



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: November 03, 2022 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. 6133 Creekside Drive - CUP for Accessory Building

Parham - Requesting Conditional Use Permit for Accessory Building

- [0615-APP-01.pdf](#)

2. Lots 6&7 Pikewood Subdivision II - CUP for Duplexes

Porter - Requesting Recommendation for Approval of Conditional Use Permits for Duplexes

- [0618-APP-02.pdf](#)
- [0618-APP-01.pdf](#)

3. Cool Springs Mobile Home Community - Special Sign Permit

Requesting Recommendation for Special Sign Permit

- [0600-MAP-01.pdf](#)
- [0600-APP-02.pdf](#)
- [0600-LTR-01.pdf](#)

4. Scooter's Coffee - 1816 N Reynolds Road - Sign Permit

Springfield Sign - Requesting Approval for Monument sign and Recommendation of Approval for Sign Variance

- [0619-APP-01.pdf](#)

5. Cornerstone Montessori Christian Academy - Springhill Rd - Site Plan

Hope Consulting - Requesting Site Plan Approval

- [0545-DRN-01.pdf](#)
- [0545-PLN-05.pdf](#)

6. Starlight Village (The Villages at Magnolia Lane) - Changes to Preliminary Plat

Hope Consulting - Requesting Approval for Changes to Preliminary Plat

- [0341-UPD-01.pdf](#)

7. Hilltop Landing PUD - PUD Zoning Plan and Preliminary Plat

Hope Consulting - Requesting Recommendation for Approval of Zoning Plan and Preliminary Plat

- [0606-PLT-01.pdf](#)
- [0606-DRN-01.pdf](#)
- [0606-PLN-02.pdf](#)

8. Custom Advertising - 23738 I-30 - New Site Plan

GarNat Engineering - Requesting Recommendation for Approval of New Site Plan and Non-Standard Building Approval

- [0608-PLT-01.pdf](#)
- [0608-PLN-03.pdf](#)
- [0608-DRN-01.pdf](#)
- [0608-PLN-01.pdf](#)

9. Marketplace II Subdivision Ph. 2 - Final Plat

GarNat Engineering - Requesting Recommendation for Approval of Final Plat

- [0607-APP-01.pdf](#)
- [0607-PLN-01.pdf](#)
- [0607-PLN-02.pdf](#)

10. Discussion on Sign Code

Staff Approved

11. McAlister's Deli - 7401 Alcoa Rd - Sign Permit

Arkansas Sign and Neon - Requesting Sign Permit Approval - Staff Approved

- [0617-APP-01.pdf](#)

12. Baxter Penfield Moudy Realty - Tenant Spaces - Sign Permit

Custom Advertising - Requesting Sign Permit Approval - Staff Approved

- [0617-APP-01.pdf](#)

13. America's Carmart - 3200 N Reynolds Rd - Sign Permit

Ken's Signs - Requesting Sign Permit Approval - Staff Approved

- [0614-APP-01.pdf](#)

14. TaMolly's - 206 W Commerce - Sign Permit

Whatley Industries - Requesting Sign Permit Approval - Staff Approved

- [0613-APP-01.pdf](#)

15. Exxon - 22755 I-30 - Sign Permit

Arkansas Sign and Neon - Requesting Sign Permit Approval - Staff Approved

- [0604-APP-01.pdf](#)

Permit Report

Adjournments



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 24 Oct 22

Applicant or Designee:

Name Reginald PaeHam Sr.
Address 6133 Creekwater Dr
Phone 808-489-6304
Email Address: rpaeham32@yahoo.com

Project Location:

Property Address 6133 Creekwater Drive
Alexander, AR 72002
Parcel Number 840-03790-087
Zoning Classification _____

Property Owner (If different from Applicant):

Name _____
Phone _____
Address _____
Email Address _____

Additional Information:

Legal Description (Attach description if necessary)

Description of Conditional Use Request (Attach any necessary drawings or images)

Storage Building on property (see drawing)

Proposed/Current Use of Property

Home/Living Space

Application Checklist

Requirements for Submission

- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice

- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.


- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.

- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
 - Location, size, and use of buildings/signs/land or improvements
 - Location, size, and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing lighting
 - Proposed landscaping and screening
 - Use of adjacent properties
 - Scale, North Arrow, Vicinity Map
 - Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I  do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

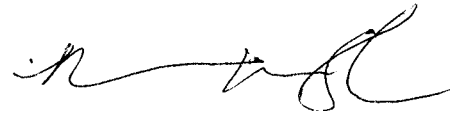
Oct 24th, 2022

Reginald Parham Sr
6133 Creekwater Drive
Alexander, Ar 72002
(808) 489-6304

Subject- Application for Conditional Use Permit

Description-

Currently, we have two prefabricated buildings located at the above address (Parcel # 840-03790-087). When purchasing the buildings, I was unaware of the need for building permits. Our existing residence is 2822 sqft. The first building is 10x20(200 sqft) and the second building is 16x40(640 sqft). On 20 Oct 22, I was informed that I am only allowed to have approximately 700 sqft of additional space. The total of square footage of both buildings are 840 sqft, putting me over the threshold of 700 sqft by 140 sqft. The proposed use of both buildings will not be materially detrimental to the public welfare or injurious to the property. The 10x20 will be used as storage for lawn equipment, holiday decorations and any other additional equipment. 16x40 will be used as She Shed and Man Cave (once completed). At no time shall either building be used as living quarters. All appropriate actions have been taken to ensure that both buildings have place on our property within the City of Bryant's guidelines. We have been living in the neighborhood for approximately 6 months. We're good neighbors and will continue to be so. We have not had any complaints or issues with any of our surrounding neighbors.



Reginald Parham Sr.



Home is 2826 sqft
16x40 is 640 sqft
10x20 is 200 sqft
Total additional sqft
is 840



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 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

Conditional Use Permit Application

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Date: 10/25/2022

Applicant or Designee:

Name KANNON PORTER
 Address P.O. Box 732 (72089)
 Phone 501-680-0549
 Email Address: KPORTERREALESTATE@GMAIL.COM

Project Location:

Property Address 2512 LAVERN
 Parcel Number 840-077904-000
 Zoning Classification _____

Property Owner (If different from Applicant):

Name _____
 Phone _____
 Address _____
 Email Address _____

Additional Information:

Legal Description (Attach description if necessary)

LOT 7, PIKEWOOD SUBDIVISION #2
CITY OF BRYANT, AR

Description of Conditional Use Request (Attach any necessary drawings or images)

CONSTRUCTION OF NEW DUPLEX

Proposed/Current Use of Property CURRENT: SINGLE FAMILY HOME

Application Checklist

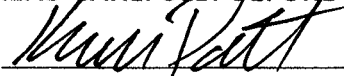
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10/25/2022

I would like to apply for a Conditional Use permits with the City of Bryant for the construction of 2 new duplexes at current address of 2512 Lavern in Bryant.

Lot 6, Pikewood Subdivision #2

Lot 7, Pikewood Subdivision #2

Thanks

A handwritten signature in black ink that reads "Kannon Porter". The signature is written in a cursive, flowing style.

Kannon Porter

PO Box 732

Bryant, AR 72089

501-680-0549

Kporterrealstate@gmail.com

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, _____ at 6:00 P.M.

at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline

County, for the purpose of public comment on a conditional use request at the site of

2512 LAVERN, BRYANT, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

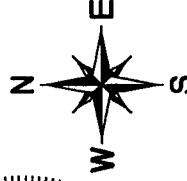
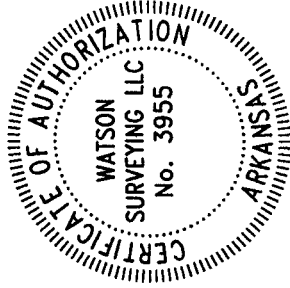
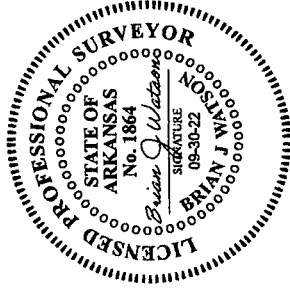
LEGAL DESCRIPTION:
 Lot 6, Pikewood Subdivision #2, to the
 City of Bryant Saline County, Arkansas

LEGAL DESCRIPTION:
 Lot 7, Pikewood Subdivision #2, to the
 City of Bryant Saline County, Arkansas

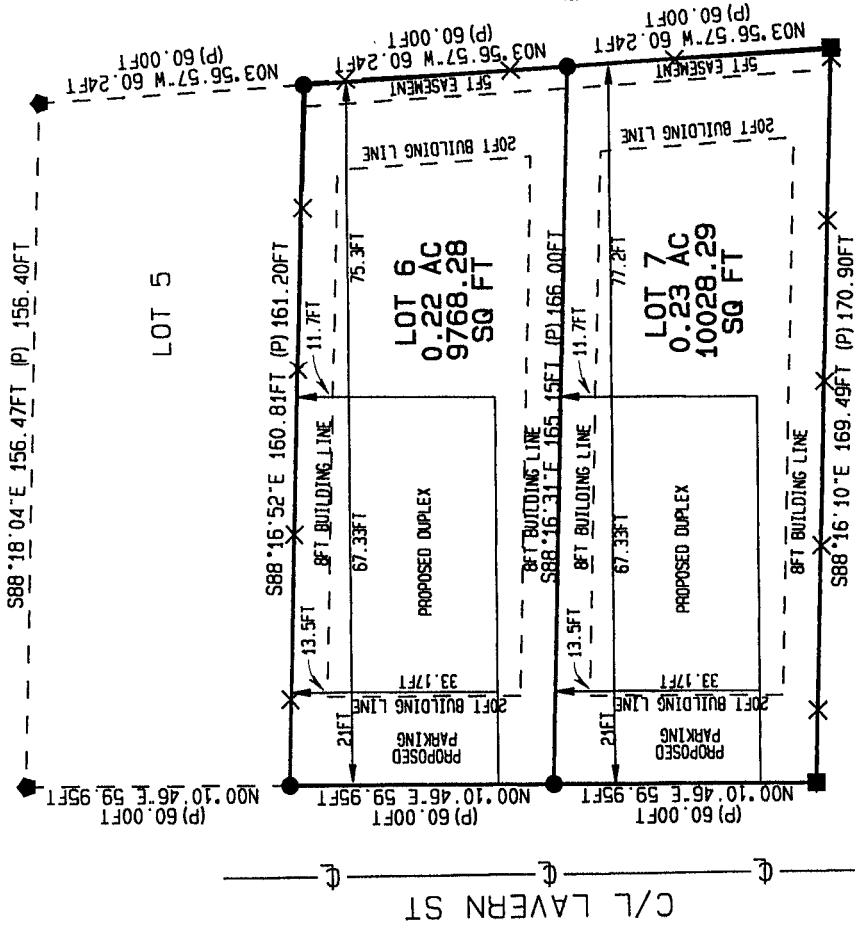
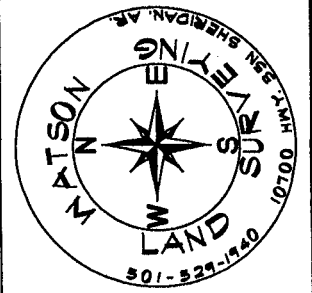
I hereby certify that the hereon plat and described
 survey was completed under my supervision to the
 best of my professional knowledge and ability.

Brian J. Watson
 BRIAN J. WATSON
 P.L.S. #1864

No investigation or other search was performed
 for easements or other records that an accurate
 and current title search may disclose



BEARINGS BASED ON GRID
 NORTH BY GPS OBSERVATION
 SCALE 1"=40'



Symbol	Description
●	PIPE
■	FOUND REBAR
●	SET REBAR
⊕	CENTER LINE
—x—	FENCE (X) LINE
—	PROPERTY LINE

FOR THE USE AND BENEFIT OF
 KANNON PORTER

DATE: 30 SEPT. 2022
 JOB#22-253
 SCALE: 1IN.=40FT.
 DRAWN BY: BW



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

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Address P.O. Box 732 (72089)
Phone 501-680-0549

Project Location:

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Parcel Number 840-07793-000

Email Address: KPORTERREALSTATE@GMAIL.COM Zoning Classification _____
Property Owner (If different from Applicant): _____

Name _____

Phone _____

Address _____

Email Address _____

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CITY OF BRYANT, AR

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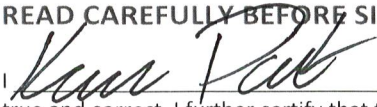
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Kannon Porter

PO Box 732

Bryant, AR 72089

501-680-0549

kporterrealstate@gmail.com

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Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

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Lora and Mills Park RD



Flintstone and Mills Park Rd



Indian Springs and I-30



Tomahawk Dr and I-30



To Whom It May Concern,

Please allow this letter to serve as request for permitting to install new property signs at Cool Springs Pointe, formally "Indian Springs Mobile Home Community". We recently acquired Cool Springs Pointe in December 2021. I apologize for the oversight of installing 6 new signs prior to this step. Our intention is to increase the curb appeal, inform public of name change and ensure safety coming and going in the community. Our efforts to increase curb appeal around our community is by installing a more decorative sign frame, a new modern sign design and nice well maintained landscape bed to surround the signs. The signage does not just serve as an increased look for our community entrances. It also serves as directional signage to inform people visiting where to go. This not only helps guide people to where the community is but also helps eliminate any safety risk of someone visiting or delivering to our residents by showing them the direction to go to prevent any sort of stopping or extreme slowing of traffic for those coming down I-30 on ramp. Please approve our request keep these new signs.

I appreciate your time and consideration on this topic.

Sincerely,

Benjamin Winkler
Regional Operations Manager
Flagship Communities



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
 The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 10/20/2022

Sign Co. or Sign Owner

Name Alicia Walton
 Address 4825 E. Kearney St
 City, State, Zip Springfield MO 65803
 Phone 417-862-2454
 Email Address aliciaw@springfieldsign.com

Property Owner

Name Lamontia LLC
 Address 118 vernona Circle
 City, State, Zip Sherwood, AR 72120
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business Scooter's Coffee
 Address/Location of sign 1816 N Reynolds Rd
 Zoning Classification C-1

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

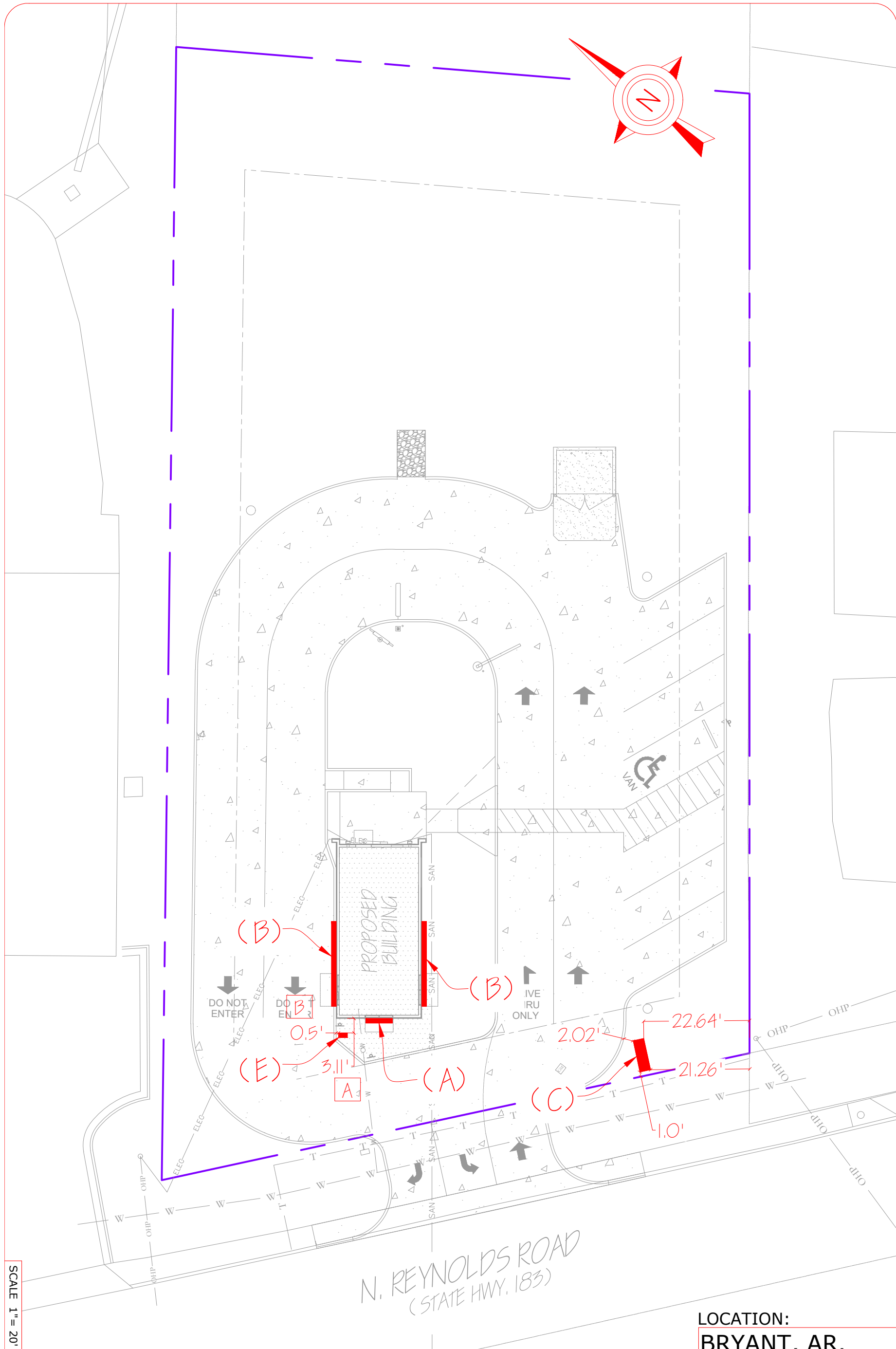
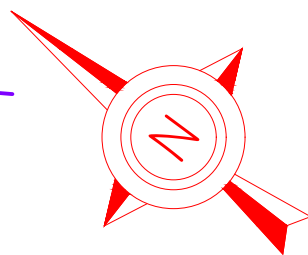
READ CAREFULLY BEFORE SIGNING

I Alicia Walton, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Facade Front	5' 8 1/2 x 5'	28.54			
B	Facade side	48" x 218.25"	65.06			
C	Facade side	48" x 218.25"	65.06			
E						
F	Ground	72" x 82.25"	41.1	144"	72"	
G	Ground EMC	24" x 56"	9.3	68"	44"	



SCALE 1" = 20'

N. REYNOLDS ROAD
(STATE HWY. 183)

LOCATION:
BRYANT, AR.

Project No.: 38745
 Drawn By: CLH
 Reviewed By: MW
 Date: 10-15-22

**SCOOTER'S COFFEE
 NEW-SIGNAGE
 1816 N. REYNOLDS RD.
 BRYANT, AR. 72022
 SIGN PLACEMENT PLAN**

Sheet Number:
1 OF 1

SPRINGFIELD SIGN
 4825 E. Kearney St.
 Springfield, MO 65803
 (417) 862-2454

1-POLE, 12' OAH

SPRINGFIELD SIGN
SHOOTERS

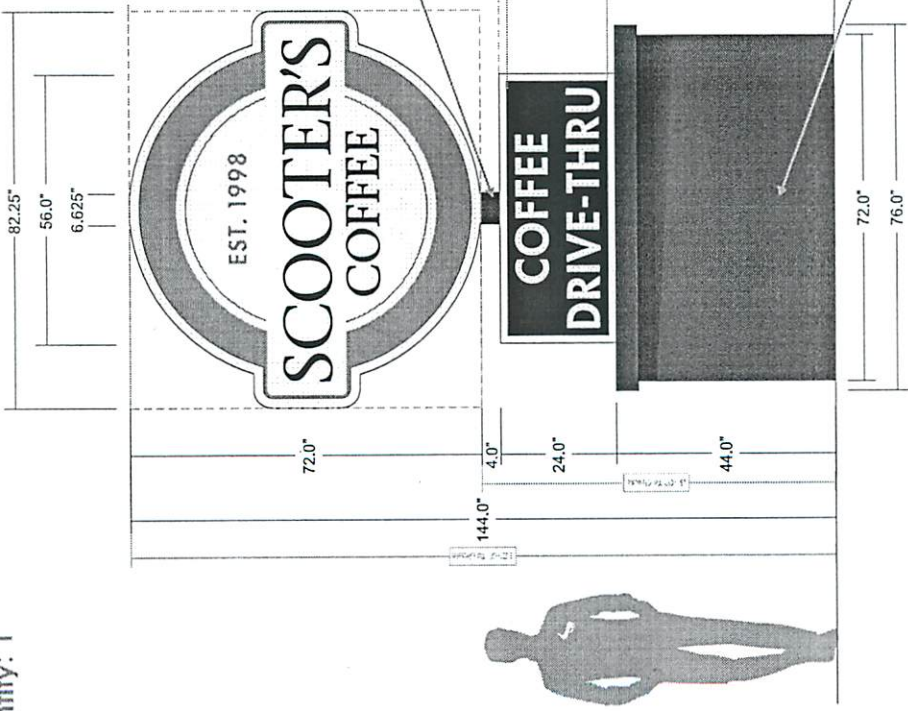
1816 N. REYNOLDS BLVD
BRYANT, AR

DRAWING SCALE: 1/2" = 10" | DATE CREATED: 00/00/22 | DATE REVISED: N/A | REV_0 | SALES: Shaun Crawford | 800.845.9927 | CLIENT: Scooter's Coffee | LOCATION: 1816 N REYNOLDS RD, BRYANT, AR 72022 | DRAWING #: ar38745-6 | # 2055 | © 2021 Springfield Sign, All Rights Reserved

3M Lt. Tomato Red Translucent Film (3630-43) | 3M Black Opaque Film (7725-12) | DESIGN: R HICKS | MON72

DETAIL VIEW - D/F MONUMENT

Quantity: 1



MONUMENT - LED ILLUMINATED CABINET	
FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	18"
RETAINER INFO:	2" WHITE
ILLUMINATION:	D/F LED INT. ILLUM.
MOUNTING:	POLE MOUNTED
CABINET MATERIAL:	ALUMINUM

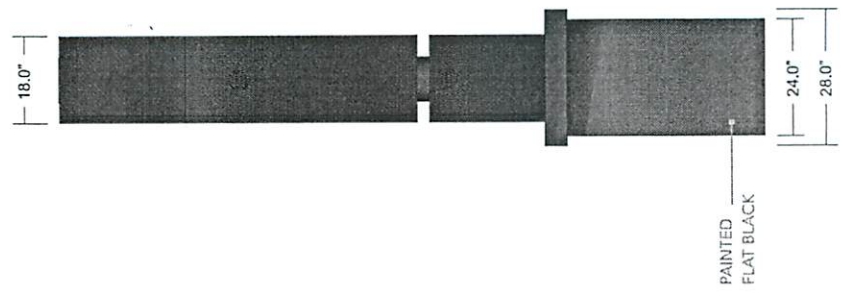
41.1 Sqft

NOTE: POLE STRUCTURE TO BE PAINTED SW6992 INKWELL

MONUMENT - LED ILLUMINATED CABINET	
FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	18"
RETAINER INFO:	1.5" WHITE
ILLUMINATION:	D/F LED INT. ILLUM.
MOUNTING:	POLE MOUNTED
CABINET MATERIAL:	ALUMINUM

9.3 Sqft

Total Sq. Ft. 50.4



PAINTED FLAT BLACK

NOTE: BASE MADE BY OTHERS



SPRINGFIELDSIGN.com

This drawing is copyrighted material. It remains the property of Springfield Sign unless otherwise agreed upon in writing. It is unlawful to use this drawing for bidding purposes, reproduction, copying, or use in any other way without the written consent of Springfield Sign, Inc. The price, specifications and lead times may vary from that depicted here.

CROCKER
3211 E. SHADY GLEN ST.
SPRINGFIELD, MO 65804
417-883-4056

1-POLES 12'0" H

SPRINGFIELD SIGN SCOOTERS

1816 N. REYNOLDS BLVD BRYANT, AR

2

115 mph

Steel

P M

$$6.9 \times 6.9 \times 20 = 952 \times 9 = 8570$$

$$6.4 \times 5.7 \times 20 = 730 \times 3 = 2189$$

$$1682 \quad 10,759$$

$$S_R = \frac{10,759 \times 12}{23,450} = 5,51 \text{ in}^3$$

$$23,450$$

$$S_p \quad 6" \text{ pipe} = 8,50 \text{ in}^3$$

$$6.625 \times$$

$$0.280$$

$$S_p > S_R \quad \underline{\underline{OK}}$$

CONCRETE

6" pipe

$$P = 1682$$

$$M = 10,759$$

$$h = 6.4$$

$$b = 3$$

$$S_c = (150)(2) \left(\frac{4}{3}\right) \left(\frac{5}{3}\right) = 667$$

$$d = \frac{(1.17)(1682)}{(3)(667)} \left(1 + \sqrt{1 + \frac{1682(47)(3)6.4}{1682}}\right)$$

$$d = 4.8' \text{ req'd, base is } 3'4" \times 5' \text{ deep}$$

OK

12'0" x 21

6.9'

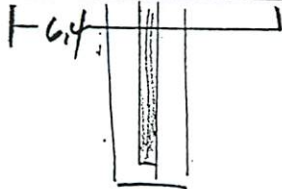


COFFEE DRIVE-THRU

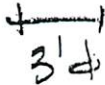


2.7'

3.7'



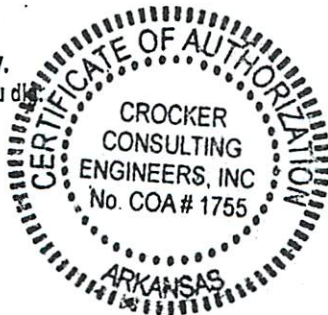
5"



SR = SECTION MODULUS REQUIRED
SP = SECTION MODULUS PROVIDED



Know what's below. Call before you dig.



Handwritten notes: 2022.10.15

CROCKER
3211 E. SHADY GLEN ST.
SPRINGFIELD, MO 65804
417-883-4056

1-POLE, 12' OAH

SPRINGFIELD SIGN
SCOOTERS

1816 N. REYNOLDS BVD
BRYANT, AR

3.

WIND @ 20 PSF
SNOW @ 20 PSF
SOILS AT 1500 PSF (ASSUMED)
LATERAL SOIL LOADING AT 150
FOOTING/FOUNDATION 3'4" x 5' deep

POUR CONCRETE AGAINST UNDISTURBED SOILS, NOT BACKFILL

ALL DESIGN, DETAILING, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES AND SPECIFICATIONS:

IBC 2018 EXP "C" (3-SEC GUST) — *used as base reference for wind loading*

- CURRENT INTL. BLDG CODE (IBC)
- AMERICAN SOCIETY OF TEST'G MAT'LS (ASTM)
- BLDG CODE REQMT - REINF CONC (ACI 318-83).
- CODE FOR WELDING IN BUILDING CONSTRUCTION OF THE AMERICAN WELDING SOCIETY.
- CURRENT SPECS - AMERICAN INST OF STEEL CONST (ASIC) - DESIGN, FAB, & ERECTION.

CONCRETE 3000 P.S.I. @ 28 DAYS COMPR STR, (145 P.C.F.)

REINF ST'L - ASTM1-615, GR 60, (IF REQD). WELDED WIRE FABRIC (WWF) - ASTM A185

- ALL REINF SHALL BE FREE FROM MUD, OIL, RUST OR COATINGS THAT WOULD REDUCE OR DESTROY BOND
- ALL REINF BARS SHALL LAP 3Ø DIAMETERS OR 12" MINIMUM, EXCEPT AS NOTED.
- MIN CONC COVER ON TIES, STIRRUPS AND MAIN BARS SHALL BE 1 INCH FOR SLAB, WALL AND SURFACES NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND ± 3 INCHES FOR UNFORMED SURFACES DEPOSITED AGAINST GROUND EXCEPT AS NOTED.
- TIE RE-BARS. DO NOT WELD RE-BAR.

STRUCTURAL STEEL AND PLATES - A-36.

STRUCTURAL TUBING - ASTM A-500, GR B, FY=50 KSI.

STRUCT PIPE- ASTM A-53, GR B, FY=35 KSI.

ANCHOR BOLTS ASTM A-307, EXCEPT AS NOTED.

HI STRGTH BOLTS - CONNECTIONS - ASTM A-325, U.N.O.

WELDING ELECTRODES - AWS D1.1-85, E70xx.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE ERECTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

NO CABINET ENGINEERING PROVIDED. IF CABINET ENGRG IS REQ'D, CONTACT THE ENGINEER FOR ADD'TL SVCS.

6" OF CONCRETE OR GRAVEL PLACED IN BOTTOM OF FOUNDATION PRIOR TO MAIN POUR. ISOLATE ALUMINUM FROM STEEL.

ALL BOLT HOLES TO BE DRILLED OR PUNCHED.

ALL PIPE SIZES SHOWN ARE MINIMUM SIZES. PIPE WITH A LARGER DIAMETER, GREATER YIELD STRENGTH, AND/OR GREATER SECTION MODULUS MAY BE SUBSTITUED.

ALL STRUCTURAL LENGTHS REQUIRED ARE APPROXIMATIONS ONLY. ACTUAL LENGTH MAY SLIGHTLY VARY DEPENDING ON SIGN CABINET CONDITIONS.

ALL WORK PERFORMED ON SITE SHALL BE DONE ACCORDING TO APPLICABLE OSHA REGULATIONS

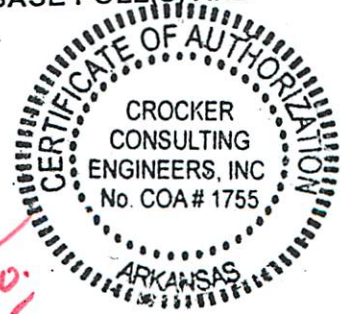
WATER SHOULD NOT BE ALLOWED TO POND IN THE EXCAVATION PRIOR TO CONCRETE PLACEMENT OR ABOVE CONCRETE AFTER THE FDTN IS COMPLETED

EXERCISE CARE DURING EXCAVATION OF THE FOUNDATION TO MINIMIZE DISTURBANCE TO THE SURROUNDING SOILS.

CALCULATIONS SHOWN ON THESE SHEETS ARE ONLY FOR THE BASE POLE(S) AND CONCRETE BASE-FOUNDATION

SR = SECTION MODULUS REQUIRED
SP = SECTION MODULUS PROVIDED

CROCKER
3211 E. SHADY GLEN ST.
SPRINGFIELD, MO 65804
417-883-4056



2022.10.15

1-POLE 12' OAH

SPRINGFIELD SIGN SCOOTERS

1816 N. REYNOLDS Blvd
BRYANT, AR 4.

JOB TITLE Spfld Sign Scooters 12 ft OAH

JOB NO.	_____	SHEET NO.	_____
CALCULATED BY	_____	DATE	_____
CHECKED BY	_____	DATE	_____

Wind Loads - Other Structures:

ASCE 7- 10

use IBC 2018

Nominal Wind Pressures

Wind Factor = 0.60
 Gust Effect Factor (G) = 0.85 Ultimate Wind Speed = 115 mph
 Kzt = 1.00 Exposure = C

A. Solid Freestanding Walls & Solid Signs (& open signs with less than 30% open)

use 20 psf

Dist to sign top (h)	12.0 ft	s/h =	1.00	Case A & B
Height (s)	12.0 ft	B/s =	0.57	C _r = 1.54
Width (B)	6.8 ft	L _r /s =	0.00	F = qz G C _f A _s = 19.1 A _s
Wall Return (L _r) =		K _z =	0.849	A _s = 10.0 sf
Directionality (K _d)	0.85	qz =	14.7 psf	F = 191 lbs
Percent of open area to gross area	0.0%	Open reduction factor =	1.00	Case C
		Horiz dist from windward edge		C _f
		0 to s		F=qzGC _f A _s (psf)
		s to 2s		1.80 22.4 A _s
				1.20 15.0 A _s
		Case C reduction factors		
		Factor if s/h > 0.8 =	0.80	
		Wall return factor for C _f at 0 to s =	1.00	



2022.10.15

CROCKER
 3211 E. SHADY GLEN ST.
 SPRINGFIELD, MO 65804
 417-883-4056




SCOOTER'S COFFEE



SPRINGFIELD **SIGN**

Scooter's Coffee | Bryant, AR

Presented by Shaun Crawford

 800.845.9927

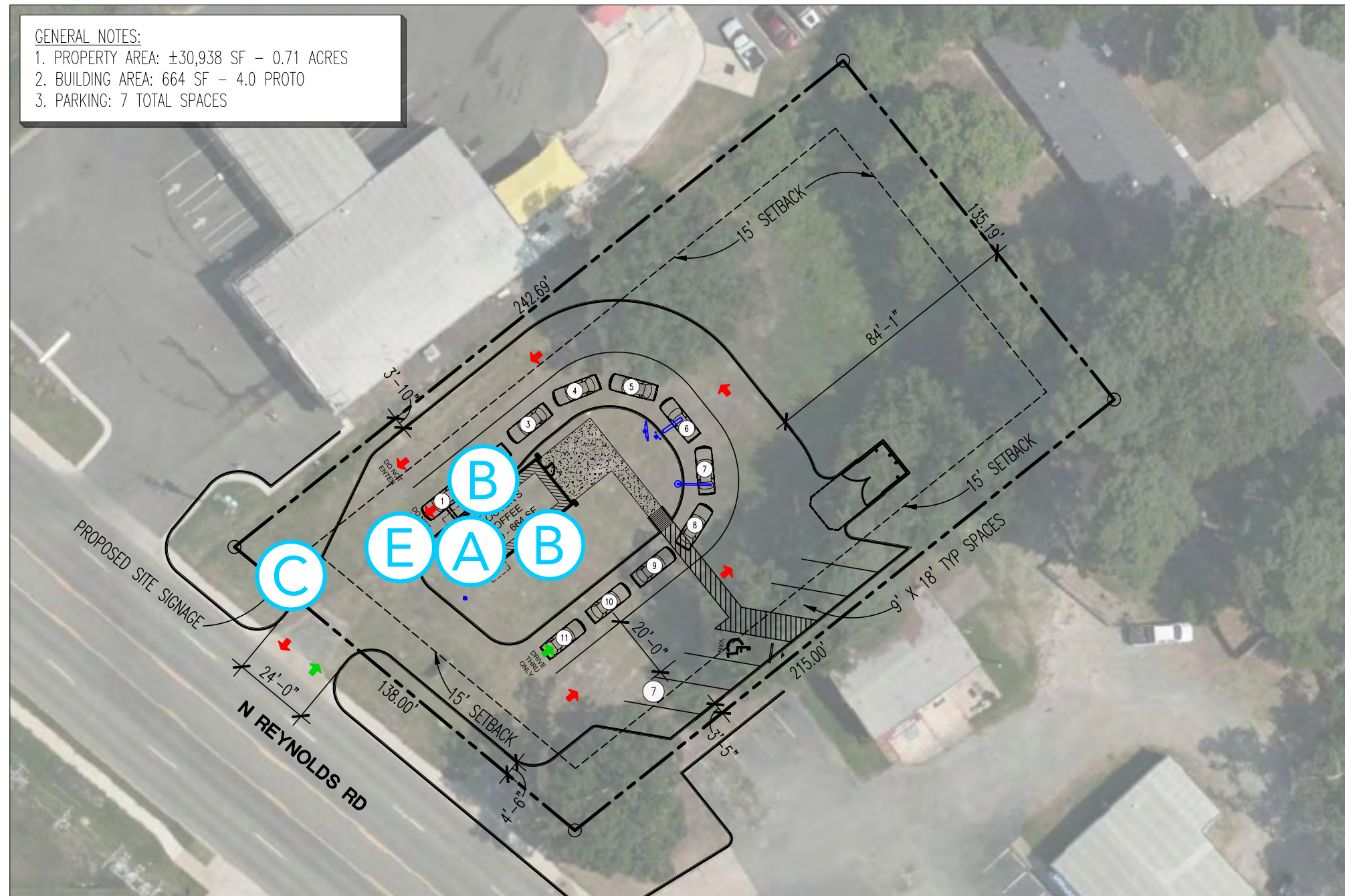
 springfieldsign.com

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PRELIMINARY SITE PLAN, NOT FOR PERMITTING

- GENERAL NOTES:
1. PROPERTY AREA: ±30,938 SF - 0.71 ACRES
 2. BUILDING AREA: 664 SF - 4.0 PROTO
 3. PARKING: 7 TOTAL SPACES



SITE PLAN-SIGN TYPE KEY	
CHANNEL CABINET:	A-(FRONT)
CHANNEL LETTERS:	B-(SIDE)
CHANNEL LETTERS:	B-(DRIVE-THRU)
MONUMENT:	C
DIRECTIONAL 1:	E



14901 Quorum Drive
Suite 300
Dallas Texas 75254
Ph: (972) 239-8884
Fax: (972) 239-5054

TRUE NORTH
SCALE: 1"=40'-0"

Job No. 221065-306
Date 06/16/22

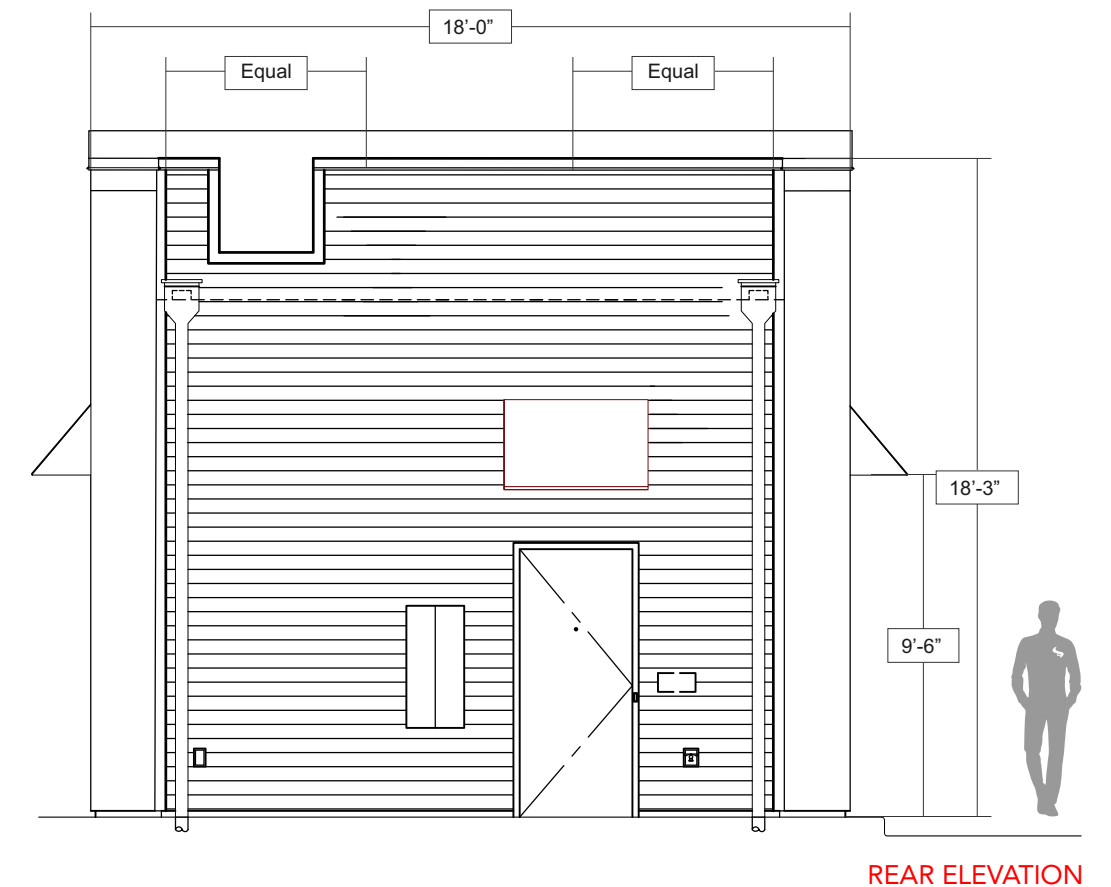
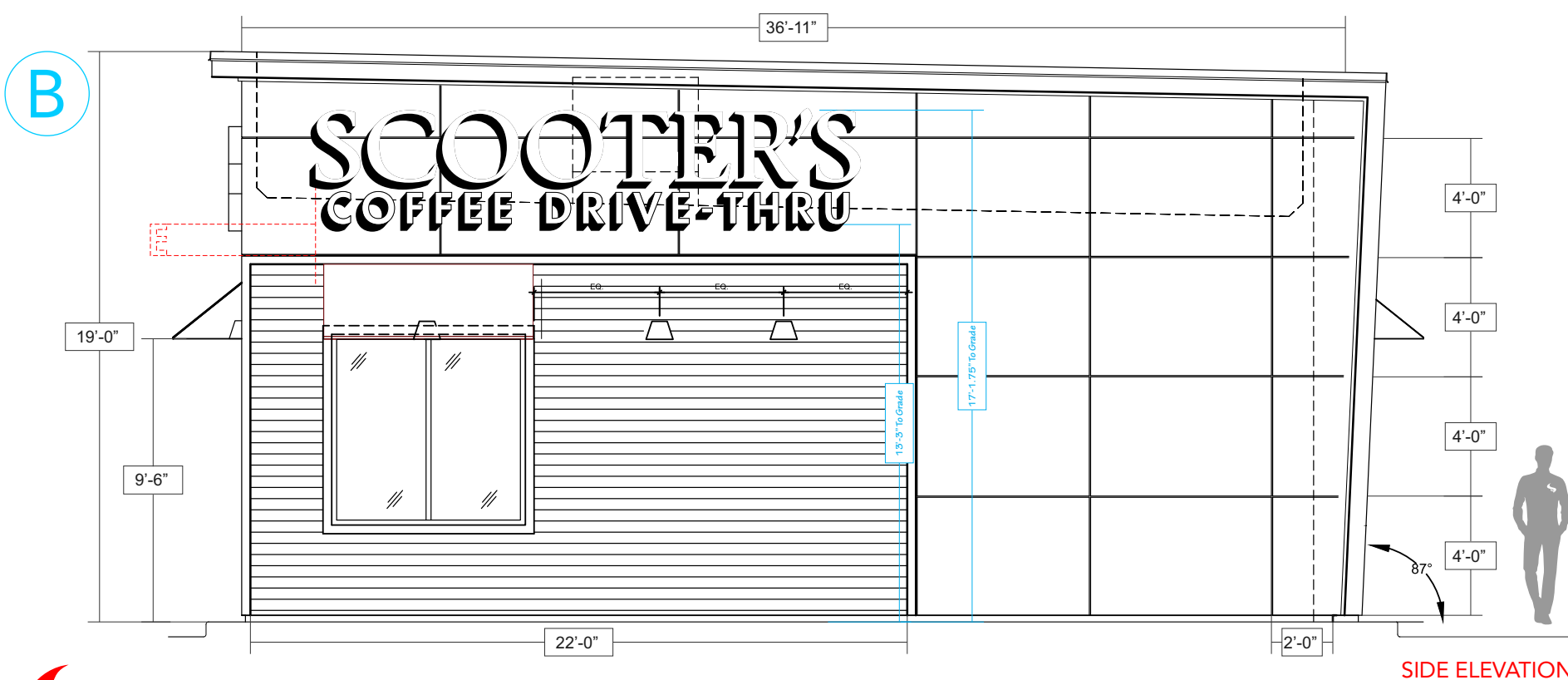
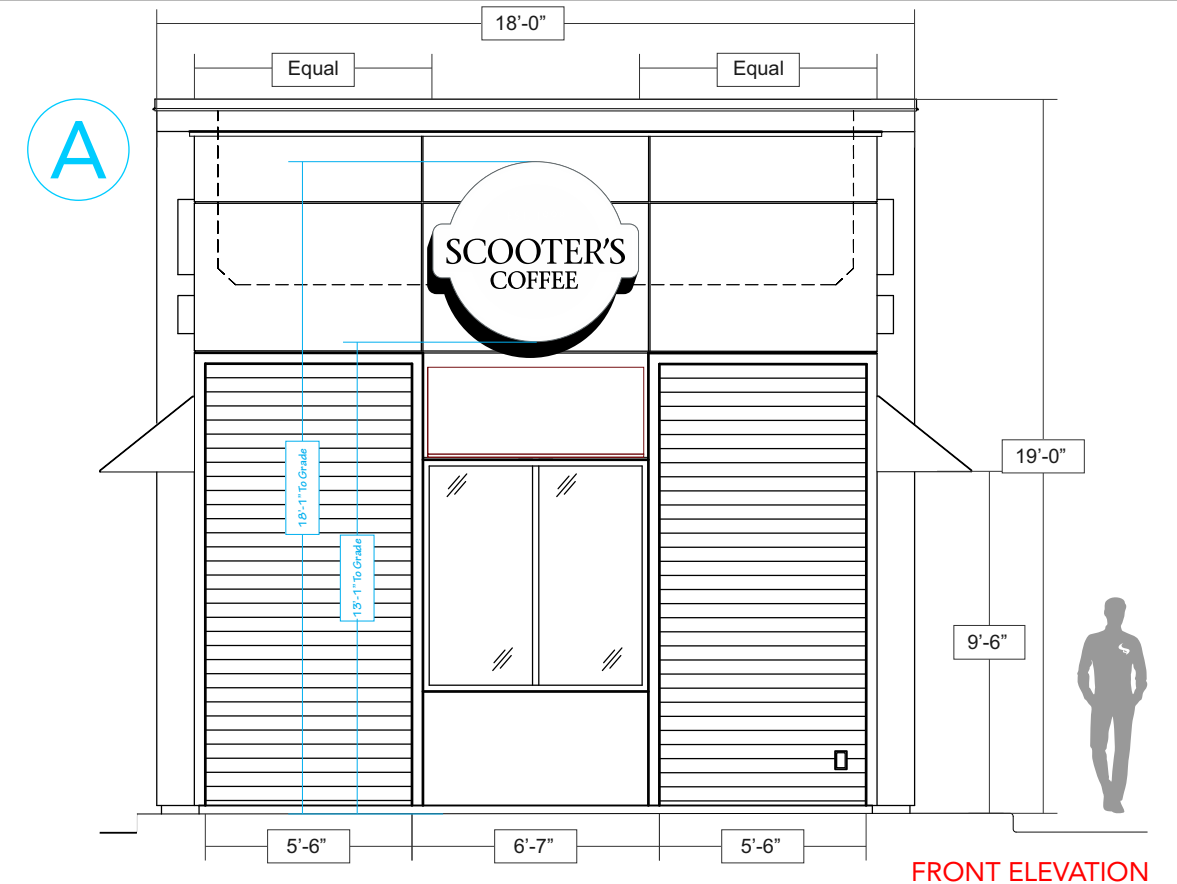
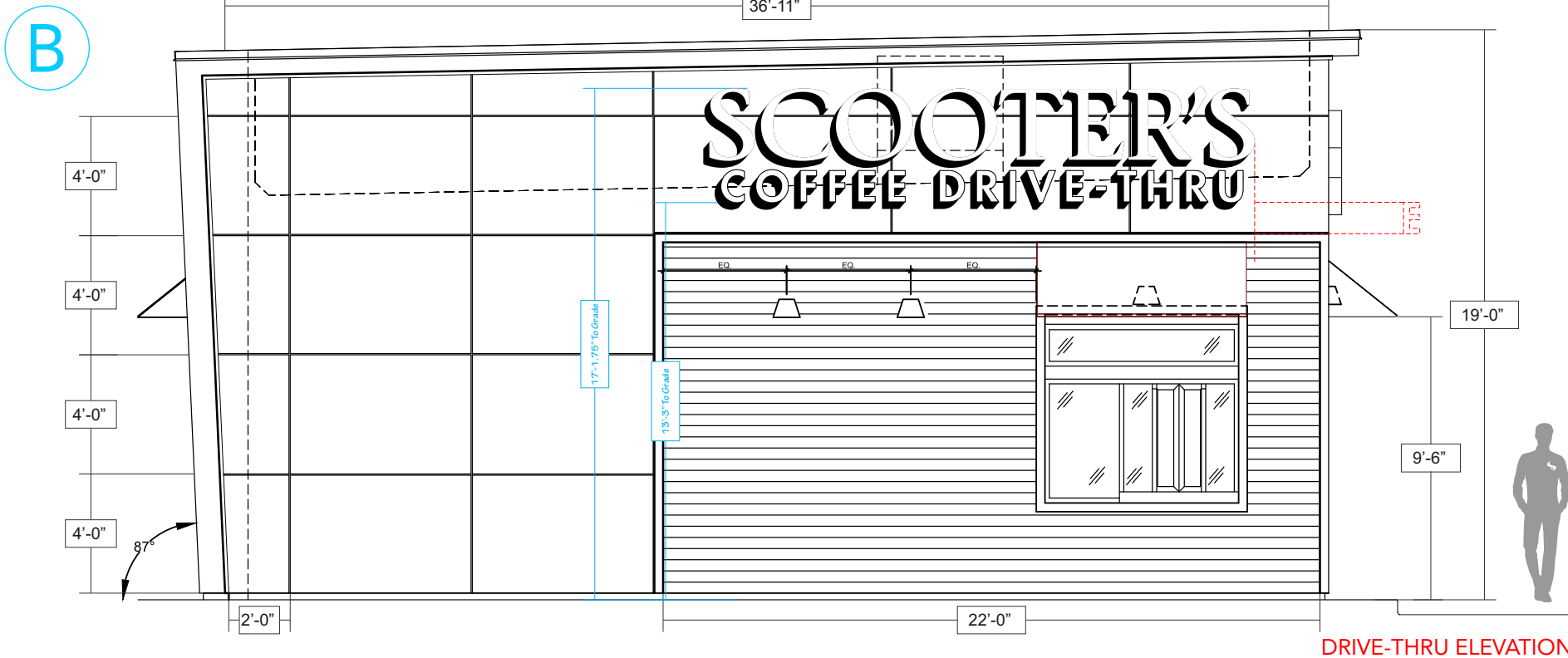
Sheet No. SCHEME: 1

Project SCOOTER'S SITE PLAN

1816 N REYNOLDS RD
BRYANT, AR



ELEVATION DETAILS



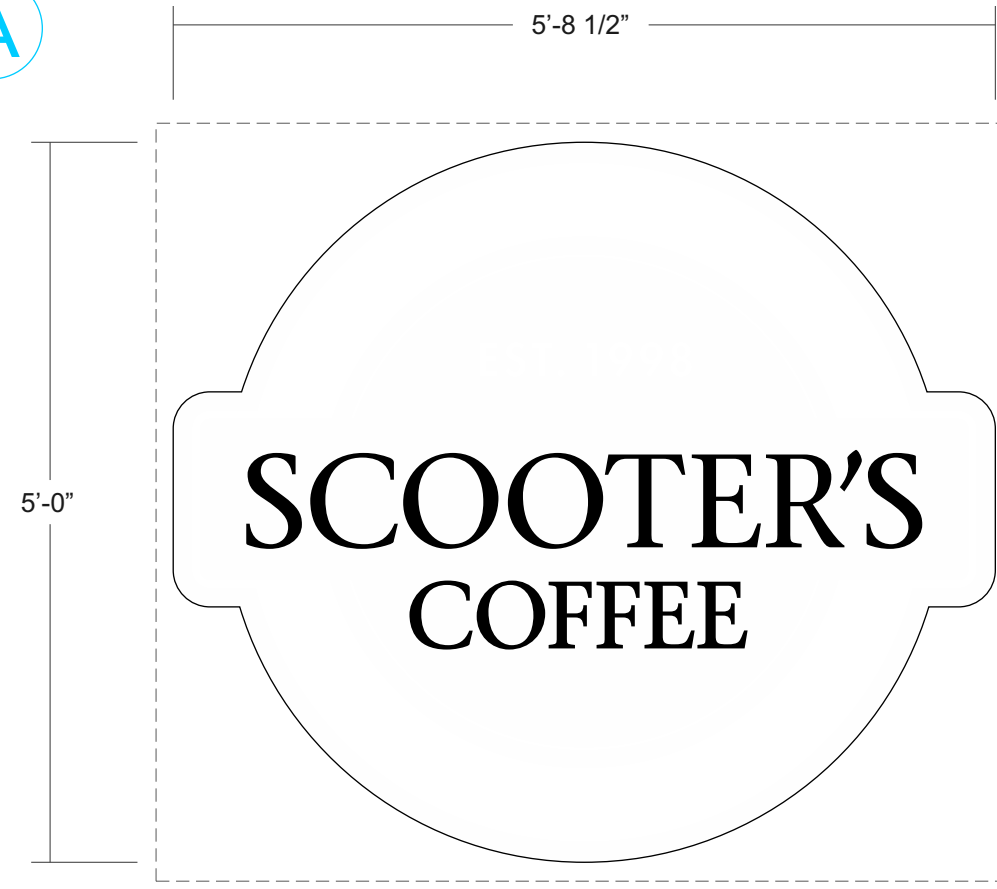
3M Lt. Tomato Red Translucent Film (3630-43)

3M Black Opaque Film (7725-12)

CAB5

DETAIL VIEW - CHANNEL CABINET

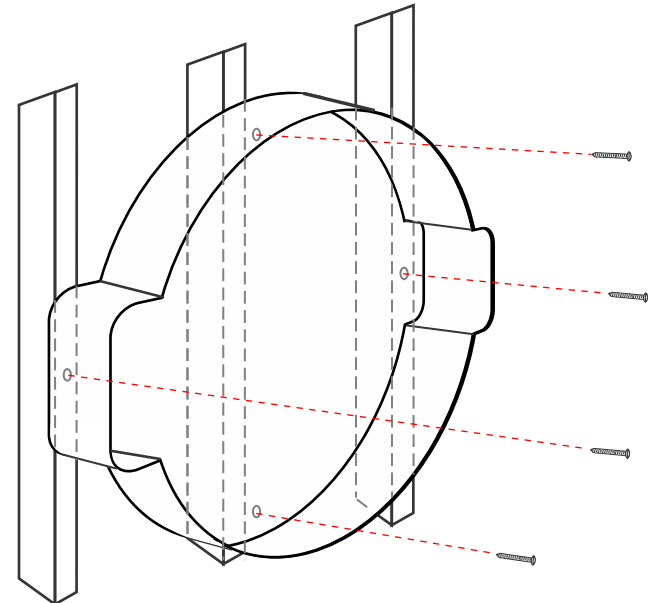
Quantity: 1



LED ILLUMINATED CABINET

FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	5" RETURNS
RETAINER INFO:	1" BLACK TRIM CAP
ILLUMINATION:	S/F LED INT. ILLUM.
MOUNTING:	FLUSH MOUNTED
CABINET MATERIAL:	ALUM. PAINTED BLACK
KEYLINE:	1.5" WHITE

Total Sq. Ft. 28.54



NOTE: CHANNEL LETTERS/LOGOs FLUSH MOUNTED TO WALL w/#14 TEK (O.R. WOOD/METAL) FASTENERS. NUMBER OF PENETRATIONS DEPENDENT ON STUD PLACEMENT.

NOTE: 6' WHIP TO EXIT TOP CENTER, REAR OF CHANNEL LOGO (ON ROOF TOP).

NOTE: SELF CONTAINED TRANSFORMER.

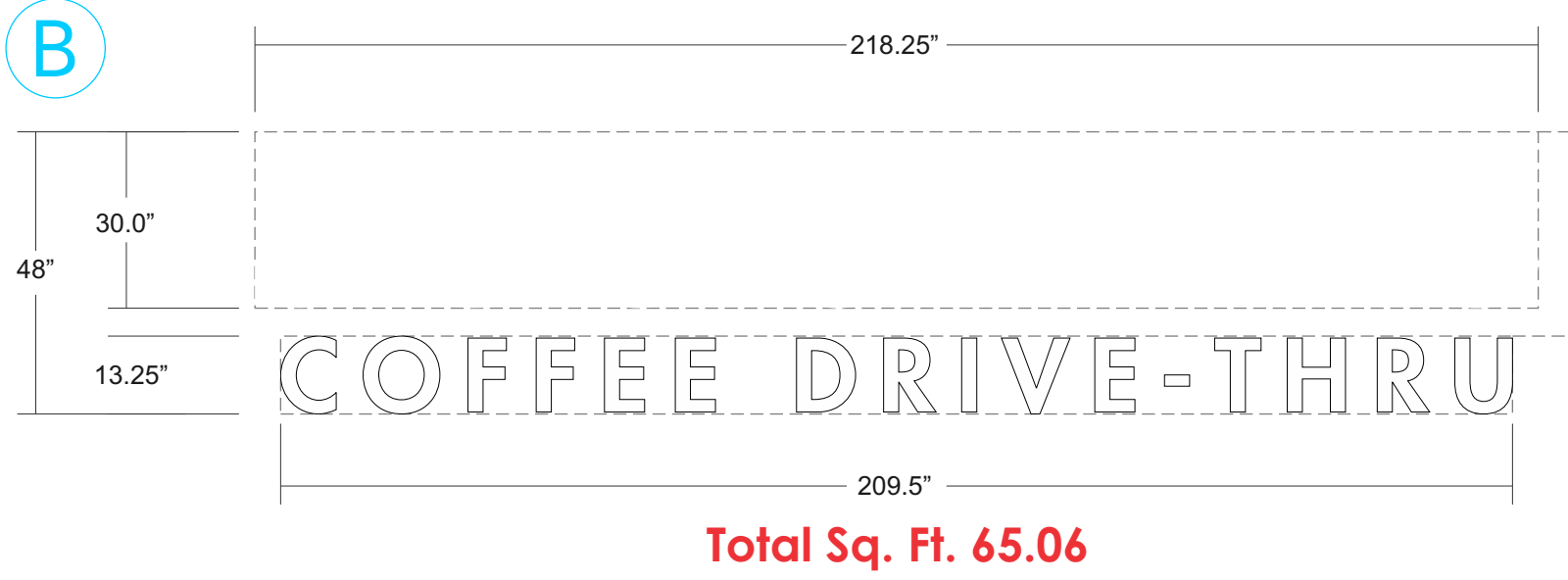
LED MODULES Aglight-LS-U650-71K-B200-A

POWER TO EXIT REAR OF CHANNEL LOGO DISPLAY.

DETAIL VIEW - CHANNEL LETTERS

CHAN48

Quantity: 2 SETS



"TOP" FRONT-LIT CHANNEL LETTERS

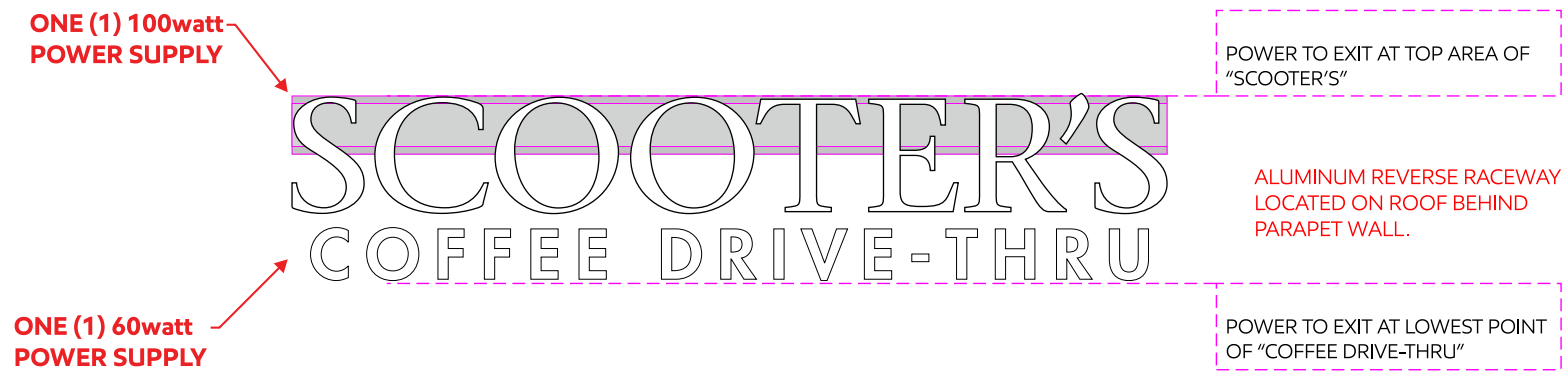
FACE MATERIAL:	3/16" WHITE ACRYLIC
RETURN COLOR:	BLACK
TRIMCAP COLOR:	1" BLACK
ILLUMINATION:	LED RED INT. ILLUM.
MOUNTING:	REMOTE RACEWAY
DEPTH:	3"

45.68 SqFt

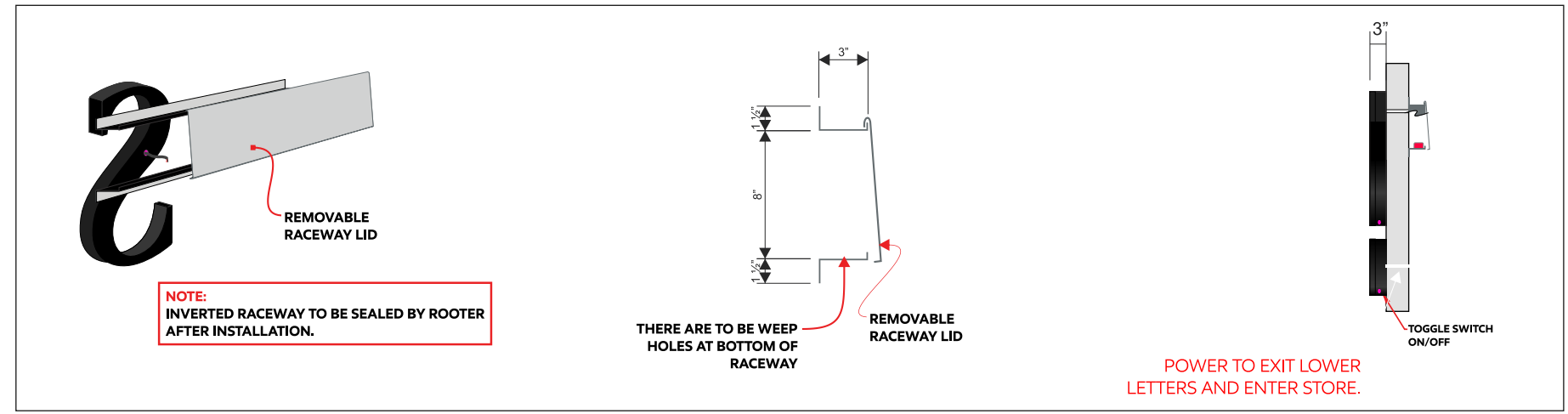
"BOTTOM" FRONT-LIT CHANNEL LETTERS

FACE MATERIAL:	3/16" WHITE ACRYLIC
RETURN COLOR:	BLACK
TRIMCAP COLOR:	1" BLACK
ILLUMINATION:	LED WHITE INT. ILLUM.
MOUNTING:	FLUSH MOUNTED
DEPTH:	3"

19.38 SqFt



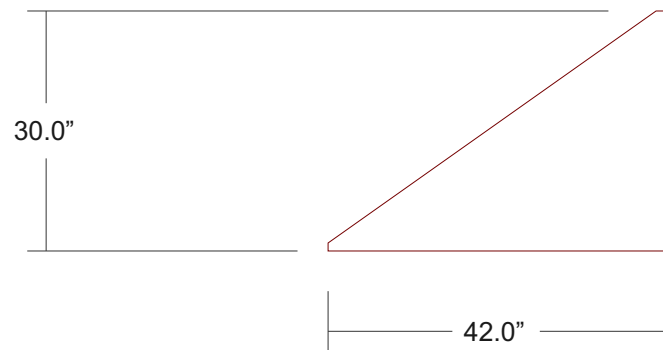
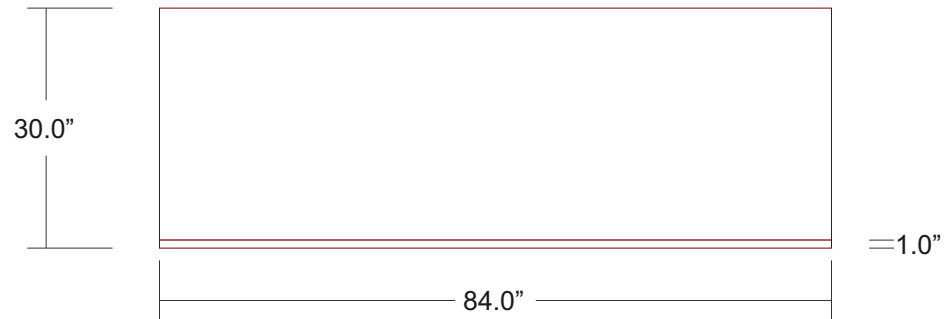
NOTE:
"COFFEE DRIVE-THRU" WILL BE WIRED INSIDE DROP CEILING.



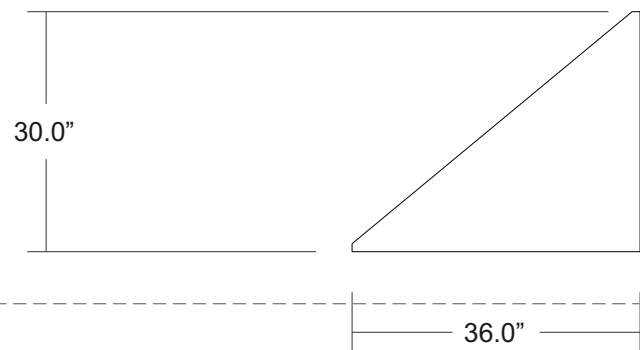
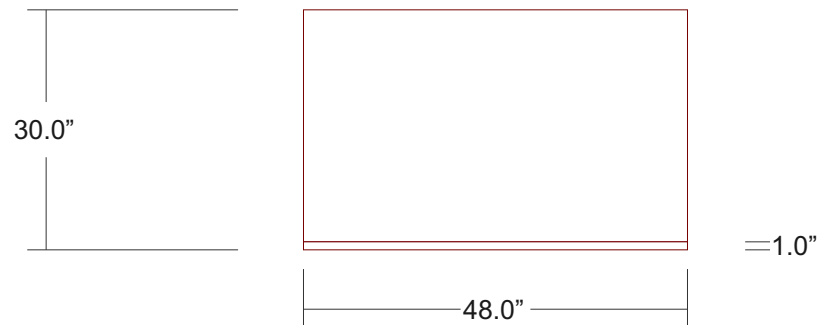
DETAIL VIEW - AWNINGS

AWNING4

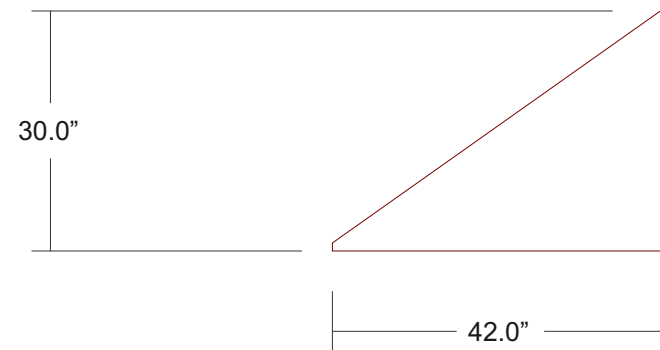
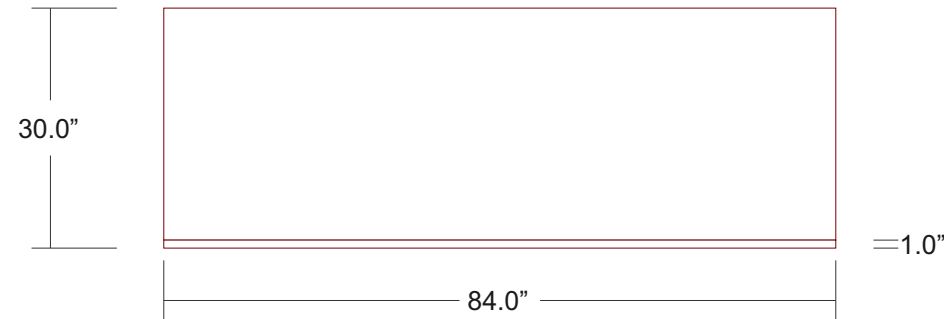
DRIVE-THRU SET:



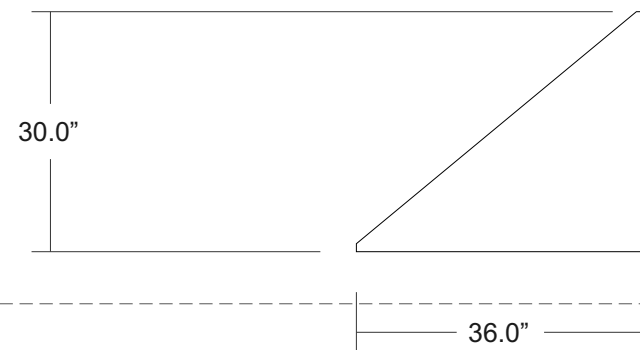
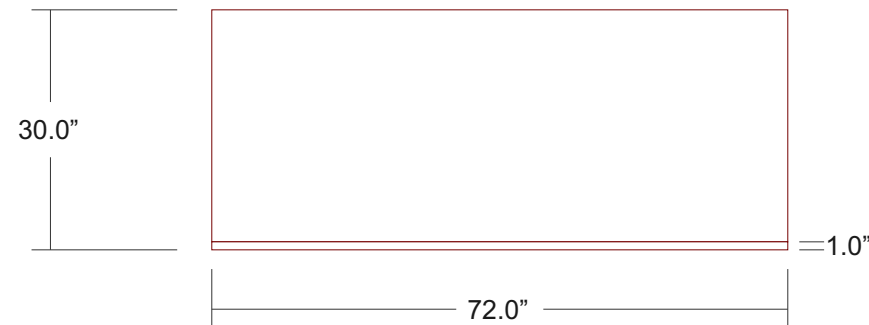
REAR SET:



SIDE SET:

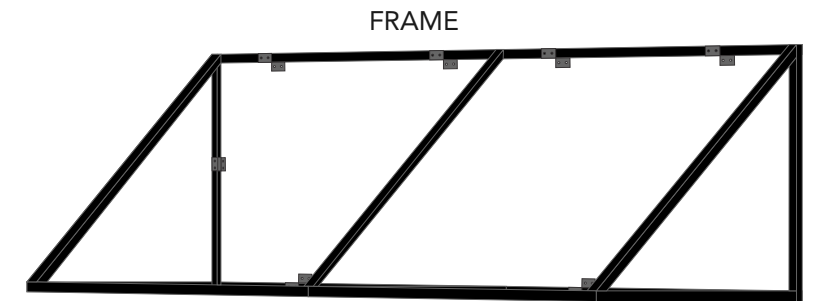


FRONT SET:

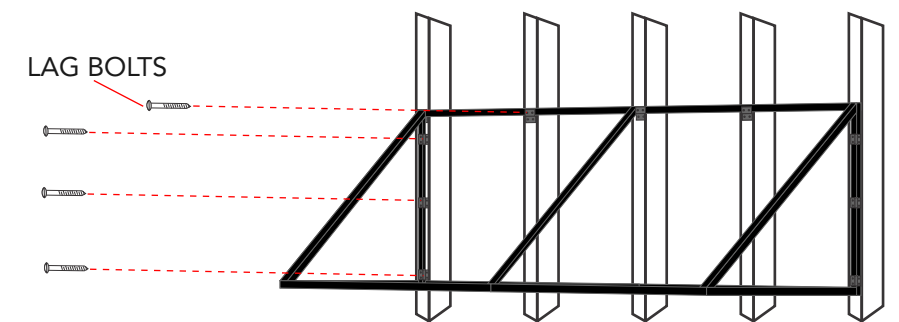


AWNING DISPLAY

FRAME MATERIAL:	1"X1" ALUMINUM SQUARE TUBE
FRAME COLOR:	BLACK
MATERIAL:	LOGO RED SUNBRELLA #6066-0000
MOUNTING:	PANEL MOUNTED TO FASCIA



ATTACHMENT DETAIL



NOTE: AWNING FRAMES MOUNTED TO WALL WITH LAG BOLTS AND SIGN TECH "Z" CLIPS. NUMBER OF PENETRATIONS DEPENDENT ON STUD PLACEMENT.

