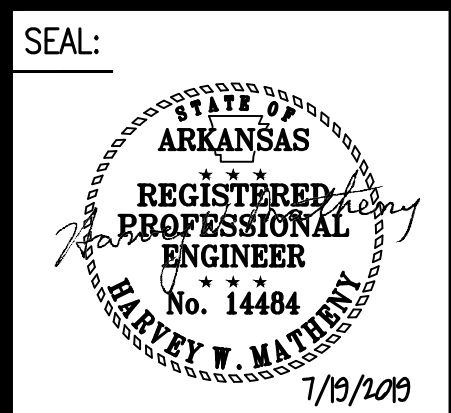
VICINITY MAP
NOT TO SCALE

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM



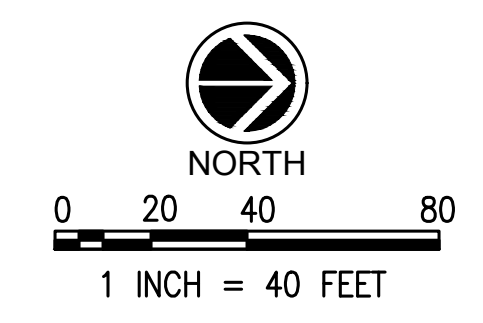
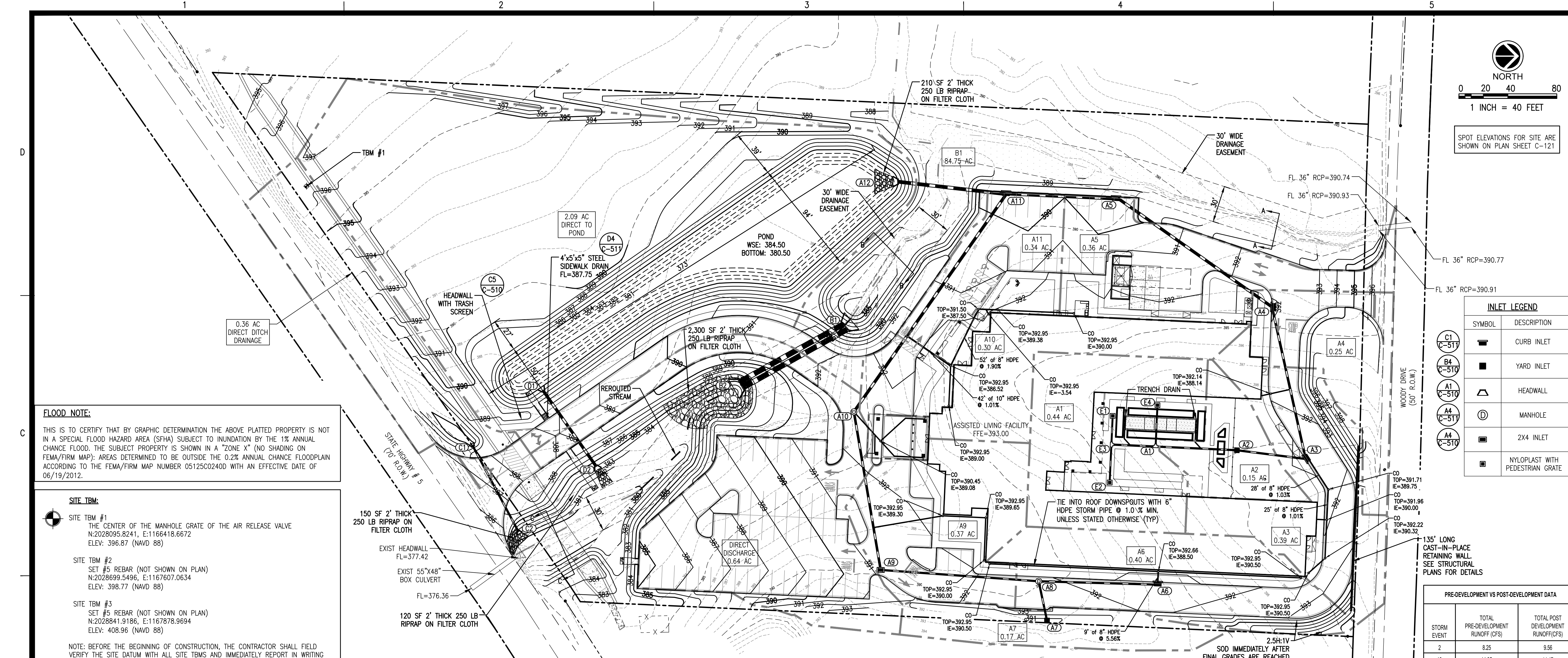
**PINNACLE POINT AT BRYANT
ASSISTED LIVING FACILITY**
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
**STATE HIGHWAY # 5
BRYANT, AR**



SHEET NUMBER:
C-110

DESCRIPTION:
OVERALL SITE PLAN

K:\25526.01\CAD PLANS\C-110 OVERALL SITE PLAN.DWG



SPOT ELEVATIONS FOR SITE ARE SHOWN ON PLAN SHEET C-121

INLET LEGEND	
SYMBOL	DESCRIPTION
	CURB INLET
	YARD INLET
	HEADWALL
	MANHOLE
	2X4 INLET
	NYLOPLAST WITH PEDESTRIAN GRATE

FLOOD NOTE:
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125002400 WITH AN EFFECTIVE DATE OF 06/19/2012.

SITE TBM:
SITE TBM #1
THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE
N:2028095.8241, E:1166418.6672
ELEV: 396.87 (NAVD 88)
SITE TBM #2
SET #5 REBAR (NOT SHOWN ON PLAN)
N:2028699.5496, E:1167607.0634
ELEV: 398.77 (NAVD 88)
SITE TBM #3
SET #5 REBAR (NOT SHOWN ON PLAN)
N:2028841.9186, E:1167878.9694
ELEV: 408.96 (NAVD 88)
NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

- GRADING AND DRAINAGE NOTES**
- CONTRACTOR TO VERIFY UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
 - PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - ESTABLISH PERMANENT VEGETATION WITH SEEDING OR SOLID SOD ON DISTURBED AREAS.
 - DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
 - SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.
 - CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED.
 - MAXIMUM SLOPE IN ANY DIRECTION AT HANDICAP PARKING AREAS IS 2%. IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE AT SIDEWALK IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
 - ADJUST TOPS ON CATCH BASINS AND CURB INLETS TO MEET FINAL GRADE.
 - STORM DRAINAGE PIPE SHALL BE CLASS III, REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 WITH BUTYL-MASTIC OR RUBBER GASKET JOINTS, ADS HP STORM PIPE, OR APPROVED ALTERNATIVE, PER THE DRAWING AND PROJECT SPECIFICATIONS.
 - EARTHWORK OPERATIONS SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 10, 2019.
 - FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698)
 - THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW 3% ABOVE OF THE OPTIMUM MOISTURE CONTENT.
 - SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
 - PROVIDE SUBGRADE FOR BUILDING PAD PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. THE EXPOSED SURFACE IN PAVEMENT OR BUILDING FLOOR AREAS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER AND MAY REQUIRE SOME IMPROVEMENTS IF THE MOISTURE CONTENTS ARE BEYOND ACCEPTABLE LIMITS.

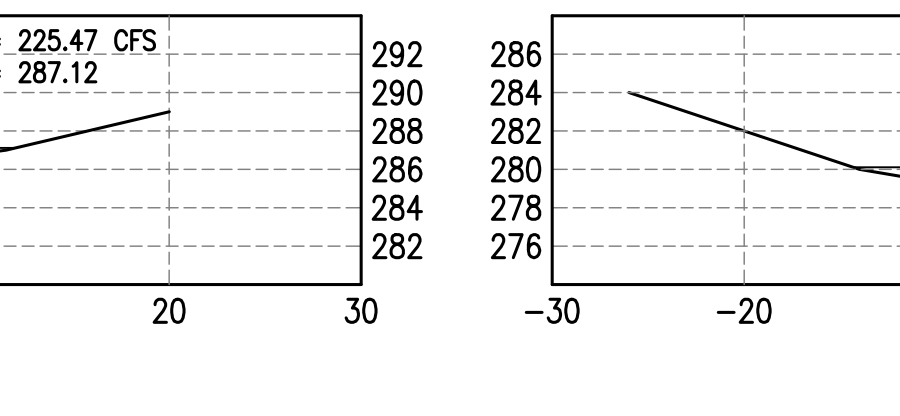
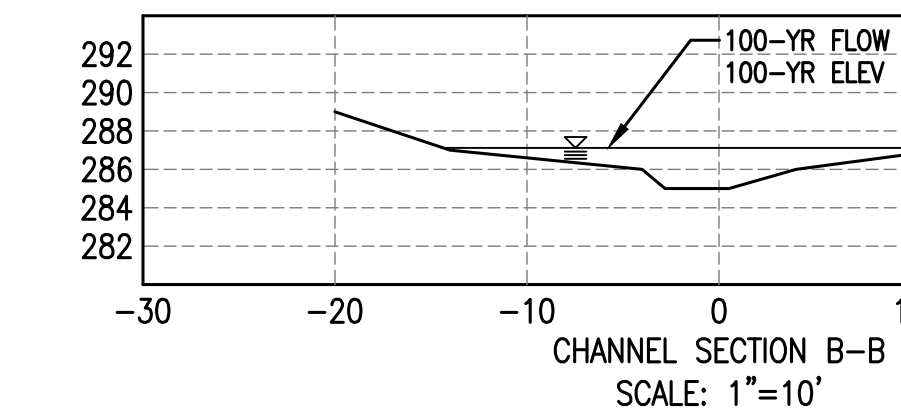
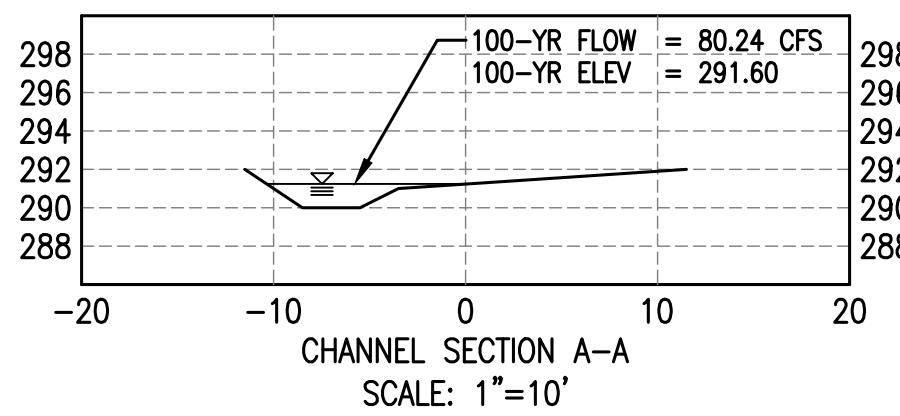
- FILL MATERIAL SHOULD CONSIST OF MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER THAT ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 9 INCHES OR LESS IN LOOSE THICKNESS.
- IN AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL ENSURE STOCKPILED SOILS ARE WELL DRAINED AND ARE NOT ALLOWED TO INCREASE MOISTURE CONTENT.
- THE CONTRACTOR SHALL REMOVE SOILS WHICH DO NOT MEET OR EXCEED THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - EXISTING SOILS SHALL BE UNDERCUT AND REPLACED WITH LOW VOLUME CHANGE SOILS TO A DEPTH OF 5' BELOW AND TO WITHIN 5' HORIZONTALLY OF THE BUILDING PAD.
 - EXISTING SOILS SHALL BE UNDERCUT IN PAVEMENT AREAS AS NECESSARY SO THAT AT LEAST 1 FOOT OF ENGINEERED FILL CAN BE CONSTRUCTED AS THE UPPER PAVEMENT SUBGRADE AFTER THOROUGH PROOF-ROLL TESTING THE EXISTING SOILS. PRIOR TO ANY FILL OPERATIONS THE SITE SHALL BE PROOF-ROLLED AND ANY WEAK OR OTHERWISE UNUSABLE SOILS SHALL BE EXCAVATED AND REPLACED WITH APPROVED ENGINEERED FILL.
- ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION. EXCESS SOILS WILL BE DISPOSED OFFSITE.
- UPON COMPLETION OF THE FILLING OPERATION, CARE SHOULD BE TAKEN TO MAINTAIN THE SUBGRADE MOISTURE CONTENT PRIOR TO CONSTRUCTION OF THE FLOOR SLAB. IF THE SUBGRADE SHOULD BECOME DESICCATED, THE AFFECTED MATERIAL SHOULD BE REMOVED OR THESE MATERIALS SHOULD BE SCARIFIED, MOISTENED AND RECOMPACTED PRIOR TO FLOOR SLAB PLACEMENT.
- FILL MATERIAL SHALL CONSIST OF NATURALLY OCCURRING EARTH MATERIALS WITH A PLASTICITY INDEX OF NOT MORE THAN 20%. IT SHALL BE FREE FROM ORGANIC MATTER AND CLAY BALLS WITH AN UPPER PARTICLE SIZE DIAMETER OF 2.5 INCHES.
- PROVIDE NECESSARY AND REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL SUBMIT PROPOSED PIPE AND STRUCTURE DRAWINGS FOR ENGINEER TO REVIEW. NO INSTALLATION SHALL BEGIN UNTIL WRITTEN APPROVAL HAS BEEN GRANTED.

STORM DRAINAGE - PIPE DATA										
FROM	FLOW LINE ELEV.	TO	FLOW LINE ELEV.	PIPE DIA. (IN.)	SLOPE (%)	LENGTH (FT.)	DESIGN Q (25YR) (CFS)	PIPE CAPACITY (CFS)	MAX. (FPS) VELOCITY	DRAIN AREA (AC)
A1	387.85	A2	387.52	15"	0.50	67	3.30	4.93	4.0	0.44
A2	387.42	A3	387.14	15"	0.49	57	4.36	4.92	4.0	0.59
A3	387.04	A4	386.40	18"	0.50	127	7.17	8.07	4.6	0.98
A4	386.30	A5	385.52	24"	0.50	156	8.84	17.33	5.5	1.23
A5	385.42	A11	384.97	24"	0.54	84	11.07	17.93	5.7	1.59
A6	387.89	A8	387.46	15"	0.46	94	3.06	4.72	3.8	0.40
A7	387.75	A8	387.45	15"	0.91	33	1.30	6.69	5.5	0.17
A8	387.46	A9	386.76	15"	0.54	130	4.26	5.14	4.2	0.57
A9	386.66	A10	386.00	18"	0.50	131	6.87	8.07	4.6	0.94
A10	385.90	A11	384.97	24"	0.43	217	8.89	16.05	5.1	1.24
A11	384.87	A12	384.50	30"	0.43	86	21.77	29.13	5.9	3.17
B1	383.50	B2	382.50	48" (2)	1.02	98	***231.99	289.85	11.5	84.75
C1	384.50	C2	381.00	15"	4.42	79	2.75	13.57	11.1	0.36
D1	384.50	D2	382.00	24"	3.30	76	***12.14	44.49	14.2	5.25
E1	389.50	E3	388.25	12"	5.33	23	0.84	8.91	11.3	0.11
E2	389.20	E3	388.25	12"	3.06	31	1.68	6.75	8.6	0.22
E3	388.15	A1	387.95	12"	0.55	36	2.49	2.87	3.7	0.33
E4	389.25	A1	387.95	12"	3.84	34	0.84	7.56	9.6	0.11

* PIPE SHALL BE ADS HP STORM
** PIPE SHALL BE CLASS III RCP
*** DESIGN FLOW IS 100-YR

STORM DRAINAGE - STRUCTURE DATA						
STRUC. NO.	STRUC. TYPE	GRATE ELEV.	FLOW LINE ELEV.	AREA (AC)	DESIGN Q 25-YR (CFS)	
A1	NYLOPLAST TEE	N/A	387.85	0.00	....
A2	YARD INLET	392.00	387.42	0.15	1.15	
A3	CURB INLET	391.30	387.04	0.39	2.98	
A4	CURB INLET	391.88	386.30	0.25	1.91	
A5	CURB INLET	389.52	385.42	0.36	2.75	
A6	CURB INLET	391.14	387.89	0.40	3.06	
A7	YARD INLET	390.90	387.75	0.17	1.30	
A8	MAN HOLE	392.10	387.46	0.00	....
A9	2X4 INLET	391.00	386.66	0.37	2.83	
A10	MAN HOLE	392.50	385.90	0.30	....
A11	CURB INLET	389.52	384.87	0.34	2.60	
A12	TYPE E HEADWALL	....	384.50	....	....
B1	HEADWALL	....	383.50	84.75	** 231.99
B2	HEADWALL	....	382.50	....	....
C1	HEADWALL	....	384.50	0.36	2.75
C2	TYPE E HEADWALL	....	381.00	....	....
D1	HEADWALL	....	384.50	5.25	** 12.14
D2	TYPE E HEADWALL	....	382.00	....	....
E1	18" NYLOPLAST	392.50	389.50	0.11	0.84	
E2	24" NYLOPLAST	392.20	389.20	0.22	1.68	
E3	NYLOPLAST TEE	N/A	388.15	0.00	....
E4	18" NYLOPLAST	392.25	389.25	0.11	0.84	

* STRUCTURES LESS THAN 4' DEEP SHALL BE NYLOPLAST,
** ALL OTHER STRUCTURES SHALL BE PRECAST CONCRETE
*** DESIGN FLOW IS 100-YR
† NYLOPLAST STRUCTURES SHALL HAVE PEDESTRIAN GRATES



PRE-DEVELOPMENT VS POST-DEVELOPMENT DATA			
STORM EVENT	TOTAL PRE-DEVELOPMENT RUNOFF (CFS)	TOTAL POST DEVELOPMENT RUNOFF (CFS)	
2	8.25	9.56	
10	14.95	14.47	
25	19.21	17.00	
50	22.69	18.93	
100	26.20	20.80	

DETENTION POND DATA			
Stage (ft)	Elev. (ft)	Storage (cuft)	Discharge (cfs)
0.0	384.5	0	0.00
0.5	385.0	8,183	1.24
1.5	386.0	26,405	7.37
2.5	387.0	47,163	11.25
3.5	388.0	71,482	16.30
4.5	389.0	96,310	36.22

DRAINAGE AREA = 5.25 AC
4' WIDE EMERGENCY SPILLWAY ELEV = 387.70
TOP OF BANK ELEV = 389.00
18" OUTFALL PIPE WITH TRASH SCREEN ELEV = 384.50

DETENTION POND DATA				
STORM EVENT	POND INFLOW (CFS)	WATER SURFACE ELEVATION	POND OUTFLOW (CFS)	TOTAL STORAGE (CUF)
2	25.48	385.89	6.86	24,416
10	37.60	386.46	9.35	35,921
25	44.79	386.79	10.57	42,875
50	50.50	387.05	11.42	48,480
100	56.19	387.29	12.14	54,121

REVISIONS:	

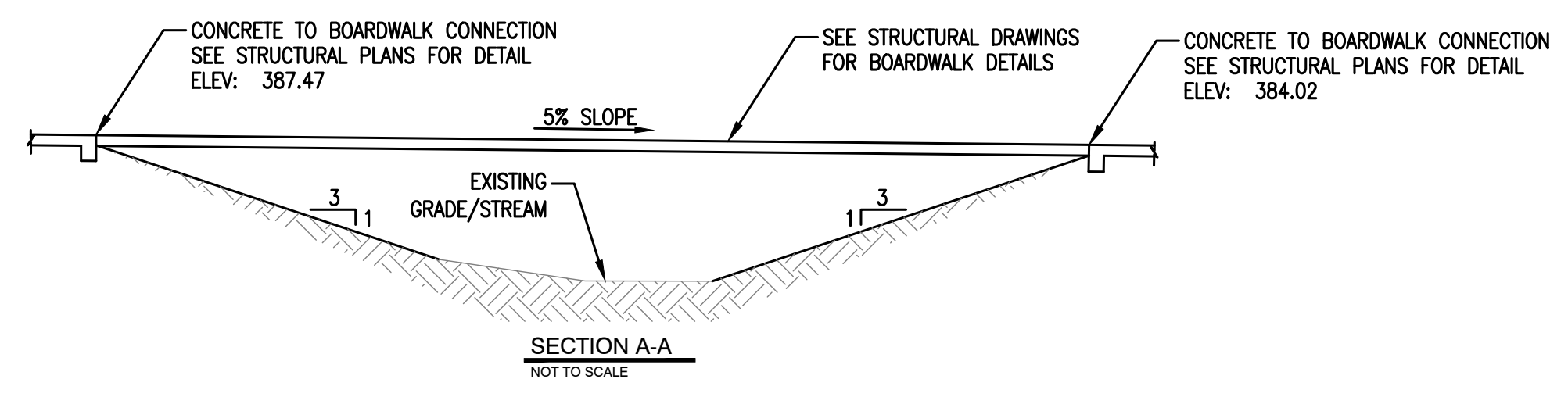
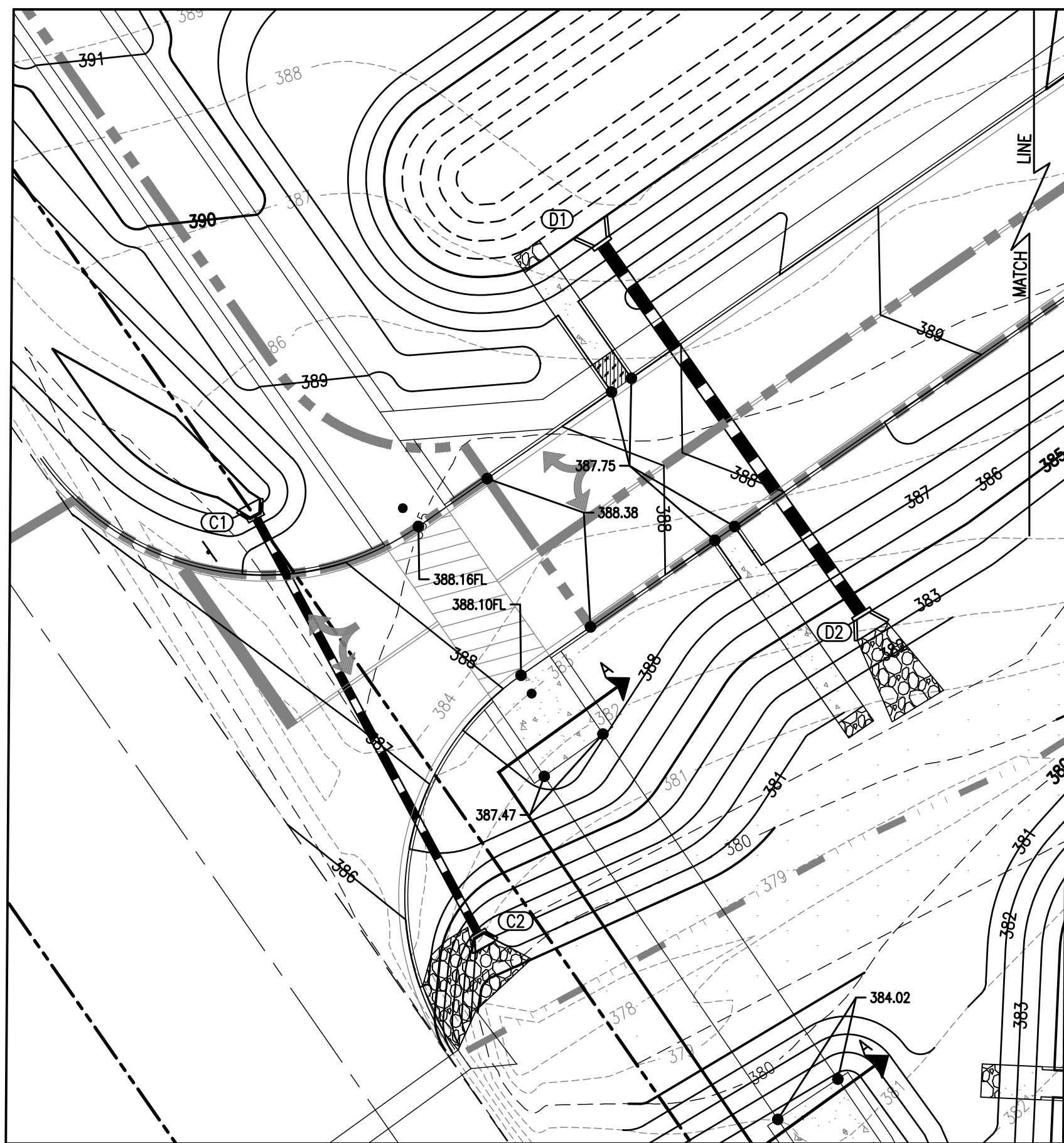
PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM

Pickering
Pickering Firm, Inc.
Architecture • Engineering
Planning • Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0610

**Pinnacle Point at Bryant
Assisted Living Facility**
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5
BRYANT, AR

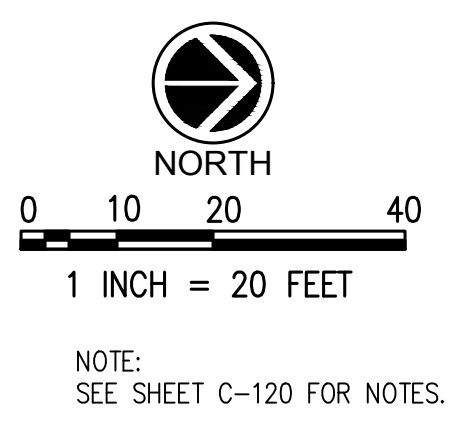
SEAL:
ARKANSAS
REGISTERED
PROFESSIONAL
ENGINEER
No. 14484
HARVEY T. WATNEY
7/19/2019

SHEET NUMBER:
C-120
DESCRIPTION:
OVERALL GRADING &
DRAINAGE PLAN

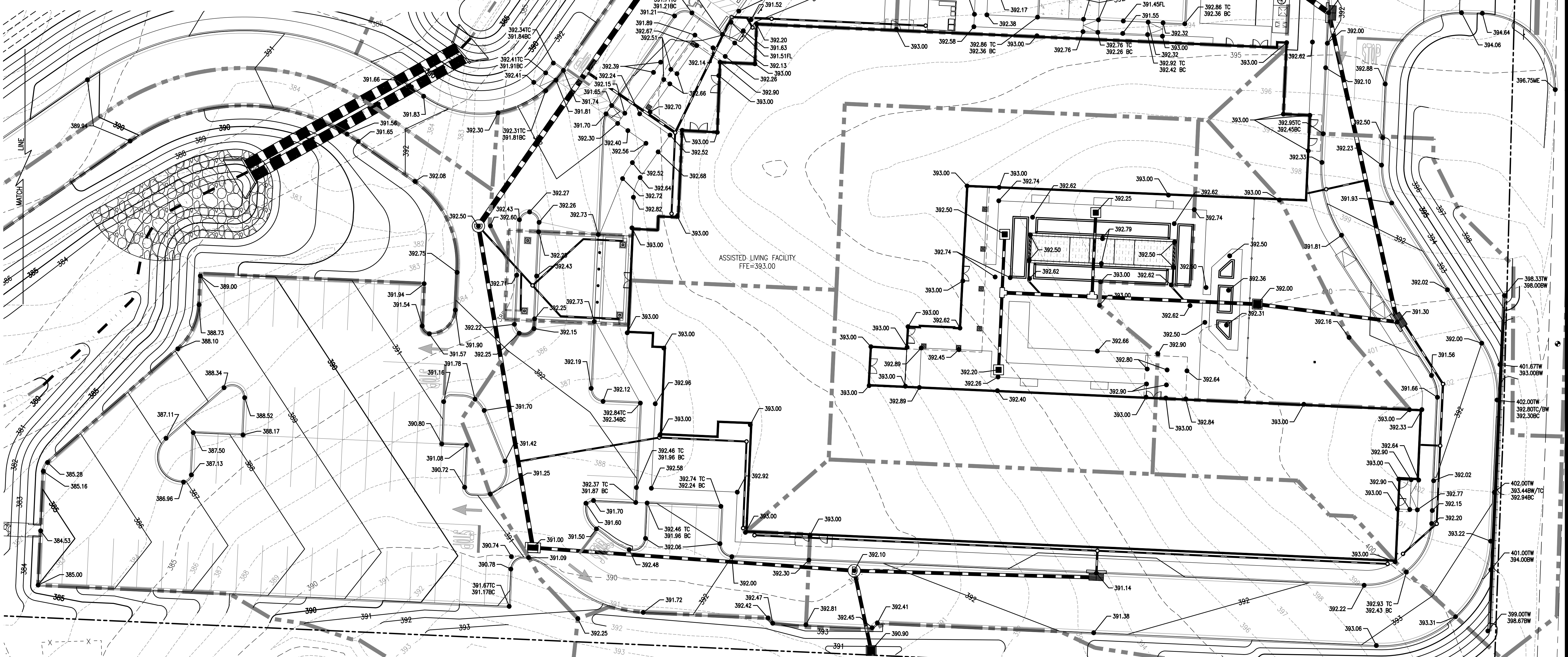


SPOT LEGEND

- TC= TOP OF CURB
- BC= BOTTOM OF CURB
- FL= FLUSH
- TW= GRADE AT TOP OF WALL
- BW= GRADE AT BOTTOM OF WALL
- ME= MATCH EXISTING



SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.



REVISIONS:

PROJECT #: 25526.01
 DATE: JULY 19, 2019
 DRAWN BY: KNR
 DESIGNER: GJC
 CHECKED BY: HWM

Pickering
 Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying
 6775 Lenox Center Court, Suite 300
 Memphis, TN 38115
 901.726.0610

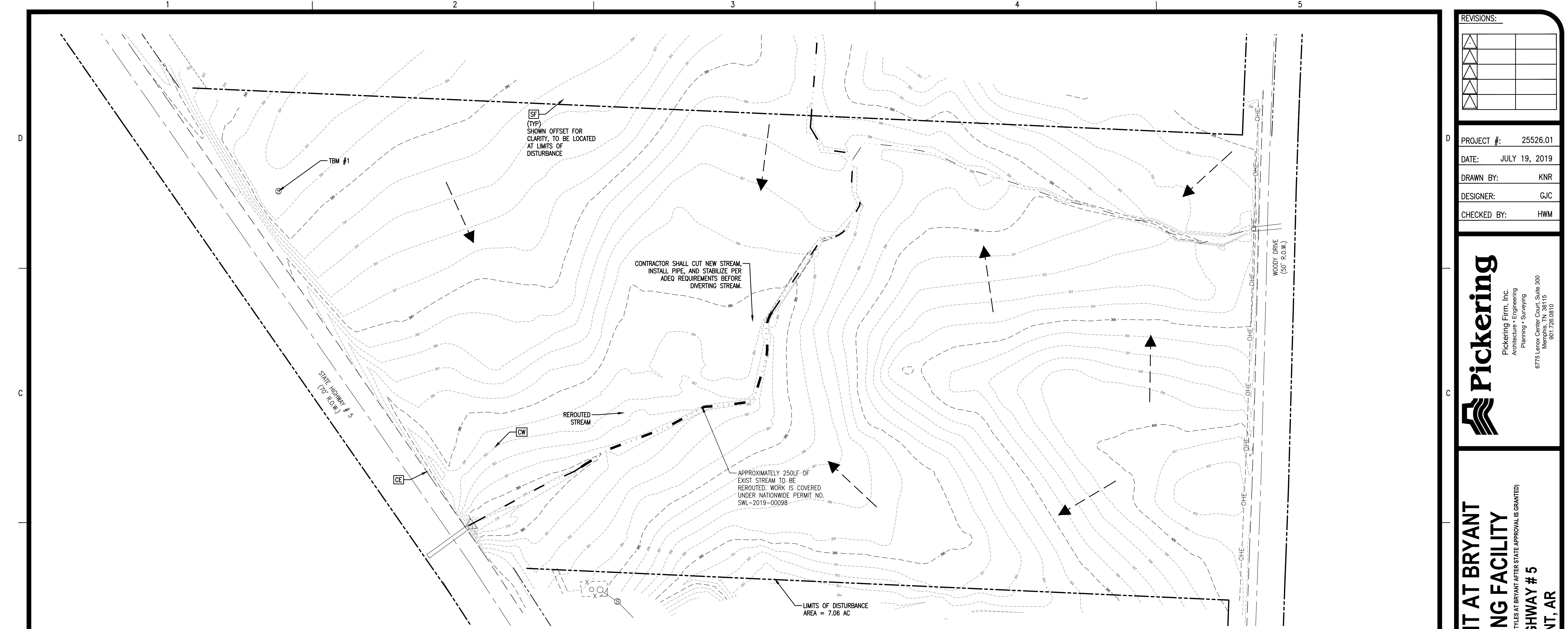
**Pinnacle Point at Bryant
 ASSISTED LIVING FACILITY**
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
 STATE HIGHWAY # 5
 BRYANT, AR

SEAL:

SHEET NUMBER:
C-121

DESCRIPTION:
 GRADING PLAN

K:\25526.01\CAD PLANS\C-120 OVERALL GRADING.DWG



FLOOD NOTE:
 THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

SITE TBM:

SITE TBM #1
 THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE
 N:2028095.8241, E:1166418.6672
 ELEV: 396.87 (NAVD 88)

SITE TBM #2
 SET #5 REBAR (NOT SHOWN ON PLAN)
 N:2028699.5496, E:1167607.0634
 ELEV: 398.77 (NAVD 88)

SITE TBM #3
 SET #5 REBAR (NOT SHOWN ON PLAN)
 N:2028841.9186, E:1167878.9694
 ELEV: 408.96 (NAVD 88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

- EROSION AND SEDIMENTATION CONTROL NOTES:**
- ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION.
 - SILT FENCES, HAY BALES, AND OTHER BEST MANAGEMENT PRACTICES SHALL BE USED AS SHOWN AND AS DIRECTED BY THE ENGINEER TO CONTROL SOIL EROSION.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, SEDIMENT INLET TRAPS, HAY BALES, AND OTHER BEST MANAGEMENT PRACTICES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTROLS SHOWN ON THE PLAN ARE THE MINIMUM REQUIRED AND THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
 - THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE ADEQ STORM WATER CONSTRUCTION GENERAL PERMIT FOR ALL EROSION CONTROL DURING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REPORTING ANY MAINTENANCE AS REQUIRED BY THE ADEQ STORM WATER CONSTRUCTION GENERAL PERMIT DURING CONSTRUCTION ACTIVITIES.
 - PROVISIONS SHALL BE MADE TO PROTECT DOWNSTREAM WATERCOURSES (I.E., STORM SEWER SYSTEMS, DITCHES, WETLANDS, ETC.) FROM SEDIMENT RUNOFF DEVELOPED FROM THE CONSTRUCTION PROCESS. PROVISIONS INCLUDE, BUT ARE NOT LIMITED TO, STRUCTURAL CONTROLS SUCH AS SILT FENCING, GEOTEXTILE FABRIC PROTECTION OF STORM SEWERS, HAY BALES, DIKES AND SANDBAG BERMS; AND/OR VEGETATION CONTROLS SUCH AS SEEDING OR EXISTING VEGETATIVE BUFFER STRIPS.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATIONS SHOWN ON PLANS.
 - ABSOLUTELY NO DIRT, MUD, DUST OR SEDIMENT SHALL BE ALLOWED TO MOVE INTO ANY STORM DRAIN APPURTENANCES AND/OR PUBLIC STREETS.
 - CONTRACTOR SHALL PERFORM DAILY STREET CLEANING ON ROADS AND STREETS ADJACENT TO THE PROJECT WHICH ARE USED AS ACCESS ROUTES FOR CONSTRUCTION TRAFFIC IF DIRT AND MUD ARE NOT ADEQUATELY REMOVED FROM VEHICLES AT THE CONSTRUCTION EXIT. WASHING OF STREETS IS PROHIBITED.
 - LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. USE A MINIMUM 60 MIL POLYETHYLENE LINER UNDER ABOVE GROUND STORAGE TANKS. USE 2 FOOT HIGH BERMS AROUND FUEL STORAGE AREAS.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL ENVIRONMENTAL LAWS.
 - CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF FUELS, MATERIALS AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
 - CONTRACTOR SHALL INSPECT ALL STRUCTURAL CONTROLS WITHIN 24 HOURS AFTER ANY STORM EVENT (THAT MEETS OR EXCEEDS 0.5 INCHES OF RAINFALL IN A 24 HOUR PERIOD). DURING PROLONGED RAINFALL EVENTS, CONTRACTOR SHALL INSPECT STRUCTURAL CONTROLS ON A DAILY BASIS. AT A MINIMUM, STRUCTURAL CONTROLS SHOULD BE INSPECTED ONCE EVERY CALENDAR WEEK. A QUALIFIED REPRESENTATIVE OF THE CONTRACTOR, AS APPROVED BY THE OWNER, SHALL PROVIDE THESE INSPECTIONS. SHOULD CONTROLS BECOME INEFFECTIVE, NECESSARY REPAIRS SHALL BE PERFORMED TO RETURN THE INTEGRITY OF THE STRUCTURAL CONTROLS.
 - CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEMS THROUGHOUT THE DURATION OF THE CONTRACT.
 - CONTRACTOR WILL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS AND OTHER POTENTIALLY TOXIC MATERIALS.
 - EQUIPMENT STAGING AREA TO BE DESIGNATED BY CONTRACTOR AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL NECESSARY FOR UTILITY CONSTRUCTION, EVEN IF THE UTILITIES ARE OUTSIDE THE LIMITS OF GRADING OPERATIONS.
 - SEDIMENT WILL BE REMOVED FROM THE UPSTREAM FACE OF THE SILT FENCE WHEN IT REACHES A MAXIMUM DEPTH OF 50% OF THE FENCE'S CAPACITY. THE FENCE WILL BE REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
 - SEDIMENT MUST BE REMOVED FROM POND REGULARLY, A MINIMUM OF REMOVAL ONCE PER MONTH.
 - CONTRACTOR SHALL MUCK OUT THE POND PRIOR TO FINAL STABILIZATION.
 - TEMPORARY SEEDING MAY BE REQUIRED IN ADDITION TO PERMANENT SEEDING TO ASSIST IN COMPLYING WITH THE CONSTRUCTION GENERAL PERMIT.

LEGEND	
	CONSTRUCTION EXIT
	SILT FENCE BARRIER
	OUTLET PROTECTION
	CONCRETE WASHOUT
	LIMITS OF DISTURBED AREA
	FLOW ARROW

REVISIONS:

PROJECT #: 25526.01
 DATE: JULY 19, 2019
 DRAWN BY: KNR
 DESIGNER: GJC
 CHECKED BY: HWM

Pickering
 Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying
 6775 Lenox Center Court, Suite 300
 Memphis, TN 38115
 901.726.0810

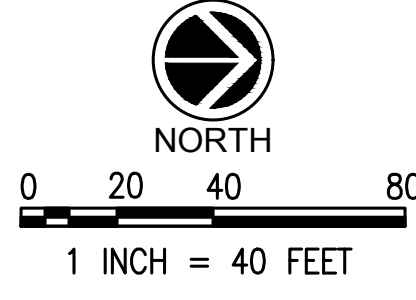
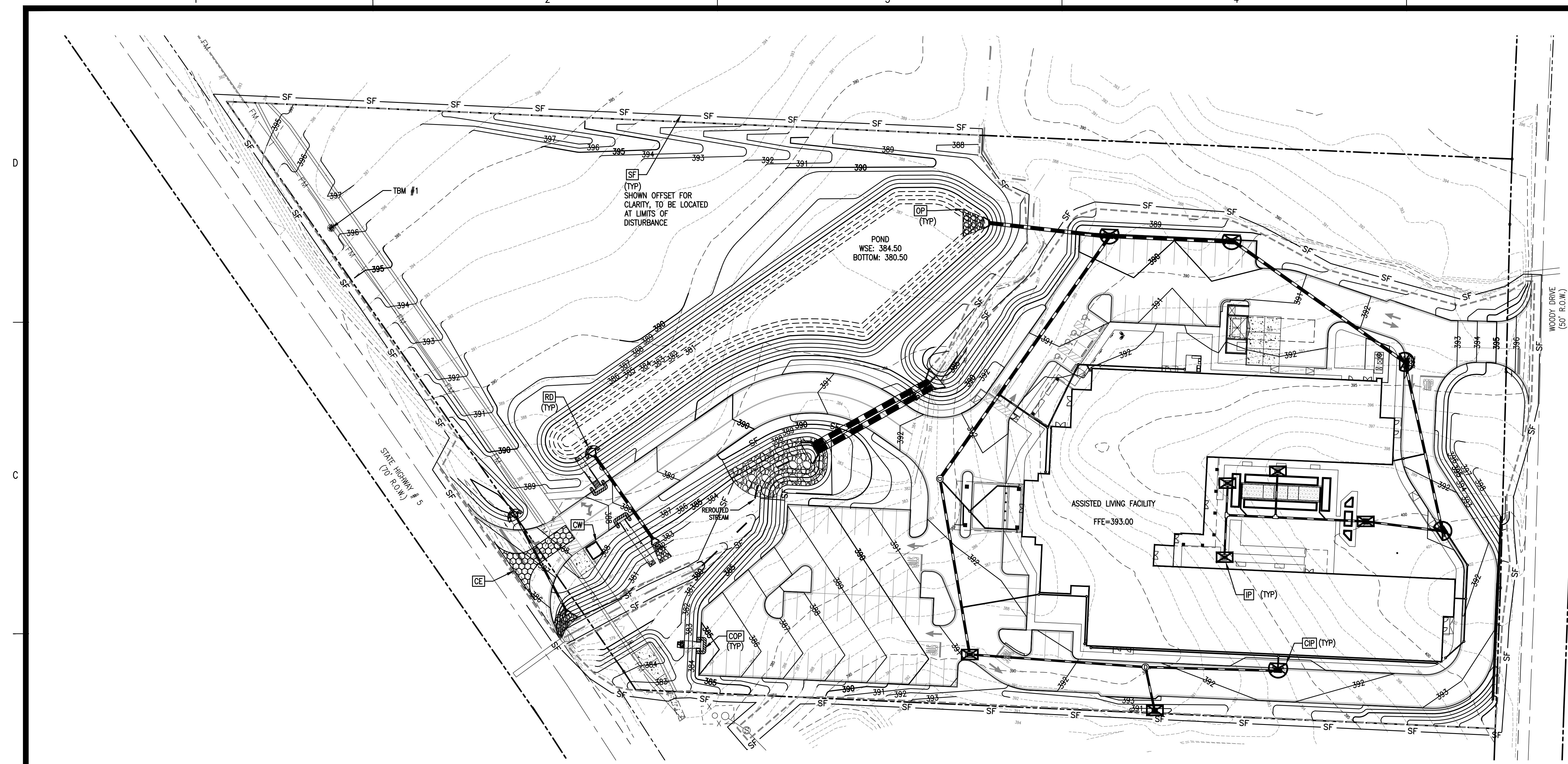
**PINNACLE POINT AT BRYANT
 ASSISTED LIVING FACILITY**
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
 STATE HIGHWAY # 5
 BRYANT, AR

SEAL:

SHEET NUMBER:
C-140

DESCRIPTION:
 EROSION CONTROL PLAN-
 PHASE 1

K:\25526.01\CAD PLANS\C-140 EROSION CONTROL PHASE 1.DWG



REVISIONS:

PROJECT #: 25526.01
 DATE: JULY 19, 2019
 DRAWN BY: KNR
 DESIGNER: GJC
 CHECKED BY: HWM

Pickering
 Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying
 6775 Lenox Center Court, Suite 300
 Memphis, TN 38115
 901.726.0810

**PINNACLE POINT AT BRYANT
 ASSISTED LIVING FACILITY**
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
**STATE HIGHWAY # 5
 BRYANT, AR**

SEAL:

SHEET NUMBER:
C-141

DESCRIPTION:
 EROSION CONTROL
 PLAN-PHASE 2

FLOOD NOTE:
 THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

EROSION AND SEDIMENTATION CONTROL NOTES:
 *SEE SHEET C-140 FOR NOTES.

SITE TBM:

SITE TBM #1
 THE CENTER OF THE MANHOLE GRATE OF THE AIR RELEASE VALVE
 N:2028095.8241, E:1166418.6672
 ELEV: 396.87 (NAVD 88)

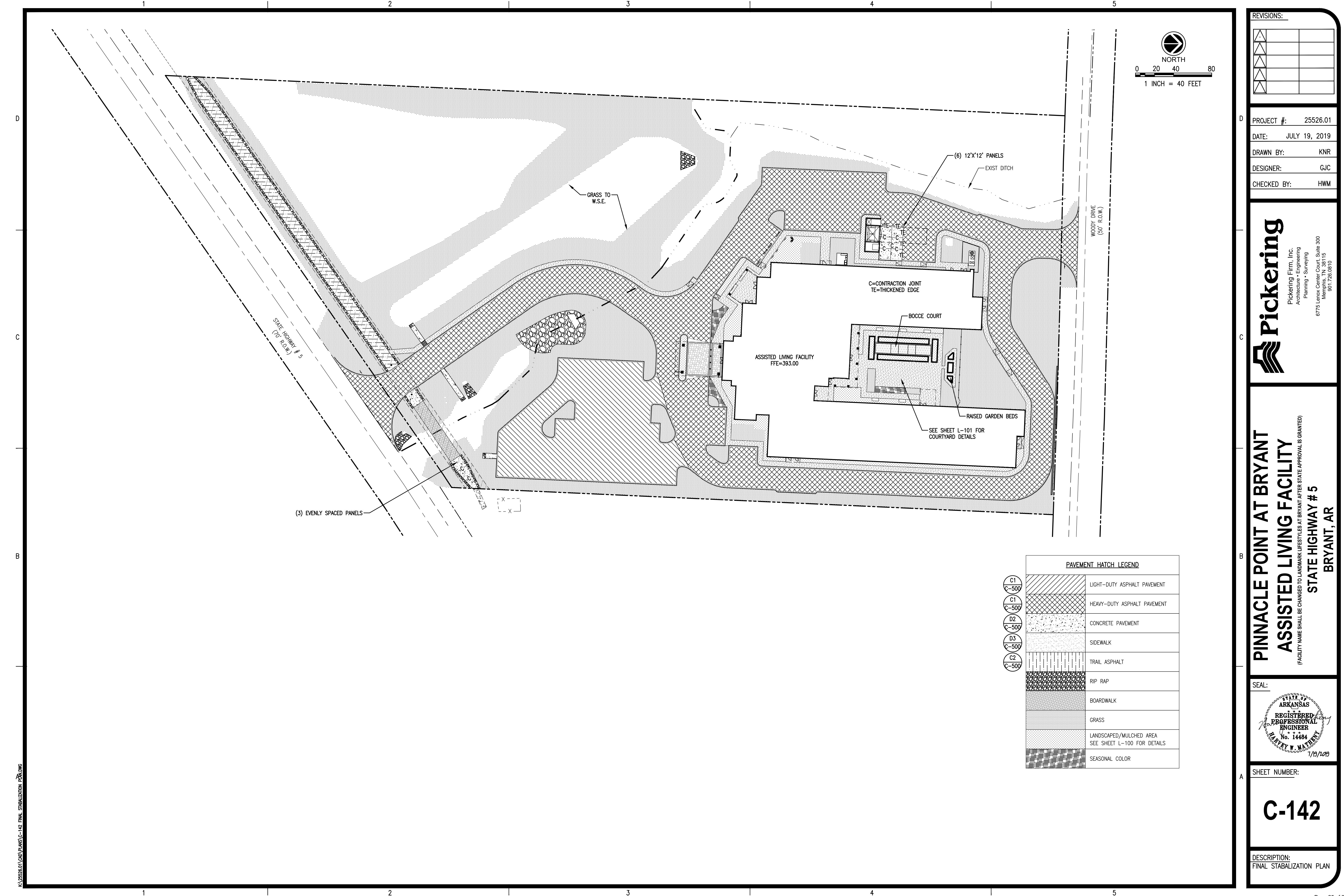
SITE TBM #2
 SET #5 REBAR (NOT SHOWN ON PLAN)
 N:2028699.5496, E:1167607.0634
 ELEV: 398.77 (NAVD 88)

SITE TBM #3
 SET #5 REBAR (NOT SHOWN ON PLAN)
 N:2028841.9186, E:1167878.9694
 ELEV: 408.96 (NAVD 88)

NOTE: BEFORE THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE SITE DATUM WITH ALL SITE TBMS AND IMMEDIATELY REPORT IN WRITING ANY DISCREPANCIES TO THE ENGINEER.

LEGEND	
	CURB INLET PROTECTION
	INLET PROTECTION
	CURB OPENING PROTECTION
	ROCK FILTER DAM
	CONSTRUCTION EXIT
	SILT FENCE BARRIER
	OUTLET PROTECTION
	CONCRETE WASHOUT
	LIMITS OF DISTURBED AREA

K:\25526.01\CAD\PLANS\C-140 EROSION CONTROL PHASE 2.DWG



REVISIONS:

PROJECT #: 25526.01
 DATE: JULY 19, 2019
 DRAWN BY: KNR
 DESIGNER: GJC
 CHECKED BY: HWM

Pickering
 Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying
 6775 Lenox Center Court, Suite 300
 Memphis, TN 38115
 901.726.0810

**PINNACLE POINT AT BRYANT
 ASSISTED LIVING FACILITY**
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
 STATE HIGHWAY # 5
 BRYANT, AR

PAVEMENT HATCH LEGEND

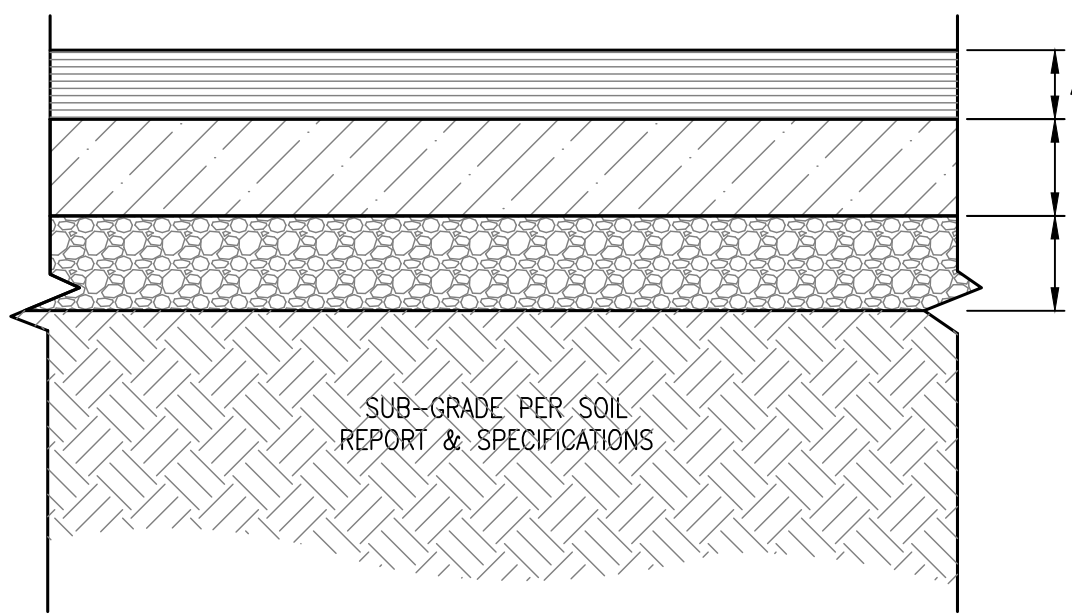
C1 C-500		LIGHT-DUTY ASPHALT PAVEMENT
C1 C-500		HEAVY-DUTY ASPHALT PAVEMENT
D2 C-500		CONCRETE PAVEMENT
D3 C-500		SIDEWALK
C2 C-500		TRAIL ASPHALT
		RIP RAP
		BOARDWALK
		GRASS
		LANDSCAPED/MULCHED AREA SEE SHEET L-100 FOR DETAILS
		SEASONAL COLOR

SEAL:

SHEET NUMBER:
C-142

DESCRIPTION:
 FINAL STABILIZATION PLAN

K:\25526.01\CAD PLANS\C-142_FINAL STABILIZATION PLAN.dwg



STANDARD DUTY ASPHALT PAVING

- A = 3" ASPHALT CONCRETE WEARING COURSE, ARDOT SECTION 407
- B = NOT APPLICABLE
- C = 8" CRUSHED AGGREGATE BASE, ARDOT SECTION 303, CLASS 7

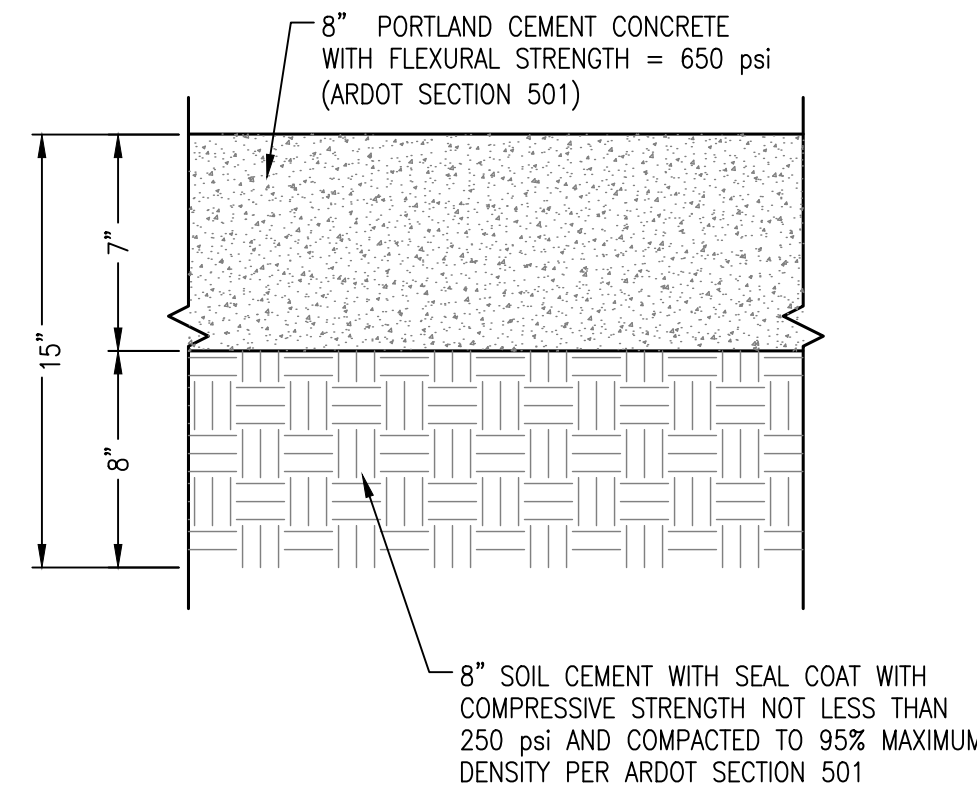
HEAVY DUTY ASPHALT PAVING

- A = 1.5" ASPHALT CONCRETE WEARING COURSE, ARDOT SECTION 407
- B = 2.5" ASPHALT CONCRETE BINDER LAYER, SECTION ARDOT 406
- C = 8" CRUSHED AGGREGATE BASE, ARDOT SECTION 303, CLASS 7

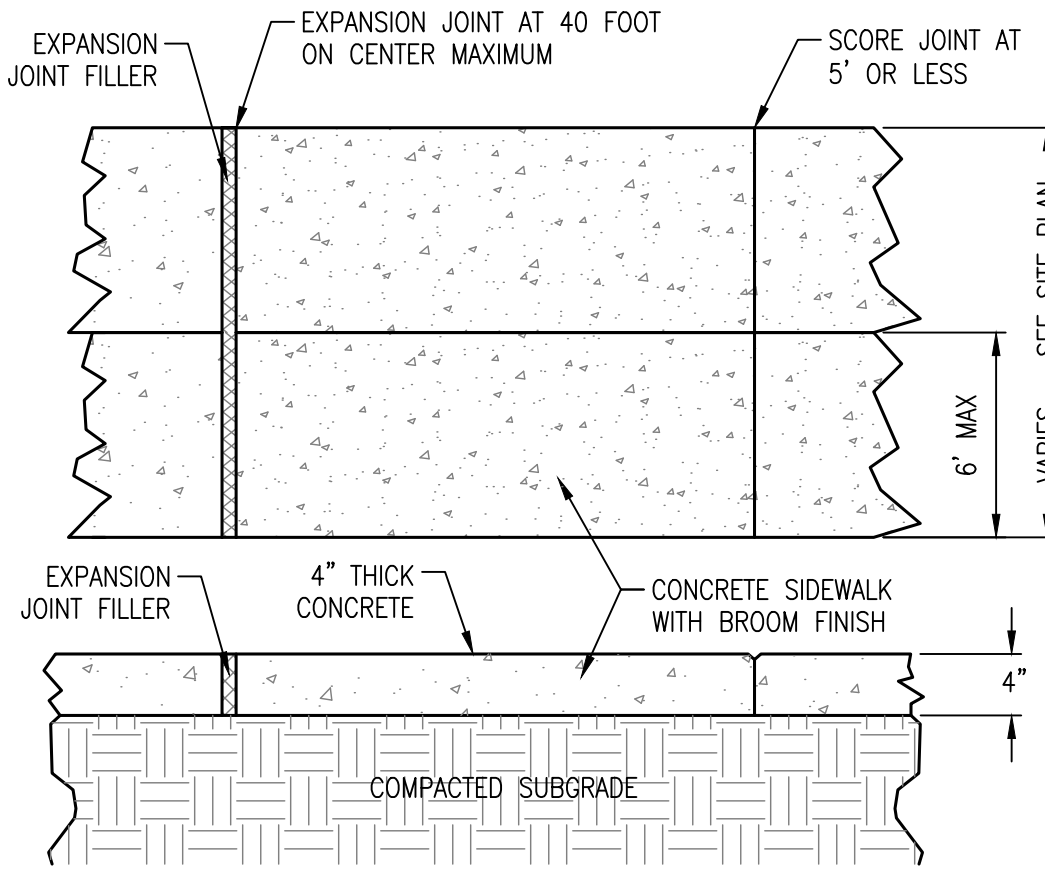
PAVEMENT NOTES

- SURFACE COURSES, BASE AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
- SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR.

