



Bryant Planning Commission Meeting

Monday, June 14, 2021

6:00 PM

Agenda

CALL TO ORDER

APPROVAL OF MINUTES

1. Board of Zoning and Adjustment 8/10/2020 Meeting Minutes

PUBLIC HEARING

1. Springhill Storage Center - 2601 Arey Drive - *Ward 2*
2. Whistling Pines Subdivision - Lot Variances - *Ward 2*

ADJOURNMENT

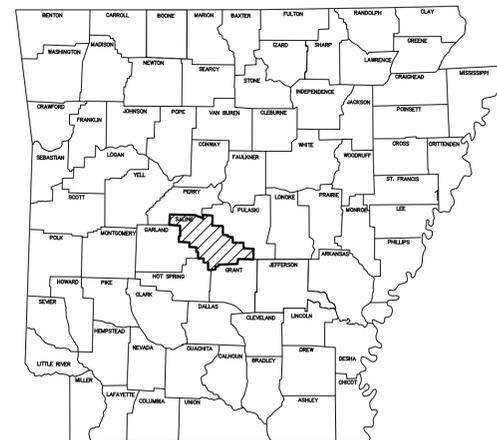
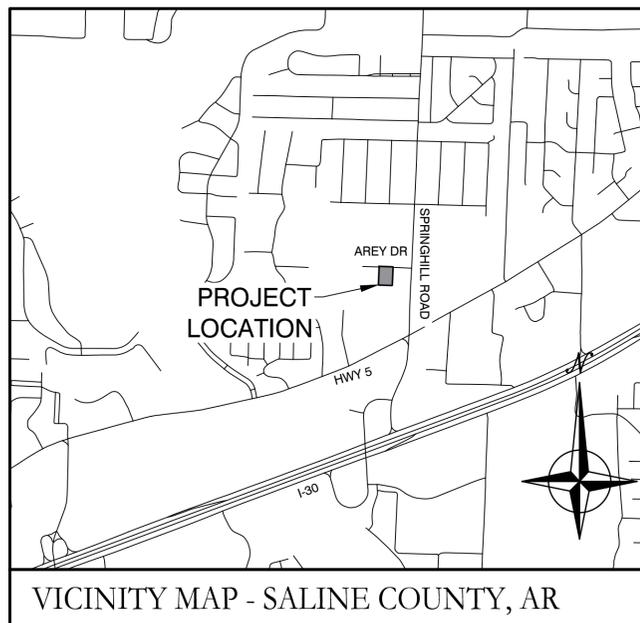
Springhill Storage Center 2601 Arey Road Bryant, AR 72019

Prepared by:
GarNat Engineering, LLC

Designing our client's success
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ARKANSAS



DRAWING INDEX:

GNE DRAWINGS:

G1.0	GENERAL NOTES
006-21	SURVEY BY KERRY D. LANE P.S.
D1.0	EXISTING & DEMO PLAN
C1.0	SITE PLAN
C1.1	SITE DETAILS
C1.2	FENCE DETAILS
C2.0	UTILITY PLAN
C3.0	GRADING AND DRAINING
C4.0	EROSION CONTROL
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE NOTES

ARDOT DETAILS:

55001	STANDARD DETAILS FOR DUMPED RIP RAP AND FILTER BLANKET AND COMPUTING EXCAVATION FOR STRUCTURES
CDP-1	CONCRETE DITCH PAVING
CG-1	CURBING DETAILS
FES-1	FLARED END SECTION
FES-2	FLARED END SECION
PCC-1	CONCRETE PIPE CULVERT FILL HEIGHTS & BEDDING
TEC-1	TEMPORARY EROSION CONTROL DEVICES
TEC-4	TEMPORARY EROSION CONTROL DEVICES

A	B	C	D	E	F
1. SAFETY		7.3. AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SCARIFIED TO MINIMUM DEPTH OF 0'-8" AND COMPACTED TO MINIMUM OF 95% OPTIMUM DENSITY. ANY AREAS THAT FAIL COMPACTION ARE TO BE STABILIZED AS DIRECTED BY THE ENGINEER.		12.4. IF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE CONSTRUCTION PHASE OF THIS PROJECT, THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS FOR EROSION CONTROL INCLUDED IN THE SWPPP DOCUMENTS.	
1.1. JOBSITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR.				12.5. CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF ACCUMULATED TRASH AND DEBRIS. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING MEASURES TO AVOID TRACKING OF MUD, DIRT, ROCKS, AND DEBRIS ONTO AREAS OUTSIDE THE PROJECT AREA. CONTRACTOR SHALL CLEAN PAVEMENTS WHEN NECESSARY OR AS OTHERWISE DIRECTED, AND SHALL CONTROL DUST BY SWEEPING AND WATERING AS NEEDED. DE-TRACKING MAY BE REQUIRED AT ALL ENTRANCES.	
1.2. THIS RESPONSIBILITY COVERS THEIR OWN WORK FORCE, ALL SUBCONTRACTORS, VISITING PERSONNEL, OFFICIALS, AND THE GENERAL PUBLIC WHICH MAY HAVE ACCESS TO THE JOBSITE.		8. PRIOR TO PLACING FILL IN LOW AREAS, SUCH AS PREVIOUSLY EXISTING CREEKS, PONDS, OR LAKES, PERFORM FOLLOWING PROCEDURES:			
1.3. THE CONTRACTOR SHALL EXERCISE COMPLETE CONTROL OVER WHO HAS ACCESS TO THE JOBSITE TO ENSURE JOBSITE SAFETY.		8.1. DRAIN WATER OUT BY GRAVITY WITH DITCH HAVING FLOW LINE LOWER THAN LOWEST ELEVATION IN LOW AREA. IF DRAINAGE CANNOT BE PERFORMED BY GRAVITY DITCH, USE ADEQUATE PUMP TO OBTAIN THE SAME RESULTS.		13. FINAL SITE CONDITIONS	
1.4. THE CONTRACTOR SHALL CONFORM TO ALL SECURITY AND SAFETY REQUIREMENTS OF THE OWNER.		8.2. AFTER DRAINAGE OF LOW AREA IS COMPLETE, REMOVE MULCH, MUD DEBRIS, AND OTHER UNSUITABLE MATERIAL BY USING ACCEPTABLE EQUIPMENT AND METHODS THAT WILL KEEP NATURAL SOILS UNDERLYING LOW AREA DRY AND UNDISTURBED.		13.1. ALL DISTURBED AREAS NOT RECEIVING PAVEMENT OR LANDSCAPING SHALL HAVE VEGETATION ESTABLISHED AT TIME OF FINAL INSPECTION.	
1.5. ANY SAFETY OR OTHER TRAINING REQUIRED BY THE OWNER FOR THE WORK FORCE MUST BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.		9. UTILITIES		13.2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPE 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.	
2. PERMITS		9.1. AN ATTEMPT HAS BEEN MADE TO APPROXIMATELY LOCATE UTILITIES ON THE DRAWINGS.		13.3. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.	
2.1. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AS REQUIRED BY REGULATING AUTHORITIES OR BY THE OWNER. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE TERMS AND CONDITIONS ASSOCIATED WITH EACH REQUIRED PERMIT, AS WELL AS ADHERING TO THE RULES AND REGULATIONS OF EACH REGULATING AUTHORITY		9.2. UTILITIES SHOWN ON THE DRAWINGS WERE LOCATED BY VISUAL OBSERVATION, AND BY TRANSCRIBING FROM RECORD MAPS AND PLANS.		13.4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS	
3. CONTRACT DOCUMENTS		9.3. NO EXCAVATIONS WERE MADE TO CONFIRM SUB-SURFACE UTILITIES. NEITHER THE SURVEYOR NOR PROJECT ENGINEER GUARANTEES THAT ALL UTILITIES HAVE BEEN SHOWN, OR THAT THOSE SHOWN ARE FULLY ACCURATE.		13.5. UPON PARTIAL OR FINAL COMPLETION OF GRADING WORK, SPREAD TOPSOIL, SEED, FERTILIZER, AND MULCH IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE STORM WATER POLLUTION PREVENTION PLAN.	
3.1. ALL WORK SHALL CONFORM TO THE PLANS, THESE NOTES, AND SPECIFICATIONS IN ALL RESPECTS AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.		9.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS AND/OR RELOCATION OF EXISTING UTILITIES THAT ARE DAMAGED AS A RESULT OF WORK OF THIS PROJECT.			
4. INDEMNITY		9.5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROPERLY DISCONNECTING, ABANDONING, RELOCATING, AND/OR ADJUSTING ALL AFFECTED UTILITIES WITHIN THE PROJECT AREA.			
4.1. BY ACCEPTING THE CONTRACT FOR THIS WORK, THE CONTRACTOR, AT THEIR OWN EXPENSE AND RISK, HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER, GARNAT ENGINEERING, THEIR OFFICERS, AGENTS, EMPLOYEES, CONSULTANTS, AND REPRESENTATIVES FOR DAMAGE TO THE PROPERTY OR INJURY TO, OR DEATH, OF ANY PERSONS, FROM ANY AND ALL CLAIMS, DEMANDS, ACTIONS OF ANY KIND WHATSOEVER ARISING OUT OF AND IN CONNECTION WITH THE AGREEMENT OR PROSECUTION OF WORK UNDER IT, WHETHER SUCH CLAIMS, DEMANDS, ACTIONS, OR LIABILITY ARE CAUSED BY THE CONTRACTOR, ITS AGENTS, EMPLOYEES, SUBCONTRACTORS, PRODUCTS INSTALLED ON THE PROJECT OR CAUSED BY ANY OTHER PARTY.		9.6. ALL UTILITY WORK SHALL BE COORDINATED AND EXECUTED IN ACCORDANCE WITH THE OWNER AND/OR GOVERNING UTILITY COMPANY CODES, SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.			
5. CONSTRUCTION PROCEDURES, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS UNLESS OTHERWISE MODIFIED ON THE DRAWINGS OR IN THESE NOTES OR SPECIFICATIONS.		9.7. DESIGN AND ALIGNMENT OF UNDERGROUND TELEPHONE, TV CABLE, GAS AND ELECTRIC SERVICES SHALL BE PROVIDED BY THE INDIVIDUAL UTILITIES AND ARE NOT NECESSARILY SHOWN WITH THESE PLANS. CONTRACTOR SHALL PROVIDE CONDUITS SIZED TO ACCOMMODATE UTILITY ROUTING WITH PULL STRINGS WHERE NECESSARY.			
5.1. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION - ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT		9.8. CONTRACTOR TO PROVIDE ALL NECESSARY APPURTENANCES NECESSARY FOR COMPLETE UTILITY SERVICES WHICH ARE NOT PROVIDED BY THE UTILITY COMPANY.			
5.2. INTERNATIONAL BUILDING CODE		10. DISPOSAL OF DEBRIS, WASTE OR SPOIL			
5.3. ACI 315 MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES		10.1. BURNING OF DEBRIS AND WASTE IS NOT ALLOWED. CONTRACTOR MAY BE REQUIRED TO PROPERLY HAUL AWAY AND DISPOSE OF ANY WASTE MATERIAL REMOVED FROM THE SITE.			
5.4. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING STEEL.		10.2. ANY WASTE OR SPOIL MATERIAL WHICH IS EXCAVATED FROM THE JOB SITE IS TO BE DISPOSED OF AS DIRECTED BY THE ENGINEER OR OWNER.			
6. SITE		10.3. REMOVAL AND DISPOSAL OF EXCAVATED WASTE MATERIAL IS CONSIDERED SUBSIDIARY TO ALL OTHER ITEMS IN THE PROJECT, AND WILL NOT BE PAID FOR SEPARATELY.			
6.1. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.		10.4. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIAL REMOVED FROM THIS SITE.			
6.2. CONTRACTOR IS NOT TO PERFORM WORK BEYOND THE DESIGNATED WORK LIMITS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNER.		10.5. CONTRACTOR SHALL REMOVE FROM SITE AND DISPOSE OF MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN OPINION OF THE ENGINEER, IS UNSUITABLE OR UNDESIRABLE FOR BACKFILLING OR SUBGRADE PURPOSES. DISPOSE OF IN A MANNER SATISFACTORY TO ENGINEER. BACKFILL UNDERCUT AREAS WITH LAYERS OF SUITABLE MATERIAL AND COMPACT AS SPECIFIED HEREIN.			
6.3. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.		11. SUBSTITUTIONS			
6.4. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL ITEMS, SHOWN TO BE REMOVED OR RELOCATED AND NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE REQUIRED TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.		11.1. SUBSTITUTIONS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT ENGINEER.			
6.5. CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED MANHOLES, VALVE BOXES, ETC. TO FINISH GRADE, WHERE REQUIRED.		12. ENVIRONMENTAL			
7. STRUCTURES		12.1. THE CONTRACTOR IS TO MEET ALL ENVIRONMENTAL REQUIREMENTS OF THE OWNER AND ANY REGULATORY AGENCY HAVING AUTHORITY OVER THIS SITE.			
7.1. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT IN TO INVERT OUT.		12.2. THE CONTRACTOR IS TO UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) FOR CONTROL OF EROSION DURING ALL CONSTRUCTION PHASES OF THIS PROJECT.			
7.2. BEDDING FOR STORM STRUCTURES SHALL CONSIST OF A MINIMUM OF 6-INCHES OF COMPACTED #57 STONE ON TOP OF COMPACTED SUBGRADE.		12.3. MINIMUM BMP'S REQUIRED FOR THE PROJECT ARE LISTED ON SHEET THESE PLANS. CONTRACTOR SHALL PROVIDE THESE BMP'S AND ANY OTHERS REQUIRED FOR THE PROJECT.			

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PROJECT NAME
PROJECT NAME
SALINE COUNTY, AR

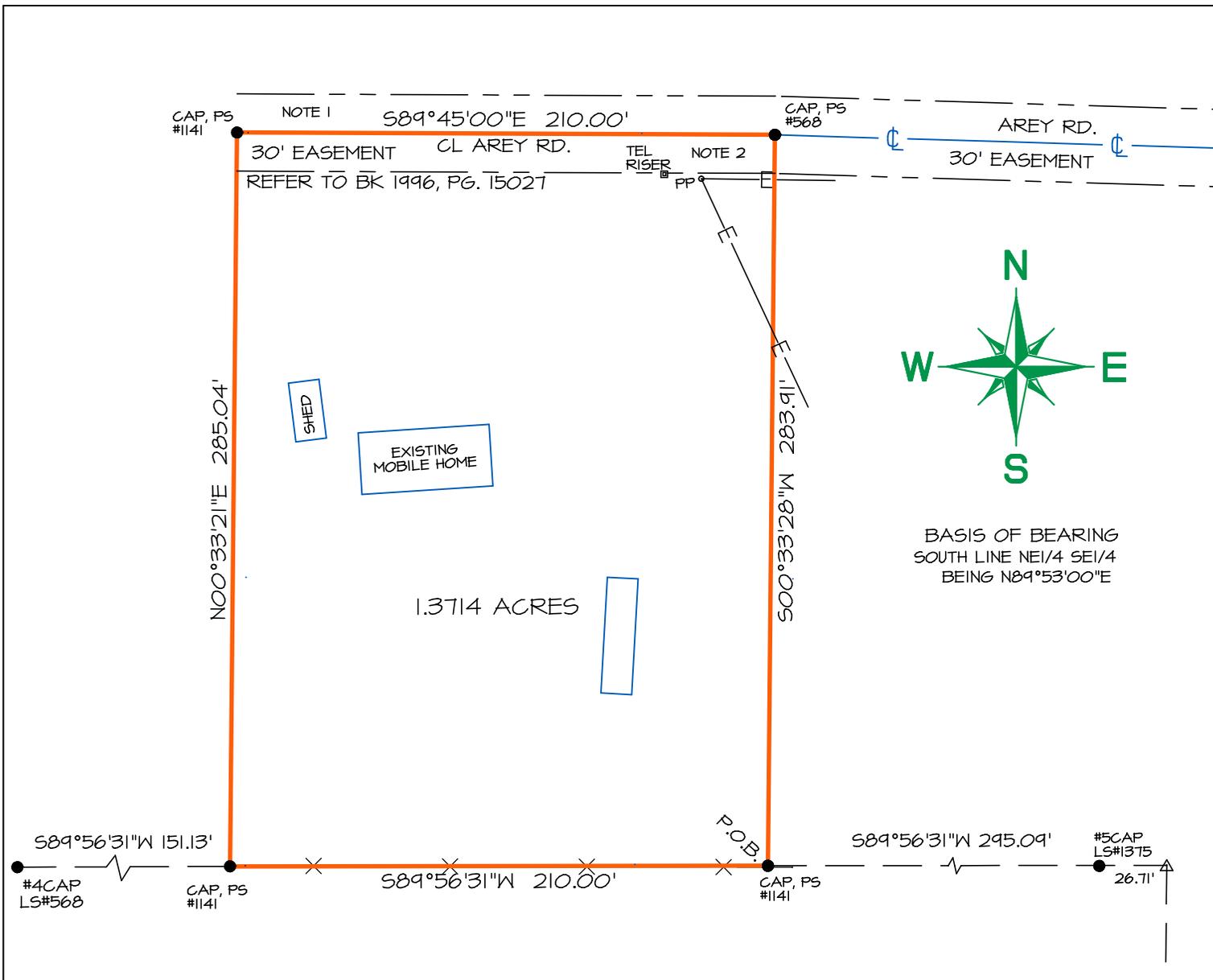


CONTENTS:
GENERAL NOTES

PROJECT NO:
21036

DATE:
MAY 2021

SHEET NO:
G1.0



RECORD DESCRIPTION.
 THAT PORTION OF THE NORTHEAST QUARTER OF SOUTHEAST QUARTER, SECTION 20, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID NE1/4 OF SE1/4, THENCE NORTH 00°33'28" EAST, A DISTANCE OF 208.70 FEET; THENCE SOUTH 89°56'31" WEST, A DISTANCE OF 295.09 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°56'31" WEST, A DISTANCE OF 210.00 FEET; THENCE NORTH 00°33'21" EAST, A DISTANCE OF 285.04 FEET TO THE CENTERLINE OF AREY ROAD; THENCE SOUTH 89°45'00" EAST, ALONG SAID CENTERLINE A DISTANCE OF 210.00 FEET; THENCE SOUTH 00°33'28" WEST, A DISTANCE OF 283.91 FEET TO THE POINT OF BEGINNING. CONTAINING 1.3714 ACRES, MORE OR LESS.

UNLESS SPECIFICALLY STATED OR SHOWN, THIS BOUNDARY SURVEY IS MADE SUBJECT TO AND DOES NOT DELINEATE: BUILDING SETBACK LINES, ZONING REGULATIONS, RESTRICTIONS, OR OTHER ITEMS WHICH MAY AFFECT DEVELOPMENT. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, OR THE EXISTANCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES, UNLESS SPECIFICALLY SHOWN, WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THE TRACT. TRACT MAY BE SUBJECT TO EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AND PLANNING AND ZONING REGULATIONS OF RECORD, IF ANY, AND IS SUBJECT TO SUCH FACTS WHICH A CURRENT TITLE SEARCH MAY DISCLOSE. I HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION ON THIS DAY.
 THE SOUTH LINE OF SUBJECT PROPERTY LINE IS COTERMIUOUS WITH THE NORTH PROPERTY LINE OF PROPERTY DESCRIBED IN DOC 09 66817.

NOTES:
 1. GRAVEL ROAD IN POOR CONDITION.
 2. GRAVEL MEANDERS.