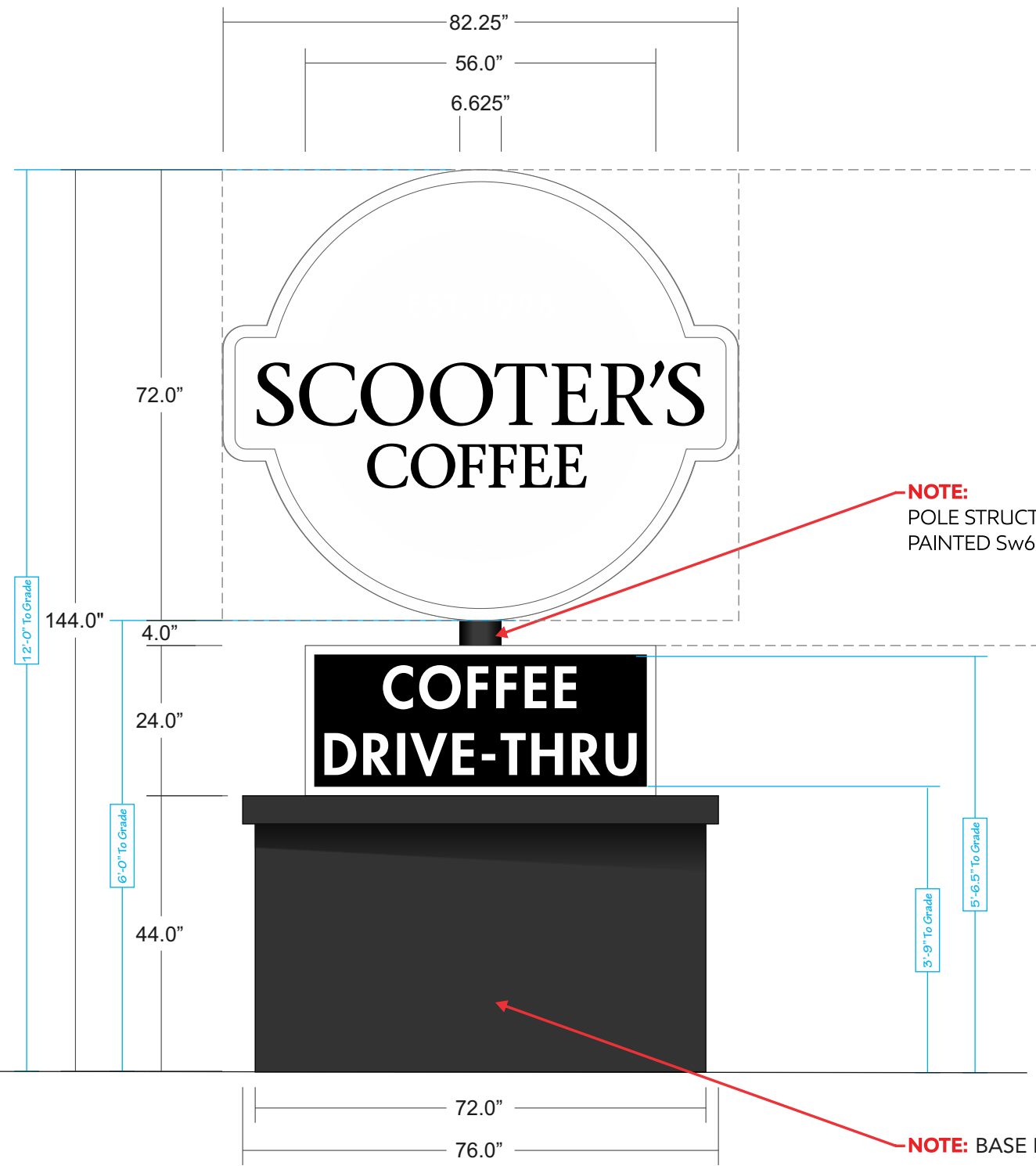
3M Lt. Tomato Red Translucent Film (3630-43) | 3M Black Opaque Film (7725-12)

DESIGN: R HICKS | LOCATION: 1816 N REYNOLDS RD, BRYANT, AR 72022 | © 2021 Springfield Sign, All Rights Reserved

DETAIL VIEW - D/F MONUMENT

MON72

Quantity: 1



MONUMENT - LED ILLUMINATED CABINET

FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	18"
RETAINER INFO:	2" WHITE
ILLUMINATION:	D/F LED INT. ILLUM.
MOUNTING:	POLE MOUNTED
CABINET MATERIAL:	ALUMINUM

41.1 SqFt

NOTE:
POLE STRUCTURE TO BE PAINTED Sw6992 INKWELL

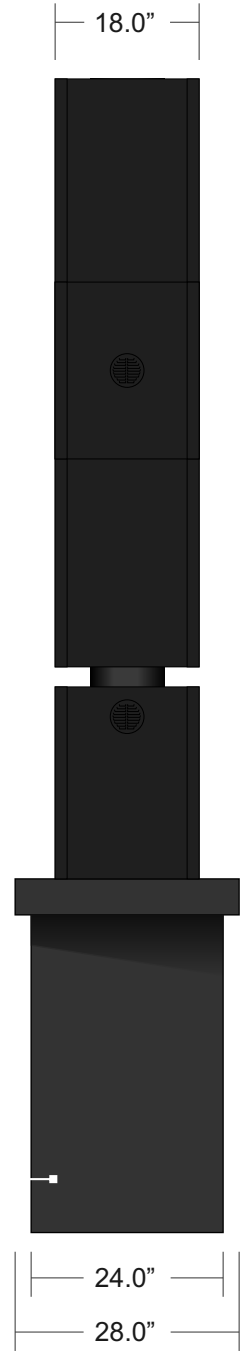
MONUMENT - LED ILLUMINATED CABINET

FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	18"
RETAINER INFO:	1.5" WHITE
ILLUMINATION:	D/F LED INT. ILLUM.
MOUNTING:	POLE MOUNTED
CABINET MATERIAL:	ALUMINUM

9.3 SqFt

Total Sq. Ft. 50.4

NOTE: BASE MADE BY OTHERS



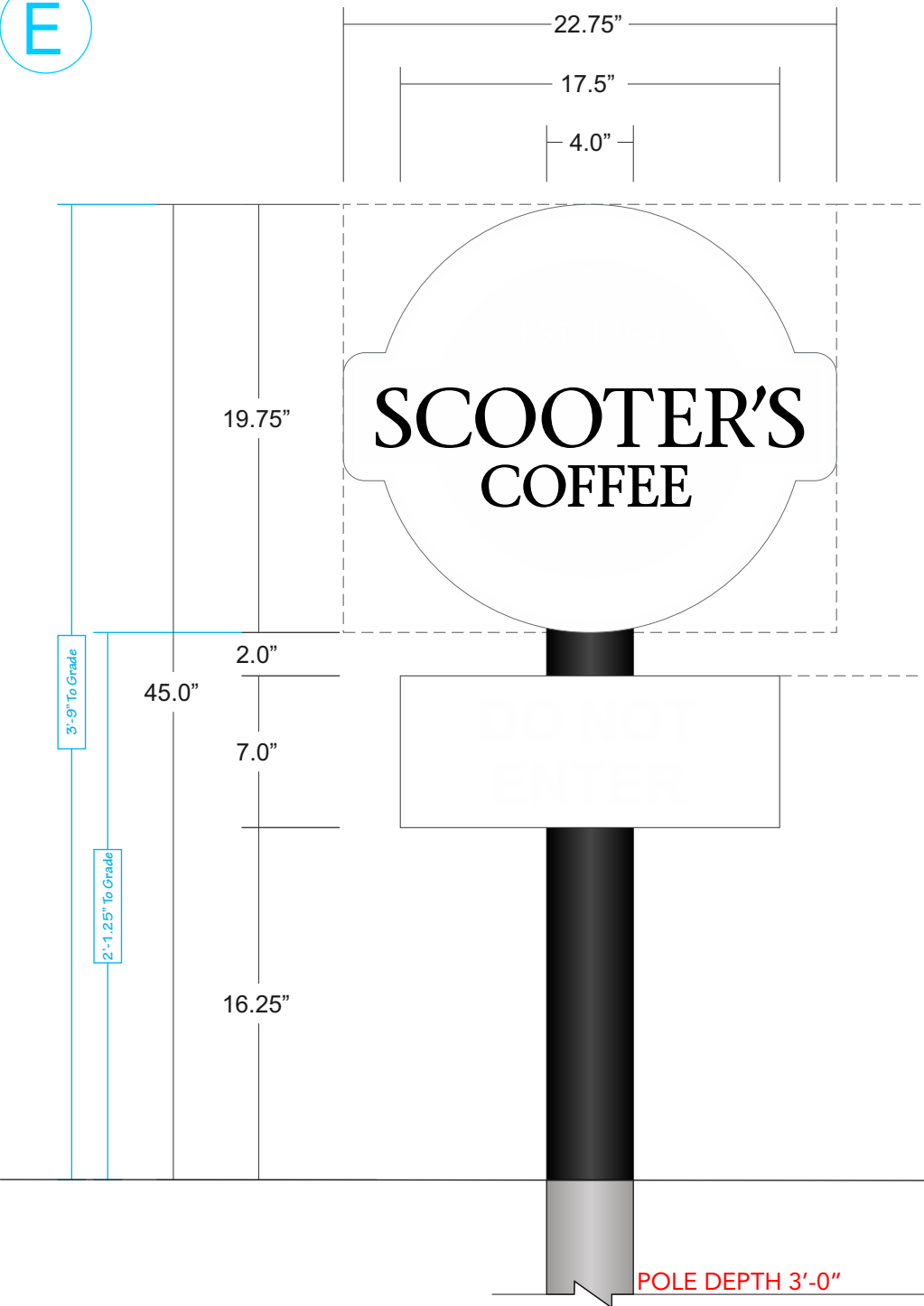
PAINTED FLAT BLACK

3M Lt. Tomato Red Translucent Film (3630-43)

3M Black Opaque Film (7725-12)

DETAIL VIEW - D/F DIRECTIONAL

Quantity: 1



DIRECTIONAL - LED ILLUMINATED CABINET

FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	1'-0"
RETAINER INFO:	1" BLACK TRIMCAP
ILLUMINATION:	D/F LED INT. ILLUM.
MOUNTING:	POLE MOUNTED
CABINET MATERIAL:	ALUMINUM
KEYLINE:	0.5" WHITE

3.1 SqFt

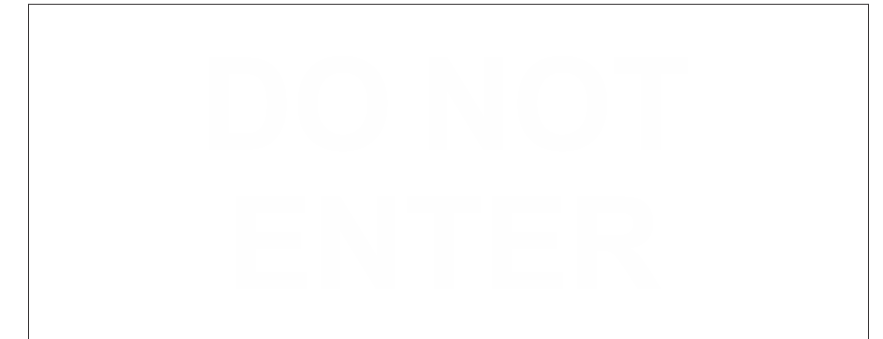
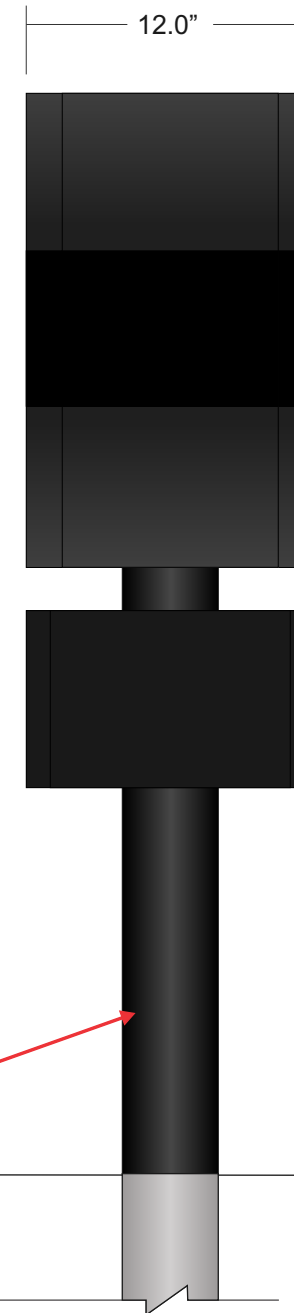
DIRECTIONAL - LED ILLUMINATED CABINET

FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	1'-0"
RETAINER INFO:	1" BLACK TRIMCAP
ILLUMINATION:	D/F LED INT. ILLUM.
MOUNTING:	POLE MOUNTED
CABINET MATERIAL:	ALUMINUM

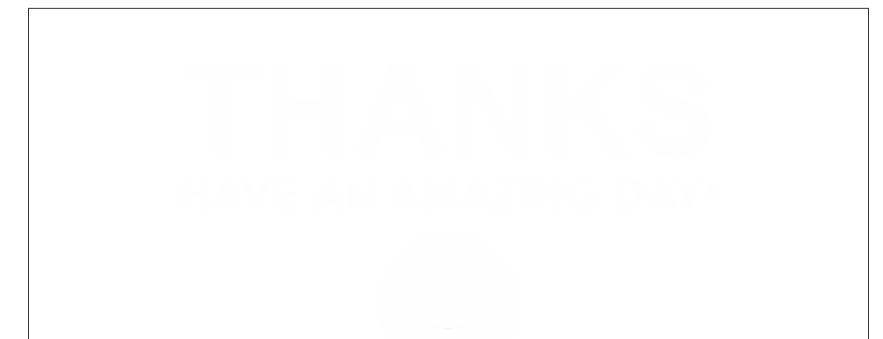
0.9 SqFt

Total Sq. Ft. 4

NOTE: POLE STRUCTURE TO BE PAINTED Sw6992 INKWELL



SIDE A



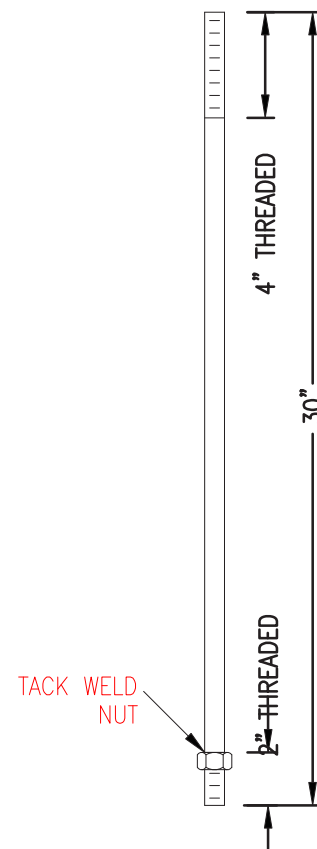
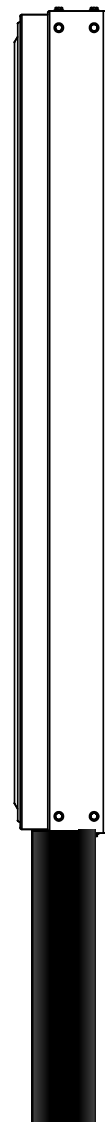
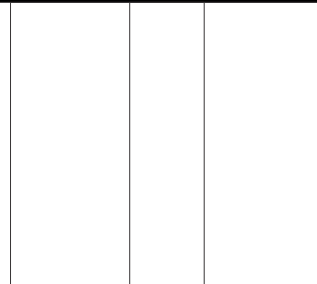
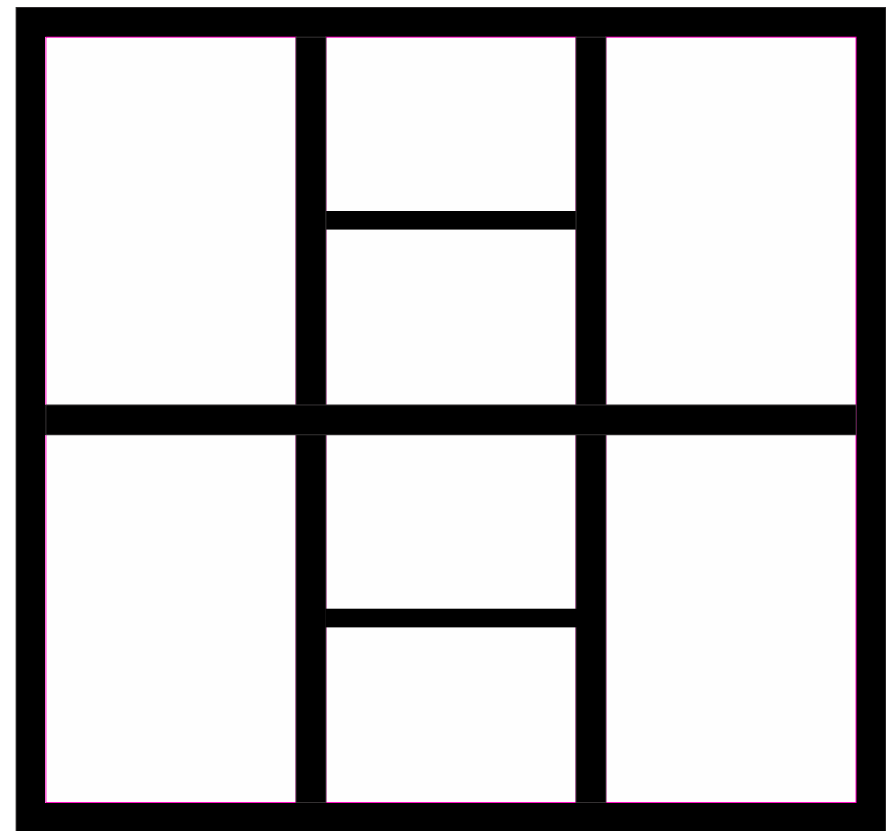
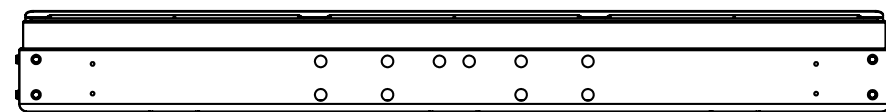
SIDE B

DETAIL VIEW - MENU BOARD DISPLAY

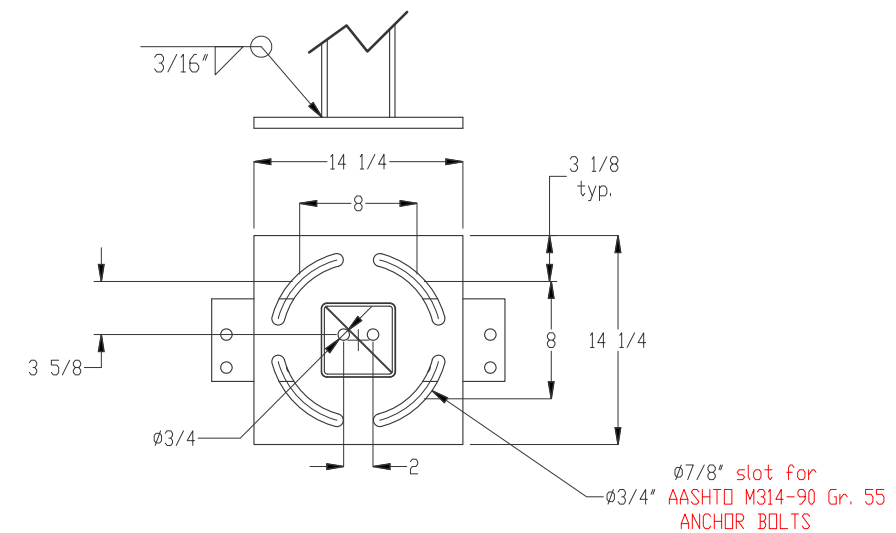
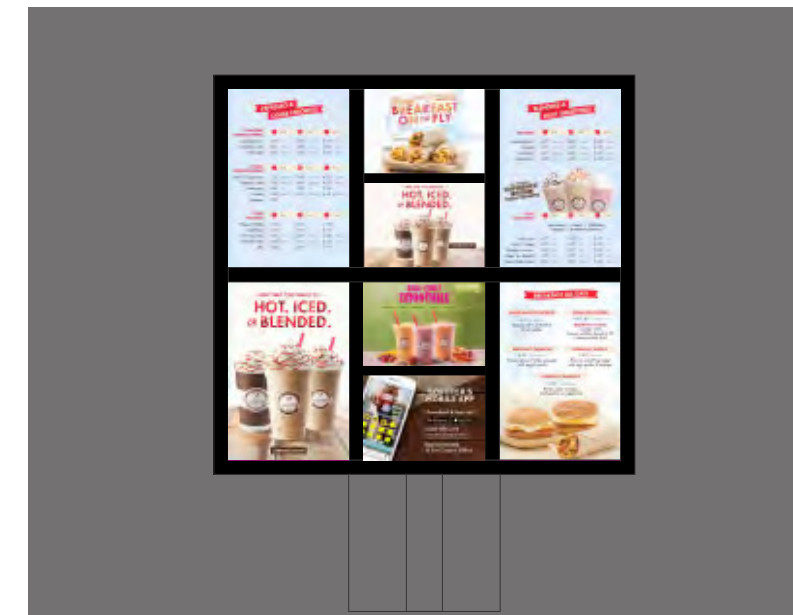
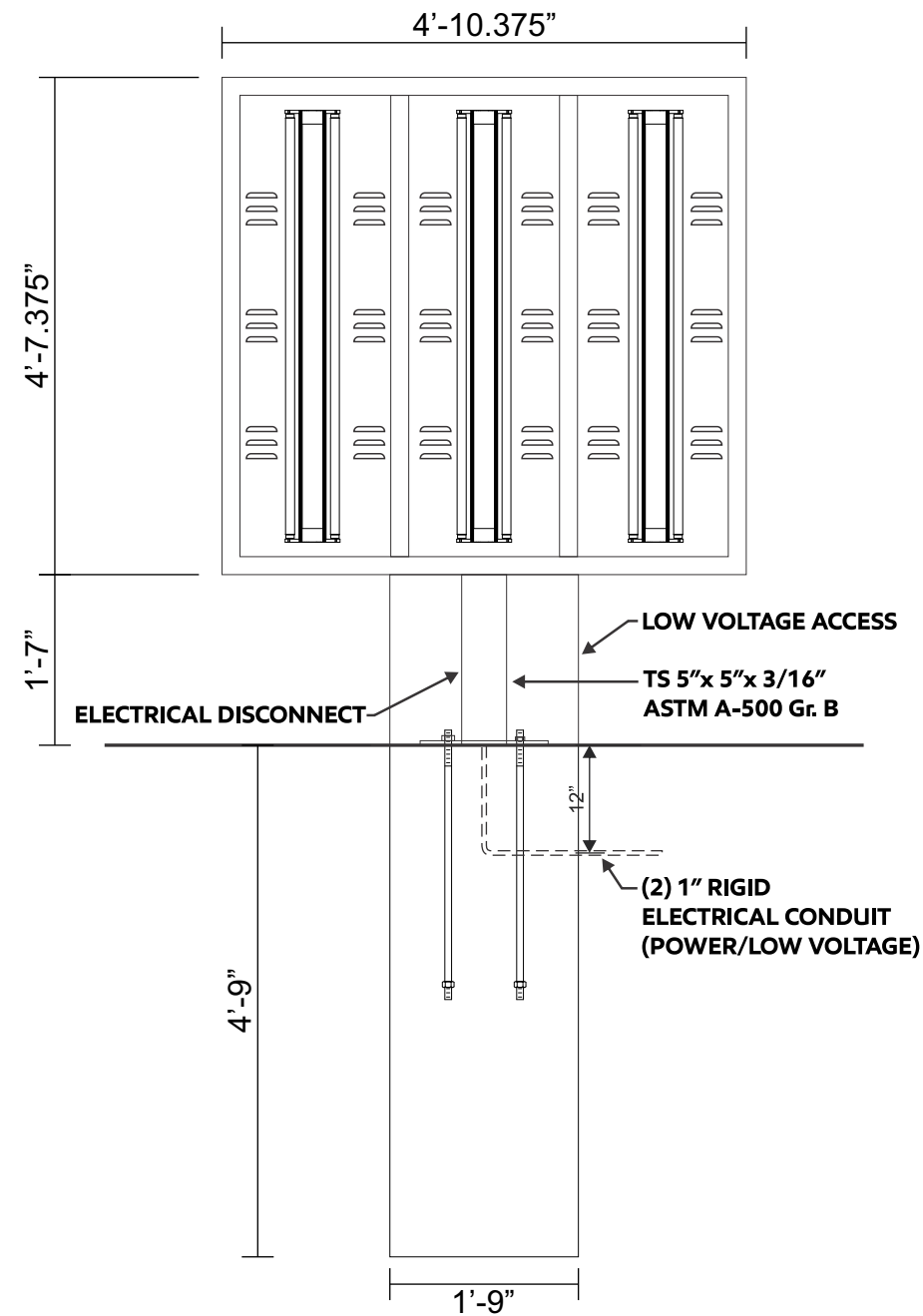
ILLUMINATED DRIVE-THRU SYSTEM:

- LED LIGHTING
- MOUNTED TO EXISTING PIPE AND FOOTING AS SHOWN
- GRAPHICS ARE CHANGEABLE

Installation Only



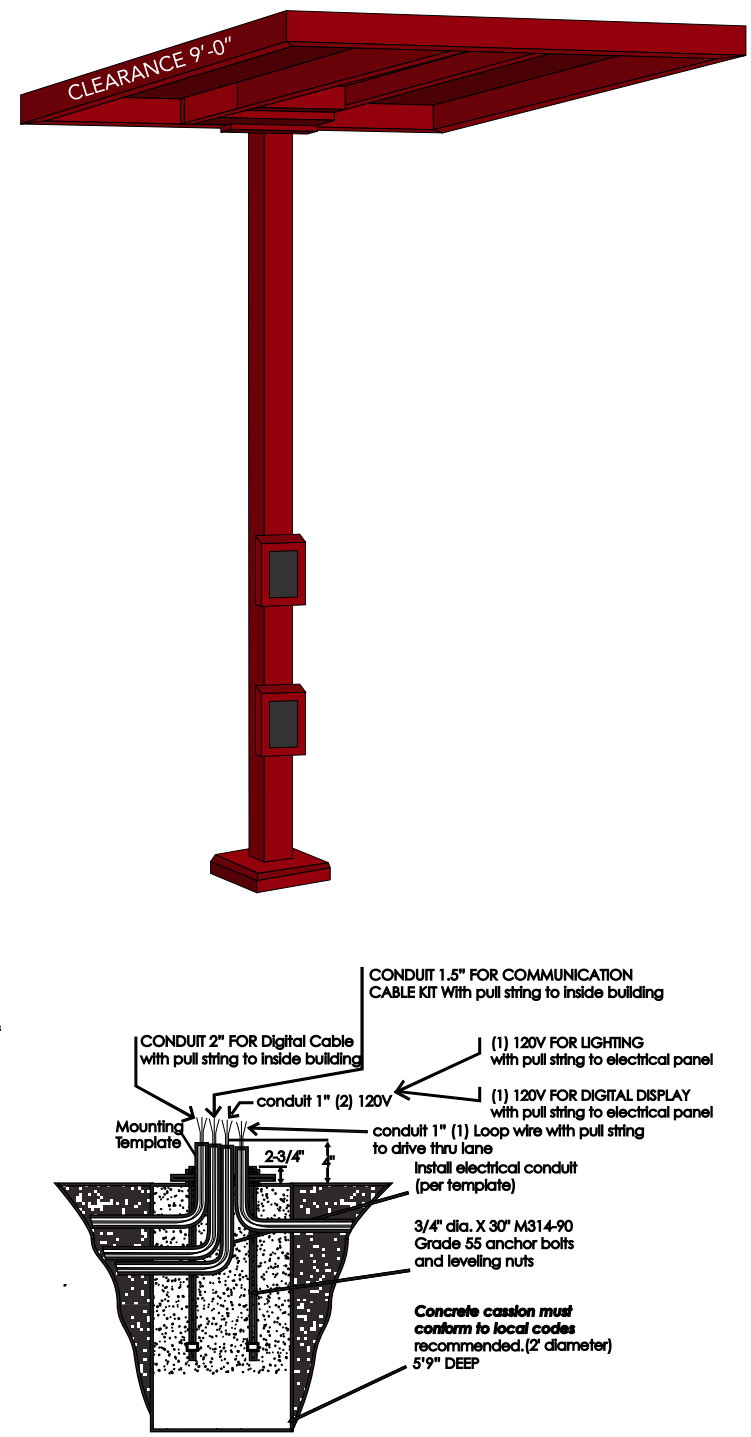
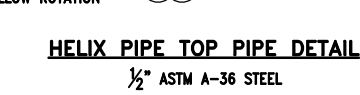
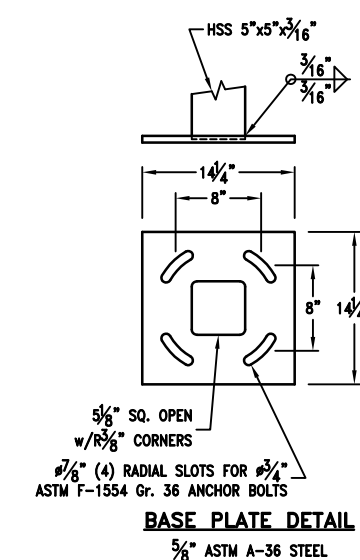
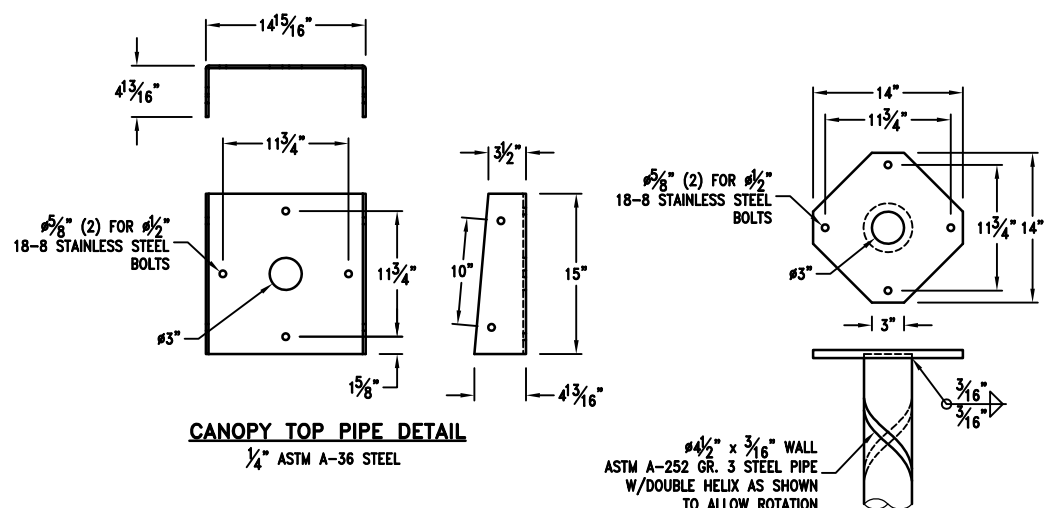
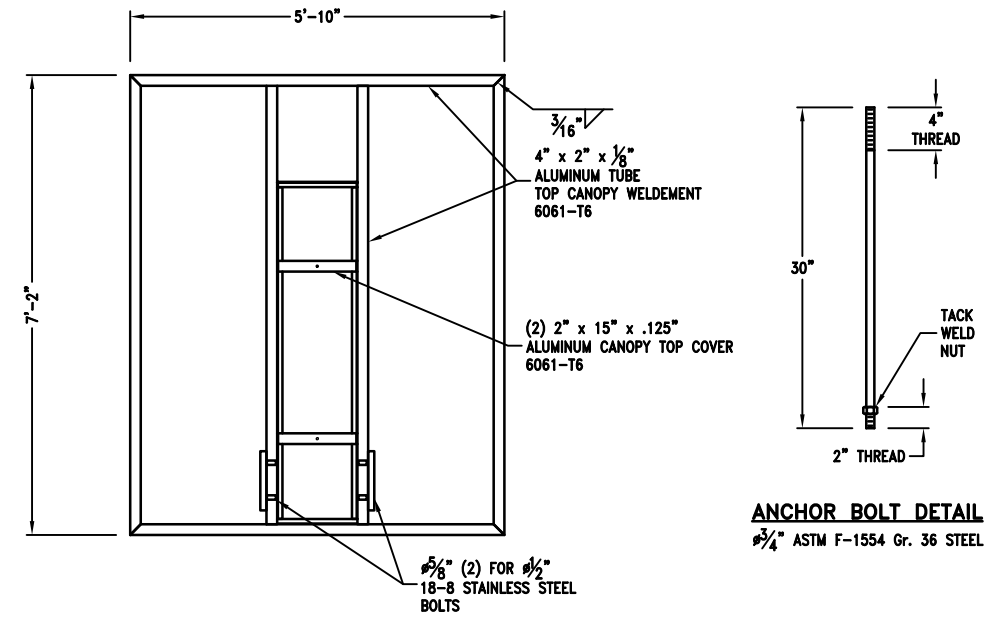
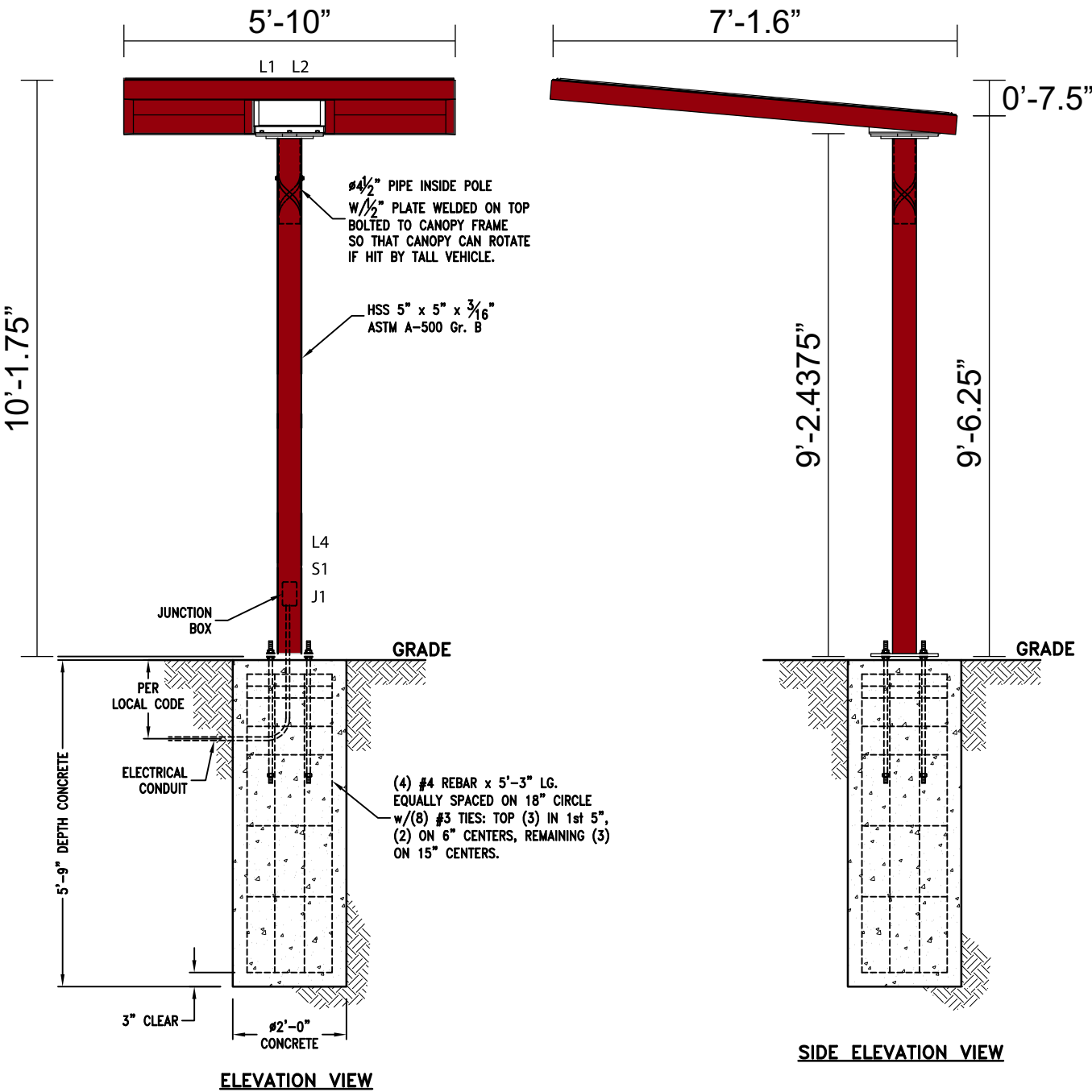
ANCHOR BOLT DETAIL
 ø3/4" AASHTO M314-90 Gr. 2 STEEL
 CAN USE EITHER STYLE ANCHOR BOLT



BASE PLATE DETAIL
 3/4" ASTM A-36 STEEL

DETAIL VIEW - CLEARANCE BAR & MENU CANOPY

Installation Only



LED INTERNALLY ILLUMINATED CHANNEL LETTER/CABINET

Quantity: 1



CHANNEL LETTER/CABINET: ATTACHMENT METHOD

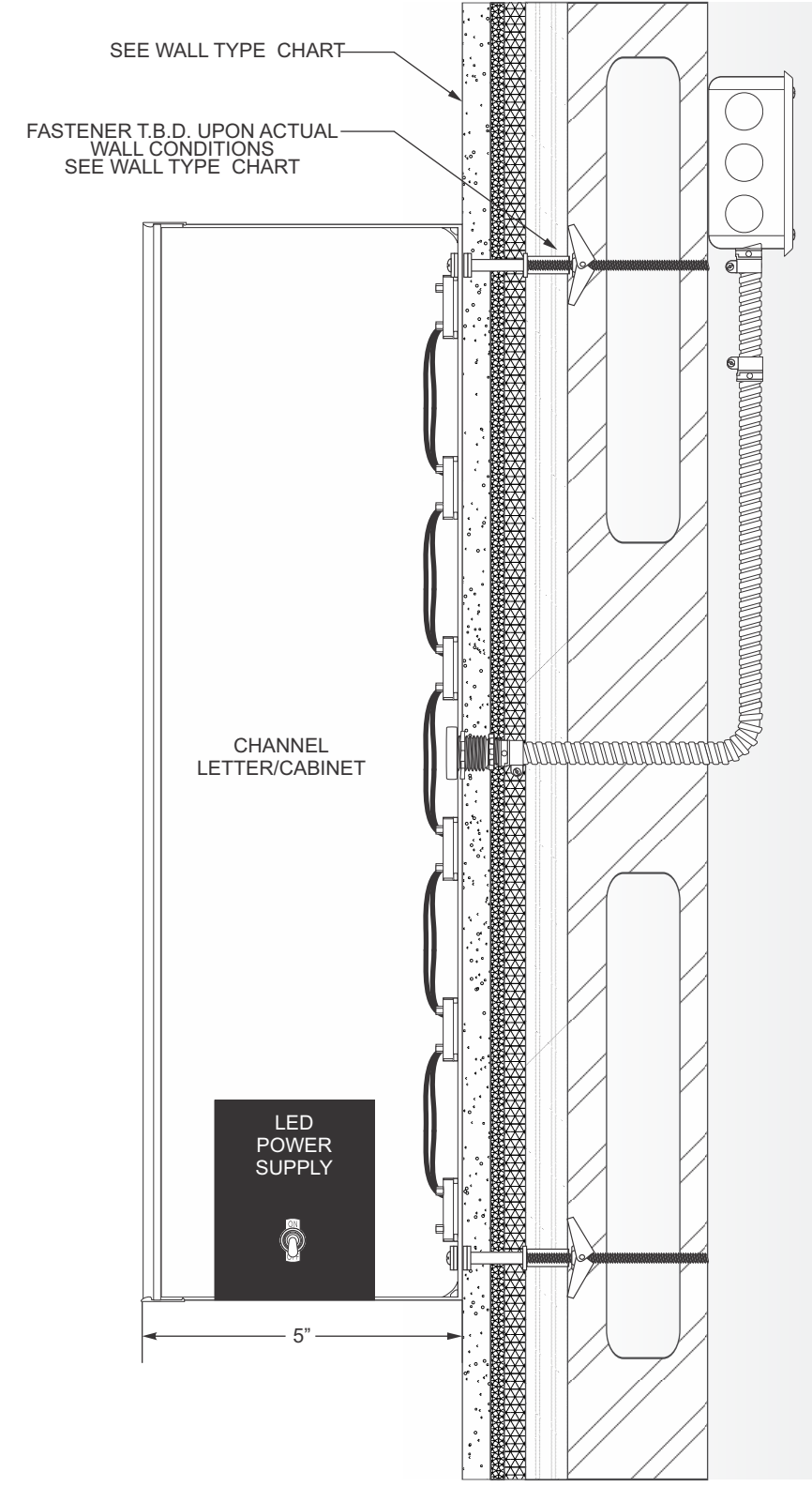


FASTENER SCHEDULE:
QTY-8 FASTENERS (SEE WALL TYPE CHART)
TYPICAL 8 PLACES

WEIGHT CALCULATIONS
28.54 SF x 5.0 lbs =
142.7 lbs

SQUARE FOOTAGE CALCULATIONS
5'-0" x 5'-8.5" =
28.54 SF

WALL TYPE	INSTALLS ON EIFS, WOOD, OR METAL FACADE
DETAIL SECTION	
FASTENER TYPE	APPROX. 3/8" X 5" TOGGLE BOLT

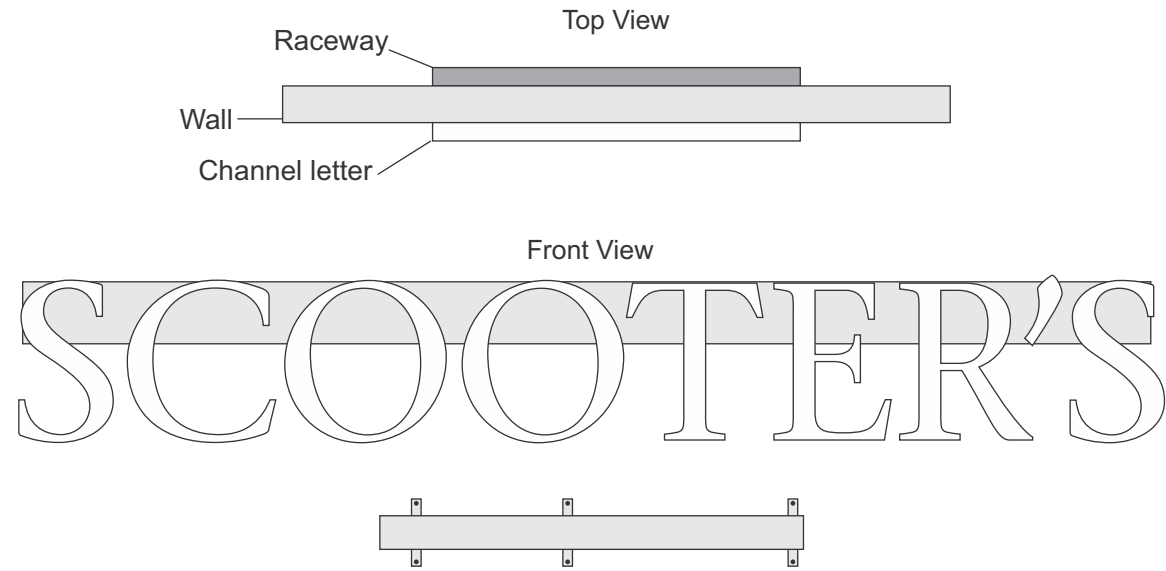


LED INTERNALLY ILLUMINATED CHANNEL LETTER/CABINET - RACEWAY MOUNT

Quantity: 2

B

RACEWAY MOUNT CHANNEL LETTER/CABINET: ATTACHMENT METHOD

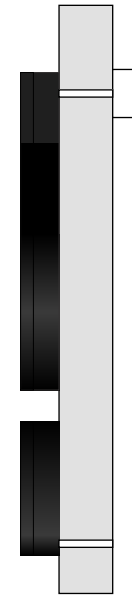


FASTENER SCHEDULE:

QTY-3 STRAPS WITH 2-EA FASTENERS (SEE WALL TYPE CHART)
TYPICAL 3 PLACES
MINIMUM (1) STRAP PER 8' SECTION

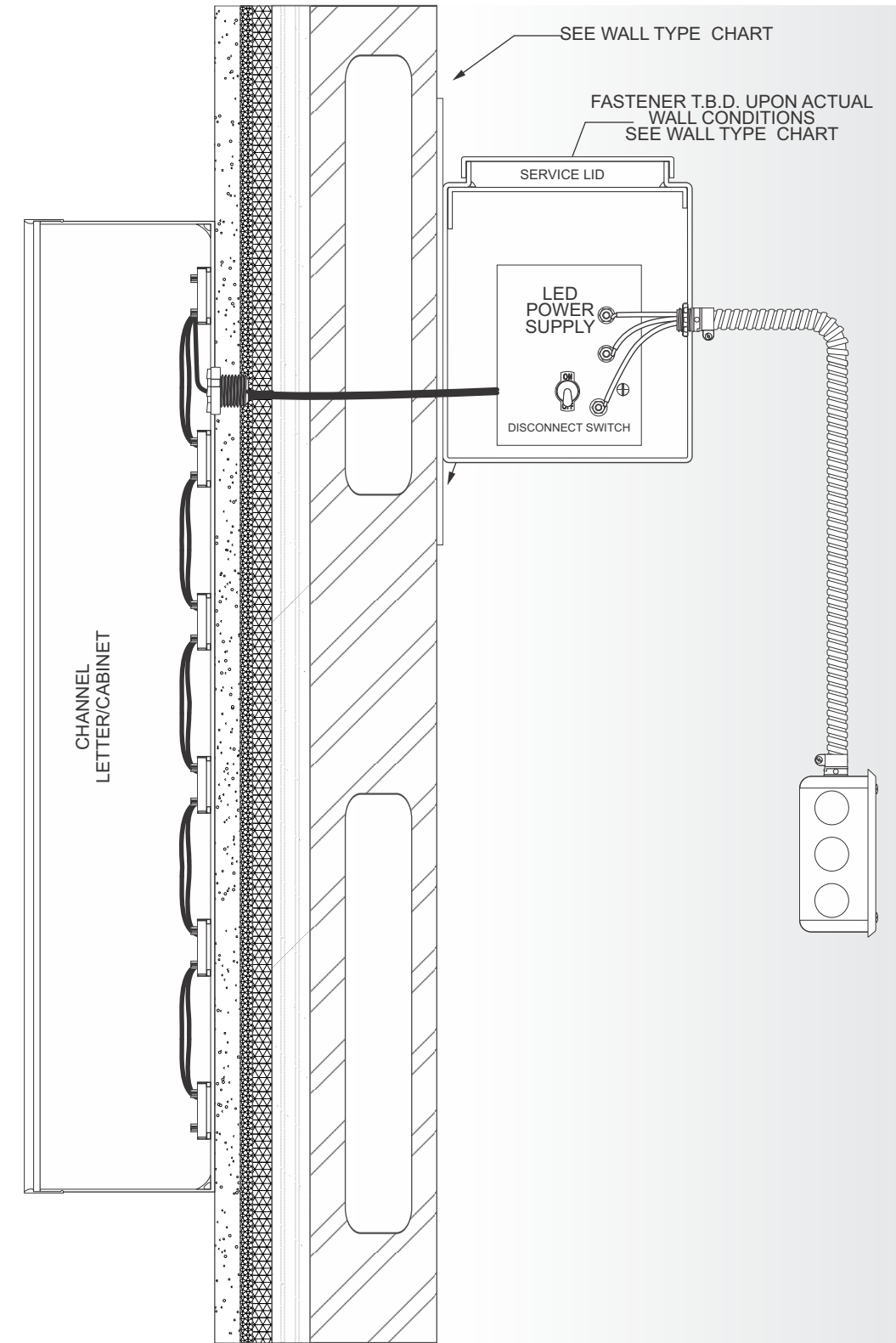
FASTENERS T.B.D. UPON ACTUAL WALL CONDITIONS

WALL TYPE	INSTALLS ON EIFS, WOOD, OR METAL FACADE
DETAIL SECTION	<p>CABINET BACK</p> <p>WALL FACADE</p> <p>TYPICAL BACKING</p> <p>WOOD OR METAL STUD</p>
FASTENER TYPE	APPROX. 3/8" X 5" TOGGLE BOLT



WEIGHT CALCULATIONS
45.68 SF x 2.22 lbs =
101.41 lbs

SQUARE FOOTAGE CALCULATIONS
2'-6" x 18'-3.25" =
46.68 SF



LED INTERNALLY ILLUMINATED CHANNEL LETTER/CABINET

Quantity: 2



CHANNEL LETTER/CABINET: ATTACHMENT METHOD

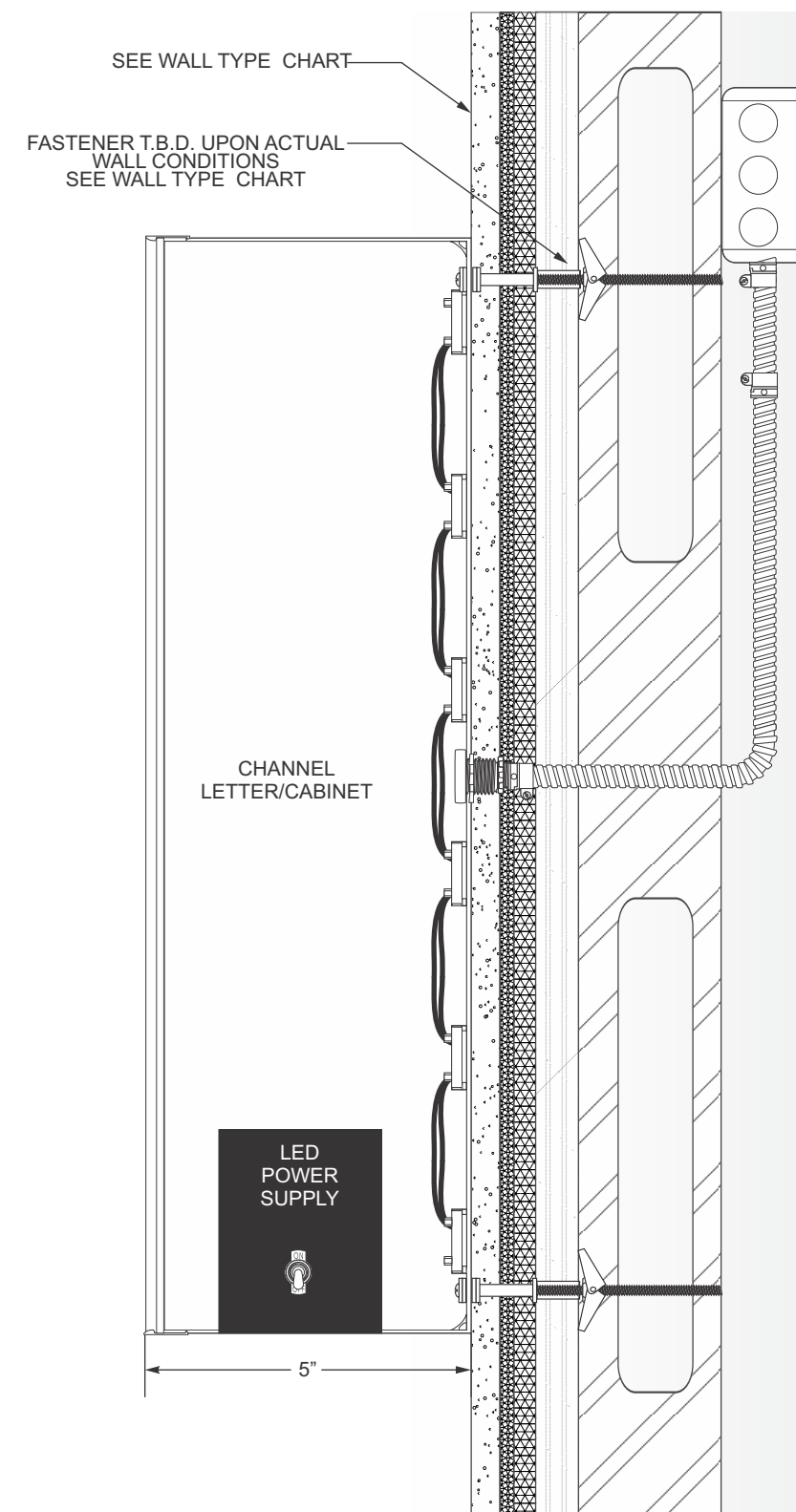
COFFEE DRIVE-THRU

FASTENER SCHEDULE:
QTY-38 FASTENERS (SEE WALL TYPE CHART)
TYPICAL 38 PLACES

WALL TYPE	INSTALLS ON EIFS, WOOD, OR METAL FACADE
DETAIL SECTION	
FASTENER TYPE	APPROX. 3/8" X 5" TOGGLE BOLT

WEIGHT CALCULATIONS
19.38 SF x 2.0 lbs =
38.76 lbs

SQUARE FOOTAGE CALCULATIONS
1'-1.25" x 17'-5.5" =
19.38 SF





SIGN PURCHASE AGREEMENT

800.845.9927 springfieldsign.com

DESCRIPTION

This agreement, made and entered into this ____ day of ____ (month), 20__ (year), by and between Springfield Sign & Graphics, INC. d/b/a Springfield Sign (herein after referred to as Seller), and Buyer (as outlined below and labeled as Buyer) witnesseth, that the Seller agrees to manufacture for Buyer the sign(s) and/or other sign products/services as outlined in a separate E2 document as follows, QUOTE Number: _____ or other such unique document of description as follows:

[Redacted description area]

CONTACT

BUYER:

COMPANY NAME: D/B/A: BILLING ADDRESS: CITY: STATE:

JOB DETAILS:

COMPANY NAME: D/B/A: BILLING ADDRESS: CITY: STATE:

FINE PRINT

All wiring on the premises to the site of the signs' installed location, including the connection of the sign to such primary wiring source is to be the responsibility of the Buyer, at additional cost to the Buyer, at the direction of the Buyer. as designed by the Buyer or Buyer's agents and, as necessary, all other aspects and expenses, as required, to bring primary electrical wiring to the sign's location for energizing of such signs. All voltages to be 120 Volt at 60 Hertz unless otherwise specified. Any damages caused by the energizing circuit to the sign or sign products due to improper design (including but not limited to improper voltages), improper connection thereof or any other causes related to the energizing primary circuitry will be solely and completely at the Buyer's risk and expense. Any additional work, trouble shooting in the field, by phone, by internet or otherwise required on behalf of Seller will be bi/Jed in addition to Buyer on a Time and Materials basis, at additional expense. All Permit fees/Engineering fees and labor/drawing costs for the acquisition thereof will be billed in addition to prices stated herein at additional expense unless specifically outlined in this document to be bi fled in another manner as described herein. Any required sales/use taxes are the responsibility of the Buyer, now and in the future as so levied by applicable governing authorities. All taxes are due and payable upon demand by Seller at or any time subsequent to the execution of this SIGN PURCHASE AGREEMENT. It is understood that taxes are in addition to the prices outlined in the SIGN PURCHASE AGREEMENT, E2 Quote or any other document outlining the signs, products or services for stated Job Location unless specifically and clearly outlined otherwise. It is expressly and undeniably understood by both Buyer (or Buyer's agents, subcontractors, salespersons, etc.) and Seller that no verbal agreement has been entered into. Both parties are to adhere to the terms and conditions of this SIGN PURCHASE AGREEMENT and related attachments as properly executed and initialed. Any governing entity outside the control of Seller, such as but not limited to, any applicable City/Municipalities, County Office/Agent, national codes (such as but not limited to NEC, BOCA, ETC.) with jurisdiction or control upon the product, labor (manufacturing or installation) or any issues, procedures or otherwise related to the execution of the terms, signs, sign products, services or otherwise, foreseen or unforeseen, may affect the costs and timely delivery of such products/services herein NOTICE: THIS IS A LEGAL DOCUMENT WITH BINDING OBLIGATIONS READ BOTH SIDES OF THIS INSTRUMENT BEFORE SIGNING, AS THE TERMS OF THIS SIGN PURCHASE AGREEMENT ARE SET OUT THEREON, The specific terms for payment may vary based on product types or other reasons, but it is expressly understood that PAYMENT IN FULL as outlined by this Agreement is due and must be paid PRIOR TO INSTALLATION OF SIGN PRODUCT, PARTS OR SERVICES. All outstanding balances over 30 days due are subject to a 2% per month (collectively compounding) Late Fee.

Buyer's Guarantee to Build _____ (initials) Rejection of Buyer's Guarantee to Build _____ (initials)

BUYER:

I/We have read this entire agreement and agree to defend and hold harmless Seller as stated herein. ACCEPTED:

By: _____

PRINTED NAME: TITLE: DATE:

SELLER:

ACCEPTED:

By: _____

Mark Wessell, CEO Springfield Sign 4825 E Kearney St Springfield, MO 65803

1. DOCUMENT ATTACHMENT As allowed by this contract, other documents such as but not limited to E2 quotes, product specifications, manufacturer's specifications, etc. may be referenced in the area in the beginning of this Sign Purchase Agreement. These documents may have additional terms, conditions, pricing, restrictions, limitations or otherwise as describe by those written instruments, such as but not limited to LED (or other types) of electronic displays.

2. LIMITED WARRANTY Seller warrants all new materials and/or services delivered herein to be at time of completion of job and time of delivery, to Buyer, to be free from defects of material and/or workmanship. Seller agrees to repair or replace, solely at Seller's discretion, any products or parts thereof, which are found defective in material or workmanship within 90 days from time of installation of sign or sign product. Seller's obligation with respect to such products or parts shall be STRICTLY LIMITED to replacement or repair and in NO event shall Seller be liable for consequential, incidental or special damages, or for transportation, installation, adjustment or any other expenses which may arise in connection with such products or parts, including but not limited to loss of business or loss of trade. THIS WARRANTY IS EXPRESSLY MADE IN LIEU OF ANY AND ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THERE ARE NO OTHER WARRANTIES. Seller's obligations hereunder shall extend only to defects for which Buyer shall have given Seller written notice thereof within ninety (90) days after date of delivery or installation, as applicable. Buyer is NOT authorized to make independent arrangements for warranty work. All warranty work on said signs, products, parts, services, as described herein, shall be arranged or subcontracted by Seller or be done by Seller's employees or representatives, solely at the discretion of the Seller. In the event that Buyer does not permit Seller to inspect product, access property or in any other way directly or indirectly inhibits the Seller to arrange for or conduct necessary repair work required under this Agreement, or Buyer makes independent arrangements for such repair work, Buyer agrees that Buyer will be solely responsible for the costs of such repairs. In the event Buyer does not comply with the above, Seller hereby EXCLUDES ALL WARRANTIES, EXPRESS AND/OR IMPLIED, AND BUYER PURCHASES THE SIGN, SIGN PRODUCT AND/OR SERVICES "AS IS" and WITH ALL FAULTS, WAIVING ALL WARRANTIES HEREUNDER. Additional limitations include but are not limited to, acts of God, acts of nature, vandalism, acts of War or Terrorism and/or accidental damages.

3. INSURANCE As long as any amount of monies is due and owing to Seller, Buyer shall insure sign, sign products or services, in an amount no less than monies due Seller, and NAME SELLER in the loss payable clause of such insurance policy, strictly for the benefit of the Seller. Buyer further agrees to not limit the insured causes allowing for fire or any other casualty. Buyer shall furnish Seller with evidence of such certification of insurance, in writing from Buyer's insurance agent or agency, upon Seller's demand. Seller's certificate of insurance for liability/workers compensation shall be provided by Seller to buyer upon request from Buyer.

4. TAXES Buyer shall be responsible for and pay all taxes including but not limited to Sales, Use, Personal Property or any other municipal, county, state or federal taxes that may be levied, imposed or assessed by law on the sign product, parts or services or improvements thereon, or uses of such. Buyer agrees to reimburse Seller for any amount for such taxes, that may be billed to and paid by Seller. Any interests or penalties associated with any taxes as outlined herein will also be due and owing to Seller if so paid by Seller. These taxes, as allowed by law, may or may not be assessed at time of initial sale or delivery of sign product, parts or services and may continue forward in time without end.

5. PERMITS/LICENSES Seller shall not be obligated to commence fabrication of sign product, parts or services until all necessary permits have been issued. If permits are denied after reasonable effort by both parties to secure same, then this Sign Purchase Agreement shall terminate without liability to either Buyer or Seller, except that Buyer shall pay Seller for reasonable compensation for labor and costs expended until the time permits are denied. Buyer shall be responsible for securing and maintaining in effect written consent from the owner of record of the premises upon which sign product, parts or services is to be installed and for all other private permissions, consents or licenses, including but not limited to, the use of registered trademarks or copyrights used on the sign product, parts or services, necessary for the manufacture, the installation, maintenance and use of such. The only exception to this will be if the Buyer's Guarantee to Build check box at the beginning of this Sign Purchase Agreement is checked. The terms and conditions for this, briefly being stated herein, shall GUARANTEE FULL PAYMENT TO SELLER with no guarantee to Buyer that the sign product, parts or services will be utilized to any benefit of the Buyer. Buyer will be obligated to pay the full contract price, including installation and will have to make arrangements for receipt of, off loading of and storage of sign product, parts or services with no future claims for installation, service or maintenance of such from Seller. The Buyer's Guarantee to Build is strictly offered to allow manufacturing of sign product, parts or services to proceed WITHOUT the proper permits obtained. If in no way obligates Seller to be adverse to the law for installation (without permits) of sign product, parts or service.

6. INSTALLATION OF SIGN PRODUCT Buyer agrees to and stipulates that Buyer has designated the location for the sign product, parts or services and subsequent installation of such and is responsible for all required materials, labor and any other associated expense, at Buyer's risk, for the necessary requirements for proper, obstruction free and/or lawful installation. Obstructions, obstacles or other encumbrances, includes but is not limited to building reinforcement, building or site alterations, all obstacles as required for successful, safe, lawful installation including but not limited to overhead (power lines, buildings, trees or other encumbrances), underground (such as utilities, easements, rocks, buried objects natural, man made or otherwise), landscaping, sidewalks, planters, asphalt, concrete or any other such improvements, construction crews other than Seller's or Seller's agents or Buyer's normal business traffic, Seller will not be responsible for any damages for such items during the normal installation process. Any return trips or delays or overtime charges incurred will be passed on to Buyer at Buyer's expense.

7. ASSIGNMENT This Agreement shall be binding and inure to the benefit of the parties hereto, their respective successors, executors, administrators, assigns and legal representatives; provided, however

that the interests of Buyer herein shall be assigned only with the expressed, written consent and approval of Seller. No transfer or assignment of this Agreement or any interest hereunder shall release Buyer from their obligations herein.

8. DEFAULT OR BREACH OF AGREEMENT The parties stipulate that the sign product, parts or services is(are) not an article of general trade or utility but is uniquely designed and is to be constructed and/or installed at the request and for the sole and special purposes of Buyer. The sign product, parts or services is of no value to Seller, and therefore, has no resale or other value to anyone other than Buyer, this Agreement is not cancelable except with expressed written permission of the Seller. Buyer shall be deemed to have breached this Agreement by insolvency, default in payment amounts or schedules as set forth herein, abandonment of the sign product, parts or services or vacating the premises where such is located, termination or transfer of Buyer's interest in the premises or business, appointment of a receiver for Buyer's business, the filing of a voluntary or involuntary petition of bankruptcy with respect to Buyer, or any act or omission of Buyer in contravention to this Agreement. In addition to Buyer's other obligations hereunder, in the event Seller shall institute any action or lawsuit for the enforcement of the obligations of Buyer herein, Buyer shall pay and indemnify Seller for all costs of court, reasonable attorney's fees expended, interest expenses of 2% per month or as allowed by law whichever is more, collection fees, administration fees, and, pay Seller all amounts awarded by the court as a result of such proceedings. Buyer's breach of any provision in any other Sign Purchase Agreement or other instruments as put forth by Seller or Confirmation of Order with Seller shall also be deemed to be a breach hereunder, and Seller may suspend its performance and delivery under this and all other agreements with Buyer until Buyer provides Seller with adequate assurance of performance within a reasonable time, not exceeding ten (10) days, after Seller has informed Buyer orally or in writing, of its grounds for insecurity.

9. COPYRIGHTS, TITLE & CONVEYANCE OF OWNERSHIP Seller specifically retains ownership and/or title of sign product, parts or services until Buyer has performed and fulfilled all terms and conditions required by Seller, herein, or as otherwise allowed by law to Seller's benefit. Buyer also, conveys to Seller the absolute right to access property to remove sign product or parts from said property, should any default arise on Buyer's behalf, and, to pay for all necessary costs for removal and possible subsequent re-installation of said product at expense in addition to that outlined herein, solely at Buyer's risk and expense. Buyer agrees and will defend same that Seller shall at all times have title to all original drawings, designs and specifications relating to the work hereunder, which were developed or created by or on behalf of Seller, and Seller hereby claims copyrights, where applicable, of all such drawings, designs and specifications. Payment of all or part of any amounts hereunder does not pass title to the "original drawings, designs, specifications" of said sign product, parts or services, although the same may be reproduced with the expressed written consent of Seller. Buyer shall, upon request of Seller, promptly return all such drawings, designs and specifications, and copies thereof, to Seller during all times which Buyer owes Seller any amounts hereunder. Buyer agrees that Seller has specific legal rights in the form of Copyrights or other instruments given by law to Protect and does hereby declare Seller's ownership of all drawings artwork and the like during and after the terms of the Agreement herein.

10. MANUFACTURING SPECIFICATIONS/INDUSTRY STANDARDS Buyer understands and agrees to allow Seller, solely at Seller's discretion to make modifications for and conforming to Seller's standard manufacturing practices. It is also understood by Buyer, that no color, shape, dimension or any other specific feature of said sign product, parts or services is guaranteed absolute. As practical examples absolute color matches or dimensions are not guaranteed and will be allowed reasonable differences within industry standards. Buyer agrees that Seller may mark and label sign for legal, national code, electrical, manufacturing, advertising or other requirements and purposes as is reasonably necessary to conduct day-to-day business as allowed or required in the industry and for Seller's own satisfaction and benefit.

12. SUBJECT TO PRIOR SALE Used sign products, new or used products offered for resale from other manufacturers, such as but not limited to electronic displays may be subject to prior sale affecting price and or delivery times to Buyer. Seller will not be responsible for any consequences related to such issues. This includes promotional or sales or any other type of proposal made to customer. Seller has no authority or control over other manufacturers and Seller employ's numerous sales agents all of whom may be promoting the same sale item, thus depleting any available inventory.

13. CHANGE ORDERS Any alteration, deviation and/or reasonably significant variance from the scope of work, construction or labor or otherwise from the sign(s) or products or services as outlined herein, including all extra costs, hereafter called Change Order, will be executed only upon written orders and may become an additional charge over and above the price stated herein. Any such Change Order requested by Buyer must be agreed to by Seller, in writing and solely at the discretion of the Seller. It is understood that any Change Order could necessitate the need for a price increase, an extension in the time required to complete the work outlined herein or any other reasonable and necessary charges, terms, conditions, equipment or the like as so required to execute the Change Order.

14. SUSPENSION OF MANUFACTURING Any request or event or otherwise required by Buyer to delay, suspend, cancel or otherwise impede the manufacture, delivery and/or installation of said sign product, parts or services, for any reason or occurrence out of the control of Seller, then Buyer shall immediately pay the full purchase price or any amount remaining and due to Seller. Furthermore, upon such request, Buyer shall be solely responsible for storage charges and any increases in labor and/or material costs incurred by Seller in the manufacturing process. Buyer's failure to comply with this provision will be deemed and construed as an anticipatory breach of this Agreement. In the event Buyer complies with the foregoing, Seller will complete the manufacturing, delivery and/or installation within a reasonable period of time upon reasonable request of Buyer.

15. SECURITY INTEREST Buyer grants Seller a SECURITY INTEREST in the sign product, parts and/or services until all obligations to Seller, hereunder are fully paid. Seller may file and record this Agreement as a financing statement under Chapter 400 of the Missouri Uniform

Commercial Code Section 400.9-521, in addition to any other permitted standard or nonstandard forms. If Buyer shall fail to pay as agreed to herein, Seller (or Seller's agents or representatives) shall have the right, and will be defended by Buyer, and is hereby authorized and empowered to take and resume possession of and remove into Seller's possession, with or without process of law, the sign product, parts or services and all other property described herein, wherever found, and remove and sell the same at either public or private sale, or by any other viable method, as deemed solely by Seller, at such time and place as Seller shall choose, and as allowed by law. Seller shall apply the proceeds of such sale as a credit upon the obligations of Buyer hereunder. In such event, Seller is entitled to recover all expenses of sale, including any reasonable attorney's fees necessary in handling the matter, without prejudice to Seller to the further enforcement of any balance of such obligation due Seller by Buyer, or expenses remaining due from such sale. In the event the proceeds of such sale exceed the balance of Buyer's obligation to Seller and the expenses of such sale, Seller shall forward any such excess to Buyer. Buyer shall not use said sign products as to lessen the value of Seller's SECURITY INTEREST or impair the operation of said sign product, and in the event the sign product is damaged through the intentional acts or willful negligence of Buyer, Buyer's customers, its agents or employees, contractors or third parties, or by wind, hail, earthquake, fire, war, tornado, hurricane, flood, labor dispute, vandalism, acts of God or acts of nature, Buyer agrees to pay for the necessary expenses to restore said sign product, part or services in operable condition. After delivery and/or installation, whichever is contracted for, in the event the sign product is lost, stolen, destroyed, or otherwise impaired, Buyer shall remain liable to Seller for all amounts hereunder, UNTIL BUYER'S OBLIGATIONS TO SELLER ARE FULLY SATISFIED HEREUNDER, THE PROPERTY DESCRIBED HEREIN WILL REMAIN PERSONAL PROPERTY OF SELLER WHETHER THE SAME IS ATTACHED IN ANY MANNER TO THE REALTY OR NOT. SAID PROPERTY SHALL NOT, BY REASON OF ATTACHMENT OR CONNECTION TO THE REALTY, BECOME OR BE DEEMED A FIXTURE OR APPURTENANT TO SUCH REALTY. No transfer, renewal, extension, or assignment of the Agreement or of any interest hereunder, and no loss, damage or destruction shall release Buyer or any Guarantor from the obligations assumed hereunder. During all times in which Buyer is obligated for any amounts to Seller hereunder, Buyer shall keep said property free from all tax liens and other encumbrances, and any sum of money that may be paid by Seller to release any such liens or encumbrances shall be paid on demand by Buyer in addition to the obligations secured hereunder.

16. WAIVER OF CONSUMER RIGHTS

17. DELIVERY AND PERFORMANCE Seller shall not be held responsible for, and the period of time required for completion of any project or maintenance or repairs, shall be tolled during any time when Seller is delayed or prevented from completing the obligations hereunder because of strikes, equipment breakage, fire, war, terrorism, labor disputes, commercial delays, acts of God/nature, regulations or restrictions of any government entity or public authority, or any accidents or forces, conditions, or circumstances beyond Seller's control, and Seller shall not be liable for any loss whatsoever suffered by Buyer, directly or indirectly, as a result of any such events or occurrences. Buyer agrees to examine and inspect all installations, repairs, and maintenance, and within ten (10) days, notify Seller in writing of any complaints about work performed under this Agreement. The failure of Buyer to give such written notice shall constitute acceptance of the work performed. The provisions of the paragraph shall not be limited by any provision in which time is made of the essence. Notwithstanding anything in this Agreement to the contrary, if at any time prior to completion of this Agreement Seller's prospects for payment are, in Seller's sole discretion, impaired, Seller may require payment in advance before permitting delivery or any installation or services hereunder, and may demand Buyer's immediate performance of Buyer's obligations hereunder. If requested by Seller, Buyer shall furnish evidence, satisfactory to Seller, prior to commencement of Seller's work hereunder or at any time thereafter, that sufficient funds are available and committed to pay the full amount owing by Buyer under this Agreement.

18. STATE OF JURISDICTION/SEVERABILITY/MISCELLANEOUS All representatives of Seller are stipulated and specified in this Agreement. No modifications hereof shall be valid unless made in writing AND agreed to, AND signed by both Seller and Buyer. No waiver by either party hereto shall be a waiver of any subsequent breach of or failure to perform the same or any other term, condition, or obligation hereof. It is agreed by both parties hereto that venue of any action arising under the Agreement shall be in Greene County, Missouri and the laws of the State of Missouri shall govern this Agreement. Should any part of this Agreement contravene public policy or laws of the jurisdiction in which it is sought to enforce the same, then such part shall be considered null and void and have no force and effect, and the balance of the terms and conditions of this Agreement shall remain valid and in full force and effect. Buyer expressly grants Seller the right to use photographs, drawings or other replicas of the sign product specified herein in its brochures, pamphlets, displays, sales documents or other advertising or promotional media in the ordinary course of business of Seller. Seller may place on the sign product its name, telephone number and location of such information, as shall be determined by Seller and solely by the Seller. Buyer agrees that Buyer is purchasing said sign product for business or commercial purposes or use and not for personal, family or household use or purposes. In regard to payment of any amount due hereunder, time is of the essence.

