



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: December 29, 2022 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Sherwood Park Subdivison - Lots 10-13 - Replat

Requesting Recommendation for Approval of Replat

- [0638-PLN-01_v1.pdf](#)
- [0638-APP-01_v1.pdf](#)

2. Dunkin Donuts - Remodel - Exterior Changes

Requesting Approval for Exterior Changes to Building

- [0642-PLN-01.pdf](#)

3. Alcoa Exchange - Tenant B - Additional Site Improvements

Bailey Construction - Requesting Approval for Site Improvements for Tenant Buildout

4. Middleton Detention Pond - 1800 Woodland Park

Hope Consulting - Requesting Approval for Changes to Detention Pond

- [0647-DRN-01.pdf](#)
- [0647-PLN-01.pdf](#)

5. Coral Ridge - Lots 18 & 24 - Variances

Hope Consulting - Requesting Recommendation for Approval of Variances on Lot Setbacks.

- [0648-APP-01.pdf](#)
- [0648-APP-02.pdf](#)

6. Cornerstone Montessori Christian Academy - Springhill Road

Hope Consulting - Requesting Site Plan Approval

- [0545-RSP-01.pdf](#)
- [0545-PLN-06.pdf](#)

7. Proposed New Sign Code Draft

Staff Approved

Permit Report

Adjournments

CERTIFICATE OF FINAL SURVEYING ACCURACY:

I, MARION SCOTT FOSTER, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY AND A PLAN OF IMPROVEMENTS MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL REQUIREMENTS OF THE PULASKI COUNTY SUBDIVISION RULES AND REGULATIONS HAVE BEEN FULLY COMPLIED WITH.

DATE OF EXECUTION _____

NAME: _____

MARION SCOTT FOSTER
PROFESSIONAL SURVEYOR, NO. 1467
ARKANSAS

CERTIFICATE OF FINAL PLAT APPROVAL

PURSUANT TO THE CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS, THIS DOCUMENT WAS GIVEN APPROVAL BY THE BRYANT PLANNING COMMISSION AT A MEETING HELD _____ 2022. ALL OF THE CONDITIONS OF APPROVAL HAVING BEEN COMPLETED. THIS DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

DATE OF EXECUTION _____

SIGNED _____

BRYANT PLANNING
COMMISSION

LEGEND

- POWER POLE _____
- LIGHT POLE _____
- SIGN _____
- WATER VALVE _____
- WATER METER _____
- SANITARY SEWER MAN-HOLE _____
- TELEPHONE PEDESTAL _____
- FIRE HYDRANT _____
- GAS METER _____
- DROP INLET GRATE _____
- HANDICAP PARKING _____
- COMPUTED POINTS _____
- CONCRETE _____ CONC.
- GUY WIRE ANCHOR _____ G.W.A.
- POINT OF BEGINNING _____ P.O.B.
- ELEVATION _____ ELEV.



CERTIFICATE OF OWNER

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE, SHOWN AND DESCRIBED HEREIN, DO CERTIFY THAT WE HAVE CAUSED TO BE LAID OFF, PLATTED, AND SUBDIVIDED, AND TO HEREBY LAY OFF, PLAT, AND SUBDIVIDED SAID REAL ESTATE IN ACCORDANCE WITH THE PLAT.

DATE OF EXECUTION _____

CERTIFICATE OF RECORDING

THIS DOCUMENT, NUMBER _____, IS FILED FOR RECORD ON THIS _____ DAY OF _____ 20____ AT _____ AM/PM. IN PLAT OR DEED BOOK _____ PAGE _____

SIGNED _____

TITLE _____

FOR BILL OF ASSURANCE SEE DEED RECORD BOOK _____ PAGE _____

OWNER / DEVELOPER

CARLTON FINNEY
2925 CEDAR PARK STREET
BRYANT, ARKANSAS 72019
SOURCE OF TITLE BOOK 204 PAGE 503

VICINITY MAP (NOT TO SCALE)

NOTES

SURVEY BEARINGS ARE BASED ON GRID NORTH AR STATE PLANE SOUTH ZONE AS DETERMINED BY GPS

THE BEARINGS SHOWN ON THIS PLAT ARE ASSUMED AND ARE TO BE USED TO DEFINE THE GENERAL DIRECTION AND TRUE ANGLES AT INTERSECTION OF PROPERTY AND LAND LINES.

TRACT IS SUBJECT TO EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AND PLANNING AND ZONING REGULATIONS OF RECORD, IF ANY, AND IS SUBJECT TO SUCH FACTS AS AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

NO STATEMENT IS MADE AS TO THE EXISTENCE OR LOCATION, EXCEPT WHERE SHOWN OF ANY PROPERTY CORNER MONUMENTS.

NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS PRIOR TO BEGINNING CONSTRUCTION. (IF APPLICABLE).

SURVEY VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR IN RED PRESENT ON IT.

UTILITIES NOT FIELD VERIFIED. NO OTHER STATEMENT IS MADE AS TO UTILITY EXISTENCE OR LOCATION.

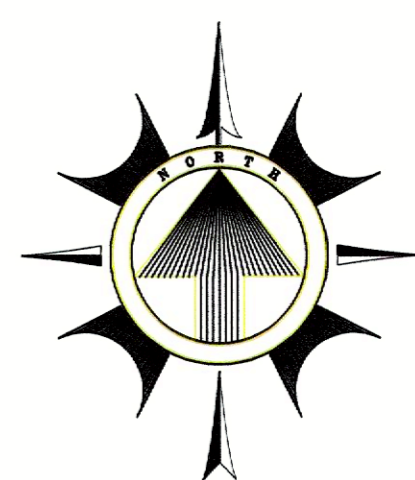
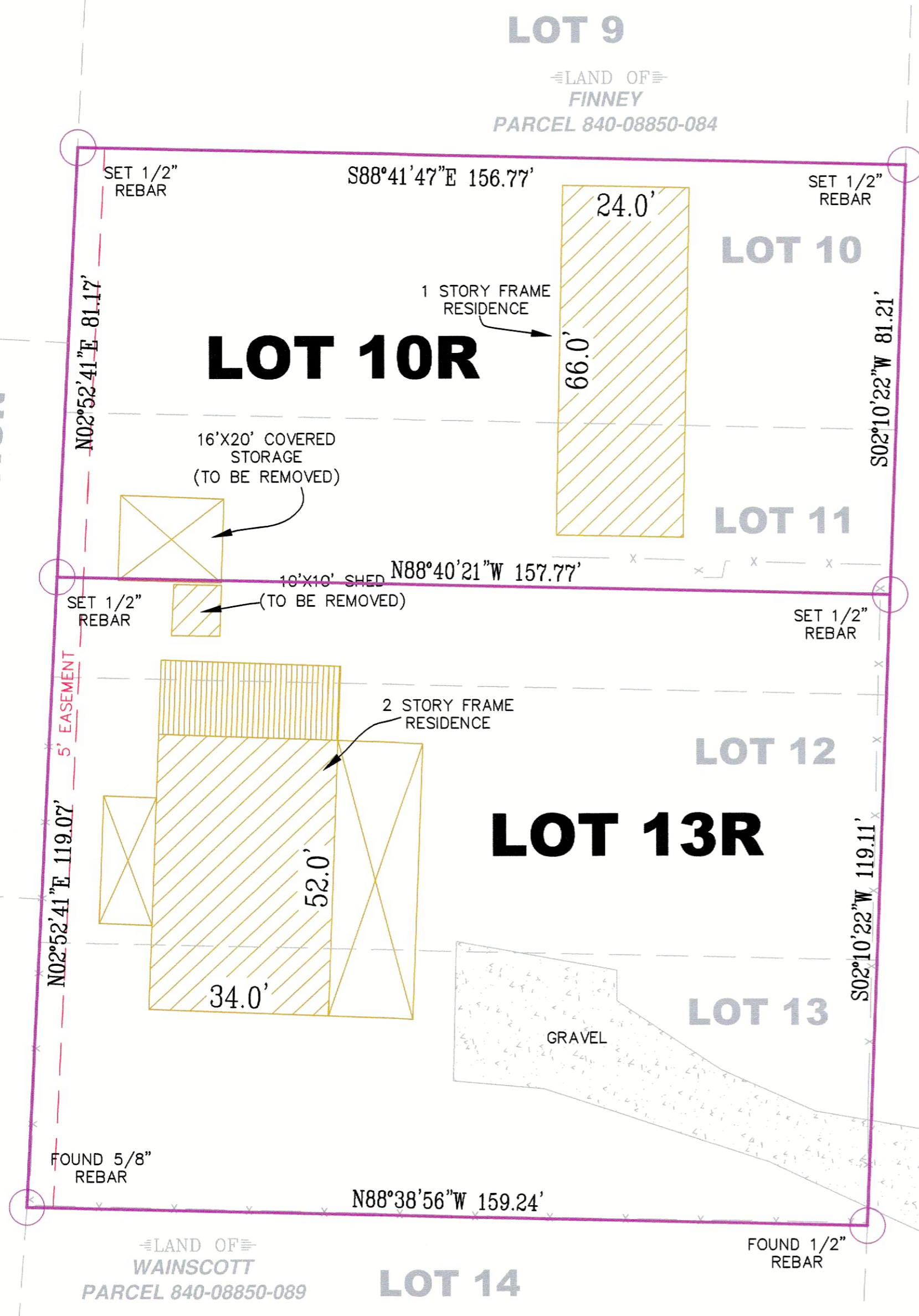
I CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, CORNER MONUMENTS HAVE BEEN ESTABLISHED IN ACCORDANCE WITH EXISTING MONUMENTATION IN THE AREA AND IMPROVEMENTS IF ANY ARE AS SHOWN HEREON.

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

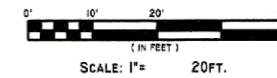
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HURRICANE HEIGHTS SUBDIVISION

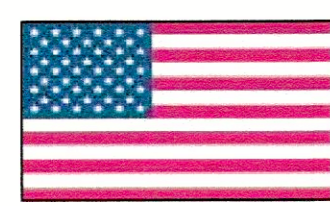
CEDAR PARK STREET



BASIS OF BEARING:
NAD-83 GRID NORTH
ARSP SOUTH ZONE.



**FINAL PLAT OF
LOTS 10R AND 13R
SHERWOOD PARK SUBDIVISION
BEING REPLAT OF
LOTS 10, 11, 12 AND 13 SHERWOOD PARK SUBDIVISION
TO THE CITY OF BRYANT
SALINE COUNTY, ARKANSAS**



DATE: 12-05-2022
SCALE: 1" = 20'
DRAWN BY: MSF
CHECKED BY: MSF
FILE NAME: HURRICAN HEIGHTS



ARKANSAS SURVEYING & CONSULTING
1926 SALEM ROAD
BENTON, ARKANSAS 72019
TELE. OFFICE (501) 794-4500
CLARENDON ARKANSAS, 72029
TELE OFFICE (870) 747-1761
WEB SITE: ascsurveyors.com

CARLTON FINNEY
CEDAR PARK STREET
BRYANT, ARKANSAS
FINAL PLAT



Subdivision Replat Checklist

Approved by
Bryant Planning Commission

Instructions

The attached checklist must be completed by the property owner and must be submitted along with the Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the property until the Replat plan is approved.

No changes or alterations can be made to the approved Plat Plan without Planning Commission approval.

Fees due to City of Bryant upon submission of Final Re-Plat application

- \$25.00 + \$1.00 per lot - for Plat review

Planning Commission requires that you furnish the City of Bryant with a copy of the amended recorded plat within one month of approval.

City of Bryant Subdivision Replat Checklist

Subdivision Name SHERWOOD PARK
Contact Person SCOTT FOSTER Phone 501-690-1046
Mailing Address 1926 SALEM ROAD BENTON 72019

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision
- ▲ 2. Name and Address of owner of Record
- ▲ 3. Date of Survey
- ▲ 4. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 5. New lot and block numbers
- ▲ 6. Lot area in square feet
- ▲ 7. Lot lines with appropriate dimensions
- ▲ 8. Building setback lines
- ▲ 9. Certificate of Surveying Accuracy
- ▲ 10. Certificate of Owner
- ▲ 11. Certificate of Final Plat Approval
- ▲ 12. Certificate of Recording
- ▲ 13. Show scale (not less than 1" = 100')
- ▲ 14. North Arrow
- ▲ 15. Show Title block
- ▲ 16. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 17. Layout of all proposed sidewalk systems
- ▲ 18. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 19. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 20. Any proposed open space must be shown
- ▲ 21. Show the direction and flow of all water courses entering the tract
- ▲ 22. Show the direction and flow of all water courses leaving the tract

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 23. Letter to Planning Commission stating your request
- ▲ 24. Completed Checklist
- ▲ 25. 20 copies of current lot Plan (folded)
- ▲ 26. 20 copies of Final replat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 27. Check for \$25.00 + \$1.00 per lot for final Subdivision Replat fee

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

Scott Foster For owner
Owner Signature

Engineer Signature



ARKANSAS SURVEYING
& CONSULTING

**1926 Salem Road, Benton, AR 72019
501-794-4500 (Phone) 501-794-4501 (FAX)**

To: City Of Bryant Planning Commission

Please accept this letter along with 20 copies of Sherwood Park Subdivision. We wish to place this plat on the agenda for the December 15th Planning Commission meeting.

I have complied with the requirements listed on the subdivision checklist for subdivision approval. Thank you for your time for review.

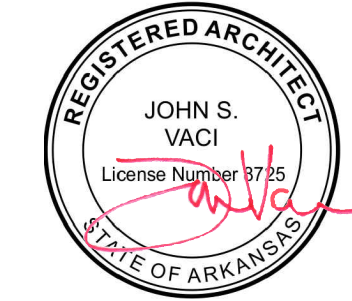
Marion Scott Foster 12/05/2022

Lagunita Franchise Operations
 Tony Antoon and Damon Dunn
 tony@lfops.com
 601.940.6914



Store Number: 350624
 2234 N Reynolds Road
 Bryant, AR 72022

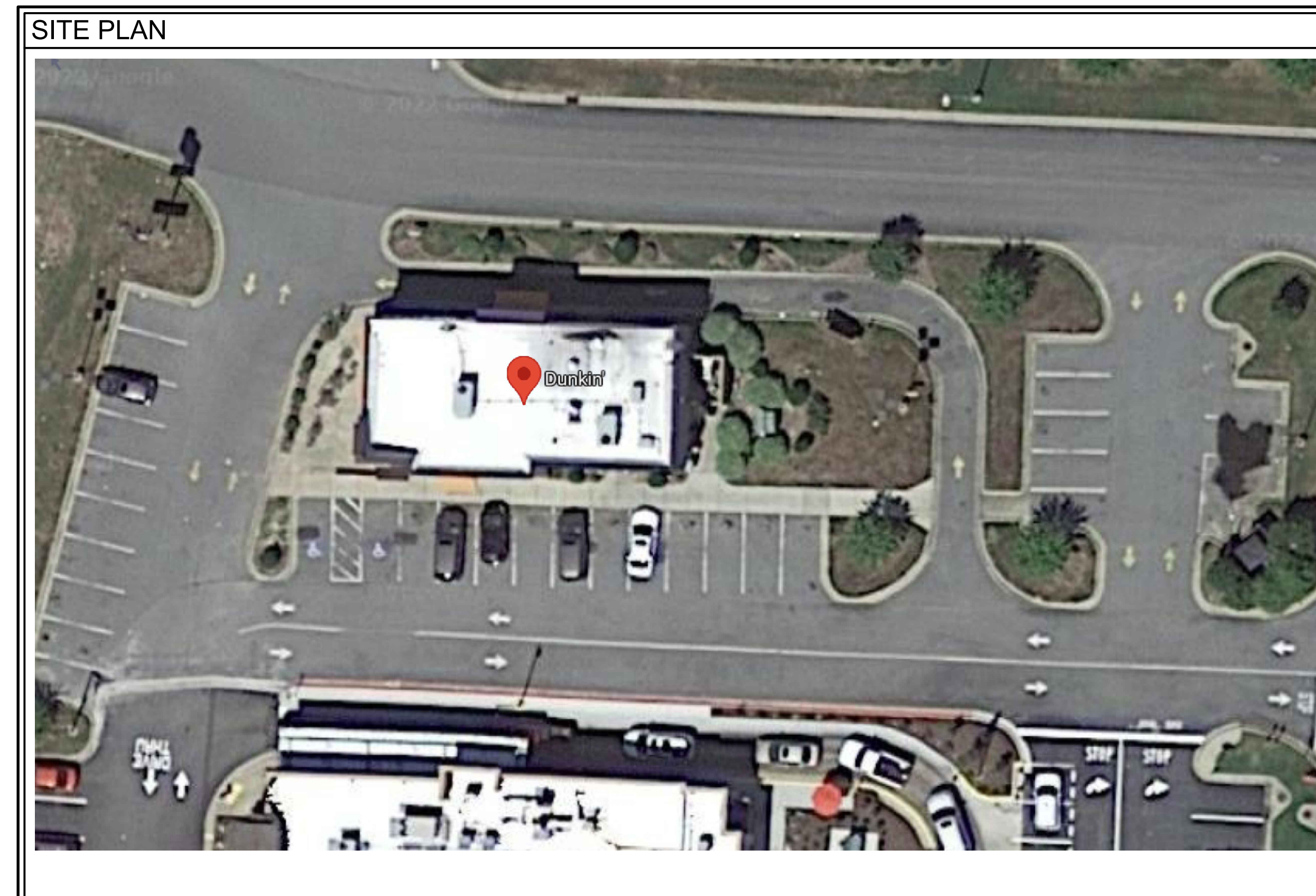
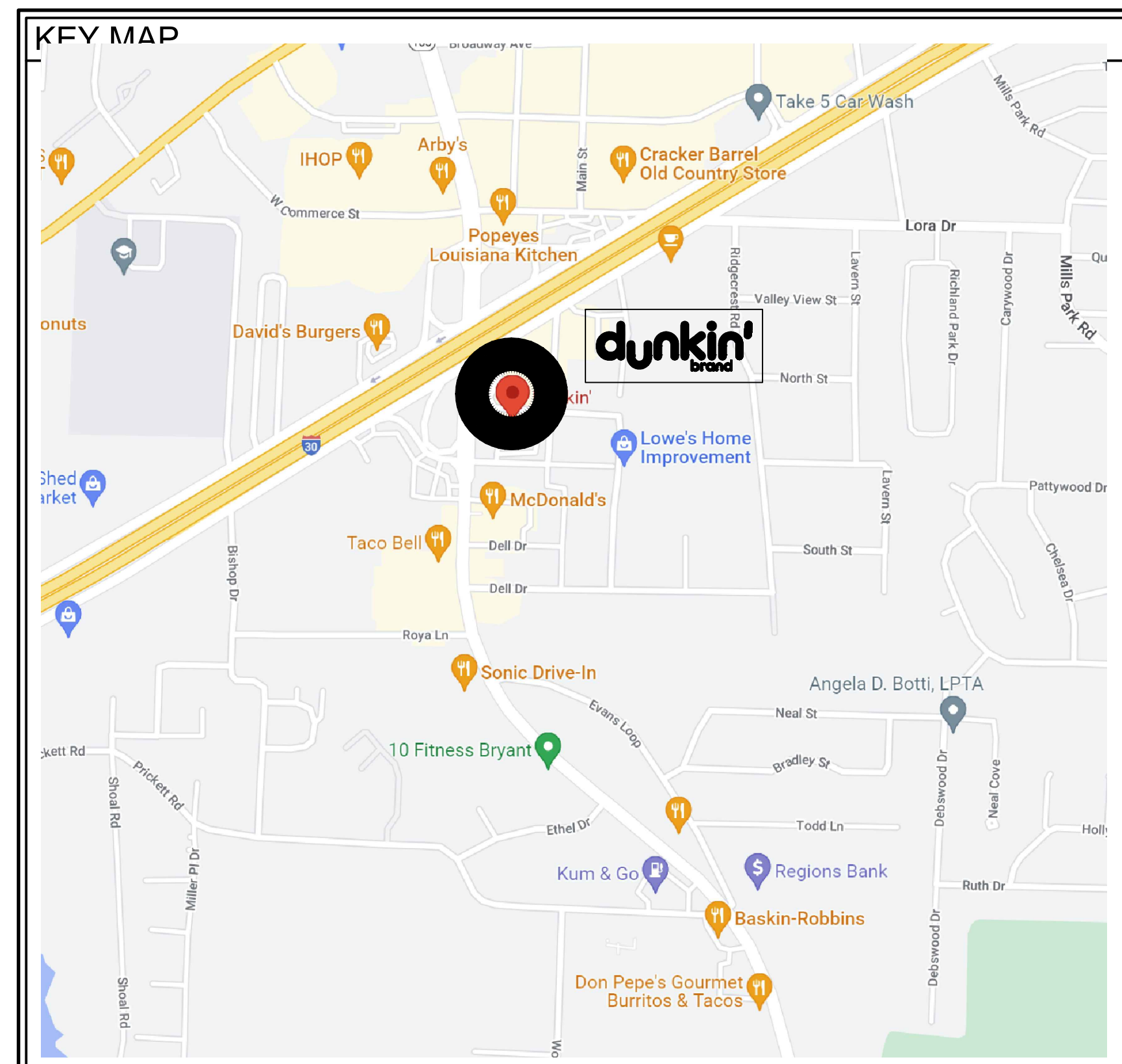
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 BIRMINGHAM, AL 35242
 205.541.7898
 john@johnvaciarchitect.com

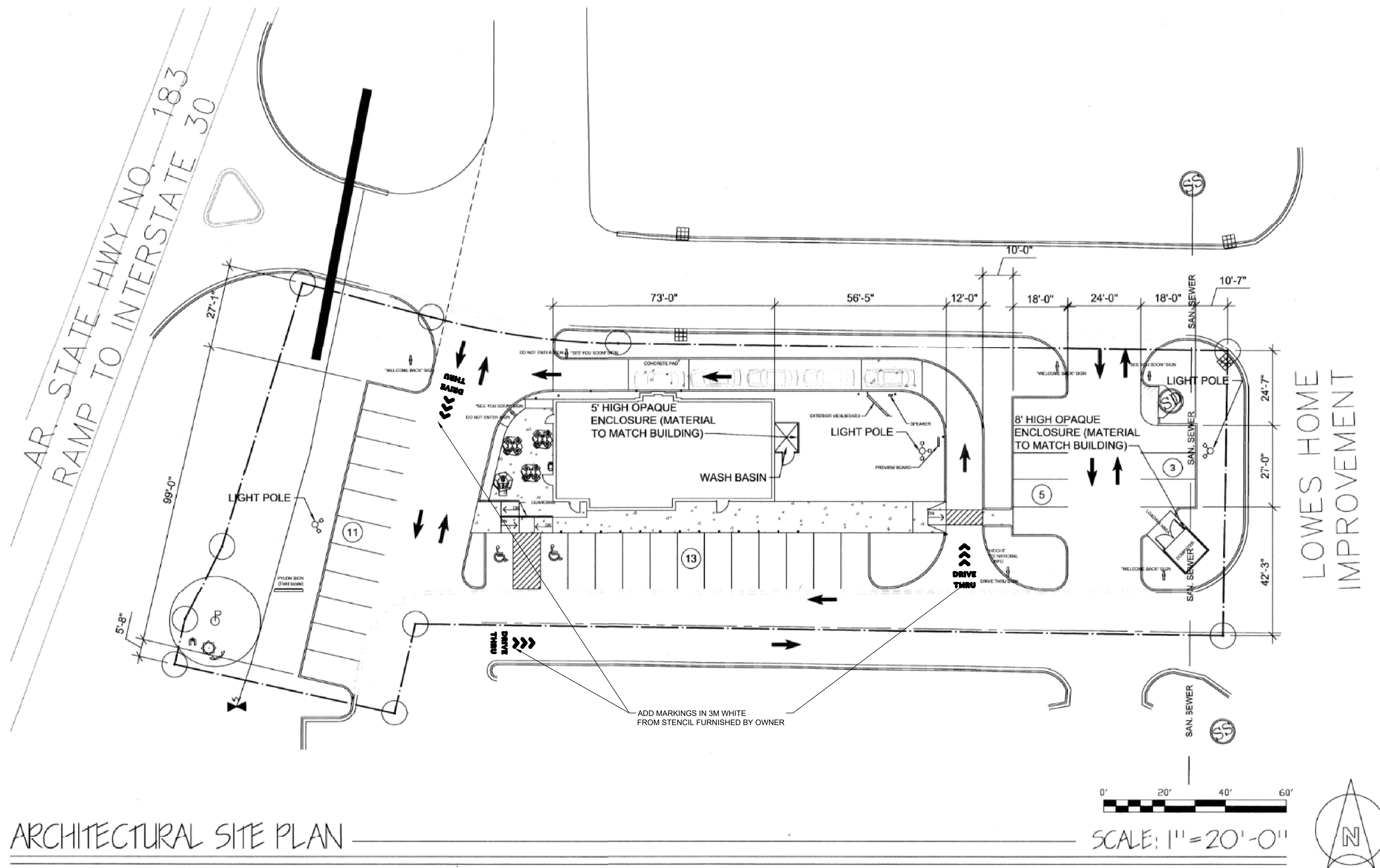


1/1/2022

ABBREVIATIONS		DRAWING SYMBOLS	
# Pound OR Number	CALV Galvanized	T/D Telephone/Data	(1) DETAIL SHEET
& And	GC General Contractor	TYP Typical	(1) SECTION CUT SHEET
@ At	GWB Gypsum Wall Board	UNO Unless Noted Otherwise	(1) DETAIL SHEET
ACT Acoustic Ceiling Tile	HC Hollow Core	U/S Underside	(1) ELEVATION INDICATOR
AD Area Drain	HI High	VIF Verify In Field	(1) WINDOW NUMBER
AF Above Finished Floor	HM Hollow Metal	VP Vision Panel	(A) GLASS TYPE
ALUM Aluminum	HP High Point	W/ With	ROOM NAME
ANOD Anodized	HR Hour	WD Wood	(108) ROOM IDENTIFICATION
BSMT Basement	HVAC Heating Ventilating Air Conditioning		(FRP-01) FINISH DESIGNATION
BYND Beyond	ILO In Lieu Of		(1) DOOR NUMBER
BOT Bottom	INSUL Insulated or Insulation		(A) WALL TYPE
CIP Cast In Place	INT Interior		(N) NORTH ARROW
CHNL Channel	LD Low		(5) REVISION NUMBER
CJ Control Joint	LO Low		(124B) EQUIPMENT NUMBER
CLG Ceiling	MAX Maximum		(5) KEY NOTE
CLR Clear	MO Masonry Opening		
CMU Concrete Masonry Unit	MECH Mechanical		
COL Column	MEMBR Membrane		
COMPR Compressible	MIN Minimum		
CONC Concrete	MRSWB Moisture-Resistant Gypsum		
CONT Continuous	WB Wall Board		
CPT Carpet	MTL Metal		
CT Ceramic Tile	NIC Not In Contract		
CTYD Courtyard	NO Number		
DBL Double	NOM Nominal		
DEMO Demolish or Demolition	OC On Center		
DIA Diameter	OH Opposite Hand		
DIM Dimension	OZ Ounce		
DIMS Dimensions	PC Plumbing Contractor		
DN Down	PCC Pre-Cast Concrete		
DR Door	PLMB Plumbing		
DWG Drawing	PLYD Plywood		
DS Downspout	PT Pressure Treated		
EA Each	PNT Paint or Painted		
EC Electrical Contractor	PVC Polyvinyl Chloride		
EJ Expansion Joint	RBR Rubber		
EL Elevation	RCP Reflected Ceiling Plan		
ELEC Electrical	RD Roof Drain		
ELEV Elevator or Elevation	REQD Required		
EPDM Ethylene Propylene Diene M-Class (Roofing)	RM Room		
EQ Equal	SIM Similar		
EXIST Existing	SPEC Specified OR Specification		
EXP JT Expansion Joint	SPK Sprinkler or Speaker		
EXT Exterior	SSTL Stainless Steel		
FD Floor Drain or Fire Department	STC Sound Transmission Coefficient		
FEC Fire Extinguisher Cabinet	STL Steel		
FIXT Fixture	STRUCT Structure or Structural		
FLR Floor	T&G Tongue And Groove		
FM Filled Metal	TELE Telephone		
FO Face Of	TLT Toilet		
FND Foundation	TO Top Of		
GA Gauge	TOC Top Of Concrete		
	TOS Top Of Steel		
	TPD Toilet Paper Dispenser		

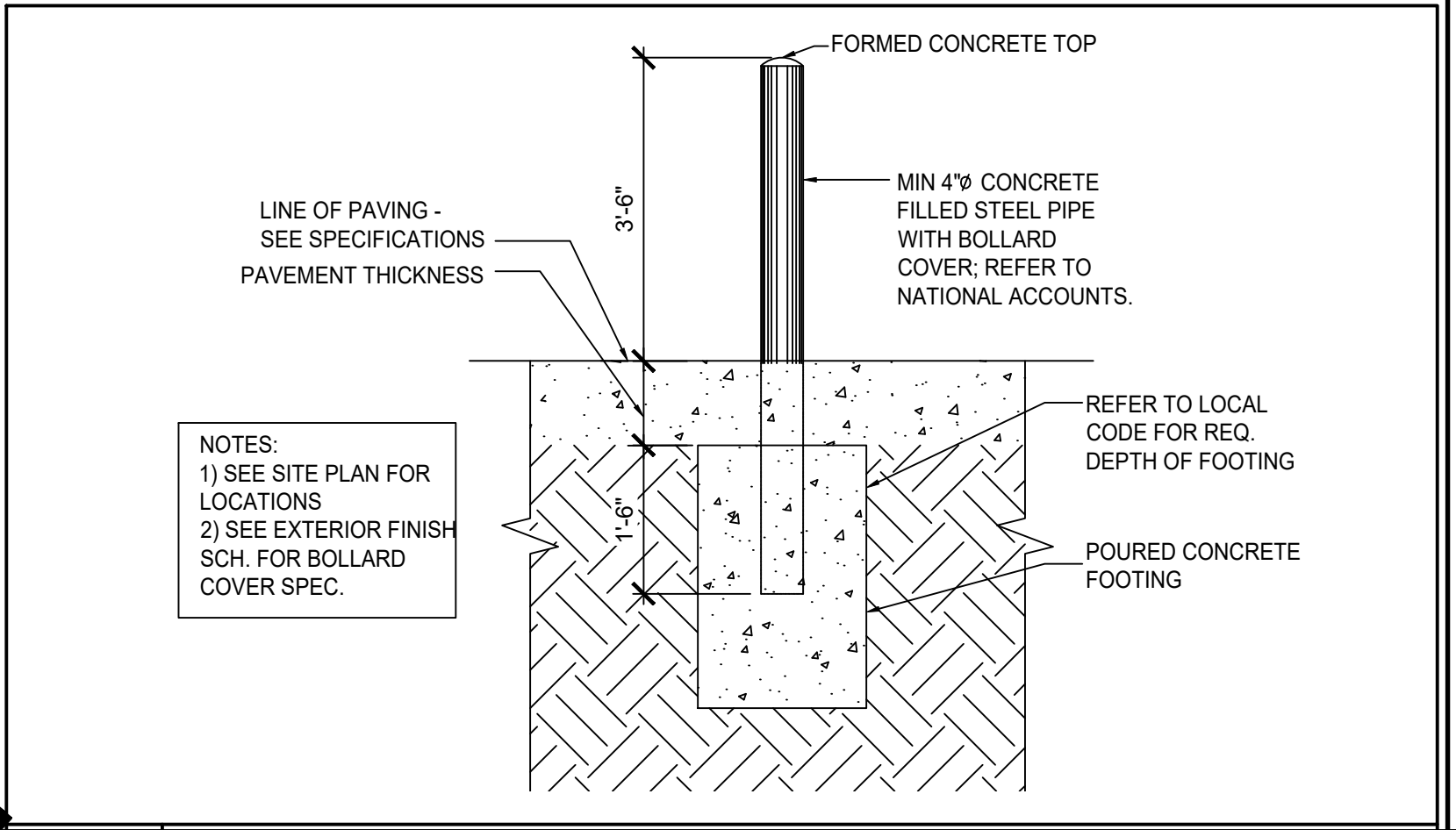
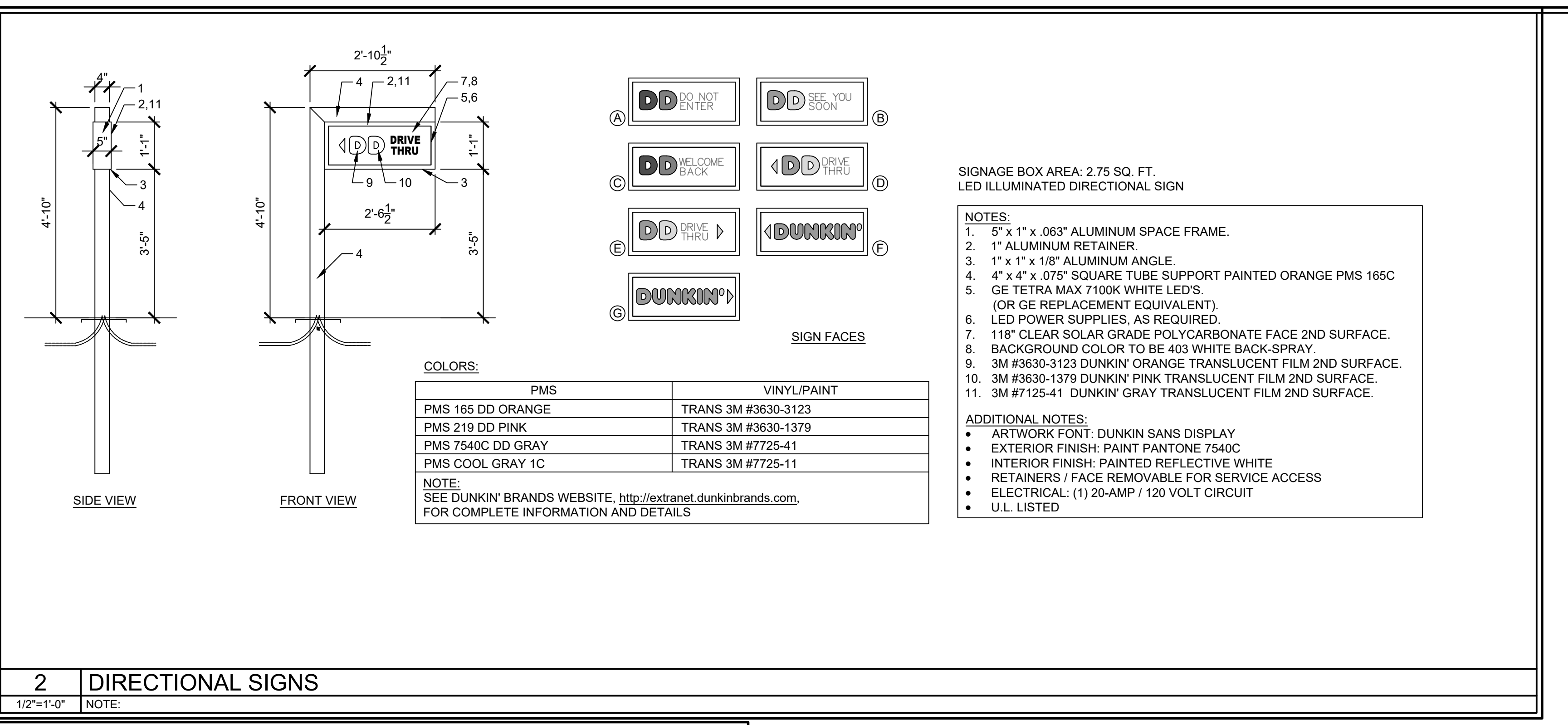
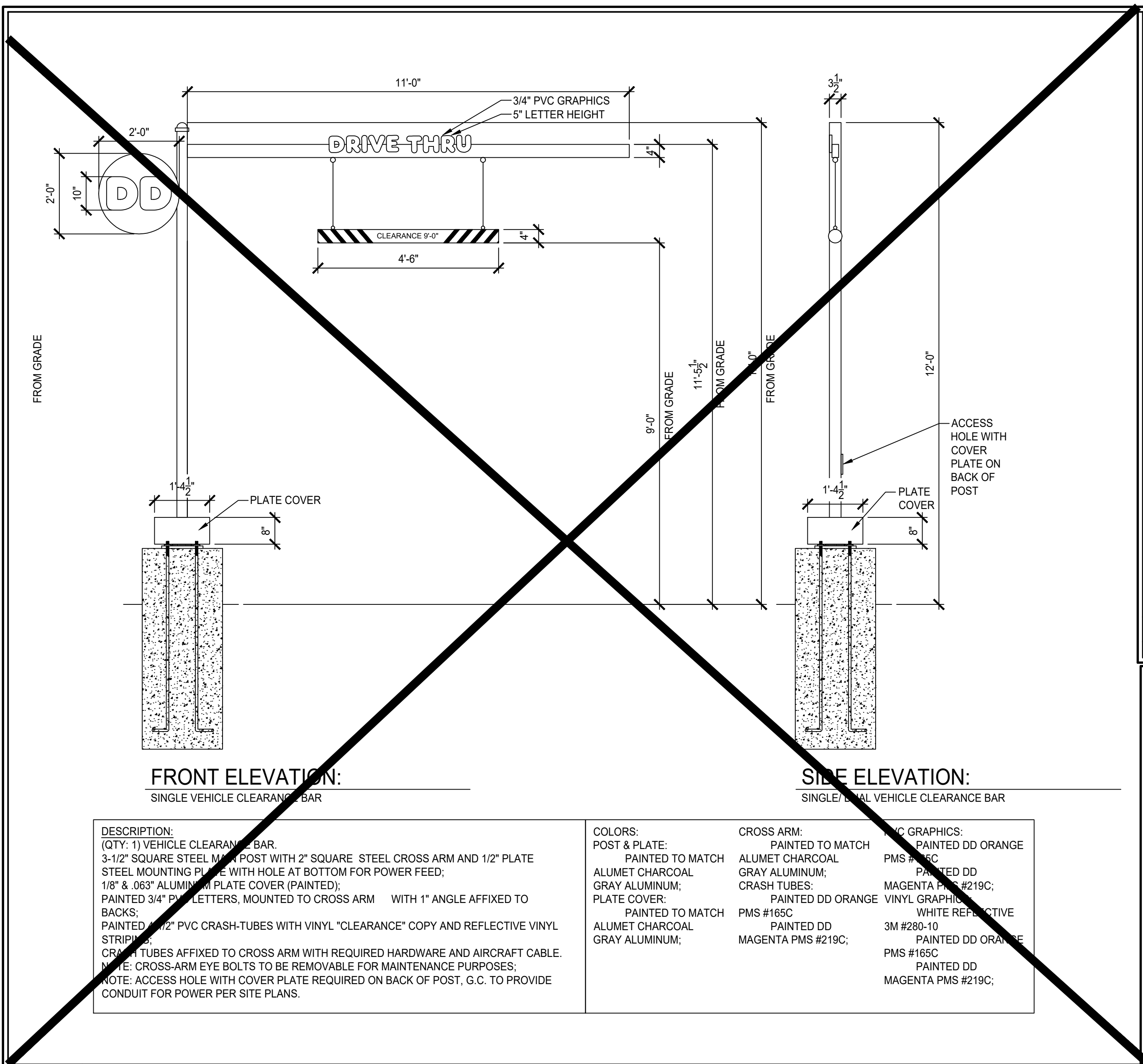
INDEX OF DRAWINGS	
T-1.0	COVER/TITLE SHEET (THIS PAGE)
T-1.1	SPECIFICATIONS
T-1.2	GENERAL NOTES AND NATIONAL ACCOUNTS
F-1.1	FINISHES
SP-1	SITE PLAN
SP-1.1	SITE DETAILS
A-1.0	LIFE SAFETY PLAN
A-1.1	FLOOR PLAN, DOOR SCHEDULE & WALL TYPES
A-1.2	REFLECTED CEILING PLAN & CEILING FINISH SCHEDULE
A-5.0	EXTERIOR ELEVATIONS
A-5.3	EXTERIOR DETAILS
A-6.0	SIGN GUIDELINES AND DETAILS
A-8.0	INTERIOR ELEVATIONS
A-9.0	INTERIOR DETAILS
K-1.0	KITCHEN EQUIPMENT SCHEDULES
K-1.1	KITCHEN EQUIPMENT PLAN
P-1.0	PLUMBING SANITARY AND WATER PLANS
P-2.0	PLUMBING SANITARY AND WATER PLANS
M-1.0	HVAC FLOOR PLAN NOTES AND SCHEDULES
E-1.0	ELECTRICAL LIGHTING PLAN
E2.0	ELECTRICAL POWER PLAN
E-2.1	ELECTRICAL OMNI DETAILS
E-3.0	EXISTING DATA/RECONNECTION PLAN
E-3.1	EXISTING DATA/RECONNECTION DETAILS



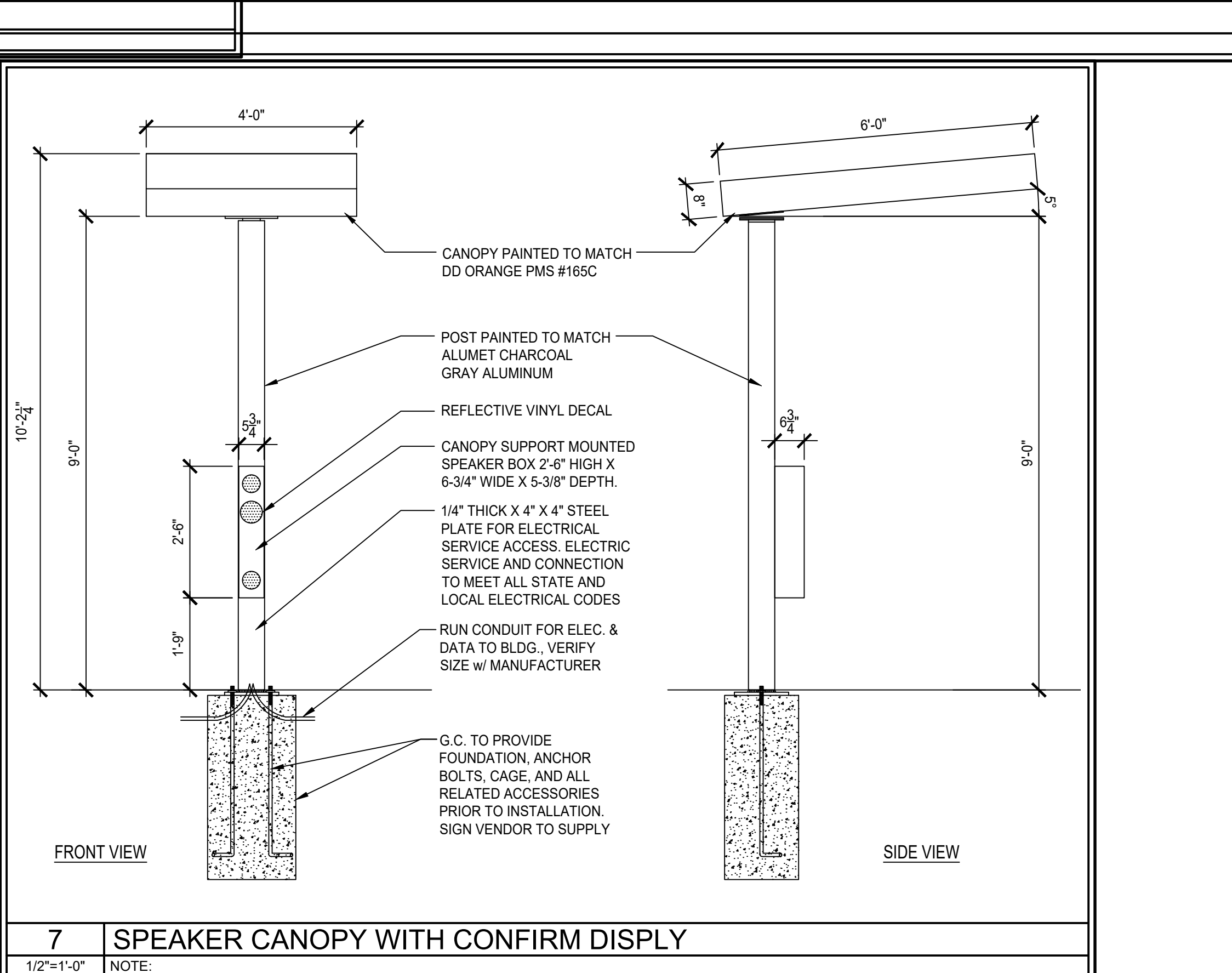
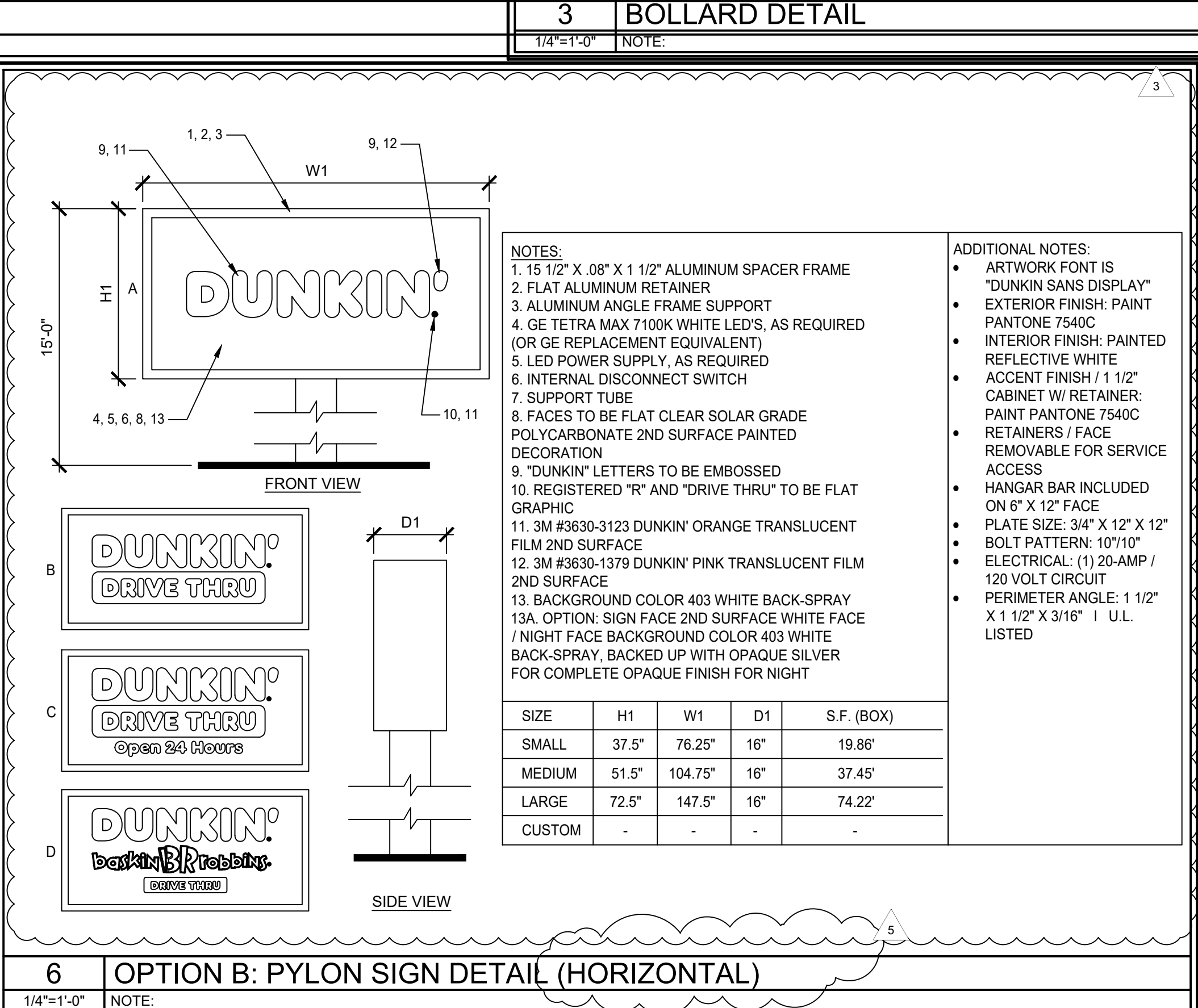
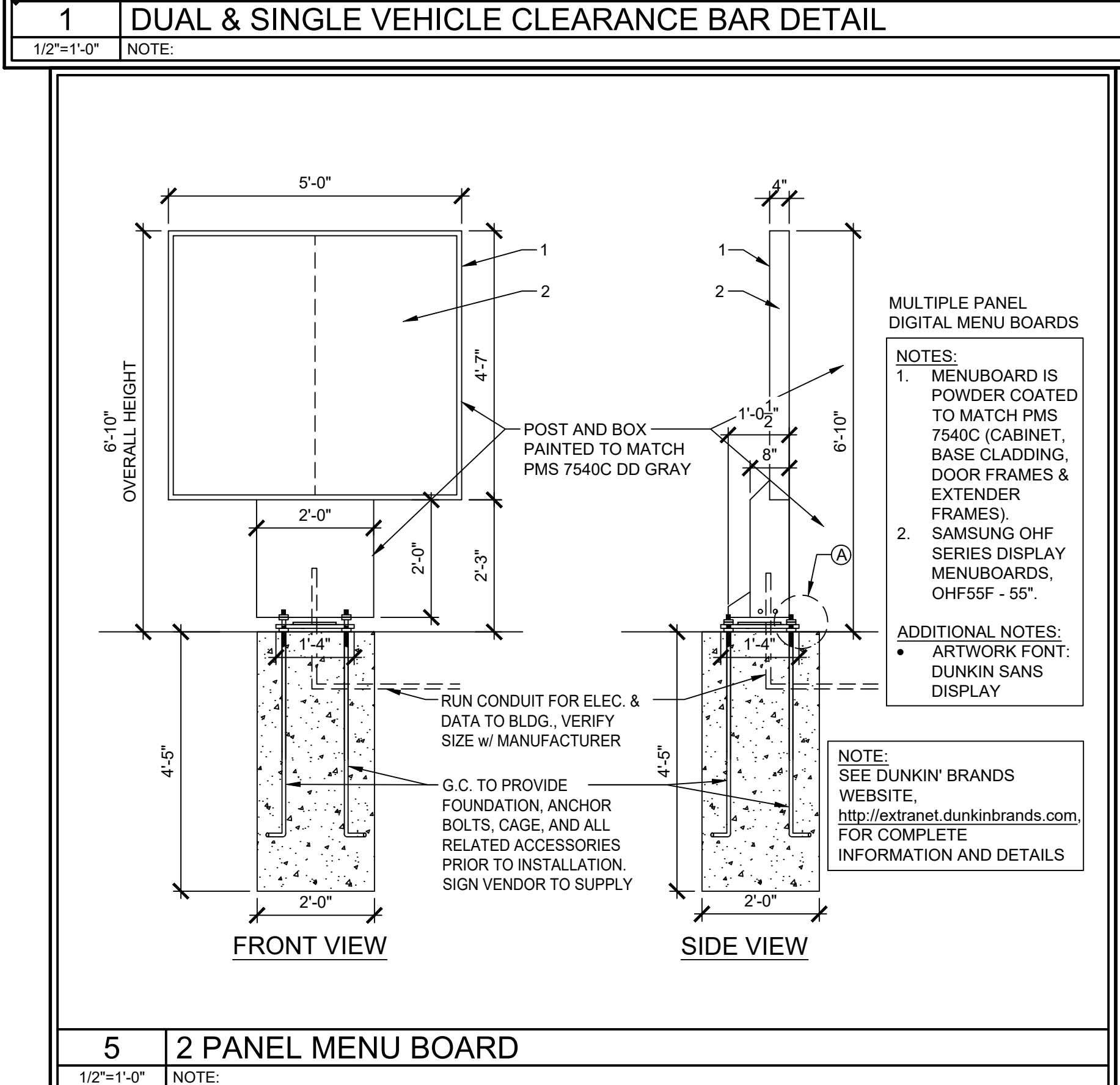


ARCHITECTURAL SITE PLAN

- SITework NOTES**
1. The contractor is to endeavor to maintain the store open during normal hours in the following sequence.
 - 1.1. Lobby/Restrooms Closed to the Public: Erect dust barriers to separate dust from the drive thru window and kitchen including a temporary door and protection of the HVAC duct intakes. See plan.
 - 1.2. Entire store closed Sunday and Monday: Once the lobby is complete, remove barriers and complete the work in the drive thru area, hood shrouds and drive up menu boards. Then reopen entire store.
 2. Owner is to furnish and install menu boards and speaker-post--general contractor is to furnish wiring and base support
 3. General contractor is to reseal the pavement and restripe per site plan and pressure wash all concrete curbs walks and pavement.
 4. Refer to existing drawings but verify field conditions.
 5. PRESSURE WASH AND PAINT DUMPSTER WALLS AND DOORS TO MATCH BUILDING



CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	VENDOR CONTACTS
1P-01	PAINT	SHERWIN WILLIAMS	PRO PARK	"WHITE" B97W2044	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794 MARK T. WEINER NATIONAL ACCOUNT EXECUTIVE 93 CHURCH ST BARRINGTON, IL 60015 M: 617-438-1408 EMAIL: MARK.T.WEINER@SHERWIN.COM
1P-02	PAINT	SHERWIN WILLIAMS	PRO PARK	"BLUE" B97L2022	
1P-03	PAINT	SHERWIN WILLIAMS	PRO PARK	"YELLOW" B97Y2067	
1P-04	PAINT	SHERWIN WILLIAMS	PRO PARK	"ORANGE" CUSTOM MIX B97O2067 CCE* COLORANT 02 32 64 128 W1-WHITE - 6 1 - R4-NEW RED 4 53 1 - Y3-DEEP GOLD - 06 - 1	
1P-05	PAINT	SHERWIN WILLIAMS	PRO PARK	"PINK" CUSTOM MIX B97R2012 CCE* COLORANT 02 32 64 128 W1-WHITE - 6 - - L1-BLUE - 6 - -	



Store Number: 350624

dunkin' brands™

2234 N Reynolds Road
Bryant, AR 72022

John S Vaci, Architect
1138 BERWICK ROAD
BIRMINGHAM, AL 35242
205.541.7898
john@johnvaciarchitect.com

10/15/2022

Lagunita Franchise Operations
Tony Antoon and Damon Dunn
tony@fops.com
601.940.6914

ISSUED / REVISED / ISSUED FOR PERMIT

DATE: 10/01/19

SITE DETAILS

SP-1.1

The following safety standards have been adopted for use in the City of Memphis and unincorporated Shelby County, and also in the cities of Arlington, Germantown, and Lakeland:

Code Edition	Link
Building 2015	International Building Code with Local Amendments
Existing Bldg. 2015	International Existing Building Code with Local Amendments
Energy Conservation 2015	International Energy Conservation Code with Local Amendments
Electrical 2014	International Electric Code with Local Amendments
Plumbing 2015	International Plumbing Code with Local Amendments
Mechanical 2015	International Mechanical Code with Local Amendments
Fuel Gas 2015	International Fuel Gas Code with Local Amendments
Fire (City) 2015	International Fire Code Local Amendments (City of Memphis)
Fire (County) 2015	International Fire Code Local Amendments (Shelby County)
ADA Code:	2009 ICC/ANSI A117.1

1985 GROSS SF DUNKIN' TYPE B (LESS THAN 49 PERSONS)
SHELL BUILDING IS UNDER 9,000SF ALLOWABLE NON-SPRINKLERED
TYPE VB CONSTRUCTION

2 ADA RESTROOMS REQUIRED PER IPC SECTION 403.2 IN DUNKIN' SPACE
1 WC PER 75 OCCUPANTS--1 LAV PER 40 OCCUPANTS--DRINKING WATER AVAILABLE

OCCUPANT LOAD (DOES NOT INCLUDE RESTROOMS AND COOLER):

BUSINESS: 3310 SF @ 150 SF/PERSON = 22 PERSONS
TOTAL = 22 PERSONS

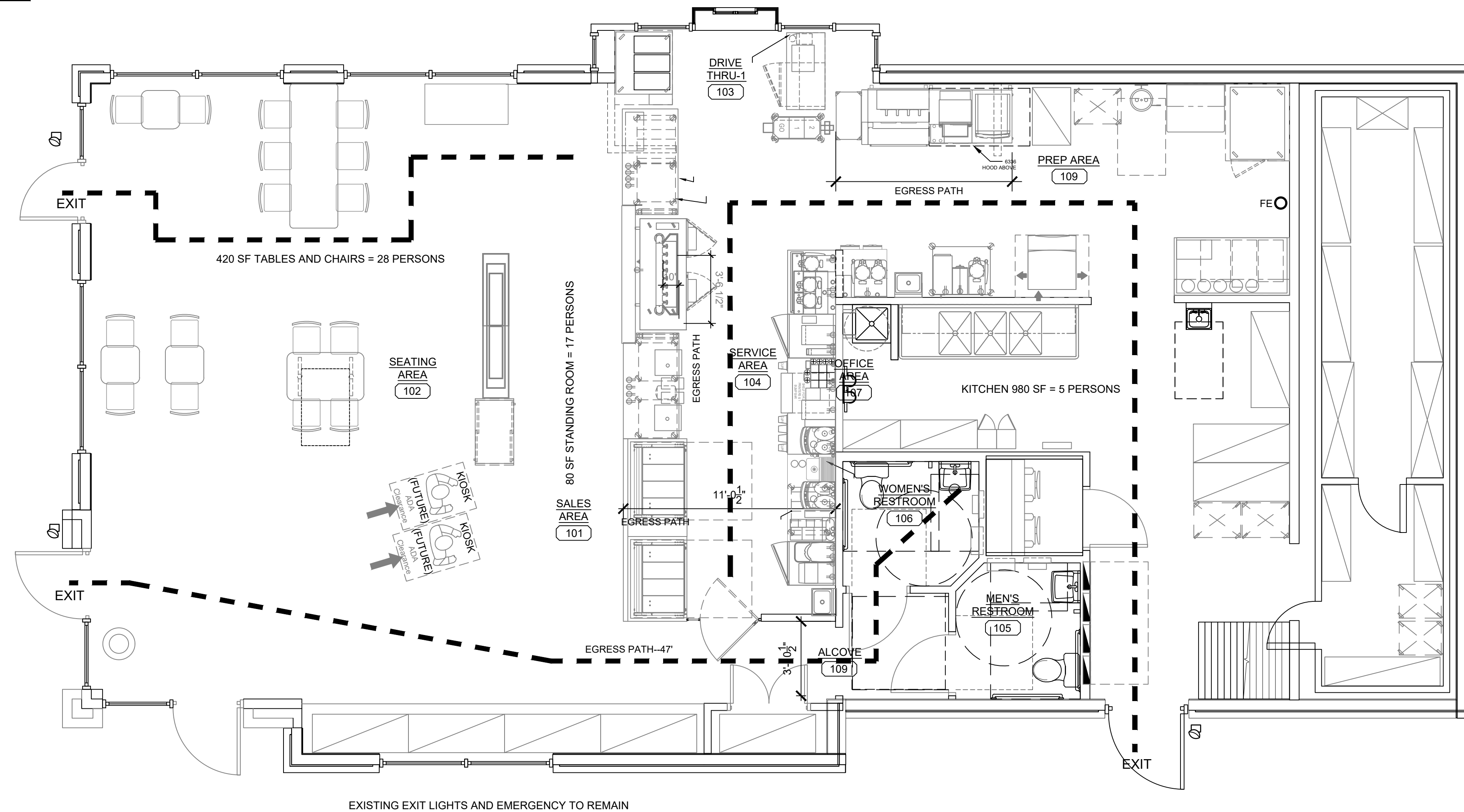
TYPE C FINISHES REQUIRED

TWO EXITS REQUIRED FOR MORE THAN 49 OCCUPANTS--EXITS ARE SEPARATED BY MORE THAN HALF THE DIAGONAL DISTANCE

FIRE EXTINGUISHER REQUIRED

MINIMUM EXIT WIDTH @ 2/OCCUPANT: 4.5"

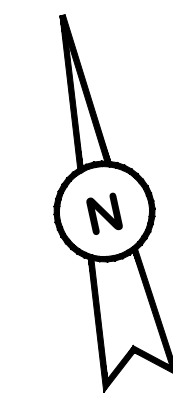
150' MAX EXIT ACCESS TRAVEL DISTANCE (69' ACTUAL)



SALES AREA (101)

LIGHTING SCHEDULE	
	EXIT LIGHT WITH COMBO EMER LIGHTS
	EMERGENCY BATT LIGHTS
	EMERGENCY REMOTE LIGHTS
	FIRE EXTINGUISHER
	LONGEST EXIT DISTANCE SHOWN IS 65' (150' ALLOWED)
	NO RATED WALLS OR PARTITIONS

LIFE SAFETY PLAN
SCALE: 1/4"=1'-0"



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1138 BERWICK ROAD
BIRMINGHAM, AL 35242
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601.940.6914

ISSUED / REVISED / PERMIT	DATE
	20/05/19

A-1.0

GENERAL NOTES

- TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS: PREP/ KITCHEN AND STORAGE AREAS:
0'-0" TO 3'-0" - 5/8" DUROCK CEMENT BOARD, 3'-0" AND ABOVE - 5/8" ORIENTED STRAND BOARD (OSB)
SERVICE AREA:
5/8" MIN. ORIENTED STRAND BOARD (OSB), 5/8" DUROCK CEMENT BOARD BEHIND PORCELAIN/ CERAMIC TILES.
SALES AND SEATING AREAS:
5/8" GYPSUM BOARD, 5/8" DUROCK CEMENT BOARD BEHIND CERAMIC TILES, 5/8" ORIENTED STRAND BOARD @ DECORATIVE PLAM "WOOD" WALLS.
RESTROOMS:
5/8" DUROCK CEMENT BOARD
- GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT: IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRIERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED; IN SERVICE AREA FOR: VDU, WALL SHELVES, ETC.
- DIMENSIONS SHOWN ARE TO THE FACE OF FINISH.
- REFER TO EQUIPMENT "K" SHEETS FOR INFORMATION REGARDING THE EQUIPMENT AND EQUIPMENT LAYOUT.
- SEE SHEET A-10.0 FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.
- ARRANGE FOR FIRE EXTINGUISHERS, TYPE ABC, WALL HUNG, TOP @ 5'-0" A.F.F. (BY G.C.). - NUMBER AND LOCATION AS DETERMINED BY LOCAL CODE

AWNINGS & CANOPIES INDICATED ON ARCHITECTURAL PLANS SHALL BE DESIGNED IN ACCORDANCE WITH IBC SECTIONS 1607 & 3105 AND FOR THE WIND PRESSURES SHOWN IN ADDITION TO DEAD & LIVE LOADS AND SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF VIRGINIA AND SUBMITTED FOR REVIEW.