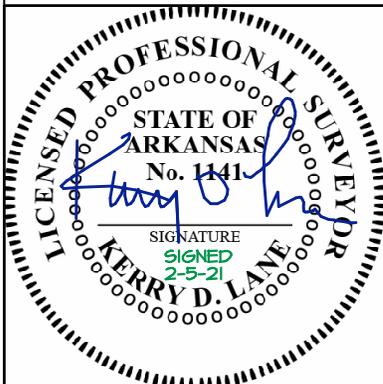
LEGEND

- SET #5 BAR/CAP
- EXISTING MON.
- △ CALC. POINT
- X— FENCE
- WV - WATER VALVE
- PP -POWERPOLE
- E— OH ELEC

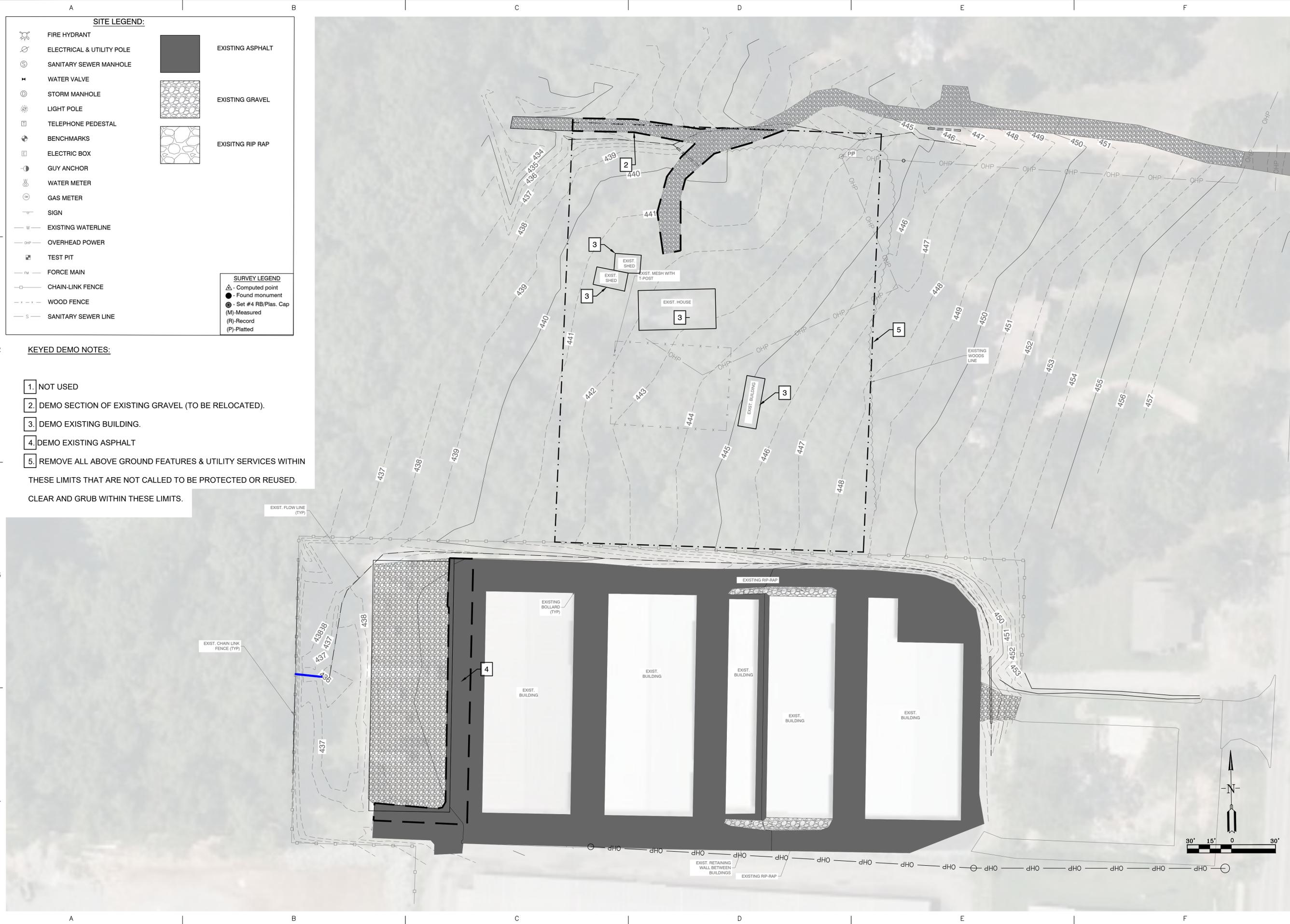


#4BAR ● 25'
 CALC SE CORNER NE1/4 SE1/4 SECTION 20 T-1-S, R-14-W

DATE: 2-05-21
 GRAPHIC SCALE 1"=60'



DRAWING NO. 006-21	REAL ESTATE SERVICES OF SALINE COUNTY, INC. 501-315-8866 lanesurveying@gmail.com	
REVISIONS BY	FOR USE AND BENEFIT OF:	DRAWN BY
DATE	ARMOR BANK TISDALE PROPERTIES & DEVELOPMENT LLC FIRST NATIONAL TITLE COMPANY	CHECKED BY
	1200 FERGUSON DR., SUITE 5, BENTON, AR., 72015 500-015-14W-0-20-210-62-1141	APPROVED BY



SITE LEGEND:

	FIRE HYDRANT		EXISTING ASPHALT
	ELECTRICAL & UTILITY POLE		EXISTING GRAVEL
	SANITARY SEWER MANHOLE		EXISTING RIP RAP
	WATER VALVE		
	STORM MANHOLE		
	LIGHT POLE		
	TELEPHONE PEDESTAL		
	BENCHMARKS		
	ELECTRIC BOX		
	GUY ANCHOR		
	WATER METER		
	GAS METER		
	SIGN		
	EXISTING WATERLINE		
	OVERHEAD POWER		
	TEST PIT		
	FORCE MAIN		
	CHAIN-LINK FENCE		
	WOOD FENCE		
	SANITARY SEWER LINE		

SURVEY LEGEND

	Computed point
	Found monument
	Set #4 RB/Plas. Cap
	Measured
	Record
	Platted

- KEYED DEMO NOTES:**
1. NOT USED
 2. DEMO SECTION OF EXISTING GRAVEL (TO BE RELOCATED).
 3. DEMO EXISTING BUILDING.
 4. DEMO EXISTING ASPHALT
 5. REMOVE ALL ABOVE GROUND FEATURES & UTILITY SERVICES WITHIN THESE LIMITS THAT ARE NOT CALLED TO BE PROTECTED OR REUSED. CLEAR AND GRUB WITHIN THESE LIMITS.

BY	REVISION	DATE

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 BRYANT, AR

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 VERNON J. WILLIAMS
 NO. 9551
 5-6-2021

CONTENTS:
 SITE DEMO PLAN

PROJECT NO:
 21036
 DATE:
 MAY 2021
 SHEET NO:

D1.0

SITE LEGEND:

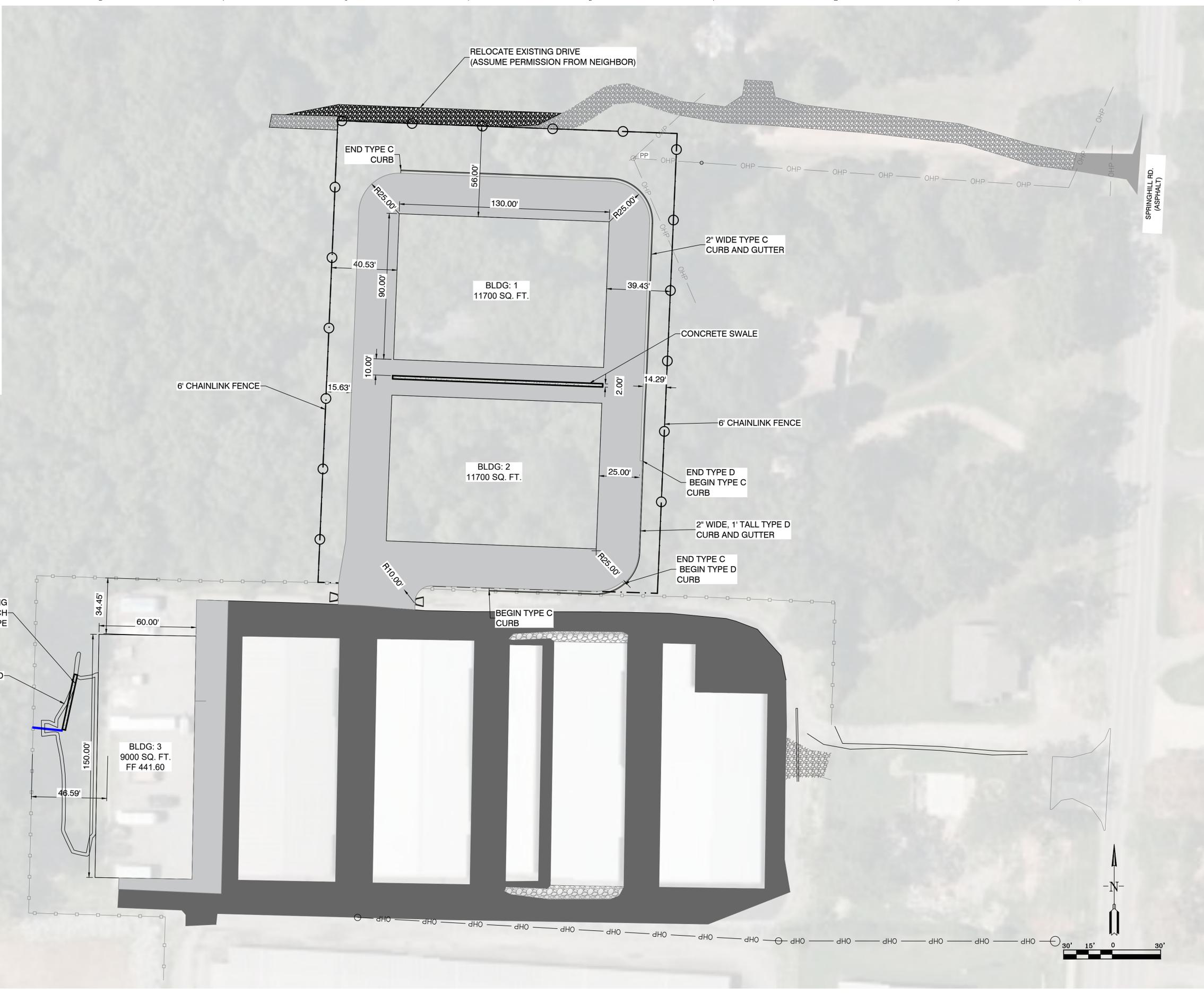
-  EXISTING ASPHALT
-  EXISTING GRAVEL
-  EXISTING RIP RAP
-  PROPOSED ASPHALT
-  PROPOSED CONCRETE
-  PROPOSED GRAVEL

1

2

3

4



REVISION	DATE	BY

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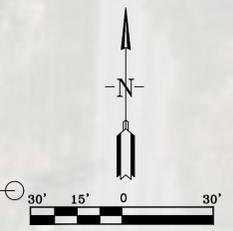
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 REGISTERED PROFESSIONAL ENGINEER
 VERNON J. WILLIAMS
 NO. 9551
 5-6-2021

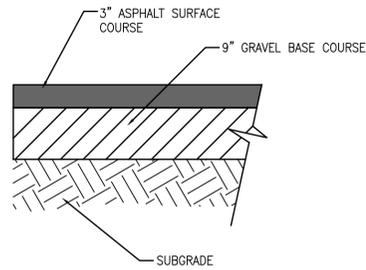
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SITE PLAN

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21036

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MAY 2021

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C1.0



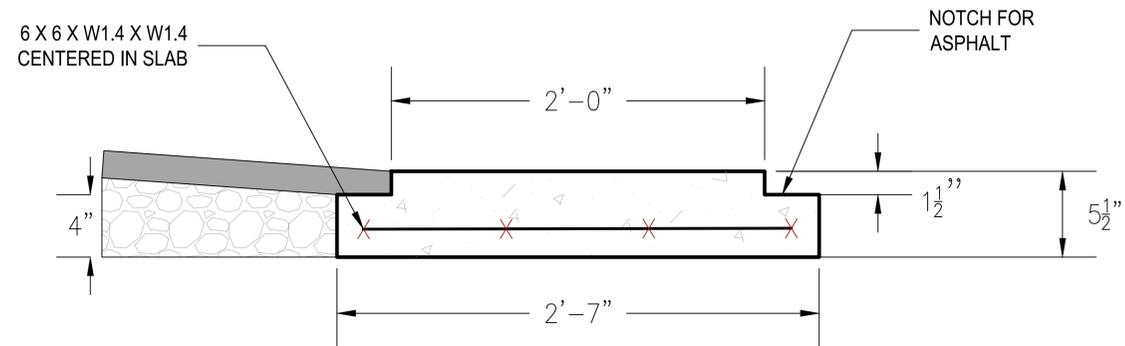


ASPHALT PAVING

NOT TO SCALE

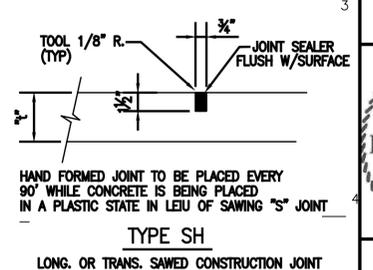
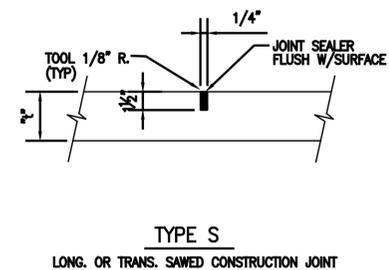
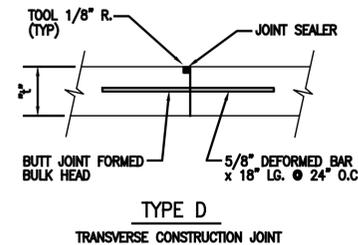
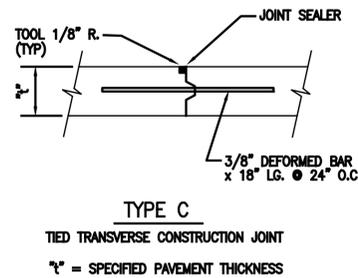
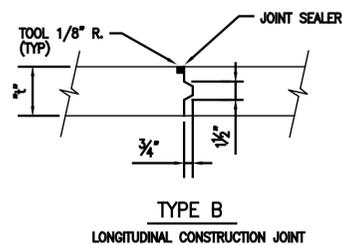
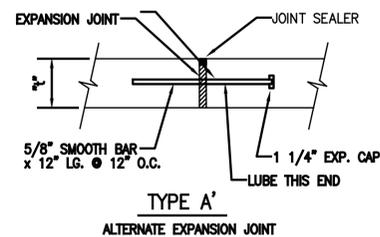
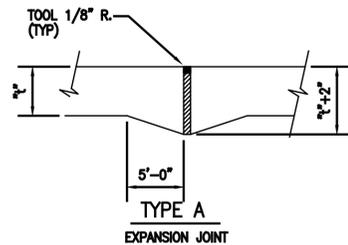
NOTES:

1. ASPHALT SURFACE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS OF SECTION 407 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
2. ASPHALT BINDER COURSE SHALL MEET MATERIAL & INSTALLATION REQUIREMENTS OF SECTION 406 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
3. GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
4. SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.



CONCRETE SWALE-DETAIL

NOT TO SCALE



CONCRETE JOINING DETAILS

NOT TO SCALE

NOTE: ALL JOINT SPACING NOT TO EXCEED 15'-0" INTERVALS

REVISION	DATE	BY

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 SITE DETAILS

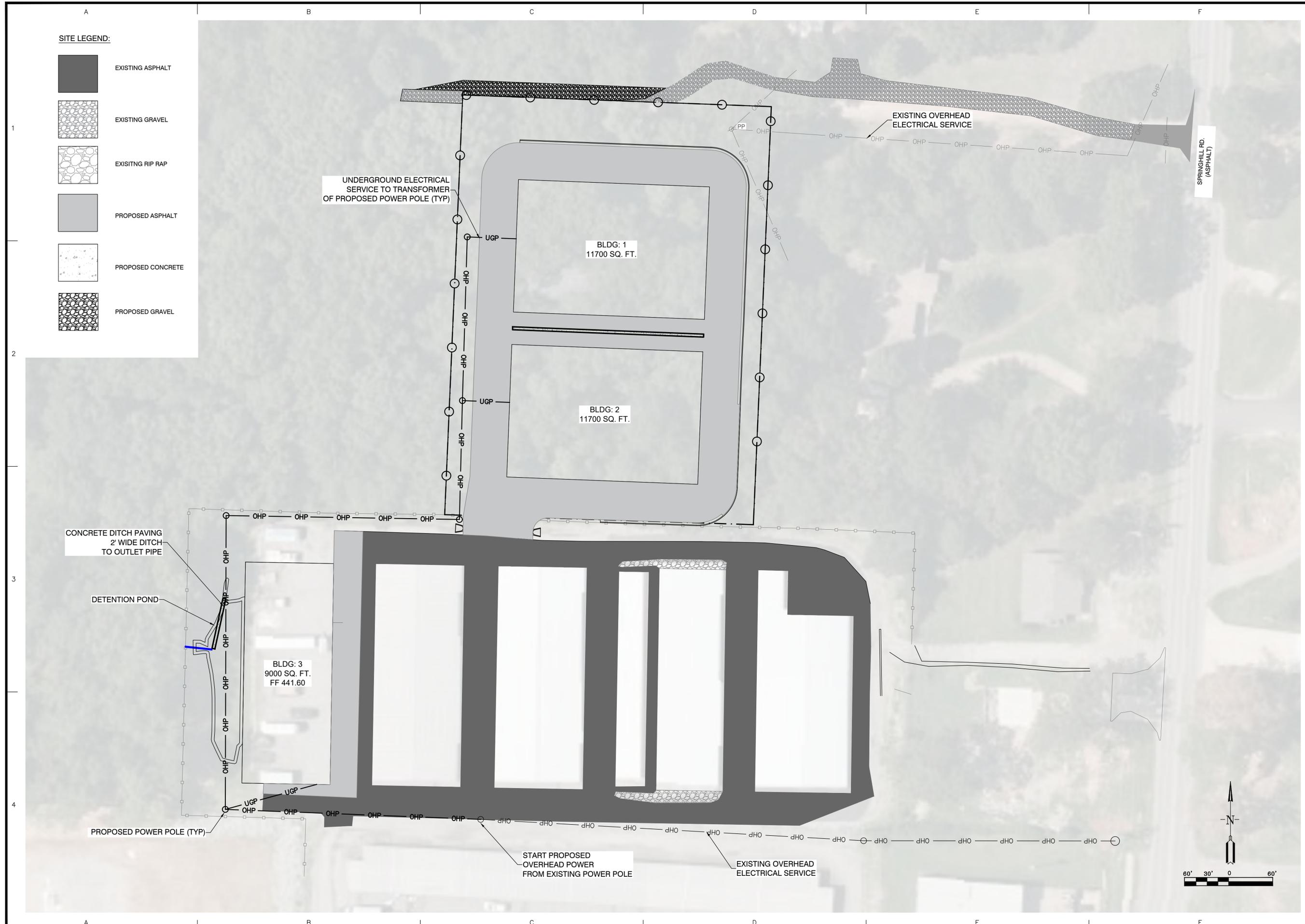
PROJECT NO:
 21036

DATE:
 MAY 2021

SHEET NO:
 C1.1

SITE LEGEND:

-  EXISTING ASPHALT
-  EXISTING GRAVEL
-  EXISTING RIP RAP
-  PROPOSED ASPHALT
-  PROPOSED CONCRETE
-  PROPOSED GRAVEL



REVISION	DATE	BY
1		

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CONTENTS:
 UTILITY PLAN

PROJECT NO:
 21036

DATE:
 MAY 2021

SHEET NO:
 C2.0

GRADING & DRAINAGE NOTES:

1. CONSTRUCT DITCH X-SECTIONS PER GRADING MODEL. DITCH SHALL HAVE 3:1 SIDE SLOPES. RESTORE DISTURBED AREAS WITH SOD.
2. RE-GRADE BOTTOM OF THE POND. RESTORE DISTURBED AREA WITH SOD.