AGREEMENT

PROJECT TITLE

Cornerstone Montessori Christian Academy

PROJECT PROPERTY OWNER

Shannon Nuckols

PROJECT LOCATION

Springhill Road, Bryant, AR

PROJECT DESCRIPTION

The proposed sub divisional development is on Springhill Road, Bryant, AR . Total development site area is 7.5 acres.

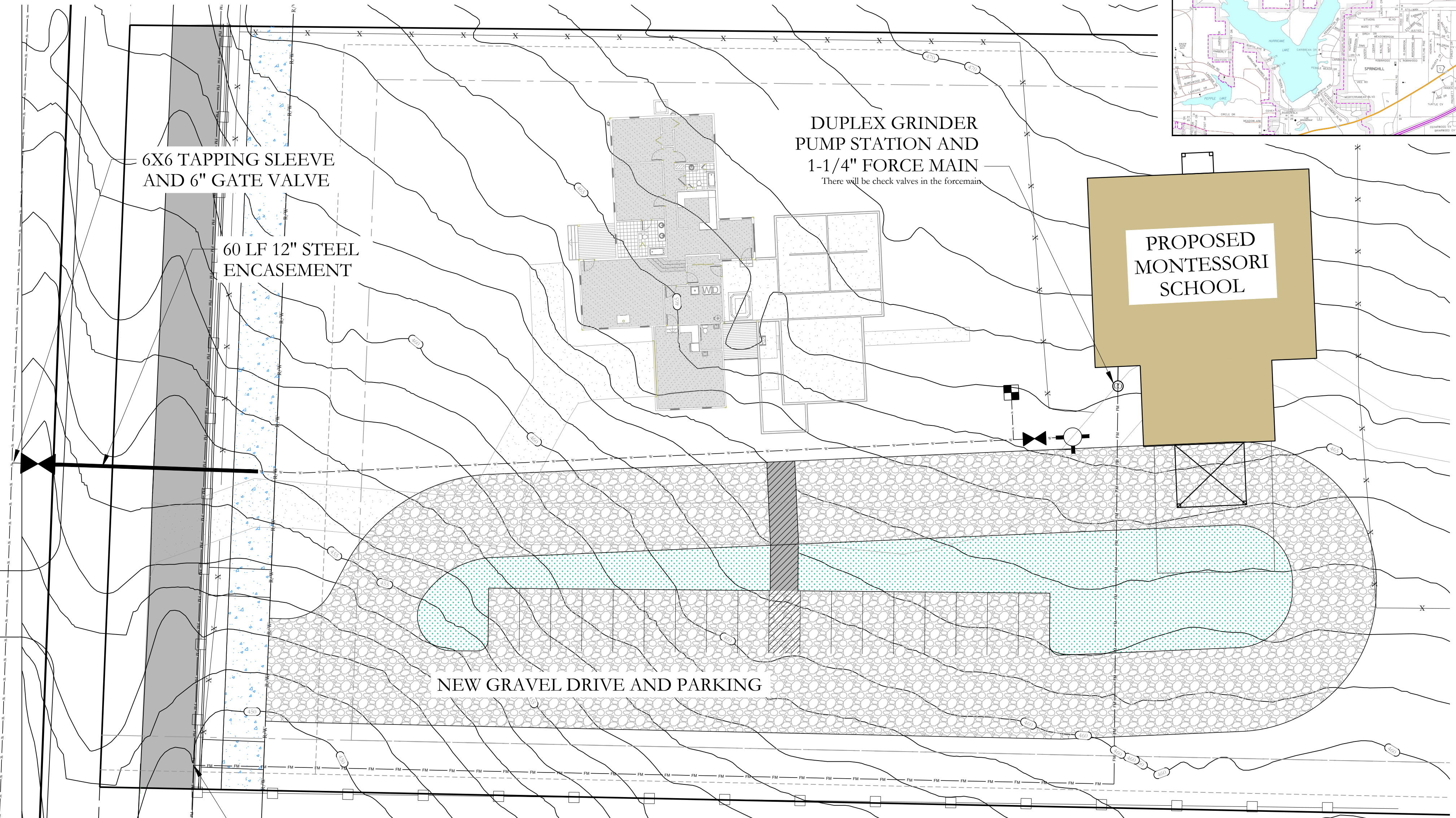
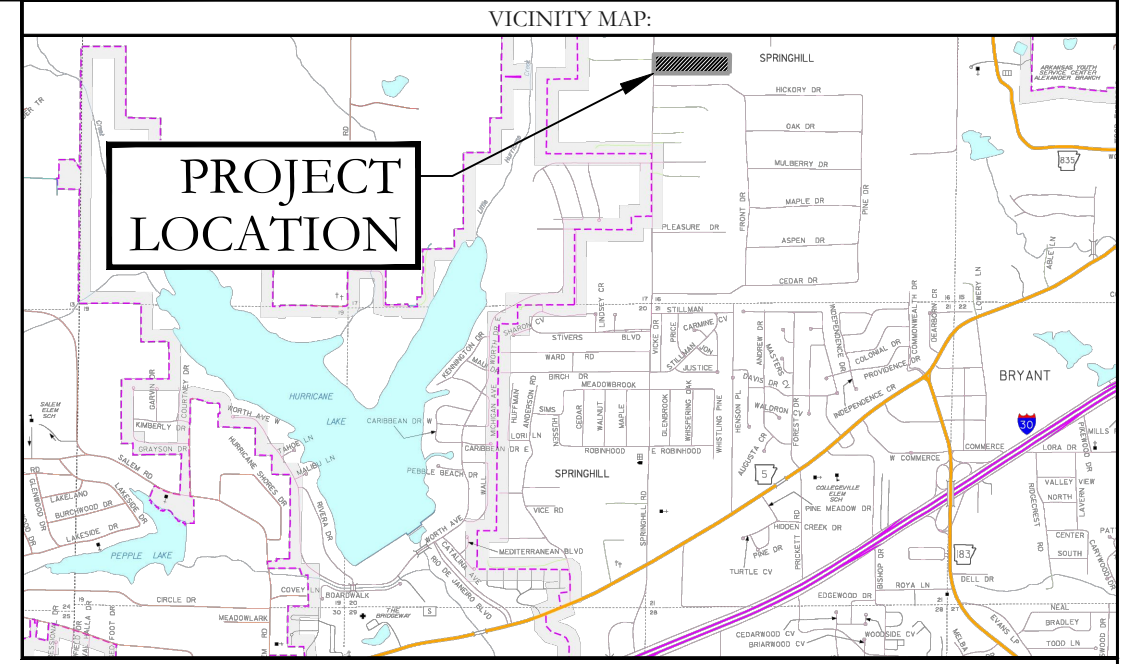
DRAINAGE ANALYSIS

On Site Drainage- Rational method was used to determine the existing and proposed flows from proposed site. Summary of the calculations are below:

Peak flows for Pre and post development phase of onsite area have been tabulated below-

Period of time	Pre-development	Post-development
	Peak Flow (cfs)	Peak Flow (cfs)
2-Year	51.663	53.005
5-Year	68.640	70.269
10-Year	83.641	85.743
25-Year	109.400	111.605
50-Year	127.899	130.296
100-Year	153.869	156.175

	YEAR	C	I	A	Q=CIA (cfs)
PRE DEVELOPMENT					
	2	0.308	2.8	59.906	51.663
	5	0.337	3.4	59.906	68.640
	10	0.358	3.9	59.906	83.641
	25	0.397	4.6	59.906	109.400
	50	0.427	5	59.906	127.899
	100	0.467	5.5	59.906	153.869
POST DEVELOPMENT	2	0.316	2.8	59.906	53.005
	5	0.345	3.4	59.906	70.270
	10	0.367	3.9	59.906	85.743
	25	0.405	4.6	59.906	111.605
	50	0.435	5	59.906	130.296
	100	0.474	5.5	59.906	156.175



6X6 TAPPING SLEEVE AND 6\"/>

60 LF 12\"/>

DUPLEX GRINDER PUMP STATION AND 1-1/4\"/>

There will be check valves in the forcemain

PROPOSED MONTESSORI SCHOOL

NEW GRAVEL DRIVE AND PARKING

8X2 TAPPING SLEEVE AND 2\"/>

Notes: New grinder pump and sewer service will remain private

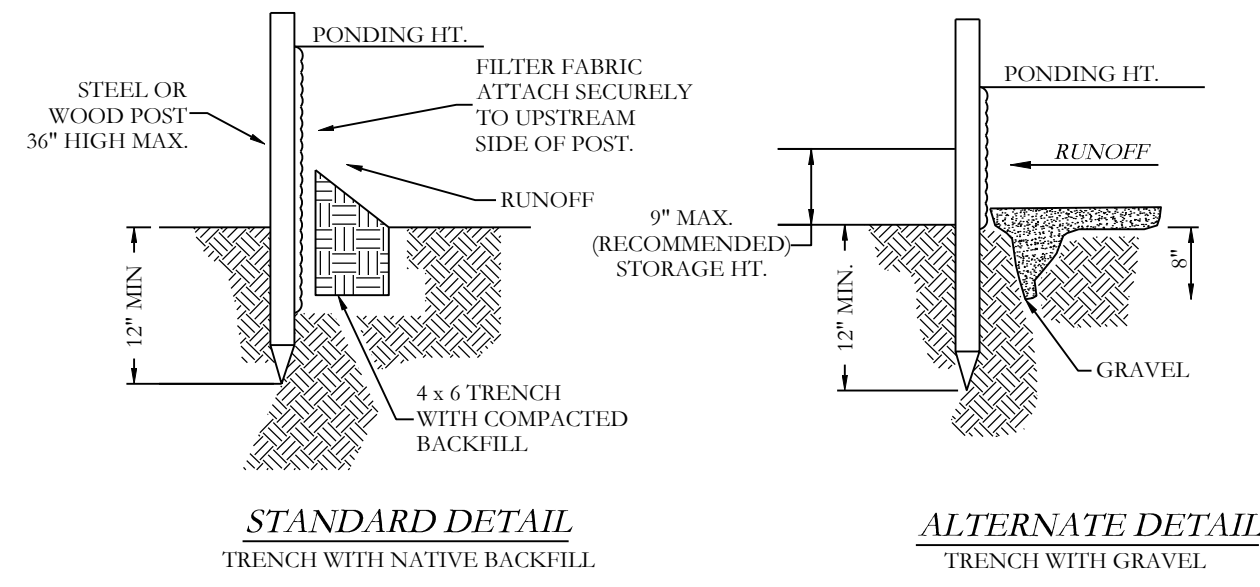
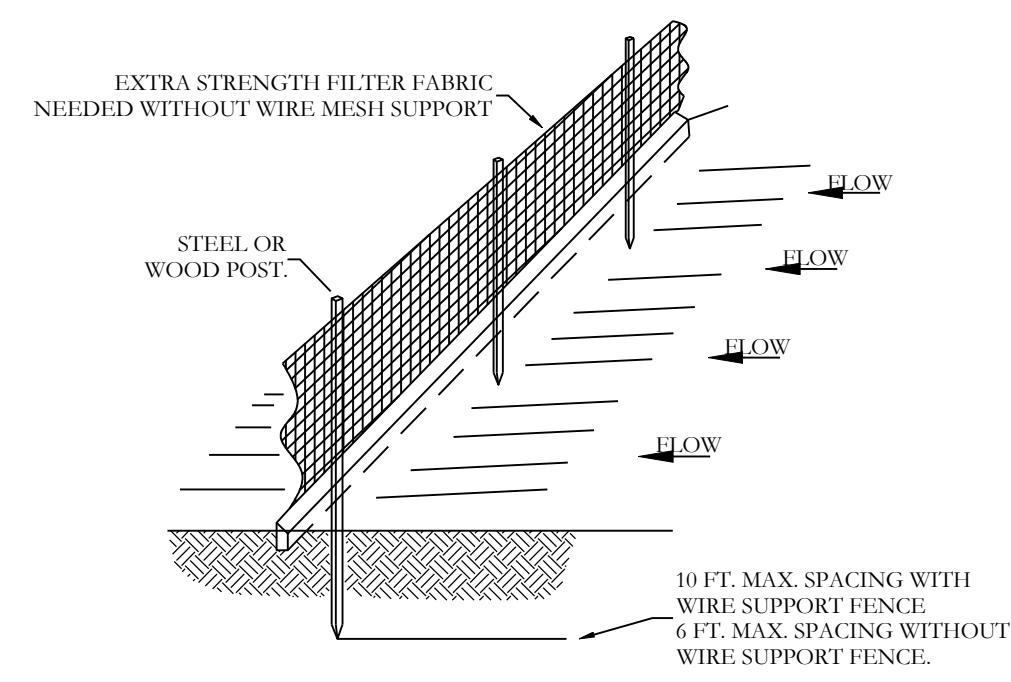
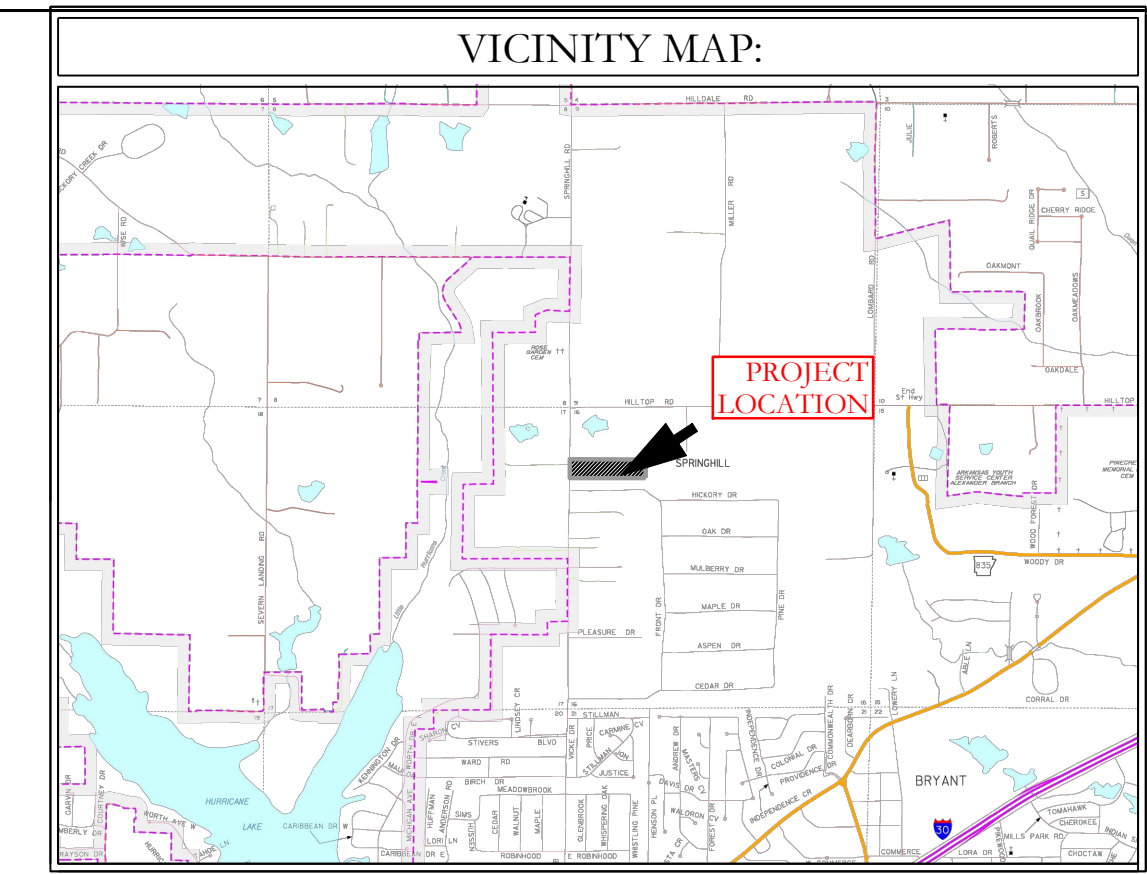
BASIS OF BEARINGS:
GRID NORTH ARKANSAS
COORDINATE SYSTEM,
SOUTH ZONE BY G.P.S.
OBSERVATIONS



UTILITY PLAN LEGEND	
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	SANITARY SEWER LINE
	WATER LINE
	SEWER MANHOLE
	SANITARY SEWER CLEANOUT

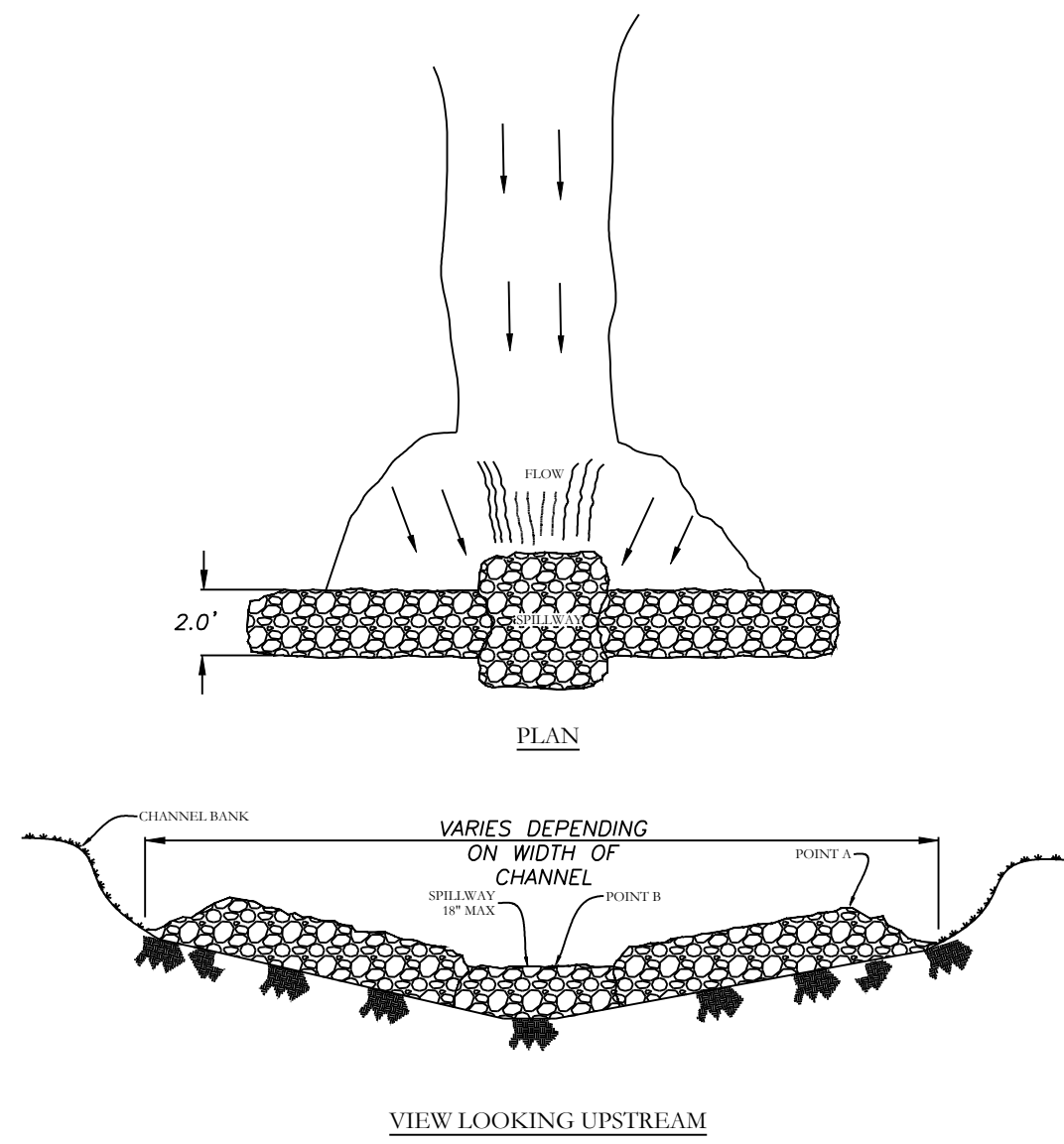
HOPE CONSULTING ENGINEERS - SURVEYORS		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: SHANNON NUCKOLS			
UTILITY PLAN NUCKOLS ESTATES BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	08/10/2022	C.A.D. BY:	B. JOHNSON
REVISED:		CHECKED BY:	
SHEET:		SCALE:	1" = 100'
500	01S	14W	0 16 400 62 1762
DRAWING NUMBER:		20-0673	

K:\Land Projects\2019\Commercial\2019\0673\Springhill road\Construction\Monterey\20190715Site Plan 06-28-22 phase 1.dwg



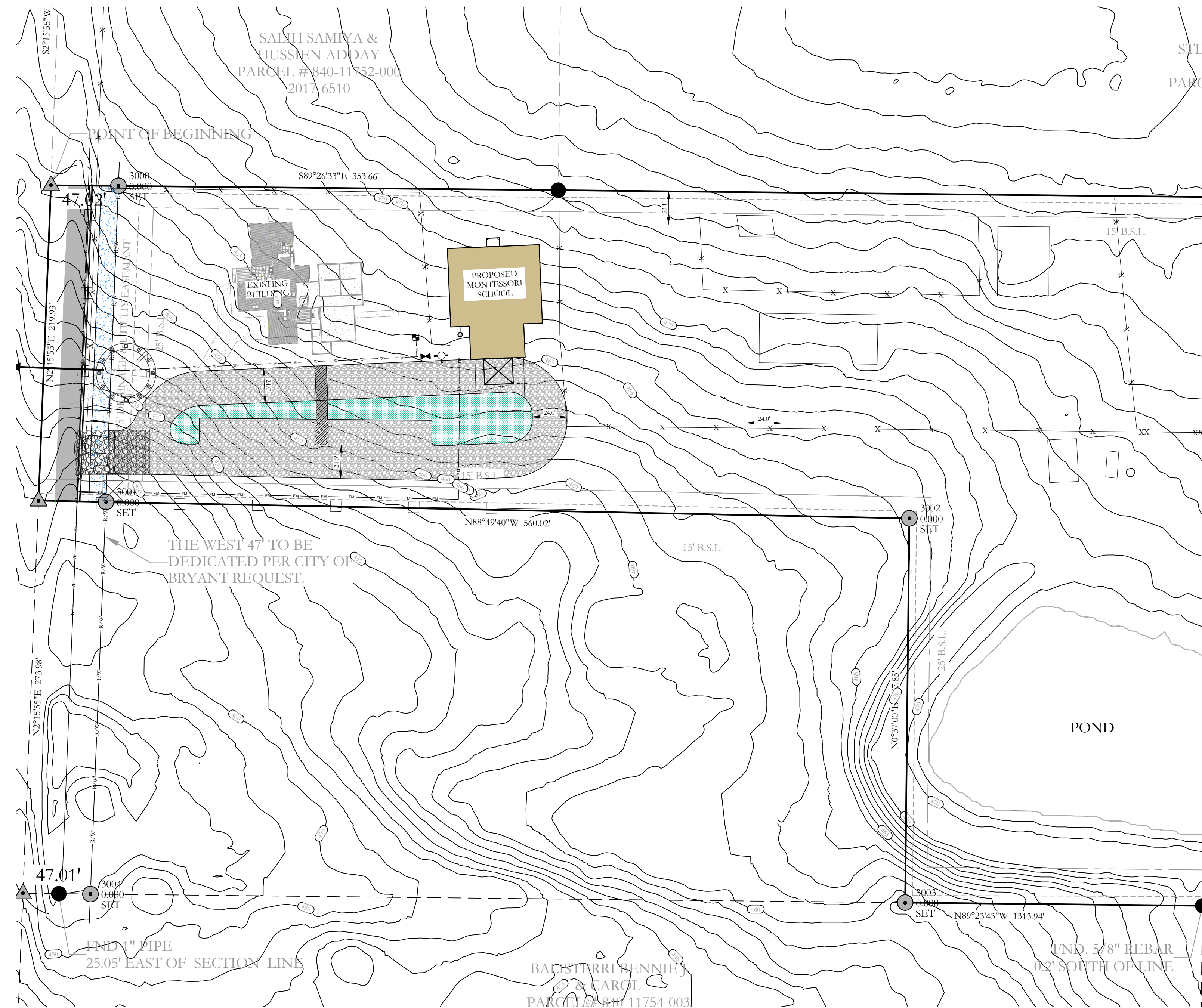
- NOTE:
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE


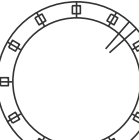
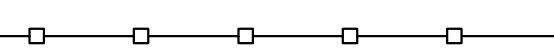
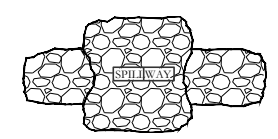
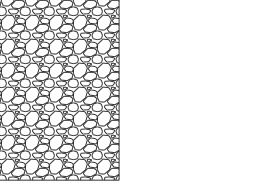
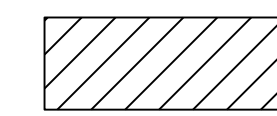


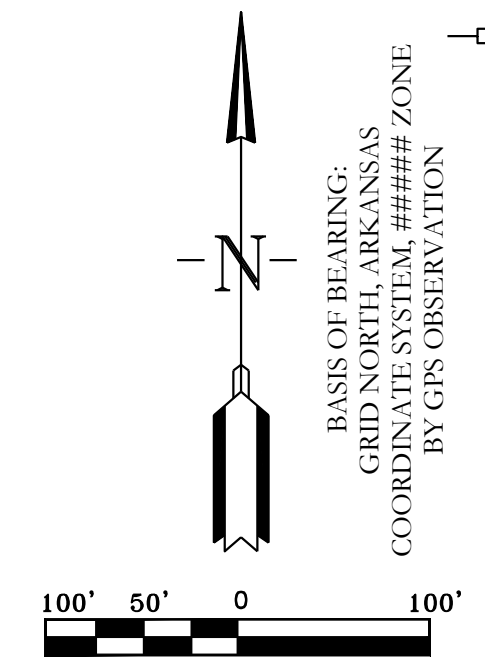
- NOTES:
- 1) POINT 'C' MUST BE HIGHER THAN POINT 'B' (SPILLWAY HEIGHT).
 - 2) TO USE RIP-RAP CHECK DAMS EFFECTIVELY, THEY MUST BE BUILT WITH SLOTTED OR WEDGED RIP-RAP, ROCKS OR FILTER FABRIC TO FILTER SAND, SILT AND CLAY.
 - 3) ROCKS MUST BE PLACED TO PREVENT FLOW FROM UNDER THE DAM.
 - 4) SPILLWAY HEIGHT SHALL NOT EXCEED 18\"/>

RIP-RAP CHECK DAM



ERC LEGEND

-  SITE POSTING
-  CONC. WASHOUT DETENTION AREA
-  SILT FENCE
-  RIP RAP CHECK DAM
-  CONSTRUCTION ENTRANCE
-  DISTURBED AREA



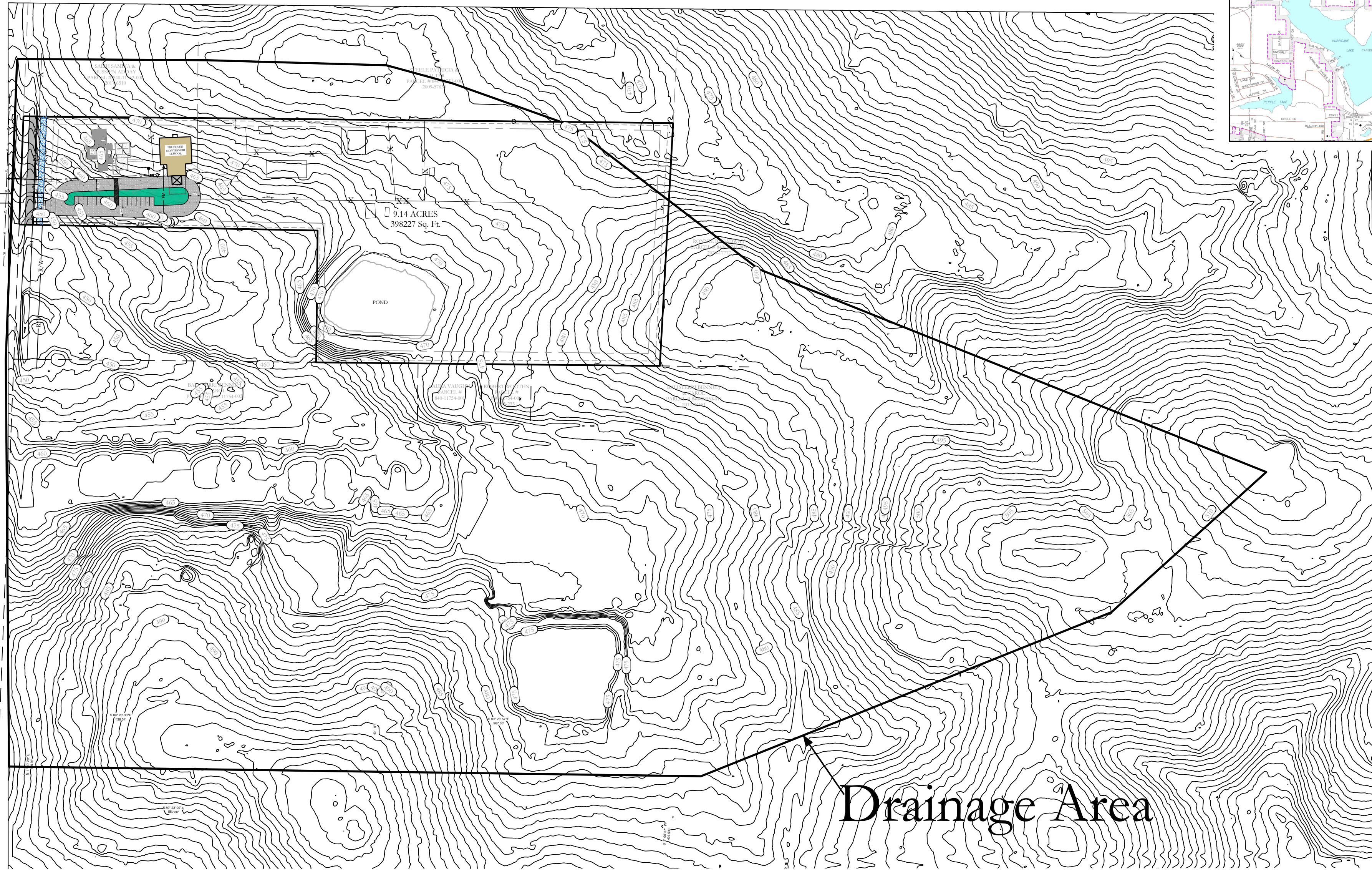
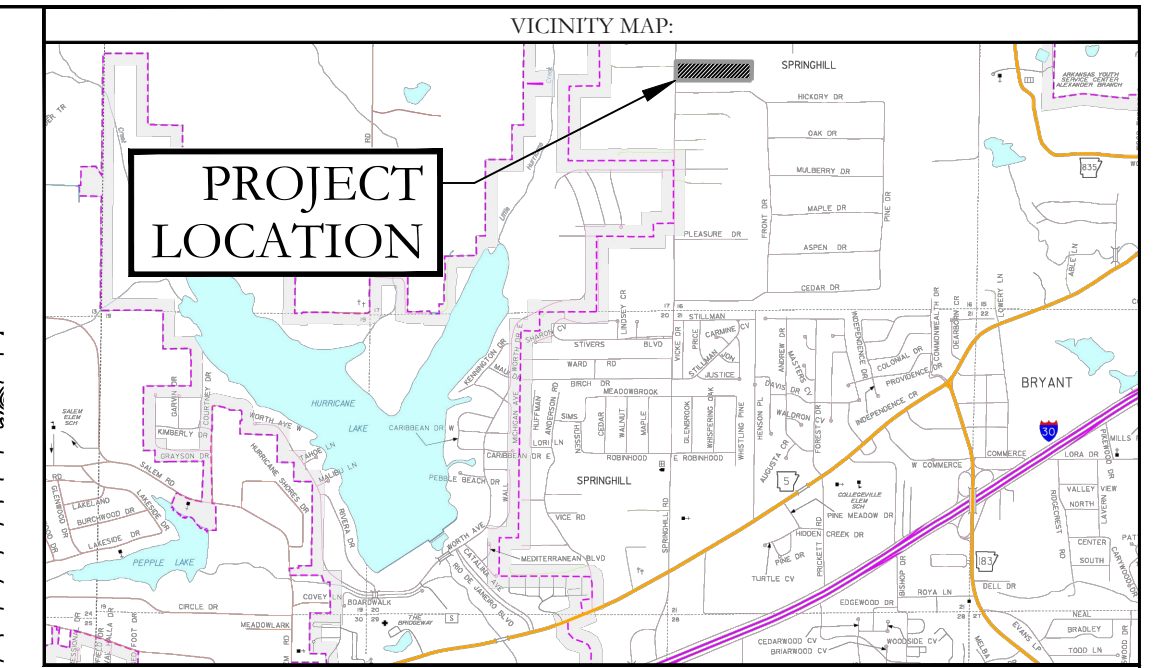
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 www.hopeconsulting.com

FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

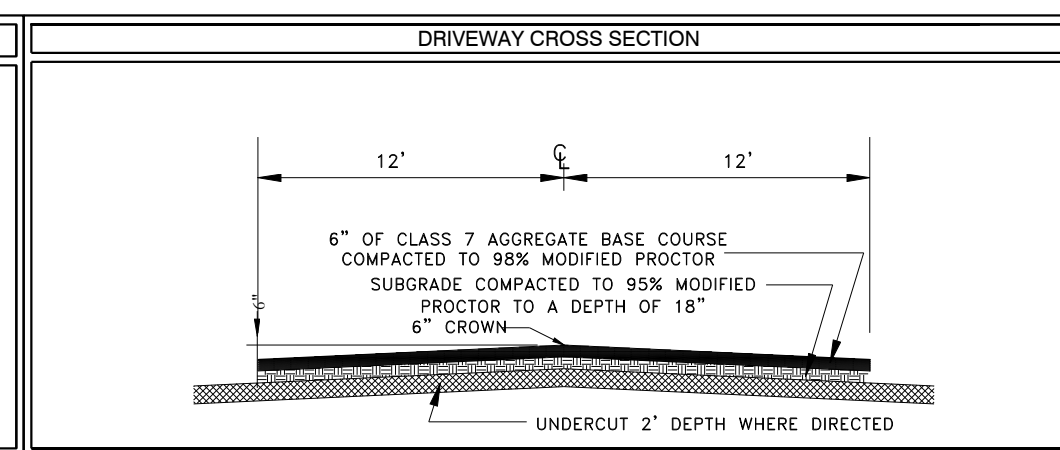
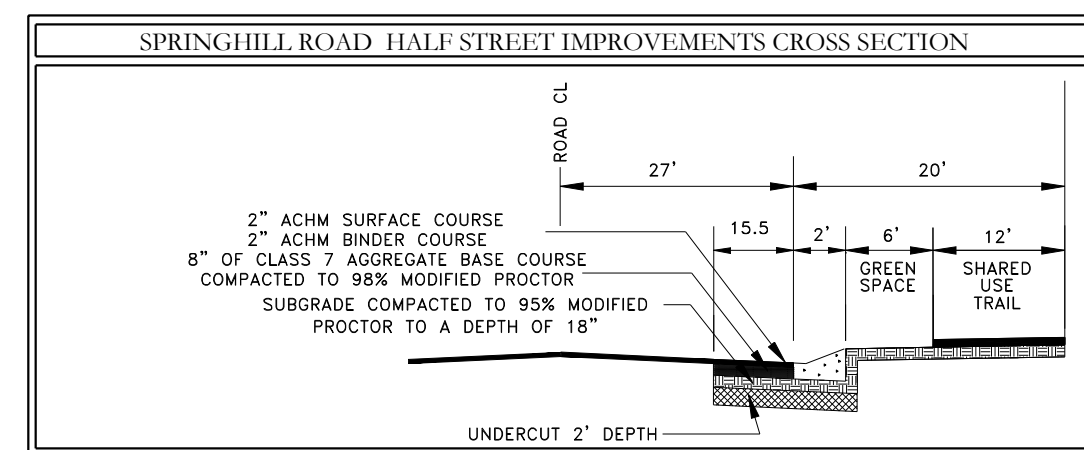
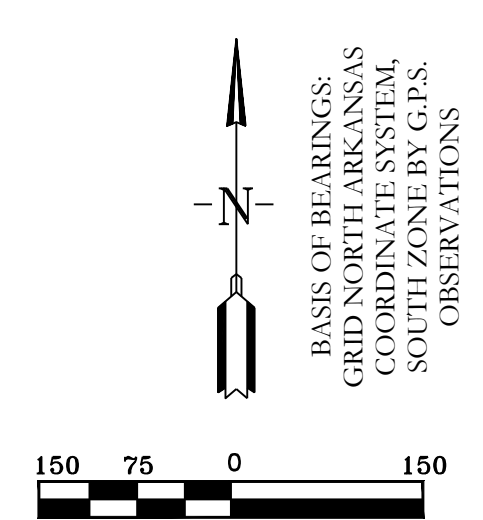
EROSION CONTROL PLAN
 BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: ###	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	20-0673
SHEET: C-4.0	SCALE: 1" = 100'	

K:\LAND PROJECTS\2004\COMMERCIAL\20-06-073\SPRINHILL ROAD\CONCRESTONE MONTESSORI SITE PLAN\20-06-28-22 PHASE 1.DWG

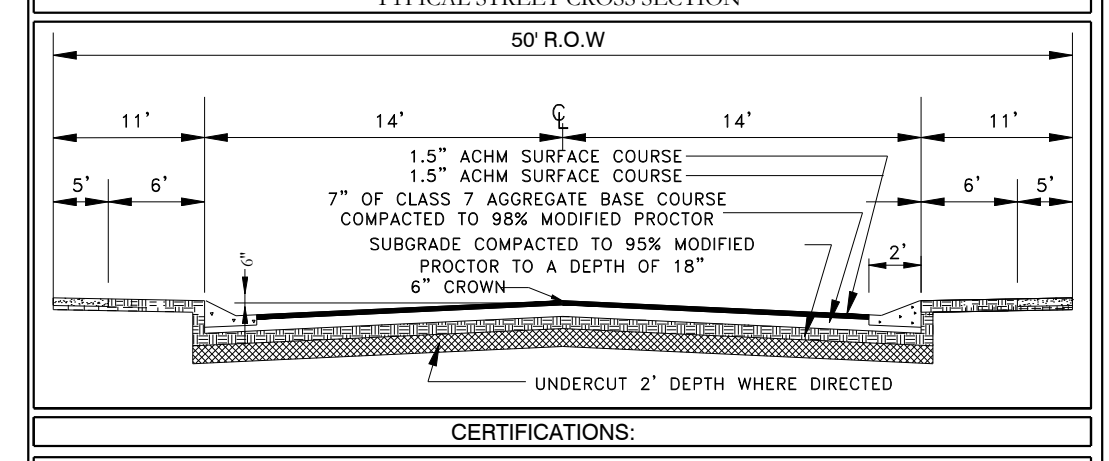
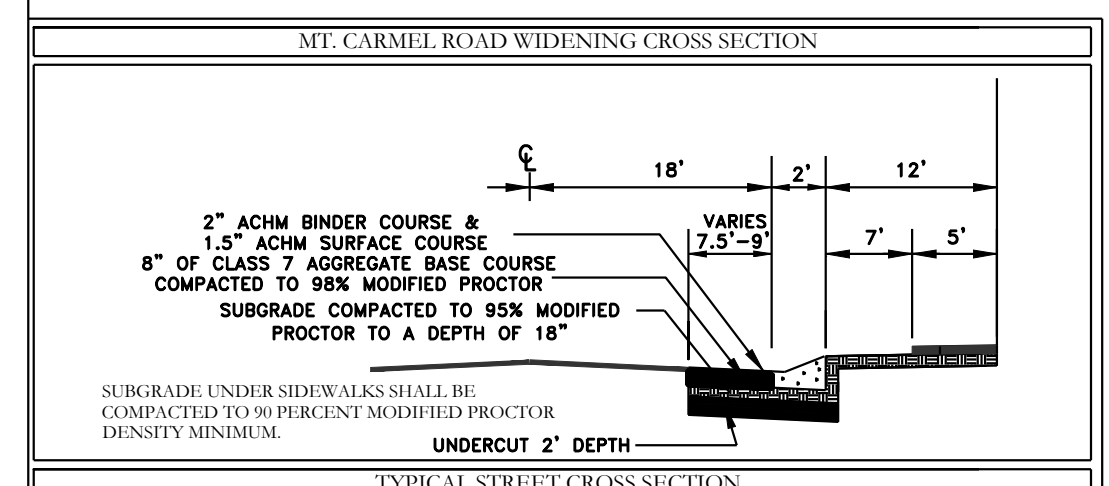
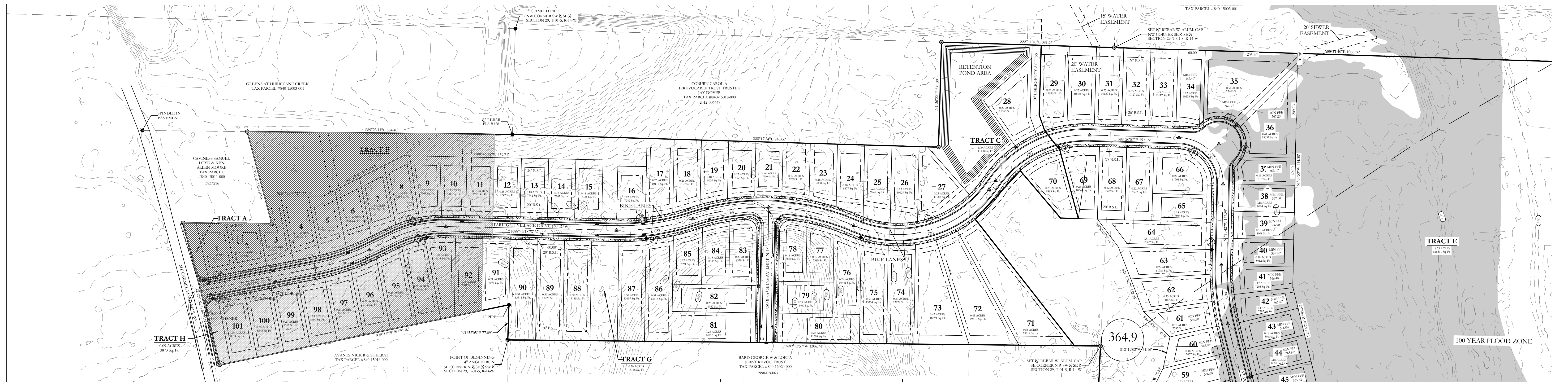


Drainage Area



HOPE CONSULTING ENGINEERS - SURVEYORS		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: SHANNON NUCKOLS			
DRAINAGE AREA EXHIBIT NUCKOLS ESTATES BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	08/10/2022	C.A.D. BY:	B. JOHNSON
REVISED:	08/24/2022	CHECKED BY:	
SHEET:		SCALE:	1" = 150'
500	01S	14W	0 16 400 62 1762
DRAWING NUMBER:		20-0673	

K:\Land Projects\2010\Survey\2020\2060673 M&S\Site_0110_Springhill_Road_21\0673_Site_Plan-06-28-22.dwg - Phase 1.dwg



CERTIFICATIONS:

OWNER: _____ DEVELOPER: _____
 Name: _____ Name: _____
 Address: _____ Address: _____

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution _____ Name: _____
 Address: _____
 Source of Title: D.R. BOOK _____ PAGE _____

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines are accurately described in terms of length and direction of the property sides.

Date of Execution _____ Jonathan L. Hope
 Registered Professional
 Land Surveyor No. 1762 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:

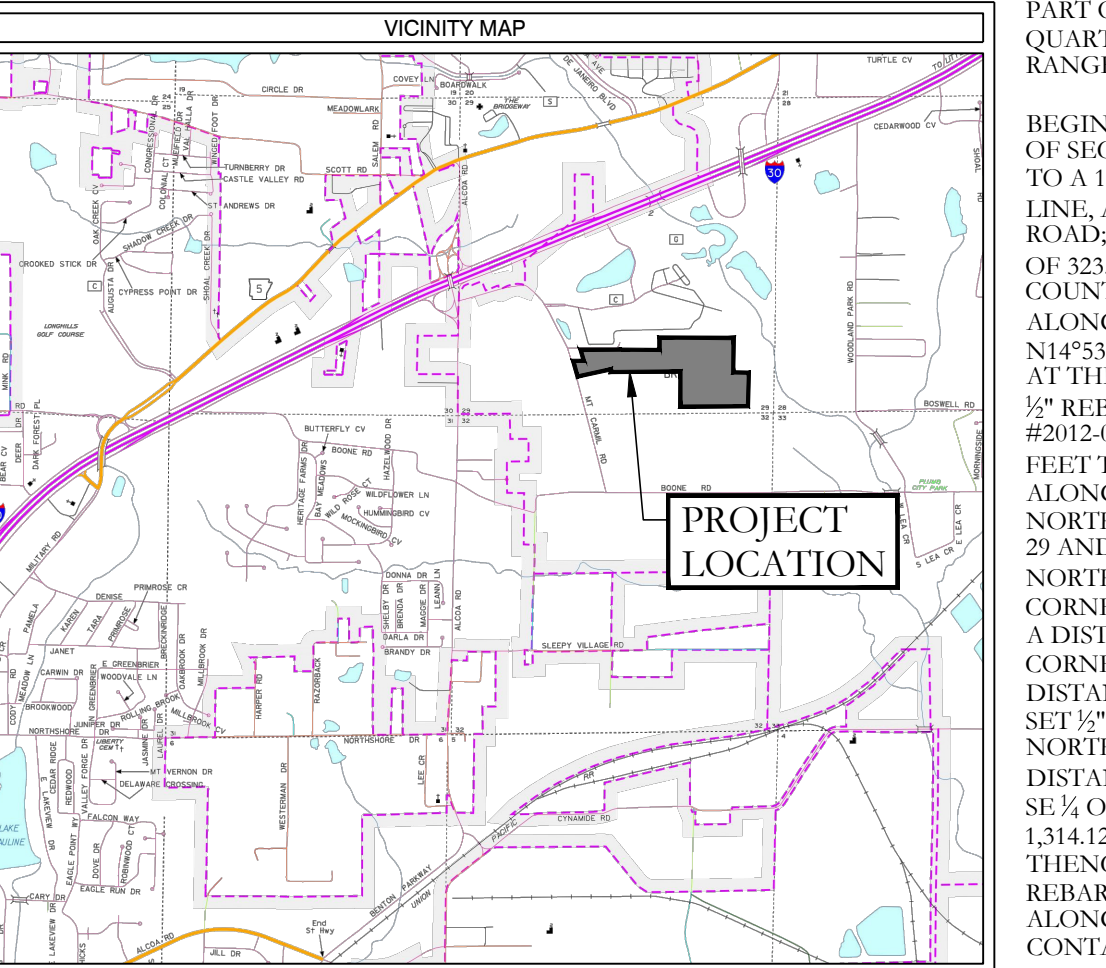
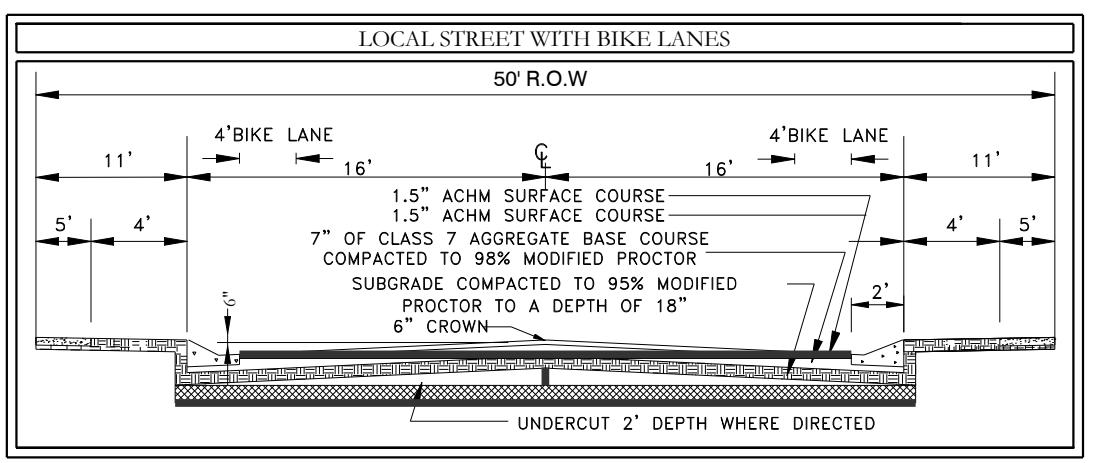
I, William W. McFadden, hereby certify that this plat correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.

Date of Execution _____ William W. McFadden
 Registered Professional
 Engineer, No. 14048 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.

Date of Execution _____ NAME, CHAIRMAN
 BRYANT PLANNING COMMISSION



Curve Table

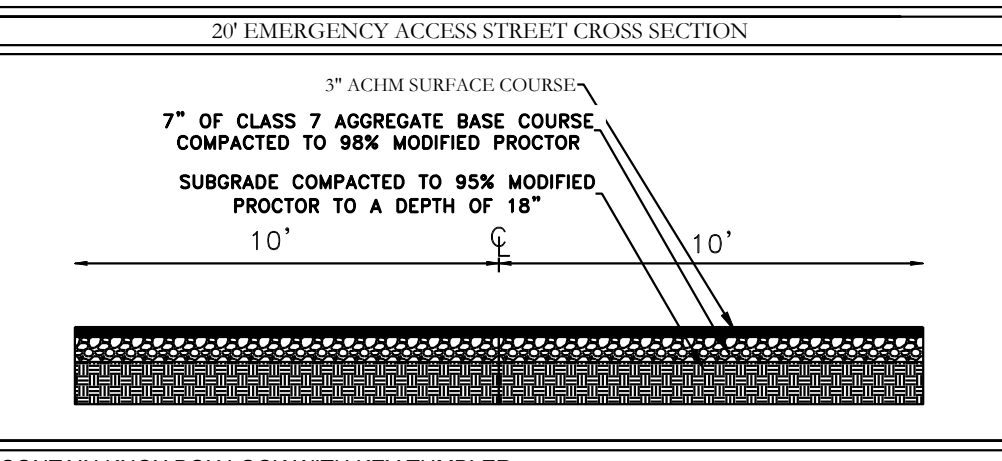
Curve #	Length	Radius	Delta	Chord Direction	Ch. Length
C5	5.83	525.00	0°38'10"	N89° 05' 23"W	5.83
C6	5.83	525.00	0°38'10"	N89° 05' 23"W	5.83
C11	16.57	525.00	1°48'30"	S77° 48' 56"W	16.57
C12	60.27	525.00	6°54'40"	S73° 37' 21"W	60.24
C13	56.08	525.00	6°07'12"	S67° 16' 25"W	56.05
C17	35.26	225.00	8°58'40"	N41° 20' 55"E	35.22
C18	11.96	225.00	3°02'48"	S68° 19' 32"E	11.96
C19	42.12	25.00	96°32'14"	S49° 13' 45"W	37.31
C20	32.52	475.00	3°58'20"	N80° 32' 28"W	32.51
C21	61.93	475.00	7°28'14"	N74° 50' 41"W	61.89
C22	35.71	475.00	4°18'26"	N68° 57' 21"W	35.70
C23	28.06	275.00	3°50'48"	S69° 43' 32"W	28.05
C24	61.06	275.00	12°43'16"	N79° 07' 34"W	60.93
C25	60.18	275.00	12°32'20"	S88° 21' 39"W	60.06
C26	46.54	275.00	9°41'47"	S77° 14' 35"W	46.48
C27	51.38	275.00	10°42'16"	S67° 02' 34"W	51.30
C28	47.21	275.00	9°50'11"	S56° 40' 20"W	47.15
C29	71.97	275.00	14°59'40"	S44° 21' 25"W	71.76
C30	50.09	225.00	12°45'20"	S43° 14' 15"W	49.99
C31	99.29	225.00	25°17'00"	S62° 15' 25"W	98.48
C32	65.78	225.00	16°45'58"	S83° 16' 27"W	65.55
C34	117.26	75.00	49°34'39"	N43° 33' 37"W	105.67
C35	21.56	525.00	2°21'12"	N00° 03' 06"E	21.56
C36	60.26	525.00	6°54'37"	N4° 24' 48"W	60.23
C37	55.71	525.00	6°04'47"	N10° 44' 30"W	55.68
C38	7.84	25.00	1°57'54"	S4° 47' 57"E	7.81
C39	13.19	25.00	30°13'29"	S10° 17' 44"W	13.04
C40	53.98	50.00	61°51'04"	N3° 28' 57"E	51.39
C41	17.34	50.00	19°52'30"	N37° 22' 50"W	17.26
C42	21.03	25.00	48°11'23"	N23° 13' 23"W	20.41
C43	72.97	50.00	83°37'14"	N89° 07' 42"W	66.67
C44	21.03	25.00	48°11'23"	S24° 57' 59"W	20.41
C45	35.88	50.00	41°06'37"	S28° 30' 22"W	35.11
C46	61.02	50.00	69°55'21"	S27° 00' 36"E	57.30
C47	11.04	25.00	25°18'00"	S49° 19' 17"E	10.95

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Ch. Length
C48	9.99	25.00	22°53'22"	S25° 13' 35"E	9.92
C49	59.28	475.00	7°09'02"	S10° 12' 23"E	59.24
C50	63.47	475.00	7°59'23"	S2° 48' 11"E	63.43
C51	1.68	475.00	0°12'11"	S1° 07' 37"W	1.68
C56	50.65	275.00	10°33'08"	N86° 22' 24"E	50.57
C57	50.87	275.00	10°35'59"	N75° 47' 51"E	50.80
C59	88.06	275.00	18°29'47"	S46° 01' 58"W	87.68
C60	35.26	225.00	8°58'40"	N41° 20' 55"E	35.22
C61	130.87	225.00	33°19'30"	N62° 30' 06"E	129.03
C62	60.36	225.00	15°22'11"	N86° 50' 50"E	60.18
C63	61.34	225.00	15°37'09"	S77° 39' 30"E	61.15
C64	11.96	225.00	3°02'48"	S68° 19' 32"E	11.96
C65	51.67	525.00	8°58'20"	S89° 19' 18"E	51.65
C66	61.61	525.00	6°43'24"	S73° 48' 10"E	61.57
C67	60.40	525.00	6°35'30"	S82° 27' 37"E	60.37
C68	60.05	525.00	6°35'30"	S89° 01' 55"E	60.00
C69	60.46	525.00	6°35'55"	N84° 25' 34"E	60.43
C70	61.74	525.00	6°44'17"	N77° 45' 28"E	61.71
C71	24.97	525.00	2°43'29"	N72° 59' 35"E	24.96
C72	38.02	475.00	4°35'10"	N73° 55' 25"E	38.01
C73	61.23	475.00	7°23'10"	N79° 54' 35"E	61.19
C75	63.22	475.00	7°57'32"	N87° 24' 56"E	63.17
C77	9.77	275.00	2°02'07"	S89° 47' 21"E	9.77
C78	49.55	275.00	10°19'23"	N84° 01' 54"E	49.48
C79	54.10	275.00	11°16'22"	N73° 14' 02"E	54.02
C80	16.24	275.00	3°23'02"	N65° 54' 20"E	16.24
C81	43.36	475.00	5°13'47"	N66° 49' 43"E	43.34
C82	60.33	475.00	7°16'39"	N73° 04' 56"E	60.29
C83	16.57	475.00	1°59'56"	N77° 43' 13"E	16.57
C84	37.87	25.00	86°47'30"	S57° 55' 04"E	34.35
C85	53.38	275.00	11°07'14"	S69° 45' 59"W	53.29
C95	39.60	25.00	90°45'14"	N46° 14' 53"E	35.59
C96	5.83	525.00	0°38'10"	N89° 05' 23"W	5.83
C97	38.94	25.00	89°14'40"	S43° 45' 05"E	35.12

Parcel Line Table

Line #	Length	Direction
L1	60.44	S64° 12' 48.97"W
L2	28.52	S36° 51' 34.95"W
L3	25.00	S89° 23' 56.69"E
L4	25.00	S89° 23' 56.69"E
L5	24.09	S78° 15' 58.61"W
L6	28.62	S89° 23' 11.69"E
L7	35.01	N2° 39' 14.31"E
L8	35.01	S2° 58' 07.25"W
L9	36.74	N19° 23' 16.00"W
L10	41.22	N19° 23' 16.00"W



AS-SURVEYED DESCRIPTION:

PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER (S ½ SE ¼) AND PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (S ½ SW ¼), ALL IN SECTION 29, TOWNSHIP 10 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 4" ANGLE IRON, ACCEPTED AS THE SOUTHEAST CORNER OF THE N ½ SE ¼ SW ¼ OF SECTION 29; THENCE S01°52'05"E, ALONG THE EAST LINE THEREOF, A DISTANCE OF 77.09 FEET TO A 1" PIPE AT A FENCE CORNER; THENCE LEAVING SAID EAST LINE, S78°15'59"W, ALONG A FENCE LINE, A DISTANCE OF 651.02 FEET TO A SET ½" REBAR ON THE EAST RIGHT-OF-WAY OF MT. CARMEL ROAD; THENCE N14°29'19"W, ALONG THE EAST RIGHT-OF-WAY OF MT. CARMEL ROAD, A DISTANCE OF 32.22 FEET TO A SET ½" REBAR ON THE SOUTH LINE OF A TRACT DESCRIBED IN SALINE COUNTY DEED BOOK 385 AT PAGE 216; THENCE LEAVING SAID EAST RIGHT-OF-WAY, S89°23'11"E, ALONG THE SOUTH LINE OF SAID TRACT, A DISTANCE OF 195.39 FEET TO A SET ½" REBAR; THENCE N14°53'33"W, ALONG THE EAST LINE OF SAID TRACT, A DISTANCE OF 210.00 FEET TO A SET ½" REBAR AT THE NORTHEAST CORNER OF SAID TRACT; THENCE S89°23'11"E, A DISTANCE OF 584.40 FEET TO A ½" REBAR AT THE SOUTHWEST CORNER OF A TRACT DESCRIBED IN SALINE COUNTY INSTRUMENT #2012-06647; THENCE S88°17'24"E, ALONG THE SOUTH LINE OF SAID TRACT, A DISTANCE OF 940.00 FEET TO A SET ½" REBAR AT THE SOUTHEAST CORNER OF SAID TRACT; THENCE N01°36'22"E, ALONG THE EAST LINE OF SAID TRACT, A DISTANCE OF 231.30 FEET TO A SET ½" REBAR AT THE NORTHEAST CORNER OF SAID TRACT; BEING ON THE NORTH LINE OF THE SW ½ SE ¼ OF SECTION 29 AND 940.00 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE S88°17'40"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 381.26 FEET TO THE NORTHWEST CORNER OF THE SE ½ SE ¼ OF SECTION 29; THENCE S88°17'40"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 1,006.26 FEET TO A SET ½" REBAR, BEING 315.00 FEET FROM THE NORTHEAST CORNER OF SAID SE ½ SE ¼ OF SECTION 29; THENCE LEAVING SAID NORTH LINE, S02°58'26"W, A DISTANCE OF 728.61 FEET TO A SET ½" REBAR; THENCE S87°01'57"E, A DISTANCE OF 315.00 FEET FROM THE SET ½" REBAR ON THE EAST LINE OF THE SE ½ SE ¼ OF SECTION 29, BEING 75.00 FEET FROM THE NORTHEAST CORNER THEREOF; THENCE S02°58'07"W, ALONG THE EAST LINE THEREOF, A DISTANCE OF 576.50 FEET TO A 1" PLAT IRON, ACCEPTED AS THE SOUTHEAST CORNER OF THE SE ½ SE ¼ OF SECTION 29; THENCE N88°22'28"W, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1,141.42 FEET TO A SET ½" REBAR AT THE SOUTHWEST CORNER OF THE SE ½ SE ¼ OF SECTION 29; THENCE N02°59'14"E, ALONG THE WEST LINE THEREOF, A DISTANCE OF 657.73 FEET TO A SET ½" REBAR AT THE SOUTHEAST CORNER OF THE N ½ SW ¼ OF SECTION 29; THENCE N89°23'57"W, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1,306.74 FEET TO THE POINT OF BEGINNING; CONTAINING 2,443,901.8 SQUARE FEET, OR 56.104 ACRES, MORE OR LESS.

GENERAL NOTES:

SECONDARY ACCESS GATE SHOULD CONTAIN KNOX BOX LOCK WITH KEY TUMBLER.
 FENCES ARE PROHIBITED IN THE DRAINAGE EASEMENT AREA.
 ALL DRAINAGE (TRACT B & G) AND UTILITY EASEMENTS WILL BE MAINTAINED BY THE IMPROVEMENT DISTRICT.
 DEVELOPER TO NOTIFY STREET DEPARTMENT WHEN CUTTING MT. CARMEL FOR INSPECTION AND DETERMINATION OF EXISTING SUBGRADE.
 MAINTENANCE OF RETENTION PONDS WILL BE CONDUCTED BY THE IMPROVEMENT DISTRICT.

GENERAL SURVEYER'S NOTES:

THIS PLAT REPRESENTS A BOUNDARY SURVEY OF A TRACT DESCRIBED IN SALINE COUNTY INSTRUMENT #2011-06648 (DEED OF RECORD)

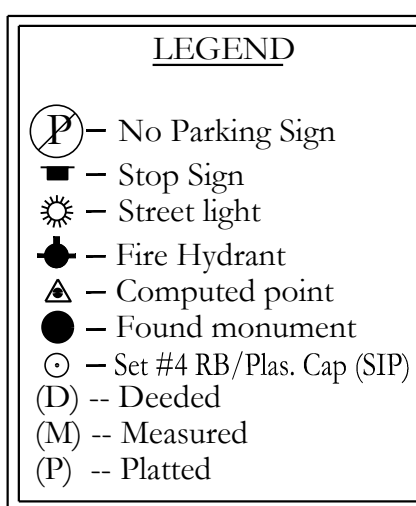
ALL LISTED MEASUREMENTS ARE AS MEASURED IN THE FIELD. FOR RECORD MEASUREMENTS, SEE DEEDS OF RECORD.

ADJACENT OWNERSHIP IS LISTED AS FILED IN THE SALINE COUNTY TAX ASSESSOR'S OFFICE AND IS SHOWN FOR REFERENCE ONLY.

THIS SURVEY IS FOR THE EXCLUSIVE USE AND BENEFIT OF PARTIES SHOWN HEREIN. USE OR DUPLICATION OF THIS DOCUMENT BY ANY OTHER PARTIES IS PROHIBITED AND VOIDS SAID DOCUMENT.

NOTE: THIS SURVEY IS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS. NO INVESTIGATION OR INDEPENDENT SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. ANY LISTED EASEMENTS OR RIGHTS-OF-WAY WERE DETERMINED FROM LISTED REFERENCE DOCUMENTS AND HAVE NOT BEEN CHECKED FOR ACCURACY OR CORRECTNESS.

A PORTION OF THE PROPERTY DESCRIBED HEREON IS CONTAINED WITHIN THE 100-YEAR FLOOD PLANE, AS SHOWN, SCALED FROM FLOOD INSURANCE RATE MAP, PANEL #051250360D, DATED JUNE 19, 2012.



PROPERTY SPECIFICATIONS:

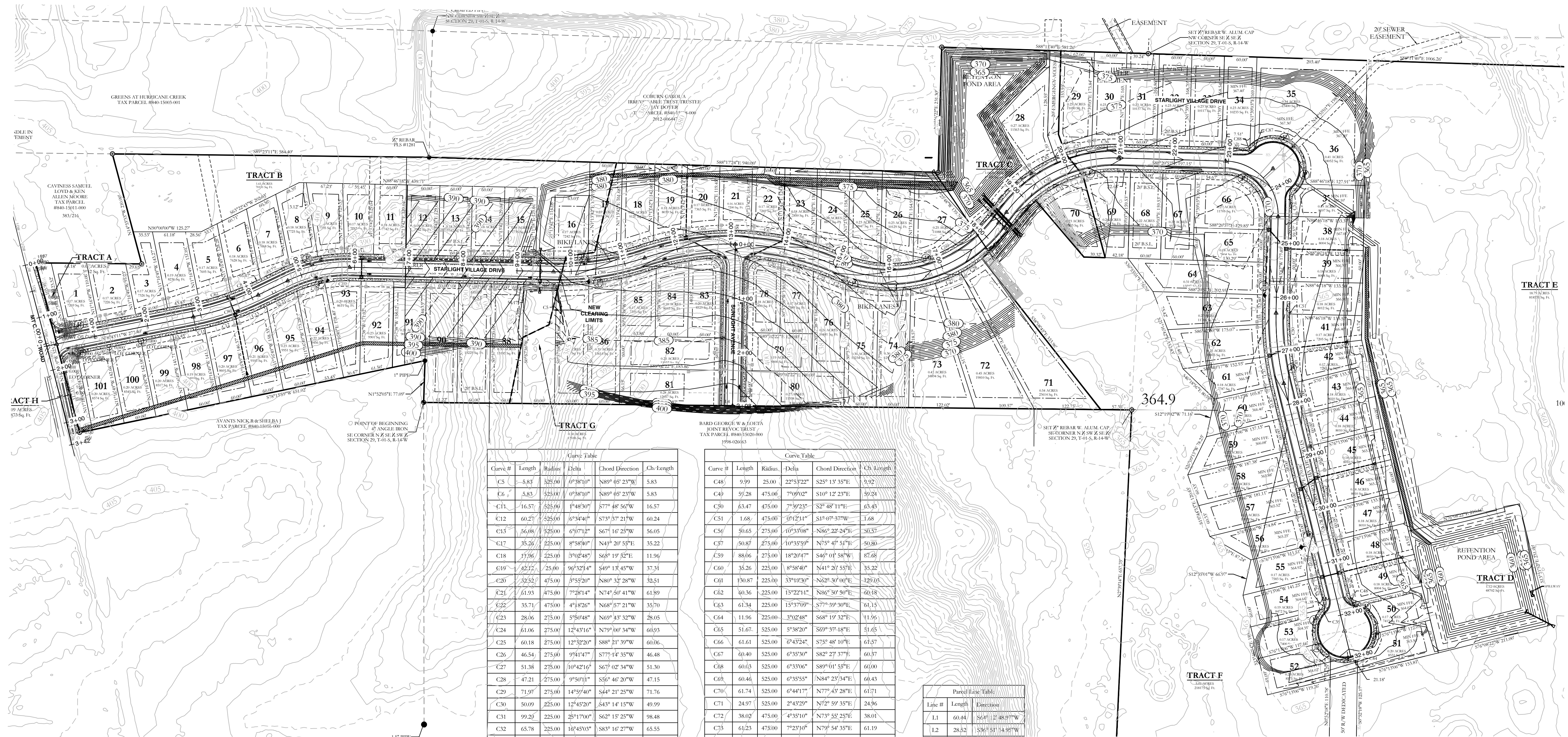
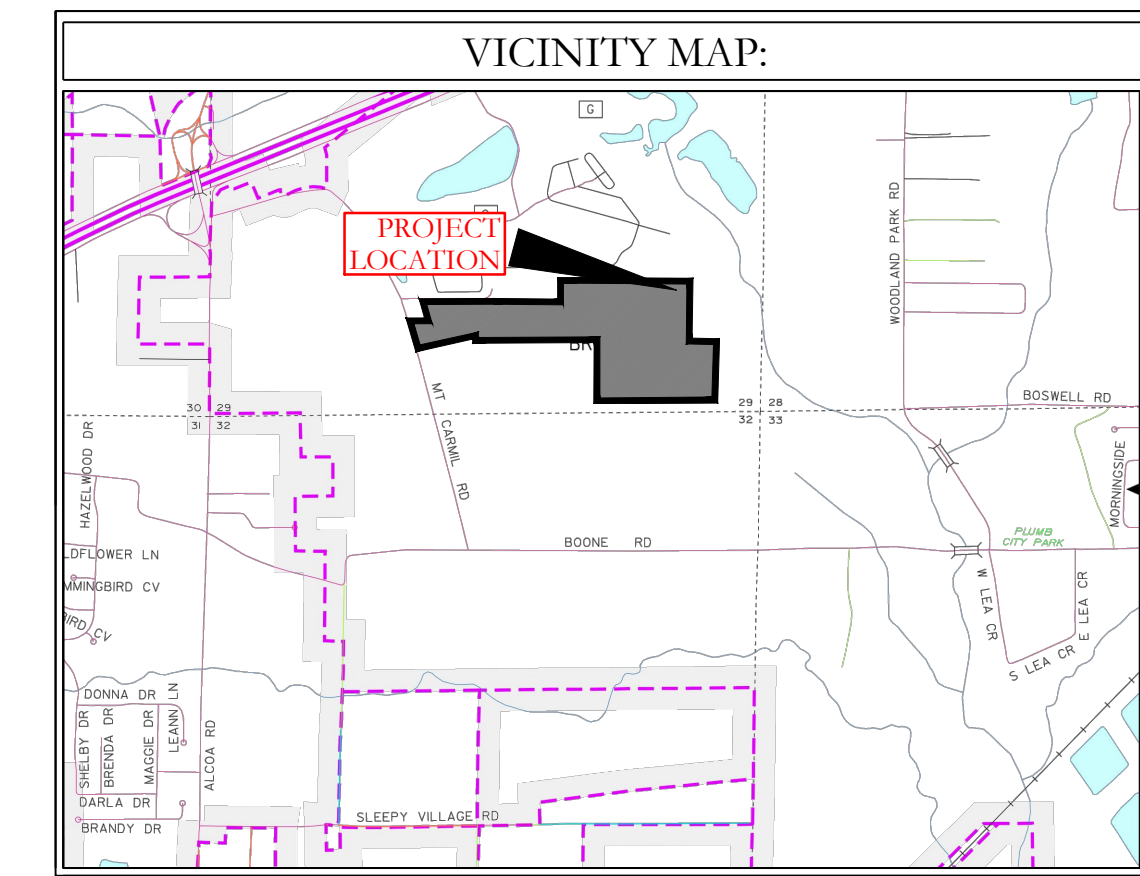
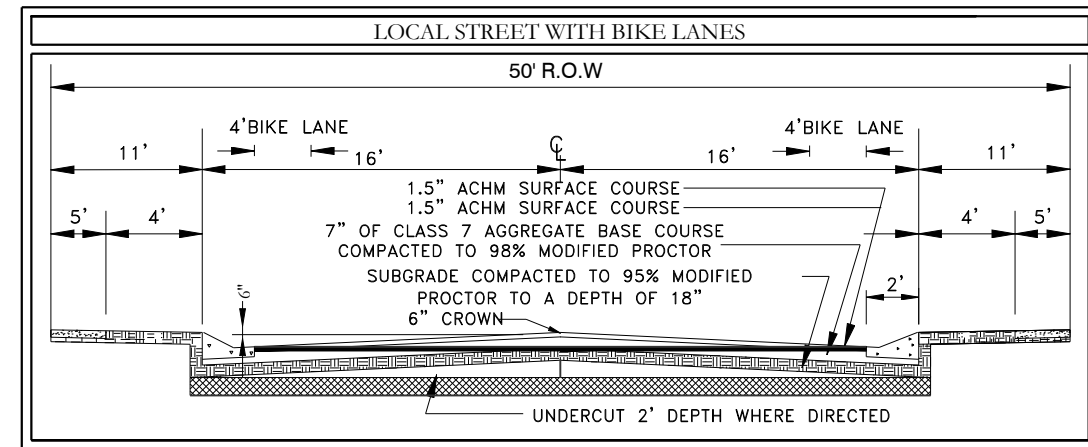
OWNER: TITAN GENERAL CONTRACTORS 204 WOODLAND DR. BENTON, AR 72019	AVERAGE LOT SIZE: 60 x 100 (6,000 SF) NUMBER OF LOTS: 10 SOURCE OF WATER: BRYANT SOURCE OF SEWER: BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC
DEVELOPER/SUBDIVIDER: TITAN GENERAL CONTRACTORS 204 WOODLAND DR. BENTON, AR 72019	BUILDING SETBACKS: FRONT-20' OR AS SHOWN REAR-20' OR AS SHOWN SIDE-4' OR AS SHOWN
ENGINEERS: HOPE CONSULTING INC. 117 S. MARKET STREET BENTON, AR 72015	UTILITY & DRAINAGE EASEMENTS: FRONT-10' OR AS SHOWN REAR-5' OR AS SHOWN SIDE-5' OR AS SHOWN
NAME OF SUBDIVISION: STARLIGHT VILLAGE	
INSTRUMENT #	
ZONING DISTRICT: R-1.5	

FOR USE AND BENEFIT OF:
TITAN GENERAL CONTRACTORS, LLC

PRELIMINARY PLAT
STARLIGHT VILLAGE
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 01/11/2021	C.A.D. BY: BJOHNSON	DRAWING NUMBER: 19-0238
REVISED:	CHECKED BY:	SCALE: 1"=100'
500	01S	14W 0 29 200/360 62 1762

ALL LOTS ARE SUBJECT TO THE CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS. THESE RULES AND REGULATIONS ARE IN FULL FORCE AND EFFECT.