COMPONENTS & CLADDING WIND PRESSURES			
ZONE	EFFECTIVE WIND AREA (SF)	DESIGN WIND PRESSURE (PSF)	
1	10	16.0	-30.4
1	20	16.0	-29.6
1	50	16.0	-28.6
1	100	16.0	-27.8
2	10	16.0	-51.0
2	20	16.0	-45.6
2	50	16.0	-38.4
2	100	16.0	-33.0
3	10	16.0	-76.8
3	20	16.0	-63.6
3	50	16.0	-46.2
3	100	16.0	-33.0

NOTE: THE NET DESIGN WIND PRESSURE ACTING IN EITHER DIRECTION NORMAL TO THE SURFACE OF THE COMPONENTS AND CLADDING MATERIALS SHALL NOT BE LESS THAN 16 PSF.

JOHN S VACI, Architect
1138 BERWICK ROAD
BIRMINGHAM, AL 35242
205.641.7898
john@jshvaciarichitect.com

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10/15/2022

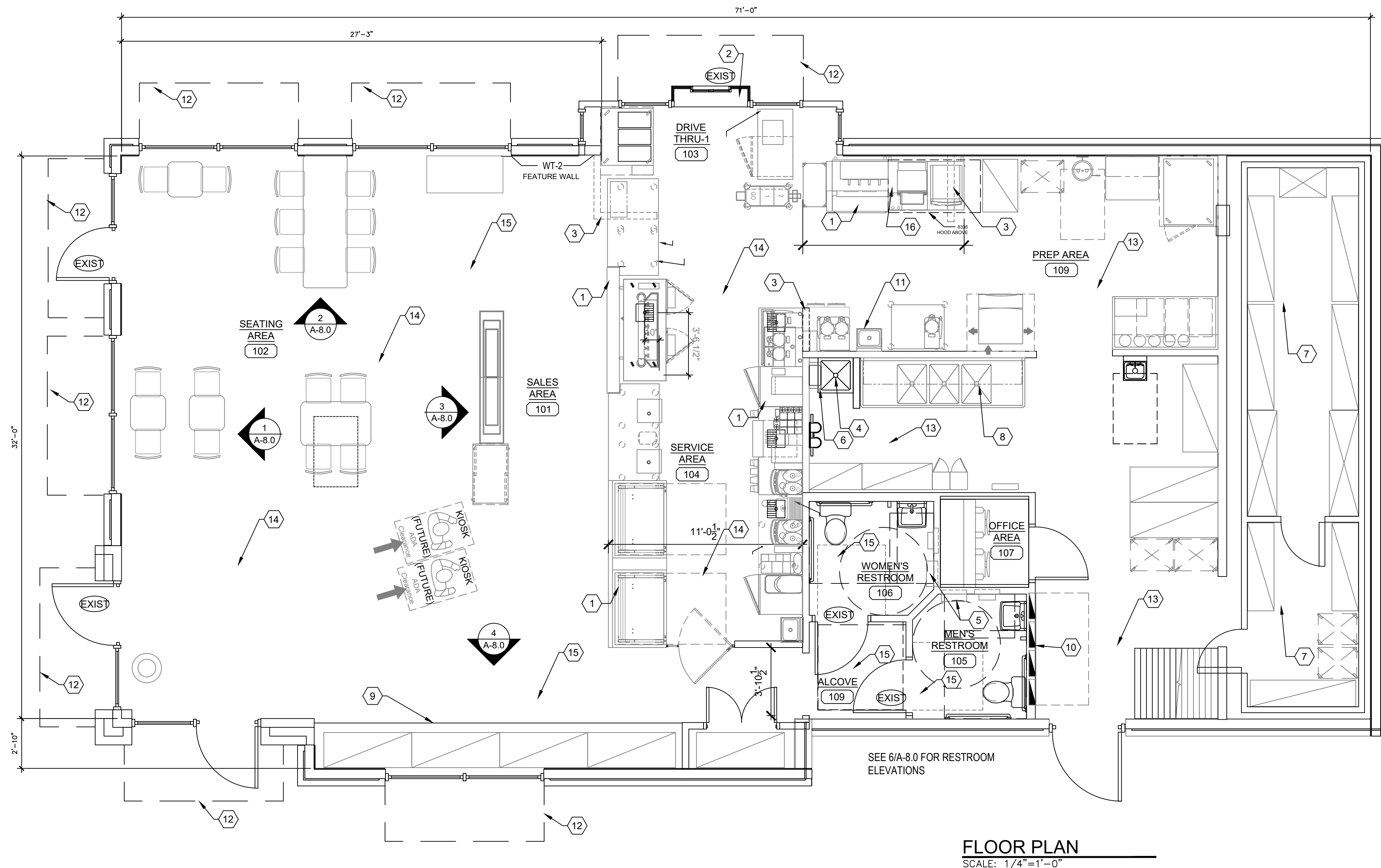
Store Number: 350624
dunkin'
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2234 N Reynolds Road
Bryant, AR 72022

KEYED PLAN NOTES

- CASEWORK--EXISTING AND NEW FURNISHED BY FRANCHISEE AND INSTALLED BY GC.
- EXISTING SLIDING DRIVE-THRU WINDOW
- REMOVE EXISTING WALLS AND PATCH
- EXISTING RACK WASH
- EXISTING HAND DRYER SEE E3.0 FOR POS REQUIREMENTS
- EXISTING TANKLESS HOT WATER HEATER
- EXISTING WALK IN COOLER
- EXISTING 3 COMPARTMENT SINK
- PRIVACY SCREEN BY OWNER
- EXISTING ELECTRICAL PANELS
- EXISTING HAND SINK--RELOCATE
- GC TO REMOVE AND PATCH EXISTING AWNINGS AND LIGHTS
- NO WORK IN KITCHEN AND OFFICE AREAS--NIC--PROTECT AND CLEAN
- REMOVE REPLACE EXISTING CASEWORK AND TABLES
- CONCRETE FLOOR IS TO BE STRIPPED, LIGHTLY SANDED AND RESEALED
- RELOCATE HOOD--SEE M SHEET

SCOPE OF WORK

- INTERIOR REMODEL OF EXISTING SEATING, SALES, SERVICE AND RESTROOMS
- NEW ARRANGEMENT OF EQUIPMENT INCLUDING SOME NEW EQUIPMENT
- RECONNECTING OF EQUIPMENT AND DATA
- EXTERIOR REMOLDING OF BRANDING AND "LOOK"
- NEW HEAT HOODS
- REVISE CEILING REGISTERS
- EXTERIOR SIGNAGE AND MENU BOARDS BY OWNER
- EXISTING TILE AND CONCRETE FLOORS TO REMAIN AND REPAIRED AS REQUIRED
- RESTROOMS ARE FINISHED IN FRP-03
- CHECK AND ADJUST EXISTING DOORS--REPAINT RESTROOM DOORS



FLOOR PLAN
SCALE: 1/4"=1'-0"

Lagunita Franchise Operations
Tony Antoon and Damon Dunn
tony@lfpops.com
601.940.6914

ISSUED / REVISED / DATE
ISSUED FOR PERMIT 01/06/19

FLOOR PLAN

10/15/2022

Store Number: 350624
dunkin'
 brands™
 2234 N Reynolds Road
 Bryant, AR 72022

Lagunita Franchise Operations
 Tony Antoon and Damon Dunn
 tony@lufops.com
 601.940.6914

ISSUED / REVISED
 ISSUED FOR PERMIT
 DATE
 09/01/19

REFLECTED CEILING PLAN
 BILLING: 101 - OWNER REQS
 09/01/19
 09/01/19

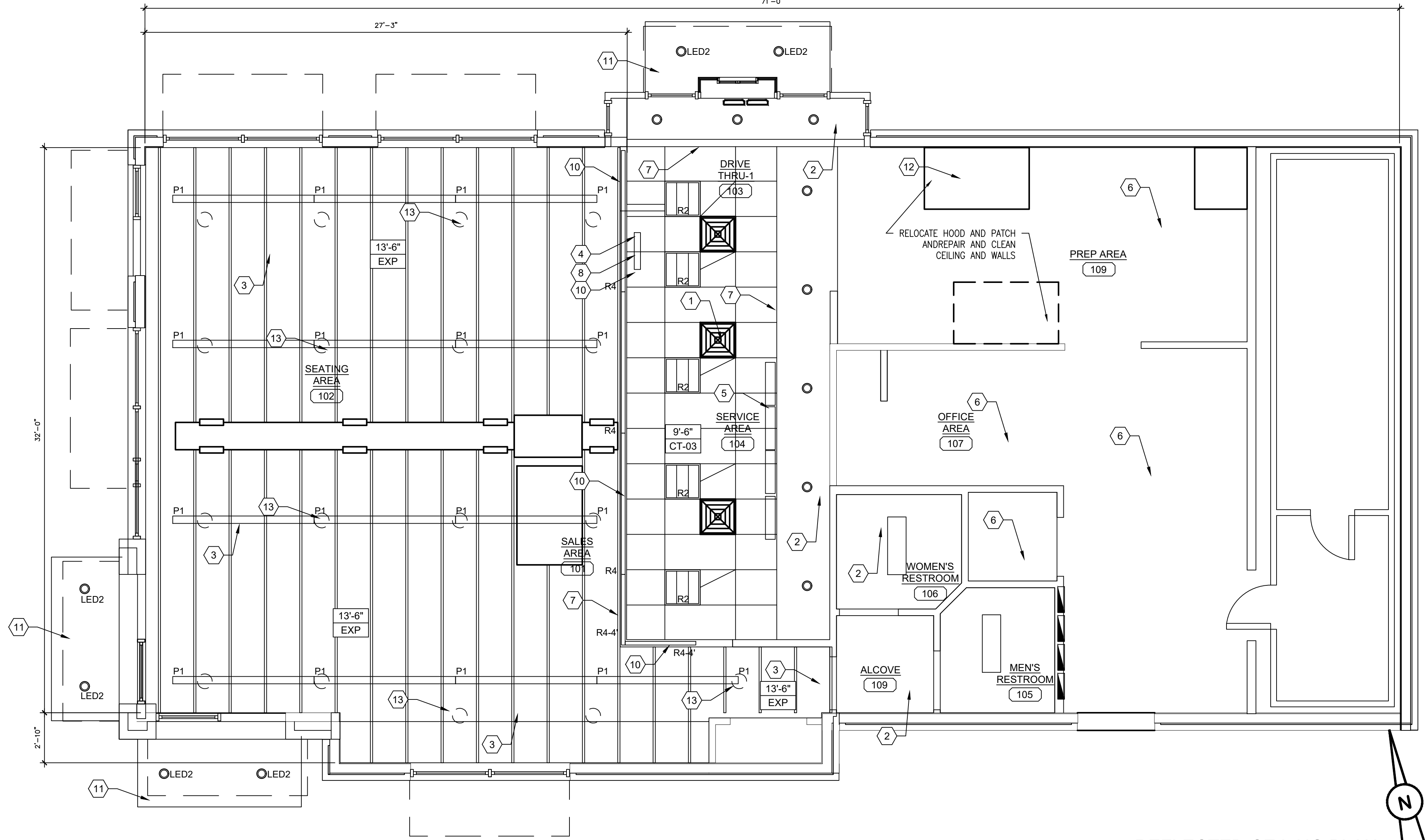
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L. CORRETT THOMASON, PE

LIGHTING SCHEDULE - VILLA LIGHTING			
CODE	DESCRIPTION	MANUFACTURER	PRODUCT
EWS-1	WALL PACK (GRAY) EXTERIOR- USED ON DARK WALL FINISH	WAC	WP-LED227-30-AGH
EWS-2	WALL PACK (WHITE) EXTERIOR- USED ON LIGHT WALL FINISH	WAC	WP-LED227-30-AWT
LED 2	EXTERIOR RECESSED LIGHT FIXTURE- USED UNDER ORANGE BEAM CANOPY	LUMARK	XTOR2B-W
LED 12	EXTERIOR LIGHT FIXTURE- USED ON TOP OF CHARCOAL TRIM AND FIELD FRAMED ORANGE BEAM	SOLID STATE LUMINARIES SOLUTIONS OF LIGHTING	SSL-LSSL-5165-400 LUMENS
LED 13	EXTERIOR LIGHT FIXTURE- USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB OPTION		TO BE PROVIDED BY PREFAB ORANGE BEAM VENDOR
LED 14	EXTERIOR LIGHT FIXTURE- ACCENT LIGHT USED ON TOP OF CHARCOAL TRIM AT BASE OF MONOLITH ONLY	LED POWER	HB308-48"-41K-15D-AC
P1	8' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-96L-S62/W6200L-DMV-35K-BK
P2	4' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-48L-S62/W3100L-DMV-35K-BK
R1	RECESSED LED LIGHT FIXTURE	CREE	RC6/CR6T-1600L-35K
R2	2X2 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE	CREE	CR22-32L-35K-SHD
R4	LED LINEAR LIGHT BAR- USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1FTX1FT CORNER PIECE)	PINNACLE ARCHITECTURAL LIGHTING	EX3D-A-N-835VHC-8-SIAC120ST
WSCX-2	EXTERIOR SIGN LIGHT FIXTURE - USED AT ACCENT PANELS	H-LITE MFG INC.	H-HDMR16118-1-119/ MR16AD1C293010T-10-S1

LIGHTING SCHEDULE NOTES

- PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REF. NATIONAL ACCOUNT SOURCE INFO FOR LAMP SPECS & VILLA LIGHTING RE-LAMPING PROGRAM.
- ALL BALLASTS SHALL BE HIGH POWER FACTOR.
- PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.
- COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN.
- LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.

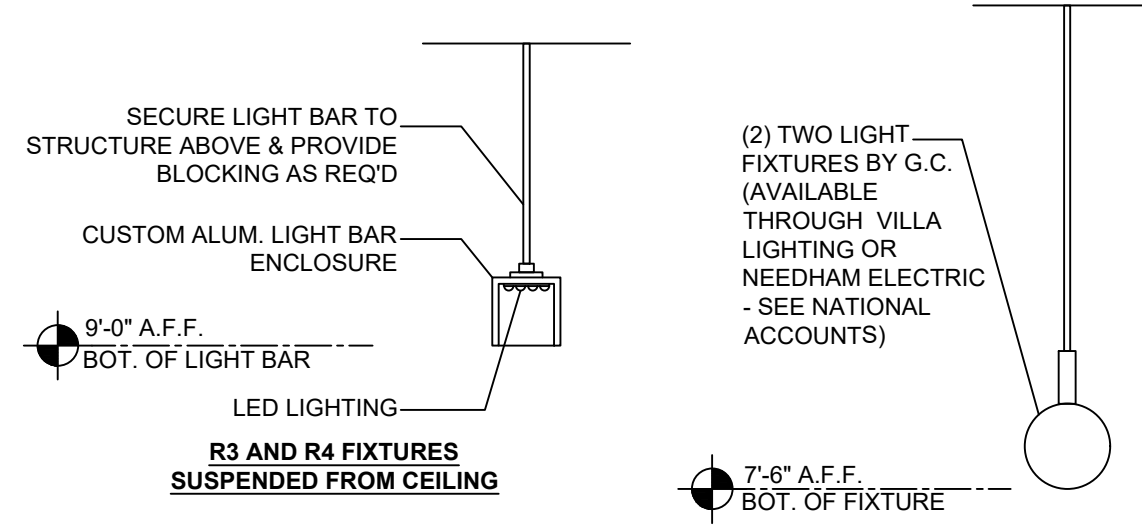


REFLECTED CEILING PLAN
 SCALE: 1/4"=1'-0"

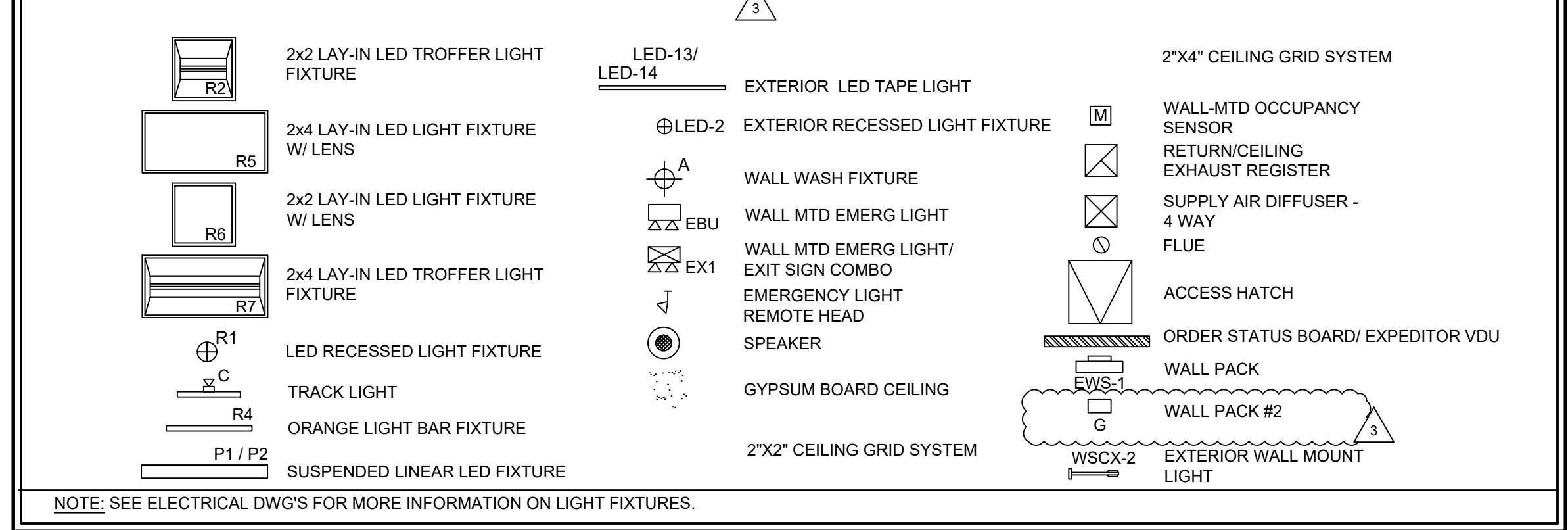
CEILING FINISH					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
CT-01	ACOUSTIC CEILING TILE	ARMSTRONG	WHITE FACTORY FINISH #1732 WH (2' X 2')	WHITE, FINE FISSURED TILE WITH WHITE GRID (ARMSTRONG#7300 WH SIZE: 5197)	PLEASE CONTACT ARMSTRONG @ 1-800-442-4212.
CT-02	CEILING TILE AND GRID SYSTEM	ARMSTRONG	BLACK FACTORY FINISH 1728 BL (2' X 2')	BLACK, FINE FISSURED-TILE AND BLACK GRID NOTE: STANDARD CLG. TILE IN PUBLIC AREAS (SALES & SEATING AREA)- FOR NEW & REMODEL LOCATIONS	CLEARLY STATE THAT YOUR AREA IS A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING.
CT-03	VINYL FACED CLG TILE	ARMSTRONG	#870 (2' X 4') #868 (2' X 2')	WHITE TILE AND GRID	

KEYED PLAN NOTES

- REGISTERS--RELOCATE AND REUSE EXISTING REPAINT OT MATCH CEILING COLOR
- EXISTING GYPSUM BOARD CEILING--PAINT WHITE
- CLEAN AND PAINT ALL EXPOSED CEILING AND DUCTS AND EVERYTHING ELSE BLACK
- PICK-UP SIGN SUPPLIED BY MILLWORK SUPPLIER & INSTALLED BY GC. MOUNT SIGN TO TOP OF LIGHT FIXTURE TRACK PER MANUF INSTRUCTIONS.
- MENU BOARDS MTD ON FACE OF SOFFIT. SEE A3.0, A8.0. CENTER ON POS
- EXISTING KITCHEN CEILING TO REMAIN
- EXISTING SOFFIT DROP--PATCH AND PAINT
- VERIFY LOCATION OF VDU MOUNT WITH FRANCHISEE
- GC TO SUPPLY & INSTALL CEILING HUNG "BUTTERFLY MOUNT" FOR ORDER STATUS BOARD & EXPEDITOR VDU. TELEHOOK TH-1040 WITH (2) SCREEN MOUNTING PLATES BACK TO BACK. COORD MOUNTING HEIGHT W/ OWNER.
- CUSTOM LIGHT BAR. COORD MOUNTING HEIGHT W/ FRANCHISEE. SEE ELECTRICAL SCHEDULE.
- NEW CANOPY AND LIGHTS
- HEAT EXHAUST HOOD SEE M SHEETS
- EXISTING LOW BAY LIGHTS TO BE REMOVED



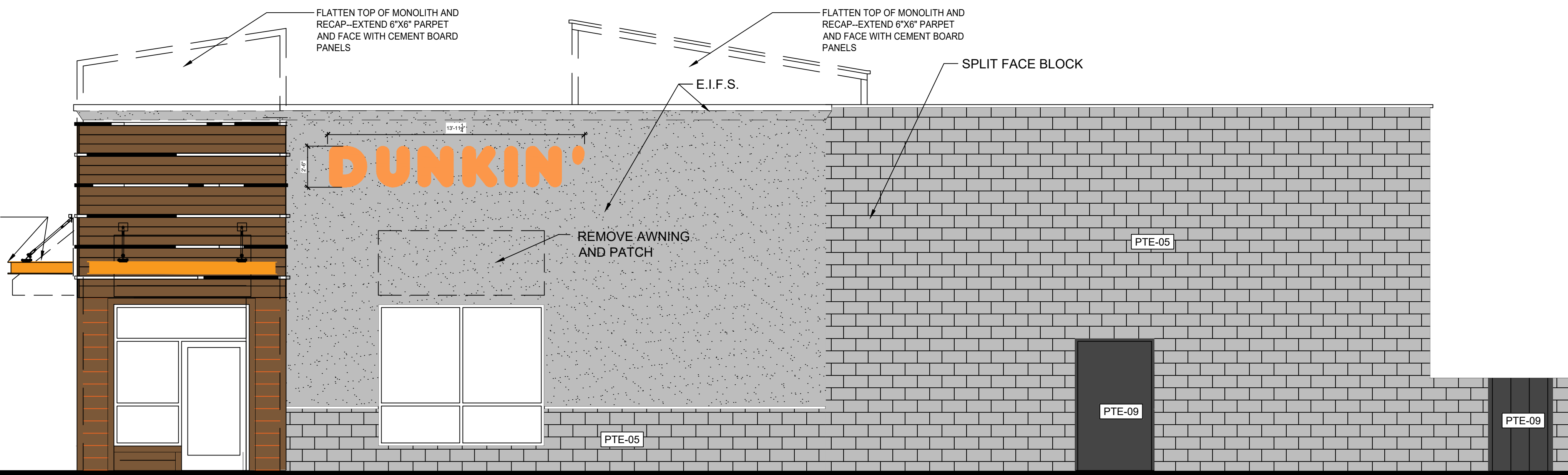
CEILING LEGEND:



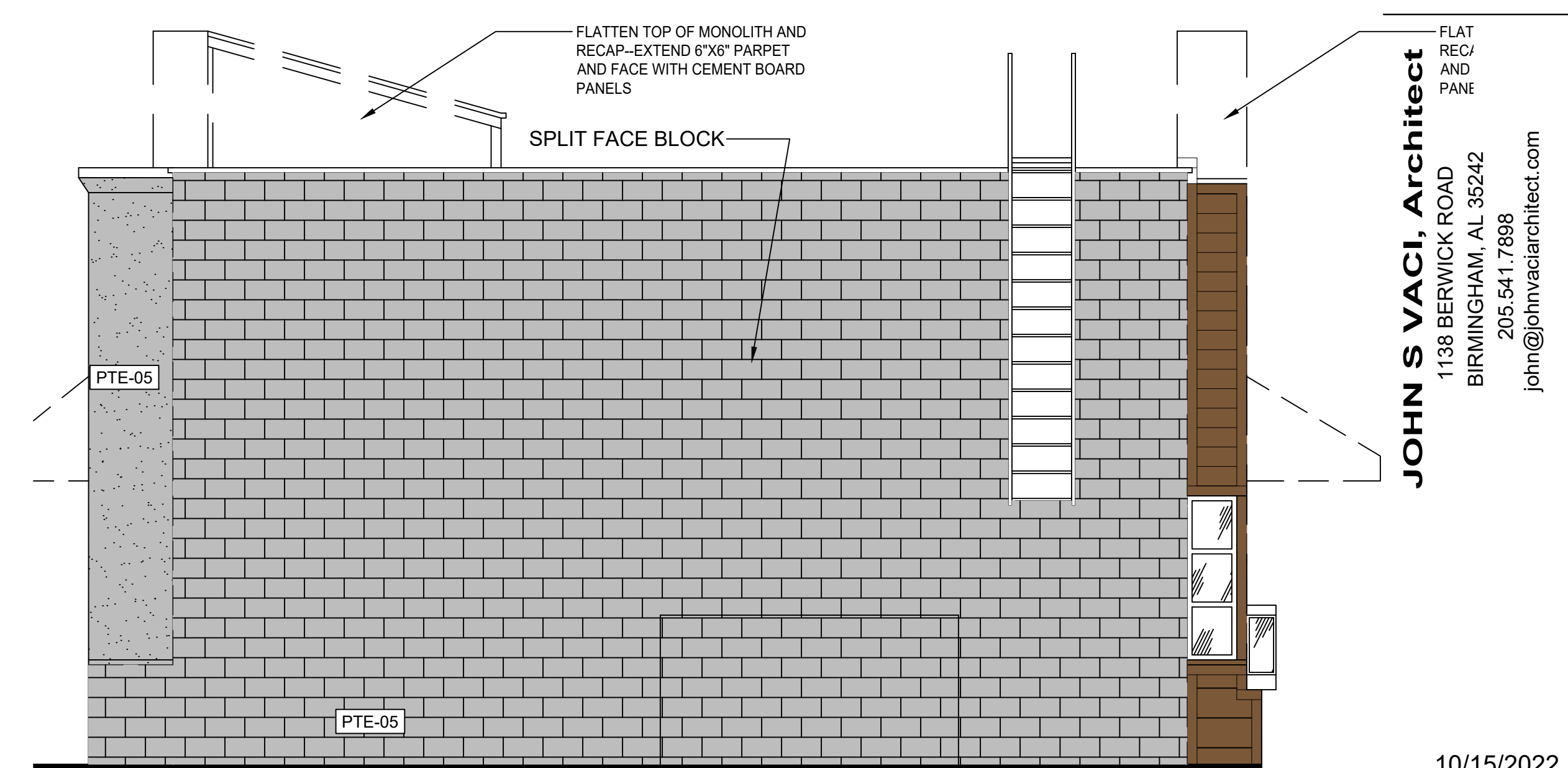
ORANGE BEAM LIGHTING: UNDERSIDE OF BEAM - WHEN USING THE NATIONAL ACCOUNTS PREFABRICATED ORANGE BEAM LED-13 SHALL BE PROVIDED BY THE VENDOR FOR THE UNDERSIDE OF THE BEAM. WHEN USING THE NATIONAL ACCOUNTS PREFABRICATED ORANGE BEAM LED-13 SHALL BE PROVIDED BY THE VENDOR FOR THE TOP OF THE BEAM

GENERAL NOTES:

- ALL INTERIOR & EXTERIOR LIGHTING TO BE LED (INCLUDING IN THE WALK-IN BOX).
- REFER TO MASTER FINISH SCHEDULE FOR CEILING FINISHES.
- OPEN CEILING IN SALES & SEATING AREA TO BE ALTERNATIVE OPTION.
- ALL DEVICES (DIFFUSERS, RETURNS, SMOKE DETECTORS, ETC.) TO MATCH CEILING. WHEN OPEN CEILING IS USED ALL PIPES AND DUCTS AND ALL OTHER ITEMS THAT ARE ON CEILING TO BE PAINTED TO MATCH CEILING.
- LAYOUT NOTES:
 - PROVIDE EMERGENCY LIGHTS & SMOKE DETECTORS AS REQUIRED BY LOCAL GOVERNING CODE.
 - ADD THE RH REMOTE WEATHER PROOF EMERGENCY HEAD (PRODUCT #Z1PB) TO THE EXTERIOR EGRESS DOORS AS REQUIRED BY CODE.
- MUSIC SYSTEM NOTES: THE MUSIC SYSTEM IS A REQUIREMENT OF THE BRAND. ARCHITECTS TO FOLLOW ALL GUIDELINES LISTED BELOW.
 - MUSIC SYSTEM IS REQUIRED IN ALL NEW AND REMODEL STORES. ALL CEILING SPEAKERS TO BE FLUSH MOUNTED @ GYP. BOARD CLG. & ACT CLG. SPEAKERS @ OPEN CEILING TO BE MOUNTED ON LOWER CORD OF ROOF TRUSSES ALL INTERIOR SPEAKERS TO MATCH SURFACE IT IS MOUNTED ON. ALL EXTERIOR SPEAKERS TO BE BLACK, WITH EXTERIOR GRADE CONSTRUCTION.
 - ONE SPEAKER IN EACH RESTROOM- FLUSH MOUNT.
 - A MINIMUM OF TWO SPEAKERS IN THE SEATING AREA NO SPEAKERS IN THE SERVICE AREA.
 - A MINIMUM OF TWO SPEAKERS AT EXTERIOR SEATING AREAS WHERE APPLICABLE.
 - SPEAKER AT EXTERIOR OF BUILDING ADJACENT TO ENTRY.
 - PROVIDE AND INSTALL SEPARATE VOLUME CONTROLS FOR EACH AREA (RESTROOMS, SEATING AREA, EXTERIOR)
 - HARDWARE TO BE INSTALLED IN THE OFFICE. FIELD VERIFY AND COORDINATE WITH FRANCHISEE FOR THE EXACT LOCATION OF THE UNIT AND VOLUME CONTROLS.

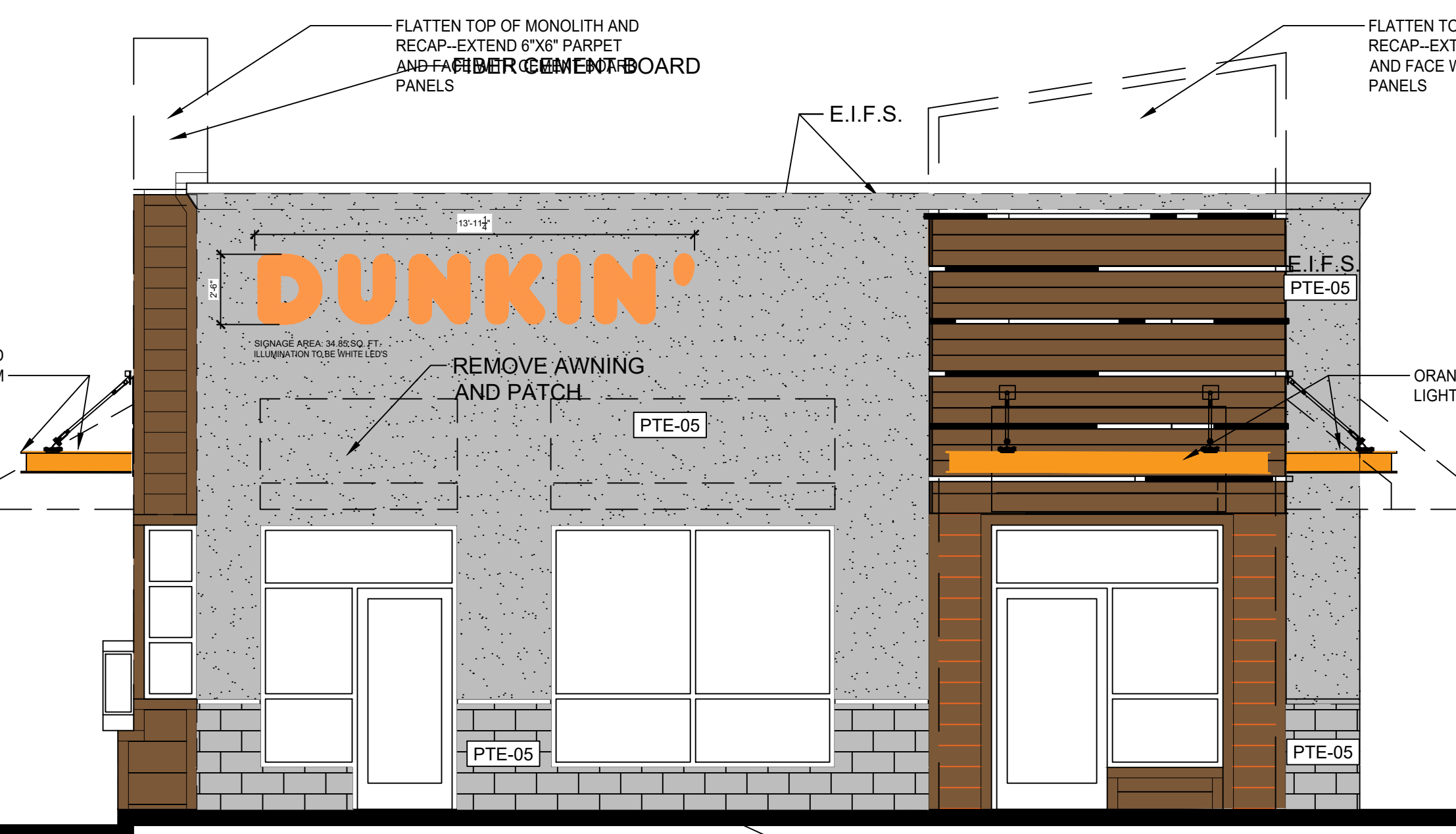
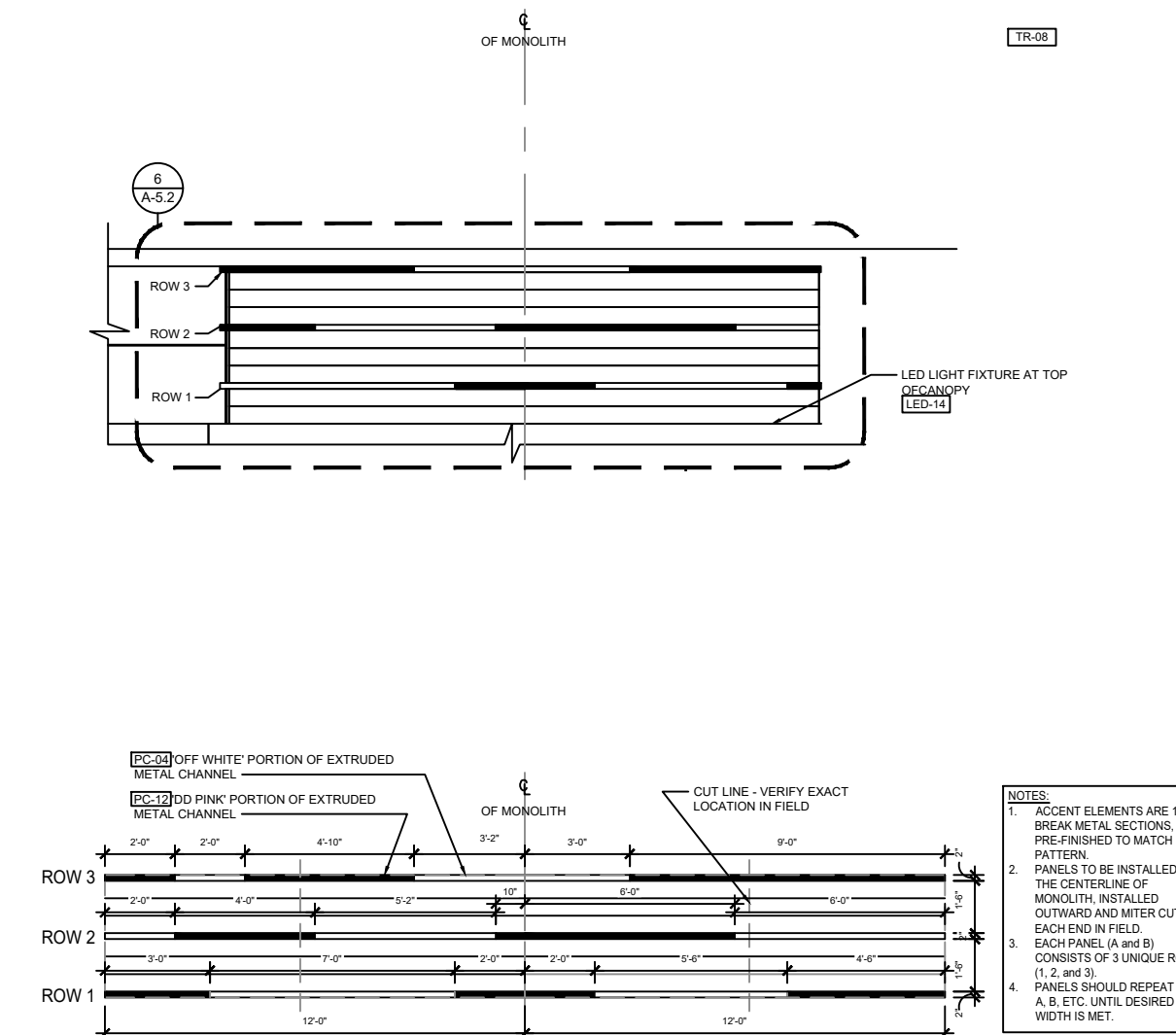


SIDE ELEVATION
SCALE: 1/4"=1'-0"

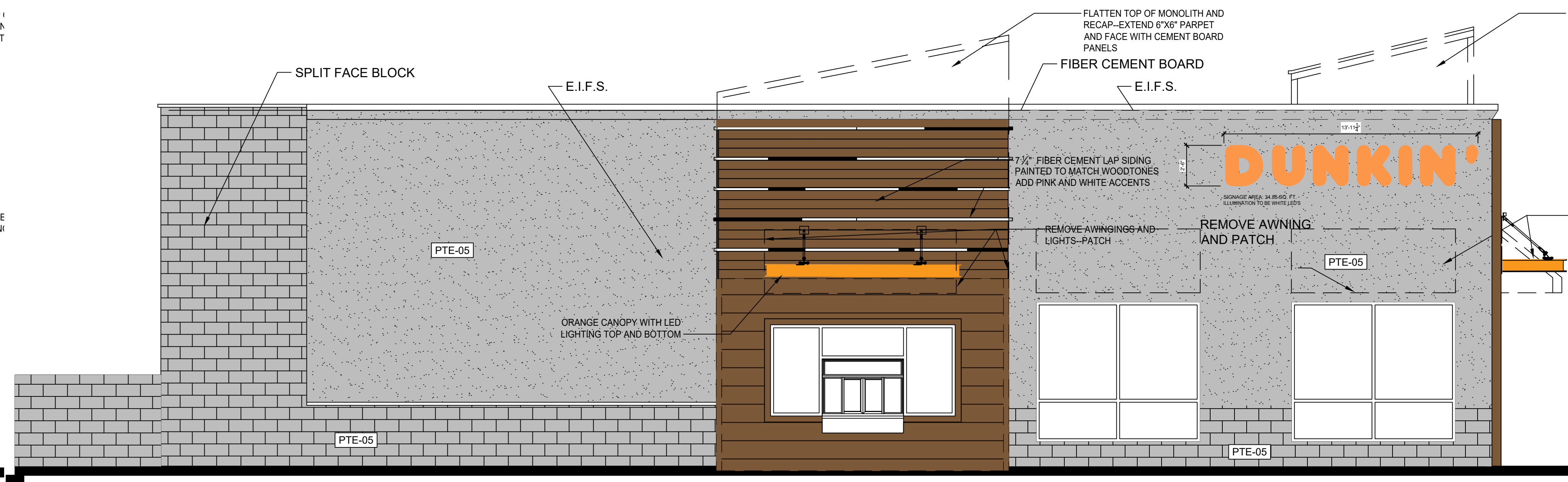


BACK ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
PTE-04 PAINT	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"
PTE-05 PAINT	SHERWIN WILLIAMS	MID-TONE FINISH	SW 7066 "GRAY MATTERS"
PTE-09 PAINT	SHERWIN WILLIAMS OR FACTORY FINISH TO MATCH SW COLOR	WALK-IN BOX	SW 7069 "IRON ORE"
PTE-13 PAINT		DD ORANGE	COLOR MATCH PMS 165C MAP ULTRA LOW V.O.C.



FRONT ELEVATION
SCALE: 1/4"=1'-0"



DRIVE THRU SIDE ELEVATION
SCALE: 1/4"=1'-0"

JOHN S VACI, Architect
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10/15/2022

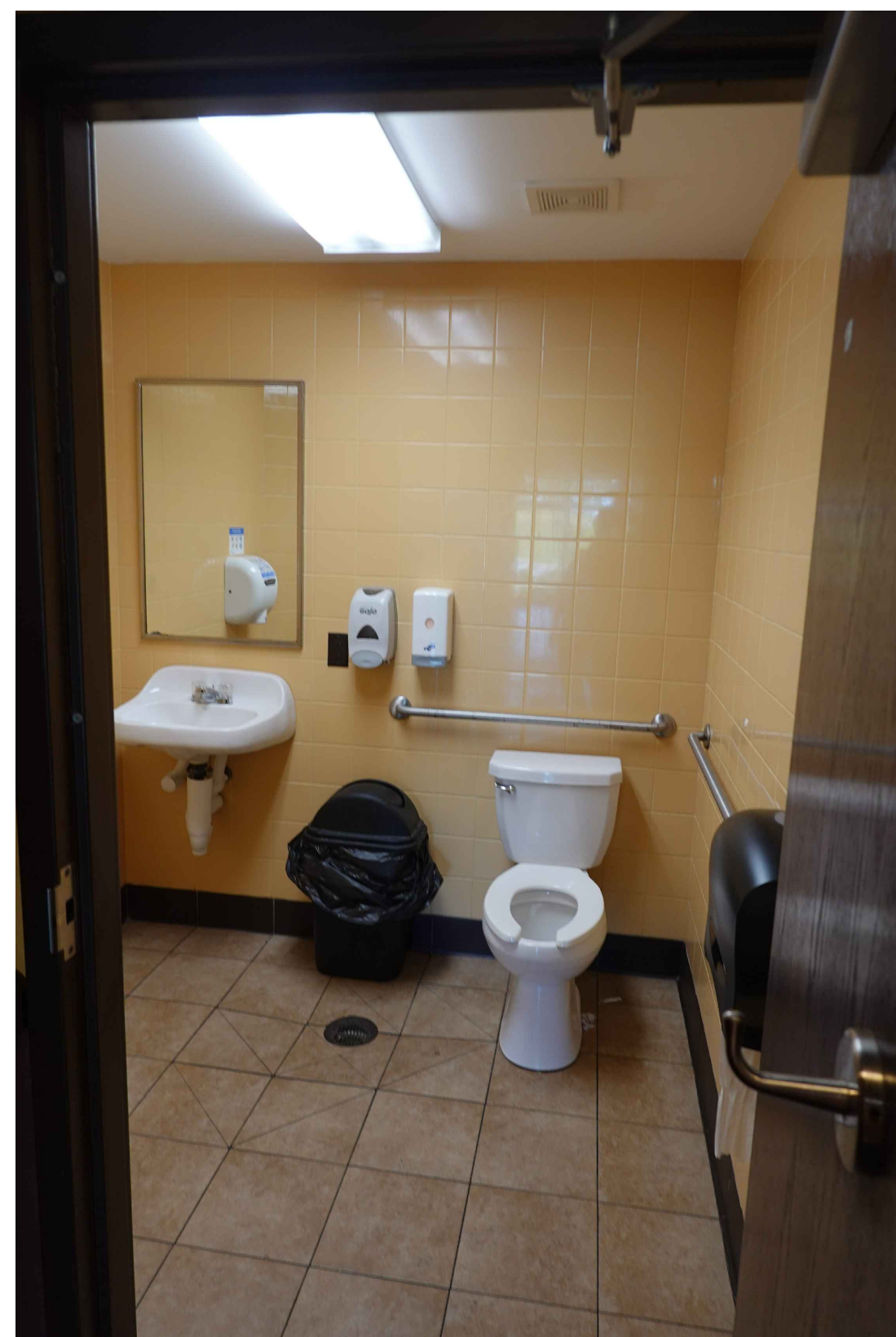
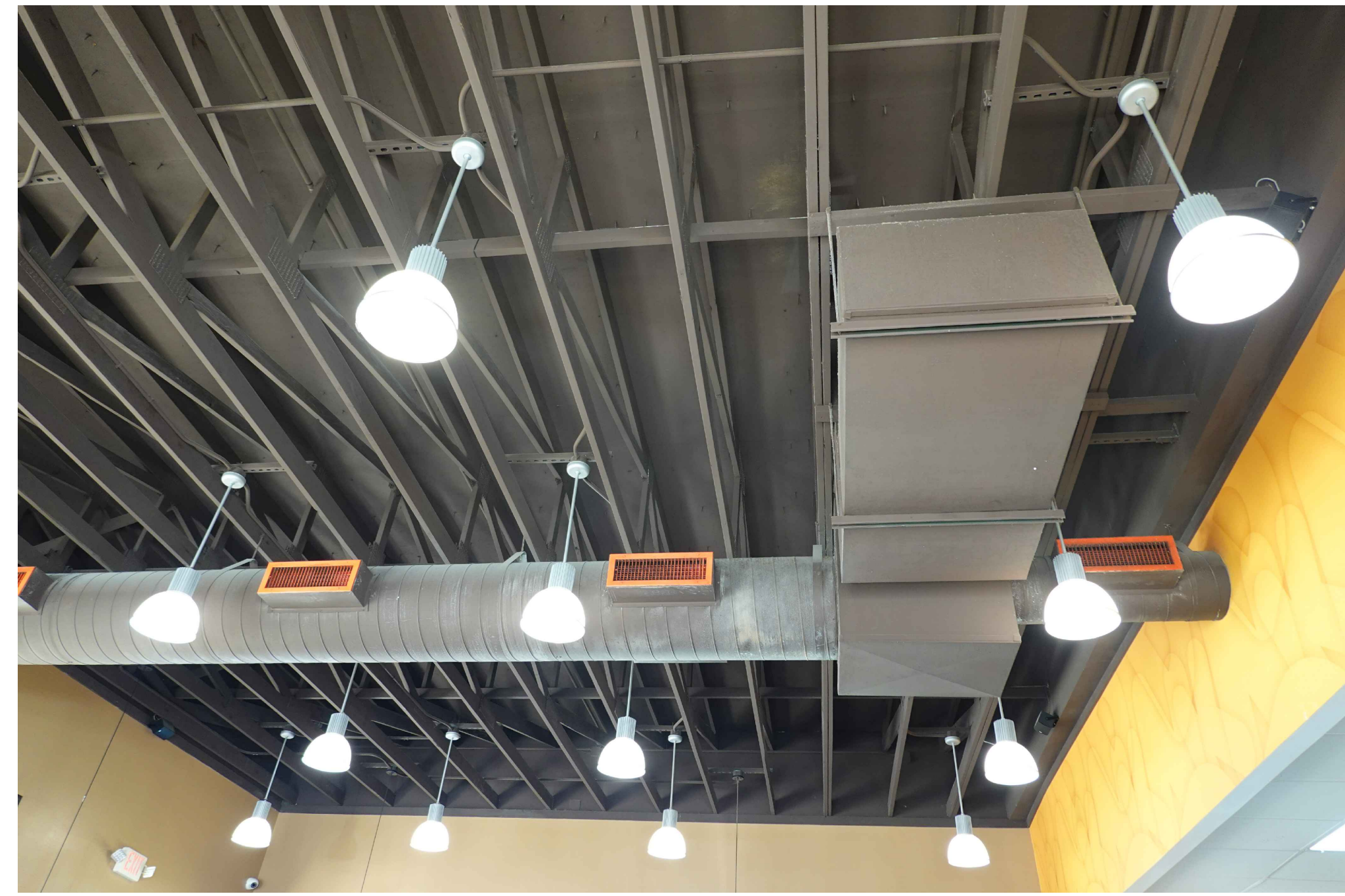
Store Number: 350624
dunkin'
brands™
2234 N Reynolds Road
Bryant, AR 72022

Lagunita Franchise Operations
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ISSUED / REVISED
DATE
00.00.19