SITE LEGEND:

-  EXISTING ASPHALT
-  EXISTING GRAVEL
-  EXISTING RIP RAP
-  PROPOSED ASPHALT
-  PROPOSED CONCRETE
-  PROPOSED GRAVEL



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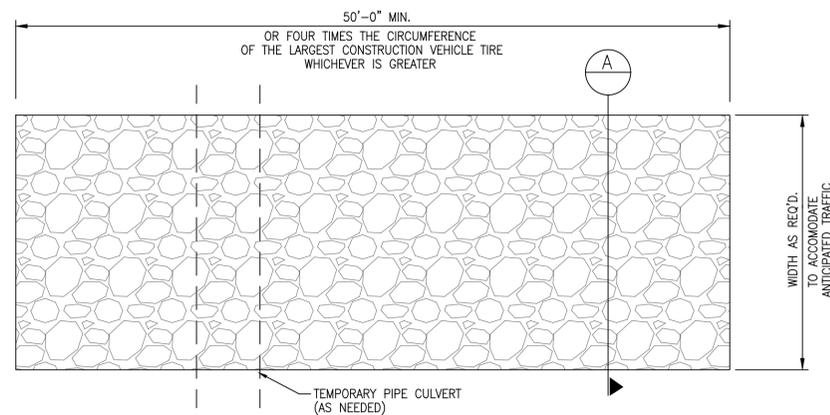
SHEET NO:
C3.0

BMP NOTES:

- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIAL SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE SITE IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF OF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

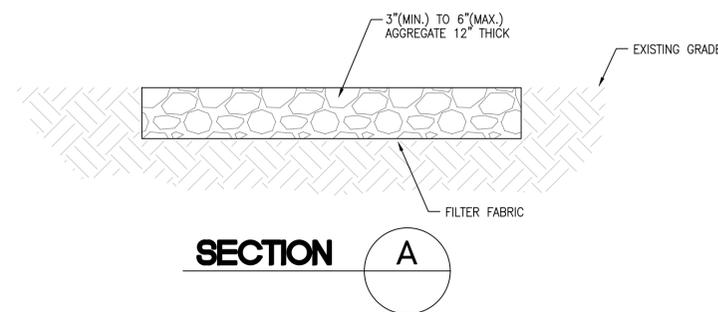
TOTAL SITE: 1.75 ACRES (INCLUDES R-O-W)

TOTAL DISTURBED AREA: 1.75 ACRES (INCLUDES R-O-W)



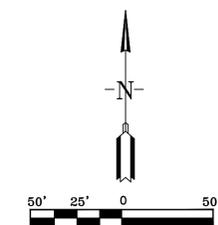
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



LEGEND:

- 500 — EXISTING CONTOURS
- DIRECTION OF OVERLAND FLOW
- SF — SILT FENCING



BY	REVISION	DATE

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650

3825 Mt Carmel Rd
 Bryant, AR 72022
 gnatengineering@gmail.com

SPRINGHILL STORAGE CENTER
 2601 AREY DRIVE
 BRYANT, AR

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 VERNON J. WILLIAMS
 NO. 9551

5-6-2021

CONTENTS:
EROSION CONTROL PLAN

PROJECT NO:
 21036

DATE:
 MAY 2021

SHEET NO:

C4.0



REVISION	DATE	BY
1		

Designing our client's success
GarNat Engineering, LLC
 3825 Mt Carmel Rd
 Bryant, AR 72022
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650
 gnatengineering@gmail.com

SPRINGHILL STORAGE CENTER
2601 AREY DRIVE
BRYANT, AR



CONTENTS:
LANDSCAPE PLAN

PROJECT NO:
21036

DATE:
MAY 2021

SHEET NO:
L1.0

LANDSCAPING NOTES:

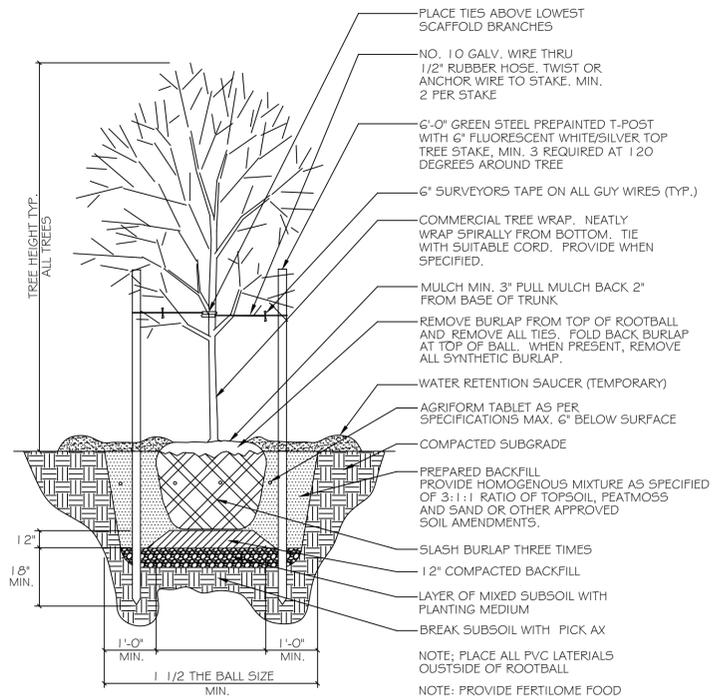
- REPORT ANY DISCREPANCIES FOUND IN THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE DESIGNER OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- THE NUMBER OF PLANTS OR INTENDED COVERAGE AREAS SHOWN SHALL SUPERSEDE NOTED QUANTITIES. TREE LOCATIONS ARE DIAGRAMMATIC.
- ALL PLANT MATERIALS MUST BE APPROVED PRIOR TO INSTALLATION. SUBSTITUTIONS OF SIZE OR TYPE OF MATERIAL ARE NOT PERMITTED WITHOUT WRITTEN APPROVAL PRIOR TO DELIVERY OR INSTALLATION.
- ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION. REPLACE ANY DAMAGED, DESTROYED, OR REMOVED PLANT MATERIALS WITH THE SAME VARIETY AND SIZE PRIOR TO FINAL ACCEPTANCE.
- PLANT STORAGE TO BE LOCATED OUT OF VEHICULAR USE AREAS AND NEAR A WATERING SYSTEM TO OPTIMIZE SURVIVAL.
- ALL PLANTING BEDS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3-INCHES SHREDDED HARDWOOD OR CYPRESS MUGH.
- ALL SHRUBS AND TREES SHALL RECEIVE PLANTING BACKFILL OF 2/3 TOPSOIL AND 1/3 COMPOST BY VOLUME AND 2 POUNDS OF 14-14-14 TIMED-RELEASE FERTILIZER PER CUBIC YARD OF BACKFILL.
- ALL BEDS INSIDE LAWN AREAS TO BE EDGED WITH 4" PAINTED STEEL EDGING.
- ALL TREES AND SHRUBS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING.
- TREES SHALL NOT BE TOPPED AT ANY TIME. PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- COORDINATE ALL INSTALLATION ACTIVITIES WITH IRRIGATION WORK AND IMMEDIATELY REPAIR DAMAGES TO FINISH GRADES, SOD, AND PLANT MATERIALS UNTIL FINAL ACCEPTANCE.
- SEE GRADING AND DRAINAGE PLAN FOR PROPOSED SLOPES, SWALES, BERMS, AND WATER FEATURES. MAINTAIN PROPER FINISH GRADES IN ALL AREAS AS INDICATED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO PROVIDE MINIMUM TOPSOIL DEPTHS AND CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL AREAS.
- TOPSOIL SHALL BE FREE OF STONES, ROOTS, CLODS, AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FROM PLANT GROWTH.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- IDENTIFICATION LABELS MUST BE ATTACHED TO ALL PLANT MATERIALS AND SHALL REMAIN INTACT UNTIL FINAL ACCEPTANCE OF THE WORK. REMOVE ALL TAGS AND LABELS FOLLOWING FINAL ACCEPTANCE.
- CALIPER OF TREES TO BE MEASURED 6-INCHES ABOVE GROUND LEVEL FOR TREES UP TO 4-INCH CALIPER SIZE.
- GENERAL CONTRACTOR SHALL PROVIDE 6-INCH DIAMETER MINIMUM SCHEDULE 40 PVC SLEEVING FOR IRRIGATION TO ALL CURB ISLANDS AND UNDER ALL DRIVE ISLE CROSSINGS.
- CONTRACTOR TO REFER TO THE UTILITY PLAN SHEET FOR RECENT FIRE FLOW INFORMATION.

LEGEND:

PLAN QUANTITIES:

QUANTITY:	COMMON NAME / BOTANICAL NAME:	SIZE:	REMARKS:
6	October Glory Maple Acer rubrum 'October Glory'	2" caliper	Specimen with positive upright form and symmetrical. Well branched canopies.
34	Cleyera Cleyera Japonica	#3 gallon, 18" HT	Full well branched shrub wit uniform shape, Space plants 8' o.c +/-
52	Needlepoint Holly Ilex cornuta 'Needlepoint'	#3 gallon, 18" HT	Full well branched shrub wit uniform shape, Space plants 8' o.c +/-
	Bermuda Cynodon Dactylon	Sod	Solid sod, all areas indicated with close knit joints

NOTE: PLANTS SHALL BE SET SLIGHTLY HIGHER THAN GRADE TO ALLOW FOR SETTLING & POSITIVE DRAINAGE.



TREE PLANTING DETAIL
No Scale

SODDING OF DISTURBED AREAS

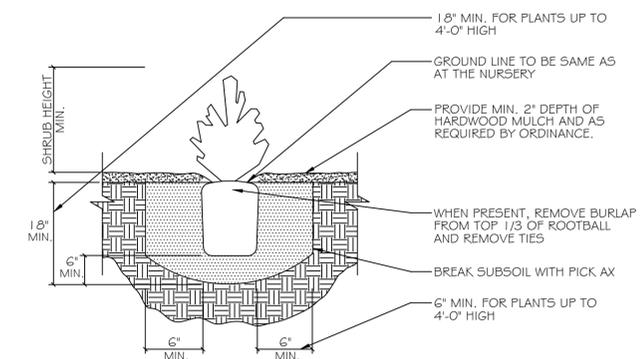
AREAS AND LIMITS OF SODDING ARE INDICATED BASED ON ANTICIPATED DISTURBANCE BY GRADING OPERATIONS. CONTRACTOR TO PROVIDE ADDITIONAL SODDING IN ANY OTHER AREAS DISTURBED BY WORK UNDER THIS CONTRACT. EXCAVATE AND REMOVE ANY REMAINING TURF AND SOIL TO A 4-INCH MINIMUM DEPTH WITHIN NEW SOD AREAS. HAND EXCAVATION REQUIRED WITHIN DRIP LINES OF TREE AREAS TO AVOID DAMAGE TO EXISTING ROOTS.

MAINTENANCE AND WARRANTY

CONTRACTOR TO PROVIDE FULL MAINTENANCE OF INSTALLED LANDSCAPE AND IRRIGATION UNTIL DATE OF FINAL ACCEPTANCE. ADDITIONALLY, CONTRACTOR TO PROVIDE ONE YEAR WARRANTY FOR ALL LANDSCAPE AND IRRIGATION WORK FROM THE DATE OF FINAL ACCEPTANCE.

IRRIGATION SYSTEM

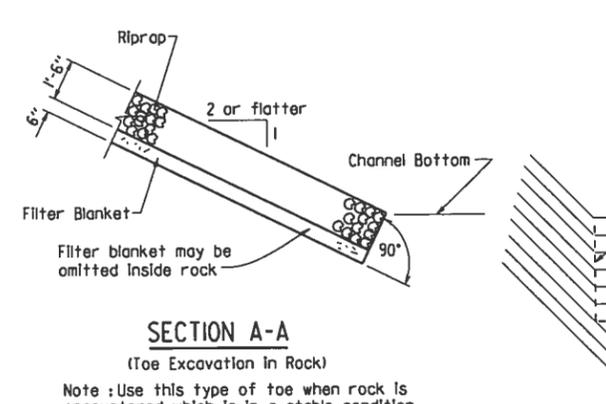
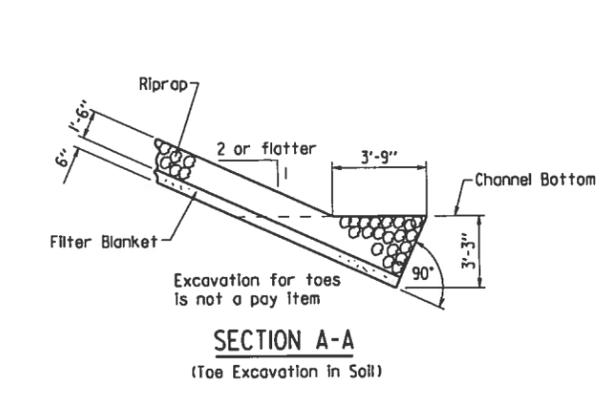
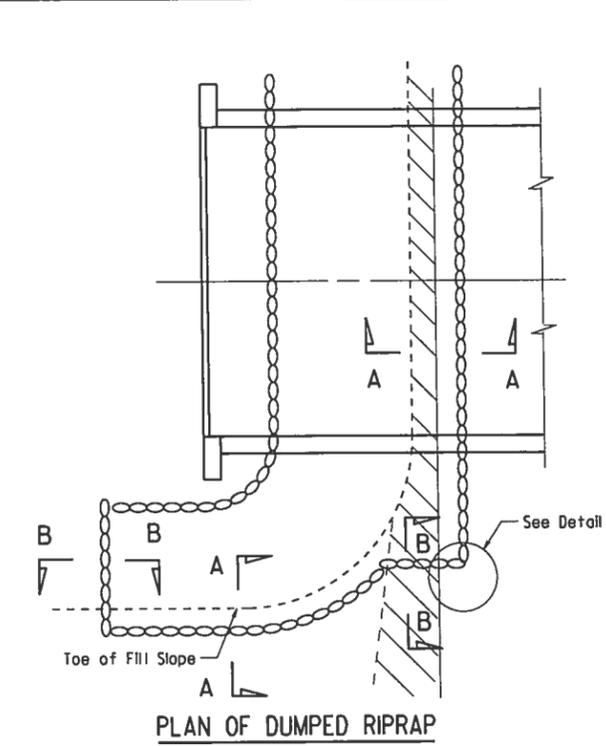
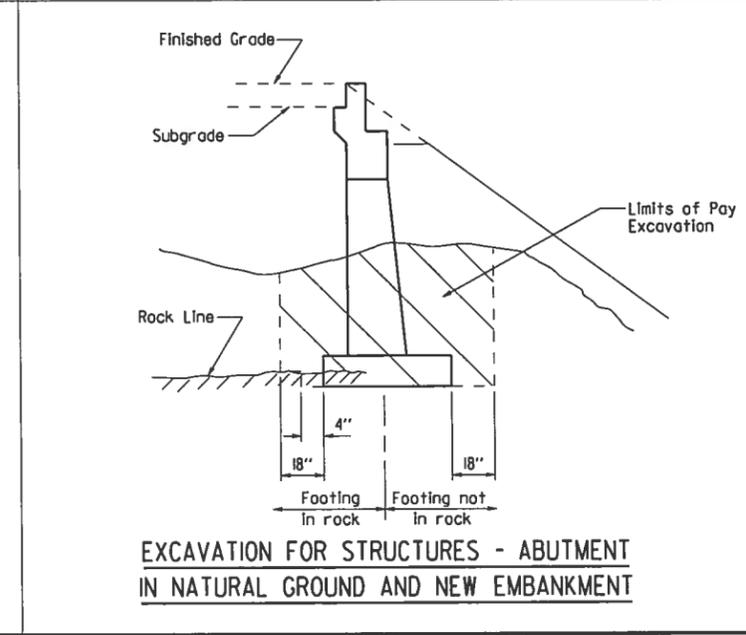
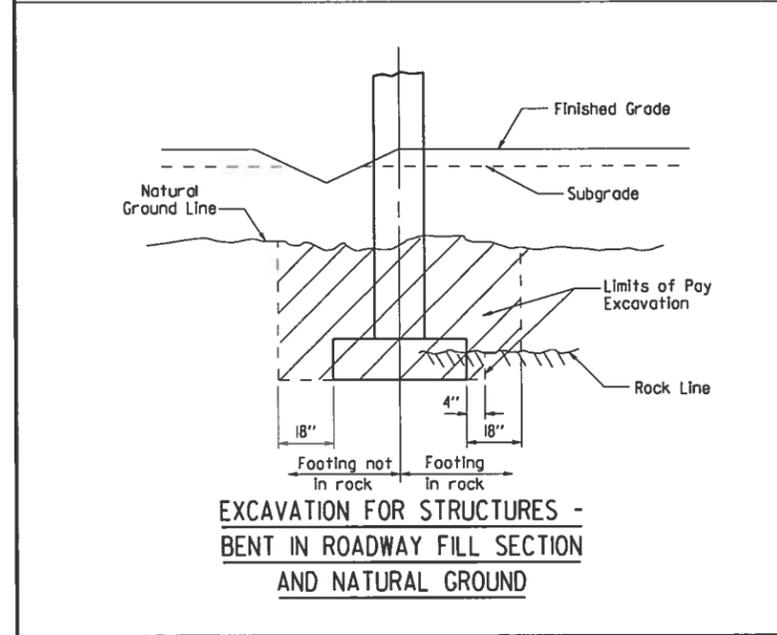
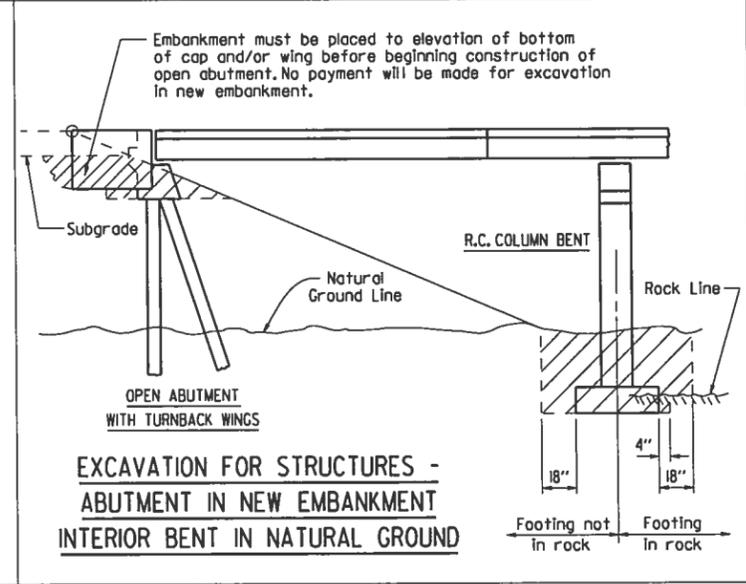
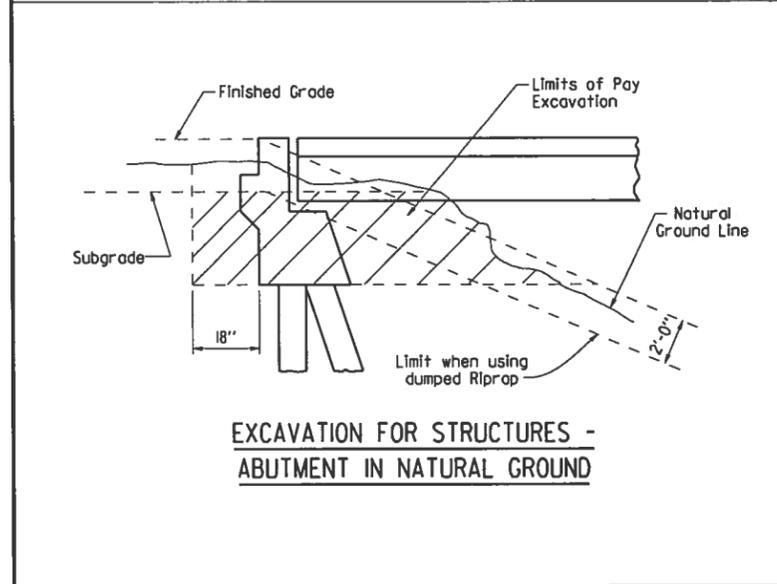
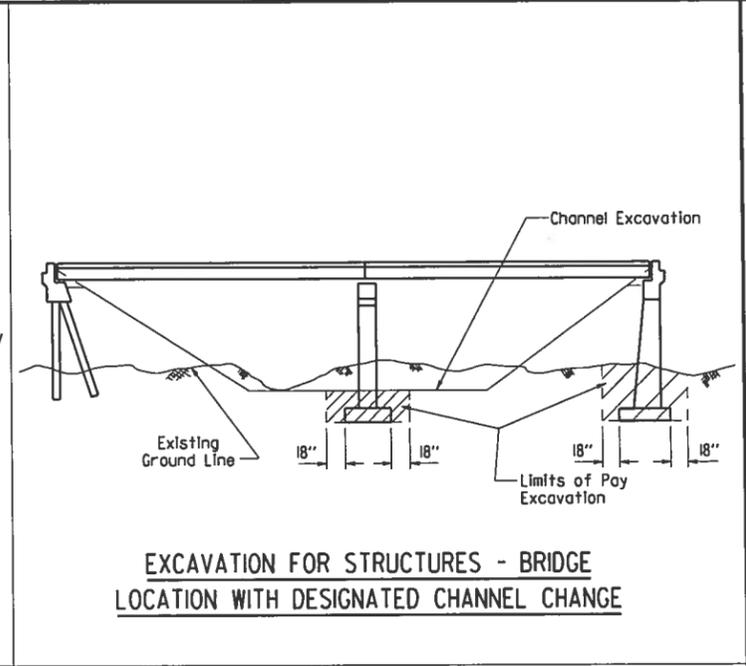
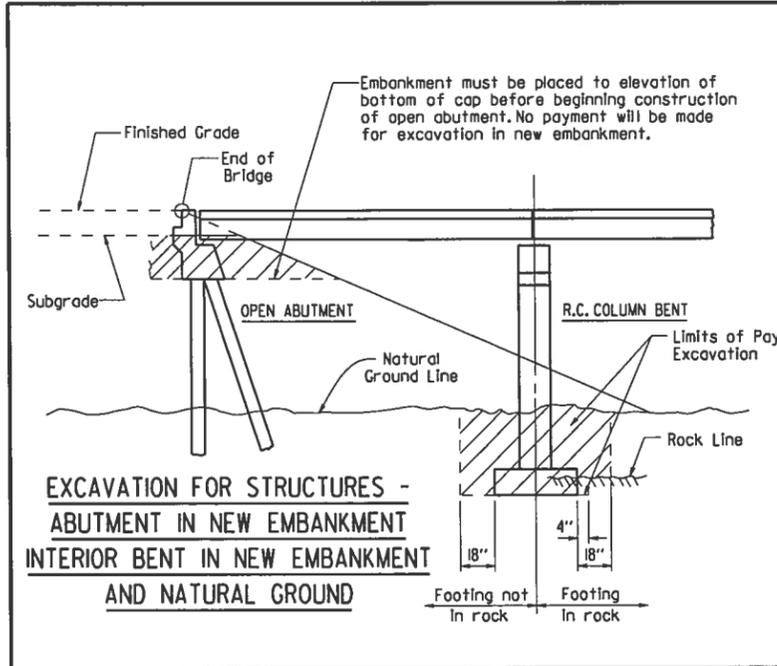
CONTRACTOR TO PROVIDE AUTOMATIC IRRIGATION SYSTEM FOR ALL NEW LANDSCAPE AND TURF AREAS SHOWN ON THE PLANS. SYSTEM WILL REQUIRE PROVIDING BACKFLOW PREVENTER, PERMITTING, POWER CONNECTION, CONTROLLER, AND ALL OTHER WORK REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM THAT PROVIDES 100% COVERAGE. COORDINATE LOCATION OF CONTROLLER WITH OWNER, GENERAL CONTRACTOR, AND ELECTRICAL CONTRACTOR. COORDINATE LOCATION OF IRRIGATION SLEEVES WITH GENERAL CONTRACTOR PRIOR TO FULLY MOBILIZING TO SITE. CONTRACTOR TO REFER TO THE UTILITY PLAN SHEET FOR CURRENT FIRE FLOW INFORMATION.