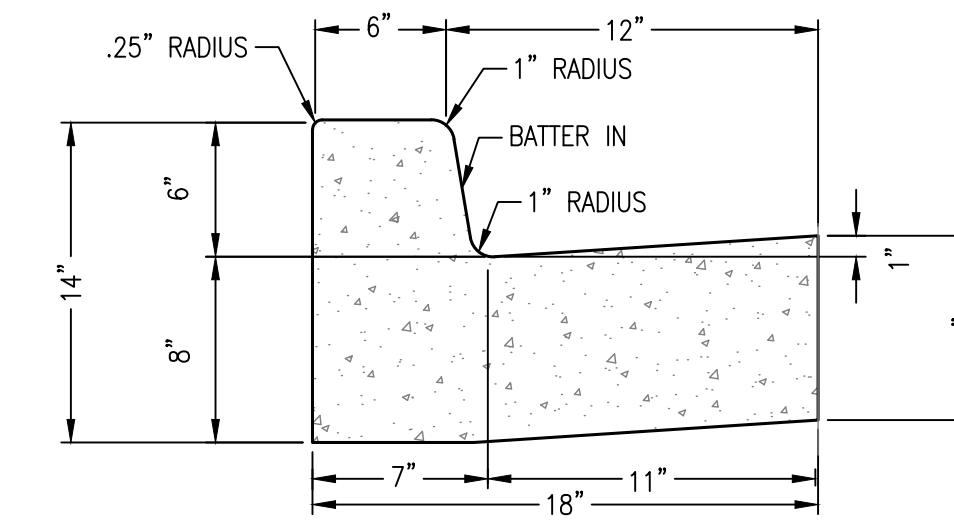
C1 STANDARD HEAVY DUTY ASPHALT
NOT TO SCALE



D2 CONCRETE PAVEMENT
NTS



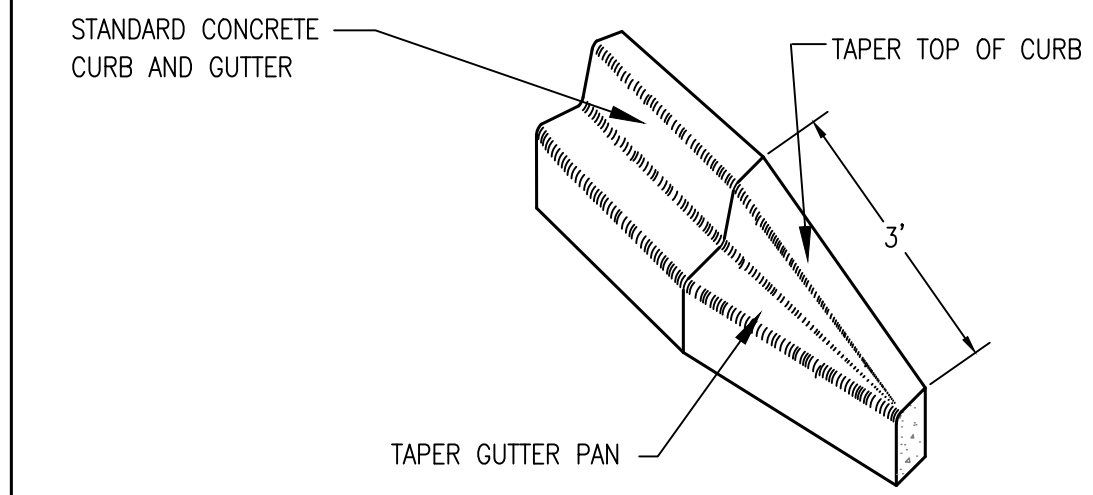
D3 CONCRETE SIDEWALK - VARIED WIDTH
NOT TO SCALE



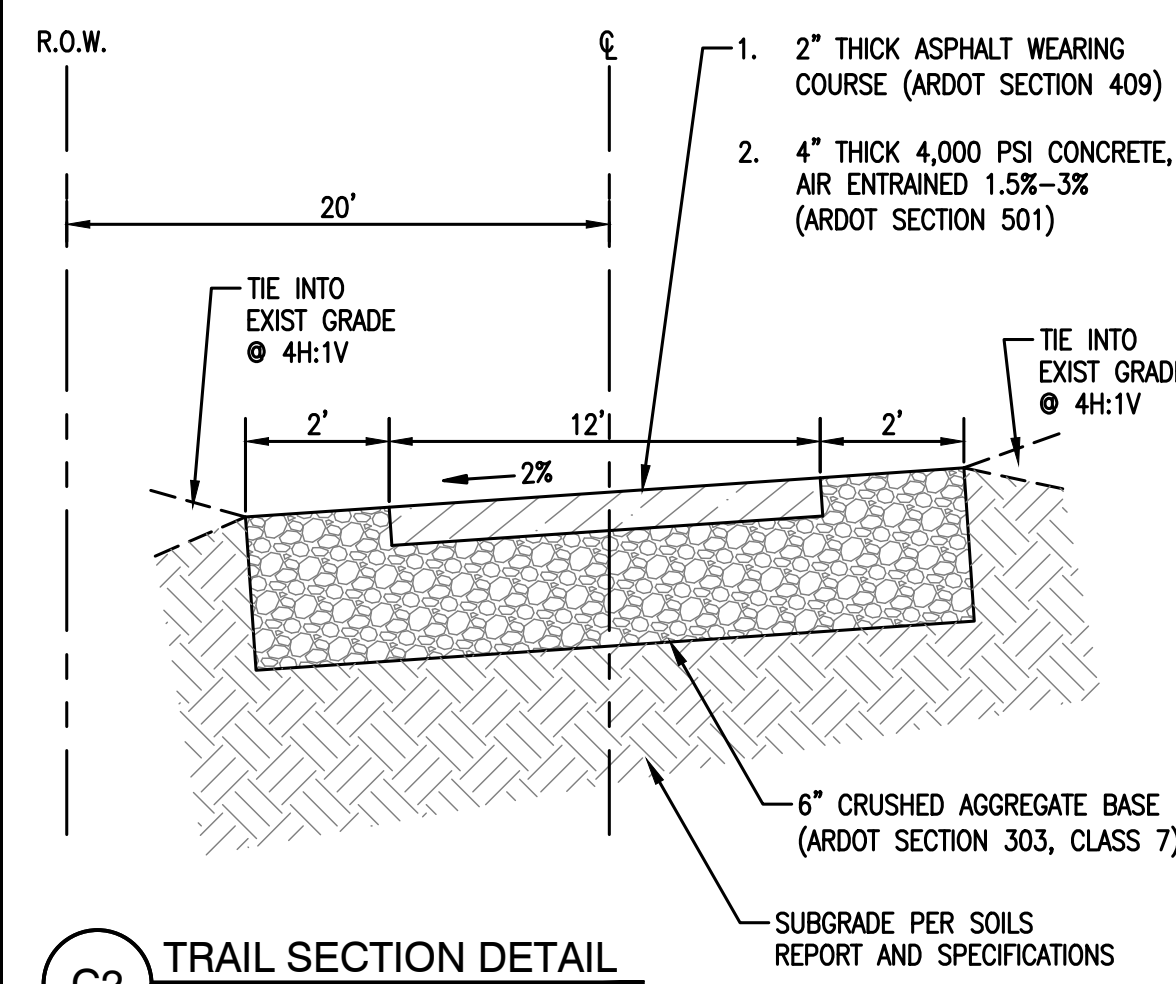
NOTES:

- PRE-MOLDED FIBER EXPANSION JOINT MATERIAL SHALL BE USED IN ALL EXPANSION JOINTS.
- SAWCUT JOINTS SHALL BE INSTALLED AT 10 FOOT CENTERS MAXIMUM.
- EXPANSION JOINTS SHALL BE INSTALLED AT 40 FOOT CENTERS MAXIMUM.
- EXPANSION JOINTS SHALL BE INSTALLED AT ENDS OF RADII.
- EXPANSION JOINTS SHALL BE LOCATED A MINIMUM OF 5 FEET FROM INLET STRUCTURES.
- CONCRETE TO BE 3,500 P.S.I.

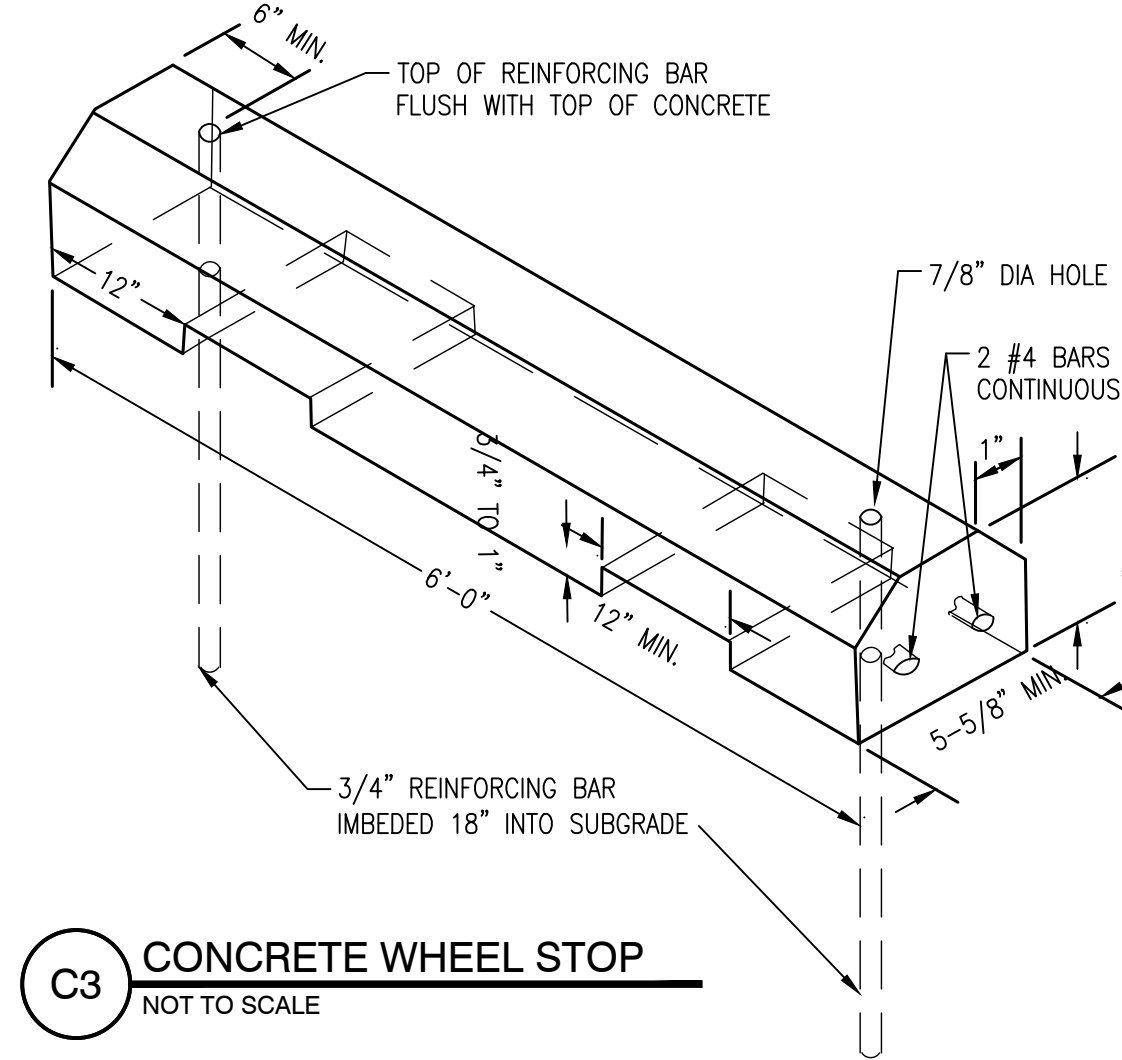
D4 6-18 CURB & GUTTER
NOT TO SCALE



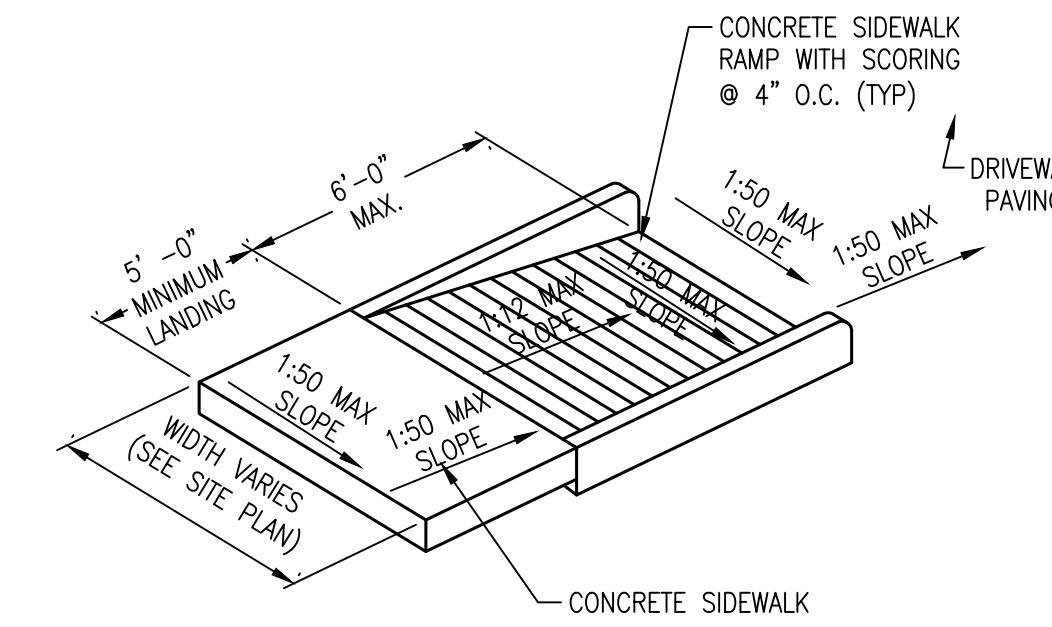
D5 CURB TERMINATION DETAIL
NOT TO SCALE



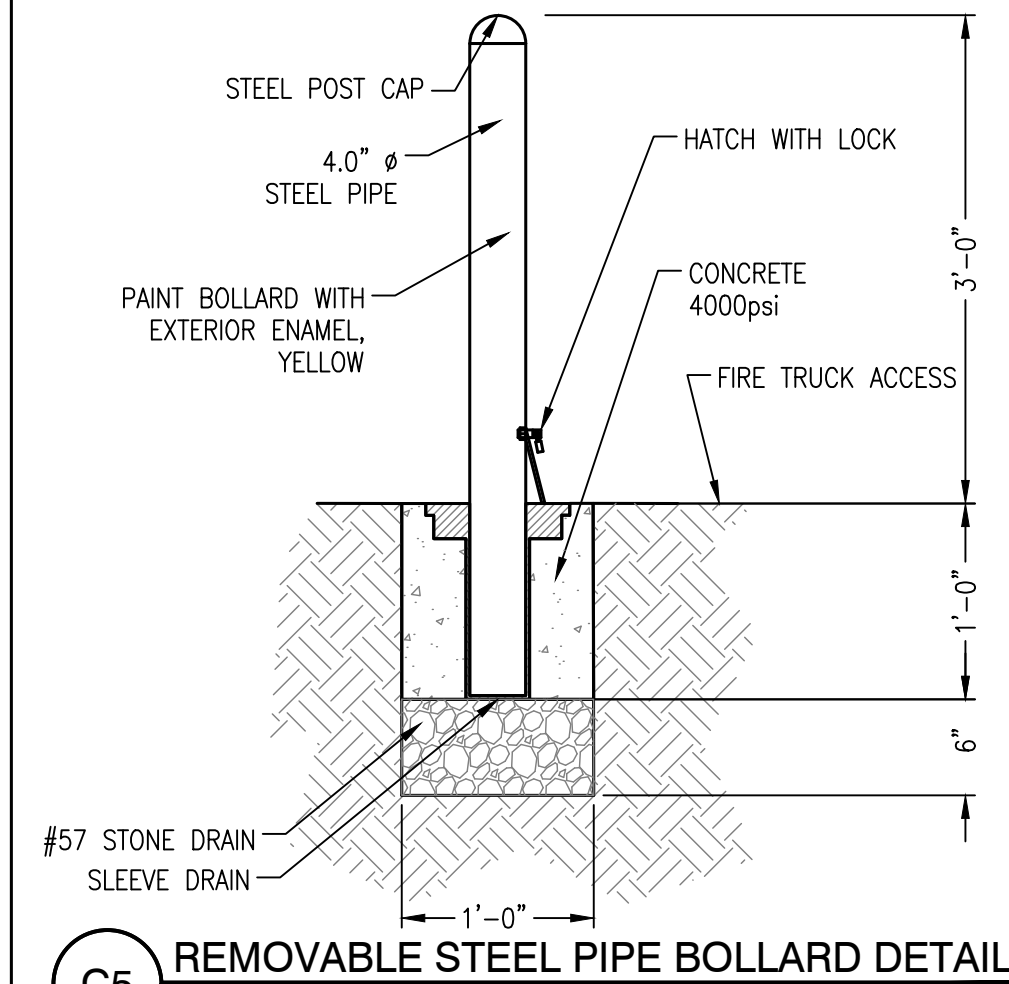
C2 TRAIL SECTION DETAIL
NOT TO SCALE



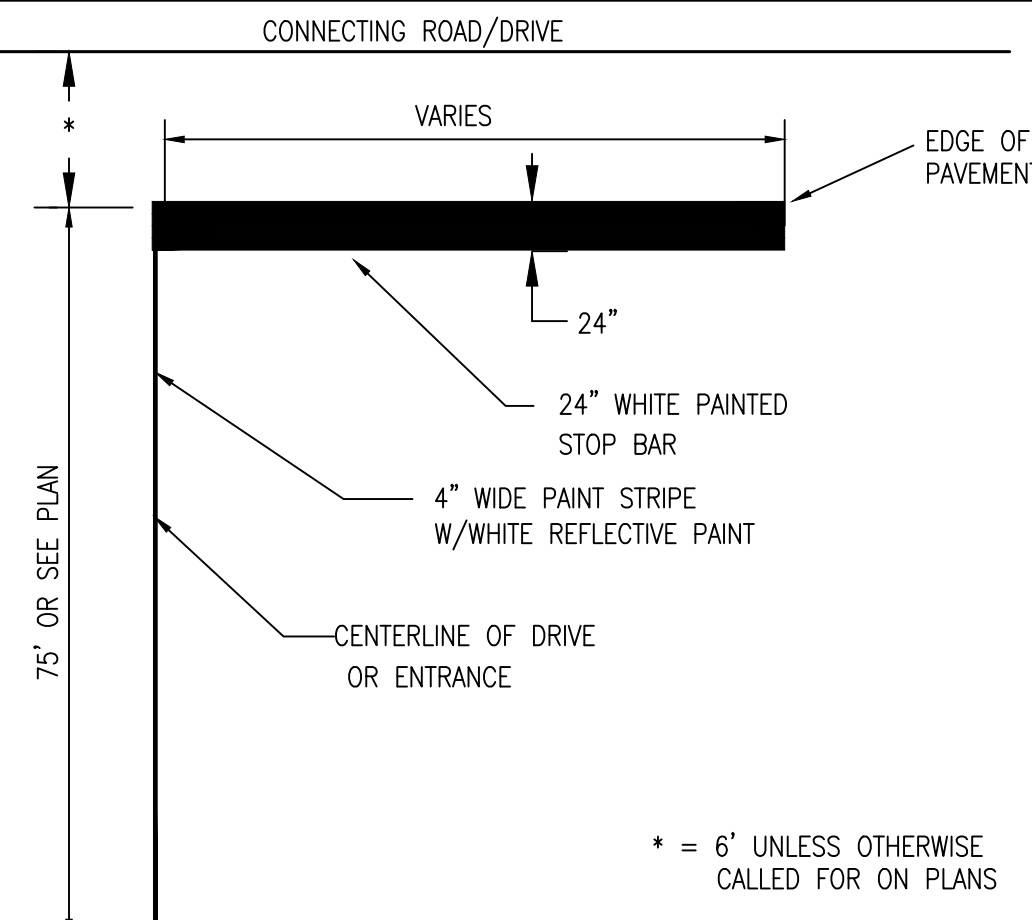
C3 CONCRETE WHEEL STOP
NOT TO SCALE



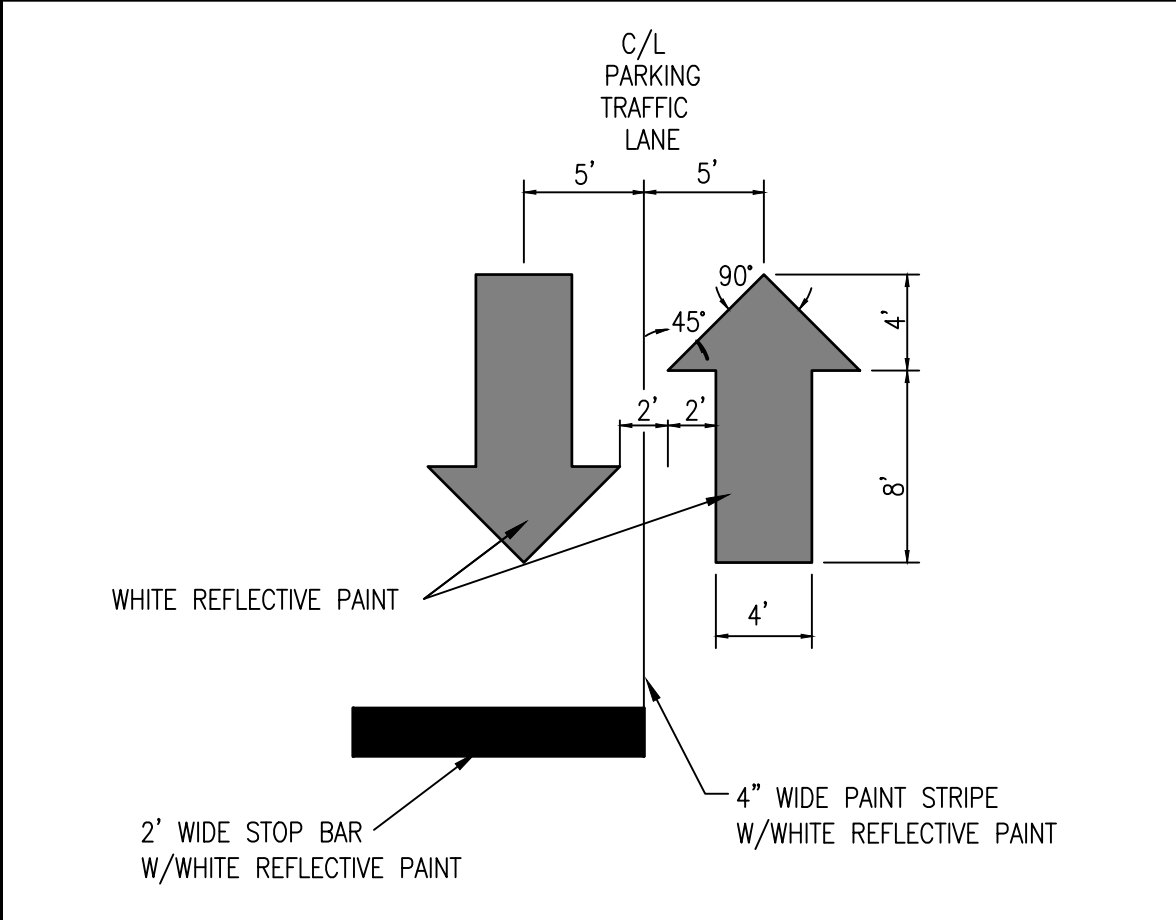
C4 ACCESSIBLE SIDEWALK RAMP
NOT TO SCALE



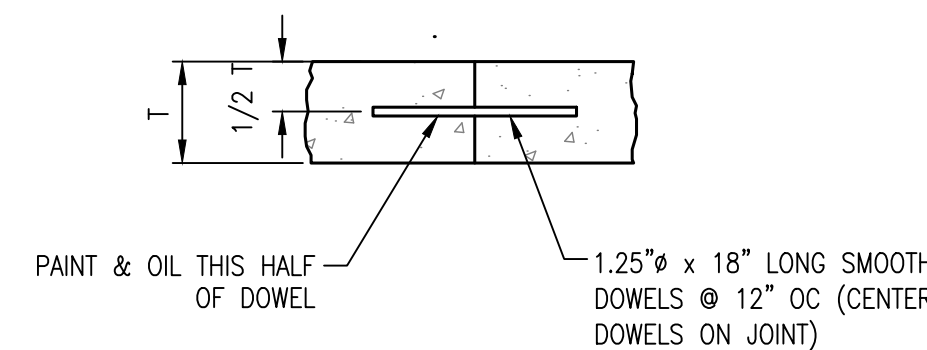
C5 REMOVABLE STEEL PIPE BOLLARD DETAIL
NOT TO SCALE



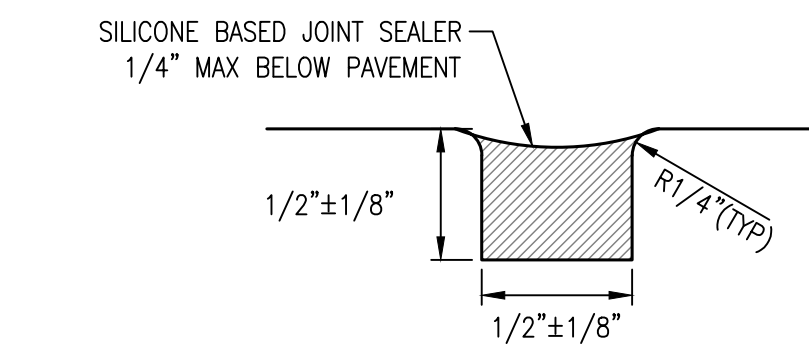
B1 STOP BAR DETAIL
NOT TO SCALE



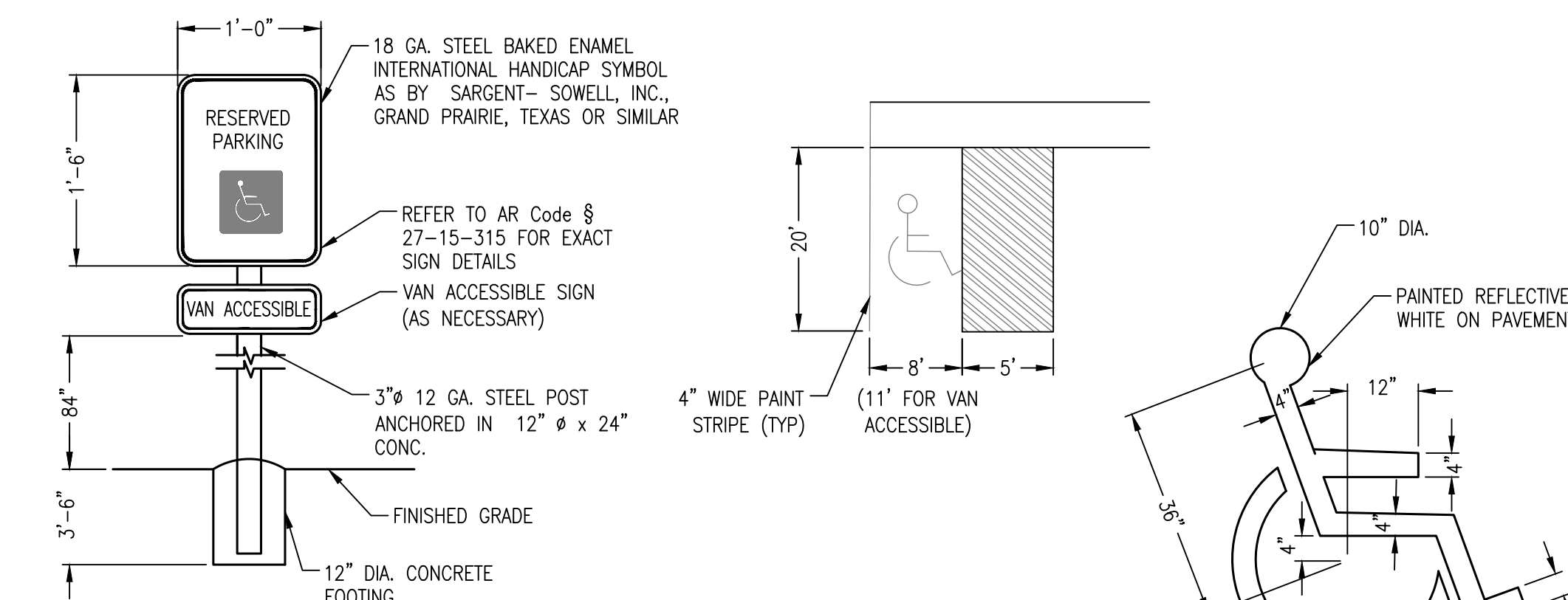
B2 TRAFFIC ARROWS
NOT TO SCALE



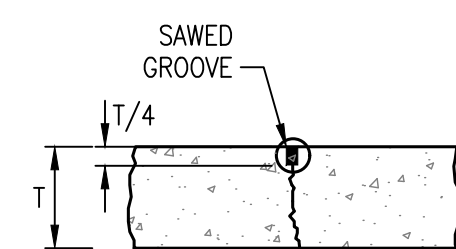
B3 CONSTRUCTION JOINT
NOT TO SCALE



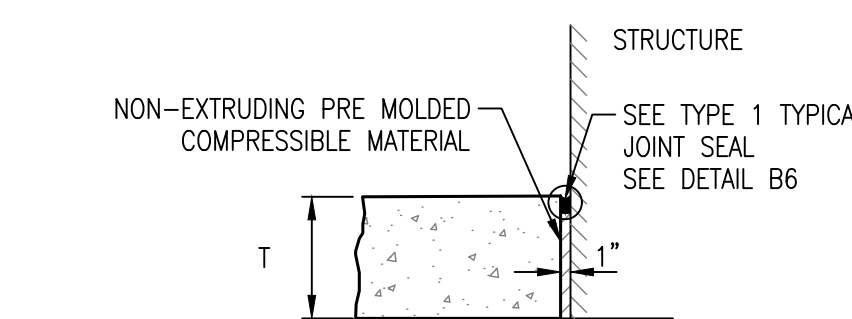
B4 JOINT SEAL - TYPE 1
NOT TO SCALE



A1 ACCESSIBLE PARKING DETAILS
NOT TO SCALE



A3 CONTRACTION JOINT
NOT TO SCALE



A4 EXPANSION JOINT
NOT TO SCALE

REVISIONS:

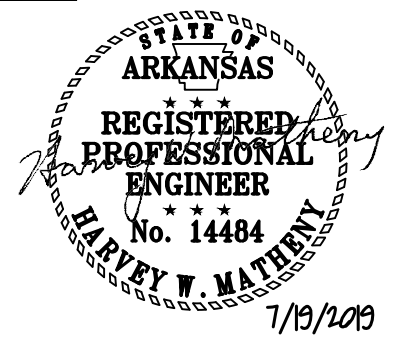
PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM



Pickering Firm, Inc.
Architecture • Engineering
Planning • Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5 BRYANT, AR

SEAL:

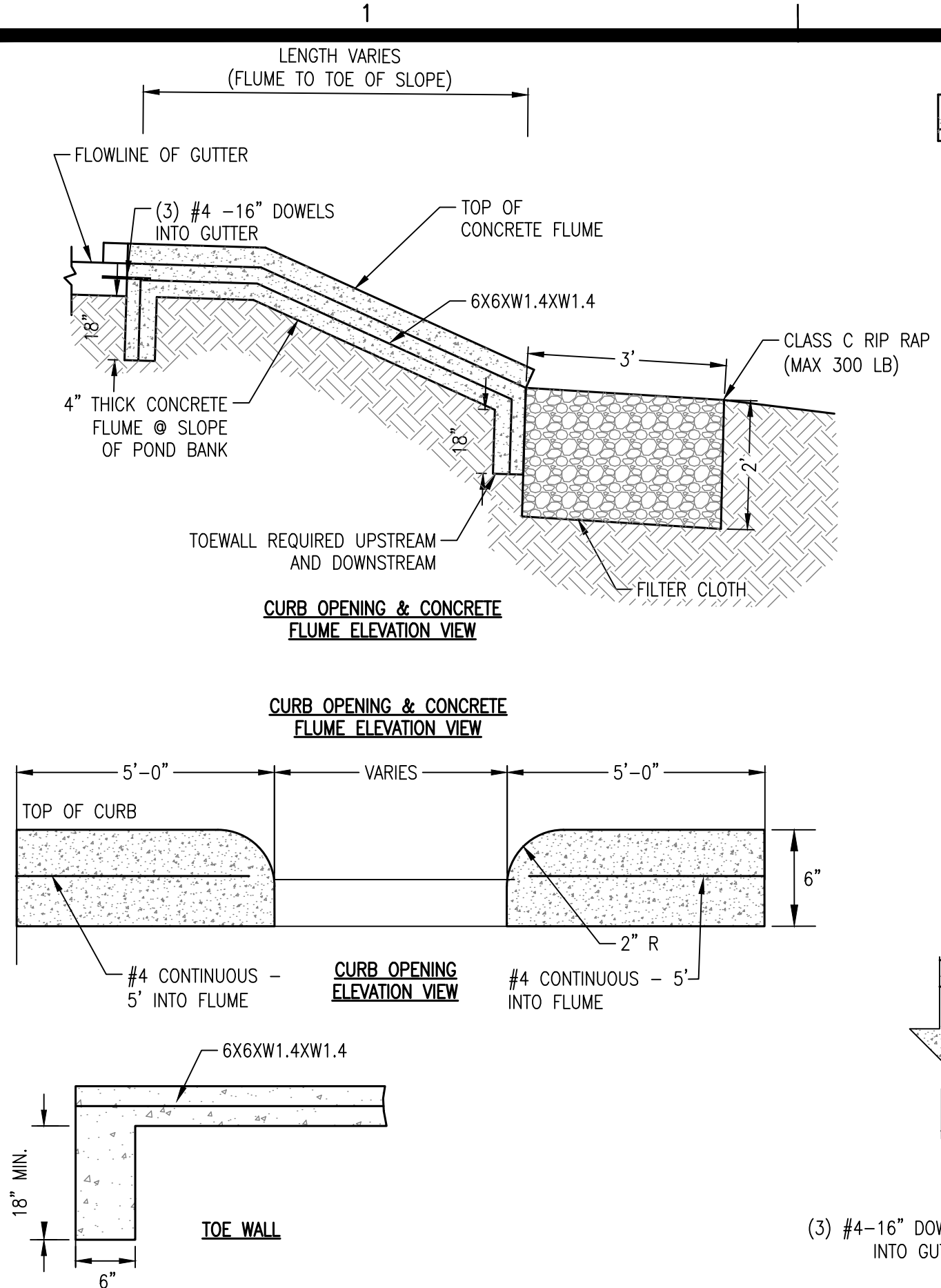


SHEET NUMBER:

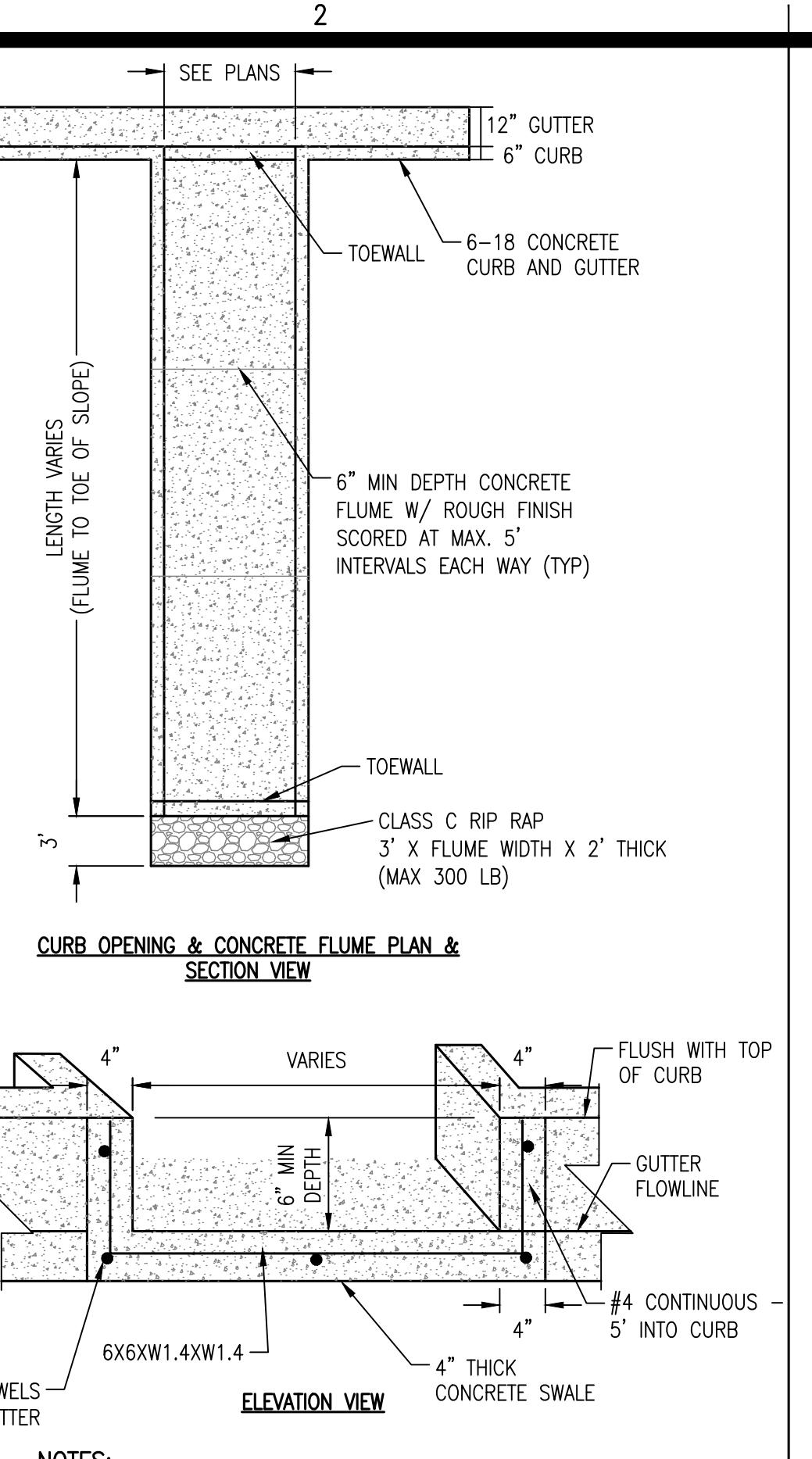
C-500

DESCRIPTION:
SITE DETAILS

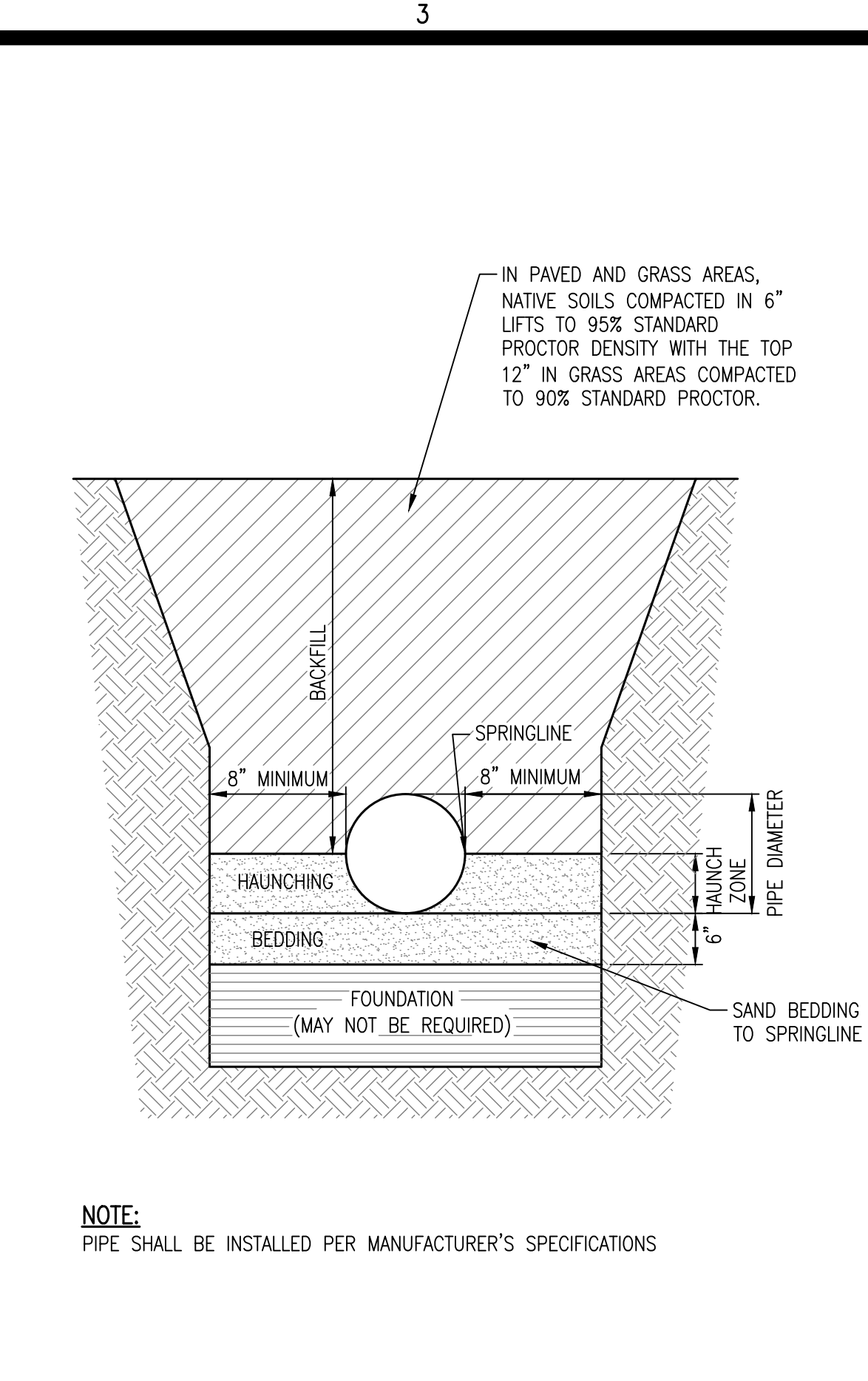
K:\25526.01\CAD PLANS\C-500 SITE DETAILS.DWG



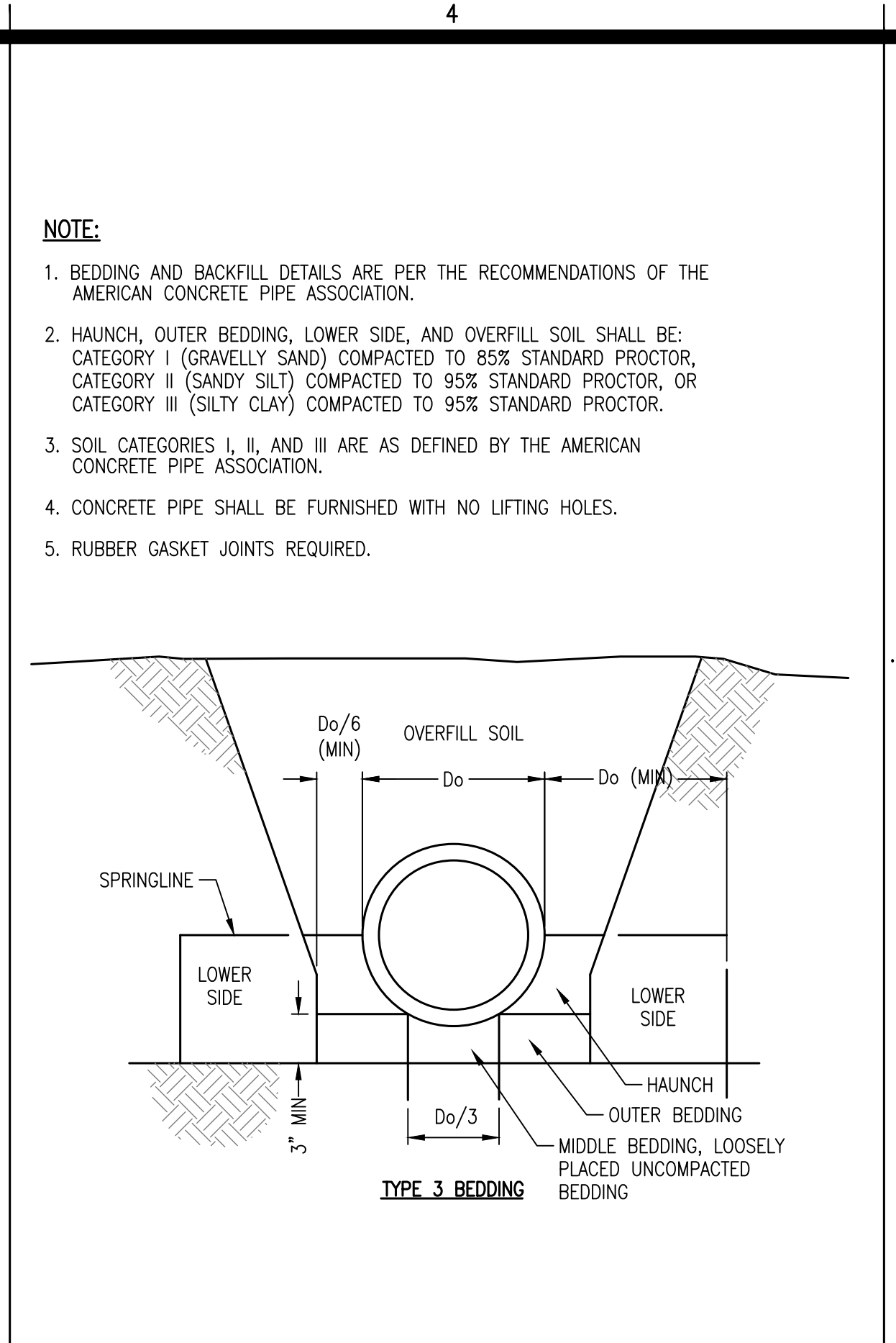
C1 CONCRETE CURB OPENING/FLUME
NTS



C3 FLEXIBLE PIPE BEDDING AND BACKFILL
NOT TO SCALE



C4 CONCRETE PIPE BEDDING AND BACKFILL
NOT TO SCALE

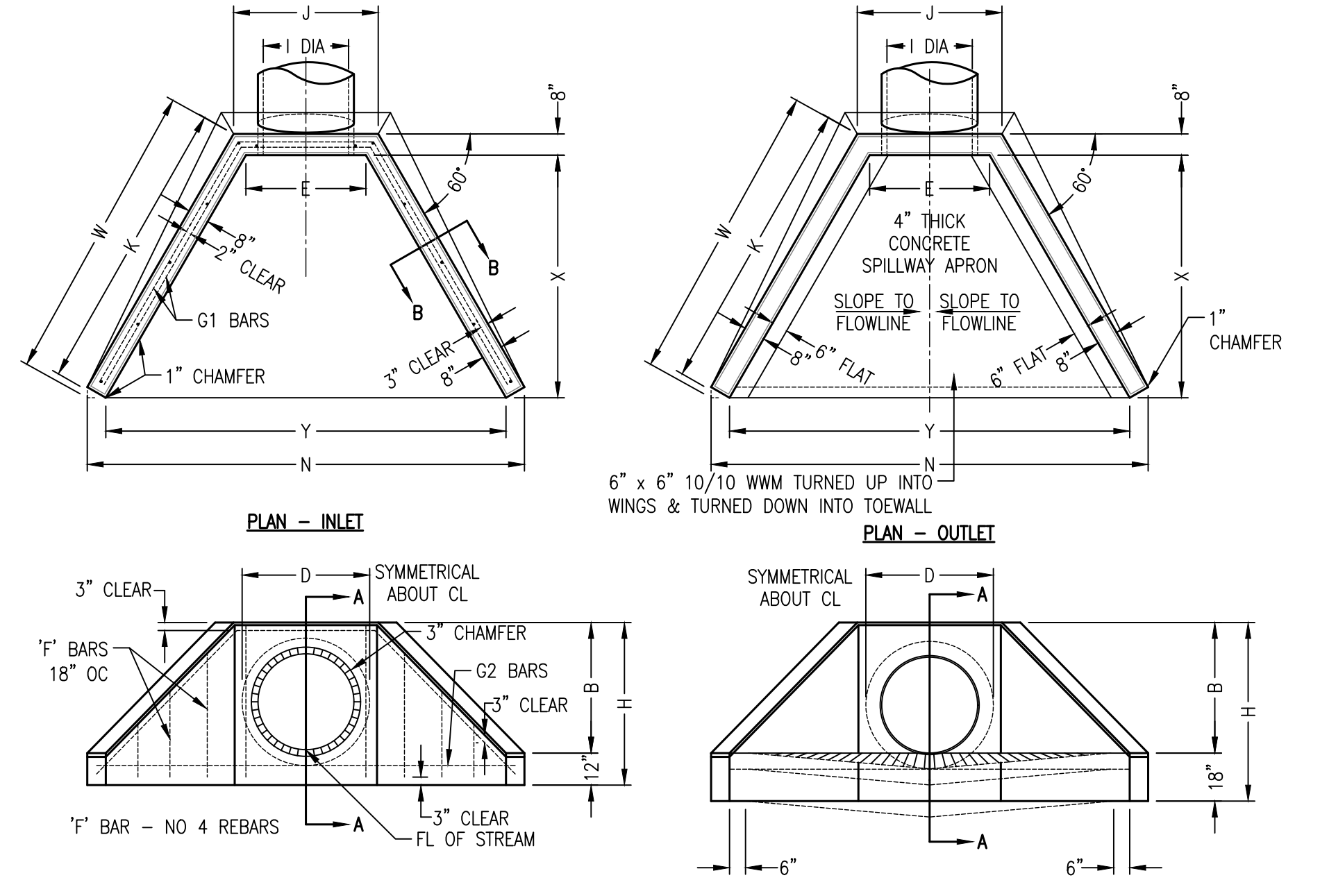


C5 DETENTION POND OUTLET (W/ TRASH SCREEN)
NTS

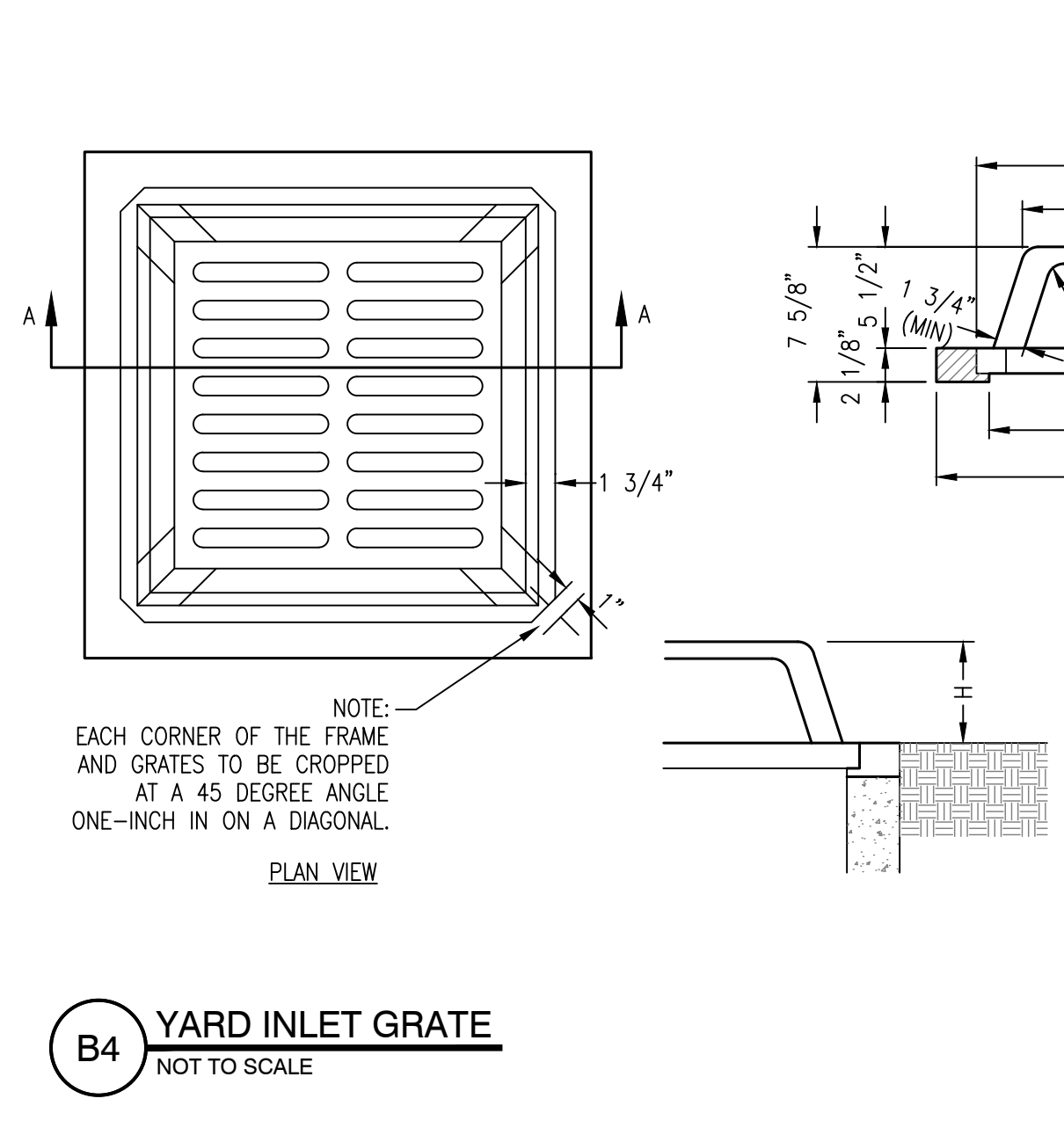
TABLE OF DIMENSIONS AND DIAMETERS

DIM.	DIA.	15"	18"	21"	24"	30"	36"
B		1' 11-1/2"	2' 2-1/4"	2' 5-1/4"	2' 8-1/2"	3'-3"	3' 9-1/2"
D		1' 7-1/4"	1' 10-1/2"	2' 1-1/2"	2'-5"	3'-0"	3'-7"
E		1' 9-1/4"	2' 0-1/2"	2' 3-1/2"	2'-7"	3'-2"	3'-9"
H		3' 1-1/4"	3' 4-1/2"	3' 7-1/2"	3'-11"	4'-6"	5'-1"
J		2' 7-5/8"	2' 10-7/8"	3' 1-7/8"	3' 5-3/8"	4' 0-3/8"	4' 10-5/8"
K		4' 10-5/8"	5' 5-3/8"	6' 0-5/8"	6' 8-1/4"	7' 11-1/4"	9' 2-1/4"
N		7' 11-1/2"	8' 9-7/8"	9' 7-7/8"	10' 6-7/8"	12' 4-7/8"	14' 2-7/8"
W		5' 3-3/4"	5'-11"	6' 5-7/8"	7' 1-1/2"	8' 4-1/2"	9' 7-1/2"
X		3' 10-1/4"	4' 4-1/2"	4' 10-1/2"	5'-5"	6'-6"	7'-7"
Y		6' 2-5/8"	7' 1-1/8"	7'-11"	8' 10-1/8"	10' 8-1/8"	12' 6-1/8"
DIA.		42"	48"	54"	60"	66"	72"
B		4'-4"	4' 10-1/2"	5'-5"	6'-0"	6' 6-1/2"	7'-1"
D		4'-2"	4'-9"	5'-4"	6'-0"	6'-7"	7'-2"
E		4'-4"	4'-10"	5'-6"	6'-2"	6'-9"	7'-4"
H		5'-8"	6'-3"	6'-10"	7'-6"	8'-1"	8'-8"
J		5' 2-3/8"	5' 9-3/8"	6' 4-3/8"	7' 0-3/8"	7' 7-3/8"	8' 2-3/8"
K		10' 5-1/4"	11' 8-1/4"	12' 11-1/4"	14' 3-1/2"	15' 6-1/2"	16' 9-1/2"
N		16' 0-7/8"	17' 10-7/8"	19' 8-7/8"	21' 9-1/8"	23' 7-1/8"	25' 5-1/8"
W		10' 10-1/2"	12' 1-1/2"	13' 4-1/2"	14' 8-5/8"	15' 11-5/8"	17' 2-5/8"
X		8'-8"	9'-9"	10'-10"	12'-0"	13'-1"	14'-2"
Y		14' 4-1/8"	16' 2-1/8"	18' 0-1/8"	20' 0-1/4"	21' 10-1/4"	23' 8-1/4"