ELEVATIONS

A-5.0



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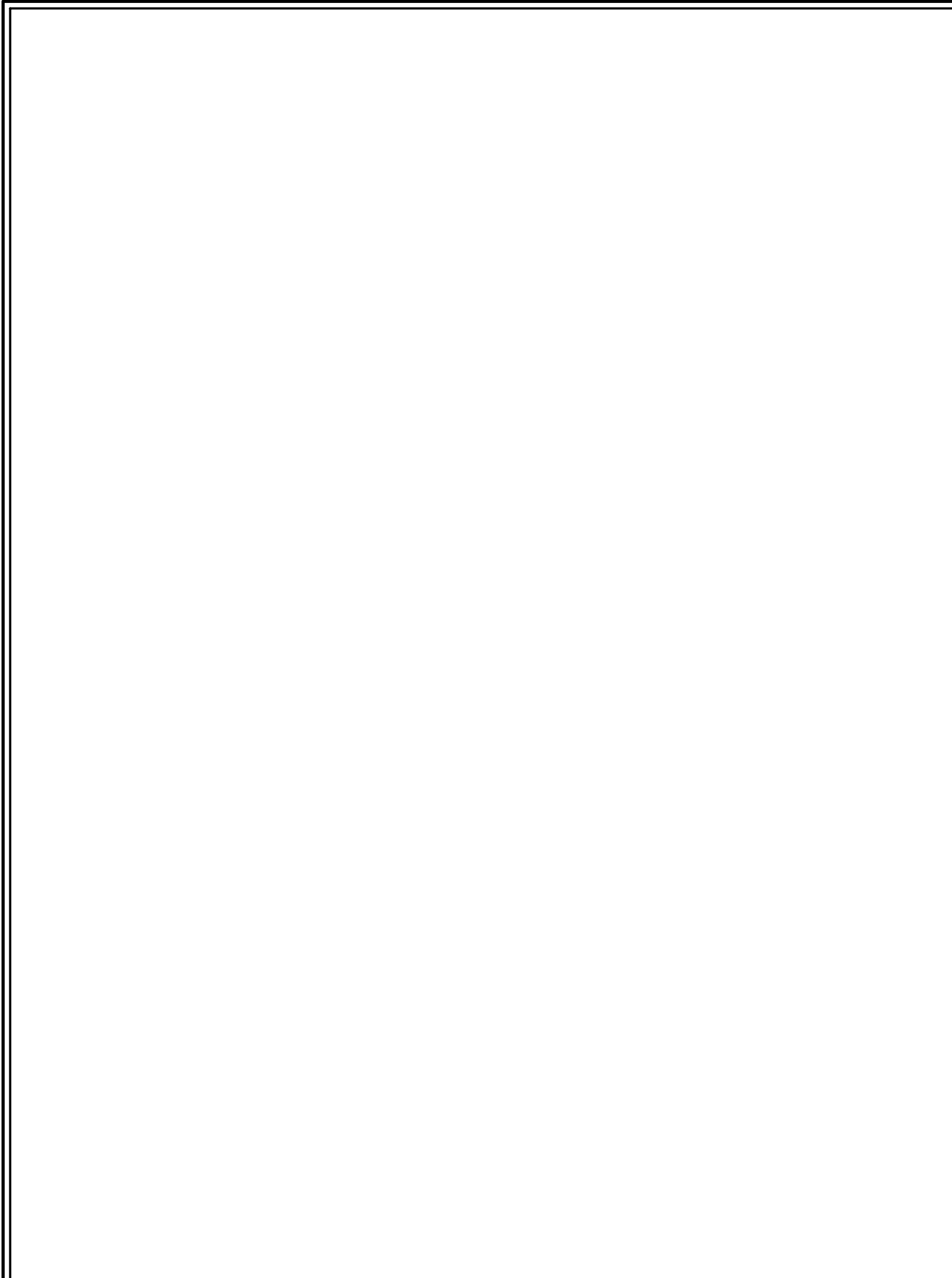
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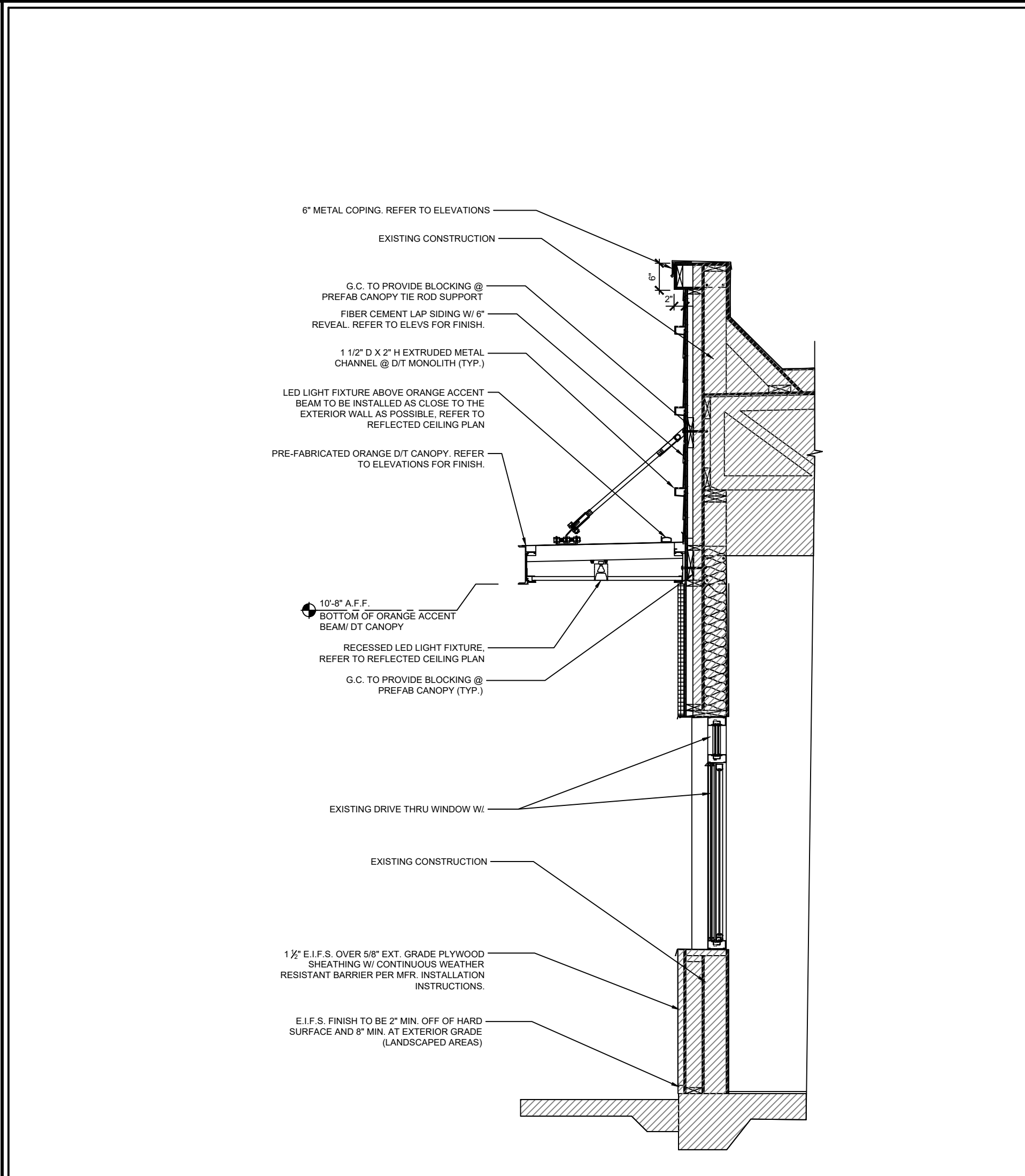
Lagunita Franchise Operations
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ISSUED FOR PERMIT _____ 05.06.19

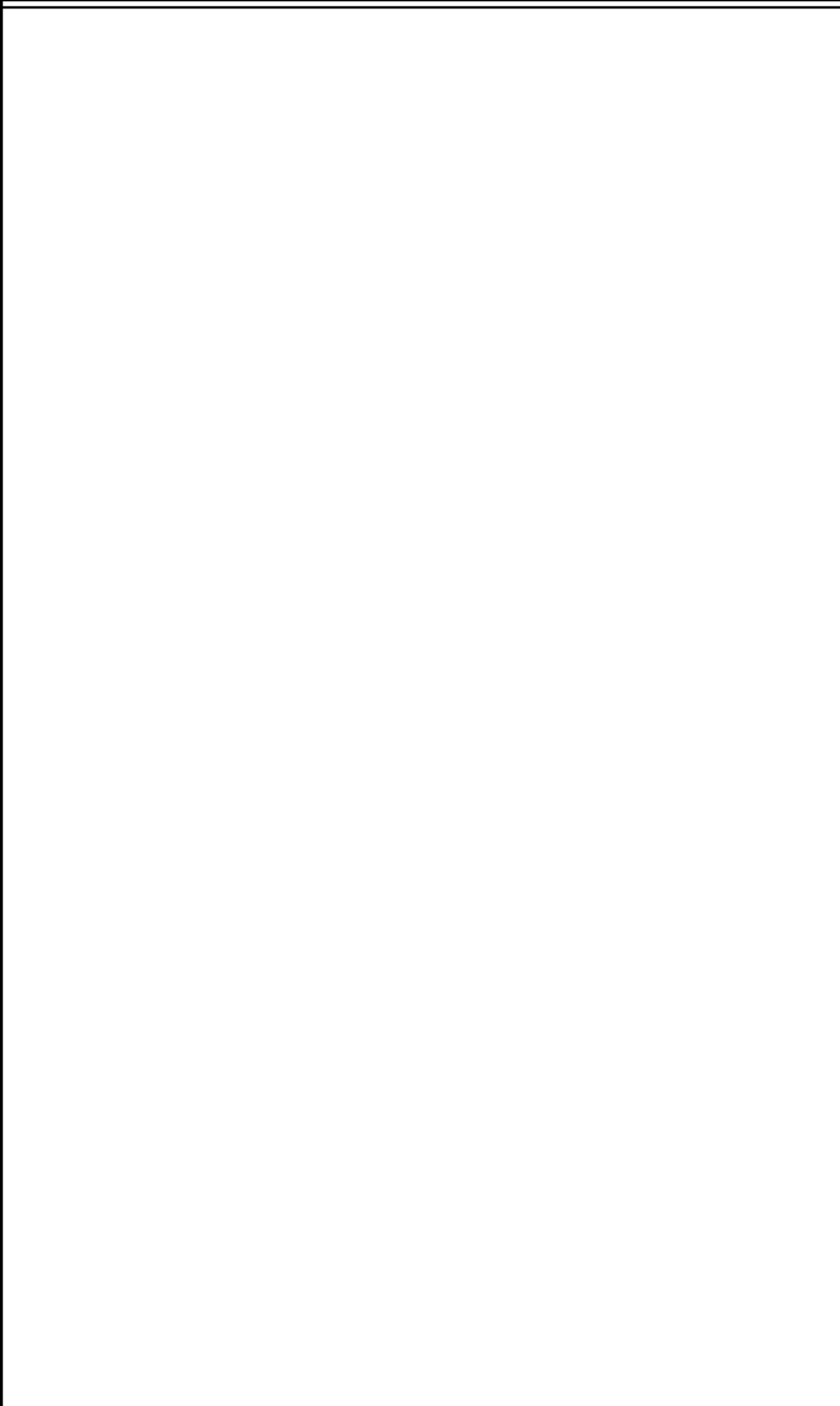
EXISTING PHOTOS



1 NOT USED
1 1/2" = 1'-0" NOTE:



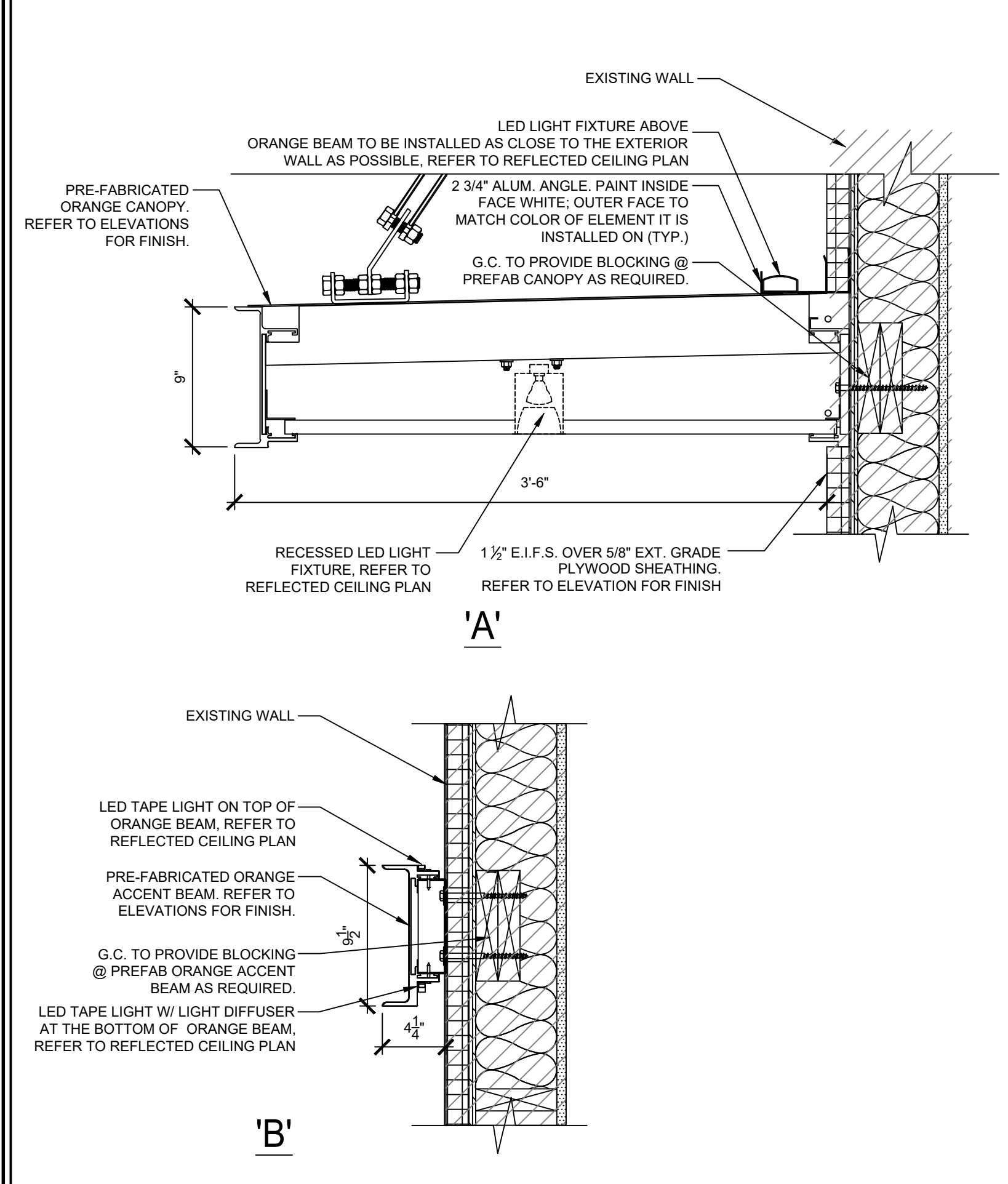
2 SECTION AT DT WINDOW
3/4" = 1'-0" NOTE:



3 NOT USED
1 1/2" = 1'-0" NOTE:



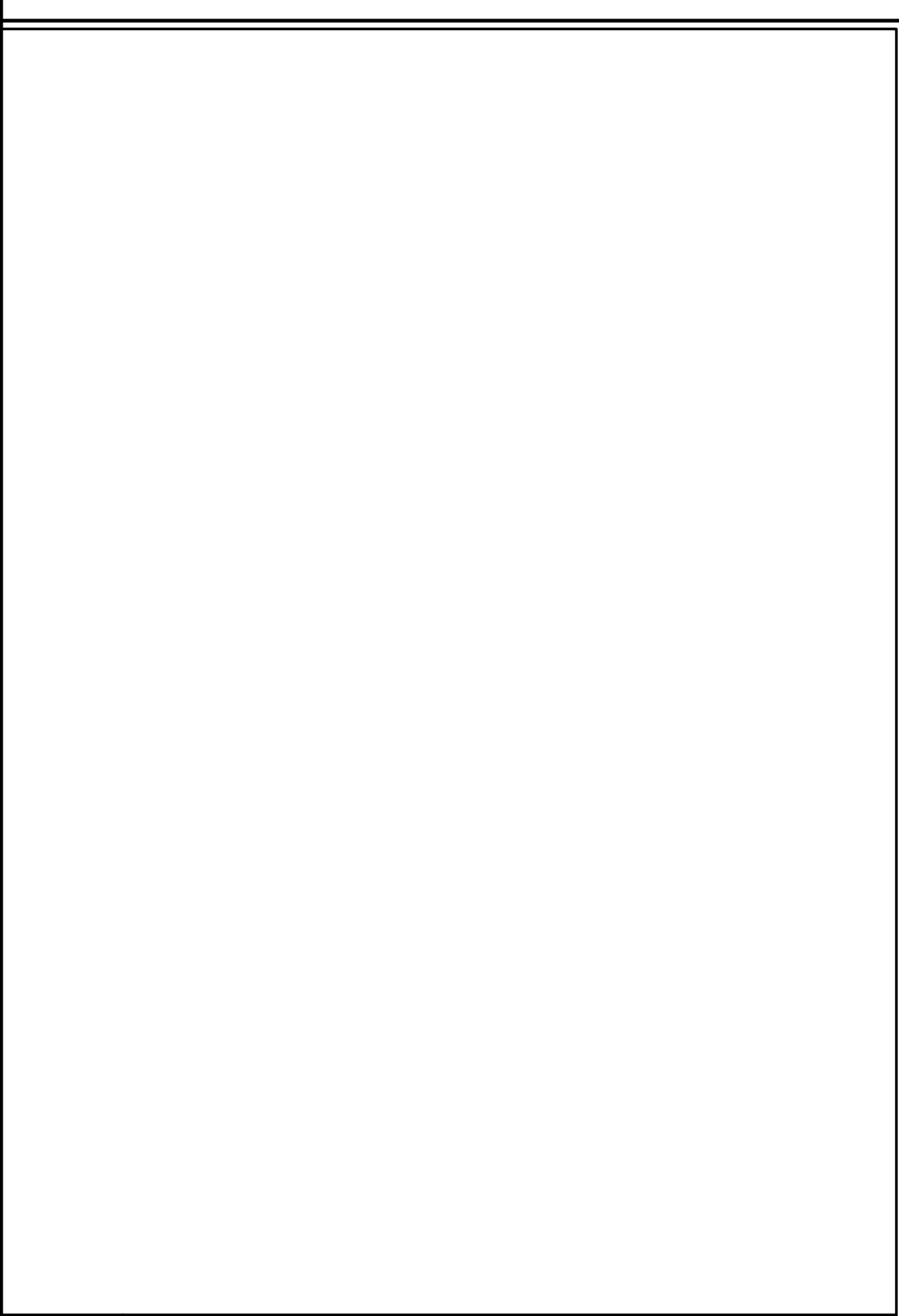
4 NOT USED
1 1/2" = 1'-0" NOTE:



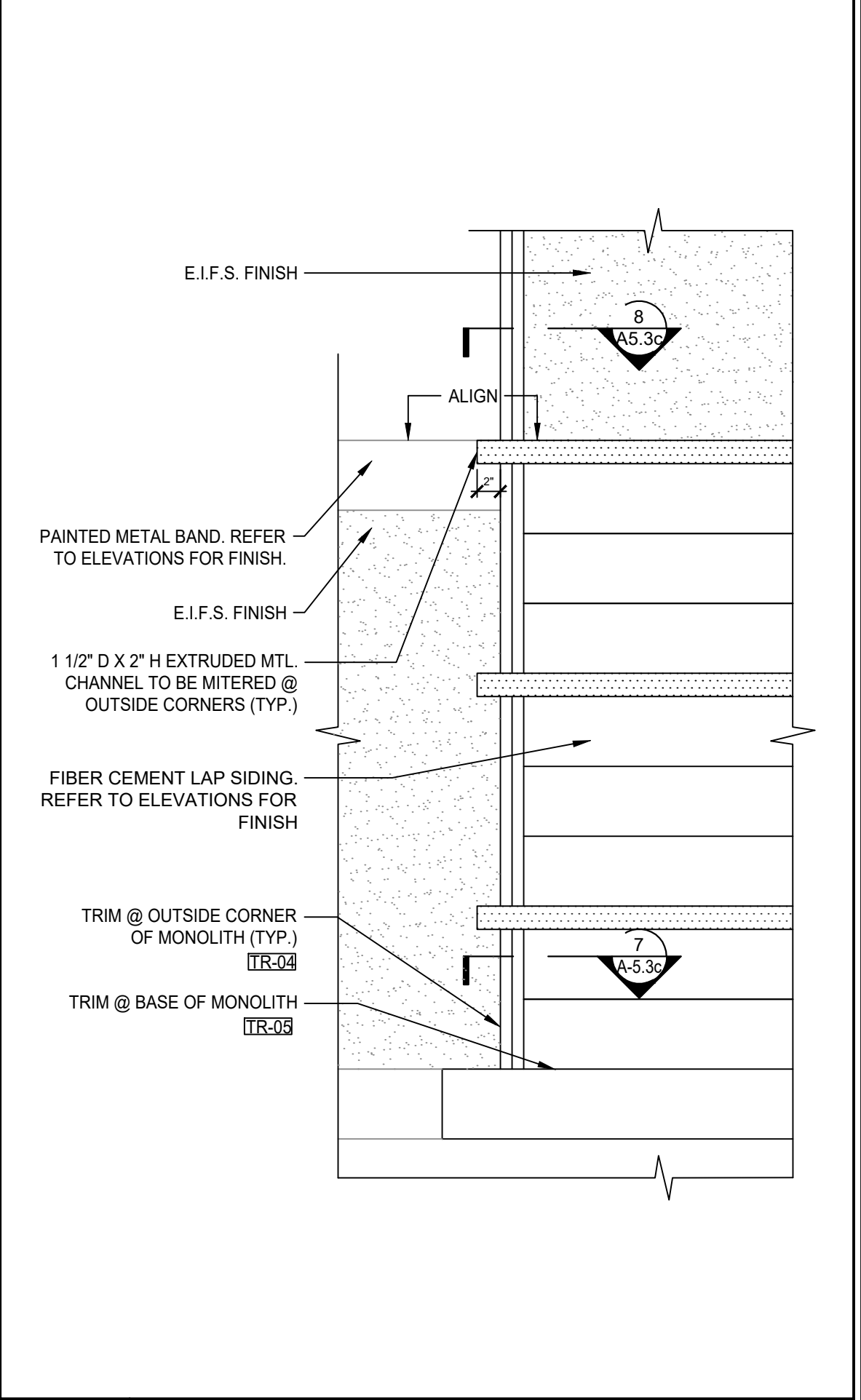
5 ORANGE BEAM DETAIL
1 1/2" = 1'-0" NOTE:



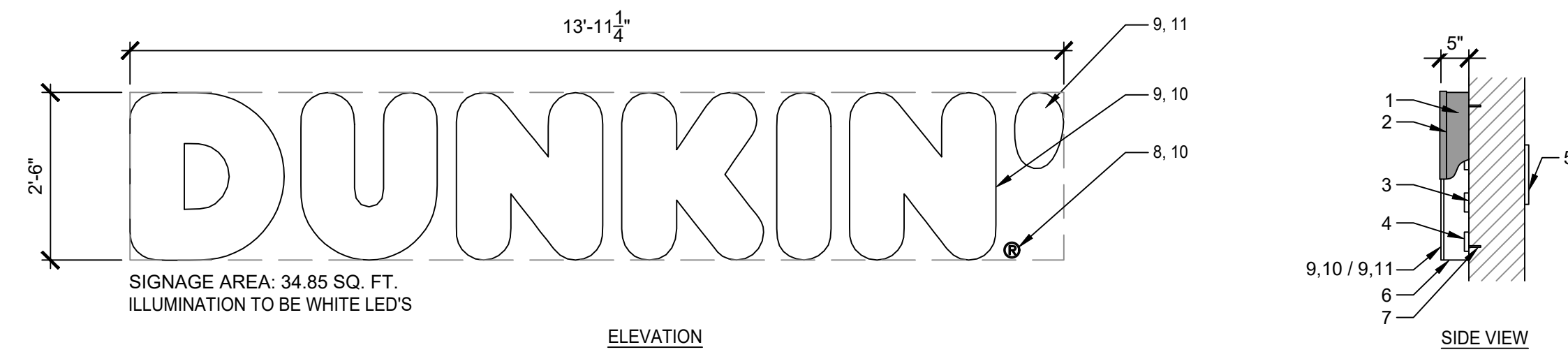
6 ENLARGED ELEVATION @ MONOLITH CORNER
1" = 1'-0" NOTE:



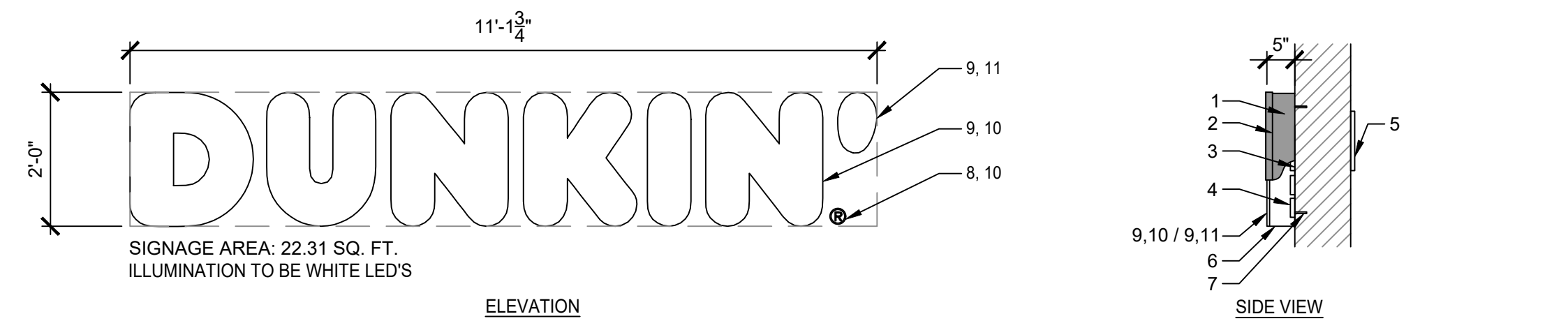
7 NOT USED
1 1/2" = 1'-0" NOTE:



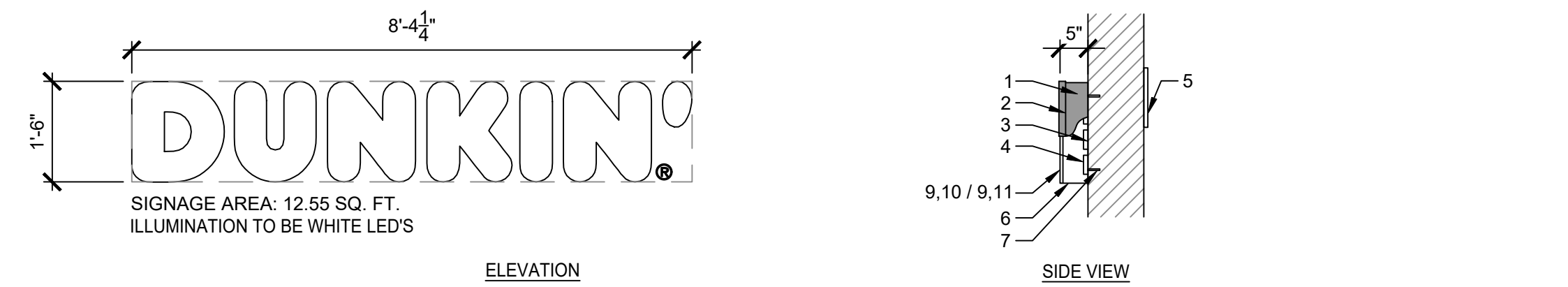
6 ENLARGED ELEVATION @ MONOLITH CORNER
1" = 1'-0" NOTE:



30" H " DUNKIN' " PRIMARY BLDG. SIGN



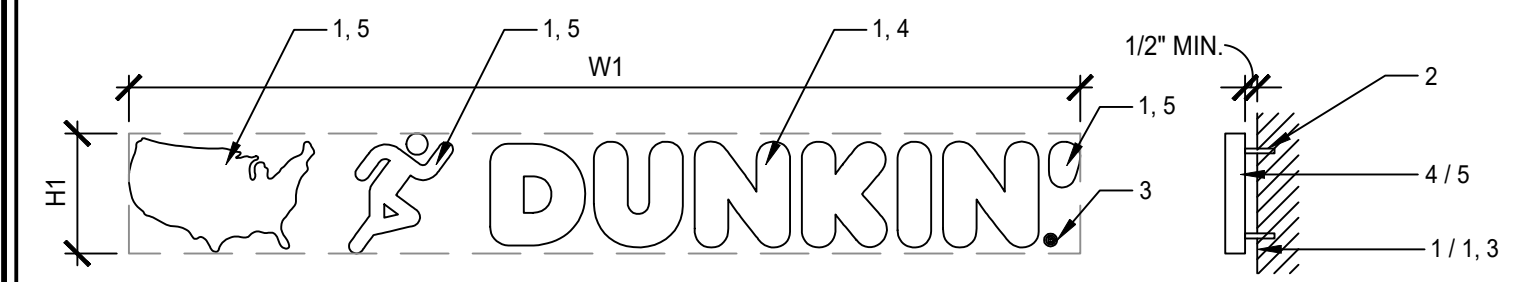
24" H " DUNKIN' " PRIMARY BLDG. SIGN



18" H " DUNKIN' " PRIMARY BLDG. SIGN

GENERAL NOTES:	
1.	05" x 5" ALUMINUM RETURNS PAINTED TO MATCH PMS 7540C
2.	1" TRIM CAP TO MATCH JEWELITE 313 BRONZE
3.	083" ALUMINUM BACKING
4.	GE TETRA MAX 7700K WHITE LED'S (OR GE REPLACEMENT EQUIVALENT)
5.	REMOTE POWER SUPPLY, AS REQUIRED
6.	DRAIN HOLES, AS REQUIRED
7.	MOUNTING HARDWARE, AS DETERMINED BY SITE CONDITIONS
8.	083" ALUMINUM DISK PAINTED WHITE (REGISTERED "R")
9.	3/16" THICK WHITE ACRYLIC FACE
10.	3M #9330-3123 DUNKIN' ORANGE TRANSLUCENT FILM 1ST SURFACE
11.	3M #9330-1379 DUNKIN' PINK TRANSLUCENT FILM 1ST SURFACE
ADDITIONAL NOTES:	
ARTWORK FONT : DUNKIN SANS DISPLAY	
CHANNEL LETTER INTERIOR PAINTED REFLECTIVE WHITE	
ELECTRICAL : (1) 20-AMP / 120 VOLT CIRCUIT	
UL LISTED	
LED'S TO BE POPULATED FOR EVEN AND CONSISTENT LIGHTING WITHOUT HOT SPOTS OR SHADOWS	

1 BUILDING SIGN
1/2" = 1'-0" NOTE:



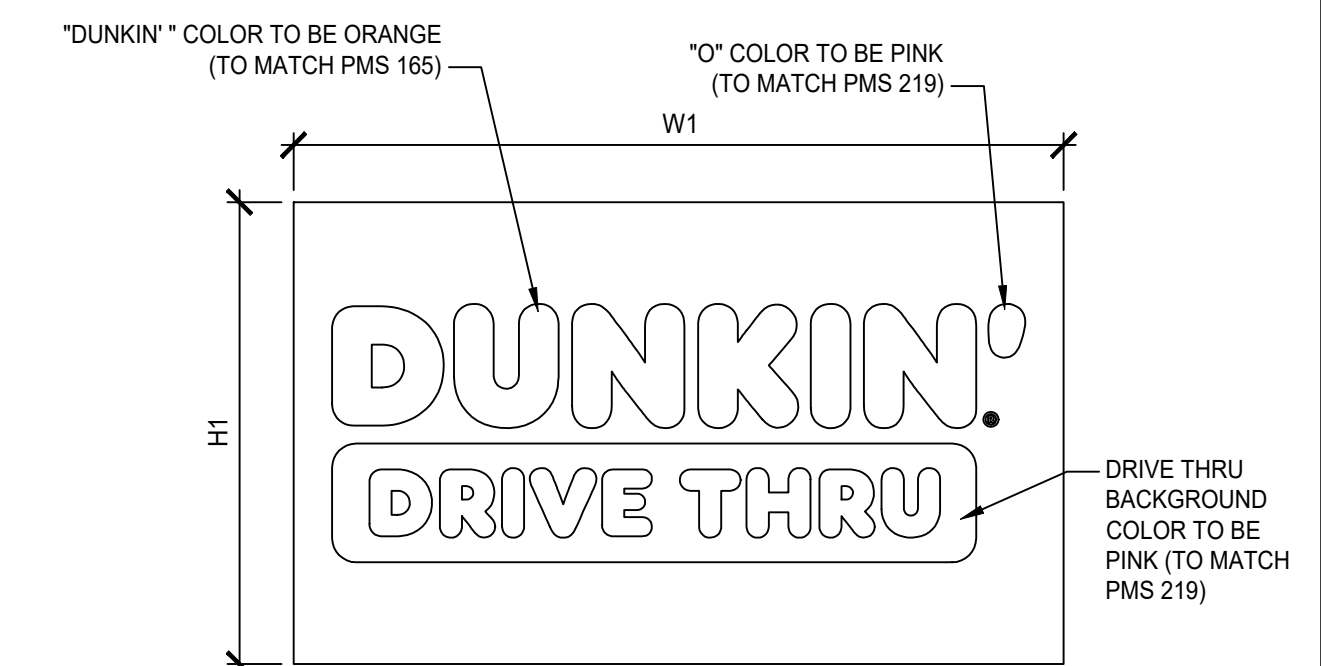
NON-ILLUMINATED PIN-MOUNTED LETTERS

GENERAL NOTES			
1.	3/4" ROUTED PVC LETTERS AND ROUTED PVC MAP		
2.	MOUNTING STUDS AS REQUIRED PER SITE CONDITIONS. LETTERS SHOULD BE PIN MOUNTED WITH AT LEAST A 1/2" SPACING BETWEEN BACK OF LETTER / BAR AND MOUNTING SURFACE.		
3.	ROUND PVC DISK PAINTED ORANGE PMS 165 C (REGISTERED "R")		
4.	"DUNKIN" LETTERS FACES & RETURNS PAINTED ORANGE PMS 165 C		
5.	MAP, MAN, AND APOSTROPHE (') FACES & RETURNS PAINTED PINK PMS 219 C		
ADDITIONAL NOTES:			
ARTWORK FONT : DUNKIN SANS DISPLAY			
LETTERS SHOULD BE PIN MOUNTED WITH AT LEAST A 1/2" SPACING.			

SIZE	H1	W1	S.F. (BOX)
SMALL	9"	71.25"	4.46'
MEDIUM	12"	95"	7.93'
LARGE	15"	118.75"	12.38'
CUSTOM	-	-	-

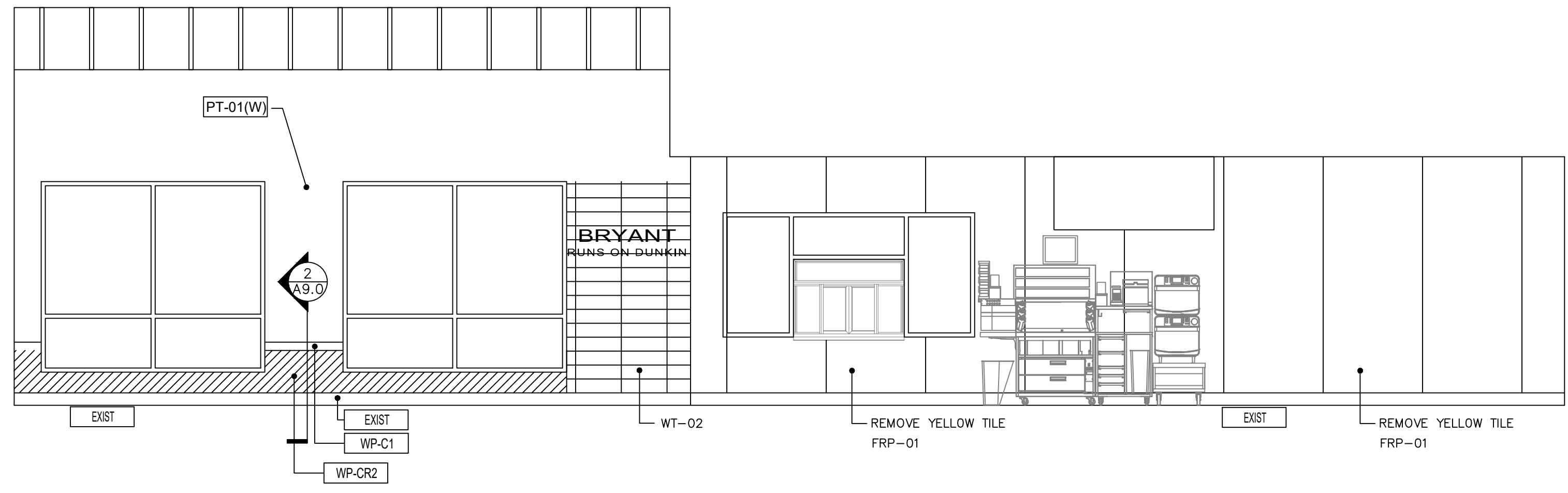
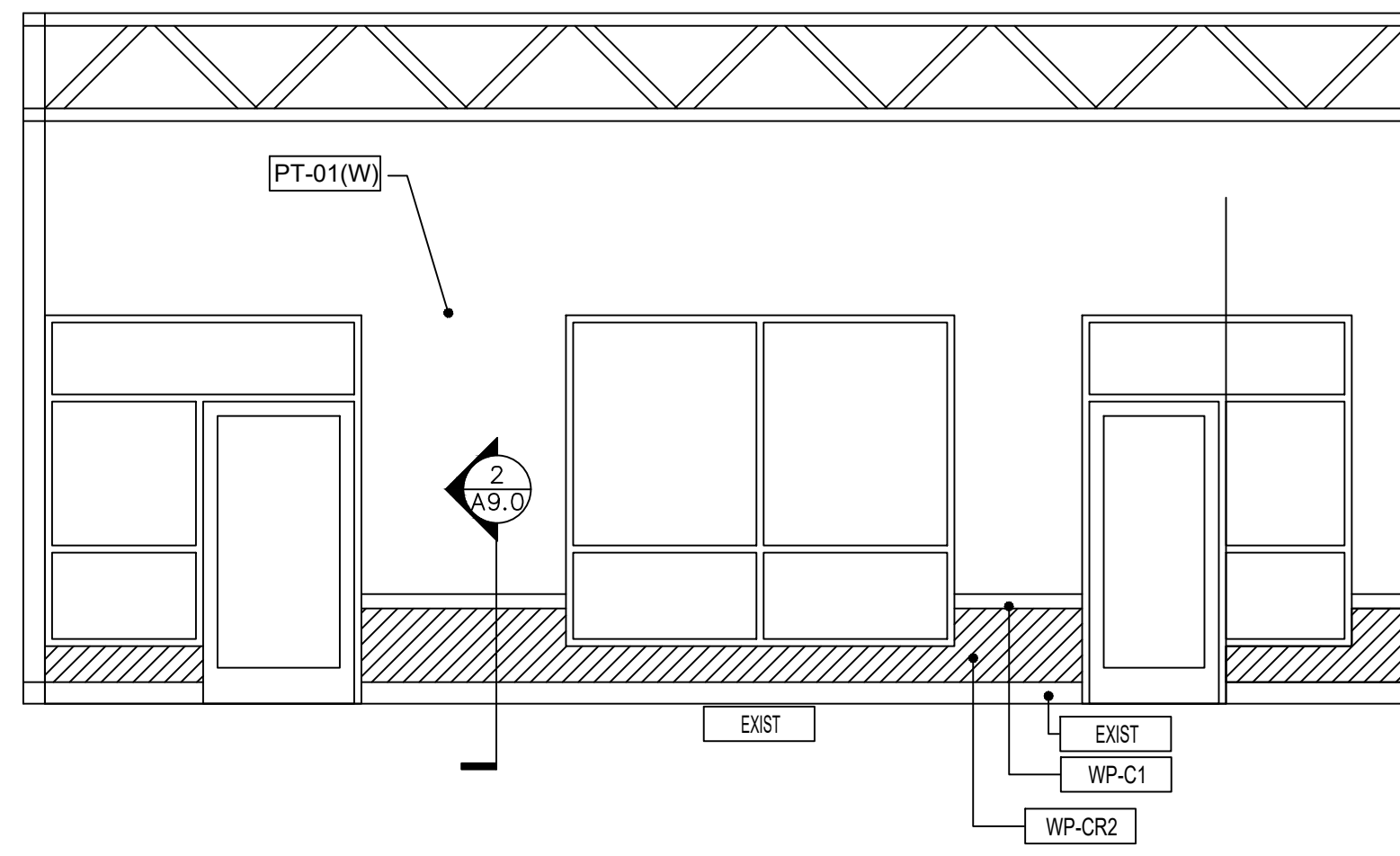
2 FEATURE WALL SIGN

1/2" = 1'-0" NOTE:



SIZE	H1	W1	D1	S.F. (BOX)
ALL	18"	30"	N/A	3.75'
CUSTOM	-	-	-	-

6 HIGHWAY SIGNS
1/2" = 1'-0" NOTE:

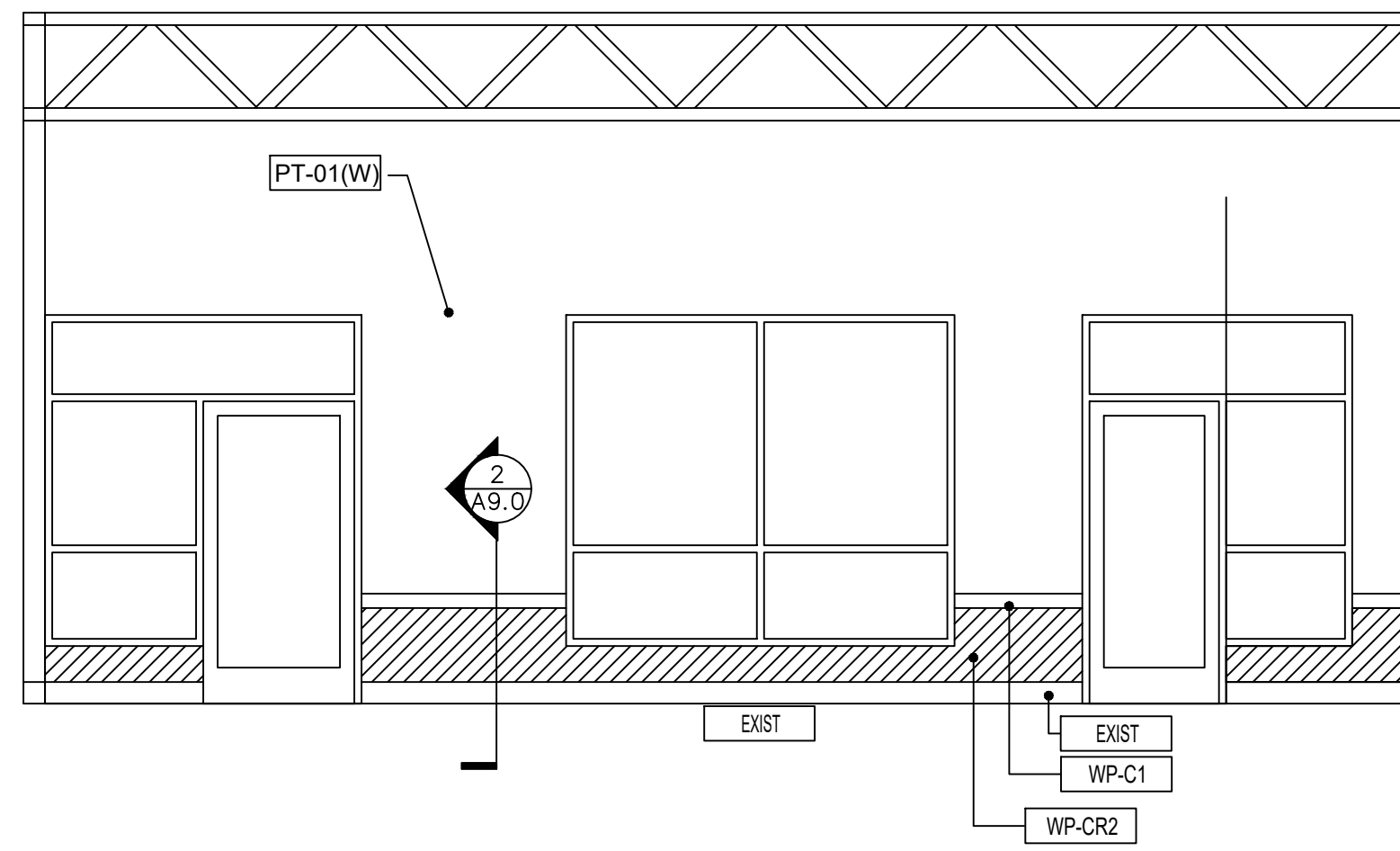


1 INTERIOR ELEVATION STOREFRONT

1/4" = 1'-0" NOTE:

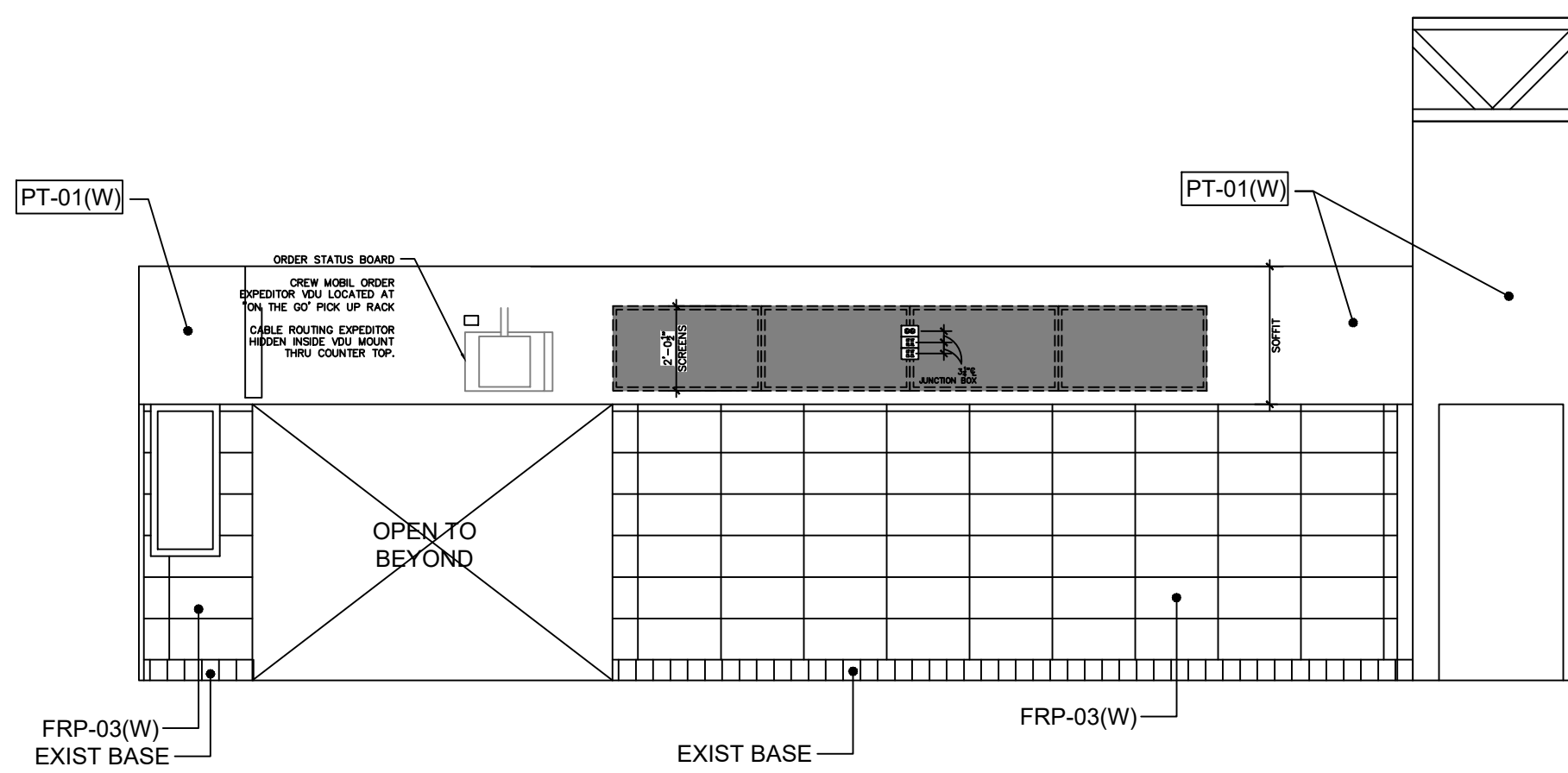
2 INTERIOR ELEVATION AT DRIVE THROUGH

1/4" = 1'-0" NOTE:



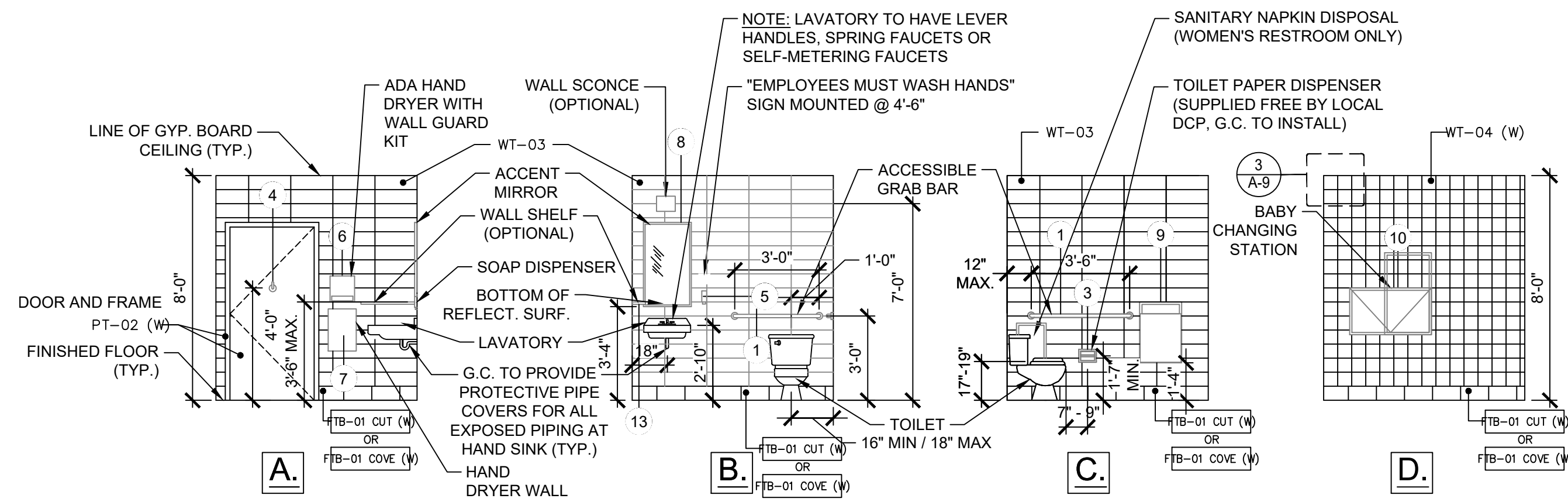
3 INTERIOR ELEVATION AT LOBBY SIDE WALL

1/4" = 1'-0" NOTE:



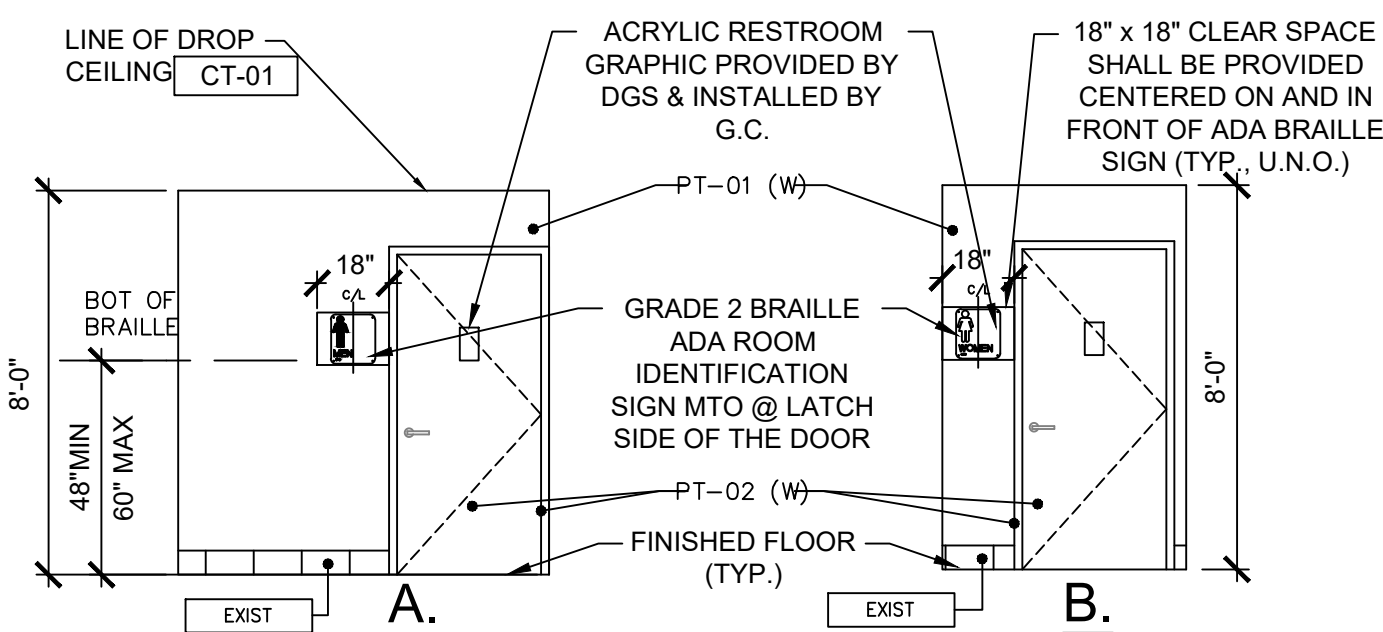
4 SERVICE LINE ELEVATION

1/4" = 1'-0" NOTE:



5 TYPICAL RESTROOM WALL REFINISHING

1/4" = 1'-0" NOTE:



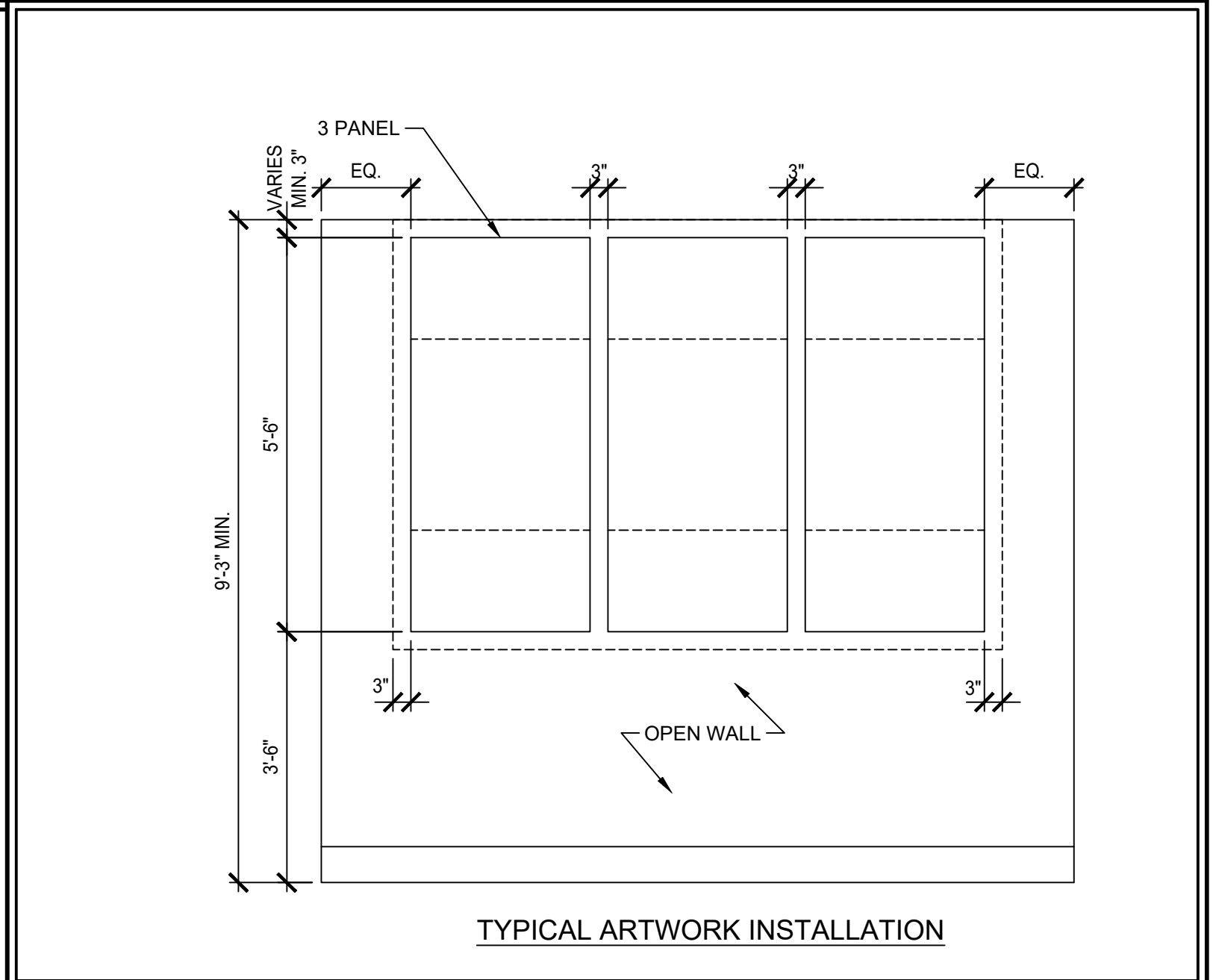
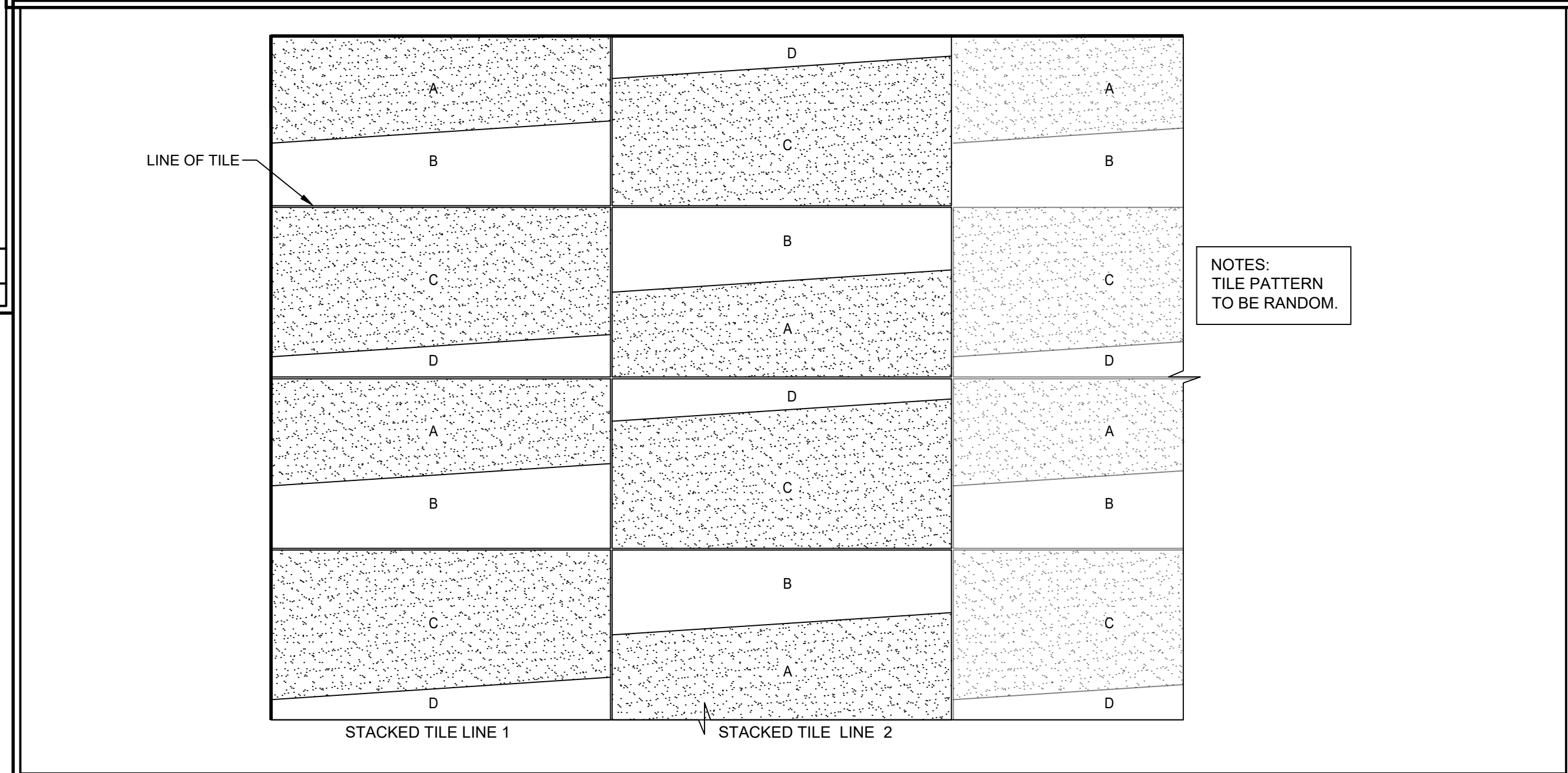
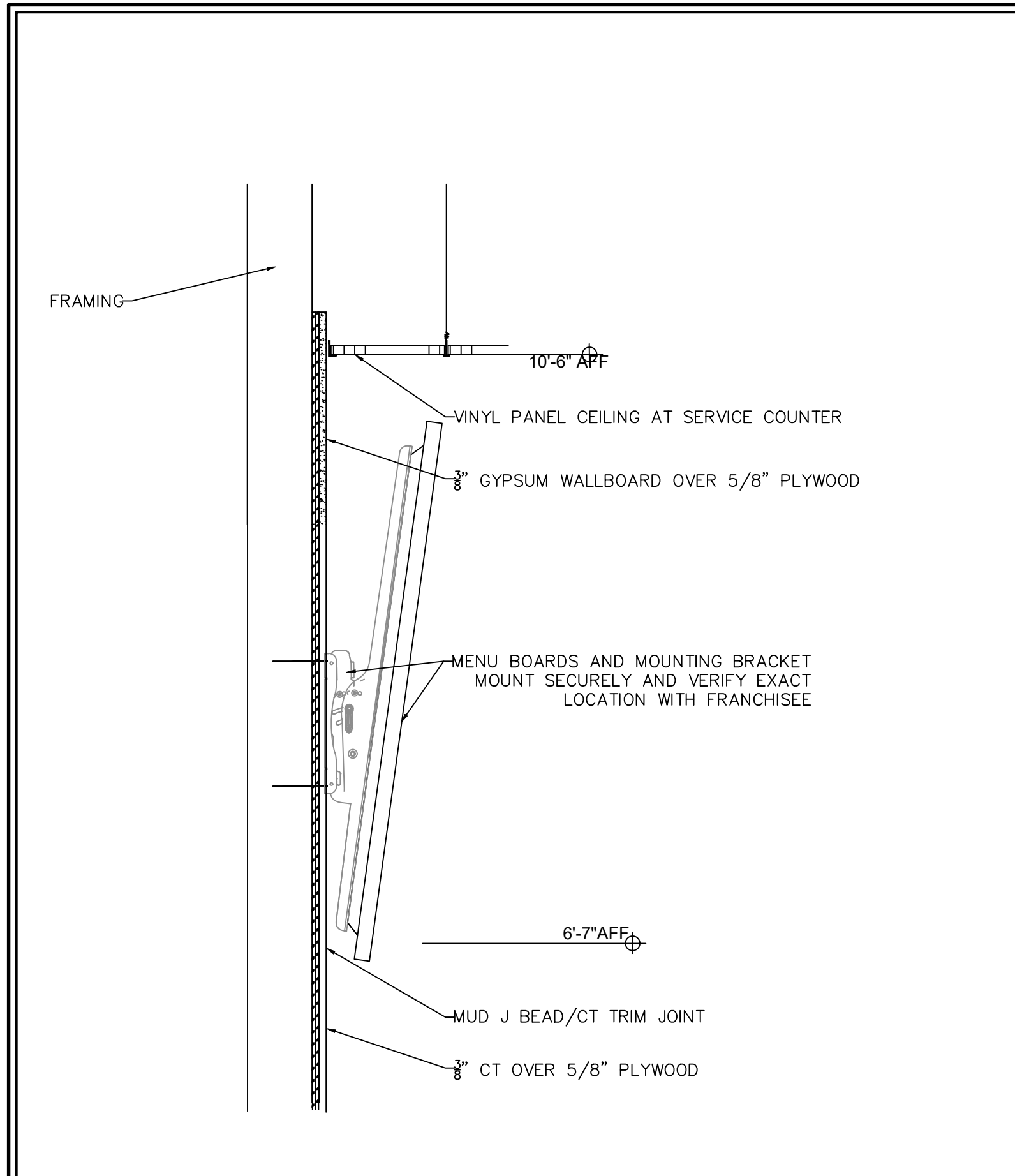
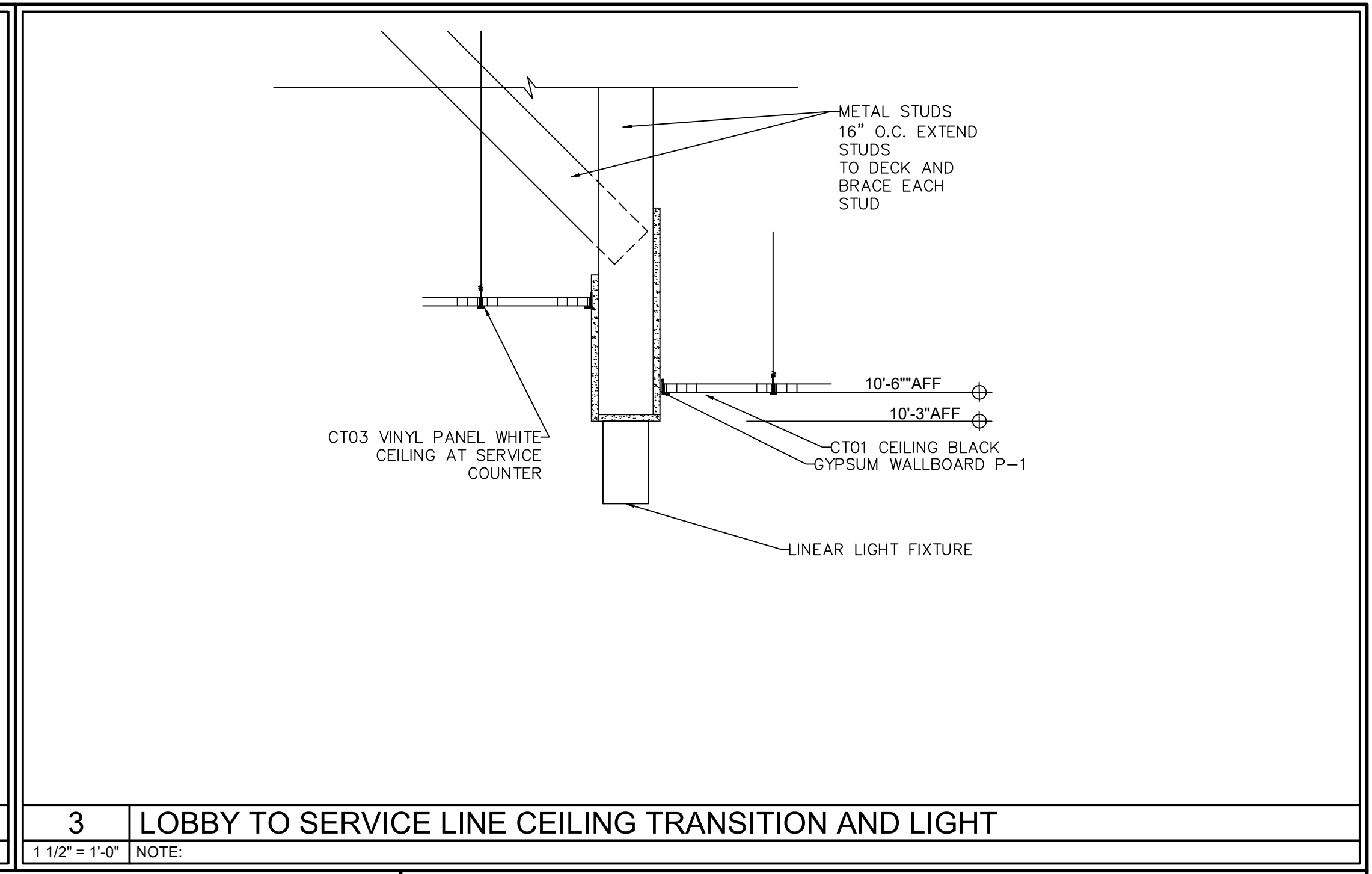
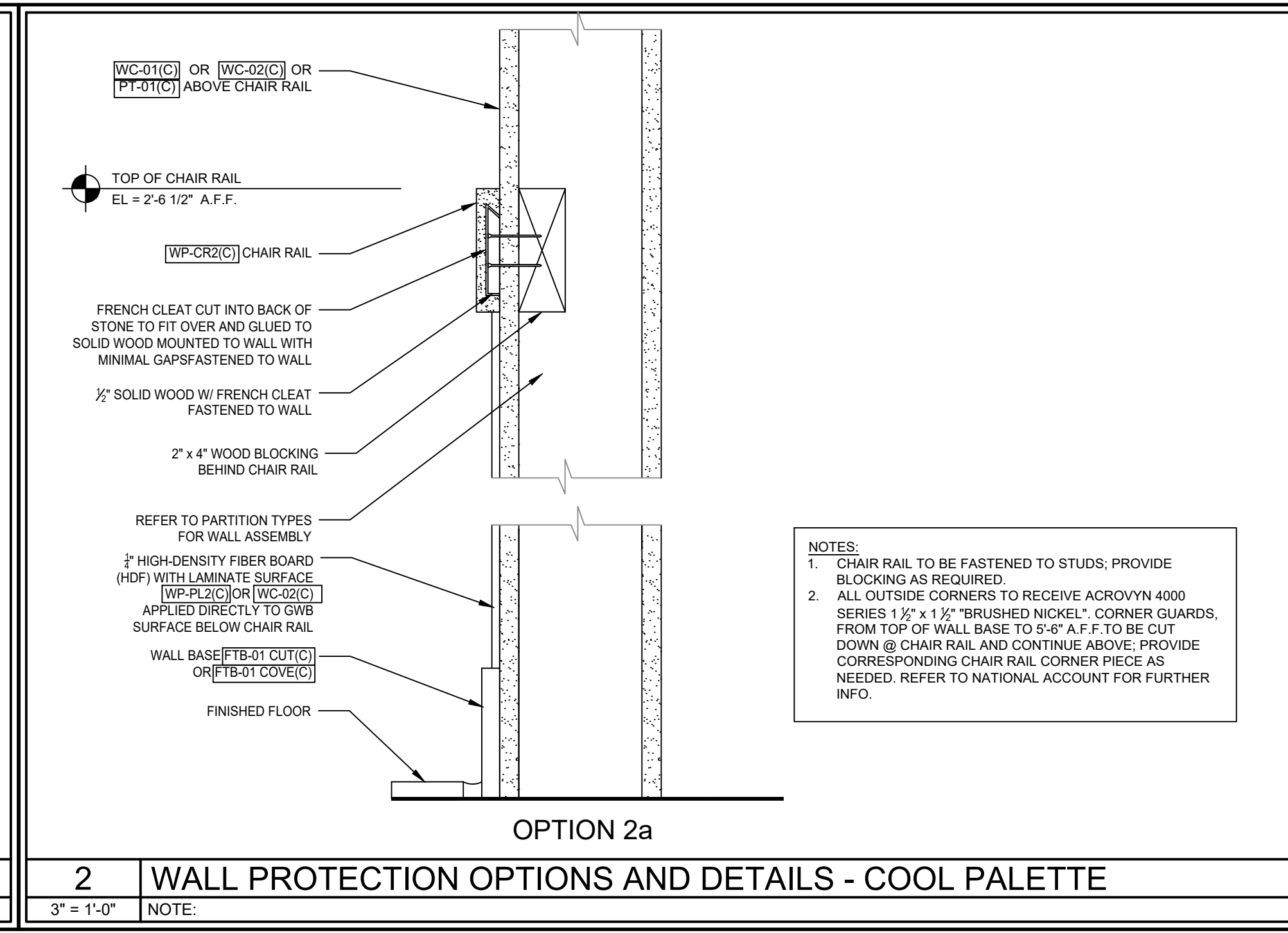
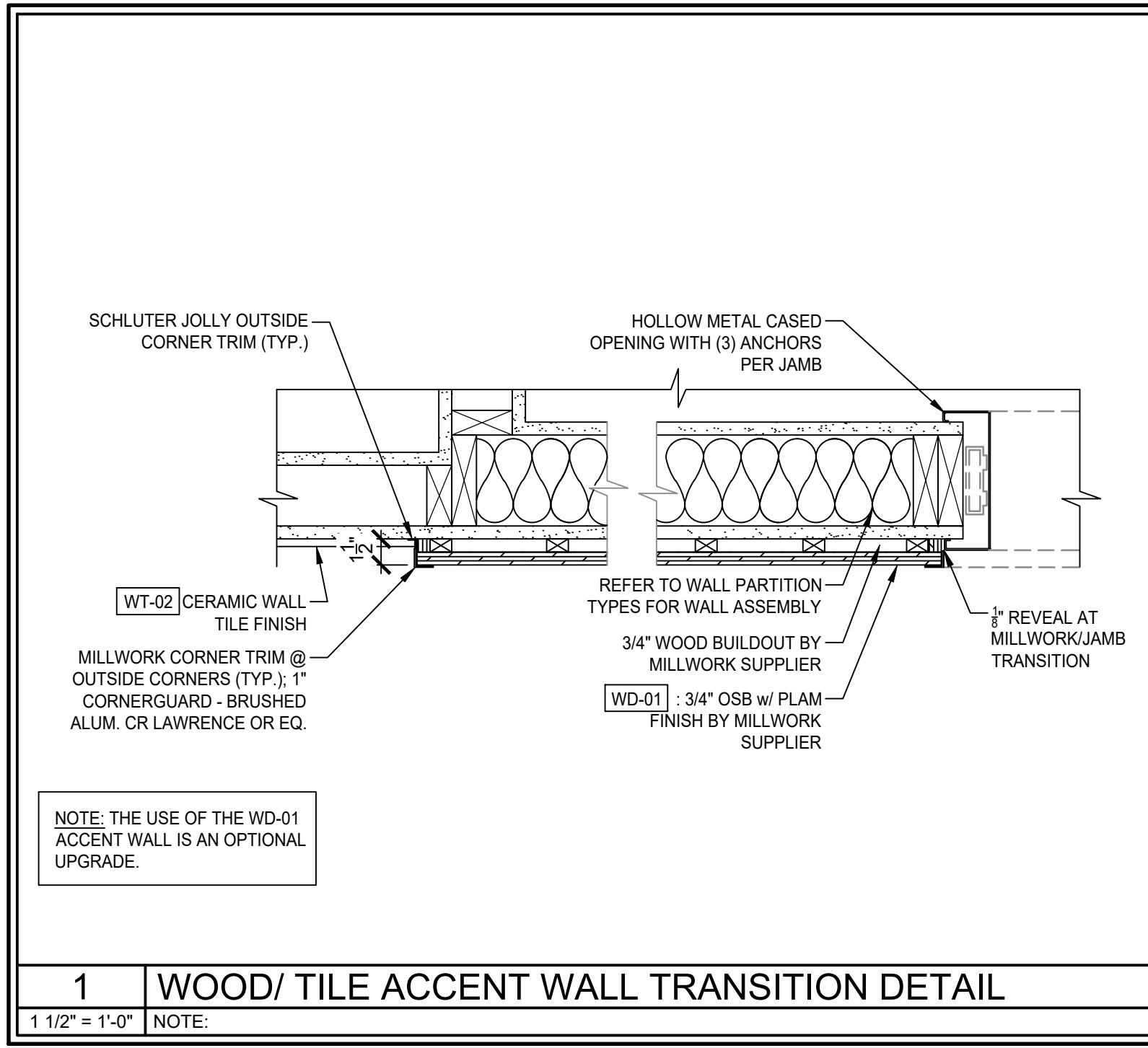
ROOM FINISH SCHEDULE (WARM PALETTE)

NO.	ROOM NAME	FLOOR CODE	BASE CODE	WALL CODE	CEILING CODE	NOTES
101	SEATING AREA	EXISTING-PATCH	NOTE #5	NOTE #1	CT-02 (BLK)	1,2,3,4,5
102	SALES AREA	EXISTING-PATCH	NOTE #5	NOTE #1	CT-02 (BLK)	1,2,3,4,5
103 A&B	DRIVE THRU	EXISTING FT-02	NOTE #5	NOTE #1	CT-03 2X2	1,2,3,4,5
104	SERVICE AREA	EXISTING FT-02 EXTEND	NOTE #5	NOTE #1	CT-03 2X2	1,2,3,4,5
105	MEN'S RESTROOM	NIC	NIC	NIC	NIC	NIC
106	WOMEN'S RESTROOM	NIC	NIC	NIC	NIC	NIC
107	OFFICE	EXISTING-PATCH	NIC	NIC	NIC	NIC
108	PREP./STORAGE AREA	NIC	NIC	NIC	NIC	NIC
109	HALL	EXISTING-PATCH	NOTE #5	NOTE #1	CT-01 (WHT)	1,2,3,4,5

NOTES

- REFER TO INTERIOR ELEVATIONS FOR PROPER WALL FINISHES IN DESIGNATED AREA
- CONTRACTOR MAY REUSE CLG GRID IF WASHED/PAINTED TO LOOK NEW
- PROVIDE ALUMINUM CORNER GUARDS AT ALL OUTSIDE CORNERS OF WALLS, SEE FLOOR PLAN FOR LOCATIONS
- G.C. TO VERIFY ALL FINISHES WITH DBI CM PRIOR TO ORDERING MATERIALS.
- REFER TO FINISH FLOOR PLAN FOR WALL BASE OPTIONS





ROOM FINISH SCHEDULE (WARM PALETTE)						
NO.	ROOM NAME	FLOOR CODE	BASE CODE	WALL CODE	CEILING CODE	NOTES
101	SEATING AREA	EXISTING-PATCH	NOTE #5	NOTE #1	CT-02 (BLK)	1,2,3,4,5
102	SALES AREA	EXISTING-PATCH	NOTE #5	NOTE #1	CT-02 (BLK)	1,2,3,4,5
103 A&B	DRIVE THRU	EXISTING PATCH	NOTE #5	NOTE #1	CT-03 2X2	1,2,3,4,5
104	SERVICE AREA	EXISTING PATCH	NOTE #5	NOTE #1	CT-03 2X2	1,2,3,4,5
105	MEN'S RESTROOM	EXISTING PATCH	NOTE #5	NOTE #1	PAINT ONLY	NIC
106	WOMEN'S RESTROOM	EXISTING PATCH	NOTE #5	NOTE #1	PAINT ONLY	NIC
107	OFFICE	NIC	NIC	NIC	NIC	NIC
108	PREP./STORAGE AREA	NIC	NIC	NIC	NIC	NIC
109	ALCOVE	EXISTING-PATCH	NOTE #5	NOTE #1	REPAIR IF REQD	1,2,3,4,5
NOTES						
1. REFER TO INTERIOR ELEVATIONS FOR PROPER WALL FINISHES IN DESIGNATED AREA						
2. CONTRACTOR MAY REUSE CLG GRID IF WASHED/PAINTED TO LOOK NEW						
3. PROVIDE ALUMINUM CORNER GUARDS AT ALL OUTSIDE CORNERS OF WALLS. SEE FLOOR PLAN FOR LOCATIONS						
4. G.C. TO VERIFY ALL FINISHES WITH DBI CM PRIOR TO ORDERING MATERIALS.						
5. REFER TO FINISH FLOOR PLAN FOR WALL BASE OPTIONS						

WALL PROTECTION					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
WP-CR2 (W)	SOLID SURFACES	LG HI-MACS		CUSTOM COLOR: G122 BAMBOO LEAF (SEE AS SS-01 (W)) FINISH: POLISHED EDGE PROFILE: REFERENCE MILLWORK DETAIL ALUMINUM PROFILE: SCHLUTER, JOLLY	SOLID SURFACE CHAIR RAIL
WP-C1		IMPACT SPECIALTIES		COLOR: "BRUSHED NICKEL" VA-200 CORNER 72" X 11/2" X 1 1/2"	CHAIR RAIL CORNER PIECE
INTERIOR WALL PAINT					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
PT-01 (W)	PAINT	SHERWIN WILLIAMS	SW 9088 "UTAPEIA"	WALL / SOFFIT PAINT WHERE INDICATED	MARK T. WEINER BARRINGTON RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WEINER@SHERWIN.COM
PT-02 (W)	PAINT	SHERWIN WILLIAMS	SW 6005 "FOLKSTONE"	SHEEN: FLAT FOR CEILING / SOFFIT; SEMIGLOSS FOR DOORS AND FRAMES	
PT-03 (W)	PAINT	SHERWIN WILLIAMS	SW 9109 "NATURAL LINEN"	SHEEN: FLAT FOR CEILING; SEMIGLOSS FOR DOORS AND FRAMES	
CREATIVE MATERIALS PALETTE					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
G-04	GROUT	MAPEI	ULTRSCOLOR PLUS FA # 10 - BLACK	BRICK TILE GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) OR WALL TILE (WT) COMMENTS FOR LOCATION	
WT-02	PORCELAIN TILE	CREATIVE MATERIALS	BRICKWORLD SOHO BLACK - DINING AREA TILE	COOL AND WARM PALETTE - BRICK STYLE 3" X 12" . - USE W/ GROUT G-04 ALUMINUM PROFILE: SCHLUTER, JOLLY, TSDA DARK ANTHRACITE HEIGHT 8 mm (5/16") A80TSDA	
INTERIOR FIBERGLASS REINFORCED PANEL					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
FRP-03 (W)	FIBERGLASS REINFORCED PANELS	CRANE COMPOSITES		COLOR: 113DWP 4' X 8' PART # 113 DWP8 OR 4' X 10' PART # 113 DWP10	WARM PALETTE - APPROVED FOR BACK LINE WALL IN NEW AND REMODEL RESTAURANTS.

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10/15/2022

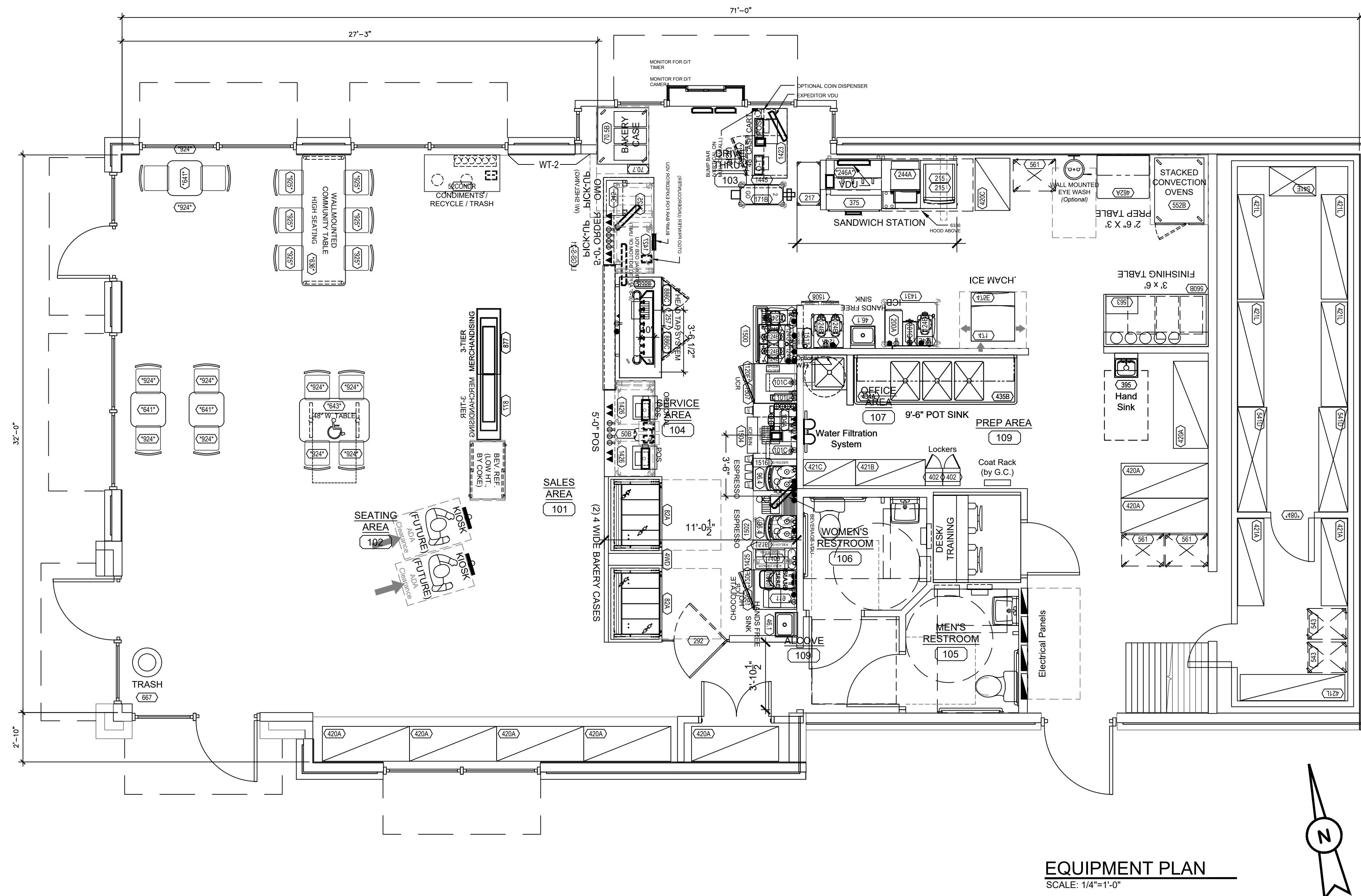
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 Tony Antoon and Damon Dunn
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ISSUED / REVISED / ISSUED FOR PERMIT _____ DATE 00.00.19
DOOR, MASTER HRDWR
RM. FIN. SCHED., WARM

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2025 SQ. FT. (Building)
 210 SF (Exterior Walk-In Box)
 2 DRY DELIVERIES per WK.
 2 REF'D DELIVERIES per WK.
 750 DZNS. of DONUTS per WK.
 250 DZNS. of Munchkins per WK.
 15 SEATS
 26 LN. FT. SHELVING



EQUIPMENT PLAN
 SCALE: 1/4"=1'-0"

NOTE:
 F'EE AND FIELD TEAM TO DETERMINE IF EXISTING
 BACK ROOM EQUIPMENT AND COLD/DRY STORAGE
 CAPACITIES CONFORM TO CURRENT STANDARDS.
 ENSURE ADEQUATE ICE MACHINE CAPACITY FOR NEXT
 GEN MENU REQUIREMENTS.

- NOTES:**
- FRANCHISEE'S ARCHITECT SHALL ENSURE 40" MINIMUM CLEAR ACCESS INTO AND THROUGHOUT THE STORE FOR DELIVERY OF LARGE EQUIPMENT ITEMS.
 - FRANCHISEE'S ARCHITECT TO VERIFY COMPLIANCE WITH APPLICABLE ADA AND CODE REQUIREMENTS FOR RESTROOM(S) AND ENTRANCE(S).
 - WINDOW(S) TO BE IN-FILLED, TINTED, OR BLOCKED OUT WITH APPROVED DBI WINDOW GRAPHICS.
 - UNSIGHTLY UTILITIES:
 TO ENHANCE THE D/T EXPERIENCE PLAN ACCORDINGLY TO EITHER REMOVE OR SCREEN WHEN POSSIBLE.
 - DEFAULT WATER FILTRATION SYSTEM SHOWN. ARCHITECT TO HAVE WATER TESTED TO VERIFY ACTUAL SYSTEM REQUIRED. BOOSTER PUMP CAN BE ELIMINATED IF INCOMING WATER PRESSURE TO THE BUILDING IS 65PSI OR HIGHER.
 - DEFAULT EQUIPMENT FOOTPRINT SHOWN. ARCHITECT TO COORDINATE WITH FRANCHISEE TO DETERMINE ACTUAL EQUIPMENT REQUIRED.

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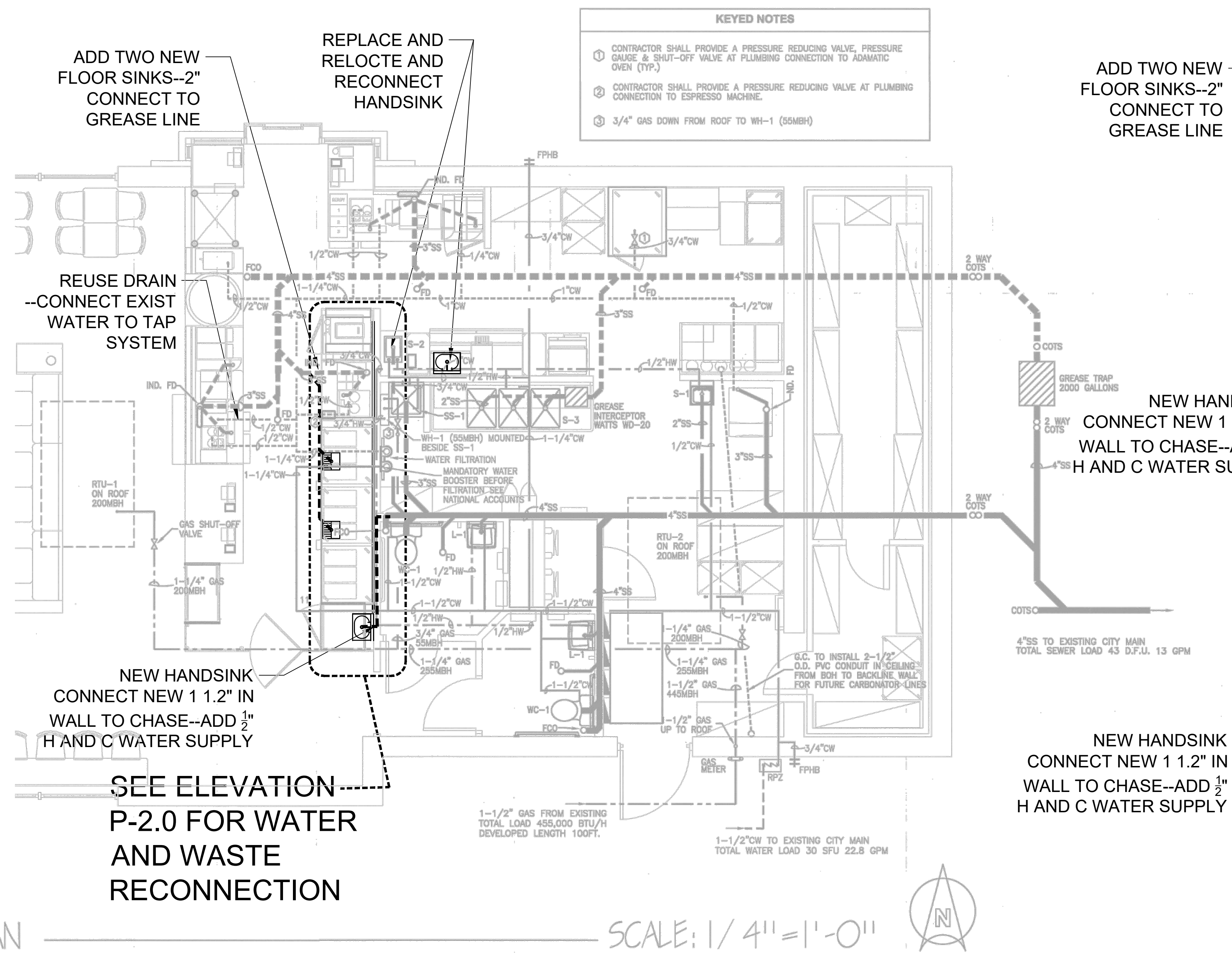
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 ISSUED FOR PERMIT _____ DATE 03.03.19
KITCHEN EQUIPMT PLAN

GENERAL NOTES:

- A. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION.
- B. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED INSPECTIONS.
- C. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS AND TRADES.
- D. THESE DRAWINGS, AS PREPARED, ARE DIAGRAMMATIC BUT SHALL BE FOLLOWED AS CLOSELY AS CONSTRUCTION OF THE PROJECT AND THE WORK OF THE TRADES WILL PERMIT. EQUIPMENT LOCATIONS INDICATED ARE APPROXIMATE. COORDINATE EXACT LOCATIONS AND REQUIRED CLEARANCES WITH EQUIPMENT SUPPLIER AND ALL TRADES PRIOR TO INSTALLATION.
- E. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE EQUIPMENT INDICATED WITHIN THESE DRAWINGS UNLESS OTHERWISE NOTED. VERIFY LOCATION AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND / OR INSTALLATION.
- F. ALL ROOF PENETRATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE. COORDINATE WITH OWNER'S ROOFING CONTRACTOR SO AS NOT TO VOID ANY EXISTING ROOF WARRANTIES.
- G. THE ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND / OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY ARCHITECT OR ENGINEER.
- H. ALL WORK SHALL BE SUBJECT TO THE ACCEPTANCE AND APPROVAL OF THE ARCHITECT AND OWNER. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE OF PROPER NOTIFICATION DOES NOT RELIEVE THE CONTRACTOR. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- I. ALL KITCHEN, PREP AREA AND SALES AREA EQUIPMENT WILL BE FURNISHED AND INSTALLED. EQUIPMENT WILL BE FURNISHED WITH TRIM, FAUCETS, ESCUTCHEONS, ETC. PLUMBING CONTRACTOR SHALL PROVIDE ALL ROUGH-IN TRAPS AND MAKE ALL FINAL CONNECTIONS (SEE EQUIPMENT SCHEDULE).
- J. ALL PIPING TO BE CONCEALED IN HUNG CEILINGS, CHASES AND FURRED SPACES.
- K. REFER TO EQUIPMENT SCHEDULE AND EQUIPMENT SPECIFICATIONS FOR EXACT LOCATIONS OF PLUMBING CONNECTIONS.
- L. THE CONTRACTOR SHALL VERIFY DEPTH, SIZE, LOCATION OF ALL EXISTING UTILITIES IN FIELD PRIOR TO STARTING WORK.
- M. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPE HANGERS, AND SUPPORTS IN ACCORDANCE WITH THE LOCAL APPLICABLE CODES.
- N. THE CONTRACTOR TO PROVIDE TRAP PRIMERS, DEEP SEAL TRAP OR TRAP SEAL ON ALL FLOOR DRAINS AS PER APPLICABLE CODE.
- O. ALL PENETRATIONS REQUIRED FOR PLUMBING EQUIPMENT AND PIPING THROUGH ANY WALL SHALL BE PROPERLY SEALED OFF TO MAINTAIN THE INTEGRITY OF THE STRUCTURE.
- P. ALL SHUT OFF AND ISOLATION VALVES SHALL BE BALL TYPE. ALL VALVES SERVING TOILETS AND SINKS SHALL BE ANGLE STOP TYPE.
- Q. PROVIDE AN INDIVIDUAL BALL VALVE AND BACK CHECK VALVE TO EACH INDIVIDUAL PIECE OF EQUIPMENT.
- R. PROVIDE BACKFLOW PREVENTERS AT ALL COFFEE MAKERS, BAGEL OVEN, DIPPING WELLS, ICE MAKER AND ALL OTHER EQUIPMENT AS REQUIRED BY CODE.
- S. PROVIDE AERATORS ON ALL HAND SINKS AND LAVATORIES THROUGHOUT THE FACILITY.
- T. PROVIDE KEY CHEMICAL DISPENSER (SEE NATIONAL ACCOUNTS) AT MOP SINK AND THREE COMP SINK. MOUNT BOTTLE AND DISPENSER ABOVE SINK AS REQUIRED BY CHEMICAL SUPPLIER.

KEYED NOTES:

1. ROUTE AS REQUIRED TO CONNECT TO EXISTING WATER SUPPLY
2. PIPE INDIRECT DRAIN FROM TROUGH ON COUNTER AT COFFEE STATIONS TO FLOOR SINK. PROVIDE AIR GAP AS REQUIRED BY CODE.
3. PROVIDE INDIRECT DRAIN FROM ICE CUBER AND ICE BIN TO ADJACENT FLOOR SINK. CONSULT ICE MACHINE INSTRUCTION MANUAL FOR INDIRECT DRAIN REQUIREMENTS.
4. PROVIDE THERMOSTATIC MIXING VALVE AT ALL HAND SINKS AND LAVATORIES IF NOT ALREADY PROVIDED WITH THEM. SET AT 110° MAXIMUM. WATTS MODEL 1/2" LFMMV.
5. WATER FILTRATION SYSTEM. VERIFY ACTUAL LOCATION.
6. PROVIDE A PRESSURE REDUCING VALVE, PRESSURE GAUGE, AND SHUT-OFF VALVE AT PLUMBING CONNECTIONS TO OVEN.
7. PROVIDE A PRESSURE REDUCING VALVE FOR ESPRESSO MACHINE.
8. PROVIDE 0.5 GPM DOSE FLOW REGULATOR INSTALLED PER MANUFACTURER RECOMMENDATIONS
9. ROUTE 1/2" CW WATER LINES IN WALL. TRANSITION TO TYPE K COPPER PIPE. ROUTE LINES UNDERGROUND THROUGH 2" PVC PIPE TO UNDER COUNTER. TRANSITION BACK TO STANDARD COPPER PIPING AND ROUTE TO EQUIPMENT AS NECESSARY. PVC PIPE SHALL STUB UP 4" ABOVE FINISHED FLOOR. REFER TO DETAIL 2/P-2.0.
10. EXTEND NEW OR PIPING AS REQUIRED TO CONNECT TO EXISTING OR PIPING. VERIFY EXACT LOCATION, SIZE, INVERT, AND DIRECTION OF FLOW OF EXISTING PIPING IN FIELD. THERE IS AN EXTERIOR GRAVITY GREASE INTERCEPTOR ON SITE.
11. EXTEND NEW SAN PIPING AS REQUIRED TO CONNECT TO EXISTING SAN PIPING. VERIFY EXACT LOCATION, SIZE, INVERT, AND DIRECTION OF FLOW OF EXISTING PIPING IN FIELD.
12. CONTRACTOR SHALL PROVIDE SHUT-OFF VALVE AND DIRT LEG AT GAS CONNECTION TO EACH PIECE OF GAS FIRED EQUIPMENT. GAS PIPE CONNECTION TO EQUIPMENT SHALL BE FULL SIZE OF UNIT CONNECTION.



KEYED NOTES

1. CONTRACTOR SHALL PROVIDE A PRESSURE REDUCING VALVE, PRESSURE GAUGE & SHUT-OFF VALVE AT PLUMBING CONNECTION TO ADAMATIC OVEN (TYP.)
2. CONTRACTOR SHALL PROVIDE A PRESSURE REDUCING VALVE AT PLUMBING CONNECTION TO ESPRESSO MACHINE.
3. 3/4" GAS DOWN FROM ROOF TO WH-1 (55MBH)

ADD TWO NEW FLOOR SINKS--2" CONNECT TO GREASE LINE

REPLACE AND RELOCATE AND RECONNECT HANDSINK

REUSE DRAIN --CONNECT EXIST WATER TO TAP SYSTEM

NEW HANDSINK CONNECT NEW 1.2" IN WALL TO CHASE--ADD 1/2" H AND C WATER SUPPLY

SEE ELEVATION P-2.0 FOR WATER AND WASTE RECONNECTION

ADD TWO NEW FLOOR SINKS--2" CONNECT TO GREASE LINE

NEW HANDSINK CONNECT NEW 1.2" IN WALL TO CHASE--ADD 1/2" H AND C WATER SUPPLY

NEW HANDSINK CONNECT NEW 1.2" IN WALL TO CHASE--ADD 1/2" H AND C WATER SUPPLY

PLUMBING PLAN

SCALE: 1/4" = 1'-0"

EXISTING PLUMBING TO REMAIN--1/4" SCALE FOR REFERENCE ONLY

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	MFR & MDL.	MATERIAL	MOUNTING	ACCESSORIES	FAUCET & FITTINGS	SUPPLY	TRAP	WASTE	WATER HOT COLD	REMARKS
WC-1	WATER CLOSET - A.D.A.	KOHLER K-4325	VITREOUS CHINA	CARRIER - WADE 310 SERIES	KOHLER K-4731-C		KOHLER K-13517	INTEGRAL	4"	1-1/2"	MOUNT AT A.D.A. HEIGHT
L-1	LAVATORY WALL MOUNT - A.D.A.	KOHLER K-2863	VITREOUS CHINA	CARRIER - WADE 510 SERIES	KOHLER K-8998	K-10269-4A	McGUIRE #8902		2"	1/2" 1/2"	MOUNT AT A.D.A. HEIGHT
S-1	WALL MOUNT SINK	UNIVERSAL EHS-IRL-WH	STAINLESS STEEL		GRID DRAIN	ELKAY LKB400	McGUIRE #8902		2"	1/2" 1/2"	
S-2	COUNTER MOUNT SINK	UNIVERSAL DD-18CBT32-RL	STAINLESS STEEL		GRID DRAIN	T&S TSB1100	McGUIRE #8902		2"	1/2" 1/2"	
S-3	TRIPLE BASIN SINK	UNIVERSAL DD-3N202B14-2024/TSB-133-B/TSB-158	STAINLESS STEEL		GRID DRAIN	CHOSEN BY OWNER	McGUIRE #8902		2"	1/2" 1/2"	
SS-1	UTILITY SINK	CRANE MSB 2424	MOLDED STONE		CRANE 832-AA DRAIN HOSE ASSEMBLY	MOLDED STONE	McGUIRE #8902		3"	1/2" 1/2"	VINYL BUMPERGUARD E-77-AA W/PE HANGER 888-CC
FD	FLOOR DRAIN	WADE 11002-STD5	CAST IRON		SATIN NICKEL BRONZE STRAINER			CAST IRON	2"		
FPFB	FREEZE PROOF HOSE BIBB	WOODFORD B65	CHROME		VACUUM BREAKER		McGUIRE #8902			3/4"	
WH-1	INSTANTANEOUS WATER HEATER	RINNAI R08E	STAINLESS STEEL				McGUIRE #8902			3/4"	55,000 BTU/HR.

1. VERIFY ALL PLUMBING FIXTURE MANUFACTURERS AND MODELS WITH OWNER PRIOR TO INSTALLATION.
2. PROVIDE PROSET TRAPGUARD ON ALL FLOOR DRAINS. TRAP GUARD MUST CONFORM TO NSF 14, CSA B602-99, CSA B79-94.

PIPING LEGEND

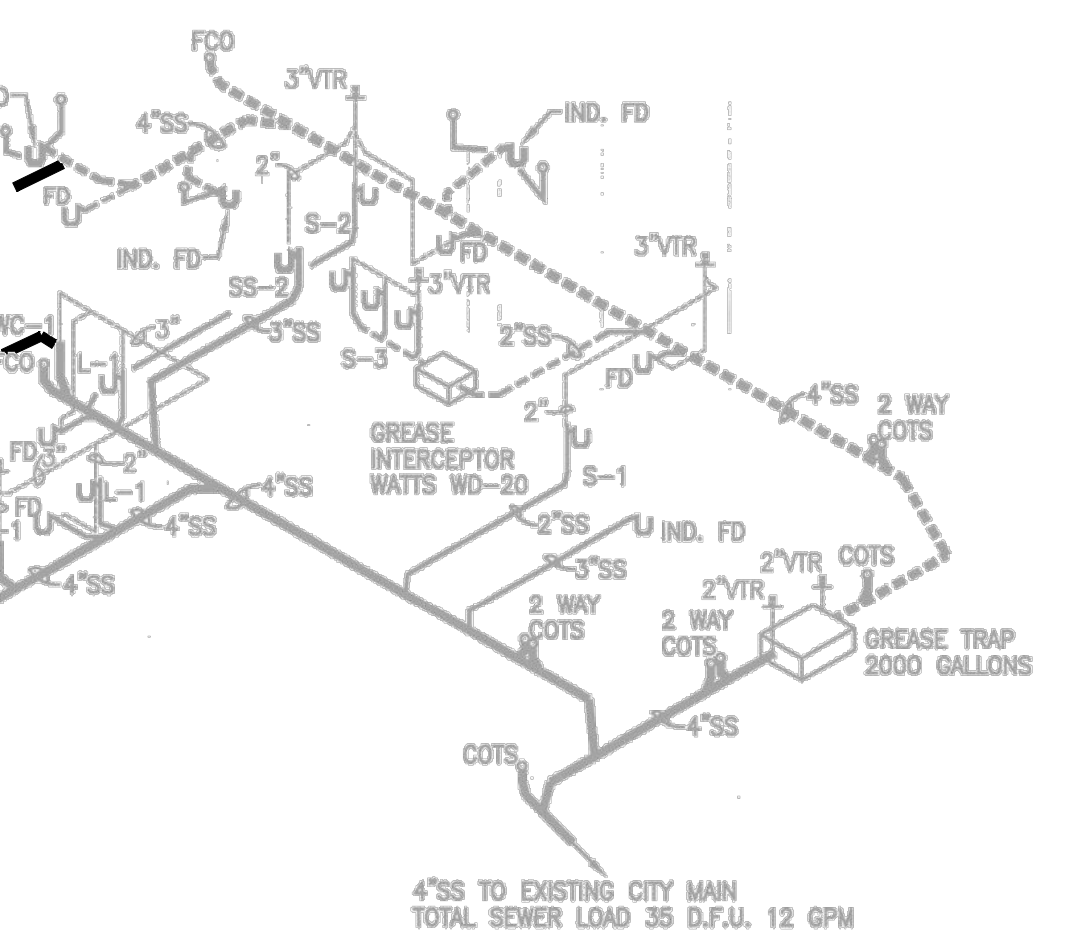
CITY WATER	— CW —
DOMESTIC HOT WATER	— HW —
SANITARY SEWER	— SS —
SANITARY SEWER VENT	— SV —
GAS	— G —

GAS LOAD SCHEDULE

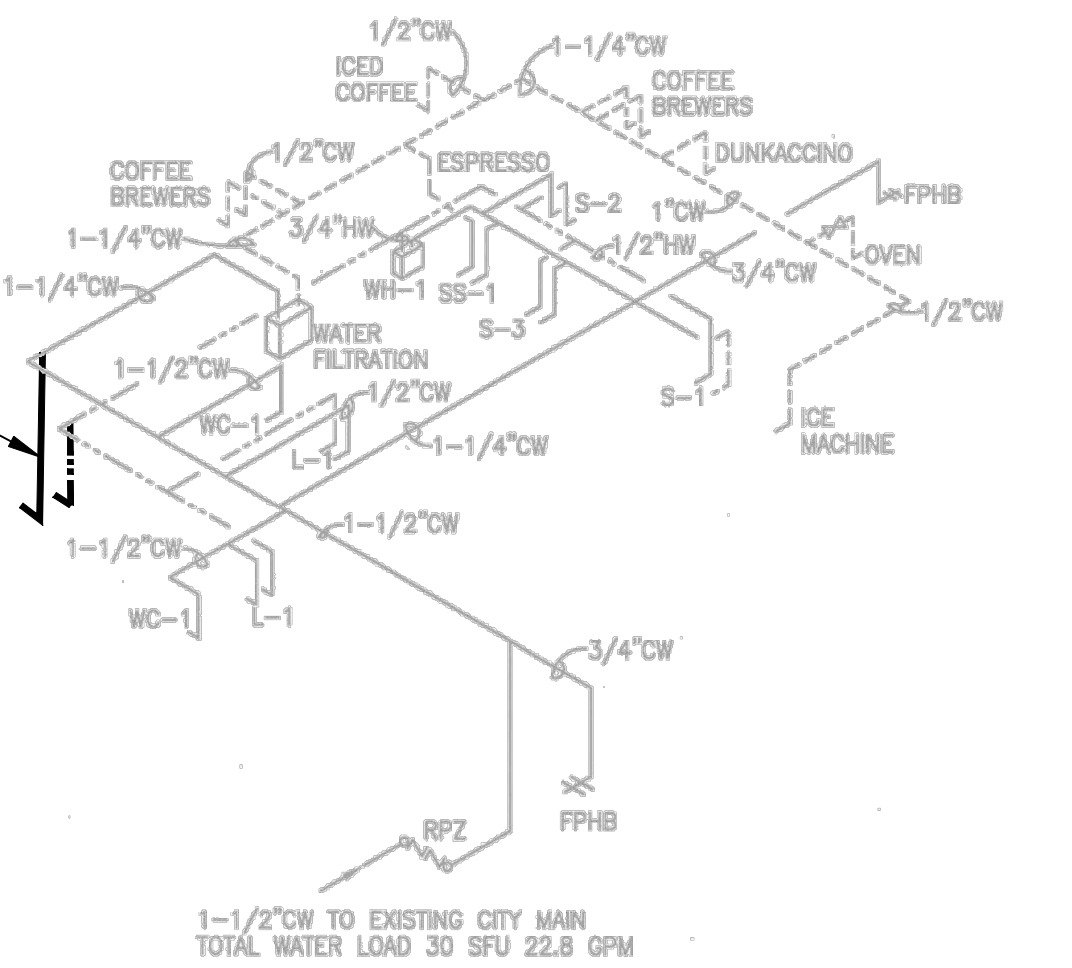
FIXTURE	MBTU/H
WH-1	55,000
RTU-1	200,000
RTU-2	200,000
TOTAL LOAD	455,000

PLUMBING SYMBOL LEGEND

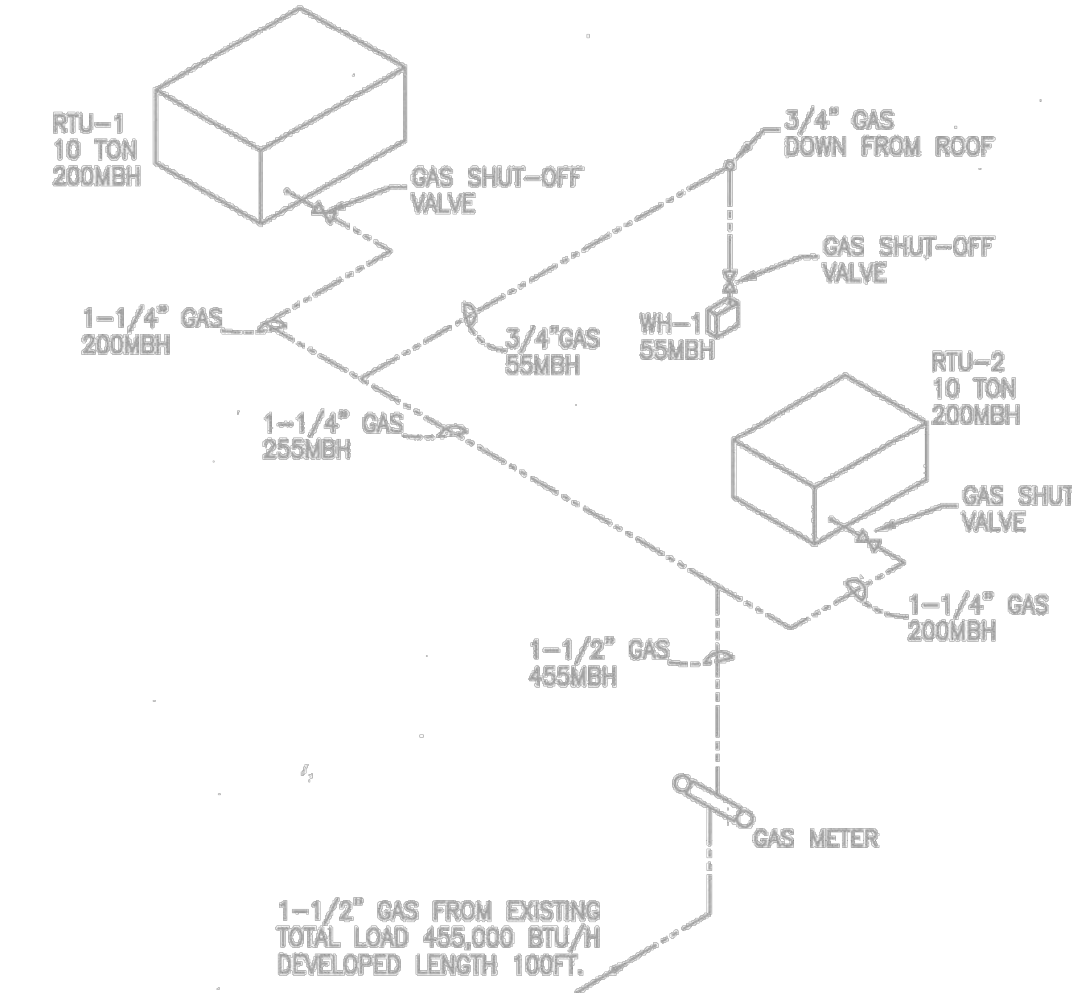
90° ELBOW (SHORT RADIUS)
TEE
VALVE (BALL TYPE UNLESS OTHERWISE INDICATED)
SWING CHECK VALVE
WATER CLOSET
URINAL
WALL MOUNTED LAVATORY
WALL MOUNTED SINK
COUNTER MOUNTED SINK
ELECTRIC WATER COOLER
FLOOR DRAIN
HOSE BIB



1 SANITARY SEWER RISER
SCALE: NONE



2 CITY WATER RISER
SCALE: NONE



3 GAS RISER
SCALE: NONE

* REFER TO REQ 1 & K1-K5 FOR REVISED PLAN INFORMATION

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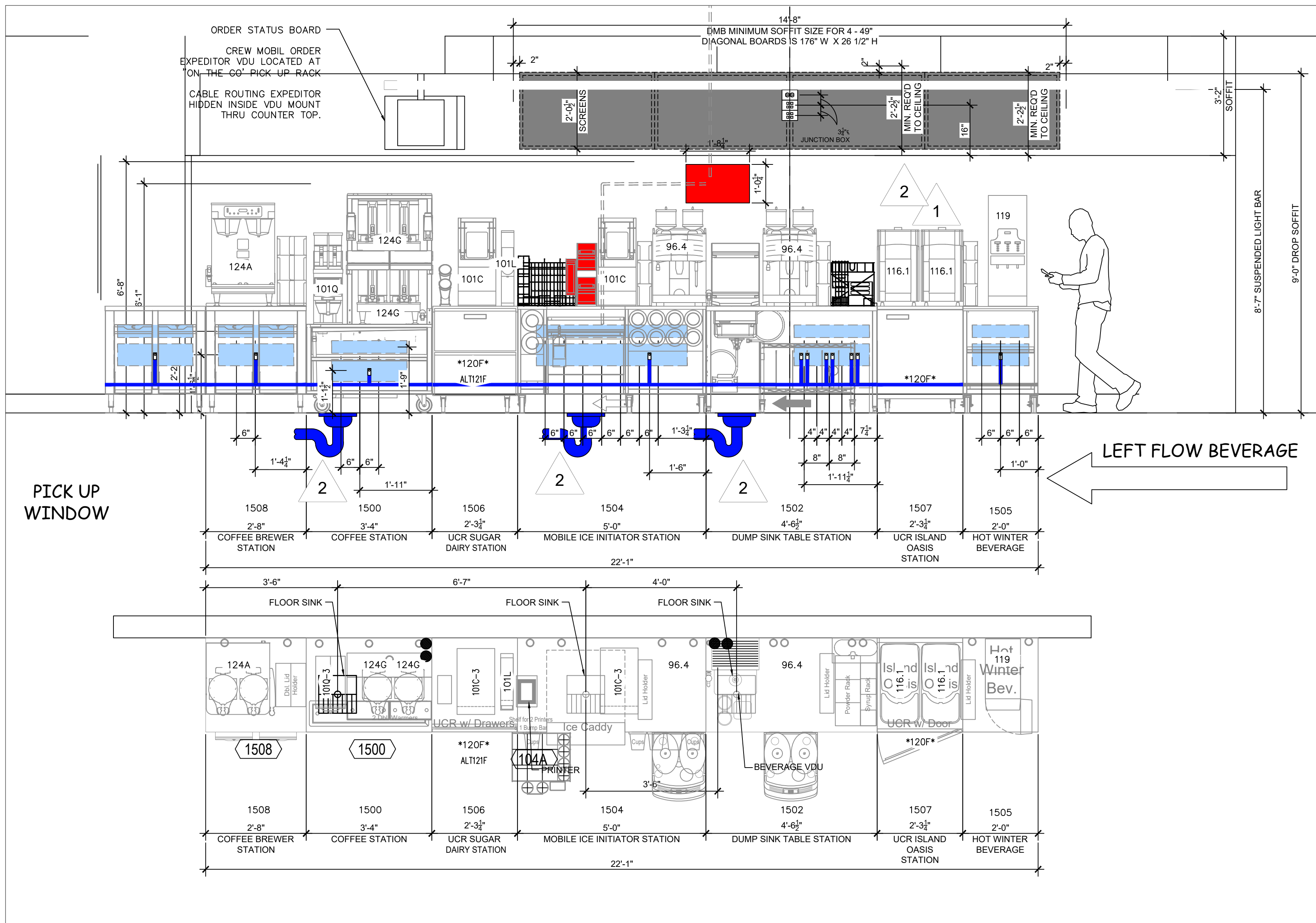
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10/15/2022