Curve Table

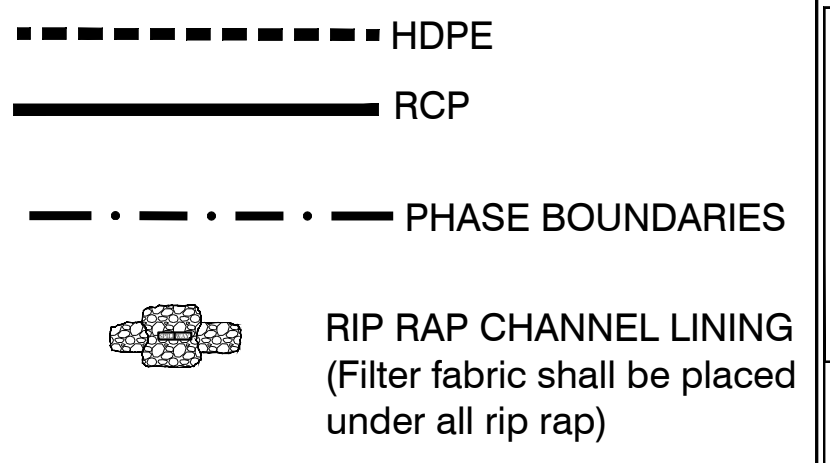
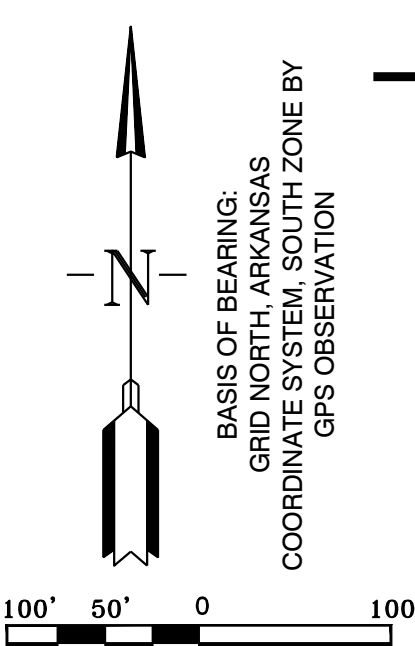
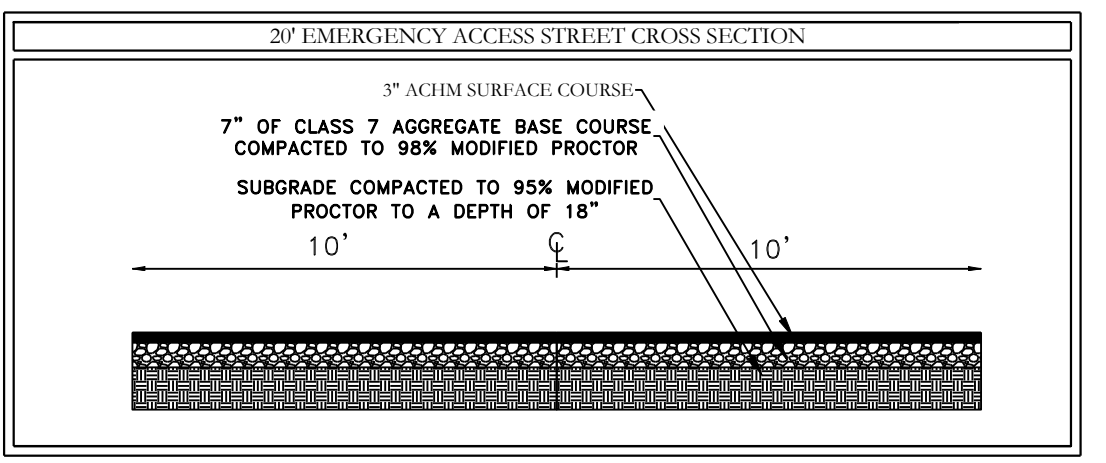
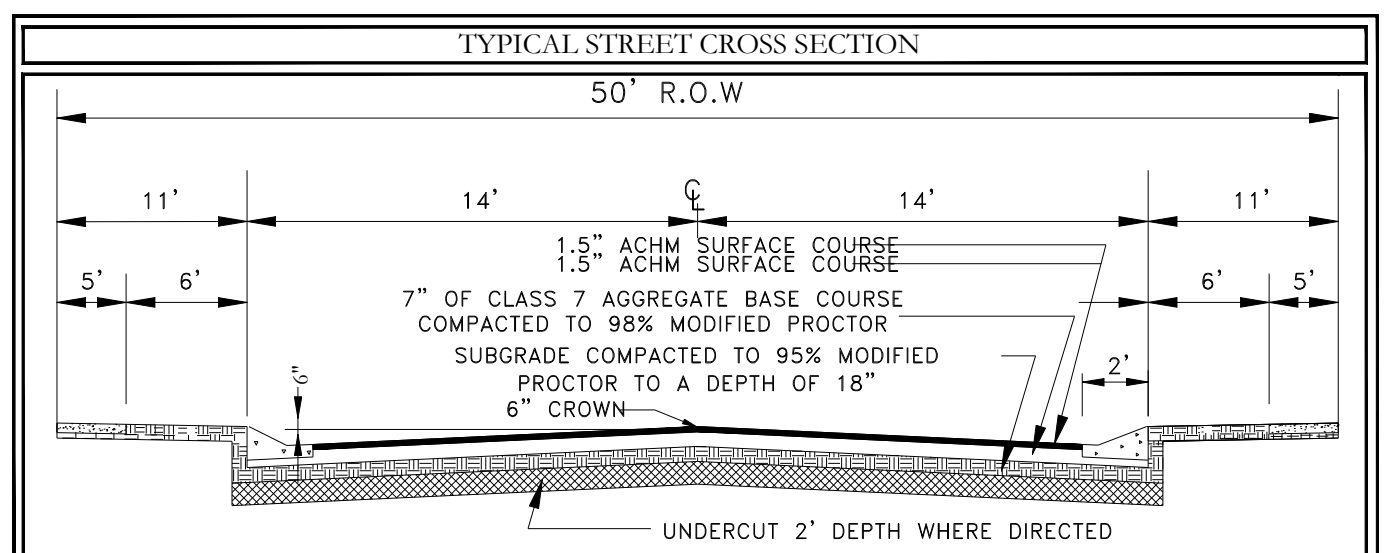
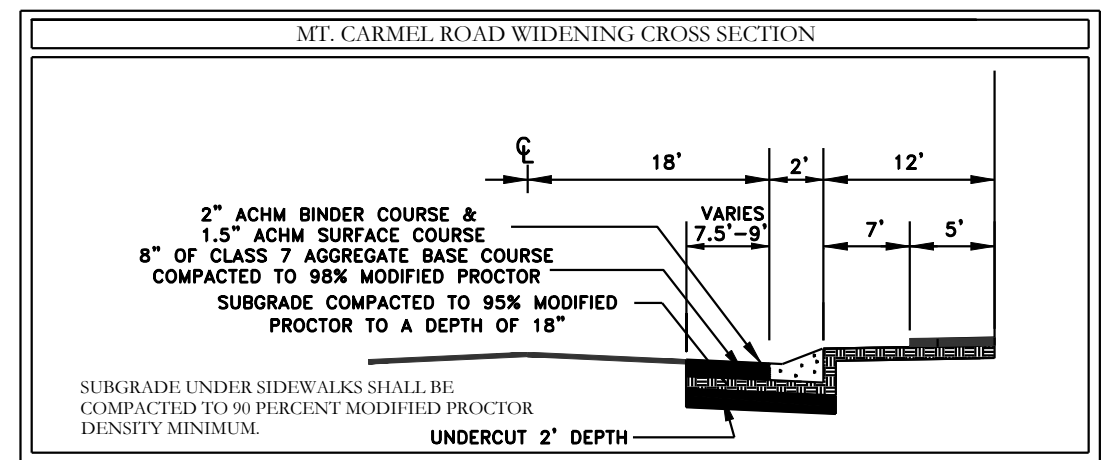
Curve #	Length	Radius	Delta	Chord Direction	Ch Length
C5	5.83	325.00	0°38'10"	N89°09'23"W	5.83
E6	5.83	325.00	0°38'10"	N89°09'23"W	5.83
C11	16.57	325.00	1°48'30"	S77°48'56"W	16.57
C12	60.27	325.00	6°34'00"	S73°57'21"W	60.24
C13	36.08	325.00	6°07'12"	S67°16'23"W	36.05
C17	35.26	325.00	8°58'00"	N43°29'53"E	35.22
C18	37.96	325.00	3°02'48"	S68°19'32"E	37.91
C19	62.22	25.00	96°32'14"	S49°13'45"W	37.31
C20	52.52	475.00	3°55'20"	N80°32'28"W	32.51
C21	61.93	475.00	7°28'14"	N74°50'41"W	61.89
C22	35.71	475.00	4°18'20"	N68°57'21"W	35.70
C23	28.06	275.00	5°50'48"	N69°33'32"W	28.05
C24	61.06	275.00	12°43'16"	N79°16'34"W	60.93
C25	60.18	275.00	12°32'20"	S88°21'30"W	60.06
C26	46.54	275.00	9°41'47"	S77°14'33"W	46.48
C27	51.38	275.00	10°42'16"	S67°02'34"W	51.30
C28	47.21	275.00	9°50'13"	S56°40'20"W	47.15
C29	71.97	275.00	14°59'40"	S44°21'25"W	71.76
C30	50.09	225.00	12°45'20"	S43°14'13"W	49.99
C31	99.20	225.00	25°17'00"	S62°15'25"W	98.48
C32	65.78	225.00	10°45'03"	S83°16'27"W	65.55

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Ch Length
C48	9.99	25.00	22°53'22"	S25°13'35"E	9.92
C49	59.28	475.00	7°09'02"	S10°12'23"E	59.24
C50	63.47	475.00	7°39'23"	S2°48'11"E	63.43
C51	1.68	475.00	0°12'11"	S18°07'37"W	1.68
C56	50.65	275.00	10°33'08"	N86°22'24"E	50.57
C57	50.87	275.00	10°33'59"	N75°47'51"E	50.80
C59	88.06	275.00	18°20'47"	S46°01'58"W	87.68
C60	35.26	225.00	8°58'40"	N41°20'35"E	35.22
C61	70.87	225.00	33°19'30"	N26°30'00"E	129.03
C62	60.36	225.00	13°22'11"	N86°30'30"E	60.18
C63	61.34	225.00	13°37'09"	S77°39'30"E	61.15
C64	11.96	225.00	3°02'48"	S68°19'32"E	11.96
C65	31.67	325.00	5°58'20"	S69°37'34"E	31.65
C66	61.61	325.00	6°43'24"	S75°48'10"E	61.57
C67	60.40	325.00	6°33'30"	S82°27'37"E	60.37
C68	60.63	325.00	6°33'06"	S89°01'53"E	60.60
C69	60.44	325.00	6°35'55"	N84°23'34"E	60.43
C70	61.74	325.00	6°44'17"	N77°43'28"E	61.71
C71	24.97	325.00	2°43'29"	N72°59'35"E	24.96
C72	38.02	475.00	4°35'10"	N73°55'25"E	38.01
C73	61.23	475.00	7°23'10"	N79°54'35"E	61.19

Parcel Line Table

Line #	Length	Direction
L1	60.44	S64°12'48.97"W
L2	28.82	S86°58'14.97"W



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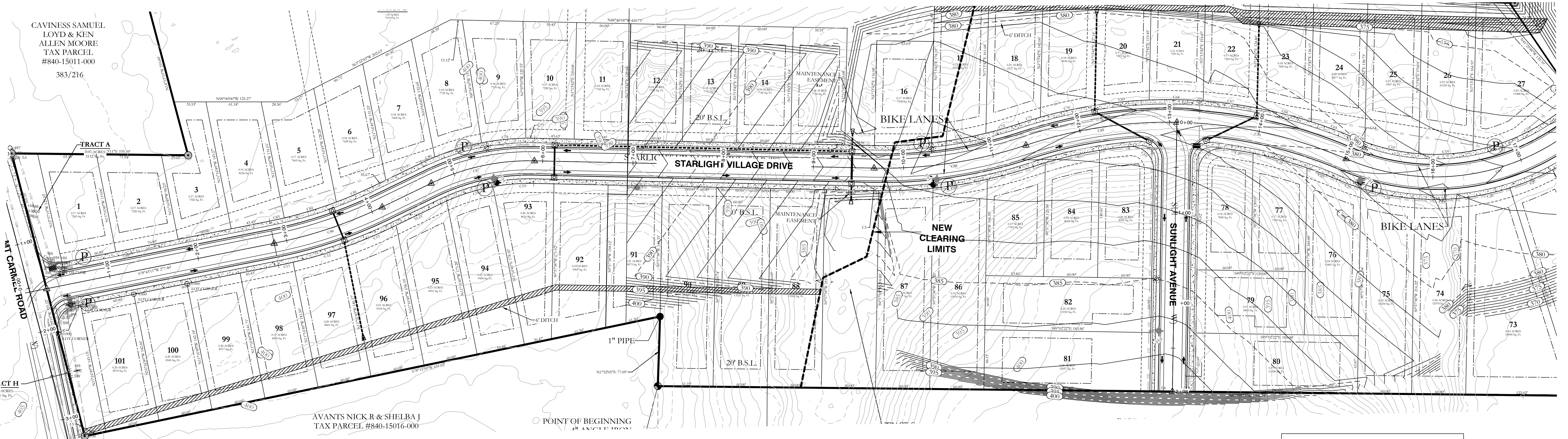
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WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
STREET LAYOUT
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	19-0238
SHEET: C-1.0	SCALE:	

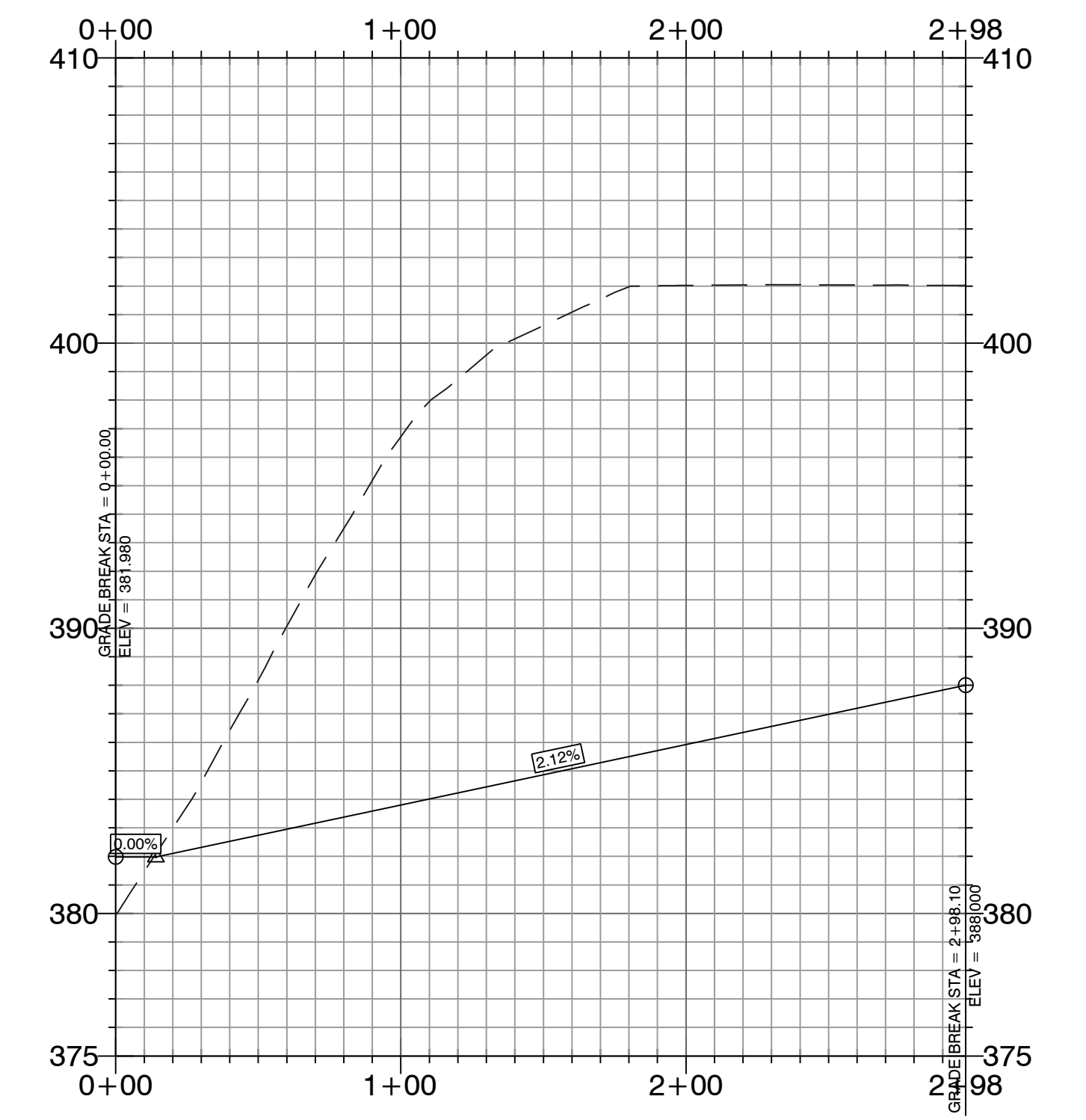
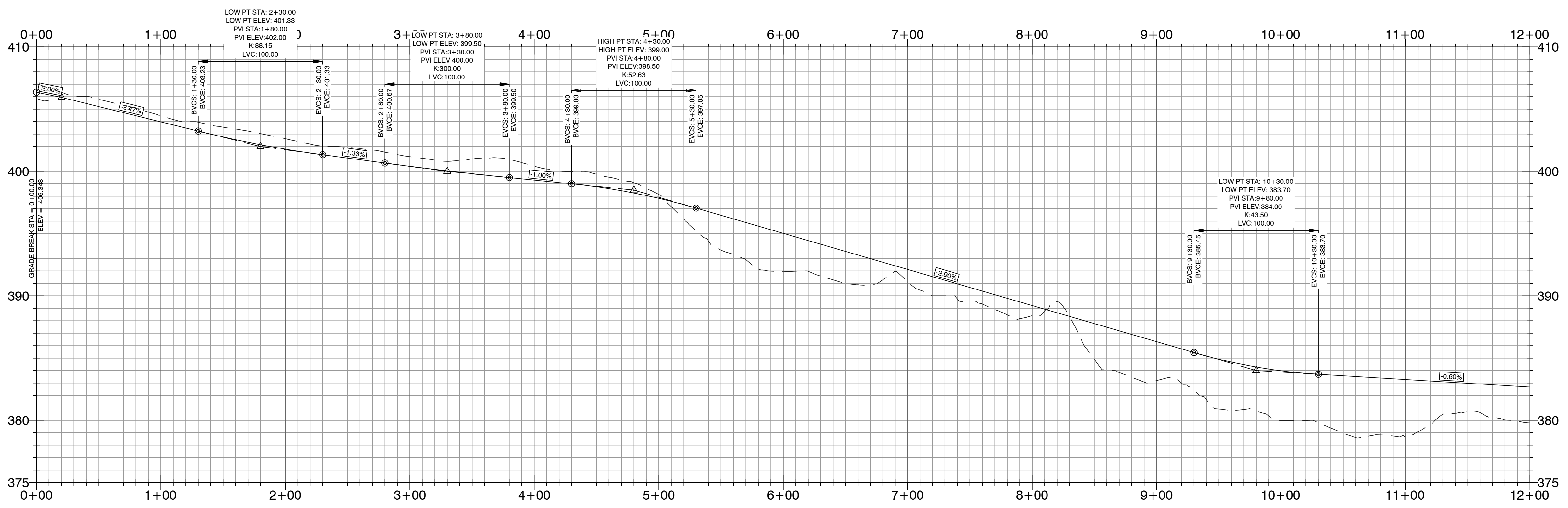
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CAVINESS SAMUEL,
LOYD & KEN
ALLEN MOORE
TAX PARCEL
#840-15011-000
383/216

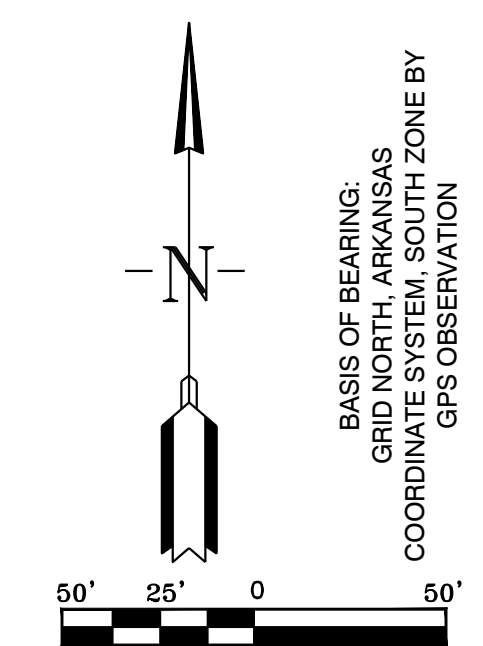


STARLIGHT VILLAGE DRIVE PROFILE

SUNLIGHT AVENUE PROFILE



----- HDPE
———— RCP



BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE NORTH ZONE BY
GPS OBSERVATION



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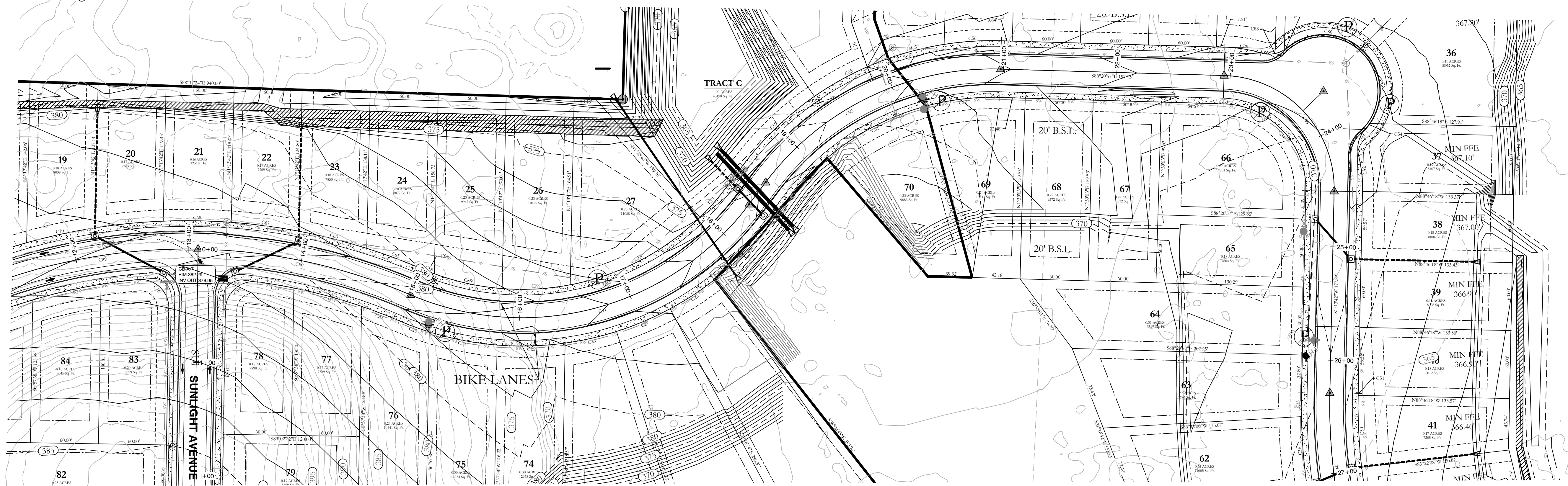
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FAX (501) 315-0024
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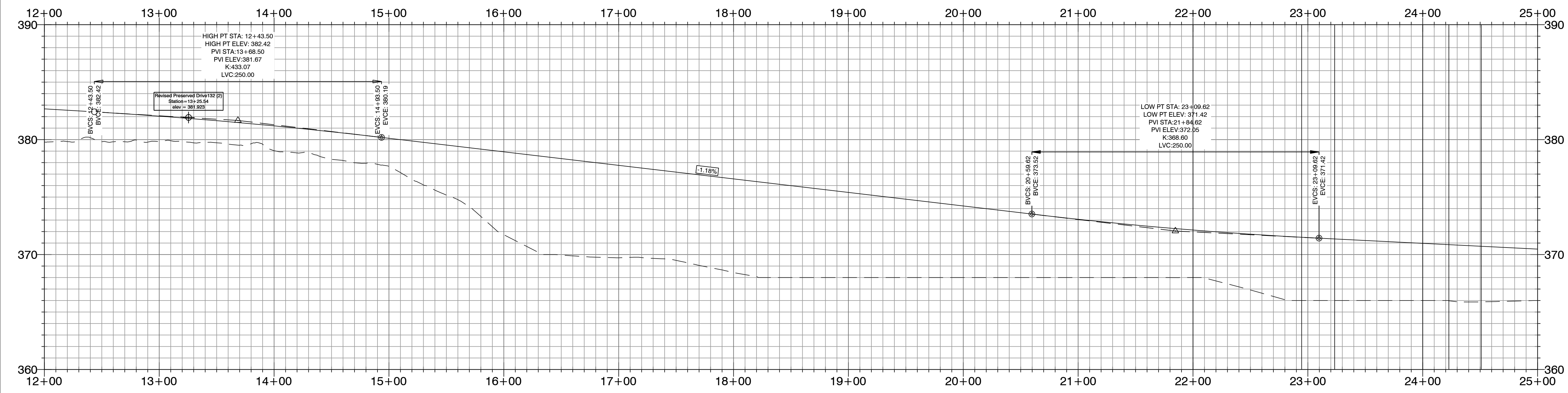
STARLIGHT VILLAGE SUBDIVISION
STREET PLAN AND PROFILES
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	19-0238
SHEET: C-1.1	SCALE:	

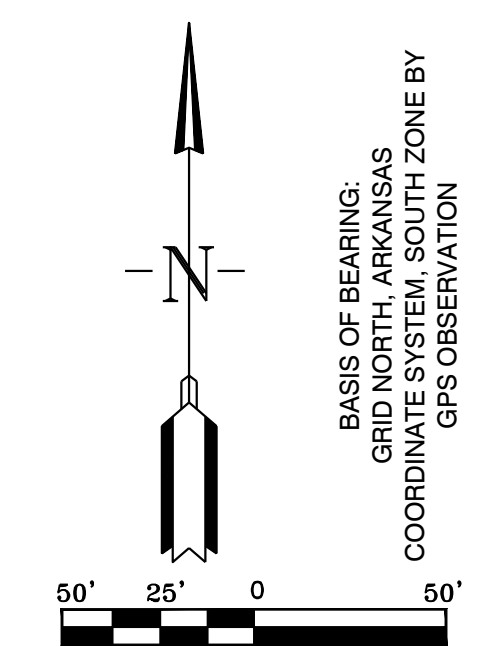
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STARLIGHT VILLAGE DRIVE PROFILE



- - - - - HDPE
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BASIS OF BEARING:
 GRID NORTH, ARKANSAS
 COORDINATE NORTH ZONE BY
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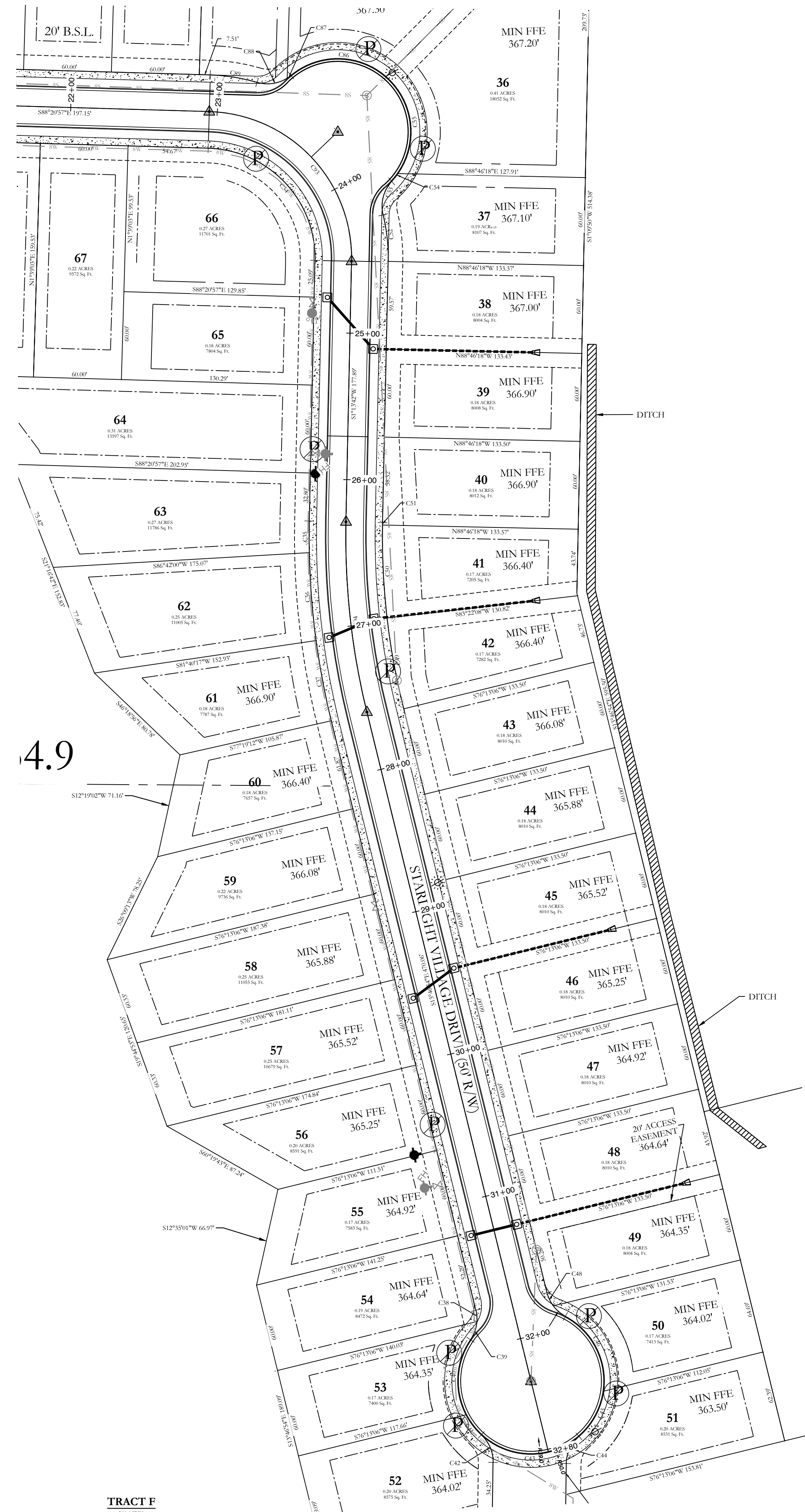
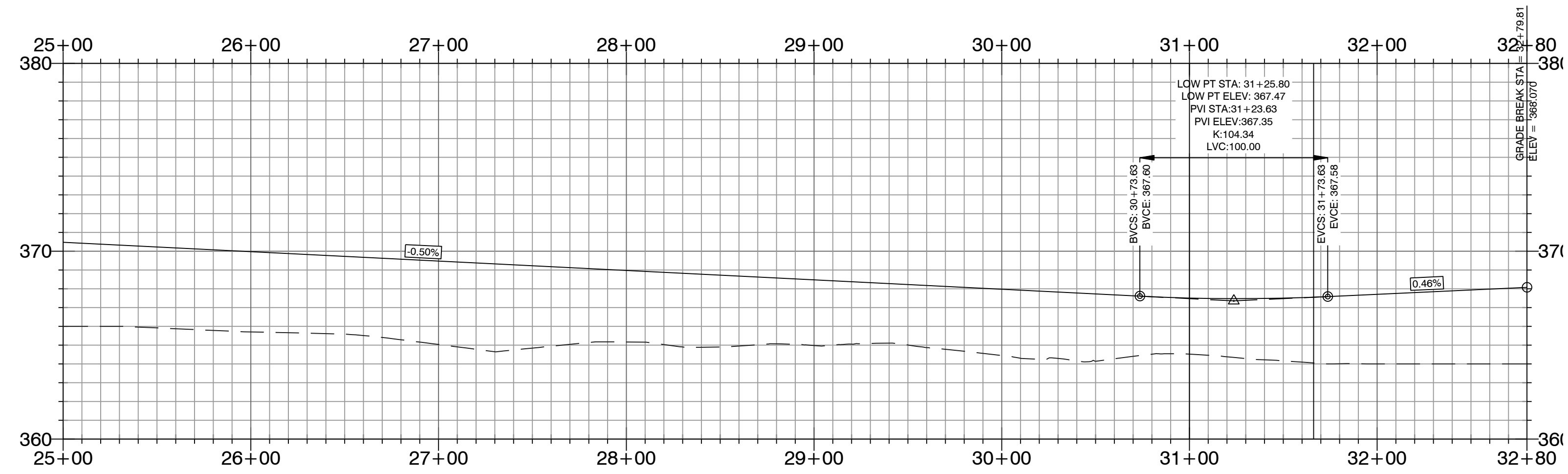
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STARLIGHT VILLAGE SUBDIVISION
STREET PLAN AND PROFILE
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	19-0238
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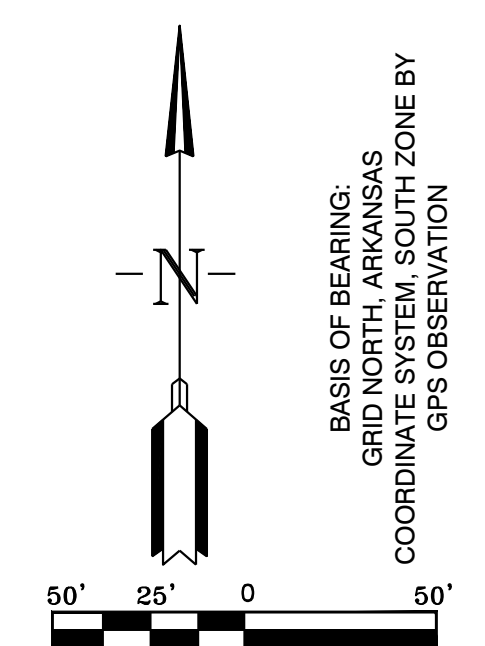
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STARLIGHT VILLAGE DRIVE PROFILE



4.9

--- HDPE
 — RCP



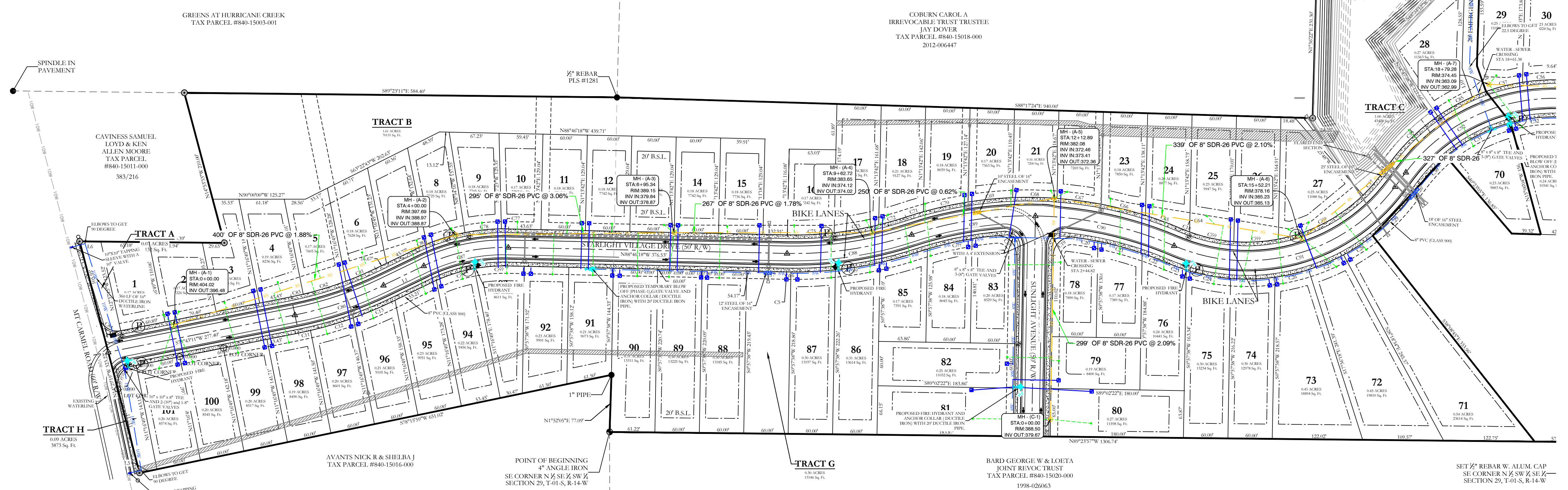
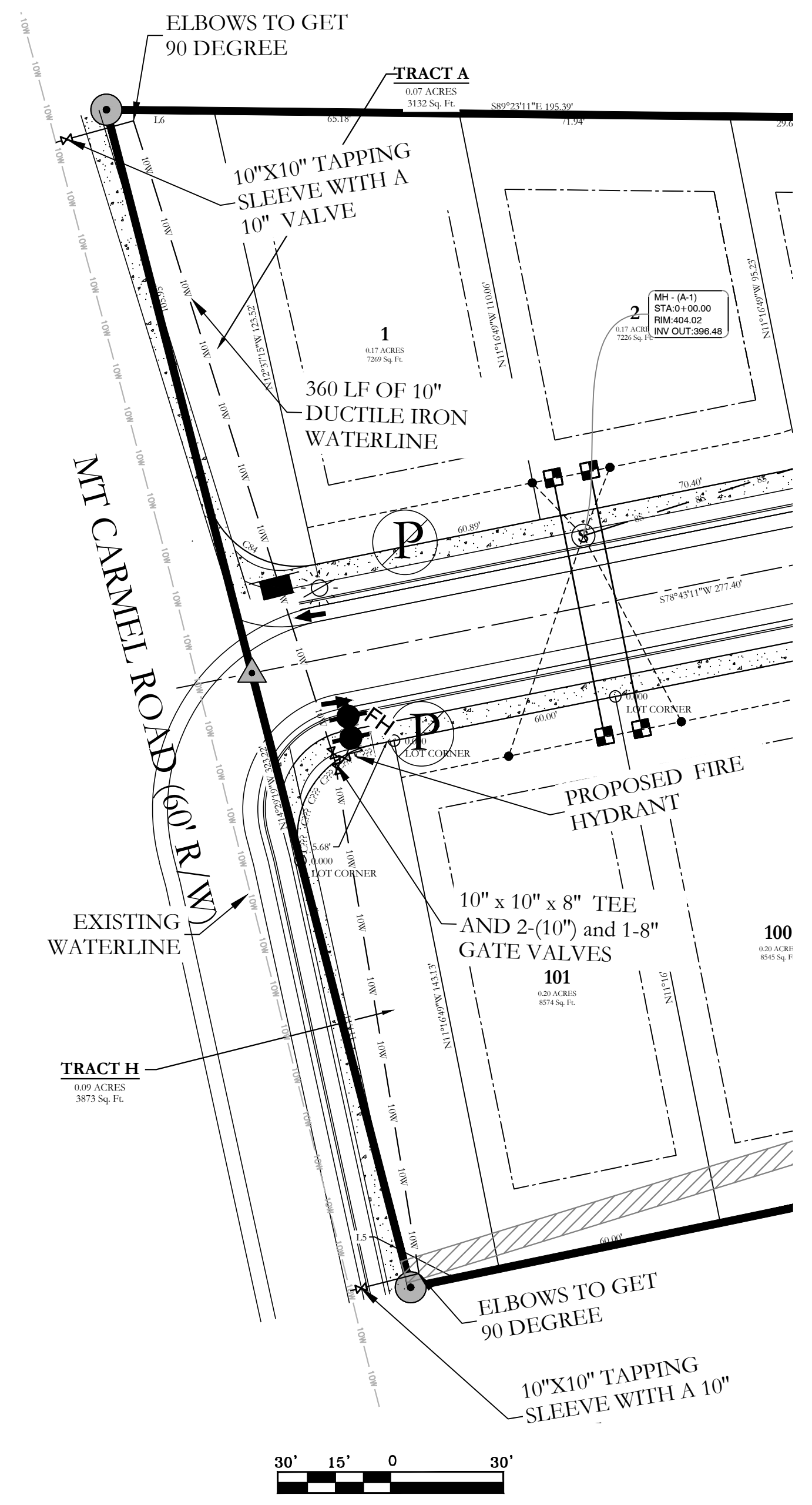
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STARLIGHT VILLAGE SUBDIVISION STREET PLAN AND PROFILE A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	19-0238
SHEET: C-1.3	SCALE:	



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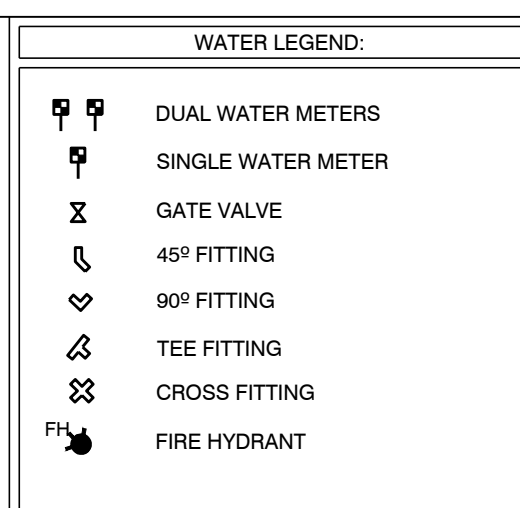
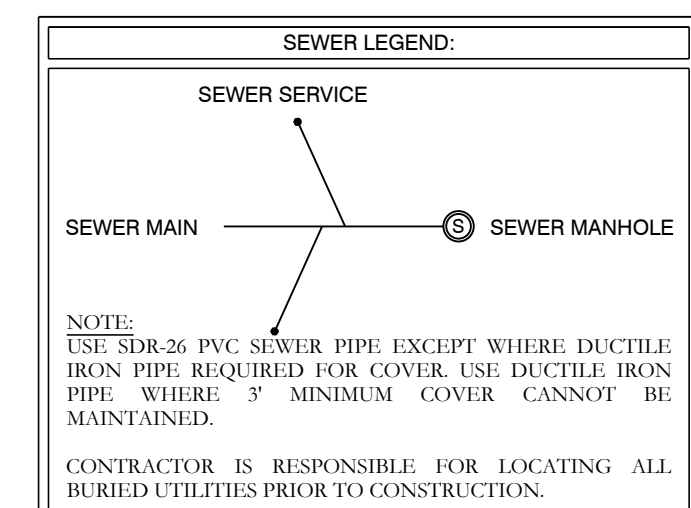
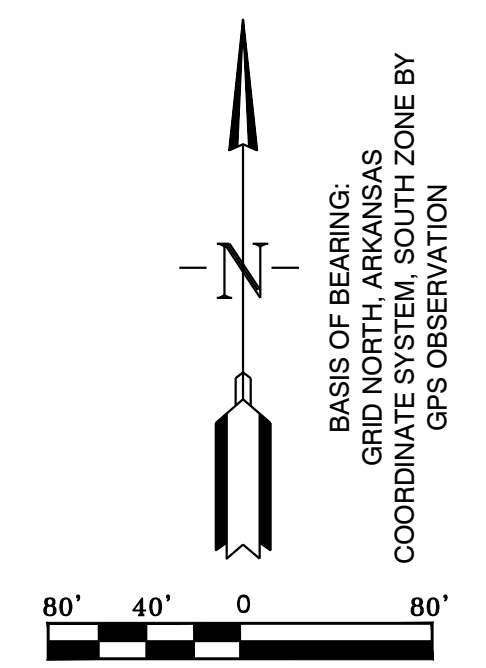
Curve Table				
Curve #	Length	Radius	Delta	Chord Direction
1	100.00	100.00	90.00	N 0° 0' 0" E
2	100.00	100.00	90.00	S 0° 0' 0" E
3	100.00	100.00	90.00	E 0° 0' 0" S
4	100.00	100.00	90.00	W 0° 0' 0" S



- WATER & SEWER UTILITY NOTES:**
- ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
 - ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
 - ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
 - WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASUREMENT PIPE. THE STEEL ENCASUREMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.
 - EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAN).
 - WATER MAIN CONNECTION TO THE NORTH WILL BE CONSTRUCTED IN PHASE 2. CONNECTION TO THE SOUTH WILL BE IN THE FINAL PHASE.
- SEWER CONSTRUCTION NOTES:**
- ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
 - ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.

VERTICAL SEPARATION OF WATER AND SANITARY SEWER NOTE:

WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACT EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWER MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE. IF THIS DISTANCE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18-INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASUREMENT REQUIREMENT.



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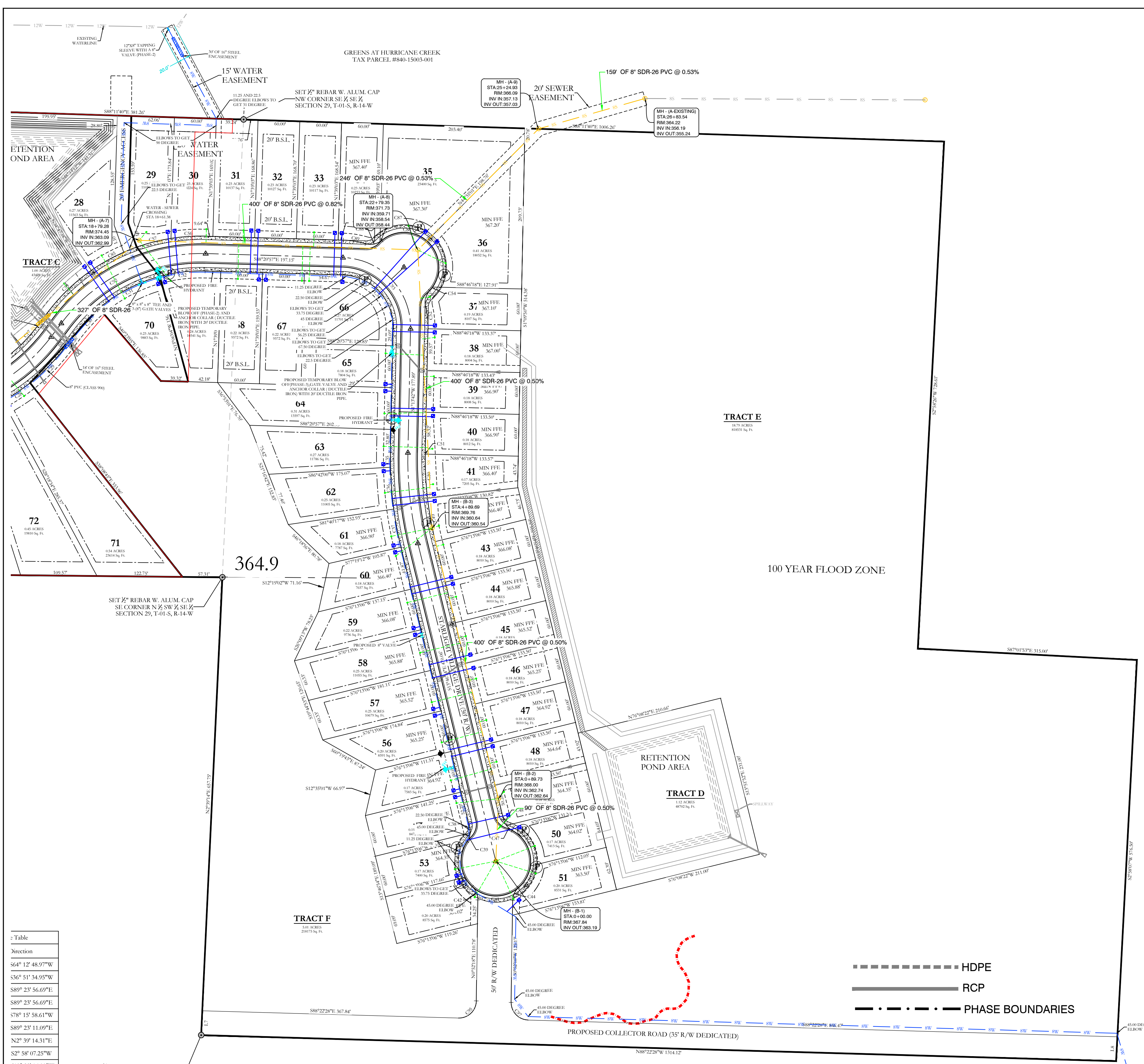
STARLIGHT VILLAGE SUBDIVISION
UTILITY PLAN

A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:	
REVISION:	CHECKED BY:	19-0238	
SHEET: C-20	SCALE:		

500	1S	15W	0	34	230	62	1807
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K:\LAND PROJECTS\2004\SUBDIVISIONS\2019\19-0238 STARLIGHT VILLAGE SUBDIVISION CONSTRUCTION



Table

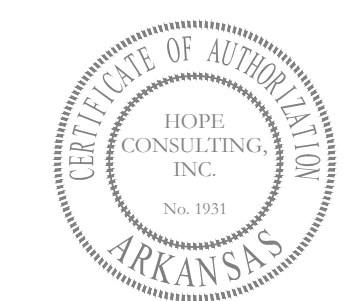
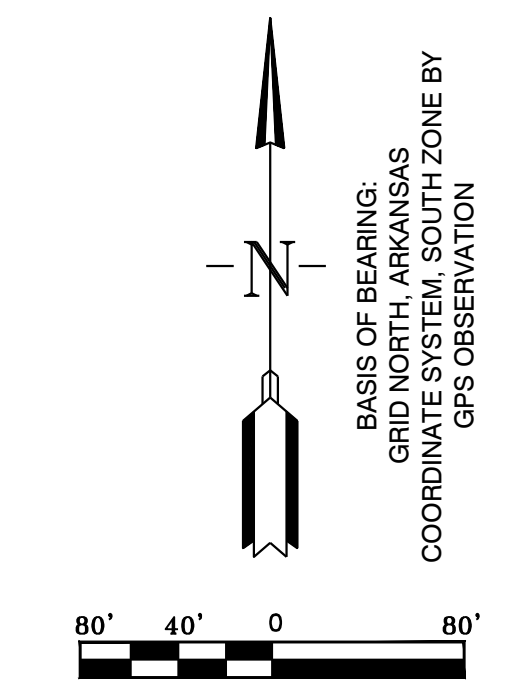
Direction	Bearing	Distance
S64° 12' 48.97" W		364.9
S36° 51' 34.95" W		361.5
S89° 23' 56.60" E		
S89° 23' 56.60" E		
S78° 15' 58.61" W		
S89° 23' 11.09" E		
N2° 39' 14.31" E		
S2° 58' 07.25" W		
S19° 23' 16.00" W		
S19° 23' 16.00" W		

- WATER & SEWER UTILITY NOTES:**
1. ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
 2. ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
 3. ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
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 5. EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAN).
 6. WATER MAIN CONNECTION TO THE NORTH WILL BE CONSTRUCTED IN PHASE 2. CONNECTION TO THE SOUTH WILL BE IN THE FINAL PHASE.

- SEWER CONSTRUCTION NOTES:**
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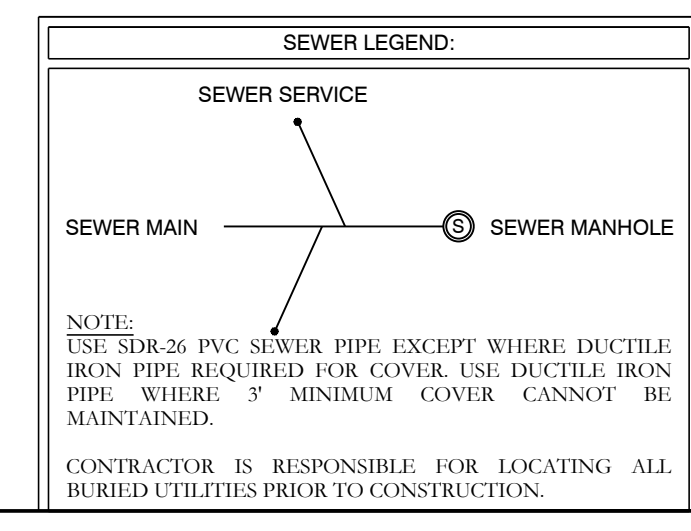
VERTICAL SEPARATION OF WATER AND SANITARY SEWER NOTE:

WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACT EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWER MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE. IF THIS DISTANCE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18-INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASUREMENT REQUIREMENT.



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WATER LEGEND:

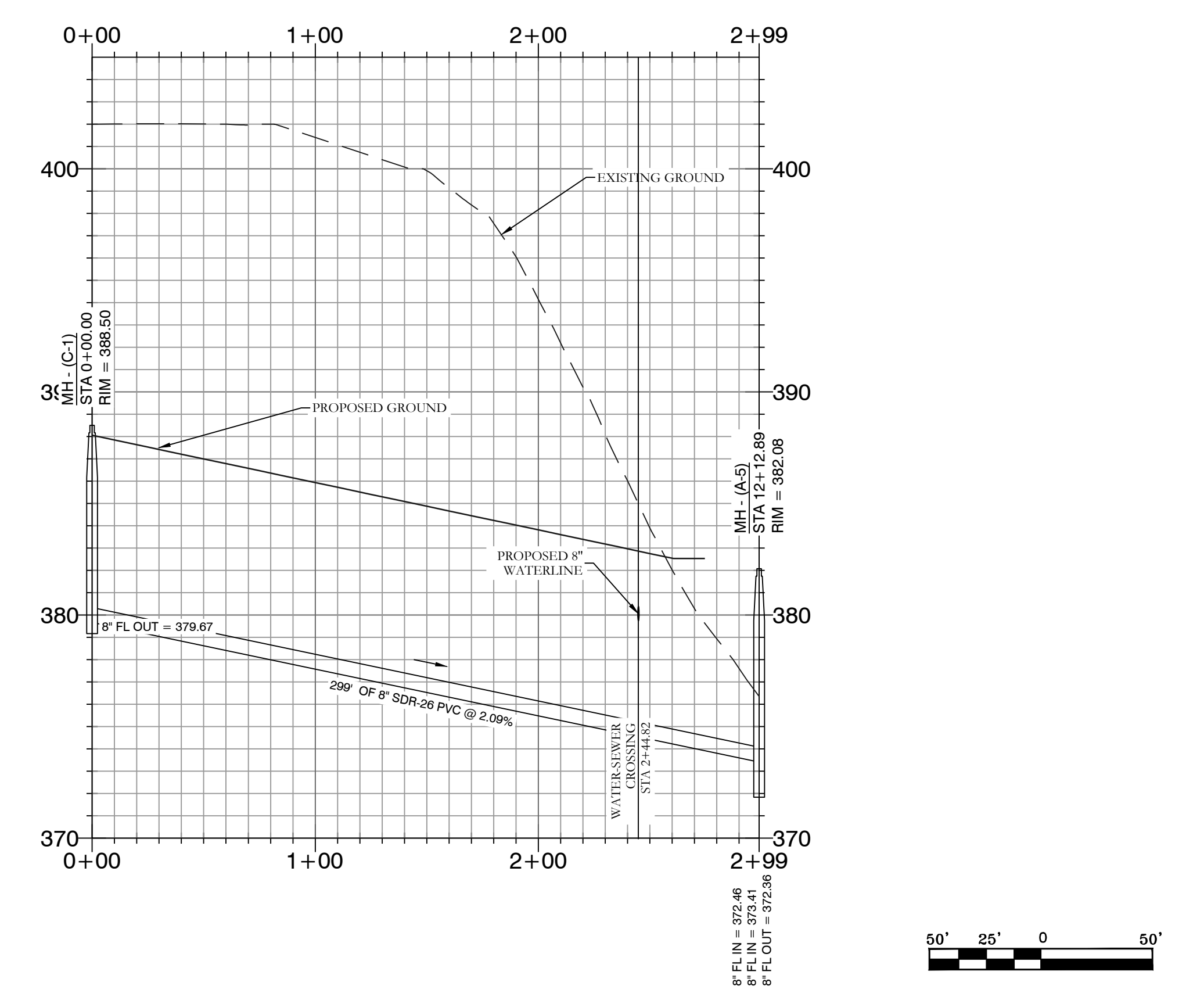
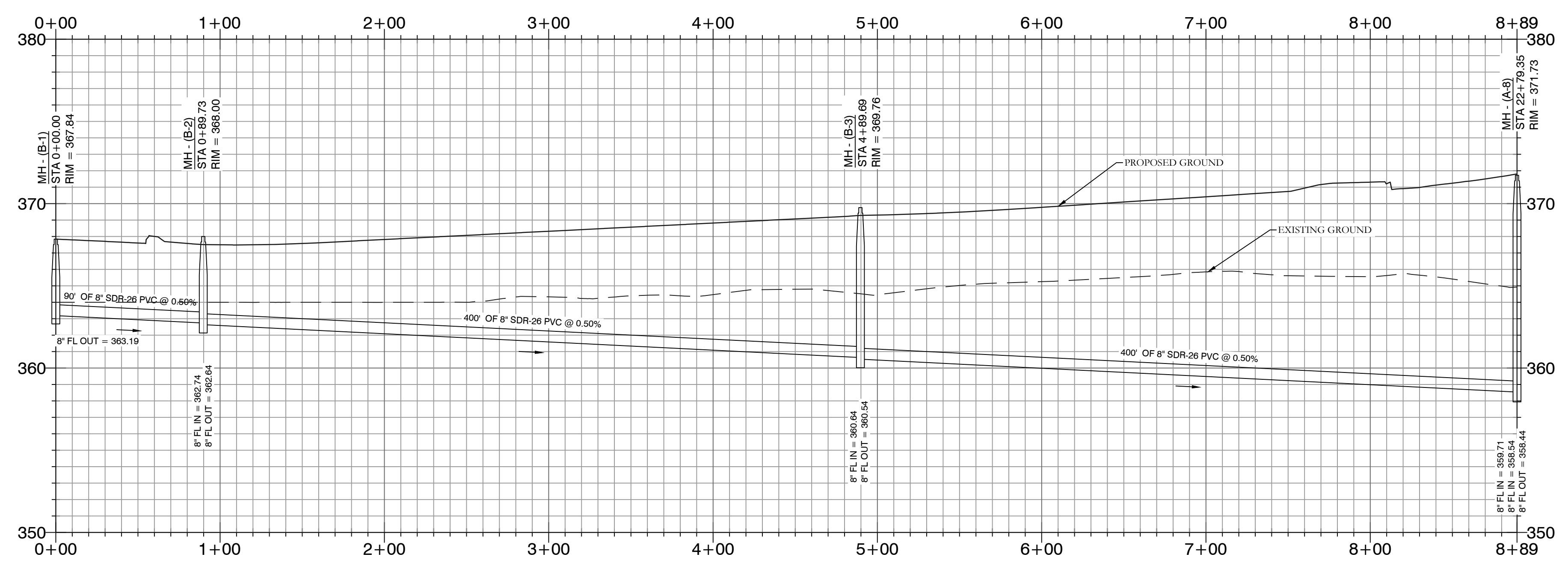
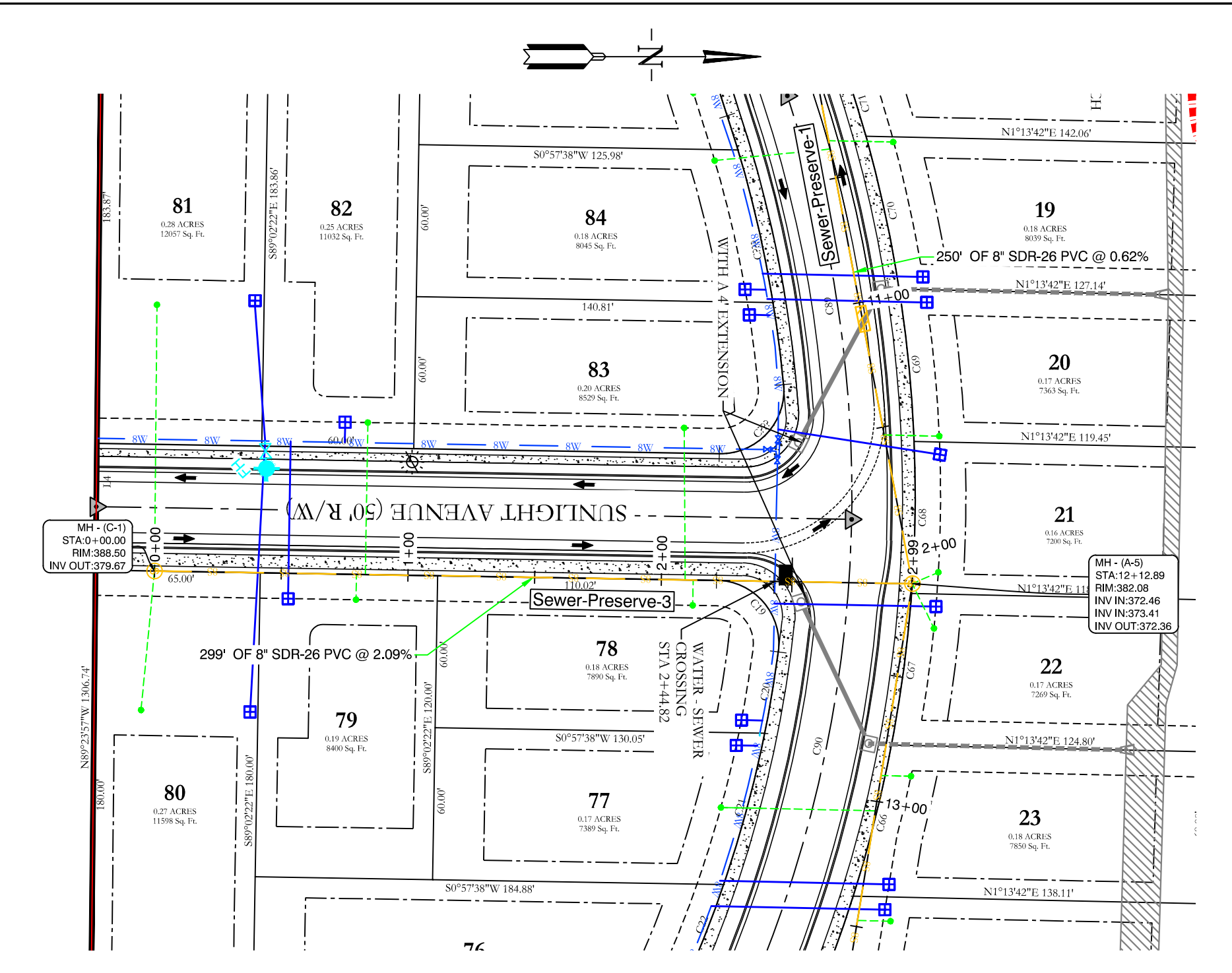
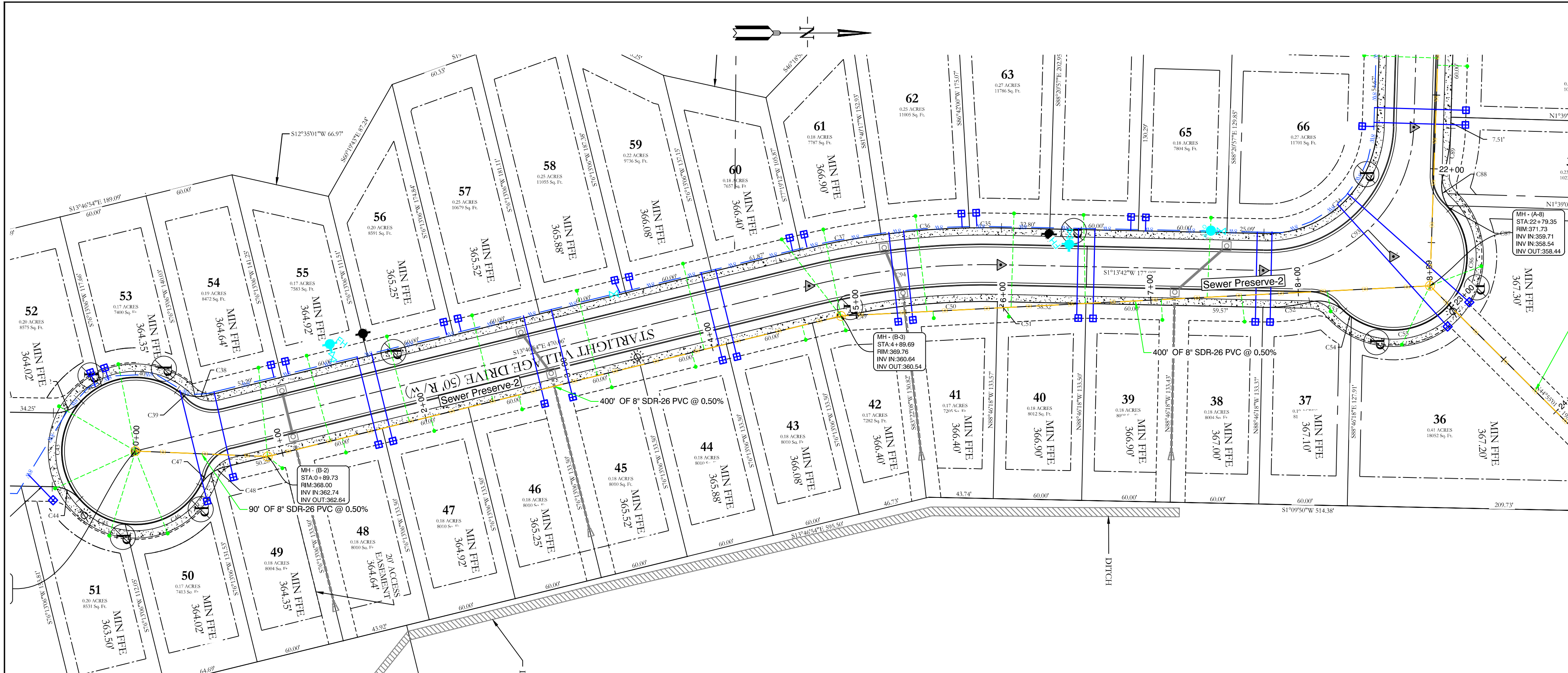
☐	DUAL WATER METERS
⊕	SINGLE WATER METER
X	GATE VALVE
⌒	45° FITTING
⌒	90° FITTING
⊕	TEE FITTING
⊕	CROSS FITTING
⊕	FIRE HYDRANT

FOR USE AND BENEFIT OF:
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STARLIGHT VILLAGE SUBDIVISION
UTILITY PLAN
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	19-0238
SHEET: C-21	SCALE:	
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STARLIGHT VILLAGE SUBDIVISION
SEWER PLAN AND PROFILES
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	19-0238
SHEET: C-24	SCALE:	

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CAVINNESS SAMUEL
LOYD & KEN
ALLEN MOORE
TAX PARCEL
#840-15011-000
383/216

TRACT B

TRACT A

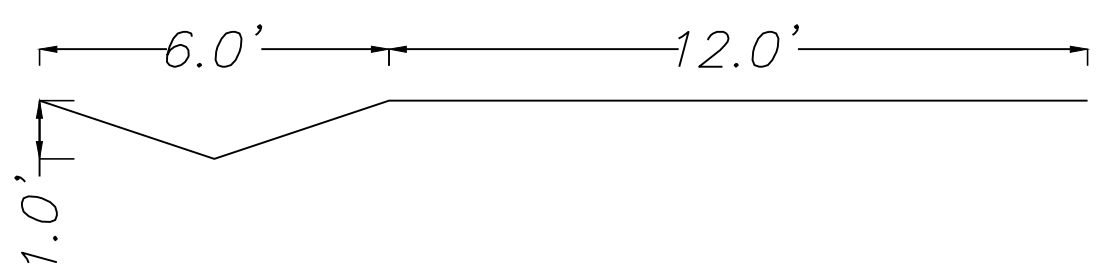
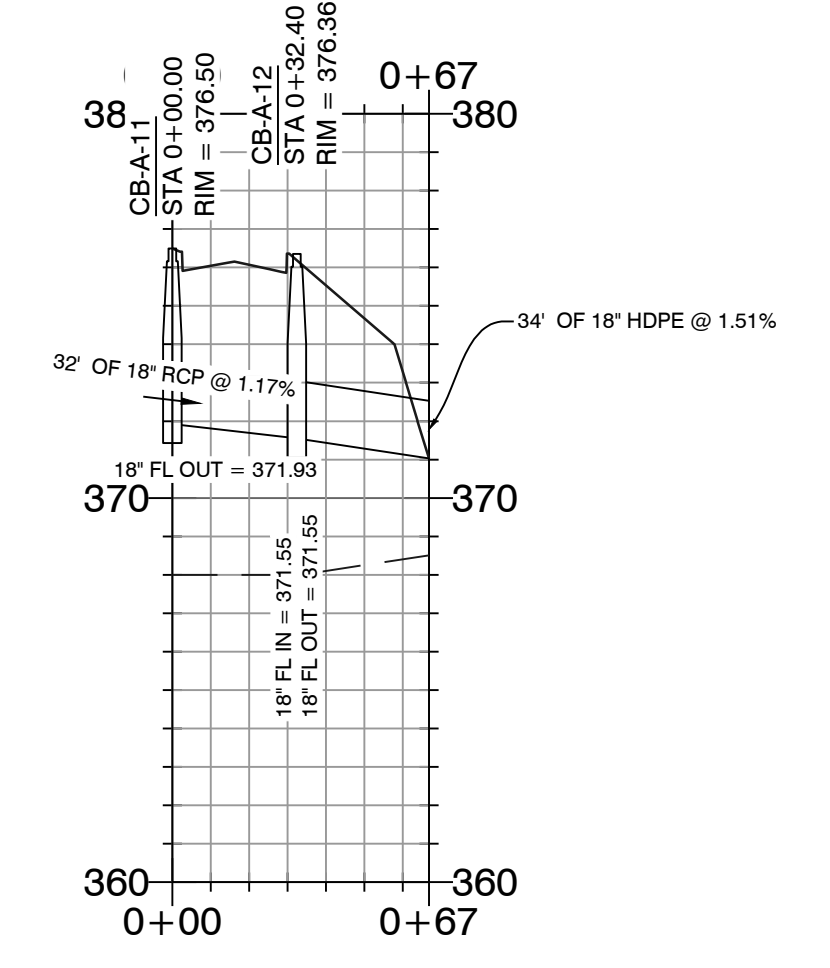
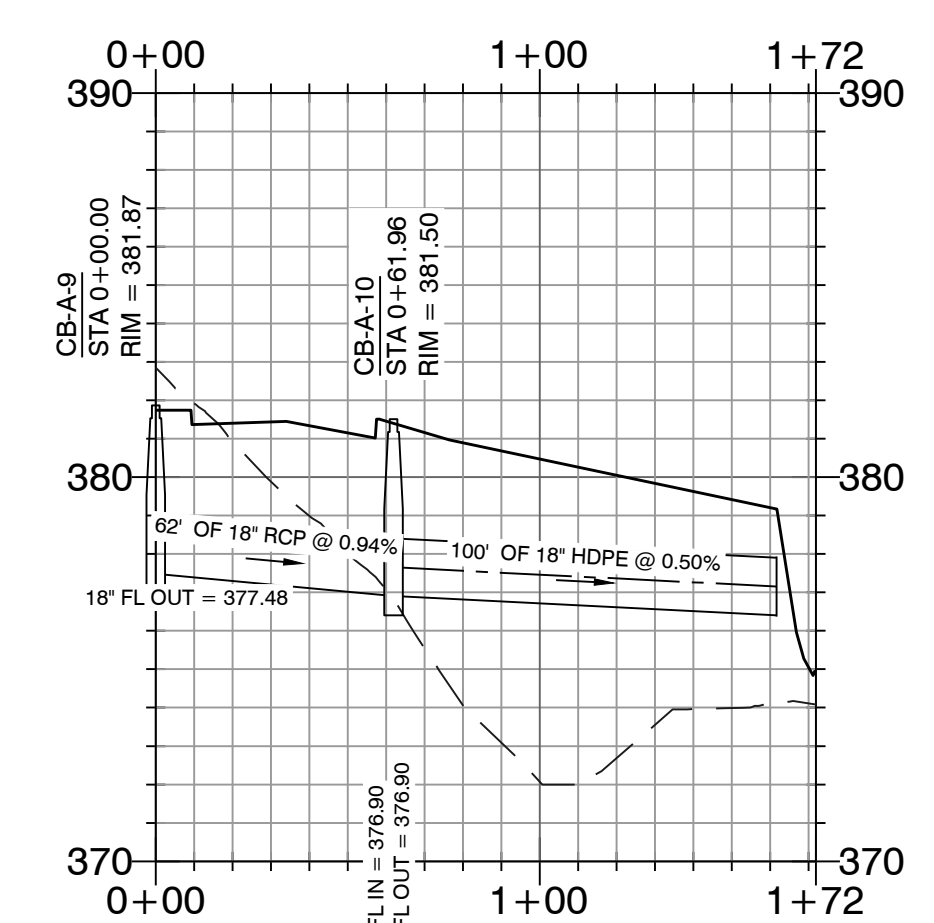
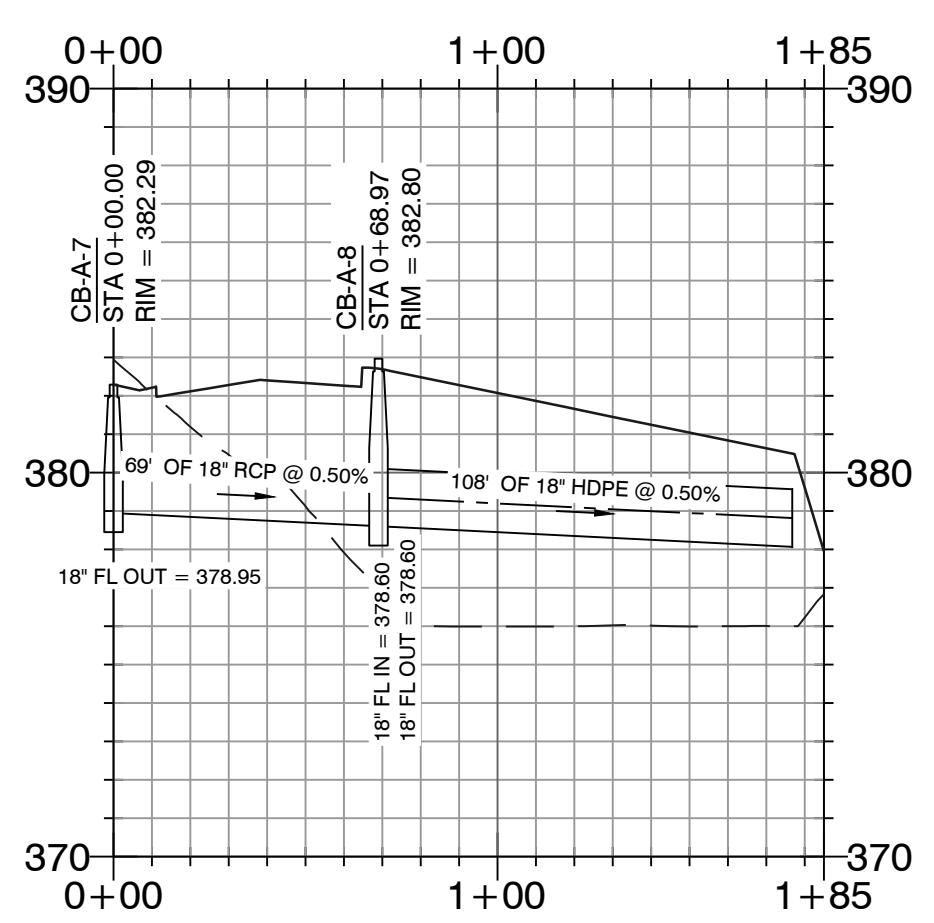
TRACT H