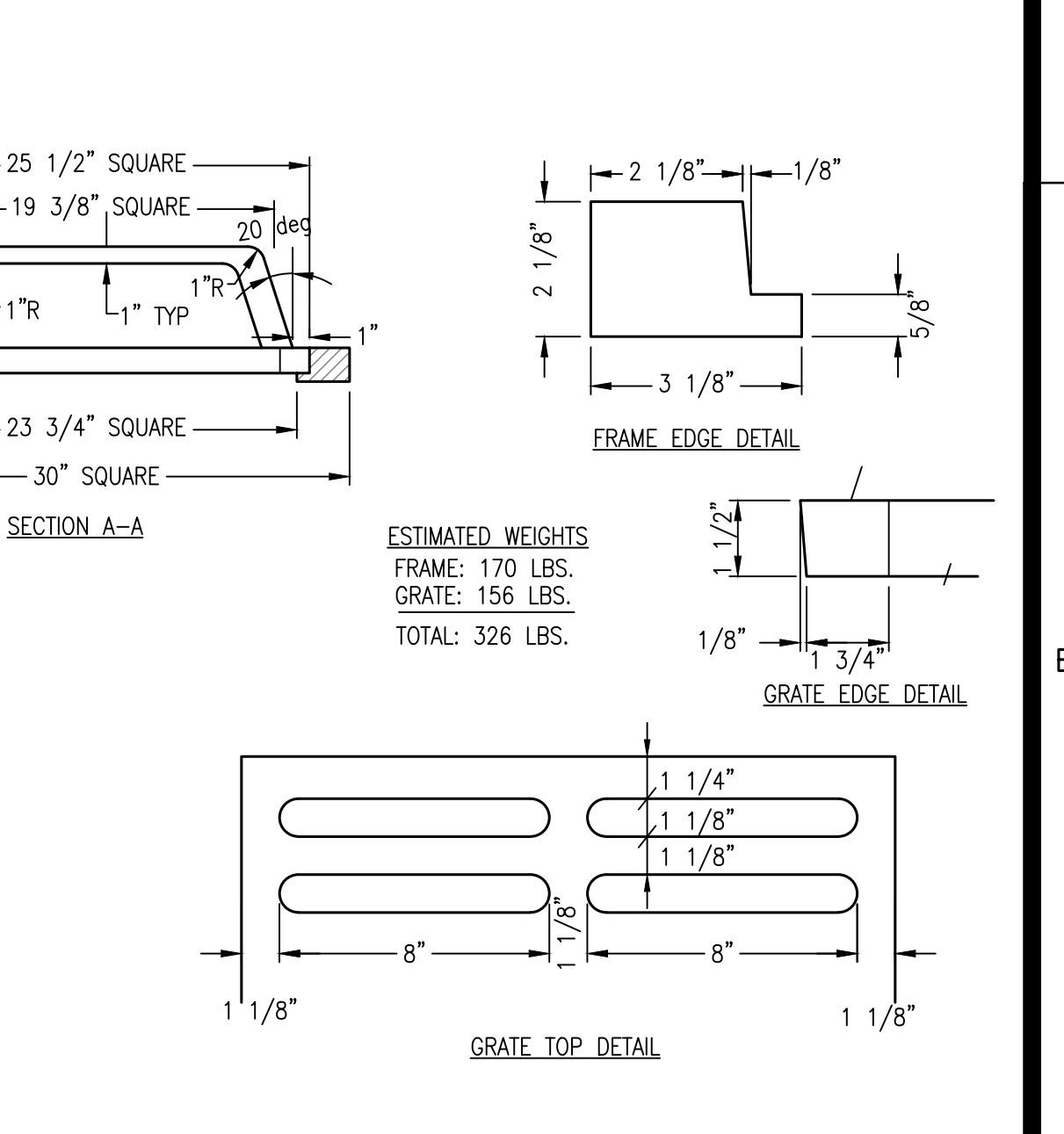
NOTE: CONCRETE SHALL BE 3,500 PSI



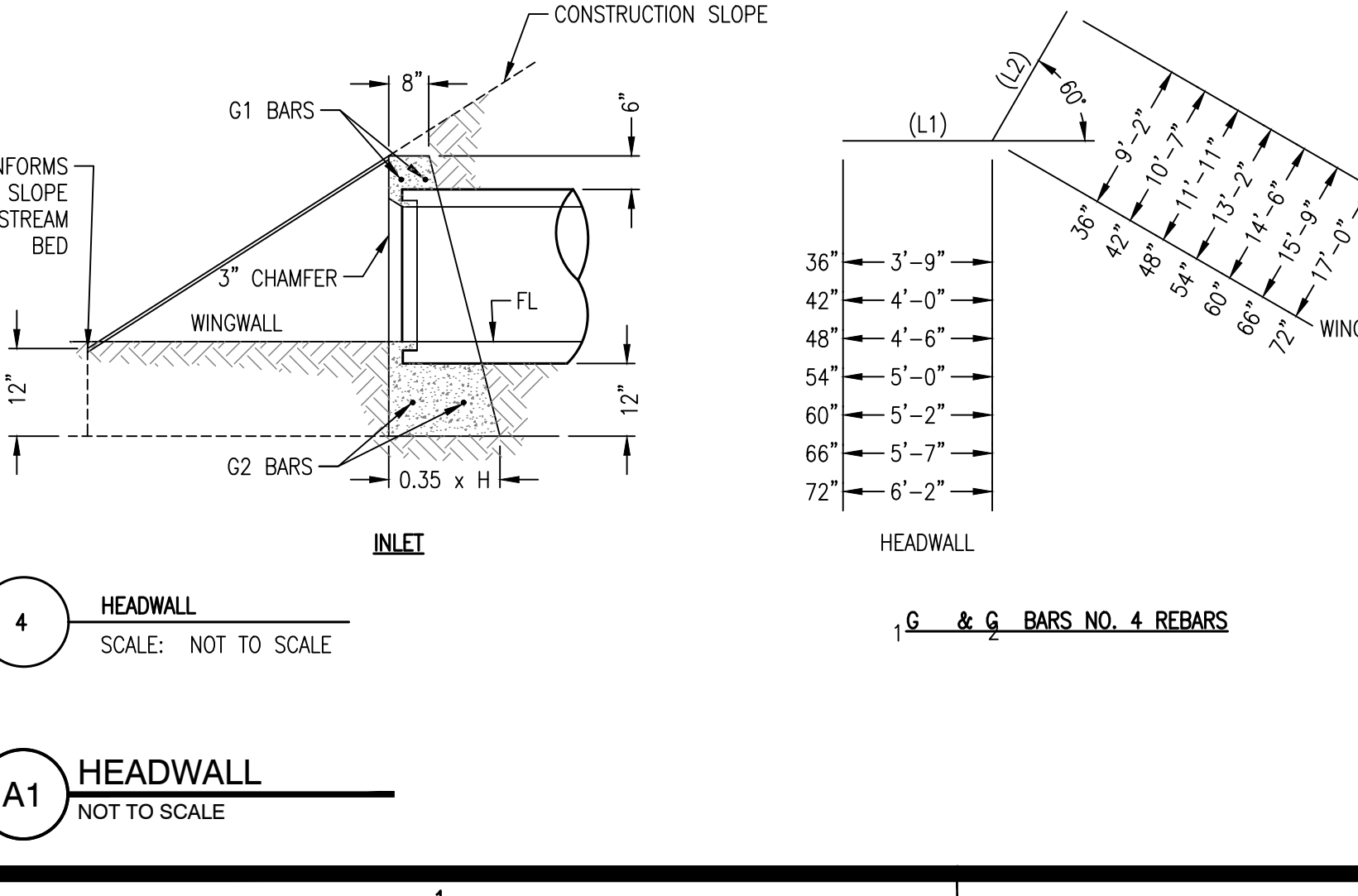
B4 YARD INLET GRATE
NOT TO SCALE



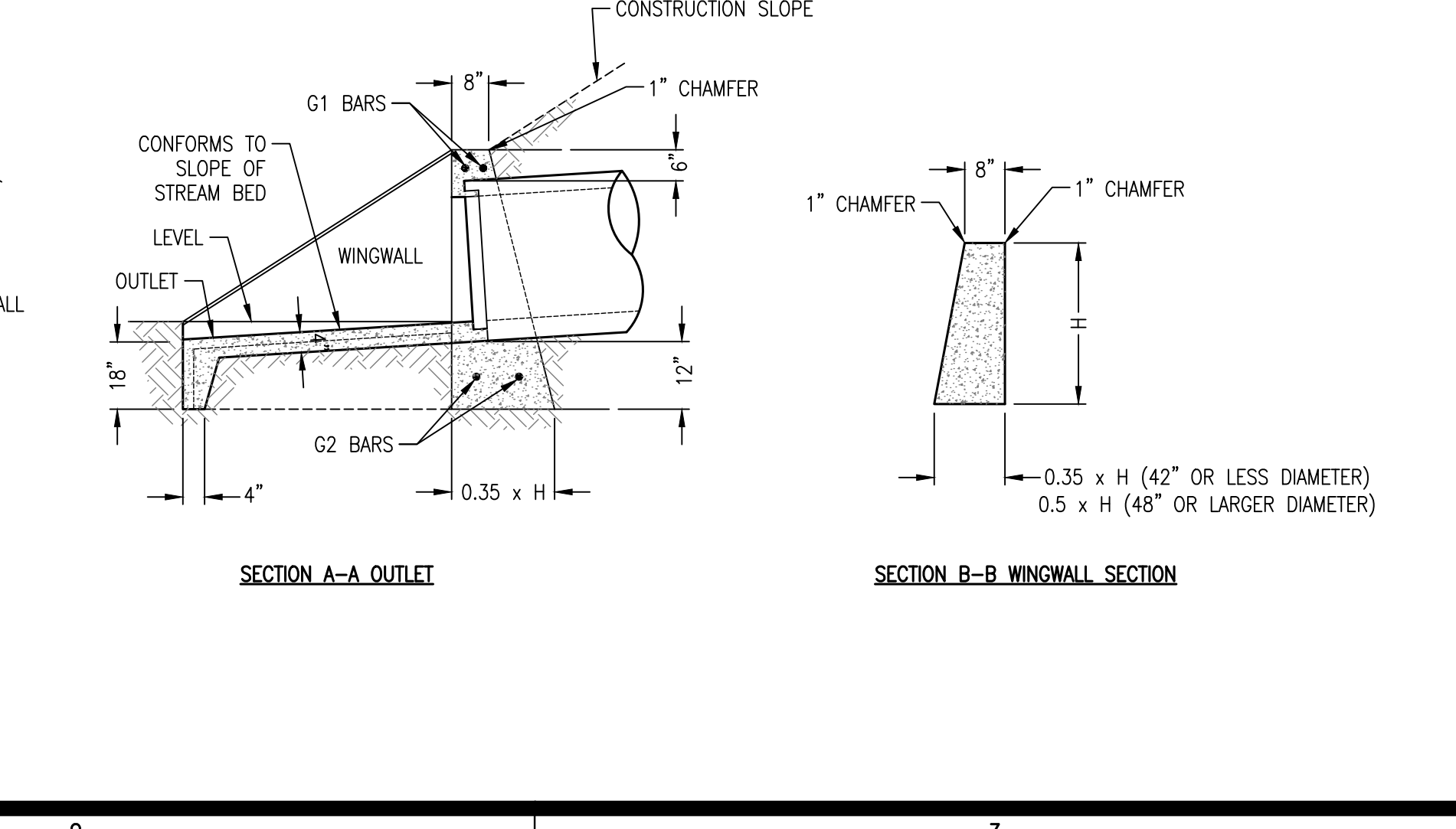
A4 2X4 INLET
NOT TO SCALE



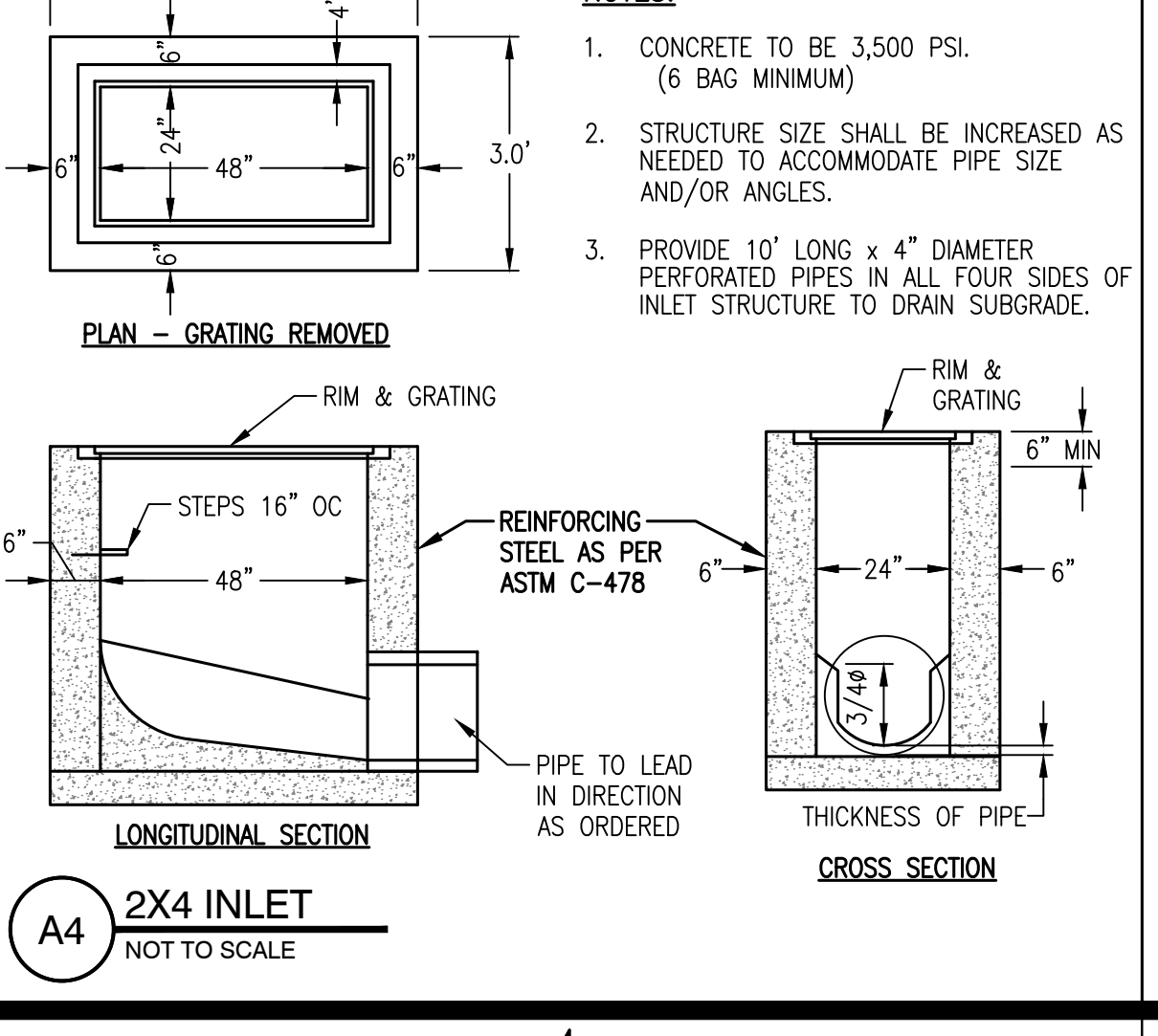
A5 YARD INLET
NOT TO SCALE



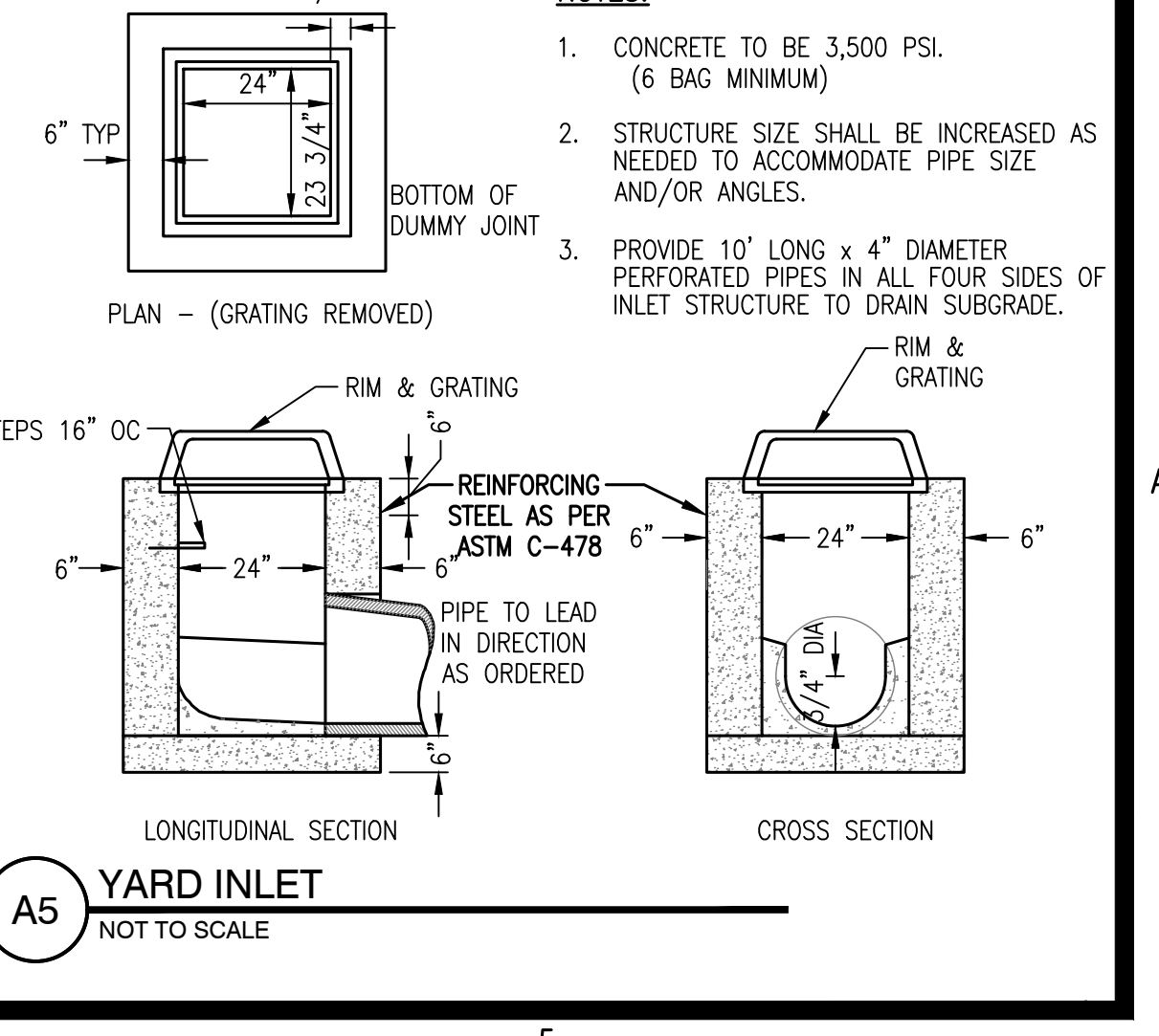
A1 HEADWALL
NOT TO SCALE



A2 2X4 INLET
NOT TO SCALE



A3 HEADWALL
NOT TO SCALE



A4 2X4 INLET
NOT TO SCALE

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM

Pickering
Pickering Firm, Inc.
Architecture • Engineering
Planning • Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

Pinnacle Point at Bryant
Assisted Living Facility
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5
BRYANT, AR

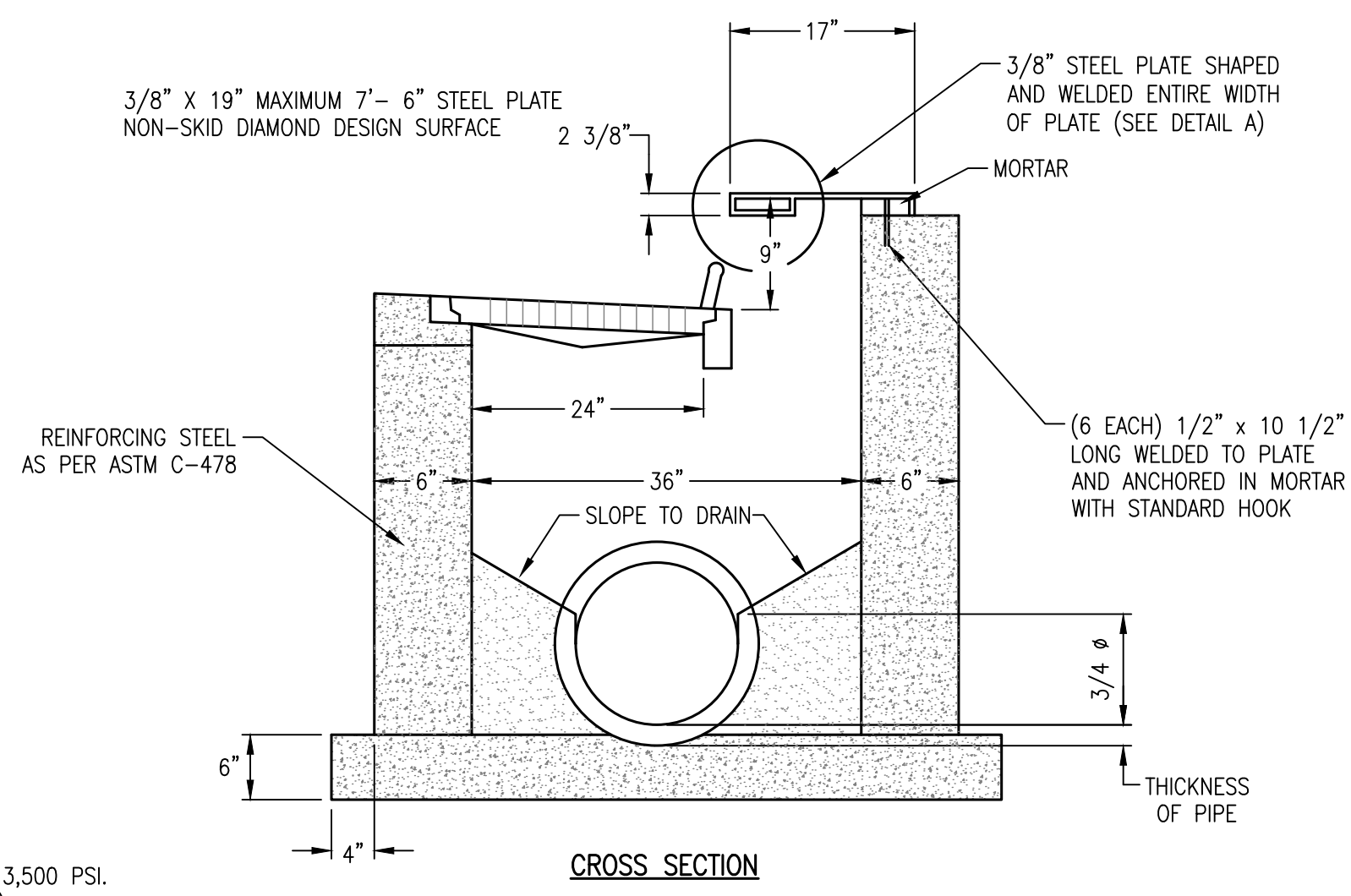
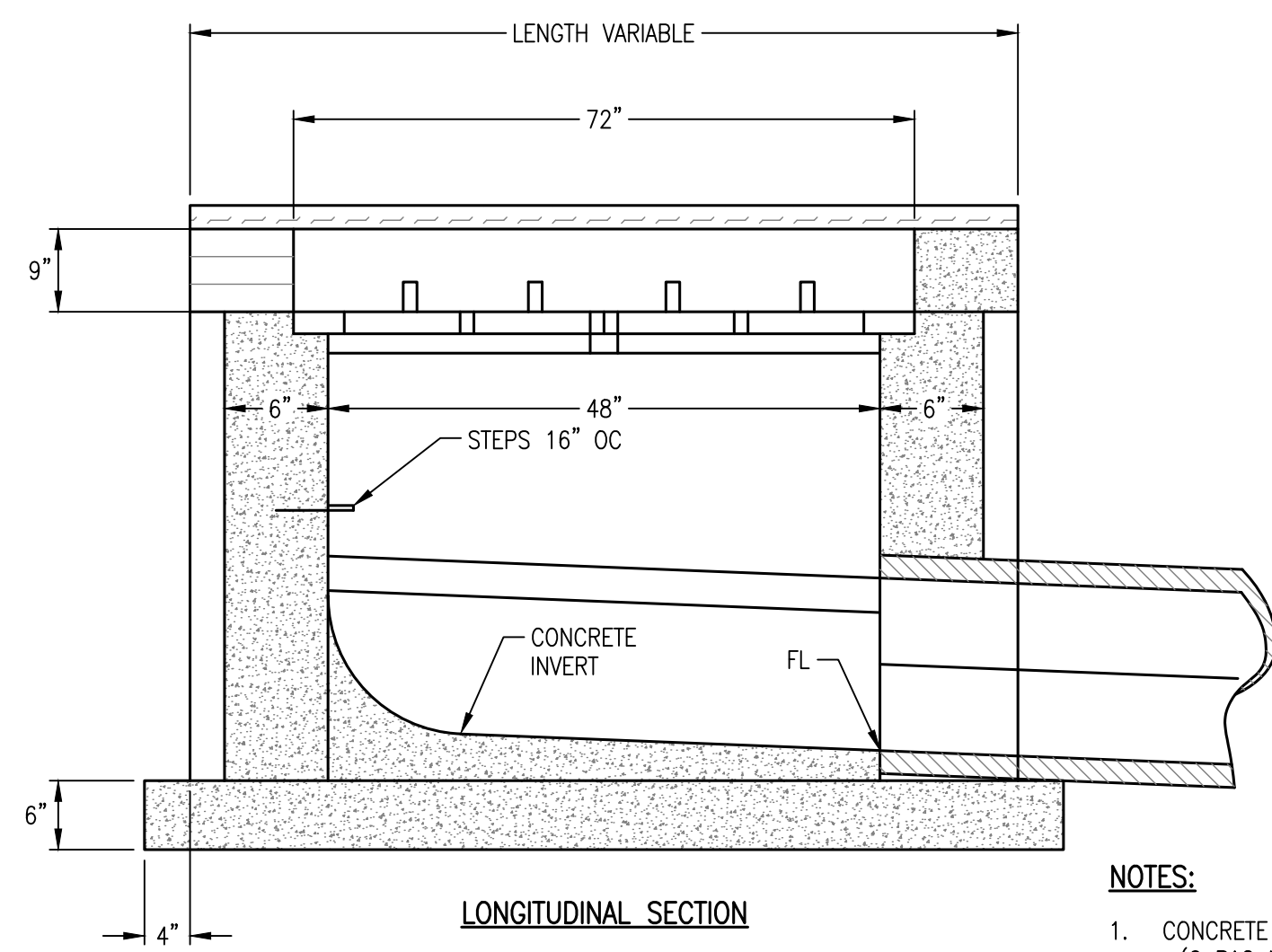
SEAL:

REGISTERED PROFESSIONAL ENGINEER
No. 14484
HARVEY T. WATNEY
1/13/2019

SHEET NUMBER:
C-510

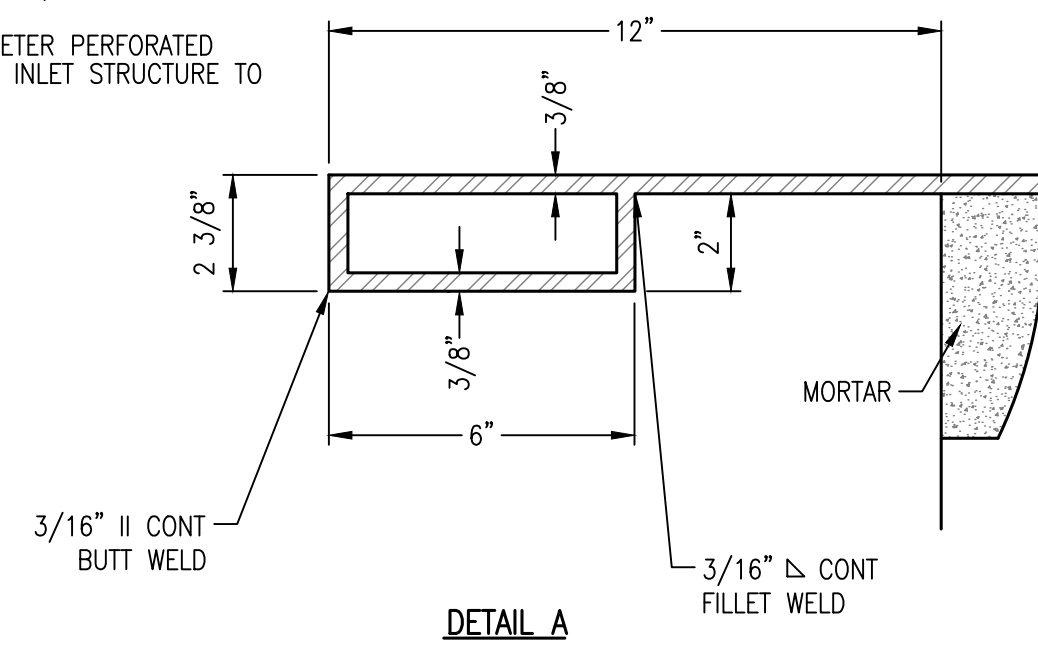
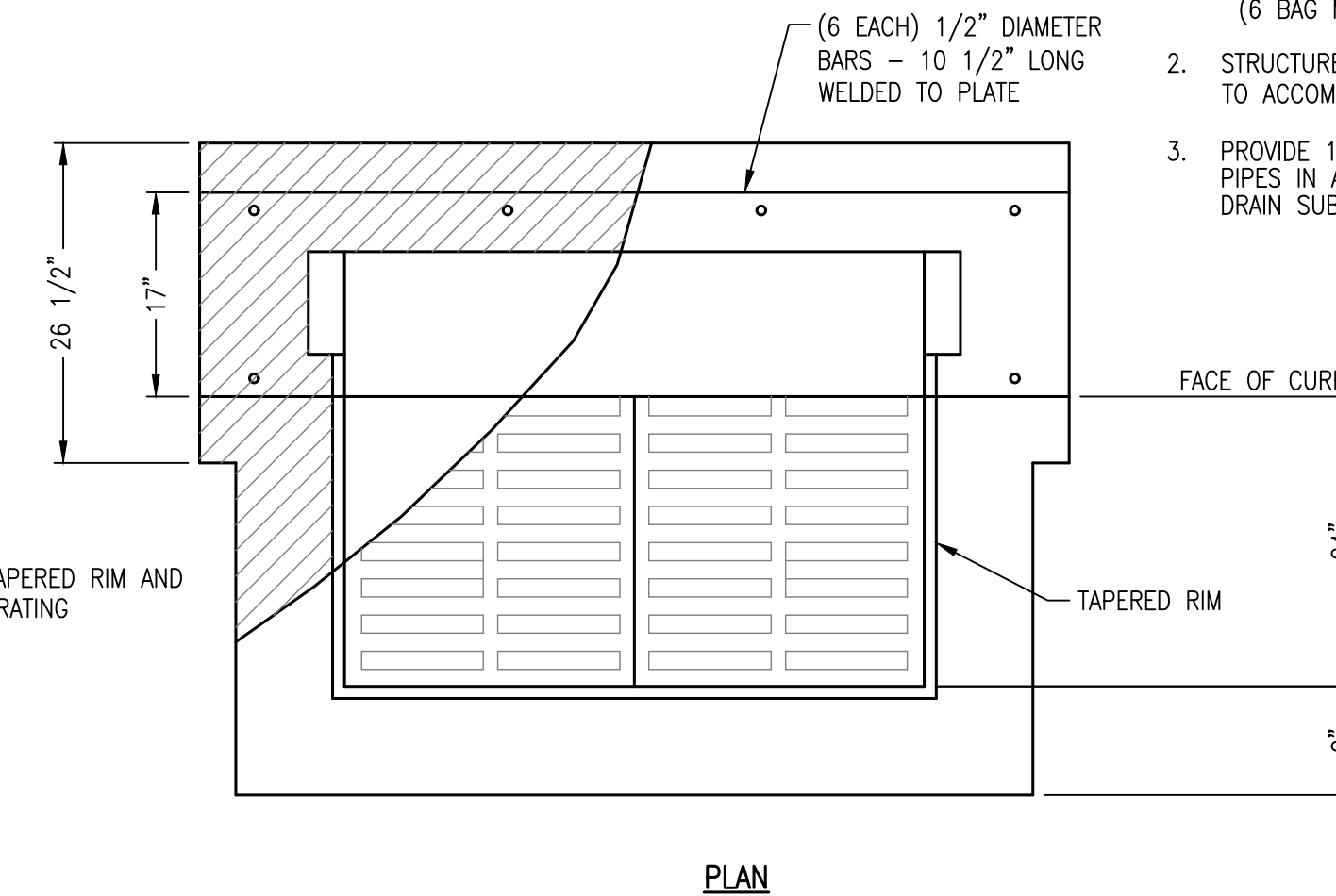
DESCRIPTION:
GRADING & DRAINAGE
DETAILS

K:\25526.01\CAD\PLANS\C-510 GRADING & DRAINAGE DETAILS.DWG

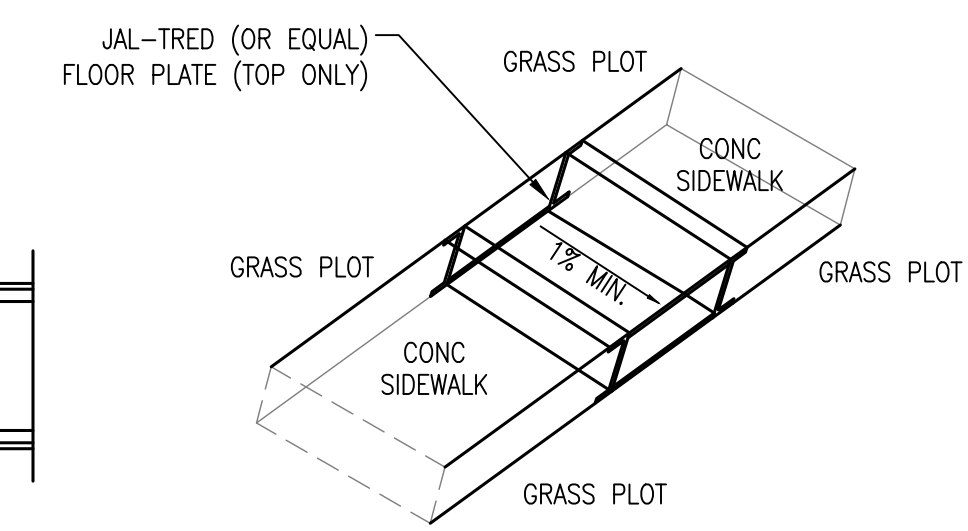
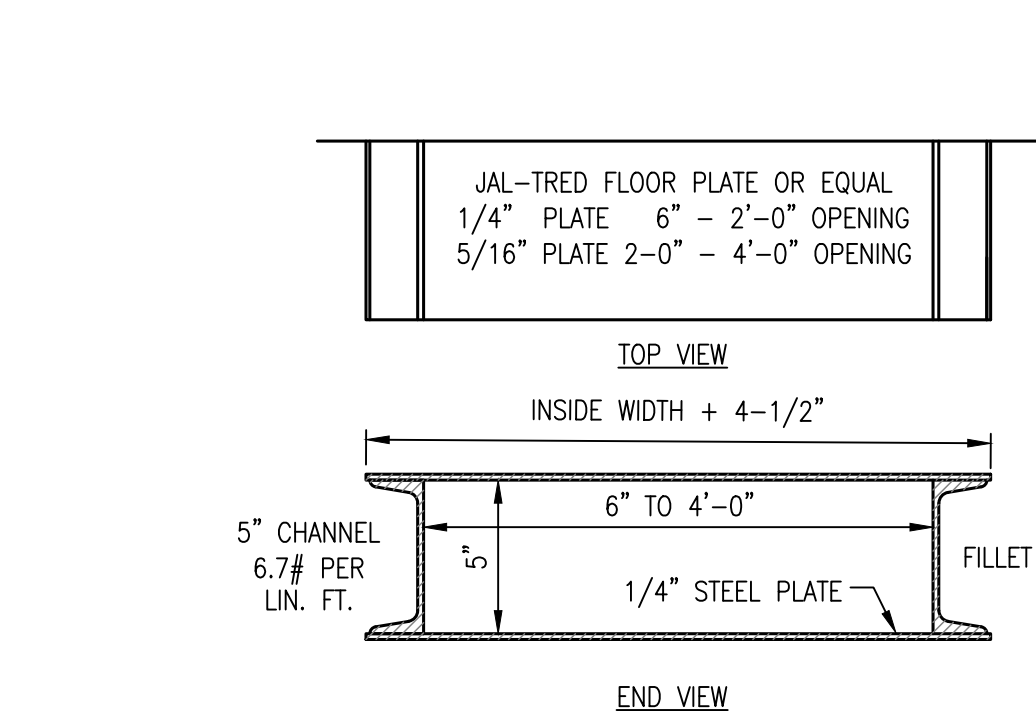


NOTES:

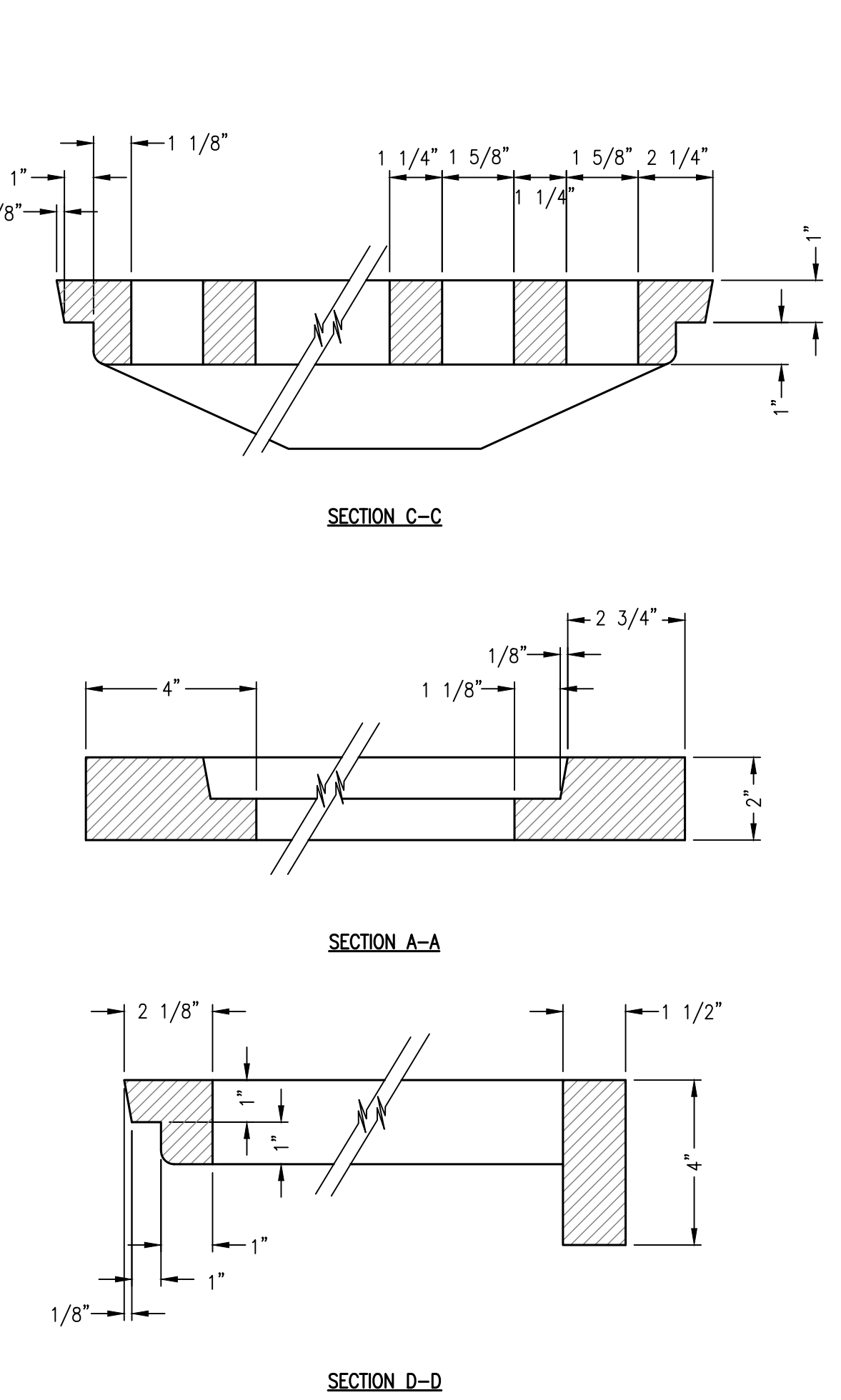
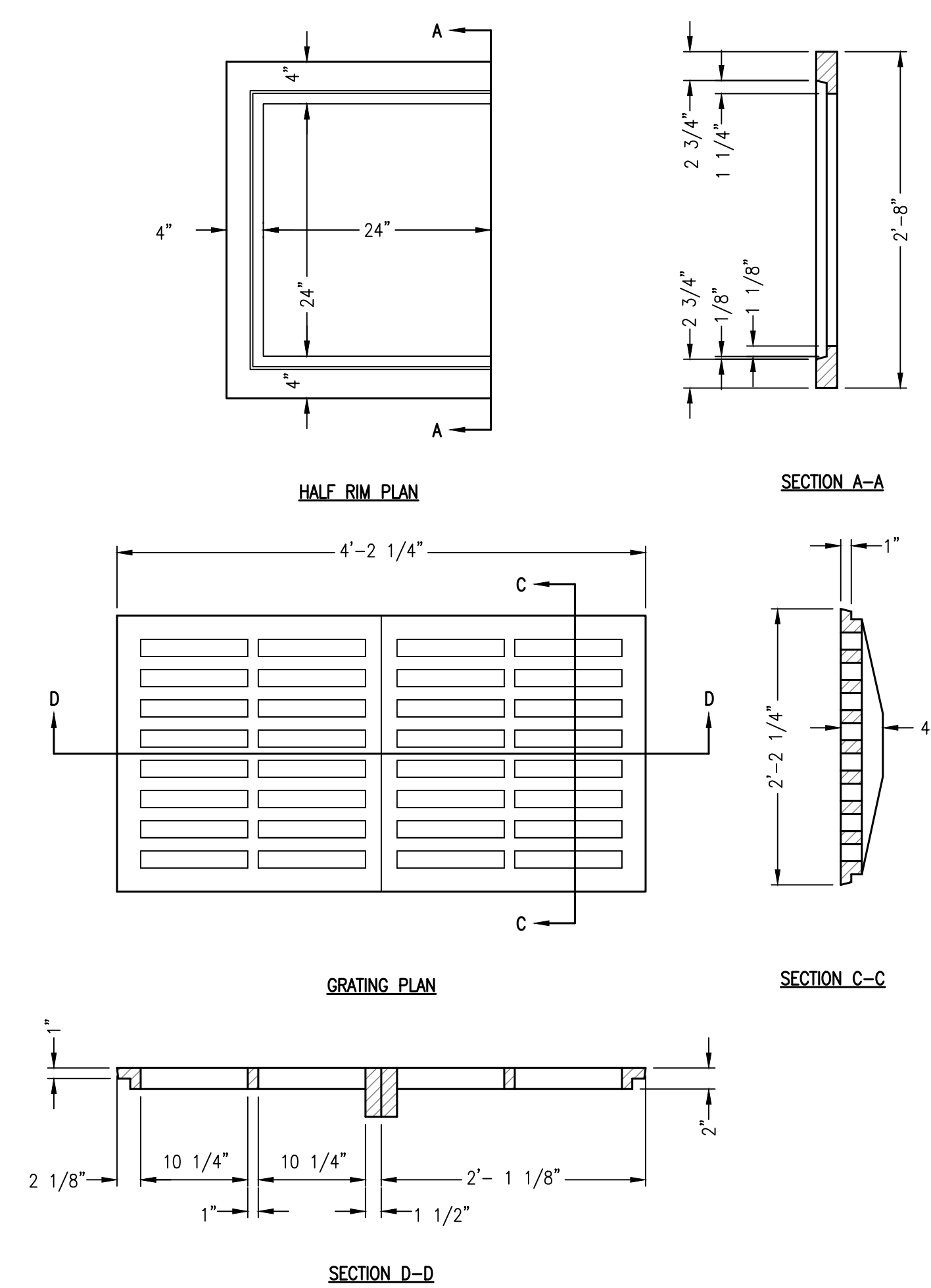
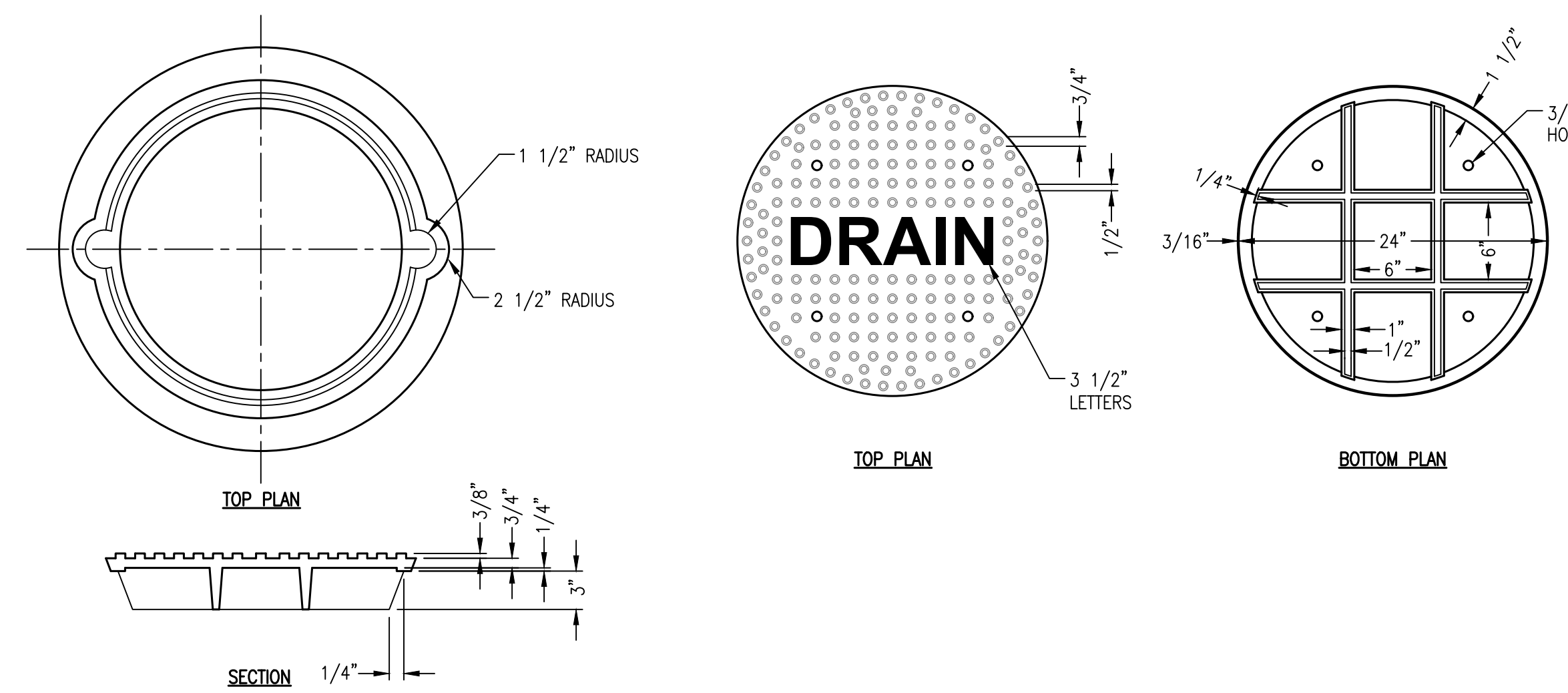
1. CONCRETE TO BE 3,500 PSI. (6 BAG MINIMUM)
2. STRUCTURE SIZE SHALL BE INCREASED AS NEEDED TO ACCOMMODATE PIPE SIZE AND/OR ANGLES.
3. PROVIDE 10' LONG x 4" DIAMETER PERFORATED PIPES IN ALL FOUR SIDES OF INLET STRUCTURE TO DRAIN SUBGRADE.



