



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: September 18, 2025 - **Time:** 9:00 AM

Call to Order

Old Business

1. Midtown Bryant - Block 2 Lot 8 - Minor Exception

HD Homes - Requesting Minor Exception from Midtown Code to Allow for Additional Alley Access

- [0991-PLN-01.pdf](#)

2. Finley Business Park - 25300 I-30 - Commercial Plat

Hope Consulting - Requesting Recommendation for Approval of Commercial Subdivision Plat

- [0981-LTR-01.pdf](#)
- [0981-PLT-02.pdf](#)

New Business

3. 6128 Hwy 5 - Site Plan - Lot 22R of Marketplace II Subdivision Ph3

Hope Consulting - Requesting Recommendation for Site Plan Approval

- [0986-PLN-01.pdf](#)

4. 25190 I-30 - 2 Lot Commercial Plat

Hope Consulting - Requesting Recommendation for Approval of Plat

- [0988-PLT-01.pdf](#)
- [0988-LTR-01.pdf](#)

5. Creekside Addition Phase 2B - Final Plat

GarNat Engineering - Requesting Recommendation for Approval of Final Plat

- [0989-ASBSWR-01.pdf](#)
- [0989-ASBWTR-01.pdf](#)
- [0989-CRTLTR-01.pdf](#)
- [0989-APP-01.pdf](#)
- [0989-LTR-01.pdf](#)
- [0989-PLT-01.pdf](#)

6. Marketplace East Phase 2 - Preliminary Plat

GarNat Engineering - Requesting Recommendation for Approval of Preliminary Plat

- [0992-PLN-01.pdf](#)

7. Reynolds Centre - Lot 2 - Replat into 2A and 2B

Crafton Tull - Requesting Recommendation for Approval of Replat into two lots

- [0987-LTR-01.pdf](#)
- [0987-PLT-01.pdf](#)

8. Cornerstone Montessori - 4910 Springhill Rd - Half-Street Improvements

Richardson Engineering - Requesting Approval for Half-street Improvement Plans

- [0990-DRN-01.pdf](#)
- [0990-PLN-01.pdf](#)

Permit Report

Adjournments

7.1) And Protects you! (Survey) 2025/15-0927 LS & PP Lot 4. Bk a Midtown Bryant (SURVEY) DWG 15-0927 LS & PP Lot 4. Bk a Midtown Bryant ALL LOTS OPTION 4 dwg | Plotted: 8/10/2025 1:57 PM | © Davis Hesse Consulting, Inc.

September 10, 2025

Colton Leonard
City of Bryant
Planning and Development
210 SW 3rd Street
Bryant, AR 72022

Subject: Final Plat – Finley Business Park

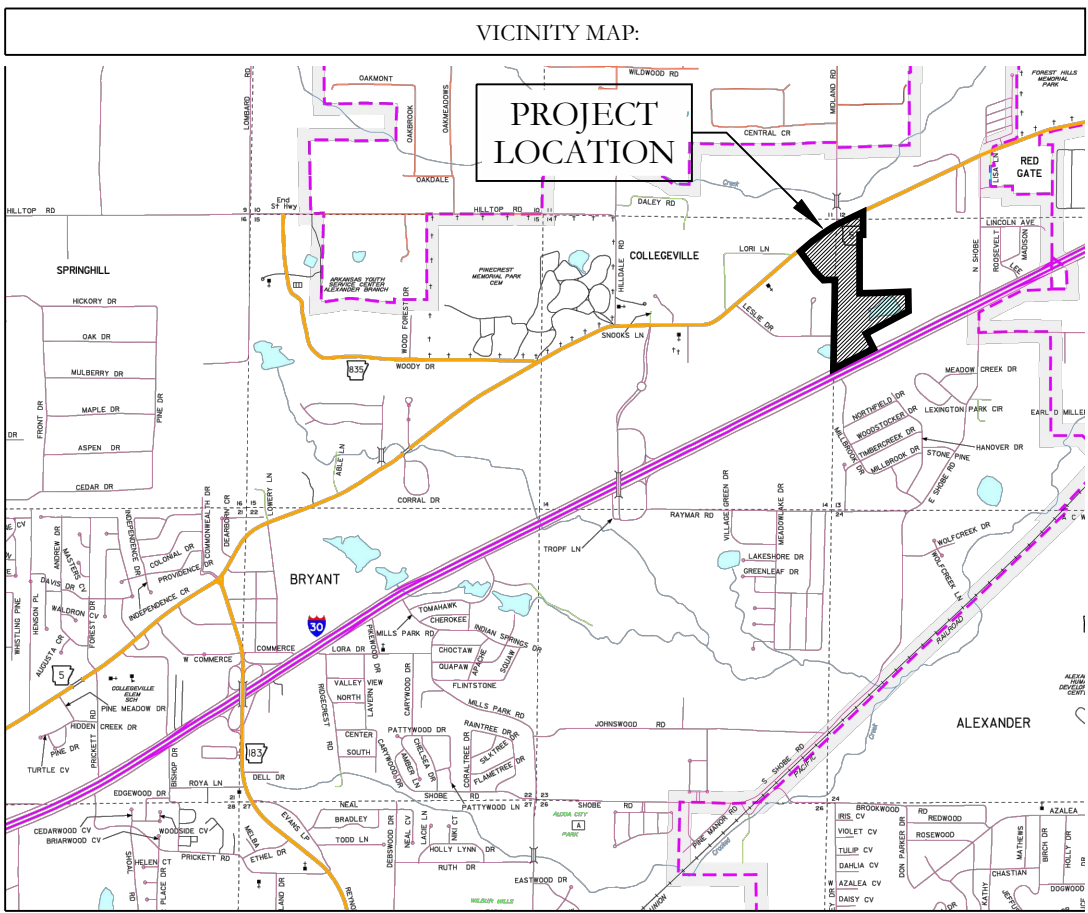
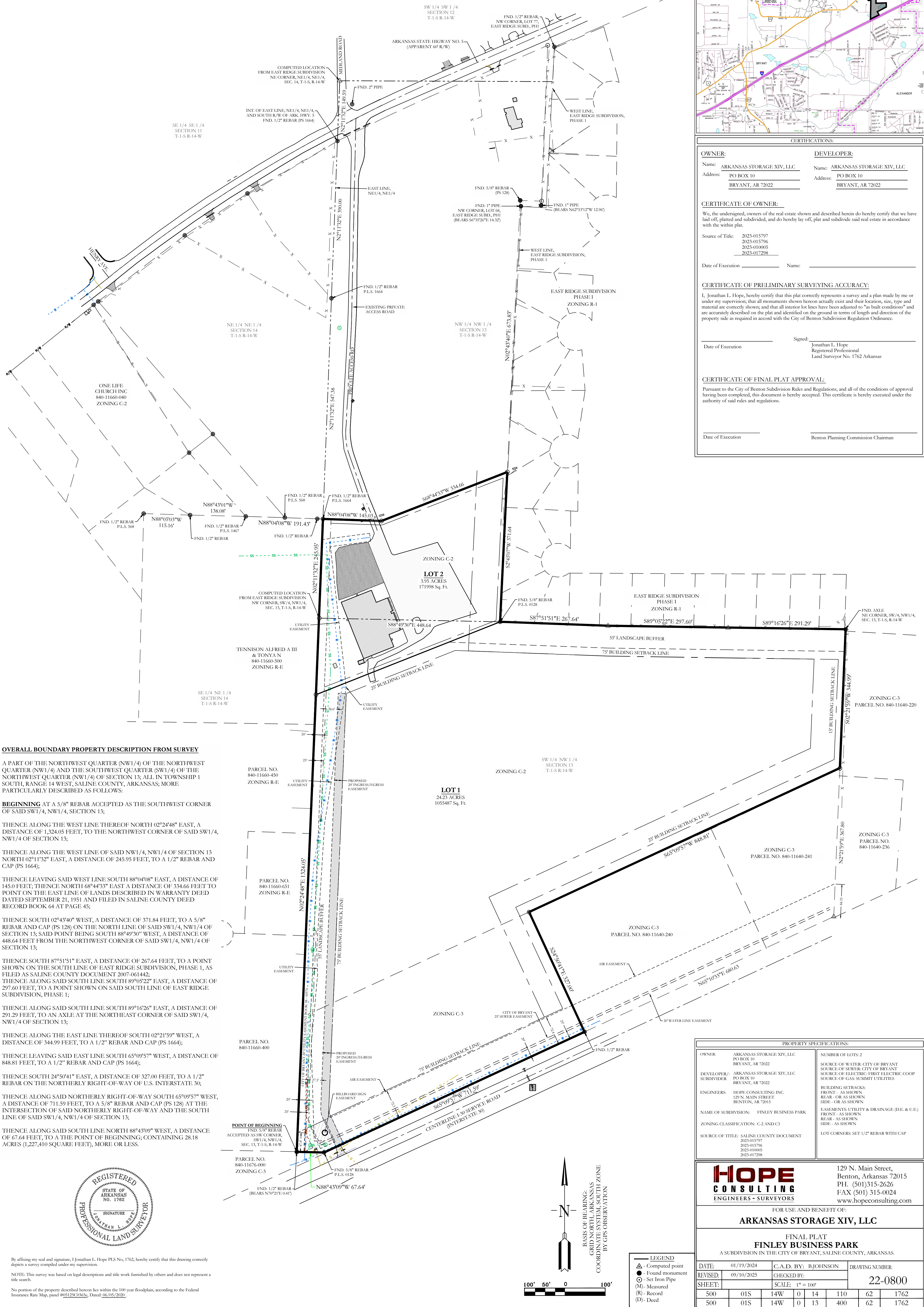
Dear Colton,

On behalf of our client, Arkansas Storage XIV, LLC., I am formally requesting staff review for the Final Plat of Finley Business Park located on I-30, Bryant, AR. We would like to be placed on the DRC agenda on September 18th in hopes to be placed on the October Planning Commission agenda. We thank you for your review and look forward to addressing any comments.

Please feel free to contact me with any questions, concerns, or if I can be of any further assistance.

Sincerely,

Jonathan Hope



CERTIFICATIONS:	
OWNER:	DEVELOPER:
Name: ARKANSAS STORAGE XIV, LLC	Name: ARKANSAS STORAGE XIV, LLC
Address: PO BOX 10	Address: PO BOX 10
BRYANT, AR 72022	BRYANT, AR 72022
CERTIFICATE OF OWNER:	
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have had off, plotted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.	
Source of Title: 2023-015797 2023-015796 2023-010005 2023-017298	
Date of Execution	Name:
CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:	
I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Benton Subdivision Regulation Ordinance.	
Date of Execution	Signed: Jonathan L. Hope Registered Professional Land Surveyor No. 1762 Arkansas
CERTIFICATE OF FINAL PLAT APPROVAL:	
Pursuant to the City of Benton Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.	
Date of Execution	Benton Planning Commission Chairman

OVERALL BOUNDARY PROPERTY DESCRIPTION FROM SURVEY

A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 13, ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" REBAR ACCEPTED AS THE SOUTHWEST CORNER OF SAID SW1/4, NW1/4, SECTION 13;

THENCE ALONG THE WEST LINE THEREOF NORTH 02°24'48" EAST, A DISTANCE OF 1,324.05 FEET, TO THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG THE WEST LINE OF SAID NW1/4, NW1/4 OF SECTION 13 NORTH 02°11'32" EAST, A DISTANCE OF 245.95 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE LEAVING SAID WEST LINE SOUTH 88°04'08" EAST, A DISTANCE OF 145.0 FEET; THENCE NORTH 68°44'33" EAST A DISTANCE OF 334.66 FEET TO POINT ON THE EAST LINE OF LANDS DESCRIBED IN WARRANTY DEED DATED SEPTEMBER 21, 1951 AND FILED IN SALINE COUNTY DEED RECORD BOOK 64 AT PAGE 45;

THENCE SOUTH 02°43'40" WEST, A DISTANCE OF 371.84 FEET, TO A 5/8" REBAR AND CAP (PS 128) ON THE NORTH LINE OF SAID SW1/4, NW1/4 OF SECTION 13; SAID POINT BEING SOUTH 88°49'30" WEST, A DISTANCE OF 448.64 FEET FROM THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE SOUTH 87°51'51" EAST, A DISTANCE OF 267.64 FEET, TO A POINT SHOWN ON THE SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1, AS FILED AS SALINE COUNTY DOCUMENT 2007-061442;

THENCE ALONG SAID SOUTH LINE SOUTH 89°05'22" EAST, A DISTANCE OF 297.60 FEET, TO A POINT SHOWN ON SAID SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1;

THENCE ALONG SAID SOUTH LINE SOUTH 89°16'26" EAST, A DISTANCE OF 291.29 FEET, TO AN AXLE AT THE NORTHEAST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG THE EAST LINE THEREOF SOUTH 02°21'59" WEST, A DISTANCE OF 344.99 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE LEAVING SAID EAST LINE SOUTH 65°09'57" WEST, A DISTANCE OF 848.81 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE SOUTH 24°50'41" EAST, A DISTANCE OF 327.00 FEET, TO A 1/2" REBAR ON THE NORTHERLY RIGHT-OF-WAY OF U.S. INTERSTATE 30;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY SOUTH 65°09'57" WEST, A DISTANCE OF 711.59 FEET, TO A 5/8" REBAR AND CAP (PS 128) AT THE INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY AND THE SOUTH LINE OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG SAID SOUTH LINE NORTH 88°43'09" WEST, A DISTANCE OF 67.64 FEET, TO A THE POINT OF BEGINNING; CONTAINING 28.18 ACRES (1,227,410 SQUARE FEET), MORE OR LESS.



By affixing my seal and signature, I, Jonathan L. Hope PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

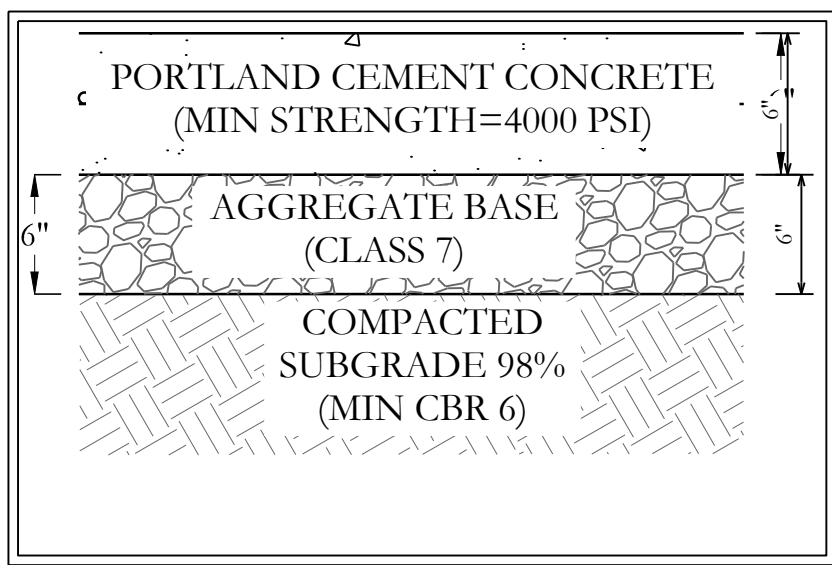
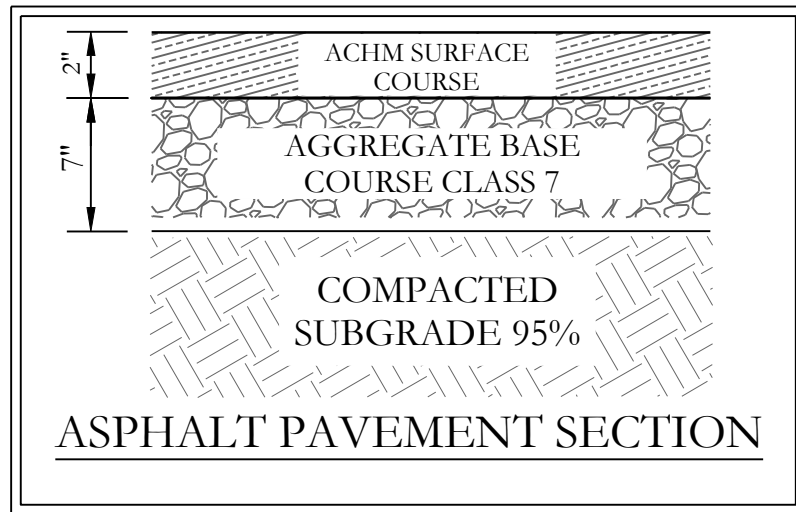
NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C0365c, Dated: 06/05/2020.