PLUMBING SANITARY AND WATER PLANS



PLUMBING CONNECTION PLAN ANDELEVATION

SCALE 1/4"=1'-0"

PLUMBING GENERAL NOTES		
GENERAL REQUIREMENTS:		
1. SCOPE: PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.	7. DOMESTIC WATER PIPING INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAME-SPREAD RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY ASTM E84 (NFPA 255) METHOD.	
2. PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION.	8. DO NOT INSTALL DOMESTIC WATER PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES. INSTALL WATER PIPING IN EXTERIOR WALLS ON THE CONDITIONED SIDE OF THE WALL INSULATION.	
3. WARRANTY: PROVIDE ALL MATERIALS AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER.	9. SHUT OFF VALVES: PROVIDE FULL PORT, BALL TYPE, AND INSTALL IN A LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. PROVIDE ACCESS DOORS IF REQUIRED.	
4. COORDINATION: VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO CHARGE TO THE OWNER. COORDINATE INSTALLATION OF ALL PLUMBING LINES AT CMU WALLS SO THAT PLUMBING LINES ARE PLACED IN WALL DURING CMU WALL CONSTRUCTION CUTTING AND PATCHING OF CMU WALLS IN PLACE WILL NOT BE PERMITTED.	10. PROTECT COPPER PIPING AGAINST CONTACT WITH DISSIMILAR METALS. ALL HANGERS, SUPPORTS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS CARRIED ON IRON TRAPZEE HANGERS WITH OTHER PIPING, PROVIDE A PERMANENT ELECTROLYTIC ISOLATION MATERIAL TO PREVENT CONTACT WITH OTHER METALS.	
5. FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR ANY POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EFFECTED AREAS.	11. PROTECT COPPER PIPING AGAINST CONTACT WITH ALL MASONRY. WHERE COPPER IS SLEEVED THROUGH MASONRY, PROVIDE COPPER OR RED BRASS SLEEVES. WHERE COPPER MUST BE CONCEALED IN OR AGAINST MASONRY PARTITIONS, PROVIDE A HEAVY COATING OF ASPHALTIC ENAMEL ON THE COPPER PIPING AND 15# ASPHALT SATURATED FELT BETWEEN THE PIPING AND THE MASONRY PARTITION.	
6. PLUMBING SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO: - PLUMBING FIXTURES AND EQUIPMENT - FIRE STOPPING - DOMESTIC WATER SYSTEM - SANITARY WASTE AND VENT SYSTEM	SANITARY WASTE AND VENT PIPING:	
FIXTURES:	1. FURNISH AND INSTALL COMPLETE SYSTEMS OF SOL, WASTE, AND VENT PIPING FROM ALL PLUMBING FIXTURES, AND/OR OTHER EQUIPMENT. ALL SOL, WASTE AND VENT LINES SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION WHERE POSSIBLE.	
1. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.	2. INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE WASTE PIPING IS INSTALLED IN ORDER THAT PROPER SLOPES WILL BE MAINTAINED.	
FIRE STOPPING:	3. IF PERMITTED BY LOCAL CODES, SANITARY WASTE AND VENT PIPING AND FITTINGS SHALL BE SCHEDULE 40 PVC (ASTM D 2865) WITH SCHEDULE 40 SOCKET-TYPE PIPE FITTINGS (ASTM D 3311). ONLY IF PVC IS NOT ALLOWED, THEN SANITARY WASTE AND VENT PIPING AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON, HUB AND SPIGOT TYPE WITH COMPRESSION JOINTS (ASTM A 74) OR NO-HUB PIPING WITH COUPLINGS (CSPI 301).	
1. FIRE STOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS AND PARTITIONS. PROVIDE A DEVICE(S) OR SYSTEM(S) WHICH HAS BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814 AND INSTALL IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE A DEVICE(S) OR SYSTEM(S) WITH AN 'F' RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.	4. SLOPE SANITARY WASTE PIPING 2" AND SMALLER AT 1" PER FOOT MIN. SLOPE SANITARY WASTE PIPING 3" AND LARGER AT 1/8" PER FOOT MINIMUM.	
DOMESTIC WATER PIPING:	5. WHERE WASTE PIPING IS EXPOSED IN REST ROOM AREAS, PROVIDE CHROME PLATED BRASS PIPING, WITH MATCHING STOPS AND ESCUTCHEONS. PROVIDE REMOVABLE TRAPS WITH INTEGRAL CLEAN-OUT PLUG FOR ALL LAVATORIES.	
1. FURNISH AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER, AND WASTE PIPING FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING THIS SERVICE. VERIFY LOCATION OF BEGINNING POINTS.	6. INSTALL CLEAN-OUTS IN A LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS AT EACH CHANGE IN DIRECTION.	
2. DOMESTIC WATER PIPING BELOW GRADE: SOFT ANNEALED SEAMLESS COPPER TUBING, TYPE 'K' WITH NO JOINTS BELOW GRADE (ASTM B 88).	SEISMIC REQUIREMENTS:	
3. DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: HARD DRAWN SEAMLESS COPPER TUBING, TYPE 'L' WITH 95-5 SILVER SOLDERED JOINTS (ASTM B 88).	1. PROPERLY SUPPORT AND BRACE VERTICALLY AND HORIZONTALLY ALL PIPING, APPARATUS, EQUIPMENT, ETC. IN ACCORDANCE WITH APPLICABLE CODES TO PREVENT EXCESSIVE MOVEMENT DURING SEISMIC CONDITIONS.	
4. STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.	BACKFLOW PREVENTION:	
5. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH ENGINEERED POLYMER FOAM INSULATION OR FIBERGLASS WITH FITTING INSERTS AND PVC COVERS. FOLLOW THIS SCHEDULE:	1. VERIFY BACKFLOW PREVENTOR REQUIREMENTS OF LOCAL AUTHORITY AND PROVIDE BACKFLOW PREVENTION DEVICES AS REQUIRED. COORDINATE LOCATION WITH OTHER TRADES.	
6. SERVICE	PIPE SIZE	INS. THICKNESS
DOMESTIC HOT WATER (105-140F)	1" - 1 1/2"	1"
DOMESTIC HOT WATER CIRCULATION	ALL	1"
DOMESTIC COLD WATER	ALL	1"

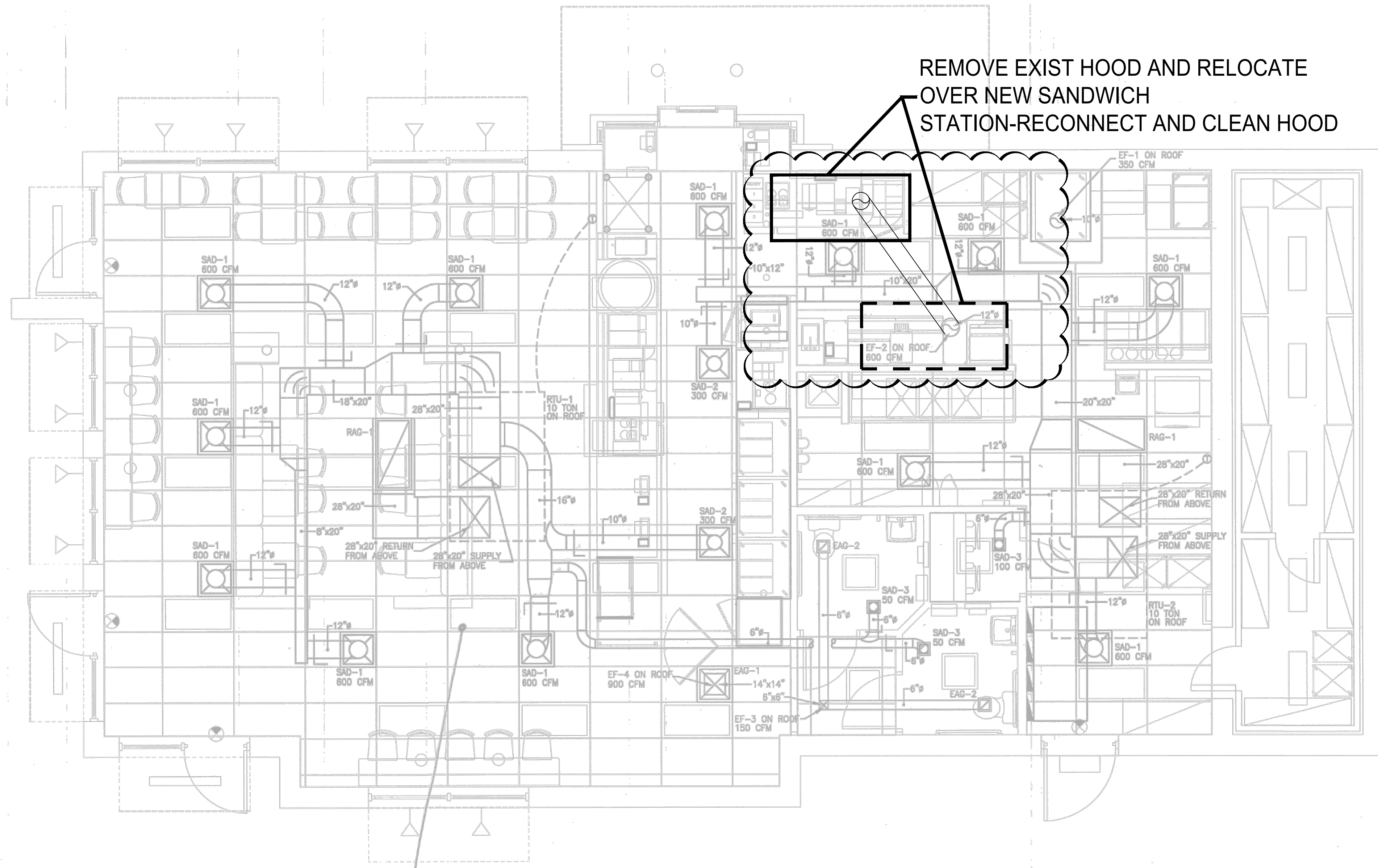
Store Number: 350624
dunkin' brands™
 2234 N Reynolds Road
 Bryant, AR 72022
 10/15/2022

Lagunita Franchise Operations
 Tony Antoon and Damon Dunn
 tony@lfoops.com
 601.940.6914

DATE: 10/15/19
 ISSUED FOR PERMIT
 PLUMBING SANITARY AND WATER PLANS

P-2.0

EQUIPMENT SCHEDULE					PLUMBING			ELECTRICAL					
ITEM NO	QTY	DESCRIPTION	MANUFACTURER	MODEL NO	REMARKS	WATER		WASTE		LOAD			
						HW	CW	FCW	DIR	IND	REMARKS	VOLTS	AMPS
96.4	2	COFFEE ART TOUCH ESPRESSO MACHINE	SCHAERER	040381-00022EUS				3/8"	1"	PROVIDE PRESSURE REDUCING VALVE & WATER SHUT-OFF VALVE w/ 3/8" COMPRESSION FITTING	208V	30A	30A/2P
98	0	ESPRESSO MACHINE	SCHAERER	03.5500.8033				1/2"	1"	DED. BALL VALVE w/ FLEX CONNECTION TO MACHINE	208V	30A	30A/2P
119	1	HOT WINTER BEVERAGE MACHINE	BUNN-O-MATIC	38600.0057				1/4"		20-90 PSI. -- 1/4" MALE FLARE FITTING	120/240	21.7	30A/2P
	0	HOT WINTER BEVERAGE MACHINE	-	-				1/4"		20-90 PSI. -- 1/4" MALE FLARE FITTING	208/240		
108A	1	HOT WINTER BEVERAGE MACHINE	BUNN-O-MATIC	43700.0003				1/4"		20-90 PSI. -- 1/4" MALE FLARE FITTING	120/240	21.7	30A/2P
	0	HOT WINTER BEVERAGE MACHINE	CECILWARE	GB5M5.5-IT-U-DB				1/4"		20-90 PSI. -- 1/4" MALE FLARE FITTING	208/240		
116.1	2	MAGNABLEND BLENDER / ISLAND OASIS	TAYLOR	SB2412-WDD				3/8"	1"		115V	10	15A
ALT 121F	0	2 DRAWER U/C REFRIGERATOR	SILVER KING	SKR27AD/C11							115V	2.7	15A/1P
124A	1	TWIN SH BREWER	BUNN-O-MATIC	51200.0106				3/8"		20-90 PSI. -- 3/8" MALE FLARE FITTING	120/208	38.5	50A/2P
124B-1	2	1.0 GAL SH SERVER	BUNN-O-MATIC	27850.0210				1/2"	1"	FCW CONNECTION TO SPRAYER			
1502	1	DUMP SINK TABLE STATION	FRANKE					1/2"	1"	FCW CONNECTION TO SPRAYER			

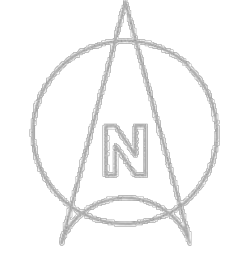


REMOVE EXIST HOOD AND RELOCATE
 OVER NEW SANDWICH
 STATION-RECONNECT AND CLEAN HOOD

* EXPOSED CIG. IN LOBBY/MSJ AREA
 MODIFY HVAC FOR OWNER

MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



EXISTING HVAC PLAN FOR REFERENCE

10/15/2022

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dunkin'
 brands™
 2234 N Reynolds Road
 Bryant, AR 72022

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 601.940.6914

ISSUED / REVISED	DATE
ISSUED FOR PERMIT	06.08.19

HVAC FLOOR PLAN,

M-1.0

20 of 40 / 1/12 9/8/12

CEILING LEGEND:

- 2x2 LAY-IN LED TROFFER LIGHT FIXTURE
- LED RECESSED LIGHT FIXTURE
- TRACK LIGHT
- ORANGE LIGHT BAR FIXTURE
- SUSPENDED LINEAR LED FIXTURE
- WALL WASH FIXTURE
- PENDANT FIXTURE
- WALL PACK
- EXTERIOR WALL MOUNT LIGHT
- SPEAKER
- GYPSUM BOARD CEILING
- 2"x2" CEILING GRID SYSTEM
- 2"x4" CEILING GRID SYSTEM
- WALL-MTD OCCUPANCY SENSOR
- RETURN/CEILING EXHAUST REGISTER
- SUPPLY AIR DIFFUSER - 4 WAY
- FLUE

NOTE: SEE ARCHITECTURAL DWG'S FOR MORE INFORMATION ON LIGHT FIXTURES.

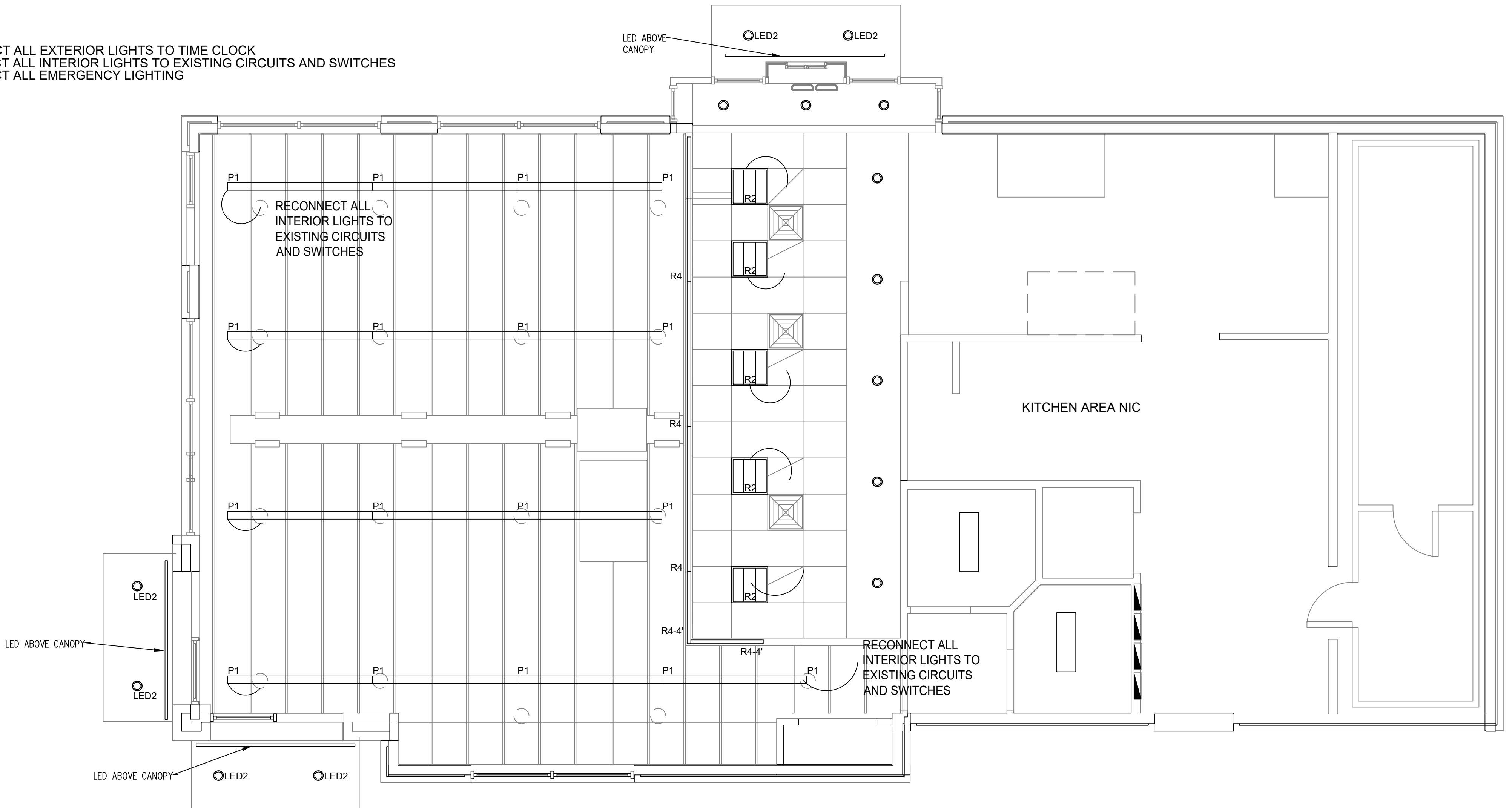
LIGHTING SCHEDULE - VILLA LIGHTING

CODE	DESCRIPTION	MANUFACTURER	PRODUCT
A	WALL WASH FIXTURE: TO BE USED AT ARTWORK AND UPOD SIGN	CONTECH	RL20640-35K-13-D/CTR200CLR.P
B	TRACK LIGHT: HEAD USED IN WALL WASH WORK AND WARE	HUNN	ETW3-305-R
CEILING S-CEN			
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT (WHITE)	EXTRONIX	EBU-W-LED-S1-S2
EBU-B	ULTRA COMPACT LED EMERGENCY UNIT - USED ON WTQ2 WALL ONLY (BLACK)	EXTRONIX	EBU-B-LED-S1-S2
EMR	EXTERIOR COMBO LED REMOTE EXIT LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (GRAY)	EXTRONIX	MALED-2-G-WP
EW2-1	WALL PACK (GRAY EXTERIOR: USED ON DARK WALL FINISH)	WVC	WV-LED002-30-500
EW2-2	WALL PACK (BLACK EXTERIOR: USED ON LIGHT WALL FINISH)	WVC	WV-LED002-30-500
EW2-3	WALL PACK (GRAY EXTERIOR: USED ON DARK WALL FINISH)	WVC	WV-LED002-30-500
EK1	COMBO LED EXIT SIGN W/ LIGHT HEADS (WHITE)	EXTRONIX	MALED-U-WH-EL30
LED 2	EXTERIOR RECESSED LIGHT FIXTURE- USED UNDER ORANGE BEAM CANOPY	LUMARK	XTOR2B-W
LED 12	FIELD FRAMED ORANGE BEAM		SOLUTIONS OF LIGHTING
LED 13	EXTERIOR LIGHT FIXTURE: USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB OPTION		TO BE PROVIDED BY PREFAB ORANGE BEAM VENDOR
LED 14	EXTERIOR LIGHT FIXTURE: USED IN SEATING AREA	EDROVER	EXDOR-8F-12-LED-3C
LED 15	CHARCOAL TRIM AT BASE OF MONOLITH ONLY		
P1	4 SUSPENDED LINEAR LIGHT FIXTURE: USED IN SEATING SALES AREA	TEXAS FLUORESCENTS	SES-FR-46-5820V100L-DMV-35K-BK
P2	4 SUSPENDED LINEAR LIGHT FIXTURE: USED IN SEATING SALES AREA	TEXAS FLUORESCENTS	SES-FR-48-5820V100L-DMV-35K-BK
P3	PENDANT CHANDELIER: USED ABOVE COMMUNITY TABLE	TECH LIGHTING	7007D-ALVPMC-05-LED030
P4	RECESSED LED LIGHT FIXTURE	CREE	RCSC8RT-1800L-35K
R1	2x2 LAY-IN TROFFER LED LIGHT FIXTURE: USED IN FRONT OF HOUSE	CREE	CR22-3L-35K-S-10
R2	4 LED ADD-DOWNLIGHT: 30K/130 LUMEN	NORA	N40-400-LED-40-015-SF
R3	LED LINEAR LIGHT BAR: USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1/4" OFFSET CORNER PIECE)	PRINACLE ARCHITECTURAL LIGHTING	EX3D-A4-835V40-8-5AC125BT
R4	LED LINEAR LIGHT BAR: USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1/4" OFFSET CORNER PIECE)	PRINACLE ARCHITECTURAL LIGHTING	EX3D-A4-835V40-8-5AC125BT
R4-4'	LED LINEAR LIGHT BAR: USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1/4" OFFSET CORNER PIECE)	PRINACLE ARCHITECTURAL LIGHTING	EX3D-A4-835V40-8-5AC125BT
R4-4'	LED LINEAR LIGHT BAR: USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1/4" OFFSET CORNER PIECE)	PRINACLE ARCHITECTURAL LIGHTING	EX3D-A4-835V40-8-5AC125BT
R4-4'	LED LINEAR LIGHT BAR: USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1/4" OFFSET CORNER PIECE)	PRINACLE ARCHITECTURAL LIGHTING	EX3D-A4-835V40-8-5AC125BT
R4-4'	LED LINEAR LIGHT BAR: USED ABOVE FRONT LINE (NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1/4" OFFSET CORNER PIECE)	PRINACLE ARCHITECTURAL LIGHTING	EX3D-A4-835V40-8-5AC125BT

LIGHTING SCHEDULE NOTES

- PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REF. NATIONAL ACCOUNT SOURCE INFO FOR LAMP SPECS & VILLA LIGHTING RE-LAMPING PROGRAM.
- ALL BALLASTS SHALL BE HIGH POWER FACTOR.
- PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.
- COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN. LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.

RECONNECT ALL EXTERIOR LIGHTS TO TIME CLOCK
RECONNECT ALL INTERIOR LIGHTS TO EXISTING CIRCUITS AND SWITCHES
RECONNECT ALL EMERGENCY LIGHTING



GENERAL NOTES:

- A. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION.
- B. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED INSPECTIONS.
- C. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS AND TRADES.
- D. THESE DRAWINGS, AS PREPARED, ARE DIAGRAMMATIC BUT SHALL BE FOLLOWED AS CLOSELY AS CONSTRUCTION OF THE PROJECT AND THE WORK OF THE TRADES WILL PERMIT. EQUIPMENT LOCATIONS INDICATED ARE APPROXIMATE. COORDINATE EXACT LOCATIONS AND REQUIRED CLEARANCES WITH EQUIPMENT SUPPLIER AND ALL TRADES PRIOR TO INSTALLATION.
- E. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE EQUIPMENT INDICATED WITHIN THESE DRAWINGS UNLESS OTHERWISE NOTED. VERIFY LOCATION AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND / OR INSTALLATION.
- F. ALL ROOF PENETRATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE. COORDINATE WITH OWNER'S ROOFING CONTRACTOR SO AS NOT TO VOID ANY EXISTING ROOF WARRANTIES.
- G. THE ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND / OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY ARCHITECT OR ENGINEER.
- H. ALL WORK SHALL BE SUBJECT TO THE ACCEPTANCE AND APPROVAL OF THE ARCHITECT AND OWNER. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE OF PROPER NOTIFICATION DOES NOT RELIEVE THE CONTRACTOR. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- I. COORDINATE ALL EQUIPMENT UTILITY INFORMATION SHOWN ON THIS SHEET WITH THE DUNKIN' BRANDS EQUIPMENT SCHEDULE AND EQUIPMENT MANUFACTURER'S CUT SHEETS.
- J. ALL EXTERIOR LIGHTS TO BE TIMECLOCK CONTROLLED.
- K. ALL 15 AND 20 AMP, 120 VOLT RECEPTACLES IN KITCHEN AND PREP AREAS SHALL BE GFI TYPE.
- L. ALL JUNCTION BOXES SHOWN ON THIS PLAN ARE TO BE INSTALLED ABOVE THE FINISHED CEILING.
- M. ALL EMERGENCY AND EXIT FIXTURES SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING. PROVIDE ADDITIONAL FIXTURES AS NEEDED TO MEET THE CODE REQUIREMENTS PER LOCAL REQUIREMENTS.
- N. PROVIDE WOOD BLOCKING BEHIND ALL EXTERIOR LIGHTING FIXTURES COORDINATE WITH GENERAL CONTRACTOR.
- O. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LATEST KITCHEN PLANS AND EQUIPMENT CUTS SHEETS FOR PROPER EQUIPMENT LOCATIONS AND CONNECTION REQUIREMENTS PRIOR TO STARTING WORK.

NOTES:

- ALL EXIT, NIGHT LIGHT AND EMERGENCY LIGHT FIXTURES SHALL BE CIRCUITED TO AN UNSWITCHED LEG OF THE NEAREST LOCAL LIGHTING CIRCUIT.
- MINIMUM OF 50 FOOT CANDLES SHALL BE PROVIDED AT SURFACES OF ALL FOOD WASHING AND FOOD PREPARATION AREAS.
- MINIMUM OF 20 FOOT CANDLES IS BEING PROVIDED IN ALL OTHER AREAS.
- ALL LIGHT BULBS IN LIGHT FIXTURES IN KITCHEN, DINING ROOM ARE SHIELDED USING CLEAR PRISMATIC LENS IN THE LIGHT FIXTURE OR HAVE SHATTER PROOF LED BULB.
- LIGHT SWITCHES SHALL BE COMPATIBLE WITH AND MATCH CHARACTERISTICS OF LIGHTS BEING SERVED. PROVIDE LOW VOLTAGE WIRING AND/OR POWER PAKS AS NECESSARY FOR LIGHT FIXTURES TO BE CONTROLLED BY 0-10V DIMMING.

LIGHT FIXTURE MOUNTING NOTE:
BOTTOM OF LIGHT FIXTURES P1, P3 AND R4 SHALL BE AT 9'-6"

LIGHTING NOTE:
KITCHEN WORK SURFACES WHERE FOOD IS PREPARED AND UTENSILS WASHED SHALL HAVE MINIMUM 50 FOOT CANDLES OF LIGHTING AT WORK SURFACE (36" A.F.F.).

CARBON MONOXIDE MONITORING:
PROVIDE A MEANS OF MONITORING AND ALARMING THE OCCUPANTS UPON THE PRESENCE OF CARBON MONOXIDE (CO). THE MEANS OF DETECTION SHALL BE LOCATED NEAR EQUIPMENT THAT PRODUCES PRODUCT OF COMBUSTION. LOCATIONS SHALL INCLUDE BUT NOT BE LIMITED TO: GAS FIRED OVENS, GAS FIRED WATER HEATERS, GAS FIRED FURNACES, ETC.

JOHN S VACI, Architect
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BIRMINGHAM, AL 35242
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Store Number: 350624

dunkin' brands™

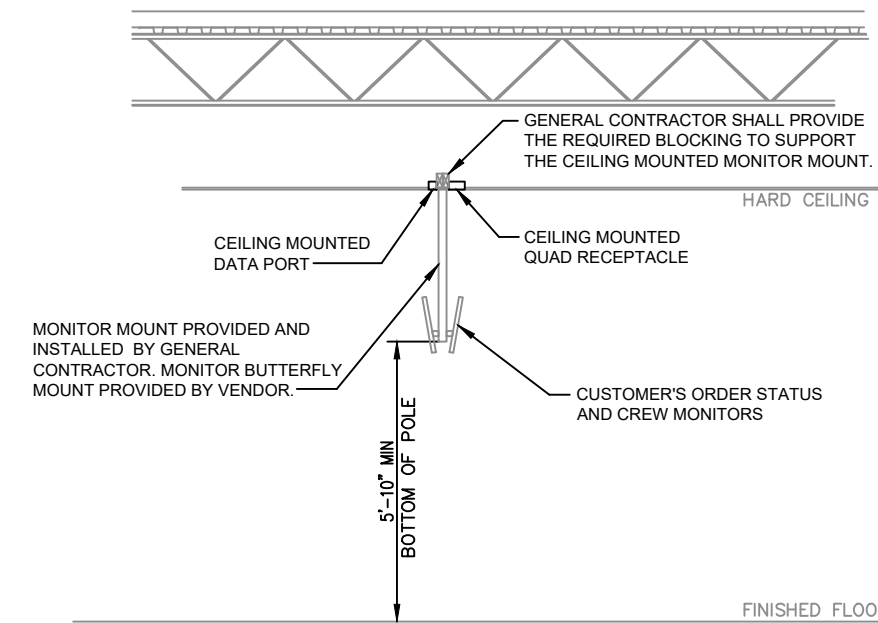
2234 N Reynolds Road
Bryant, AR 72022

10/15/2022

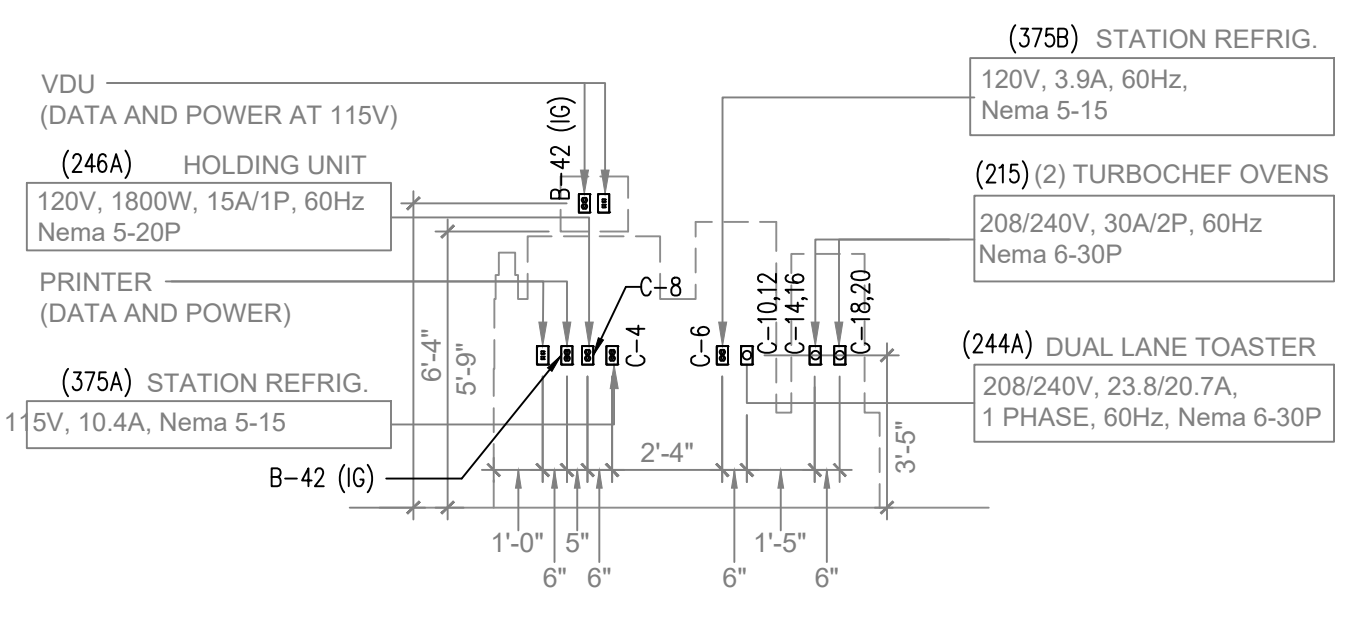
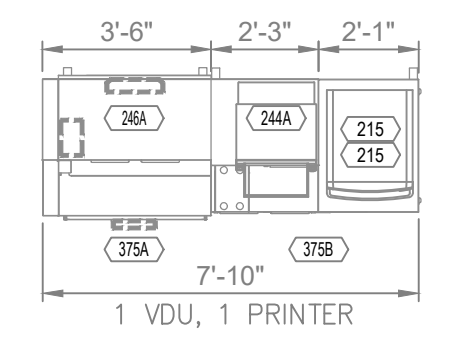
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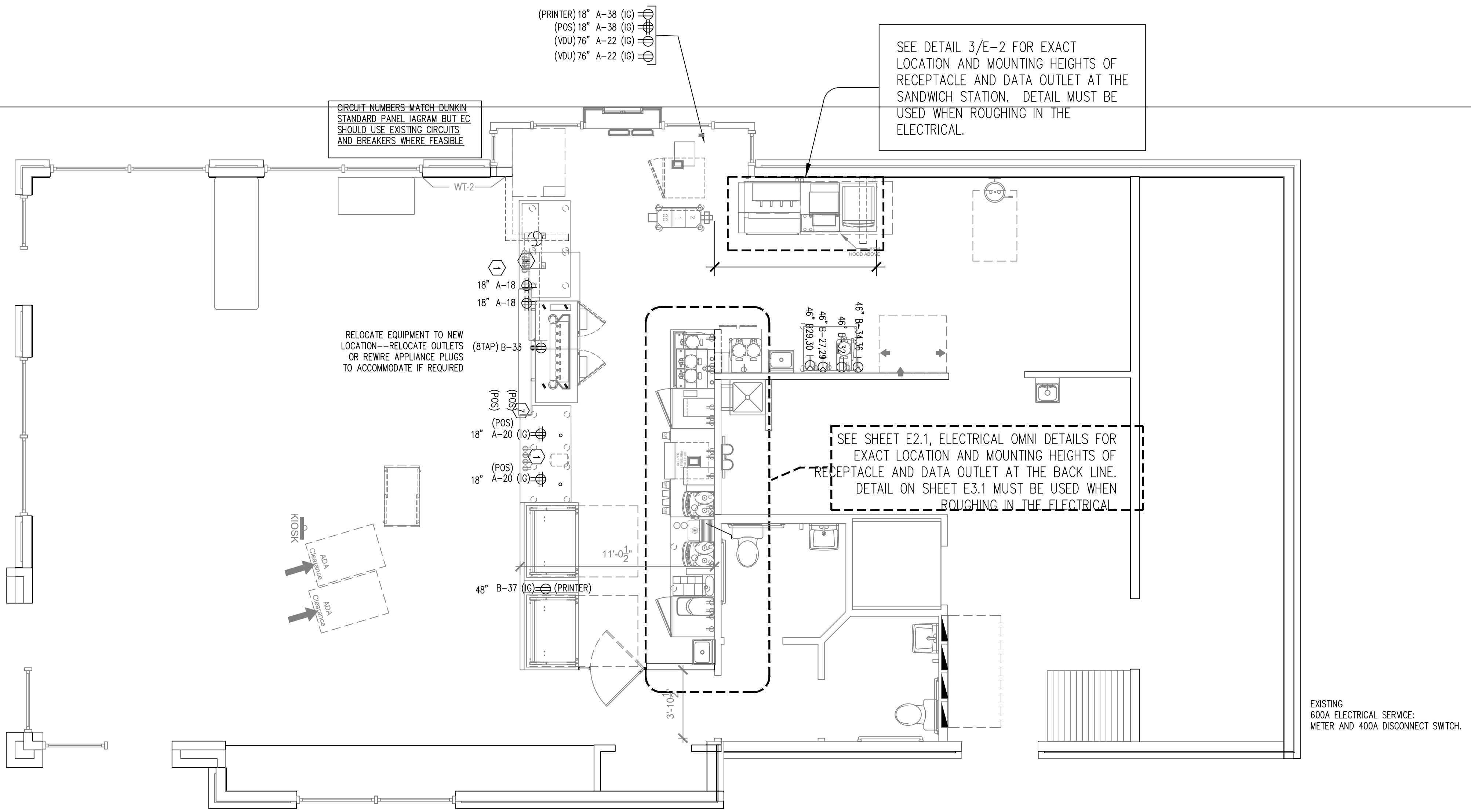
ELECTRICAL LIGHTING PLAN



4 VIDEO HANGING BRACKET
E-2 SCALE: NONE

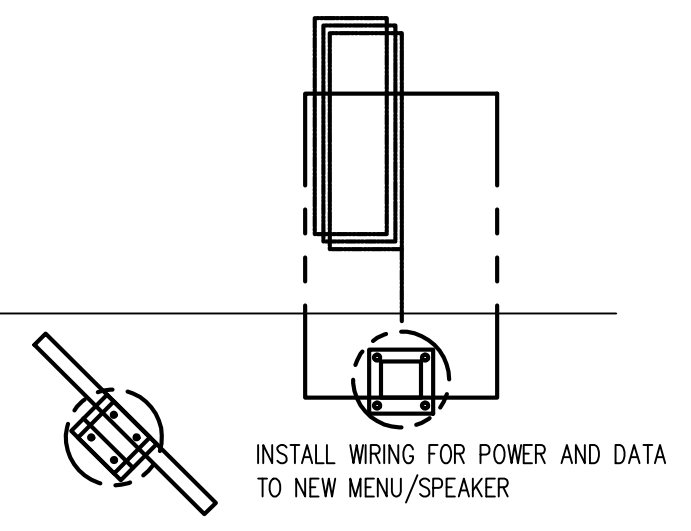


3 7'-10" SANDWICH STATION ELEVATION
E-2 SCALE: 1/4"=1'-0"



1 ELECTRICAL POWER PLAN
E-2 SCALE: 1/4"=1'-0"

GFI NOTE:
ALL 15 AND 20 AMP, 125 VOLT RECEPTACLES LOCATED IN THE KITCHEN, SERVING AND SALES AREA SHALL BE GFI RATED.



KEYED NOTES:

- SEE POS AND COMMUNICATIONS. PLAN FOR FURTHER INFORMATION REGARDING POS AND UNDER COUNTER ELECTRICAL SERVICE.
- CONTRACTOR SHALL PROVIDE POWER AND NECESSARY WIRING FOR THE HOOD CONTROL PANEL. SEE THE CAPTIVE AIRE-DRAWINGS FOR WIRING REQUIREMENTS.
- CONTROL RELAY PANEL--SEE LIGHTING PLAN FOR SCHEDULE AND CONTROL DETAIL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE JUNCTION BOXES AT TOILETS, SINKS AND OPTIONAL URINAL IF ALTERNATE "HANDS FREE" TOILET FIXTURES ARE BEING PROVIDED.
- REFER TO POS COMMUNICATIONS FLOOR PLAN FOR LOCATIONS AND ELEVATIONS OF OFFICE RECEPTACLES.
- SINGLE POINT CONNECTION FOR WALK-IN FREEZER AND REFRIGERATOR--THE CONTRACTOR SHALL CONFIRM ELECTRICAL REQUIREMENTS AND MEANS OF DISCONNECT OF THE ROOF MOUNTED CONDENSING UNITS AND EVAPORATOR UNITS LOGGATED WITHIN THE BOXES. ALSO, PROVIDE ELECTRICAL CONNECTION OF DOOR HEATER, CONDENSATE DRAIN AND HEAT TRACE TAPE.
- MOUNT RECEPTACLES FOR FRONTLINE BEVERAGE DISPENSER AND BAKERY DISPLAY CASES IN MILL WORK AS REQUIRED. PROVIDE FLEXIBLE CONDUIT WHIP FOR FINAL INSTALLATION AFTER MILL WORK IS INSTALLED. COORDINATE AS REQUIRED.
- CIRCUIT SHALL BE CIRCUITED AND CONTROLLED WITH LIGHTING IN THIS AREA.
- INSTALL UNDER COUNTER CABLE MANAGEMENT SYSTEM, WIRE MOLD UTCM5 OR EQUAL. COORDINATE WITH TABLE SUPPLIER FOR EXACT MOUNTING REQUIREMENTS.

COORDINATE WITH ARCHITECT TO CONFIRM COLOR OF RECEPTACLES PRIOR TO ORDERING.

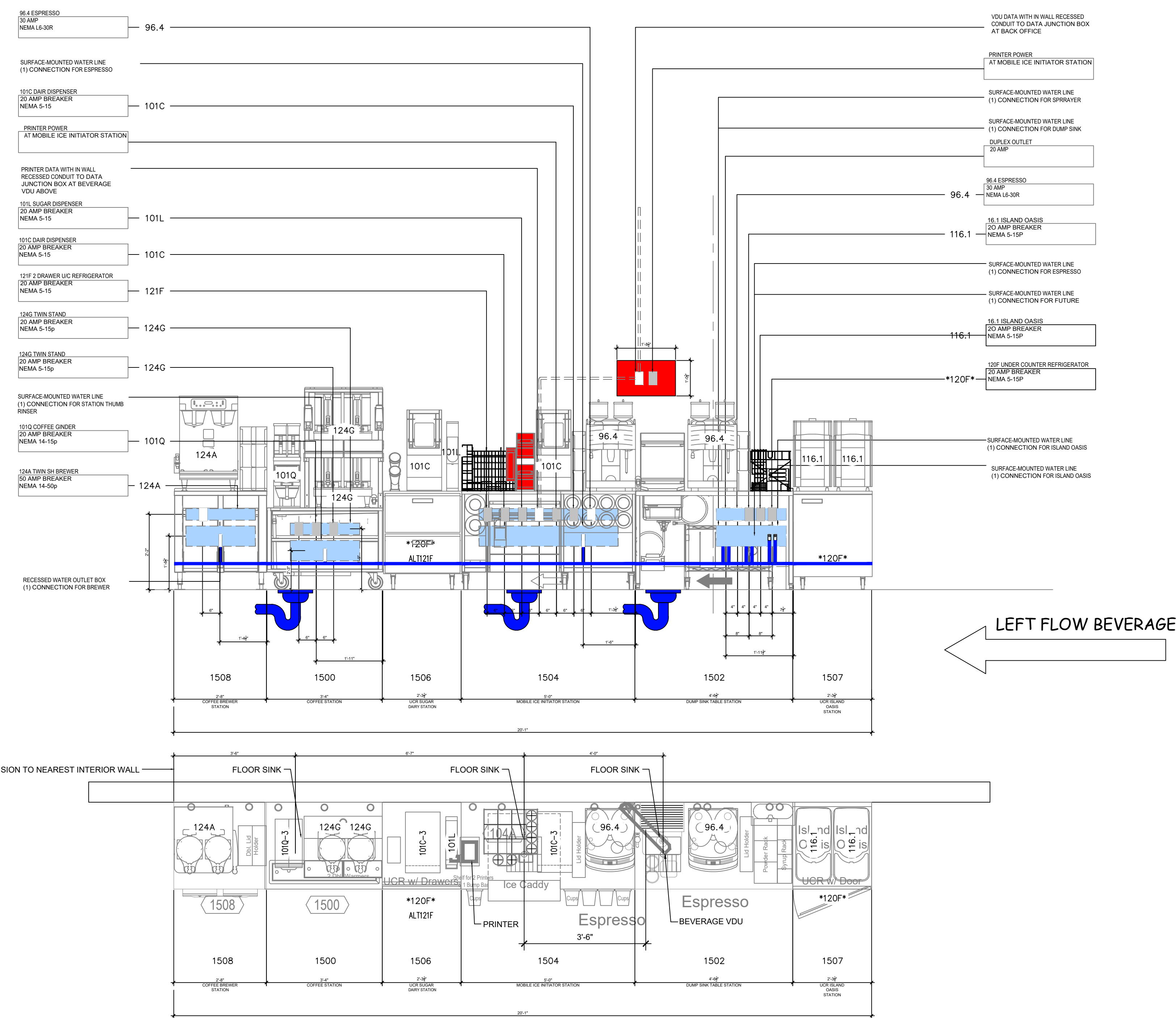
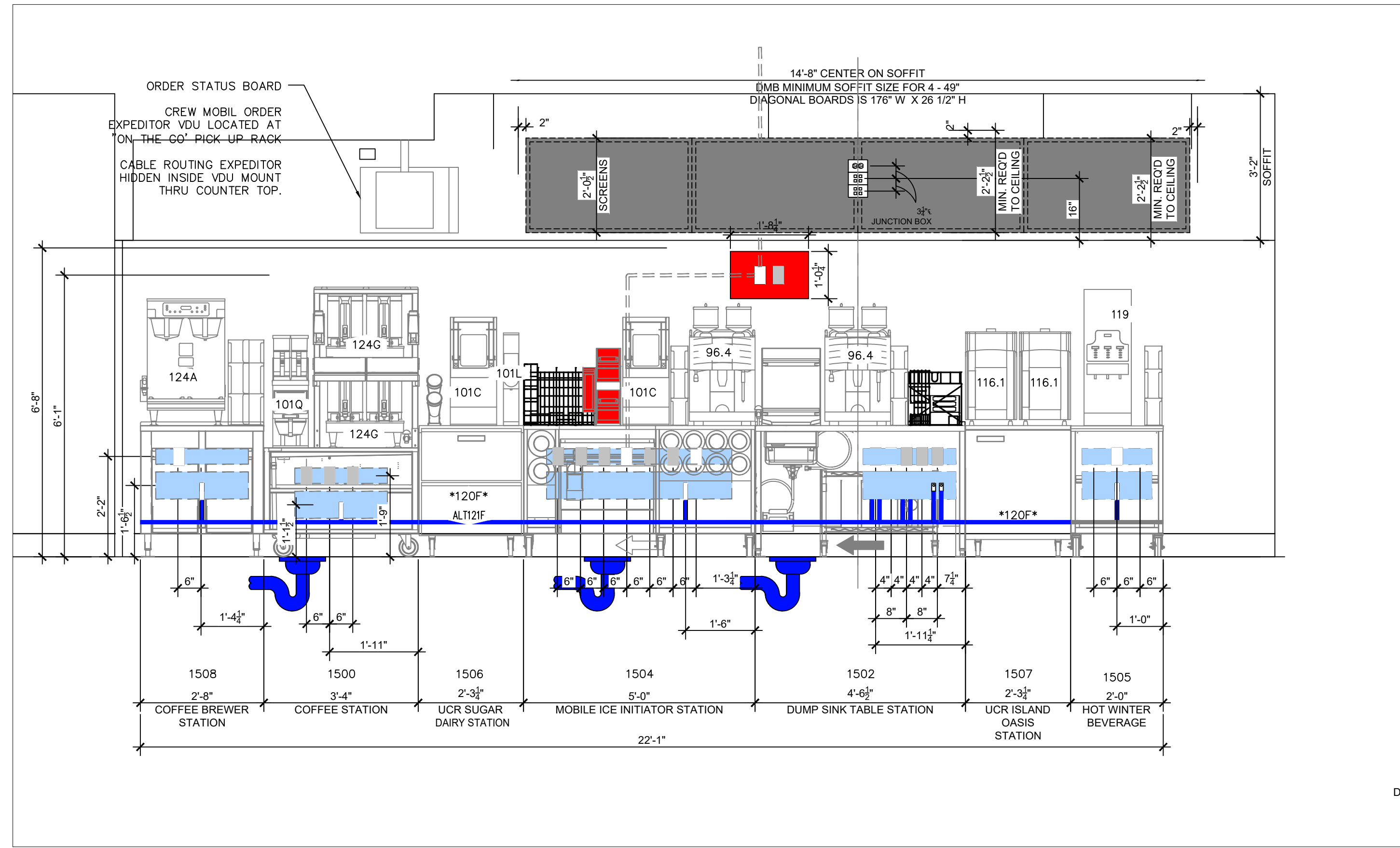
RECEPTACLES TAGGED WITH "USB" IN THE SALES & SEATING AREAS SHALL BE HUBBELL #USB15X2W (WHITE) / NP26W (WHITE) COMBO USB CHARGER WITH TAMPER-RESISTANT RECEPTACLE.

SEATING AREA RECEPTACLES SHALL BE WHITE WITH WHITE COVER PLATE AND ARE TO BE MOUNTED AT 18" AFF.