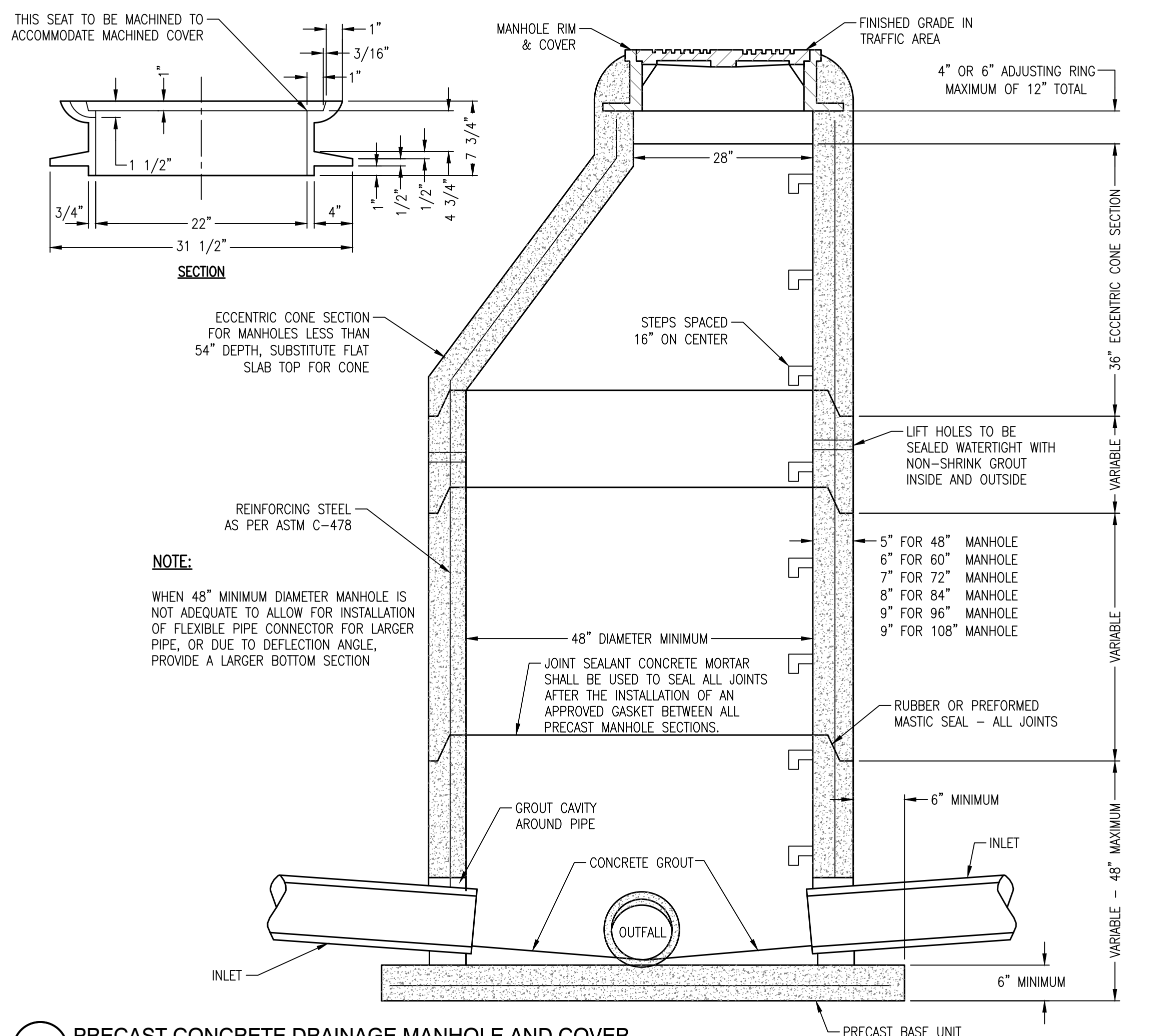
C1 CURB INLET
NOT TO SCALE



D4 PREFABRICATED SIDEWALK DRAIN
NOT TO SCALE



A1 2X4 INLET GRATE
NOT TO SCALE



NOTE:
WHEN 48" MINIMUM DIAMETER MANHOLE IS NOT ADEQUATE TO ALLOW FOR INSTALLATION OF FLEXIBLE PIPE CONNECTOR FOR LARGER PIPE, OR DUE TO DEFLECTION ANGLE, PROVIDE A LARGER BOTTOM SECTION

A4 PRECAST CONCRETE DRAINAGE MANHOLE AND COVER
NOT TO SCALE

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM

Pickering
Pickering Firm, Inc.
Architecture - Engineering
Planning - Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

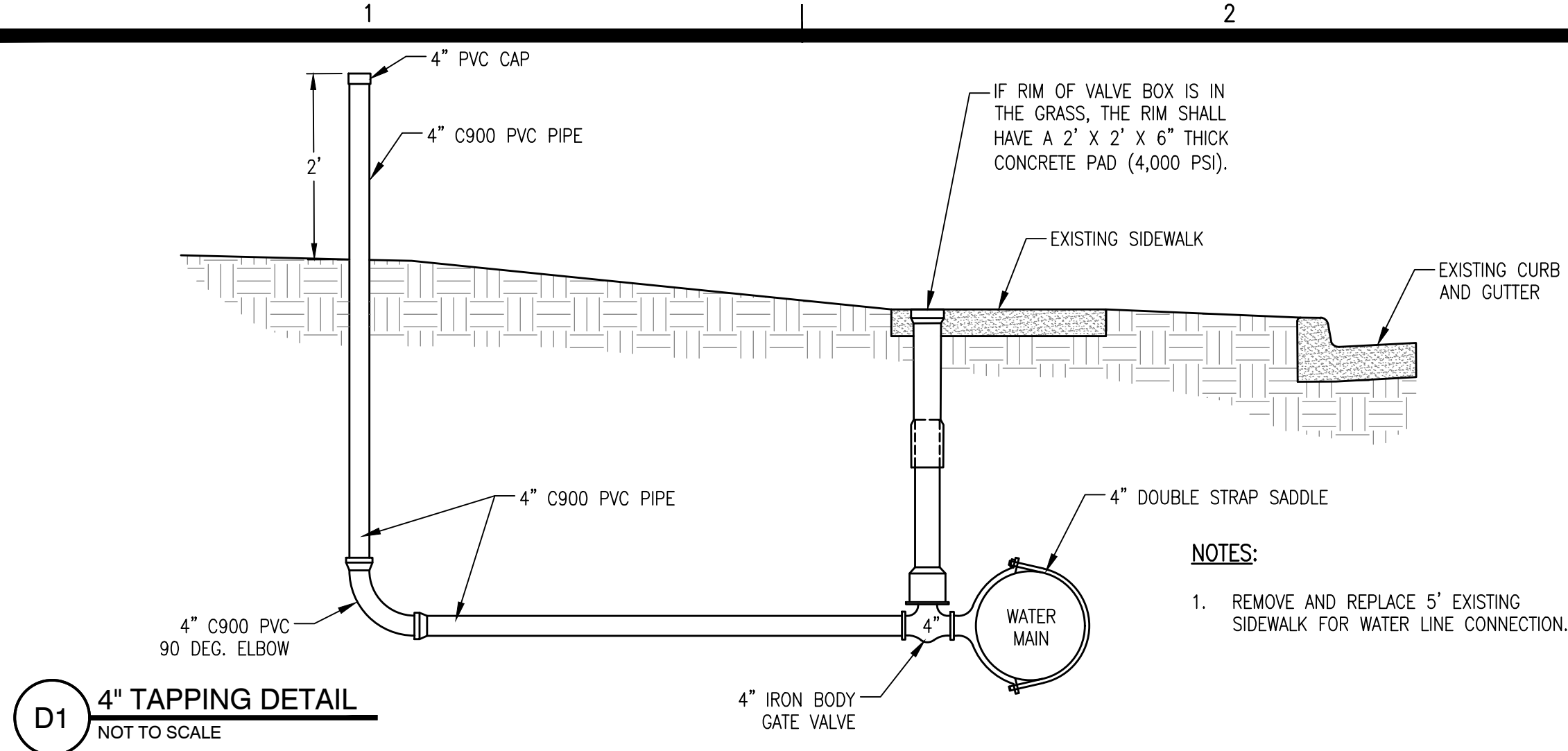
Pinnacle Point at Bryant Assisted Living Facility
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5
BRYANT, AR

SEAL:
REGISTERED PROFESSIONAL ENGINEER
No. 14484
1/13/2019

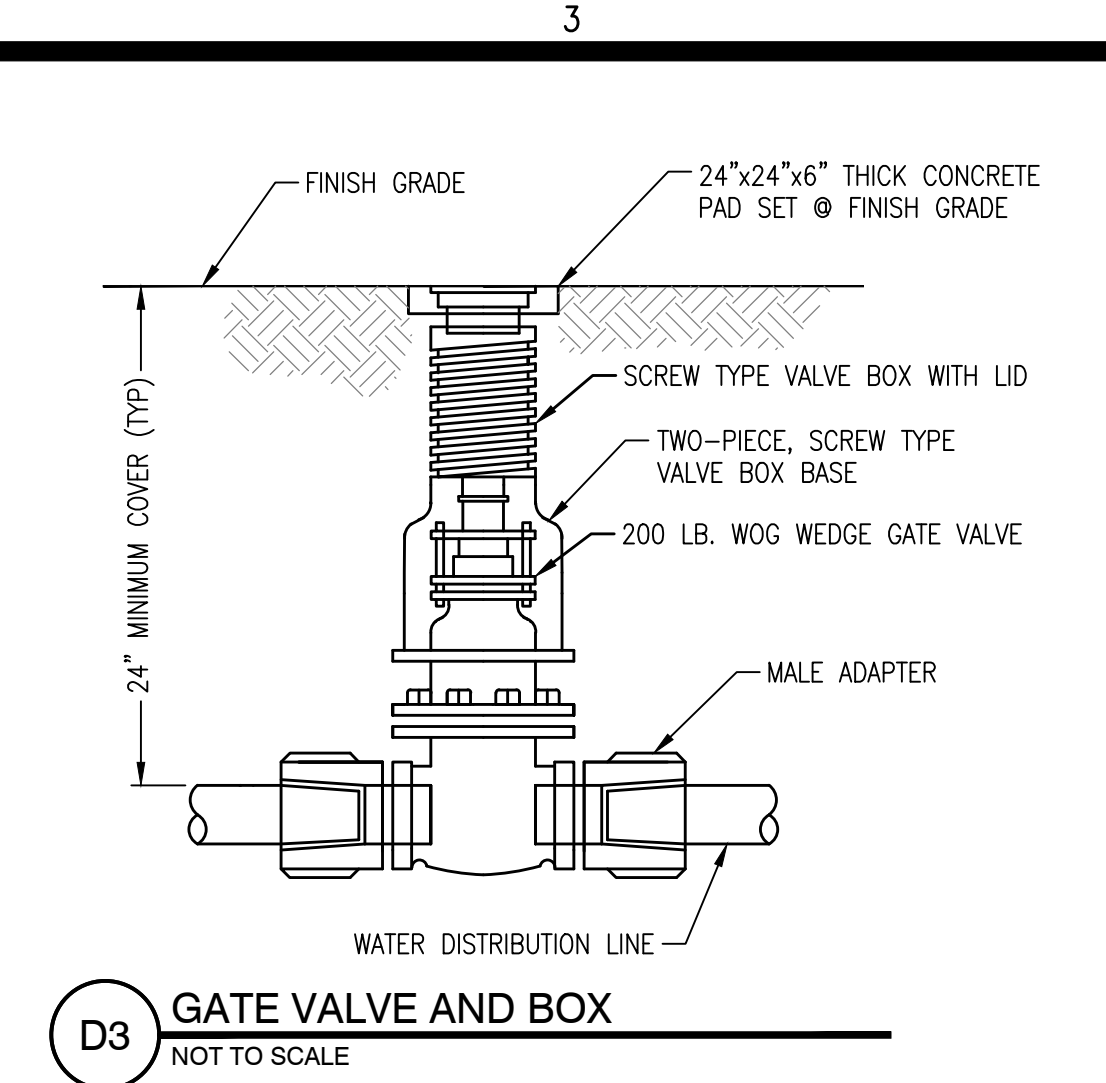
SHEET NUMBER:
C-511

DESCRIPTION:
GRADING & DRAINAGE
DETAILS

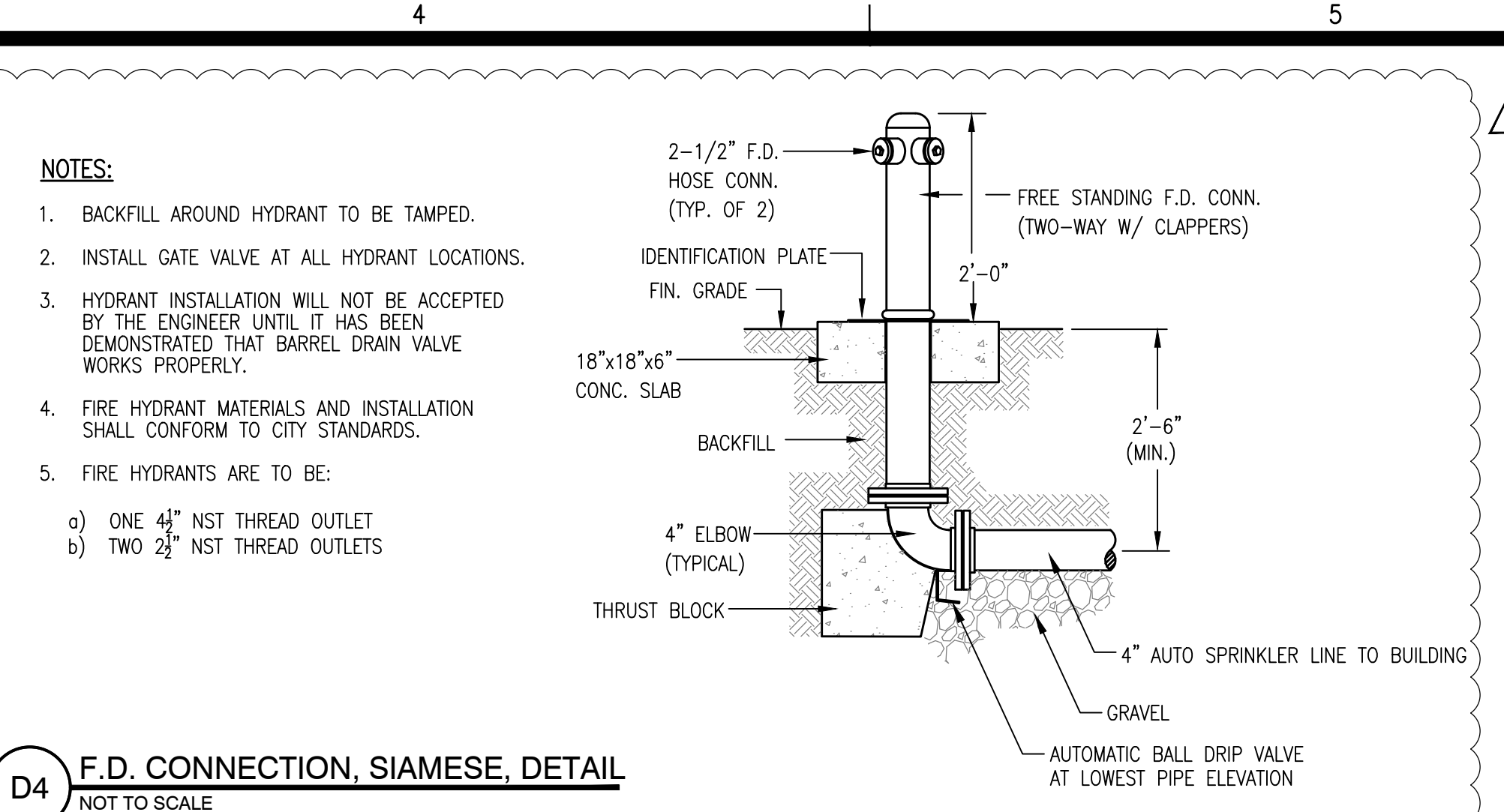
K:\25526.01\CAD PLANS\C-511 GRADING & DRAINAGE DETAILS.DWG



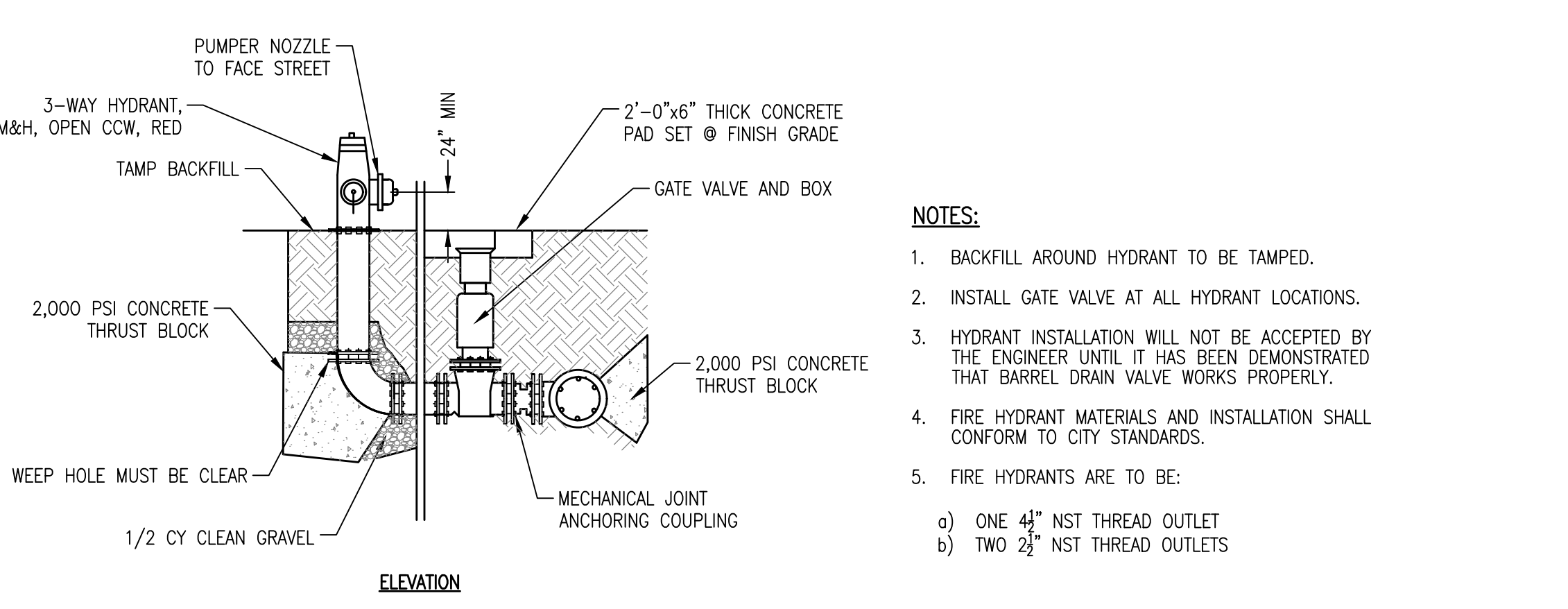
D1 4" TAPPING DETAIL
NOT TO SCALE



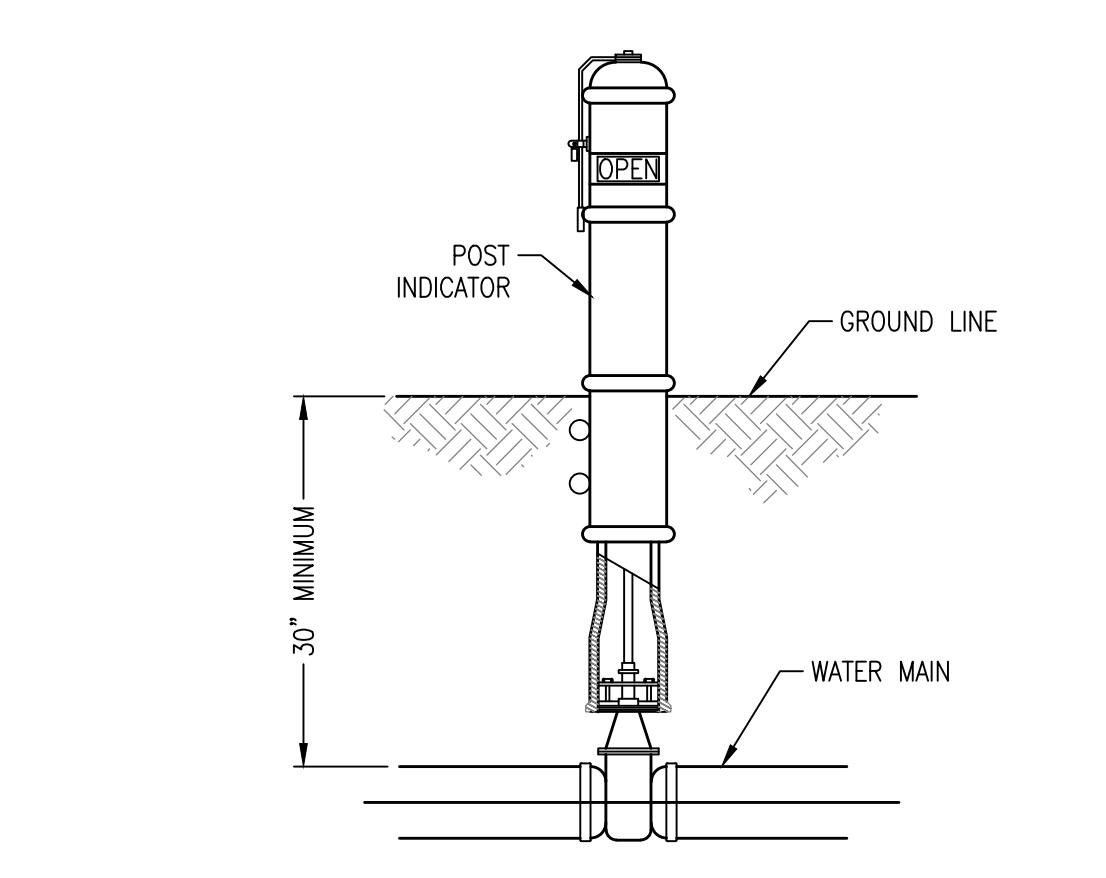
D3 GATE VALVE AND BOX
NOT TO SCALE



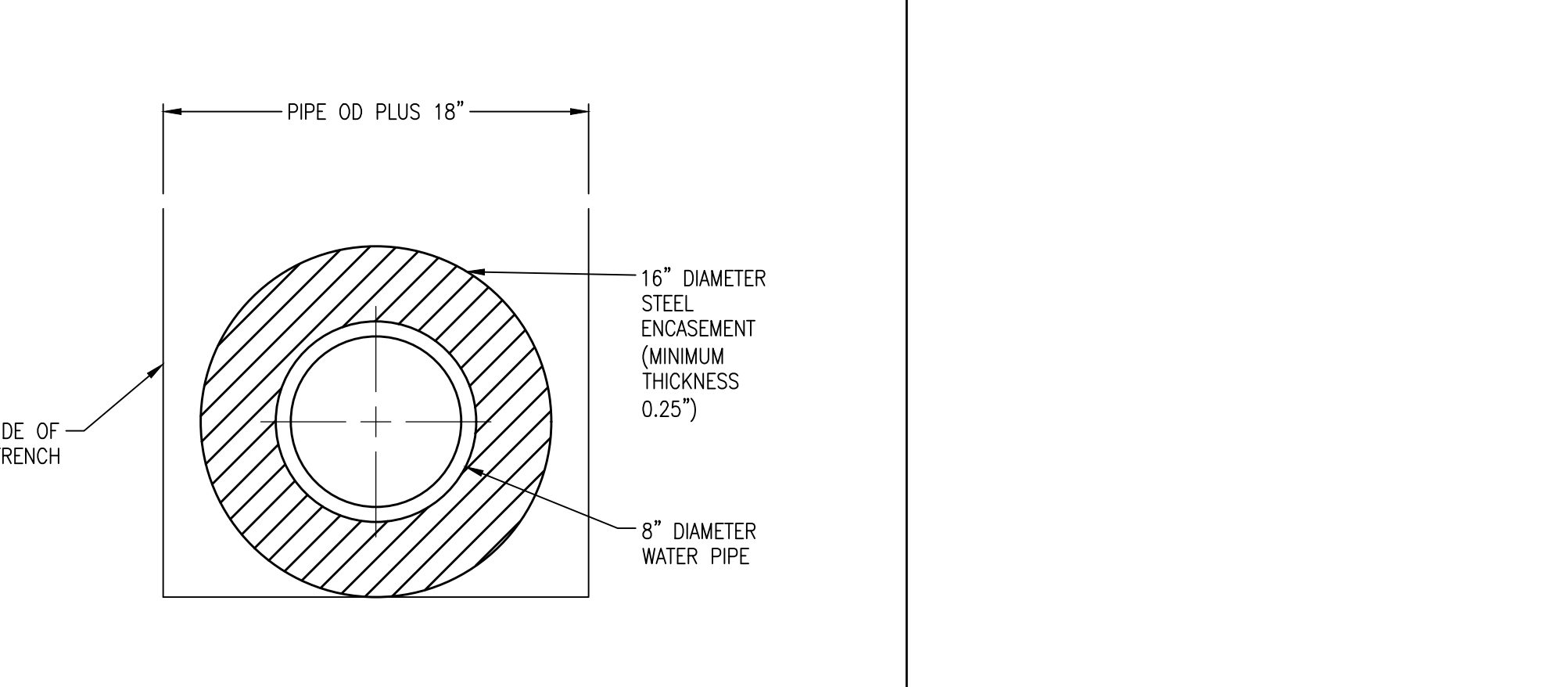
D4 F.D. CONNECTION, SIAMESE, DETAIL
NOT TO SCALE



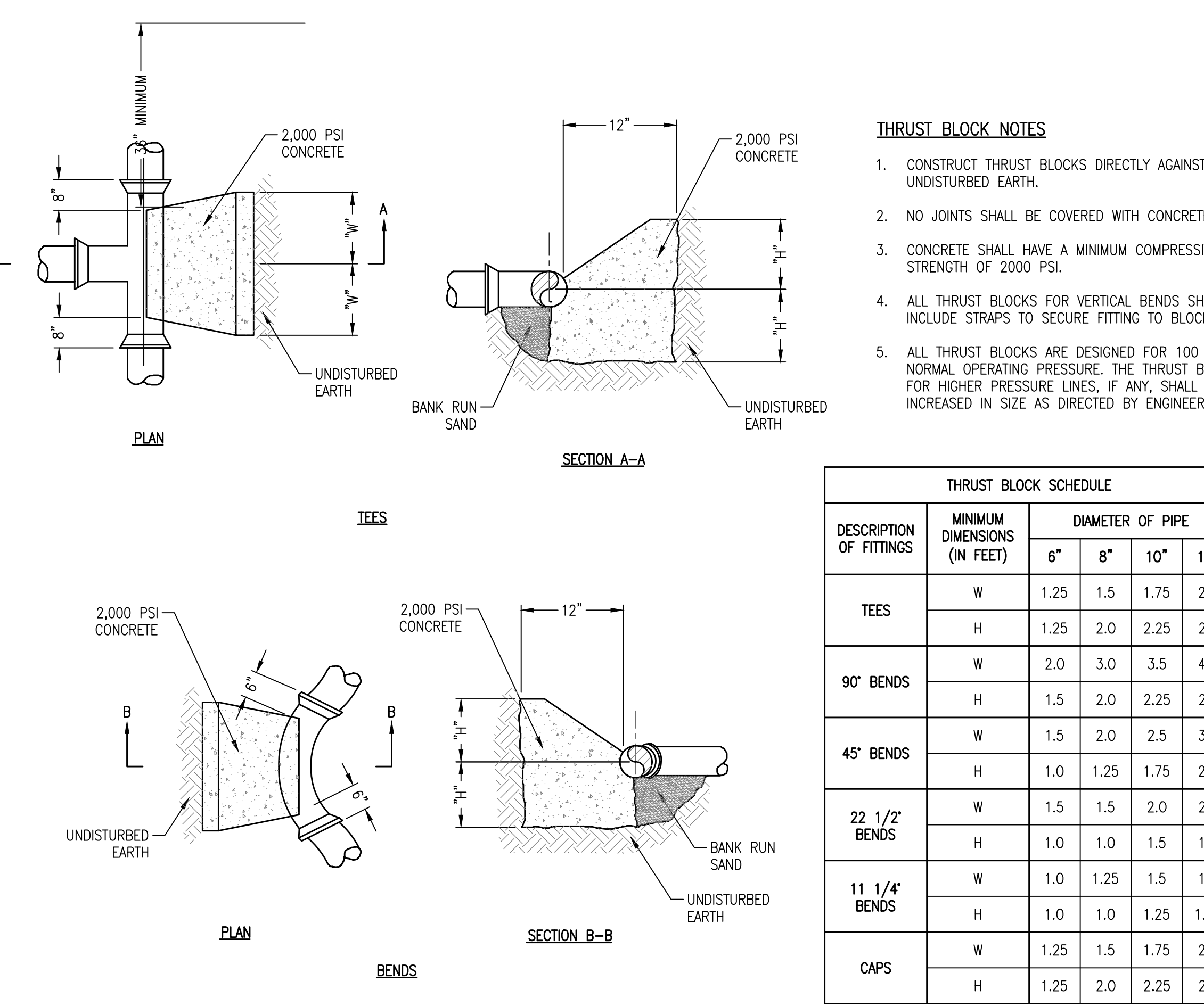
C1 FIRE HYDRANT ASSEMBLY
NOT TO SCALE



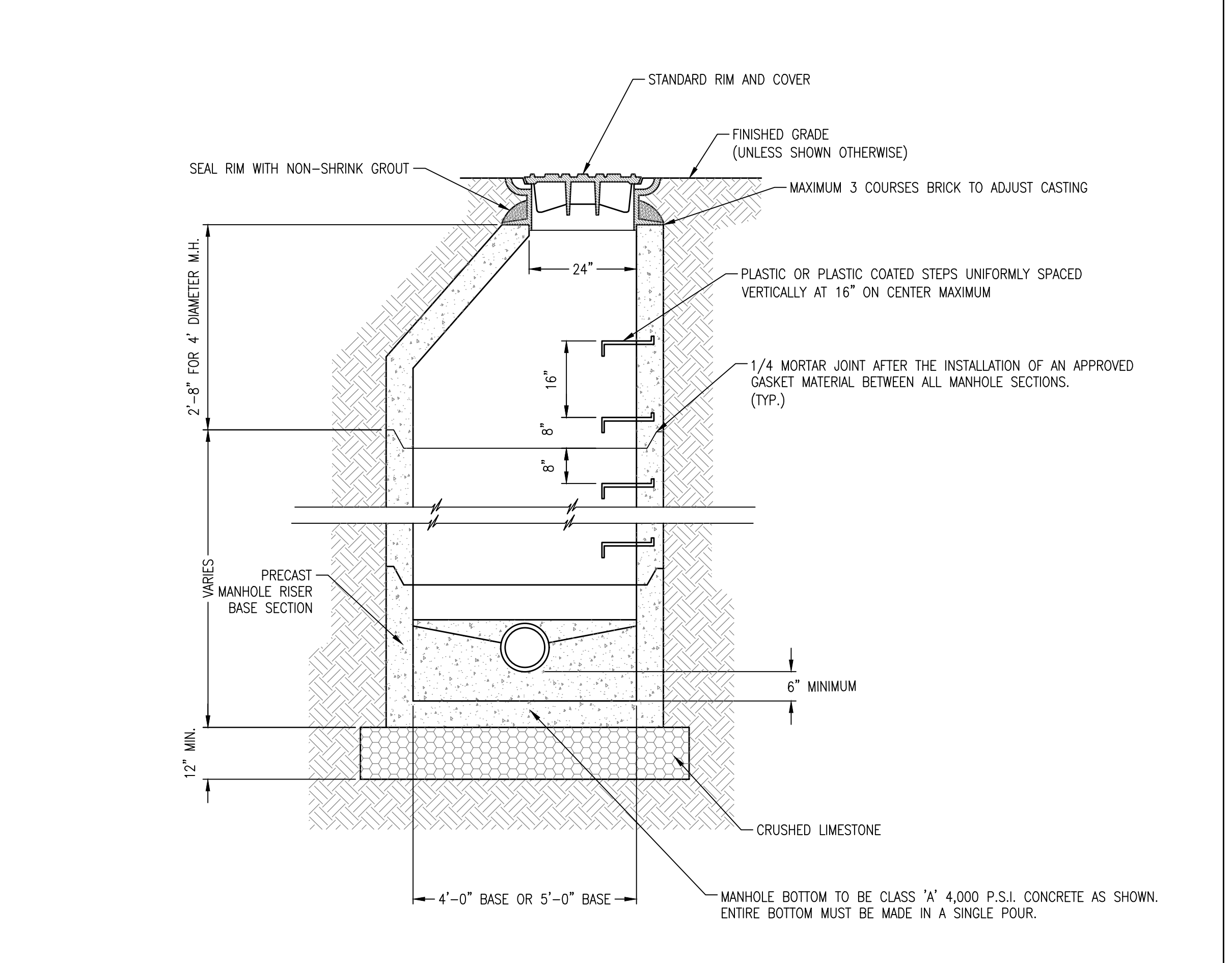
C3 POST INDICATOR VALVE
NOT TO SCALE



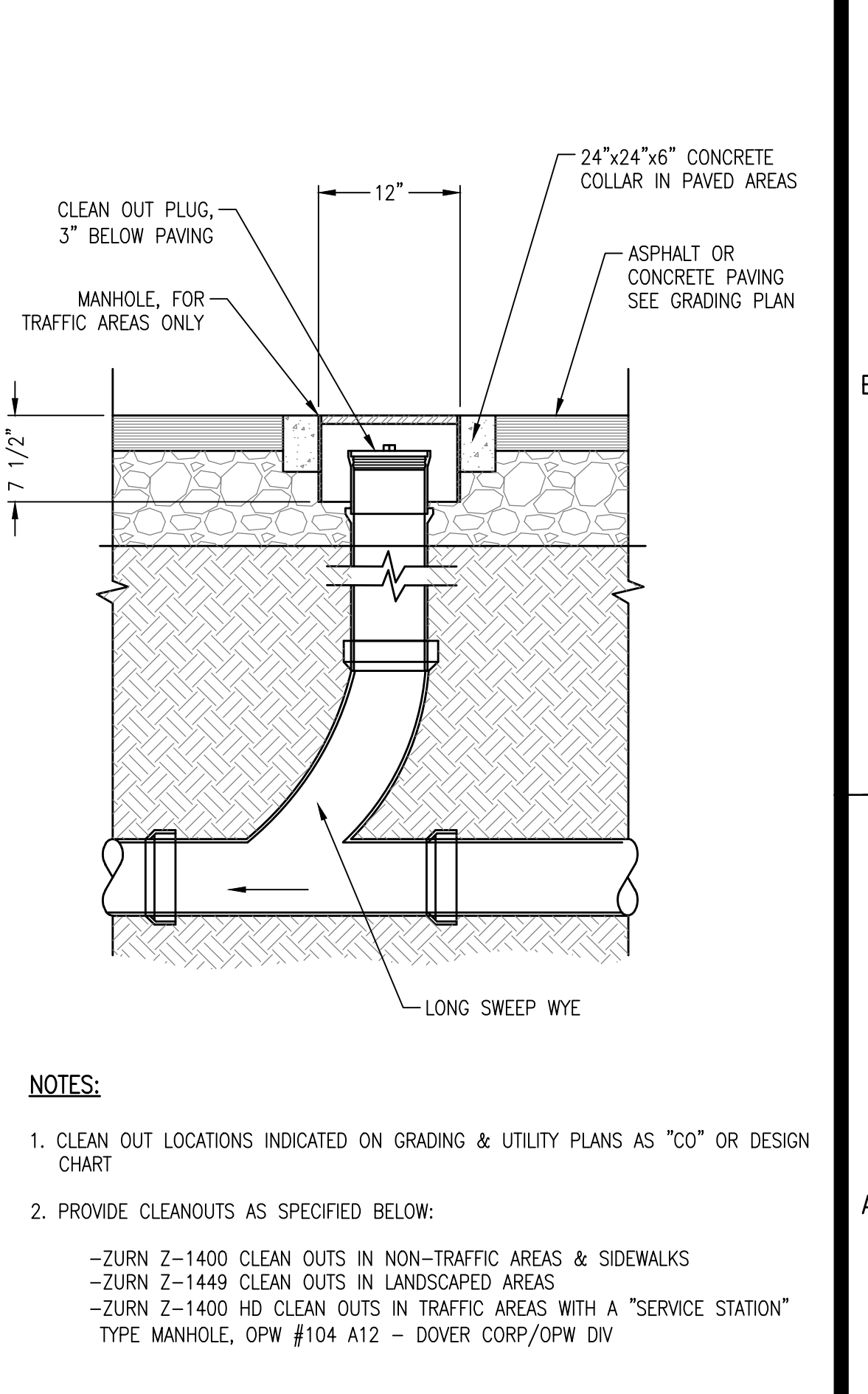
C4 STEEL ENCASEMENT
NOT TO SCALE



A1 THRUST BLOCKING
NOT TO SCALE



A3 PRECAST SEWER MANHOLE
NOT TO SCALE



A5 CLEANOUT
NOT TO SCALE

REVISIONS:

NO.	DATE	CITY	COMMENTS
1	12/12/19		
2			
3			
4			

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM

Pickering
Pickering Firm, Inc.
Architecture - Engineering
Planning - Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

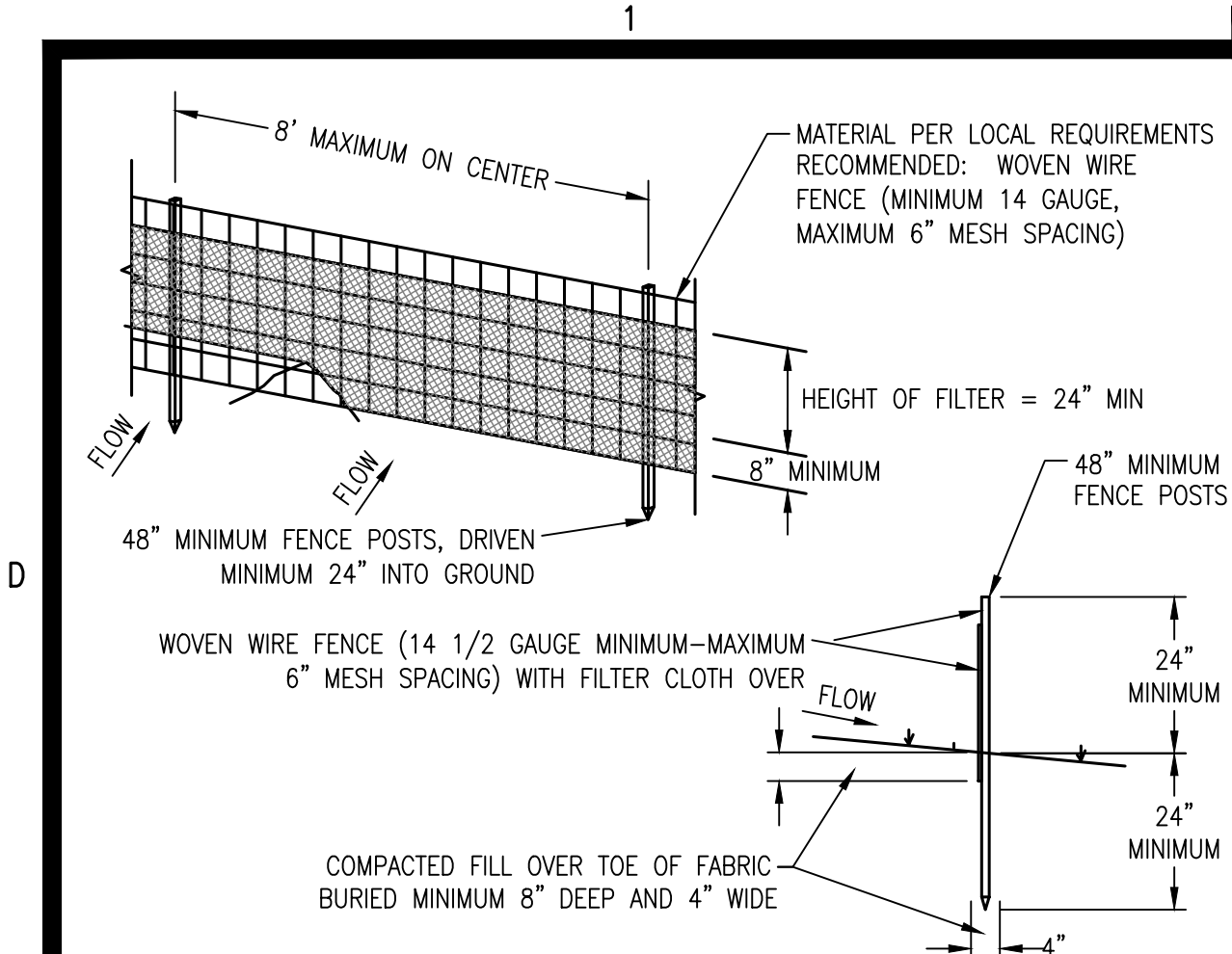
PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5 BRYANT, AR

SEAL:
REGISTERED PROFESSIONAL ENGINEER
No. 14484
HARVEY T. MATHEW
12/16/2019

SHEET NUMBER:
C-520

DESCRIPTION:
UTILITY DETAILS

K:\25526.01\CAD PLANS\C-520 UTILITY DETAILS.DWG

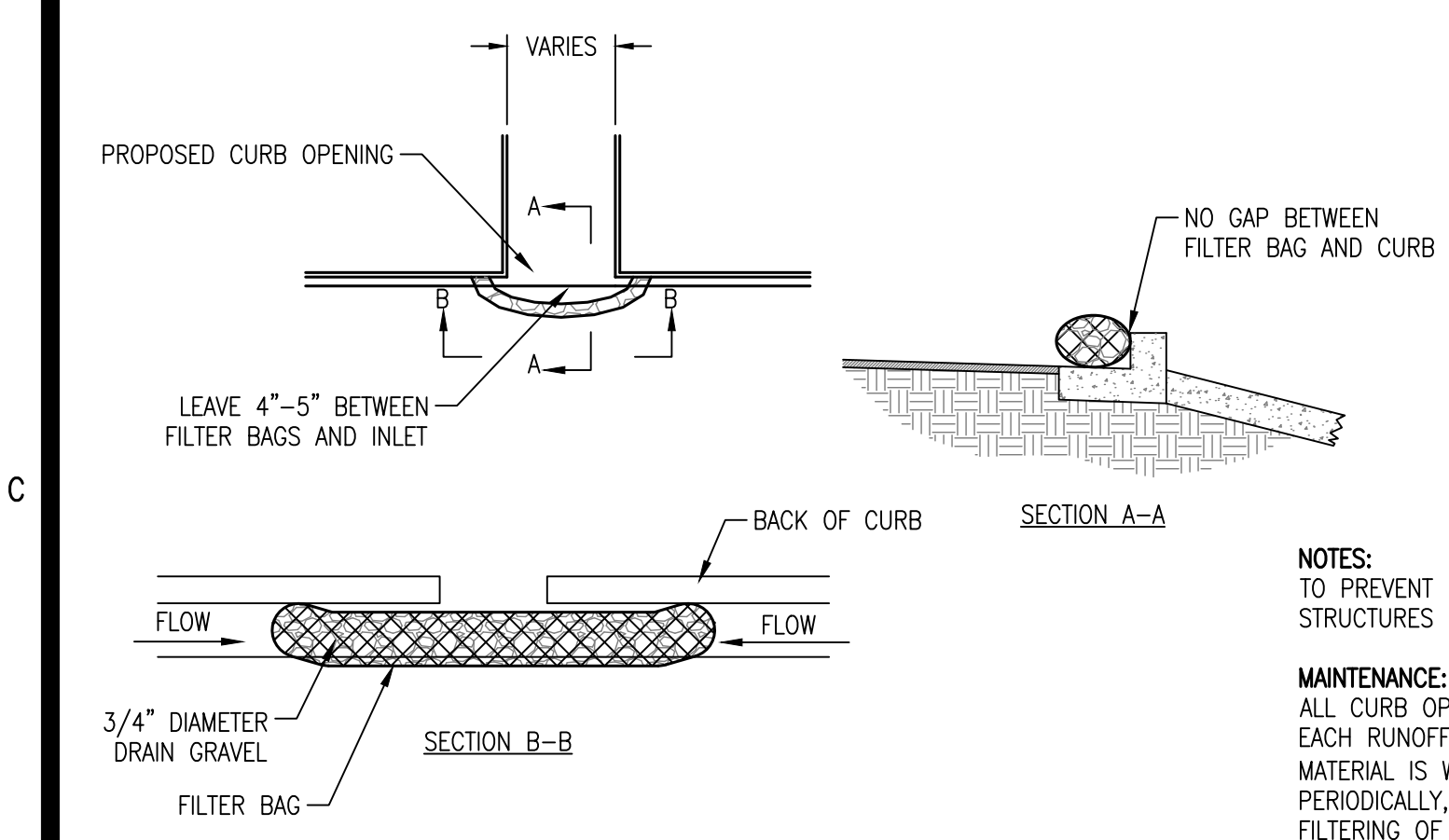


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
- WHEN TWO SECTIONS OR FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY (6) INCHES AND FOLDED.
- LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER "T" OR "U" TYPE
 POSTS: LOCATED MAXIMUM 8' OC
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA 6" MAX MESH OPENING
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL.
 PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL.

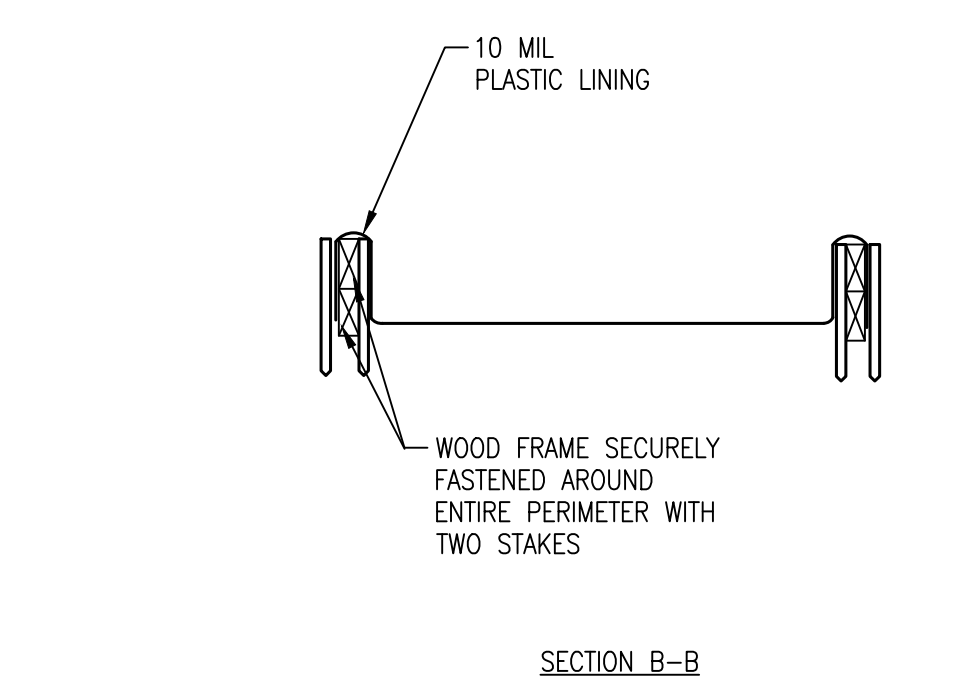
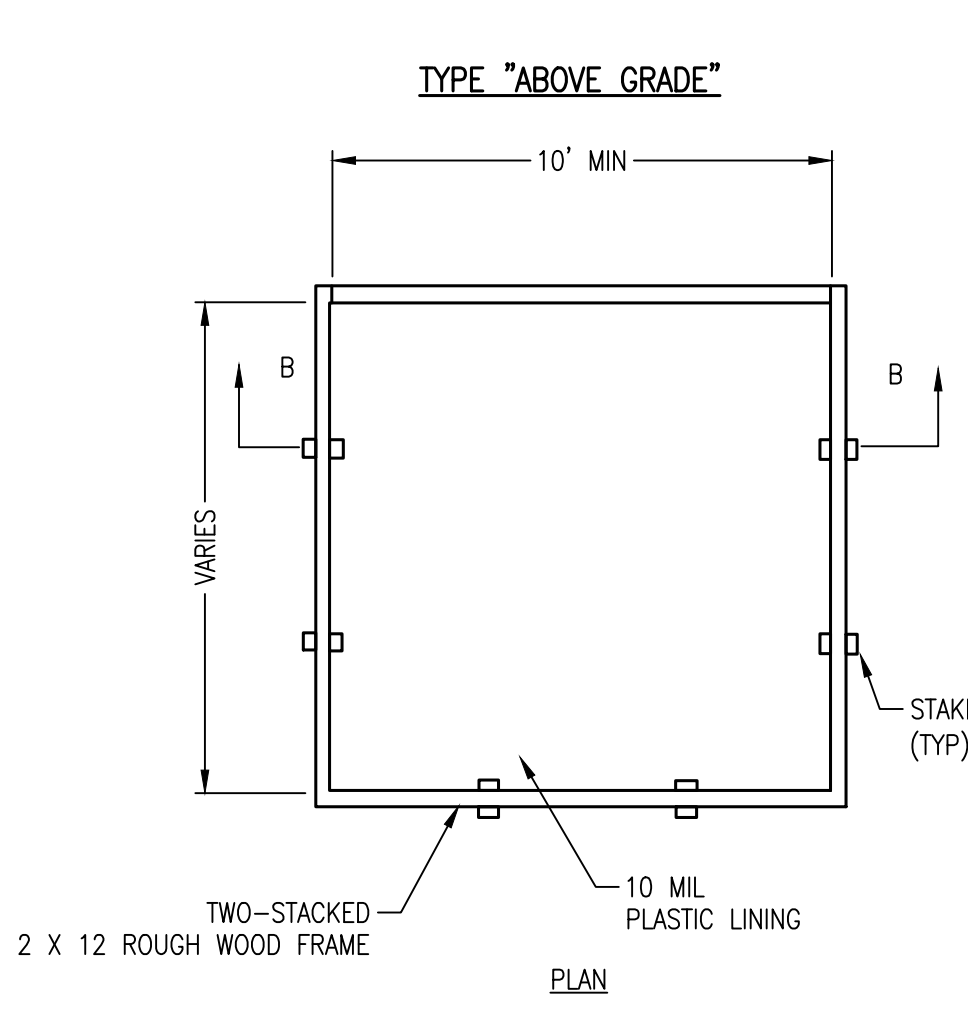
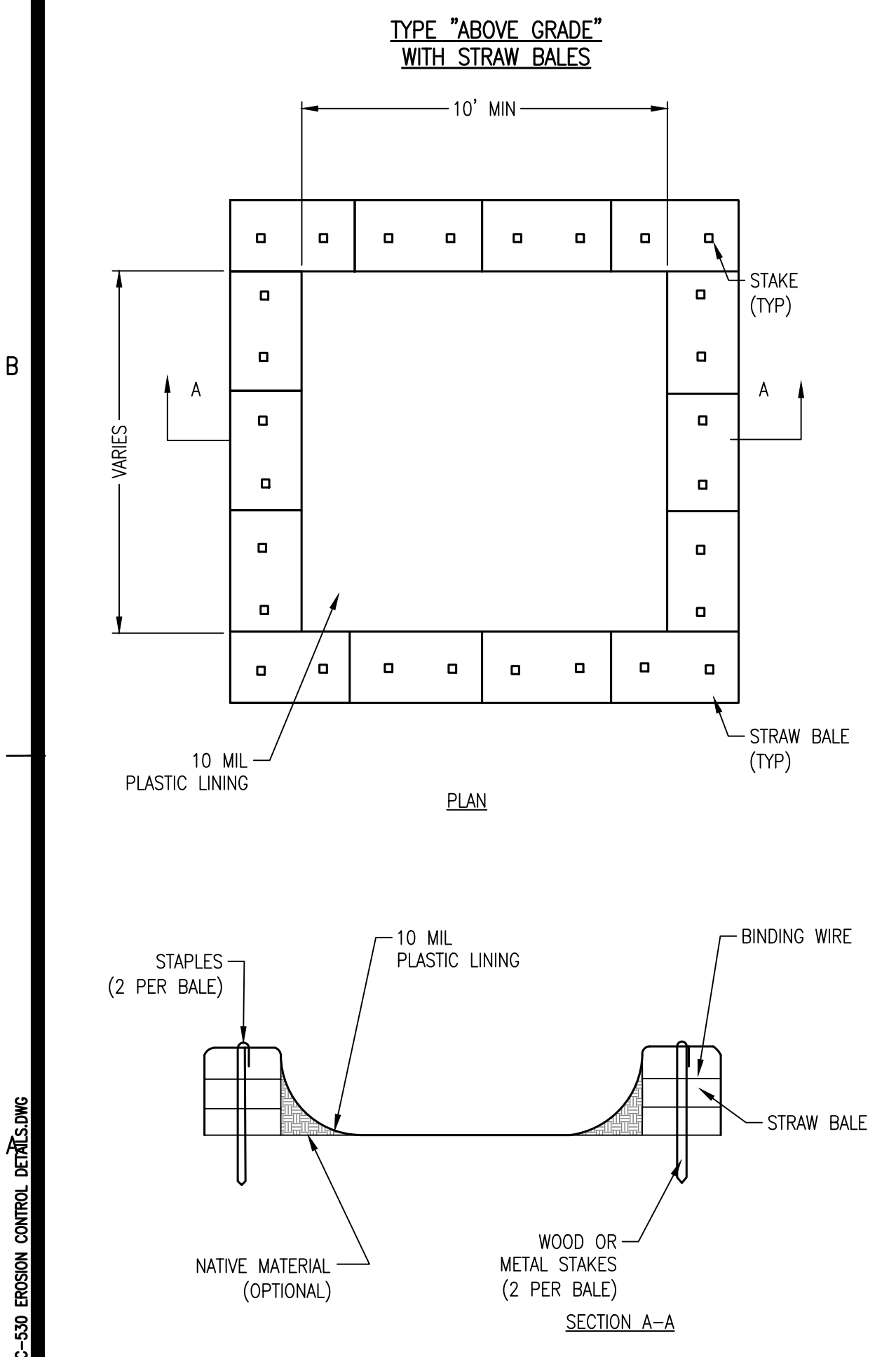
D1 SILT FENCE EROSION PROTECTION
NOT TO SCALE



NOTES:
 TO PREVENT DAMAGES TO VEHICLES, SIGNS WARNING DRIVERS ABOUT THE STRUCTURES MAY BE NECESSARY.