AVANTS NICK R & SHELBA J
TAX PARCEL #840-15016-000

POINT OF BEGINNING
4" ANGLE IRON
SE CORNER N 1/2 SE 1/4 SW 1/4
SECTION 29, T-01-S, R-14-W

TRACT G

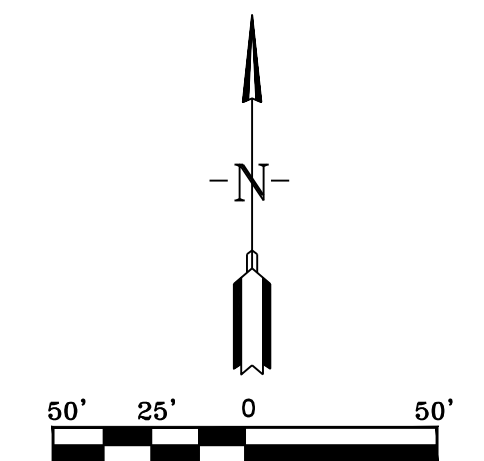
BARD GEORGE W & LOETA
JOINT REVOC TRUST
TAX PARCEL #840-15020-000
1998-026063



6' DITCH

GENERAL NOTES

- 6' ditches will have a 3:1 slope ratio
- 6' ditches will have solid sod stabilization

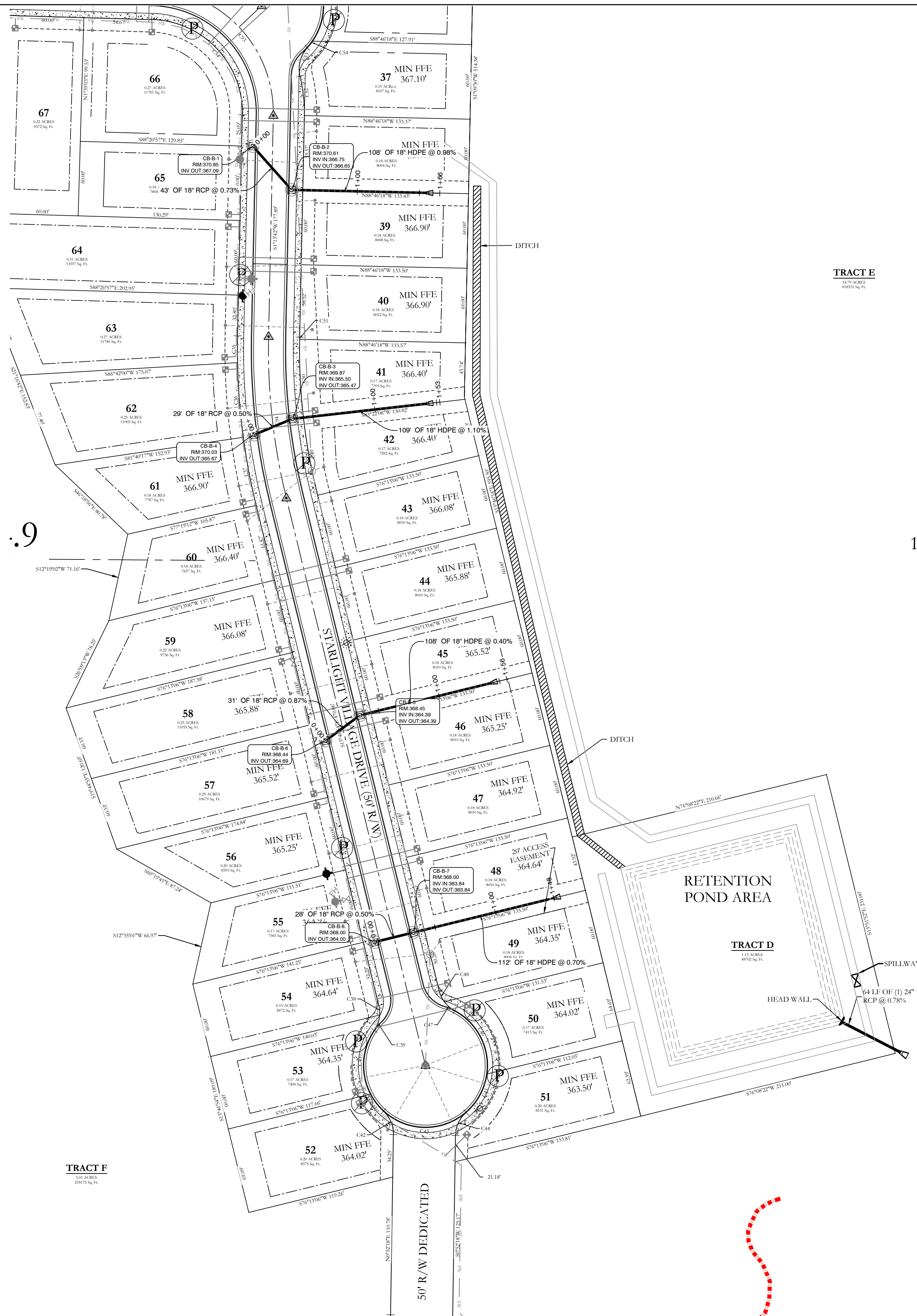


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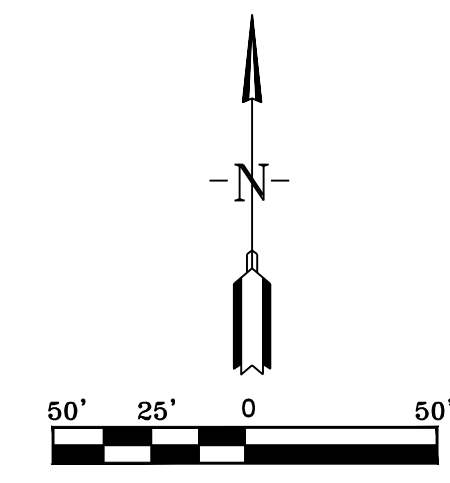
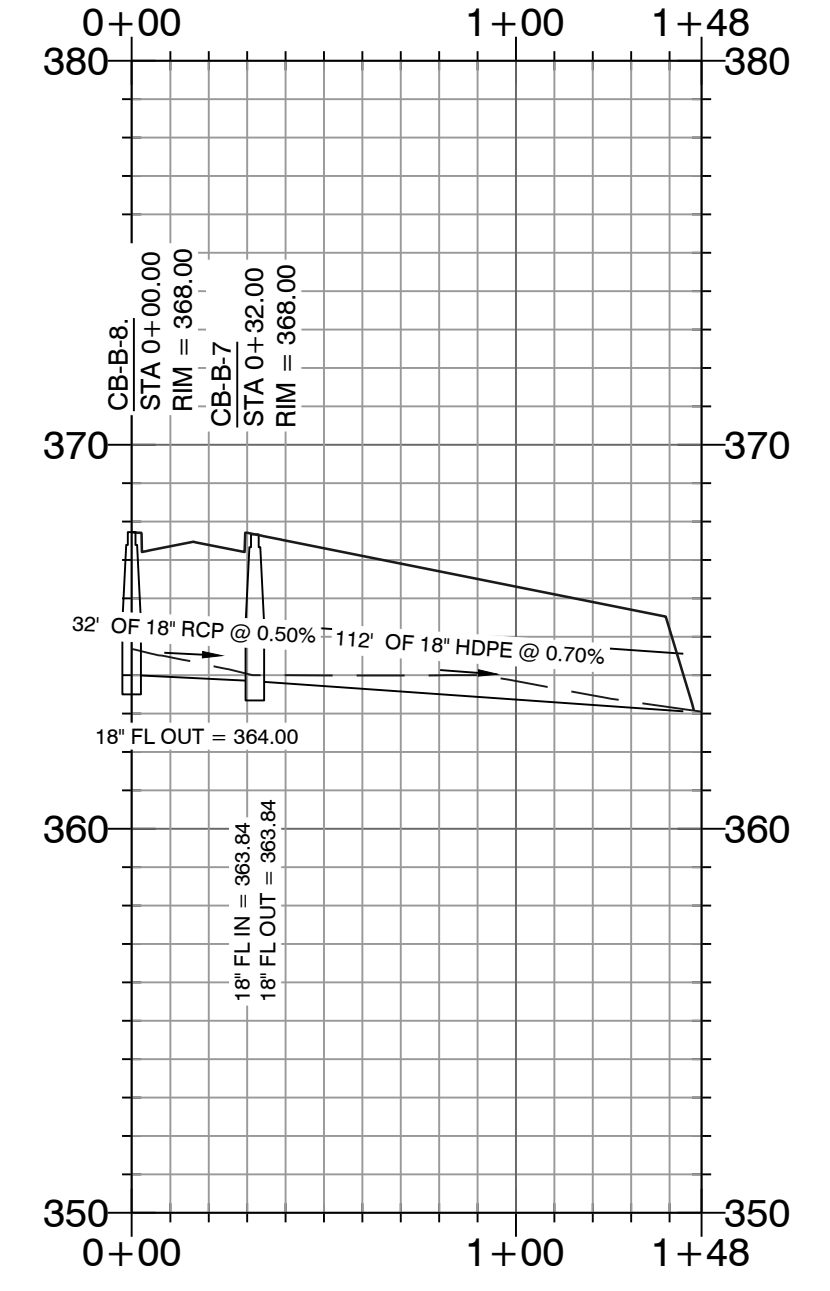
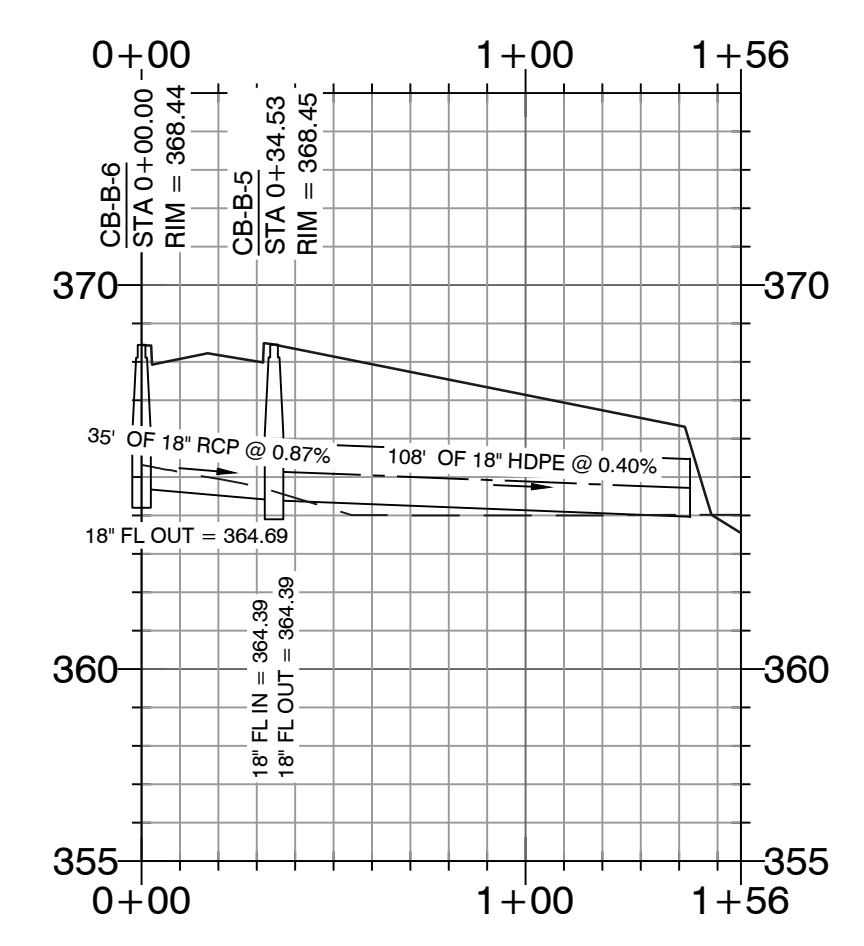
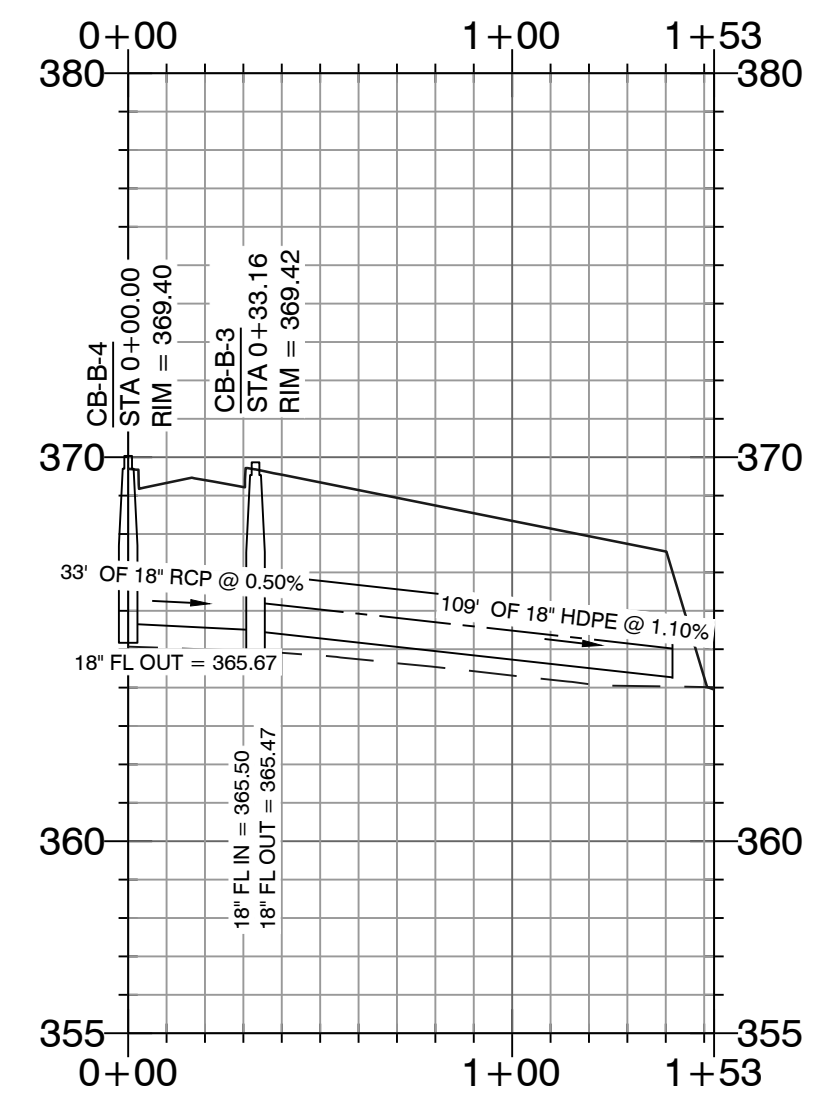
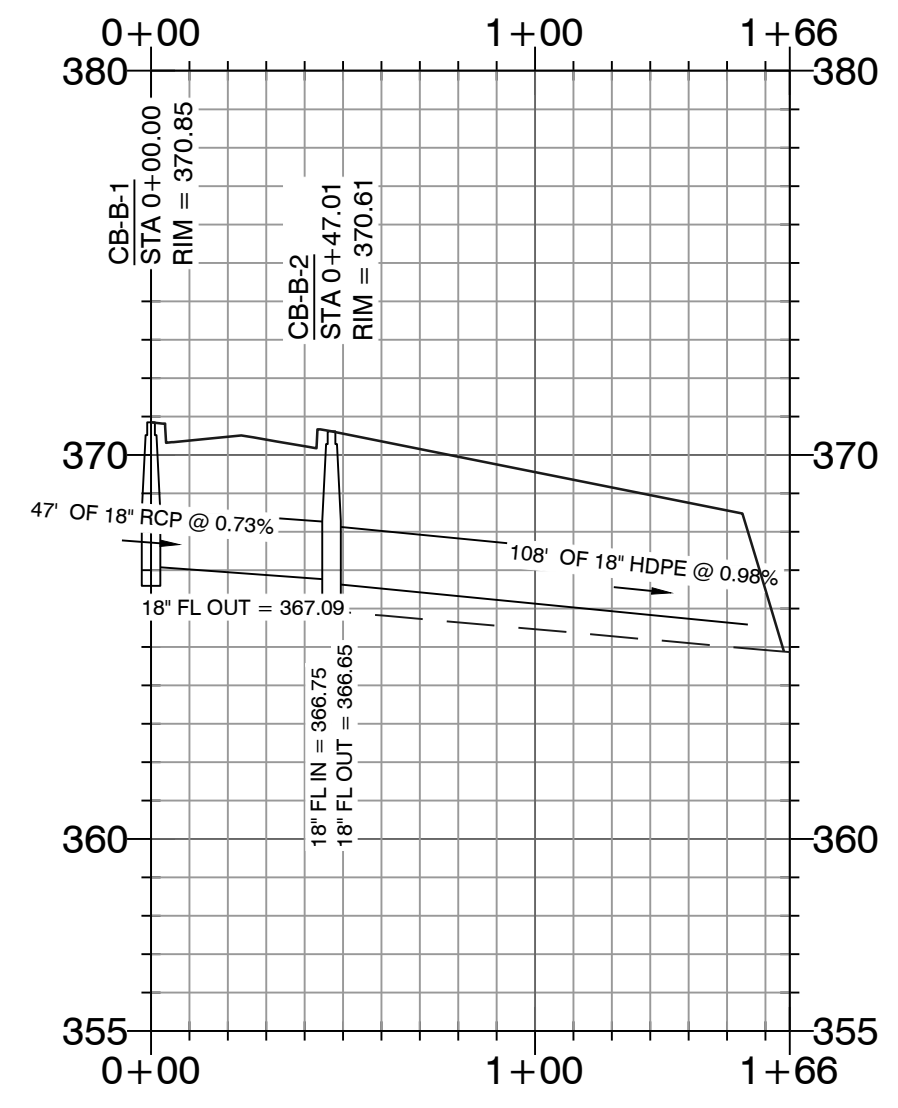
FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC			
STARLIGHT VILLAGE SUBDIVISION STROM DRAINAGE PLAN AND PROFILE A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:	
REVISION:	CHECKED BY:	19-0238	
SHEET: C-30	SCALE:		
500	1S	15W	0 34 230 62 1807

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TRACT E
112 ACRES
4807.74 SQ. FT.

100 YEAR FLOOD ZONE



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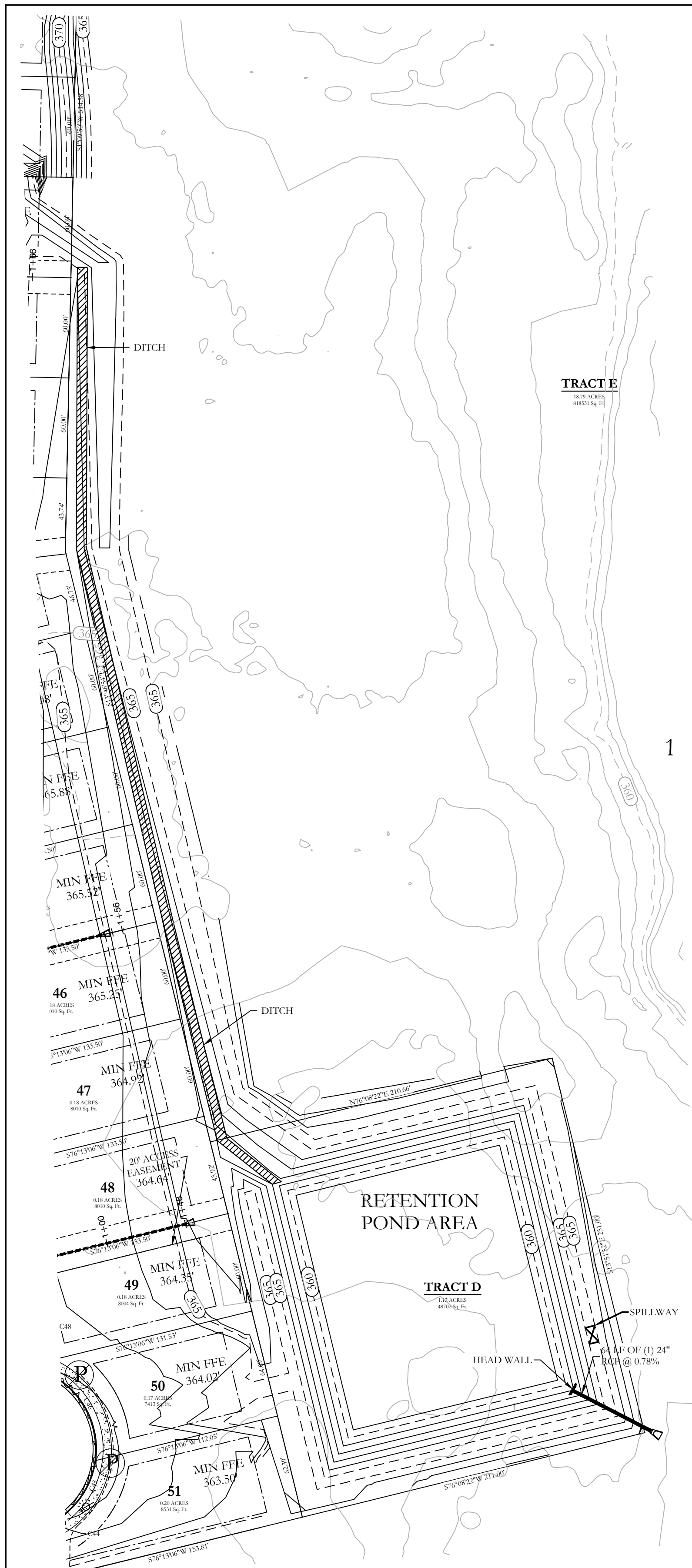
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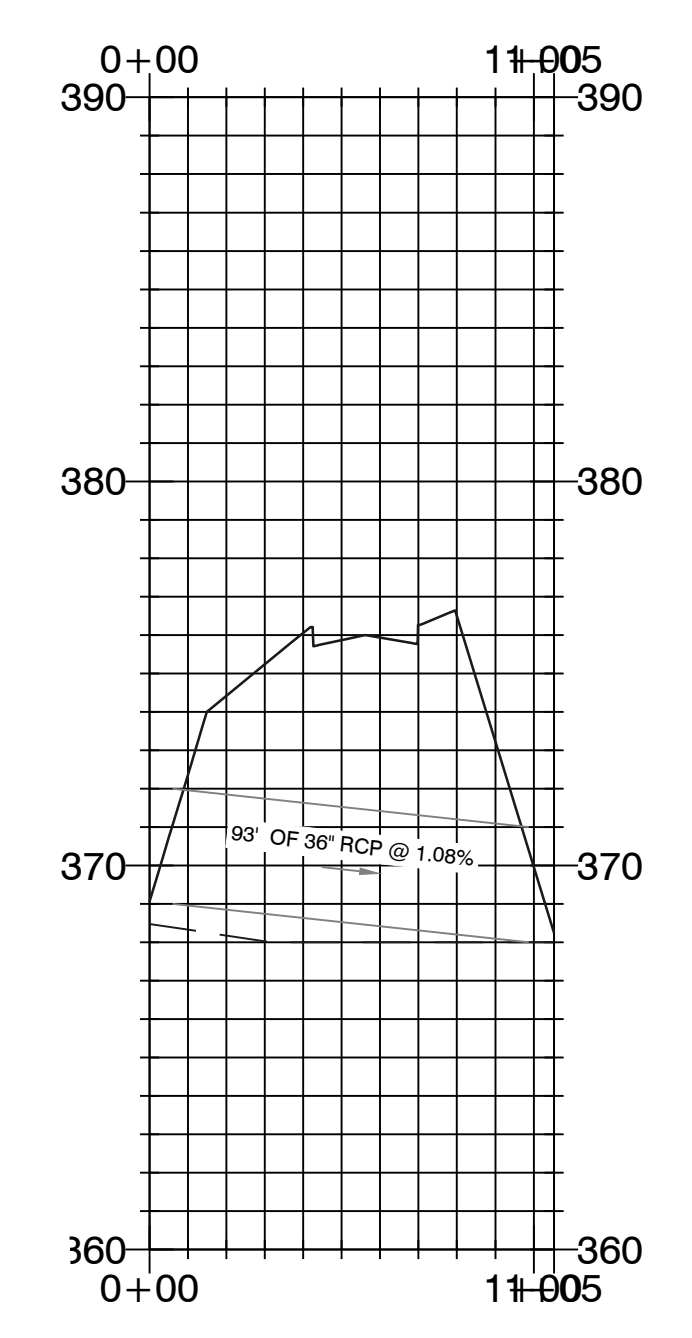
STARLIGHT VILLAGE SUBDIVISION
STORM DRAINAGE PROFILES
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	9/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISION:		CHECKED BY:	19-0238
SHEET:	C-3.1	SCALE:	
500	1S	15W	0 34 230 62 1807

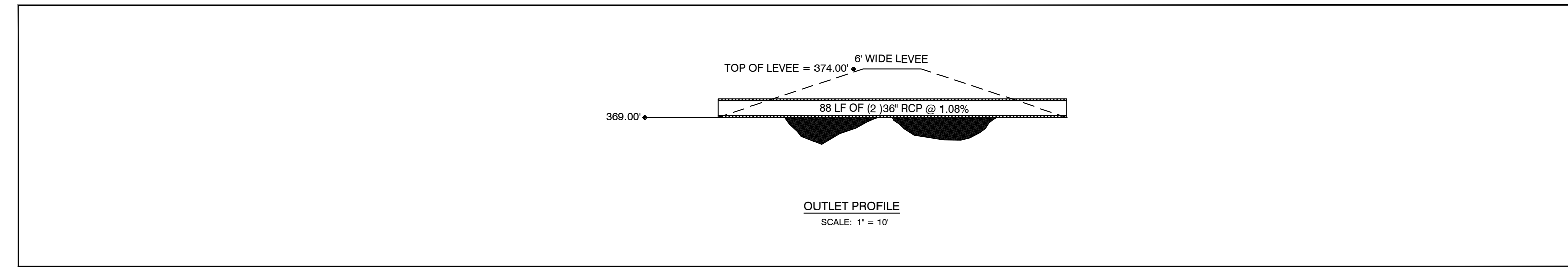
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1



RETENTION POND - PLAN VIEW



RETENTION POND - OUTLET CROSS-SECTIONS & DETAILS
SCALE: VARIES

RETENTION POND MAINTENANCE PLAN

Background
The retention ponds (Tract C and D) are located at the North and South side of the subject property. Detention ponds are designed to temporarily detain storm water to meet water quantity criteria before discharging off the property.

Stabilization of Retention Basin provided with 3-1 slopes with required Sodding.
6" Swales with required sodding.
Fences are prohibited in the drainage easement area.
Maintenance of retention ponds will be conducted by the improvement district.
Retention Pond Tract C will be constructed in Phase-2.

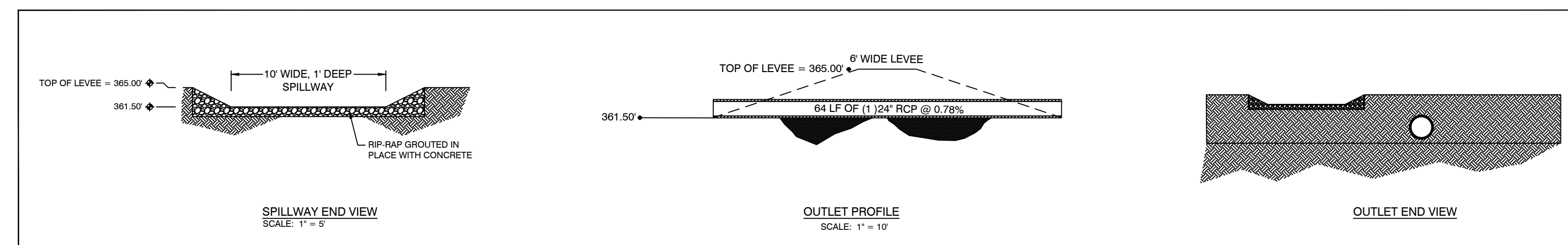
Routine Maintenance
Routine maintenance will include but not be limited to:
-Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.

-The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.

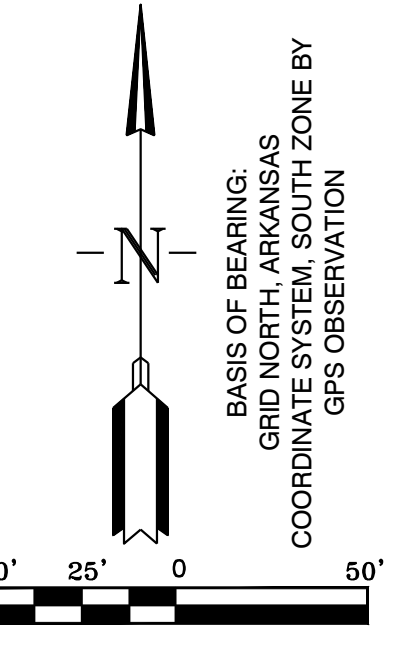
-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.

-Inspect the pond and outlet pipe for non-routine maintenance need.

Periodic or Non-Routine Maintenance
The routine inspection of the pond area and discharge pipe will identify needed repairs and non-routine maintenance. These items may include but not be limited to:
-Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.
-Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.
-Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
-Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.

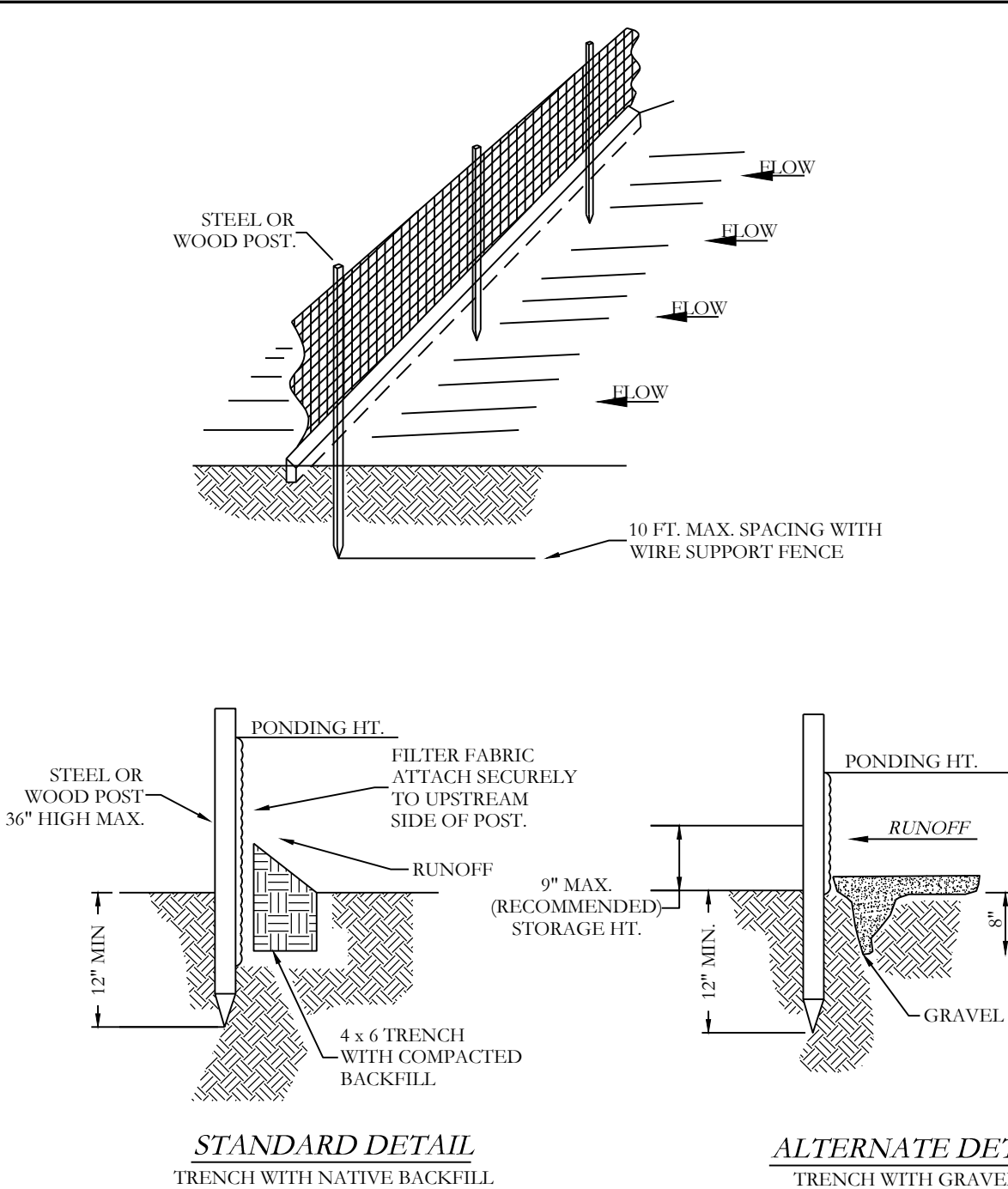


RETENTION POND - OUTLET CROSS-SECTIONS & DETAILS
SCALE: VARIES

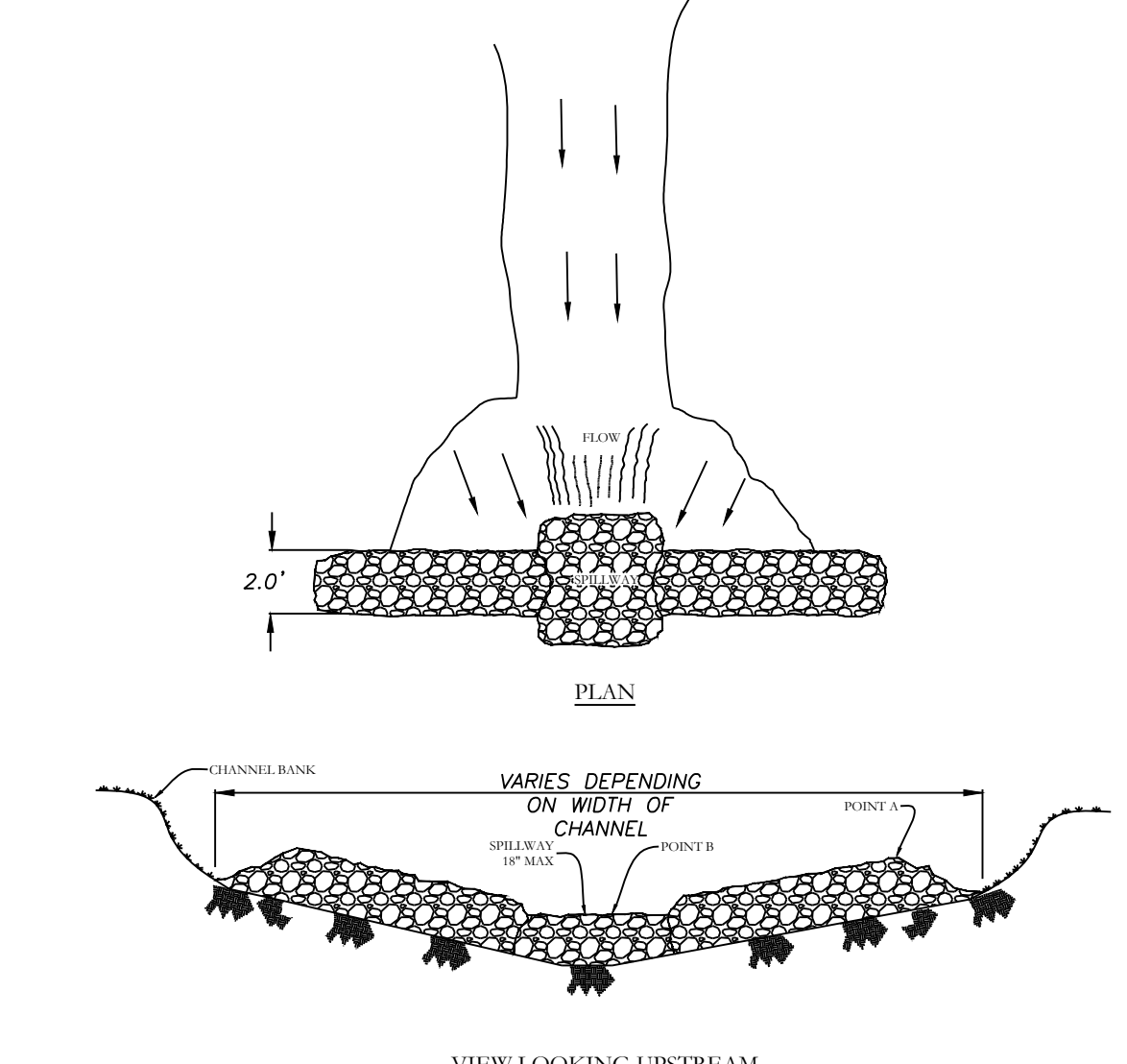


HOPE CONSULTING ENGINEERS - SURVEYORS		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC			
STARLIGHT VILLAGE SUBDIVISION DETENTION POND			
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 9/26/2022	C.A.D. BY:	DRAWING NUMBER:	
REVISID:	CHECKED BY:	19-0238	
SHEET: C-5.0	SCALE:		

K:\LAND PROJECTS\2004\SUBDIVISIONS\2019\19-0238\STARLIGHT VILLAGE\DWG\STARLIGHT VILLAGE SUBDIVISION, CONSTRUCTION PLANS\19-0238-BUILDING



- NOTE:**
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE, AND CAN BE PERMANENTLY STABILIZED.
 - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - 4) SILT FENCE SHALL BE WIRE BACKED.



- NOTES:**
- 1) POINT 'A' MUST BE HIGHER THAN POINT 'B' (SLOPEWAY HEIGHT).
 - 2) PLACE RIP-RAP BARRIER PERPENDICULAR TO FLOW WITH TIGHT GROUPINGS. USE STONE, ROCKS, OR FILTER FABRIC TO FILL ANY GAPS AND STAMP BACKFILL MATERIAL TO PREVENT PROTRUSION FROM UPSTREAM.
 - 3) SLOPEWAY HEIGHT SHALL NOT EXCEED 18" ±.
 - 4) INSPECT OTHER EROSION CONTROL MEASURES AND REPAIR PROMPTLY.

EROSION CONTROL NOTES

RETENTION POND AREAS ARE REQUIRED TO BE SOLID SOD STABILIZATION ONLY.

MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEVEES

CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE.

RIP-RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP.

CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY.

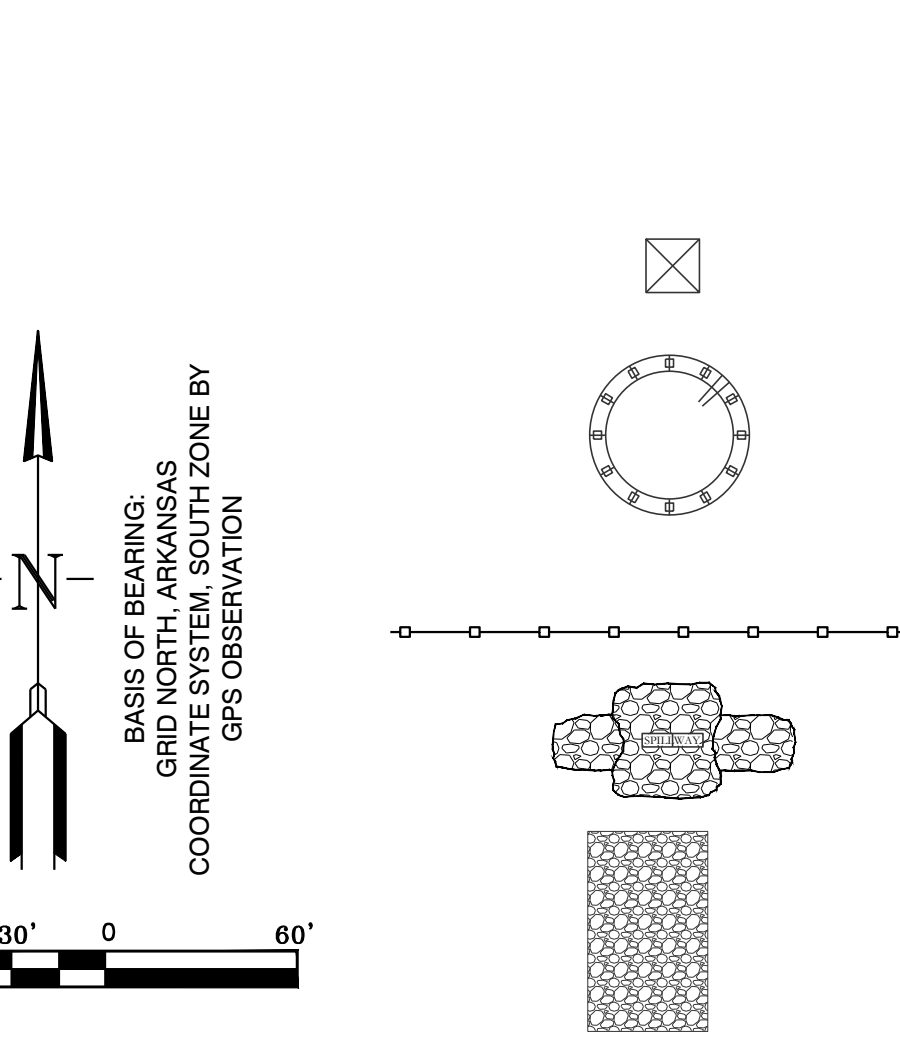
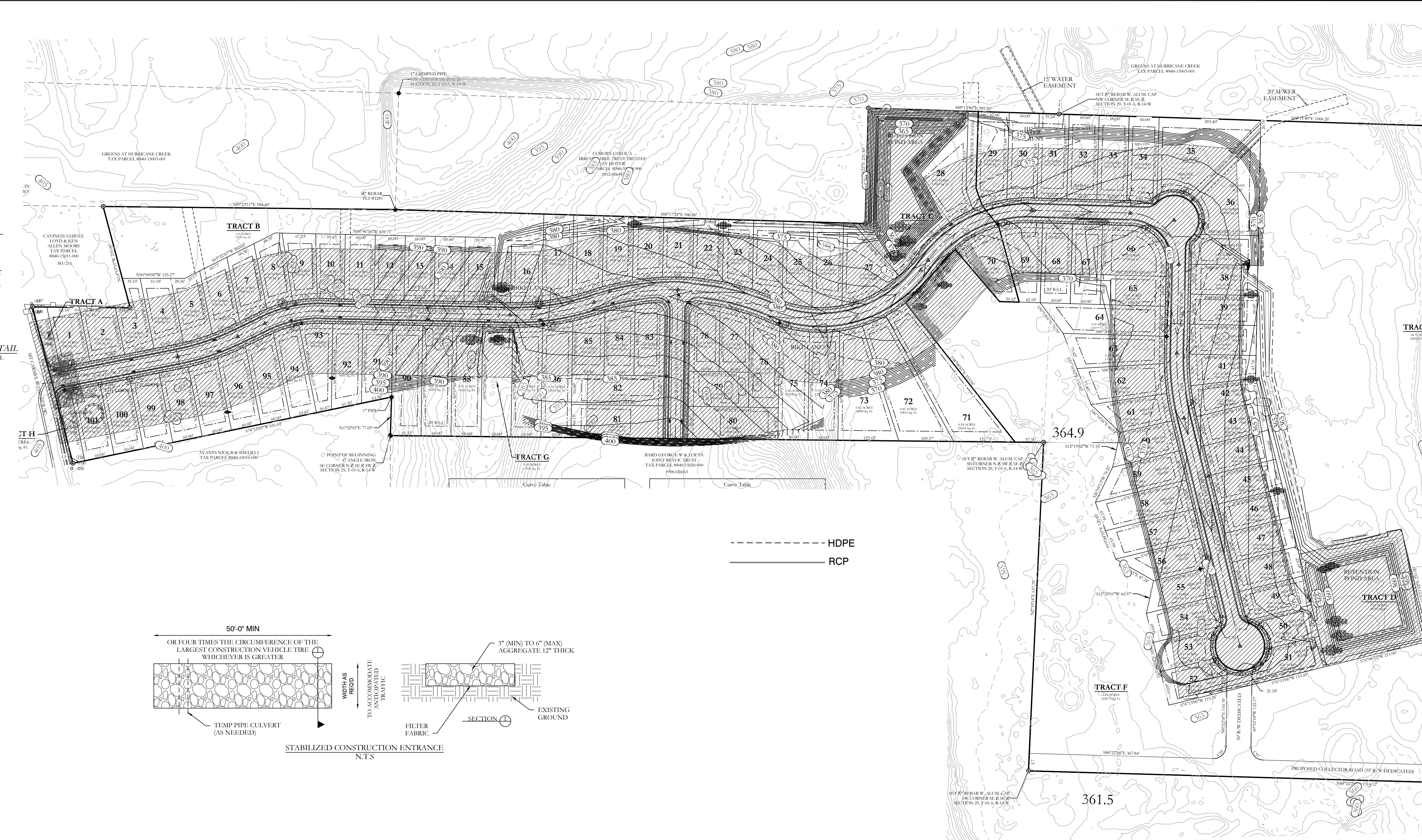
SOME EROSION CONTROL MEASURES, SILT FENCING, OR CHECK DAMS MAY NOT BE NECESSARY DURING INITIAL ROW CLEARING BUT MAY BE NEEDED ONCE LOT CLEARING AND HOME BUILDING BEGINS.

EXISTING VEGETATION WILL ONLY BE REMOVED INSIDE ROW AND WITHIN HOUSE FOOTPRINTS AS THEY ARE CONSTRUCTED. ADDITIONAL SILT FENCING WILL BE ADDED TO INDIVIDUAL LOTS AS HOME CONSTRUCTION TAKES PLACE.

DEADLINES FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED.

STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.



FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
EROSION CONTROL PLAN
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/26/2022 C.A.D. BY: DRAWING NUMBER:
REVISION: CHECKED BY: 19-0238
SHEET: C-6.0 SCALE: SHEET:

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HOPE CONSULTING ENGINEERS - SURVEYORS

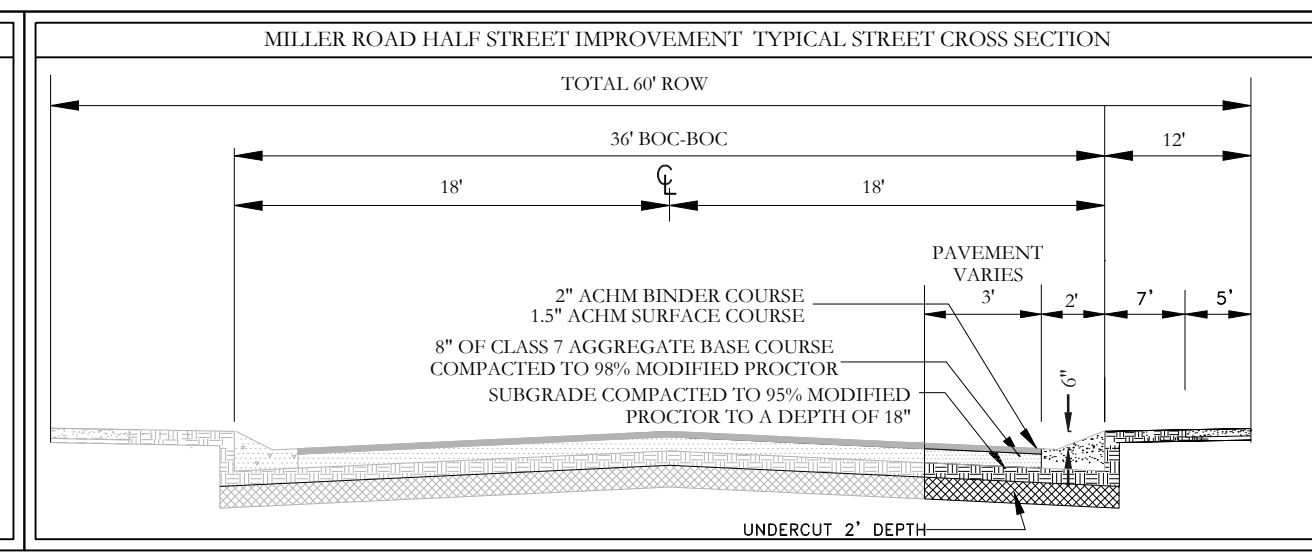
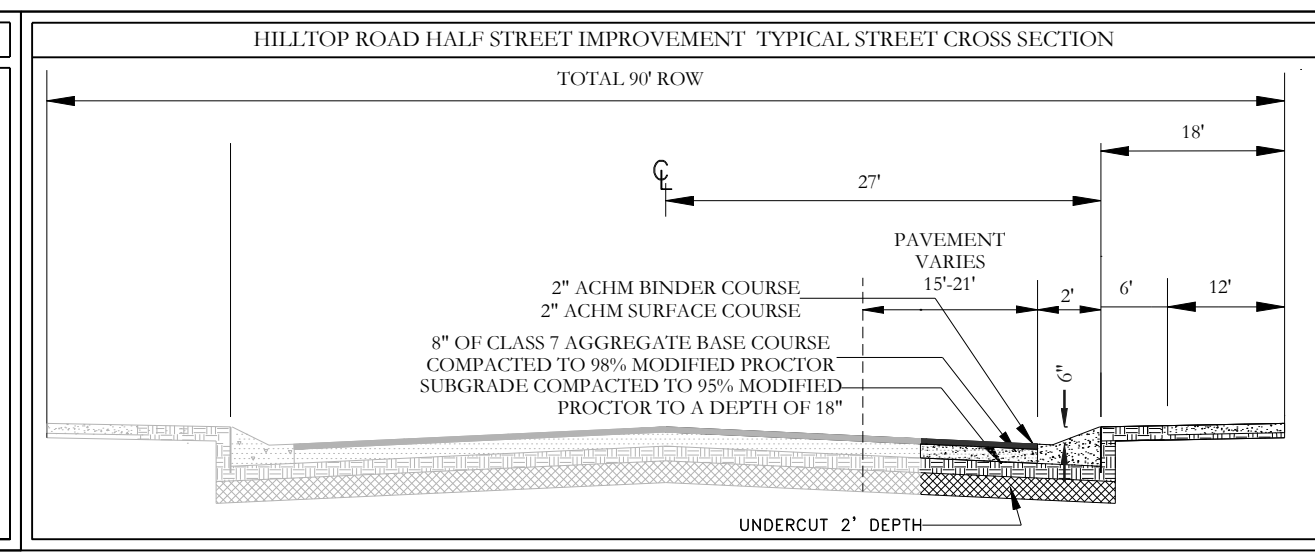
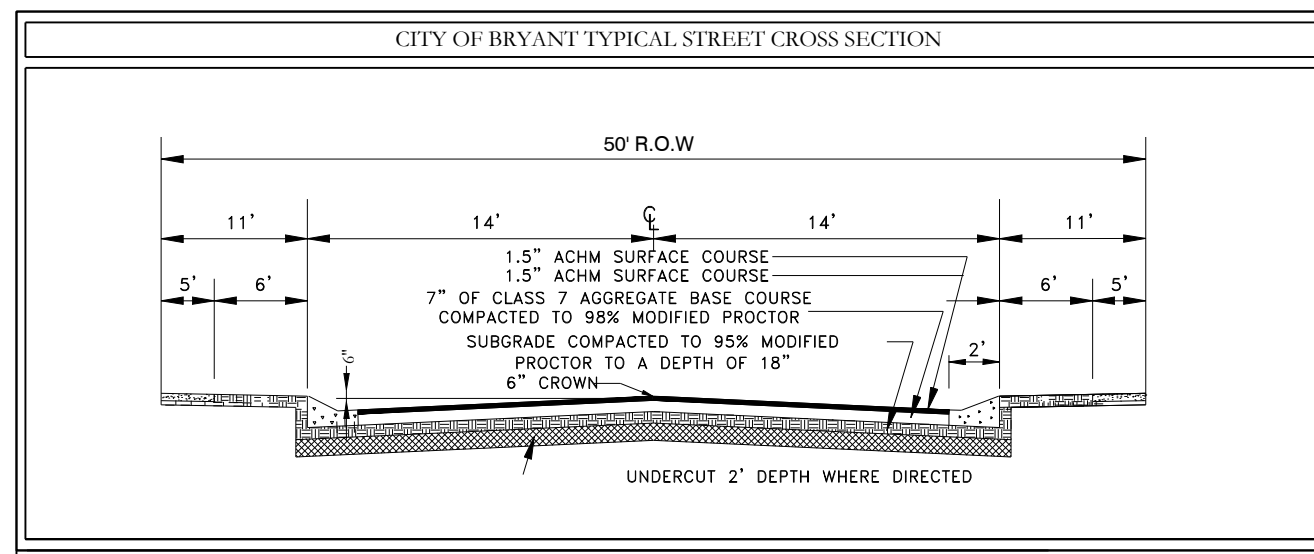
REGISTERED PROFESSIONAL ENGINEER
No. 14048
WILLIAM W. MCFARLAND

CERTIFICATE OF AUTHORIZATION
HOPE CONSULTING, INC.
No. 1931
ARKANSAS

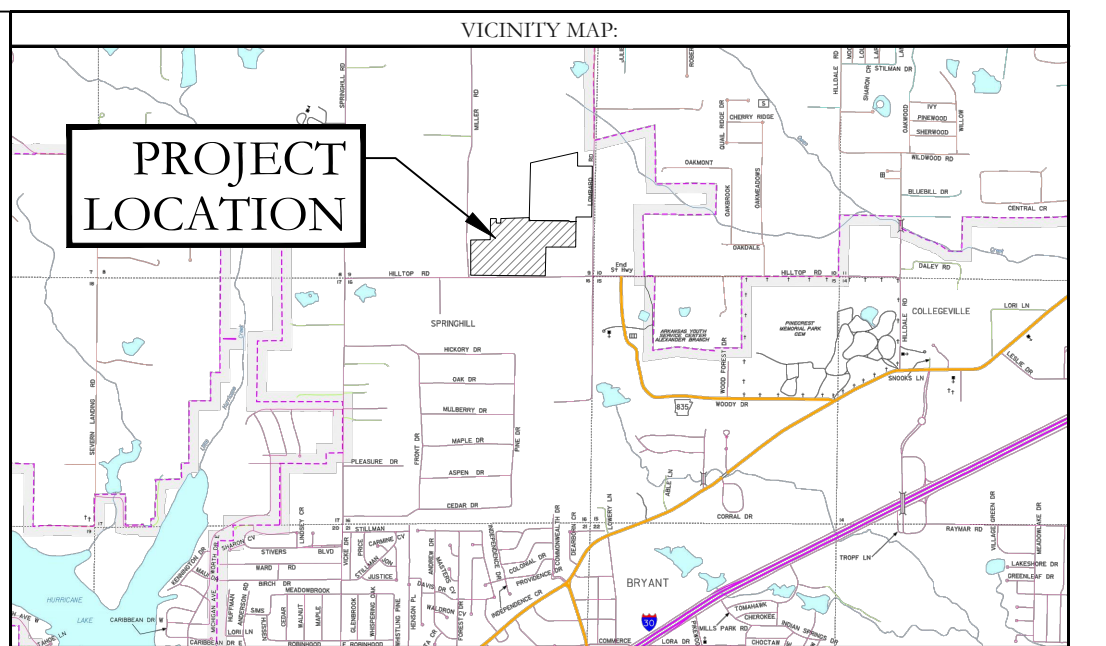
BASIS OF BEARING: GRID NORTH, ARKANSAS COORDINATE SYSTEM, SOUTH ZONE BY GPS OBSERVATION

0 50' 100'

K:\LAND PROJECTS\2004\SUBDIVISIONS\2019\0238\STARLIGHT VILLAGE\DWG\STARLIGHT VILLAGE SUBDIVISION CONSTRUCTION PLANS\2022-09-26-2022.DWG



NOTE:
TRACTS A, B, C, D AND E WILL BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES AND WILL MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) OR IMPROVEMENT DISTRICT.



OWNER:
Name: NXT GEN HOMES LLC
Address: 19218 SUMMERSHADE DRIVE BRYANT, AR 72022

DEVELOPER:
Name: NXT GEN HOMES LLC
Address: 19218 SUMMERSHADE DRIVE BRYANT, AR 72022

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution _____ Name: _____
Source of Title: 2021-009870

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
I, Jonathan L. Hope, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on _____, 2022, that the boundaries line shown hereon correspond with the description in the deeds cited in the above Survey Title; and that all monuments which were found or placed on the property are correctly described and located.

Date of Execution _____ Signed: Jonathan L. Hope
Registered Professional Land Surveyor No. 1762 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
I, William W. McFadden, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; and that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date of Execution _____ Signed: William W. McFadden
Registered Professional Engineer, No. 14048 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:
All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submission of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

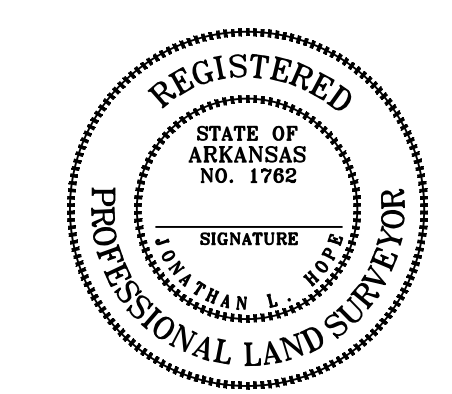
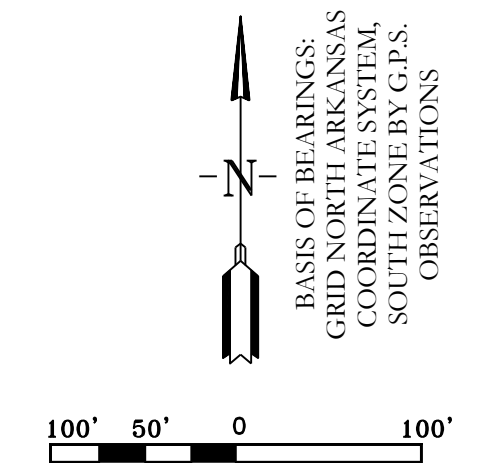
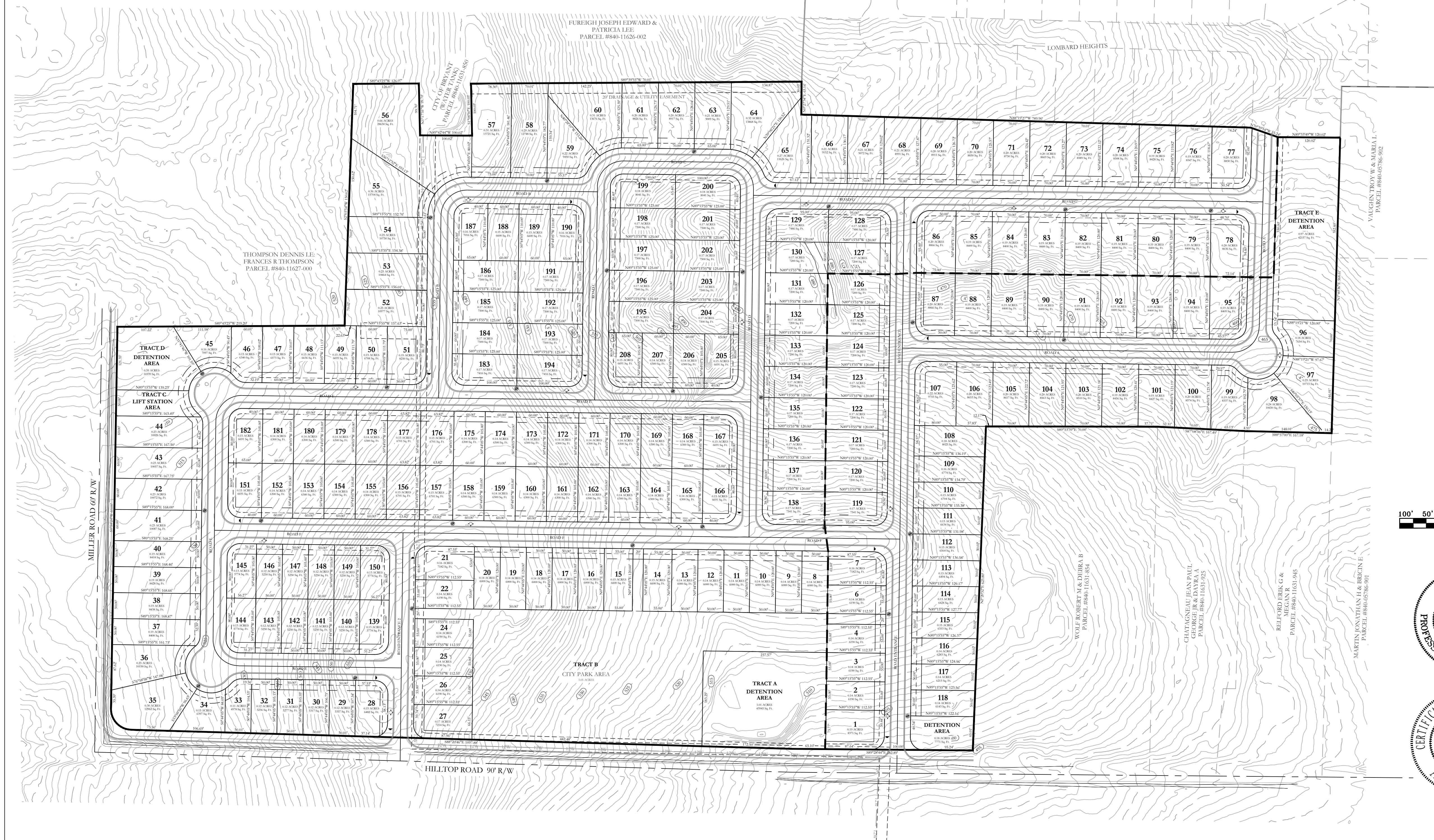
Date of Execution _____ Signed: Riek Johnson, Chairman
Bryant Planning Commission

PROPERTY SPECIFICATIONS		
OWNER: NXT GEN HOMES LLC 19218 SUMMERSHADE DRIVE BRYANT, AR 72022	NUMBER OF LOTS: 208	PROPOSED ZONING: PUD
DEVELOPER: NXT GEN HOMES LLC 19218 SUMMERSHADE DRIVE BRYANT, AR 72022	PROPOSED DENSITY: 3.85 HOMES PER ACRE	SOURCE OF WATER: CITY OF BRYANT
ENGINEERS: HOPE CONSULTING INC. 117 S MARKET STREET BRYANT, AR 72022	SOURCE OF ELECTRIC: ENERGY	SOURCE OF GAS: SUMMIT
NAME OF SUBDIVISION: HILLTOP MANOR	BUILDING SETBACKS: FRONT: 25' OR AS SHOWN REAR: 15' OR AS SHOWN SIDE: 8' OR AS SHOWN	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
OPEN SPACE: TRACT A: 1.01 ACRES TRACT B: 3.03 ACRES TRACT C: LIFT STATION TRACT D: 0.39 ACRES TRACT E: 0.07 ACRES TRACT F: 0.15 ACRES TOTAL: 5.6 ACRES OR 10%		

By affixing my seal and signature, I Jonathan L. Hope, Arkansas PLS No. 1762, hereby certify that this drawing correctly depicts a survey completed by me or under my direct supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Flood Insurance Rate Map, panel # 05125C0225E, Dated: 06/05/2020



**PLANNED UNIT DEVELOPMENT (PUD)
HILLTOP MANOR SUBDIVISION**
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

LEGEND

- - Aliquot Corner
- - Found monument
- ⊙ - Set 1/2" Rebar
- ⊕ - Computed point
- (M) - Measured
- (P) - Plat/Deed
- - Fence

DATE: 10/05/2022	C.A.D. BY: BJOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	20-1341
SHEET:	SCALE: 1"=100'	
500	01S	14W 0 09 200 62 1762

HOPE CONSULTING ENGINEERS - SURVEYORS
117 S. Market Street, Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
NXT GEN HOMES LLC

**PLANNED UNIT DEVELOPMENT (PUD)
HILLTOP MANOR SUBDIVISION**
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

HILLTOP LANDING SUBDIVISION
HILLTOP ROAD & MILLER ROAD, BRYANT, AR 72022
DRAINAGE REPORT

FOR
City of Bryant, Saline County, AR

October 2022

Owner & Developer: NXT GEN HOMES LLC.

By:

HOPE
CONSULTING
ENGINEERS - SURVEYORS

TABLE OF CONTENTS

ITEM DESCRIPTION

1. Narrative & Summary
2. Hydrograph Report

Narrative & Summary

PROJECT TITLE

Hilltop Landing Subdivision

PROJECT PROPERTY OWNER

Nxt Gen Homes LLC.

PROJECT LOCATION

Hilltop Road and Miller Road, Bryant, AR

PROJECT DESCRIPTION

The proposed sub divisional development is on Hilltop Road and Miller Road, Bryant, AR . Total development site area is 54.0 acres.

DRAINAGE ANALYSIS

On Site Drainage- Rational method was used to determine the existing and proposed flows from proposed site. There will be four detention ponds to detain water from this development. Detailed drainage calculations considering the future expected development has been conducted to determine the required detention ponds and culvert dimensions. Summary of the calculations are below:

Detention Pond-1

- Pond is situated on the north east side of the property.
- Pre-development area 34.50 acres.
- Post-development area 36.28 acres.
- Pre-development runoff coefficient 0.47.
- Post-development runoff cumulative coefficient 0.65
- Pond has a bottom area of 15,480 sft with bottom elevation of 439.00’.
- One 42” HDPE with 0.5% slope are proposed for outflow pipes.

Peak flows for Pre and post development phase of onsite area have been tabulated below-

Period of time	Pre-development	Post-dev. Without detention	Post-dev. With detention
	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
2-Year	69.54	90.29	41.60
5-Year	77.15	99.87	45.13
10-Year	89.68	117.23	49.24
25-Year	102.61	134.37	54.42
50-Year	116.82	153.15	64.25
100-Year	123.94	162.70	70.54

Detention Pond-2

- Pond is situated on the South-west side of the property.
- Pre-development area 7.2 acres.
- Post-development area 4.11 acres.
- Pre-development runoff coefficient 0.40.
- Post-development runoff cumulative coefficient 0.40
- Pond has a bottom area of 18,270 sft with bottom elevation of 511.00’.
- One 12” HDPE with 9% slope are proposed for outflow pipes.

Peak flows for Pre and post development phase of onsite area have been tabulated below-

Period of time	Pre-development	Post-dev. Without detention	Post-dev. With detention
	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
2-Year	12.77	6.629	0.387
5-Year	14.20	7.333	0.462
10-Year	16.42	8.607	0.613
25-Year	18.77	9.865	0.773
50-Year	21.35	11.24	0.959
100-Year	22.64	11.95	1.059

Detention Pond-3

- Pond is situated on the south east side of the property.
- Pre-development area 2.25 acres.
- Post-development area 3.21 acres.
- Pre-development runoff coefficient 0.47.
- Post-development runoff cumulative coefficient 0.65
- Pond has a bottom area of 5,512 sft with bottom elevation of 495.00’.
- One 18” HDPE with 9.5% slope are proposed for outflow pipes.

Peak flows for Pre and post development phase of onsite area have been tabulated below-

Period of time	Pre-development	Post-dev. Without detention	Post-dev. With detention
	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
2-Year	5.039	9.942	2.797
5-Year	5.635	11.12	3.269
10-Year	6.430	12.69	3.910
25-Year	7.337	14.48	4.642
50-Year	8.326	16.43	5.424
100-Year	8.825	17.40	5.810

Detention Pond-4

- Pond is situated on the West side of the property.
- Pre-development area 14.40 acres.
- Post-development area 13.97 acres.
- Pre-development runoff coefficient 0.47.
- Post-development runoff cumulative coefficient 0.65
- Pond has a bottom area of 3725.16 sft with bottom elevation of 511.00'.
- One 36" HDPE with 9.0% slope are proposed for outflow pipes.