POWER DEVICE LEGEND:

	DUPLEX RECEPTACLE, 20A, 120V
	QUAD RECEPTACLE, 20A, 120V
	SPECIAL RECEPTACLE, VOLTAGE AND AMPERAGE BASED ON CONNECTED CIRCUIT
	JUNCTION BOX
	DISCONNECT SWITCH - FUSED OR UNFUSED

REFER TO EXISTING ELECTRICAL SHEETS AND VISIT SITE

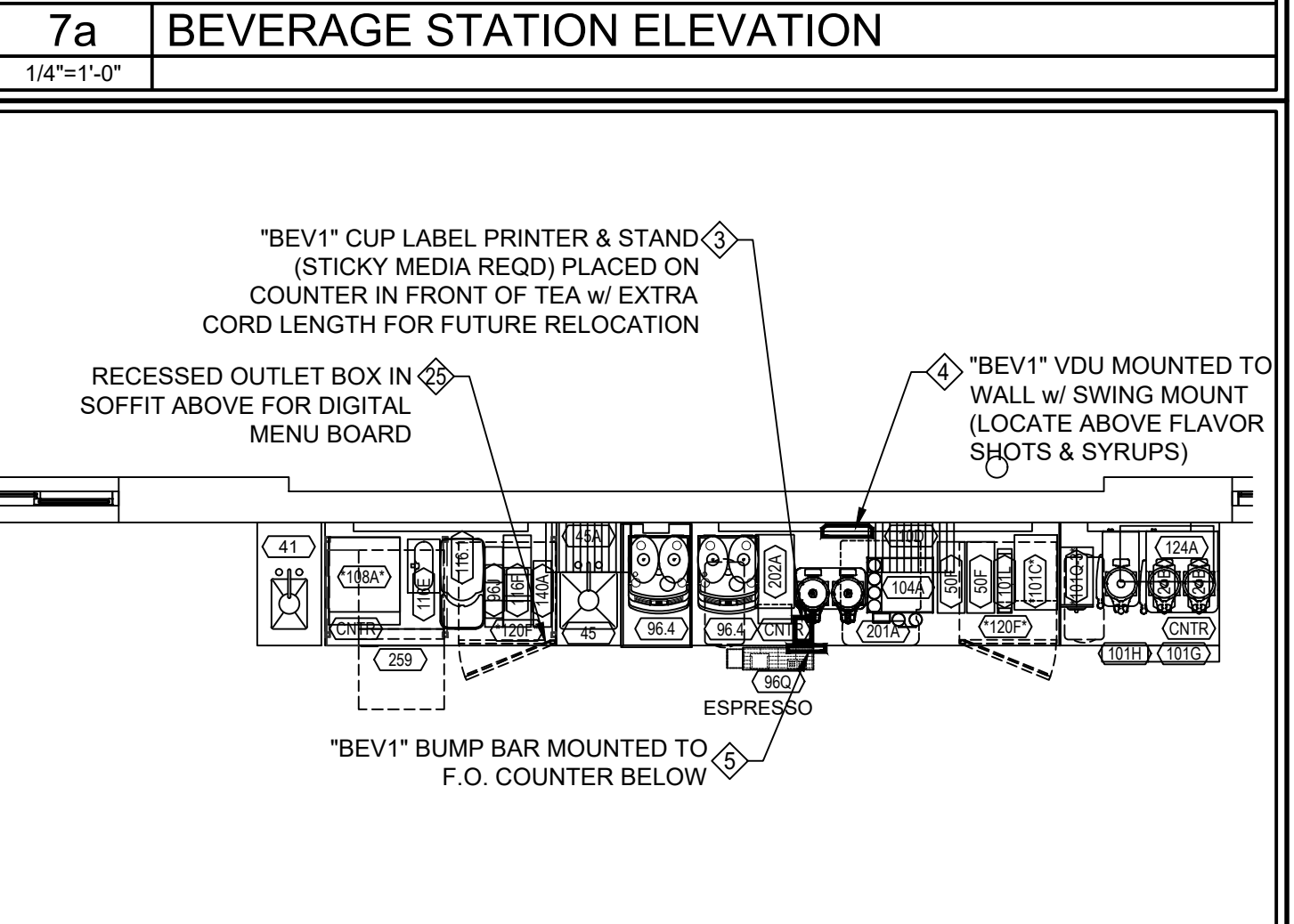
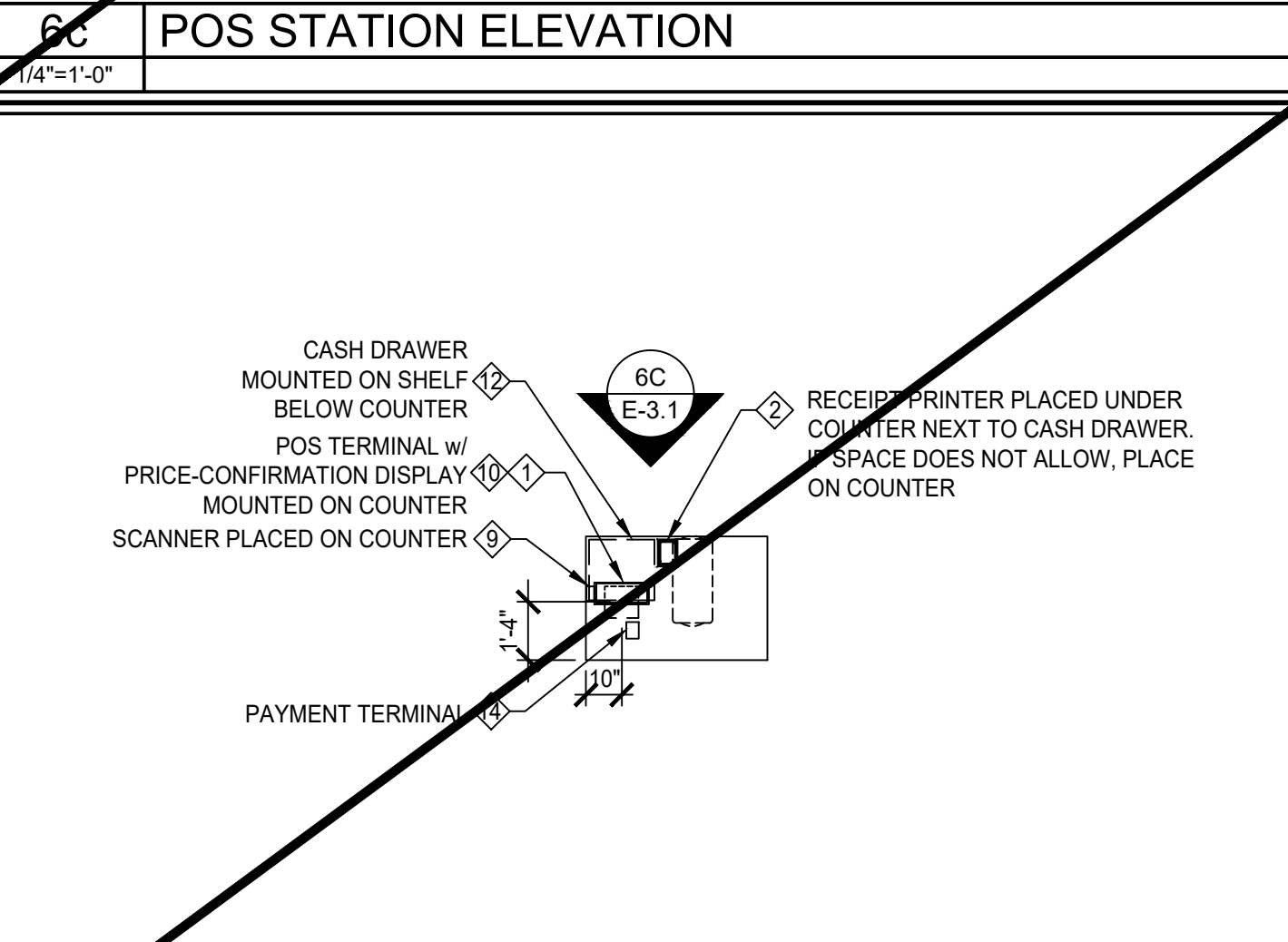
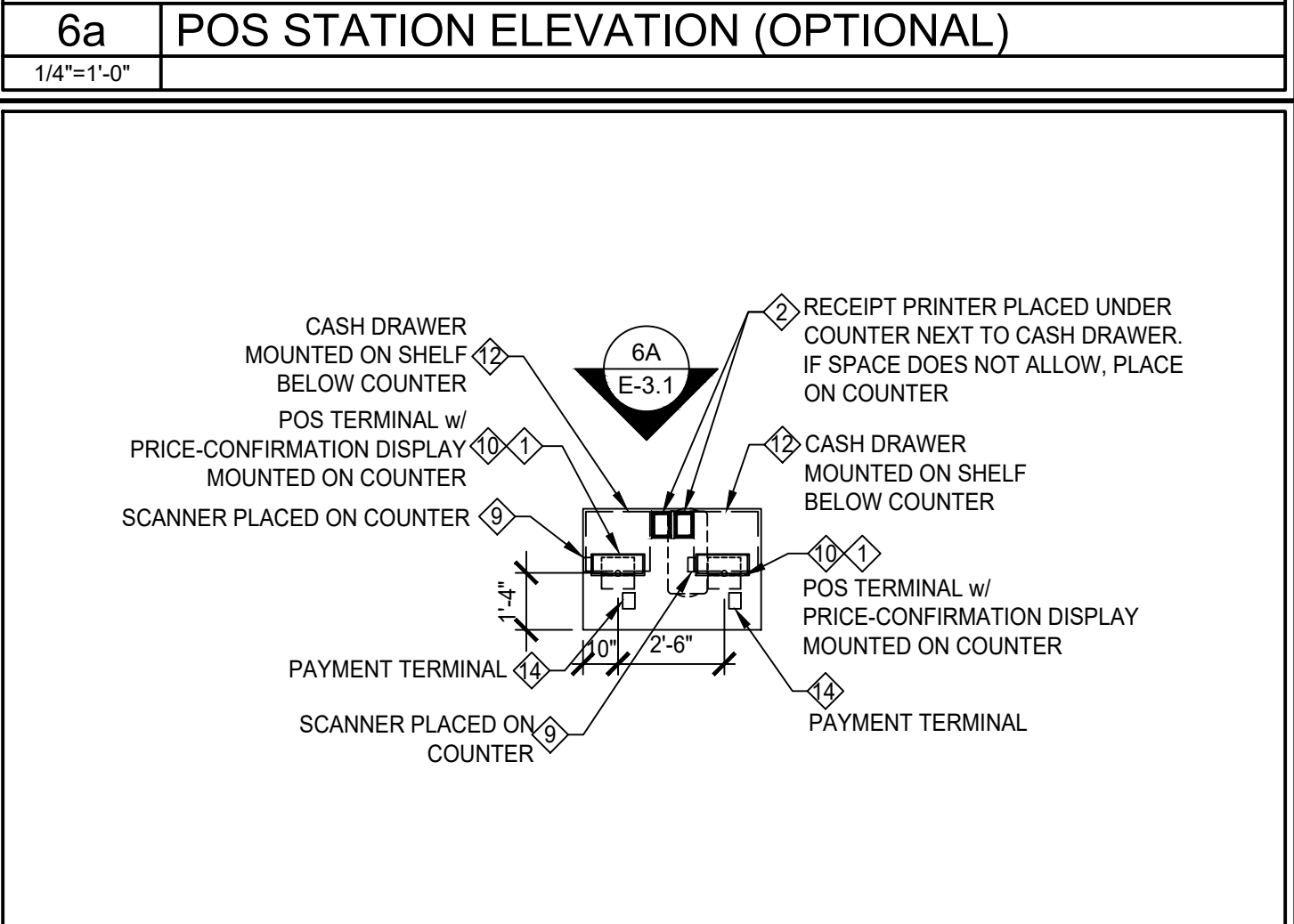
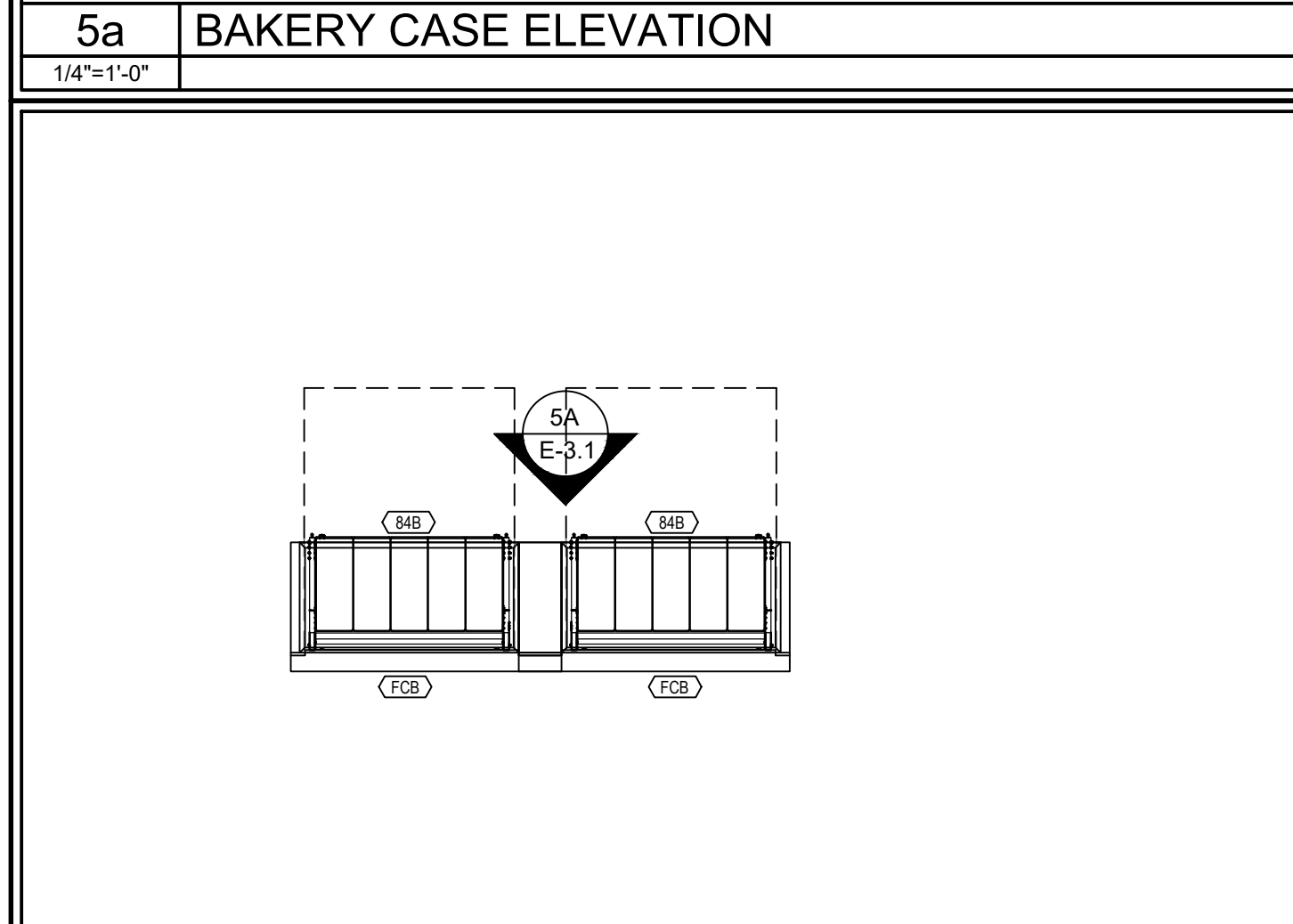
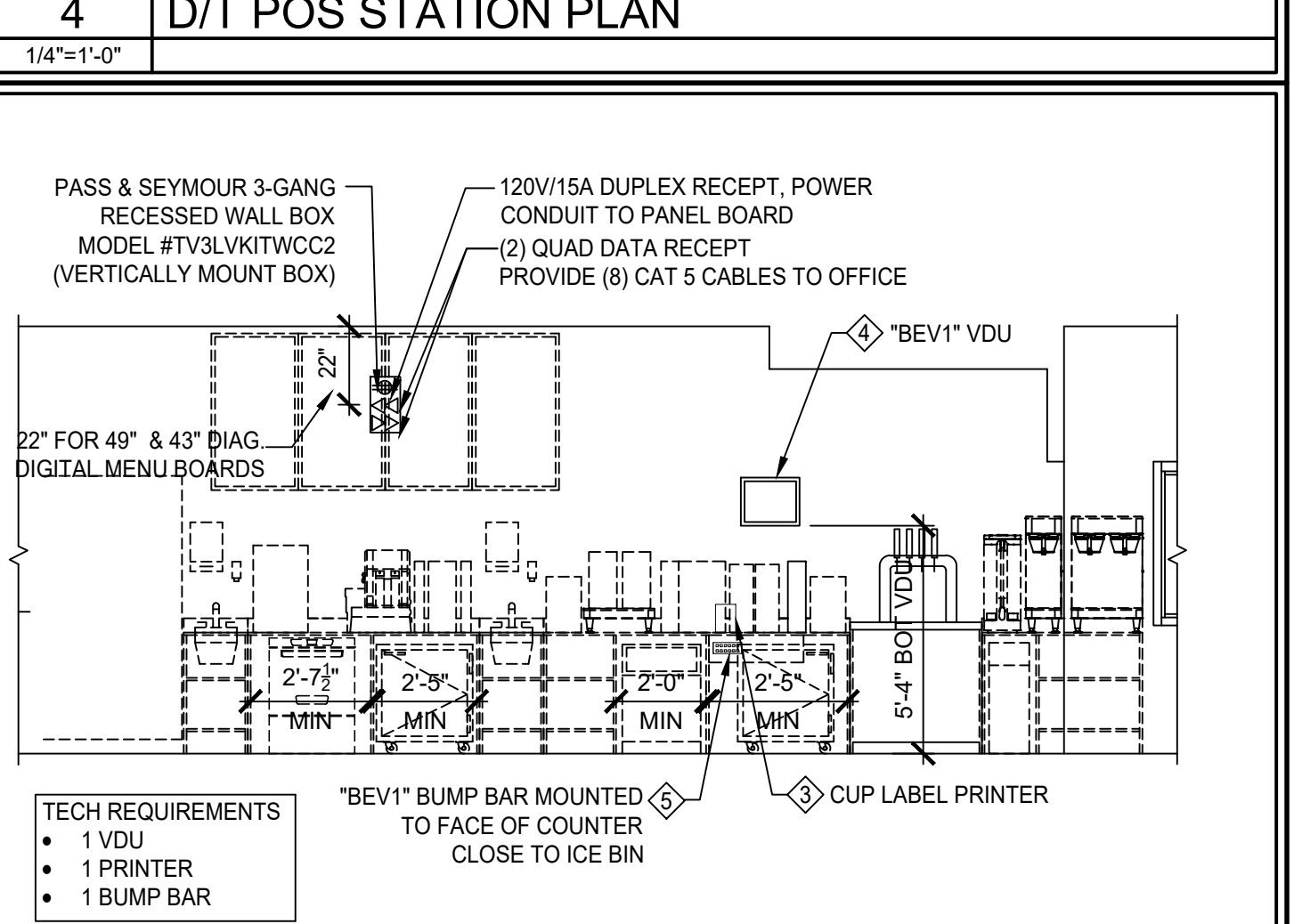
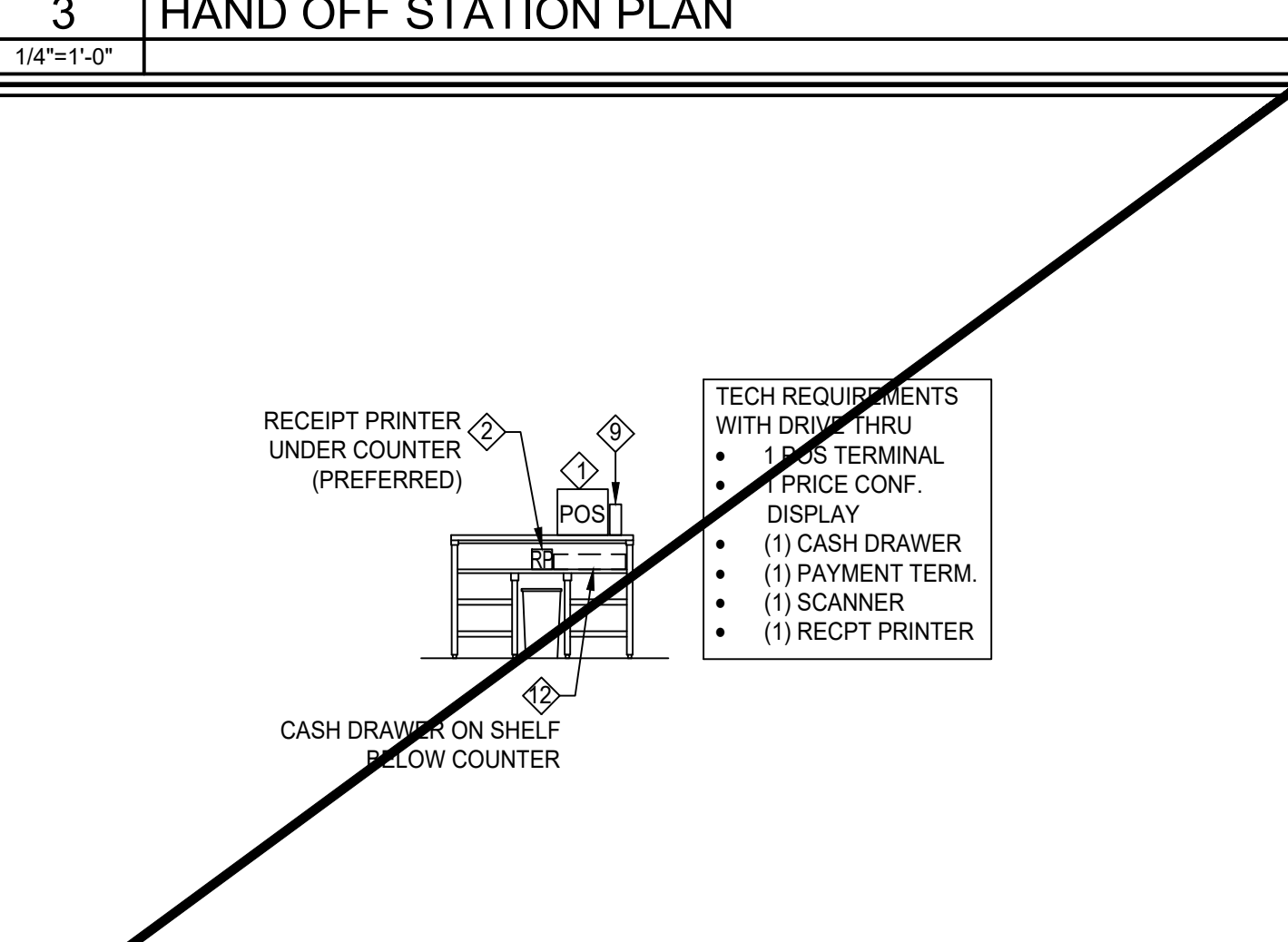
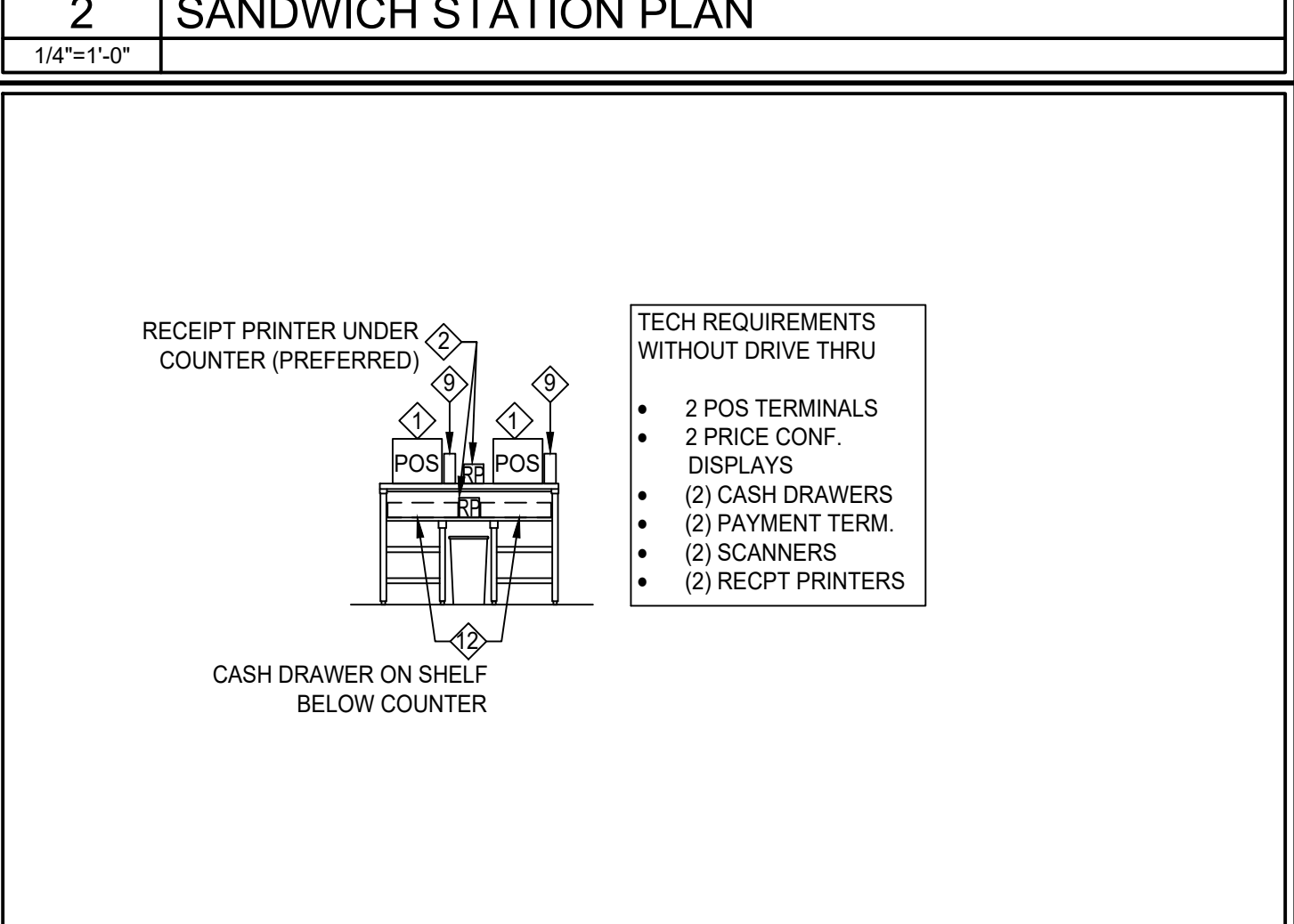
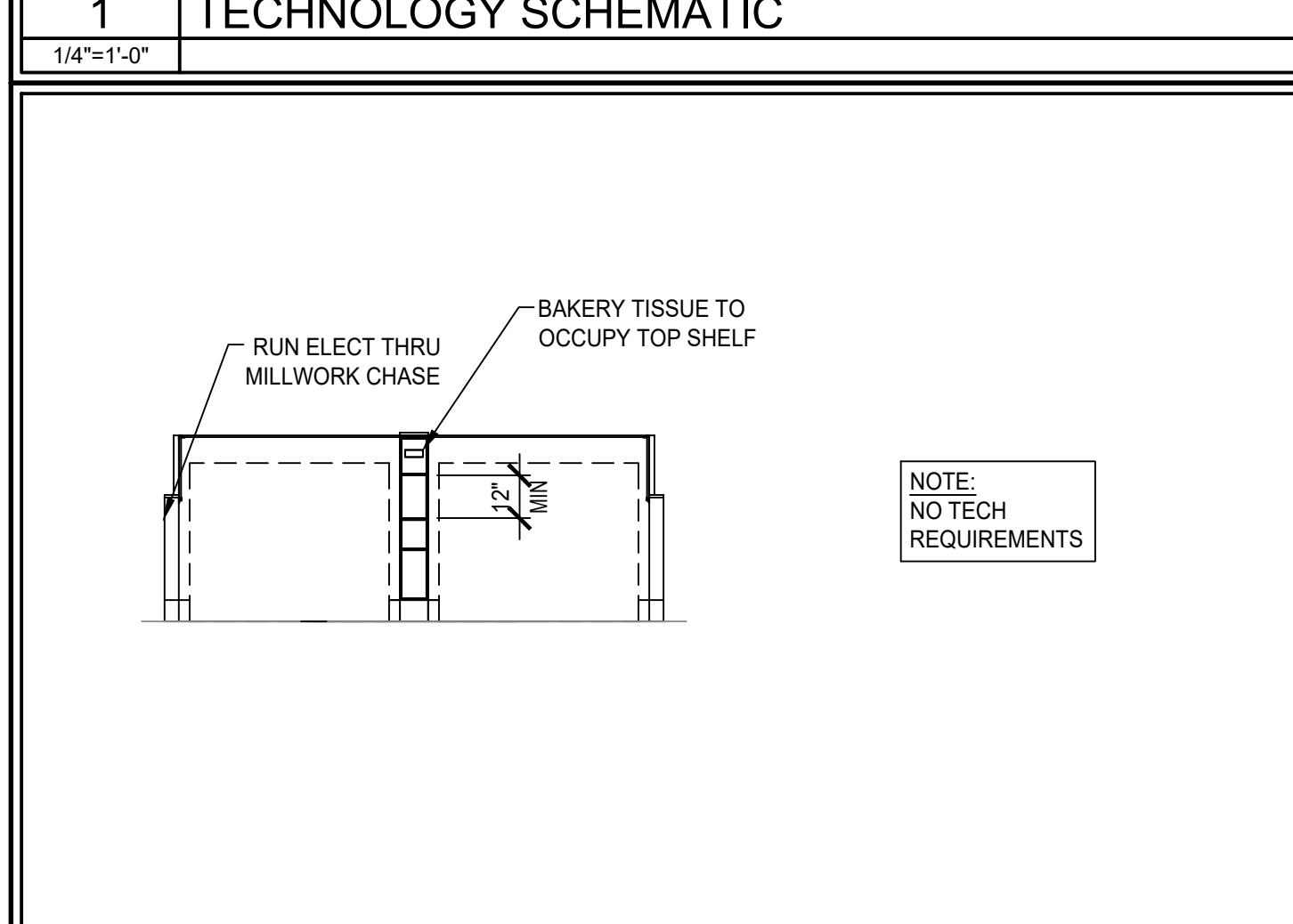
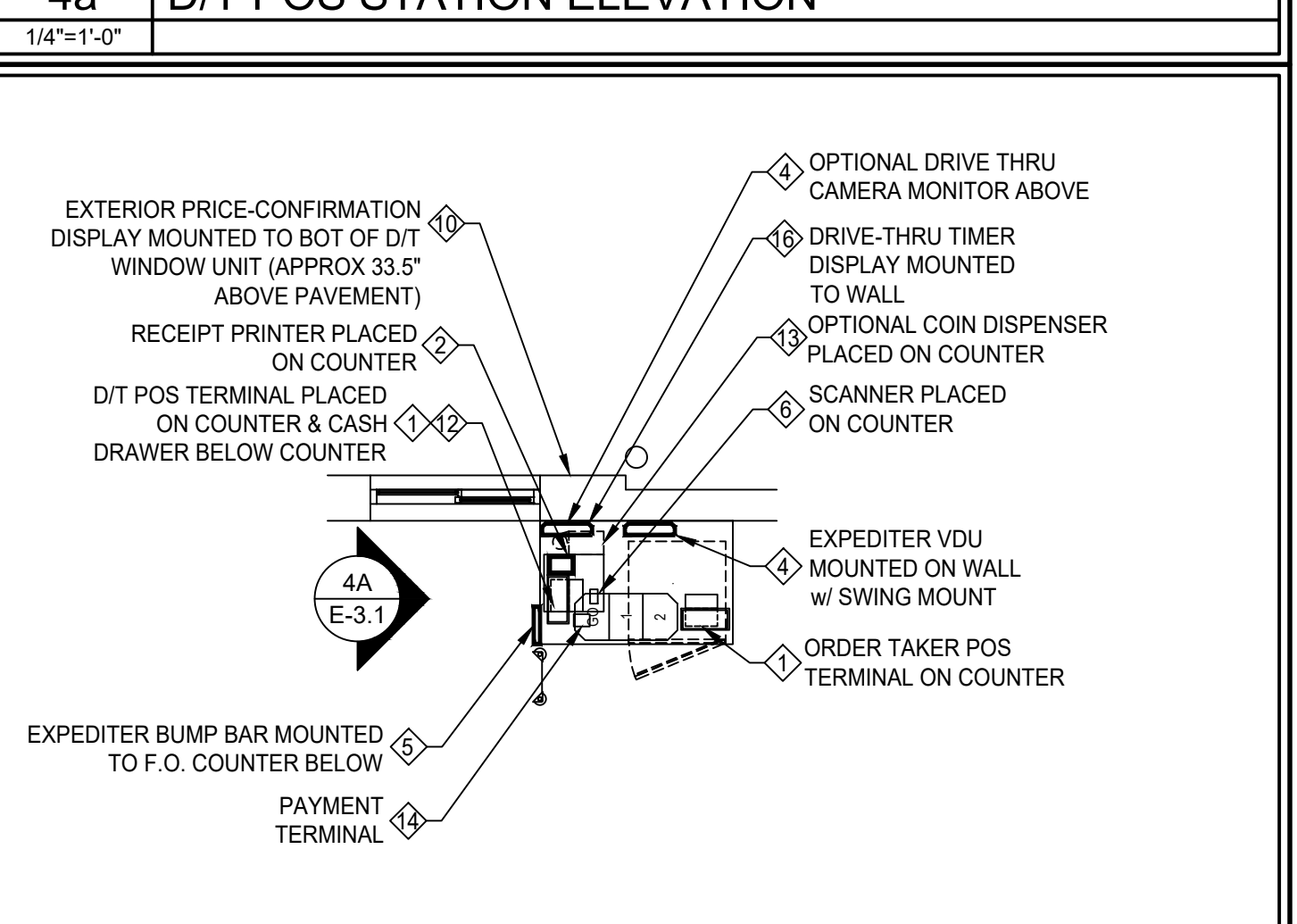
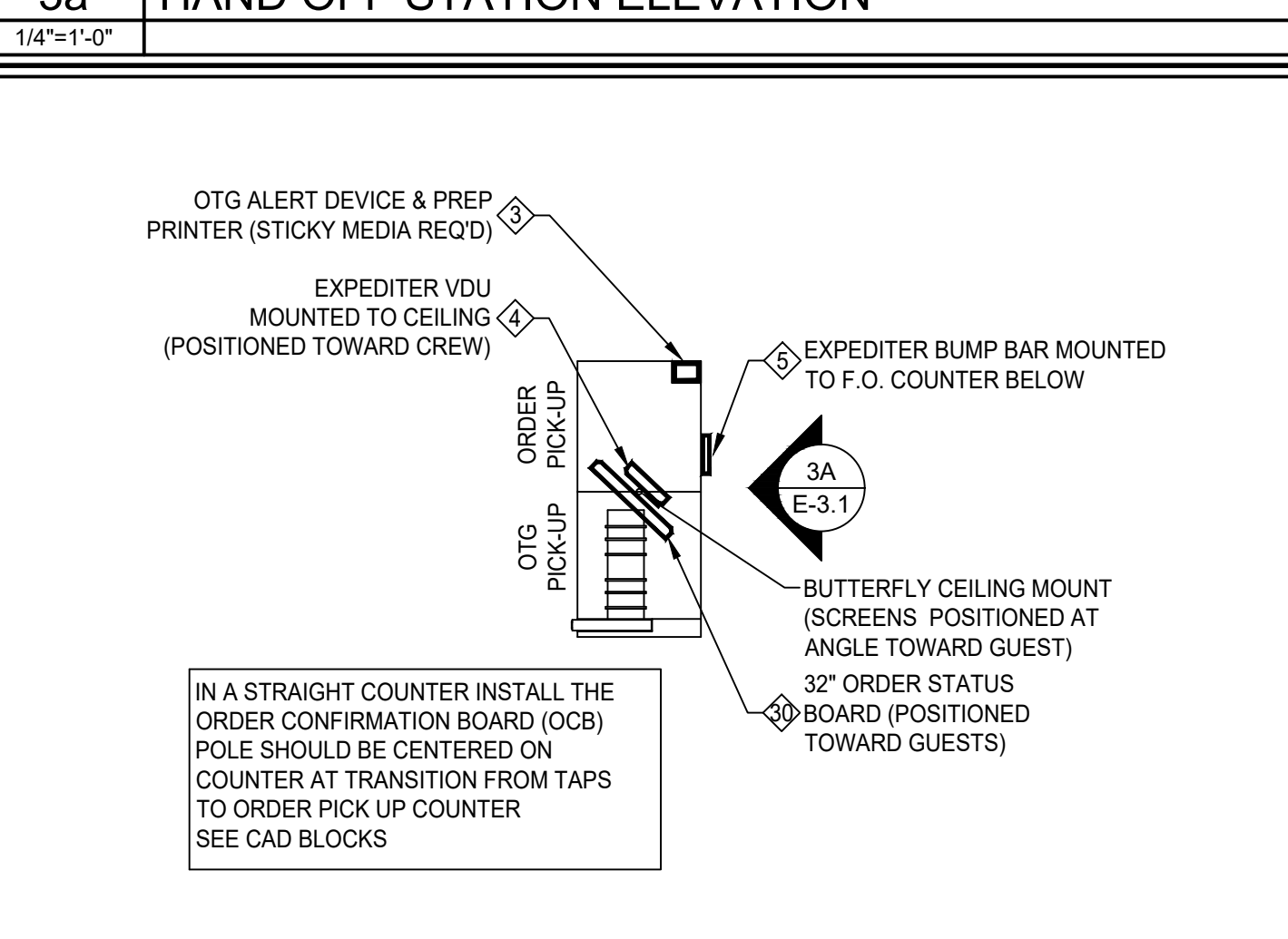
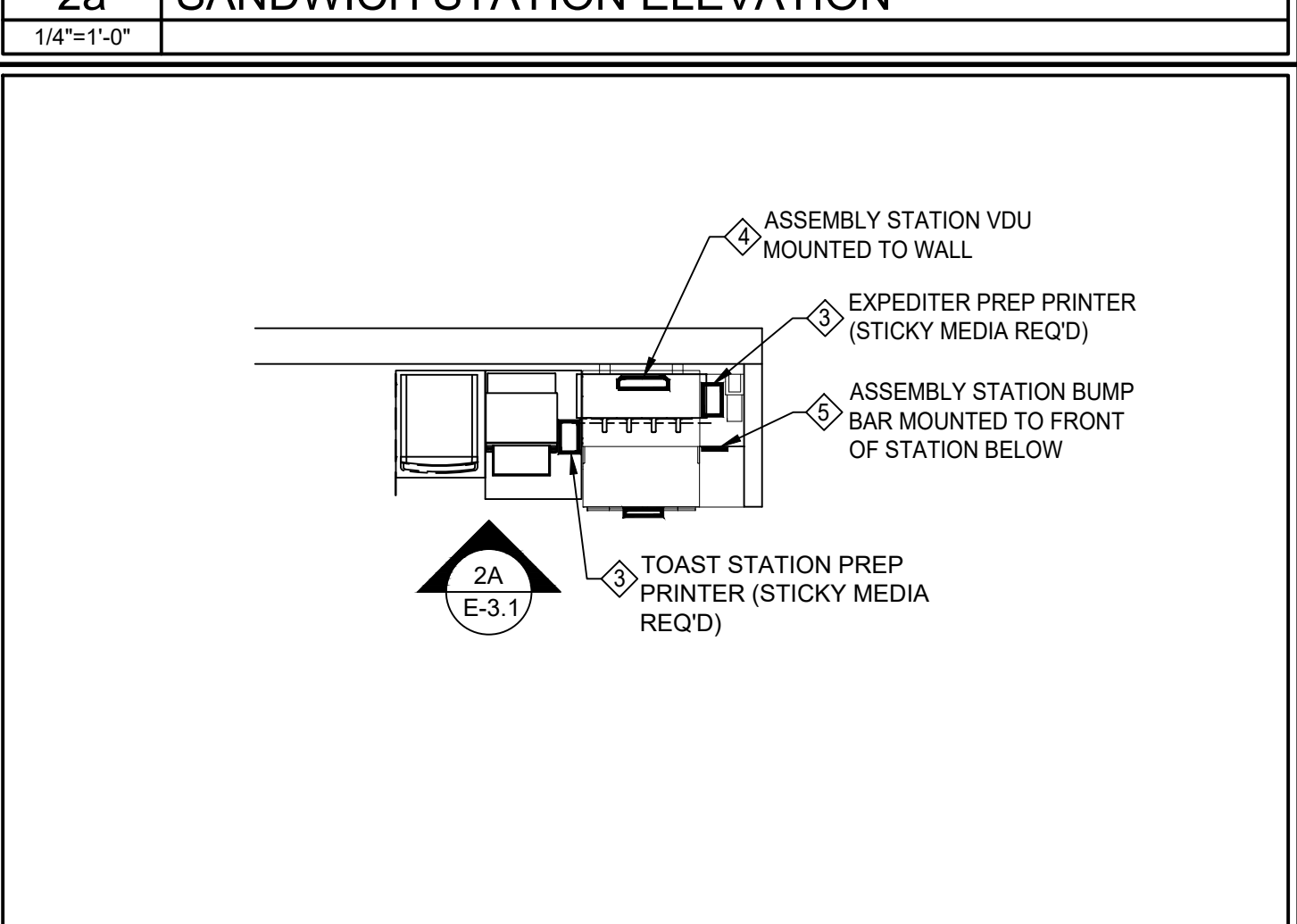
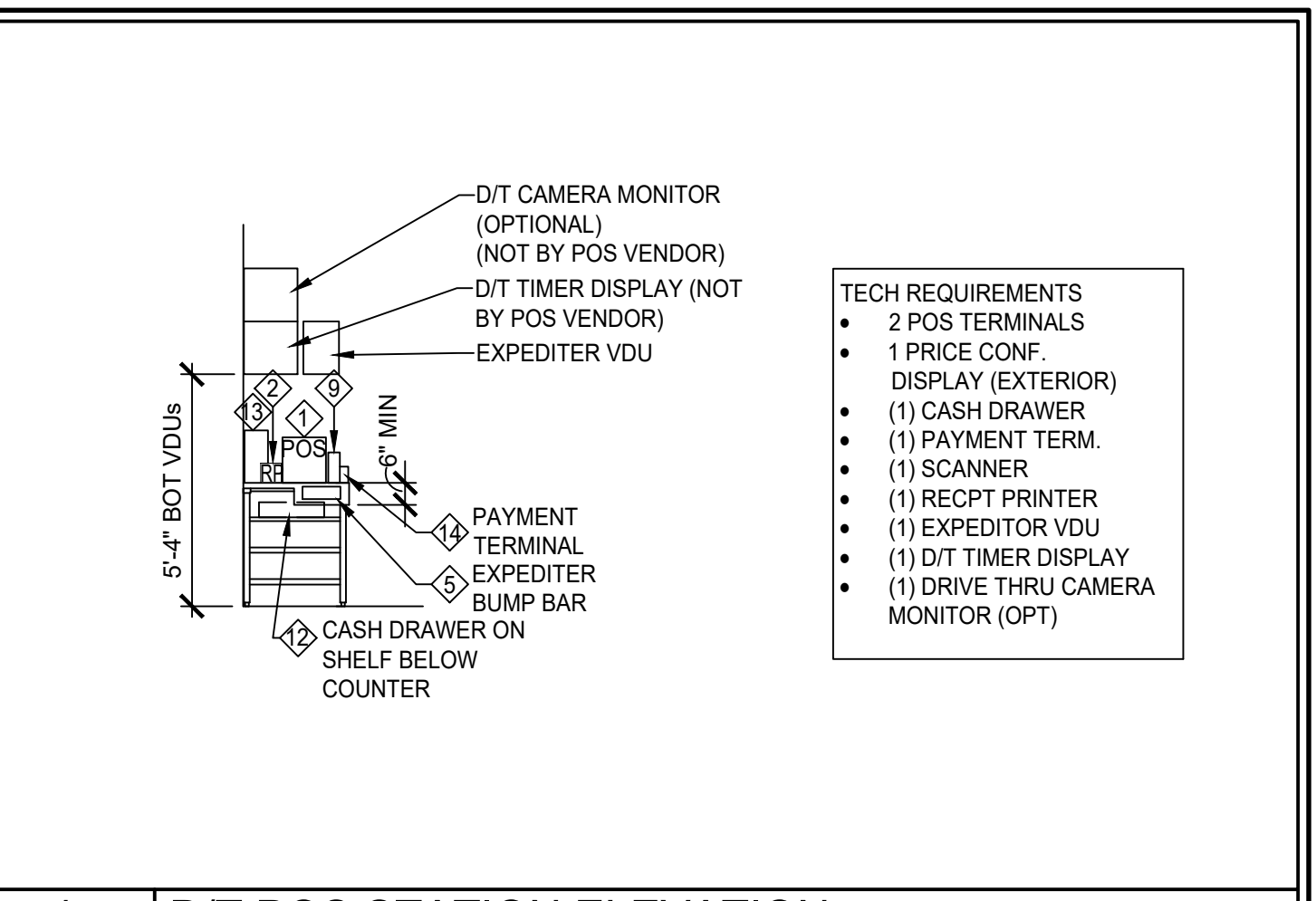
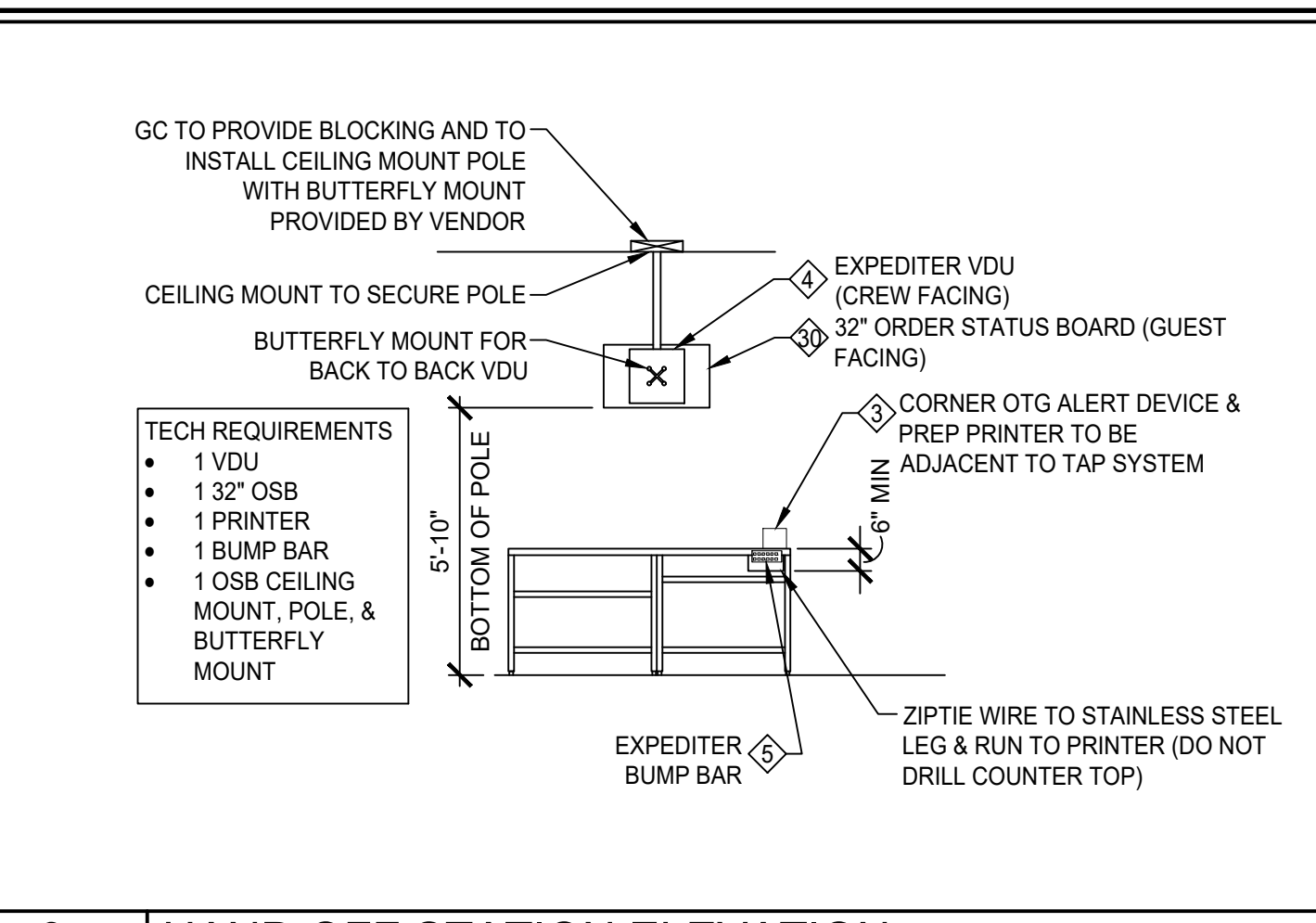
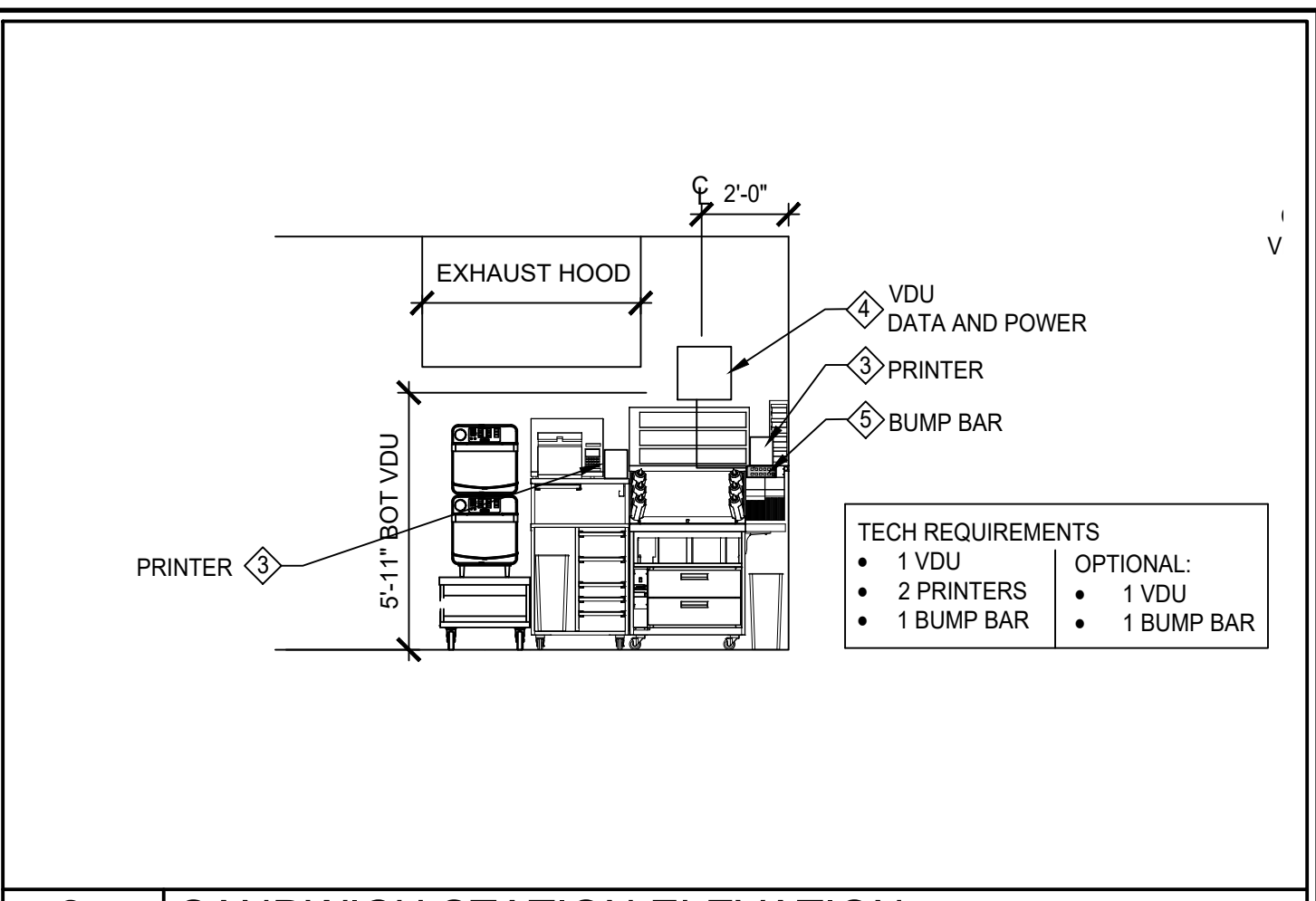
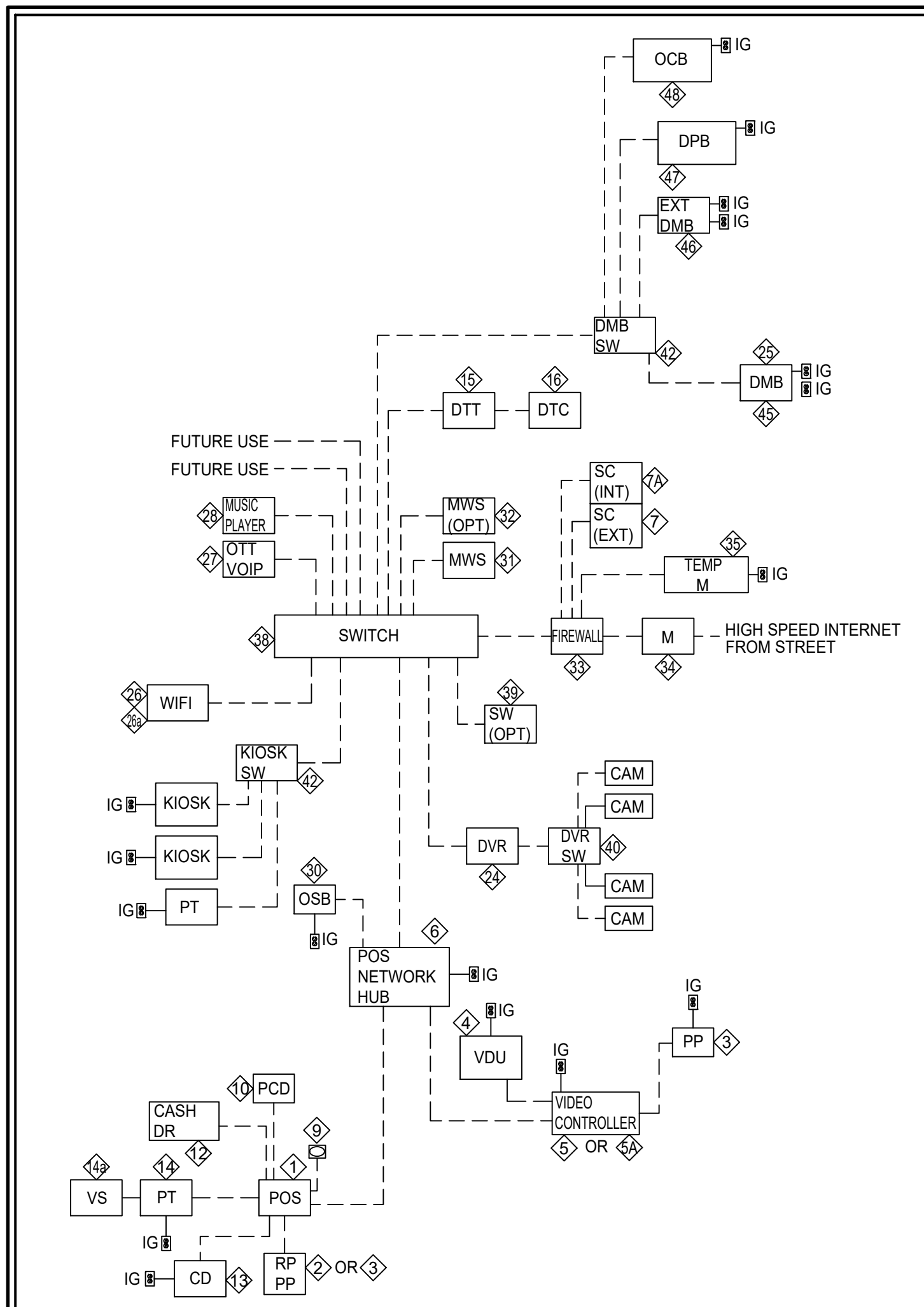


EQUIPMENT SCHEDULE					PLUMBING					ELECTRICAL						
ITEM NO	QTY	DESCRIPTION	MANUFACTURER	MODEL NO	REMARKS	WATER					ELECTRICAL					
						HW	CW	FCW	DIR	IND	REMARKS	LOAD		CORD PLUG	RECEPT	
96.4	2	COFFEE ART TOUCH ESPRESSO MACHINE	SCHAERER	040381-0022EUS				3/8"		1"	PROVIDE PRESSURE REDUCING VALVE & WATER SHUT-OFF VALVE w/ 3/8" COMPRESSION FITTING	208V	30A			30A/2P
98	0	ESPRESSO MACHINE	SCHAERER	03.5500.8033				1/2"		1"	DED. BALL VALVE w/ FLEX CONNECTION TO MACHINE	208V	30A	30A/2P	YES	L6-30R
101C-3	1	DAIRY DISPENSER	SILVER KING	SKECD12-V3-1-KE1								120V	1.8	15A/1P	YES	5-15R
101L	1	MULTI-SWEETENER DISPENSER	AC DISPENSING	AC2-GP-5								120V	.5A	15A/1P	YES	5-15R
101Q-3	1	MULTI HOPPER COFFEE GRINDER	BUNN-O-MATIC	35600.0041								120V	11.0	15A/1P	YES	5-15R
119	1	HOT WINTER BEVERAGE MACHINE	BUNN-O-MATIC	38600.0057				1/4"			20-90 PSI. MACHINE SUPPLIED WITH A 1/4" MALE FLARE FITTING	120/240	21.7	20A/2P	YES	L14-20R
108A-1	0	HOT WINTER BEVERAGE MACHINE	BUNN-O-MATIC	43700.0003				1/4"			20-90 PSI. MACHINE SUPPLIED WITH A 1/4" MALE FLARE FITTING	120/240	21.7	30A/2P	YES	L14-30R
108A-2	0	HOT WINTER BEVERAGE MACHINE	CECILWARE	GB5M5.5-IT-U-DB				1/4"			20-90 PSI. MACHINE SUPPLIED WITH A 1/4" MALE FLARE FITTING	208/240			YES	L14-30R
116.1	2	MAGNABLEND BLENDER / ISLAND OASIS	TAYLOR	SB2412-WDD				3/8"		1"		115V	10	15A	YES	5-15R
120F-1	0	27 1/2" W X 27 3/4" D UNDERCOUNTER REFRIGERATOR W/ CASTERS	DELFIELD	406-CA-DHR	RIGHT HAND HINGE							115V	7.0	20A/1P	YES	5-15R
120F-2	0	27 1/2" W X 27 3/4" D UNDERCOUNTER REFRIGERATOR W/ CASTERS	DELFIELD	406-CA-DHL	LEFT HAND HINGE							115V	7.0	20A/1P	YES	5-15R
120F-3	2	27" W X 30 1/2" D UNDERCOUNTER REFRIGERATOR W/ CASTERS	VICTORY	UR-27-SST-AD	DOOR CAN BE RE-HINGED IN FIELD							115V	5.6	20A/1P	YES	5-15R
ALT 121F	0	2 DRAWER U/C REFRIGERATOR	SILVER KING	SKR27AD/C11								115V	2.7	15A/1P	YES	5-15R
124A	1	TWIN SH BREWER	BUNN-O-MATIC	51200.0106				3/8"			20-90 PSI. MACHINE SUPPLIED WITH A 3/8" MALE FLARE FITTING	120/208	38.5	50A/2P	YES	14-50R
124G	2	TWIN SH STAND w/ WIFI	BUNN-O-MATIC	27875.0201								120V	1.8	15A/1P	YES	5-15P
124H	0	SINGLE SH STAND w/ WIFI	BUNN-O-MATIC	27825.0201								120V	0.7	20A/1P	YES	5-15P
261	0	WATER CHILLER (FUTURE)	MICROMATIC	FC-8000								115V	3.5	20A/1P	YES	5-15
265	1	4 TAP BEVERAGE DISPENSING SYSTEM	MICROMATIC	MMDD4TAPV1				1/2"		1"		115V	8.35	20A/1P	YES	5-15R
257	0	8 TAP BEVERAGE DISPENSING SYSTEM	MICROMATIC	MDD-68G-E-DD				1/2"		1"		115V	8.35	20A/1P	YES	5-15R

Store Number: 350624
dunkin' brands™
 2234 N Reynolds Road
 Bryant, AR 72022

Lagunita Franchise Operations
 Tony Antoon and Damon Dunn
 tony@lfoops.com
 601.940.6914

ISSUED / REVISED / PERMIT
 DATE: 03.05.19
ELECTRICAL
OMNI DETAILS



MIDDLETON DETENTION POND
1800 Woodlands Park, Bryant, AR 72019
DRAINAGE REPORT

FOR
City of Bryant, Saline County, AR

DECEMBER 2022

Owner & Developer: CEM Properties Limited Partnership

By:

HOPE
CONSULTING
ENGINEERS - SURVEYORS

TABLE OF CONTENTS

ITEM DESCRIPTION

1. Narrative & Summary
2. Hydrograph Report

Narrative & Summary

PROJECT TITLE

Middleton Detention Pond

PROJECT PROPERTY OWNER

CEM Properties Limited Partnership

PROJECT LOCATION

1800 Woodlands Park, Bryant, AR

PROJECT DESCRIPTION

The proposed development is on 1800 Woodlands Park, Bryant, AR. Total development site area is 15.37 acres.

DRAINAGE ANALYSIS

On Site Drainage- Rational method was used to determine the existing and proposed flows from proposed site. There will be one detention pond to detain water from this development. Detailed drainage calculations considering the future expected development has been conducted to determine the required detention pond and culvert dimensions. Summary of the calculations are below:

Detention Pond

- Pond is situated on the east side of the property.
- Pre-development area 15.37 acres.
- Post-development area 15.37 acres.
- Pre-development runoff coefficient 0.49.
- Post-development runoff cumulative coefficient 0.97
- Pond has a bottom area of 35,000 sft with bottom elevation of 388.00’.
- One 18” RCP with 0.5% slope is proposed for outflow culverts.

Peak flows for Pre and post development phase of onsite area have been tabulated below-

Period of time	Pre-development	Post-dev. Without detention	Post-dev. With detention
	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
2-Year	23.40	66.13	7.348
10-Year	31.33	84.98	15.38
25-Year	36.17	97.15	21.77
50-Year	41.20	110.51	29.15
100-Year	44.23	117.19	32.81

CONCLUSION

From the onsite drainage calculation, it is seen that there is decrease in flow for all storm events due to the proposed detention ponds.