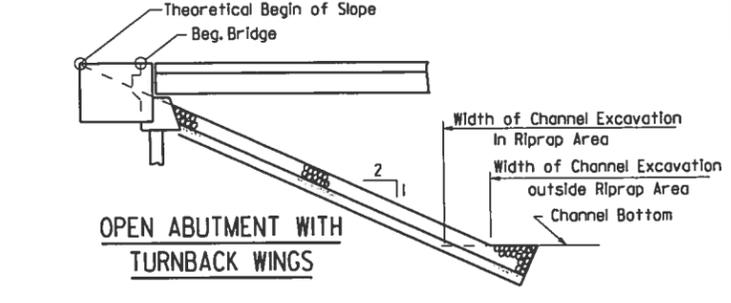
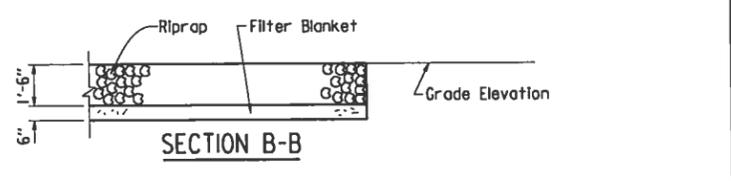
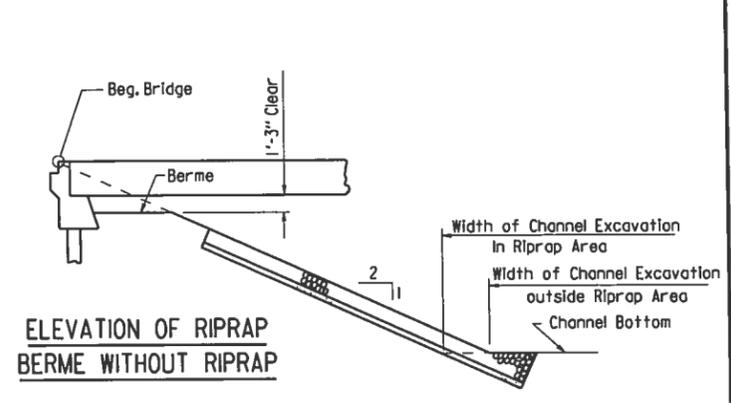
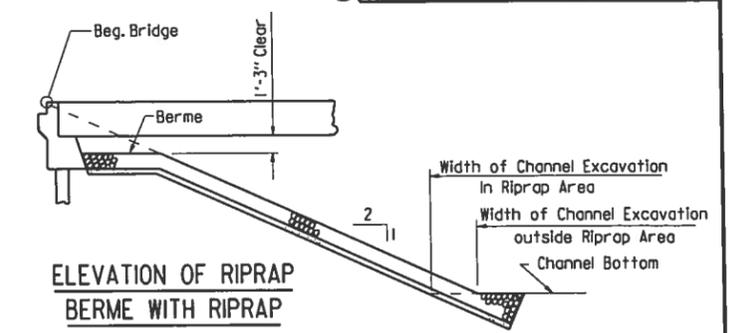
SHRUB PLANTING DETAIL
No Scale

BY	
REVISION	
DATE	
Designing our client's success GarNat Engineering, LLC 3825 Mt. Carmel Rd Bryant, AR 72022 P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 gamat@gnecng.com	
SPRINGHILL STORAGE CENTER 2601 AREY DRIVE BRYANT, AR	
5/6/2021	
CONTENTS:	
LANDSCAPING NOTES & DETAILS	
PROJECT NO:	21036
DATE:	MAY 2021
SHEET NO:	L1.1

DATE REVISED	DATE FILMED	DATE REVISED	DATE FILMED	FED. ROAD DIST. NO.	STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
				6	ARK.			
				JOB NO.				
				①		RIPRAP & EXCAV. 55001		

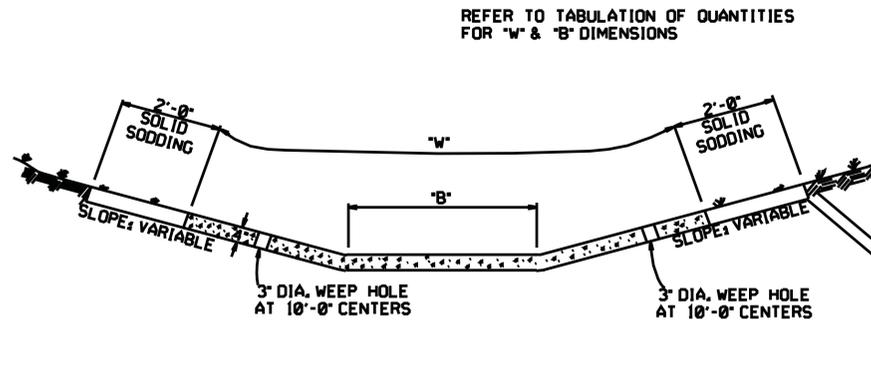


Note: Use this type of toe when rock is encountered which is in a stable condition.
 Note: In lieu of an aggregate filter blanket, a synthetic fiber geotextile fabric complying with the requirements of Subsection 816.02(e) may be used.
 Note: Details for computing excavation for structures are included for information as to how plan quantities were calculated and for use when adjusting quantities when changing footing elevation.

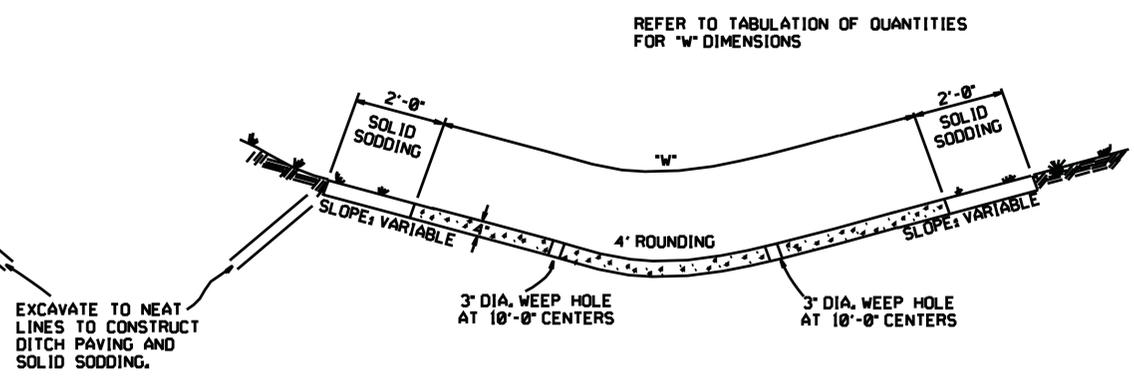


PER CITY OF BRYANT REQUIREMENTS, MUST USE FABRIC. AGGREGATE FILTER BLANKET NOT ALLOWED.

STANDARD DETAILS FOR DUMPED RIPRAP AND FILTER BLANKET AND COMPUTING EXCAVATION FOR STRUCTURES
 ARKANSAS STATE HIGHWAY COMMISSION
 LITTLE ROCK, ARK.
 DRAWN BY: KDH DATE: 2-27-2014 FILENAME: b5500L.dgn
 CHECKED BY: BEF DATE: 2-27-2014 SCALE: NO SCALE
 DESIGNED BY: STD. DATE: DRAWING NO. 55001



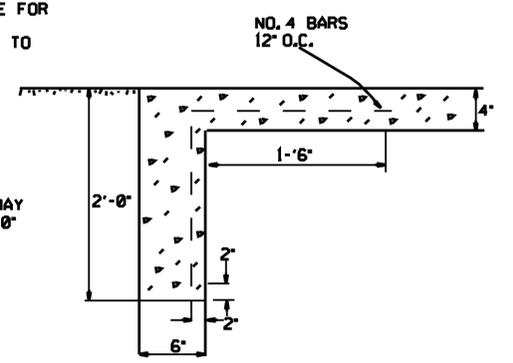
TYPE A



TYPE B

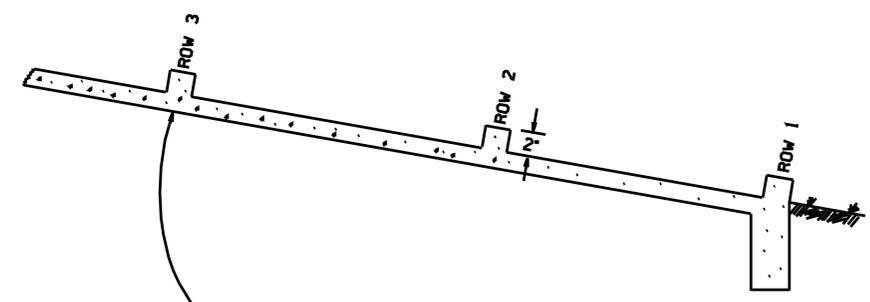
EXCAVATE TO NEAT LINES TO CONSTRUCT DITCH PAVING AND SOLID SODDING.

THE STEEL AND ADDITIONAL CONCRETE FOR THE WALLS SHALL NOT BE PAID FOR DIRECTLY, BUT SHALL BE CONSIDERED TO BE INCLUDED IN THE PRICE BID FOR "CONCRETE DITCH PAVING."



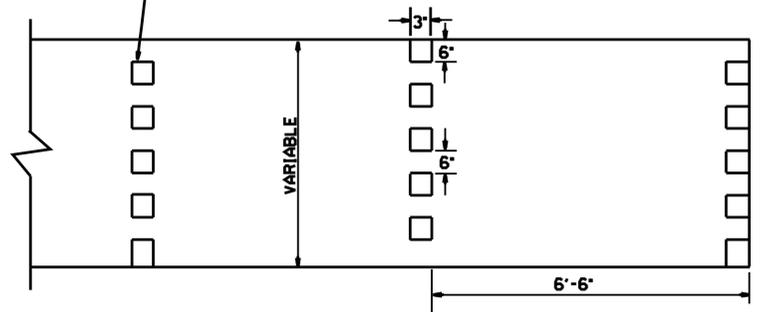
TOE WALL DEPTH MAY BE ALTERED TO 1'-0" WHEN DIRECTED BY THE ENGINEER IN ROCK EXCAVATION

TOE WALL DETAIL FOR CONCRETE DITCH PAVING



NUMBER OF ELEMENTS PER ROW VARIES WITH WIDTH OF PAVING SPECIFIED

ENERGY DISSIPATORS TO BE USED FOR THE ENTIRE LENGTH OF DITCH WHEN SLOPE OF DITCH PAVING EXCEEDS 7%. THE DISSIPATORS WILL NOT BE PAID FOR DIRECTLY, BUT SHALL BE CONSIDERED TO BE INCLUDED IN THE PRICE BID FOR CONCRETE DITCH PAVING.



ENERGY DISSIPATORS
(NO SCALE)

GENERAL NOTES:

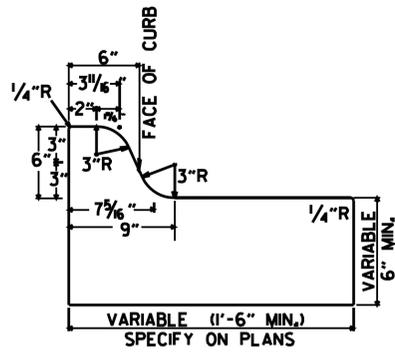
- THE FULL WIDTH OF EACH SECTION SHALL BE POURED MONOLITHICALLY.
- TOE WALLS TO BE CONSTRUCTED FULL WIDTH AT EACH END OF DITCH PAVING, AND POURED MONOLITHICALLY.
- SOLID SOD ALONG DITCH PAVING TO BE PLACED WITHIN 14 DAYS OF DITCH PAVING CONSTRUCTION.
- 1' WIDE TRANSVERSE EXPANSION JOINTS SHALL BE PLACED IN CONCRETE DITCH PAVING AT 45' INTERVALS. THE SPACE SHALL BE FILLED WITH APPROVED JOINT FILLER COMPLYING WITH AASHTO M213.