Peak flows for Pre and post development phase of onsite area have been tabulated below-

Period of time	Pre-development	Post-dev. Without detention	Post-dev. With detention
	Peak Flow (cfs)	Peak Flow (cfs)	Peak Flow (cfs)
2-Year	31.09	43.27	27.37
5-Year	34.66	48.39	30.47
10-Year	39.81	55.21	34.08
25-Year	45.47	63.00	37.59
50-Year	51.67	71.49	41.26
100-Year	54.77	75.78	42.99

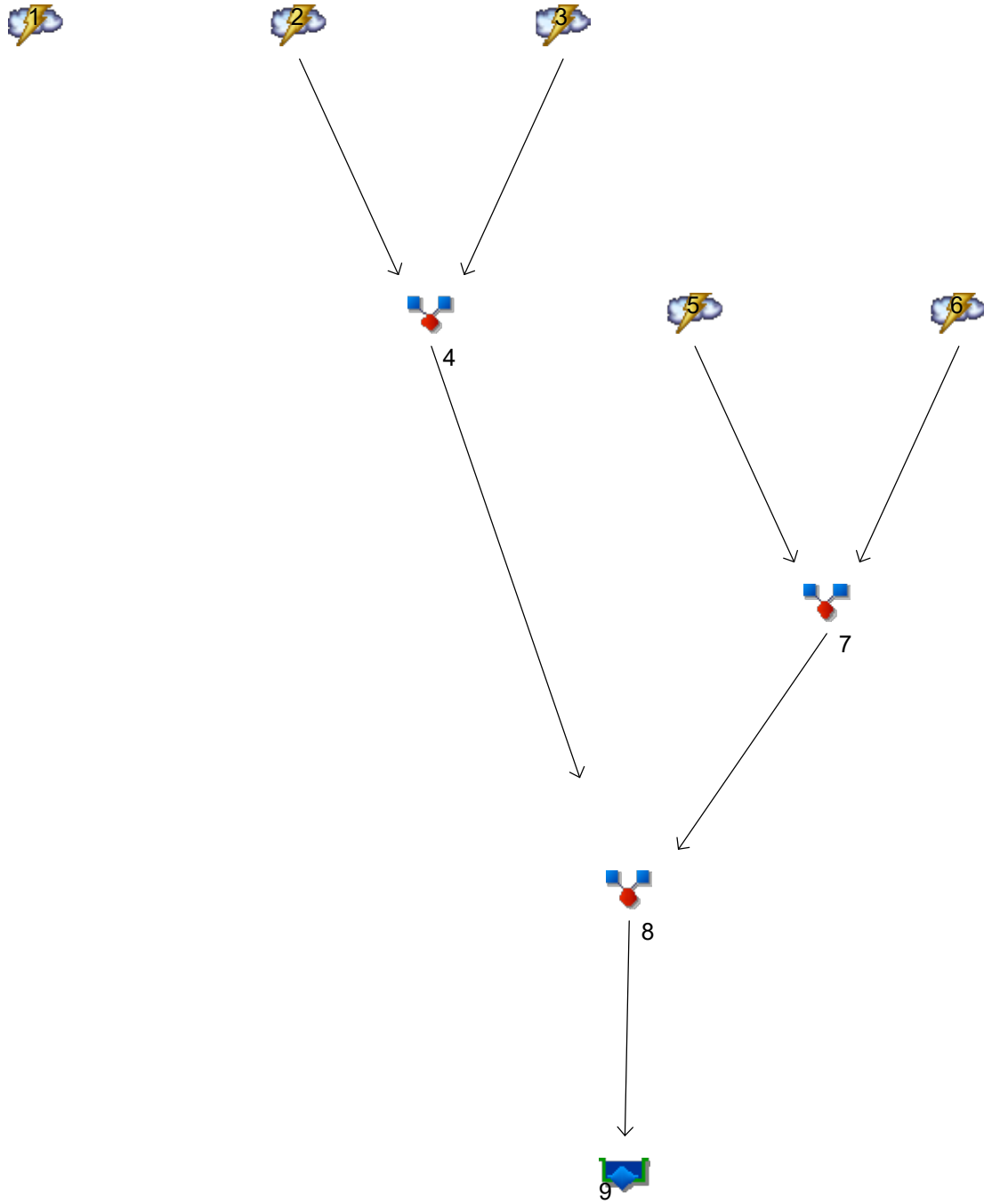
CONCLUSION

From the onsite drainage calculation, it is seen that there is decrease in flow for all storm events due to the proposed detention ponds.

Hydrograph Summary Report

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

Hyd.	Origin	Description
1	Rational	Pre Development
2	Rational	Post development-1a
3	Rational	post development-1b
4	Combine	combine-1
5	Rational	post development-2a
6	Rational	post development-2b
7	Combine	combine-2
8	Combine	<no description>
9	Reservoir	detention pond 1

Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

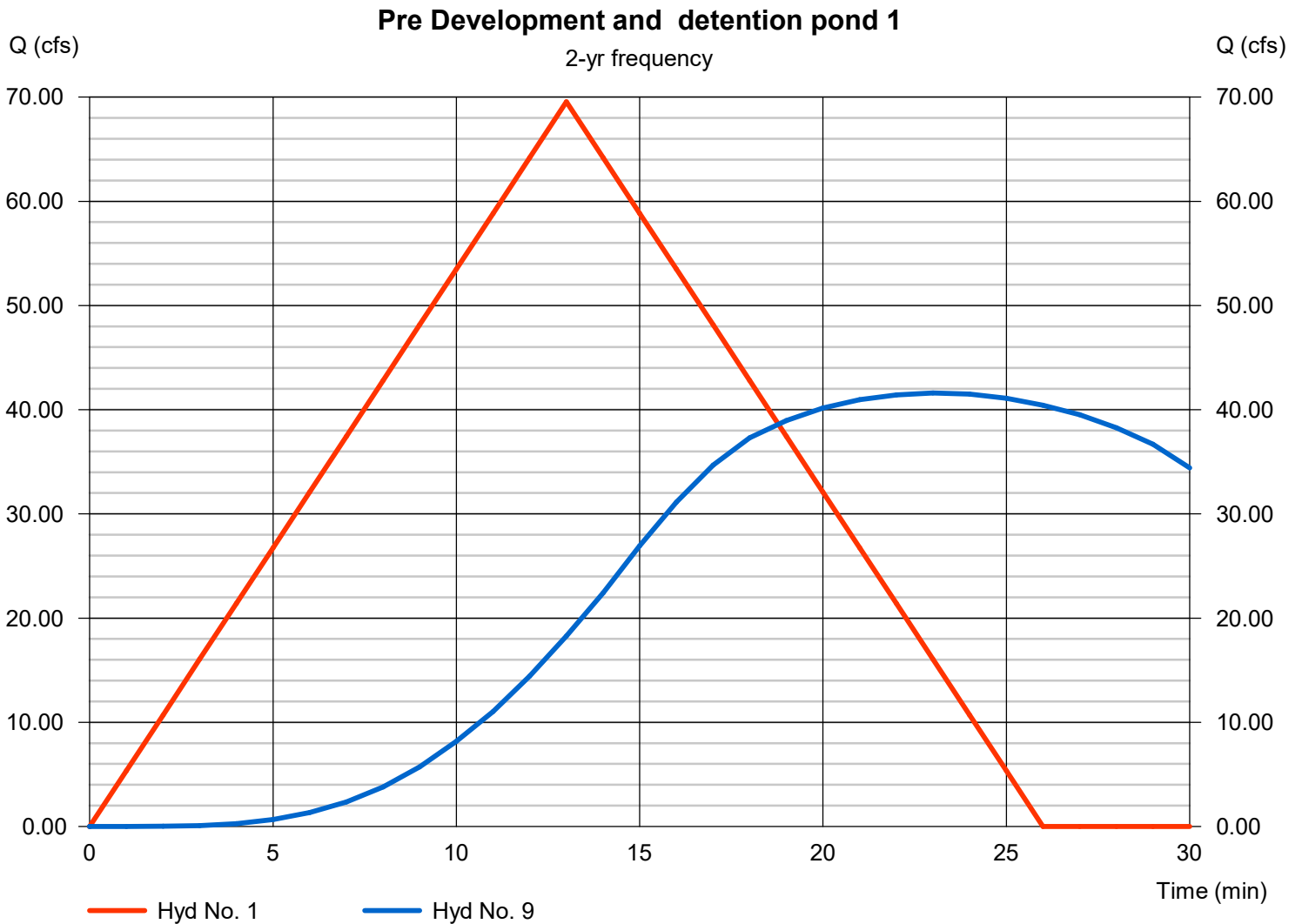
Pre Development

Hydrograph type = Rational
Peak discharge = 69.54 cfs
Time to peak = 13 min
Hyd. Volume = 54,242 cuft

Hyd. No. 9

detention pond 1

Hydrograph type = Reservoir
Peak discharge = 41.60 cfs
Time to peak = 23 min
Hyd. Volume = 81,225 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

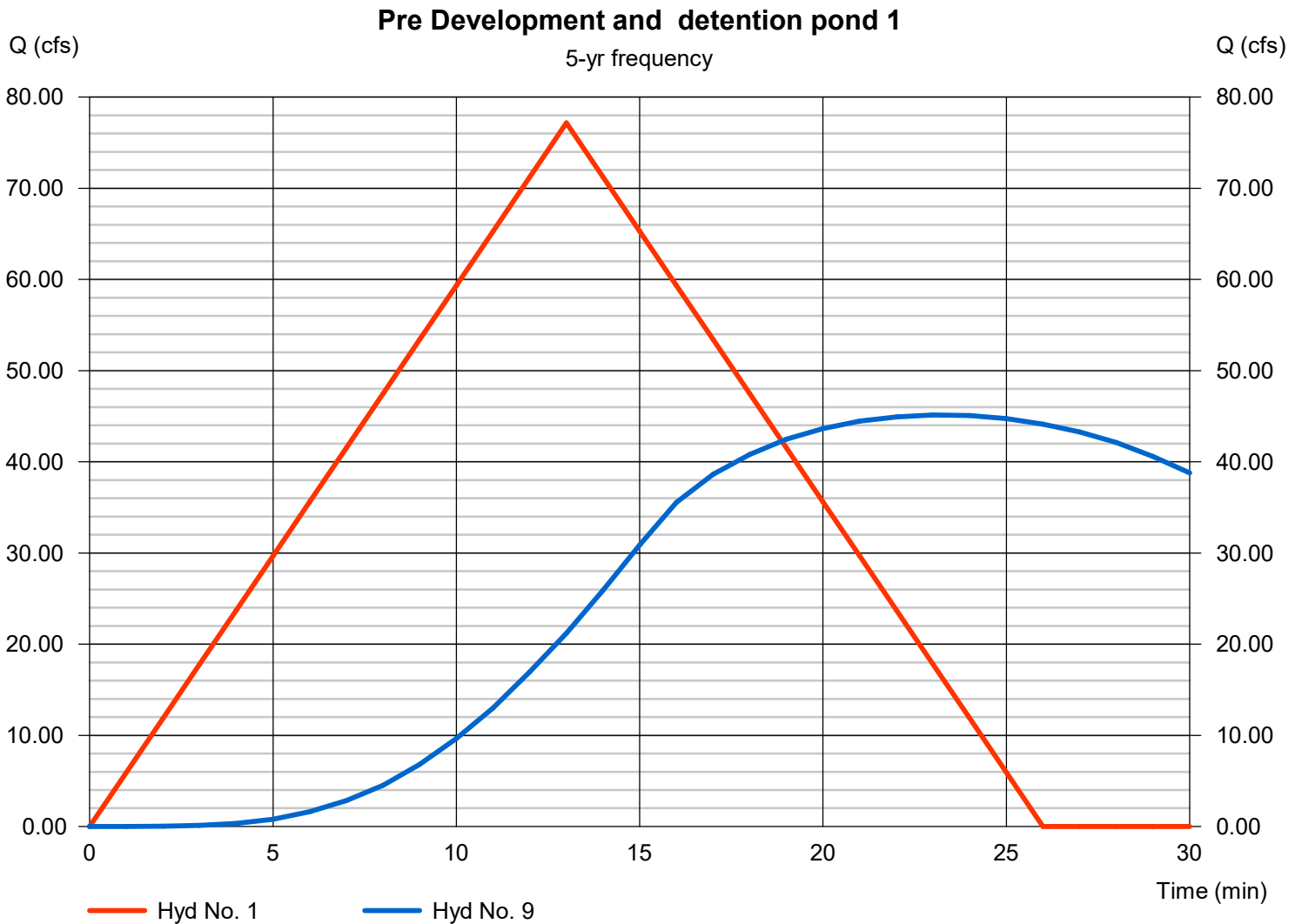
Pre Development

Hydrograph type = Rational
Peak discharge = 77.15 cfs
Time to peak = 13 min
Hyd. Volume = 60,181 cuft

Hyd. No. 9

detention pond 1

Hydrograph type = Reservoir
Peak discharge = 45.13 cfs
Time to peak = 23 min
Hyd. Volume = 89,848 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

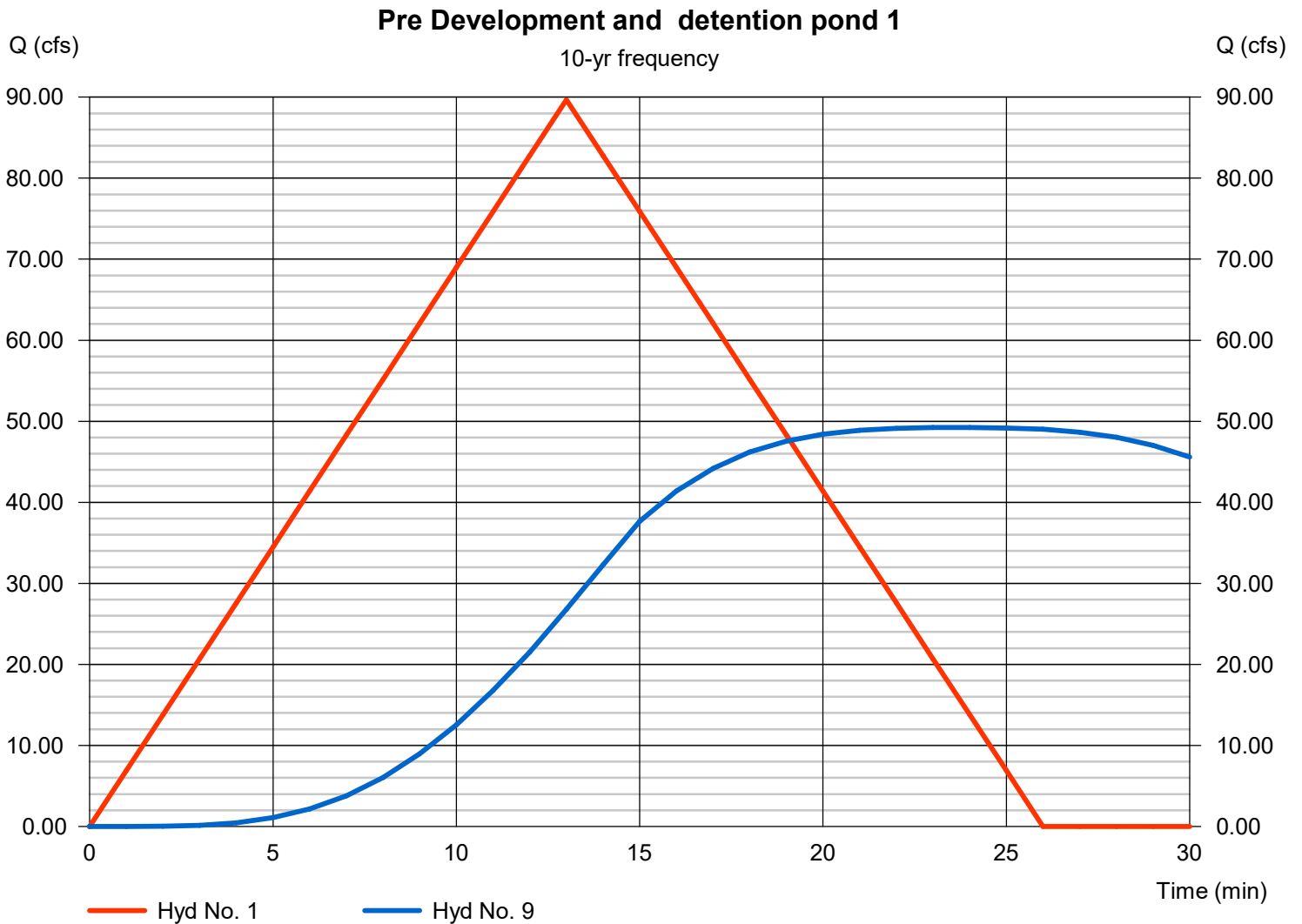
Pre Development

Hydrograph type = Rational
Peak discharge = 89.68 cfs
Time to peak = 13 min
Hyd. Volume = 69,947 cuft

Hyd. No. 9

detention pond 1

Hydrograph type = Reservoir
Peak discharge = 49.24 cfs
Time to peak = 24 min
Hyd. Volume = 105,468 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

Pre Development

Hydrograph type = Rational
Peak discharge = 102.61 cfs
Time to peak = 13 min
Hyd. Volume = 80,038 cuft

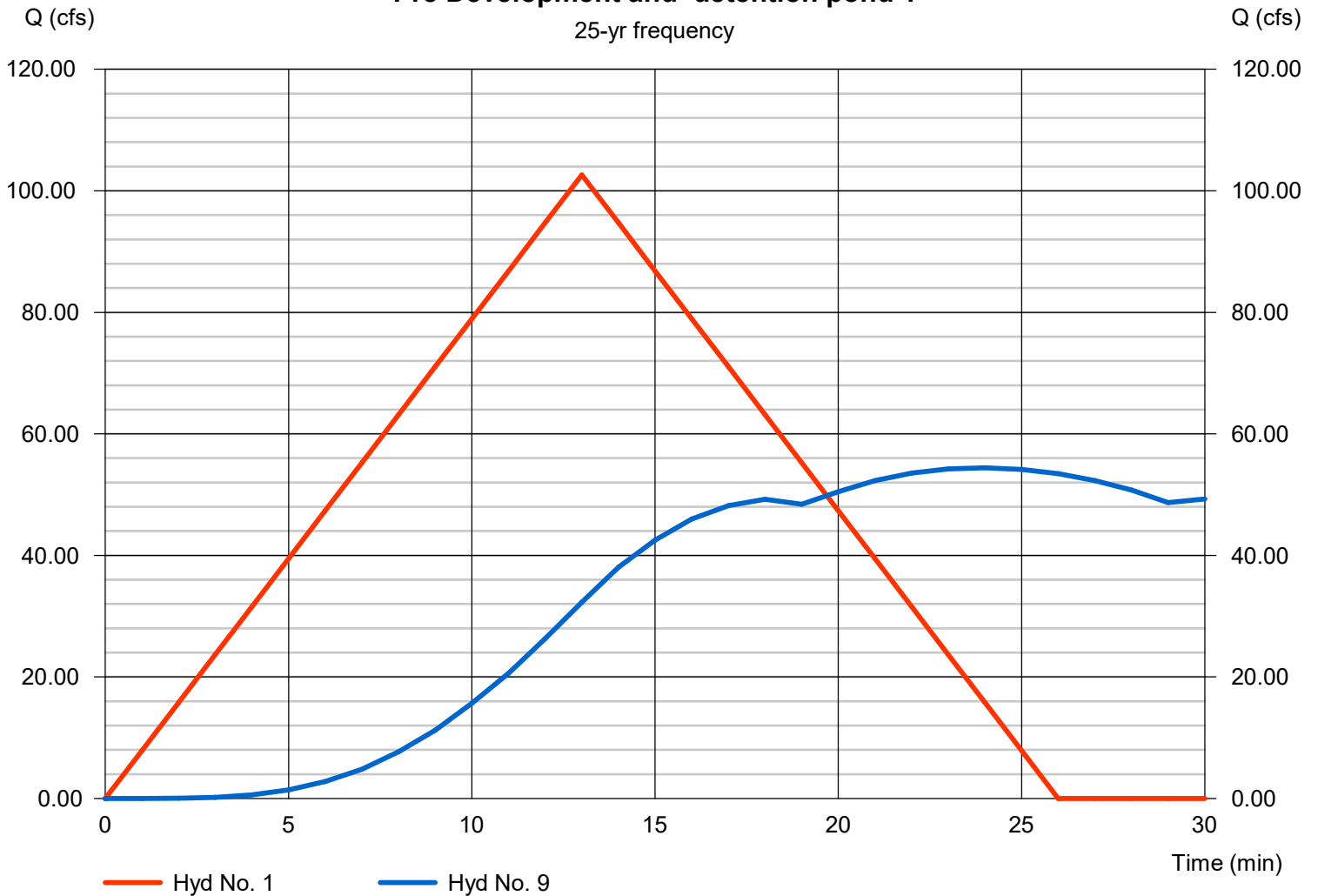
Hyd. No. 9

detention pond 1

Hydrograph type = Reservoir
Peak discharge = 54.42 cfs
Time to peak = 24 min
Hyd. Volume = 120,893 cuft

Pre Development and detention pond 1

25-yr frequency



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

Pre Development

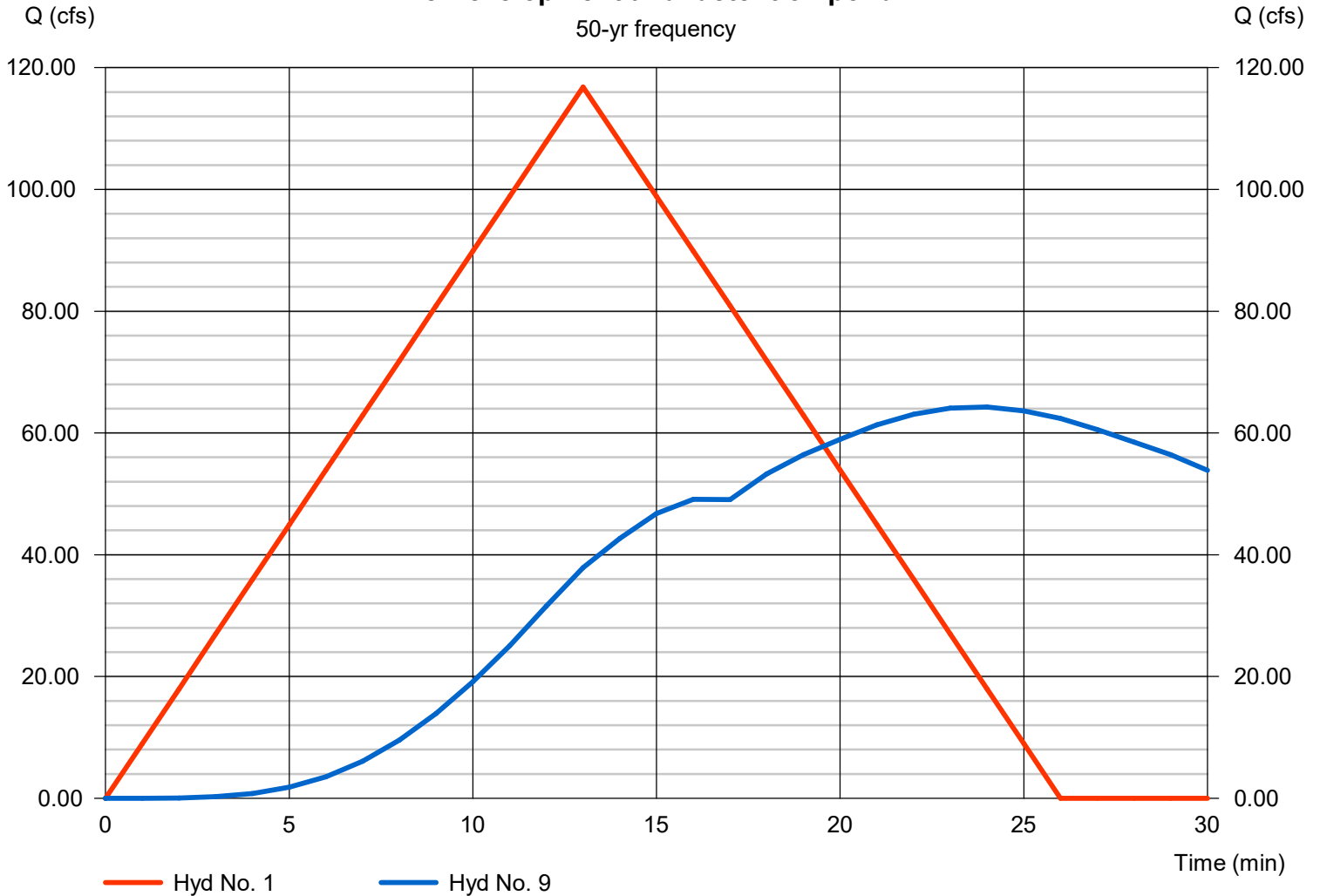
Hydrograph type = Rational
Peak discharge = 116.82 cfs
Time to peak = 13 min
Hyd. Volume = 91,121 cuft

Hyd. No. 9

detention pond 1

Hydrograph type = Reservoir
Peak discharge = 64.25 cfs
Time to peak = 24 min
Hyd. Volume = 137,798 cuft

Pre Development and detention pond 1



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

Pre Development

Hydrograph type = Rational
Peak discharge = 123.94 cfs
Time to peak = 13 min
Hyd. Volume = 96,675 cuft

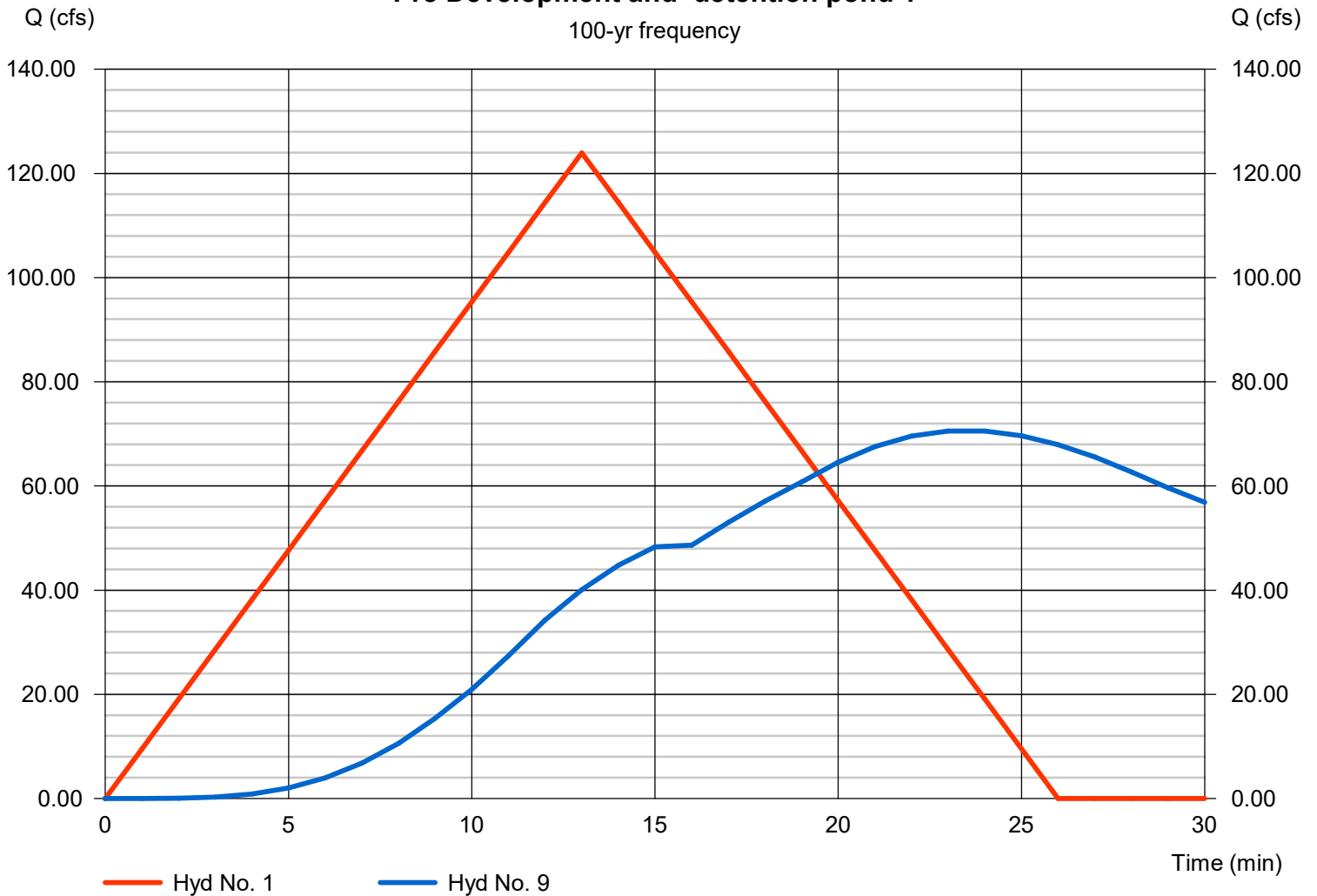
Hyd. No. 9

detention pond 1

Hydrograph type = Reservoir
Peak discharge = 70.54 cfs
Time to peak = 23 min
Hyd. Volume = 146,395 cuft

Pre Development and detention pond 1

100-yr frequency



Pond Report

Pond No. 2 - Detention Pond 1

Pond Data

Trapezoid -Bottom L x W = 258.0 x 60.0 ft, Side slope = 3.00:1, Bottom elev. = 439.00 ft, Depth = 5.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	439.00	15,480	0	0
0.50	439.50	16,443	7,980	7,980
1.00	440.00	17,424	8,466	16,446
1.50	440.50	18,423	8,961	25,407
2.00	441.00	19,440	9,465	34,872
2.50	441.50	20,475	9,978	44,850
3.00	442.00	21,528	10,500	55,350
3.50	442.50	22,599	11,031	66,381
4.00	443.00	23,688	11,571	77,952
4.50	443.50	24,795	12,120	90,072
5.00	444.00	25,920	12,678	102,750

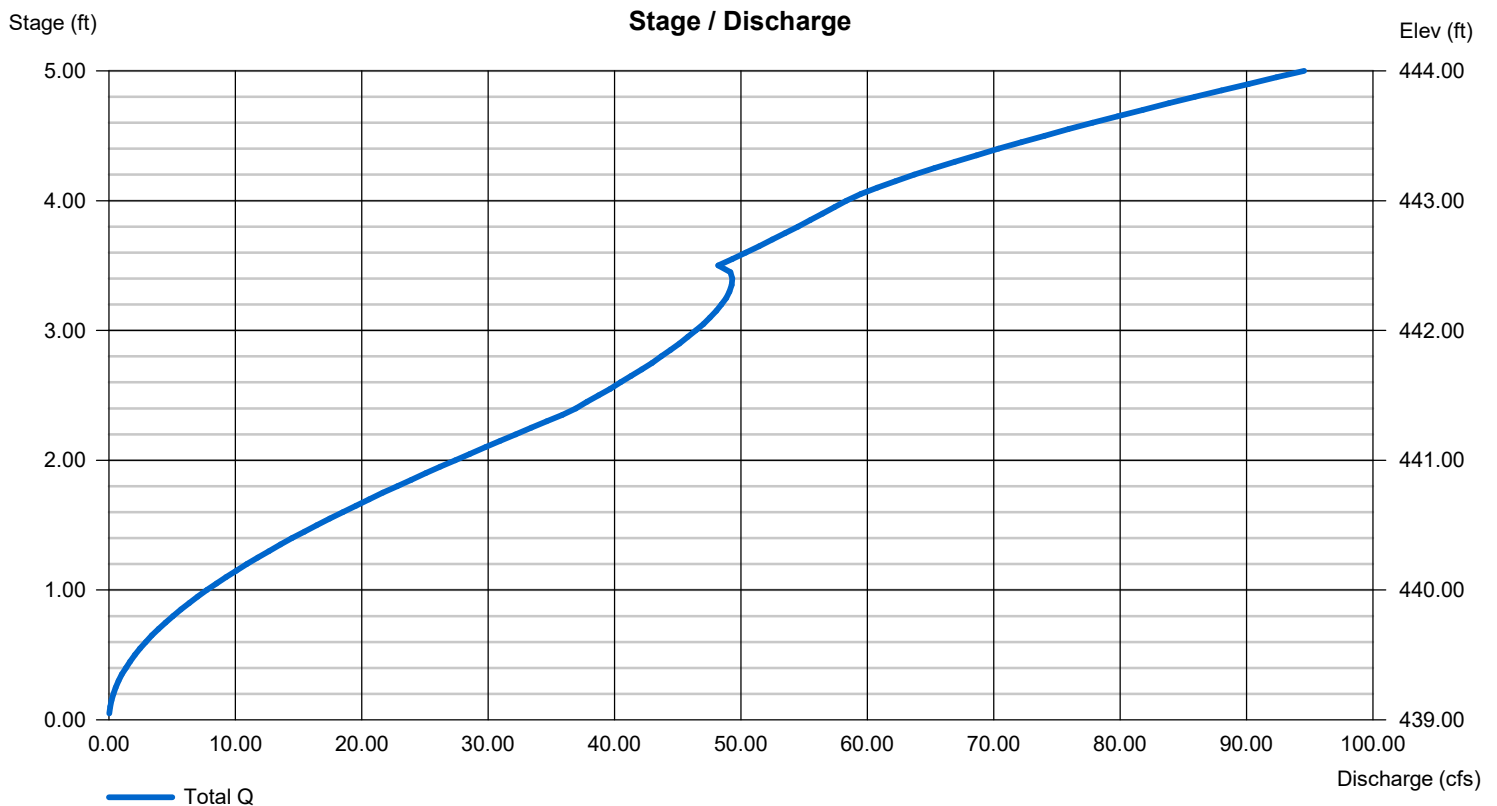
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 42.00	Inactive	Inactive	0.00
Span (in)	= 42.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 439.00	0.00	0.00	0.00
Length (ft)	= 215.00	0.00	0.00	0.00
Slope (%)	= 0.50	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 6.00	Inactive	Inactive	0.00
Crest El. (ft)	= 443.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	69.54	1	13	54,242	-----	-----	-----	Pre Development
2	Rational	60.00	1	15	53,998	-----	-----	-----	Post development-1a
3	Rational	5.960	1	15	5,364	-----	-----	-----	post development-1b
4	Combine	65.96	1	15	59,362	2, 3	-----	-----	combine-1
5	Rational	18.19	1	15	16,367	-----	-----	-----	post development-2a
6	Rational	6.149	1	15	5,534	-----	-----	-----	post development-2b
7	Combine	24.33	1	15	21,901	5, 6	-----	-----	combine-2
8	Combine	90.29	1	15	81,262	4, 7	-----	-----	<no description>
9	Reservoir	41.60	1	23	81,225	8	441.67	48,360	detention pond B
drainage one pond.gpw					Return Period: 2 Year			Thursday, 10 / 6 / 2022	

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	77.15	1	13	60,181	----	----	----	Pre Development
2	Rational	66.36	1	15	59,728	----	----	----	Post development-1a
3	Rational	6.592	1	15	5,933	----	----	----	post development-1b
4	Combine	72.96	1	15	65,661	2, 3	----	----	combine-1
5	Rational	20.11	1	15	18,103	----	----	----	post development-2a
6	Rational	6.801	1	15	6,121	----	----	----	post development-2b
7	Combine	26.92	1	15	24,225	5, 6	----	----	combine-2
8	Combine	99.87	1	15	89,885	4, 7	----	----	<no description>
9	Reservoir	45.13	1	23	89,848	8	441.90	53,237	detention pond B
drainage one pond.gpw					Return Period: 5 Year			Thursday, 10 / 6 / 2022	

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	89.68	1	13	69,947	-----	-----	-----	Pre Development
2	Rational	77.90	1	15	70,107	-----	-----	-----	Post development-1a
3	Rational	7.738	1	15	6,964	-----	-----	-----	post development-1b
4	Combine	85.63	1	15	77,071	2, 3	-----	-----	combine-1
5	Rational	23.61	1	15	21,249	-----	-----	-----	post development-2a
6	Rational	7.983	1	15	7,185	-----	-----	-----	post development-2b
7	Combine	31.59	1	15	28,434	5, 6	-----	-----	combine-2
8	Combine	117.23	1	15	105,505	4, 7	-----	-----	<no description>
9	Reservoir	49.24	1	24	105,468	8	442.34	62,868	detention pond B
drainage one pond.gpw					Return Period: 10 Year			Thursday, 10 / 6 / 2022	

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	102.61	1	13	80,038	-----	-----	-----	Pre Development
2	Rational	89.29	1	15	80,357	-----	-----	-----	Post development-1a
3	Rational	8.869	1	15	7,982	-----	-----	-----	post development-1b
4	Combine	98.15	1	15	88,339	2, 3	-----	-----	combine-1
5	Rational	27.06	1	15	24,356	-----	-----	-----	post development-2a
6	Rational	9.151	1	15	8,235	-----	-----	-----	post development-2b
7	Combine	36.21	1	15	32,591	5, 6	-----	-----	combine-2
8	Combine	134.37	1	15	120,930	4, 7	-----	-----	<no description>
9	Reservoir	54.42	1	24	120,893	8	442.80	73,230	detention pond B
drainage one pond.gpw					Return Period: 25 Year			Thursday, 10 / 6 / 2022	

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	116.82	1	13	91,121	-----	-----	-----	Pre Development
2	Rational	101.77	1	15	91,590	-----	-----	-----	Post development-1a
3	Rational	10.11	1	15	9,098	-----	-----	-----	post development-1b
4	Combine	111.88	1	15	100,688	2, 3	-----	-----	combine-1
5	Rational	30.85	1	15	27,761	-----	-----	-----	post development-2a
6	Rational	10.43	1	15	9,387	-----	-----	-----	post development-2b
7	Combine	41.27	1	15	37,147	5, 6	-----	-----	combine-2
8	Combine	153.15	1	15	137,835	4, 7	-----	-----	<no description>
9	Reservoir	64.25	1	24	137,798	8	443.22	83,213	detention pond B
drainage one pond.gpw					Return Period: 50 Year			Thursday, 10 / 6 / 2022	

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	123.94	1	13	96,675	-----	-----	-----	Pre Development
2	Rational	108.11	1	15	97,303	-----	-----	-----	Post development-1a
3	Rational	10.74	1	15	9,665	-----	-----	-----	post development-1b
4	Combine	118.85	1	15	106,968	2, 3	-----	-----	combine-1
5	Rational	32.77	1	15	29,492	-----	-----	-----	post development-2a
6	Rational	11.08	1	15	9,972	-----	-----	-----	post development-2b
7	Combine	43.85	1	15	39,464	5, 6	-----	-----	combine-2
8	Combine	162.70	1	15	146,433	4, 7	-----	-----	<no description>
9	Reservoir	70.54	1	23	146,395	8	443.40	87,762	detention pond B
drainage one pond.gpw					Return Period: 100 Year			Thursday, 10 / 6 / 2022	

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

<u>Hyd.</u>	<u>Origin</u>	<u>Description</u>
1	Rational	Pre development
2	Rational	Post development
3	Reservoir	detention pond

Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

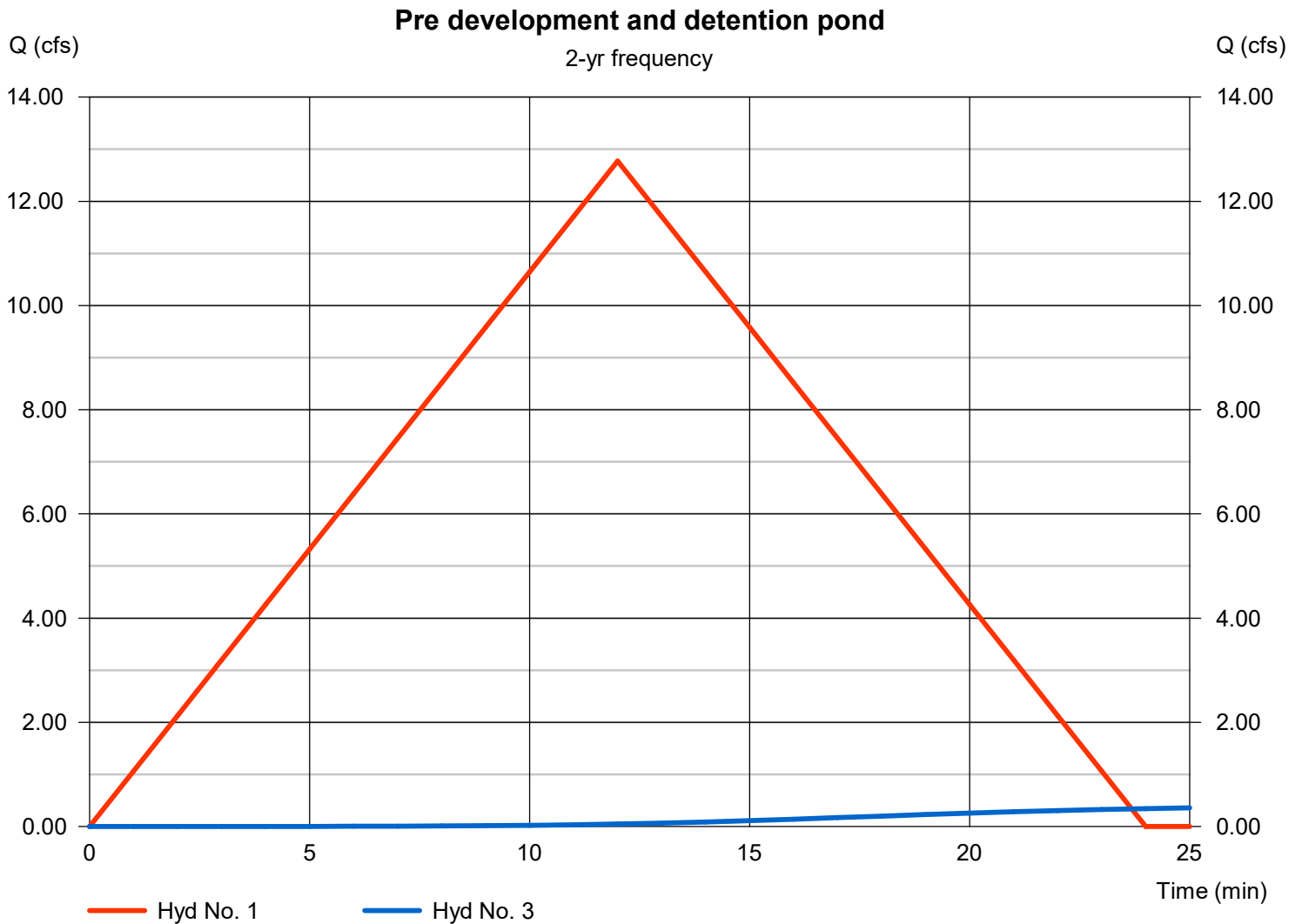
Pre development

Hydrograph type = Rational
Peak discharge = 12.77 cfs
Time to peak = 12 min
Hyd. Volume = 9,197 cuft

Hyd. No. 3

detention pond

Hydrograph type = Reservoir
Peak discharge = 0.39 cfs
Time to peak = 29 min
Hyd. Volume = 5,573 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

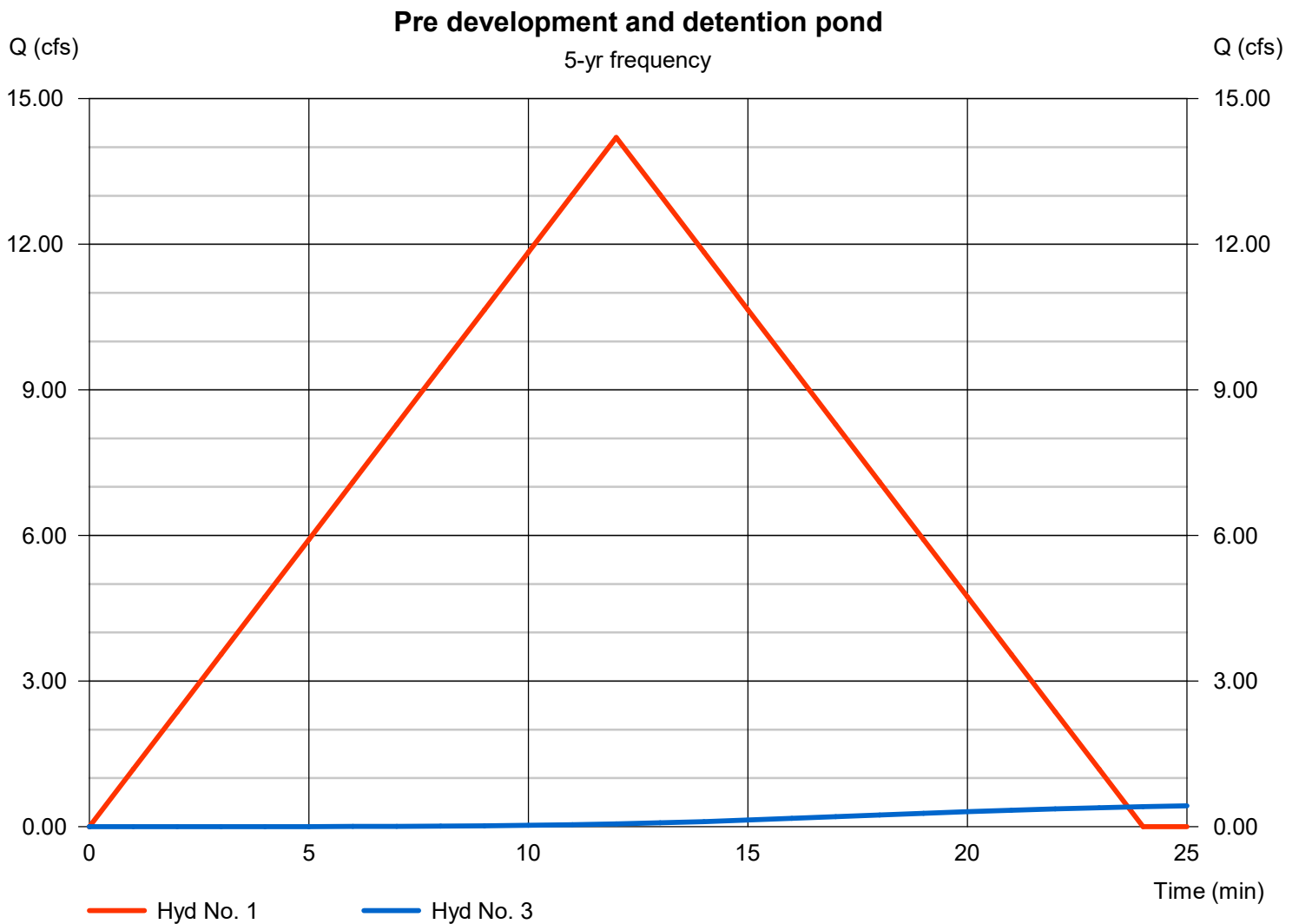
Pre development

Hydrograph type = Rational
Peak discharge = 14.20 cfs
Time to peak = 12 min
Hyd. Volume = 10,226 cuft

Hyd. No. 3

detention pond

Hydrograph type = Reservoir
Peak discharge = 0.46 cfs
Time to peak = 29 min
Hyd. Volume = 6,203 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

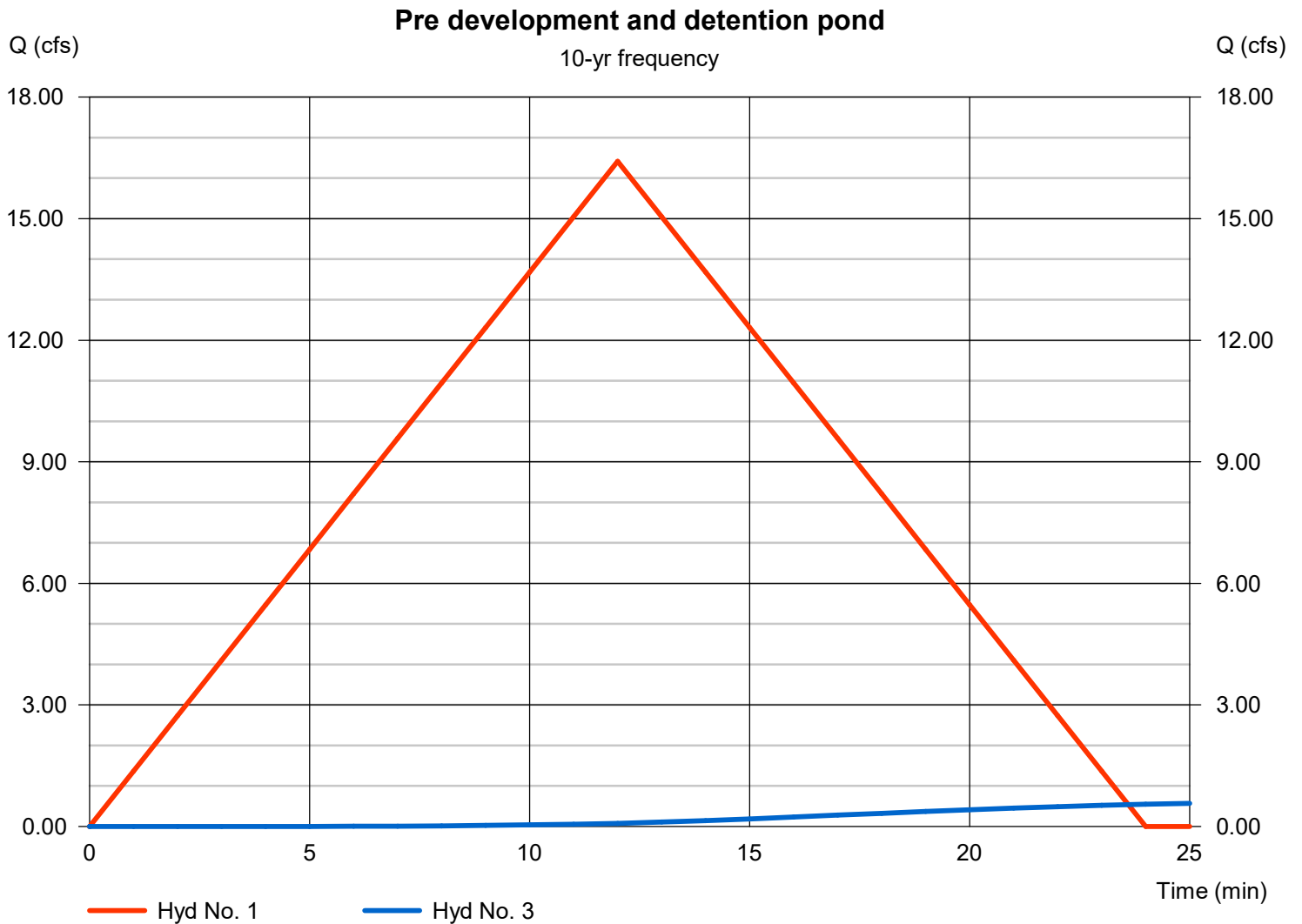
Pre development

Hydrograph type = Rational
Peak discharge = 16.42 cfs
Time to peak = 12 min
Hyd. Volume = 11,819 cuft

Hyd. No. 3

detention pond

Hydrograph type = Reservoir
Peak discharge = 0.61 cfs
Time to peak = 29 min
Hyd. Volume = 7,345 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

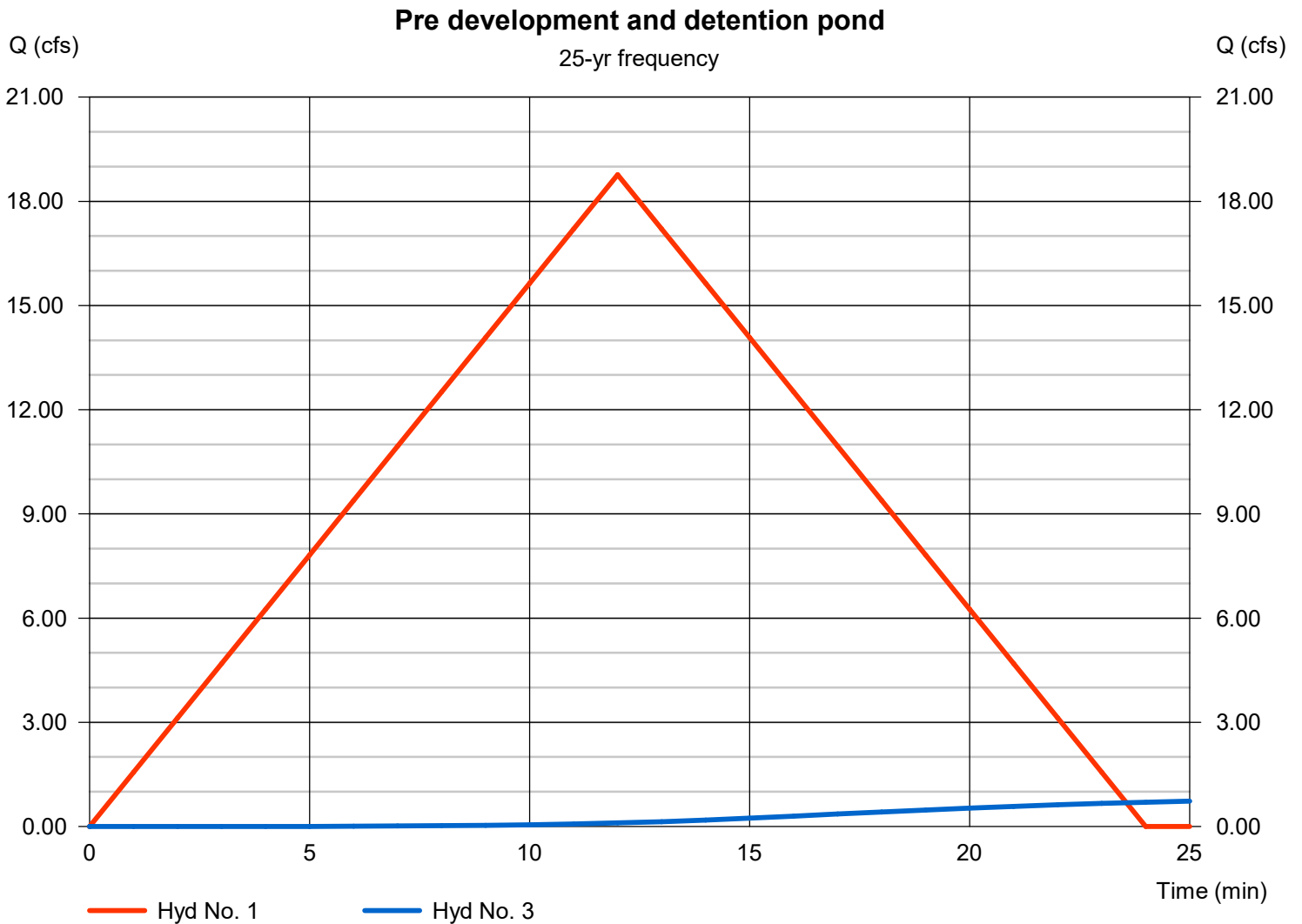
Pre development

Hydrograph type = Rational
Peak discharge = 18.77 cfs
Time to peak = 12 min
Hyd. Volume = 13,512 cuft

Hyd. No. 3

detention pond

Hydrograph type = Reservoir
Peak discharge = 0.77 cfs
Time to peak = 29 min
Hyd. Volume = 8,475 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

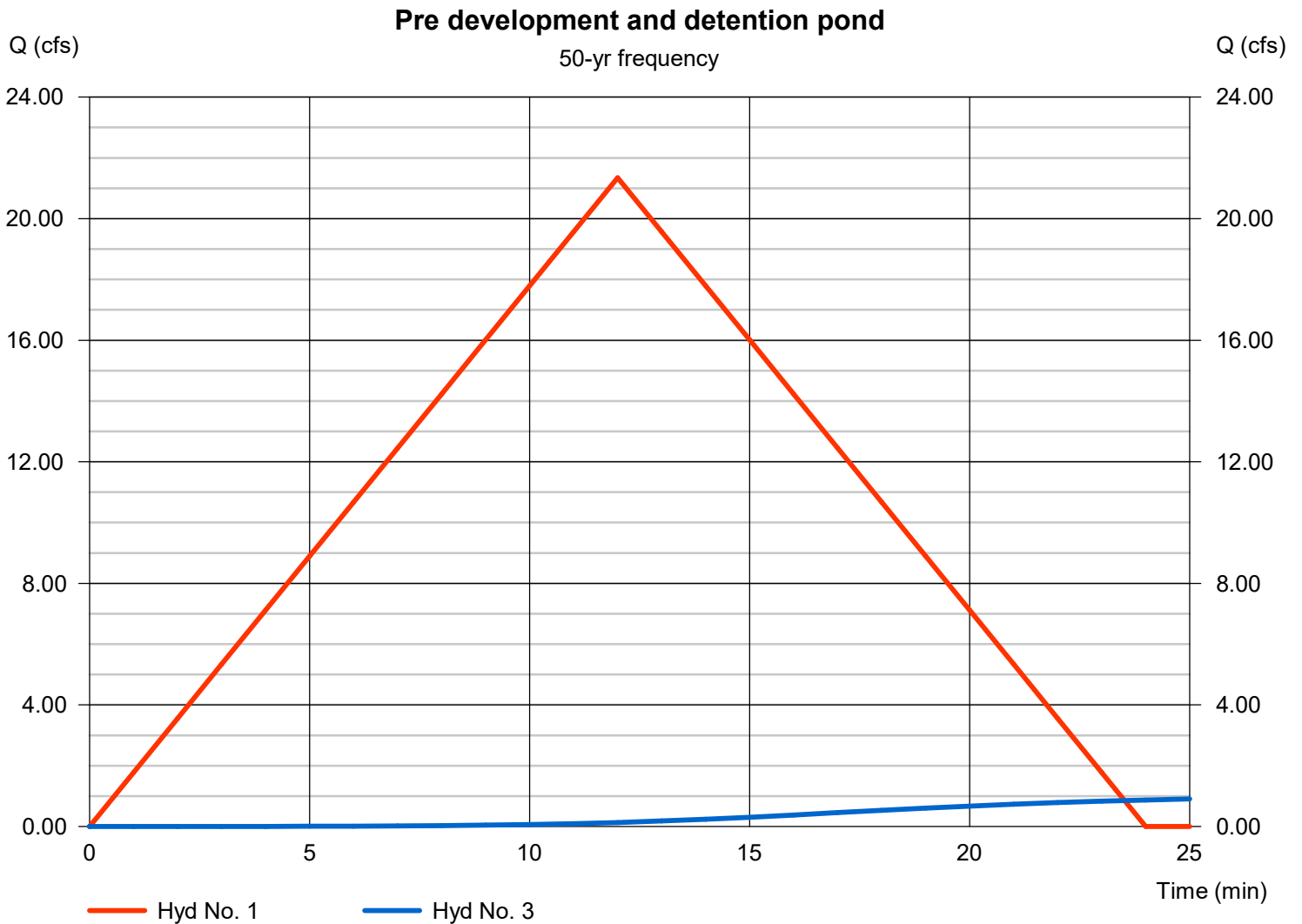
Pre development

Hydrograph type = Rational
Peak discharge = 21.35 cfs
Time to peak = 12 min
Hyd. Volume = 15,370 cuft

Hyd. No. 3

detention pond

Hydrograph type = Reservoir
Peak discharge = 0.96 cfs
Time to peak = 29 min
Hyd. Volume = 9,713 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

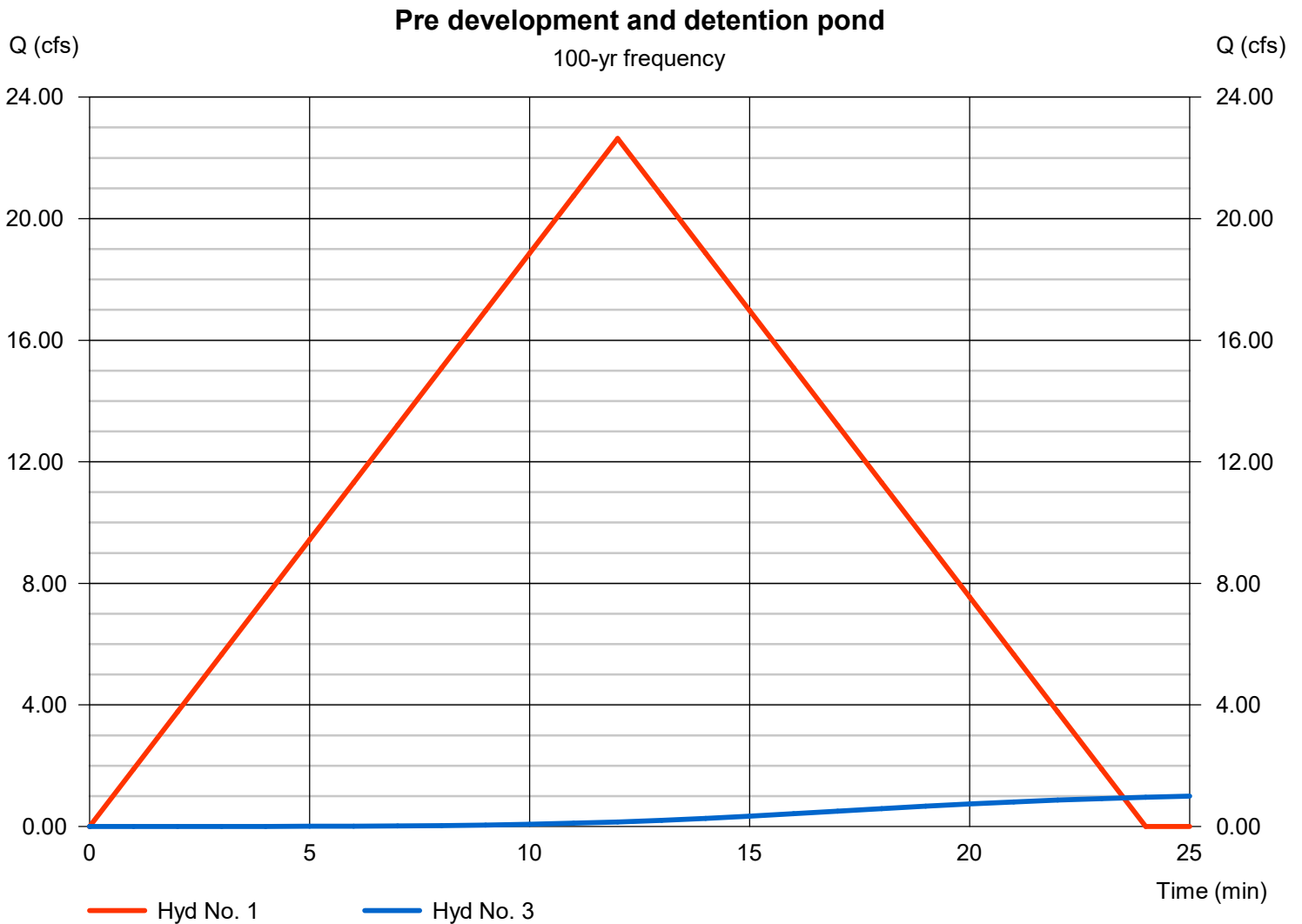
Pre development

Hydrograph type = Rational
Peak discharge = 22.64 cfs
Time to peak = 12 min
Hyd. Volume = 16,299 cuft

Hyd. No. 3

detention pond

Hydrograph type = Reservoir
Peak discharge = 1.06 cfs
Time to peak = 29 min
Hyd. Volume = 10,343 cuft



Pond Report

Pond No. 1 - Detention Pond 2

Pond Data

Trapezoid -Bottom L x W = 145.0 x 126.0 ft, Side slope = 3.00:1, Bottom elev. = 511.00 ft, Depth = 2.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	511.00	18,270	0	0
0.20	511.20	18,597	3,687	3,687
0.40	511.40	18,926	3,752	7,439
0.60	511.60	19,259	3,818	11,257
0.80	511.80	19,594	3,885	15,142
1.00	512.00	19,932	3,953	19,095
1.20	512.20	20,273	4,020	23,115
1.40	512.40	20,617	4,089	27,204
1.60	512.60	20,964	4,158	31,362
1.80	512.80	21,313	4,228	35,590
2.00	513.00	21,666	4,298	39,888

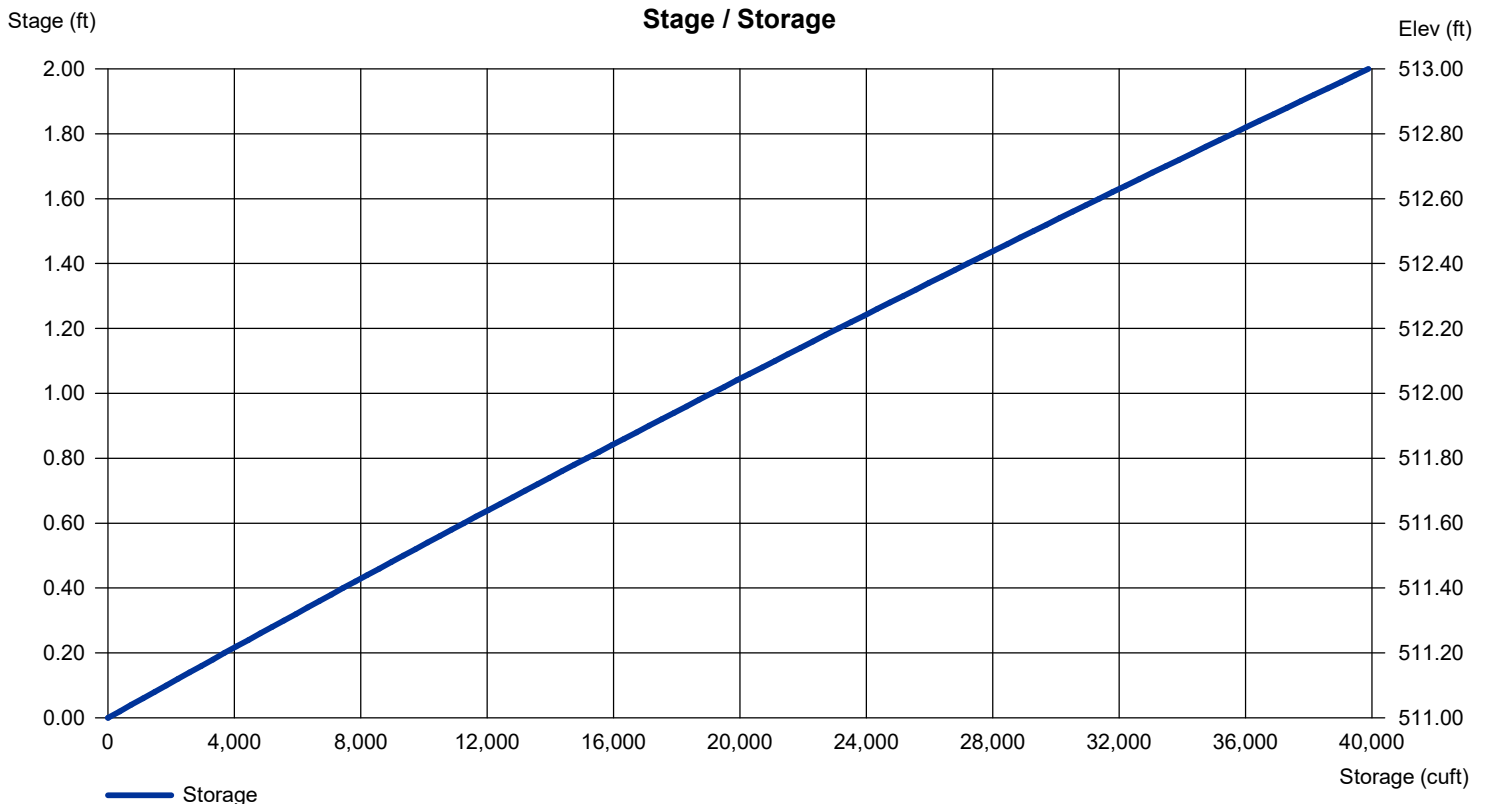
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 12.00	Inactive	Inactive	0.00
Span (in)	= 12.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 511.00	0.00	0.00	0.00
Length (ft)	= 64.00	0.00	0.00	0.00
Slope (%)	= 9.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 6.00	0.00	0.00	0.00
Crest El. (ft)	= 512.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	12.77	1	12	9,197	-----	-----	-----	Pre development	
2	Rational	6.629	1	15	5,966	-----	-----	-----	Post development	
3	Reservoir	0.387	1	29	5,573	2	511.31	5,693	detention pond	
DETENTION POND 2.gpw					Return Period: 2 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	14.20	1	12	10,226	-----	-----	-----	Pre development	
2	Rational	7.333	1	15	6,599	-----	-----	-----	Post development	
3	Reservoir	0.462	1	29	6,203	2	511.34	6,272	detention pond	
DETENTION POND 2.gpw					Return Period: 5 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	16.42	1	12	11,819	-----	-----	-----	Pre development	
2	Rational	8.607	1	15	7,746	-----	-----	-----	Post development	
3	Reservoir	0.613	1	29	7,345	2	511.39	7,310	detention pond	
DETENTION POND 2.gpw					Return Period: 10 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	18.77	1	12	13,512	-----	-----	-----	Pre development	
2	Rational	9.865	1	15	8,879	-----	-----	-----	Post development	
3	Reservoir	0.773	1	29	8,475	2	511.45	8,325	detention pond	
DETENTION POND 2.gpw					Return Period: 25 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	21.35	1	12	15,370	-----	-----	-----	Pre development	
2	Rational	11.24	1	15	10,120	-----	-----	-----	Post development	
3	Reservoir	0.959	1	29	9,713	2	511.50	9,427	detention pond	
DETENTION POND 2.gpw					Return Period: 50 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	22.64	1	12	16,299	-----	-----	-----	Pre development	
2	Rational	11.95	1	15	10,751	-----	-----	-----	Post development	
3	Reservoir	1.059	1	29	10,343	2	511.53	9,983	detention pond	
DETENTION POND 2.gpw					Return Period: 100 Year			Thursday, 10 / 6 / 2022		

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

<u>Hyd.</u>	<u>Origin</u>	<u>Description</u>
1	Rational	pre development
2	Rational	post development
3	Reservoir	Detention Pond

Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

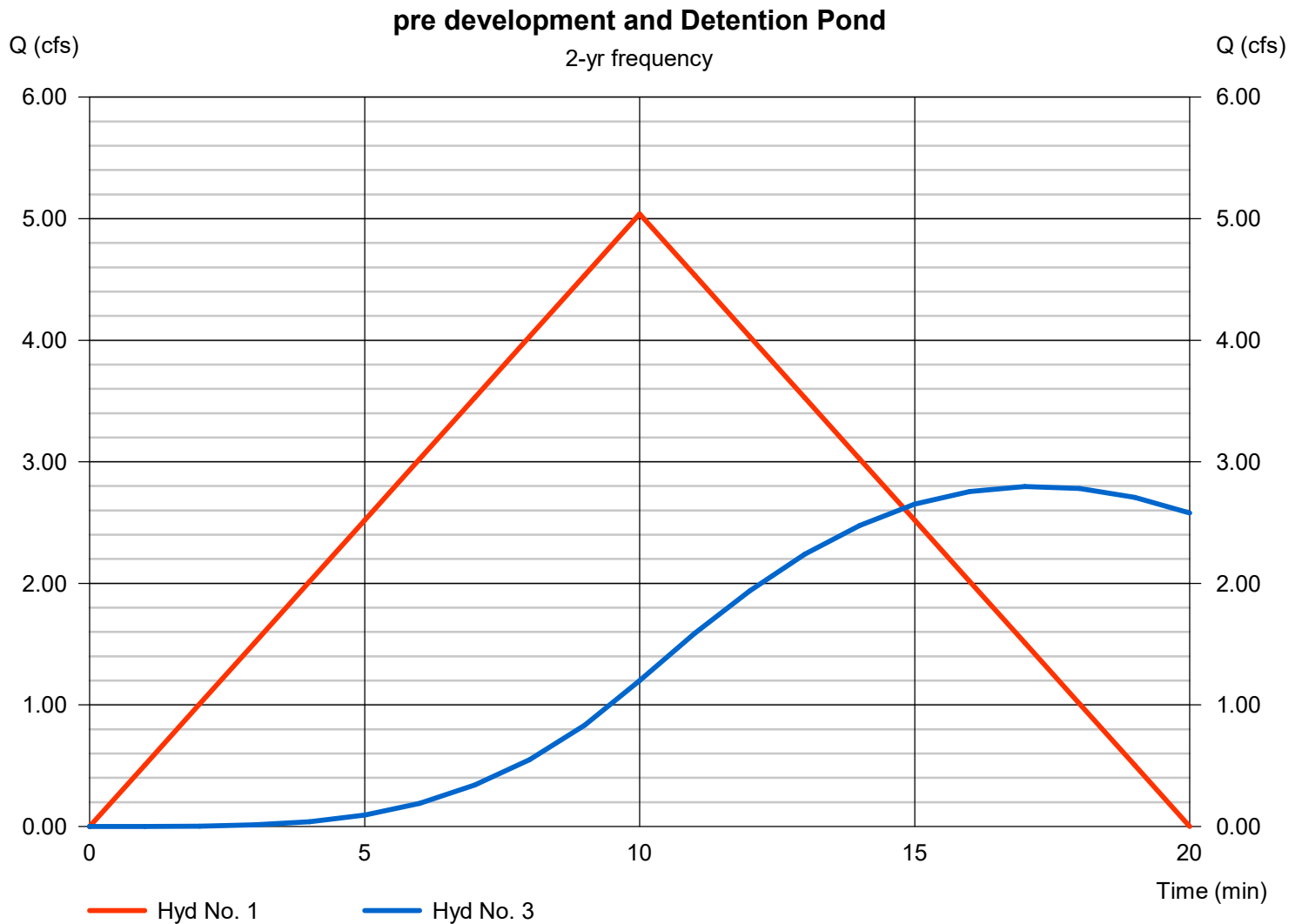
pre development

Hydrograph type = Rational
Peak discharge = 5.039 cfs
Time to peak = 10 min
Hyd. Volume = 3,023 cuft