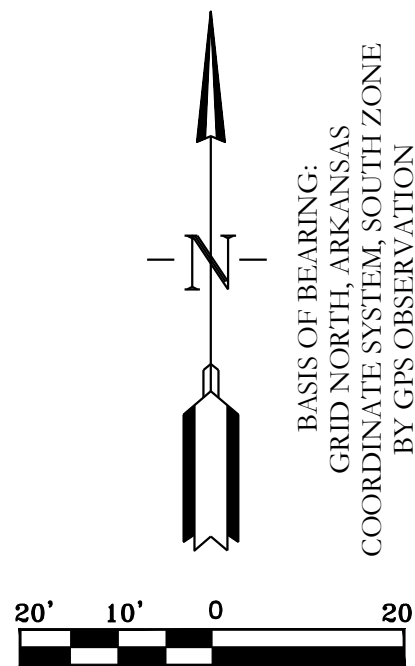
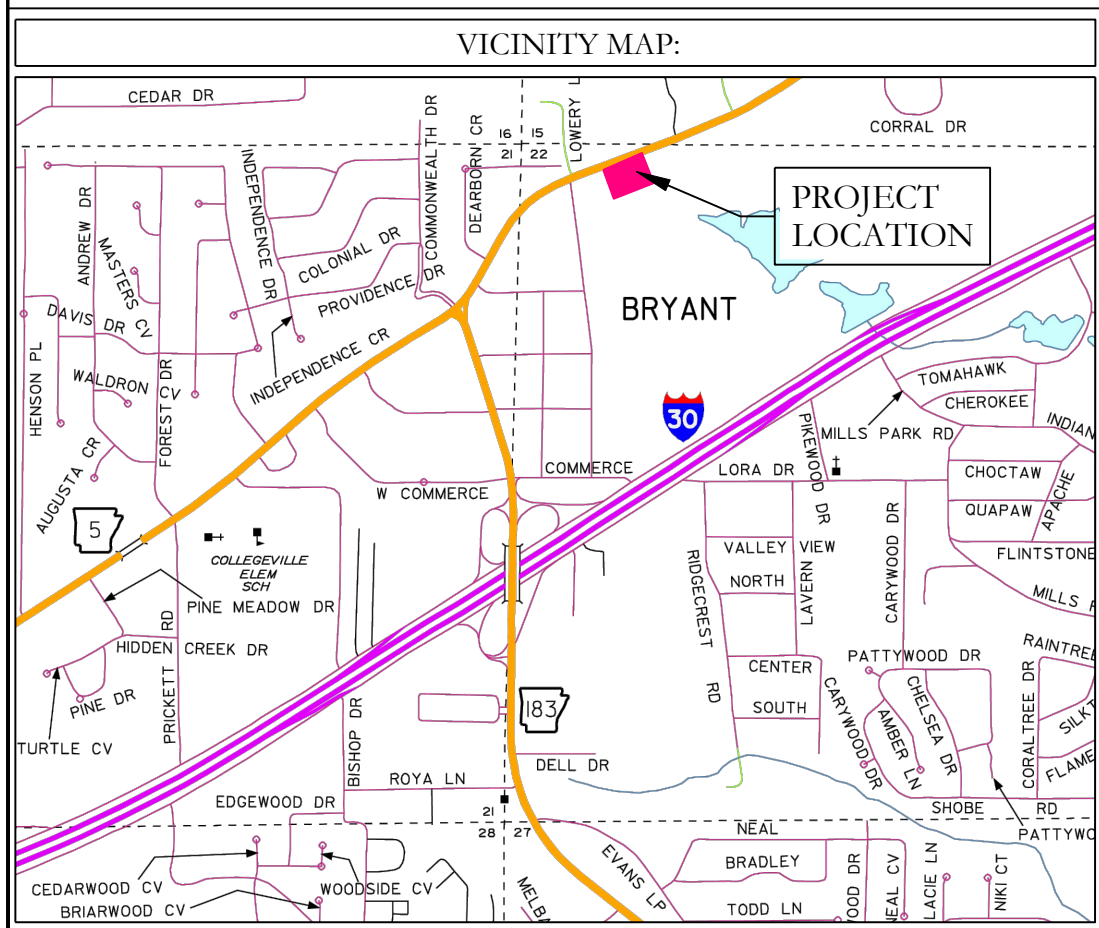
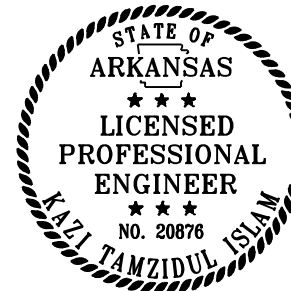
PROPERTY SPECIFICATIONS:			
OWNER:	ARKANSAS STORAGE XIV, LLC PO BOX 10 BRYANT, AR 72022	NUMBER OF LOTS: 2	SOURCE OF WATER: CITY OF BRYANT SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC COOP SOURCE OF GAS: SUMMIT UTILITIES
DEVELOPER/ SUBDIVIDER:	ARKANSAS STORAGE XIV, LLC PO BOX 10 BRYANT, AR 72022	BUILDING SETBACKS:	FRONT - AS SHOWN REAR - OR AS SHOWN SIDE - OR AS SHOWN
ENGINEERS:	HOPE CONSULTING, INC. 129 N. MAIN STREET BENTON, AR 72015	EASEMENTS: UTILITY & DRAINAGE (D/E & U/E):	FRONT - AS SHOWN REAR - AS SHOWN SIDE - AS SHOWN
NAME OF SUBDIVISION:	FINLEY BUSINESS PARK	LOT CORNERS:	SET 1/2" REBAR WITH CAP
ZONING CLASSIFICATION:	C-2 AND C-3		
SOURCE OF TITLE:	SALINE COUNTY DOCUMENT 2023-015797 2023-015796 2023-010005 2023-017298		

HOPE CONSULTING ENGINEERS - SURVEYORS		129 N. Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF:			
ARKANSAS STORAGE XIV, LLC			
FINAL PLAT			
FINLEY BUSINESS PARK			
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.			
DATE:	01/19/2024	C.A.D. BY:	RJOHNSON
REVISER:	09/10/2025	CHECKED BY:	
SHEET:		SCALE:	1" = 100'
500	01S	14W	0 14 110 62 1762
500	01S	14W	0 13 400 62 1762

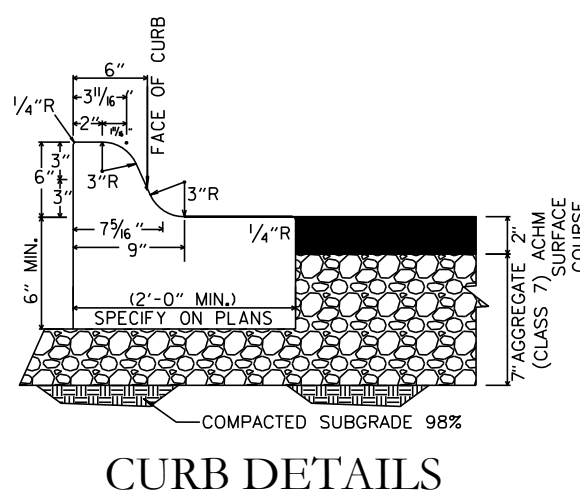
- LEGEND**
- Computed point
 - Found monument
 - Set Iron Pipe
 - Measured
 - Record
 - Deed



HEAVY DUTY CONCRETE PAVEMENT SECTION



SITE DATA	
TOTAL SITE AREA	1.30 ACRES
TOTAL DEVELOPMENT AREA	1.30 ACRES
GROSS BUILDING AREA	BUILDING 10476 SQ. FT.
BUILDING SETBACKS	FRONT SETBACK LINE: 30' RIGHT SIDE SETBACK LINE: AS SHOWN REAR SETBACK LINE: 15' LEFT SIDE SETBACK LINE: 15'
BUILDING HEIGHTS	1 STORY
BUSINESS TYPE	RETAIL
PARKING CALCULATION (PROVIDED)	PROVIDED PARKING SPACES 51 (1 ADA SPACES)



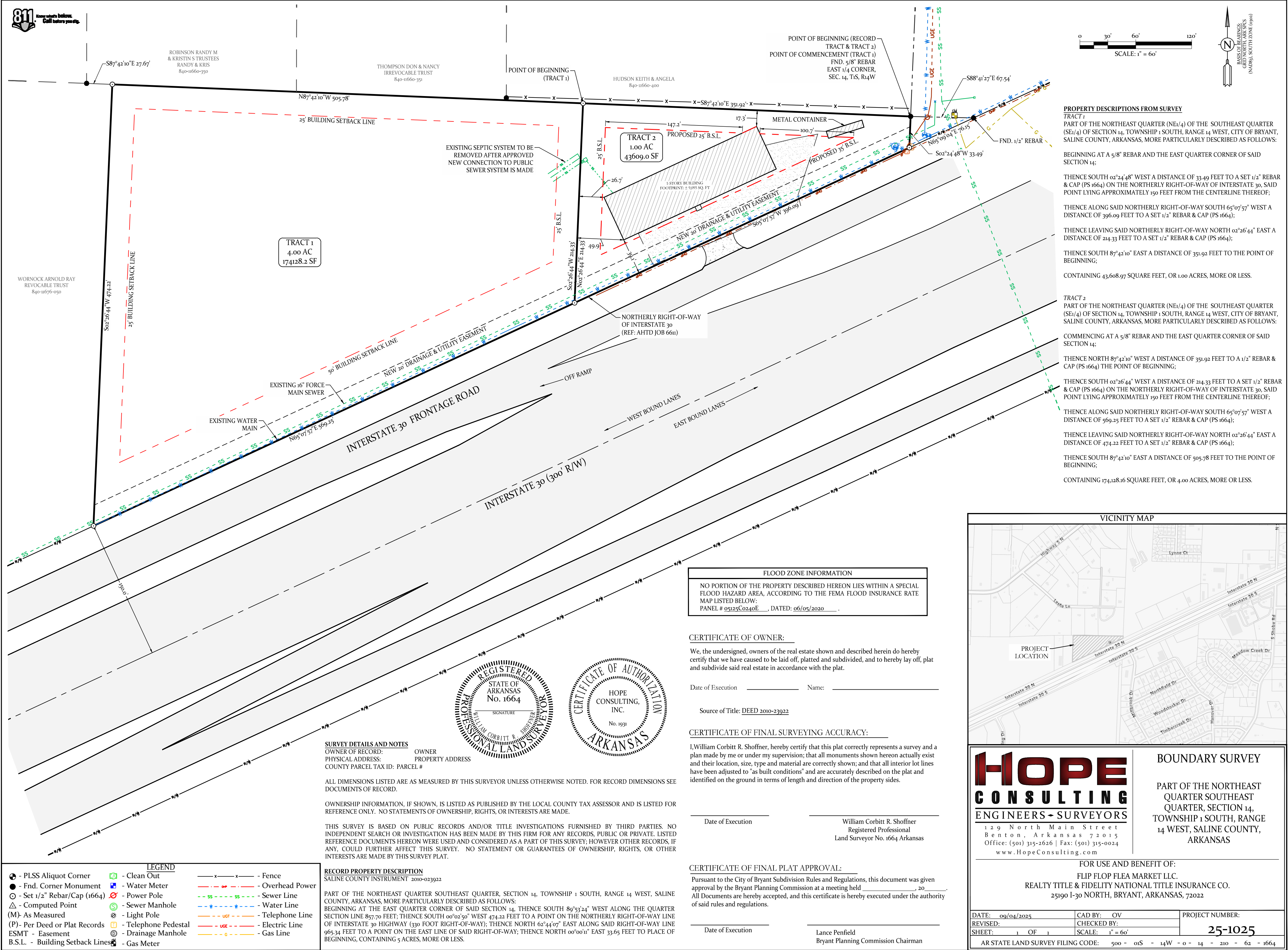
OWNER:	DEVELOPER:
Name: R & M DUNLAP PROPERTIES, LLC	Name: R & M DUNLAP PROPERTIES, LLC
Address: _____	Address: _____
Phone: _____	Phone: _____
Email: _____	Email: _____

LEGEND	
● - PLSS Aliquot Corner	■ - Clean Out
● - Fnd. Corner Monument	■ - Water Meter
○ - Set 1/2" Rebar/Cap (1664)	■ - Power Pole
△ - Computed Point	■ - Sewer Manhole
(M) - As Measured	○ - Light Pole
(P) - Per Deed or Plat Records	○ - Telephone Pedestal
ESMT - Easement	○ - Drainage Manhole
B.S.L. - Building Setback Lines	○ - Gas Meter
- Fence	- Existing Access Agreement
- Overhead Power	- Sewer Line
- Water Line	- Telephone Line
- Electric Line	- Gas Line
- Public Right-of-Way Dedication	

HOPE CONSULTING
ENGINEERS - SURVEYORS

129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF: RYE GENERAL CONTRACTORS			
MARKET PLACE II			
SITE PLAN			
6128 HIGHWAY 5, BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 08/20/2025	C.A.D. BY:	DRAWING NUMBER:	
REVISED:	CHECKED BY:	25-0608	
SHEET: C-1.0	SCALE:		



K:\Land Projects\2024\Survey\2025\1025\MOB 15-84-14-1500-1501 N. Bryant\SURVEY\DWG\35-1025 MOB 15-84-14-1500-1501 N. Bryant.dwg | Plotted: 04/2025 10:00 AM | ©2025 Hope Consulting, Inc.

September 5, 2025

Colton Leonard
City of Bryant
Planning and Development
210 SW 3rd.Street
Bryant, AR 72022

Subject: Replat Review Request – 25190 I-30 North, Bryant, AR

Dear Colton,

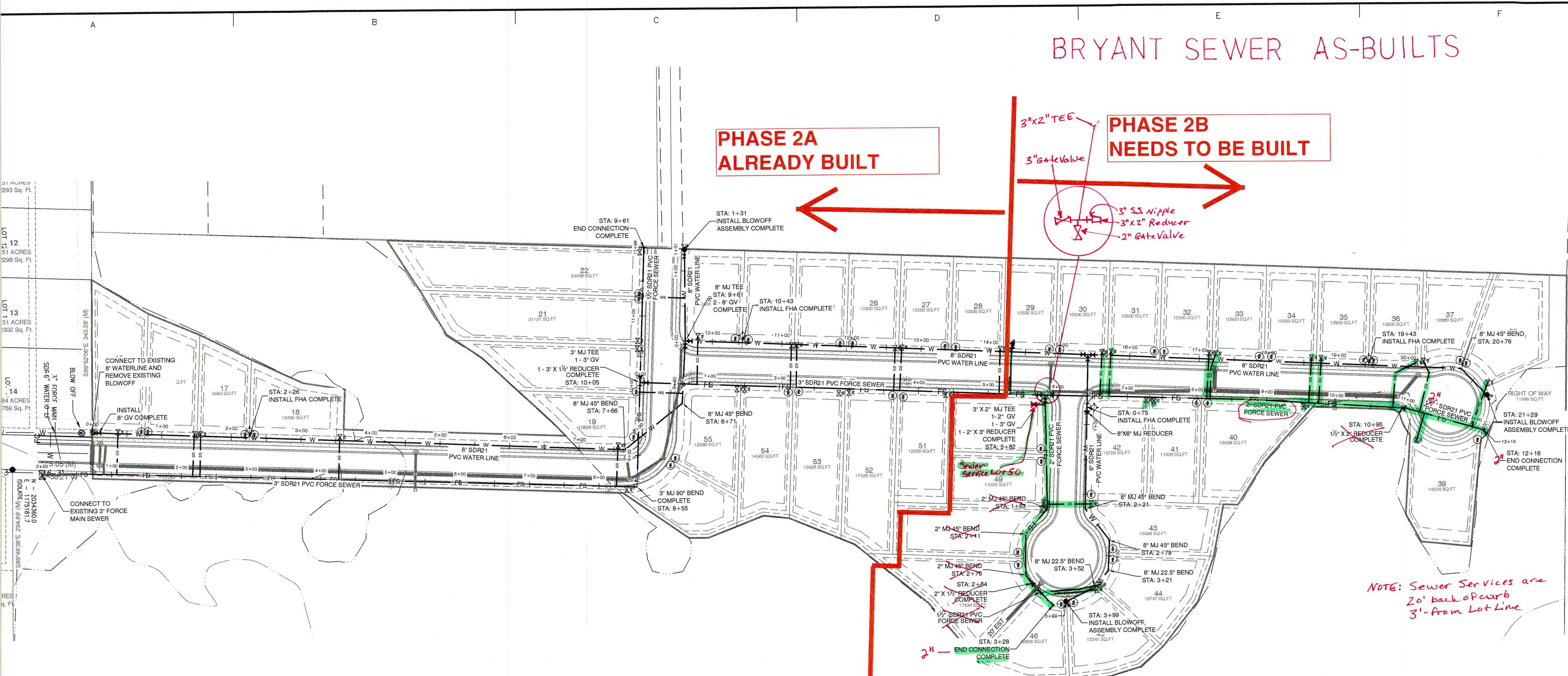
Hope Consulting is formally requesting staff review and approve the Replat Request of Parcel #840-11676-000. This parcel is currently a 5-acre parcel with an existing building hosting a flea market. The owner is seeking to cut off a 1-acre parcel for the sale of the flea market and wishes to sell the remaining 4-acre parcel at a later date. They want to abandon the existing septic system and tie onto City sewer. We would like to be included at the September 18th DRC Meeting.

Please feel free to contact me with any questions, concerns, or if I can be of any further assistance.

Sincerely,



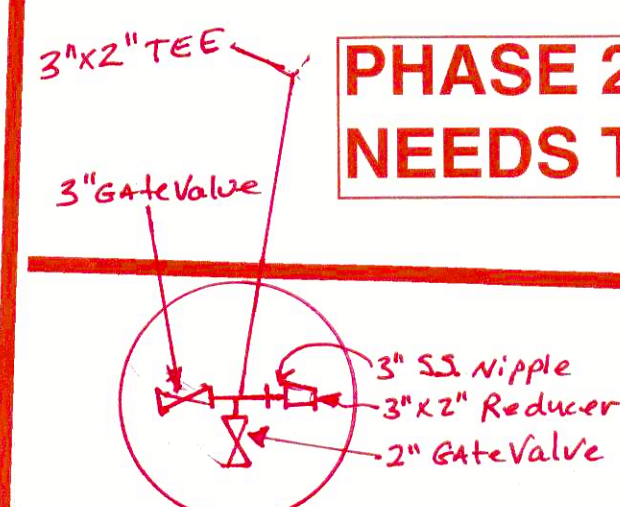
Jonathan Hope



BRYANT SEWER AS-BUILTS

PHASE 2A
ALREADY BUILT

PHASE 2B
NEEDS TO BE BUILT



NOTE: Sewer Services are
20' back of curb
3'- from Lot Line

SITE LEGEND:

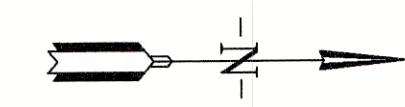
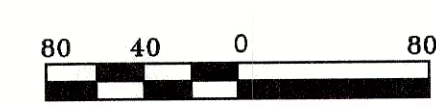
- Fire Hydrant (FHA)
- Water Valve
- Storm Manhole
- Light Pole
- Water Meter
- Sewer Service Connection
- Proposed Water Main (W)
- Proposed Force Sewer Main (FS)
- Sewer Service Connection (SS)
- Water Service Connection (WS)

PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1
MIN. LOT SIZE: 9692 S.F.
MAX. LOT SIZE: 24437 S.F.
NUMBER OF LOTS: 42
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT
BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN
EASEMENTS, UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
BACK - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN
STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 28' BOC TO BOC
LOT CORNERS: SET #4 REBAR WITH CAP

NOTES:

- BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
- ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
- WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
- ALL WATER UTILITY WORK SHALL COMPLY WITH SALEM WATER USERS SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE.
- ALL SEWER LINE CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE. FOR A COPY SEE THE WEBSITE <https://www.cityofbryant.com/DocumentCenter/View/1161/Bryant-Specs-2015-FINAL-Rev?bidId=>
- ALL GRINDER PUMPS AND SEWER SERVICE LINES TO REMAIN PRIVATE.