DATE	REVISION	DATE FILM'D
11-17-10	ADDED GENERAL NOTE	
6-2-94	ADDED GENERAL NOTE ABOUT SOLID SODDING	
11-30-8	ELIMINATED MIN. ROWS OF ELEMENTS	11-30-89
7-15-88	REVISED DISSIPATOR NOTE	653-7-15-88
4-3-87	REVISED ENERGY DISSIPATOR	671-4-3-87
1-9-87	MODIFIED NOTE ON ENERGY DISS.	632-1-9-87
11-3-86	ADDED NOTE TO ENERGY DISS.	599-2-1-86
11-1-84	ENERGY DISSIPATOR DETAILS ADDED	508-11-1-84
11-1-84	EXCAVATION DETAILS ADDED	
	TYPED A & B	
10-2-72	REVISED AND REDRAWN	508-10-2-72

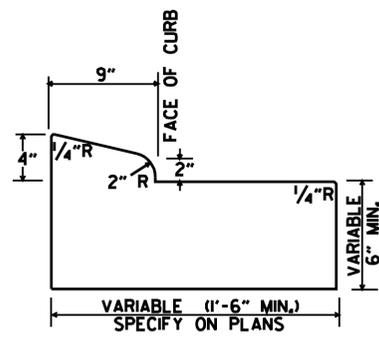
ARKANSAS STATE HIGHWAY COMMISSION

CONCRETE DITCH PAVING

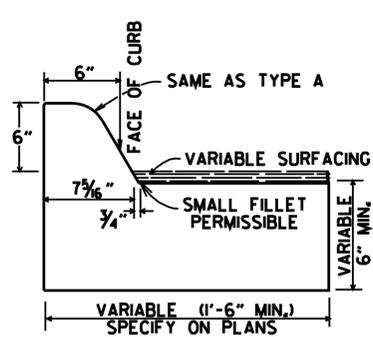
STANDARD DRAWING CDP-1



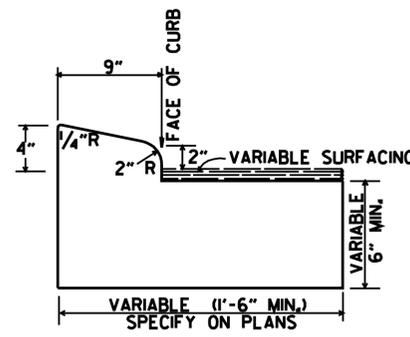
TYPE A



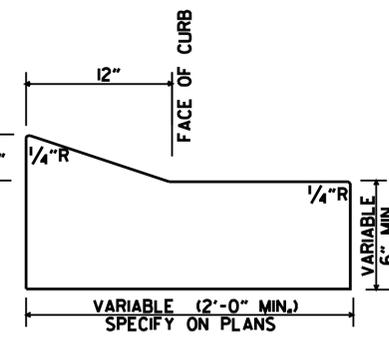
TYPE B-1



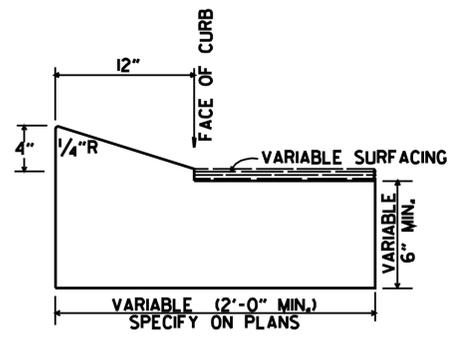
TYPE C



TYPE B-2

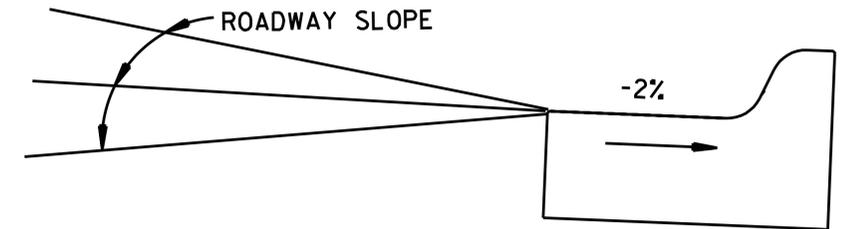


TYPE E-1

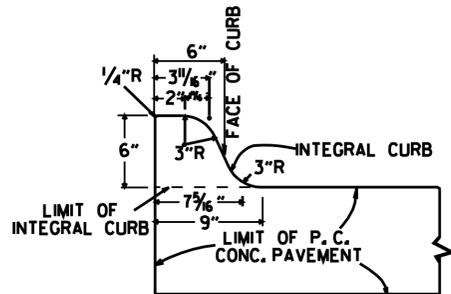


TYPE E-2

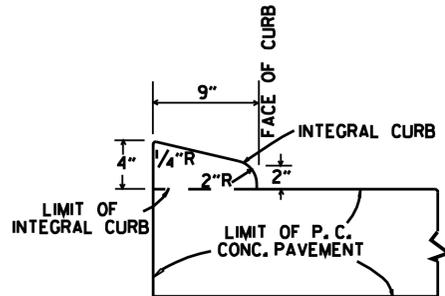
CONCRETE COMBINATION CURB AND GUTTER



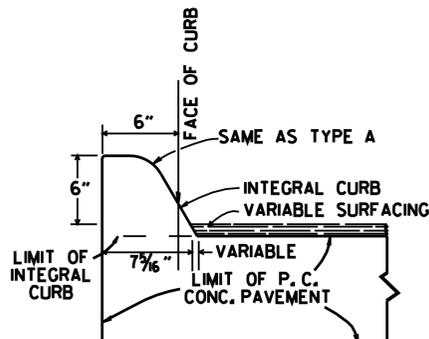
DETAIL OF GUTTER SLOPE
GUTTER SHALL BE CONSTRUCTED ON 2% SLOPE AWAY FROM ROADWAY, REGARDLESS OF ROADWAY SLOPE.



TYPE A

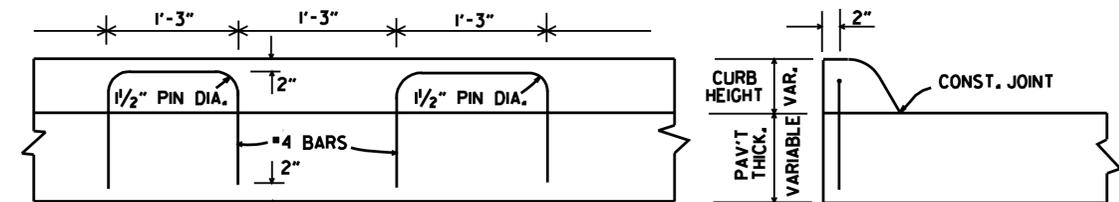


TYPE B



TYPE C

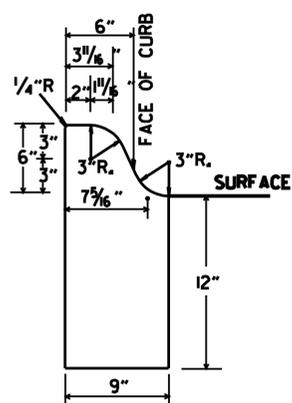
INTEGRAL CURB



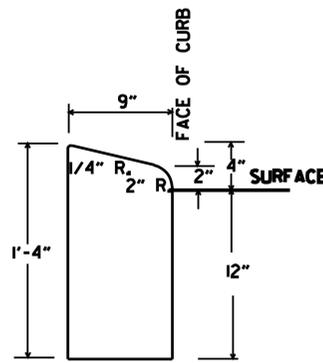
LONGITUDINAL SECTION

ELEVATION

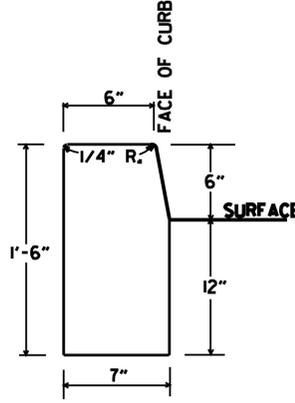
ALTERNATE CONSTRUCTION METHOD FOR INTEGRAL CURB



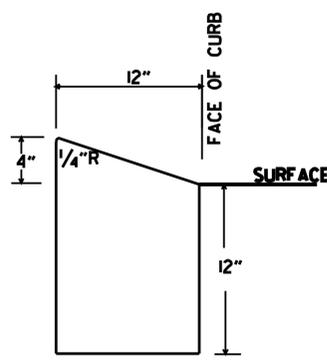
TYPE A



TYPE B

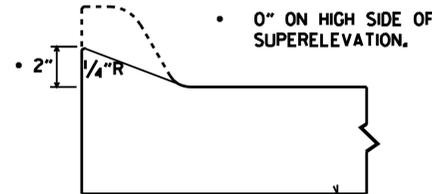


TYPE D



TYPE E

CONCRETE CURB



NOTE: USE MODIFIED CURB AS SPECIFIED ON STD. DR-1. COMPENSATION FOR MODIFIED CURB WILL BE CONSIDERED INCLUDED IN THE PRICE BID FOR THE TYPE OF CURB OR CURB AND GUTTER SPECIFIED.

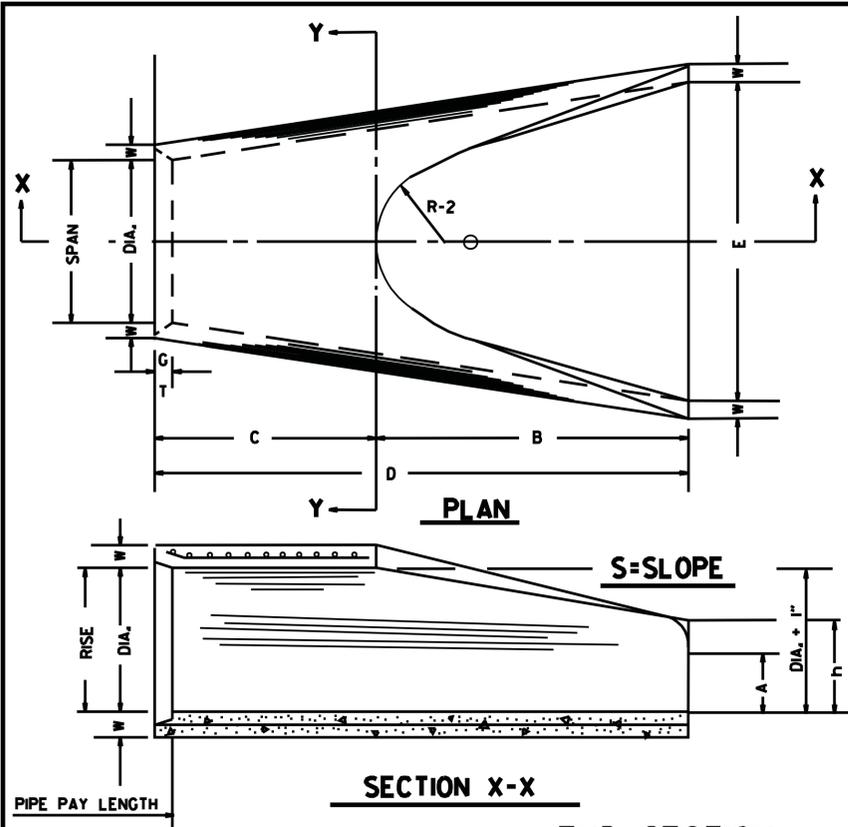
DETAILS OF MODIFIED CURB

DATE	REVISION	DATE FILMED
11-29-07	REVISED GUTTER SLOPE & MODIFIED CURB DETAILS	
11-10-05	ADDED DETAILS OF TYPE E CURBS	
11-16-01	REVISED CONCRETE CURB TYPE B	
11-18-98	REVISED MODIFIED CURB	
6-2-94	ADDED NOTE TO SPECIAL MODIFIED CURB	
8-5-93	CORRECTED GUTTER SLOPE	8-5-93
10-1-92	ADDED DETAILS OF GUTTER SLOPE	10-1-92
5-24-90	ADDED DETAILS OF MODIFIED CURB	5-24-90
11-30-89	VARIABLE DEPTH TYPE A & B 1	11-30-89
7-15-88	REVISED MODIFIED CURB	630-7-15-88
11-1-73	REVISED MODIFIED CURB	500-11-1-73
10-2-72	REVISED AND REDRAWN	512-10-2-72

ARKANSAS STATE HIGHWAY COMMISSION

CURBING DETAILS

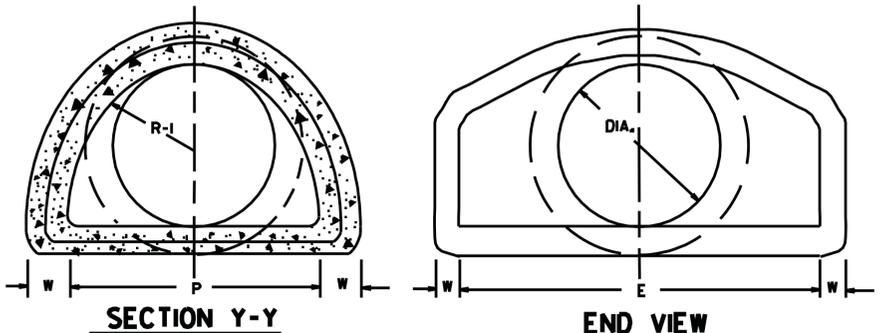
STANDARD DRAWING CG-1



END SECTION FOR REINFORCED CONCRETE PIPE CULVERTS

TABLE OF DIMENSIONS

DIA.	WALL	A	B	C	D	E	S	DIA. + 1"	P	R-1	R-2	G-T	WT.	h
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	3d	19"	29"	15 1/2"	12"	2"	1000	1'-0 1/2"
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	3d	25"	33 3/8"	16 1/4"	14"	2 1/2"	1600	1'-1 1/2"
30"	3 1/2"	1'-0"	4'-6"	1'-7 1/4"	6'-1 3/4"	5'-0"	3d	31"	37"	18 1/2"	15"	3 1/4"	1940	1'-4 5/8"
36"	4"	1'-3"	5'-3"	2'-10 1/4"	8'-1 1/2"	6'-0"	3d	37"	47 1/4"	24 1/4"	20"	3 1/2"	4100	1'-8"
42"	4 1/2"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	3d	43"	53 1/2"	27 1/2"	22"	3 1/2"	5380	2'-2 1/2"
48"	5"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	3d	49"	56 1/2"	28 1/2"	22"	3 1/2"	6550	2'-6"
54"	5 1/2"	2'-4"	6'-6"	1'-10"	8'-4"	7'-6"	3d	55"	65 1/2"	33 1/8"	24"	4"	8750	2'-10 1/2"
60"	6"	2'-10"	6'-6"	1'-10"	8'-4"	8'-0"	3d	61"	72 1/2"	36 1/4"	24"	4"	9270	3'-5"
72"	7"	3'-10"	6'-6"	1'-10"	8'-4"	9'-0"	3d	73"	77 1/4"	38 1/4"	24"	5"	13250	4'-6"

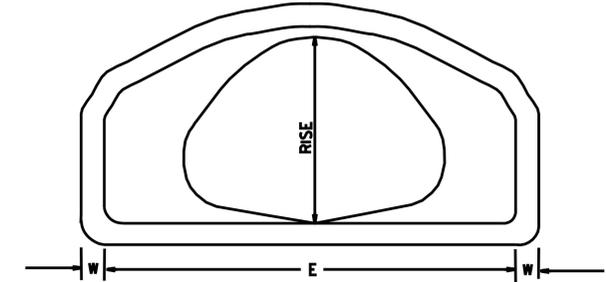


NOTE: TONGUE END ON UPSTREAM SECTION
GROOVE END ON DOWNSTREAM SECTION

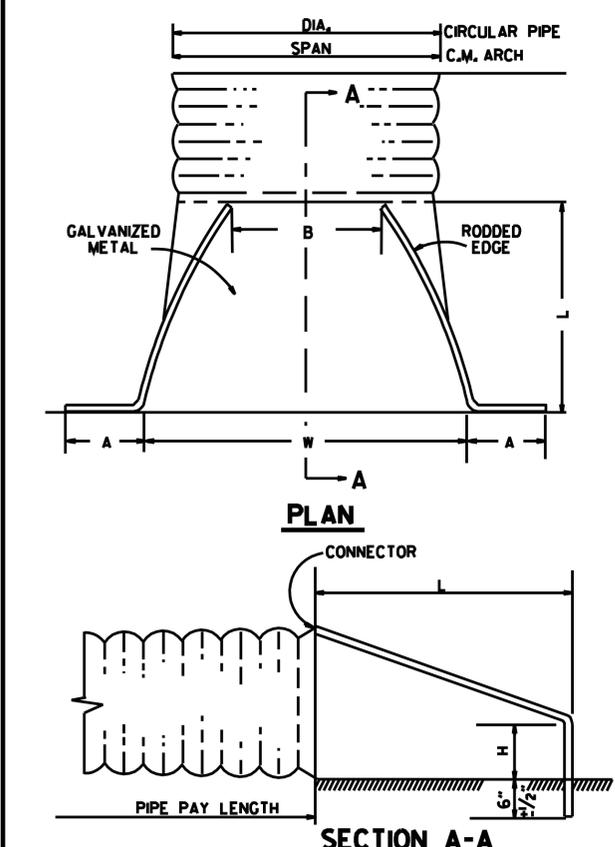
ARCH PIPE

EQUIV. DIA.	SPAN		RISE		W	A	B	C	D	E	P	R2	G-T	S
	AASHTO M 206	AHD NOMINAL	AASHTO M 206	AHD NOMINAL										
15	18	18	11	11	2"	4"	2'-0"	4'-0"	6'-0"	3'-0"	29"	12"	1 1/2"	2 1/2d
18	22	22	13 1/2	14	2 1/2"	5"	2'-0"	4'-1"	6'-1"	3'-6"	32 1/8"	13"	2 1/2"	2 1/2d
21	26	26	15 1/2	16	2 3/4"	7"	2'-3"	3'-10"	6'-1"	4'-0"	34 1/8"	14"	2 1/2"	2 1/2d
24	28 1/2	29	18	18	3"	9"	2'-3"	3'-10"	6'-1"	5'-0"	36 1/8"	15"	2 1/2"	2 1/2d
30	36 1/4	36	22 1/2	23	3 1/2"	10"	3'-1"	3'-0 1/2"	6'-1 1/2"	6'-0"	47 1/4"	20"	3"	2 1/2d
36	43 1/4	44	26 1/2	27	4"	10 1/2"	4'-0"	2'-1 1/2"	6'-1 1/2"	6'-6"	54 1/4"	22"	3 1/2"	2 1/2d
42	51 1/8	51	31 1/2	31	4 1/2"	11 1/2"	4'-7"	1'-10 1/4"	6'-5 1/4"	7'-2"	59 1/2"	23"	3 3/4"	2 1/2d
48	58 1/2	59	36	36	5"	1'-3"	5'-3"	2'-10 1/4"	8'-1 1/4"	7'-10"	70 1/4"	24"	4 1/4"	2 1/2d
54	65	65	40	40	5 1/2"	1'-7"	5'-3"	2'-11"	8'-2"	8'-6"	72 1/4"	24"	4 1/4"	2 1/2d
60	73	73	45	45	6"	1'-10"	5'-6"	2'-8"	8'-2"	9'-0"	77 1/4"	24"	5"	2 1/2d

* THE MEASURED SPAN AND RISE SHALL NOT VARY MORE THAN ± 2 PER CENT FROM THE VALUES SPECIFIED BY AASHTO M 206.



END VIEW CONCRETE ARCH PIPE

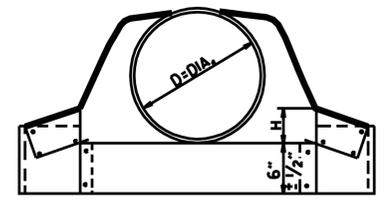


END SECTIONS FOR CORRUGATED METAL PIPE CULVERTS

NOTE: ALTERNATE CONNECTIONS TO THE PIPE CULVERTS, IN ACCORDANCE WITH MANUFACTURER'S STANDARD PRACTICES, MAY BE MADE SUBJECT TO THE APPROVAL OF THE ENGINEER.