Hyd. No. 3

Detention Pond

Hydrograph type = Reservoir
Peak discharge = 2.80 cfs
Time to peak = 17 min
Hyd. Volume = 5,925 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

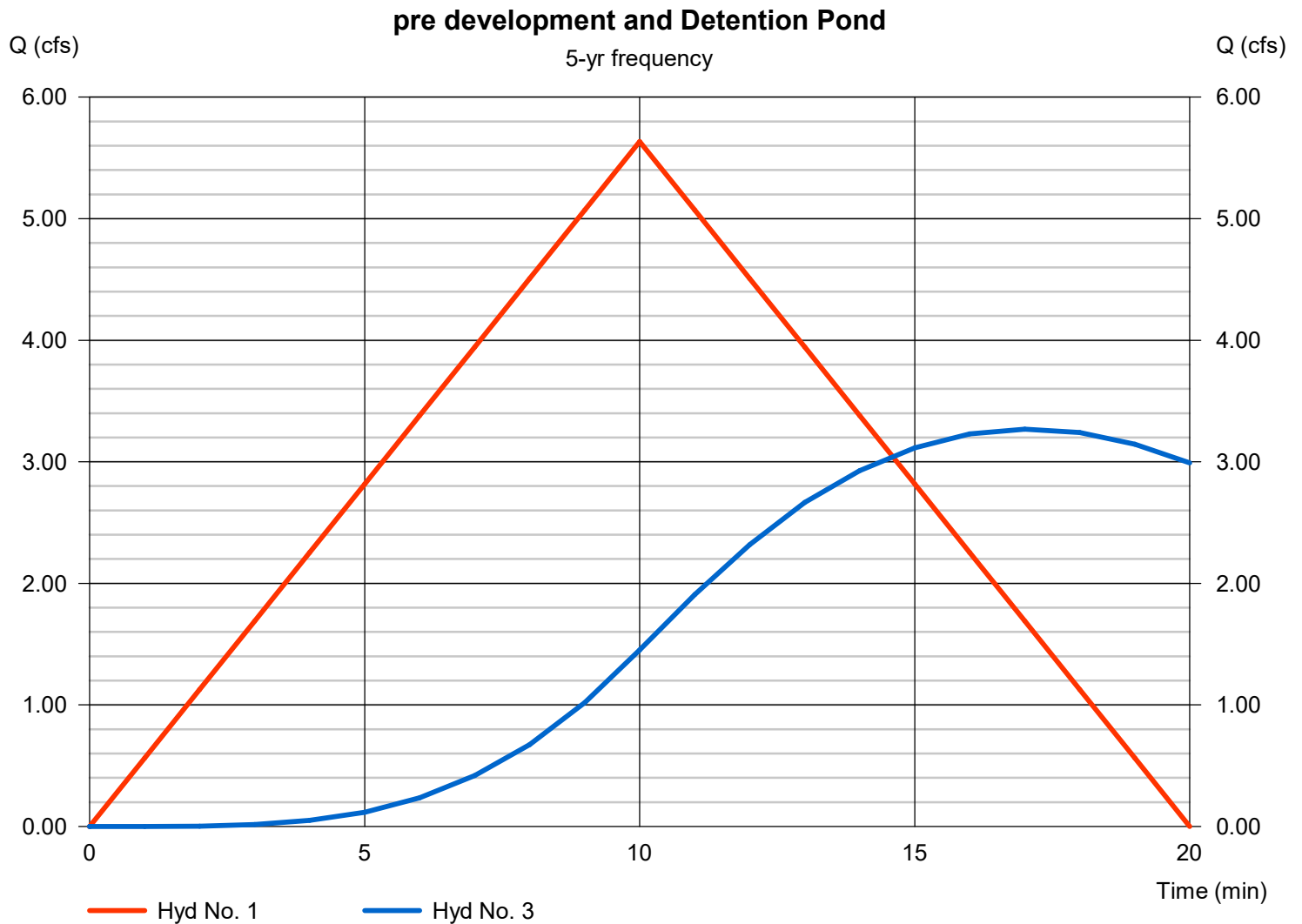
pre development

Hydrograph type = Rational
Peak discharge = 5.635 cfs
Time to peak = 10 min
Hyd. Volume = 3,381 cuft

Hyd. No. 3

Detention Pond

Hydrograph type = Reservoir
Peak discharge = 3.27 cfs
Time to peak = 17 min
Hyd. Volume = 6,630 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

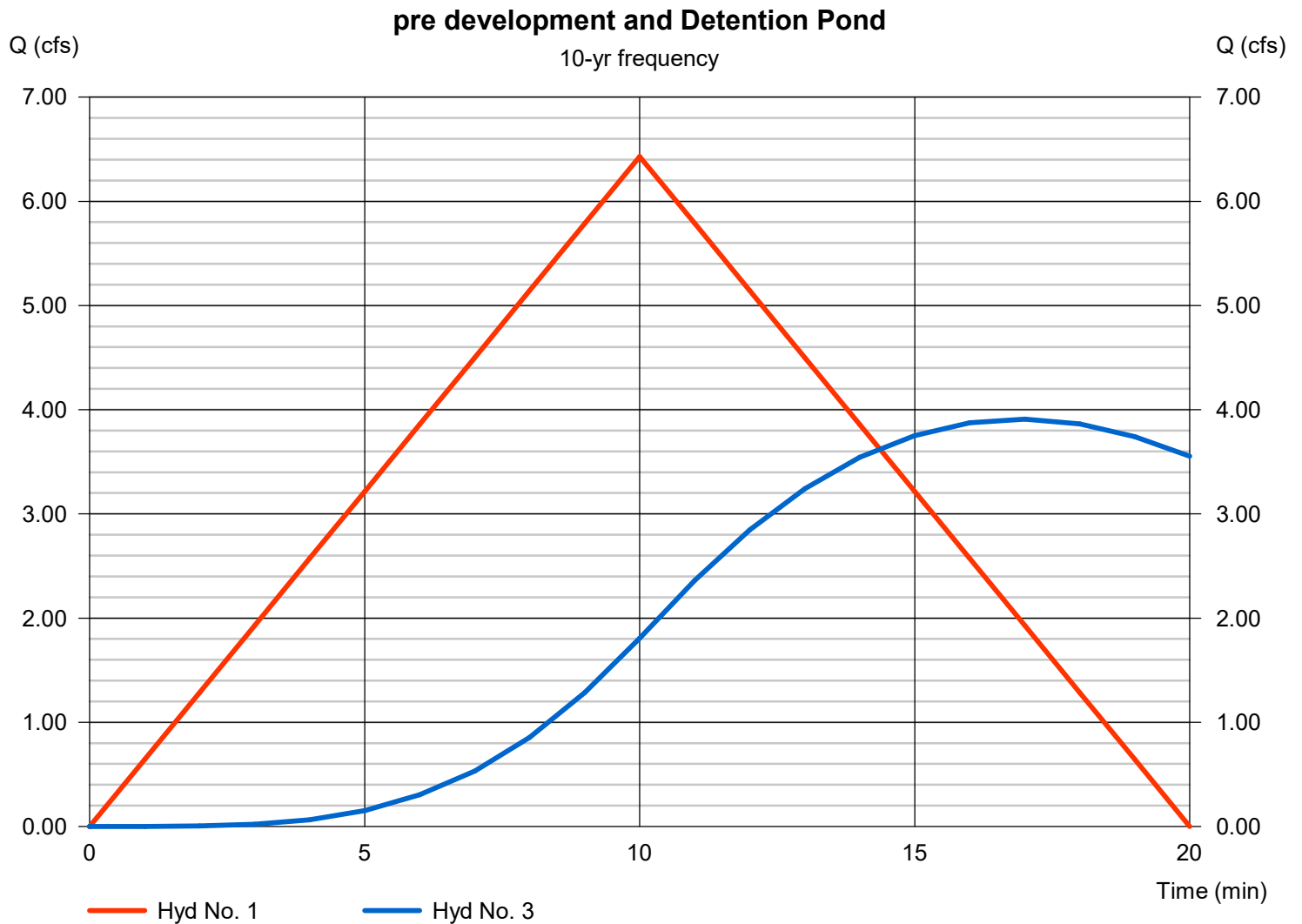
pre development

Hydrograph type = Rational
Peak discharge = 6.430 cfs
Time to peak = 10 min
Hyd. Volume = 3,858 cuft

Hyd. No. 3

Detention Pond

Hydrograph type = Reservoir
Peak discharge = 3.91 cfs
Time to peak = 17 min
Hyd. Volume = 7,571 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

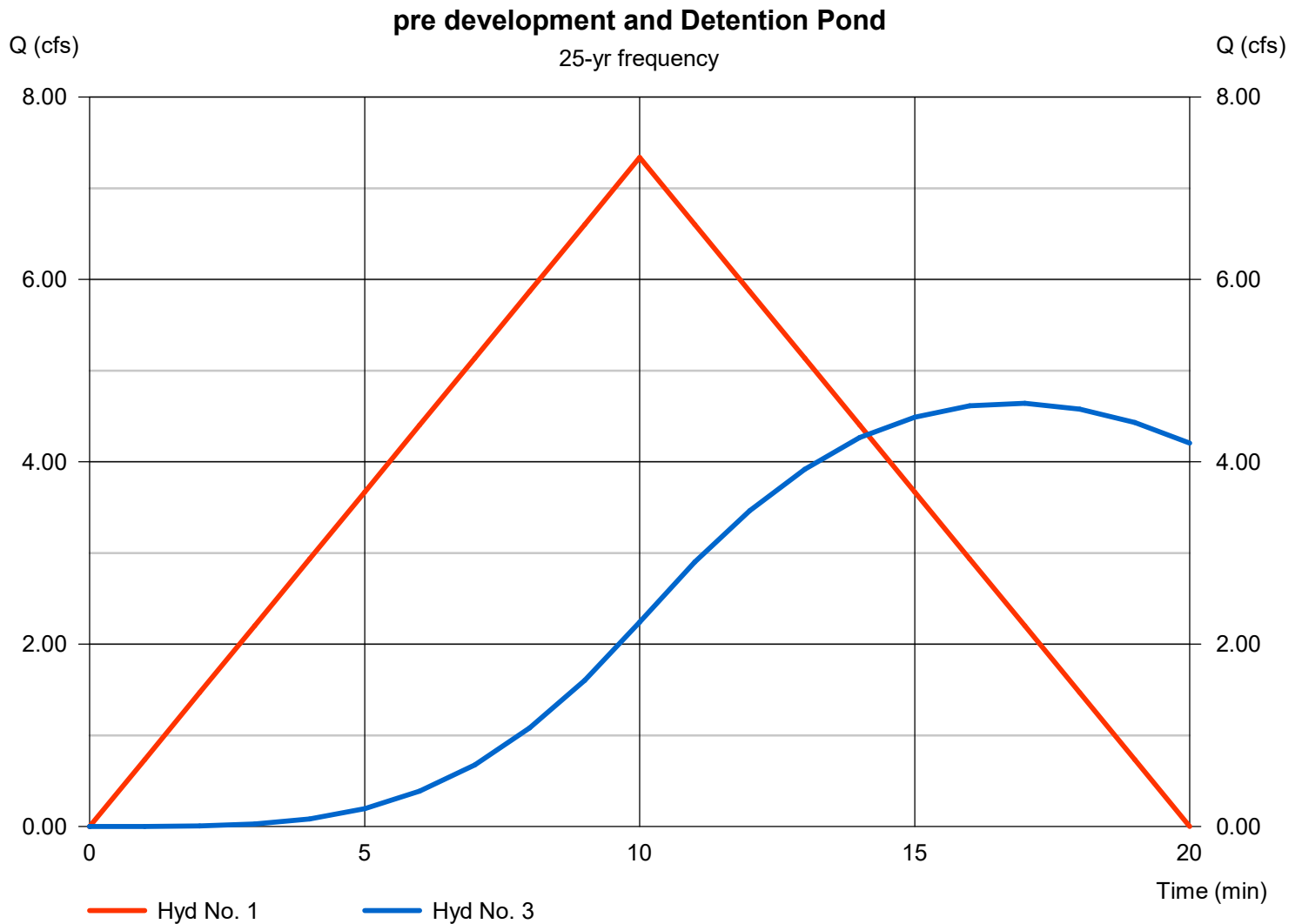
pre development

Hydrograph type = Rational
Peak discharge = 7.337 cfs
Time to peak = 10 min
Hyd. Volume = 4,402 cuft

Hyd. No. 3

Detention Pond

Hydrograph type = Reservoir
Peak discharge = 4.64 cfs
Time to peak = 17 min
Hyd. Volume = 8,645 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

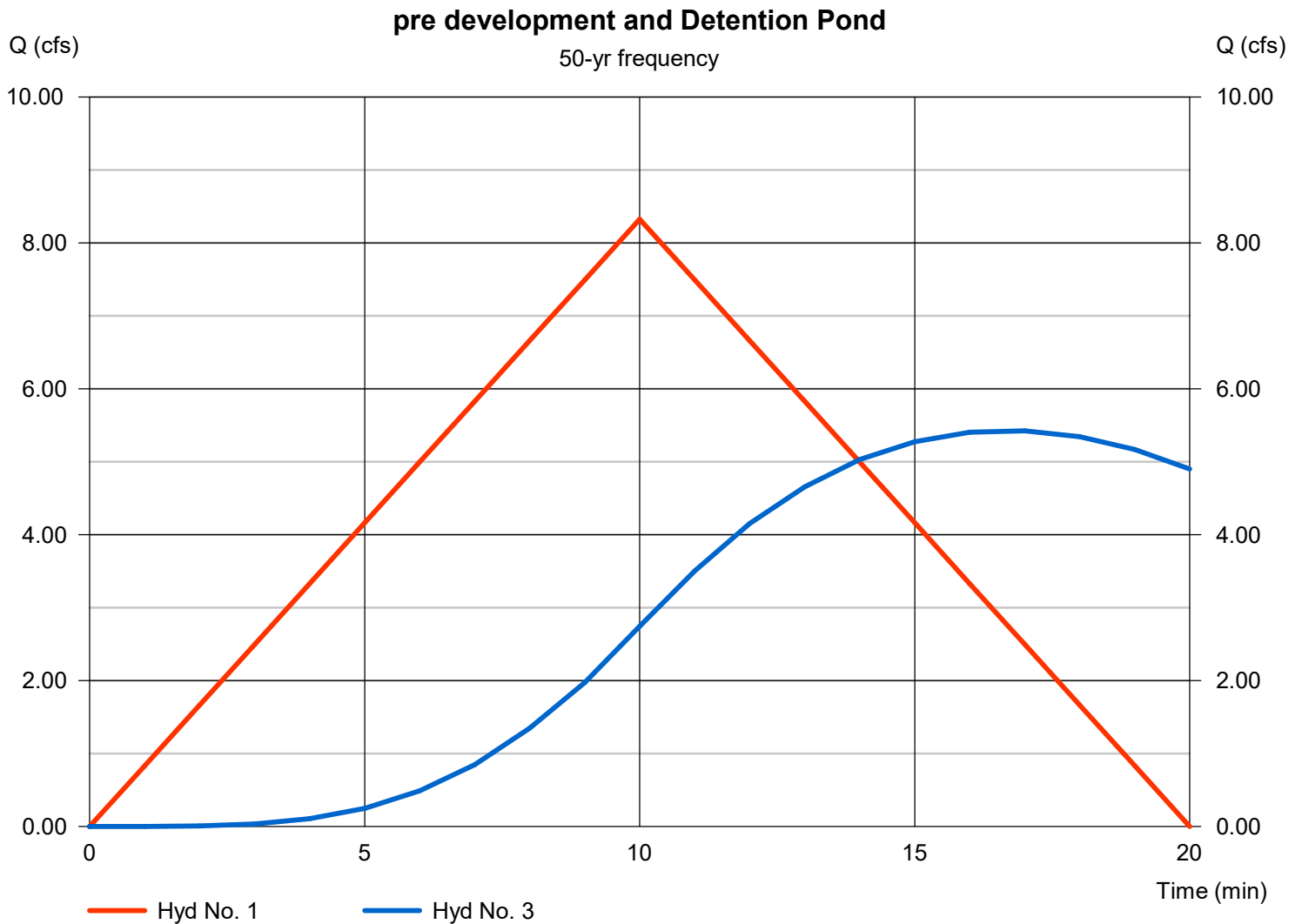
pre development

Hydrograph type = Rational
Peak discharge = 8.326 cfs
Time to peak = 10 min
Hyd. Volume = 4,995 cuft

Hyd. No. 3

Detention Pond

Hydrograph type = Reservoir
Peak discharge = 5.42 cfs
Time to peak = 17 min
Hyd. Volume = 9,816 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

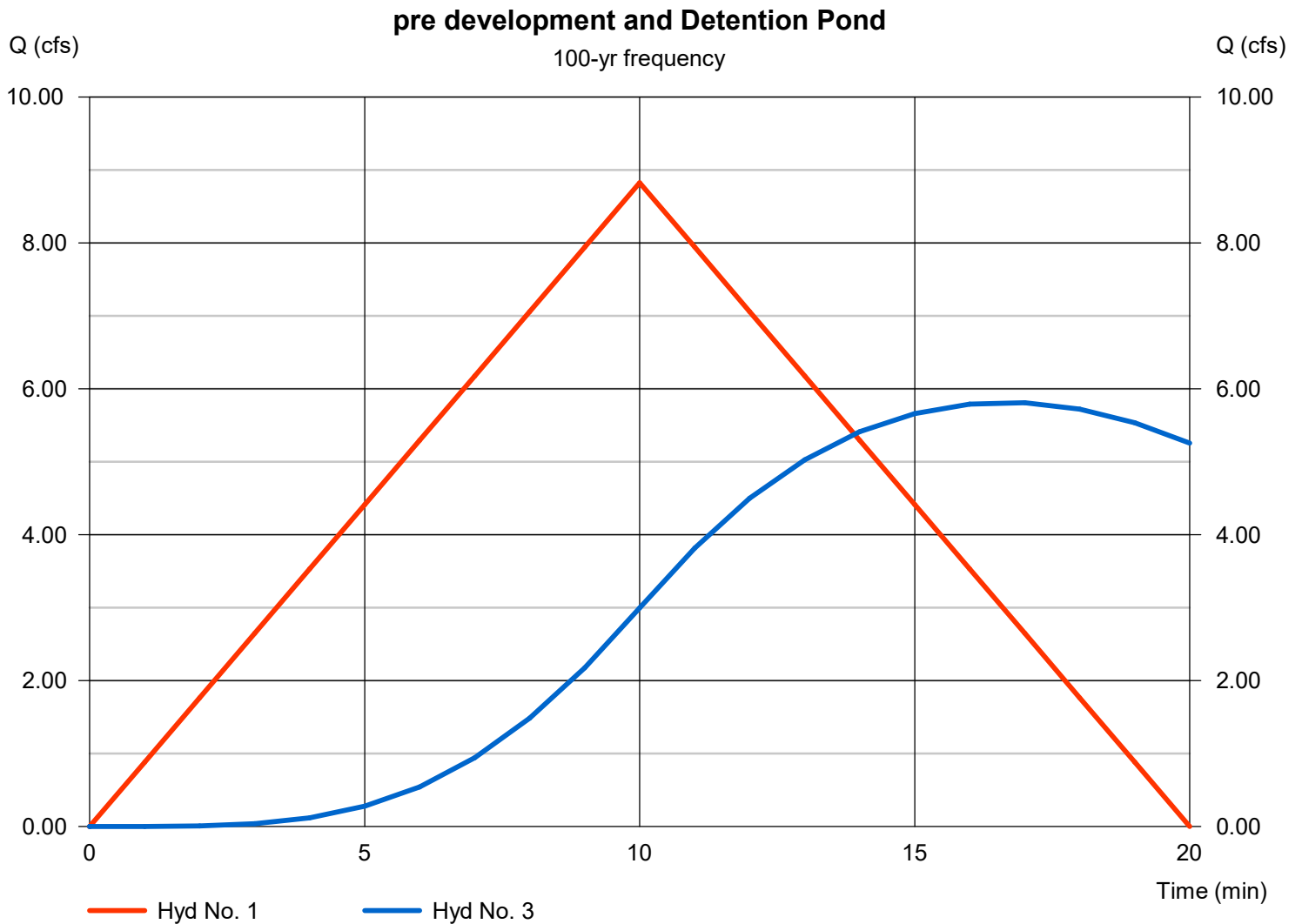
pre development

Hydrograph type = Rational
Peak discharge = 8.825 cfs
Time to peak = 10 min
Hyd. Volume = 5,295 cuft

Hyd. No. 3

Detention Pond

Hydrograph type = Reservoir
Peak discharge = 5.81 cfs
Time to peak = 17 min
Hyd. Volume = 10,406 cuft



Pond Report

Pond No. 1 - Detention Pond -3

Pond Data

Trapezoid -Bottom L x W = 106.0 x 52.0 ft, Side slope = 3.00:1, Bottom elev. = 495.00 ft, Depth = 2.50 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	495.00	5,512	0	0
0.25	495.25	5,751	1,408	1,408
0.50	495.50	5,995	1,468	2,876
0.75	495.75	6,243	1,530	4,406
1.00	496.00	6,496	1,592	5,998
1.25	496.25	6,753	1,656	7,654
1.50	496.50	7,015	1,721	9,375
1.75	496.75	7,281	1,787	11,162
2.00	497.00	7,552	1,854	13,016
2.25	497.25	7,827	1,922	14,938
2.50	497.50	8,107	1,992	16,930

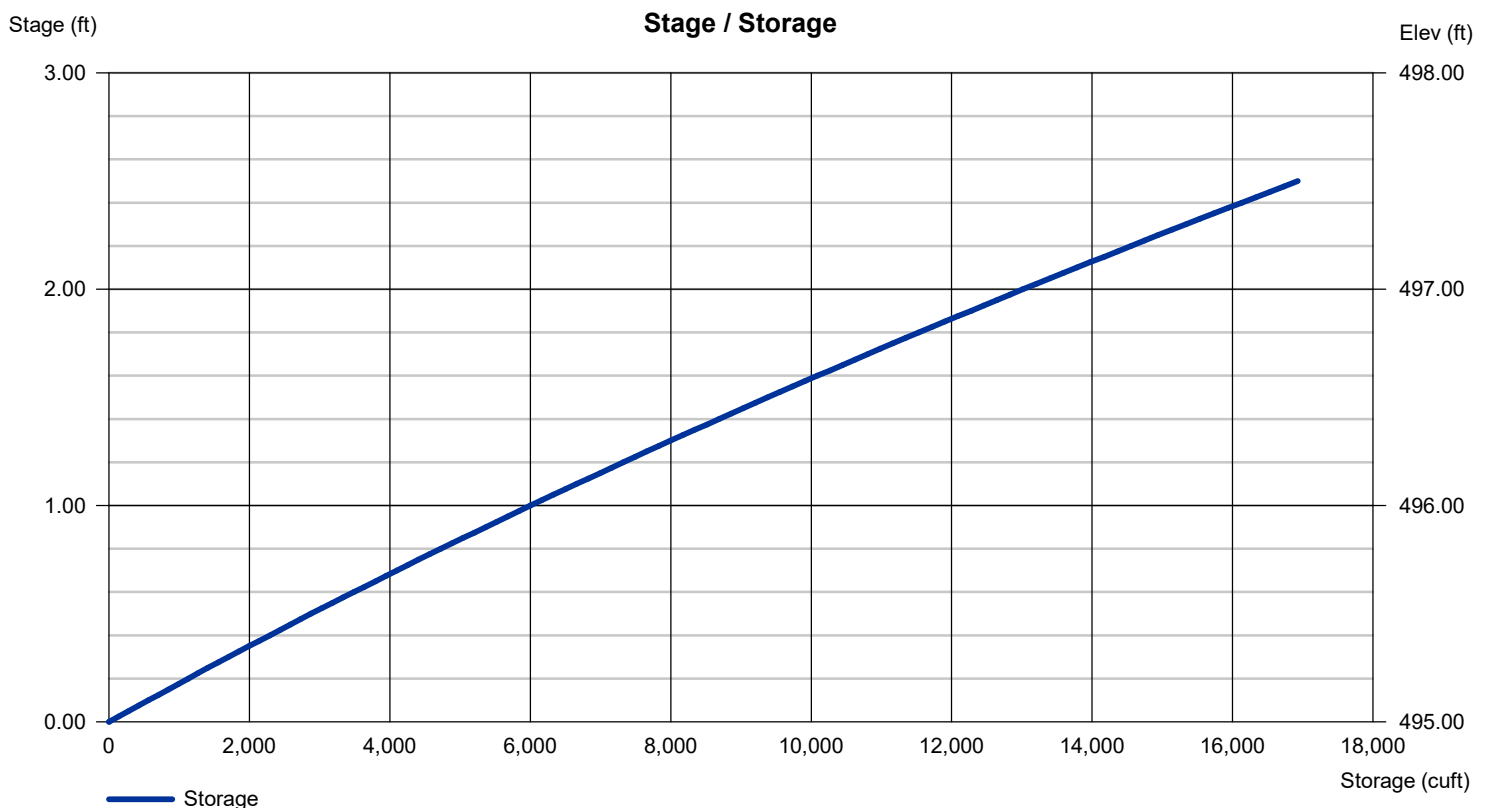
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 18.00	0.00	0.00	0.00
Span (in)	= 18.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 495.00	0.00	0.00	0.00
Length (ft)	= 33.00	0.00	0.00	0.00
Slope (%)	= 9.50	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 6.00	0.00	0.00	0.00
Crest El. (ft)	= 496.25	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	5.039	1	10	3,023	-----	-----	-----	pre development	
2	Rational	9.942	1	10	5,965	-----	-----	-----	post development	
3	Reservoir	2.797	1	17	5,925	2	495.78	4,598	Detention Pond	
detention pond 3.gpw					Return Period: 2 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	5.635	1	10	3,381	-----	-----	-----	pre development	
2	Rational	11.12	1	10	6,671	-----	-----	-----	post development	
3	Reservoir	3.269	1	17	6,630	2	495.85	5,064	Detention Pond	
detention pond 3.gpw					Return Period: 5 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	6.430	1	10	3,858	-----	-----	-----	pre development	
2	Rational	12.69	1	10	7,612	-----	-----	-----	post development	
3	Reservoir	3.910	1	17	7,571	2	495.95	5,674	Detention Pond	
detention pond 3.gpw					Return Period: 10 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	7.337	1	10	4,402	-----	-----	-----	pre development	
2	Rational	14.48	1	10	8,686	-----	-----	-----	post development	
3	Reservoir	4.642	1	17	8,645	2	496.05	6,359	Detention Pond	
detention pond 3.gpw					Return Period: 25 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	8.326	1	10	4,995	-----	-----	-----	pre development	
2	Rational	16.43	1	10	9,856	-----	-----	-----	post development	
3	Reservoir	5.424	1	17	9,816	2	496.17	7,100	Detention Pond	
detention pond 3.gpw					Return Period: 50 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	8.825	1	10	5,295	-----	-----	-----	pre development	
2	Rational	17.41	1	10	10,447	-----	-----	-----	post development	
3	Reservoir	5.810	1	17	10,406	2	496.22	7,475	Detention Pond	
detention pond 3.gpw					Return Period: 100 Year			Thursday, 10 / 6 / 2022		

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

<u>Hyd.</u>	<u>Origin</u>	<u>Description</u>
1	Rational	pre development
2	Rational	post development
3	Reservoir	Reservior

Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

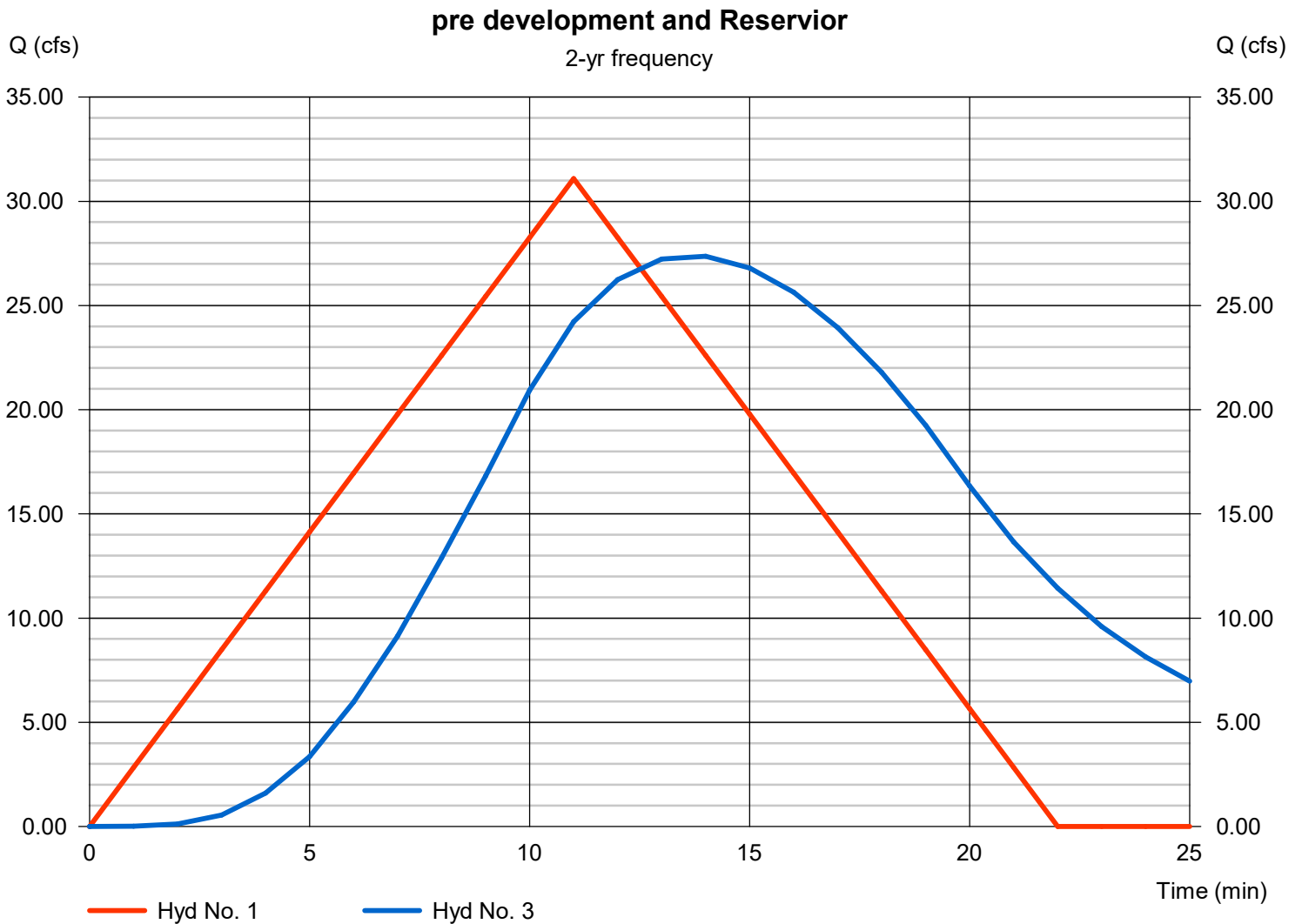
pre development

Hydrograph type = Rational
Peak discharge = 31.09 cfs
Time to peak = 11 min
Hyd. Volume = 20,519 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 27.37 cfs
Time to peak = 14 min
Hyd. Volume = 25,949 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

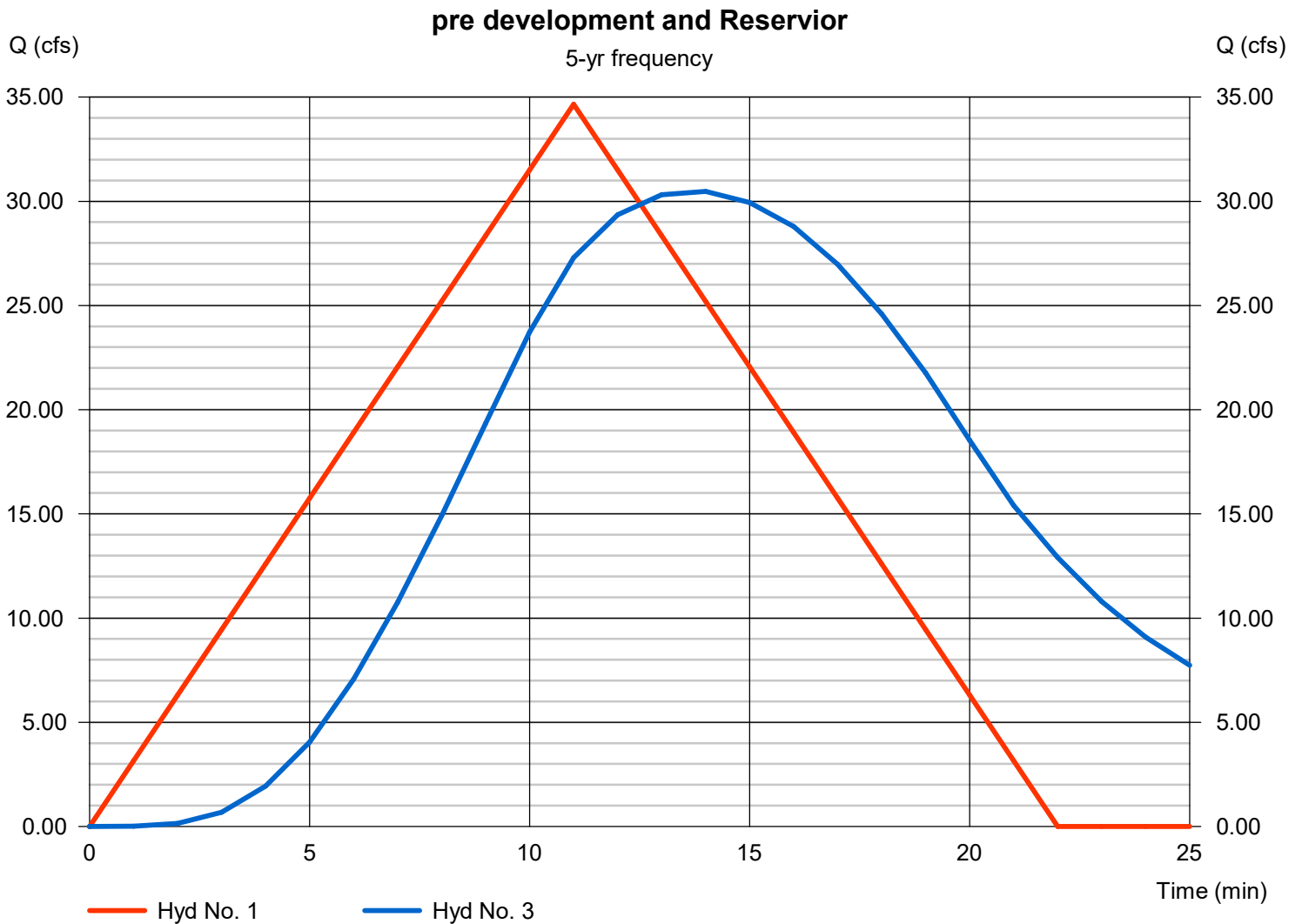
pre development

Hydrograph type = Rational
Peak discharge = 34.66 cfs
Time to peak = 11 min
Hyd. Volume = 22,873 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 30.47 cfs
Time to peak = 14 min
Hyd. Volume = 29,019 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

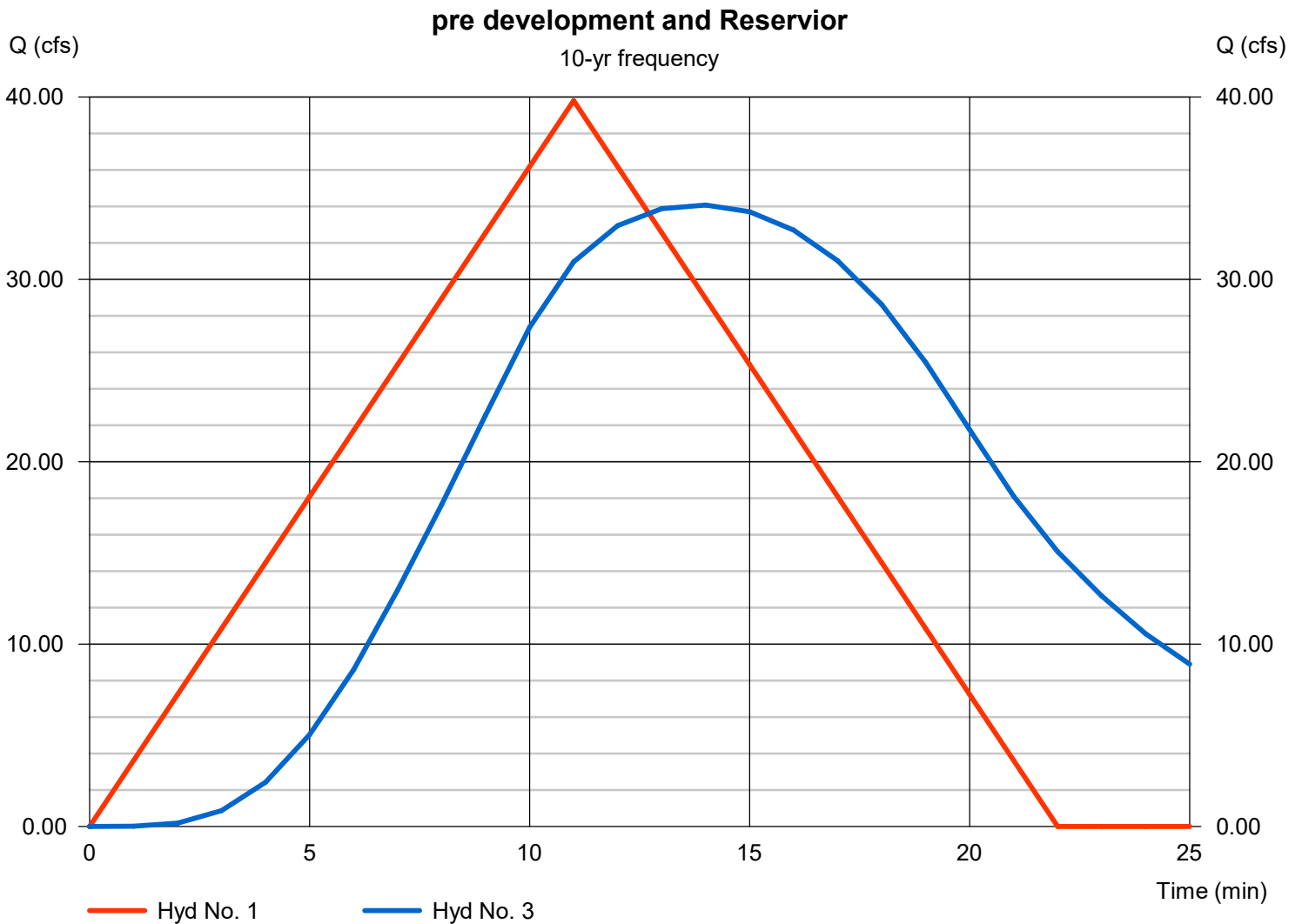
pre development

Hydrograph type = Rational
Peak discharge = 39.81 cfs
Time to peak = 11 min
Hyd. Volume = 26,276 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 34.08 cfs
Time to peak = 14 min
Hyd. Volume = 33,115 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

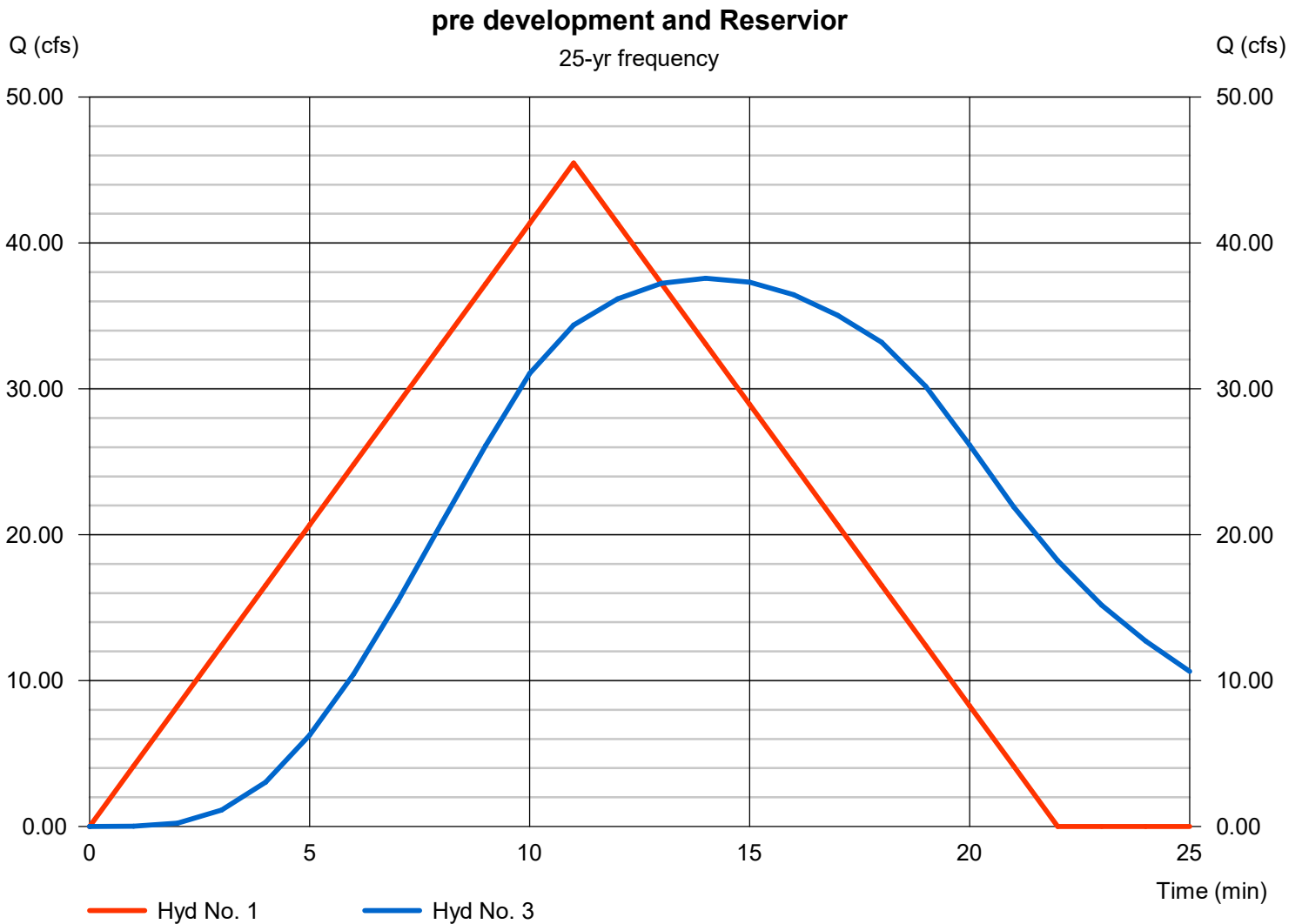
pre development

Hydrograph type = Rational
Peak discharge = 45.47 cfs
Time to peak = 11 min
Hyd. Volume = 30,012 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 37.59 cfs
Time to peak = 14 min
Hyd. Volume = 37,790 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

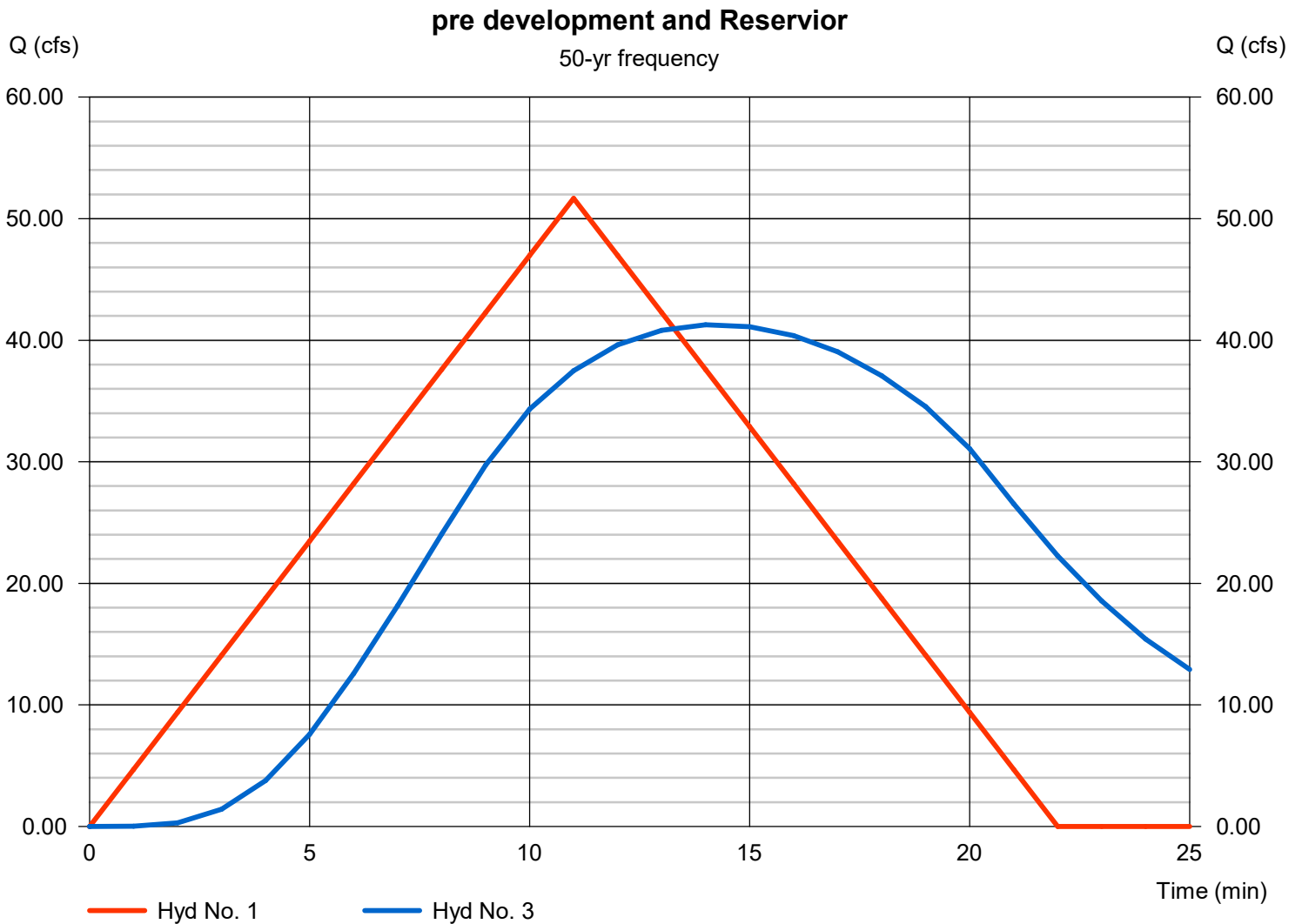
pre development

Hydrograph type = Rational
Peak discharge = 51.67 cfs
Time to peak = 11 min
Hyd. Volume = 34,102 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 41.26 cfs
Time to peak = 14 min
Hyd. Volume = 42,883 cuft



Multi-Hydrograph Plot

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

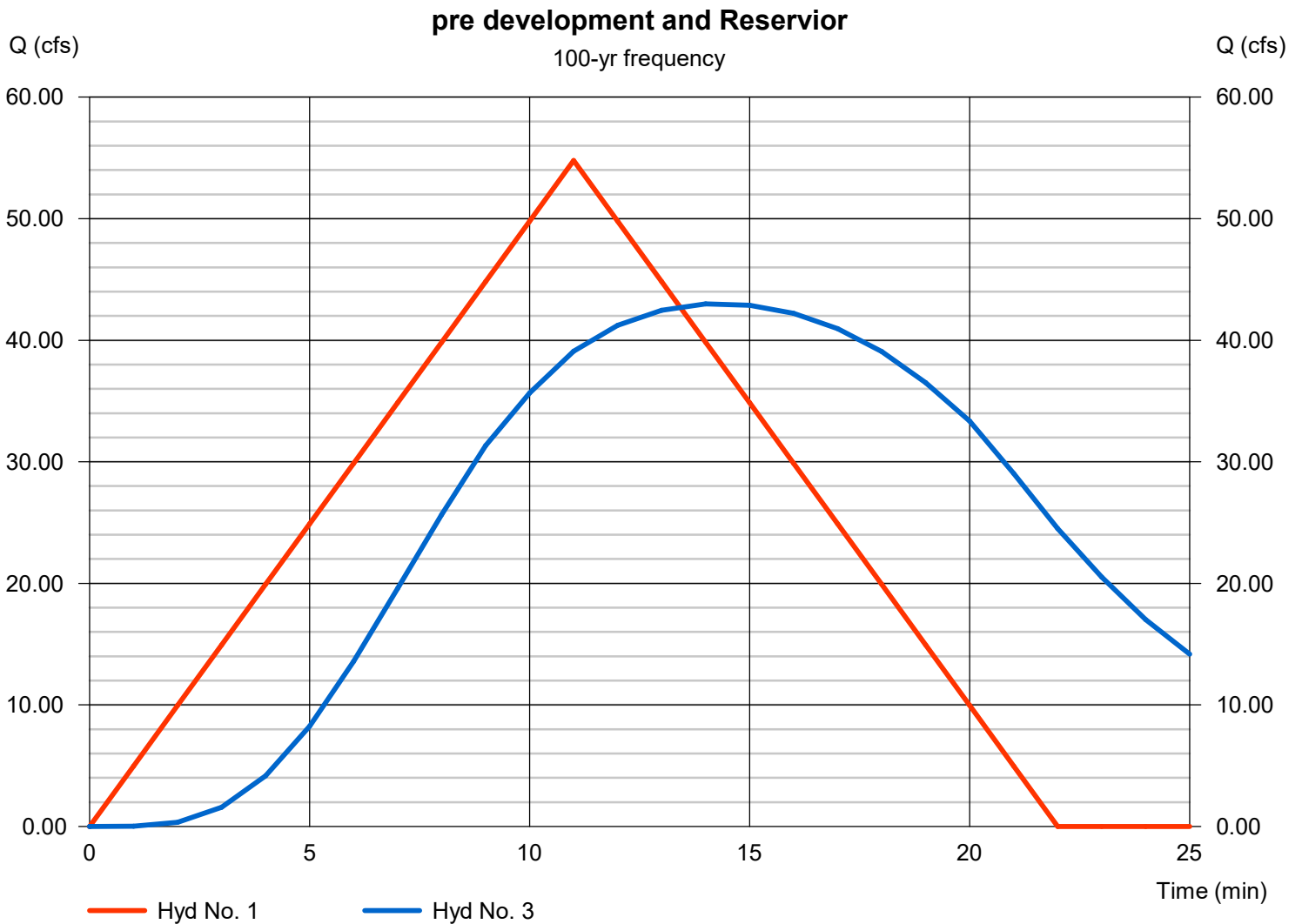
pre development

Hydrograph type = Rational
Peak discharge = 54.77 cfs
Time to peak = 11 min
Hyd. Volume = 36,151 cuft

Hyd. No. 3

Reservoir

Hydrograph type = Reservoir
Peak discharge = 42.99 cfs
Time to peak = 14 min
Hyd. Volume = 45,453 cuft



Pond Report

Pond No. 1 - Detention Pond -4

Pond Data

Trapezoid -Bottom L x W = 74.0 x 50.3 ft, Side slope = 3.00:1, Bottom elev. = 511.00 ft, Depth = 5.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	511.00	3,725	0	0
0.50	511.50	4,107	1,957	1,957
1.00	512.00	4,507	2,153	4,110
1.50	512.50	4,925	2,357	6,468
2.00	513.00	5,361	2,571	9,038
2.50	513.50	5,815	2,793	11,832
3.00	514.00	6,287	3,025	14,857
3.50	514.50	6,777	3,265	18,122
4.00	515.00	7,285	3,515	21,637
4.50	515.50	7,811	3,773	25,410
5.00	516.00	8,355	4,041	29,451

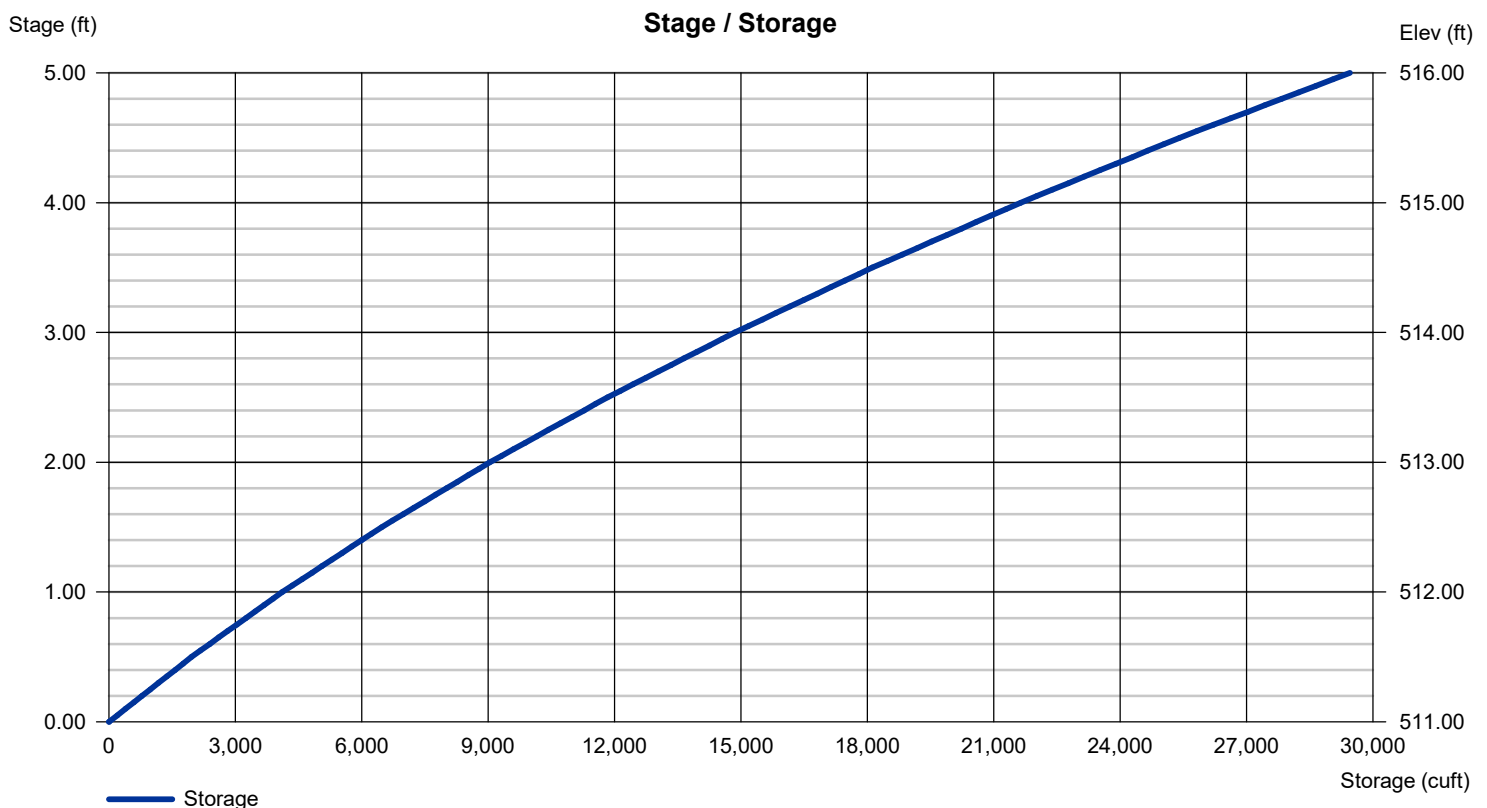
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 36.00	Inactive	Inactive	0.00
Span (in)	= 36.00	24.00	24.00	0.00
No. Barrels	= 1	1	1	0
Invert El. (ft)	= 511.00	511.00	513.00	0.00
Length (ft)	= 121.00	0.50	0.00	0.00
Slope (%)	= 9.00	0.01	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.50	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	Inactive	5.00	Inactive	0.00
Crest El. (ft)	= 514.00	515.00	511.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= 1	Rect	Rect	---
Multi-Stage	= Yes	No	Yes	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	31.09	1	11	20,519	-----	-----	-----	pre development	
2	Rational	43.27	1	10	25,961	-----	-----	-----	post development	
3	Reservoir	27.37	1	14	25,949	2	513.44	11,523	Reservior	
detention pond 4.gpw					Return Period: 2 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	34.66	1	11	22,873	-----	-----	-----	pre development	
2	Rational	48.39	1	10	29,031	-----	-----	-----	post development	
3	Reservoir	30.47	1	14	29,019	2	513.65	12,716	Reservior	
detention pond 4.gpw					Return Period: 5 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	39.81	1	11	26,276	-----	-----	-----	pre development	
2	Rational	55.21	1	10	33,127	-----	-----	-----	post development	
3	Reservoir	34.08	1	14	33,115	2	513.93	14,413	Reservior	
detention pond 4.gpw					Return Period: 10 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	45.47	1	11	30,012	-----	-----	-----	pre development	
2	Rational	63.00	1	10	37,802	-----	-----	-----	post development	
3	Reservoir	37.59	1	14	37,790	2	514.26	16,533	Reservior	
detention pond 4.gpw					Return Period: 25 Year			Thursday, 10 / 6 / 2022		

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	51.67	1	11	34,102	-----	-----	-----	pre development	
2	Rational	71.49	1	10	42,895	-----	-----	-----	post development	
3	Reservoir	41.26	1	14	42,883	2	514.62	18,945	Reservior	
detention pond 4.gpw					Return Period: 50 Year			Thursday, 10 / 6 / 2022		

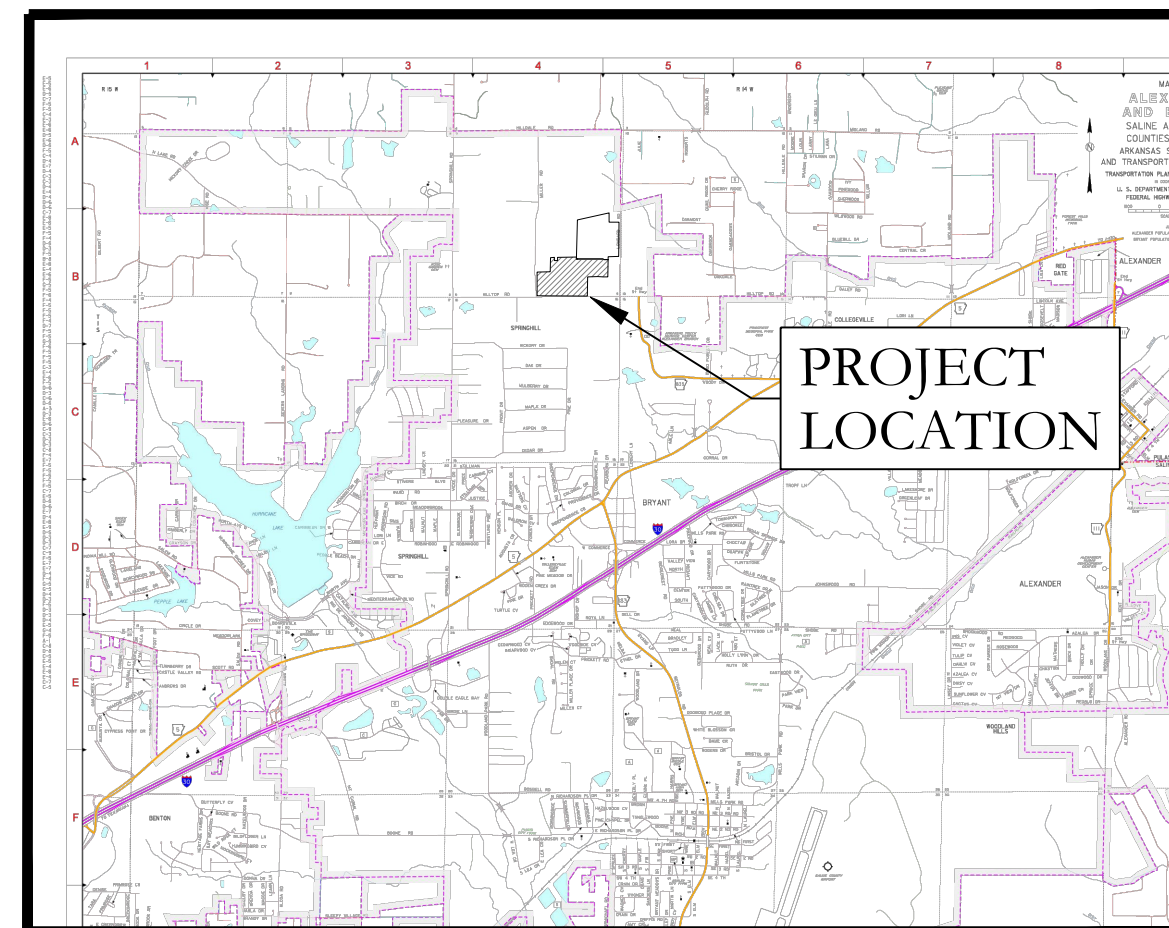
Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	54.77	1	11	36,151	-----	-----	-----	pre development	
2	Rational	75.78	1	10	45,465	-----	-----	-----	post development	
3	Reservoir	42.99	1	14	45,453	2	514.80	20,214	Reservior	
detention pond 4.gpw					Return Period: 100 Year			Thursday, 10 / 6 / 2022		

CONSTRUCTION PLANS HILLTOP LANDING

HILLTOP ROAD & MILLER ROAD ,BRYANT, AR



VICINITY MAP



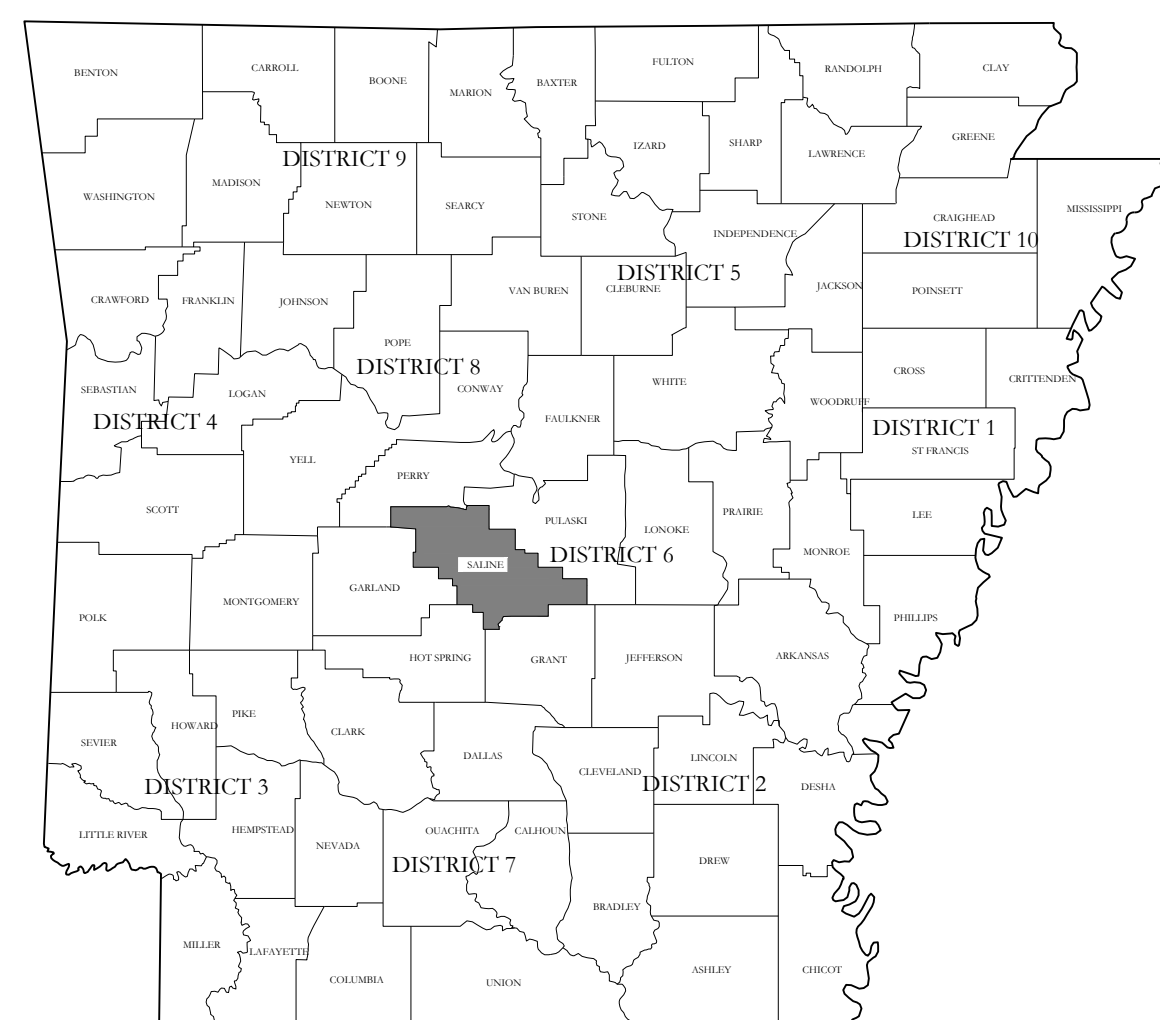
PREPARED BY:

HOPE
CONSULTING
ENGINEERS - SURVEYORS

117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

DRAWING INDEX

SHEET NO.	TITLE
	PLAT
C-1.0	STREET PLAN
C-1.1	STREET PLAN
C-1.2	STREET PLAN
C-2.0	UTILITY PLAN
C-2.1	SEWER PLAN & PROFILE
C-2.2	SEWER PLAN & PROFILE
C-2.3	SEWER PLAN & PROFILE
C-3.1	STORM PLAN & PROFILE
C-3.2	STORM PLAN & PROFILE
C-3.3	STORM PLAN & PROFILE
C-3.4	STORM PLAN & PROFILE
C-4.0	TRENCH AND SPECIAL DETAILS
C-5.0	CIVIL SPECIFICATIONS
C-6.0	DETENTION
C-6.1	DETENTION
C-7.0	EROSION CONTROL PLAN
C-8.0	LIFT STATION
C-8.1	PROPOSED FORCEMAIN



HOPE
CONSULTING
ENGINEERS - SURVEYORS

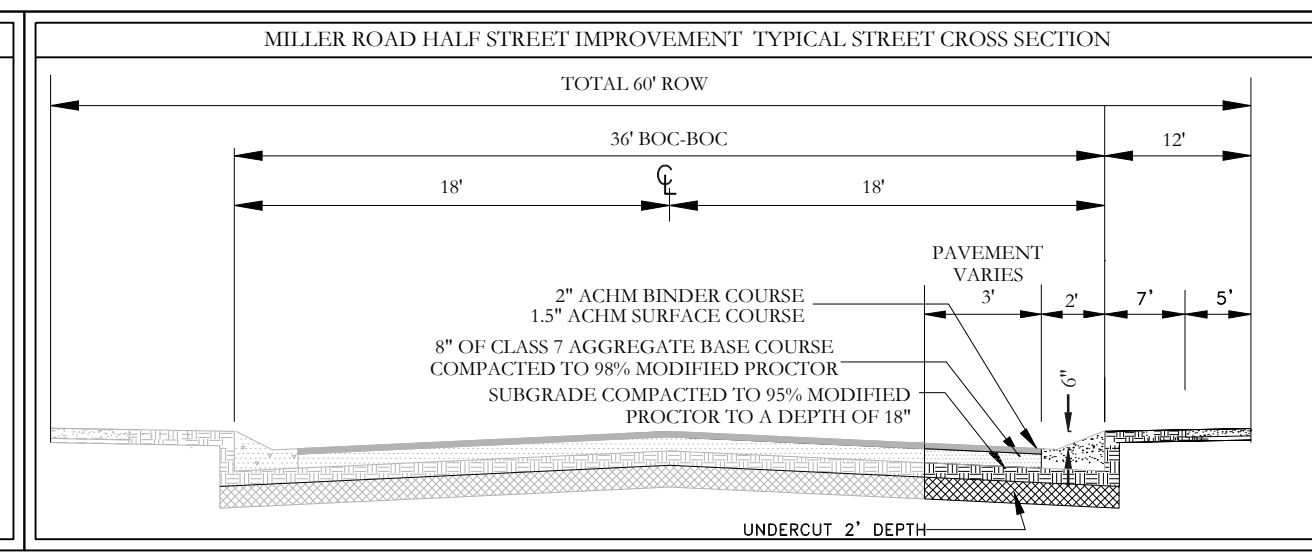
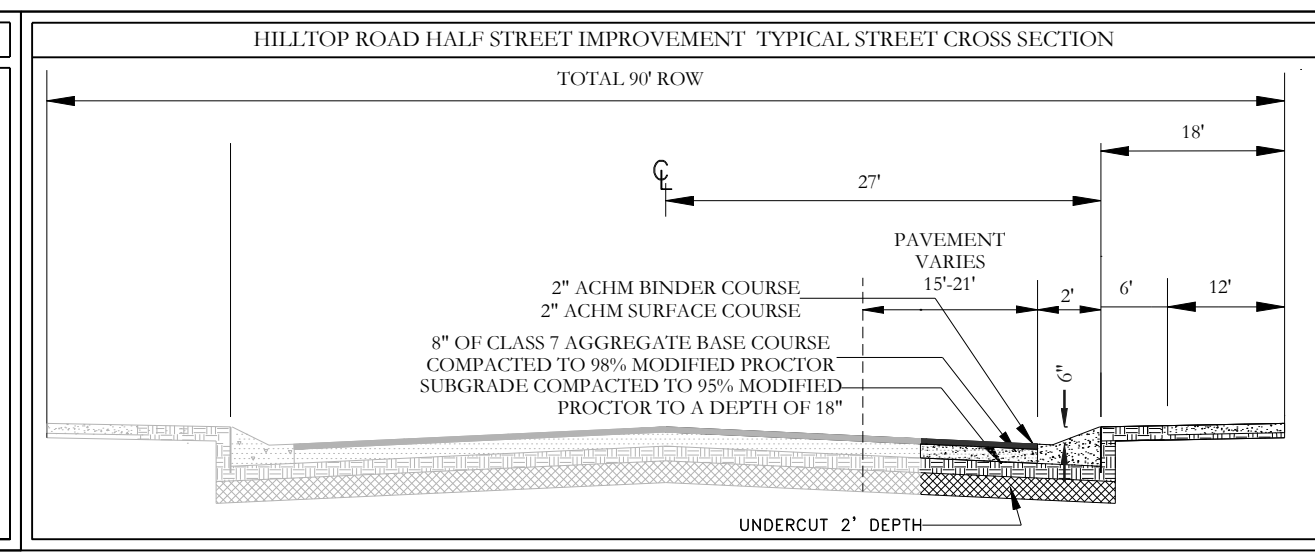
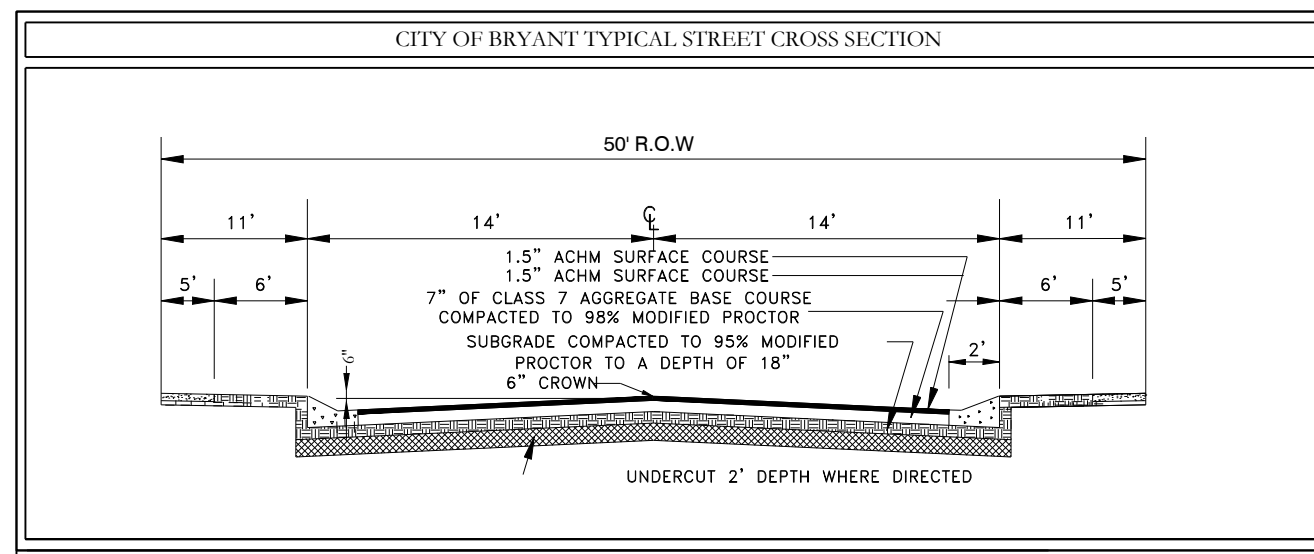
117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
NXT GEN HOMES LLC.