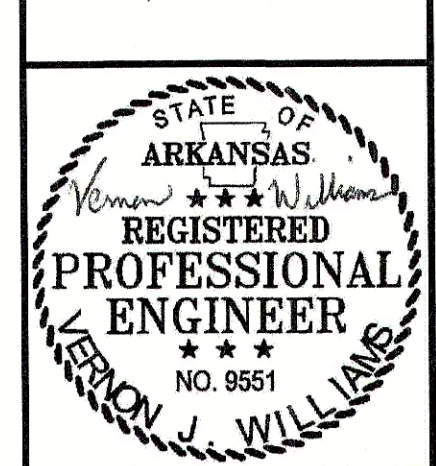
SURVEY LEGEND

- Computed point
- Found monument
- Set #4 RB/Plas. Cap
- Measured
- Record
- Platted

BY	REVISION	DATE
MN	AS PER CITY OF BRYANT	9/7/22
MN	RELOCATED FIRE HYDRANT	9/9/22

GNE Designing our client's success
GarNat Engineering, LLC
P.O. Box 1116 (72018)
3825 Mt. Carmel Road
Bryant, AR 72022
Ph (501) 408-4650
Fx (888) 900-3068
garnateengineering@gmail.com

CREEKSIDE ADDITION PHASE 2
PART OF THE EAST HALF OF
THE NORTHWEST QUARTER,
SECTION 12, T-1-S, R-14-W,
SALINE COUNTY, ARKANSAS



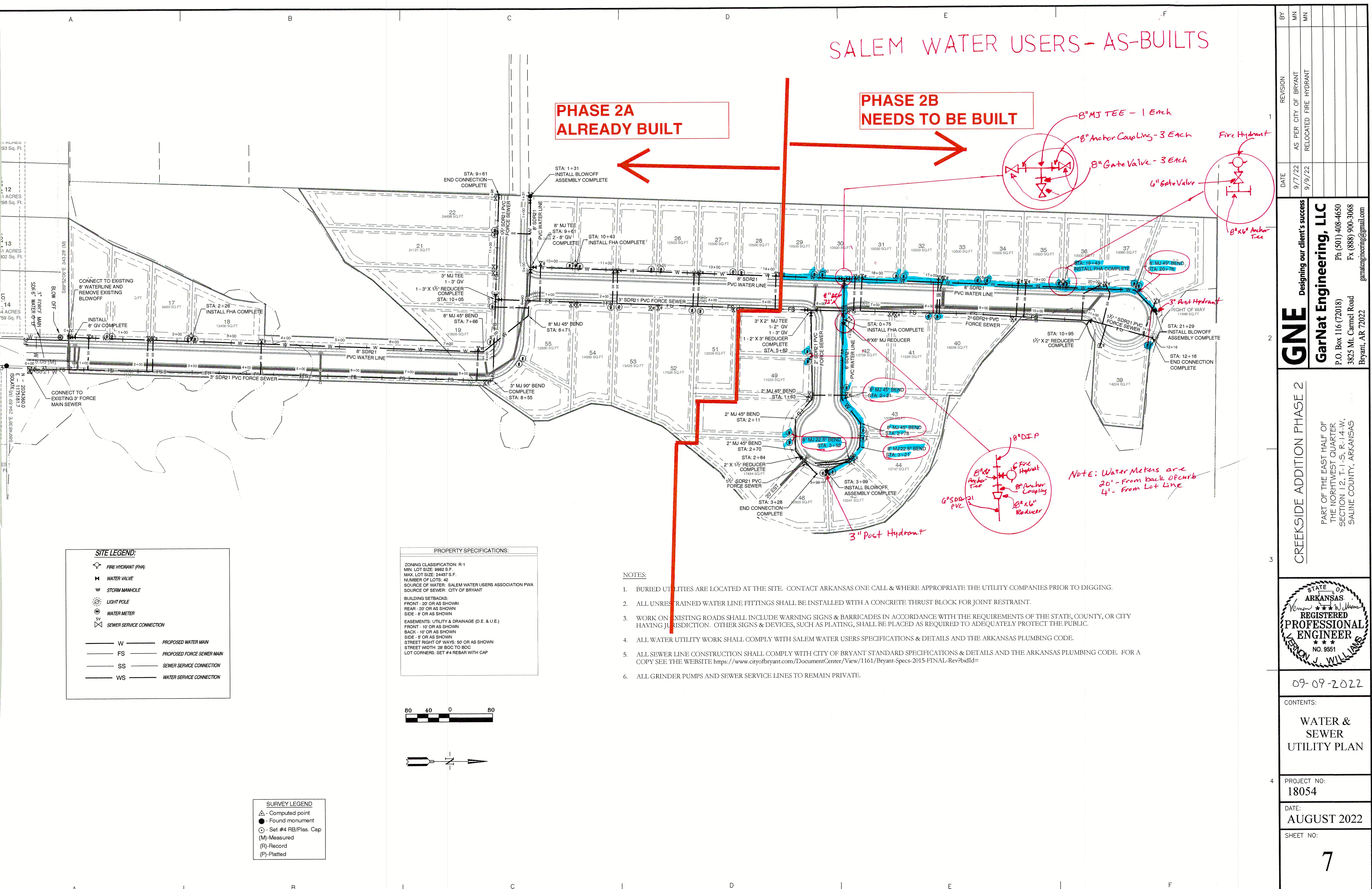
09-09-2022

CONTENTS:
WATER &
SEWER
UTILITY PLAN

PROJECT NO:
18054

DATE:
AUGUST 2022

SHEET NO:





GarNat Engineering, LLC

Designing our client's success

P.O. Box 116
Benton, Arkansas 72018
3825 Mt Carmel Road
Bryant, Arkansas 72022
PH: (501) 408-4650
FX: (888) 900-3068
garnatengineering@gmail.com

September 4, 2025

Colton Leonard
City Planner
210 S.W. 3rd Street
Bryant, AR 72022

Re: Final Plat Certification
Creekside Addition-Phase 2B

Dear Mr. Leonard:

Please allow this letter to serve as the certification for the referenced project required by Paragraph 15.12.05.a of the City of Bryant Subdivision Regulations. To that end, we certify that all improvements and installation to the subdivision required for its approval under the terms of the City of Bryant Subdivision Rules and Regulations have been made, added, or installed. Furthermore, these improvements were constructed in accordance with the approved plans and specifications.

If you have questions or need any additional information, please do not hesitate to contact us.

Sincerely,
GarNat Engineering, LLC

Vernon J. Williams, P.E., President

Diamond Development II

Michael Lake

Bryant Planning Commission

FINAL PLAT CREEKSIDE ADDITION

Subdivision Checklist

PHASE 2B

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

City of Bryant Subdivision Checklist

Subdivision/Project Name CREEKSIDE ADDITION PHASE 2B
Contact Person GEORGE WOODEN Phone (501) 408-4650
Mailing Address 3825 MT CARMEL ROAD BRYANT, AR
72022

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning R-1
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

CREEKSIDE ADDITION
PHASE 2B

Name of Subdivision


Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.



Owner Signature


Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____



3825 Mt Carmel Rd.
Bryant, AR 72022

GarNat Engineering, LLC

P.O. Box 116
Benton, AR 72018

September 4, 2025

Mr. Colton Leonard
City Planner
210 SW 3rd Street
Bryant, AR 72022

Re: Final Plat – Creekside Addition, Phase 2B

Dear Mr. Leonard:

Please allow this letter and following list of enclosures to serve as my application for approval of the referenced final plat. It is my desire that this matter be included on the agenda for your October 13, 2025 City of Bryant Planning Commission meeting. The developer for the project is Diamond Development II, 1599 Lawson Oaks Drive, Little Rock, Arkansas 72210, lisa-lake@sbcglobal.net, (501) 590-5549.

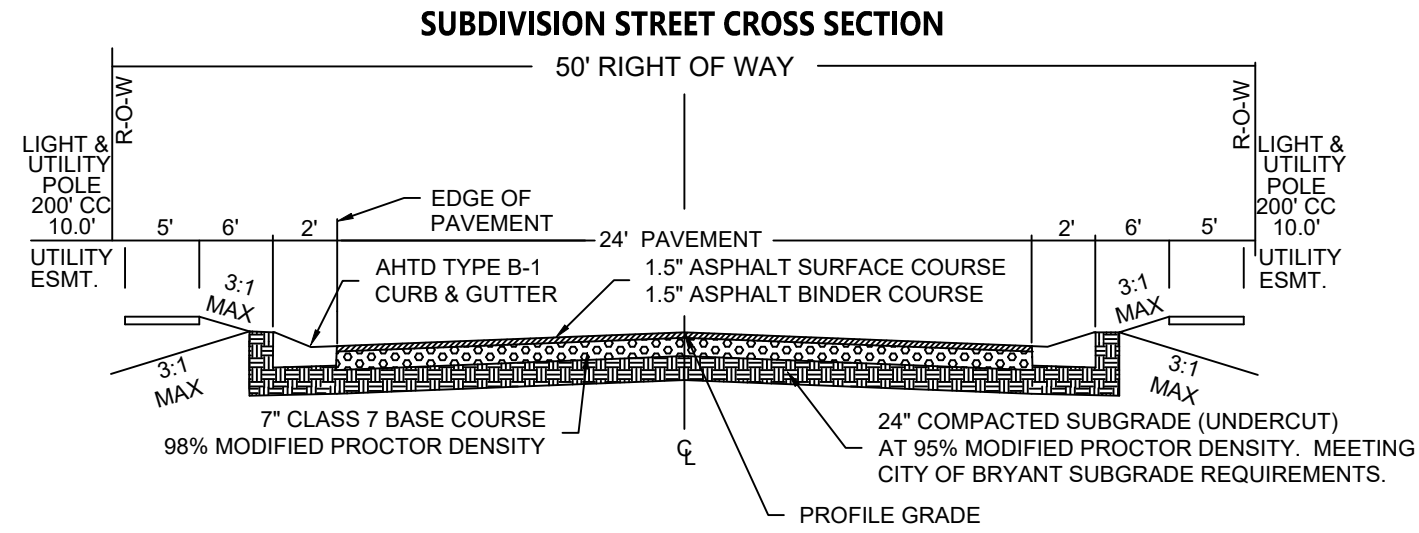
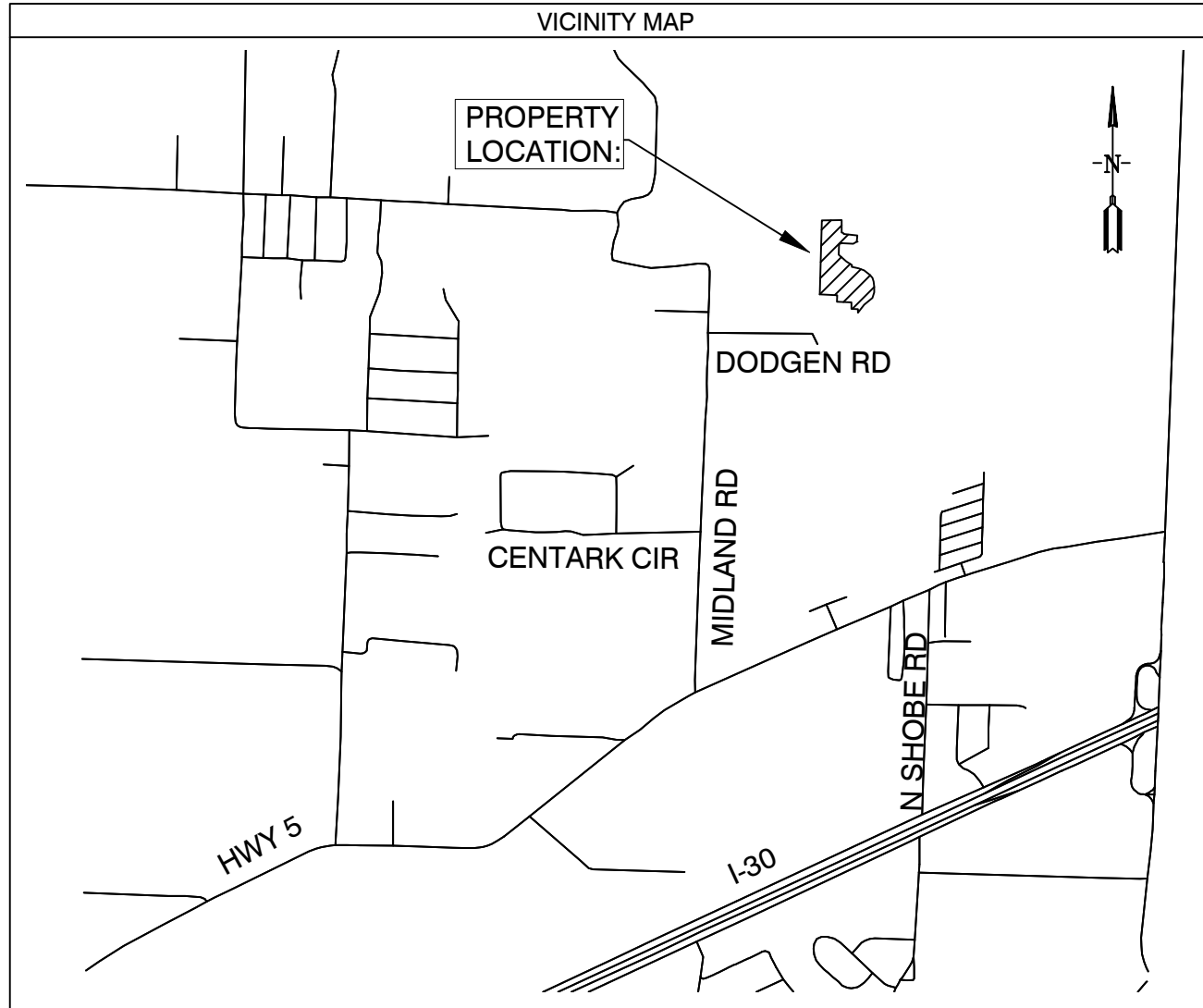
List of Enclosures

- Bryant Subdivision Checklist
- Certification letter signed by developer and professional engineer
- Final Plat review fees of \$47.00

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,
GarNat Engineering, LLC

Vernon J. Williams, P.E., President



PLAT CERTIFICATES:

OWNER:

Name: Diamond Development II

Address: 1599 Lawson Oaks Drive
Little Rock, AR 72210

DEVELOPER:

Name: Diamond Development II

Address: 1599 Lawson Oaks Drive
Little Rock, AR 72210

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____

Jim Hastings
1599 Lawson Oaks Drive, Little Rock, AR 72210

Date: _____ Signed: _____

Michael A. Lake
1599 Lawson Oaks Drive, Little Rock, AR 72210

Source of Title: SALINE COUNTY, ARKANSAS
Saline County Document# 2014-25641 & 2004-112595

CERTIFICATE OF ENGINEERING ACCURACY:

I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____

Vernon J. Williams
Registered Professional Engineer
No. 9551, Arkansas

Lance Penfield, Chairman
Bryant Planning Commission

CERTIFICATE OF RECORDING:

CERTIFICATE OF SURVEYING ACCURACY:

I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: _____ Signed: _____

George P. Wooden
Registered Land Surveyor
No. 1573, Arkansas

CERTIFICATE OF FINAL PLAT APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: _____ Signed: _____



Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C16	12.25	25.00	S11° 57' 22"E	12.13
C17	48.18	60.00	S2° 59' 15"E	46.90
C18	48.61	60.00	S43° 13' 31"W	47.29
C19	61.35	60.00	N84° 16' 23"W	58.71
C20	123.28	60.00	N3° 52' 51"E	102.71
C21	23.55	25.00	S60° 56' 08"E	22.69
C22	62.25	60.00	S63° 40' 33"E	347.14
C23	45.35	60.00	N64° 56' 44"E	344.85
C24	47.08	60.00	N20° 48' 40"E	45.88
C25	46.87	60.00	N24° 02' 55"W	45.69
C26	48.89	60.00	N69° 46' 22"W	47.55
C27	51.07	60.00	S62° 29' 51"W	49.54
C28	23.55	25.00	S65° 05' 46"W	22.69
C30	12.81	60.00	N68° 51' 30"E	12.79
C31	31.81	25.00	N38° 31' 41"E	29.70
C33	39.27	25.00	N42° 55' 11"W	35.36
C34	39.27	25.00	N47° 04' 49"E	35.36
C35	31.03	70.00	S55° 21' 59"E	30.78

PROPERTY DESCRIPTION:

PROPERTY DESCRIPTION:
PART OF THE EAST HALF OF THE NORTHWEST QUARTER (E1/2 NW1/4), ALL IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 77 OF THE CREEKSIDE ADDITION, PHASE 1, TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS AND RUN THENCE N1°49'27"E, ALONG THE EAST LINE OF CREEKWATER DRIVE, FOR A DISTANCE OF 115.23 FEET TO A FOUND 1/2" REBAR WITH CAP #1573; THENCE S89°52'05"E FOR A DISTANCE OF 10.01 FEET TO A POINT; THENCE N2°01'49"E FOR A DISTANCE OF 761.91 FEET TO A POINT LOCATED ON THE SOUTHEASTERLY LINE OF LOT 56 AND ALSO THE EASTERLY LINE OF THE CREEKSIDE ADDITION, PHASE 2, TO THE CITY OF BRYANT; THENCE N34°41'56"E, CONTINUING ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 114.30 FEET TO A FOUND 1/2" REBAR WITH CAP #1573; THENCE N0°00'17"E, CONTINUING ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 28.95 FEET TO A POINT; THENCE N21°27'38"W, CONTINUING ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 84.29 FEET TO A POINT; THENCE N61°22'28"E, CONTINUING ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 37.28 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHEAST CORNER OF LOT 54; THENCE N22°07'30"E, CONTINUING ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 100.82 FEET TO A POINT; THENCE N38°51'03"E, CONTINUING ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 22.04 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED ON THE EASTERLY LINE OF LOT 52, FOR THE **POINT OF BEGINNING**; THENCE N2°11'56"E, LEAVING SAID EASTERLY LINE AND CONTINUING ALONG THE NORTHERLY LINE OF THE SAID CREEKSIDE ADDITION, PHASE 2, TO THE CITY OF BRYANT, FOR A DISTANCE OF 37.95 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHEAST CORNER OF LOT 52; THENCE N87°55'11"W, CONTINUING ALONG SAID NORTHERLY LINE, FOR A DISTANCE OF 74.85 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHEAST CORNER OF LOT 51; THENCE N2°04'49"E, CONTINUING ALONG SAID NORTHERLY LINE, FOR A DISTANCE OF 75.00 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHEAST CORNER OF LOT 51; THENCE N87°55'11"W, CONTINUING ALONG SAID NORTHERLY LINE, FOR A DISTANCE OF 164.75 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST RIGHT OF WAY OF COLD CREEK DRIVE AND AT THE NORTHWEST CORNER OF LOT 51; THENCE N2°04'49"E, CONTINUING ALONG SAID EAST RIGHT OF WAY AND SAID NORTHERLY LINE, FOR A DISTANCE OF 75.00 FEET TO A POINT; THENCE N87°55'11"W, LEAVING SAID EAST RIGHT OF WAY AND CONTINUING ALONG SAID NORTHERLY LINE, FOR A DISTANCE OF 195.73 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED ON THE WEST LINE OF THE SAID E1/2 NW1/4 AND AT THE NORTHWEST CORNER OF LOT 28; THENCE N1°37'31"E, LEAVING SAID NORTHERLY LINE OF CREEKSIDE ADDITION, PHASE 2, AND CONTINUING ALONG THE WEST LINE OF THE SAID E1/2 NW1/4, FOR A DISTANCE OF 834.79 FEET TO A FOUND 5/8" REBAR WITH CAP #1388 IN A ROCK PILE LOCATED AT THE NORTHWEST CORNER OF THE SAID E1/2 NW1/4; THENCE N89°32'39"E, ALONG THE NORTH LINE OF THE SAID E1/2 NW1/4, FOR A DISTANCE OF 223.15 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S0°45'29"W, LEAVING SAID NORTH LINE, FOR A DISTANCE OF 138.64 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 70 FEET AND AN ARC LENGTH OF 31.03 FEET, WHOSE CHORD BEARS S55°21'59"E - 30.78 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S84°18'55"E FOR A DISTANCE OF 153.41 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S5°41'05"W FOR A DISTANCE OF 71.66 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S61°02'07"W FOR A DISTANCE OF 45.43 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N86°35'33"W FOR A DISTANCE OF 130.03 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST RIGHT OF WAY OF COLD CREEK DRIVE; THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY, AND ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 60 FEET AND AN ARC LENGTH OF 12.81 FEET, WHOSE CHORD BEARS S68°51'30"W - 12.79 FEET TO A POINT; THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 25 FEET AND AN ARC LENGTH OF 31.81 FEET, WHOSE CHORD BEARS S38°31'41"W - 29.70 FEET TO A POINT; THENCE S2°04'49"W, CONTINUING ALONG SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 103.85 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S48°25'26"E, LEAVING SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 116.71 FEET TO A POINT; THENCE S57°22'48"E FOR A DISTANCE OF 74.02 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S2°04'49"W FOR A DISTANCE OF 20.44 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S78°58'48"E FOR A DISTANCE OF 75.92 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S70°19'12"E FOR A DISTANCE OF 68.17 FEET TO A POINT; THENCE S51°58'45"E FOR A DISTANCE OF 82.17 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S41°47'58"E FOR A DISTANCE OF 43.85 FEET TO A POINT; THENCE S16°41'28"E FOR A DISTANCE OF 44.83 FEET TO A POINT; THENCE S6°28'58"E FOR A DISTANCE OF 59.73 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S0°55'57"E FOR A DISTANCE OF 61.47 FEET TO A POINT; THENCE S19°41'07"W FOR A DISTANCE OF 67.51 FEET TO A POINT; THENCE S50°16'07"W FOR A DISTANCE OF 118.71 FEET TO A POINT; THENCE S38°51'03"W FOR A DISTANCE OF 115.03 FEET TO THE **POINT OF BEGINNING**, CONTAINING 8.29 ACRES MORE OR LESS.

DOCUMENTS USED:

- SURVEY PLAT OF RECORD RASBURY SURVEYING 10/23/2014
- DEED OF RECORD 2014 PAGE 25641 WILLIAMS TO DIAMOND DEVELOPMENT II
- DEED OF RECORD 2004 PAGE 112595 THOMAS TO DIAMOND DEVELOPMENT II
- SURVEY PLAT OF RECORD MIDLAND FARM SUBDIVISION BY HENRY N. CONWAY 8/13/1951

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' "ONLINE POSITIONING USER SERVICE" (OPUS).

FINAL PLAT
CREEKSIDE ADDITION PHASE 2B
SALINE COUNTY, ARKANSAS

PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1
MIN. LOT SIZE: 10952 S.F.
MAX. LOT SIZE: 18980 S.F.
NUMBER OF LOTS: 23
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT

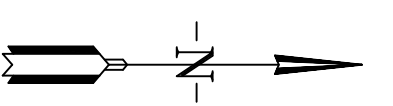
BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
BACK - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 26' BOC TO BOC
LOT CORNERS: SET #4 REBAR WITH CAP

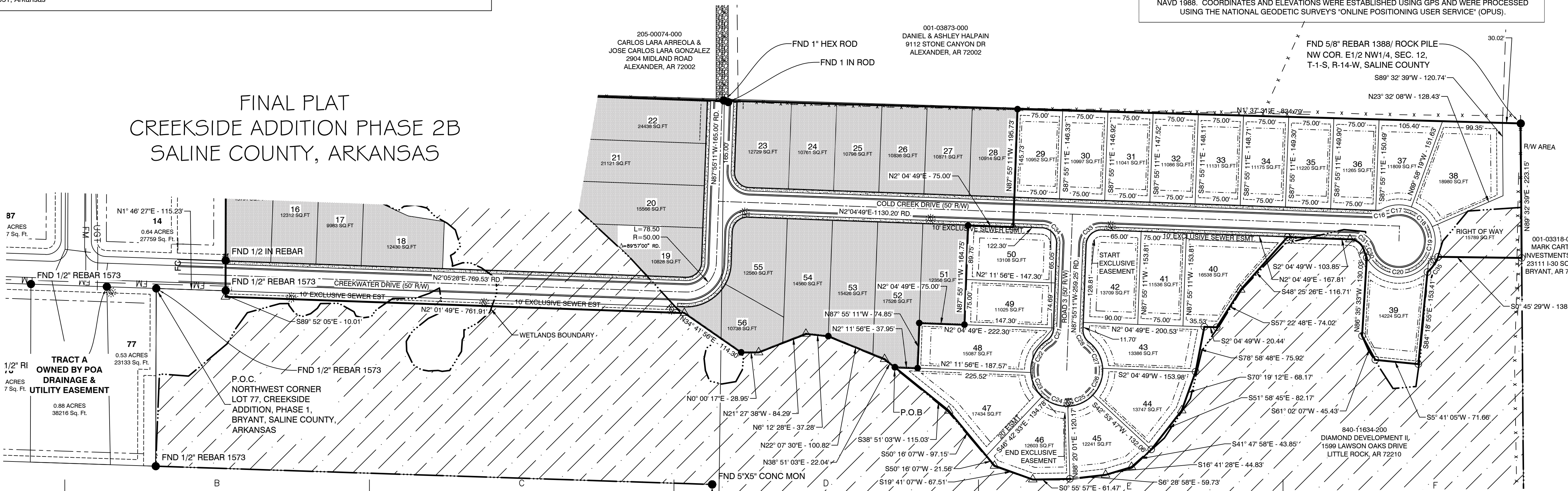
NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

SURVEY PLAT CODE:
500-01S-14W-0-12-400-62-1573



SURVEY LEGEND

- Computed point
- Found monument
- Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted





3825 Mt Carmel Rd.
Bryant, AR 72022

GarNat Engineering, LLC

P.O. Box 116
Benton, AR 72018

September 9, 2025

Mr. Colton Leonard
City Planner
210 SW 3rd Street
Bryant, AR 72022

Re: Preliminary Plat – Marketplace East Phase 2

Dear Mr. Leonard:

Please allow this letter and the following list of documents to serve as my application for approval of the referenced preliminary plat. It is my desire that this matter be included on the agenda for your October 13, 2025 City of Bryant Planning Commission Meeting. The developer for the project is Bryant Realty Company, LLC, 422 North Main Street, Bryant, Arkansas 72022 (501) 840-2282.

List of Enclosures

- Preliminary Plat
- Bryant Subdivision Checklist
- Review Fees of \$321.00

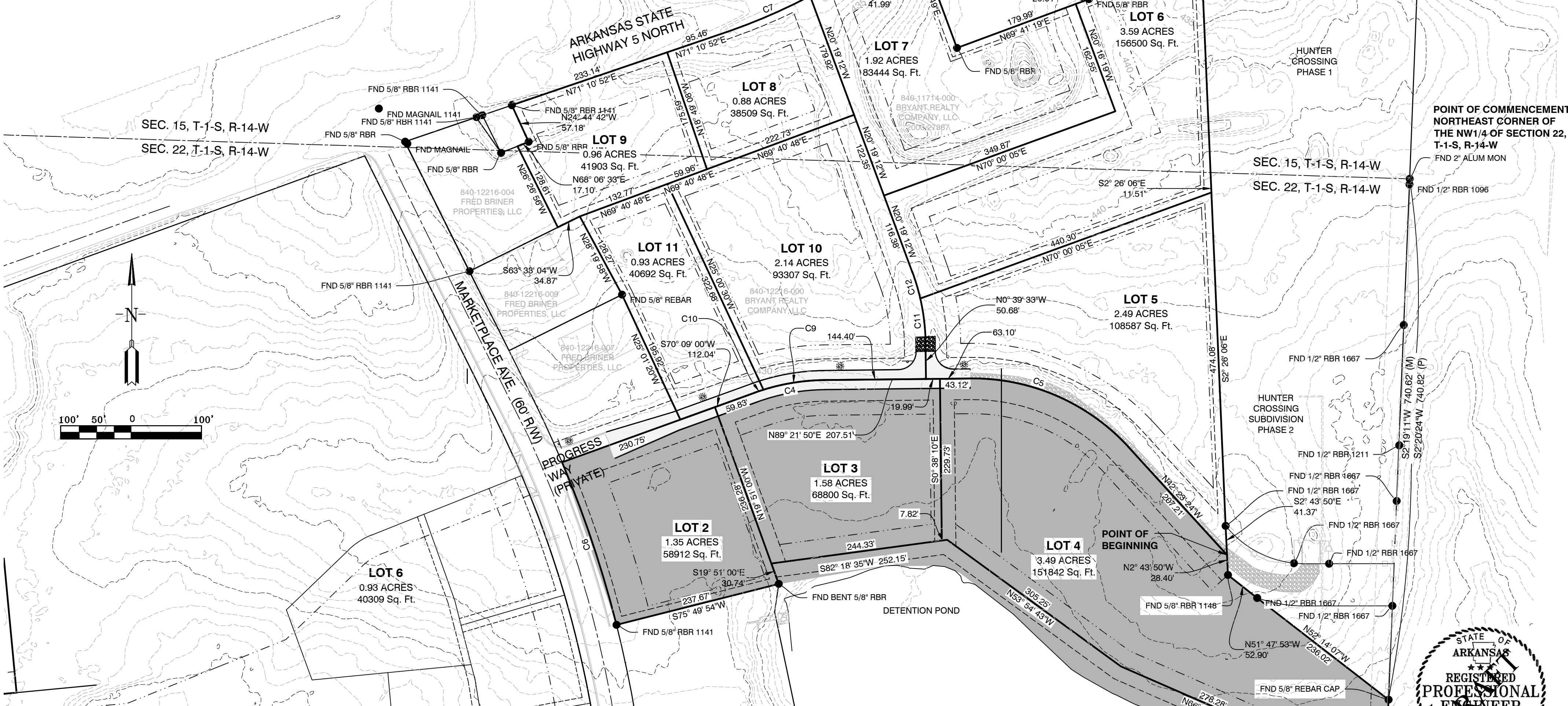
If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,
GarNat Engineering, LLC

A handwritten signature in blue ink that reads 'Vernon J. Williams'.

Vernon J. Williams, P.E., President

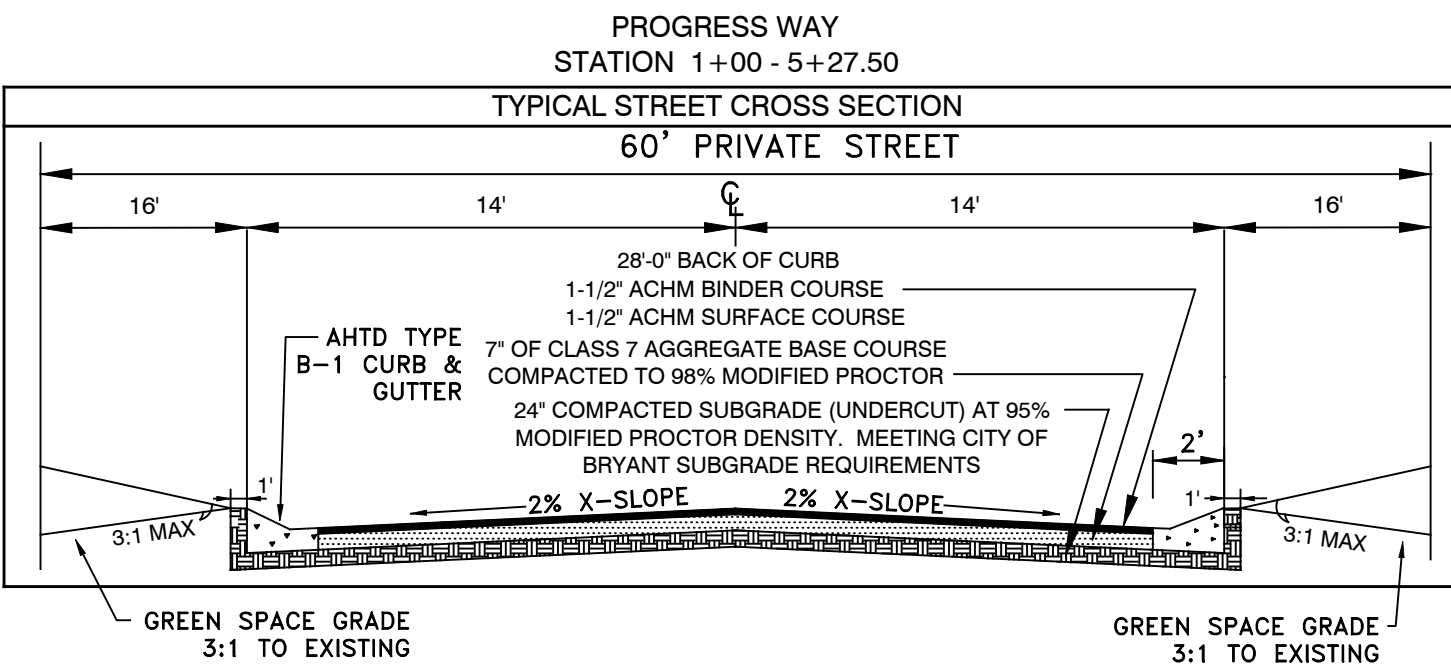
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C4	101.27'	300.00'	19°20'26"	S79° 41' 39"W	100.79'
C5	252.62'	300.00'	48°14'46"	N66° 30' 47"W	245.22'
C6	243.80'	1596.45'	8°44'59"	N18° 29' 44"W	243.56'
C7	123.00'	868.85'	8°06'40"	N66° 27' 57"E	122.89'
C8	132.49'	868.85'	8°44'12"	N58° 02' 31"E	132.36'
C9	87.82'	300.00'	16°46'20"	S80° 58' 42"W	87.51'
C10	13.45'	300.00'	2°34'07"	S71° 18' 29"W	13.45'
C11	64.22'	300.00'	12°15'56"	N6° 47' 33"W	64.10'
C12	38.72'	300.00'	7°23'39"	N16° 37' 21"W	38.69'



PROPERTY SPECIFICATIONS:	
ZONING CLASSIFICATION:	C-2
SOURCE OF WATER:	CITY OF BRYANT
SOURCE OF SEWER:	CITY OF BRYANT
BUILDING SETBACKS (SB):	
FRONT - 50'	
REAR - 25'	
SIDE INTERIOR - 15'	
SIDE EXTERIOR - 15'	
EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)	
FRONT, SIDE AND REAR - 10' OR AS SHOWN	
INGRESS/EGRESS (IE):	
LOT CORNERS: SET #4 REBAR WITH CAP	
NOTES:	
1. ALL LOTS WILL HAVE SIDEWALKS. THESE WILL BE ADDED WHEN EACH SITE PLAN IS SUBMITTED FOR APPROVAL TO THE CITY OF BRYANT AND MEET BRYANT CONSTRUCTION STANDARDS.	