CIRCULAR PIPE

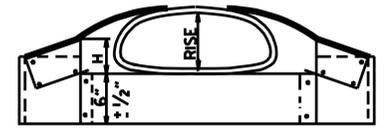
D. DIA.	GAUGE	A	B. MAX.	H	L	W	S
12	16	6	6	6	21	24	2 1/2d
15	16	7	8	6	26	30	2 1/2d
18	16	8	10	6	31	36	2 1/2d
21	16	9	12	6	36	42	2 1/2d
24	16	10	13	6	41	48	2 1/2d
30	14	12	16	8	51	60	2 1/2d
36	14	14	19	9	60	72	2 1/2d
42	12	16	22	11	69	84	2 1/2d
48	12	18	27	12	78	90	2 1/2d
54	12	18	30	12	84	102	2d
60	12	18	33	12	87	114	1 1/2d
66	12	18	36	12	87	120	1 1/2d
72	12	18	39	12	87	126	1 1/3d



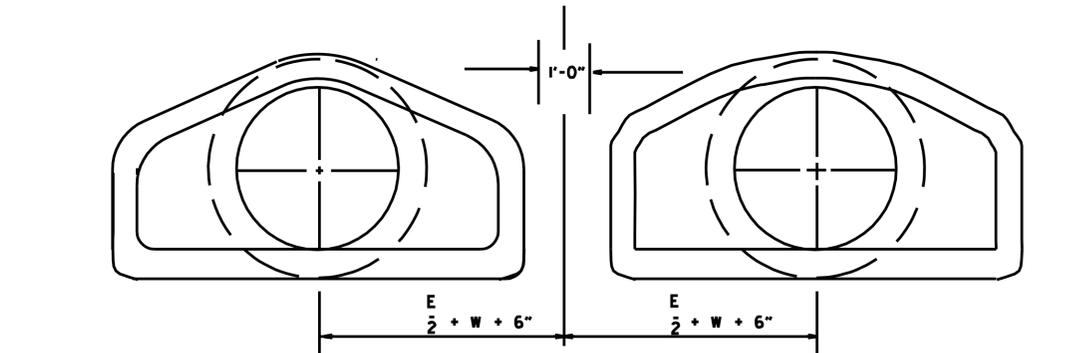
CIRCULAR PIPE

C.M. ARCH PIPE

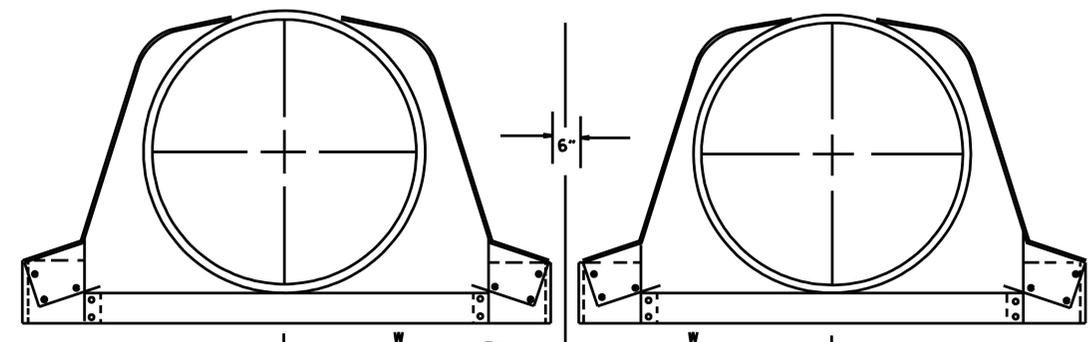
EQUIV. DIA.	SPAN	RISE	A	B	H	L	W	S	GAUGE
15"	17	13	7	9	6	19	30	2 1/2d	16
18"	21	15	7	10	6	23	36	2 1/2d	16
21"	24	18	8	12	6	28	42	2 1/2d	16
24"	28	20	9	14	6	32	48	2 1/2d	16
30"	35	24	10	16	6	39	60	2 1/2d	14
36"	42	29	12	18	8	46	75	2 1/2d	14
42"	49	33	13	21	9	53	85	2 1/2d	12
48"	57	38	18	26	12	63	90	2 1/2d	12
54"	64	43	18	30	12	70	102	2 1/4d	12
60"	71	47	18	33	12	77	114	2 1/4d	12



C.M. ARCH PIPE



MULTIPLE R.C. PIPE CULVERTS



MULTIPLE C.M. PIPE CULVERTS

10-18-96	REVISED ASTM REF. TO AASHTO	
5-15-80	REVISED DISTANCE BETWEEN MULTIPLE R.C.P., F.E.S.	664-5-15-80
7-14-78	C.M. ARCH SIZES TO CONFORM WITH AASHTO SIZES	752-7-14-78
8-22-75	ADDED MULTIPLE PIPE CULVERTS	517-8-22-75
12-5-74	REMOVED NOTE RE REINF. FOR R.C. F.E.S.	500-12-5-74
5-24-73	CMP END SECTION, SHOW PIPE PAY LENGTH	627-5-24-73
10-2-72	REVISED AND REDRAWN	760-10-2-72
DATE	REVISION	FILED

ARKANSAS STATE HIGHWAY COMMISSION
FLARED END SECTION
STANDARD DRAWING FES-2

REINFORCED CONCRETE ARCH PIPE DIMENSIONS

EQUIV. DIA.	SPAN		RISE	
	AASHTO M 206	AHTD NOMINAL	AASHTO M 206	AHTD NOMINAL
INCHES	INCHES			
15	18	18	11	11
18	22	22	13½	14
21	26	26	15½	16
24	28½	29	18	18
30	36¼	36	22½	23
36	43¾	44	26¾	27
42	51½	51	31¾	31
48	58½	59	36	36
54	65	65	40	40
60	73	73	45	45
72	88	88	54	54
84	102	102	62	62
90	115	115	72	72
96	122	122	77½	77
108	138	138	87½	87
120	154	154	96¾	97
132	168¾	169	106½	107

THE MEASURED SPAN AND RISE SHALL NOT VARY MORE THAN ± 2 PERCENT FROM THE VALUES SPECIFIED BY AASHTO M206.

REINFORCED CONCRETE HORIZONTAL ELLIPTICAL PIPE DIMENSIONS

EQUIV. DIA.	AASHTO M 207	
	SPAN	RISE
INCHES	INCHES	
18	23	14
24	30	19
27	34	22
30	38	24
33	42	27
36	45	29
39	49	32
42	53	34
48	60	38
54	68	43
60	76	48
66	83	53
72	91	58
78	98	63
84	106	68

THE MEASURED SPAN AND RISE SHALL NOT VARY MORE THAN ± 2 PERCENT FROM THE VALUES SPECIFIED BY AASHTO M207.

CONSTRUCTION SEQUENCE

1. PLACE STRUCTURAL BEDDING MATERIAL TO GRADE. DO NOT COMPACT.
2. INSTALL PIPE TO GRADE.
3. COMPACT STRUCTURAL BEDDING OUTSIDE THE MIDDLE THIRD OF THE PIPE.
4. PLACE AND COMPACT THE HAUNCH AREA UP TO THE MIDDLE OF THE PIPE.
5. COMPLETE BACKFILL ACCORDING TO SUBSECTION 606.03.(F)(1).

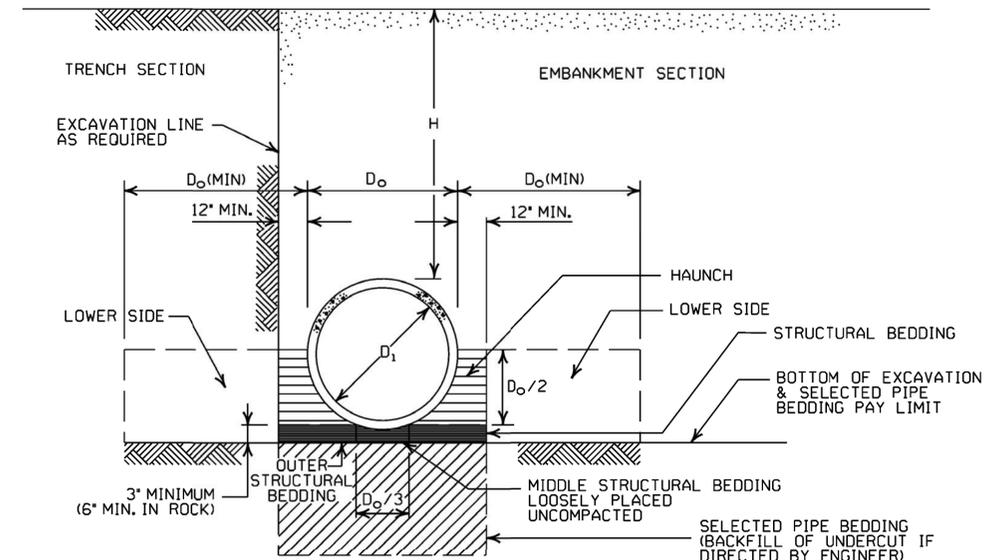
NOTE: HAUNCH AND STRUCTURAL BEDDING MATERIAL WILL NOT BE PAID FOR SEPARATELY, BUT COMPENSATION WILL BE CONSIDERED TO BE INCLUDED IN THE PRICE BID PER LINEAR FOOT OF CONCRETE PIPE.

- LEGEND -

- D₁ = NORMAL INSIDE DIAMETER OF PIPE
- D₀ = OUTSIDE DIAMETER OF PIPE
- H = FILL COVER HEIGHT OVER PIPE (FEET)
- MIN. = MINIMUM
- UNDISTURBED SOIL

INSTALLATION TYPE	MATERIAL REQUIREMENTS FOR HAUNCH AND STRUCTURAL BEDDING
TYPE 1	AGGREGATE BASE COURSE (CLASS 5 OR CLASS 7)
TYPE 2	SELECTED MATERIALS (CLASS SM-1, SM-2, OR SM-4) OR TYPE 1 INSTALLATION MATERIAL*
TYPE 3**	AASHTO CLASSIFICATION A-1 THRU A-6 SOIL OR TYPE 1 OR 2 INSTALLATION MATERIAL

- * SM-3 WILL NOT BE ALLOWED.
- ** MATERIALS SHALL NOT INCLUDE ORGANIC MATERIALS OR STONES LARGER THAN 3 INCHES.



EMBANKMENT AND TRENCH INSTALLATIONS

1. MATERIAL IN THE HAUNCH AND OUTER STRUCTURAL BEDDING SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY ACCORDING TO THE TYPE OR CLASS OF MATERIAL USED.
2. FOR TRENCHES WITH WALLS OF NATURAL SOIL, THE DENSITY OF THE SOIL IN THE LOWER SIDE ZONE SHALL BE AS FIRM AS THE 95% DENSITY REQUIRED FOR THE HAUNCH. IF THE EXISTING SOIL DOES NOT MEET THIS CRITERIA, IT SHALL BE REMOVED AND RECOMPACTED TO 95% OF THE MAXIMUM DENSITY ACCORDING TO THE TYPE OF MATERIAL USED.
3. FOR EMBANKMENTS, THE MATERIAL IN THE LOWER SIDE ZONE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY ACCORDING TO THE TYPE OR CLASS OF MATERIAL USED.

GENERAL NOTES

1. CONCRETE PIPE CULVERT CONSTRUCTION SHALL CONFORM TO ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (CURRENT EDITION), WITH APPLICABLE SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS. UNLESS OTHERWISE NOTED IN THE PLANS, SECTION AND SUBSECTION REFER TO THE STANDARD CONSTRUCTION SPECIFICATIONS.
2. CONCRETE PIPE CULVERT DESIGN SHALL CONFORM TO AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, FIFTH EDITION (2010) WITH 2010 INTERIMS.
3. ALL PIPE SHALL CONFORM TO SECTION 606. CIRCULAR R.C. PIPE CULVERTS SHALL CONFORM TO AASHTO M170, R.C. ARCH PIPE CULVERTS SHALL CONFORM TO AASHTO M206 AND HORIZONTAL ELLIPTICAL PIPE CULVERTS SHALL CONFORM TO AASHTO M207.
4. ALL PIPE SHALL BE PROTECTED DURING CONSTRUCTION BY A COVER SUFFICIENT TO PREVENT DAMAGE FROM PASSAGE OF EQUIPMENT.
5. THE MINIMUM TRENCH WIDTH SHALL BE THE OUTSIDE DIAMETER OF THE PIPE PLUS 24 INCHES. THE MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE THE MINIMUM WIDTH PRACTICABLE FOR WORKING CONDITIONS.
6. MULTIPLE PIPE CULVERTS SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 24 INCHES BETWEEN STRINGS OF PIPE. REFER TO STD. DWG. FES-2 FOR MINIMUM CLEARANCE WHERE FLARED END SECTIONS ARE USED.
7. IMPERVIOUS MATERIAL SHOULD BE PLACED AS DIRECTED BY THE ENGINEER AT THE ENDS OF THE CULVERT TO PREVENT LOSS OF STRUCTURAL BEDDING WHEN PERVIOUS MATERIAL IS USED FOR STRUCTURAL BEDDING AND/OR BACKFILL.
8. NOT MORE THAN ONE LIFTING HOLE MAY BE PROVIDED IN CONCRETE PIPE TO FACILITATE HANDLING. HOLE MAY BE CAST IN PLACE, CUT INTO THE FRESH CONCRETE AFTER FORMS ARE REMOVED, OR DRILLED. THE HOLE SHALL NOT BE MORE THAN TWO INCHES IN DIAMETER OR TWO INCHES SQUARE. CUTTING OR DISPLACEMENT OF REINFORCEMENT WILL NOT BE PERMITTED. SPALLED AREAS AROUND THE HOLE SHALL BE REPAIRED IN A WORKMANLIKE MANNER. LIFTING HOLE SHALL BE FILLED WITH MORTAR, CONCRETE, OR OTHER METHOD AS APPROVED BY THE ENGINEER.
9. WHEN DIRECTED BY THE ENGINEER, UNSUITABLE MATERIAL THAT IS ENCOUNTERED AT THE BOTTOM OF THE EXCAVATED TRENCH (BELOW THE AREA IDENTIFIED AS "STRUCTURAL BEDDING" ABOVE) WILL BE EXCAVATED AND REPLACED WITH SELECTED PIPE BEDDING. THE QUANTITY OF MATERIAL REQUIRED TO BACKFILL THE UNDERCUT AREA UP TO THE SELECTED PIPE BEDDING PAY LIMIT DESIGNATED ABOVE WILL BE MEASURED AND PAID FOR AS "SELECTED PIPE BEDDING."
10. WHEN THE EXISTING MATERIAL EXCAVATED FOR THE PIPE TRENCH IS DETERMINED BY THE ENGINEER TO BE UNSUITABLE FOR BACKFILLING THE PIPE (ABOVE THE AREA IDENTIFIED ABOVE AS THE HAUNCH), BORROW MATERIAL OR MATERIAL FROM THE ROADWAY EXCAVATION WILL BE USED TO BACKFILL THE PIPE. IF SUITABLE MATERIAL IS NOT AVAILABLE, THE ENGINEER MAY AUTHORIZE THE USE OF "SELECTED PIPE BACKFILL."

MINIMUM HEIGHT OF FILL "H" OVER CIRCULAR R.C. PIPE CULVERTS

INSTALLATION TYPE	CLASS OF PIPE			
	TYPE 1 OR 2	TYPE 3	ALL	ALL
PIPE ID (IN.)	FEET			
12-15	2	2.5	2	1
18-24	2.5	3	2	1
27-33	3	4	2	1
36-42	3.5	5	2	1
48	4.5	5.5	2	1
54-60	5	7	2	1
66-78	6	8	2	1
84-108	7.5	8	2	1

NOTE: FOR MINIMUM COVER VALUES, "H" SHALL INCLUDE A MINIMUM OF 12" OF PAVEMENT AND/OR BASE.

MAXIMUM HEIGHT OF FILL "H" OVER CIRCULAR R.C. PIPE CULVERTS

INSTALLATION TYPE	CLASS OF PIPE		
	CLASS III	CLASS IV	CLASS V
TYPE 1	21	32	50
TYPE 2	16	25	39
TYPE 3	12	20	30

NOTE: IF FILL HEIGHT EXCEEDS 50 FEET, A SPECIAL DESIGN CONCRETE PIPE WILL BE REQUIRED USING TYPE 1 INSTALLATION.

MINIMUM HEIGHT OF FILL "H" OVER R.C. ARCH & HORIZONTAL ELLIPTICAL PIPE CULVERTS

INSTALLATION TYPE	CLASS OF PIPE	
	CLASS III	CLASS IV
TYPE 2 OR TYPE 3	FEET	
	2.5	1.5

NOTE: TYPE 1 INSTALLATION WILL NOT BE ALLOWED FOR ARCH & HORIZONTAL ELLIPTICAL PIPE CULVERTS.

NOTE: FOR MINIMUM COVER VALUES, "H" SHALL INCLUDE A MINIMUM OF 12" OF PAVEMENT AND/OR BASE.

MAXIMUM HEIGHT OF FILL "H" OVER R.C. ARCH & HORIZONTAL ELLIPTICAL PIPE CULVERTS

INSTALLATION TYPE	CLASS OF PIPE	
	CLASS III	CLASS IV
TYPE 2	13	21
TYPE 3	10	16

NOTE: TYPE 1 INSTALLATION WILL NOT BE ALLOWED FOR ARCH & HORIZONTAL ELLIPTICAL PIPE CULVERTS.

DATE	REVISION	DATE FILMED
2-27-14	REVISED GENERAL NOTE 1.	
12-15-11	REVISED FOR LRFD DESIGN SPECIFICATIONS	
5-18-00	REVISED TYPE 3 BEDDING & ADDED NOTE	
3-30-00	REVISED INSTALLATIONS	
11-06-97	ISSUED	

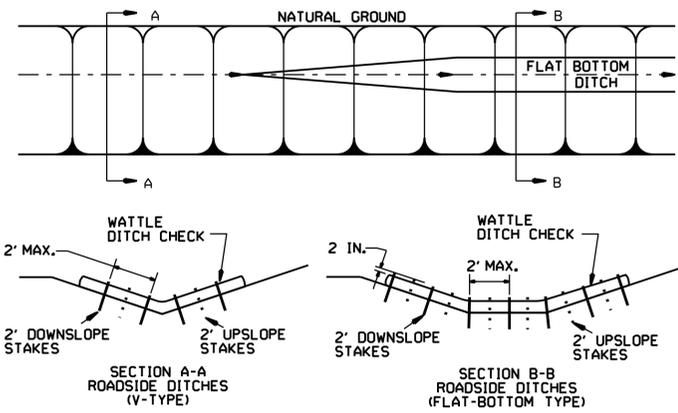
ARKANSAS STATE HIGHWAY COMMISSION

CONCRETE PIPE CULVERT FILL HEIGHTS & BEDDING

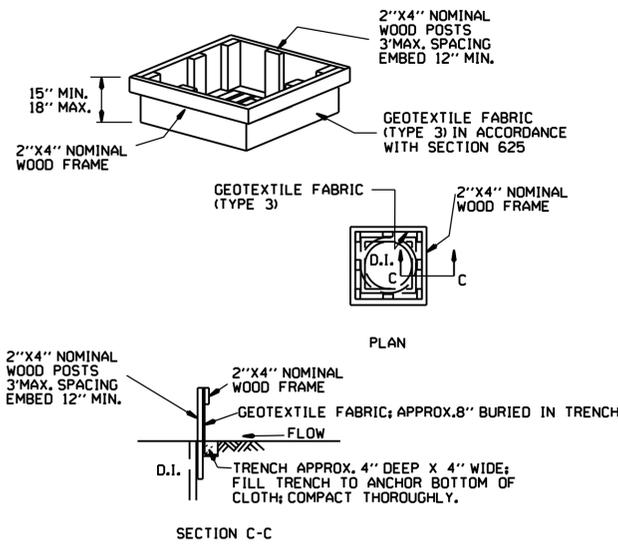
STANDARD DRAWING PCC-1

GENERAL NOTES

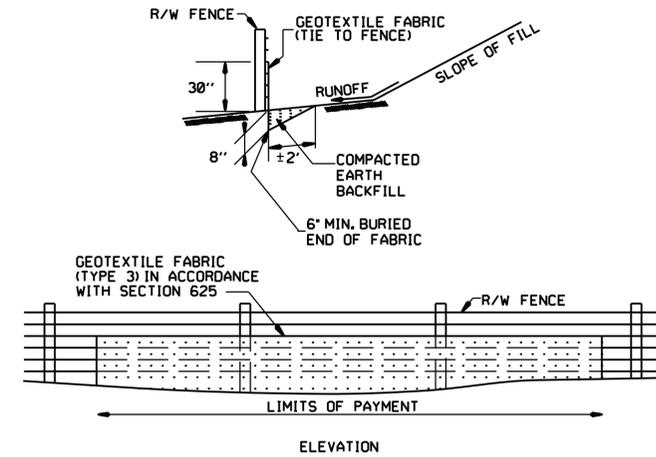
INSTALL A MINIMUM OF 2 UPSLOPE STAKES AND 4 DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.



WATTLE DITCH CHECK (E-1)



DROP INLET SILT FENCE (E-7)

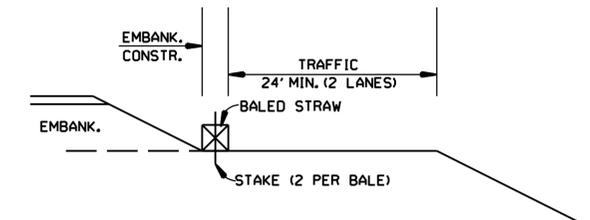


SILT FENCE ON R/W FENCE (E-4)

GENERAL NOTES
 GEOTEXTILE FABRIC SHALL BE SPLICED TOGETHER WITH A SEWN SEAM ONLY AT A SUPPORT POST, OR TWO SECTIONS OF FENCE MAY BE OVERLAPPED INSTEAD. PAYMENT OF ADDITIONAL MATERIAL FOR OVERLAP WILL NOT BE MADE.