MAINTENANCE:
 ALL CURB OPENING GRAVEL FILTERS SHALL BE INSPECTED AND REPAIRED AFTER EACH RUNOFF EVENT. SEDIMENT DEPOSITS ARE TO BE REMOVED ONCE MATERIAL IS WITHIN 8 CM (3 INCHES) OF THE TOP OF ANY BLOCK. PERIODICALLY, THE GRAVEL SHALL BE RAKED TO INCREASE INFILTRATION AND FILTERING OF RUNOFF WATERS. ACCUMULATED SEDIMENT IS TO BE REMOVED IMMEDIATELY FROM ROADS AND STREETS.

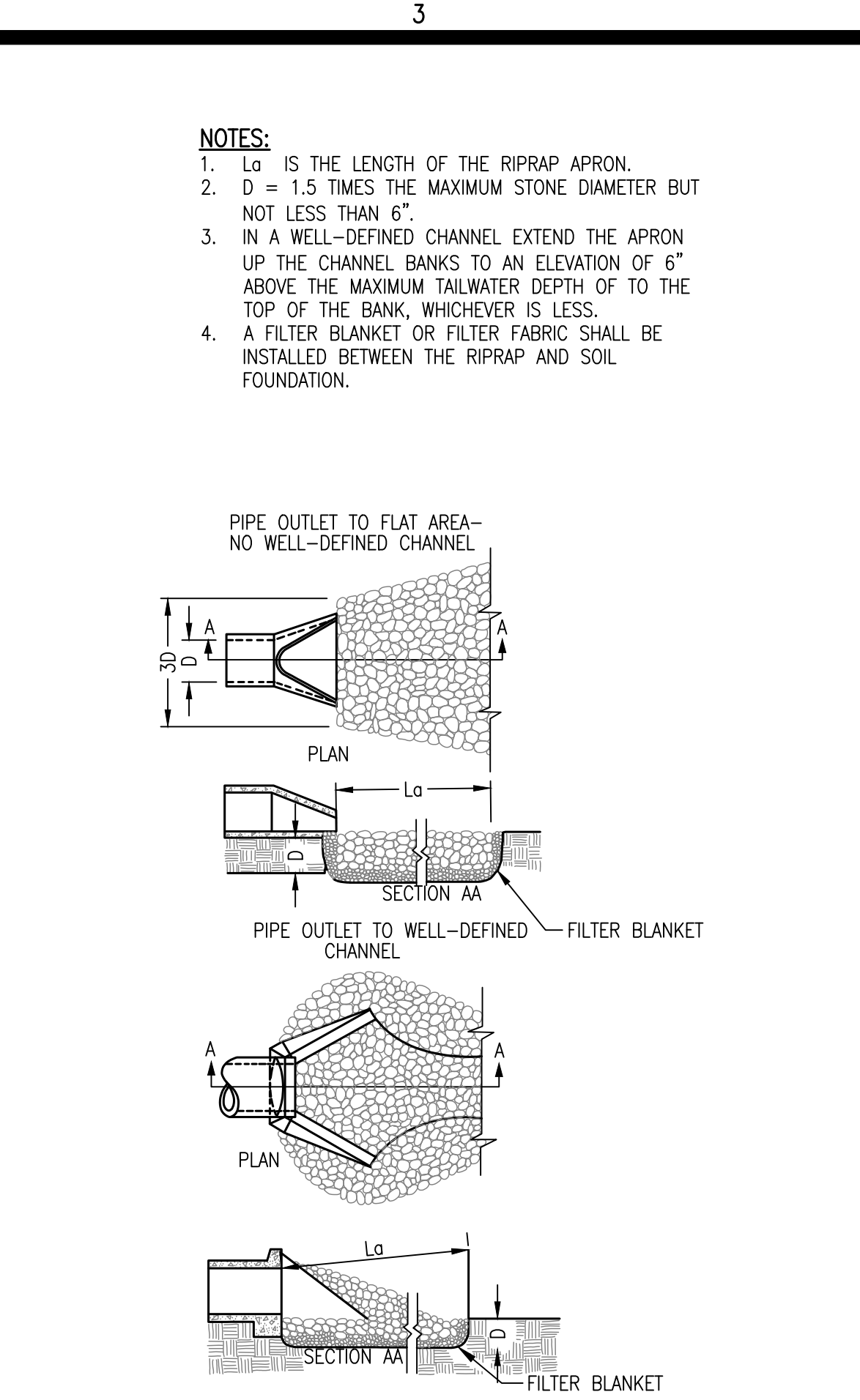
C1 CURB OPENING PROTECTION
NOT TO SCALE



NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

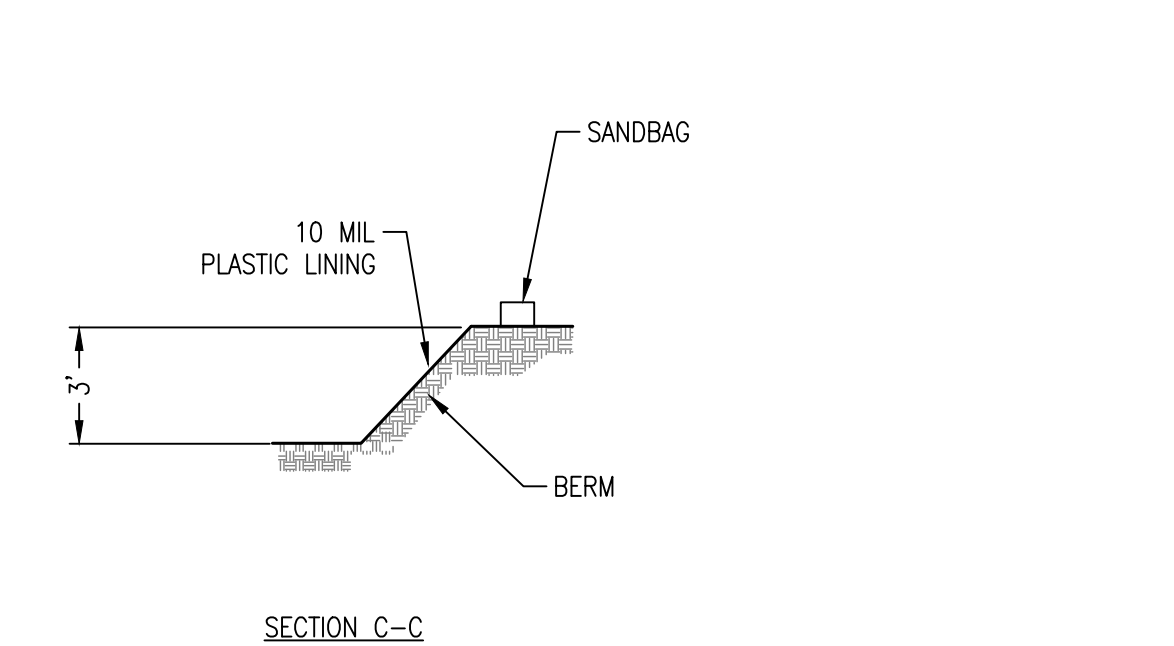
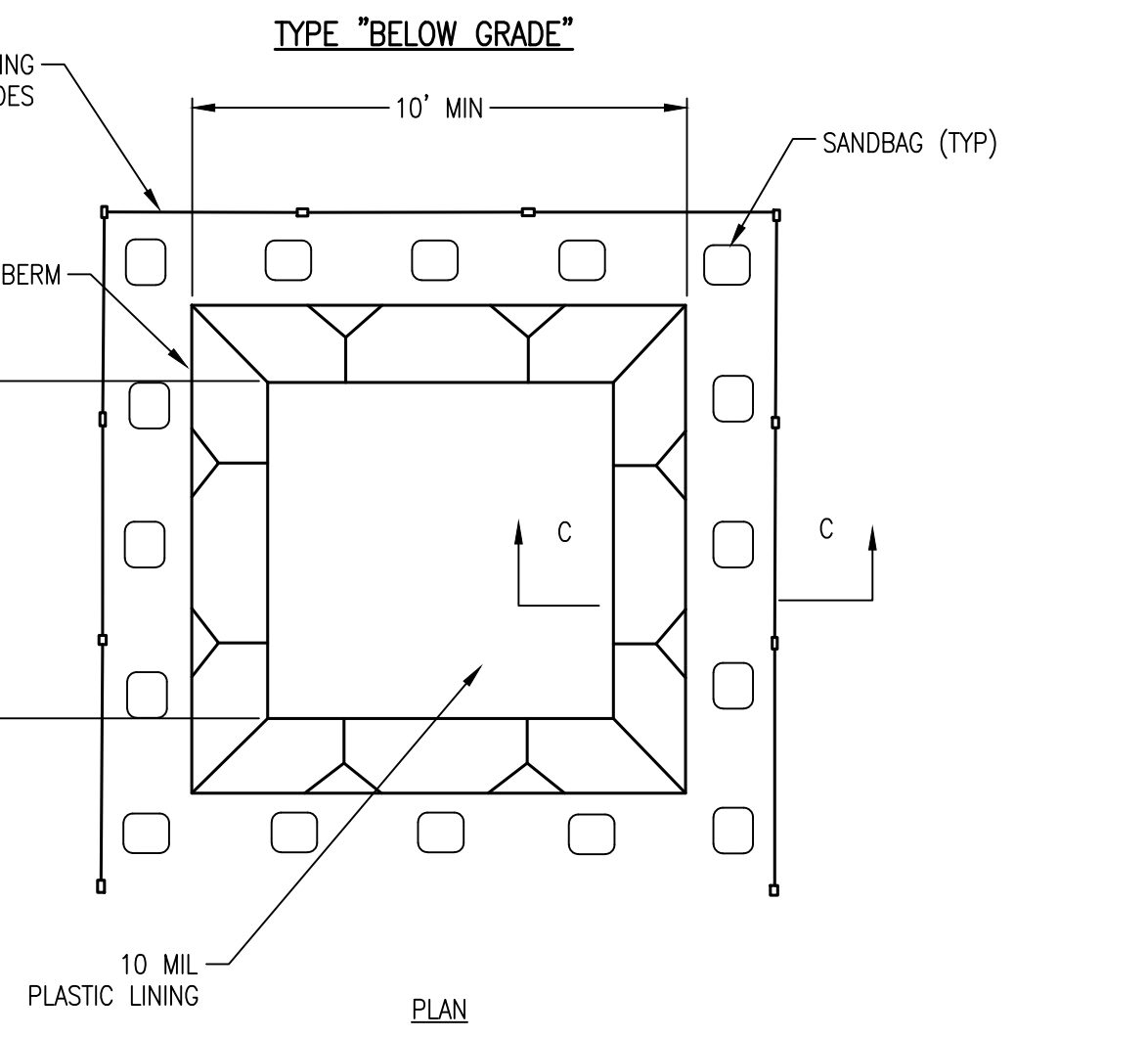
A1 CONCRETE WASHOUT
NOT TO SCALE



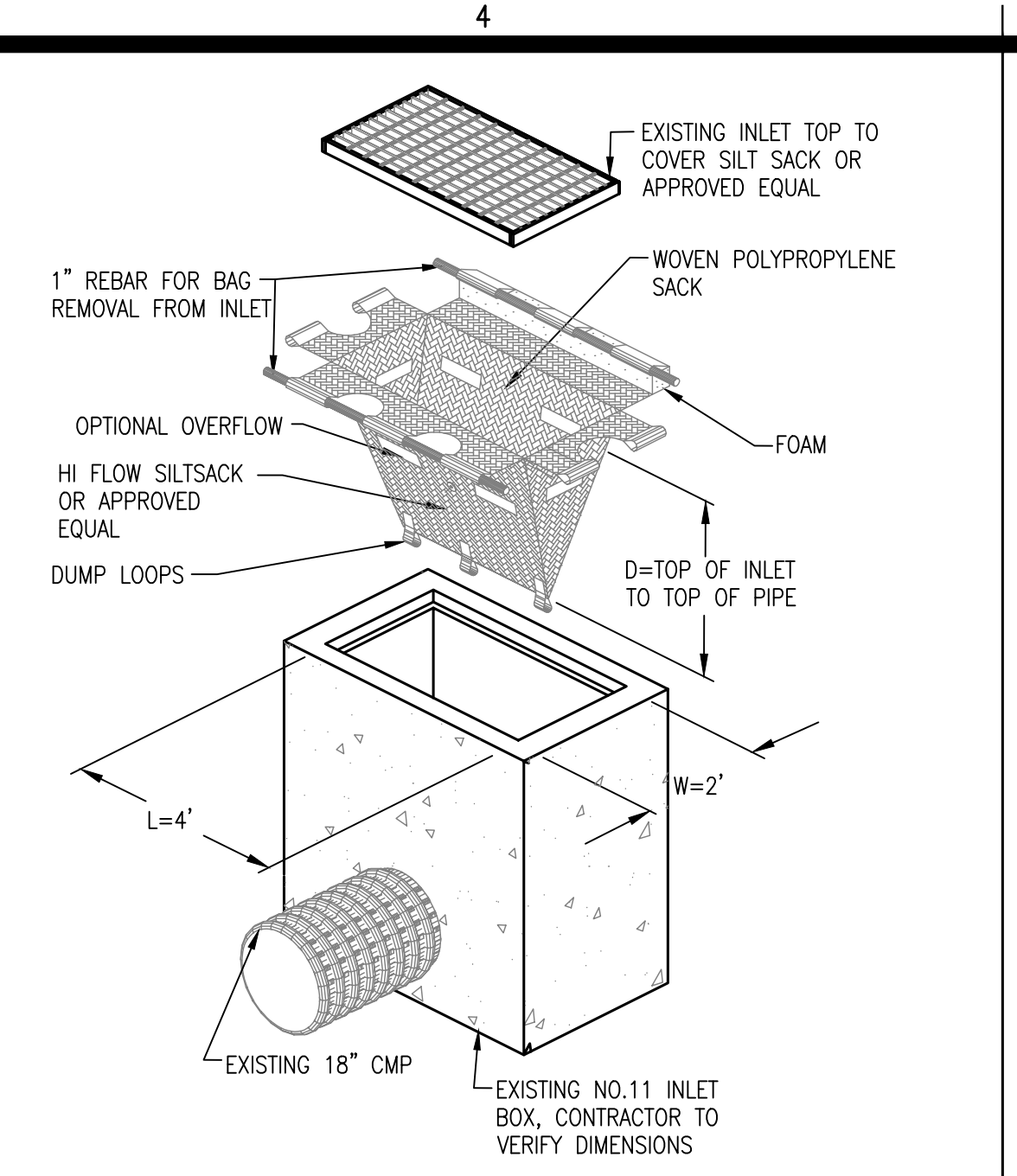
NOTES:

- L_o IS THE LENGTH OF THE RIPRAP APRON.
- $D = 1.5$ TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
- IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OF TO THE TOP OF THE BANK, WHICHEVER IS LESS.
- A FILTER BLANKET OR FILTER FABRIC SHALL BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

C3 RIPRAP OUTLET PROTECTION
NOT TO SCALE



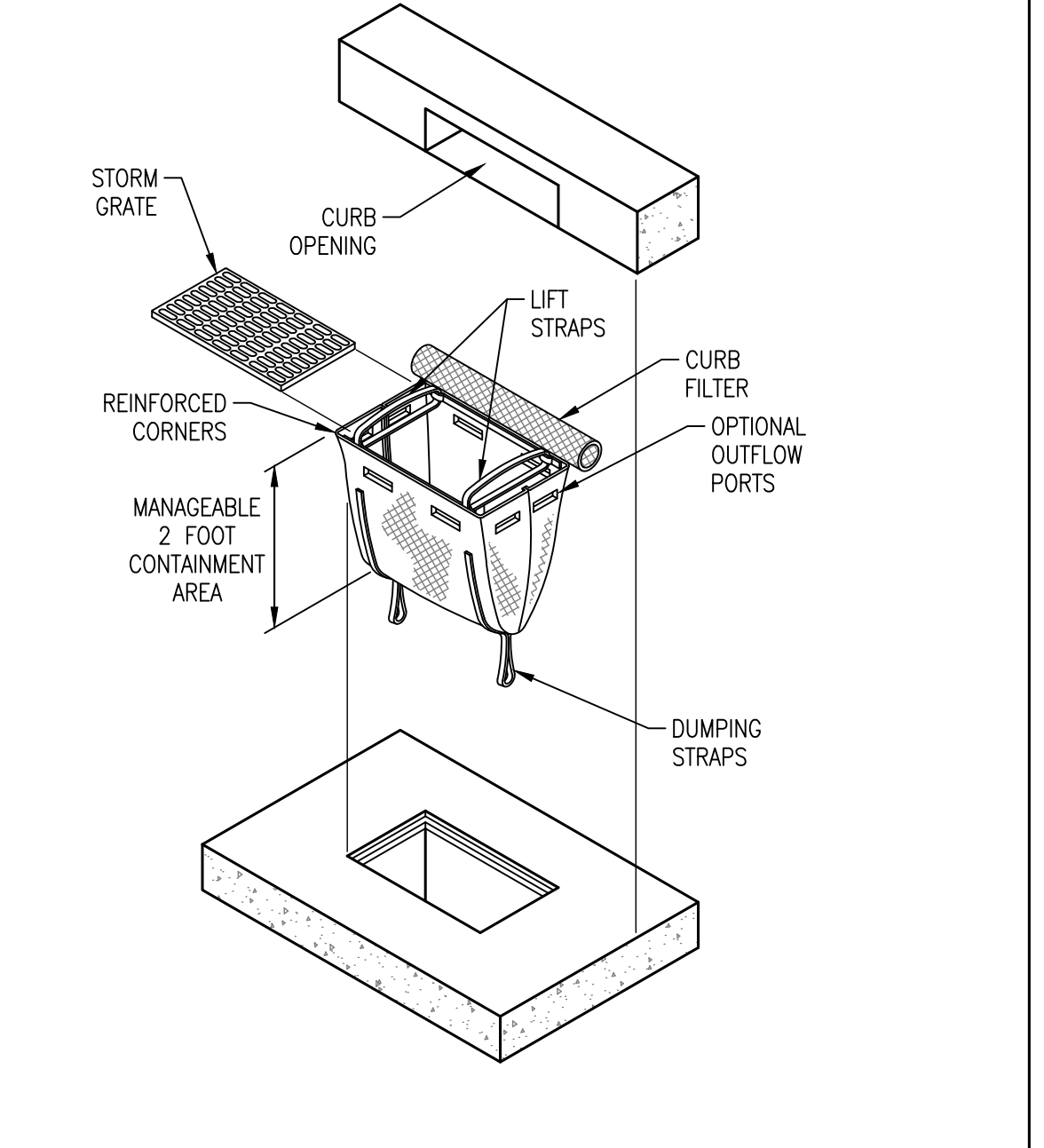
A4 CONSTRUCTION EGRESS
NOT TO SCALE



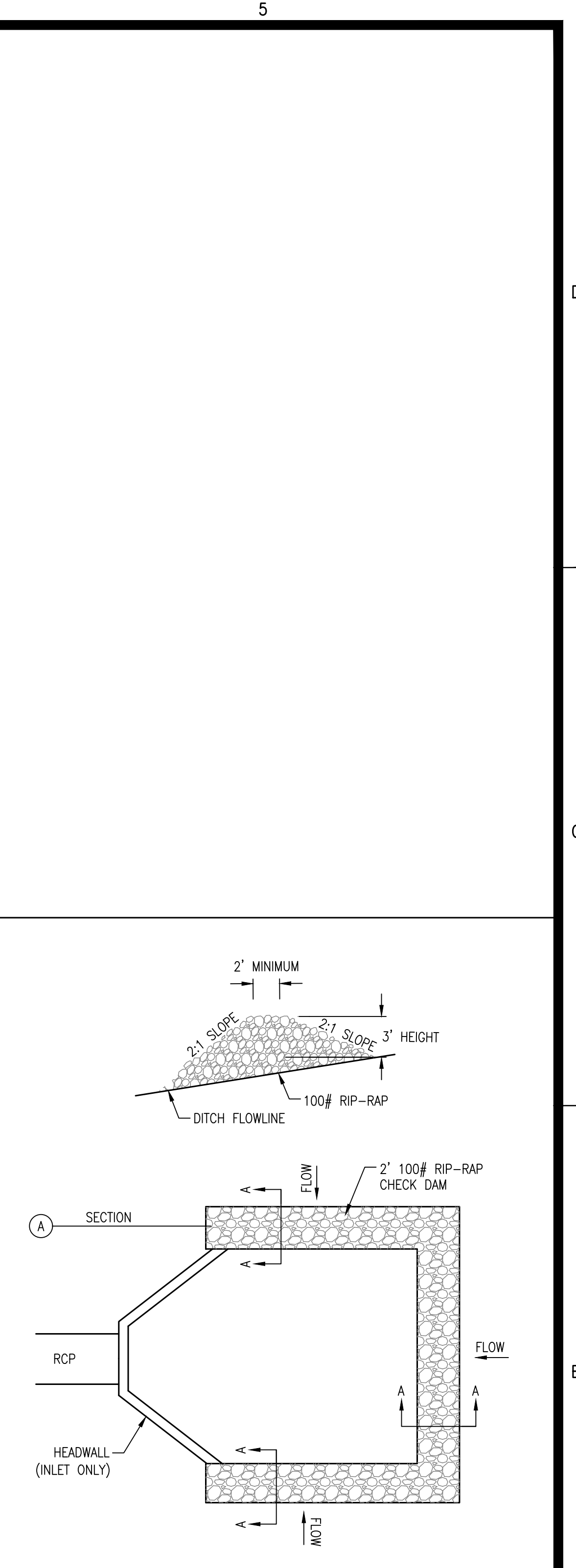
NOTES:

- SILT SACK OR APPROVED EQUAL TO BE USED INSIDE INLETS AND OTHER OPENINGS INTO DRAINAGE SYSTEMS THROUGHOUT CONSTRUCTION.
- THERE MUST BE NO GAPS OR TEARS IN THE SILT SACK OR APPROVED EQUAL THAT WOULD ALLOW WATER TO BYPASS TREATMENT.
- THE SACK SHOULD BE INSPECTED AT LEAST TWICE A WEEK @ LEAST 72 HOURS APART. THE SACK SHOULD BE INSPECTED FOR LEAKS AND EMPTIED DURING THESE INSPECTIONS.

C4 INLET PROTECTION-SILT SACK
NOT TO SCALE



B4 CURB INLET PROTECTION-SILT SACK
NOT TO SCALE

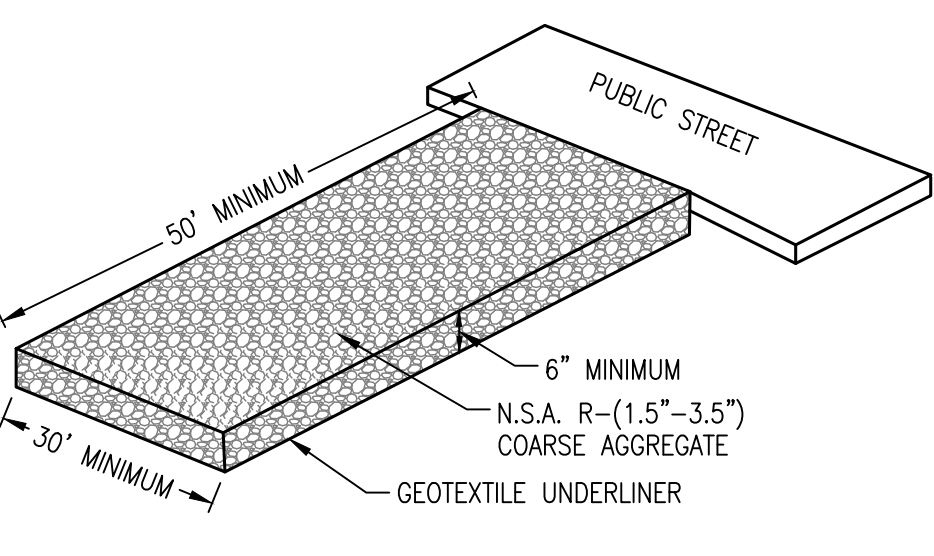


B5 STONE CHECK DAM
NOT TO SCALE

DEFINITION— A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE— TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

CONDITIONS WHERE PRACTICE APPLIES— WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVE DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.



PLANNING CONSIDERATIONS— GENERAL CRITERIA REQUIRES THAT ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH DAY. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DESIGN CRITERIA

- AGGREGATE SIZE— N.S.A. R-(1.5"-3.5" INCH STONE) SHOULD BE USED.
- ENTRANCE DIMENSIONS— THE AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
- WASHING— IF CONDITIONS ON THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
- LOCATION— THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

CONSTRUCTION SPECIFICATIONS— THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE— THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANEST OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

REVISIONS:

PROJECT #: 25526.01
 DATE: JULY 19, 2019
 DRAWN BY: KNR
 DESIGNER: GJC
 CHECKED BY: HWM

Pickering
 Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying
 6775 Lenox Center Court, Suite 300
 Memphis, TN 38115
 901.726.0810

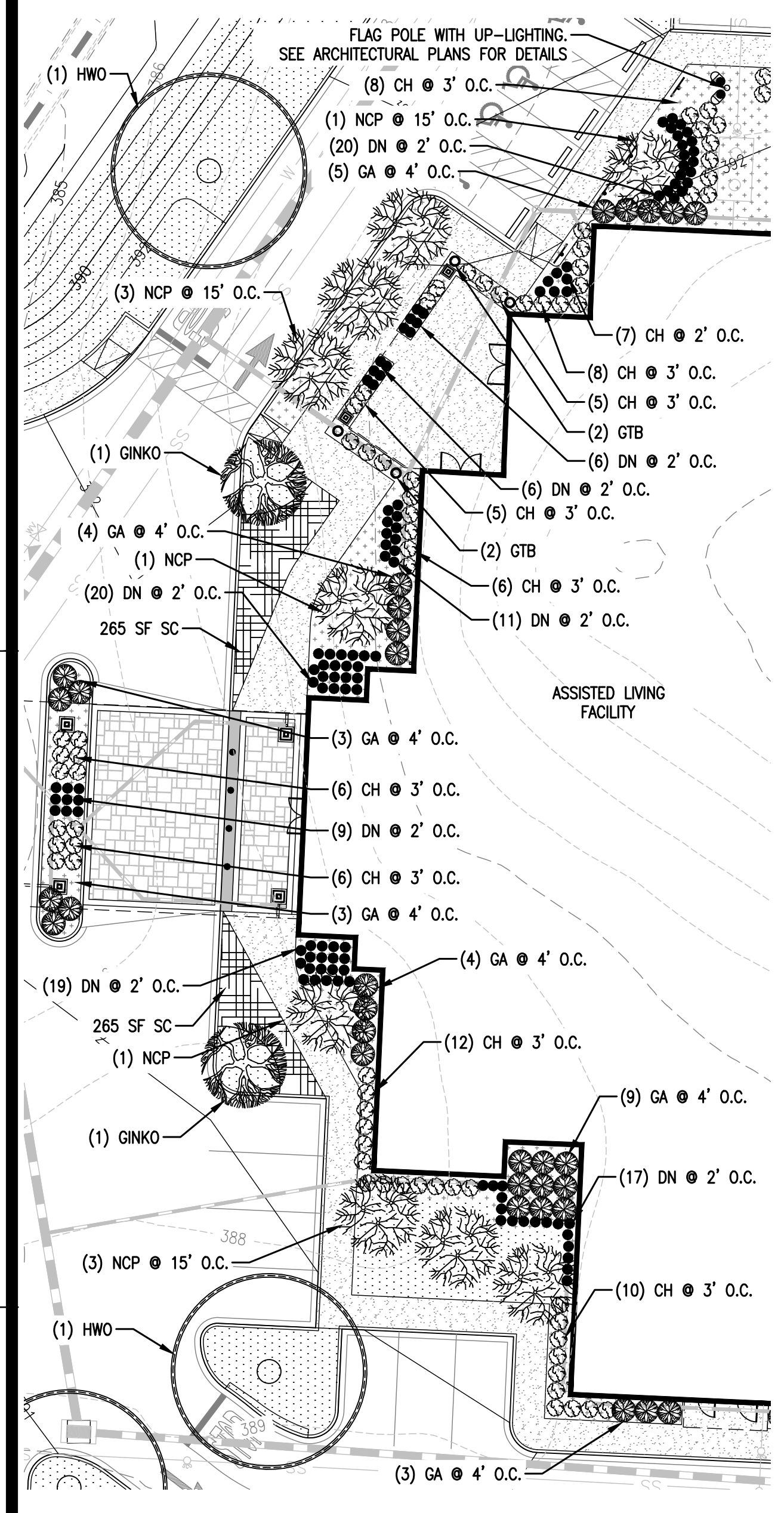
PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
 STATE HIGHWAY # 5
 BRYANT, AR

SEAL:

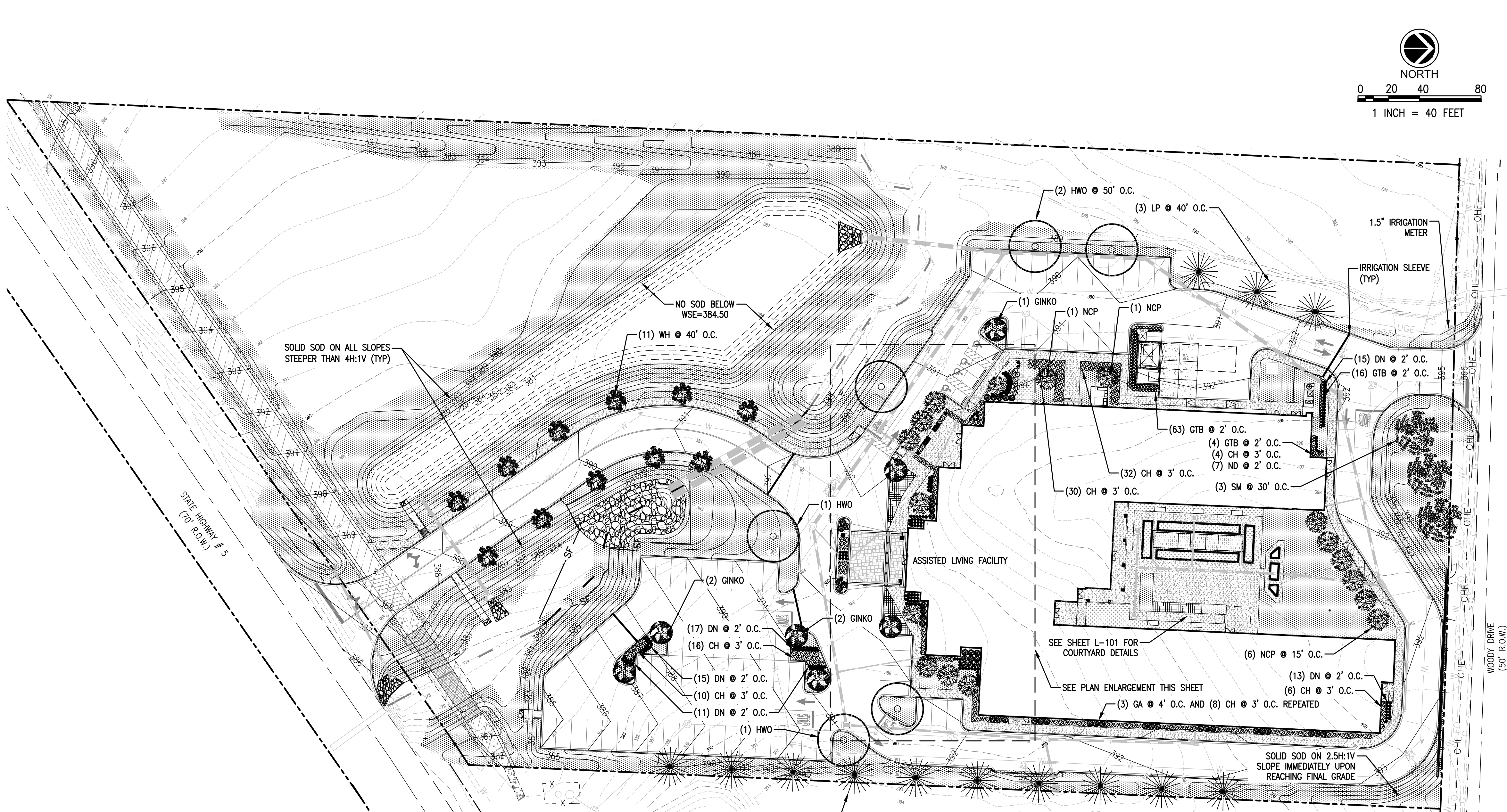
SHEET NUMBER:
C-530

DESCRIPTION:
 EROSION CONTROL DETAILS

K:\25526.01\CAD PLANS\C-530 EROSION CONTROL DETAILS.DWG



C1 PLAN ENLARGEMENT 1
SCALE: 1"=20'



C2 LANDSCAPE PLAN
SCALE: 1"=40'

- LANDSCAPE NOTES:**
- SEED, SOLID SOD, OR HYDOMULCH ALL AREAS DISTURBED AND OUTSIDE LIMITS OF PAVING AS SHOWN.
 - SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. ALTERNATIVE RECOMMENDATIONS WILL BE CONSIDERED IF SUPPLEMENTED BY A SOIL TEST. SOIL HAVING A PH LESS THAN 6 SHALL BE THOROUGHLY MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACIDIC REACTION (A PH OF 6 TO 6.5). 15-15 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER. 4" MINIMUM THICKNESS OF TOPSOIL IS REQUIRED.
 - THE LANDSCAPE CONTRACTOR SHALL INSPECT ALL BACKFILL AND PLACEMENT OF TOPSOIL TO DETERMINE WHETHER OR NOT A "HARDPAN" SITUATION EXISTS DUE TO PREVIOUS SOIL CONDITIONS, PLACEMENT AND COMPACTION OF FILL DURING CONSTRUCTION, OR ANY OTHER CONTRIBUTING FACTOR PRIOR TO INSTALLATION OF PLANT MATERIALS. IF SUCH A SITUATION IS ANTICIPATED, IT SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY, PRIOR TO THE INSTALLATION OF PLANT MATERIAL FOR A REMEDY.
 - UPON SECURING PLANT MATERIAL, AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT FOR A PRE-INSTALLATION INSPECTION TO VERIFY ALL PLANT MATERIALS CONFORMANCE TO SPECIFICATIONS.
 - HERBICIDE PRE-EMERGENT (TRIFLORAL OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.
 - ALL PLANTING BEDS TO HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. BARK CHIPS ARE NOT ACCEPTABLE.
 - ALL TREES TO BE STAKED AS PER PLANTING DETAIL, AND SHALL REMAIN IN PLACE THROUGHOUT THE WARRANTY PERIOD OF ONE YEAR.
 - DIMENSIONS FOR HEIGHTS, SPREAD, AND CALIPER OF TRUNK SPECIFIED ON THE DRAWING IS A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT. EACH PLANT SHALL HAVE A UNIFORM AND CONSISTENT SHAPE AS IT PERTAINS TO THE PARTICULAR SPECIES. ANY PLANT MATERIAL WHICH FAILS TO CONFORM IS SUBJECT TO REJECTION BY THE CONSULTANT.
 - THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS, FILLING PLANTED AREAS AT THE REQUIRED SPACING AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO A HEIGHT MEASURED 5' ABOVE FINISH GRADE. ALL DEAD TREES AND/OR LIMBS TO BE REMOVED.
 - LANDSCAPE CONTRACTOR TO VERIFY LOCATION AND PROTECT ALL ABOVE AND BELOW GROUND UTILITIES. REPLACE DAMAGED UTILITIES AT NO EXPENSE TO THE OWNER. PROTECT AREAS FROM SILTATION AS NEEDED.
 - NURSERY: COMPANY SPECIALIZING IN GROWING AND CULTIVATING THE PLANTS SPECIFIED IN THIS SECTION WITH MINIMUM TEN (10) YEARS' DOCUMENTED EXPERIENCE, INSPECTED AND APPROVED BY STATE PLANT INSPECTION AGENCIES. CONSIDER ALL NURSERIES WITHIN THE SOUTHEASTERN PORTION OF THE U.S. FOR PLANT MATERIAL NEEDS FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LISTS. PRIOR TO BIDDING, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND SATISFIED HIMSELF THAT HE CAN SUPPLY ALL THE PLANTS SPECIFIED ON THE DRAWINGS IN THE QUANTITY, SIZE, VARIETY, AND QUALITY NOTED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THE REQUIREMENT TO FURNISH AND INSTALL ALL PLANT MATERIAL, IN STRICT ACCORDANCE WITH CONTRACT REQUIREMENTS AND WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
 - LIMITATIONS: DO NOT PROCEED WITH PLANT MATERIAL INSTALLATION UNTIL SITE UTILITY CONSTRUCTION AND FINISH GRADING IS COMPLETE. COORDINATE SCHEDULING OF PLANT MATERIAL INSTALLATION WITH OTHER CONTRACTORS INVOLVED IN THE AFOREMENTIONED CONSTRUCTION.
 - PROVIDE HOSE AND PLANT MATERIAL WATERING EQUIPMENT AS REQUIRED.
 - HANDLE PLANTS FROM BOTTOM OF BALL. PROTECT PLANT ROOTS AND TOPS FROM SUN OR DRYING WINDS UNTIL FINAL PLANTING. PLANTS WITH CRACKED, BROKEN OR LOOSELY WRAPPED BALLS SHALL BE REJECTED.
 - DURING THE PROGRESS OF ALL OPERATIONS, PROTECT WALLS, WALKS, CURB, BENCHES, AND OTHER STRUCTURES WITH WOOD STRIPS OR PADDING, OR OTHER APPROVED MEANS AS REQUIRED.
 - LANDSCAPE AND SOD INSTALLER AND SUPERVISOR QUALIFICATIONS: COMPANY SPECIALIZING IN LANDSCAPE DEVELOPMENT CONSTRUCTION, PARTICULARLY SOIL PREPARATION, LAWNS, AND LIVE PLANT MATERIALS; WITH AT LEAST FIVE (5) YEARS EXPERIENCE IN SUCH WORK.
 - REPLACEMENT PLANT MATERIALS SHALL CARRY A ONE (1) YEAR WARRANTY PERIOD.
 - ANY PLANTS THAT ARE 25 PERCENT OR MORE DEAD SHALL BE CONSIDERED DEAD. ONE YEAR WARRANTY SHALL COMMENCE AT FINAL ACCEPTANCE. WARRANTY SHALL EXTEND INTO NEXT GROWING PERIOD WHEN DORMANT PLANTS ARE INSTALLED.
 - PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, DISEASE FREE WELL-BRANCHED, AND DENSELY FOLIATE WHEN IN LEAF. TREES SHALL NOT HAVE FORKED LEADERS.
 - PLANTS SHALL CONFORM TO MEASUREMENTS SPECIFIED EXCEPT THAT PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED. USE OF SUCH PLANTS SHALL NOT INCREASE CONTRACT SUM. PLANTS THAT MEET THE MEASUREMENTS SPECIFIED BUT DO NOT POSSESS A NORMAL BALANCE BETWEEN HEIGHT AND SPREAD SHALL BE REJECTED.
 - TREES WHICH HAVE DAMAGED OR CROOKED LEADERS, OR MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH ABRASIONS OF THE BARK, SUN SCALDS, DISFIGURING KNOTS, OR FRESH CUTS OF LIMBS OVER 3/4 INCH WHICH HAVE NOT COMPLETELY CALLEDUS, WILL BE REJECTED.
 - PLANT SIZES AND QUALITY SHALL MEET OR EXCEED STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION).
 - THE PERSON IN CHARGE OF OR IN CONTROL OF THE PROPERTY, WHETHER AS OWNER, LESSEE, TENANT, OCCUPANT OR OTHERWISE, SHALL BE RESPONSIBLE FOR THE CONTINUED PROPER MAINTENANCE OF ALL LANDSCAPING MATERIALS.
 - PRIOR TO PLANTING TREES, CONTRACTOR TO VERIFY THAT NO CONFLICTS EXIST BETWEEN THE TREE AND ALL EXISTING AND PROPOSED UTILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION AND POWER FOR A FULLY AUTOMATED IRRIGATION SYSTEM WITHIN ALL LANDSCAPED AREAS.
 - IRRIGATION SLEEVES TO BE INSTALLED PRIOR TO PAVING.

LANDSCAPE LEGEND						
SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE AT PLANTING	NOTES
	HWO	HIGHTOWER WILLOW OAK	Quercus Phellos 'OPSTA'	6	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	SM	SOUTHERN MAGNOLIA	Magnolia grandiflora	3	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	LP	LOBLOLLY PINE	Pinus Taeda	13	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	GINKO	GINKO (Male)	Ginkgo biloba	7	3" CAL	UNIFORM BRANCHING, DOMINANT LEADER
	NCP	'NATCHEZ' CREPE MYRTLE	Lagerstoemia indica 'Natchez'	17	12'-14' TALL	3-5 CANES, SINGLE TRUNK
	WH	WASHINGTON HAWTHORN	Crataegus phaenopyrum	11	12'-14' TALL	3-5 CANES, SINGLE TRUNK
	GA	GLOSSY ABELIA	Abelia x grandiflora	49	24" SPREAD 30" HEIGHT (MIN)	FULL PLANT, FREE OF WEEDS
	CH	CARISSA HOLLY	Ilex cornuta 'Carissa'	217	15"-18" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	GTB	GREEN TOWER BOXWOOD	Buxus sempervirens 'Monrue'	87	24"-30" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	DN	'FIRE POWER' DWARF NANDINA	Nandina domestica 'Firepower'	204	SIZE AT PLANTING	FULL PLANT, FREE OF WEEDS
	SC	SEASONAL COLOR	Varies by season			OWNER TO CHOOSE
	SS	SEED/SOD	Tifway 419 Bermuda			FREE OF WEEDS
	MU	MULCH	Mulch			3" (MIN) DEEP, SHREDDED HARDWOOD BARK

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM



PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5 BRYANT, AR

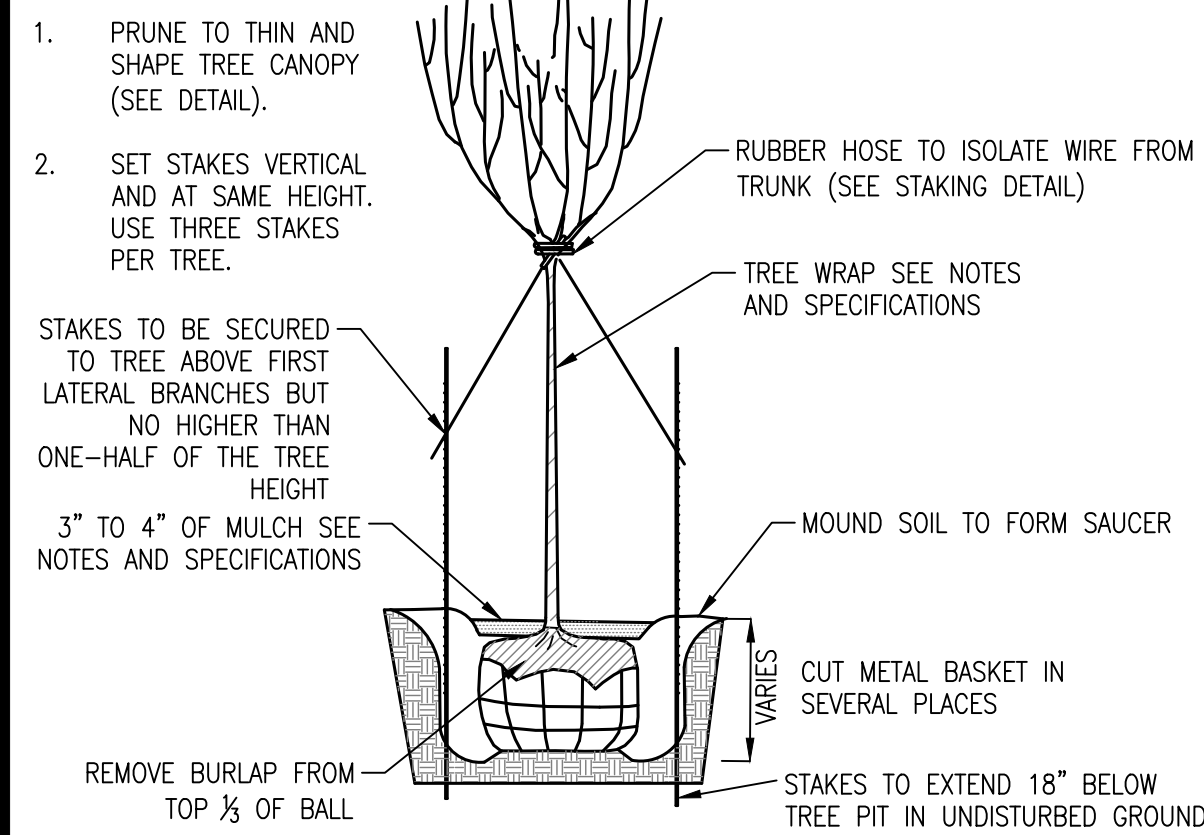


SHEET NUMBER:
L-100

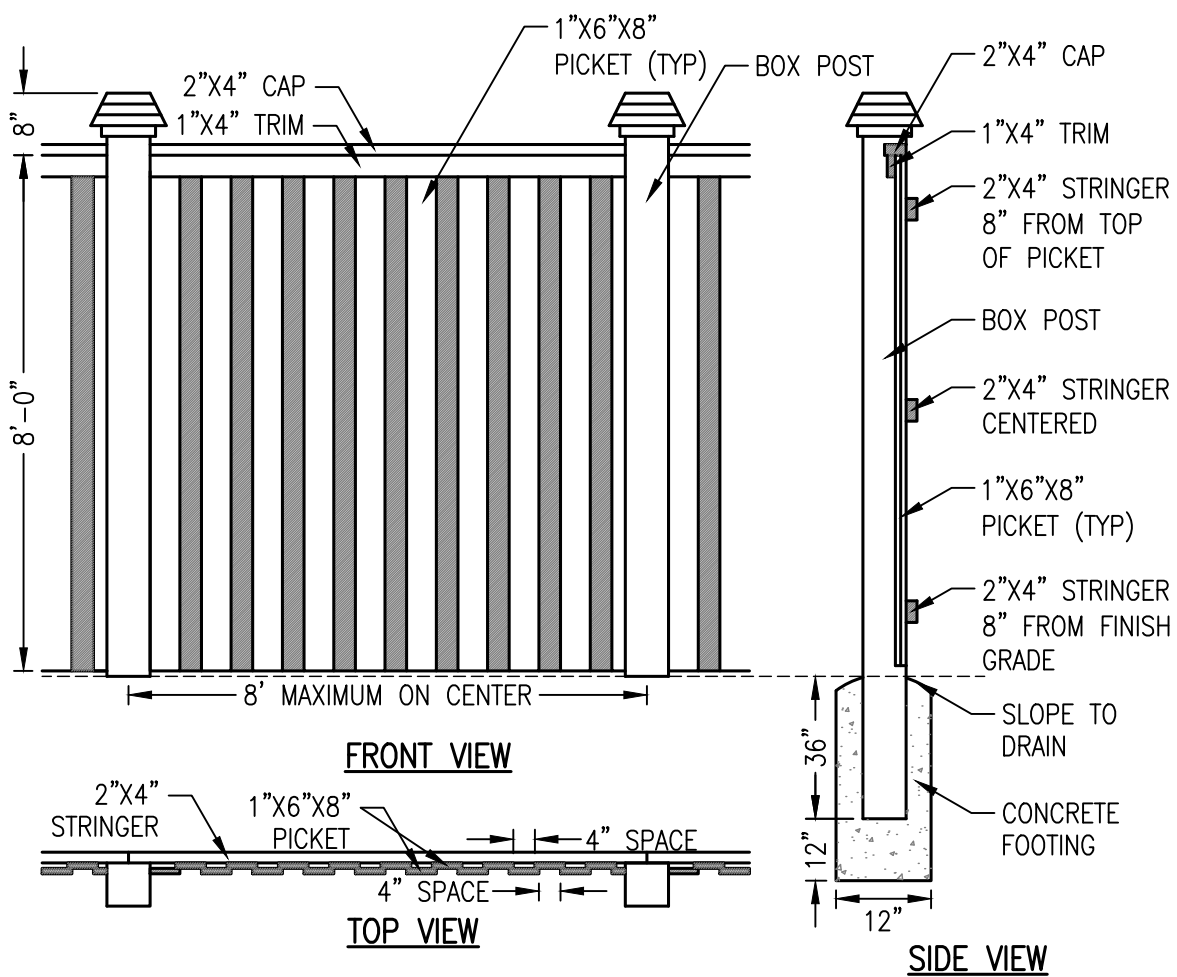
DESCRIPTION:
OVERALL LANDSCAPE PLAN

K:\25526.01\CAD PLANS\L-100 OVERALL LANDSCAPE PLAN.rvt

NOTES:

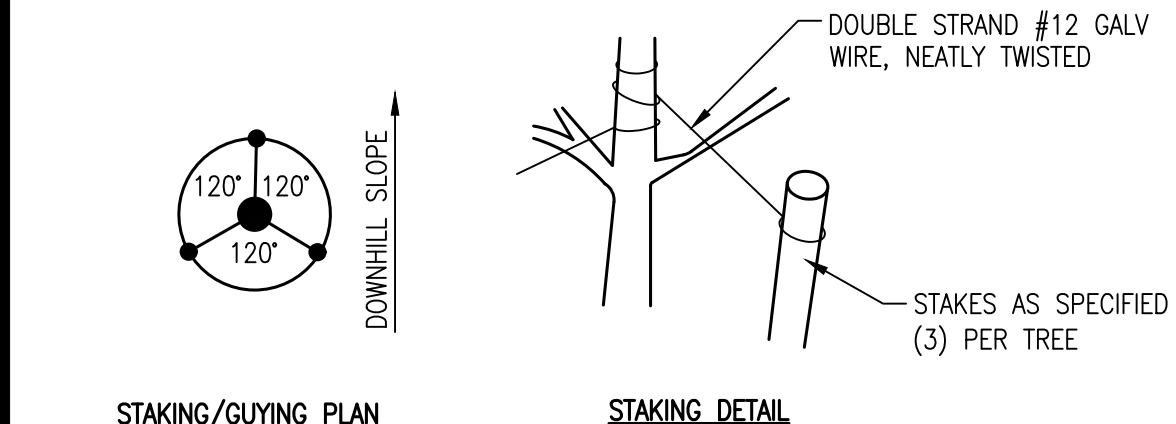


D1 TYPICAL TREE PLANTING
NOT TO SCALE

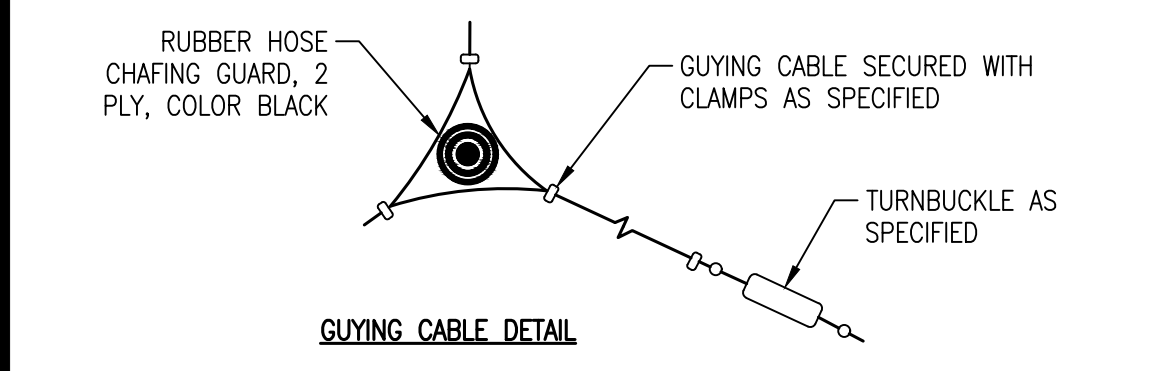


C2 8' TALL WOOD PRIVACY FENCE
NOT TO SCALE

- NOTES:**
1. ALL NAILS AND HARDWARE ARE TO BE HOT DIPPED GALVANIZED
 2. ALL WOOD MEMBERS TO BE TREATED WESTERN RED CEDAR, OR APPROVED ALTERNATIVE
 3. ALL CONCRETE SHALL BE 4,000 PSI

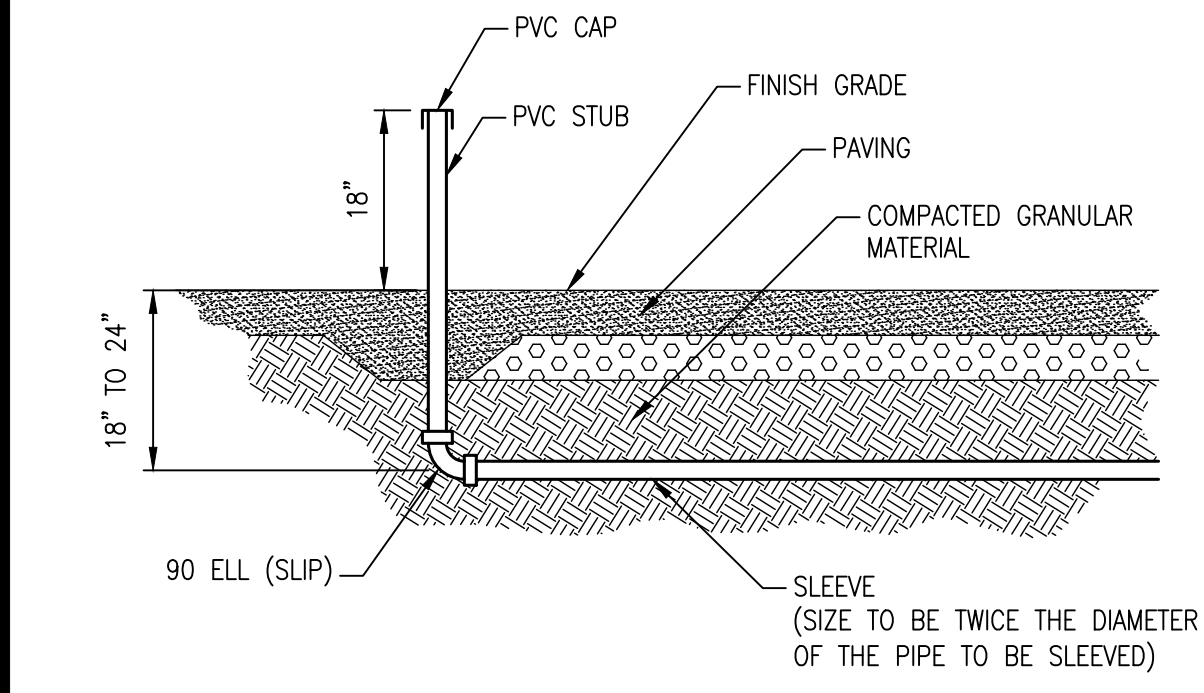


C1 TREE STAKING AND GUYING
NOT TO SCALE



B1 TYPICAL SHRUB PLANTING
NOT TO SCALE

- NOTES:**
1. DO NOT PRUNE EVERGREENS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES.
 2. THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) RETAINING NORMAL PLANT SHAPE (EXCEPT EVERGREEN).
 3. REMOVE BURLAP FROM TOP 1/3 OF BALL OR WITH CONTAINER PLANTS. REMOVE POTS AND SPLIT BALLS AS SPECIFIED.