Hydrograph Summary Report

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

<u>Hyd.</u>	<u>Origin</u>	<u>Description</u>
1	Rational	Pre development
2	Rational	Post development
3	Reservoir	Reservoir

Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

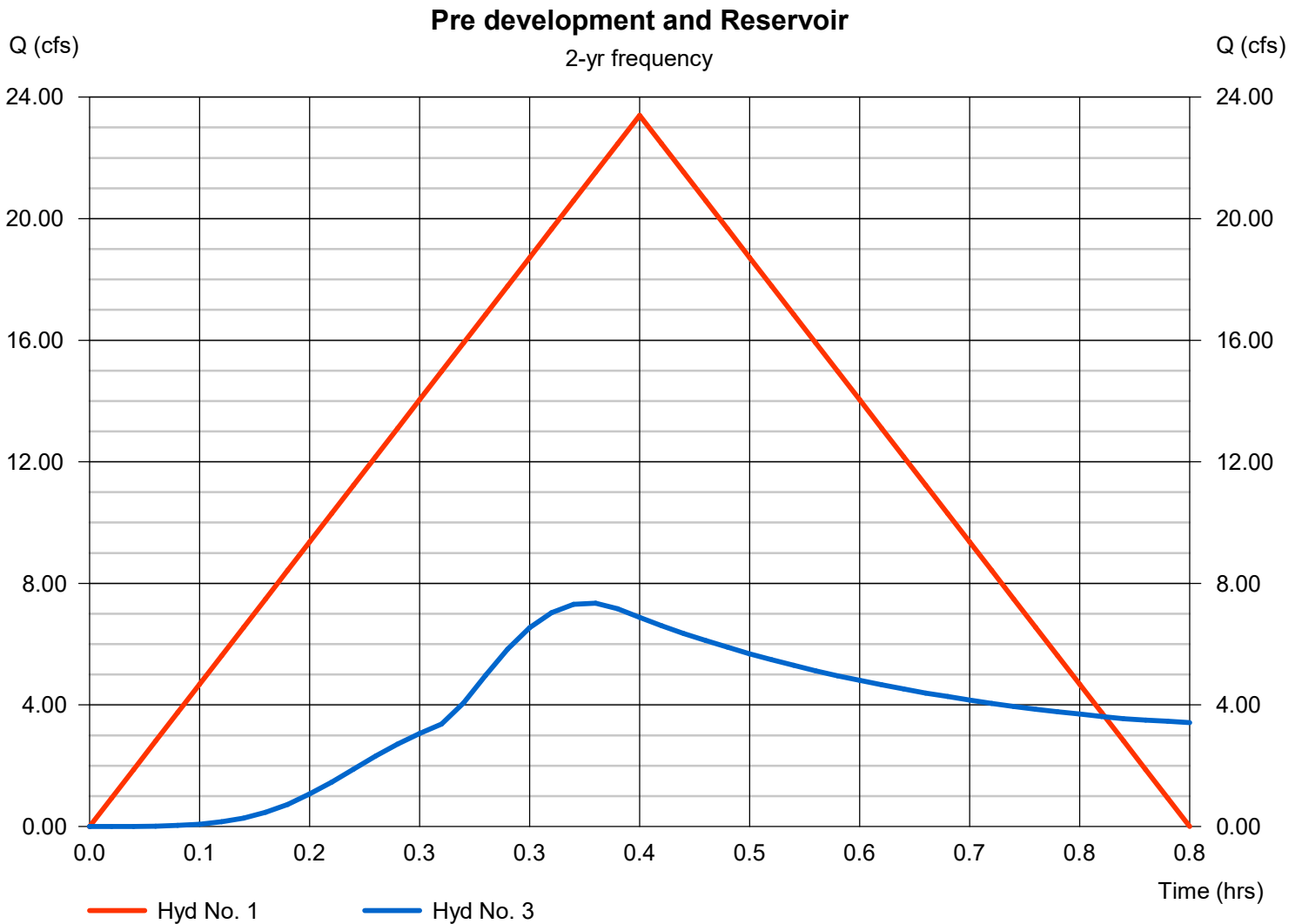
Pre development

Hydrograph type = Rational
Peak discharge = 23.40 cfs
Time to peak = 0.42 hrs
Hyd. Volume = 35,100 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 7.35 cfs
Time to peak = 0.38 hrs
Hyd. Volume = 46,352 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 1

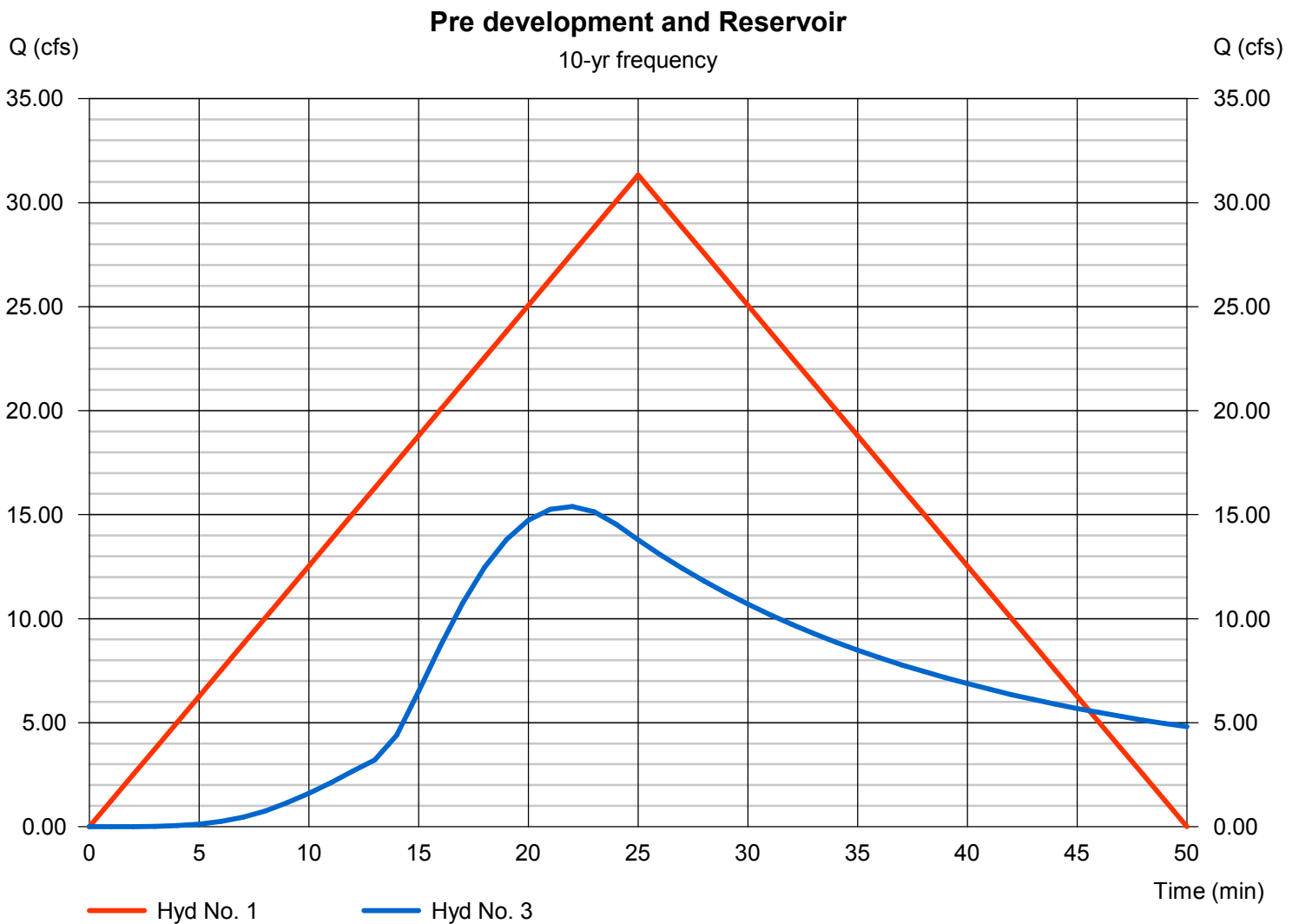
Pre development

Hydrograph type = Rational
Peak discharge = 31.33 cfs
Time to peak = 25 min
Hyd. Volume = 46,997 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 15.38 cfs
Time to peak = 22 min
Hyd. Volume = 59,917 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 1

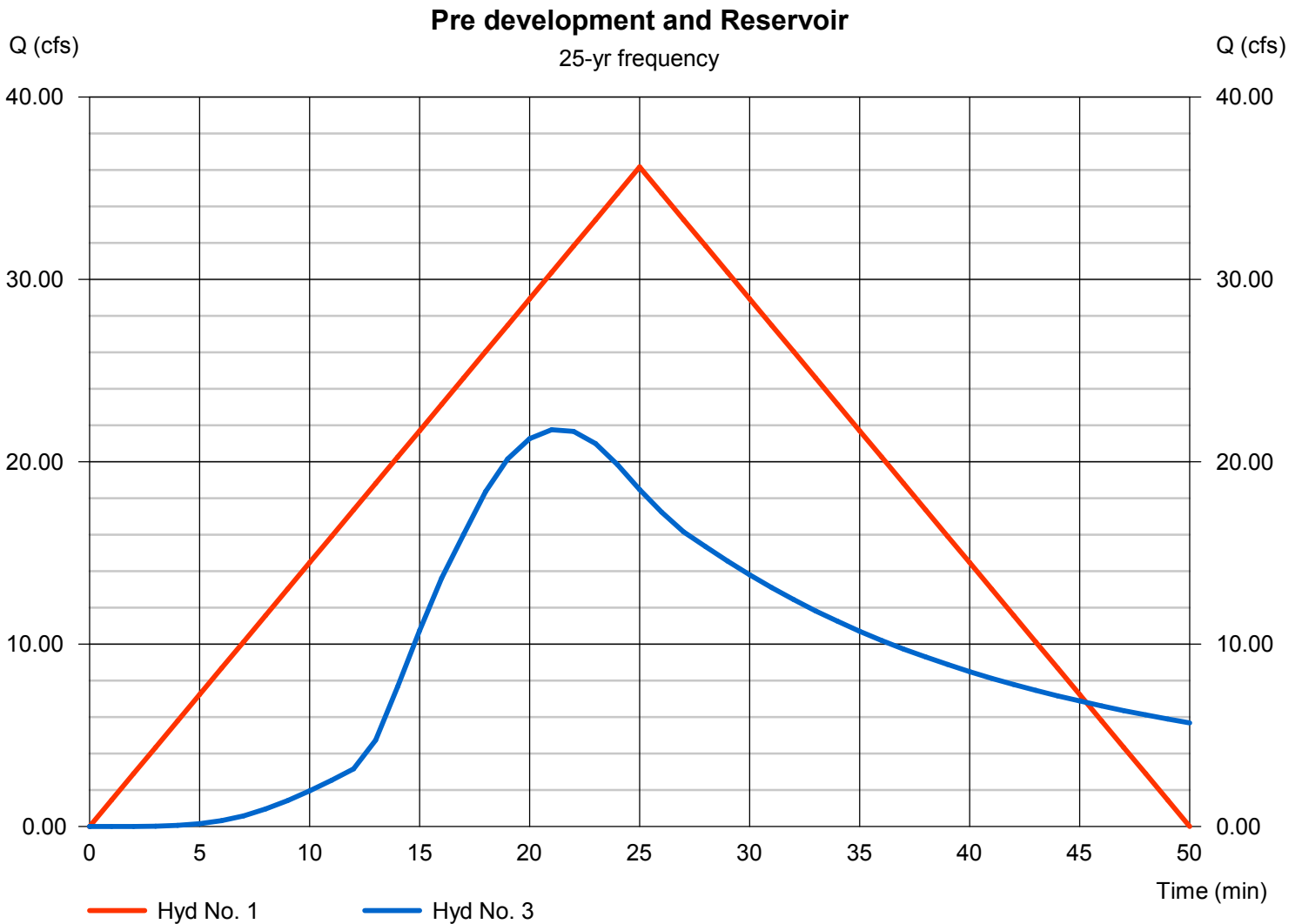
Pre development

Hydrograph type = Rational
Peak discharge = 36.17 cfs
Time to peak = 25 min
Hyd. Volume = 54,256 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 21.77 cfs
Time to peak = 21 min
Hyd. Volume = 68,679 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 1

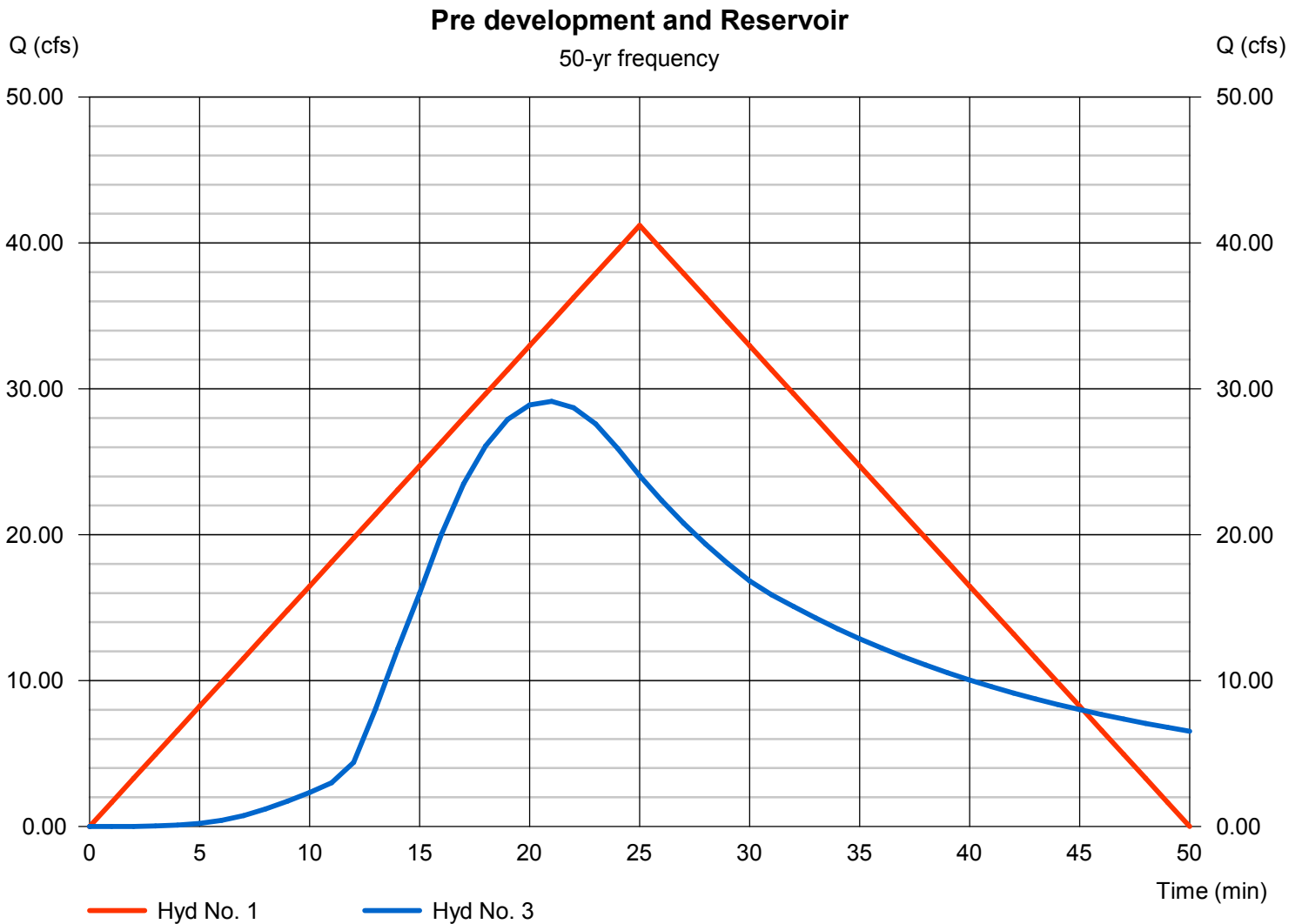
Pre development

Hydrograph type = Rational
Peak discharge = 41.20 cfs
Time to peak = 25 min
Hyd. Volume = 61,798 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 29.15 cfs
Time to peak = 21 min
Hyd. Volume = 78,295 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 1

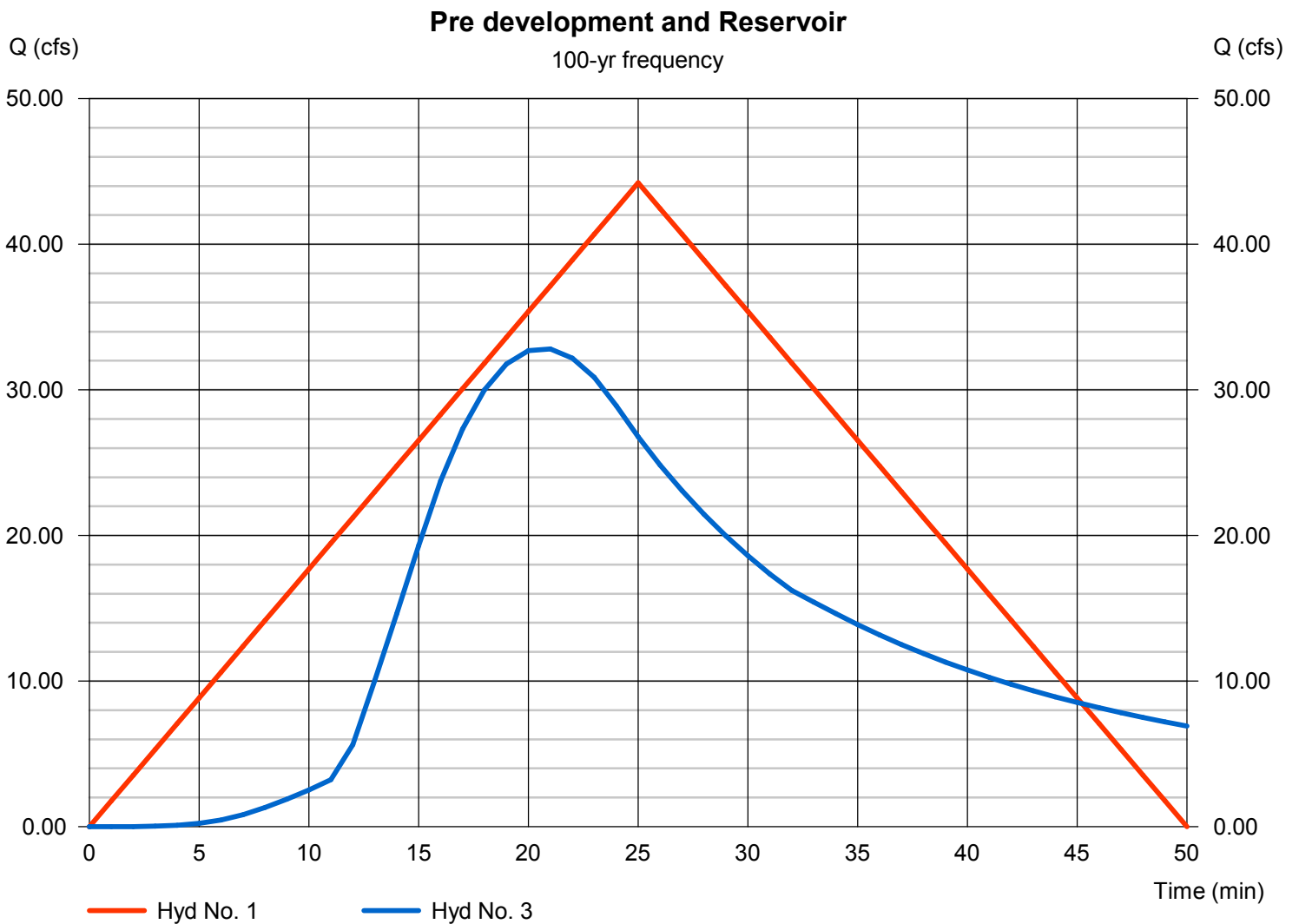
Pre development

Hydrograph type = Rational
Peak discharge = 44.23 cfs
Time to peak = 25 min
Hyd. Volume = 66,339 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 32.81 cfs
Time to peak = 21 min
Hyd. Volume = 83,103 cuft



Pond Report

Pond No. 1 - Detention

Pond Data

Trapezoid -Bottom L x W = 200.0 x 175.0 ft, Side slope = 3.00:1, Bottom elev. = 388.00 ft, Depth = 3.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	388.00	35,000	0	0
0.30	388.30	35,678	10,602	10,602
0.60	388.60	36,363	10,806	21,408
0.90	388.90	37,054	11,012	32,420
1.20	389.20	37,752	11,221	43,641
1.50	389.50	38,456	11,431	55,072
1.80	389.80	39,167	11,643	66,715
2.10	390.10	39,884	11,857	78,572
2.40	390.40	40,607	12,073	90,646
2.70	390.70	41,337	12,292	102,937
3.00	391.00	42,074	12,512	115,449

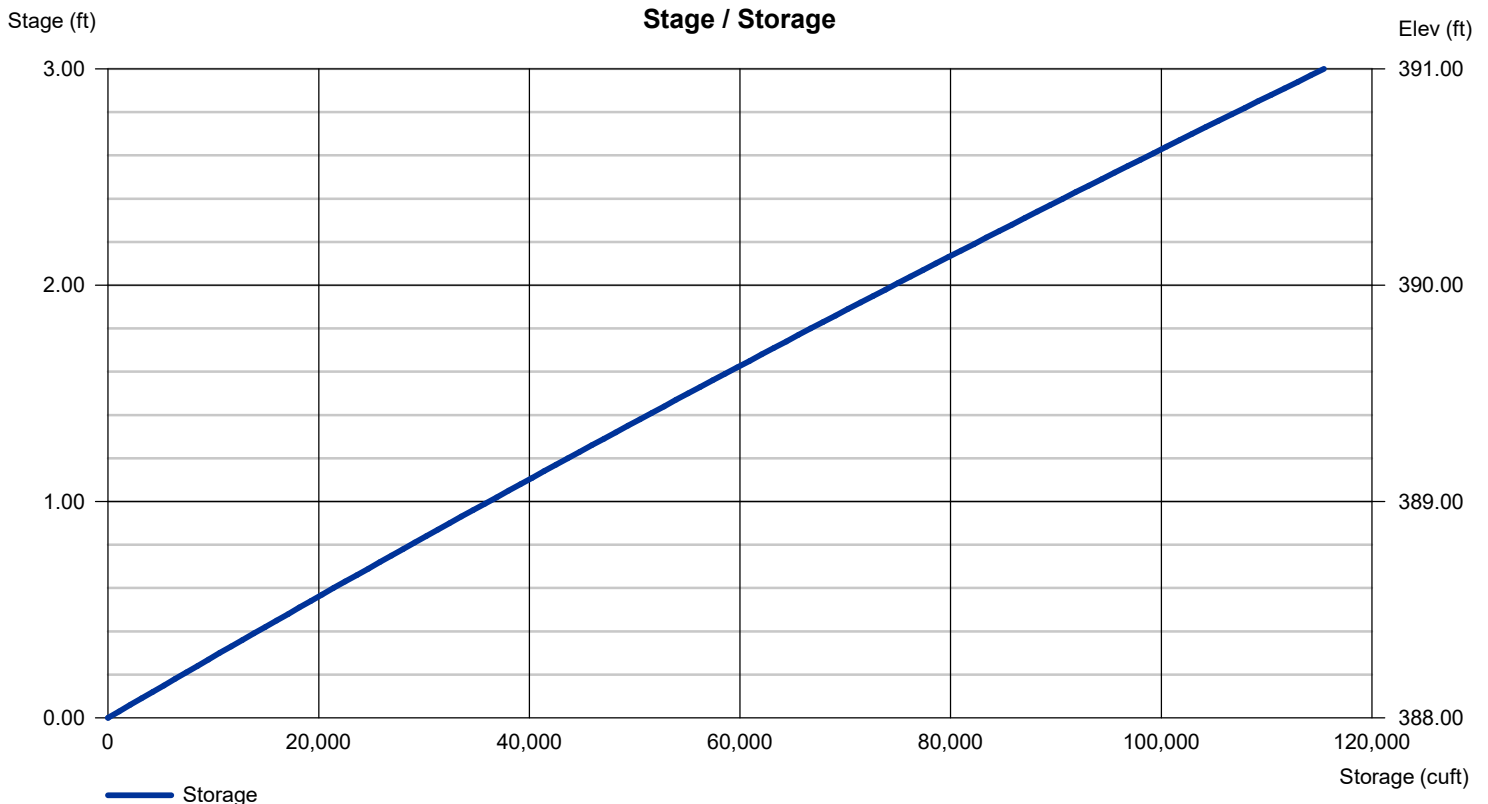
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 18.00	Inactive	Inactive	0.00
Span (in)	= 18.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 388.00	0.00	0.00	0.00
Length (ft)	= 50.00	0.00	0.00	0.00
Slope (%)	= 0.50	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 10.00	Inactive	Inactive	0.00
Crest El. (ft)	= 389.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil. (in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	23.40	1	25	35,100	-----	-----	-----	Pre development	
2	Rational	66.13	1	12	47,611	-----	-----	-----	Post development	
3	Reservoir	7.348	1	23	46,352	2	389.21	44,023	Reservoir	
Middleton detention pond 12-5-2022.gpw					Return Period: 2 Year			Monday, 12 / 19 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	31.33	1	25	46,997	-----	-----	-----	Pre development	
2	Rational	84.98	1	12	61,183	-----	-----	-----	Post development	
3	Reservoir	15.38	1	22	59,917	2	389.47	53,932	Reservoir	
Middleton detention pond 12-5-2022.gpw					Return Period: 10 Year			Monday, 12 / 19 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	36.17	1	25	54,256	-----	-----	-----	Pre development	
2	Rational	97.15	1	12	69,947	-----	-----	-----	Post development	
3	Reservoir	21.77	1	21	68,679	2	389.62	59,683	Reservoir	
Middleton detention pond 12-5-2022.gpw					Return Period: 25 Year			Monday, 12 / 19 / 2022		

Hydrograph Summary Report

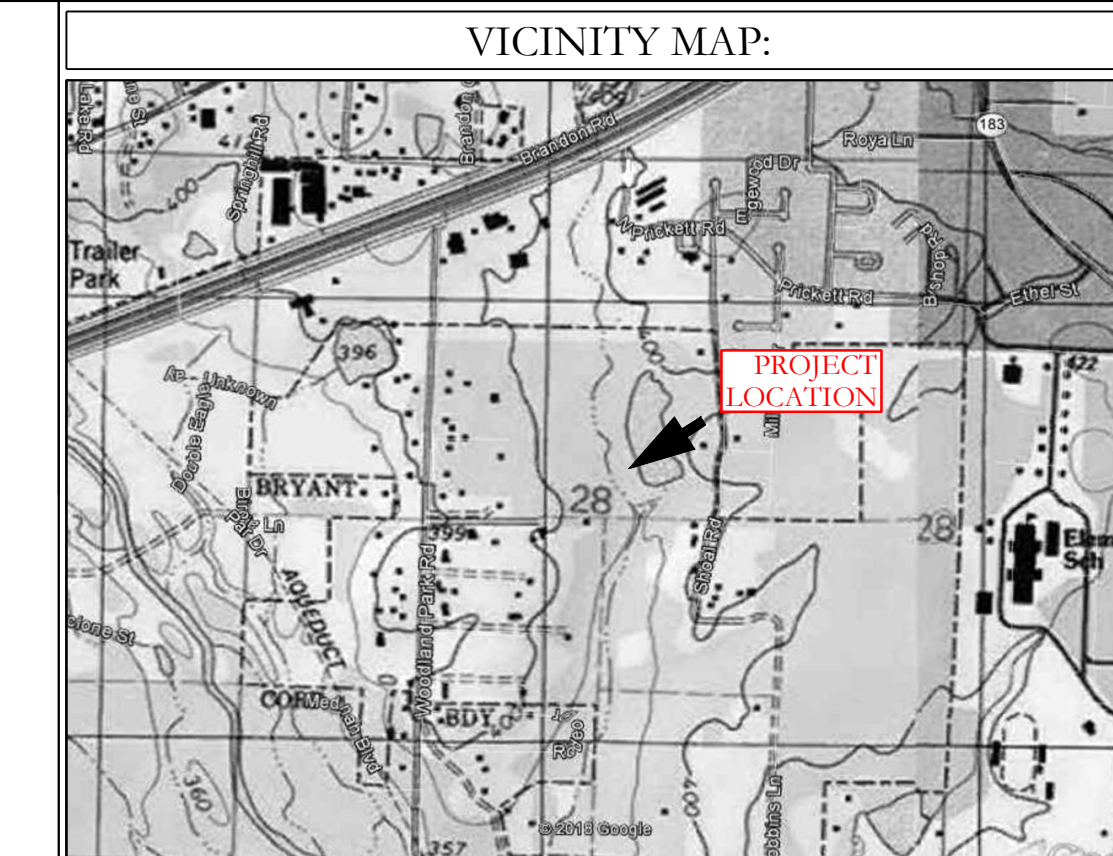
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	41.20	1	25	61,798	-----	-----	-----	Pre development	
2	Rational	110.51	1	12	79,565	-----	-----	-----	Post development	
3	Reservoir	29.15	1	21	78,295	2	389.77	65,595	Reservoir	
Middleton detention pond 12-5-2022.gpw					Return Period: 50 Year			Monday, 12 / 19 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	44.23	1	25	66,339	-----	-----	-----	Pre development	
2	Rational	117.19	1	12	84,373	-----	-----	-----	Post development	
3	Reservoir	32.81	1	21	83,103	2	389.84	68,409	Reservoir	
Middleton detention pond 12-5-2022.gpw					Return Period: 100 Year			Monday, 12 / 19 / 2022		



DETENTION POND

DETENTION POND MAINTENANCE PLAN

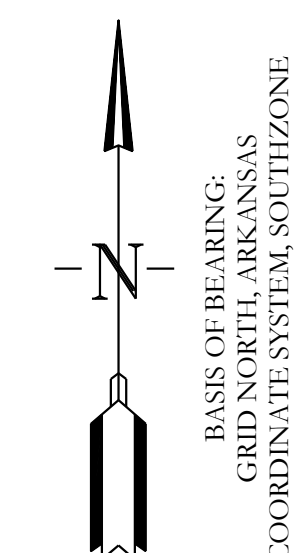
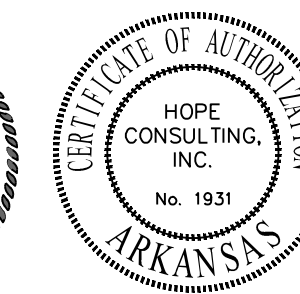
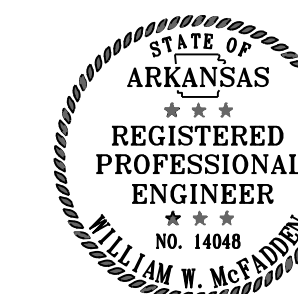
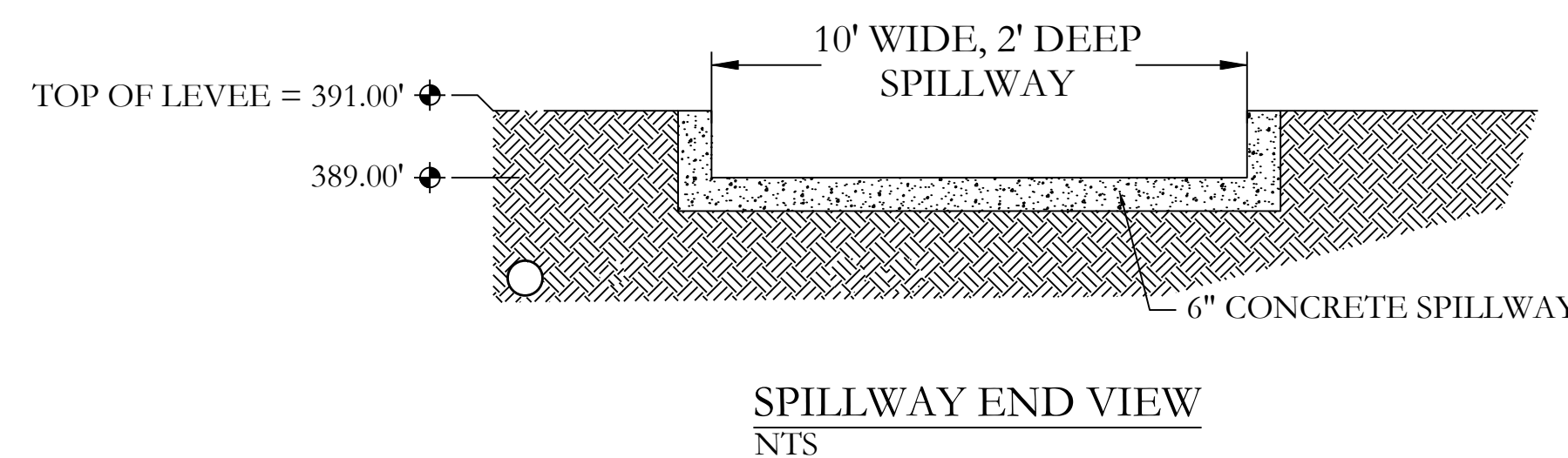
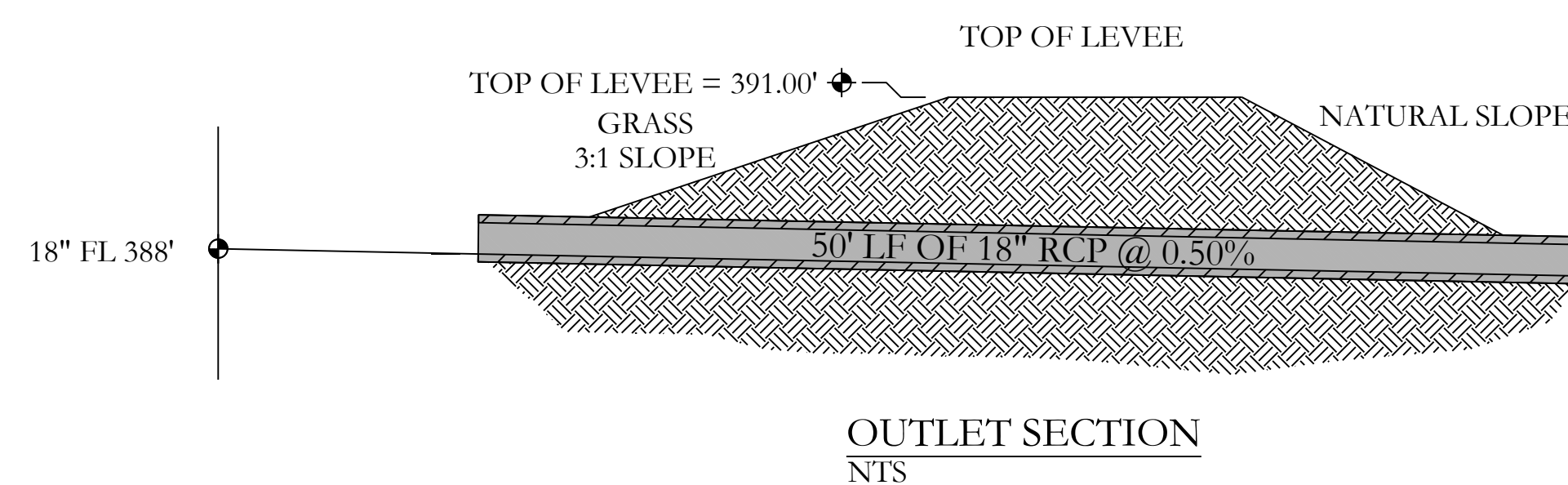
Background
The detention pond is located on the southeast side of the property. It is designed to temporarily detain stormwater to meet water quantity criteria before discharging off the property.

Routine Maintenance
The property owners association will maintain the drainage easements located in Tract "A". Routine maintenance will include but not be limited to:

- Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.
- The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.
- Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.
- Inspect the pond and outlet pipe for non-routine maintenance need.

Periodic or Non-Routine Maintenance
The routine inspection of the pond area and discharge pipe will identify needed repairs and non-routine maintenance. These items may include but not be limited to:

- Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.
- Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.
- Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
- Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.



HOPE CONSULTING
ENGINEERS - SURVEYORS

117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:			
MIDDLETON DETENTION POND			
CEM PROPERTIES LIMITED PARTNERSHIP			
DETENTION POND			
1800 WOODLANDS PARK, BRYANT, ARKANSAS			
DATE:	12/15/2022	C.A.D. BY:	###
REVISION:	##	CHECKED BY:	
SHEET:	C-1.0	SCALE:	1" = 30'
DRAWING NUMBER:		22-1258	
500	01S	14W	0 27 430 62 1664

HOPE
CONSULTING
ENGINEERS - SURVEYORS

December 21, 2022

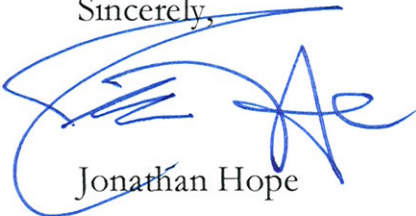
City of Bryant Board of Zoning Adjustments
210 Southwest Third St., Bryant, AR 72022

Dear Board Members,

We would like to request a variance for Lot 24, Coral Ridge Subdivision in Bryant, on behalf of the owner Oltman's Development, Inc. We would like to request that the front setback be reduced to 15' and the rear setback be reduce to 10'.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope

129 North Main St. Benton, Arkansas 72015

www.hopeconsulting.com

(P) 501-315-2626

(F) 501-315-0024



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Variance Application

Applicants are advised to read the Board of Adjustment and Variances section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 12/21/22

Applicant or Designee:

Name JONATHAN HOPE
Address 129 N. MAIN, BENTON
Phone 501-315-2626

Project Location:

Property Address LOT 24 CORAL RIDGE DR.
BRYANT, AR.
Parcel Number LOT 24
Zoning Classification R-2

Email Address: JONATHAN@HOPECONSULTING.COM

Property Owner (If different from Applicant):

Name OLTMAN'S DEVELOPMENT, INC.
Phone _____
Address 1930 N. REYNOLDS RD. UNIT. 1P, BRYANT
Email Address JEREMIAH.OLTMANS@CRYE-LEIKE.COM

Additional Information:

Legal Description (Attach description if necessary)

LOT 24, CORAL RIDGE, A SUBDIVISION IN THE
CITY OF BRYANT, SALINE COUNTY, ARKANSAS

Description of Variance Request (Attach any necessary drawings or images)

REDUCTION OF THE FRONT SETBACK TO 15' AND
THE REAR SETBACK TO 10'

Proposed Use of Property R-2

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, _____ at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a variance request at the site of
_____ (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

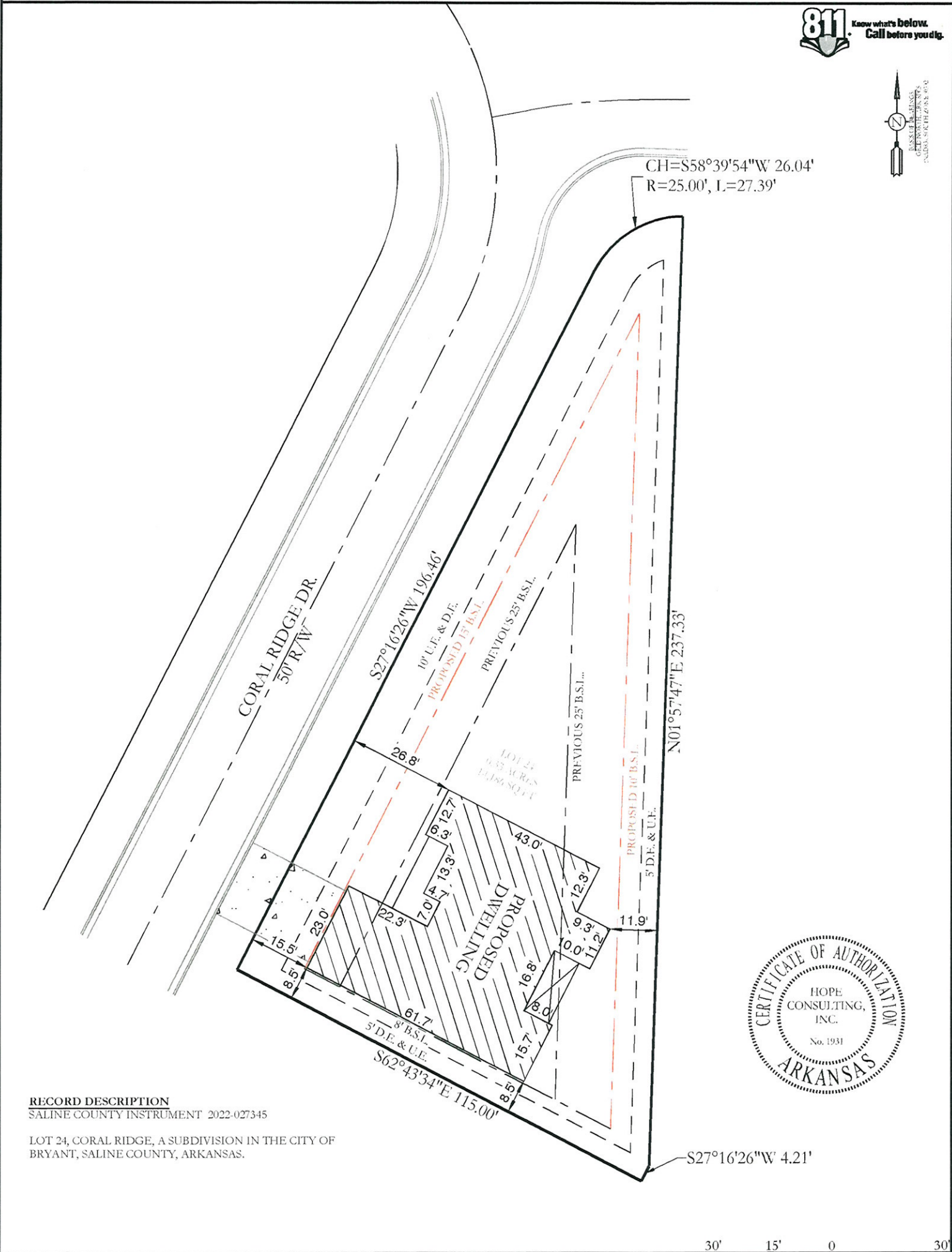
Application Checklist

Requirements for Submission

- Letter Stating Request and outlining the variance that is requested
- Completed Variance Application
- Submit Variance Application Fee (\$40.00 for Lot and Block Description, \$125.00 for Metes and Bounds descriptions)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Site Plan showing:
 - Specific area(s) on site requesting Variance
 - Location, Size of buildings and use of land or improvements
 - Location and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing landscaping
 - Scale, North Arrow, Vicinity Map

Once the application has been filed, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will be placed on the agenda for application acceptance.

Note: that this is not an exhaustive guideline regarding the Board of Adjustment. Additional information is available in the Bryant Zoning Ordinance.



RECORD DESCRIPTION
 SALINE COUNTY INSTRUMENT 2022-027345

LOT 24, CORAL RIDGE, A SUBDIVISION IN THE CITY OF
 BRYANT, SALINE COUNTY, ARKANSAS.

30' 15' 0 30'



By affixing my seal and signature, I, Corbitt Shoffner, PS No. 1664, hereby certify that this drawing correctly depicts a survey compiled under my supervision. This survey is for the exclusive use and benefit of parties shown hereon. Use or duplication of this document by any other parties is prohibited and voids said document. This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year flood plain, according to the Flood Insurance Rate Map, panel # 05125C0225E, dated: 06/05/2022.

For the Exclusive Use and Benefit of:

Oltman's Development, Inc.
 Address Lot 24 Coral Ridge Dr.
 Bryant, AR Date 12/21/2022

LEGEND

- △ - Computed Point
- - Found monument
- ⊙ - Set 1/2" Rebar #1664
- (M) - Measured
- (D/P) - Record

Drawn By MD
 Checked By WCS

500	01S	14W	0	07	130	62	1664
-----	-----	-----	---	----	-----	----	------

HOPE
CONSULTING
ENGINEERS - SURVEYORS

December 21, 2022

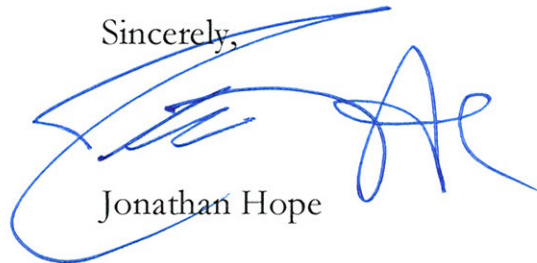
City of Bryant Board of Zoning Adjustments
210 Southwest Third St., Bryant, AR 72022

Dear Board Members,

We would like to request a variance for Lot 18, Coral Ridge Subdivision in Bryant, on behalf of the owner Oltman's Development, Inc. We would like to request that the front setback be reduced to 12' and the rear setback be reduce to 20'.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope

129 North Main St. Benton, Arkansas 72015

www.hopeconsulting.com

(P) 501-315-2626

(F) 501-315-0024



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Variance Application

Applicants are advised to read the Board of Adjustment and Variances section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 12/21/22

Applicant or Designee:

Name JONATHAN HOPE

Address 129 N. MAIN ST., BENTON

Phone 501-315-2626

Email Address: JONATHAN@HOPECONSULTING.COM

Project Location:

Property Address LOT 18 CORAL RIDGE DR.

BRYANT, AR.

Parcel Number LOT 18

Zoning Classification R-2

Property Owner (If different from Applicant):

Name OLTMAN'S DEVELOPMENT, INC.

Phone _____

Address 1930 N. REYNOLDS RD. UNIT 1P, BRYANT

Email Address JEREMIAH.OLTMANS@CRYE-LEIKE.COM

Additional Information:

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CITY OF BRYANT, SALINE COUNTY, ARKANSAS

Description of Variance Request (Attach any necessary drawings or images)

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THE REAR SETBACK TO 20'

Proposed Use of Property R-2

Application Checklist

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- Letter Stating Request and outlining the variance that is requested
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- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Site Plan showing:
 - Specific area(s) on site requesting Variance
 - Location, Size of buildings and use of land or improvements
 - Location and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing landscaping
 - Scale, North Arrow, Vicinity Map

Once the application has been filed, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will be placed on the agenda for application acceptance.

Note: that this is not an exhaustive guideline regarding the Board of Adjustment. Additional information is available in the Bryant Zoning Ordinance.

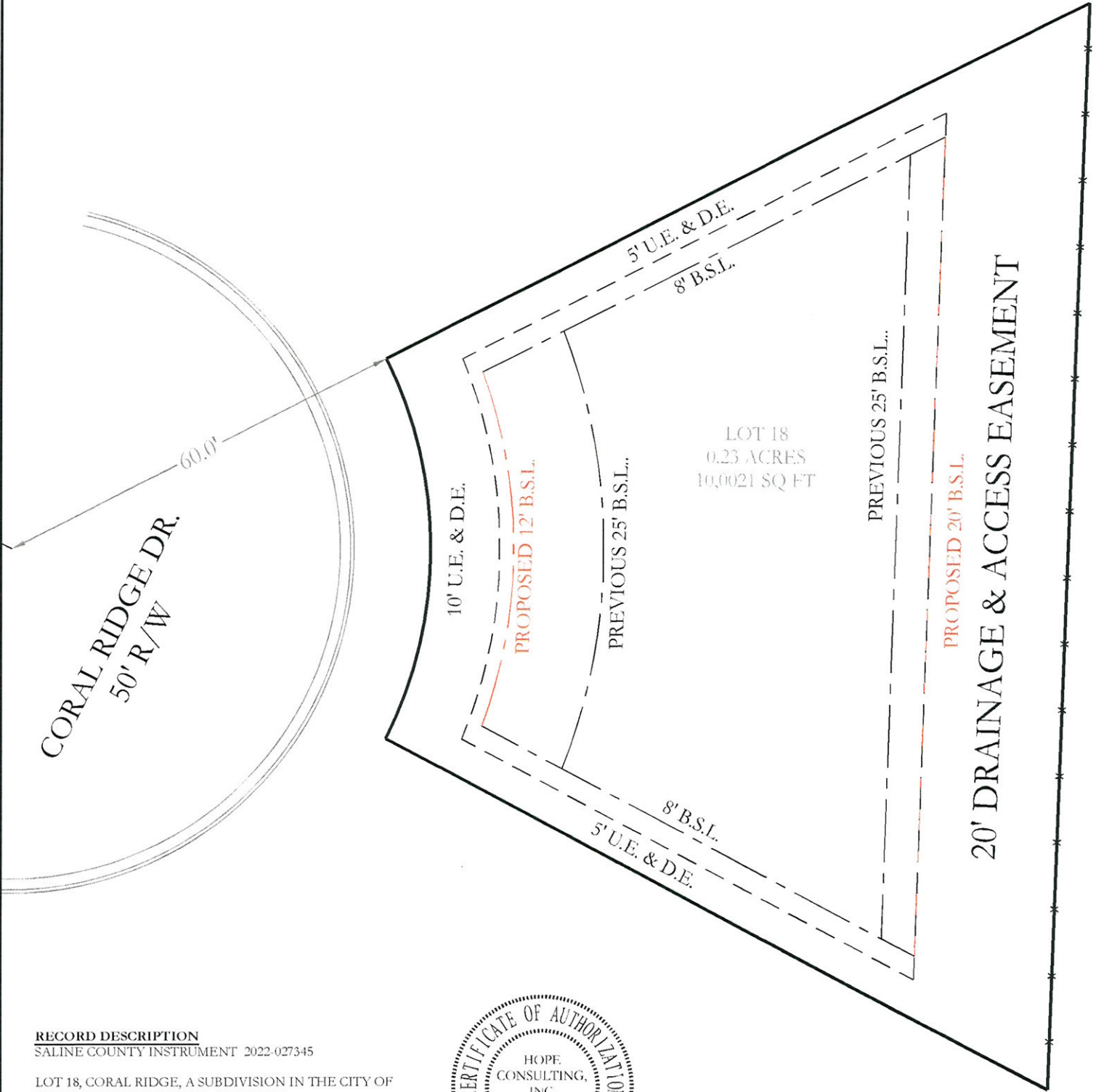
NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, _____ at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a variance request at the site of
_____ (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*



RECORD DESCRIPTION
 SALINE COUNTY INSTRUMENT 2022-027345

LOT 18, CORAL RIDGE, A SUBDIVISION IN THE CITY OF
 BRYANT, SALINE COUNTY, ARKANSAS.



20' 10' 0 20'



By affixing my seal and signature, I, Corbitt Shottner, PS No. 1664, hereby certify that this drawing correctly depicts a survey compiled under my supervision. This survey is for the exclusive use and benefit of parties shown hereon. Use or duplication of this document by any other parties is prohibited and voids said document. This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year flood plain, according to the Flood Insurance Rate Map, panel # 05125C0225E, dated: 06/05/2022.

For the Exclusive Use and Benefit of:

Oltman's Development, Inc.
 Address Lot 18 Coral Ridge Dr.
Bryant, AR Date 12/21/2022

- LEGEND**
- △ - Computed Point
 - - Found monument
 - ⊙ - Set 1/2" Rebar #1664
 - (M) - Measured
 - (D/P) - Record

Drawn By MD
 Checked By WCS

ORIGINAL SIGNATURE ON FILE

500 01S 14W 0 07 130 62 1664

HOPE

CONSULTING

ENGINEERS - SURVEYORS

129 North Main Street, Benton, AR 72015 * 501-315-2626 * Fax 501-315-0024

Wednesday, December 21, 2022

Truett Smith
Community Development Director
City of Bryant
210 SW 3rd Street
Bryant, AR 72022

RE: Cornerstone Montessori Christian Academy
Hope Project No. 20-0673

Mr. Smith,

Following are the comments from the November 3rd Bryant DRC meeting and my responses.

1. Minimum Stormwater In-Lieu fee will be required. [Acknowledged.](#)
2. When relocating the 8" force main, show upsize to 12" from property line to property line. [Previously, we were told to only provide an easement for the future force main.](#)
3. Erosion Control Plan will be required to be updated to show use of wire mesh backed silt fence, currently it shows no wire backed silt fence. [Detail and note updated.](#)
4. ADA parking spaces needed in the lot with sidewalks to the building. [ADA spaces are shown.](#)
5. Discuss possible striping of the road (Springhill Road) to include a turn lane coming South or a deceleration lane going North. [Discussions at DRC concluded there isn't room for either.](#)
6. Dumpster Enclosure. [Details added for dumpster enclosure.](#)
7. Add wording on plans that the dumpster enclosure will be made of non-fencing materials. [Note added.](#)
8. Provide elevations with façade materials shown for the new building. [Architect is providing.](#)
9. Landscape Plan. [Landscape Plan included.](#)
10. The Fire Department Access Road shall be 26' wide, 10' in either direction of the fire hydrant. See the diagram shown in the D103.1 of 2012 Arkansas Fire Prevention Code. [Drive is 26' feet wide in excess of 10 feet in either direction of the fire hydrant.](#)

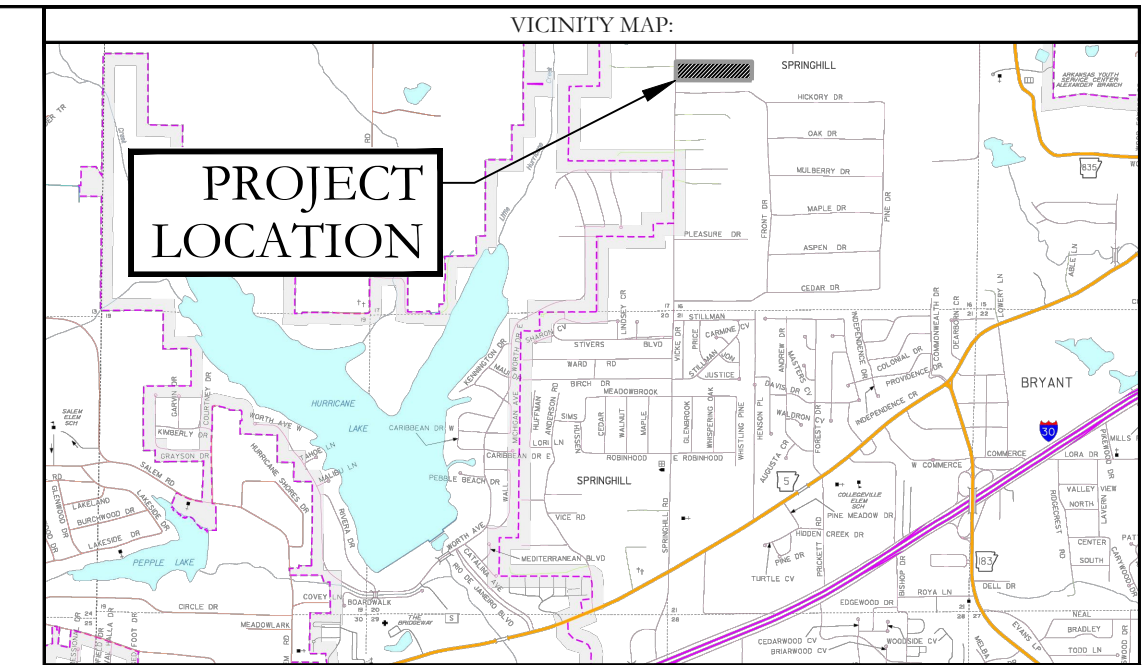
We are hereby requesting your review and approval of this project.

Sincerely,



William McFadden, PE CFM
Project Engineer

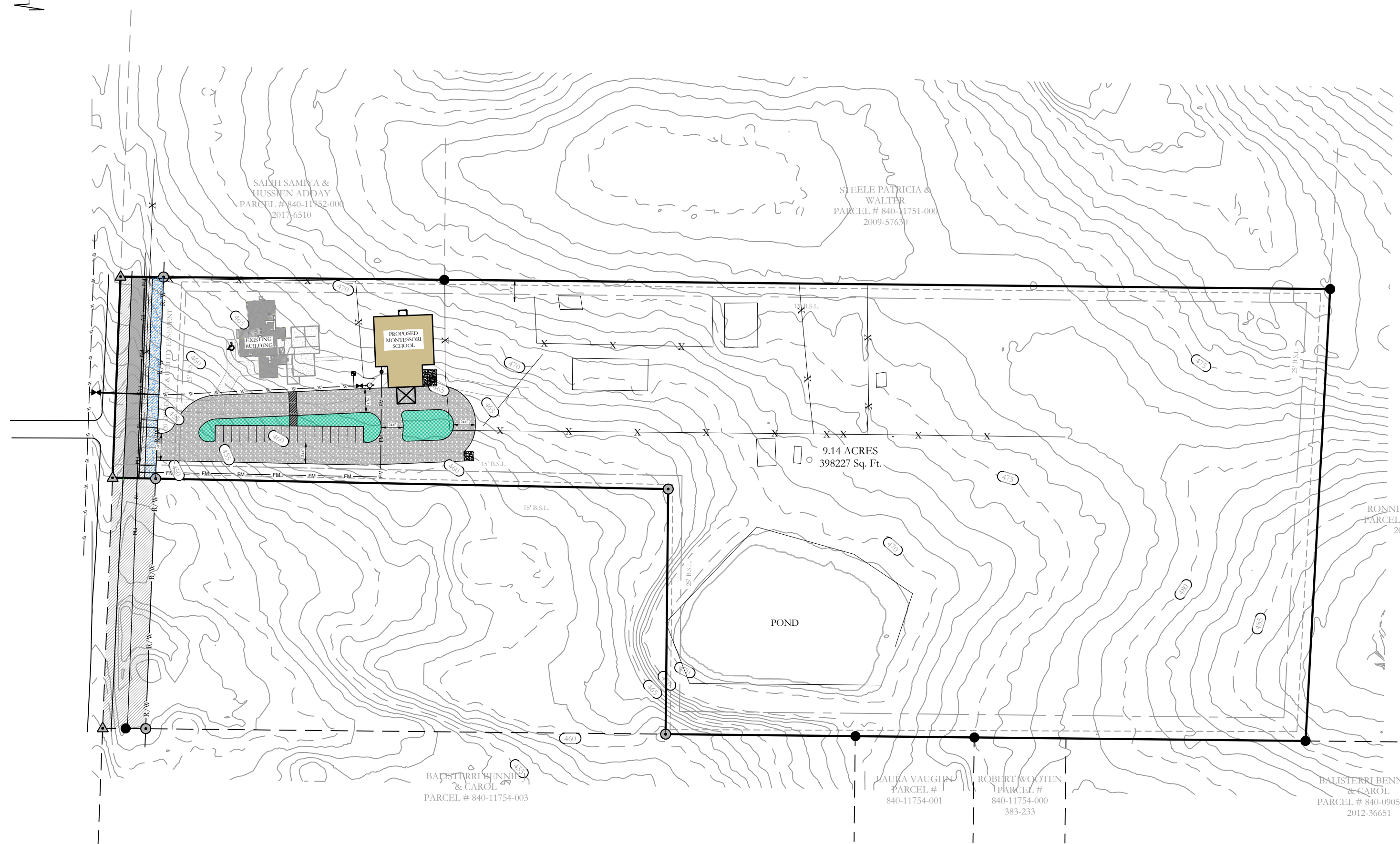
FIP
NW CORNER NW 1/4 NW 1/4
SECTION 16, T-01-S, R-14-W



PROJECT
LOCATION

UTILITY PLAN LEGEND

- WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- S— SANITARY SEWER LINE
- W— WATER LINE
- ⊙ SEWER MANHOLE
- ⊕ SANITARY SEWER CLEANOUT



RONNIE I
PARCEL #
2020

BALISTERRI BENNIE
& CAROL
PARCEL # 840-11754-003

LAUKA VAUGHN
PARCEL #
840-11754-001

ROBERT WOOTEN
PARCEL #
840-11754-000
383-233

BALISTERRI BENNIE
& CAROL
PARCEL # 840-09050-0
2012-36651

LEGAL DESCRIPTION:

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 16, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER, THENCE S2°15'35"W ALONG WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 819.14 FEET TO THE POINT OF BEGINNING; THENCE S89°26'33"E, A DISTANCE OF 353.66 FEET TO A FOUND IRON PIN AT THE SOUTHEAST CORNER OF LAND DESCRIBED IN INSTRUMENT #2017-006510 FILED IN SALINE COUNTY, ARKANSAS; THENCE ALONG THE SOUTH PROPERTY LINE OF LAND DESCRIBED IN INSTRUMENT #2009-57630 FILED IN SALINE COUNTY, ARKANSAS, S89°23'57"E, A DISTANCE OF 967.93 FEET TO A 3/4" FOUND IRON PIN WITH CAP #128 ON THE WEST PROPERTY LINE OF LANDS OWNED BY RONNY BROADWAY DESCRIBED INSTRUMENT #2020-017777 FILED IN SALINE COUNTY, ARKANSAS; THENCE LEAVING SAID SOUTH LINE ALONG THE WEST LINE OF BROADWAY, S03°06'57"W, A DISTANCE OF 494.53 FEET TO A 3/4" REBAR AND THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY DOCUMENT #2012-36651; THENCE N89°23'43"W, A DISTANCE OF 1313.94 FEET ALONG THE NORTH LINE OF LANDS OWNED BY BALISTERRI, WOOTEN AND VAUGH; THENCE N02°15'55"E, A DISTANCE OF 493.91 FEET TO THE POINT OF BEGINNING, CONTAINING 14.71 ACRES, MORE OR LESS.