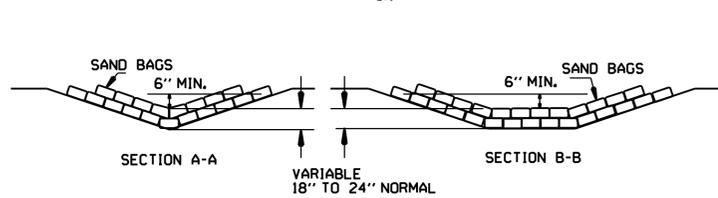
GENERAL NOTES

1. STRAW BALES SHALL BE INSTALLED SO THAT THE BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES. THE BALES SHALL BE A MINIMUM OF 30 INCHES IN LENGTH.
2. NO GAPS SHALL BE LEFT BETWEEN BALES.
3. BALED STRAW FILTER BARRIERS COMPLETED AND ACCEPTED WILL BE MEASURED BY THE BALE IN PLACE AS AUTHORIZED BY THE ENGINEER AND WILL BE PAID FOR AT THE CONTRACT UNIT PRICE BID PER BALE FOR BALED STRAW DITCH CHECKS.

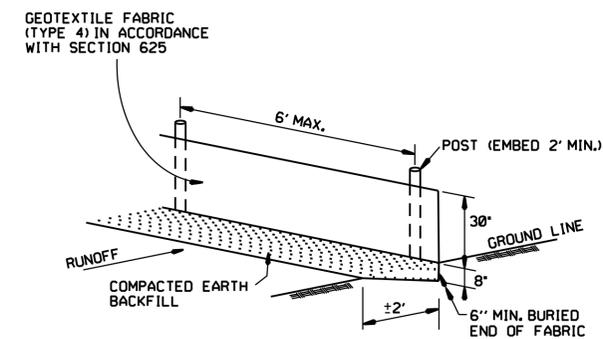


BALED STRAW FILTER BARRIER (E-2)

NUMBER OF SAND BAGS AND ARRANGEMENT VARIABLE WITH ON-SITE CONDITIONS. PLACE SAND BAGS AT BASE OF DITCH CHECK IN AREA OF OVERFLOW.

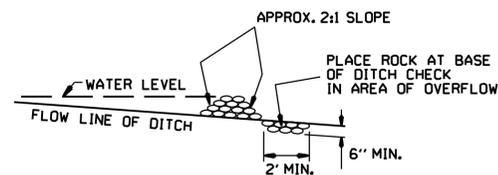


SAND BAG DITCH CHECK (E-5)



SILT FENCE (E-11)

GENERAL NOTES
 GEOTEXTILE FABRIC SHALL BE SPLICED TOGETHER WITH A SEWN SEAM ONLY AT A SUPPORT POST OR TWO SECTIONS OF FENCE MAY BE OVERLAPPED INSTEAD. PAYMENT OF ADDITIONAL MATERIAL FOR OVERLAP WILL NOT BE MADE.



ROCK DITCH CHECK (E-6)

12-15-11	DELETED BALED STRAW DITCH CHECK & ADDED WATTLE DITCH CHECK		ARKANSAS STATE HIGHWAY COMMISSION
11-18-98	ADDED NOTES		
7-02-98	ADDED BALED STRAW FILTER BARRIER (E-2)		TEMPORARY EROSION CONTROL DEVICES
7-20-95	REVISED SILT FENCE E-4 AND E-11	7-20-95	
7-15-94	REV. E-4 & E-11 MIN. 13" BURIED END OF FABRIC		STANDARD DRAWING TEC-1
6-2-94	REVISED E-1, 4, 7 & 11; DELETED E-2 & 3	6-2-94	
4-1-93	REDRAWN		
10-1-92	REDRAWN		
8-2-76	ISSUED R.D.M.	298-7-28-76	
DATE	REVISION	FILMED	

Springhill Storage Variance Request

External

Inbox x



Vernon Williams

to Truett, me, Vernon ▾

3:04 PM (23 minutes ago)



Please allow this email to serve as my formal request for variances on the referenced project. If I need to submit this request in a different format, please let me know.

List of Variances:

1. A variance to allow the new building constructed within the existing site to match the set back of the other buildings on that site.
2. A variance to allow the setbacks for the buildings on the new site to be as follows:

Rear = 55' from existing residential (56' provided)

Side = 25' from existing residential (39.43' provided)

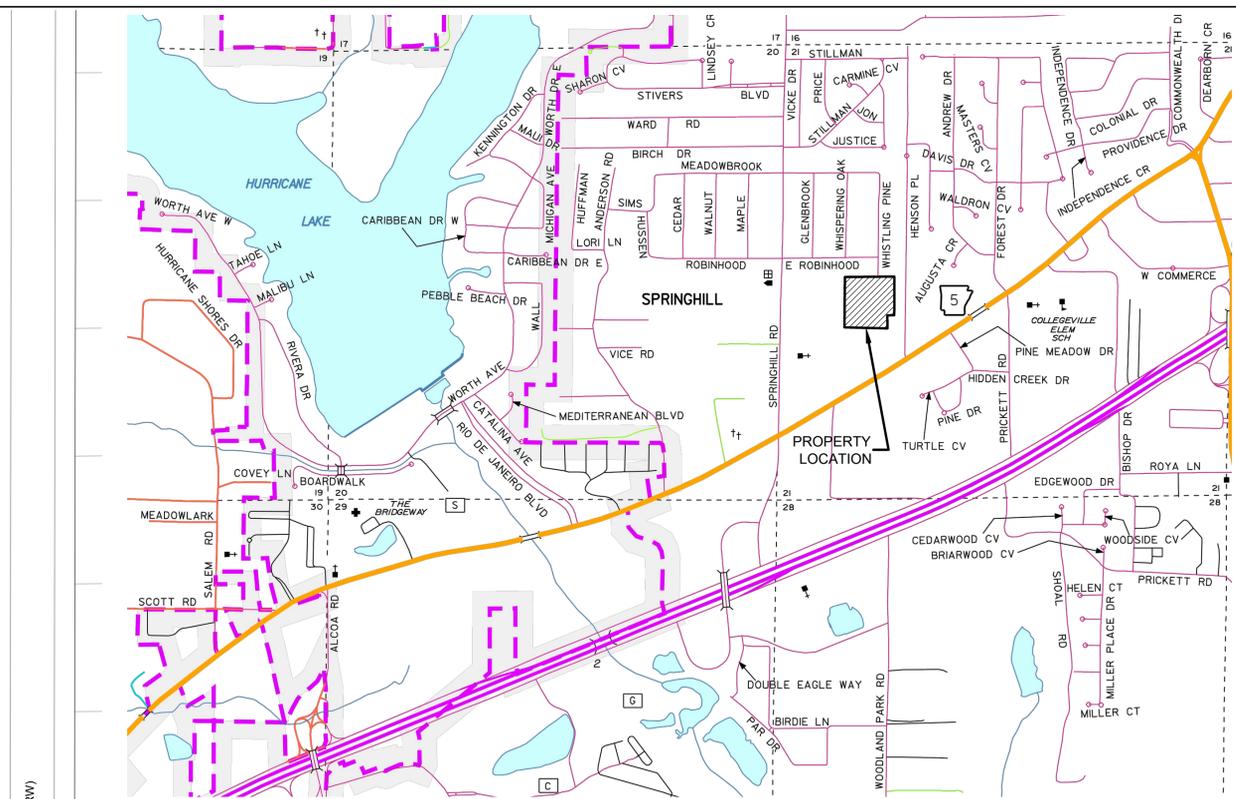
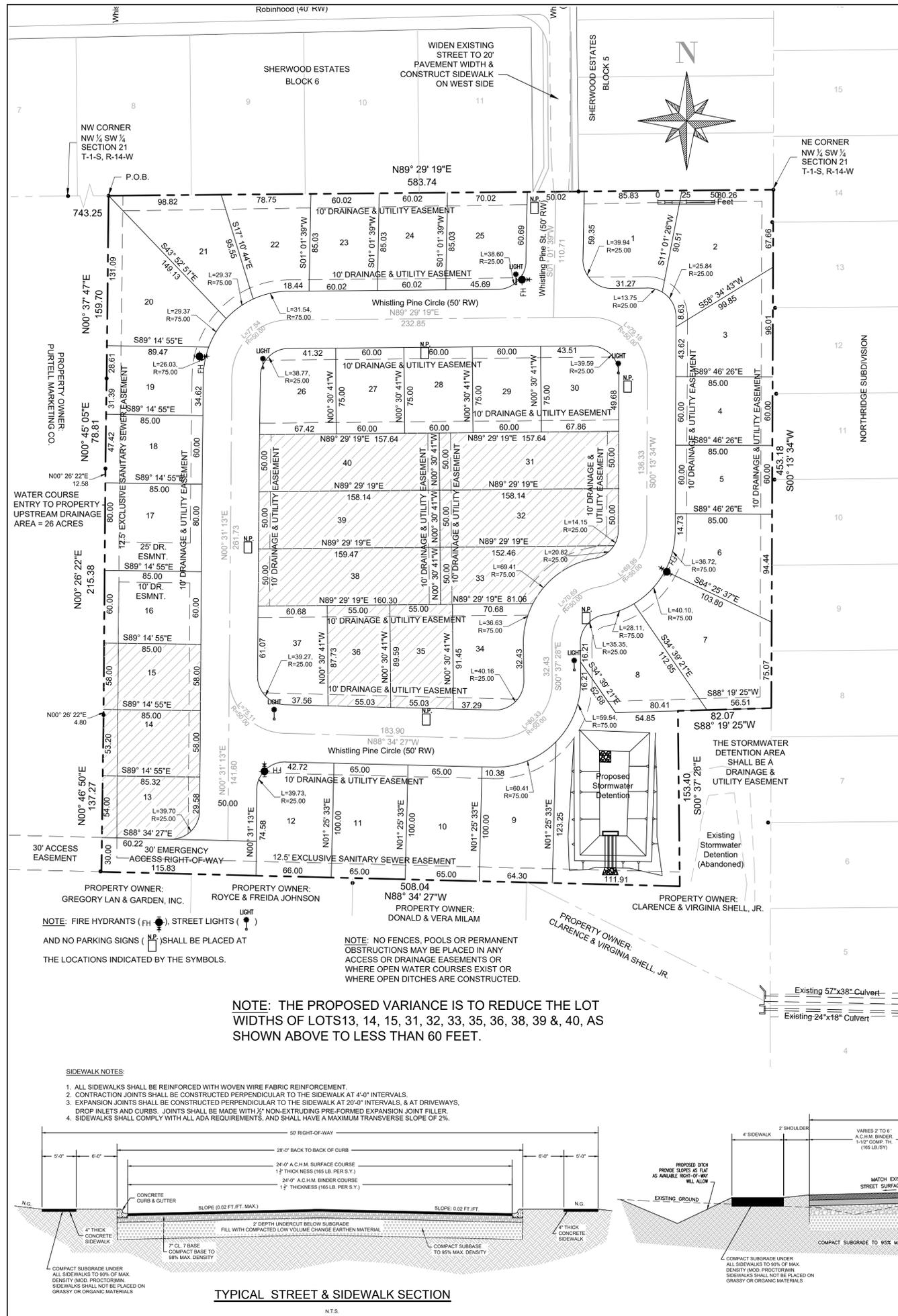
I am requesting variance #1 because it seems like an unreasonable burden to provide a more restrictive setback for this building than the setback used for other buildings already on the site.

I am requesting variance #2 because I believe that it is common knowledge that the surrounding residential property will be/could be zoned commercial if those property owners requested that they be rezoned. The setbacks requested exceed current setbacks for commercial to commercial zoning. They are set to comply with previous zoning requirements for commercial to residential, which were less restrictive than the current zoning code.

Sincerely,

Vernon J. Williams, P.E.

GarNat Engineering, LLC



OWNER & SUBDIVIDER: Maples Development C., LLC, 5119 Wall St., Benton, Arkansas 72019

CERTIFICATE OF OWNER

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution: 5/19/2023
 Name: 5119 Wall Street, Benton, AR 72019
 Address

Source of Title: D. R. Book 2006 Page 138623

CURRENT ZONING: R-1

CERTIFICATE OF RECORDING

This document, number _____, filed for record _____, 20____, in Plat Book _____, Page _____, Name(Clerk) _____

CERTIFICATE OF PRELIMINARY PLAT APPROVAL

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution: _____ Name: Bryant Planning Commission

LOCATION OF BUILDING LINES

Structures must be set back a minimum of 20 feet from the front property lines, a minimum of 8 feet from the interior side lot lines (15 feet from a side lot line that is facing a street), and a minimum of 20 feet from the rear property lines.

DEDICATION OF EASEMENTS

Easements for the installation and maintenance of utility lines are hereby reserved across the front ten feet and the rear ten feet of each lot, and as otherwise shown on plat.

CERTIFICATE OF SURVEYING ACCURACY

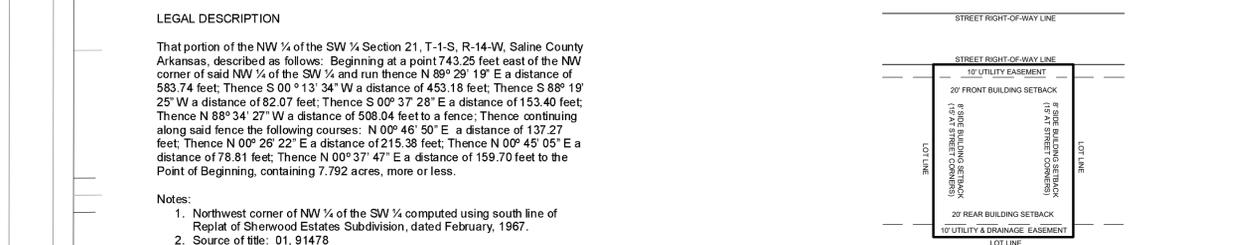
I, Kerry D. Lane, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision, that all monuments shown hereon actually exist and their location, size, type, and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property sides as required in accordance with the city of Bryant Subdivision Rules and Regulations.

Professional Land Surveyor, #1141, Arkansas.

CERTIFICATE OF ENGINEERING ACCURACY

I, C. Michael Bolin, hereby certify that the construction plans prepared for the development depicted by this plat, have been designed in accordance with the subdivision regulations, city standards and requirements, and applicable local, state and federal laws, and that the water, sewer, and stormwater systems are adequate to support this development.

By: _____ Date: _____
 Arkansas Professional Engineer License # 4197



LEGAL DESCRIPTION

That portion of the NW 1/4 of the SW 1/4 Section 21, T-1-S, R-14-W, Saline County Arkansas, described as follows: Beginning at a point 743.25 feet east of the NW corner of said NW 1/4 of the SW 1/4 and run thence N 89° 29' 19" E a distance of 583.74 feet; Thence S 00° 13' 34" W a distance of 453.18 feet; Thence S 89° 19' 25" W a distance of 82.07 feet; Thence S 00° 37' 28" E a distance of 153.40 feet; Thence N 88° 34' 27" W a distance of 508.04 feet to a fence; Thence continuing along said fence the following courses: N 00° 46' 50" E a distance of 137.27 feet; Thence N 00° 26' 22" E a distance of 215.38 feet; Thence N 00° 45' 05" E a distance of 78.81 feet; Thence N 00° 37' 47" E a distance of 159.70 feet to the Point of Beginning, containing 7.792 acres, more or less.

Notes:

- Northwest corner of NW 1/4 of the SW 1/4 computed using south line of Replat of Sherwood Estates Subdivision, dated February, 1967.
- Source of title: 01, 91478

AS-BUILT DATE:

CONTACT PERSON: M. BOLIN

SCALE: 1" = 50'

DATE: MARCH 2021

WHISTLING PINES PRELIMINARY PLAT

JOB NO. 139-ABC SHEET NO. 1 OF 1

REAL ESTATE SERVICES OF SALINE CO. INC.

1200 FERGUSON DR, SUITE 5, BENTON, ARKANSAS 72015 501-315-8866

MICHAEL BOLIN & ASSOCIATES, INC.

CONSULTING ENGINEERS

P.O. BOX 605, BENTON, AR 72018, (501) 776-2692
 FAX (501) 776-2619 EMAIL: cmbolin@sbcglobal.net

BRYANT, ARKANSAS

PRELIMINARY PLAT - VARIANCE

WHISTLING PINES

REGISTERED PROFESSIONAL ENGINEER

STATE OF ARKANSAS

REGISTERED PROFESSIONAL LAND SURVEYOR

AS-BUILT DATE:

CONTACT PERSON: M. BOLIN

SCALE: 1" = 50'