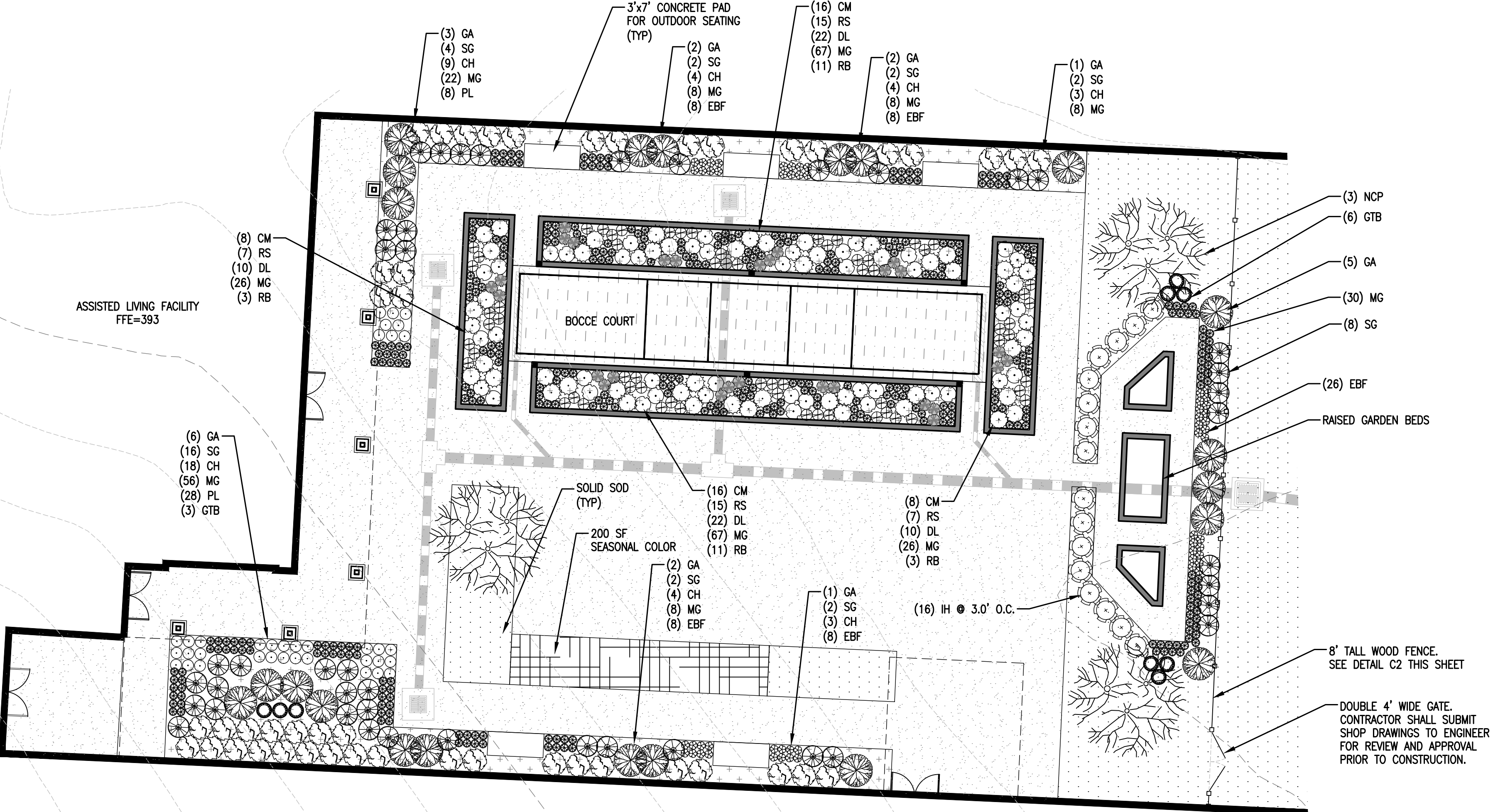


A3 IRRIGATION SLEEVE
NOT TO SCALE

- NOTES:**
1. INSTALL IRRIGATION CONDUIT WITH A MINIMUM COVER OF 18\"/>
 - 2. SLEEVING SHALL BE MINIMUM SCHEDULE 40, ASTM D1785, RIGID, UNPLASTICIZED POLYVINYL CHLORIDE PIPE.
 - 3. INSTALL SLEEVES PRIOR TO COMMENCEMENT OF PAVING. IRRIGATION CONTRACTOR SHALL COORDINATE SLEEVE PLACEMENT WITH GENERAL CONTRACTOR.
 - 4. MAINTAIN 6\"/>
 - 5. TRENCHES SHALL BE BACKFILLED WITH SAND AND COMPACTED IN LAYERS OF 95% COMPACTION. USE A MINIMUM OF 6\"/>
 - 6. ALL SLEEVES SHALL BE A MINIMUM OF TWICE THE DIAMETER OF THE PIPE TO BE SLEEVED

NOTES:

1. SEE SHEET L-100 FOR NOTES



A3 COURTYARD DETAIL
SCALE: 1" = 10'

LANDSCAPE LEGEND						
SYMBOL	ABBREVIATION	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE AT PLANTING	NOTES
	NCP	'NATCHEZ' CREPE MYRTLE	Lagerstoeimia indica 'Natchez'	3	12'-14' TALL	3-5 CANES, SINGLE TRUNK
	GA	GLOSSY ABELIA	Abelia x grandiflora	25	24" SPREAD 30" HEIGHT (MIN)	FULL PLANT, FREE OF WEEDS
	CH	CARISSA HOLLY	Ilex cornuta 'Carissa'	50	15"-18" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	SG	SHENANDOAH SWITCHGRASS	Panicum virgatum 'Shenandoah'	42	3 GAL	FULL PLANT, FREE OF WEEDS
	CM	CATMINT	Nepeta x faassenii 'Novanepjun'	48	1 GAL	FULL PLANT, FREE OF WEEDS
	RS	RUSSIAN SAGE	Perovskia atriplicifolia	44	1 GAL	FULL PLANT, FREE OF WEEDS
	DL	DAYLILY	Hemerocallis	194	1 GAL	FULL PLANT, FREE OF WEEDS
	PL	PLANTAIN LILY	Ilex cornuta 'Carissa'	194	1 GAL	FULL PLANT, FREE OF WEEDS
	EBF	ELIJAH BLUE FESCUE	Festuca glauca 'Elijah Blue'	55	1 GAL	FULL PLANT, FREE OF WEEDS
	MG	MONDO GRASS	Ophiopogon japonicus	346	1 GAL	FULL PLANT, FREE OF WEEDS
	RB	RUDBECKIA	Ophiopogon japonicus	28	1 GAL	FULL PLANT, FREE OF WEEDS
	IH	INDIAN HAWTHORN	Rhaphiolepis indica	16	15"-18" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	GTB	GREEN TOWER BOXWOOD		9	24"-30" IN HEIGHT	FULL PLANT, FREE OF WEEDS
	SC	SEASONAL COLOR	Varies by season			OWNER TO CHOOSE
	SS	SEED/SOD	Tifway 419 Bermuda			FREE OF WEEDS
	MU	MULCH	Mulch			3" (MIN) DEEP, SHREDDED HARDWOOD BARK

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM

Pickering
Pickering Firm, Inc.
Architecture • Engineering
Planning • Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5 BRYANT, AR

SEAL:

SHEET NUMBER:
L-101

DESCRIPTION:
LANDSCAPE PLAN & DETAILS

K:\25526.01\CAD PLANS\L-101 LANDSCAPE PLAN & DETAILS.DWG

A. GENERAL

1. GENERAL:
THE STRUCTURES ARE DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE STRUCTURES AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE DOWNS WHICH MIGHT BE NECESSARY.

2. SAFETY:
IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

3. DISCREPANCIES:
SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE SPECIFICATIONS, OTHER CONTRACT DOCUMENTS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN. REQUEST CLARIFICATION FROM THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

4. SUBMITTALS:
A. SUBMITTALS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO SUBMITTING TO ARCHITECT.
B. SUBMITTALS WILL BE REVIEWED BY THE STRUCTURAL ENGINEER FOR GENERAL CONFORMANCE WITH THE PRINCIPLES AND CONTRACT DOCUMENTS OF THE PROJECT. CONTRACTOR IS NOT RELIEVED FROM HIS SOLE RESPONSIBILITY REGARDING CHECKING OF DIMENSIONS, QUANTITIES, COORDINATION OF THE WORK OF ALL TRADES, CORRELATION OF DESIGN DOCUMENTS THAT MAY CONTAIN CONTRADICTORY INFORMATION AND FOR INFORMATION THAT PERTAINS TO THE FABRICATION, CONSTRUCTION PROCESSES AND/OR SAFETY REQUIREMENTS

5. QUALITY REQUIREMENTS:
A. REFERENCE TO STANDARD SPECIFICATIONS OR CODES OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE STANDARDS IN EFFECT AS OF DATE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
B. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES BETWEEN THE CONDITIONS FOUND AND THOSE INDICATED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
C. NO PIPES, DUCTS, CHASES, ETC. SHALL BE PLACED IN STRUCTURAL BEAM AND COLUMN MEMBERS NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS NOTED OTHERWISE. NOTIFY THE STRUCTURAL ENGINEER WHEN DOCUMENTS BY OTHER DISCIPLINES SHOW OPENINGS, POCKETS, ETC. NOT INDICATED ON THE STRUCTURAL DRAWINGS, BUT ARE LOCATED IN STRUCTURAL MEMBERS.
D. CONTRACTOR DESIGNED ELEMENTS SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARKANSAS. SUBMIT SHOP DRAWINGS, DESIGN LOAD DATA, SUPPORT REACTIONS, AND CERTIFICATION THAT ELEMENTS ARE DESIGNED FOR LOADS SPECIFIED IN THE CONTRACT DOCUMENTS OR IN THE BUILDING CODE. ALL DOCUMENTS NOTED SHALL BE SEALED BY THE LICENSED ENGINEER. THE FOLLOWING ELEMENTS AND THEIR CONNECTIONS SHALL BE BY THE CONTRACTOR'S STRUCTURAL ENGINEER:
- TEMPORARY BRACING AND SHORING

DESIGN LOADS

1. STRUCTURAL DESIGN CODE	IBC 2012
2. GRAVITY LOADS	
BOARDWALK DEAD LOAD	20 PSF
BOARDWALK LIVE LOAD	60 PSF
3. SEISMIC DESIGN LOADS	
Ss	0.348g
S1	0.147g
SDs	0.353g
SD1	0.217g
SEISMIC RISK CATEGORY:	II
SEISMIC DESIGN CATEGORY:	C
COMPONENT IMPORTANCE FACTOR Ip:	1.00
SOIL PROFILE TYPE:	D
BASIC STRUCTURAL SYSTEM:	CANTILEVERED TIMBER FRAME
COMPONENT RESPONSE FACTOR, Rp:	1 1/2
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE
BASE SHEAR:	4.0 KIPS
BASE SHEAR PER PILE:	0.3 KIPS

B. REINFORCED CONCRETE

1. MATERIALS:
A. SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
B. MINIMUM COMPRESSIVE STRENGTH FOR STRUCTURAL CONCRETE IS AS FOLLOWS: ALL NORMAL WEIGHT EXCEPT AS INDICATED

CLASS	LOCATION	f'c, PSI
I	FOOTINGS	4000 WITH AIR
II	CONCRETE IN RETAINING WALL	4000 WITH AIR
II	BACKFILL BELOW FOOTINGS	1500

C. DEFORMED REINFORCING BARS: FY = 60,000
2. CONTINGENCIES:
A. PROVIDE SUPPORTS AS REQUIRED TO MAINTAIN ALIGNMENT OF SCHEDULED REINFORCING. SUCH SUPPORTS ARE TO BE REFLECTED IN THE BID.

3. FOOTINGS:
A. PROVIDE LEAN CONCRETE (CLASS IV) UNDER FOUNDATIONS FOR ACCIDENTAL OVER-EXCAVATION, SOFT SPOTS, AND TRENCHES.

4. SPLICES: UNLESS NOTED OTHERWISE, MINIMUM LAP SPLICE LENGTHS TO BE 48 BAR DIAMETERS.

5. CONCRETE COVER: UNLESS NOTED OTHERWISE, DETAIL REINFORCING TO PROVIDE CONCRETE COVER AS FOLLOWS:

- A.** CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
- B.** CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #5 BARS AND SMALLER 1-1/2 INCHES
 - OTHERS 2 INCHES

C. FOUNDATION NOTES

1. RETAINING WALL FOOTINGS HAS BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF PER GEOTECHNICAL REPORT PREPARED BY TERRACON DATED APRIL 10, 2019. ALLOWABLE BEARING CAPACITY TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR'S SOILS ENGINEER.

2. SEE CIVIL PLANS FOR TOP OF FOOTING ELEVATION.

3. EXCAVATIONS ARE ASSUMED TO BE LAID BACK TO A 1.5H TO 1.0V SLOPE. IF REQUIRED SHEETING OR SHORING TO BE INSTALLED TO MAINTAIN THE 2 TO 1 SLOPE. KEEP EXCAVATIONS FREE OF WATER. PROVIDE SHORING AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF EXISTING STRUCTURE.

4. RETAINING WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 40 PCF AND A FRICTION COEFFICIENT OF 0.32 PER GEOTECHNICAL REPORT PREPARED BY TERRACON DATED APRIL 10, 2019.

5. REFERENCE GEOTECHNICAL REPORT, PREPARED BY TERRACON DATED APRIL 10, 2019, FOR REQUIREMENTS OF REMOVAL AND REPLACEMENT OF EXISTING SOIL UNDER RETAINING WALL FOOTING.

C. TIMBER

- 1.** ALL TIMBER SHALL BE SELECT STRUCTURAL SOUTHERN PINE (M.C.-19%) OR EQUAL
- 2.** ALL TIMBER SHALL BE PRESSURE TREATED LUMBER. STEEL TO BE GALVANIZED. FASTENERS TO BE GALVANIZED AND COMPATIBLE WITH WOOD TREATMENT MATERIAL.
- 3.** ALL JOISTS/STUDS 2 TO 3 INCHES THICK AND 12 INCHES WIDE SHALL MEET THE FOLLOWING MINIMUM STRESS PROPERTIES:

ALLOWABLE BENDING STRESS (Fb+)	2,850 PSI
SHEAR STRESS (Fv)	175 PSI
COMPRESSIVE STRESS (Fc)	565 PSI (PERPENDICULAR TO GRAIN)
MODULES OF ELASTICITY (E)	1800000 PSI

D. TIMBER PILES

1. PILES SHALL BE DRIVEN TO THE MINIMUM TIP ELEVATIONS INDICATED ON THE PLANS, USING AN APPROVED HAMMER, WITH A CAPACITY AT LEAST EQUAL TO THE HAMMER MANUFACTURER'S RECOMMENDATION FOR THE TOTAL WEIGHT OF PILE AND CHARACTER OF SUBSURFACE MATERIAL TO BE ENCOUNTERED.

2. TIMBER PIER PILES SHALL BE DRIVEN TO A MINIMUM ALLOWABLE BEARING CAPACITY OF 10 TONS AS DETERMINED BY THE ENGINEER NEWS RECORD FORMULAS GIVEN BELOW:

- A.** FOR SINGLE-ACTING HAMMER: $P = 2Wr/(S+0.1)$
- B.** FOR DOUBLE-ACTING HAMMER: $P = 2E/(S+0.1)$
- C.** WHERE:
 - P = SAFE LOAD IN TONS
 - Wr = WEIGHT OF RAM IN POUNDS
 - h = HEIGHT OF HAMMER FALL IN FEET
 - S = AVERAGE PENETRATION IN INCHES PER BLOW FOR LAST SIX (6) INCHES

3. ALL PILE CONSTRUCTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE FOLLOWING:

- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS-2012)
- AMERICAN INSTITUTE FOR TIMBER CONSTRUCTION (ATC)
- AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA)

4. NEW TIMBER PILES SHALL CONFORM TO ASTM D 25. MINIMUM BUTT DIAMETER MEASURED 3 FEET FROM THE BUTT END SHALL BE 12 INCHES.

5. NEW TIMBER SHALL BE TREATED WITH ACZA OR CCA IN ACCORDANCE WITH AWPA (USE CATEGORY SYSTEM U1-06 COMMODITY SPECIFICATION). PRESERVATION RETENTION SHALL BE 0.60 POUNDS PER CUBIC FOOT.

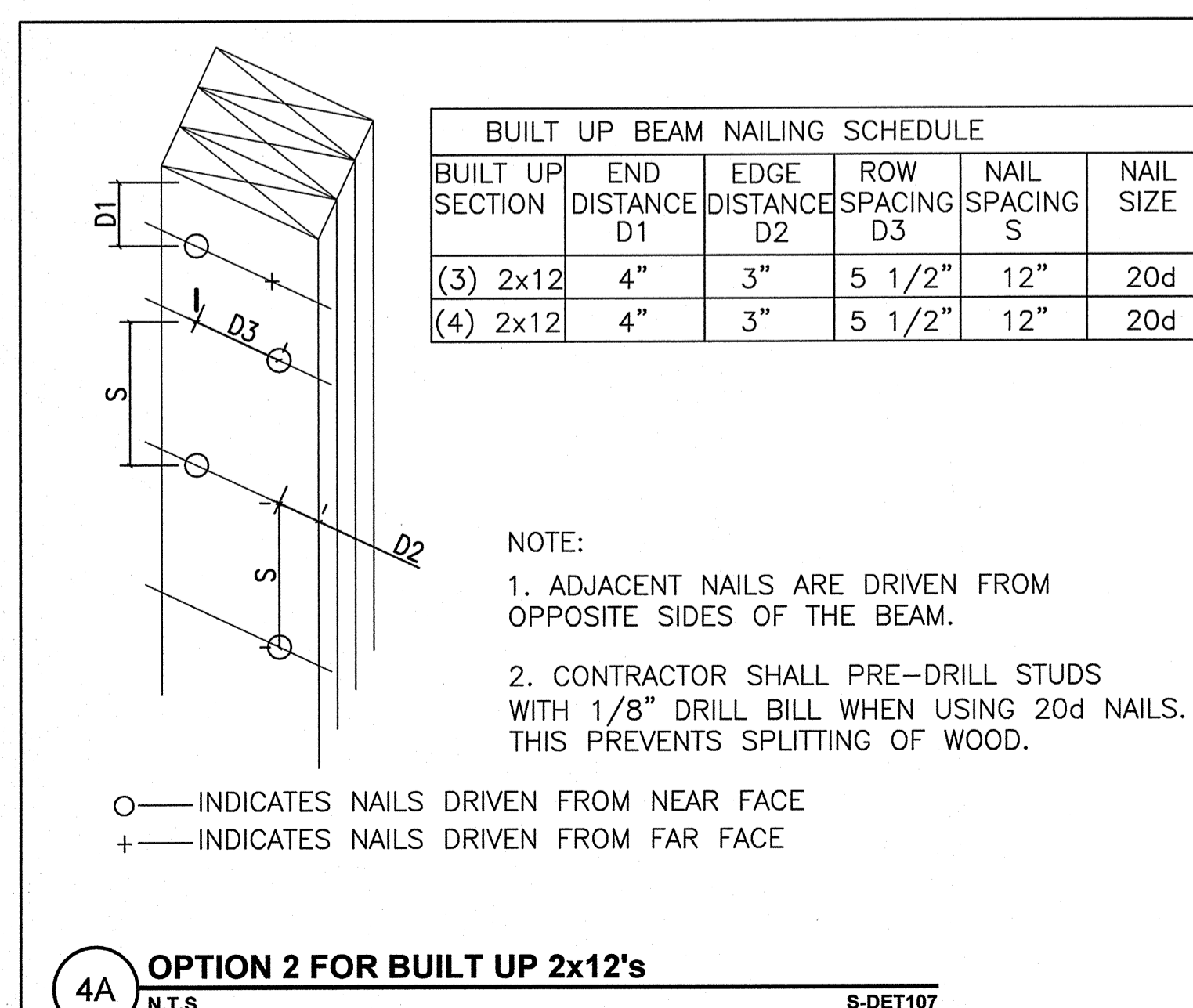
6. FIELD TREAT ALL CUTS, ABRASIONS, BOLT HOLES AND OTHER SURFACE DAMAGE IN TREATED TIMBER PILES IN ACCORDANCE WITH AWPA M4-06.

7. SPUDDING, PRE-AUGERING AND/OR JETTING OF PILING WILL NOT BE ALLOWED.

QUALITY ASSURANCE PLAN

ALL INSPECTIONS, TESTINGS, AND VERIFICATIONS SHALL BE IN ACCORDANCE WITH IBC'S TABLES 1704.3 AND 1704.4 AND AS OUTLINED IN THE TABLE BELOW. THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION BY A CERTIFIED DEPUTY INSPECTOR. THE SPECIAL INSPECTOR SHALL BE EMPLOYED BY THE OWNER OR AN AGENT OF THE OWNER BUT NOT BY THE CONTRACTOR OR ANY OTHER PERSON RESPONSIBLE FOR THE WORK. THE SPECIAL INSPECTOR'S DUTIES ARE TO INSPECT THE ITEMS LISTED BELOW AND SUBMIT REPORTS TO THE BUILDING OFFICIAL AND THE ENGINEER/ARCHITECT DESCRIBING THE WORK AND ANY DEFICIENCIES OBSERVED.

ITEM	FREQUENCY	
	CONTINUOUS	PERIODIC
1. CONTINUOUS FOOTINGS AND WALLS		
A. INSPECT PLAN DIMENSIONS AND DEPTH.		X
B. INSPECT COMPACTED FILL, GRADING, AND EXCAVATIONS.		X
C. INSPECT QUANTITY AND SPACING OF BARS.		X
D. INSPECT PROPER CLEARANCE TO TOP AND BOTTOM BARS IS PROVIDED.		X
E. VERIFY PROPER LAPS ARE PROVIDED.		X
F. INSPECT FOR CORNER BARS, STEP BARS, DOWELS, ANCHOR BOLTS, OR EMBEDDED MATERIAL.		X
G. INSPECT FOR PROPER DOWEL EMBEDMENT INTO FOOTING AND EXTENSION ABOVE FOOTING.	X	
H. VERIFY SOILS ENGINEER HAS APPROVED DESIGN BEARING CAPACITY.		X
I. VERIFY THAT ALL LOOSE MATERIAL IS REMOVED FROM BOTTOM OF FOOTING. NO SIDE FORMING IS PERMITTED.		X
J. INSPECT BOLTS TO BE INSTALLED IN FOOTING AND PIERS PRIOR TO AND DURING CONCRETE PLACEMENT.		X
2. CONCRETE VERIFICATION AND INSPECTION		
A. VERIFY USE OF REQUIRED DESIGN MIX.		X
B. SAMPLE FRESH CONCRETE AND PERFORM SLUMP AND AIR CONTENT TESTS. DETERMINE THE TEMPERATURE OF FRESH CONCRETE AT THE TIME OF MAKING SPECIMENS FOR STRENGTH TESTS.	X	
C. INSPECT CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	
D. INSPECT FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.		X
E. INSPECT PLACEMENT OF REINFORCING STEEL IN CONCRETE FOOTINGS, WALLS, SLABS.		X
F. VERIFY SAMPLING AND TESTING OF REINFORCING STEEL (MILL REPORTS AND IDENTIFICATION OF STEEL).		X
3. STRUCTURAL WOOD		
A. NAILING, BOLTING, AND OTHER FASTENING OF ELEMENTS	X	
B. TIMBER PILE SIZE AND DEPTH	X	



4A OPTION 2 FOR BUILT UP 2x12's
N.T.S S-DET107

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: RCS
DESIGNER: YAS
CHECKED BY: YAS

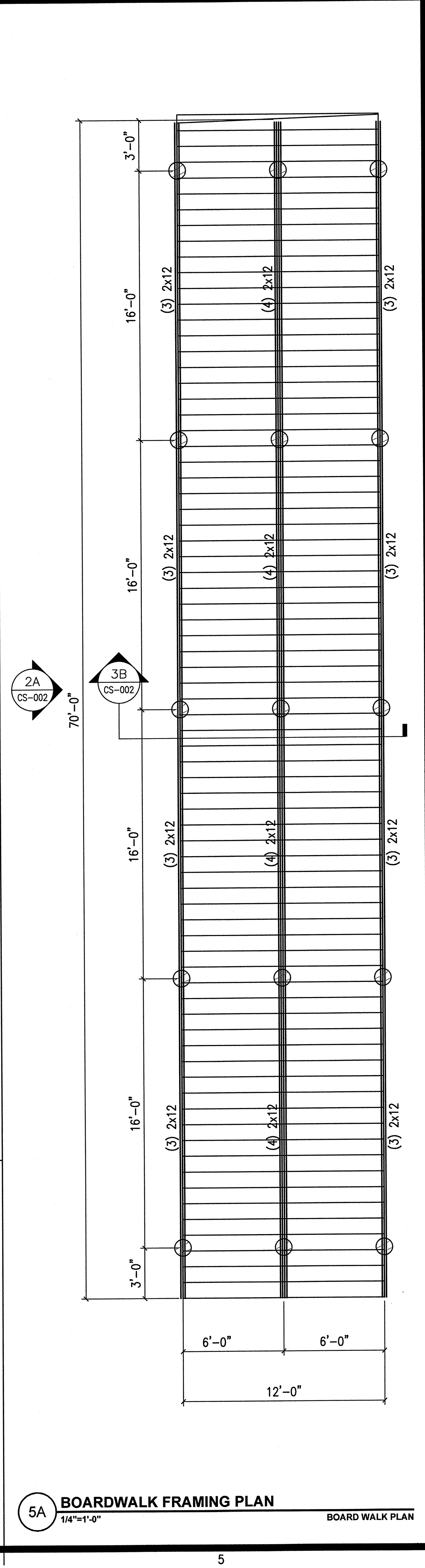
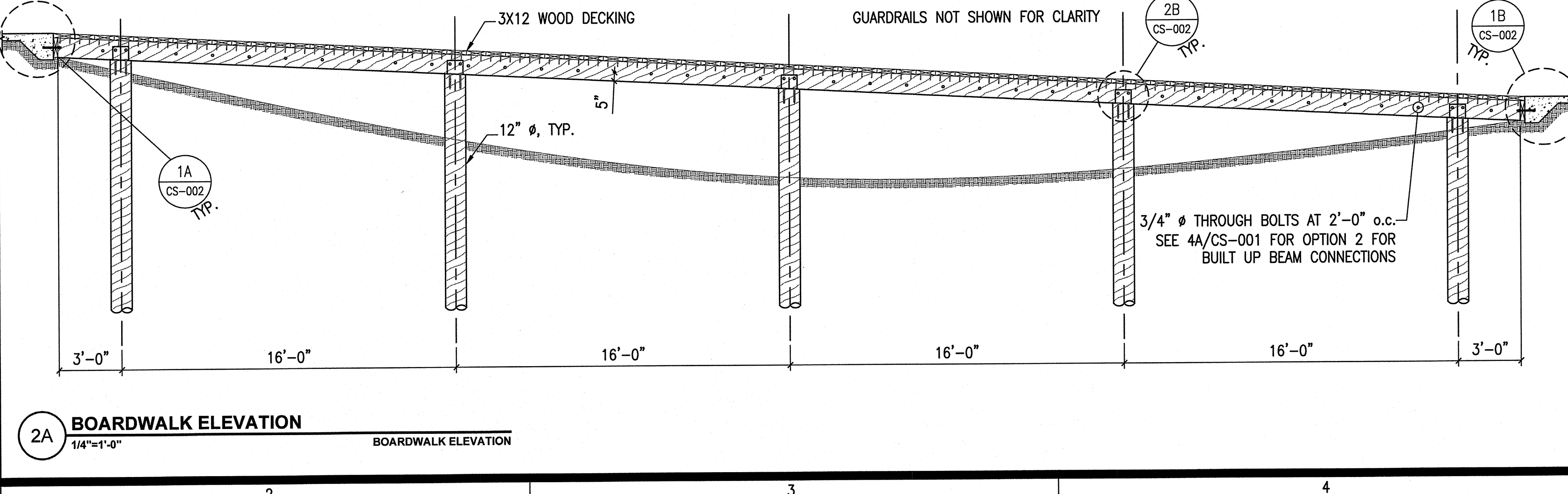
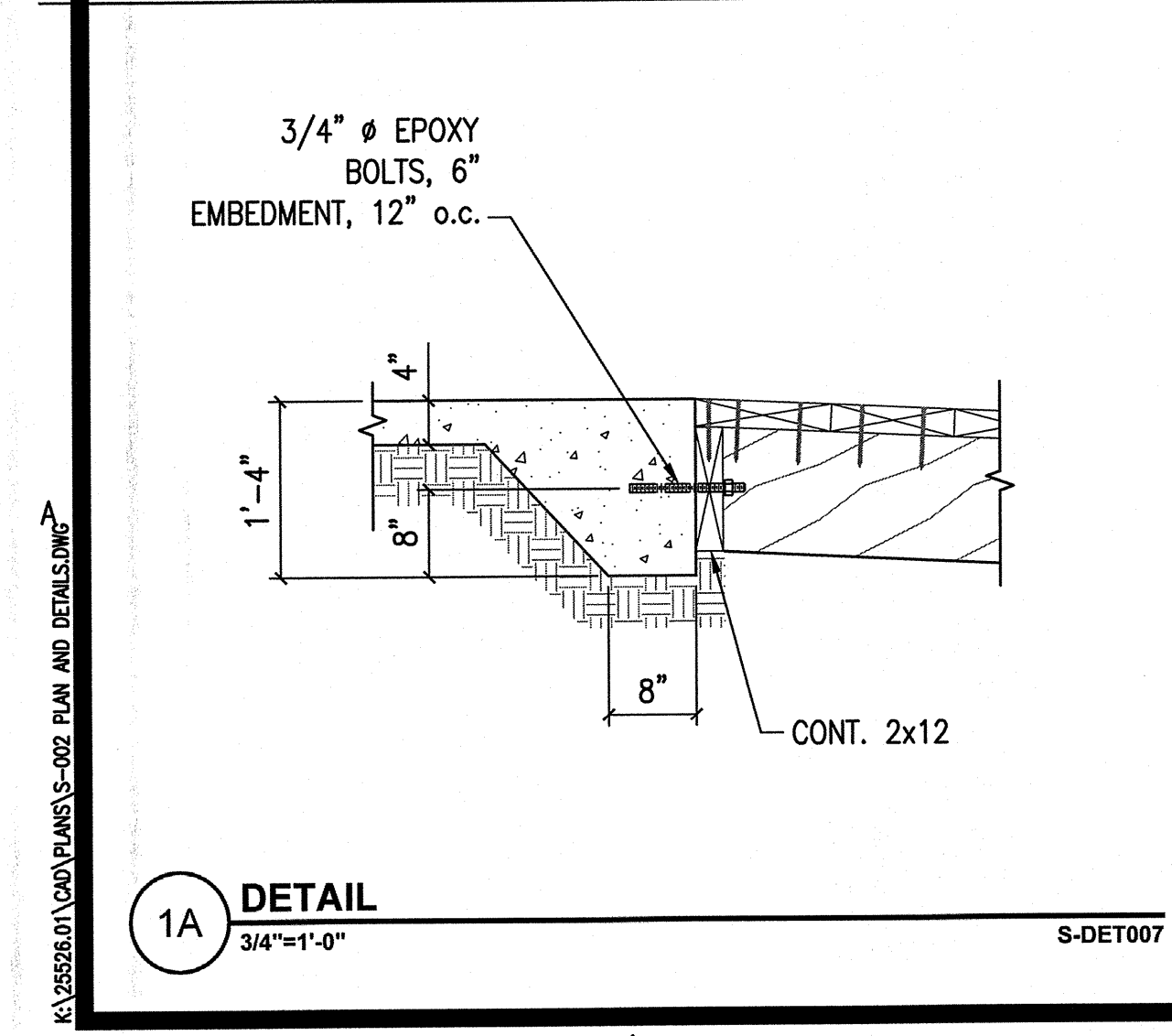
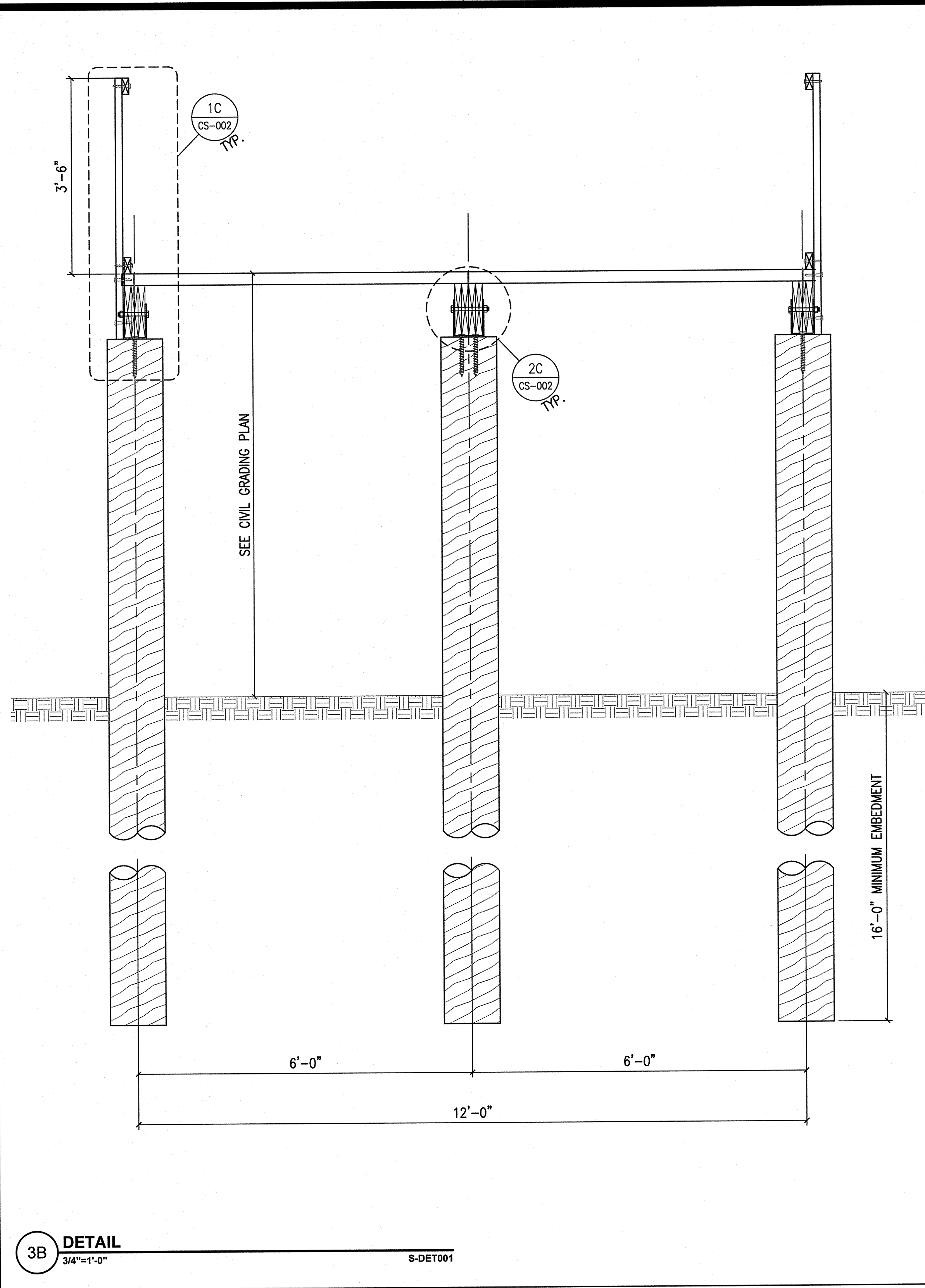
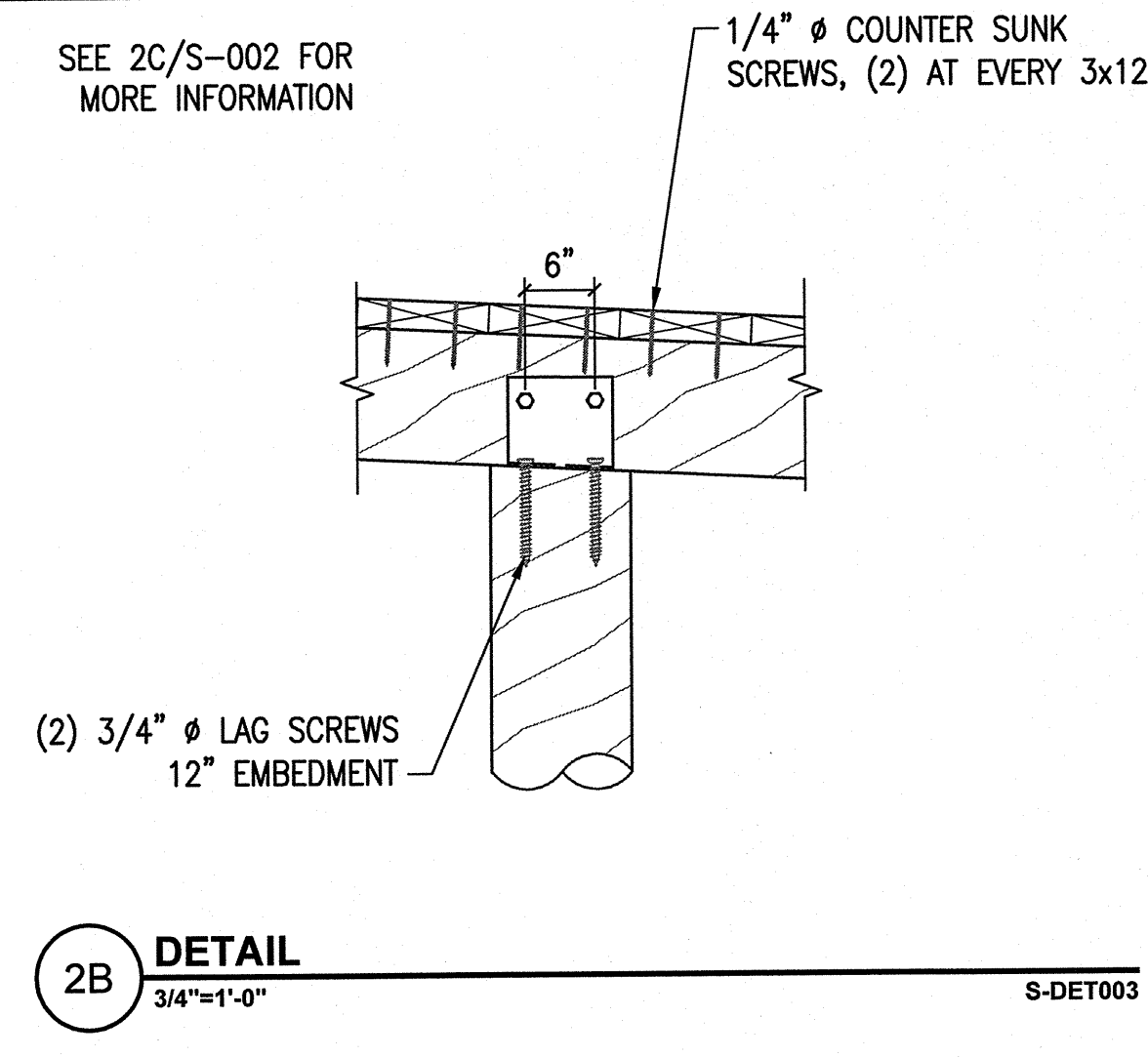
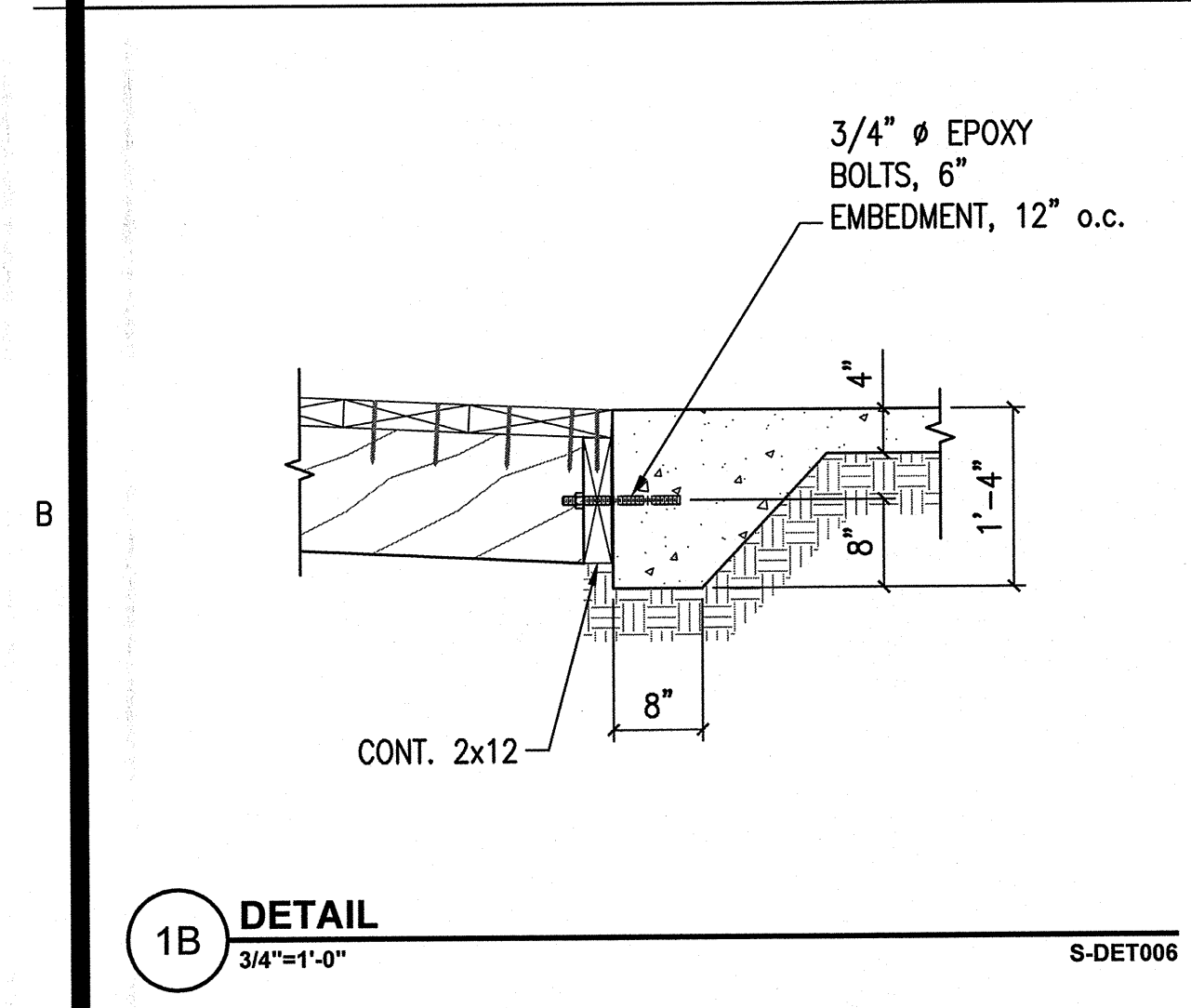
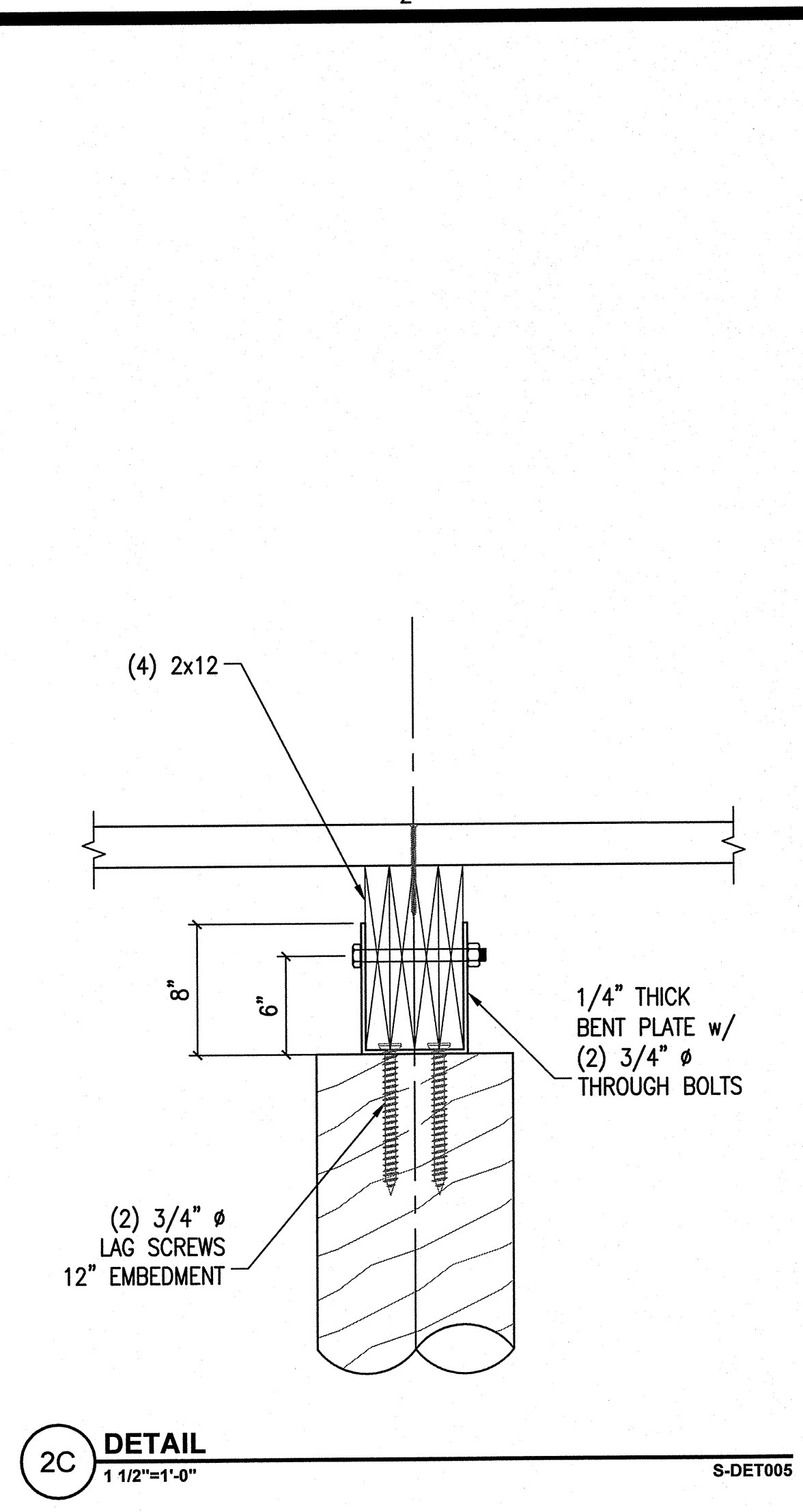
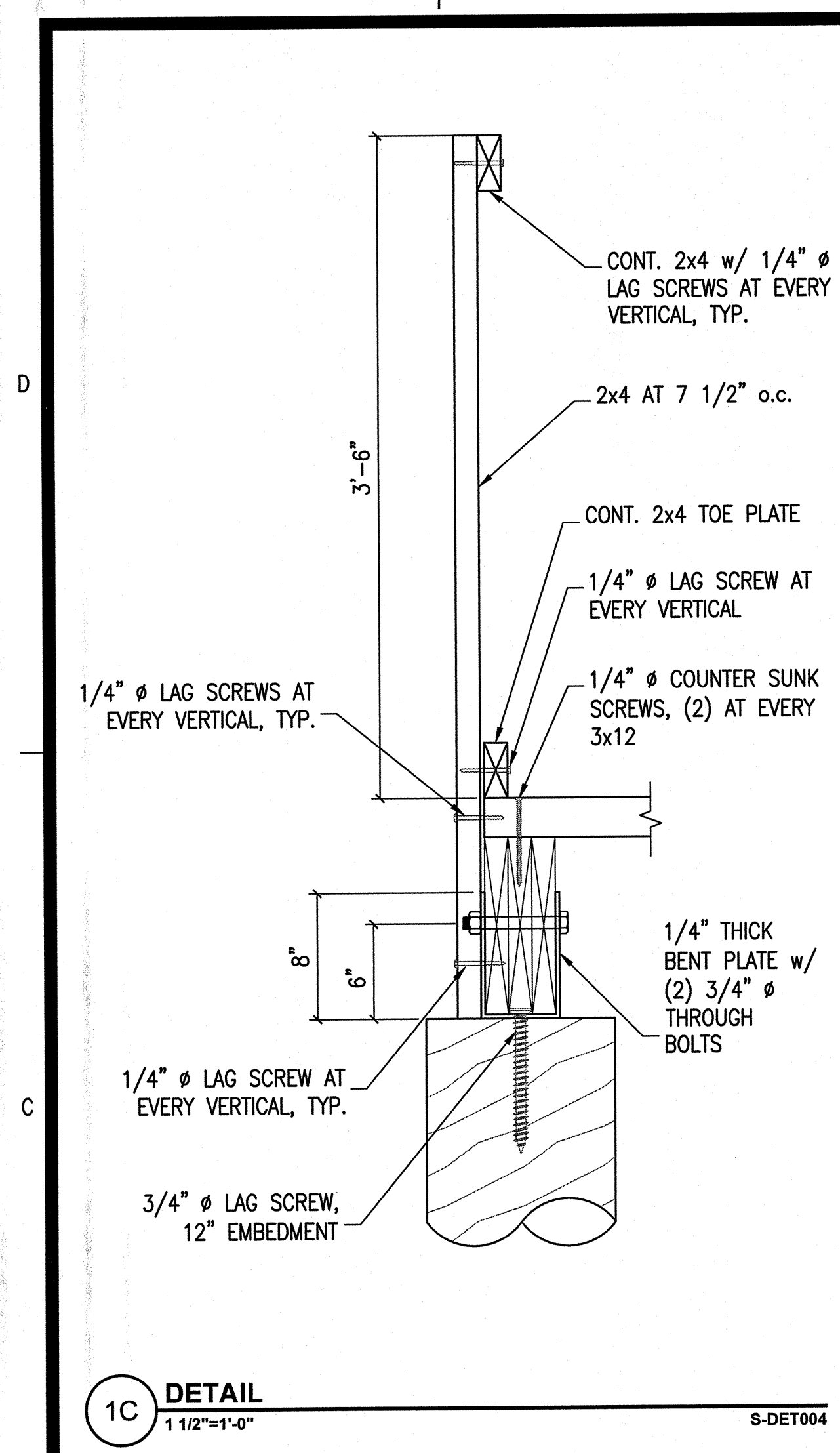
Pickering
Pickering Firm, Inc.
Architecture • Engineering
Planning • Surveying
6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
STATE HIGHWAY # 5 BRYANT, AR

SEAL:
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9051
MOUSEF SALEN
7/19/2019

SHEET NUMBER:
CS-001
DESCRIPTION:
GENERAL NOTES

152526.01 CON PLAN 5-01 GENERAL NOTES.DWG



REVISIONS:

PROJECT #: 25526.01
 DATE: JULY 19, 2019
 DRAWN BY: RCS
 DESIGNER: YAS
 CHECKED BY: YAS

Pickering
 Pickering Firm, Inc.
 Architecture - Engineering
 Planning - Surveying
 6775 Lenox Center Court, Suite 300
 Memphis, TN 38115
 901.726.0810

Pinnacle Point at Bryant Assisted Living Facility
 (FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
 STATE HIGHWAY # 5
 BRYANT, AR