SURVEY LEGEND	
▲	Computed point
●	Found monument
○	Set #4 RB/Plas. Cap or Mag Nail with Shiner
(M)	Measured
(R)	Record
(P)	Platted

SURVEY PLAT CODE:
500-01S-14W-0-22-400-62-1573



PRELIMINARY PLAT - MARKETPLACE EAST PHASE 2 CITY OF BRYANT SALINE COUNTY, ARKANSAS

SUBDIVISION DESCRIPTION:

LOCATED IN THE NORTHWEST QUARTER (NW1/4) OF SECTION 22 AND THE SOUTH HALF OF THE SOUTHWEST QUARTER (S1/2 SW1/4) OF SECTION 15, ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 2" ALUMINUM CAP LOCATED AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SAID POINT ALSO BEING ON THE EAST LINE OF HUNTER CROSSING SUBDIVISION PHASE 2, THENCE S 2°19'11"W, ALONG THE EAST LINE OF SAID NW1/4 AND SAID SUBDIVISION FOR A DISTANCE OF 740.82 FEET TO A FOUND 5/8" REBAR WITH CAP LOCATED AT THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE N52°14°07'W, ALONG SOUTH LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 236.02 FEET TO A FOUND 1/2" REBAR WITH CAP #1667; THENCE N51°47'53"W, CONTINUING ALONG SAID SOUTH LINE, FOR A DISTANCE OF 52.90 FEET TO A FOUND 5/8" REBAR WITH CAP #1148 LOCATED AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE N2°43'50"W, ALONG THE WEST LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 28.40 FEET TO A POINT LOCATED IN THE CENTERLINE OF PROGRESS WAY (PRIVATE DRIVE) FOR THE POINT OF BEGINNING; THENCE W42°23'24"W, LEAVING SAID WEST LINE AND ALONG SAID CENTERLINE, FOR A DISTANCE OF 207.21 FEET TO A POINT; THENCE CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 300.00 FEET AND AN ARC LENGTH OF 252.62 FEET, WHOSE CHORD BEARS N66°30'47"W - 245.22 FEET TO A POINT; THENCE S89°21'50"W, CONTINUING ALONG SAID CENTERLINE, FOR A DISTANCE OF 207.51 FEET TO A POINT; THENCE CONTINUING ALONG SAID CENTERLINE AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 300.00 FEET AND AN ARC LENGTH OF 101.27 FEET, WHOSE CHORD BEARS S79°41'39"W - 100.79 FEET TO A POINT; THENCE S70°09'00"W, CONTINUING ALONG SAID CENTERLINE, FOR A DISTANCE OF 112.04 FEET TO A POINT; THENCE N26°01'20"W, LEAVING SAID CENTERLINE, FOR A DISTANCE OF 195.92 FEET TO A FOUND 5/8" REBAR; THENCE N28°19'58"W FOR A DISTANCE OF 126.27 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S63°33'04"W FOR A DISTANCE OF 34.87 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N26°26'56"W FOR A DISTANCE OF 128.61 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N68°06'33"E FOR A DISTANCE OF 17.10 FEET TO A FOUND 5/8" REBAR; THENCE N24°44'42"W FOR A DISTANCE OF 57.18 FEET TO A FOUND 5/8" REBAR WITH CAP #1141 LOCATED ON THE SOUTHEASTERLY RIGHT OF WAY OF ARKANSAS STATE HIGHWAY 5 NORTH; THENCE N71°10'52"E, CONTINUING ALONG SAID RIGHT OF WAY, FOR A DISTANCE OF 328.60 FEET TO A POINT; THENCE CONTINUING ALONG SAID RIGHT OF WAY AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 888.85 FEET AND AN ARC LENGTH OF 255.49 FEET, WHOSE CHORD BEARS N62°05'51"E - 254.56 FEET TO A POINT; THENCE N53°39'55"E, CONTINUING ALONG SAID RIGHT OF WAY, FOR A DISTANCE OF 41.99 FEET TO A FOUND 5/8" REBAR; THENCE S2°18'46"E, LEAVING SAID RIGHT OF WAY, FOR A DISTANCE OF 180.00 FEET TO A FOUND 5/8" REBAR; THENCE N64°41'19"E FOR A DISTANCE OF 200.00 FEET TO A FOUND 5/8" REBAR; THENCE N19°49'28"W FOR A DISTANCE OF 238.51 FEET TO A FOUND 5/8" REBAR WITH CAP #1141 LOCATED ON SAID SOUTHEASTERLY RIGHT OF WAY OF ARKANSAS STATE HIGHWAY 5 NORTH; THENCE N55°09'17"E, CONTINUING ALONG SAID RIGHT OF WAY, FOR A DISTANCE OF 259.26 FEET TO A POINT; THENCE N62°09'55"E, CONTINUING ALONG SAID RIGHT OF WAY, FOR A DISTANCE OF 15.75 FEET TO THE NORTHWEST CORNER OF HUNTER CROSSING SUBDIVISION PHASE 1; THENCE S2°26'42"E, ALONG THE WEST LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 643.75 FEET TO A POINT; THENCE S2°26'08"E, CONTINUING ALONG SAID WEST LINE, FOR A DISTANCE OF 485.59 FEET TO A FOUND 1/2" REBAR WITH CAP #1667; THENCE S2°43'50"E, CONTINUING ALONG SAID WEST LINE, FOR A DISTANCE OF 41.37 FEET TO THE POINT OF BEGINNING, CONTAINING 12.92 ACRES MORE OR LESS.

DOCUMENTS USED:

- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 9/11/2015 KERRY LANE PLS #1141
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 1/27/2009 KERRY LANE PLS #1141
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 1/21/2022 KERRY LANE PLS #1141
- WARRANTY DEED 2020 PAGE 006076 BRYANT REALTY COMPANY, LLC TO BRYANT REALTY COMPANY
- IMPROVEMENT DISTRICT NO. 26
- SPECIAL WARRANTY DEED 2000 PAGE 27387 HIGHWAY 5 INVESTMENTS, LLC TO BRYANT REALTY COMPANY, LLC
- WARRANTY DEED 2019 PAGE 004456 FRED E. BRINER TO FRED BRINER PROPERTIES, LLC
- SPECIAL WARRANTY DEED 2019 PAGE 016136 FERGUSON-BRINER, LLC TO HCII-3412 MARKET PLACE AVENUE, LLC
- WARRANTY DEED 2000 PAGE 27385 HIGHTOWER TO HIGHWAY 5 INVESTMENTS, LLC
- REVISED FINAL PLAT OF HUNTER CROSSING SUBDIVISION PHASE 1
- REVISED FINAL PLAT OF HUNTER CROSSING SUBDIVISION PHASE 2

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' ONLINE POSITIONING USER SERVICE' (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON JANUARY 10, 2023.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.

PLAT CERTIFICATES:

OWNER:		DEVELOPER:	
Name:	Bryant Realty Company, LLC	Name:	Bryant Realty Company, LLC
Address:	422 North Main Street Benton, Arkansas 72015	Address:	422 North Main Street Benton, Arkansas 72015

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____
Name: Fred Briner
Address: 422 North Main Street, Benton, Arkansas 72015

Source of Title Saline County: Deed Book 2000, Page 27387

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:

I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____
Vernon J. Williams
Registered Professional Engineer
No. 9551, Arkansas

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:

I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

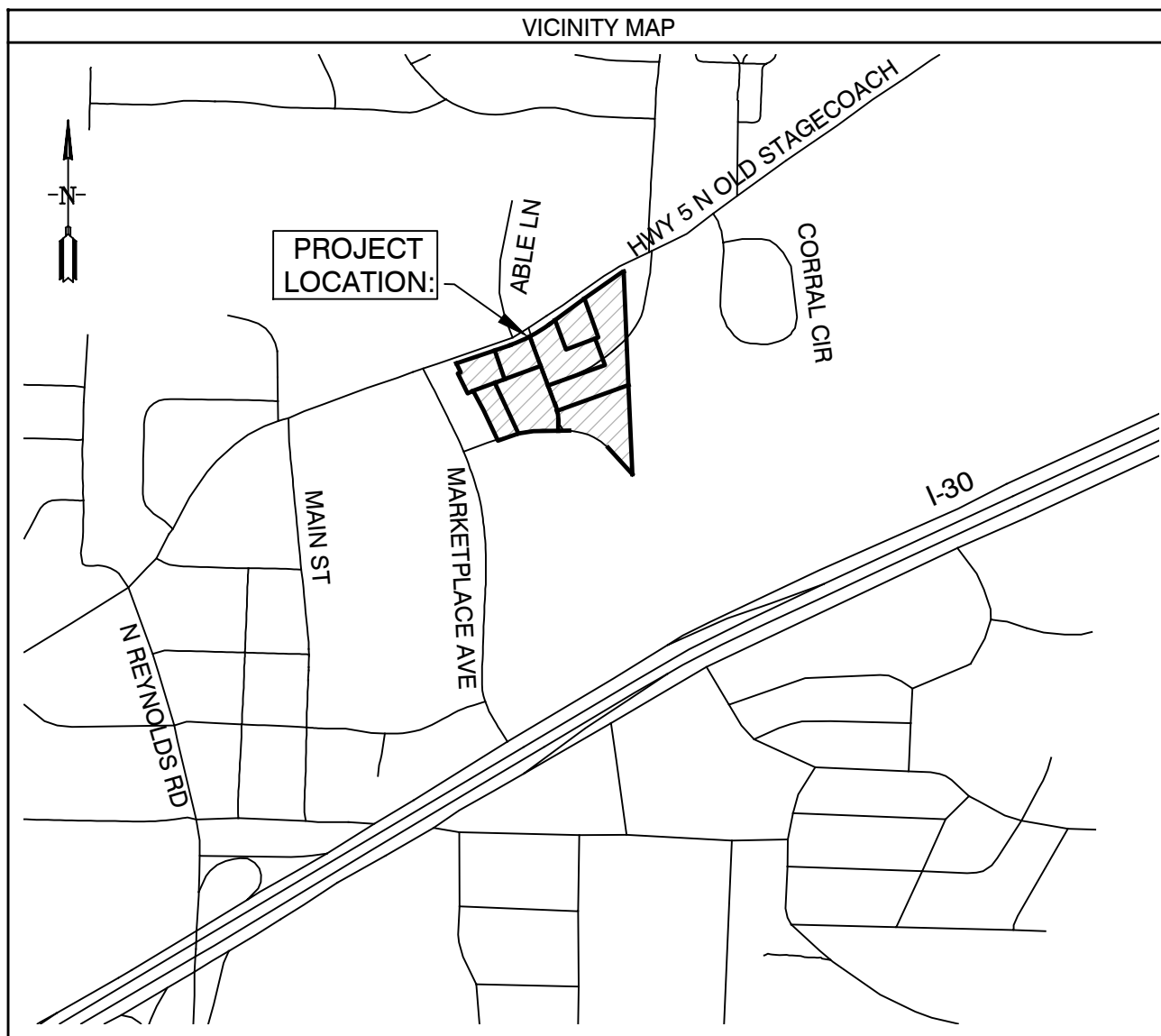
Date: _____ Signed: _____
George P. Wooden
Registered Land Surveyor
No. 1573, Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:

All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations.

Date: _____ Signed: _____
Lance Penfield, Chairman
Bryant Planning Commission

CERTIFICATE OF RECORDING:



Designing our client's success

GarNat Engineering, LLC
3825 Mt Carmel Road
Bryant, AR 72022
garnateengineering@gmail.com

MARKETPLACE EAST PHASE 2
BRYANT REALTY COMPANY, LLC
CITY OF BRYANT
SALINE COUNTY, ARKANSAS



CONTENTS:

PRELIMINARY PLAT

PROJECT NO:
20022

DATE:
AUG. 28, 2025

SHEET NO:

V1.0

Bryant Planning Commission

MARKETPLACE EAST PHASE 2 Subdivision Checklist PRELIMINARY

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

City of Bryant Subdivision Checklist

Subdivision/Project Name MARKETPLACE EAST PHASE 2
Contact Person GEORGE WOODEN Phone (501) 408-4650
Mailing Address 3825 MT. CARMEL ROAD BRYANT, AR
72022

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning C-2
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation.
(Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
 - 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

MARKET PLACE
EAST PHASE 2

Name of Subdivision

George P. Workman

Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

[Signature]

Owner Signature

Vernon J. Williams

Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____



August 25, 2025

City of Bryant
Attn: Planning & Development
210 SW 3rd Street
Bryant, AR 72022

Re: Replat-Lot Split of Lot 2, Reynolds Centre
Terra Reynolds, LLC
CT Job #: 24304000

Planning Commission,

On behalf of my client, Terra Reynolds, LLC, we are submitting the above referenced replat for your consideration.

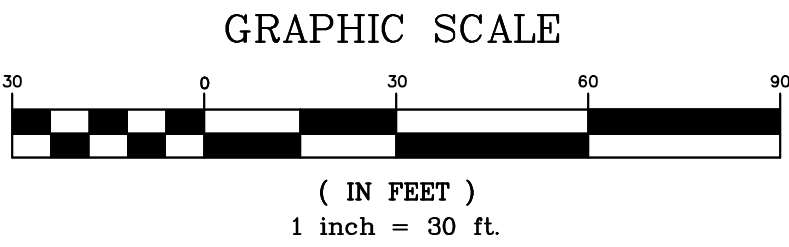
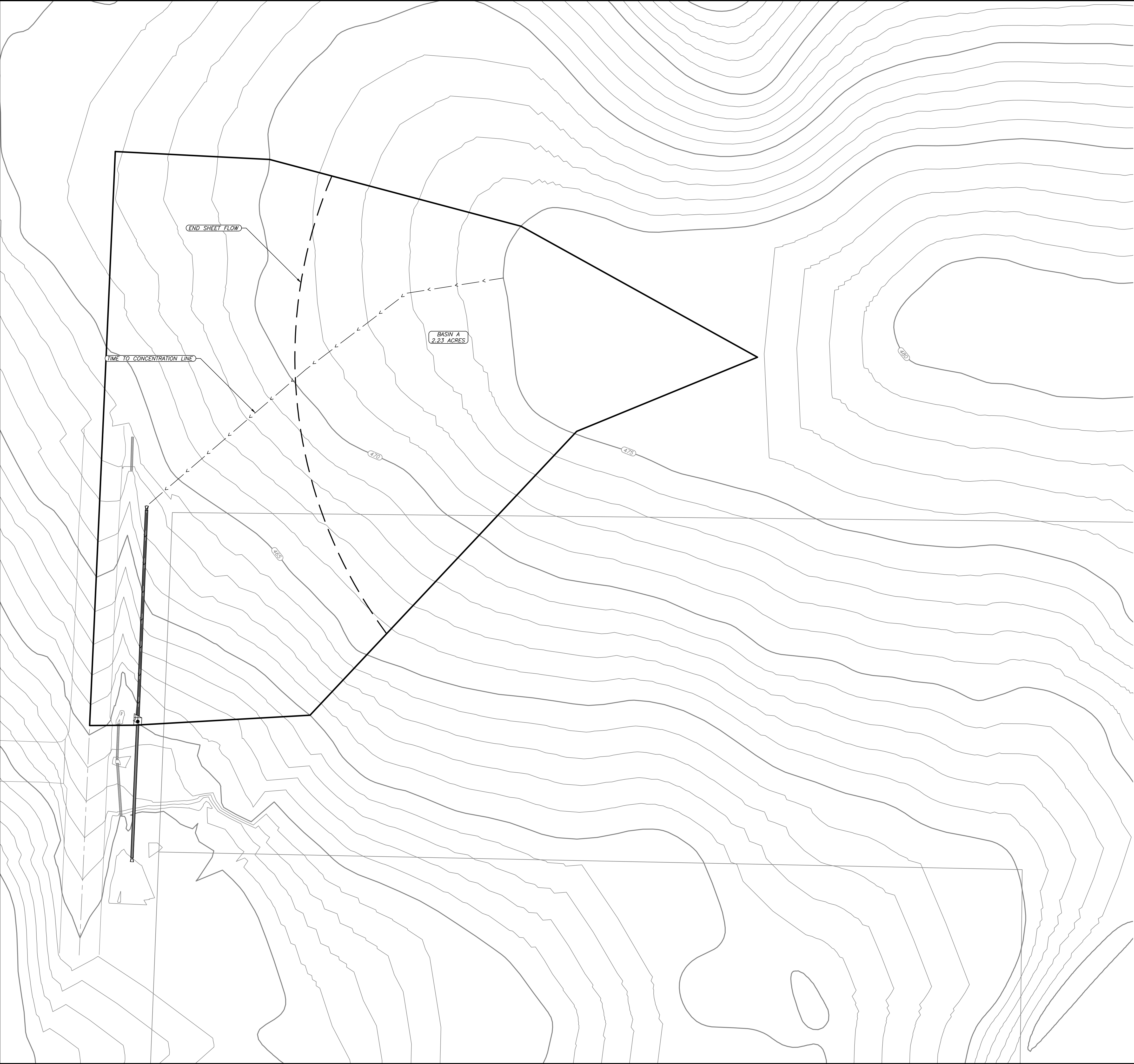
This replat will split Lot 2 of Reynold Centre into 2 lots. Lot 2A (.612 acres) and Lot 2B (.954 acres). This will help to facilitate the future sale of the two commercial lots on site. The property is currently zoned C3.

Water, sewer, electric, phone and cable are all located on the property.

We appreciate your consideration in this matter.

Respectfully,

Caroline Gardner, P.E.
Project Manager



PROJECT #: 025-026

Scale: 1" = 30'

Date: 8-20-2025

No.

Revisions

Date


Sheet: 1 of 1

Prepared For:

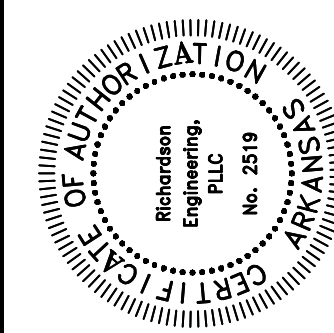
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

STORM SEWER BASIN MAP
CORNERSTONE MONTESSORI

4910 SPRINGHILL RD
BRYANT, ARKANSAS

**RICHARDSON**
ENGINEERING
Planning • Engineering • Development Consulting

325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225





PROJECT Cornerstone Montessori

DATE 9-4-25

Basin A

$$96,934 \text{ ft}^2 \approx 2.23 \text{ acres}$$

18 inch pipe Selected
(1.5 ft)

$$TC = 20.46 \text{ min}$$

$$I = 6.08 \text{ in/hr}$$

$$C = 0.40$$

Rational Method

$$Q = CIA$$

$$0.40 (6.08 \text{ in/hr}) 2.23 \text{ acres} = 5.42 \text{ cfs}$$

Minimum Pipe Diameter

$$D = \left[\frac{C_o Q n}{\sqrt{S}} \right]^{3/8} \quad (\text{PE Civil Ref Handbook Version 2.0.2 pg 348})$$

$$C_o = 2.16 \text{ For USCS units}$$

$$Q = \text{cfs}$$

$$n = \text{Manning roughness}$$

$$S = \text{slope (ft/ft)}$$

$$D = \text{minimum pipe size in feet}$$

$$\left[\frac{2.16 (5.42 \text{ cfs}) 0.012}{\sqrt{0.0226}} \right]^{3/8}$$

$$= 0.97 \text{ Feet} < 1.5 \text{ Feet}$$

minimum pipe selected pipe

DETAILED PLANS:

CORNERSTONE MONTESSORI

4910 SPRINGHILL RD
BRYANT, ARKANSAS

PART OF THE NW ¼ OF THE NW ¼, SECTION
16, TOWNSHIP 1 SOUTH, RANGE 14 WEST,
SALINE COUNTY ARKANSAS

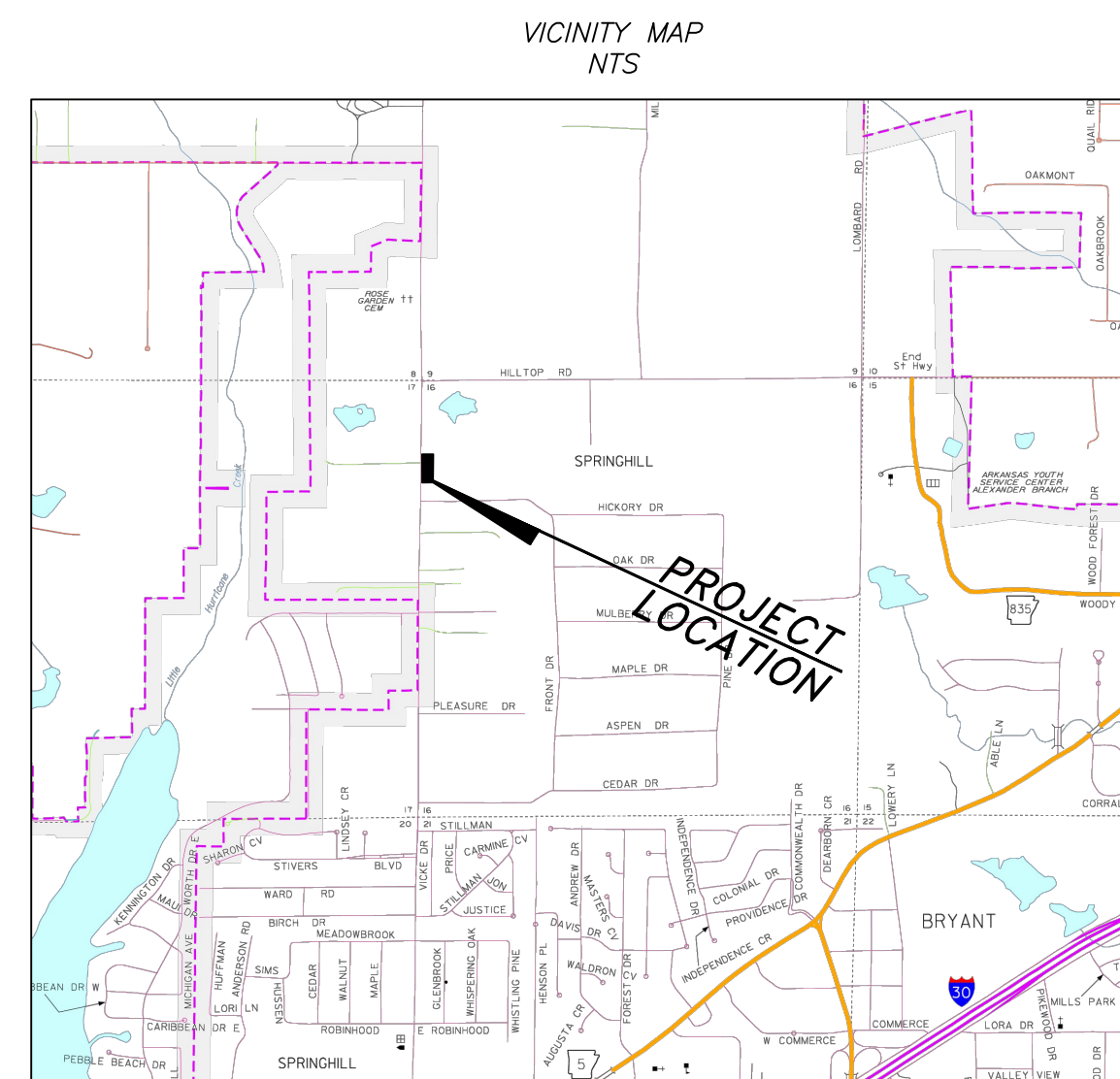
8-20-2025

PREPARED FOR:

STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT,AR

PRE-CONSTRUCTION COPY -

PLANS FOR BIDDING PURPOSES.
QUANTITIES TO BE VERIFIED PRIOR
TO CONSTRUCTION. CONTRACTOR
TO VERIFY GRADES WITH ENGINEER
PRIOR TO CONSTRUCTION.