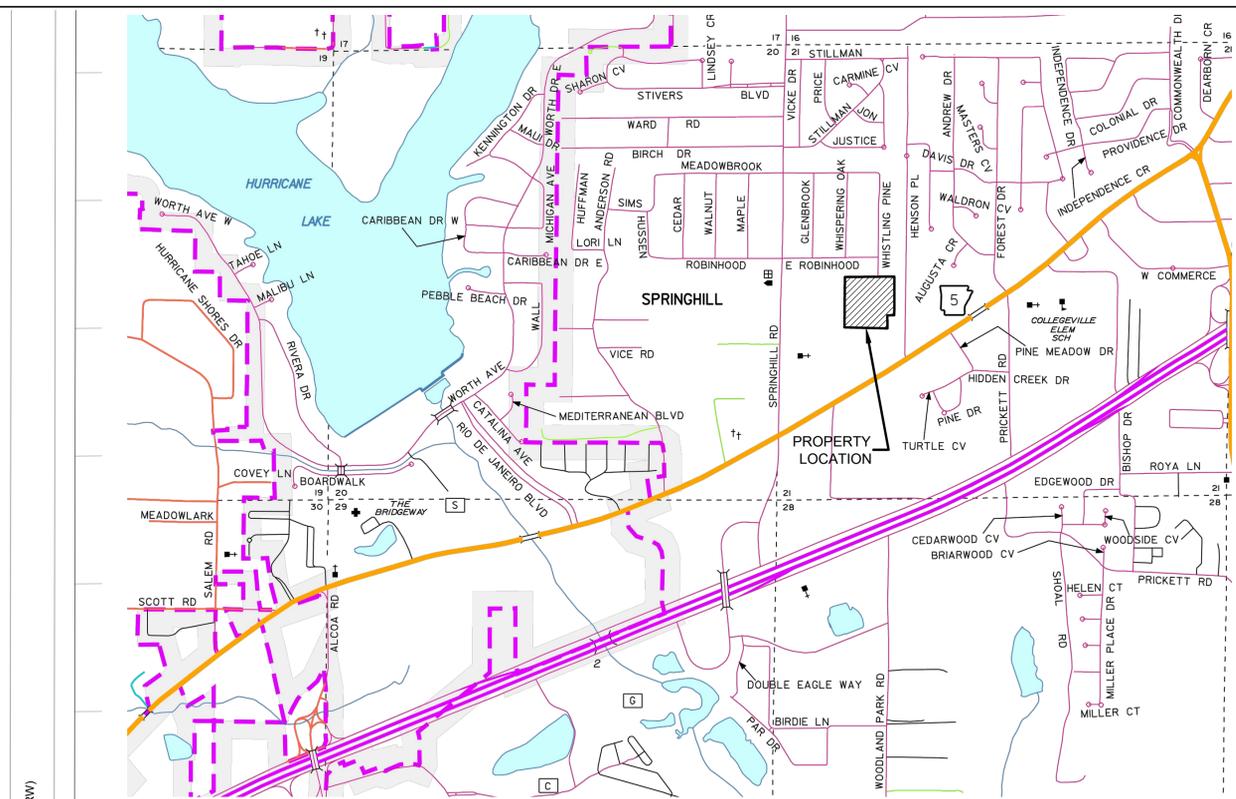
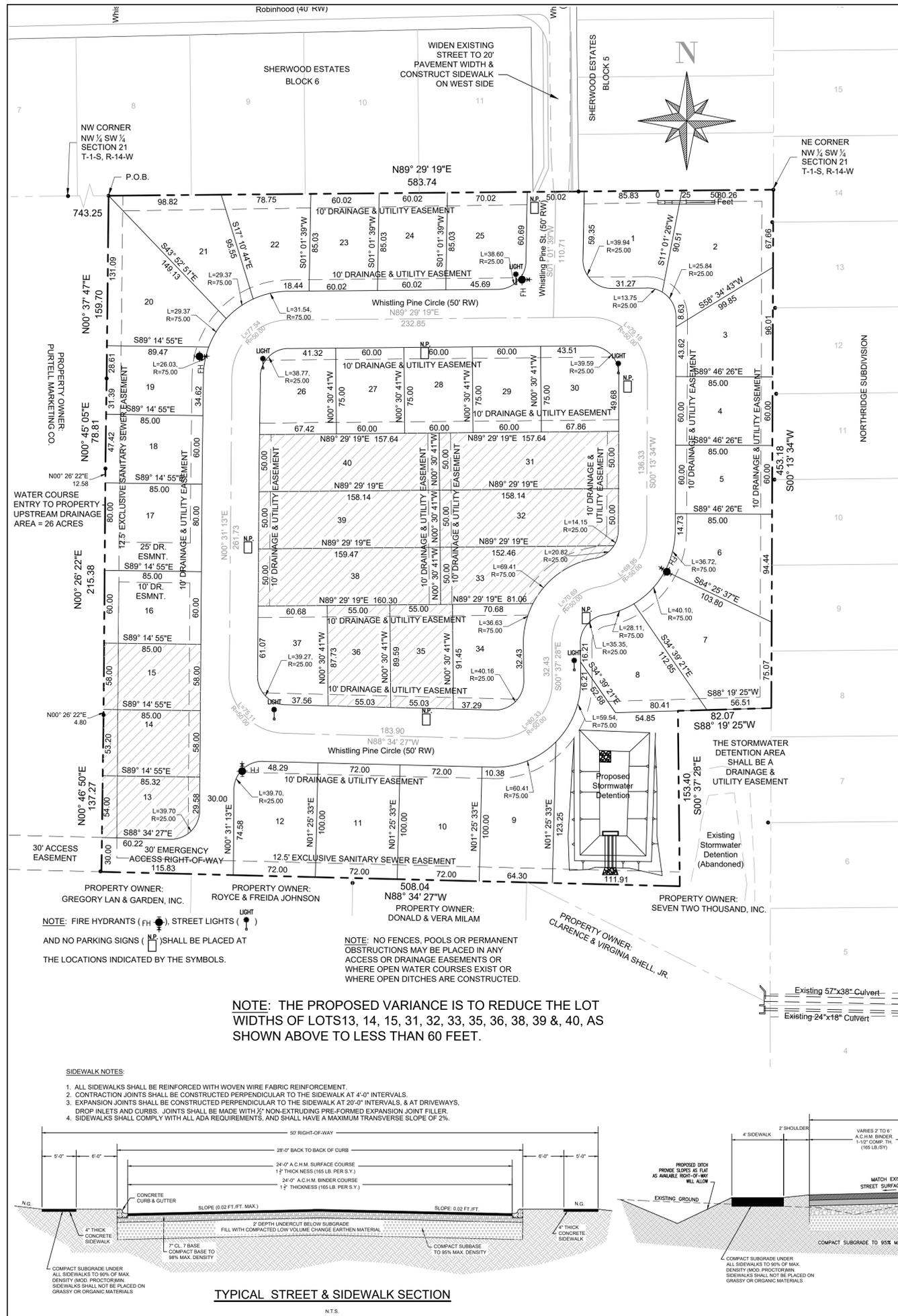
DATE: MARCH 2021

WHISTLING PINES PRELIMINARY PLAT

JOB NO. 139-ABC SHEET NO. 1 OF 1

REAL ESTATE SERVICES OF SALINE CO. INC.

1200 FERGUSON DR, SUITE 5, BENTON, ARKANSAS 72015 501-315-8866



OWNER & SUBDIVIDER: Maples Development C., LLC, 5119 Wall St., Benton, Arkansas 72019

CERTIFICATE OF OWNER
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution: 5/19/2023
Name: 5119 Wall Street, Benton, AR 72019
Address

Source of Title
D. R. Book 2006 Page 138623

CURRENT ZONING: R-1

CERTIFICATE OF RECORDING
This document, number _____, filed for record _____, 20____
in Plat Book _____ Page _____
Name(Clerk)

CERTIFICATE OF PRELIMINARY PLAT APPROVAL
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution: _____ Name: Bryant Planning Commission

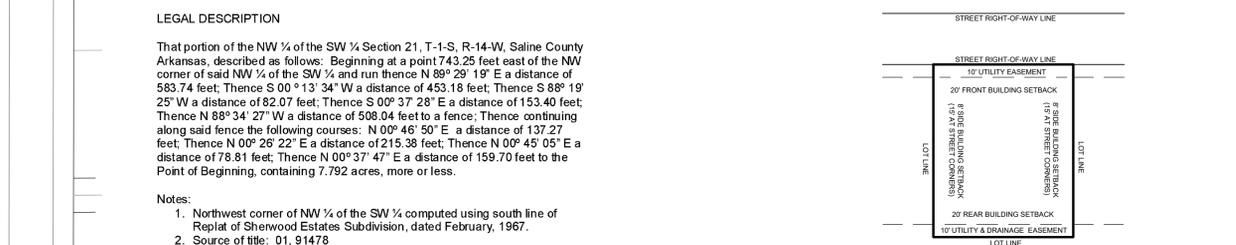
LOCATION OF BUILDING LINES
Structures must be set back a minimum of 20 feet from the front property lines, a minimum of 8 feet from the interior side lot lines (15 feet from a side lot line that is facing a street), and a minimum of 20 feet from the rear property lines.

DEDICATION OF EASEMENTS
Easements for the installation and maintenance of utility lines are hereby reserved across the front ten feet and the rear ten feet of each lot, and as otherwise shown on plat.

CERTIFICATE OF SURVEYING ACCURACY
I, Kerry D. Lane, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision, that all monuments shown hereon actually exist and their location, size, type, and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property sides as required in accordance with the city of Bryant Subdivision Rules and Regulations.

CERTIFICATE OF ENGINEERING ACCURACY
I, C. Michael Bolin, hereby certify that the construction plans prepared for the development depicted by this plat, have been designed in accordance with the subdivision regulations, city standards and requirements, and applicable local, state and federal laws, and that the water, sewer, and stormwater systems are adequate to support this development.

By: _____ Date: _____
Professional Land Surveyor, #1141, Arkansas.
Arkansas Professional Engineer License # 4197



LEGAL DESCRIPTION
That portion of the NW 1/4 of the SW 1/4 Section 21, T-1-S, R-14-W, Saline County Arkansas, described as follows: Beginning at a point 743.25 feet east of the NW corner of said NW 1/4 of the SW 1/4 of the SW 1/4 Section 21, T-1-S, R-14-W, Saline County Arkansas, a distance of 533.74 feet; Thence S 00° 13' 34" W a distance of 453.18 feet; Thence S 89° 19' 25" W a distance of 82.07 feet; Thence S 00° 37' 28" E a distance of 153.40 feet; Thence N 88° 34' 27" W a distance of 508.04 feet to a fence; Thence continuing along said fence the following courses: N 00° 46' 50" E a distance of 137.27 feet; Thence N 00° 26' 22" E a distance of 215.38 feet; Thence N 00° 45' 05" E a distance of 78.81 feet; Thence N 00° 37' 47" E a distance of 159.70 feet to the Point of Beginning, containing 7.792 acres, more or less.

Notes:

- Northwest corner of NW 1/4 of the SW 1/4 computed using south line of Replat of Sherwood Estates Subdivision, dated February, 1967.
- Source of title: 01, 91478

AS-BUILT DATE: _____
CONTACT PERSON: M. BOLIN
SCALE: 1" = 50'
DATE: MARCH 2021

REGISTERED PROFESSIONAL ENGINEER
KERRY D. LANE
No. 4197

REGISTERED PROFESSIONAL LAND SURVEYOR
MICHAEL BOLIN
No. 2023

REAL ESTATE SERVICES OF SALINE CO. INC.
1200 FERGUSON DR, SUITE 5, BENTON, ARKANSAS 72015 501-315-8866

DATE: 12-07-2006

WHISTLING PINES PRELIMINARY PLAT

JOB NO. 139-ABC SHEET NO. 1 OF 1

MICHAEL BOLIN & ASSOCIATES, INC.
CONSULTING ENGINEERS
P.O. BOX 605, BENTON, AR 72018, (501) 776-2692
FAX (501) 776-2619 EMAIL: cmbolin@sbcglobal.net

BRYANT, ARKANSAS

PRELIMINARY PLAT - VARIANCE

WHISTLING PINES

MICHAEL BOLIN & ASSOCIATES, INC.

CONSULTING ENGINEERS
P.O. BOX 605
BENTON, AR 72018-0605

May 27, 2021

Mr. Truett Smith
City of Bryant
210 Southwest 3rd Street
Bryant, AR 72022

Re: Job No. 139-ABC
Whistling Pines Subdivision
Bryant, Arkansas

Dear Mr. Smith:

This is to request a variance reducing the width of eleven lots located in the NW1/4 SW1/4, Section 21, Township 1 South, Range 14 West, Saline County, Arkansas.

We are enclosing the following:

- Application for Variance
- Legal description of property
- Drawing of proposed variance
- Copy of letter sent to surrounding property owners
- List of surrounding property owners
- A check in the amount of \$125.00

We are requesting that this be considered at the June 14, 2021 meeting.

Very truly yours,

MICHAEL BOLIN & ASSOCIATES, INC.



Michael Bolin, P.E.
President

MB:lo
Enclosures

**City of Bryant, Arkansas
BOARD OF ZONING ADJUSTMENT
APPLICATION FOR VARIANCE**

APPLICANT

NAME: The Maples Development Co., LLC

SPOUSE NAME: _____

PROJECT LOCATION

PROPERTY ADDRESS: 2800 Whistling Pine

LEGAL DESCRIPTION:
Part of the NW 1/4 SW 1/4, Section 21, Township 1 South,
range 14 West

DESCRIPTION OF VARIANCE BEING SOUGHT (attach any necessary drawings):
Reduction of lot front width on 11 lots

PROPOSED USE:
Duplex subdivision

Existing Zoning Classification: R-1

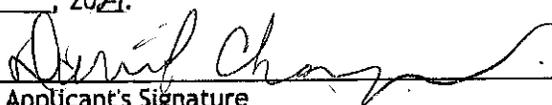
Requested Change: N/A

Plat of Property is Attached: Yes

Vicinity map of property is attached: Yes

The undersigned designates the following process agent or attorney to represent the applicant at all hearings: Michael Bolin & Associates, Inc.

This 27 day of MAY, 2021.


Applicant's Signature

Applicant's Spouse Signature

6550 Westminster Ave, Benton 72019
Applicant's address

Applicant's Phone

LEGAL DESCRIPTION

That portion of the NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ Section 21, T-1-S, R-14-W, Saline County Arkansas, described as follows: Beginning at a point 743.25 feet east of the NW corner of said NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ and run thence N $89^{\circ} 29' 19''$ E a distance of 583.74 feet; Thence S $00^{\circ} 13' 34''$ W a distance of 453.18 feet; Thence S $88^{\circ} 19' 25''$ W a distance of 82.07 feet; Thence S $00^{\circ} 37' 28''$ E a distance of 153.40 feet; Thence N $88^{\circ} 34' 27''$ W a distance of 508.04 feet to a fence; Thence continuing along said fence the following courses: N $00^{\circ} 46' 50''$ E a distance of 137.27 feet; Thence N $00^{\circ} 26' 22''$ E a distance of 215.38 feet; Thence N $00^{\circ} 45' 05''$ E a distance of 78.81 feet; Thence N $00^{\circ} 37' 47''$ E a distance of 159.70 feet to the Point of Beginning, containing 7.792 acres, more or less.

Notes:

1. Northwest corner of NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ computed using south line of Replat of Sherwood Estates Subdivision, dated February, 1967.
2. Source of title: 01, 91478

Checklist of Items for Board of Zoning Adjustment

- ✓ **Application for Variance - Filed with the Planning Commission Secretary no less than 14 days prior to the regular Planning Commission meeting.**
- ✓ **Letter requesting Variance - A letter requesting the variance and why along with the Application filed with the Planning Commission Secretary no less than 14 days prior to the regular Planning Commission meeting.**
- ✓ **Legal Description - A legible typed legal description of property in question along with a plat of the property and a vicinity map filed with the Planning Commission Secretary no less than 14 days prior to the regular Planning Commission meeting.**
- ✓ **File with application - Scale drawing showing the requested variance along with all relevant information.**
- ✓ **Certified Letters to All Owners within 300 Feet - After notification, the postmarked certified receipts and/or return receipts are filed with the Planning Commission Secretary.**
- ✓ **Certified list of Property Owners within 300 Feet - A list including the names of property owners. Filed with the Planning Commission Secretary along with the certified receipts-returns.**

CITY OF BRYANT
BOARD OF ZONING ADJUSTMENT
POWER RELATIVE TO VARIATIONS
CHECKLIST

At least one checkmark should appear under each of the items 1, 2, and 3 below in order for the Board of Zoning Adjustment to have the power to grant a variation. The board may not grant a variance in use.

1. Exceptional Condition of a Specific Piece of Property

Narrowness

Shallowness

Shape

Topographical Conditions

Other Extraordinary or Exceptional Situation or Condition

Extensive drainage and sewer easements utilize much of the property.

2. Frequency of Occurrence of Exceptional Condition

Not Generally Prevalent in the Area

3. Result of a Strict Application of the Zoning Ordinance

Peculiar and Exceptional Practical Difficulty to the Owner of the Property

Exceptional and Undue Hardship on the Owner of the Property

MICHAEL BOLIN & ASSOCIATES, INC.

CONSULTING ENGINEERS
P.O. Box 605
BENTON, AR 72018-0605

May 26, 2021

Dear Property Owner:

The property located 2800 Whistling Pine is being considered for a variance to allow narrower lot width on eleven (11) lots. The property is zoned R-1. The property is more particularly described as follows:

LEGAL DESCRIPTION

Part of the NW 1/4 SW ¼, Section 21, Township 1 South, Range 14 West, Saline County, Arkansas.

A petition has been filed with the Board of Adjustment for this variance. As a part of this process a public hearing will be held June 14, 2021, at 6:00 PM in the Bryant City Office Complex, 210 Southwest 3rd Street, Bryant, Arkansas 72022. Public comments will be accepted at that time regarding this variance.

Since you own property within 300 feet of the tract in consideration, you have been mailed this letter via certified mail as required by city ordinance. Also enclosed is a vicinity map for your use.

Should you have any questions regarding this matter you may contact the Truett Smith, Planning & Community Development Director, at 501-943-0309, or by calling Michael Bolin at 501-776-2692.

Thank you for your consideration in this matter.

Sincerely,



Michael Bolin, P.E.

Jeffrey East
2714 Henson Place
Bryant, AR 72022

Brittany Sehon
2715 Henson Place
Bryant, AR 72022

Cathy Farrell
2721 Henson Place
Bryant, AR 72022

Marsha Hippler
2720 Henson Place
Bryant, AR 72022

Kristy Breedlove
2726 Henson Place
Bryant, AR 72022

Cynthia Ball
2727 Henson Place
Bryant, AR 72022

Steve M. or Aimee N. Smith
2802 Henson Place
Bryant, AR 72022

Mark or Kelly Burrus
2803 Henson Place
Bryant, AR 72022

Shanlita Richard
2808 Henson Place
Bryant, AR 72022

Dinh Thi Tran
2809 Henson Place
Bryant, AR 72022

Babak Azad-Tatari or Sarah Garcia
2814 Henson Place
Bryant, AR 72022

Mailing Address: 3164 Corinth Ave.
Los Angeles, CA 90066

Jonathan Caldwell
2815 Henson Place
Bryant, AR 72022

Joshua Gardner
2820 Henson Place
Bryant, AR 72022

Edward or Katherine Crawford
2821 Henson Place
Bryant, AR 72022

Leigh or Marc Gibson
2902 Henson Place
Bryant, AR 72022

Karla or Ryan Eppinette
2903 Henson Place
Bryant, AR 72022

Deborah K. Hansen
2908 Henson Place
Bryant, AR 72022

Steve C. or Jean A. Cox
2909 Henson Place
Bryant, AR 72022

Jennifer L. Davis
2914 Henson Place
Bryant, AR 72022

Richard or Robin West
2915 Henson Place
Bryant, AR 72022

Mailing Address: 721 Sunset Salem Drive
Benton, AR 72015

Tony or Tran Mai Trinh
2920 Henson Place
Bryant, AR 72022

John W. or Patricia C. Davis
2921 Henson Place
Bryant, AR 72022

Glynn or Mary Reynolds
3705 Highway 5 North
Bryant, AR 72022

Mailing Address: 2513 Aberdeem Dr.
Bryant, AR 72022

Martin & Tucker Investments, Inc.
3801 Highway 5 North
Bryant, AR 72022

Gregory Lawn & Garden
3809 Highway 5 North
Bryant, AR 72022

Freida Johnson
3907 Highway 5 North
Bryant, AR 72022

Mailing Address: 5301 Springhill Rd.
Alexander, AR 72002-9062

Donald or Vera Milam
4009 Highway 5 North
Bryant, AR 72022

Clarence Shell, Jr.
4101 Highway 5 North
Bryant, AR 72022

Purtell Marketing Co.
2702 Springhill Road
Bryant, AR 72022

Mailing Address: 7182 Haggerty Rd.
Hillsboro, OH 45133

Alan G. or Blanche M. Matheny
2826 Whistling Pine
Bryant, AR 72022

Mailing Address: 9000 Springhill Farms Dr.
Alexander, AR 72002-9556

MS Rental LLC
2830 Whistling Pine
Bryant, AR 72022

Mailing Address: P. O. Box 702
Bryant, AR 72089

Melissa Shearer-Halley
2904 Whistling Pine
Bryant, AR 72022

Mailing Address: 6707 Julie Dr.
Alexander, AR 72002

Pamela Harris
2911 Whistling Pine
Bryant, AR 72022

Quintessa Nelson
2215 E. Robinhood Dr.
Bryant, AR 72022

Bartolo M. Lozada
2224 E. Robinhood Dr.
Bryant, AR 72022

Mailing Address: 3122 Cedar Park St.
Bryant, AR 72022

Archie or Shirley Barnard
2225 E. Robinhood Dr.
Bryant, AR 72022

Ricky L. Threlkeld
2306 E. Robinhood Dr.
Bryant, AR 72022

Joseph or Dwan Cagnina
2325 E. Robinhood Dr.
Bryant, AR 72022

Mailing Address: 2405 E. Robinhood Dr.

Karen Cottey
2908 Whispering Oak St.
Bryant, AR 72022

Johnny Gurrieri
2904 Glenbrook St.
Bryant, AR 72022

Mailing Address: 3002 Glenbrook St.