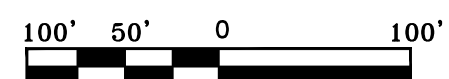
A PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN THE 100 YEAR FLOODPLAIN, ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL #05125C0225E, DATED: 6/5/2020.

BUILDING SETBACKS:
FRONT - 25' OR AS SHOWN
REAR - 25' OR AS SHOWN
SIDE - 15' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 15' OR AS SHOWN
REAR - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN
LOT CORNERS: SET 1/2" REBAR WITH CAP

SOUND IN PAVEMENT
SW CORNER SW 1/4 SW 1/4
SECTION 16, T-01-S, R-14-W

BASIS OF BEARINGS:
GRID NORTH ARKANSAS
COORDINATE SYSTEM,
SOUTH ZONE BY G.P.S.
OBSERVATIONS



SITE PLAN
NUCKOLS ESTATES
A SUBDIVISION, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS



- LEGEND
- ⊕ - Found Aliquot Corner
 - - Found monument
 - ⊙ - Set 1/2" Rebar
 - ⊕ - Computed point
 - (M) - Measured
 - (P) - Plat/Deed
 - - Fence

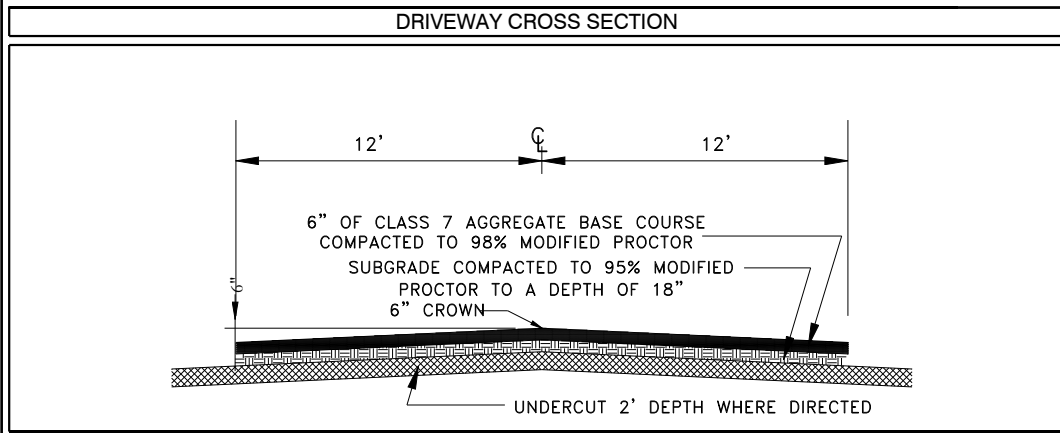
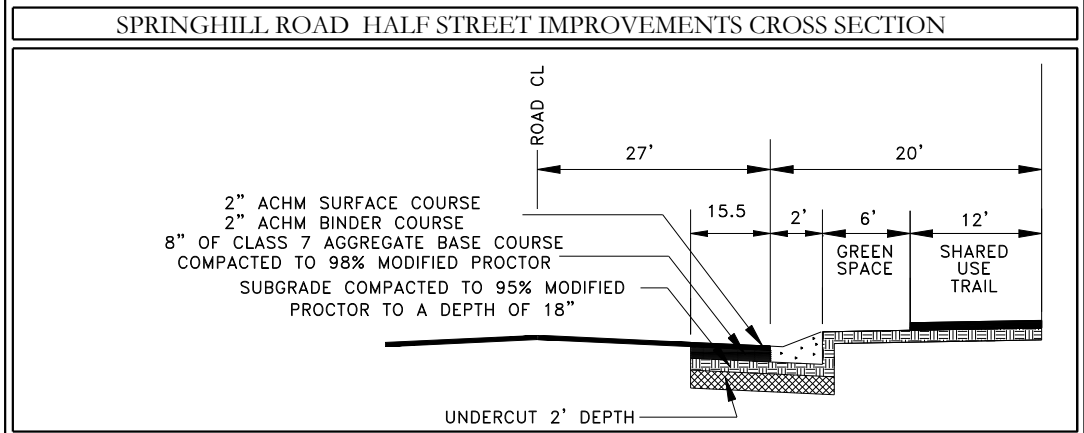
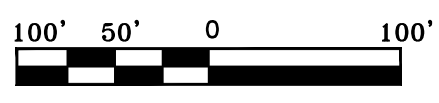
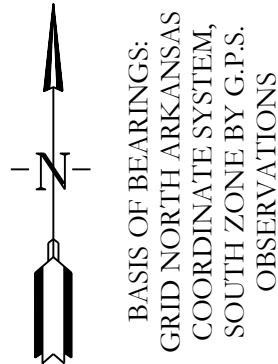
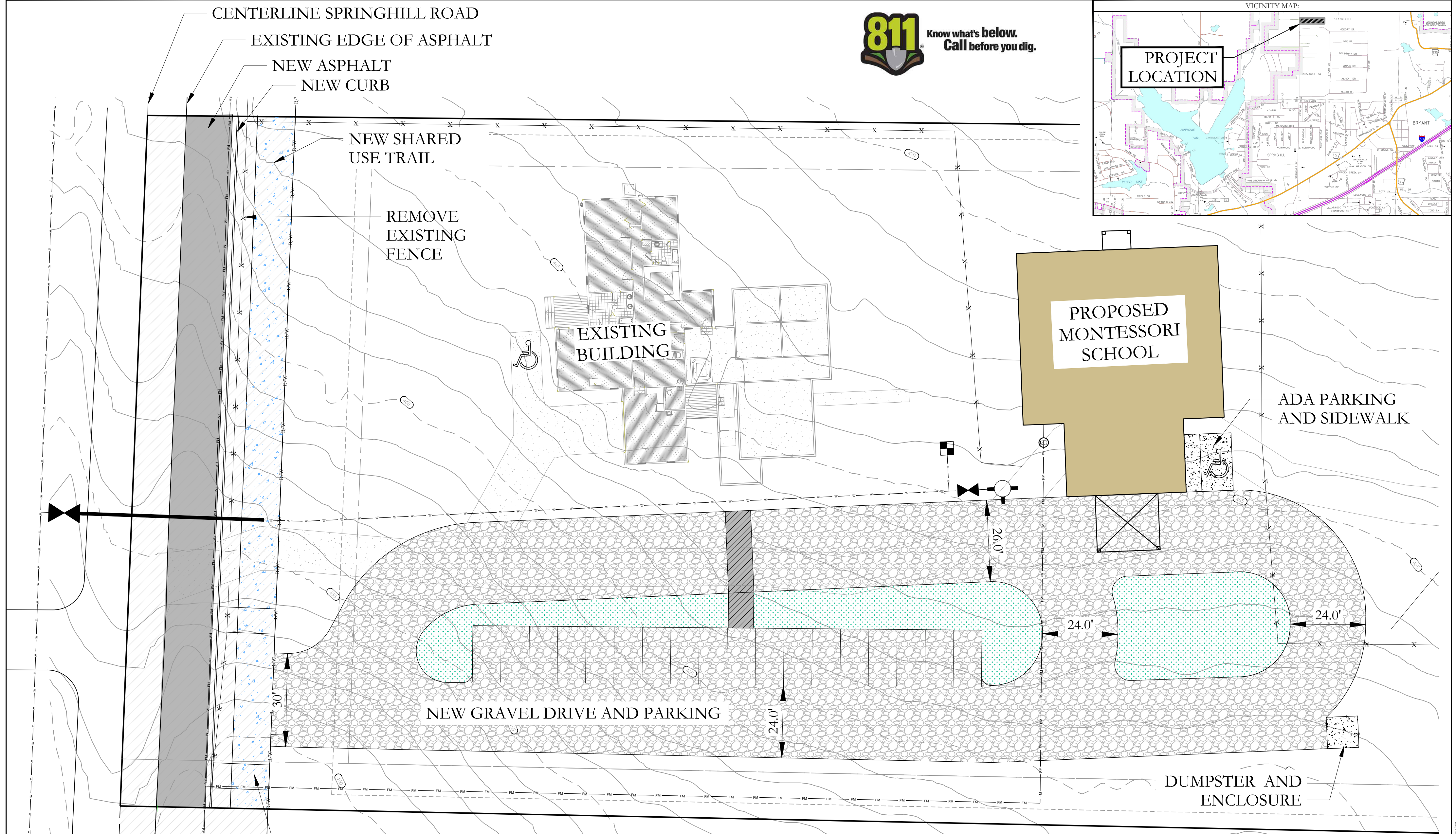
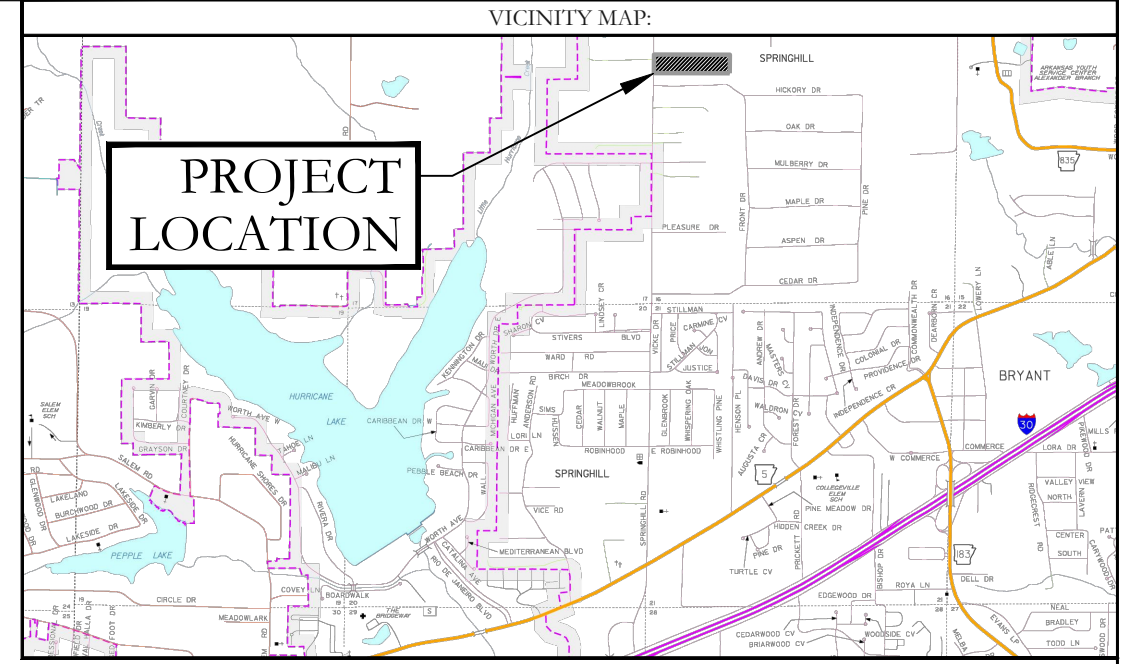
HOPE CONSULTING
ENGINEERS - SURVEYORS

129 North Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

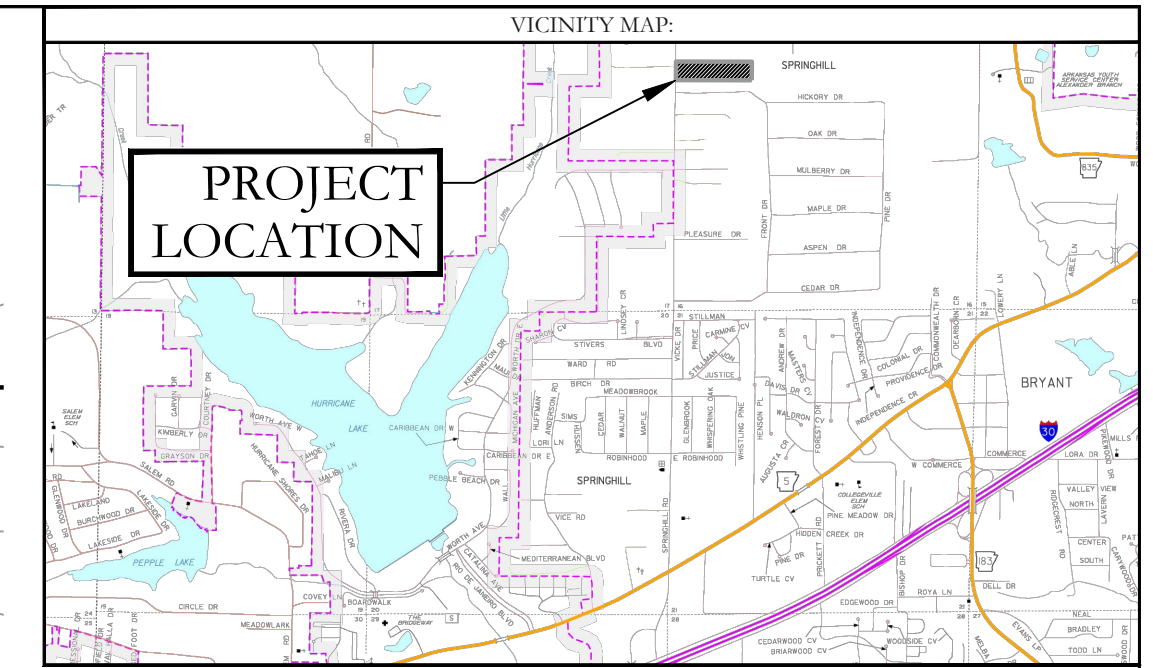
SITE PLAN
CORNERSTONE
CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	12/21/2022	C.A.D. BY:	BJOHNSON	DRAWING NUMBER:	
REVISED:		CHECKED BY:		20-0673	
SHEET:	500	SCALE:	1" = 100'		
	01S	14W	0 16	400	62 1762



HOPE CONSULTING ENGINEERS - SURVEYORS		129 North Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: SHANNON NUCKOLS			
CONSTRUCTION PLAN CORNERSTONE BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 12/21/2022	C.A.D. BY: BJOHNSON	DRAWING NUMBER:	
REVISED:	CHECKED BY:	20-0673	
SHEET: 500	SCALE: 1" = 100'		
01S	14W	0	16
400	62	1762	

K:\Land Projects\2019\Survey\2020\20-0673 M&S\Site_010_Springhill Road\21-0673_Site_Plan-06-28-22.dwg - 12/21/2022



NEW 20 FT WIDE EASEMENT FOR FUTURE 12 INCH SEWER FORCE MAIN

DUPLEX GRINDER PUMP STATION AND 1-1/4" FORCE MAIN

6X6 TAPPING SLEEVE AND 6" GATE VALVE

60 LF 12" STEEL ENCASEMENT

PROPOSED MONTESSORI SCHOOL

NEW GRAVEL DRIVE AND PARKING

DUMPSTER AND ENCLOSURE

8X2 TAPPING SLEEVE AND 2" GATE VALVE AND 2X1-1/4 REDUCER

BASIS OF BEARINGS:
GRID NORTH ARKANSAS
COORDINATE SYSTEM,
SOUTH ZONE BY G.P.S.
OBSERVATIONS



UTILITY PLAN LEGEND

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SANITARY SEWER LINE
- WATER LINE
- SEWER MANHOLE
- SANITARY SEWER CLEANOUT

HOPE
CONSULTING
ENGINEERS - SURVEYORS

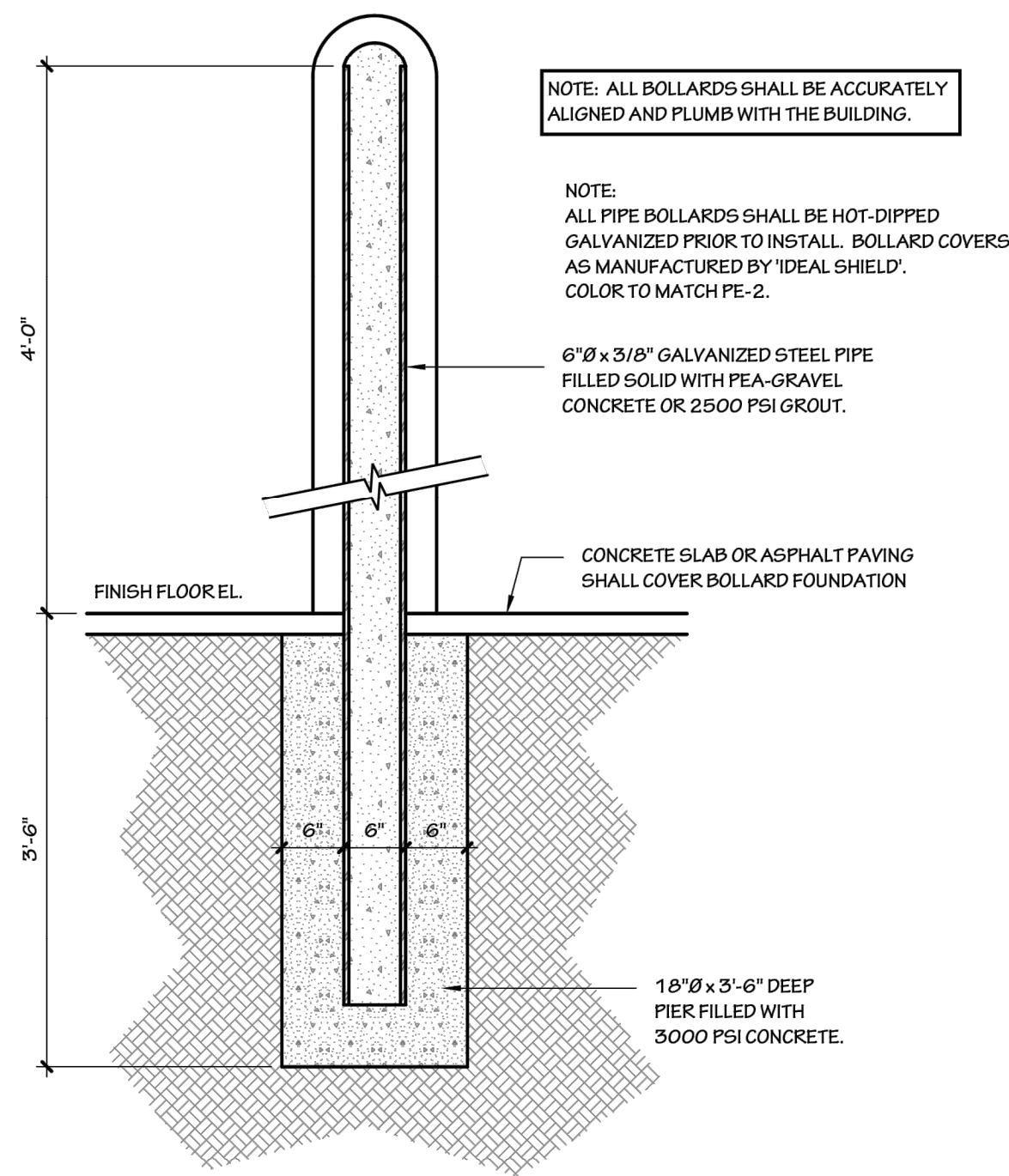
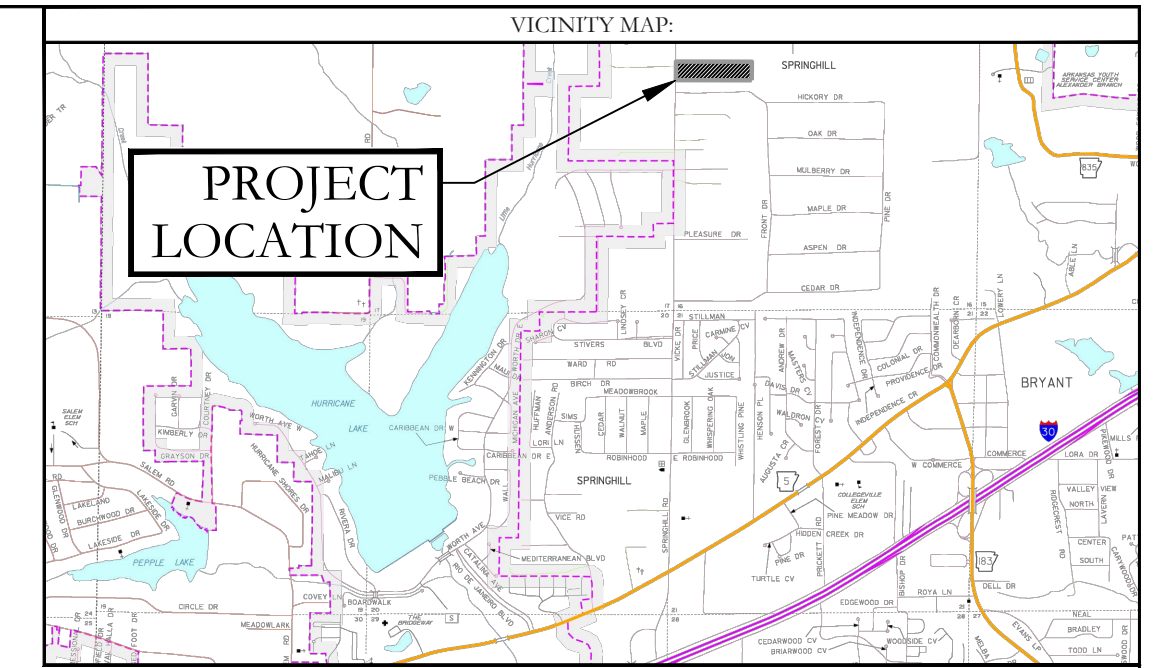
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FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

**UTILITY PLAN
CORNERSTONE**

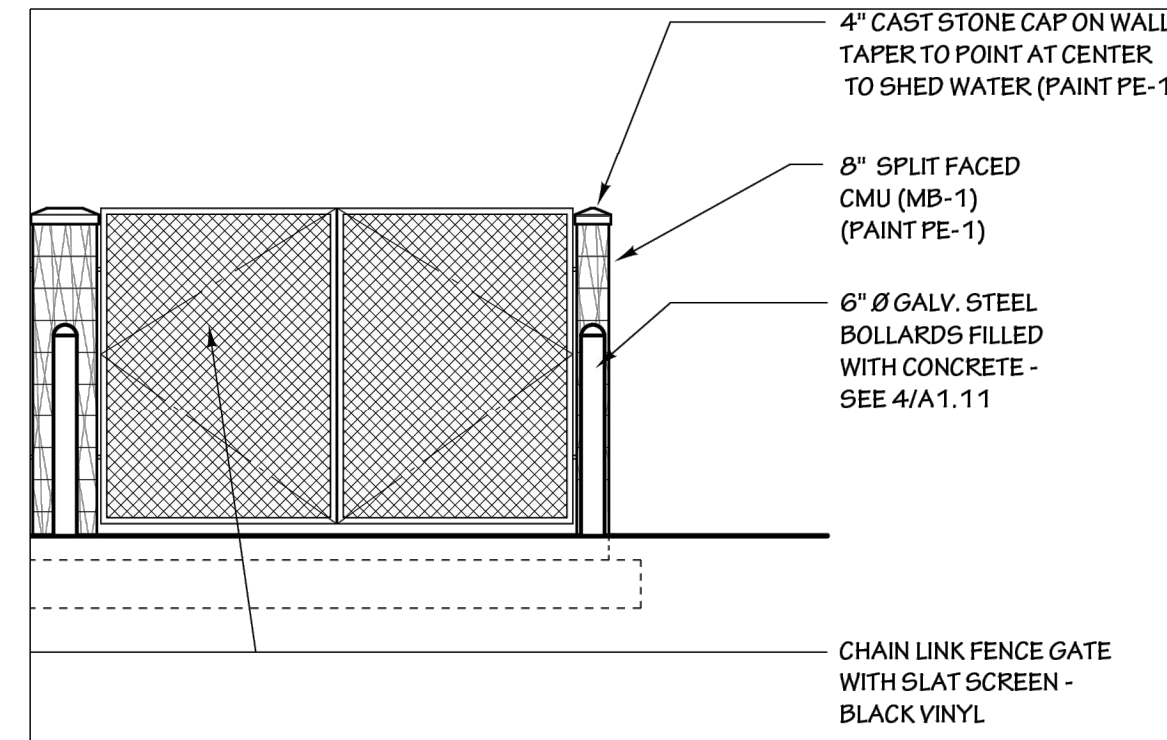
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	12/21/2022	C.A.D. BY:	B. JOHNSON	DRAWING NUMBER:	
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SHEET:		SCALE:	1" = 100'		
500	01S	14W	0 16	400	62 1762



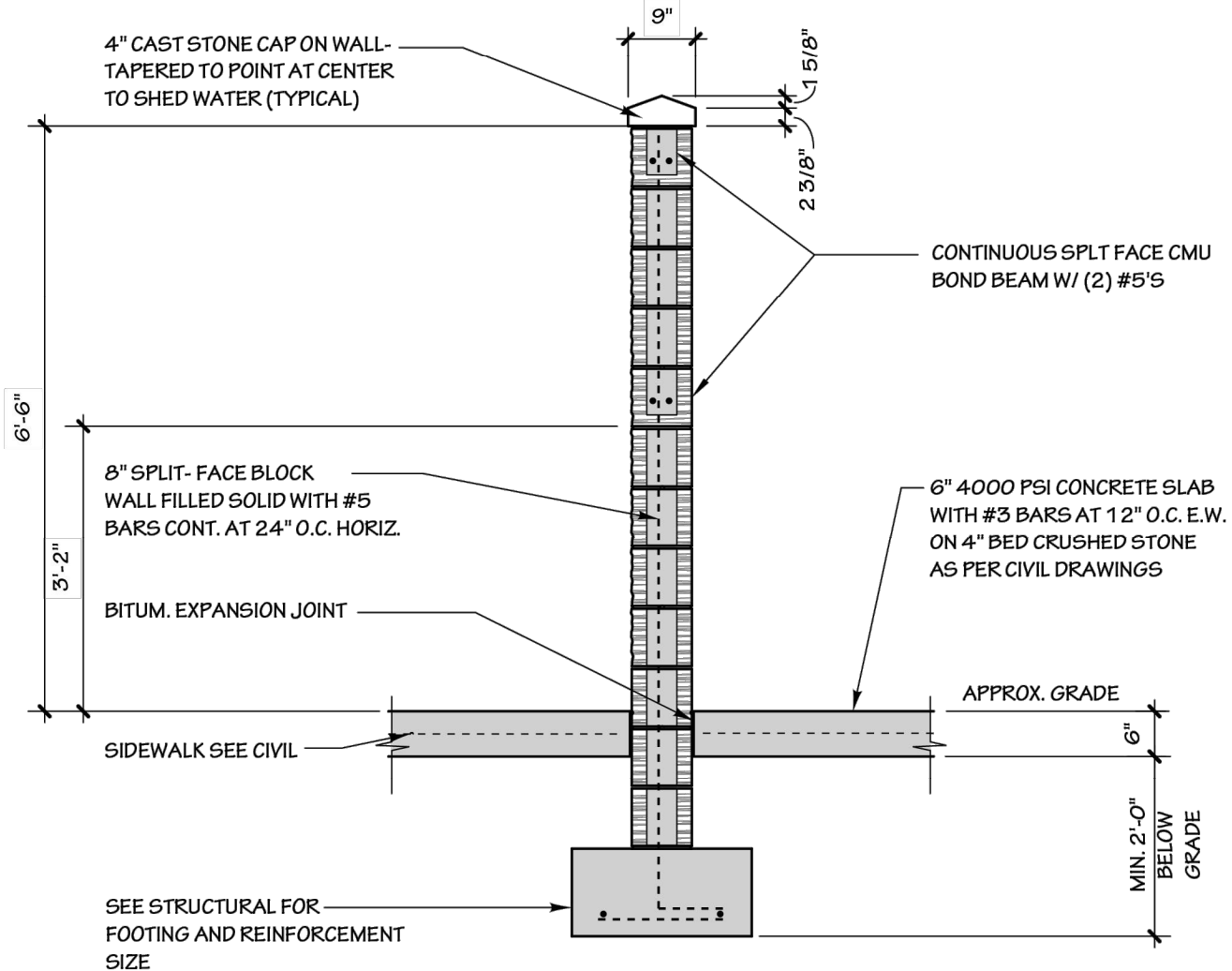
SECTION DETAILS AT PIPE BOLLARD

Scale: 1 1/2" = 1'-0"



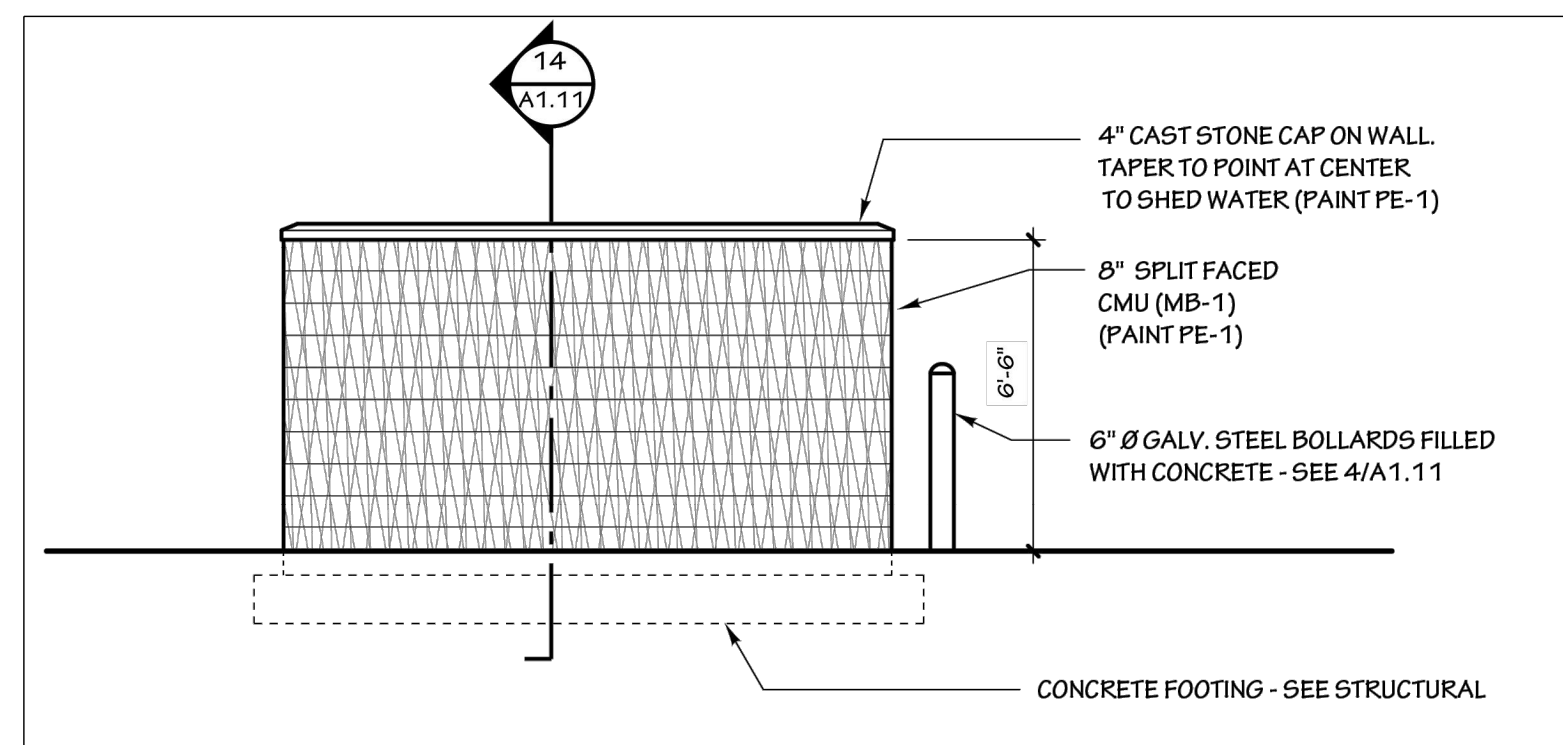
FRONT ELEVATION

Scale: 1/4" = 1'-0"



TRASH ENCLOSURE WALL DETAIL

Scale: 1/2" = 1'-0"



SIDE ELEVATION

Scale: 1/4" = 1'-0"

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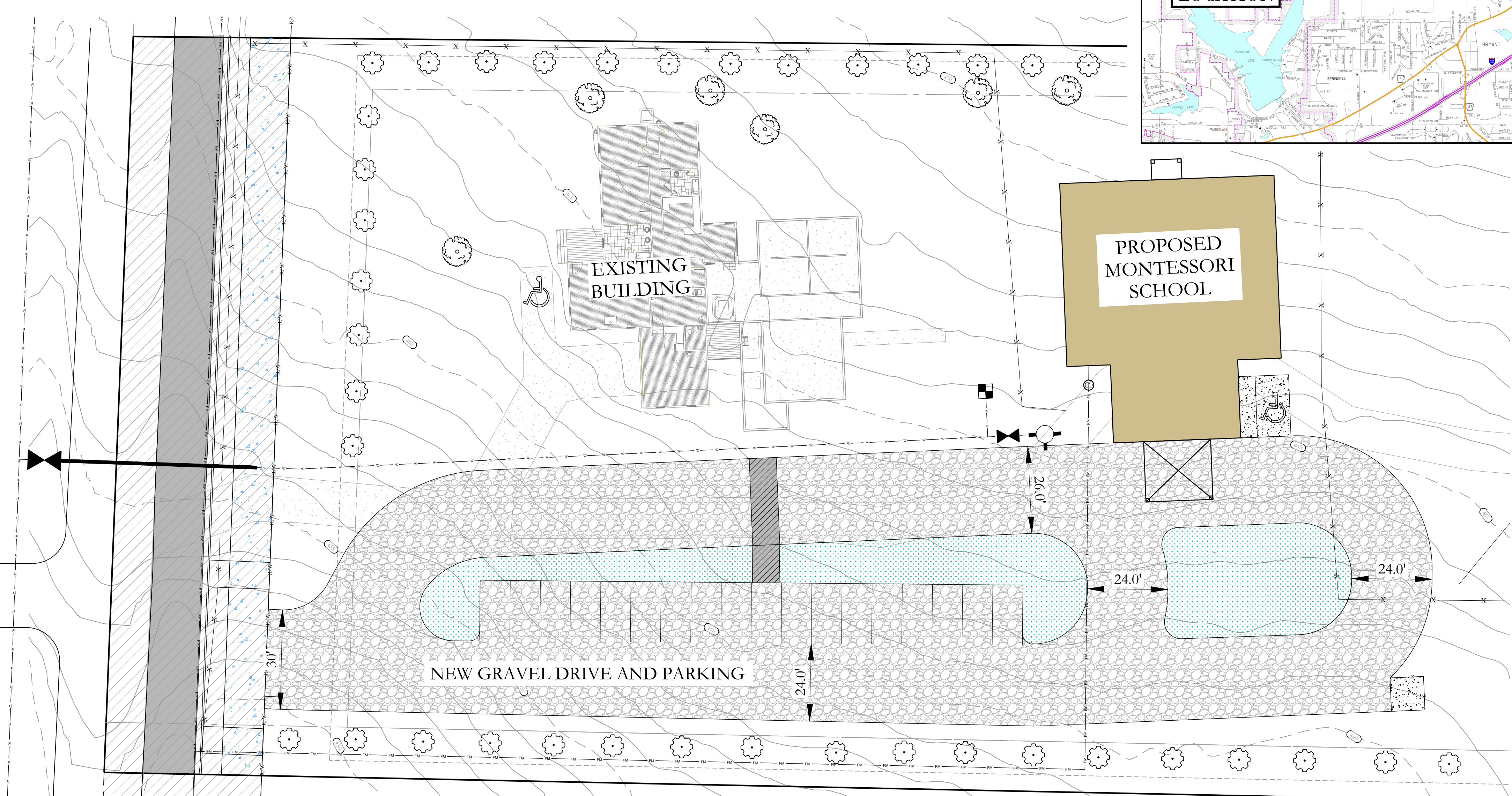
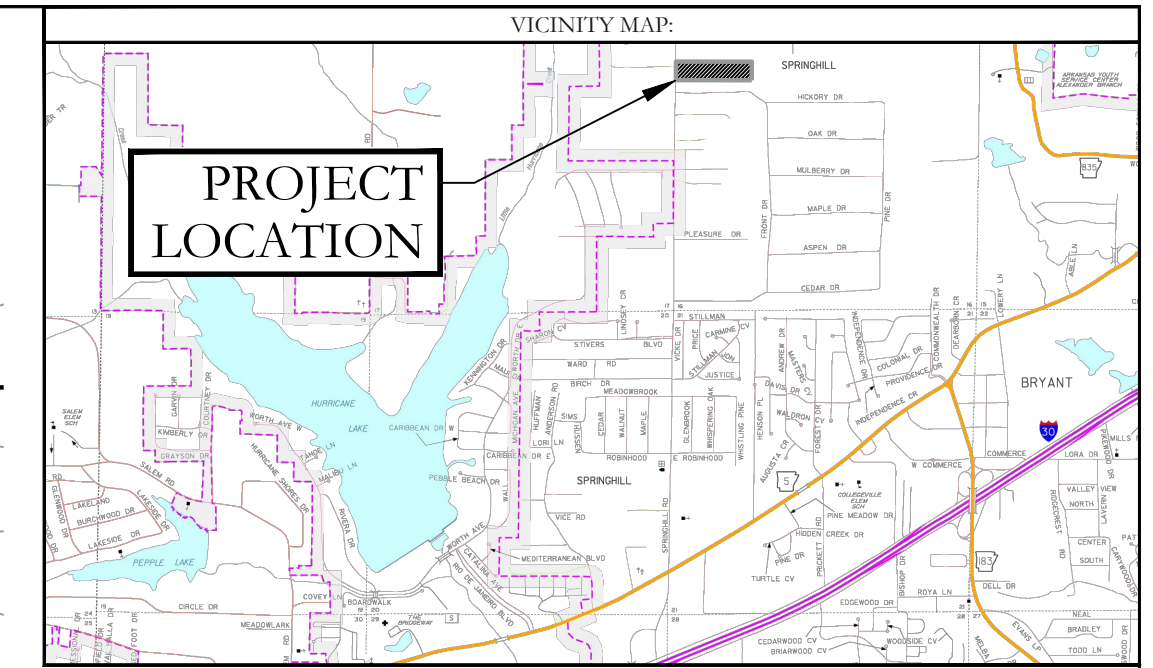
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DUMPSTER ENCLOSURE DETAILS
CORNERSTONE

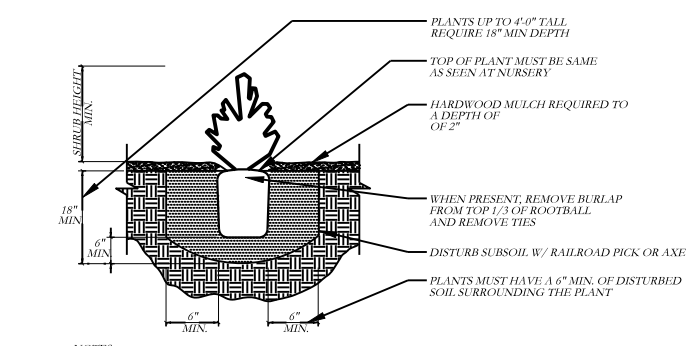
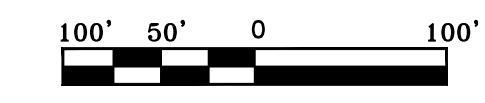
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	12/21/2022	C.A.D. BY:	BJOHNSON	DRAWING NUMBER:	
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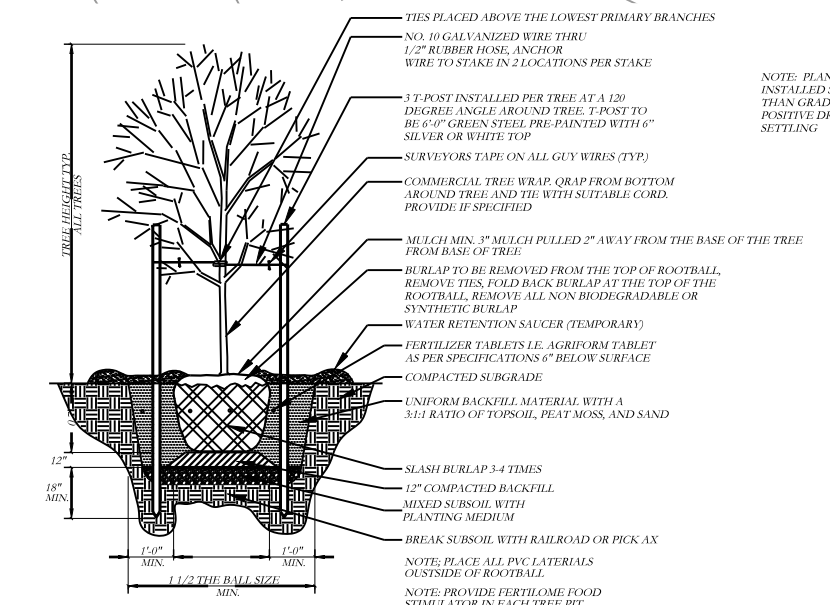


MAINTENANCE OF LANDSCAPING
 THE OWNER, TENANT, OR AGENT, IF ANY SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS. REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM WEEDS AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

BASIS OF BEARINGS:
 GRID NORTH ARKANSAS
 COORDINATE SYSTEM,
 SOUTH ZONE BY G.P.S.
 OBSERVATIONS



2 SHRUB PLANTING DETAIL
 NOTES:
 1. PROVIDE WEED CONTROL AND/OR FERTILIZER AS SPECIFIED BELOW.
 2. WEED CONTROL AND FERTILIZER MAY BE APPLIED AT A LATER DATE TO COORDINATE WITH SEASONAL CONCERNS AND THE GROWING PERIOD.
 3. PROVIDE AGRIFORM TABLETS AS PER MANUFACTURER'S RECOMMENDATIONS.
 4. PROVIDE BURLAP BACKRIP PLANTING MEDIUM TO BE 18" DEEP.
 5. PROVIDE FERTILIZER AND/OR OTHER APPLIED SOIL AMENDMENTS AS PER THE FERTILIZER RATE STUDY OR APPROVED LOCAL EXPERTS.
 6. APPLY BURLAP IMMEDIATELY TO THE TOP OF THE PLANTING MEDIUM.
 7. TREATMENT ON ALL SHRUBS AND GROUND COVER SHRUBS.



1 TREE PLANTING DETAIL
 NOTES:
 1. THIS IS PLACED ABOVE THE LOWEST PRIMARY BRANCHES.
 2. 3/8" GALVANIZED WIRE TIE: 1/2" RUBBER FOAM ANCHOR WIRE TO STAKE IN LOCATIONS PER STAKE.
 3. 1/2" POST INSTALLED PER TREE AT A 45° DRUGGLE ANGLE AROUND TREE. TIE TO BE 6" GARDEN STEEL PREPUNTED WITH 6" SILVER OR WHITE TOP.
 4. SURVEYORS TAP ON ALL GUY WIRES (TYP).
 5. COMMERCIAL TREE WRAP: GRAP FROM BOTTOM AROUND TREE AND THE WITH SECURABLE CORD PROVIDE IF SPECIFIED.
 6. MULCH: 3" MULCH PULLED 2" AWAY FROM THE BASE OF THE TREE FROM BASE OF TREE.
 7. BURLAP TO BE REMOVED FROM THE TOP OF ROOTBALL REMOVE THIS FOLD BACK BURLAP AT THE TOP OF THE ROOTBALL REMOVE ALL NON-Biodegradable OR SYNTHETIC BURLAP.
 8. WATER RETENTION SALT (IF SPECIFIED).
 9. FERTILIZER TABLETS: AGRIFORM TABLET AS PER SPECIFICATIONS 6" BELOW SURFACE.
 10. COMPACTED SUBGRADE.
 11. UNDERBURLAP MATERIAL WITH A 3/4" RATIO OF TOPSOIL, PEAT Moss, AND SAND.
 12. SLASH BURLAP 3-4 TIMES.
 13. 2" COMPACTED BACKFILL.
 14. 18" DEEP BURLAP WITH PLANTING MEDIUM.
 15. BURLAP SURROUND WITH RAILROAD PICK OR AXE.
 16. NOTE: PLACE ALL PVC LATERALS UNDER BURLAP.
 17. NOTE: PROVIDE FERTILIZER FOOD STIMULATOR ON EVERY TREE PLANT.

LANDSCAPE LEGEND			
COMMON NAME	SCIENTIFIC NAME	HEIGHT AT MATURITY	QTY (REQUIRED)
EVERGREEN/ 2000SF	CHOOSE FROM LIST OF SPECIES INCLUDED IN CITY OF BRYANT LANDSCAPING CODE		38
SHRUBS			
COMPACTA HOLLY - 6" OC - 5 GAL	ILEX CRENATA	6'-0"	0
CANOPY TREE	CHOOSE FROM LIST OF SPECIES INCLUDED IN CITY OF BRYANT LANDSCAPING CODE		6
SOD	BERMUDA		4300.0 SF
PLANTERS	N/A		0

HOPE CONSULTING
 ENGINEERS - SURVEYORS

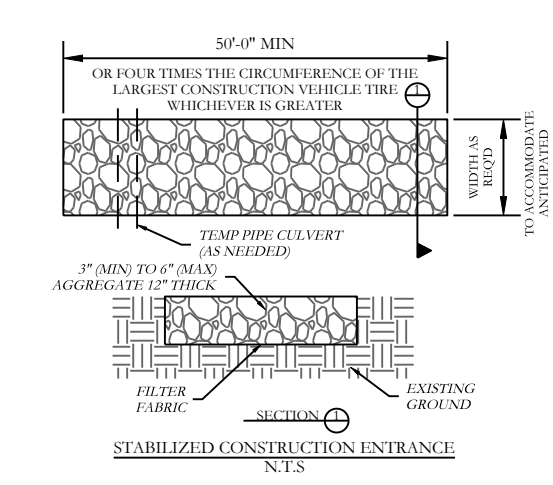
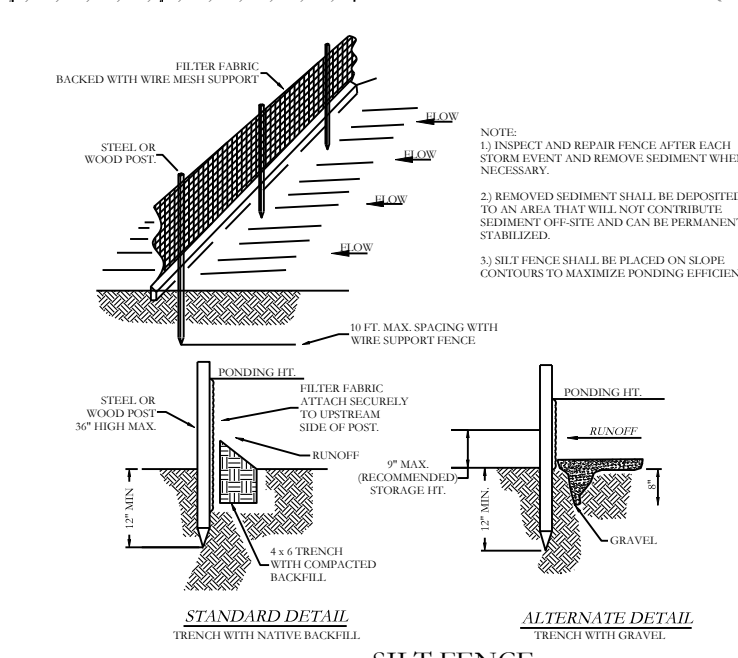
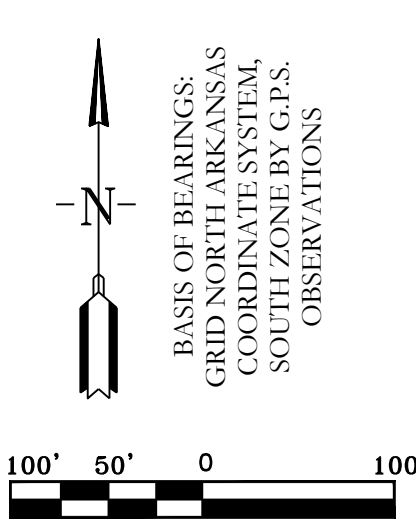
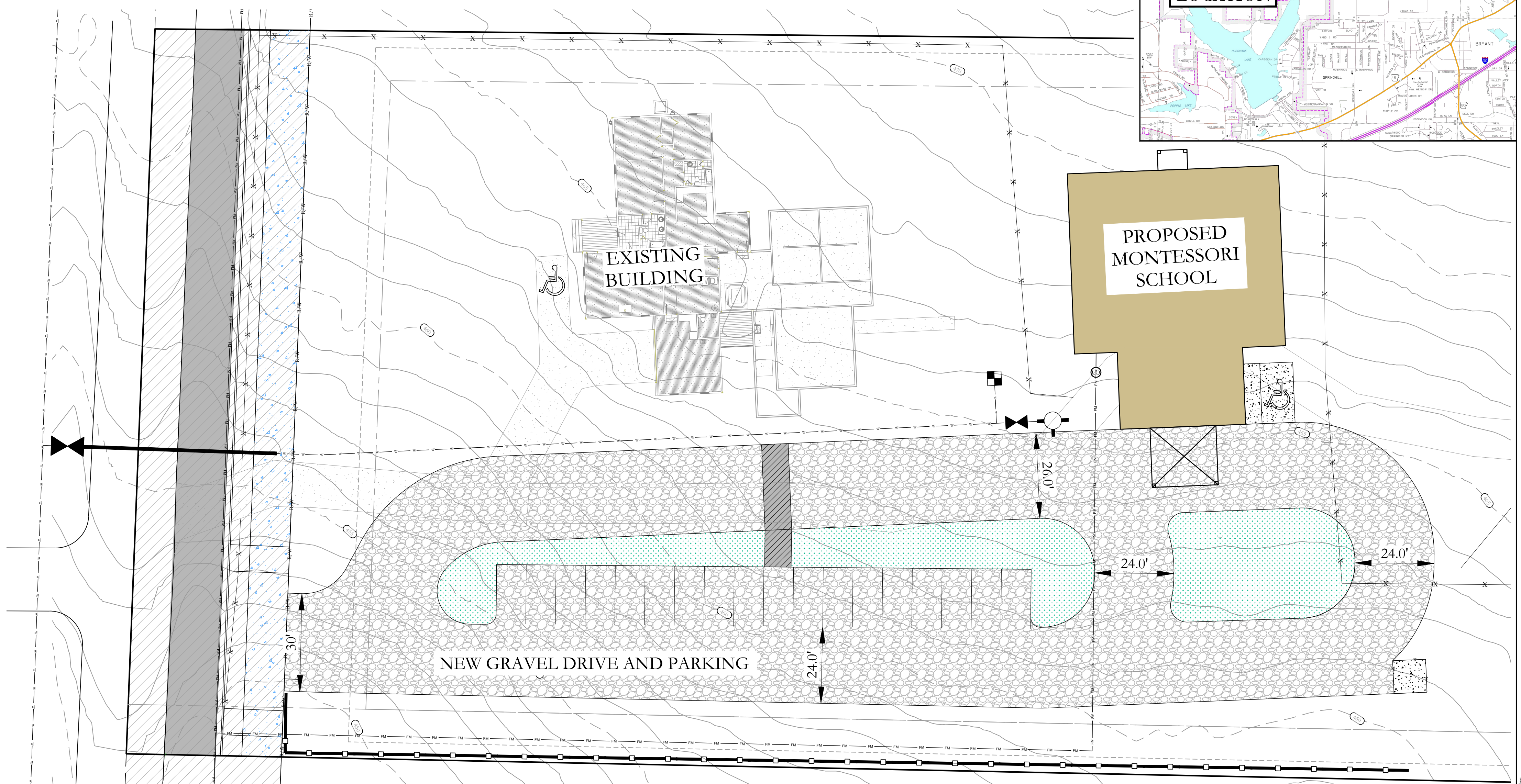
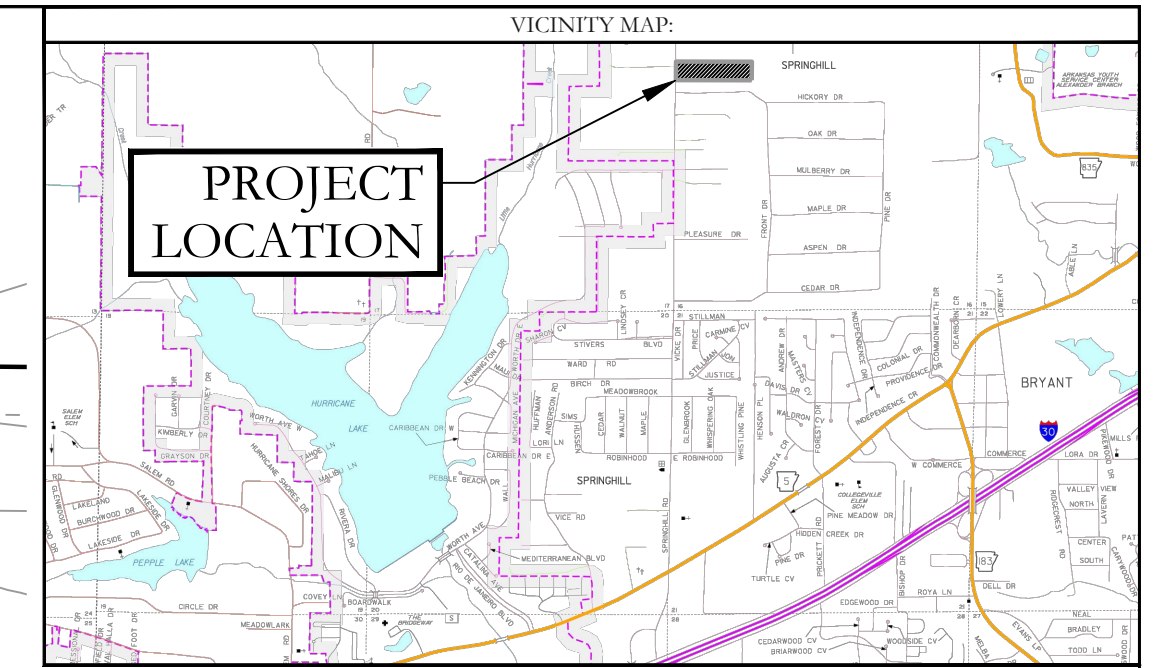
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 Benton, Arkansas 72015
 PH. (501)315-2626
 FAX (501) 315-0024
 www.hopeconsulting.com

FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

LANDSCAPE PLAN
CORNERSTONE
 BRYANT, SALINE COUNTY, ARKANSAS

DATE:	12/21/2022	C.A.D. BY:	BJOHNSON	DRAWING NUMBER:	
REVISED:		CHECKED BY:		20-0673	
SHEET:	500	SCALE:	1" = 100'		

500 01S 14W 0 16 400 62 1762



ORDINANCE NO. 2019-32 ARTICLE IV. (2)(J):
 DEADLINES FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN FORTY-EIGHT (48) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED.
 DEADLINES FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY PERMANENTLY CEASES. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.

ERC LEGEND

	SITE POSTING/RAIN GAUGE
	CONC. WASHOUT DETENTION AREA
	SILT FENCE
	RIP RAP CHECK DAM
	CONSTRUCTION ENTRANCE
	DISTURBED AREA
	TRASH CONTAINER
	PORTABLE TOILET

HOPE CONSULTING
ENGINEERS - SURVEYORS

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FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

**EROSION CONTROL PLAN
CORNERSTONE**
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 12/21/2022	C.A.D. BY: BJOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	20-0673
SHEET: 500	SCALE: 1" = 100'	

K:\Land Projects\2019\Survey\2020\20190731 M&B\Site Plan\06-28-22 phase 1.dwg