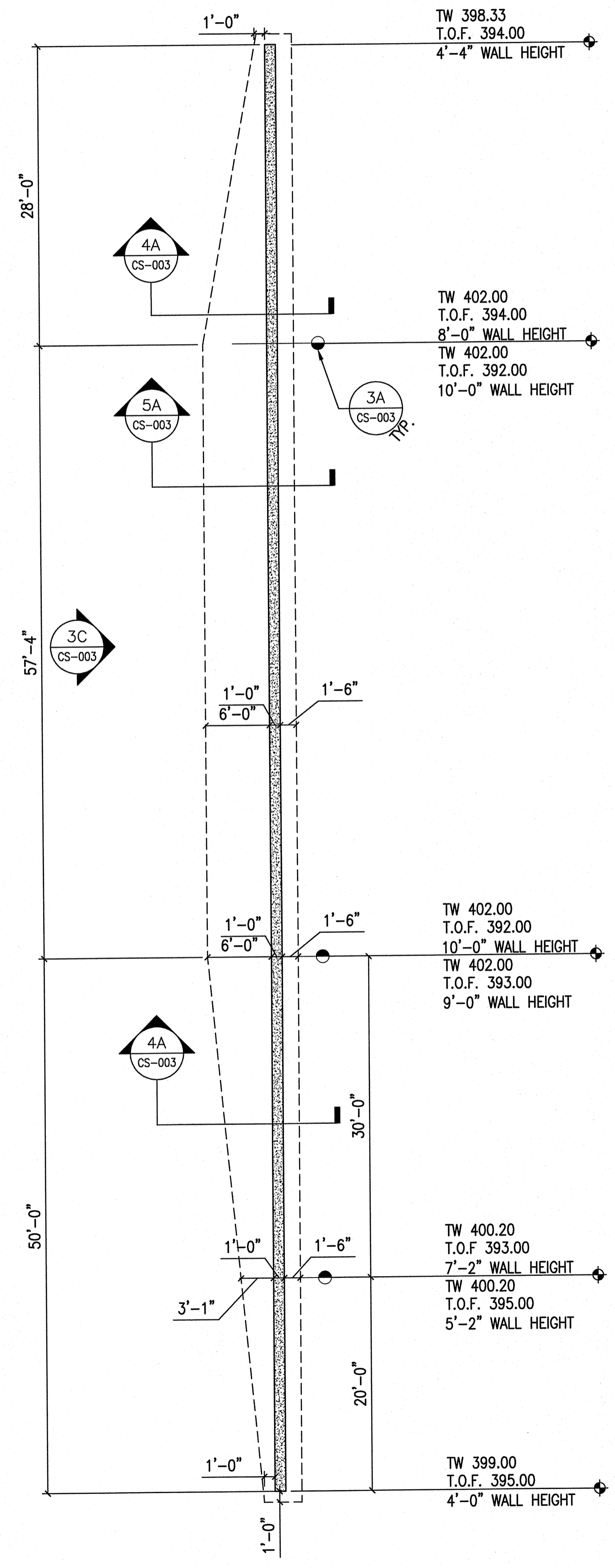
SEAL:
 STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 No. 9051
 YOUSEF SALEM
 7/19/2019

SHEET NUMBER:
CS-002

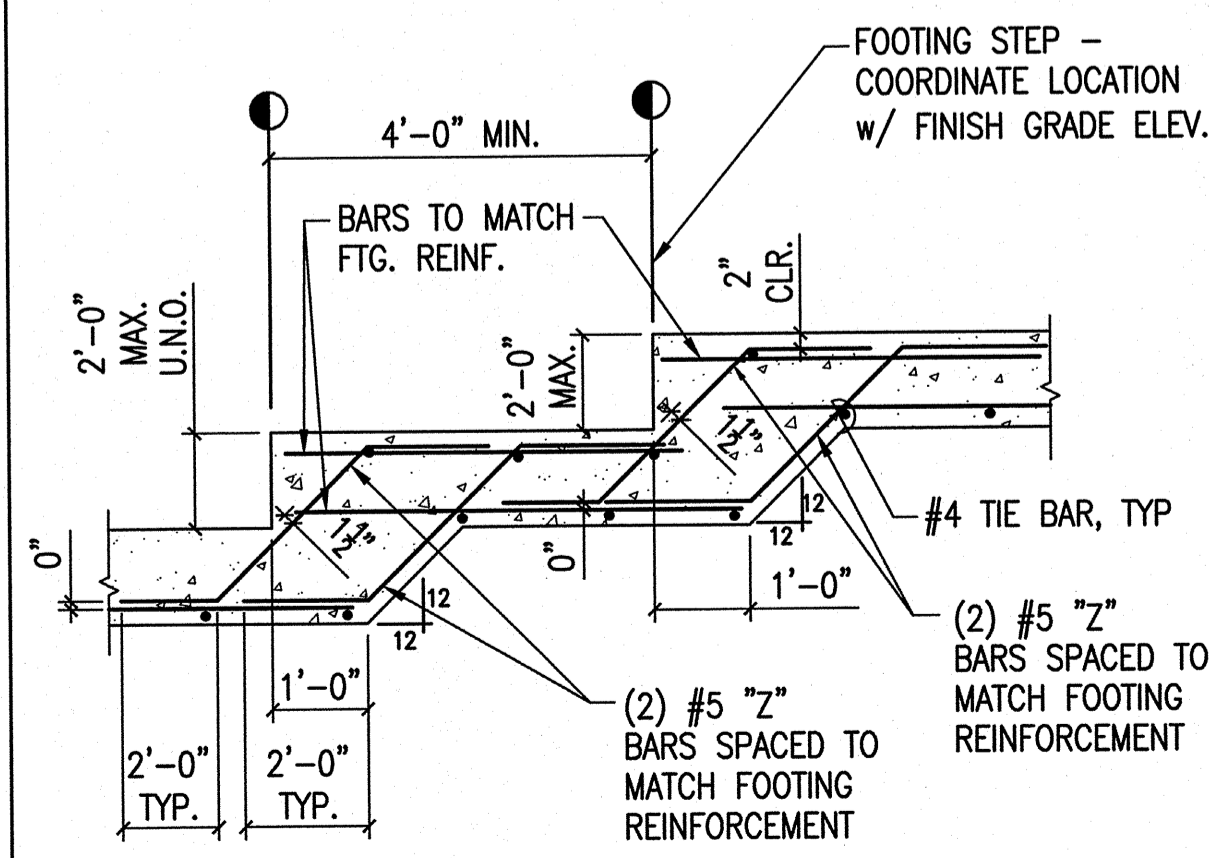
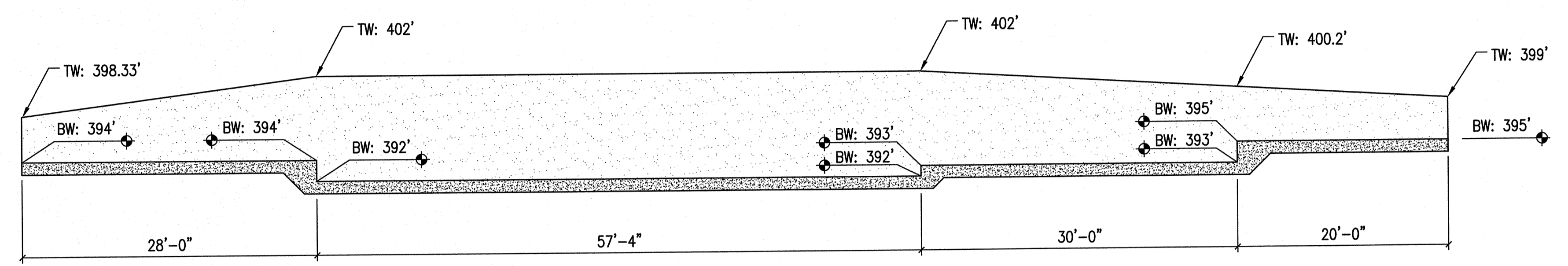
DESCRIPTION:
 STRUCTURAL FRAMING
 PLANS AND DETAILS

K:\25526.01\000\PLANS-S-002 PLAN AND DETAILS.DWG

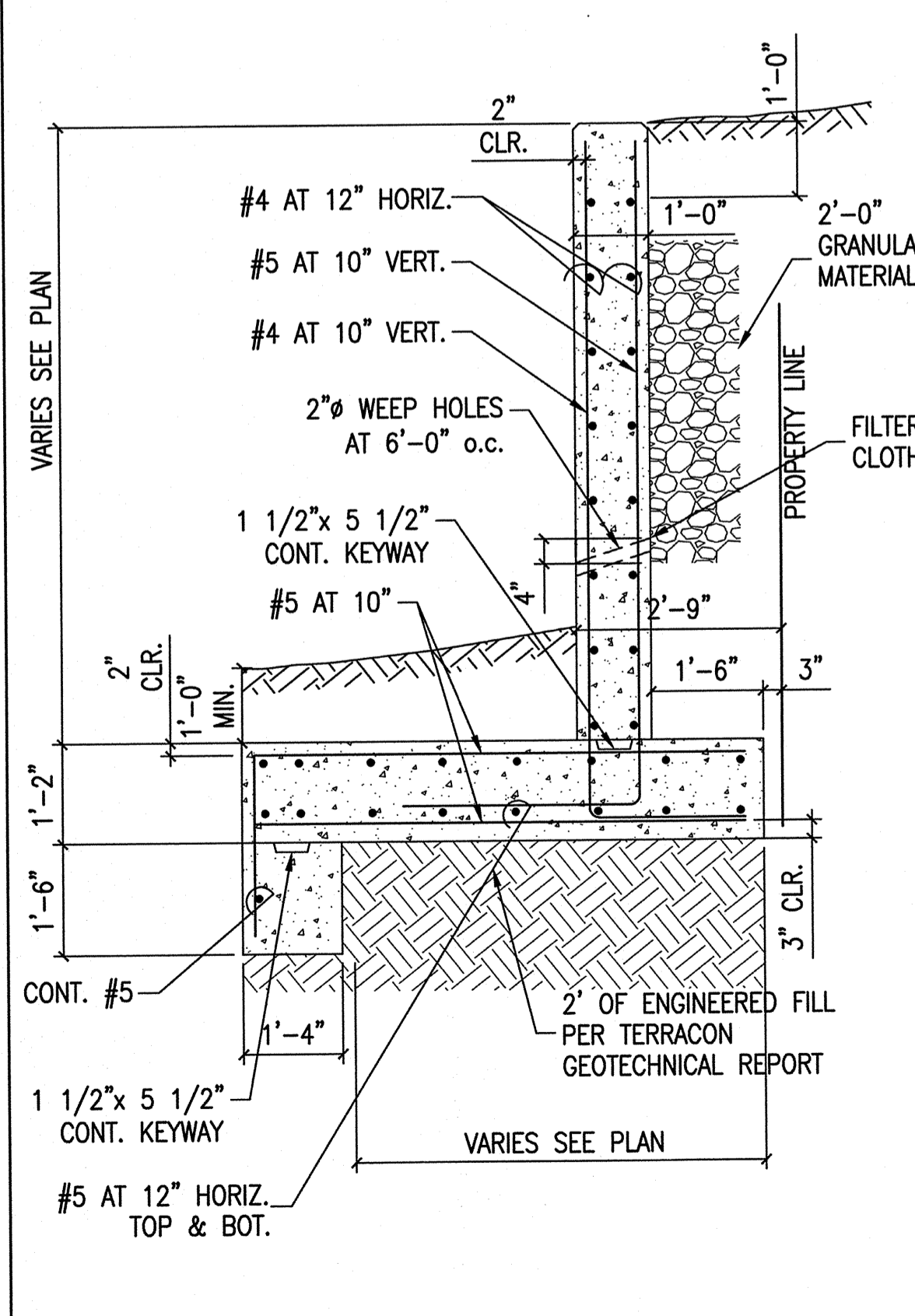
NOTE: T.O.F. = TOP OF FOOTING
T.W. = TOP OF WALL



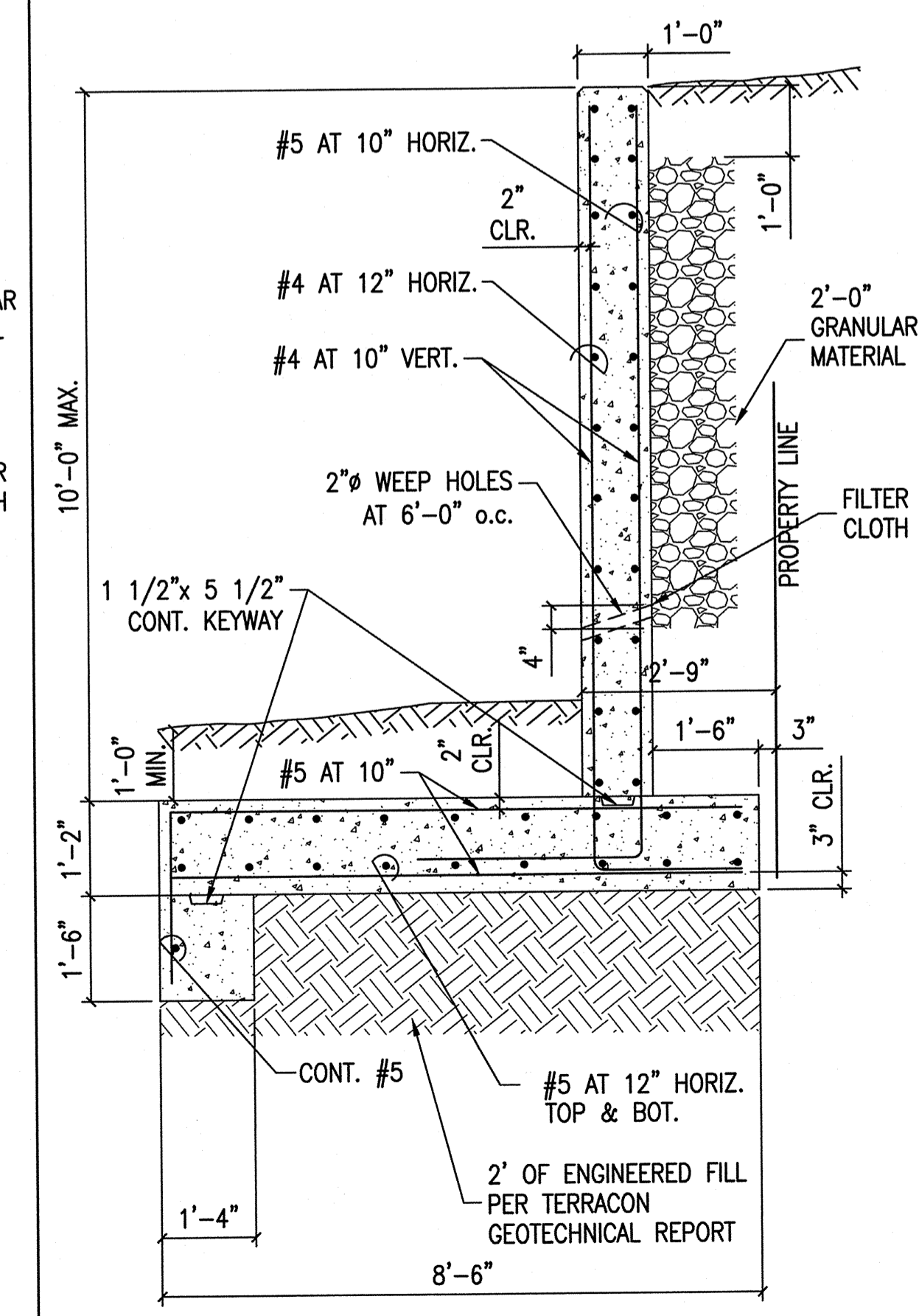
3C RETAINING WALL ELEVATION
1/8"=1'-0" RETAINING WALL PLAN



3A TYP. STEPPED FOOTING
1/2"=1'-0" S-DET008



4A DETAIL
1/2"=1'-0" S-RET02



5A DETAIL
1/2"=1'-0" S-RET01

REVISIONS:

PROJECT #: 25526.01
DATE: JULY 19, 2019
DRAWN BY: RCS
DESIGNER: YAS
CHECKED BY: YAS



PINNACLE POINT AT BRYANT ASSISTED LIVING FACILITY
STATE HIGHWAY # 5 BRYANT, AR
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)



SHEET NUMBER:
CS-003

DESCRIPTION:
RETAINING WALL PLAN AND DETAILS

K:\25526.01\DWG\PLANS\CS-003 PLAN AND DETAILS.DWG

Master Street Plan **Boundaries and Constraints**

Local Road	Planning Area Boundary
Proposed Local Road	Other City
Collector	Bryant
Proposed Collector	Floodplain
Minor Arterial	
Proposed Minor Arterial	
Interstate	

Revised: May 1, 2017

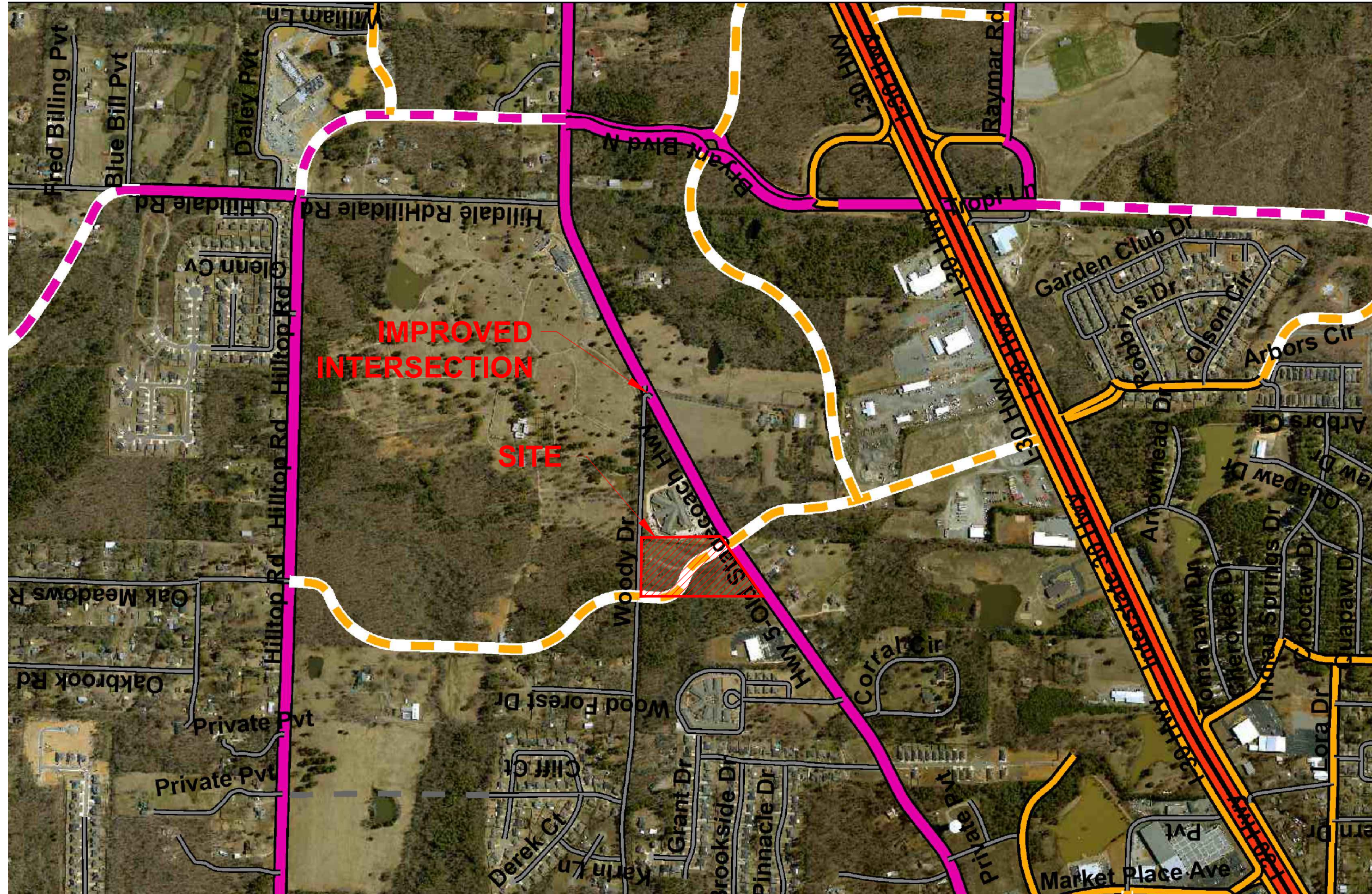
0 2,000 4,000 Feet

CITY OF BRYANT
WALK BIKE DRIVE
MASTER STREET PLAN

SEE EX-2

Planned Interchange

SITE EXHIBIT
EX-1



Pickering Firm, Inc.
Facility Design • Civil Engineering • Surveying •
Transportation • Natural / Water Resources

317 South Church Street
Jonesboro, AR 72401
870.336.6663

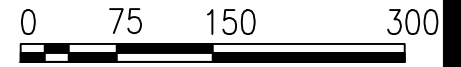
Pinnacle Point at Bryant Assisted Living Facility State Highway #5 - Bryant, Arkansas		PROJECT #	25526
DESCRIPTION	VICINITY MAP	DATE	SEP, 2018
SCALE	N.T.S.		

TITLE
**MASTER
STREET PLAN
VICINITY MAP**

SHEET #
EX-2



NORTH



1 INCH = 150 FEET

FOREST HILLS CEMETERY INC

DEMO APPROXIMATELY 325 LF OF EXISTING WOODY DRIVE

6,122 SF± (0.14 AC±)

50' R.O.W.
R200'

RELOCATED WOODY DRIVE AND HWY 5 INTERSECTION

H&S BRYANT LLC

WARFORD LLOYD R & MARILYN J JOINT TRUST

WARFORD LLOYD R & MARILYN J JOINT TRUST

WOODY DRIVE - HWY 5 INTERSECTION EXHIBIT

SCALE = 1" = 150'

Index Of Sheets

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	TYPICAL SECTION AND PAVEMENT SCHEDULE
3	GENERAL NOTES
4	ESTIMATED QUANTITIES
5	PRESENT LAYOUT
6	PROPOSED LAYOUT
7	PROPOSED PROFILE
8	TRAFFIC CONTROL PLAN
9	SIGNAGE AND PAVEMENT MARKING PLAN
10	EROSION PREVENTION AND SEDIMENT CONTROL PLANS
11-14	CROSS - SECTIONS

CITY OF BRYANT,
DEPARTMENT OF ENGINEERING

**SALINE COUNTY,
ARKANSAS**

WOODY DRIVE REALIGNMENT

FROM: WOODY DRIVE
TO: OLD STAGE COACH ROAD

CONSTRUCTION

YEAR	SHEET NO.
2019	1

ARDOT STANDARD DRAWING

	DESCRIPTION
PM-1	PAVEMENT MARKING DETAILS
SE-1	TABLES AND METHOD OF SUPERELEVATION FOR ONE-WAY TRAFFIC
SHS-1	STANDARD HIGHWAY SIGNS AND SUPPORT ASSEMBLIES
SHS-2	U-CHANNEL POST ASSEMBLIES
TC-1	STANDARD TRAFFIC CONTROLS FOR HIGHWAY CONSTRUCTION
TC-2	STANDARD TRAFFIC CONTROLS FOR HIGHWAY CONSTRUCTION
TEC-1	TEMPORARY EROSION CONTROL DEVICES
TEC-2	TEMPORARY EROSION CONTROL DEVICES
TEC-3	TEMPORARY EROSION CONTROL DEVICES

CITY OF BRYANT STANDARD DRAWING

	DESCRIPTION
DETAIL 4	TYPICAL SECTION RURAL COLLECTOR STREET

BEGIN PROJECT
STA. 17+55.50
N 2028945.72
E 1167554.07



END PROJECT
STA. 19+84.29
N 2028823.81
E 1167733.97

SCALE: 1" = 500'



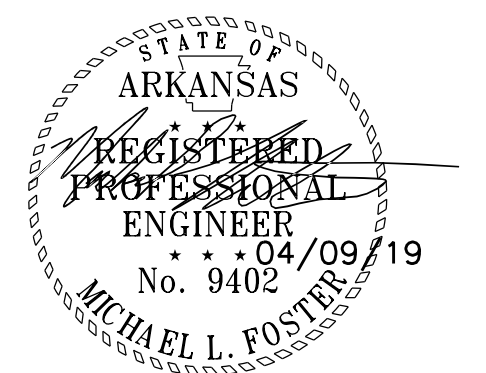
SPECIAL NOTES

THIS PROJECT TO BE CONSTRUCTED UNDER THE ARKANSAS STATE HIGHWAY COMMISSION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, EDITION OF 2014.

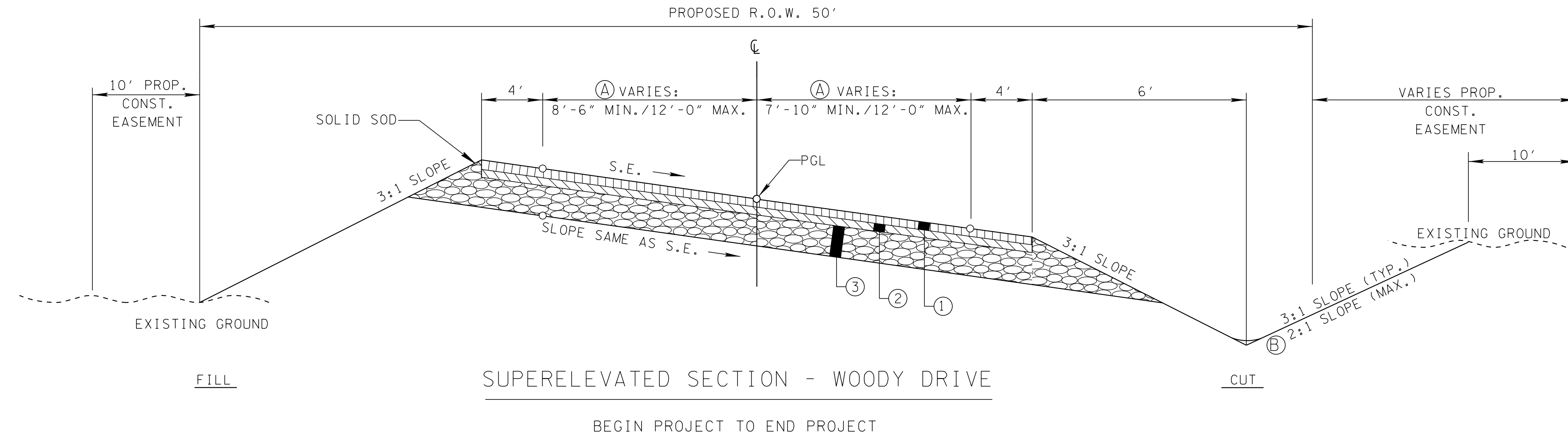
PROJECT LENGTH 0.043 MILES



PICKERING FIRM, INC.
Service and Good Work, Our Foundation, Our Future.
100 E. HUNTINGTON, SUITE B
Jonesboro, AR 72401
PH 870.819.7918



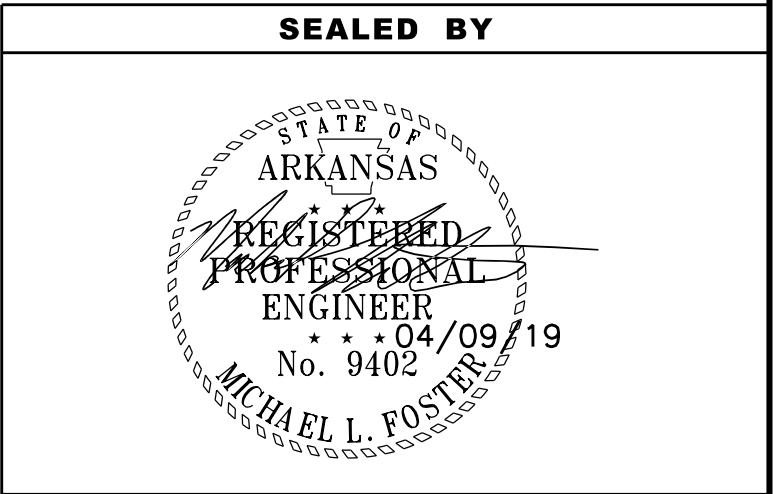
TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		2



NOTES:

- Ⓐ VARIES: FROM STA. 17+55.50 TO STA. 18+35.51
- Ⓑ SLOPES VARY (SEE CROSS-SECTIONS FOR MORE DETAIL)

PROPOSED PAVEMENT SCHEDULE	
①	ASPHALT CONCRETE HOT MIX SURFACE COURSE @ 1.5" THK. ITEM NO. 407
②	ASPHALT CONCRETE HOT MIX BINDER COURSE @ 2" THK. ITEM NO. 406
③	AGGREGATE BASE COURSE (CLASS 7) @ 8" THK. ITEM NO. 303

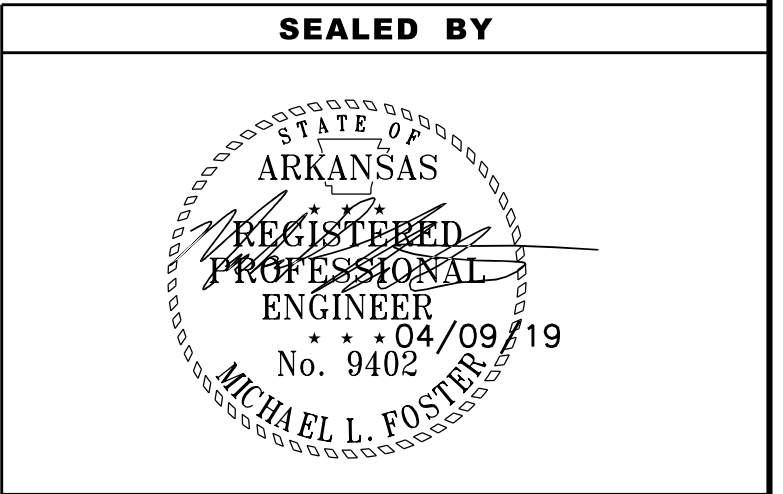


CITY OF BRYANT
TYPICAL SECTION
AND
PAVEMENT
SCHEDULE

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		3

GENERAL NOTES:

1. GRADE LINE DENOTES FINISHED GRADE WHERE SHOWN ON PLANS.
2. ALL PIPE LINES, POWER, TELEPHONE, AND TELEGRAPH LINES TO BE MOVED OR LOWERED BY THE RESPECTIVE OWNERS AS PER AGREEMENT WITH SUCH OWNERS.
3. ANY EQUIPMENT OR APPURTENANCE THAT INTERFERES WITH THE PROPOSED CONSTRUCTION AND WHICH MAY BE THE PROPERTY OF UTILITY SERVICE ORGANIZATIONS SHALL BE MOVED BY THE OWNERS UNLESS OTHERWISE PROVIDED.
4. ALL LAND MONUMENTS LOCATED WITHIN THE CONSTRUCTION AREA SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 107.12 OF THE STANDARD SPECIFICATIONS.
5. ALL TREES THAT DO NOT DIRECTLY INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE SPARED AS DIRECTED BY THE ENGINEER. CARE AND DISCRETION SHALL BE USED TO ENSURE THAT ALL TREES NOT TO BE REMOVED SHALL BE HARMED AS LITTLE AS POSSIBLE DURING THE CONSTRUCTION OPERATIONS.
6. THE SEQUENCE AS SHOWN ON THE MAINTENANCE OF TRAFFIC PLANS IS A GENERAL OUTLINE FOR THE CONSTRUCTION OF THIS PROJECT, AND IN NO WAY IS IT INTENDED TO COVER EVERY ITEM IN THE PROJECT. ITEMS NOT CRITICAL TO THE CONSTRUCTION SEQUENCE MAY BE CONSTRUCTED IN ANY STAGE AS APPROVED BY THE RESIDENT ENGINEER.
7. ALL FLEXIBLE BASE AND ASPHALTIC PAVEMENTS REMOVED SHALL BE PAID FOR UNDER THE ITEM NO. 210 – UNCLASSIFIED EXCAVATION.ACCESS ALONG ROADWAYS SHALL BE MAINTAINED AT ALL TIMES.
8. THE EXISTING ASPHALT PAVEMENT TO BE REMOVED FROM THE REMAINING PAVEMENT SHALL BE SEPARATED BY SAWING ALONG A NEAT LINE. AFTER SAWING, THE PAVEMENT TO BE REMOVED SHALL BE CAREFULLY REMOVED IN A MANNER THAT WILL NOT DAMAGE THE PAVEMENT THAT IS TO REMAIN. ANY DAMAGE OF THE ASPHALT PAVEMENT THAT IS TO REMAIN IN PLACE SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKEOUT. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS, ELEVATIONS, STATIONS, ETC. BEFORE ORDERING MATERIALS OR PROCEEDING WITH WORK, AND SHALL BE RESPONSIBLE FOR SAME. IF ANY DISCREPANCY IN THE PLANS OR SPECIFICATIONS ARISES, THE CONTRACTOR SHALL CONTACT THE OWNER BEFORE INITIATING WORK AFFECTED BY THE DISCREPANCY.
10. THE CONTRACTOR IS CAUTIONED AND SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER’S REPRESENTATIVE OF ANY ERROR OR OMISSION ON THE PLANS WHICH MAY CREATE ADDITIONAL WORK OR EXPENSE BY THE CONTRACTOR, AND SHALL OBTAIN A WRITTEN WORK ORDER FROM THE OWNER’S REPRESENTATIVE PRIOR TO PROCEEDING WITH ANY EXTRA WORK WHICH MAY BE CAUSED FROM SUCH ERROR OR OMISSION ON THE PLANS.
11. THE CONTRACTOR SHALL MAKE APPLICATION FOR, OBTAIN, AND PAY FOR ALL NECESSARY LICENSES AND PERMITS REQUIRED FOR THIS PROJECT. THE CONTRACTOR SHALL INSURE THAT HIS OPERATIONS ARE CARRIED OUT IN CONFORMANCE WITH ALL APPLICABLE STATE, LOCAL, AND FEDERAL CODES, STATUTES, AND REGULATIONS CONCERNING THE PROTECTION OF LIVES AND PROPERTY. ANY CONSTRUCTION OBSERVATION BY THE OWNER OR HIS REPRESENTATIVE OF THE CONTRACTOR’S PERFORMANCE SHALL NOT LIMIT THE CONTRACTOR’S RESPONSIBILITY TO ABIDE BY ALL APPLICABLE REQUIREMENTS.
12. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO EXISTING FACILITIES AND/OR ADJACENT PROPERTIES, AND SHALL BE RESPONSIBLE FOR SAME.
13. CONTRACTOR SHALL CALL ARKANSAS ONE-CALL PRIOR TO ANY EXCAVATION AT THE SITE. INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES ARE SHOWN BASED UPON FIELD SURVEYS AND INFORMATION PROVIDED BY OTHERS. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THE CONTRACTOR.
14. ACCESS ALONG ROADWAYS SHALL BE MAINTAINED AT ALL TIMES. COORDINATION WITH THE OWNER PRIOR TO ANY LANE CLOSURES IS REQUIRED.
15. CONTRACTOR SHALL KEEP AN ORDERLY WORK SITE AND SHALL DISPOSE OF ALL CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
16. CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE TO OWNER’S REPRESENTATIVE PRIOR TO COMMENCING WORK.
17. CONTRACTOR WILL BE PROVIDED WITH AN ELECTRONIC DRAWING FOR STAKE OUT PURPOSES.
18. CONTRACTOR SHALL ESTABLISH POSITIVE DRAINAGE OVER SITE, AND SHALL RE-ESTABLISH TURF COVER OVER ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED, OR OTHERWISE FINISHED, IN ACCORDANCE WITH THE SPECIFICATIONS.
19. ANY ADDITIONAL AREA NEEDED BY THE CONTRACTOR FOR STAGING, ETC. SHALL BE ACQUIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
20. ENCASEMENT PIPES SHALL EXTEND FROM R.O.W. TO R.O.W. ALL WORK FOR STEEL ENCASEMENT PIPES SHALL BE IN ACCORDANCE WITH THE CITY OF BRYANT, ARKANSAS STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES. STEEL ENCASEMENT PIPE WILL NOT BE PAID FOR SEPERATELY BUT SHALL BE INCLUDED IN THE COST OF OTHER ITEMS IN THE CONTRACT.



CITY OF BRYANT

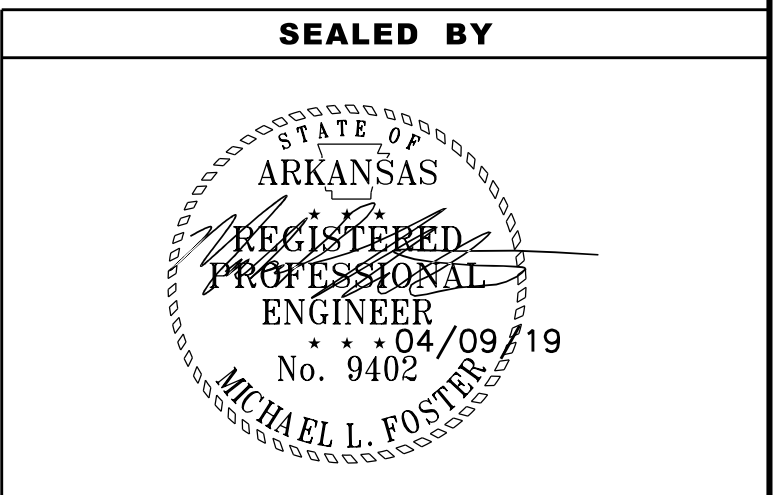
**GENERAL
NOTES**

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		4

ESTIMATED ROADWAY QUANTITIES				
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	
	201	GRUBBING	AC	0.3
	201	CLEARING	AC	0.3
(1)	202	R&D OF SIGNS	EACH	3
(2)	210	UNCLASSIFIED EXCAVATION	CU. YD.	343
(3)	210	COMPACTED EMBANKMENT	CU. YD.	87
(4)	401	PRIME COAT	GAL	317
(5)	401	TACK COAT	GAL	80
	303	AGGR.BASE COURSE(CLASS 7)	TON	370
(6)	405	A.B.(PG64-22)ACHM BASE(2")	TON	93
(6)	406	A.B.(PG64-22)ACHM BINDER(1.5")	TON	40
	601	MOBILIZATION	LS	1
	603	MAINTENANCE OF TRAFFIC	LS	1
	604	SIGNS	SQ. FT.	103.5
	604	TRAFFIC DRUMS	EACH	29
	604	REMOVAL OF PAVEMENT MARKING	LF	283
	620	WATER	MG	0.015
(7)	621	SILT FENCE	LF	500
(7)	621	WATTLE (20")	LF	150
	624	SOLID SODDING	SQ. YD.	1162
	635	ROADWAY CONSTRUCTION CONTROL	LS	1
	718	REFL.PAINT PVMT.MRK.WH(4")	LF	621
	718	REFL.PAINT PVMT.MRK.YL(4")	LF	689
	718	REFL.PAINT PVMT.MRK.WH(12")	LF	1
(8)	SP	EROSION CONTROL	LS	1

FOOTNOTES:

- (1) INCLUDES ALL MATERIALS NECESSARY TO REMOVE AND RE-SET SIGNS TO NEW LOCATION.
- (2) INCLUDES 90 CU. YD. FOR SCARIFIED AREA. EARTHWORK QUANTITIES SHOWN ABOVE SHALL BE PAID AS PLAN QUANTITIES.
- (3) MATERIAL USED FOR THIS ITEM SHOULD CONSIST OF LOW PLASTICITY, COHESIVE SOILS OR GRANULAR MATERIALS. COHESIVE SOILS AVAILABLE ONSITE MUST HAVE A PLASTICITY INDEX OF NOT MORE THAN 20 AND BE FREE OF ORGANIC MATTER, DEBRIS, OR OTHER DELETERIOUS MATERIAL. MATERIAL MUST ALSO BE ACCEPTABLE TO THE ENGINEER.
- (4) QUANTITY IS BASED UPON ANN APPLICATION OF 0.40 GALLONS PER SQUARE YARD.
- (5) QUANTITY IS BASED UPON ANN APPLICATION OF 0.10 GALLONS PER SQUARE YARD.
- (6) MINERAL AGGGREGATE AND ASPHALT BINDER WILL NOT BE PAID SEPERATELY FOR ACHM ITEMS.
- (7) THE TEMPORARY EROSION CONTROL DEVICES SHOWN ABOVE AND ON THE PLANS SHALL BE INSTALLED IN SUCH A SEQUENCE AS TO DETER EROSION AND SEDIMENTATION FROM ENTERING U.S. WATERWAYS AS EXPLAINED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
- (8) ITEM COVERS ALL EROSION CONTROL MEASURES IDENTIFIED IN THE PLANS AND SWPPP NOT ALREADY COVERED BY SEPARATE PAY ITEMS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SIRE AND PROVIDING SUFFICIENT BMP'S IN ACCORDANCE WITH NPDES GENERAL PERMIT #ARR150000 INCLUDING BUT NOT LIMITED TO CONSTRUCTION/EXIT, SEDIMENT REMOVAL, TEMPORARY SANITARY FACILITIES, ETC.



CITY OF BRYANT

ESTIMATED QUANTITIES

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		5

POT 16+56.93

MILLING DEPTH OF 1/2 INCHES IS REQUIRED FOR PORTION OF WOODY DRIVE TO REMAIN

BEGIN PROJECT
STA. 17+55.50
N 2028945.72
E 1167554.07

CURVE WOODY-1
PI 18+73.67
N 2,028,941.1632
E 1,167,672.1536
Δ 60° 00' 43" (RT)
D 28° 00' 00"
R 204.63
L 214.33
T 118.17
SE 0.079 FT/FT
DESIGN SPEED 20 MPH
TRANS. LENGTH 160

N



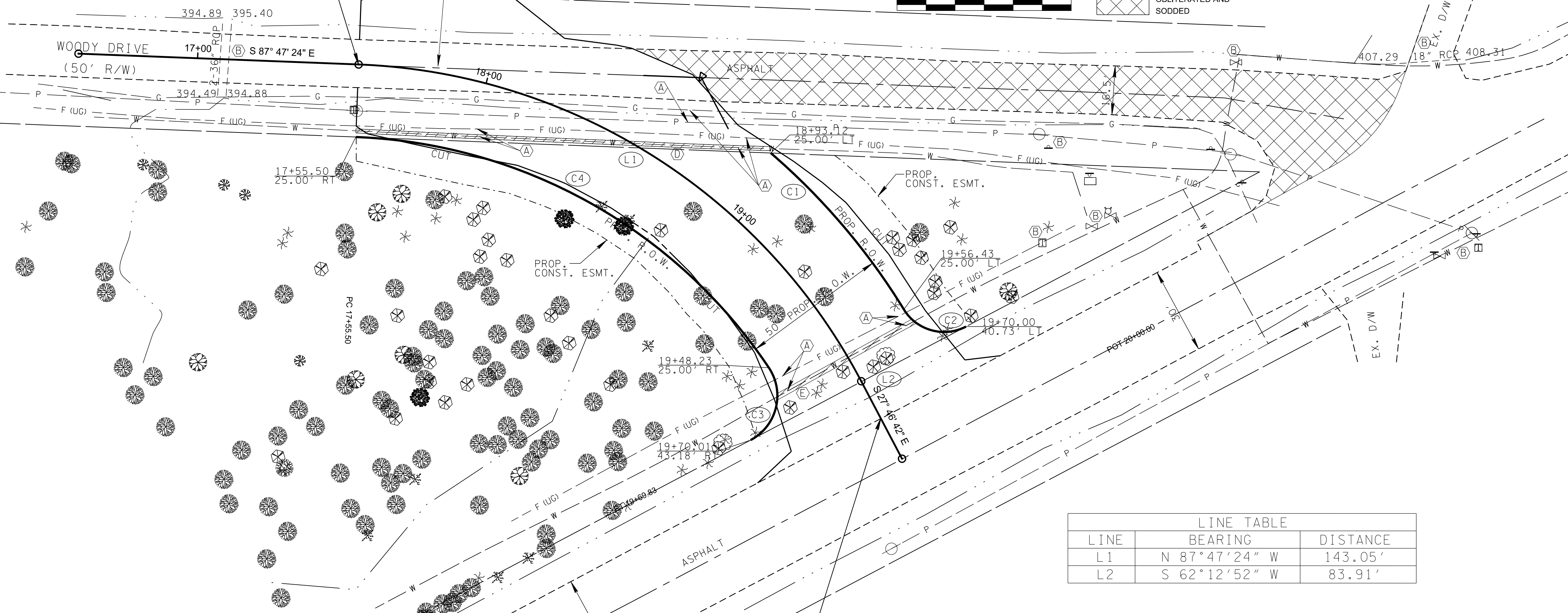
AREA TO BE SCARIFIED, OBLITERATED AND SODDED

RIGHT OF WAY LINE

WOODY DRIVE
(50' R/W)

RIGHT OF WAY LINE

PORTION OF WATER LINE TO BE STEEL ENCASED



LINE	BEARING	DISTANCE
L1	N 87° 47' 24" W	143.05'
L2	S 62° 12' 52" W	83.91'

END PROJECT
STA. 19+84.29
N 2028823.81
E 1167733.97

CURVE	RADIUS	LENGTH	CH. BRG.	CH. LENGTH
C1	229.63'	71.05'	S 40° 23' 38.27" E	70.76'
C2	16.26'	24.48'	S 74° 39' 15.24" E	22.23'
C3	17.29'	28.96'	S 14° 10' 33.61" W	25.69'
C4	179.63'	169.18'	N 60° 48' 29.02" W	163.00'

- (A) EXIST. UTILITY OR UTILITY APPURTENANCE TO BE ADJUSTED AND/OR RELOCATED BY OWNER OF UTILITY
- (B) EXIST. FEATURE TO REMAIN UNDISTURBED
- (C) REMOVE ANY TREES WITHIN THE SLOPE LIMITS AND ANY TREES HENDERING CONSTRUCTION WITHIN THE LIMITS OF THE EASEMENTS AT ENGINEERS DISCRETION.
- (D) 8" WATER LINE REQUIRES STEEL ENCASEMENT PIPE (APPROX. 143'). ENCASEMENT DIAMETER TO BE 16" WITH A MINIMUM WALL THICKNESS OF 0.25". STEEL ENCASEMENT TO BE PAID FOR IN COST OF OTHER ITEMS.
- (E) 12" WATER LINE REQUIRES STEEL ENCASEMENT PIPE (APPROX. 55'). ENCASEMENT DIAMETER TO BE 24" WITH A MINIMUM WALL THICKNESS OF 0.3125". STEEL ENCASEMENT TO BE PAID FOR IN COST OF OTHER ITEMS.

SEALED BY

CITY OF BRYANT

PRESENT LAYOUT

STA. 17+55.50 TO STA. 19+84.29
SCALE: 1"= 20'

4/1/2019 9:51:03 AM
T:\25526.01\05_Present.SHT

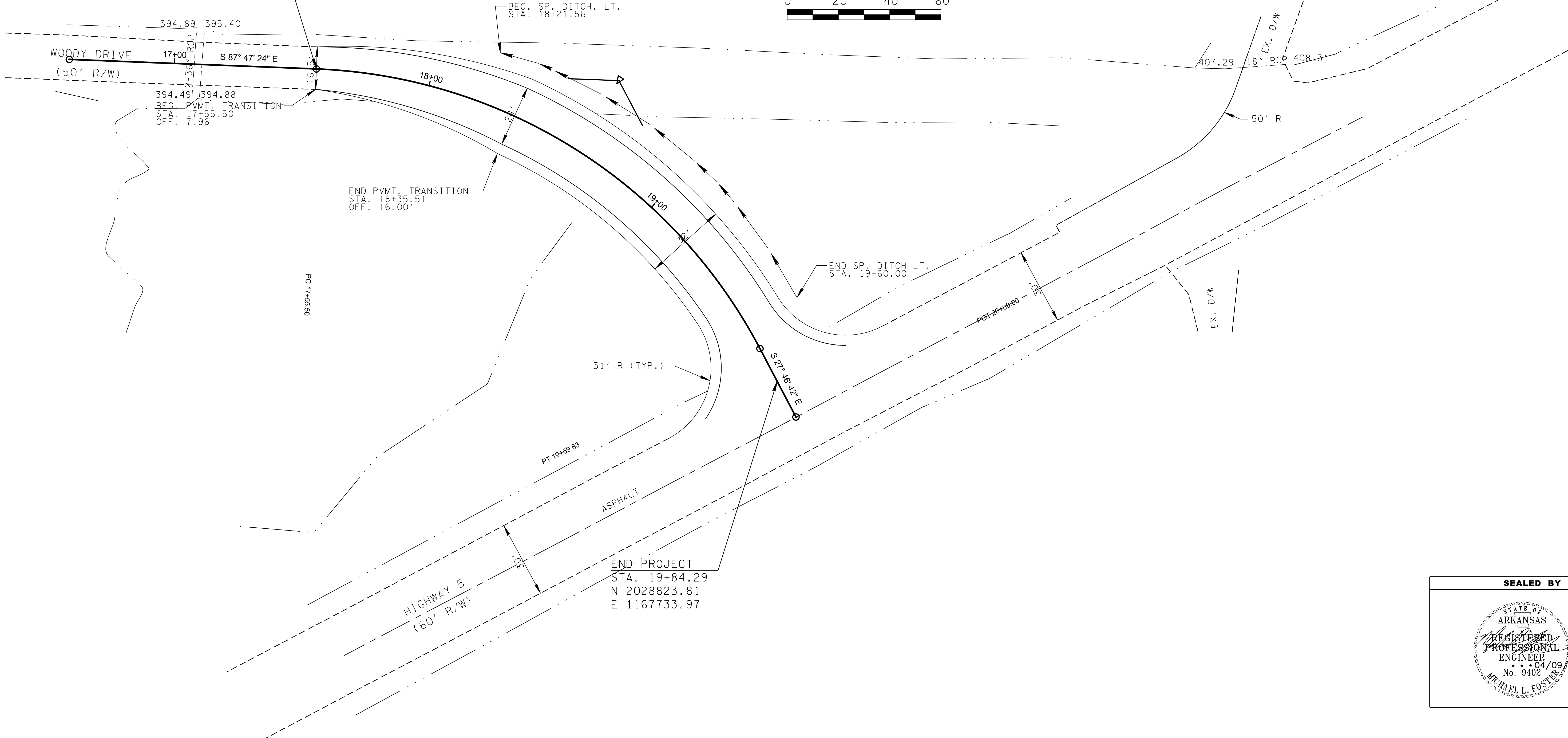
TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		6

POT 16+58.93

BEGIN PROJECT
 STA. 17+55.50
 N 2028945.72
 E 1167554.07

CURVE WOODY-1
 PI 18+73.67
 N 2,028,941.1632
 E 1,167,672.1536
 Δ 60° 00' 43" (RT)
 D 28° 00' 00"
 R 204.63
 L 214.33
 T 118.17
 SE 0.079 FT/FT
 DESIGN SPEED 20 MPH
 TRANS. LENGTH 160

N



4/1/2019 9:51:04 AM
 T:\25526.01\06_Proposed.SHT

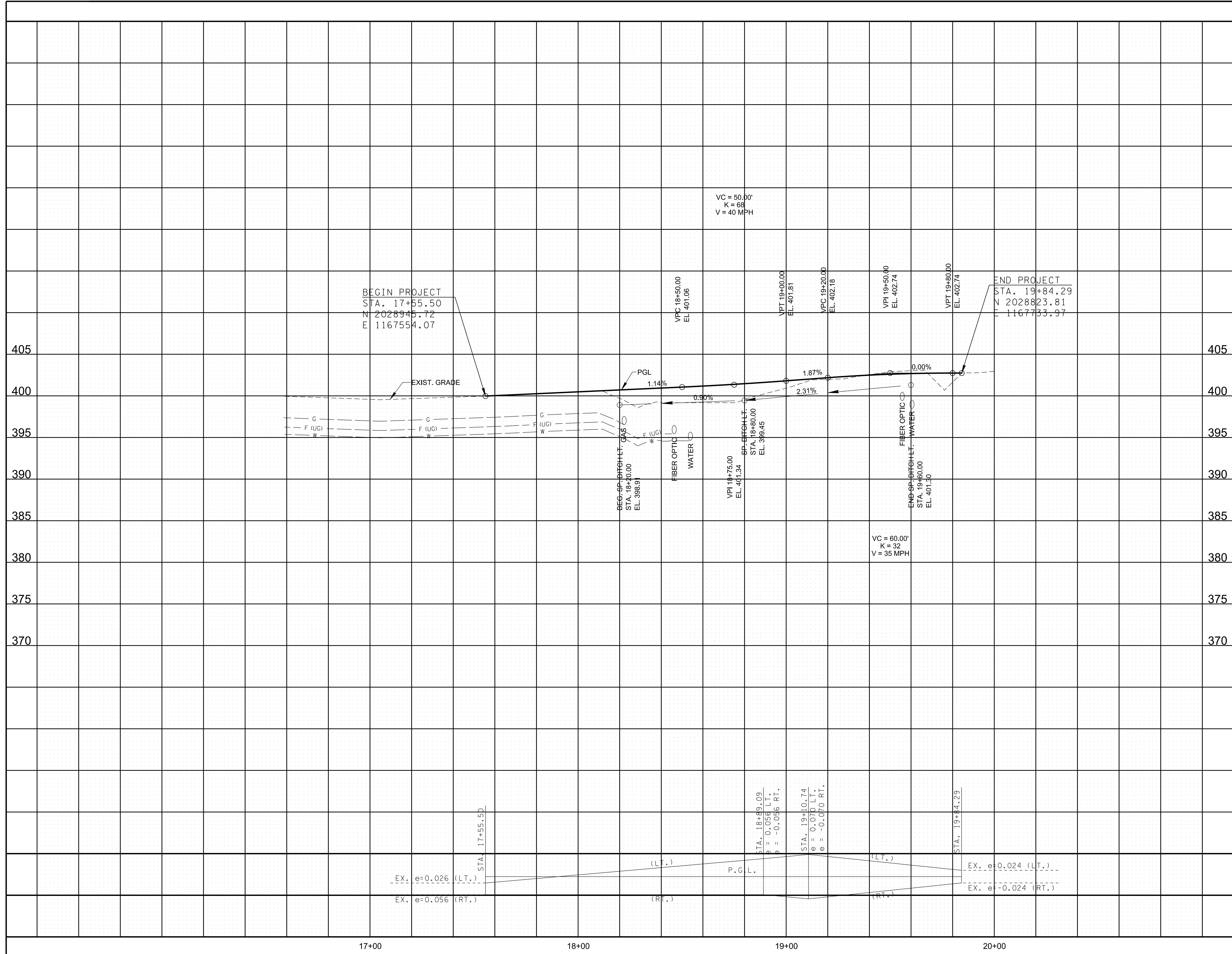
SEALED BY

CITY OF BRYANT

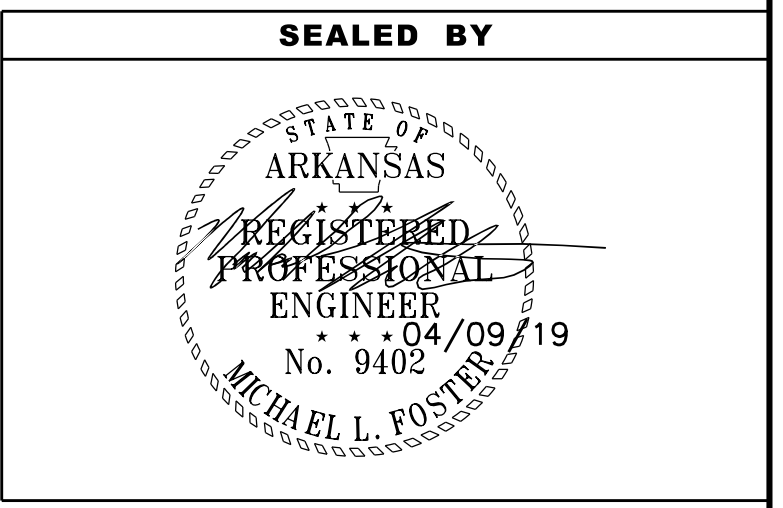
PROPOSED LAYOUT

STA. 17+55.50 TO STA. 19+84.29
 SCALE: 1"=20'

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		7



4/1/2019 9:51:04 AM
T:\25526.01\07_Profile.SHT



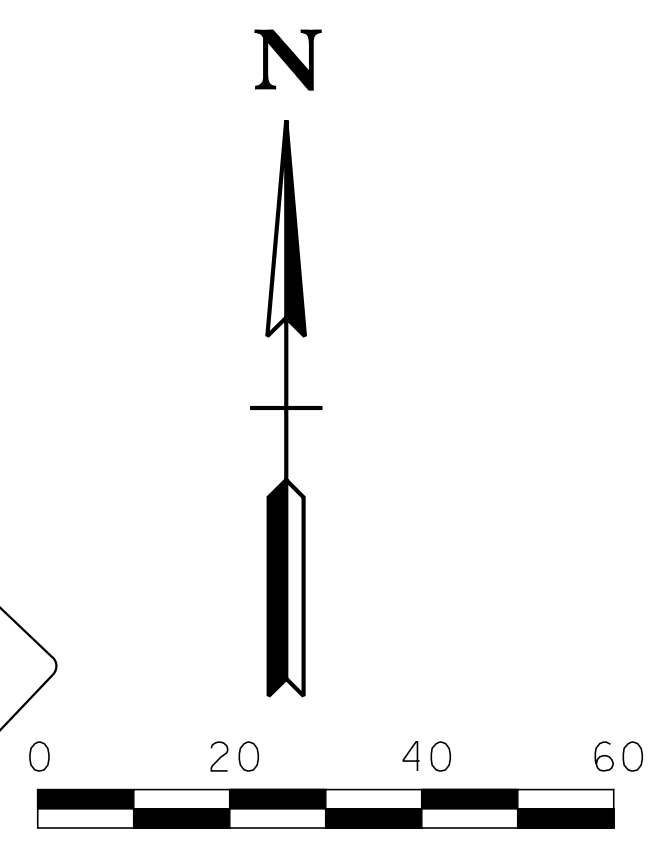
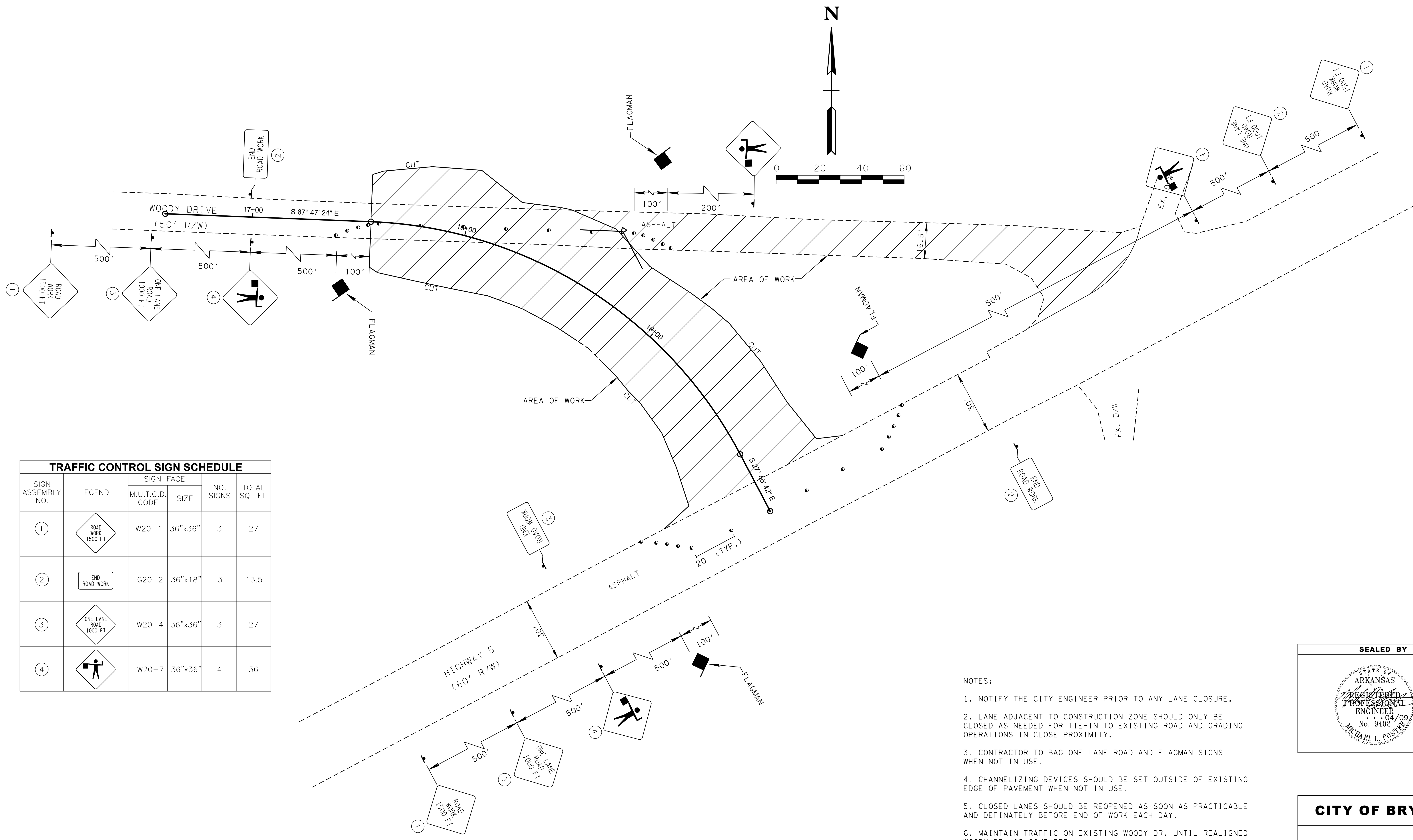
CITY OF BRYANT

PROPOSED PROFILE

STA. 17+55.50 TO STA. 19+84.29

SCALE: 1"= 20' HORIZ.
1"=5' VERT.