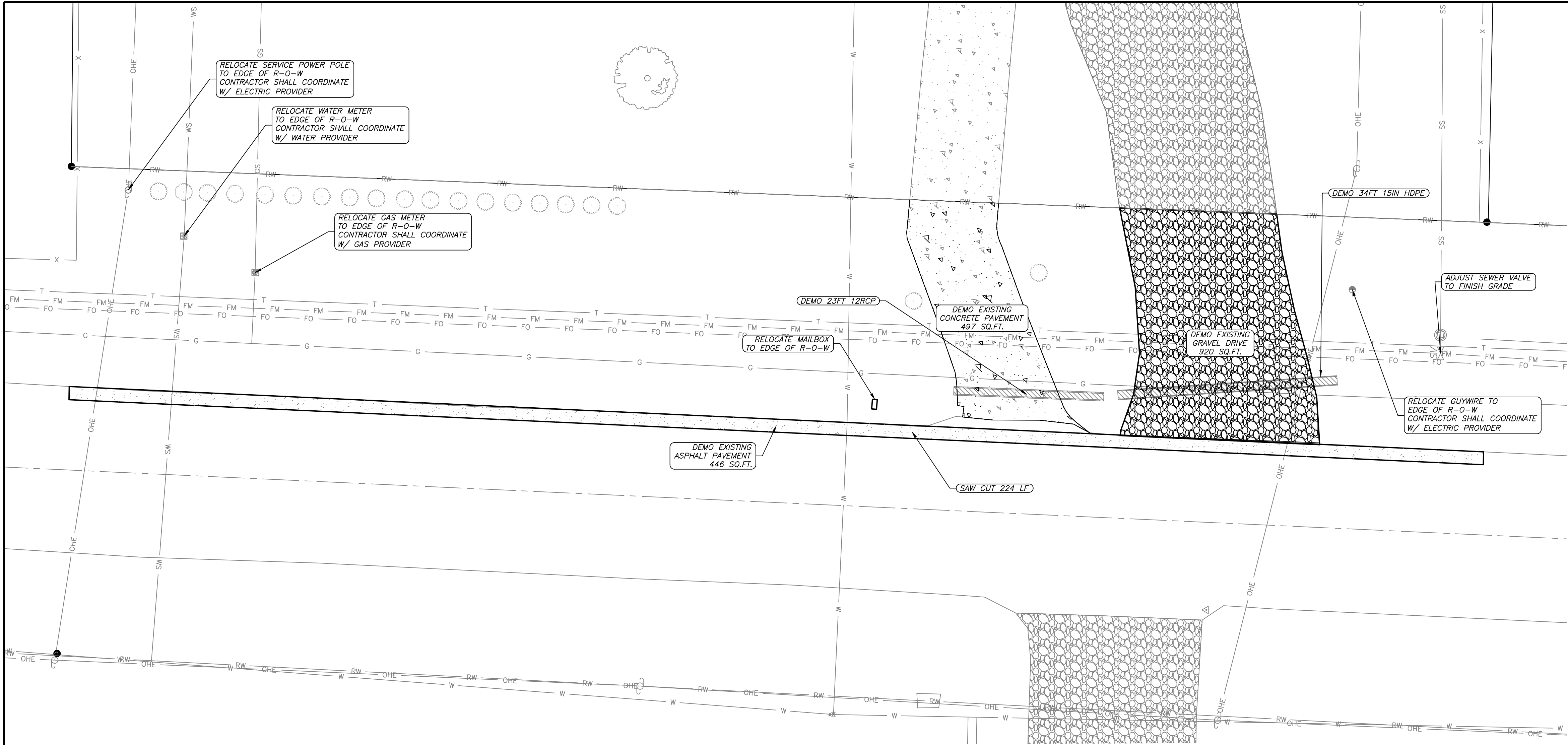


Prepared By:



325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

<i>INDEX OF SHEETS</i>	
<i>COVER SHEET</i>	<i>1</i>
<i>SWPPP</i>	<i>2</i>
<i>DEMOLITION PLAN</i>	<i>3</i>
<i>SITE PLAN/DIMENSION PLAN</i>	<i>4</i>
<i>GRADING PLAN</i>	<i>5</i>
<i>STORM DETIALS</i>	<i>6</i>



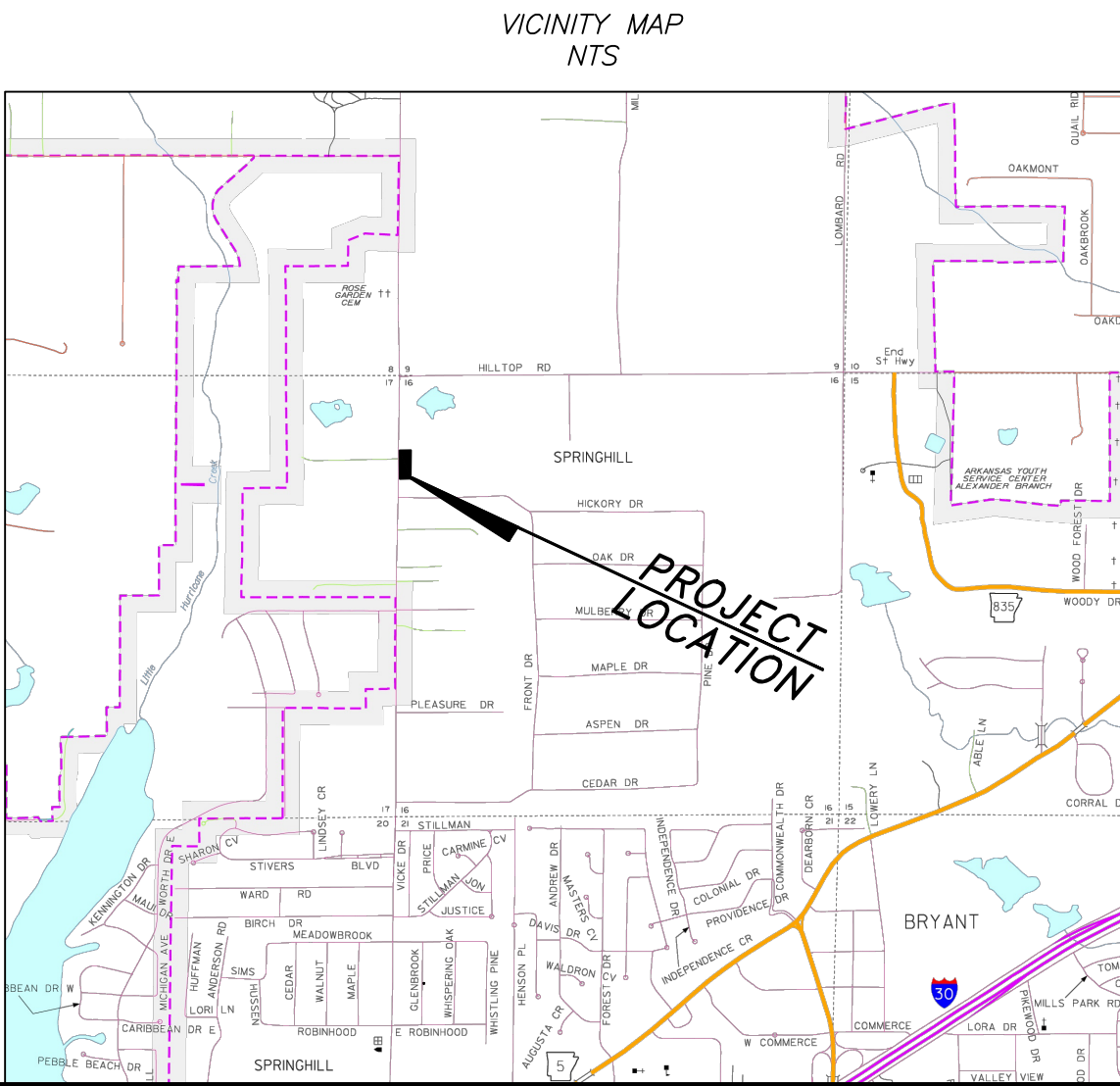
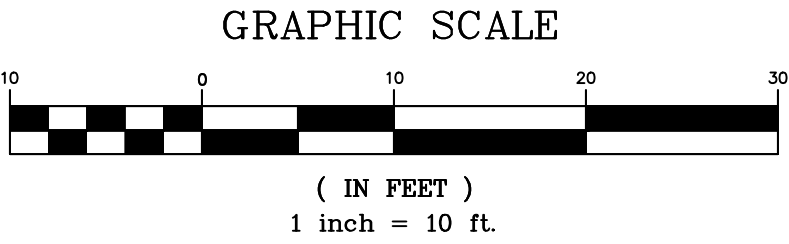
GENERAL CONSTRUCTION NOTES

- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- C. ALL SITE AND UTILITY IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE BRYANT UTILITIES STANDARD SPECIFICATIONS.
- D. THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, SERVICE CONNECTIONS, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- F. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- G. CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY CITY OF BRYANT. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
- H. FIBER OPTIC CABLE ON AND/OR ADJACENT TO THIS SITE WERE NOT LOCATED BY THE SURVEY AND ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY FIBER OPTIC CABLES ASSOCIATED WITH THIS SITE AND TAKE ALL NECESSARY AND REQUIRED PRECAUTIONS TO PROTECT ANY EXISTING FIBER OPTIC CABLES. CONTRACTORS SHALL COORDINATE ALL EFFORTS WITH OWNER OF FIBER OPTIC CABLES OR THEIR DESIGNATED REPRESENTATIVE.
- I. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.
- J. CONTRACTOR TO COMPLY WITH ALL OSHA SAFETY REQUIREMENTS.
- K. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRAFFIC CONTROL WITH THE PROPER AUTHORITIES PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

DEMO NOTES:
1) QUANTITATIVE AREAS ARE APPROXIMATE, TO BE VERIFIED BY THE DEMOLITION CONTRACTOR.



Legend

_____ RW _____	Right of Way
_____ Property Boundary _____	Property Boundary
_____ T _____	Telephone
_____ FO _____ FO _____ FO _____	Fiber Optic Line
_____ Road Center line _____	Road Center line
_____ X _____	Wire / Chainlink Fence
_____ G _____	Gas Line
_____ GS _____	Gas Service Line
_____ SS _____	Sanitary Sewer Service
_____ FM _____ FM _____ FM _____	Force Main
_____ W _____	Water Line
_____ WS _____	Water Service Line
_____ OHE _____	Overhead Powerline

Water Meter	Guy Wire
Sanitary Sewer Manhole	Computed Corner
Storm Sewer Manhole	Found Monument (Labeled)
Telephone Pedestal	Utility Pole
Force Main Gate Valve	PROPOSED CONTOUR
Sewer Service Check Valve	EXISTING CONTOUR

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325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

DEMOLITION PLAN

CORNERSTONE MONTESSORI

4910 SPRINGHILL RD
BRYANT, ARKANSAS

Prepared For:

STEPHEN NUCKOLS

4910 SPRINGHILL RD

BRYANT, AR

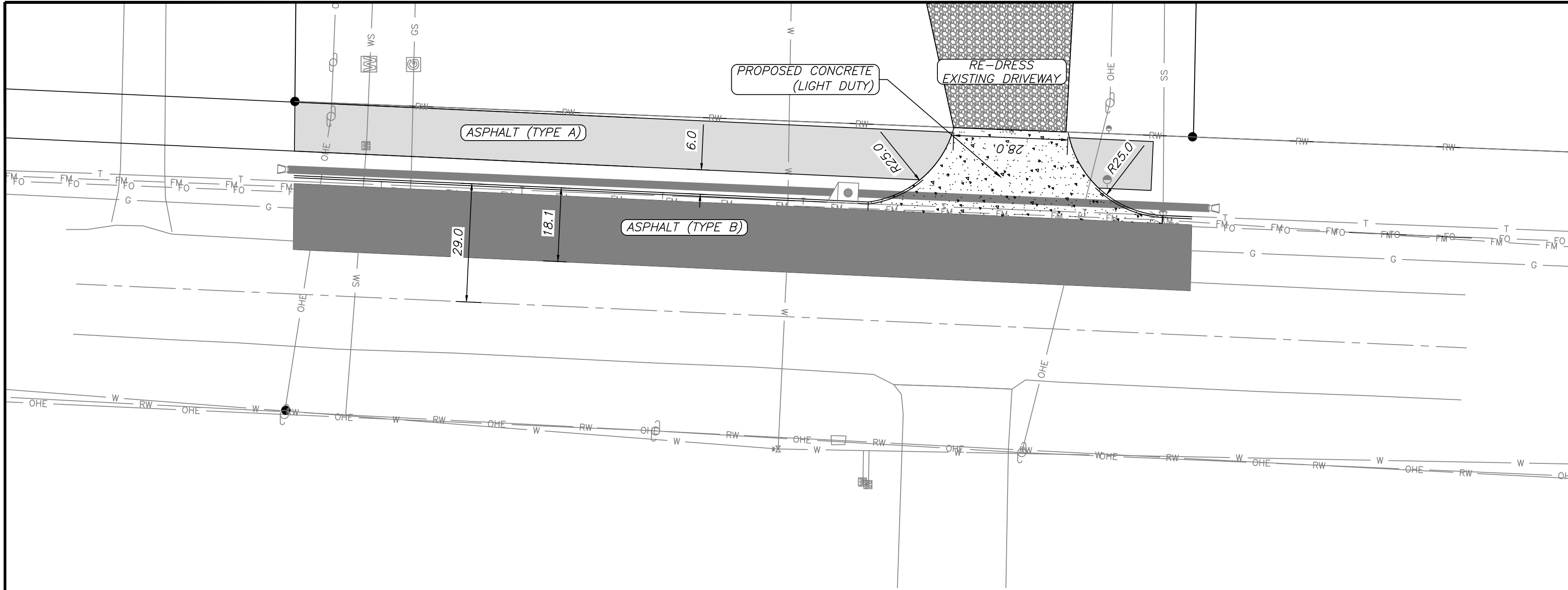
Date	Revisions	No.

PROJECT #: 025-026

Scale: 1" = 10'

Date: 8-20-2025

Sheet: 3 of 6



GENERAL NOTES:

- 1.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 2.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 3.) CONSTRUCTION SITE SHALL ADHERE TO BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
- 4.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
- 5.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- 6.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.

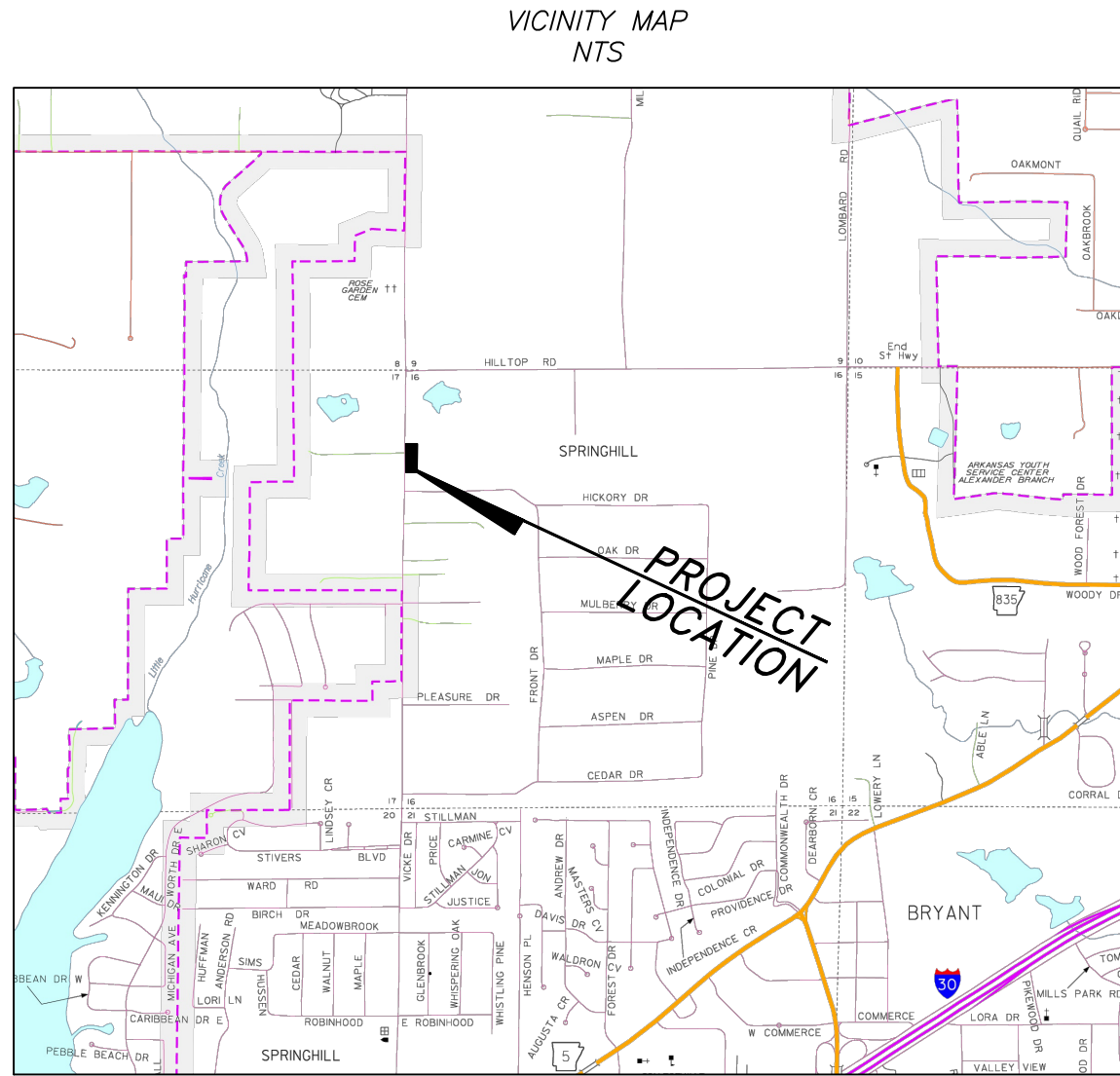
SITE NOTES

- 1.) PROJECT SITE AREA: 1.02 ACRES (44,466 SQUARE FEET)
- 2.) PROPOSED LOCATIONS OF TRAFFIC CONTROL MARKERS ARE APPROXIMATE. ACTUAL LOCATION AND INSTALLATION MUST MEET MUTCD AND BRYANT ROAD DEPT. SPECS.
- 3.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AHTD SPECIFICATIONS, AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 4.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE & BASE. TEST TO BE CONDUCTED AS PER GEOTECHNICAL ENGINEERS' SPECS.
- 5.) CONTRACTOR TO INCLUDE IN BID THE COST OF MATERIAL AND INSTALLATION OF STREET SIGNS & TRAFFIC CONTROL SIGNS.
- 6.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- 7.) CONTRACTOR TO ADHERE TO CURRENT OSHA EXCAVATION & TRENCH SAFETY REGULATIONS.
- 8.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- 9.) THIS PROJECT IS NOT IN THE 100 YEAR FLOOD HAZARD AREA. REFERENCE FIRM MAP 05125C0225E EFFECTIVE 06/05/2020

SITE PLAN NOTES:

- 1.) THERE ARE NO EROSION PROBLEMS ON THE SITE OR KNOWN EROSION PROBLEMS WITHIN 300' DOWNSTREAM.
- 2.) THERE IS NO SURFACE EVIDENCE OF EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRING WATER IMPOUNDMENTS, AND UNDERGROUND STRUCTURES WITHIN THE PROJECT.
- 3.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AHTD SPECIFICATIONS, AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 4.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE & BASE. TEST TO BE CONDUCTED AS PER GEOTECHNICAL SPECS.
- 5.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- 6.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- 7.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.

VARIANCE REQUEST NOTES: NONE REQUESTED



PROPERTY DESCRIPTION AS SURVEYED

LOT 2 OF NUCKOLS ESTATES. A SUBDIVISION, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS. PLAT BOOK/PAGE 2021/020486.

LEGAL DESCRIPTION OF NUCKOLS ESTATES

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 16, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER, THENCE S2°15'35"W ALONG WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 819.14 FEET TO THE POINT OF BEGINNING; THENCE S89°26'33"E, A DISTANCE OF 353.66 FEET TO A FOUND IRON PIN AT THE SOUTHEAST CORNER OF LAND DESCRIBED IN INSTRUMENT #2017-006510 FILED IN SALINE COUNTY, ARKANSAS; THENCE ALONG THE SOUTH PROPERTY LINE OF LAND DESCRIBED IN INSTRUMENT #2009-57630 FILED IN SALINE COUNTY, ARKANSAS, S89°23'57"E, A DISTANCE OF 967.93 FEET TO A 3/8" FOUND IRON PIN WITH CAP #128 ON THE WEST PROPERTY LINE OF LANDS OWNED BY RONNY BROADWAY DESCRIBED IN INSTRUMENT #2020-017777 FILED IN SALINE COUNTY, ARKANSAS; THENCE LEAVING SAID SOUTH LINE ALONG THE WEST LINE OF BROADWAY, S03°06'57"W, A DISTANCE OF 494.53 FEET TO A 3/8" REBAR AND THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY DOCUMENT #2012-36651; THENCE N89°23'43"W, A DISTANCE OF 1313.94 FEET ALONG THE NORTH LINE OF LANDS OWNED BY BALISTERRI, WOOTEN AND VAUGH; THENCE N02°15'55"E, A DISTANCE OF 493.91 FEET TO THE POINT OF BEGINNING, CONTAINING 14.71 ACRES, MORE OR LESS.

GENERAL NOTES

1. IN AREAS TO RECEIVE BITUMINOUS PAVING, CONCRETE DRIVEWAYS OR CURB AND GUTTER, SUBGRADE SHALL BE COMPACTED TO A DENSITY NOT LESS THAN 95% OF MAXIMUM MODIFIED DENSITY OBTAINED AT OPTIMUM MOISTURE CONTENT.
2. FOR AREAS OF SUBGRADE PREPARATION TO RECEIVE CONCRETE SIDEWALKS, SUBGRADE SHALL BE COMPACTED TO DENSITY OF 90% MAXIMUM MODIFIED DENSITY.
3. CRUSHED STONE - MATERIAL IN EACH COURSE SHALL BE COMPACTED TO A DENSITY OF 98% MAXIMUM MODIFIED DENSITY.

NEW STREET
EXISTING STREET
VERTICAL SAW CUT 1' FROM EXISTING EDGE
WIDENING EXISTING

PAVEMENT SECTION

LIGHT DUTY SECTION TYPE "A" ASPHALT

- 2 INCHES SURFACE COURSE
- 6 INCHES CRUSHED STONE BASE COURSE (88% MP) (AHTD CLASS 7)
- 12" MIN SUBGRADE COMPACTED TO 95% MODIFIED DENSITY (SUBGRADE MATERIAL AND THICKNESS SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS)

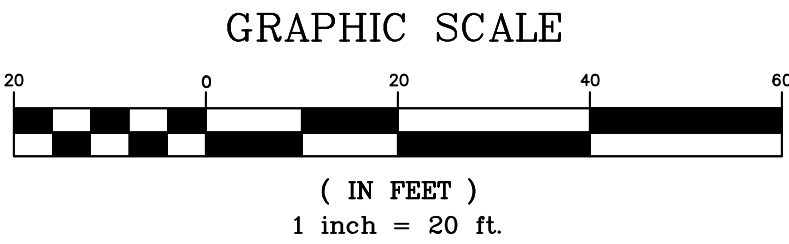
HEAVY DUTY SECTION TYPE "B" ASPHALT

- 2 INCHES HMAC SURFACE COURSE
- 2 INCHES BINDER COURSE
- 6 INCHES CRUSHED STONE BASE COURSE (88% MP) (AHTD CLASS 7)
- 12" MIN SUBGRADE COMPACTED TO 95% MODIFIED DENSITY (SUBGRADE MATERIAL AND THICKNESS SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS)

* PAVEMENT SECTION SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

2' 0" CONCRETE COMBINATION CURB & GUTTER
CURB & GUTTER DETAIL REFER TO GRADING PLAN
CLASS 7 MATERIAL MIN. 3' COMP DEPTH
SUBGRADE COMPACTED TO 98% STANDARD PROCTOR DENSITY.

TYPICAL CURB & GUTTER DETAIL N.T.S.



ENGINEER
RICHARDSON ENGINEERING, PLLC
ADDRESS: 325 W.SOUTH ST.
BENTON, AR. 72015
PHONE NO. (501) 315-7225
PROJECT REPRESENTATIVE:
TRISTIN PHILLIPS, P.E.

DEVELOPERS
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

Legend

— RW —	Right of Way
— — — — —	Property Boundary
— T —	Telephone
— FO — FO — FO —	Fiber Optic Line
— — — — —	Road Center line
— X —	Wire / Chainlink Fence
— G —	Gas Line
— GS —	Gas Service Line
— SS —	Sanitary Sewer Service
— FM — FM — FM —	Force Main
— W —	Water Line
— WS —	Water Service Line
— OHE —	Overhead Powerline

Water Meter

Sanitary Sewer Manhole

Storm Sewer Manhole

Telephone Pedestal

Force Main Gate Valve

Sewer Service Check Valve

Guy Wire

Computed Corner

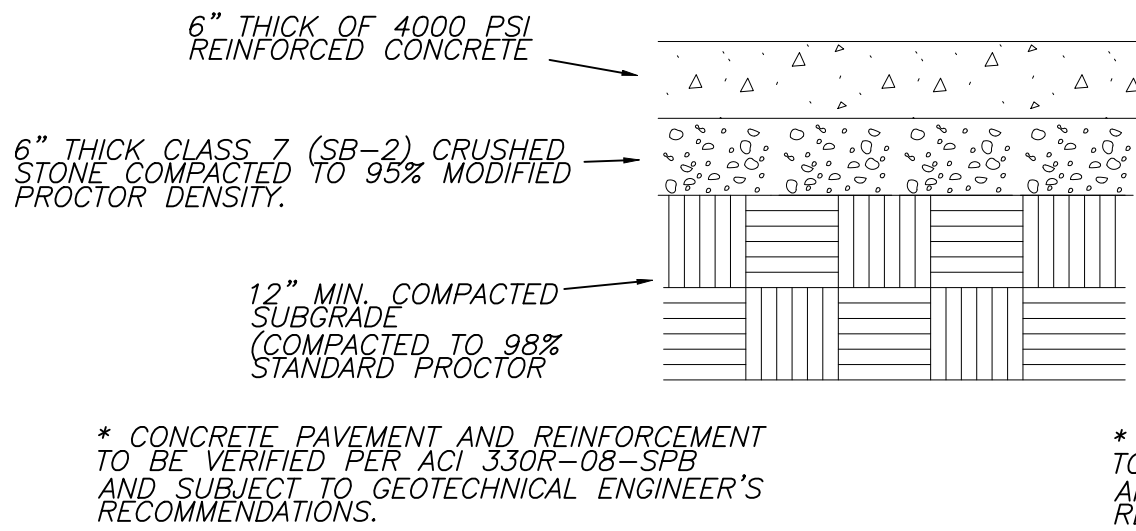
Found Monument (Labeled)

Utility Pole

PROPOSED CONTOUR

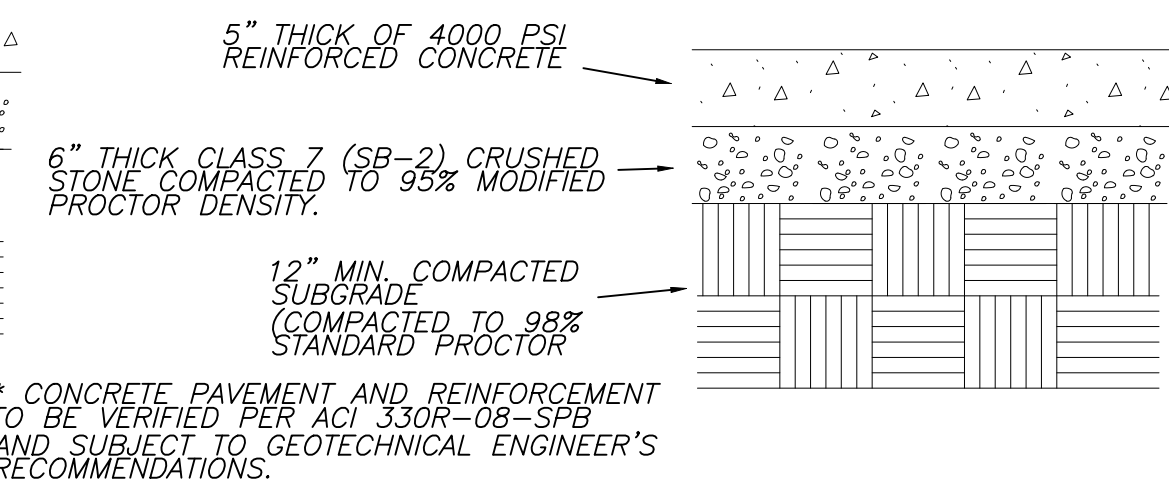
EXISTING CONTOUR

- CONCRETE PAVEMENT NOTES:**
1. CONCRETE TO BE 4000 PSI, SLUMP 4" +/- 1".
 2. INSTALL 1" DIA. X 18" L SMOOTH DOWELS ON 18" CENTERS AT CONTROL JOINTS.
 3. SAW CUT CONTROL JOINTS 15' MAX. EACH WAY AT A DEPTH OF 25% (3/4" PER 1") OF CONCRETE SECTION THICKNESS.
 4. AIR ENTRAINMENT 3-5%.
 5. FINISH TO BE MEDIUM BROOM FINISH.
 6. INSTALL EXPANSION JOINTS WHERE ABUTTING STRUCTURES AND AT A MAX. OF 200 LF OF PAVING. USE 3/4" EXPANSION JOINT MATERIAL WHERE EXPANSION JOINTS ARE SPECIFIED. USE 1" DIA. X 18" L SMOOTH DOWELS ON 18" CENTERS IN EXPANSION JOINTS BETWEEN PAVEMENT SECTIONS.



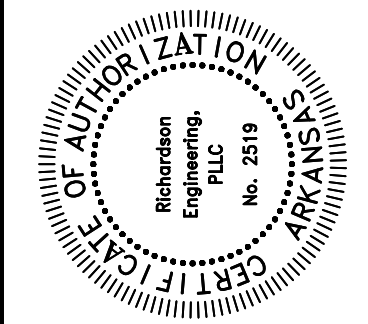
* CONCRETE PAVEMENT AND REINFORCEMENT TO BE VERIFIED PER ACI 330R-08-SP8 AND SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

HEAVY DUTY CONCRETE PAVEMENT SECTION (OPTIONAL) NTS



* CONCRETE PAVEMENT AND REINFORCEMENT TO BE VERIFIED PER ACI 330R-08-SP8 AND SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