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		8



TRAFFIC CONTROL SIGN SCHEDULE					
SIGN ASSEMBLY NO.	LEGEND	SIGN FACE		NO. SIGNS	TOTAL SQ. FT.
		M.U.T.C.D. CODE	SIZE		
①		W20-1	36"x36"	3	27
②		G20-2	36"x18"	3	13.5
③		W20-4	36"x36"	3	27
④		W20-7	36"x36"	4	36

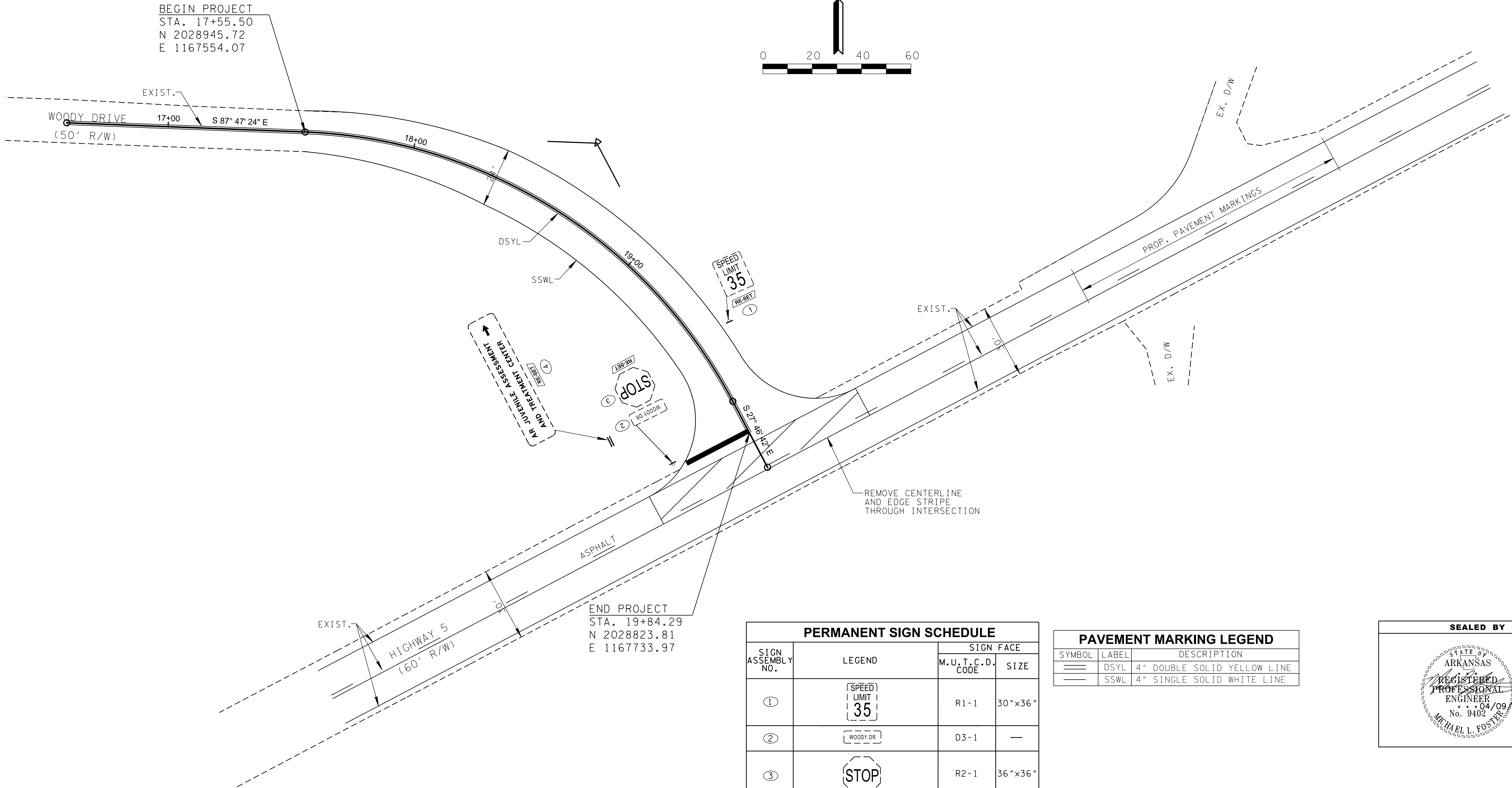
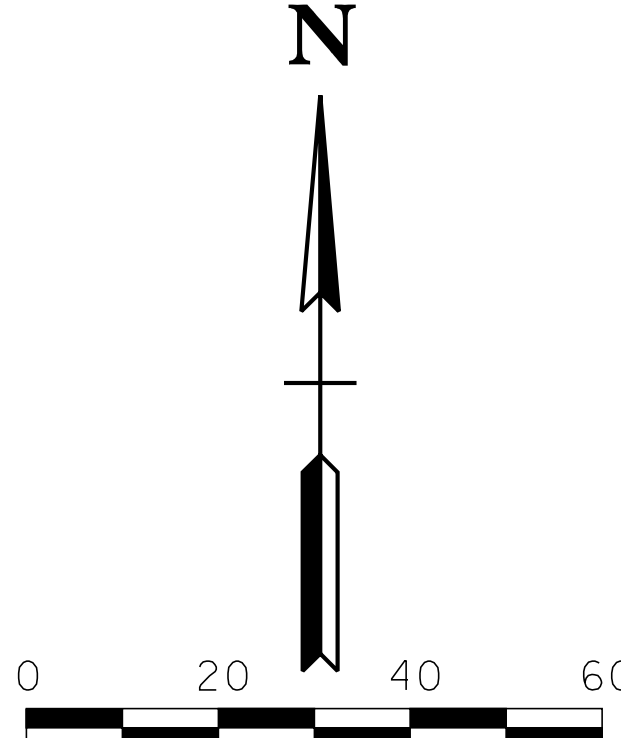
- NOTES:
1. NOTIFY THE CITY ENGINEER PRIOR TO ANY LANE CLOSURE.
 2. LANE ADJACENT TO CONSTRUCTION ZONE SHOULD ONLY BE CLOSED AS NEEDED FOR TIE-IN TO EXISTING ROAD AND GRADING OPERATIONS IN CLOSE PROXIMITY.
 3. CONTRACTOR TO BAG ONE LANE ROAD AND FLAGMAN SIGNS WHEN NOT IN USE.
 4. CHANNELIZING DEVICES SHOULD BE SET OUTSIDE OF EXISTING EDGE OF PAVEMENT WHEN NOT IN USE.
 5. CLOSED LANES SHOULD BE REOPENED AS SOON AS PRACTICABLE AND DEFINATELY BEFORE END OF WORK EACH DAY.
 6. MAINTAIN TRAFFIC ON EXISTING WOODY DR. UNTIL REALIGNED WOODY DR. IS COMPLETE.
 7. SHIFT TRAFFIC TO REALIGNED WOODY DR. TO COMPLETE BUSHING / OVERLAY AT BOP AND SCARIFYING OF WOODY DR. TO BE CLOSED.

SEALED BY

CITY OF BRYANT

TRAFFIC CONTROL PLAN

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		9



PERMANENT SIGN SCHEDULE			
SIGN ASSEMBLY NO.	LEGEND	SIGN FACE	
		M.U.T.C.D. CODE	SIZE
①		R1-1	30"x36"
②		D3-1	—
③		R2-1	36"x36"
④		—	—

PAVEMENT MARKING LEGEND		
SYMBOL	LABEL	DESCRIPTION
	DSYL	4" DOUBLE SOLID YELLOW LINE
	SSWL	4" SINGLE SOLID WHITE LINE

SIGNING LEGEND	
SYMBOL	DESCRIPTION
	EX. SIGN WITH ONE SUPPORT (1-SIDED)
	EX. SIGN WITH TWO SUPPORT (2-SIDED)
	EXIST. SIGN TO BE REMOVED & RE-SET

SEALED BY

CITY OF BRYANT

SIGNING AND PAVEMENT MARKING PLAN

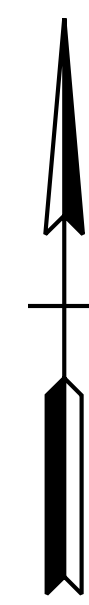
TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		10

POT 16+56.93

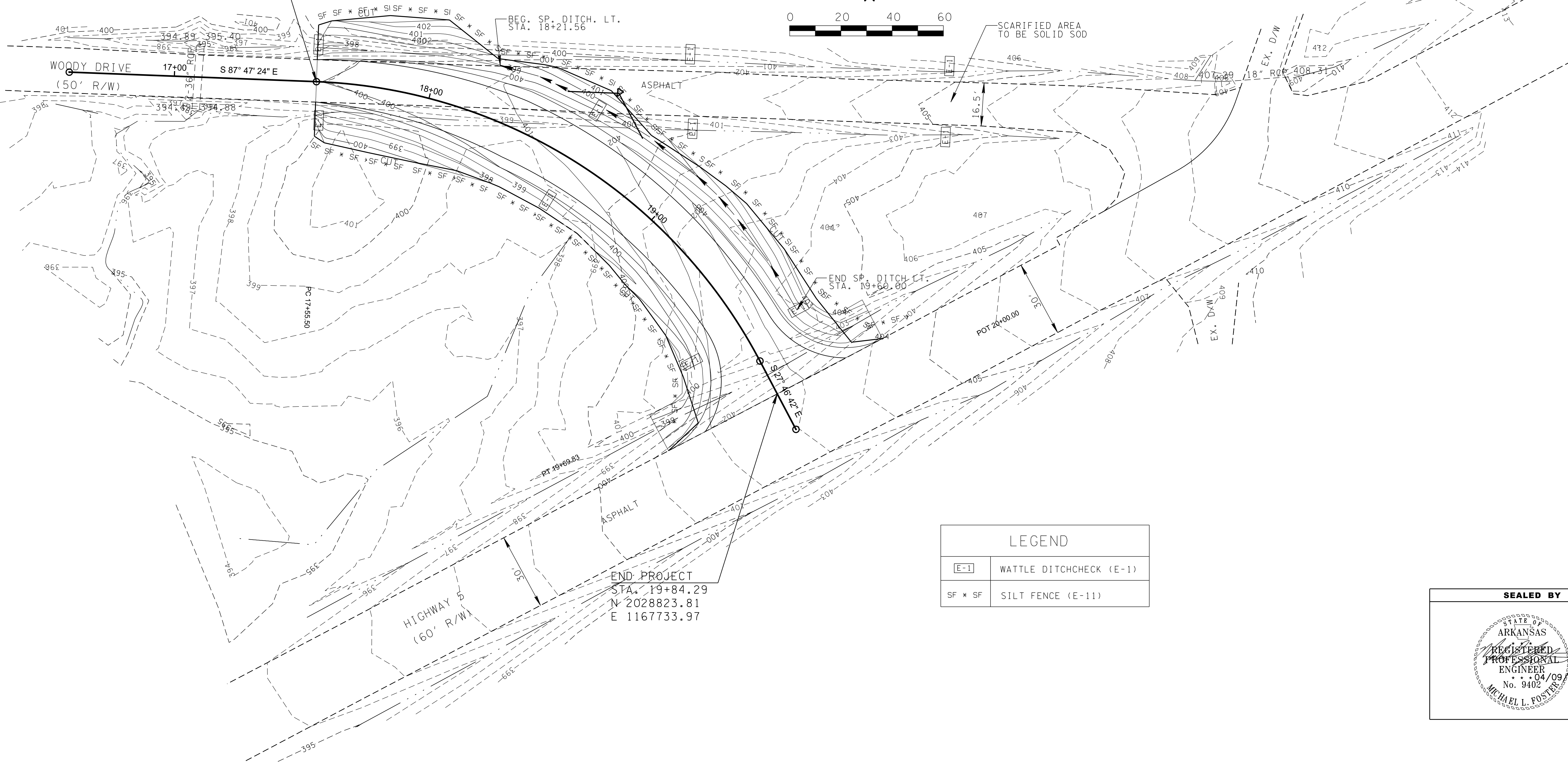
BEGIN PROJECT
STA. 17+55.50
N 2028945.72
E 1167554.07

CURVE WOODY-1
PI 18+73.67
N 2,028,941.1632
E 1,167,672.1536
Δ 60° 00' 43" (RT)
D 28° 00' 00"
R 204.63
L 214.33
T 118.17
SE 0.079 FT/FT
DESIGN SPEED 20 MPH
TRANS. LENGTH 160

N



SCARIFIED AREA
TO BE SOLID SOD



BEG. SP. DITCH. LT.
STA. 18+21.56

END SP. DITCH LT.
STA. 19+60.00

END PROJECT
STA. 19+84.29
N 2028823.81
E 1167733.97

LEGEND	
[E-1]	WATTLE DITCHCHECK (E-1)
SF * SF	SILT FENCE (E-11)

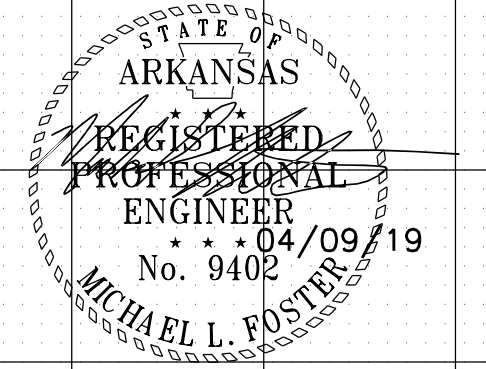
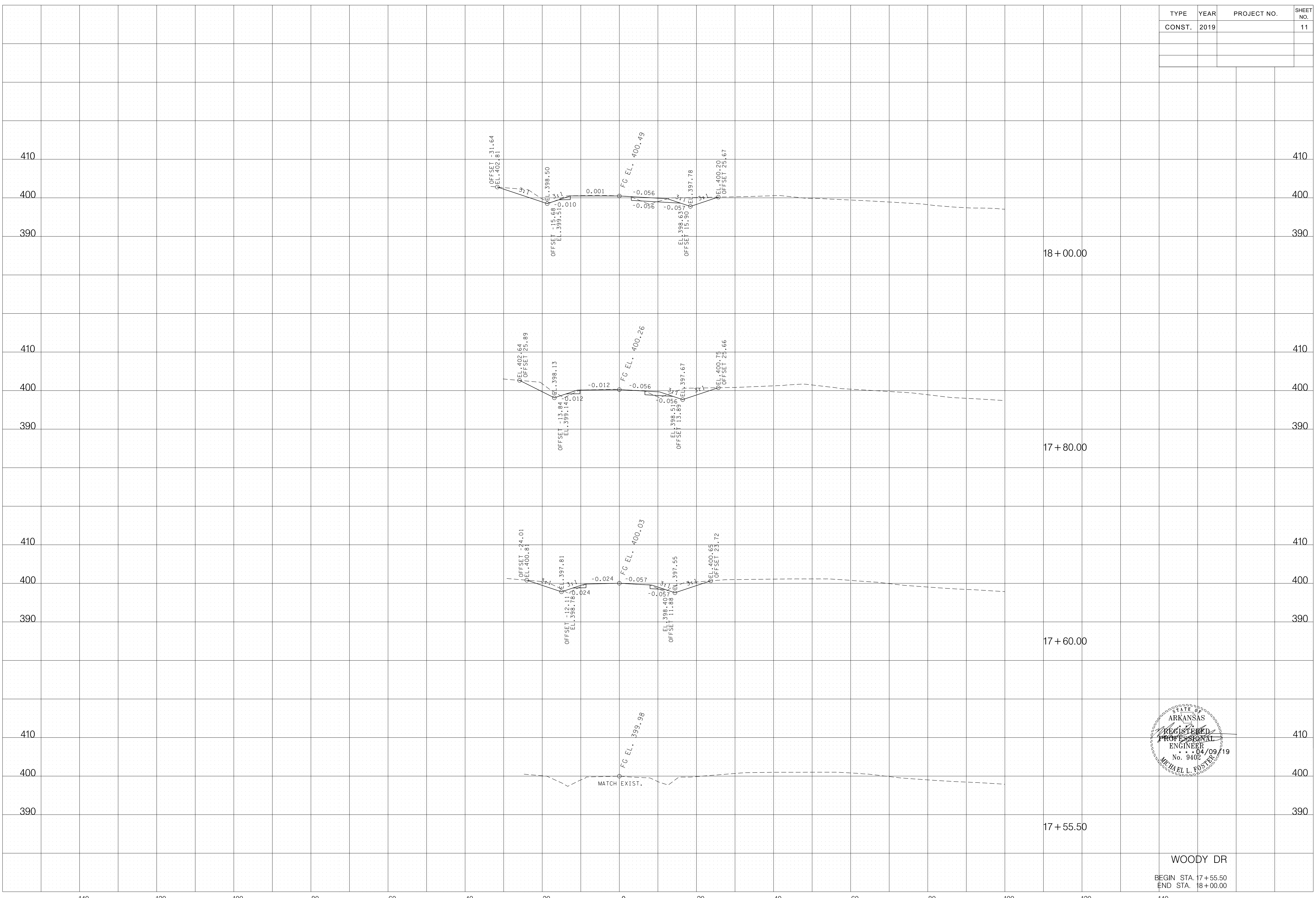
SEALED BY

CITY OF BRYANT

EROSION
PREVENTION &
SEDIMENT CONTROL
(EPSC) PLAN

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		11

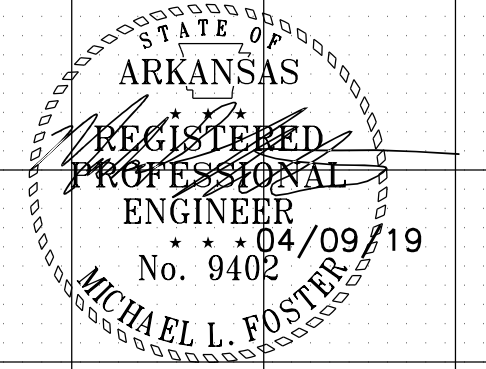
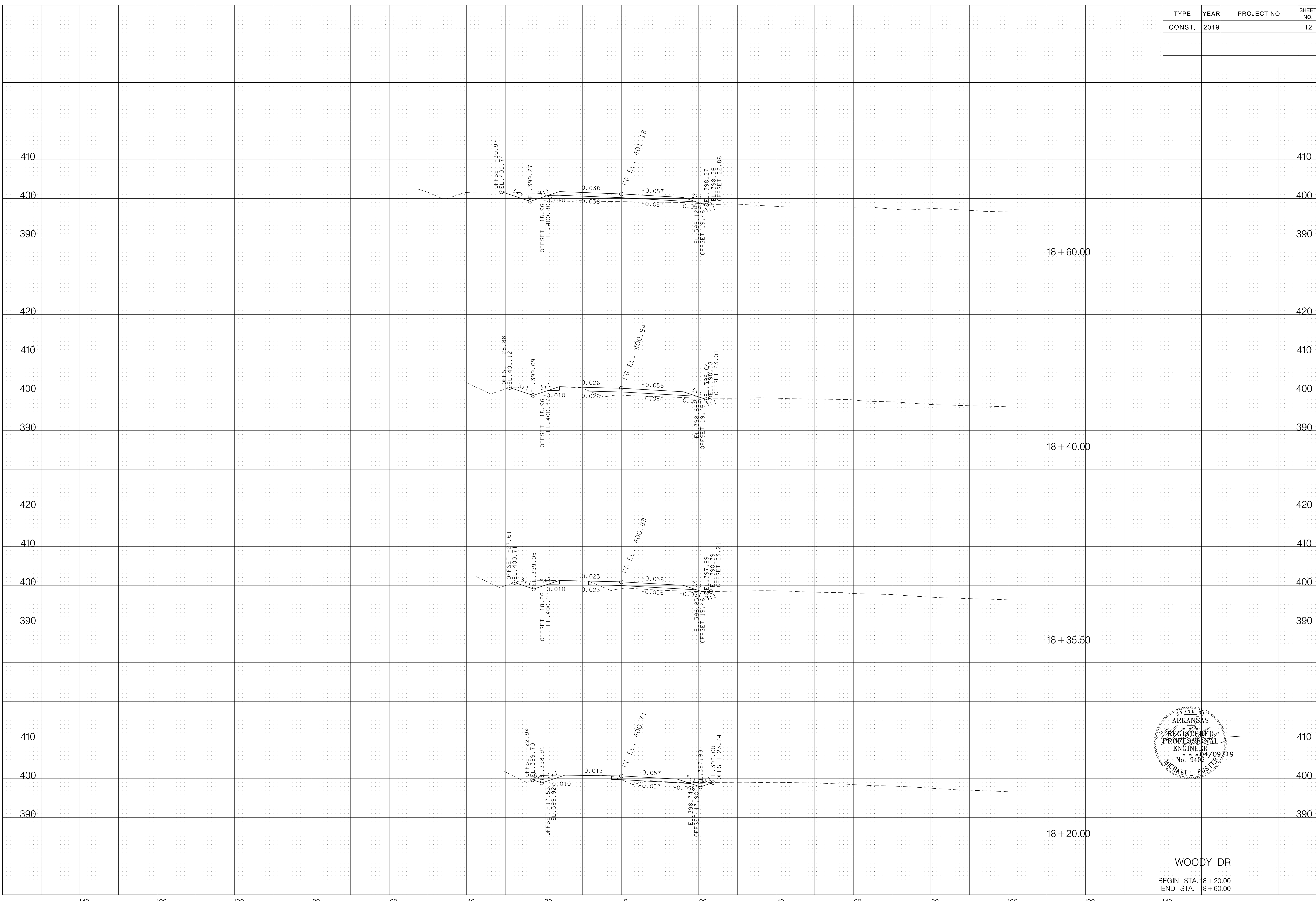
4/1/2019 9:51:08 AM
T:\25526.01\1011_WDMainlineXS.SHT



WOODY DR
BEGIN STA. 17+55.50
END STA. 18+00.00

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		12

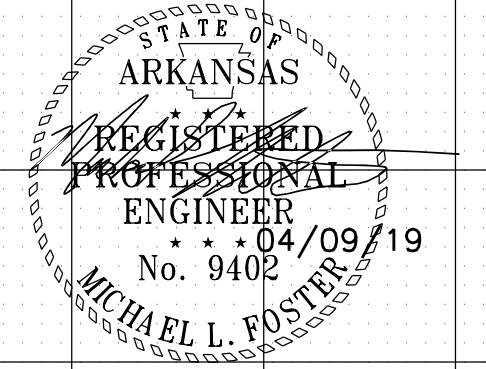
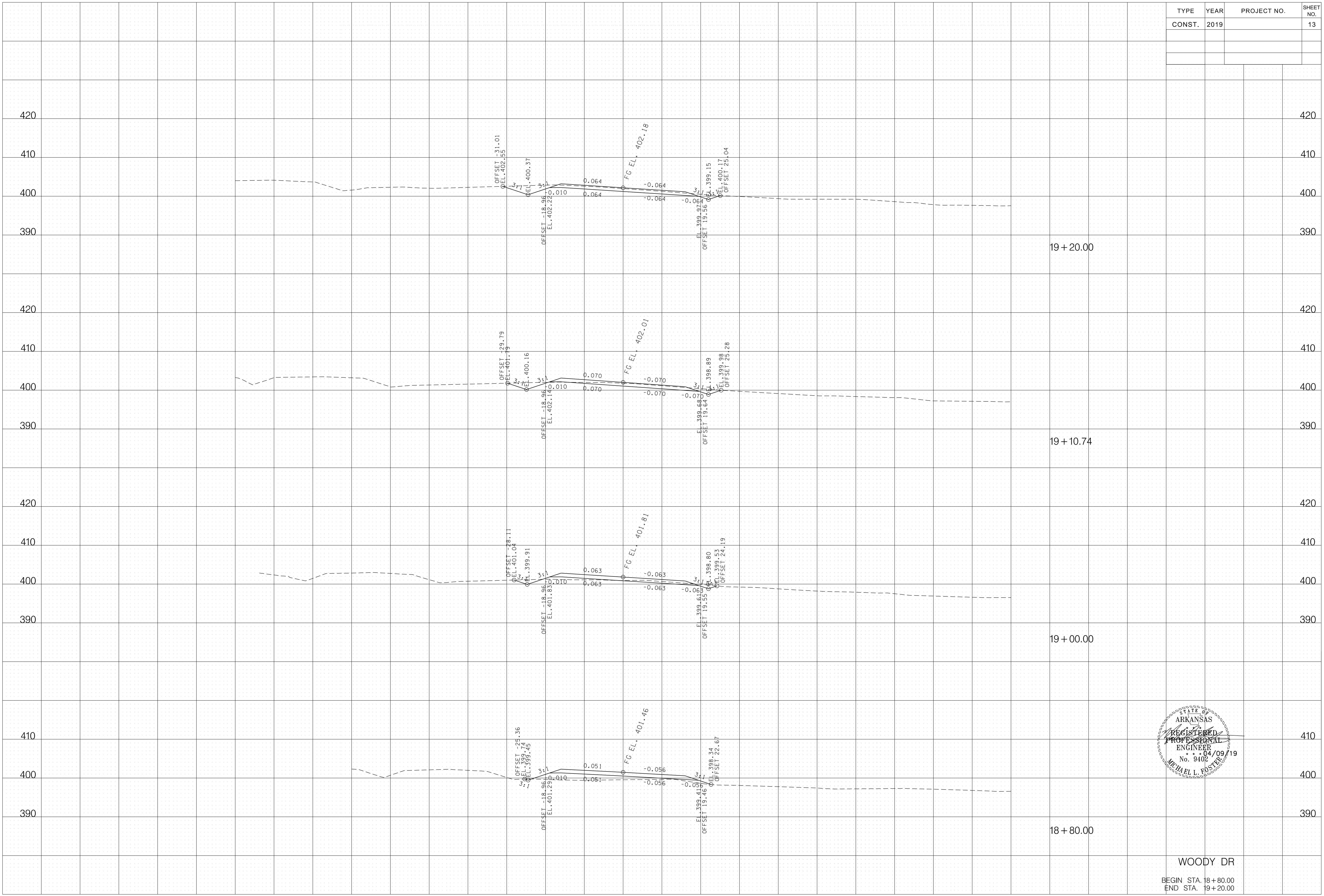
4/1/2019 9:51:09 AM
T:\25526.01\1011_WDMainlineXS.SHT



WOODY DR
BEGIN STA. 18+20.00
END STA. 18+60.00

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		13

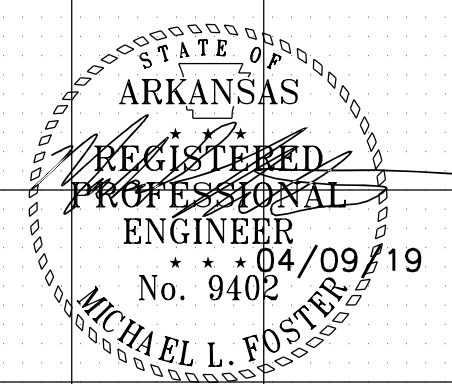
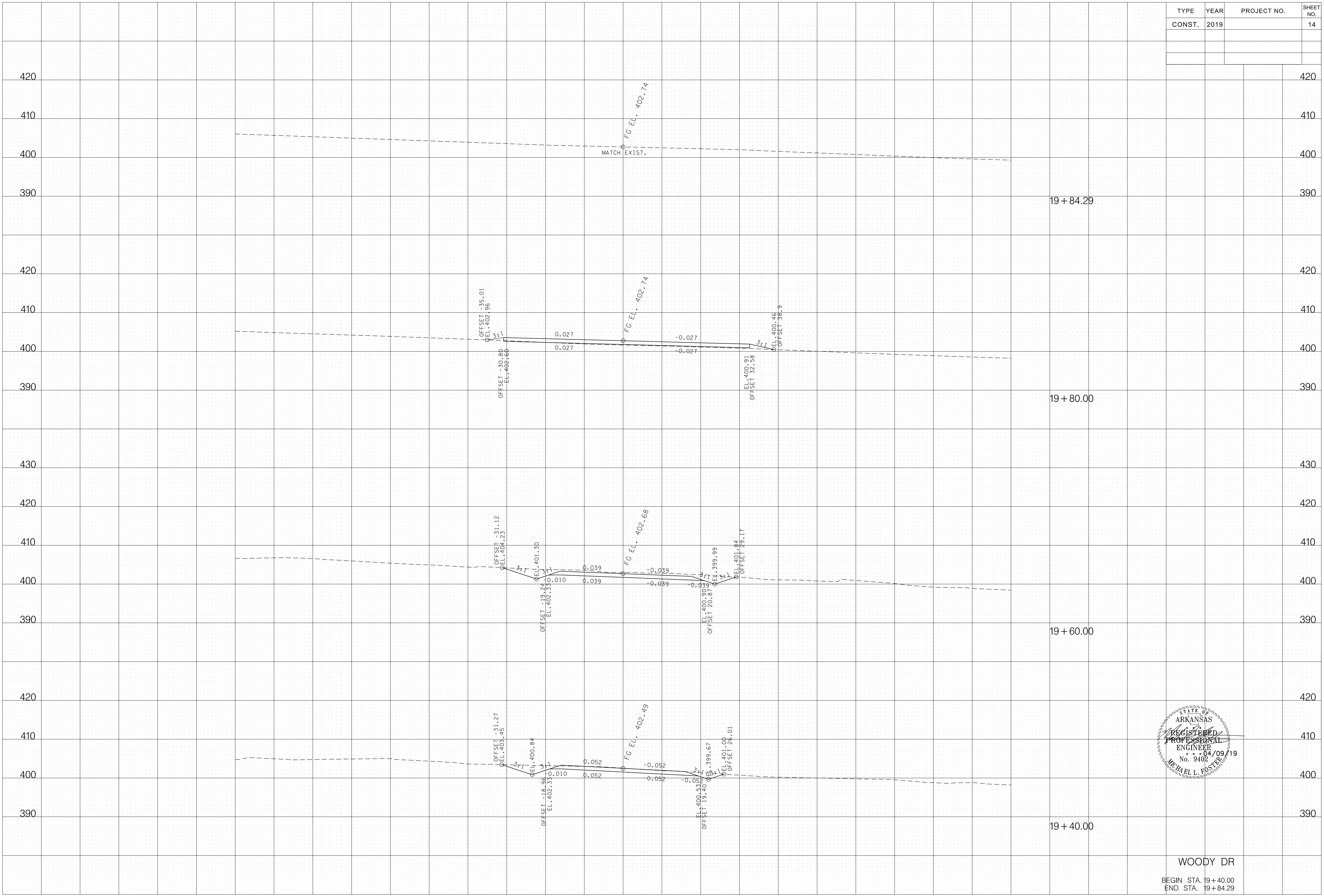
4/1/2019 9:51:11 AM
T:\25526.01\1011_WDMainlineXS.SHT



WOODY DR
BEGIN STA. 18+80.00
END STA. 19+20.00

TYPE	YEAR	PROJECT NO.	SHEET NO.
CONST.	2019		14

4/1/2019 9:51:10 AM
T:\25526.01\1011_WDMainlineXS.SHT



WOODY DR
BEGIN STA. 19+40.00
END STA. 19+84.29



Office of Chief Counsel
P.O. Box 1437, Slot S260
Little Rock, AR 72203-1437
P: 501.396.6168
F: 501.682.8009
TDD: 501.682.8933
HUMANSERVICES.ARKANSAS.GOV

April 9, 2020

Pickering Firm, Inc.
Attn: Greg Carrico
6775 Lenox Center
Memphis, TN 38115

Re: Woody Drive Access Approval

Dear Mr. Carrico,

The State Institutional Systems Board ("SIS Board") held a teleconference meeting on April 8, 2020. A quorum was reached and included on the agenda was the request for access to Woody Drive for the Landmark Lifestyles project in Alexander, Saline County, Arkansas. According to the state's lease, all improvements upon the land are owned by the Division of Youth Services ("DYS"), including any roads built. SIS Board approval for the requested access to Woody Drive was required.

A vote was held after discussion and board members' questions were answered. All present voted in favor of the proposed access to Woody Drive, none were opposed. The official meeting minutes are forthcoming to be included as an attachment to this letter.

Sincerely,

A handwritten signature in blue ink that reads "Sarah Cunningham".

Sarah Cunningham
Attorney for Division of Youth Services
Office of Chief Counsel

cc: Division of Youth Services Director, Michael Crump
City of Bryant, Mayor Allen Scott
State Institutional Systems Board Members



Office of Chief Counsel
P.O. Box 1437, Slot S260
Little Rock, AR 72203-1437
P: 501.396.6168
F: 501.682.8009
TDD: 501.682.8933
HUMANSERVICES.ARKANSAS.GOV

March 23, 2020

Arkansas Department of Transportation
Attn: Mark Headley
10324 Interstate 30
Little Rock, AR 72209

Re: Woody Drive Construction Approval

Dear Mr. Headley,

The State Institutional Systems Board ("SIS Board") held a teleconference meeting on March 13, 2020. A quorum was reached and the only issue on the agenda was the approval of the proposed construction changes to the intersection of Highway 5 and Woody Drive in Alexander, Saline County, Arkansas. According to the state's lease, all improvements upon the land are owned by the Division of Youth Services ("DYS"). SIS Board approval for the proposed changes to Woody Drive was required.

A vote was held after discussion and board members' questions were answered. All present voted in favor of the proposed construction changes to the said intersection, none were opposed. The official meeting minutes are forthcoming to be included as an attachment to this letter.

Sincerely,

A handwritten signature in blue ink that reads "Sarah Cunningham".

Sarah Cunningham
Attorney for Division of Youth Services
Office of Chief Counsel

cc: Division of Youth Services Director, Michael Crump
City of Bryant, Mayor Allen Scott
State Institutional Systems Board Members

P.O. Box 1437, Slot S260 * Little Rock, AR 72203-1437 * 501.396.6168

HUMANSERVICES.ARKANSAS.GOV



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9/27/21

Sign Co. or Sign Owner

Name Ace Sign Company
 Address 11935 I-30
 City, State, Zip Little Rock, AR 72209
 Phone 501-562-0800
 Email Address angela.houttekier@acecompany.com

Property Owner

Name Wingstop
 Address 5311 Hwy 5, Ste 200
 City, State, Zip Bryant, AR 72022
 Phone _____
 Email Address rsiegfried@integratedimage.com

GENERAL INFORMATION

Name of Business Wingstop
 Address/Location of sign 5311 Hwy 5, Ste 200, Bryant 72022
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Angela Houttekier, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall	2' x 13' 7 1/4"	27 sqft			
B	Other	18" x 12'	216 sqft			
C						
E						
F						
G						

SITE PLAN | AERIAL VIEW



- A Building Branding
- B Door Vinyl
- C Multi-tenant Sign

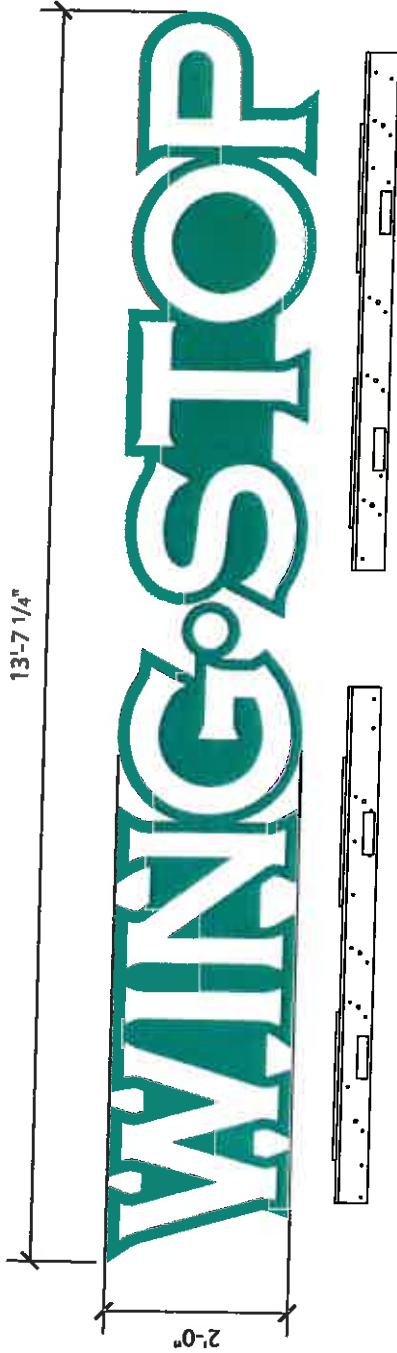
INTEGRATEDIMAGE
Integrated Image | integratedimage.com
Bldg. 300 S102 | 210A Progress Dr., Montgomeryville PA 18936

WINGSTOP

5311 AR-5 #200
Bryant, AR 72022
Prop.

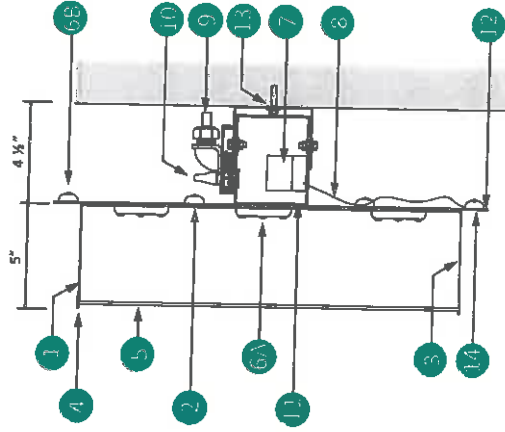
Colors and textures are for representational purposes only.
Copyright © Integrated Image 2021.
All rights reserved. No part of this drawing may be reproduced
without Integrated Image's express written consent.

QTY (1) ONE | A1



2 SEPARATE RACEWAYS (1 FOR "WING"- 1 FOR "STOP")
 *NOTE: RACEWAYS NOT TO BE VISIBLE FROM FRONT OF SIGN

27.25 SQ FT



A1 Provide and install Qty 1 24" h Channel Letter Set w/Halo Lit Backer, mounted on raceway, 27.25 SQ FT

*Existing signage and patching/painting sign bad area provided by others, unless otherwise specified.
 Final dimensions TBD pending technical survey.

Specifications

1. 5" .040 Prefinished metallic outside & white inside
2. .063 Prefinished white/white interior
3. Weep holes
4. 1" Jewelite-Metallic Silver
5. 3/16" White acrylic 7328
- 6A. Principal PL-QM3-TW200-P True White attached w/silicone/caulk approved for outdoor application
- 6B. Principal PL-QM3-GR129-P Green Halo, attached w/silicone/caulk approved for outdoor application
7. 60W Power Supply PRIPL-60-12-U
8. LED Power supply enclosure box w/cover & switch
9. Flexible conduit through wall
10. On/Off switch
11. .090 Fabricated 4 1/2" X 4 1/2" Raceway painted to match structure
12. .090 Aluminum contour cut background painted AKZO Nobel Pantone 355 Satin Green
13. 3/8" All thread w/nuts & washers for 2 1/2" Standoffs
14. 3M opaque vinyl #010 white on contour bottom.

NOTE: Final dimensions TBD with technical survey and formal code check

Colors and textures are for representational purposes only. Copyright © Integrated Image 2022. All rights reserved. No part of this drawing may be reproduced without the prior written consent of Integrated Image.

EXISTING



PROPOSED



- A1 Provide and install Qty (1) ONE Raceway mount 24" H letterset. Removal/patch paint by others unless otherwise specified

NOTE: Final dimensions TBD with technical survey and formal code check

MULTI-TENANT SIGN | OVERVIEW

C1

EXISTING



PROPOSED



C1 Qty (2) TWO approx. 18" x 12' Flat Faces

NOTE: Final dimensions TBD with technical survey and formal code check

Colors and Materials are for representational purposes only. Copyright © Integrated Image, Inc. All Rights Reserved. No part of this drawing may be reproduced without Integrated Image's express consent.

MULTI-TENANT SIGN | DETAIL

QTY (1) ONE | C1

C1 QTY (2) TWO approx. 18" x 12' Flat Faces



NOTE: Final dimensions TBD
with technical survey and
formal code check

Other third party trademarks are for representational purposes only.
Copyright © 2022 Integrated Image, Inc. All rights reserved. No part of this drawing may be reproduced
without Integrated Image's express consent.



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
 The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 10/02/2021

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name BRYANT FAMILY CHIROPRACTIC
 Address 3405 MARKETPLACE DR
 City, State, Zip BRYANT AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business BRYANT FAMILY CHIROPRACTIC
 Address/Location of sign 3405 MARKETPLACE DR
BRYANT AR 72022
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL SIGN	30.5" X 126.5"	26.5SF	14.5	12	
B						
C						
E						
F						
G						

AR 8525 DISTRIBUTION DR.
LITTLE ROCK, AR 72209
AR KANSAS 501-562-3942 P
SIGN & NEON 501-562-6651 F

ALL IDEAS, DESIGN AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING (EXCEPT FOR REGISTERED TRADEMARKS) ARE OWNED BY AND ARE THE PROPERTY OF AR KANSAS SIGN & NEON. WRITTEN AUTHORIZATION IS OTHERWISE GIVEN.
CUSTOMER IS RESPONSIBLE TO OBTAIN ALL NECESSARY APPROVALS IF APPLICABLE.
DESIGNER HAS MANY YEARS OF WORK. TYPICAL DELIVERY TIME FROM ACCEPTANCE AND PERMITTING ARE 4-8 WEEKS. OUR GOALS IS TO DELIVER IN A TIMELY MANNER HAVING UNFORSEEN CIRCUMSTANCES.

REPRESENTATIVE: KEVIN HONEA

DATE/DWG: 08/27/2021 - DWG1

DESIGNER: LORA RAND

CLIENT: BRYANT FAMILY CHIROPRACTIC
LOCATION: 3405 MARKET PL. AVE, BRYANT AR

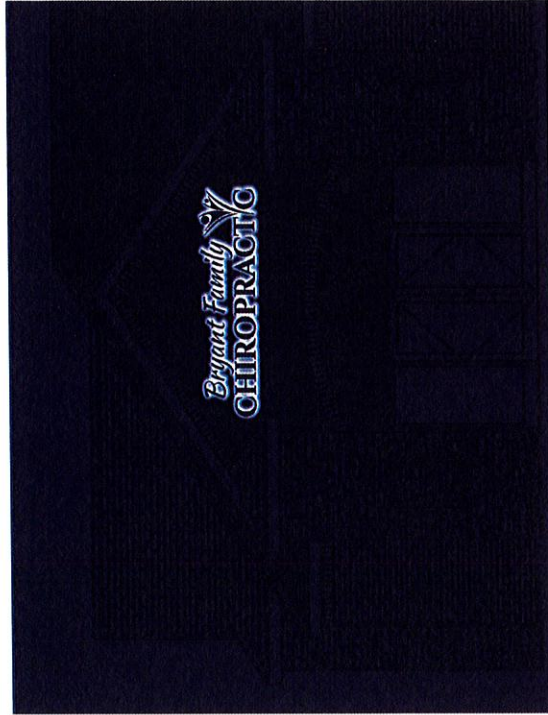
SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

HALO ILLUMINATED OPTION

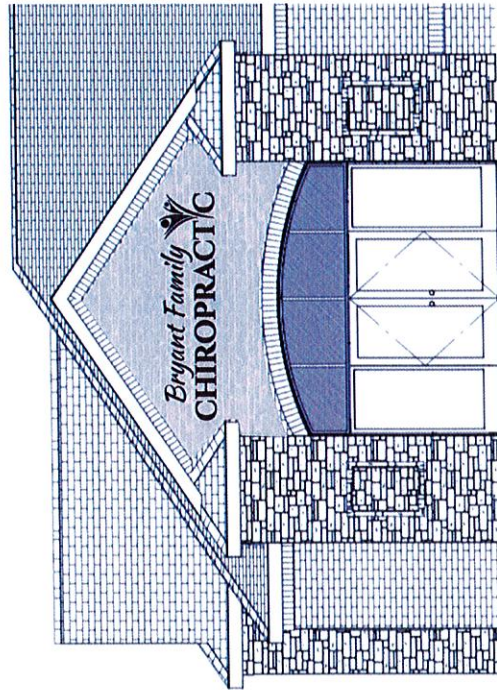


SPECS:
(1) SET OF HALO ILLUMINATED REVERSE CHANNEL LETTERS. WHITE L.E.D. HALO ILLUMINATION ALUMINUM/WELDED FABRICATION LETTERS PAINTED DURANODIC BRONZE

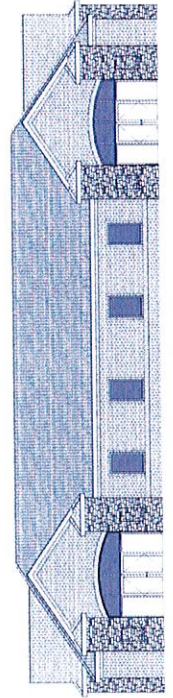
PROPOSED NIGHT VIEW



PROPOSED DAY VIEW



FRONT ELEVATION
SCALE 3/16" = 1"



City of Bryant, Arkansas
Code Enforcement, Permits and Inspections
 312 Roya Lane
 Bryant, Ar 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the sign ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com

Site plan showing placement of sign and any existing signs on the property. A rendering of sign showing correct dimensions of all signs are required with application. Additional documentation may be required by Sign Administrator.

Date: 9-22-21

Note: Electrical permits may be Required, Please contact the Permits Office at 501-943-0943 for more information.

SIGN CO. OR SIGN OWNER
 Name Action Sign + More
 Address 2700 John Harda Dr.
 City, State, Zip Jacksonville, AR 72074
 Phone 501-457-7391
 Alternate Phone _____

PROPERTY OWNER
 Name Anytime Fitness
 Address 105 Progress Way
 City, State, Zip Bryant AR
 Phone _____
 Alternate Phone _____

GENERAL DETAILS
 Name of Business Anytime Fitness
 Address/Location of sign 105 Progress Way
 Sign dimensions (height, length, width) 4x16

SIGN TYPE
 Pole Monument
 Wall
 Other (type) _____
 Total sq. ft. 64

Zoning Classification _____ Aggregate Surface Area (total all signs) 2000^{sq} Front 1000^{sq} side
 Height of sign from lot surface: Bottom _____ Top _____

READ CAREFULLY BEFORE SIGNING

I, Tim Wade, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand that no sign may be placed in any public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Tim Wade
 Applicant's Signature _____ Date 9/22/21

 Sign Administrator (or Designee) Approval _____ Date _____

Folder Name
K:\Art Department\2021\Anytime Fitness

Designer
Ann

File Name
Anytime Fitness.fs

Job Number
27243

QTY: Relocating signage to new location



Description
QTY: In File

ARTWORK IS PROPERTY OF ACTION SIGN & NEON AND SHALL NOT BE DUPLICATED OR COPIED IN ANY MANNER.

ACTION
SIGN & NEON, INC.

P. O. Box 188
Jacksonville, AR 72076
2700 John Harden Dr.
Jacksonville, AR 72076

Ph 501-457-7391
Ph/Text 501-712-0012
Fax 501-457-7393

ARTWORK APPROVAL **MUST** BE MADE IN WRITING.
THIS CAN BE DONE BY A SIMPLE EMAIL, TEXT, OR FAX
WITH THE APPROVED ARTWORK ATTACHED.
PRODUCTION WILL NOT START OTHERWISE.

Customer
Anytime Fitness

Name
Lynn Johnson

Design
Time

Design Time Pricing
Design time is at a rate of \$60 per hour, in 15
minute increments. Your first 15 minutes is
FREE.

Phone
903.276.4992

Email
lynn.johnson@anytimefitness.com

Date
9/22/2021

Minutes

COLORS SHOWN ARE FOR REFERENCE ONLY. COLORS MAY VARY.