LIGHT DUTY CONCRETE PAVEMENT SECTION (OPTIONAL) NTS



SITE PLAN
CORNERSTONE MONTESSORI

4910 SPRINGHILL RD
BRYANT, ARKANSAS

Prepared For:
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

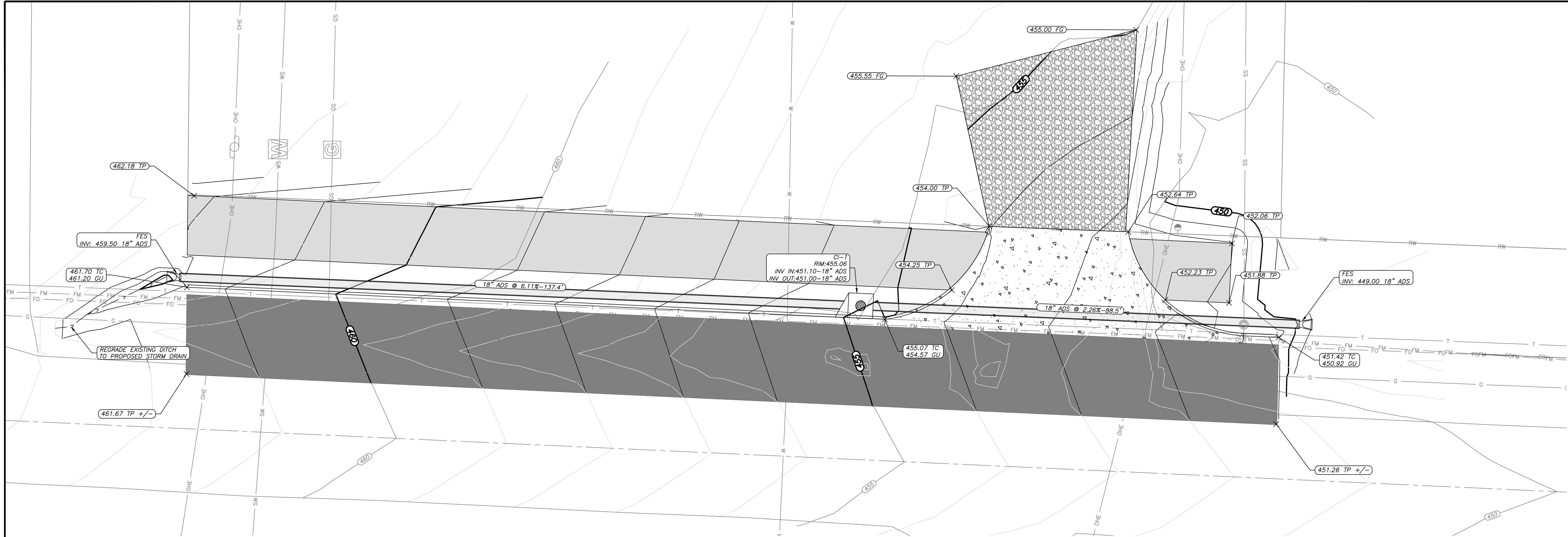
No.	Revisions	Date

PROJECT #: 025-026

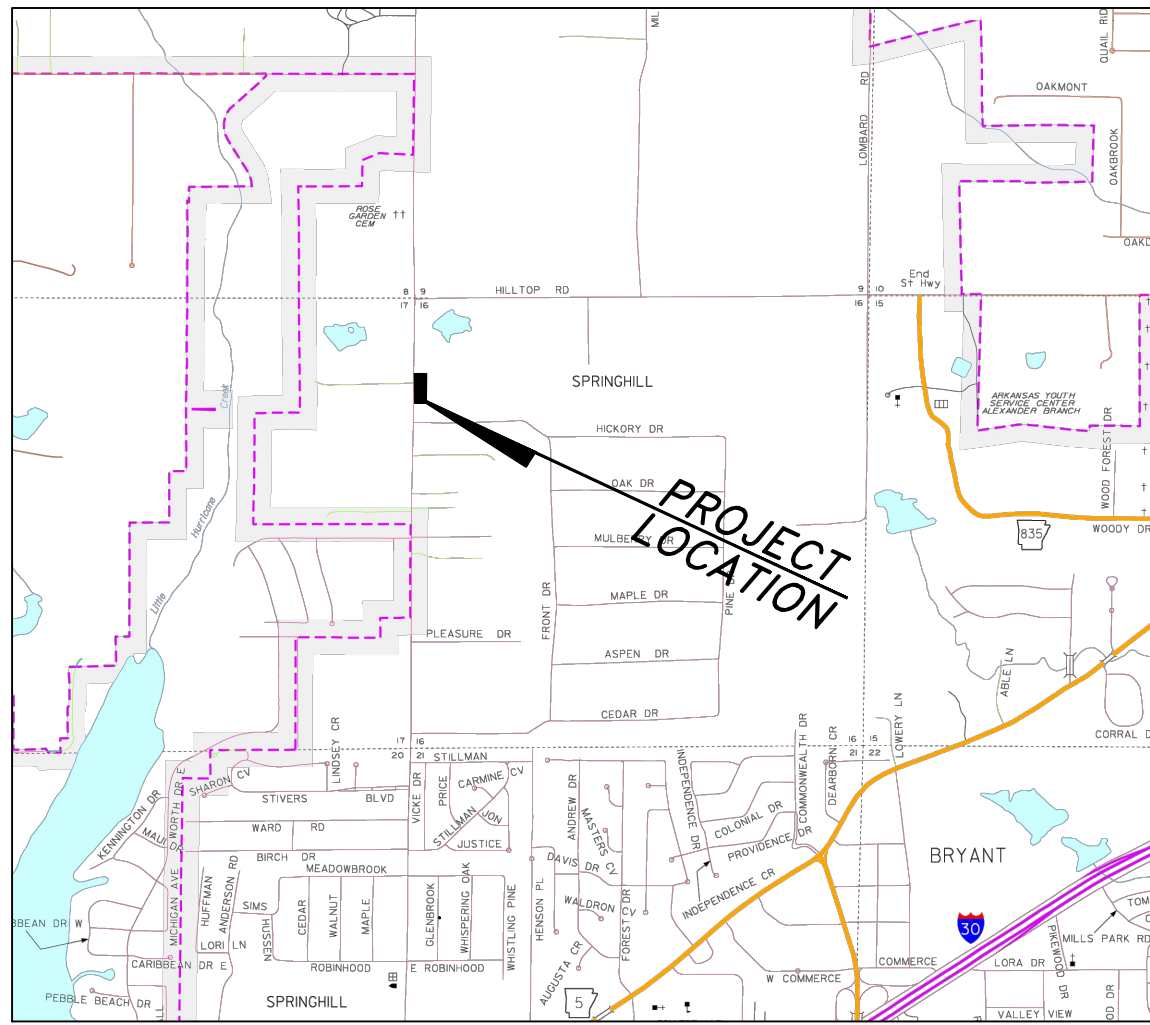
Date: 8-20-2025

Scale: 1" = 20'

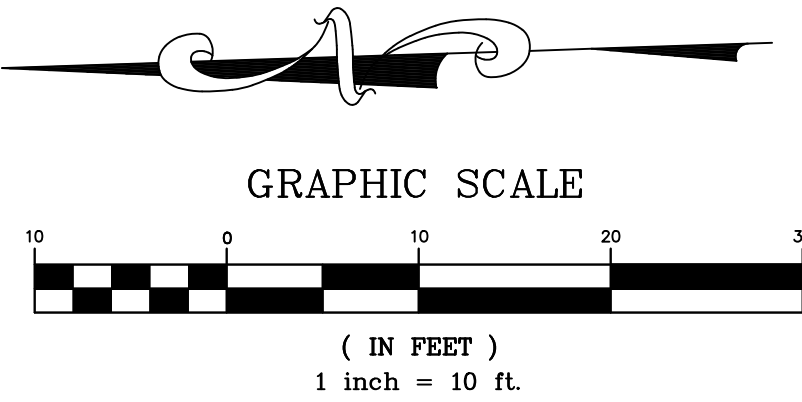
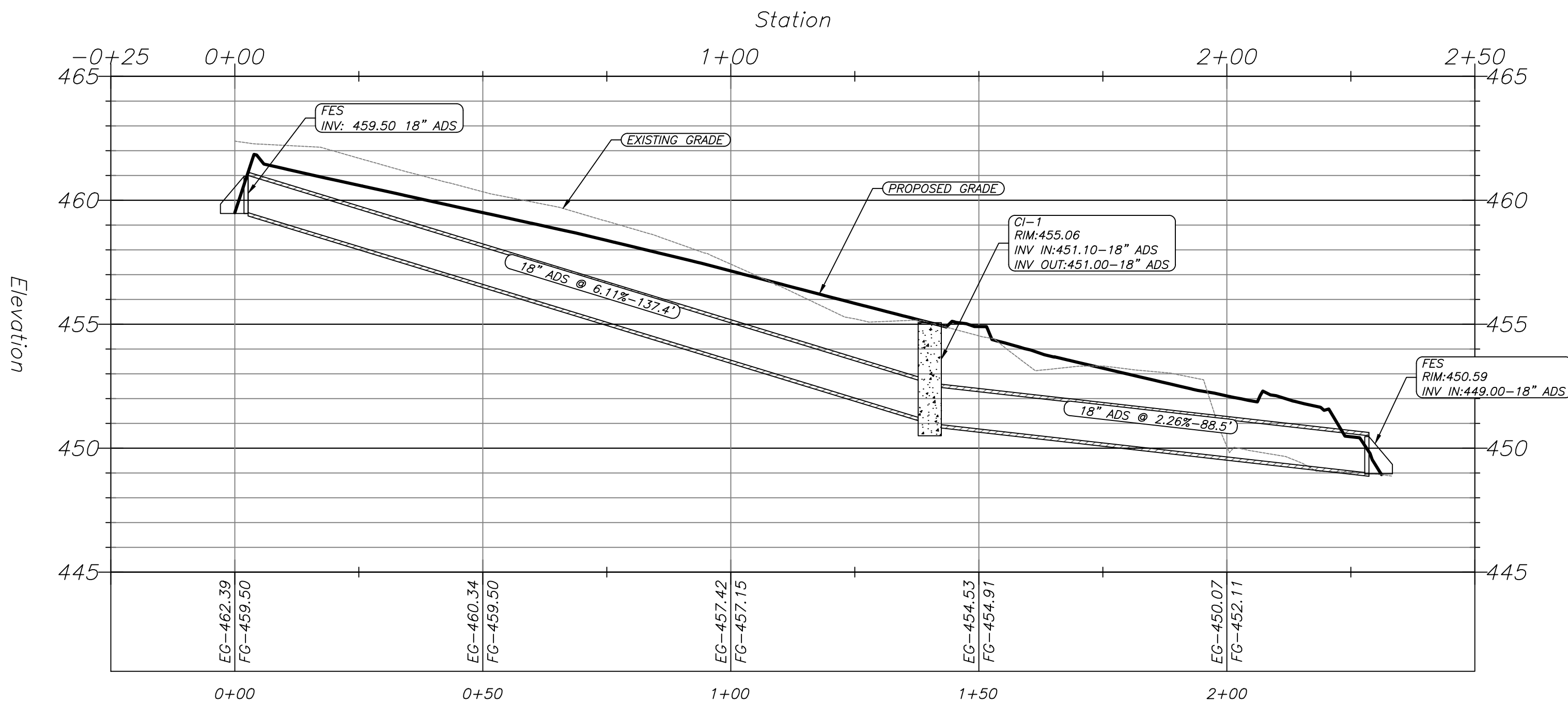
Sheet: 4 of 6



VICINITY MAP
NTS



PROPOSED STORM PROFILE

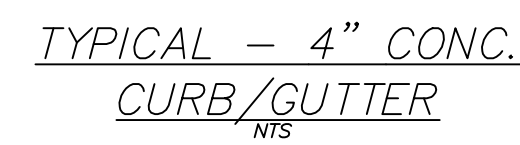


Legend

- | | | |
|---|---------------------------|----------------------------|
| — | RW | Right of Way |
| — | Property Boundary | Property Boundary |
| — | T | Telephone |
| — | FO | Fiber Optic Line |
| — | — | Road Center line |
| — | X | Wire / Chainlink Fence |
| — | G | Gas Line |
| — | GS | Gas Service Line |
| — | SS | Sanitary Sewer Service |
| — | FM | Force Main |
| — | W | Water Line |
| — | WS | Water Service Line |
| — | OHE | Overhead Powerline |
| ⊗ | Water Meter | ⊙ Guy Wire |
| ⊙ | Sanitary Sewer Manhole | ○ Computed Corner |
| ⊕ | Storm Sewer Manhole | ● Found Monument (Labeled) |
| ⊕ | Telephone Pedestal | ⊕ Utility Pole |
| ⊕ | Force Main Gate Valve | — PROPOSED CONTOUR |
| ⊕ | Sewer Service Check Valve | — EXISTING CONTOUR |

GENERAL NOTES:

- 1.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 2.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 3.) CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
- 4.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
- 5.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- 6.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- 7.) CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRAFFIC CONTROL WITH THE PROPER AUTHORITIES.



NOTE: This detail is not to be used for inlets in curb radius.
See PW-10 for detail of inlet top in curb radius.



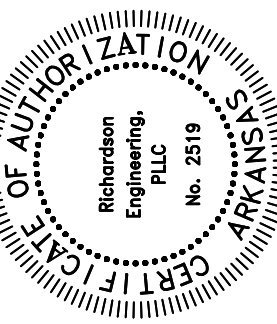
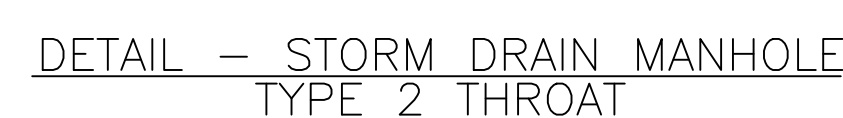
REFER TO CITY OF BENTON, ARKANSAS PUBLIC WORKS
STREET AND DRAINAGE STANDARD DETAILS FOR ADDITIONAL
DETAILS AND INFORMATION.



NOT TO SCALE



TYPE A = 4' ID/ 5' OD
TYPE B = 5' ID/ 6' OD
TYPE C = 6' ID/ 7' OD
REFER TO PLAN FOR BOX TYPE

[illegible]

CERTIFICATE OF FINAL SURVEYING ACCURACY

I, MITCHELL D. LANE HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL INTERIOR LOT LINES ARE ACCURATELY DESCRIBED IN TERMS OF LENGTH AND DIRECTION OF THE PROPERTY SIDES.

SIGNED Mitchell D. Lane

LICENSED PROFESSIONAL SURVEYOR
NO. 1775, ARKANSAS.

CERTIFICATE OF OWNER

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN DO HEREBY CERTIFY THAT WE HAVE CAUSED TO BE LAID OFF, PLATTED AND SUBDIVIDED, AND TO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE PLAT.

SIGNED _____

GERBER BEZA
NAME _____

2609 MILLS PARK RD MILLS PARK RD, BRYANT, AR 72022
ADDRESS _____

SOURCE OF TITLE
2025/001805

CERTIFICATE OF RECORDING

THIS DOCUMENT, NUMBER _____, FILED FOR RECORD _____,

2025, IN PLAT BOOK _____, PAGE _____.

SIGNED _____

CLERK

CERTIFICATE OF FINAL PLAT APPROVAL

PURSUANT TO THE CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS, THIS DOCUMENT WAS GIVEN APPROVAL BY THE BRYANT PLANNING COMMISSION AT A MEETING HELD _____, 2025. ALL OF THE DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

SIGNED _____

CHAIRMAN
BRYANT PLANNING BOARD

DATE OF EXECUTION

LEGAL DESCRIPTION

LOTS 17-18 PIKEWOOD SUBDIVISION NO. 3 TO SALINE COUNTY ARKANSAS

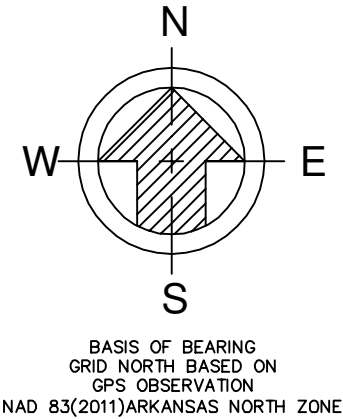
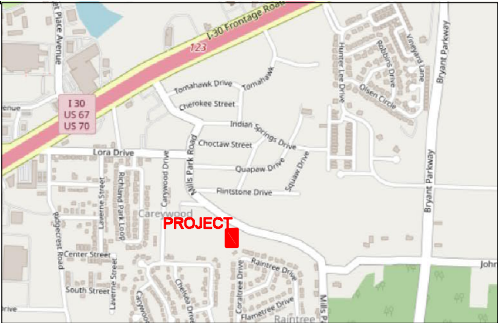
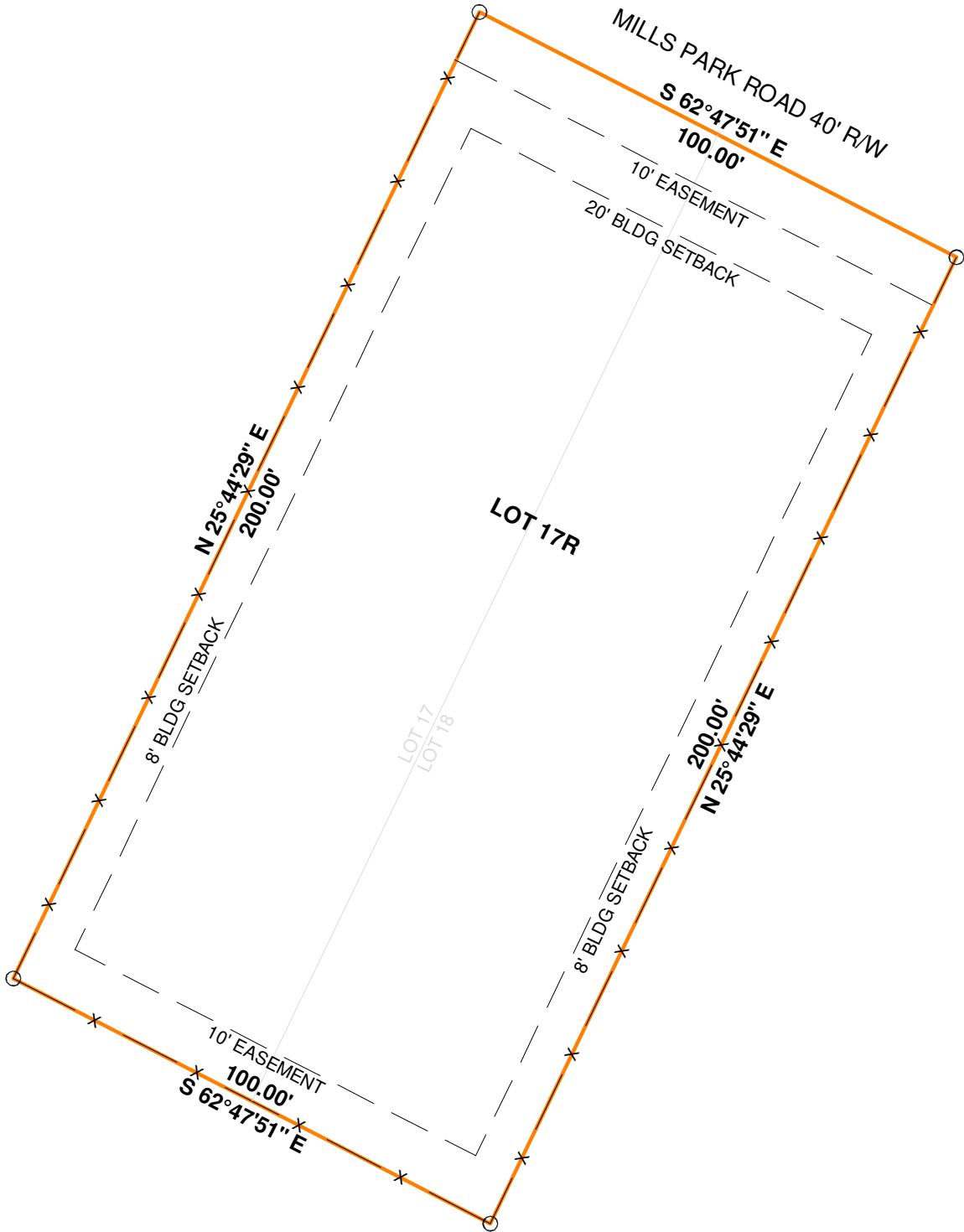
SURVEYOR'S CERTIFICATION

UNLESS SPECIFICALLY STATED OR SHOWN, THIS BOUNDARY SURVEY IS MADE SUBJECT TO AND DOES NOT DELINEATE: BUILDING SETBACK LINES, ZONING REGULATIONS, RESTRICTIONS, OR OTHER ITEMS WHICH MAY AFFECT DEVELOPMENT. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, OR THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES, UNLESS SPECIFICALLY SHOWN, WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THE TRACT. TRACT MAY BE SUBJECT TO EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AND PLANNING AND ZONING REGULATIONS OF RECORD, IF ANY, AND IS SUBJECT TO SUCH FACTS WHICH A CURRENT TITLE SEARCH MAY DISCLOSE. I, MITCHELL D. LANE, HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION ON THIS DAY.

CERTIFICATE OF FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, 05125C0380E, COMMUNITY PANEL NO. 050308 WHICH BEARS AN EFFECTIVE DATE OF 6-5-20 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

REPLAT OF LOT 17 AND 18 OF PIKEWOOD SUBDIVISION NO. 3 SALINE COUNTY ARKANSAS



LEGEND	
	SET #5REBAR/CAP
	FND MONUMENT
	COMPUTED POINT
	SURVEY BOUNDARY



FOR USE AND BENEFIT OF:

GERBER BEZA

MITCHELL D. LANE SURVEYING
4801 HIGHWAY 5, BENTON, AR 72015
mitchell.lane1775@gmail.com

DATE AUG 28 2024
JOB # 25-021M
FIELD/CAD MDL