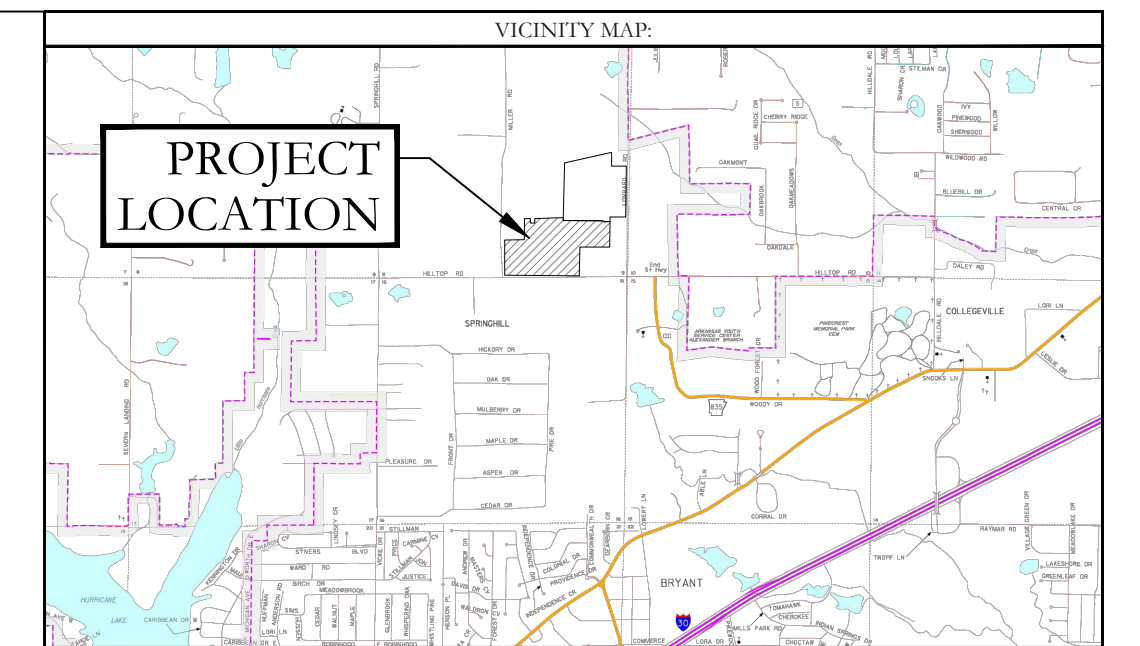
HILLTOP LANDING
A SUBDIVISION IN THE CITY OF BRYANT, AR
HILLTOP ROAD & MILLER ROAD, BRYANT, AR

DATE:	10/05/2022	C.A.D. BY:		DRAWING NUMBER:	
REVISED:		CHECKED BY:		20-1341	
SHEET:		SCALE:			

500	01S	14W	0	9	200	62	1762
-----	-----	-----	---	---	-----	----	------



NOTE:
TRACTS A, B, C, D AND E WILL BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES AND WILL MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) OR IMPROVEMENT DISTRICT.



OWNER: NXT GEN HOMES LLC
Address: 19218 SUMMERSHADE DRIVE BRYANT, AR 72022

DEVELOPER: NXT GEN HOMES LLC
Address: 19218 SUMMERSHADE DRIVE BRYANT, AR 72022

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution _____ Name: _____
Source of Title: D.R. BOOK _____ PAGE: _____

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
I, Jonathan L. Hope, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on _____, 20____, that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located.

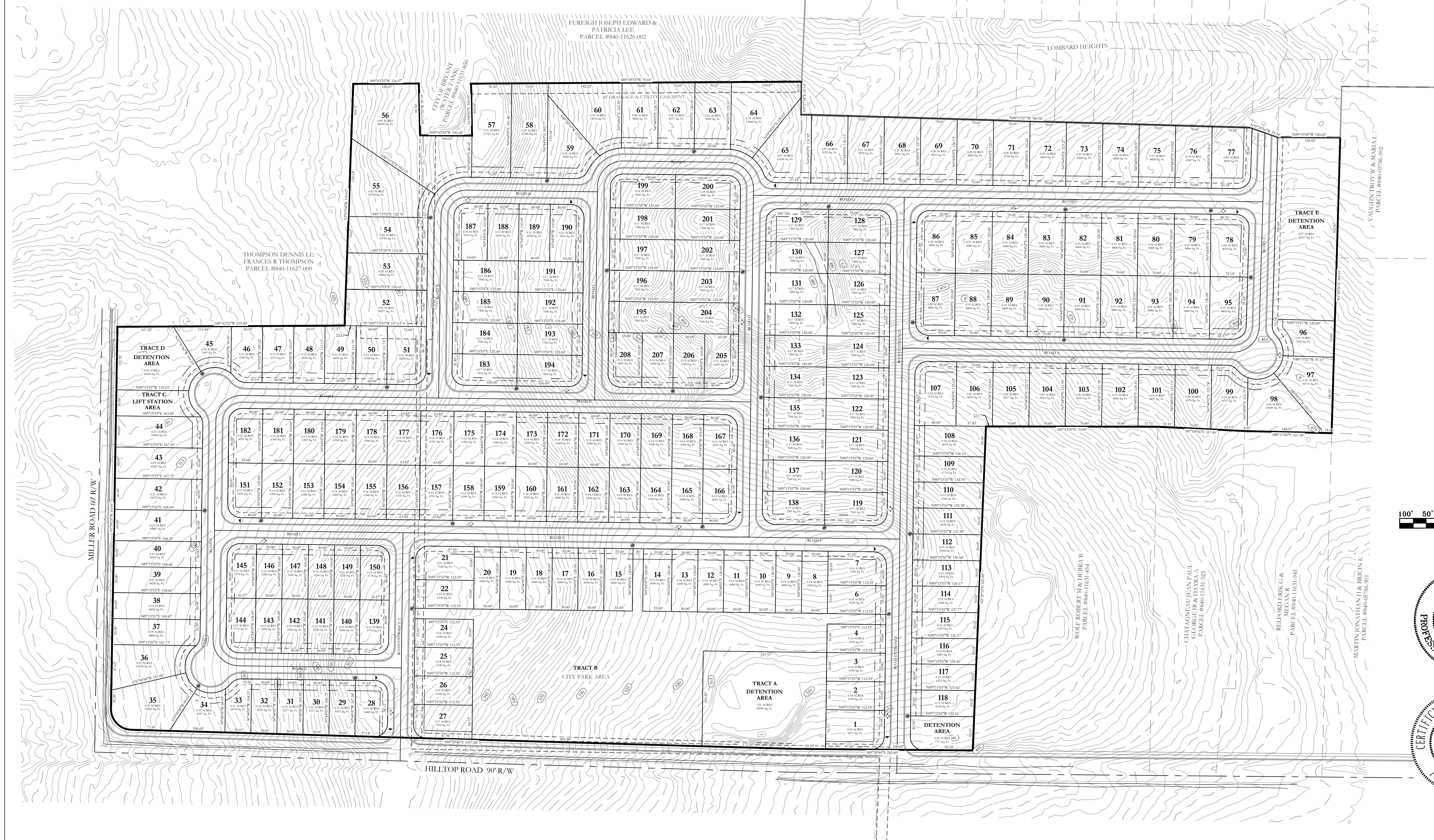
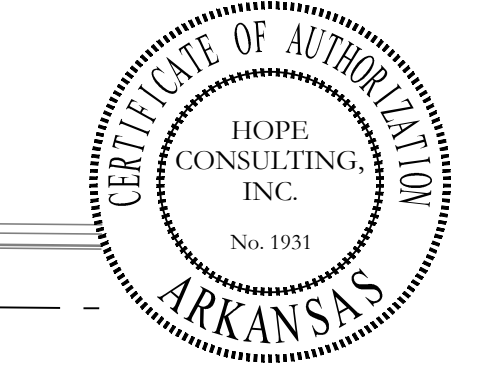
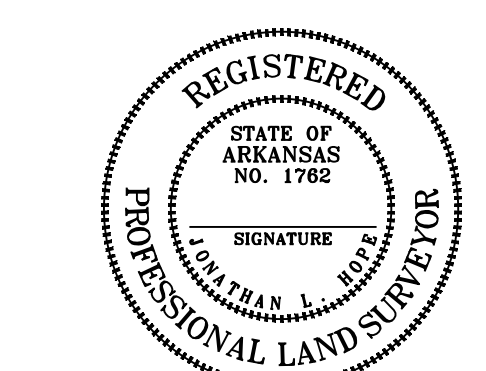
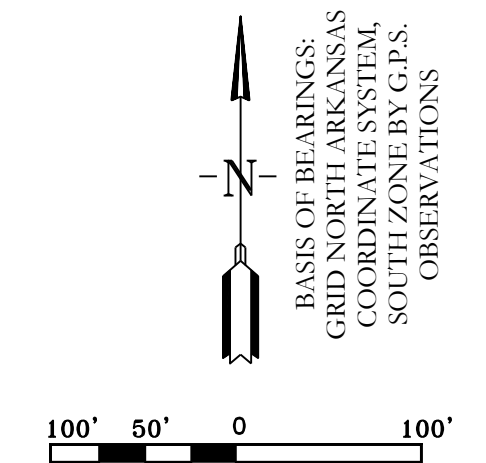
Date of Execution _____ Signed: Jonathan L. Hope
Registered Professional Land Surveyor No. 1762 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
I, William W. McFadden, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date of Execution _____ Signed: William W. McFadden
Registered Professional Engineer, No. 14048 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:
All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

Date of Execution _____ Signed: Rick Johnson, Chairman
Bryant Planning Commission



PROPERTY SPECIFICATIONS:	
OWNER: Nxt Gen Homes LLC 19218 Summershade Drive Bryant, AR 72022	NUMBER OF LOTS: 208
DEVELOPER: Nxt Gen Homes LLC 19218 Summershade Drive Bryant, AR 72022	SOURCE OF WATER: CITY OF BRYANT
ENGINEERS: HOPE CONSULTING INC. 117 S. MARKET STREET BRYANT, AR 72022	SOURCE OF SEWER: CITY OF BRYANT
NAME OF SUBDIVISION: HILLTOP MANOR	SOURCE OF ELECTRIC: EXISTING
SOURCE OF TITLE: DEED BOOK 200, PAGE 028792	SOURCE OF GAS: CENTERPOINT
	BUILDING SETBACKS:
	FRONT: 25' OR AS SHOWN
	REAR: 15' OR AS SHOWN
	SIDE: 5' OR AS SHOWN
	UTILITY & DRAINAGE EASEMENTS:
	FRONT: 10' OR AS SHOWN
	REAR: 5' OR AS SHOWN
	SIDE: 5' OR AS SHOWN

By affixing my seal and signature, I Jonathan L. Hope, Arkansas PLS No. 1762, hereby certify that this drawing correctly depicts a survey completed by me or under my direct supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Flood Insurance Rate Map, panel # 05125C0225E, Dated: 06/05/2020

HOPE CONSULTING ENGINEERS - SURVEYORS
117 S. Market Street, Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
NXT GEN HOMES LLC

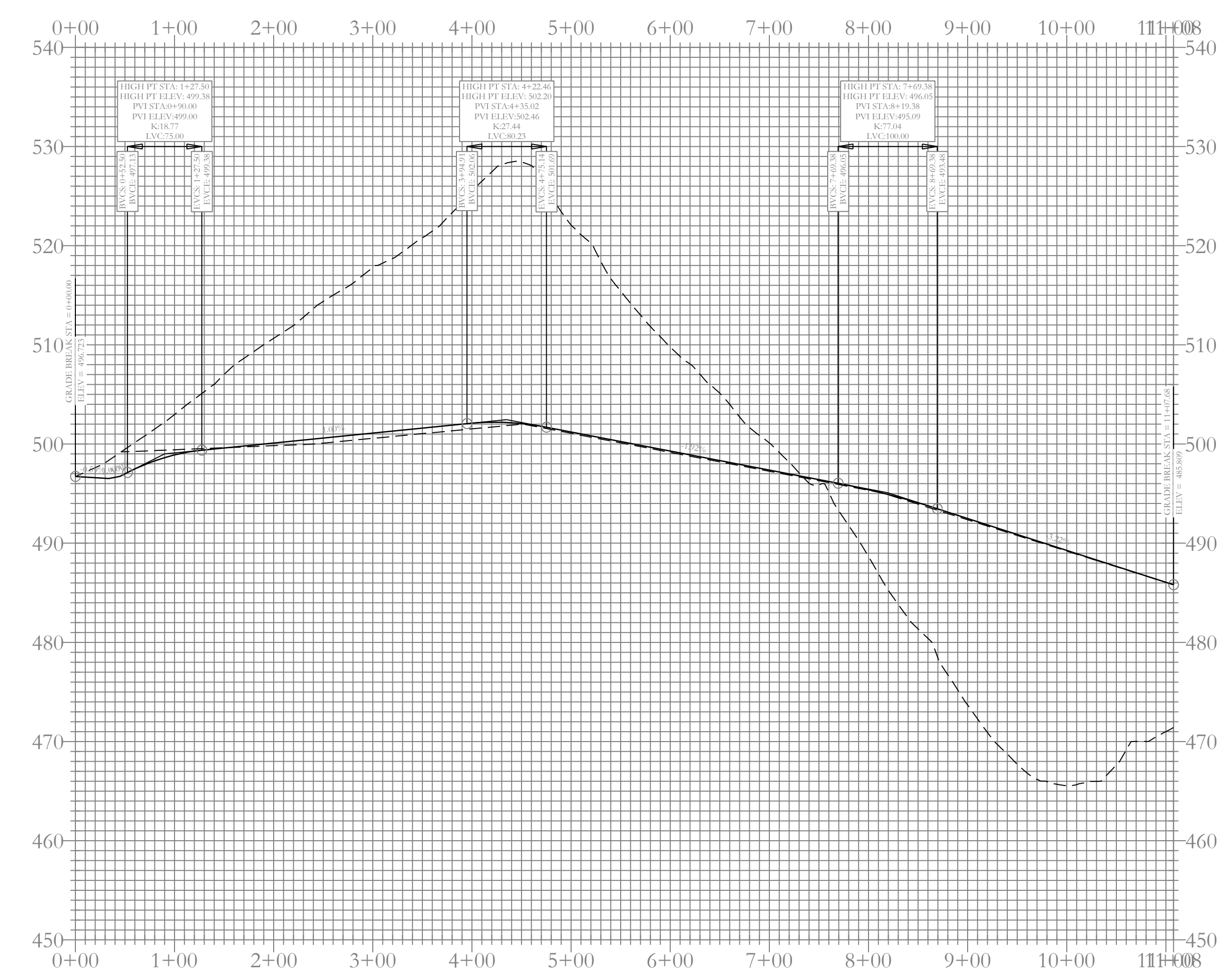
PLANNED UNIT DEVELOPMENT (PUD) HILLTOP MANOR SUBDIVISION
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

DATE: 10/05/2022	C.A.D. BY: BJOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	20-1341
SHEET: 500	SCALE: 1"=100'	
01S	14W	0 09 200 62 1762

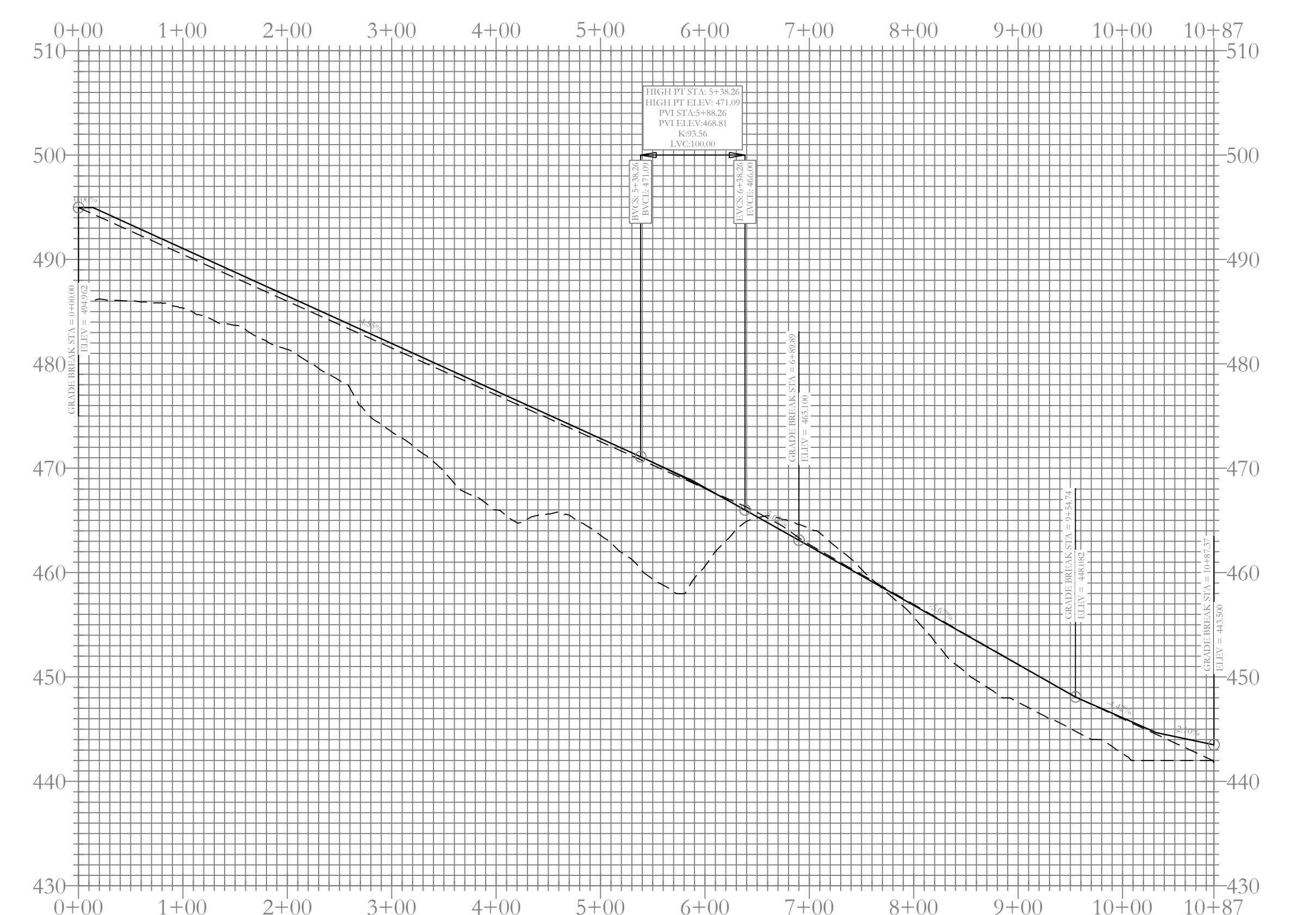
PLANNED UNIT DEVELOPMENT (PUD) HILLTOP MANOR SUBDIVISION
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

- LEGEND**
- Aliquot Corner
 - Found monument
 - ⊙ Set 1/2" Rebar
 - ⊙ Computed point
 - (M) - Measured
 - (P) - Plat/Deed
 - Fence

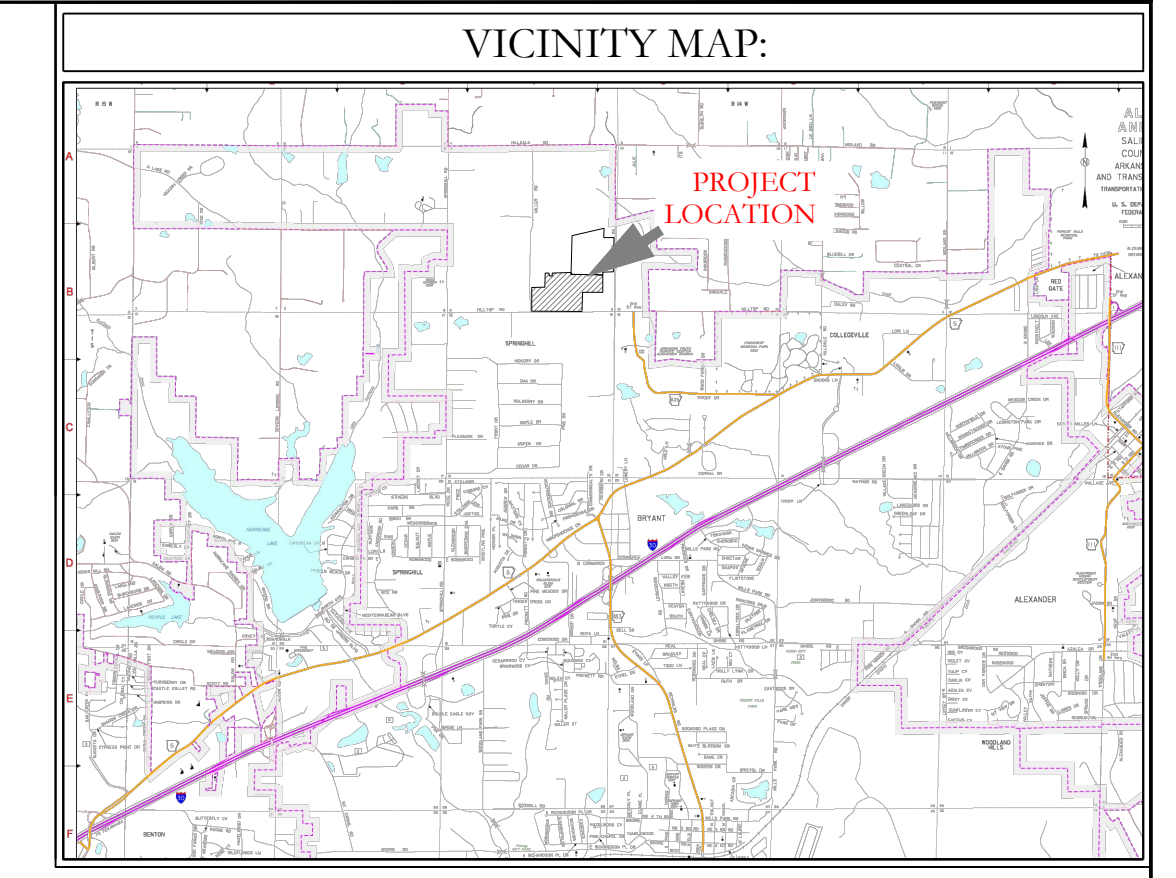
BY JOSEPH EDWARD & PATRICIA LEE
RCEL #840-11626-002



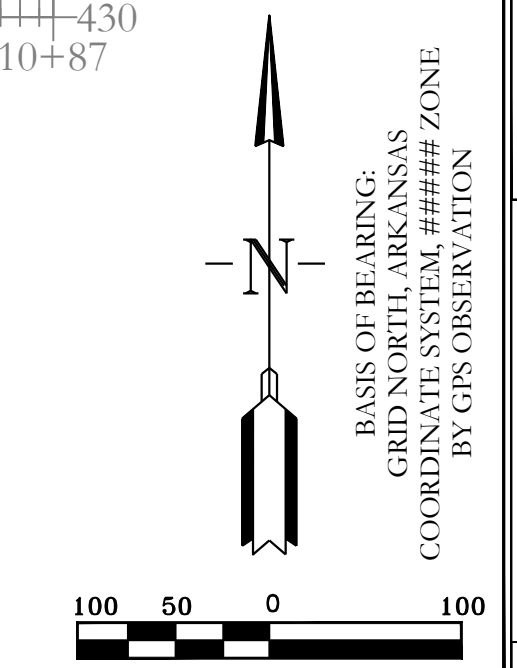
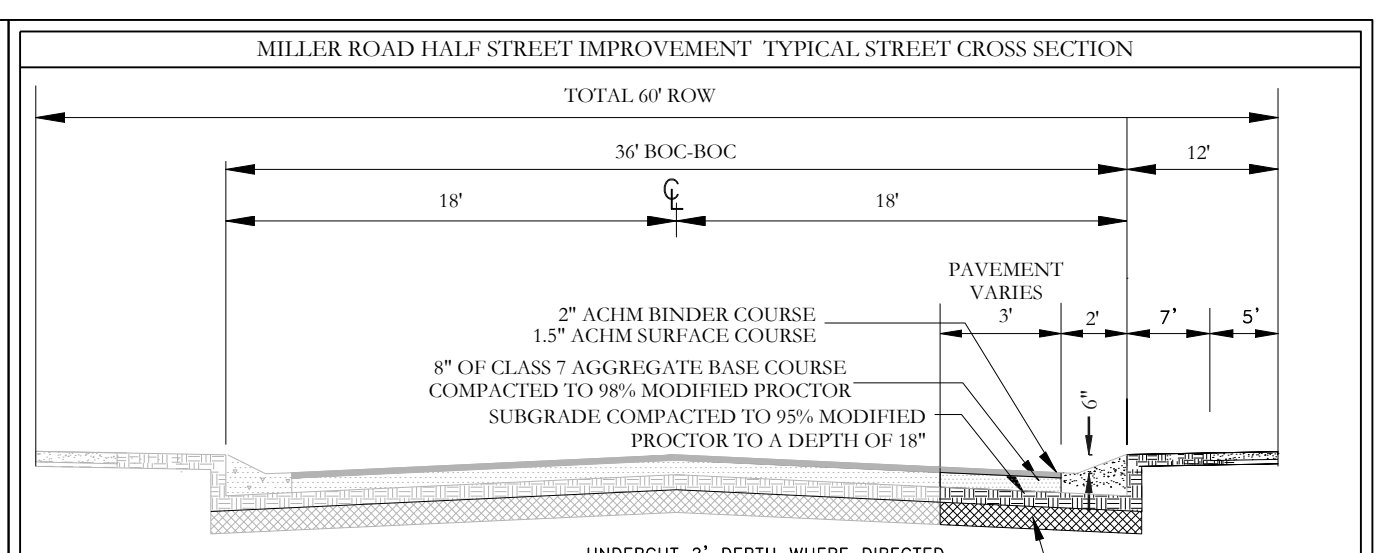
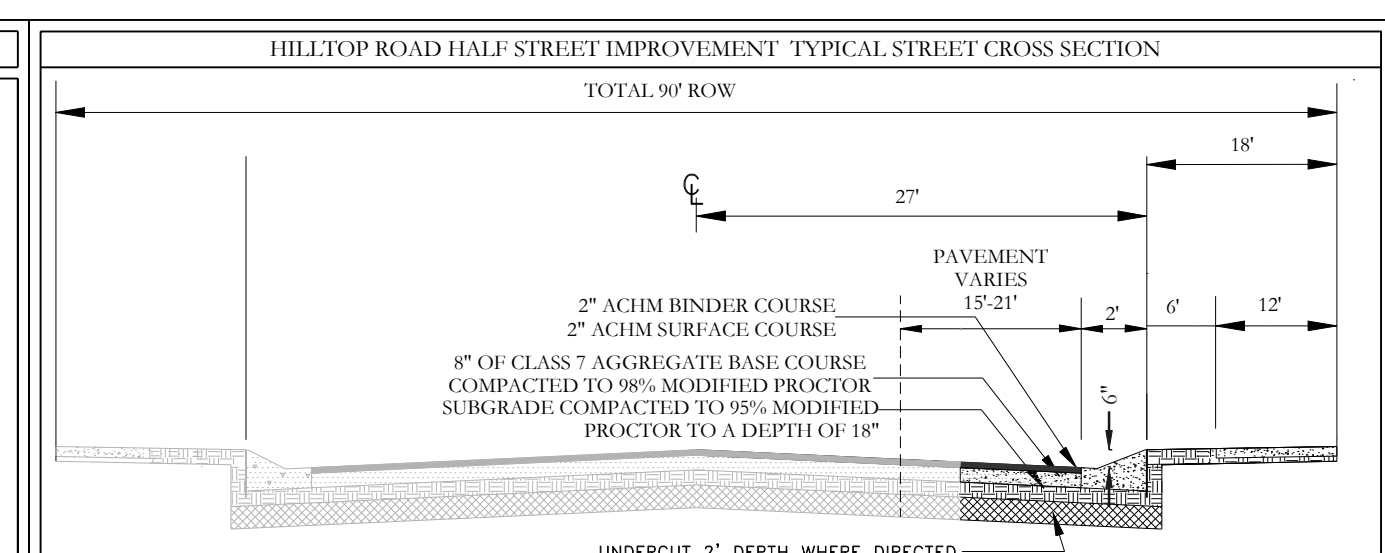
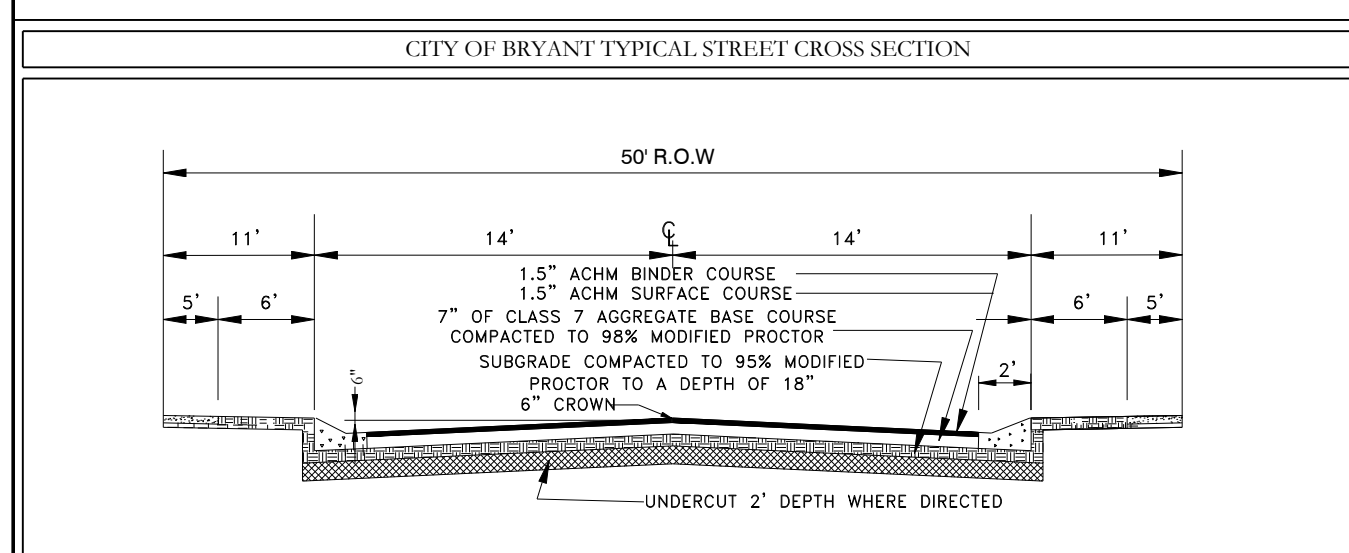
Road Entrance Profile



Road A Profile



--- HDPE
— RCP



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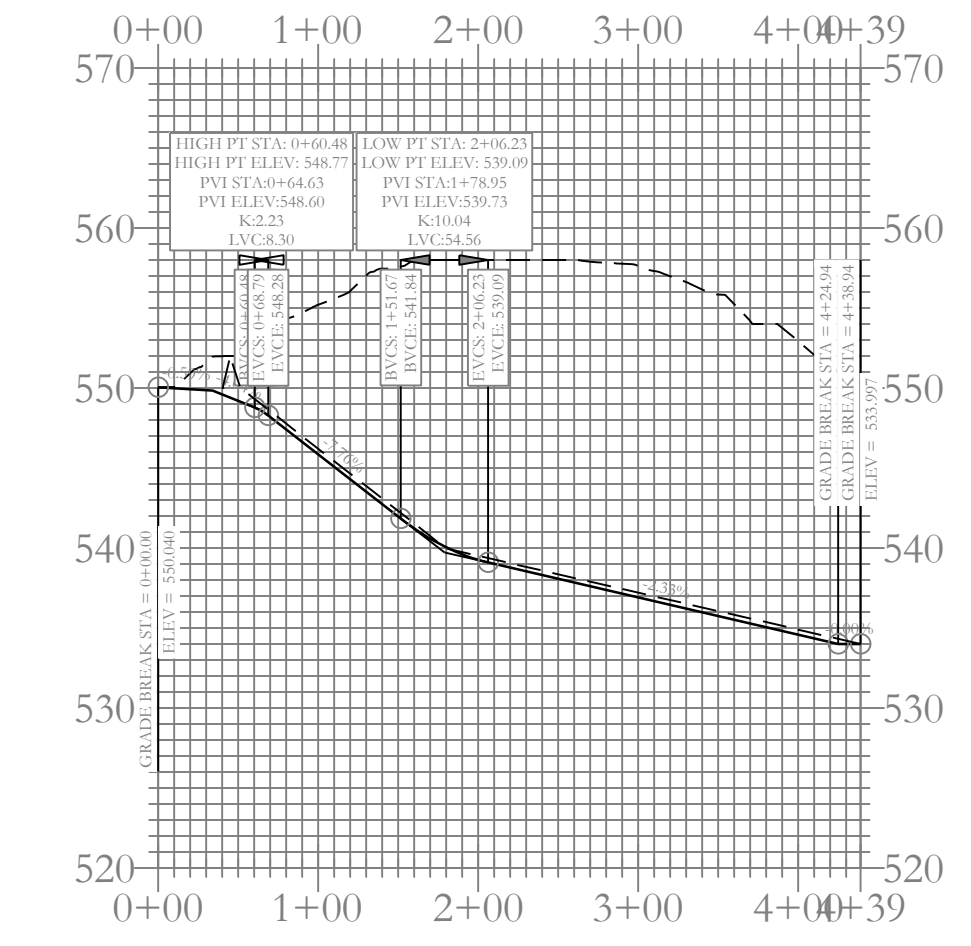
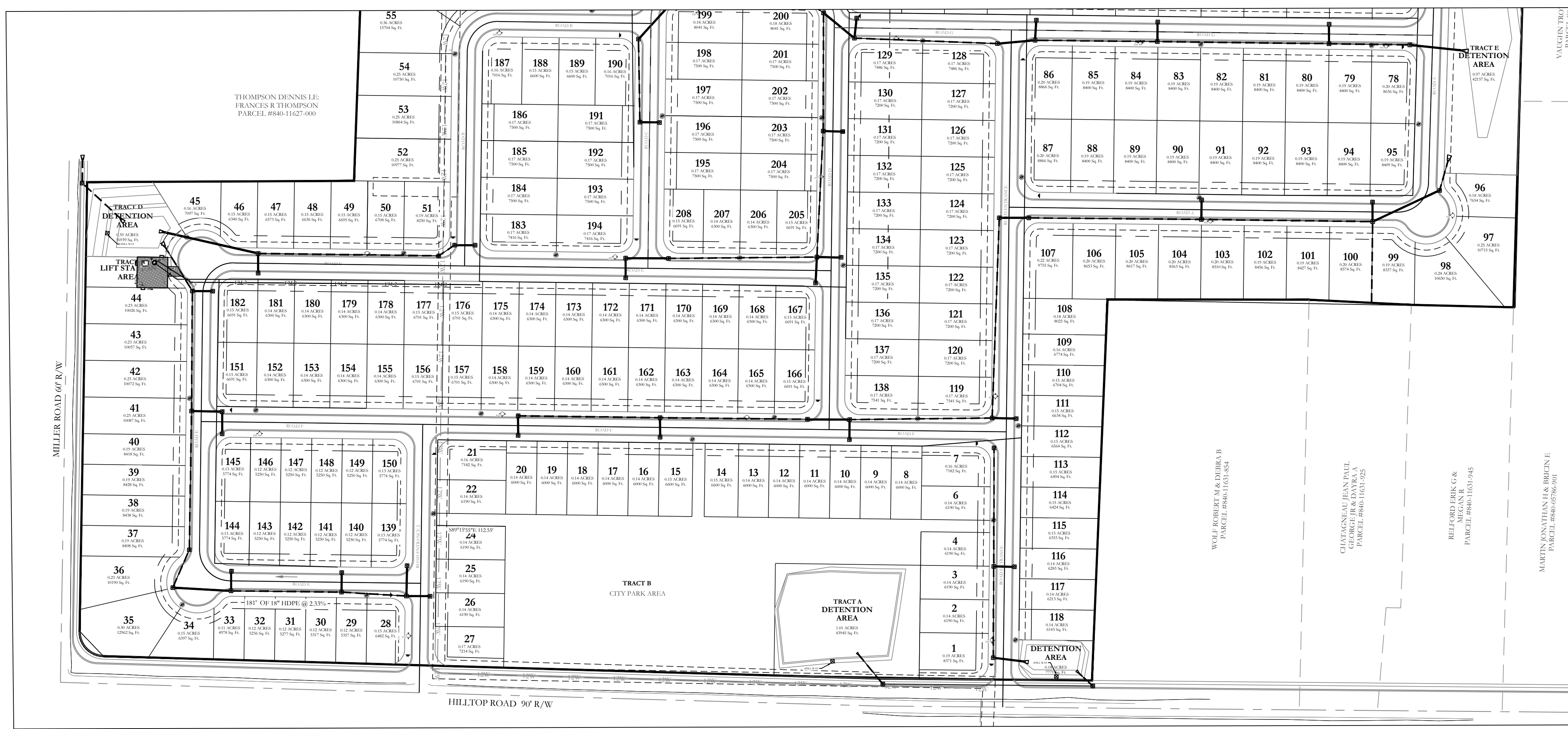
HILLTOP LANDING STREET LAYOUT
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	20-1341
SHEET: C-1.0	SCALE: 1" = 100'	

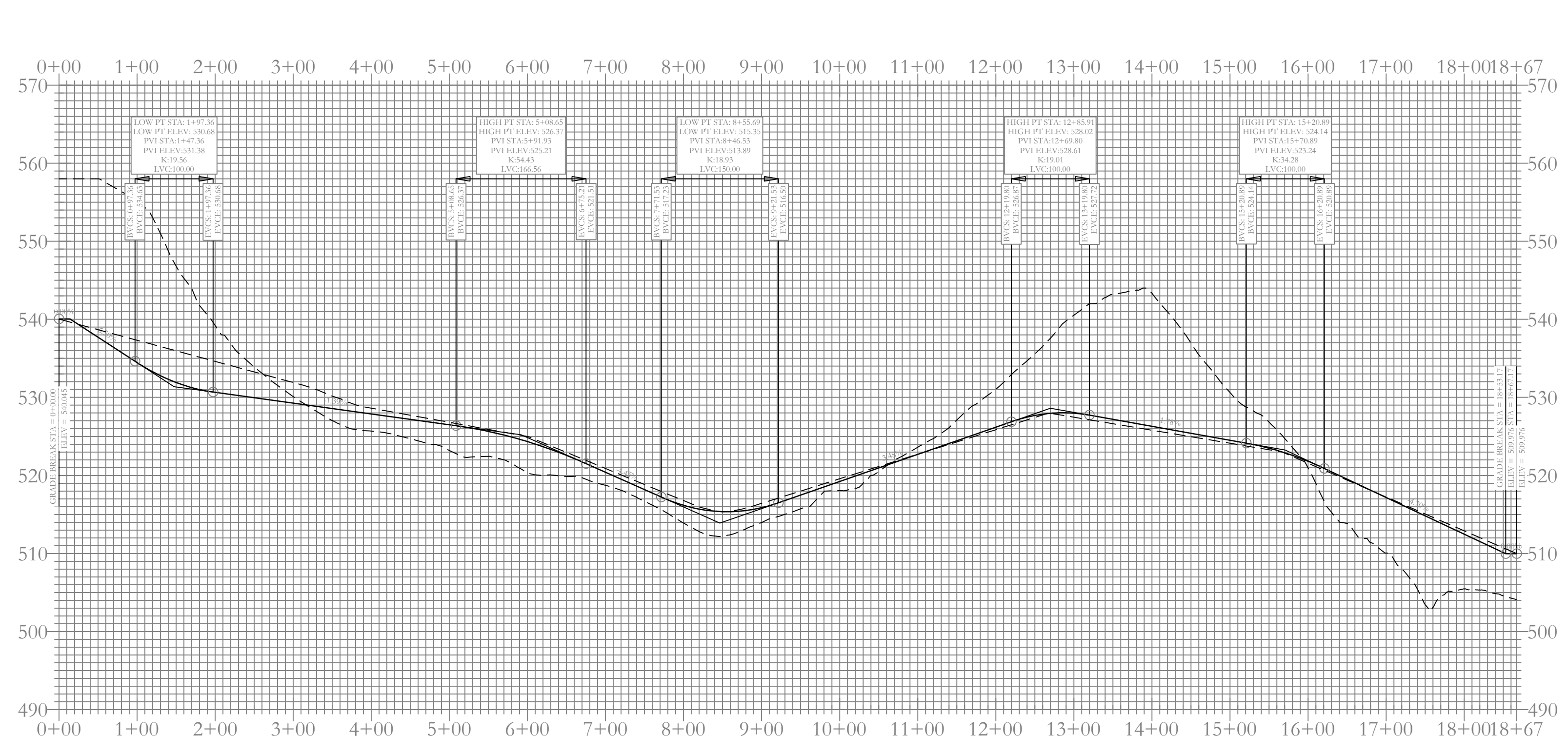
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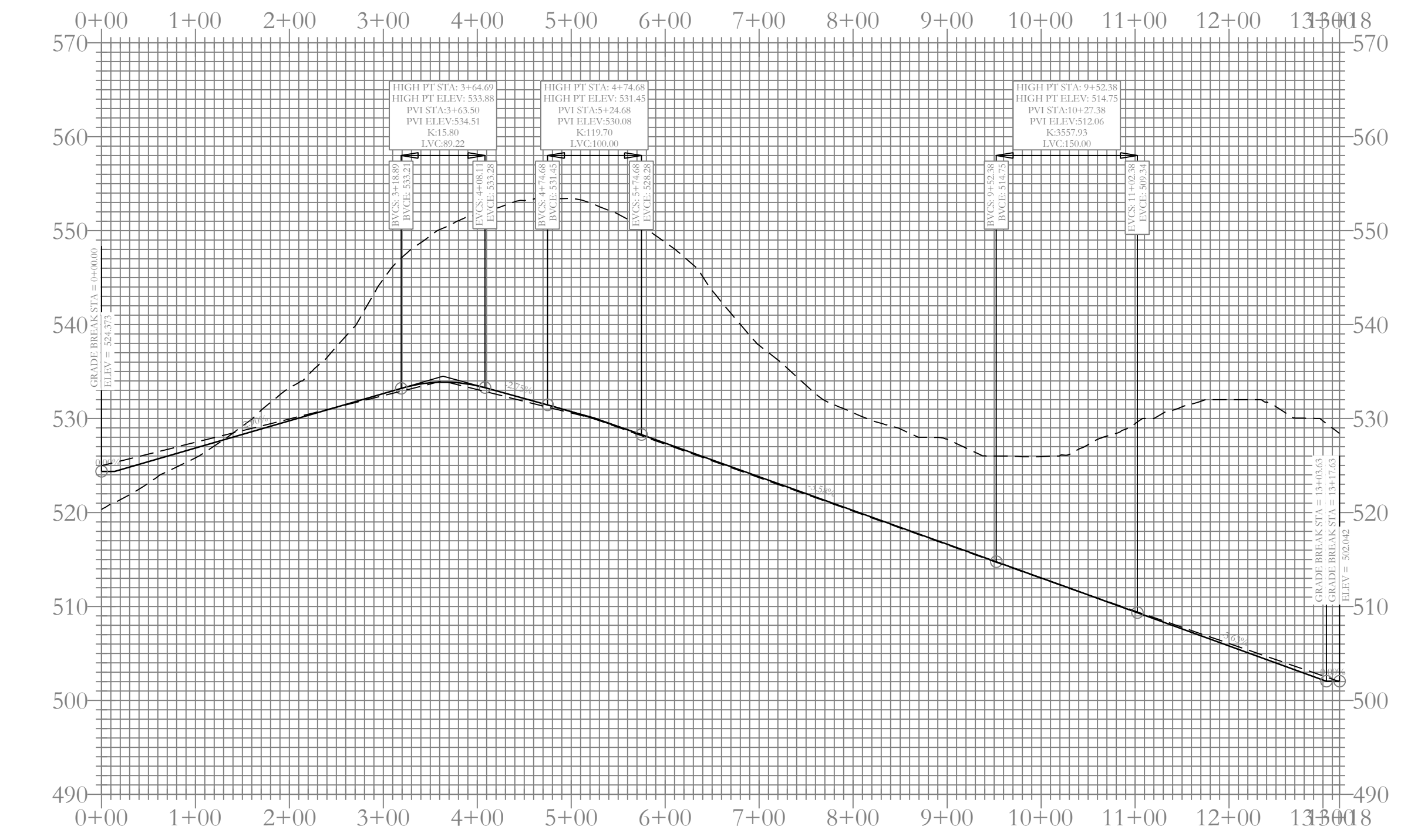




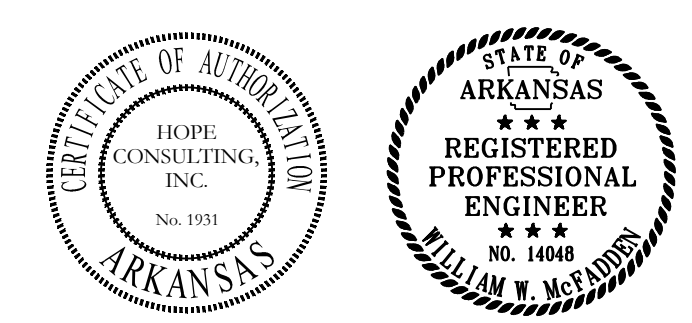
Road Entrance-2 Profile



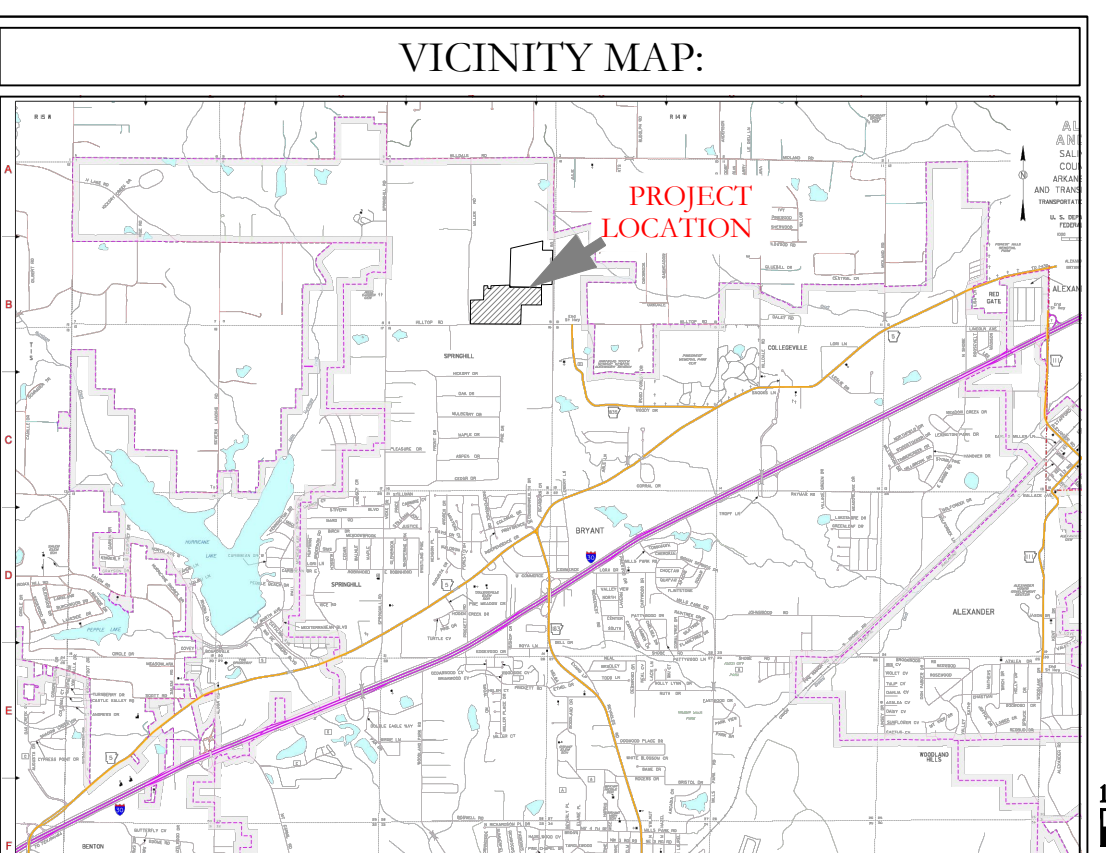
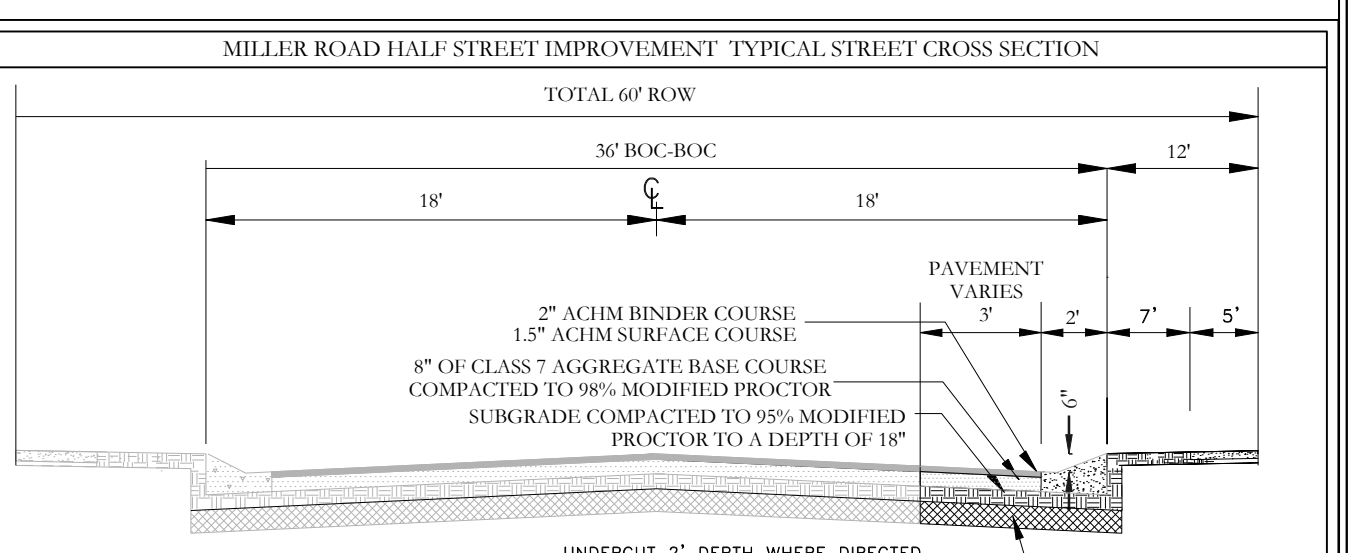
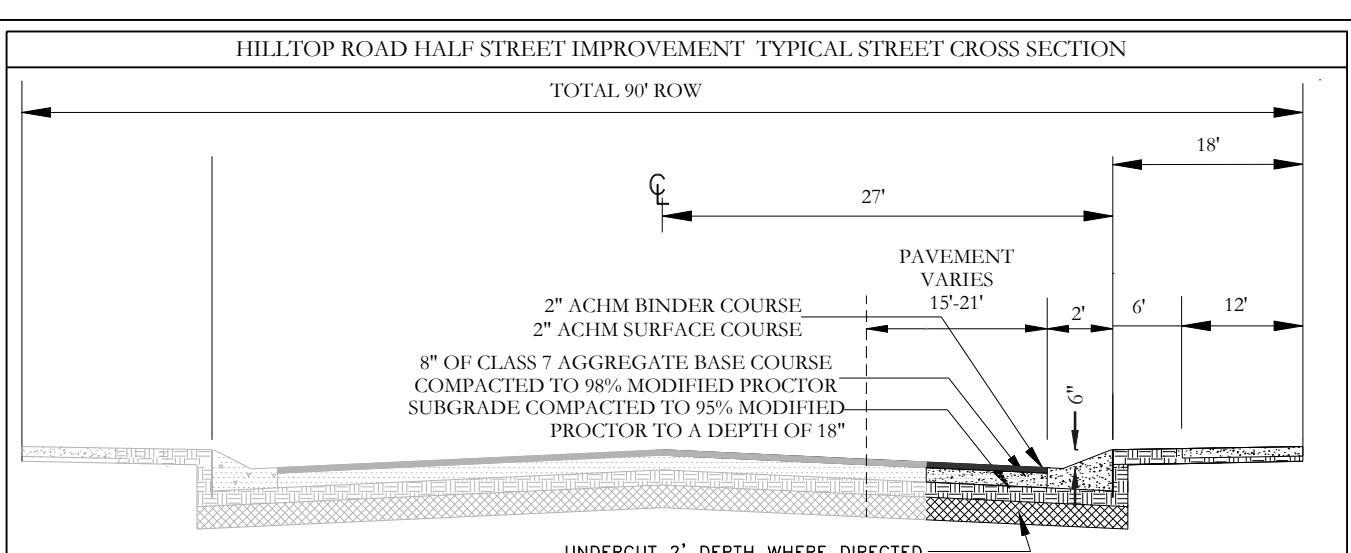
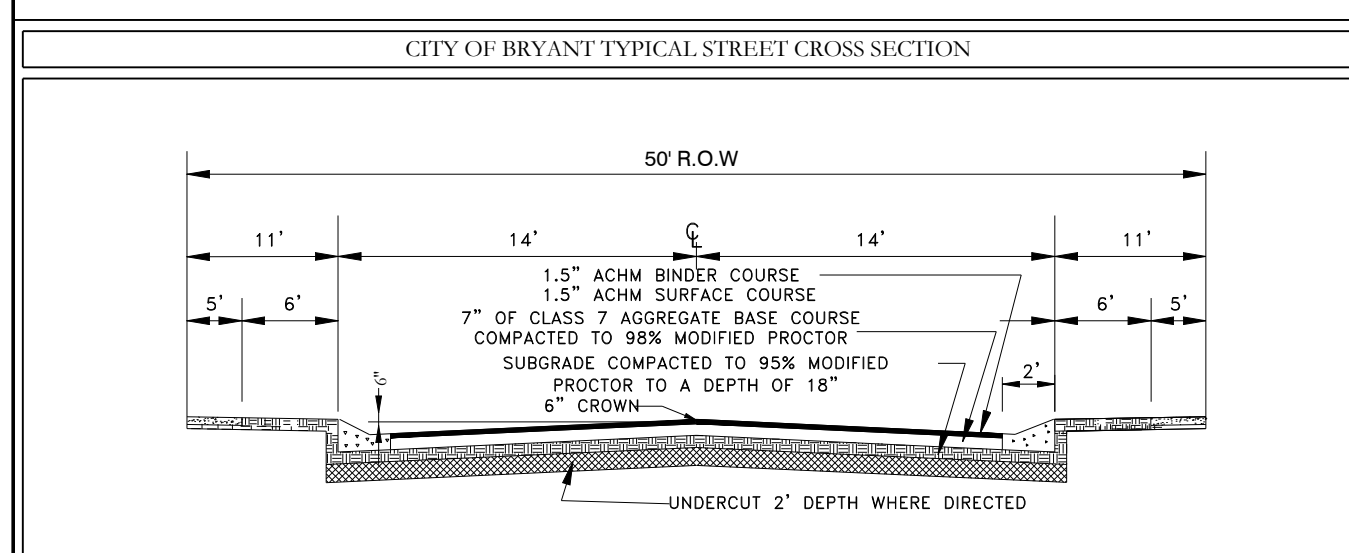
Road E Profile



Road F Profile



--- HDPE
 --- RCP



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HILLTOP LANDING STREET LAYOUT
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

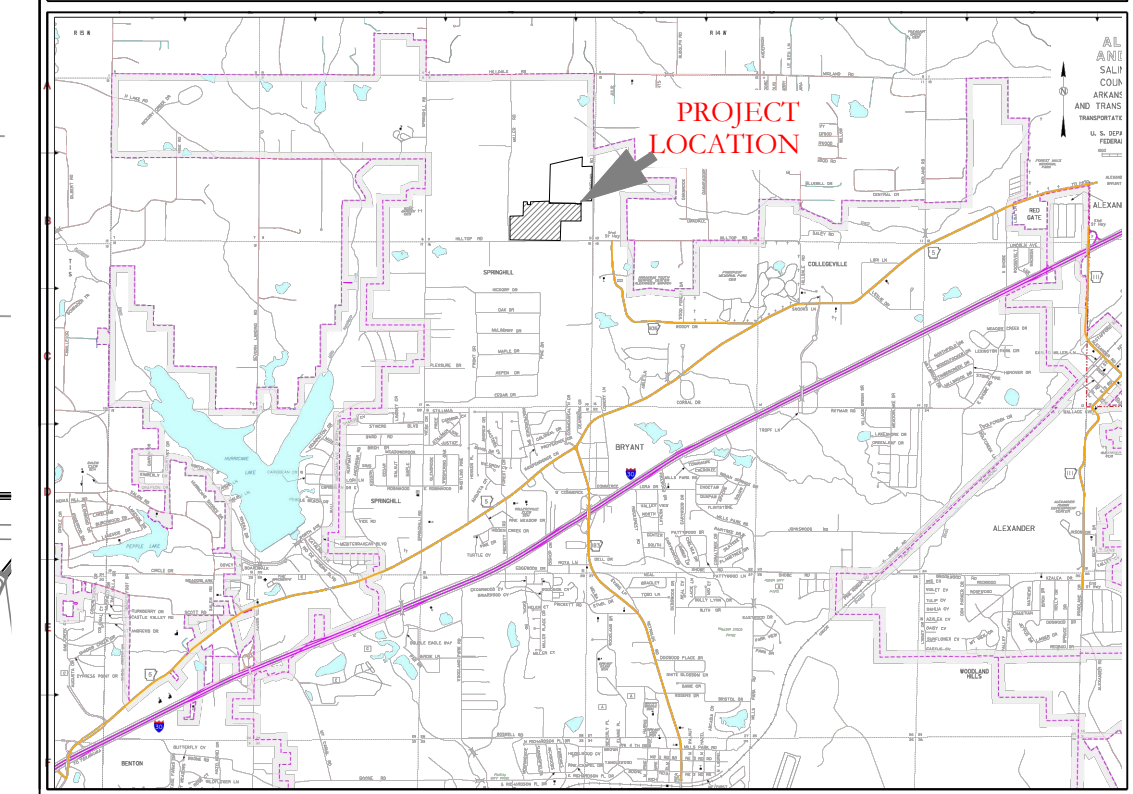
DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	20-1341
SHEET: C-1.2	SCALE: 1" = 120'	

500 01S 14W 0 09 200 62 1762

PATRICIA LEE
PARCEL #840-11626-002

LOMBARD HEIGHTS

VICINITY MAP:

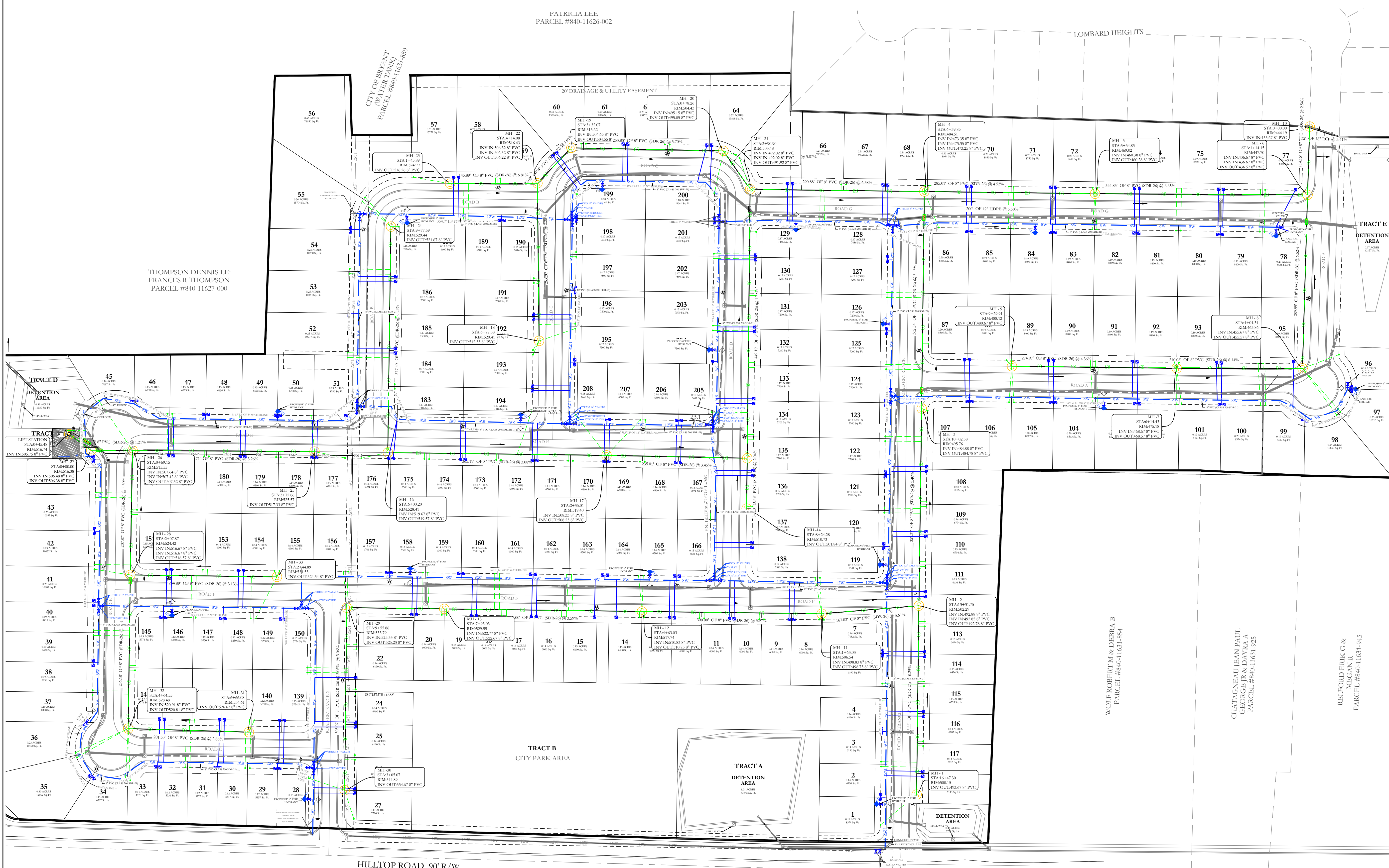


SEWER CONSTRUCTION NOTES:

- ALL SEWER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BRYANT UTILITIES' MASTER SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER AND SEWER UTILITIES' 2015 EDITION.
- USE SDR-26 PVC SEWER PIPE EXCEPT WHERE INDICATED OTHERWISE ON THE PLANS OR WHERE DUCTILE IRON PIPE IS REQUIRED FOR COVER.
- USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVER CANNOT BE MAINTAINED, OR AS INDICATED.
- ALL LONG-SIDE SEWER SERVICES SHALL BE SCHEDULE 40 OR SDR 21 PIPE.
- FINISH GRADE HEIGHT ON MANHOLES NEED TO BE 4-6 INCHES ABOVE CURB LINE.
- ALL MANHOLES WILL BE XYPEX.
- THE LIFT STATION PROPERTY MUST BE DEED TO THE CITY OF BRYANT.
- STATION MUST BE SET UP THROUGH JACK TYLER.
- INSTEAD OF FLOATS, THERE WILL NEED TO BE PROBES.
- SAFETY LIGHT MUST BE INSTALLED (NO WOOD).
- EVERYTHING IN WET WELL MUST BE STAINLESS STEEL INCLUDING CHAINS.
- ALL LIFT STATIONS MUST HAVE WOVEN MONOFILAMENT GEOTEXTILE MATERIAL COVERING THE WHOLE PROPERTY OF THE LIFT STATION WITH THE GRAVEL ON TOP TO CONTROL WEEDS AND GRASS CAUSING PROBLEMS IN THE DRIVE TO THE LIFT STATION AND THE GATED AREA OF THE LIFT STATION.
- LIFT STATION MUST HAVE A ROLLING GATE, OR GATES THAT SWING OUT FOR OUR JET VAC/ PUMP TRUCK TO GET INTO.
- ALL PANELS MUST HAVE THE ROOF COVER AND MUST BE STEEL FRAME AND PANEL ROOF DESIGN COVERING 5 FEET ON ALL SIDES OF THE PANELS.
- AT STORM DRAIN CROSSING OR ANY DRAINAGE DITCHES CROSSING, THE SEWER INFRASTRUCTURE WILL NEED TO BE STEEL ENCASED, FIVE FEET ON EITHER SIDE.
- NO STEPS IN MANHOLES.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.
- ELECTRICAL CONDUIT COMING OUT OF THE CONTROL BOX WILL NEED TO BE 3" CONDUIT SHOULD BE PLUGGED WITH PUTTY NOT SPRAY IN FOAM TO RESTRICT GASES FROM ENTERING THE CONTROL BOX THAT CAUSES CORROSION.
- THE LIFT STATION ROOF NEEDS TO BE METAL OR OTHER MATERIAL, NOT WOOD, ALSO THE LIGHT POLE CAN NOT BE WOOD.
- RPZ WILL NEED TO BE IN A WEATHERPROOF BOX.

WATER CONSTRUCTION NOTES:

- ALL WATER CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BRYANT UTILITIES' MASTER SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER AND SEWER UTILITIES' 2015 EDITION.
- LONG-SIDE WATER SERVICE LINES SHALL BE ENCASED, INCLUDING THE LINES BENEATH THE CUL-DE-SAC.
- ALL SERVICE CROSSINGS SHALL BE 1" DRISCO SERVICE LINE ENCASED IN A 2" PVC SLEEVE.
- ALL WATER MAIN FITTINGS SHALL BE MEGALUG BRAND MECHANICAL JOINT FITTINGS.



THOMPSON DENNIS LE:
FRANCES R THOMPSON
PARCEL #840-11627-000

TRACT B
CITY PARK AREA

TRACT A
DETENTION AREA

WOLF ROBERT M & DEBRA B
PARCEL #840-11631-854

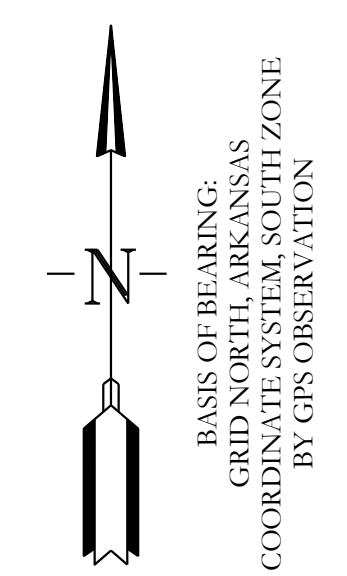
CHATAGNEAU JEAN PAUL
GEORGE JR & DAYNA
PARCEL #840-11631-925

REIFORD ERIC G &
MEGAN R
PARCEL #840-11631-945

HILLTOP ROAD 90' R/W

--- HDPE
--- RCP

SUBDIVISION UTILITY PLAN



WATER LEGEND:

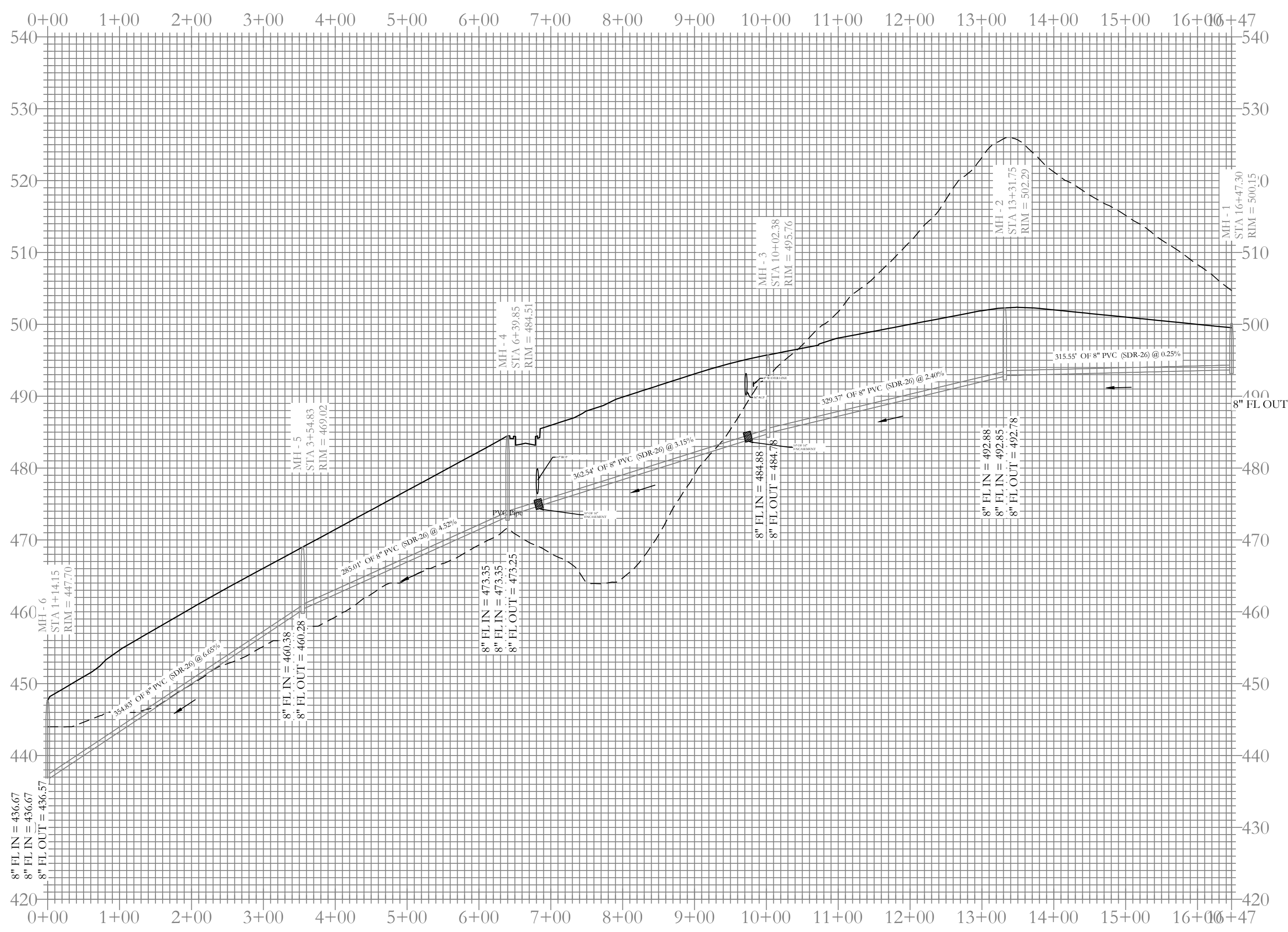
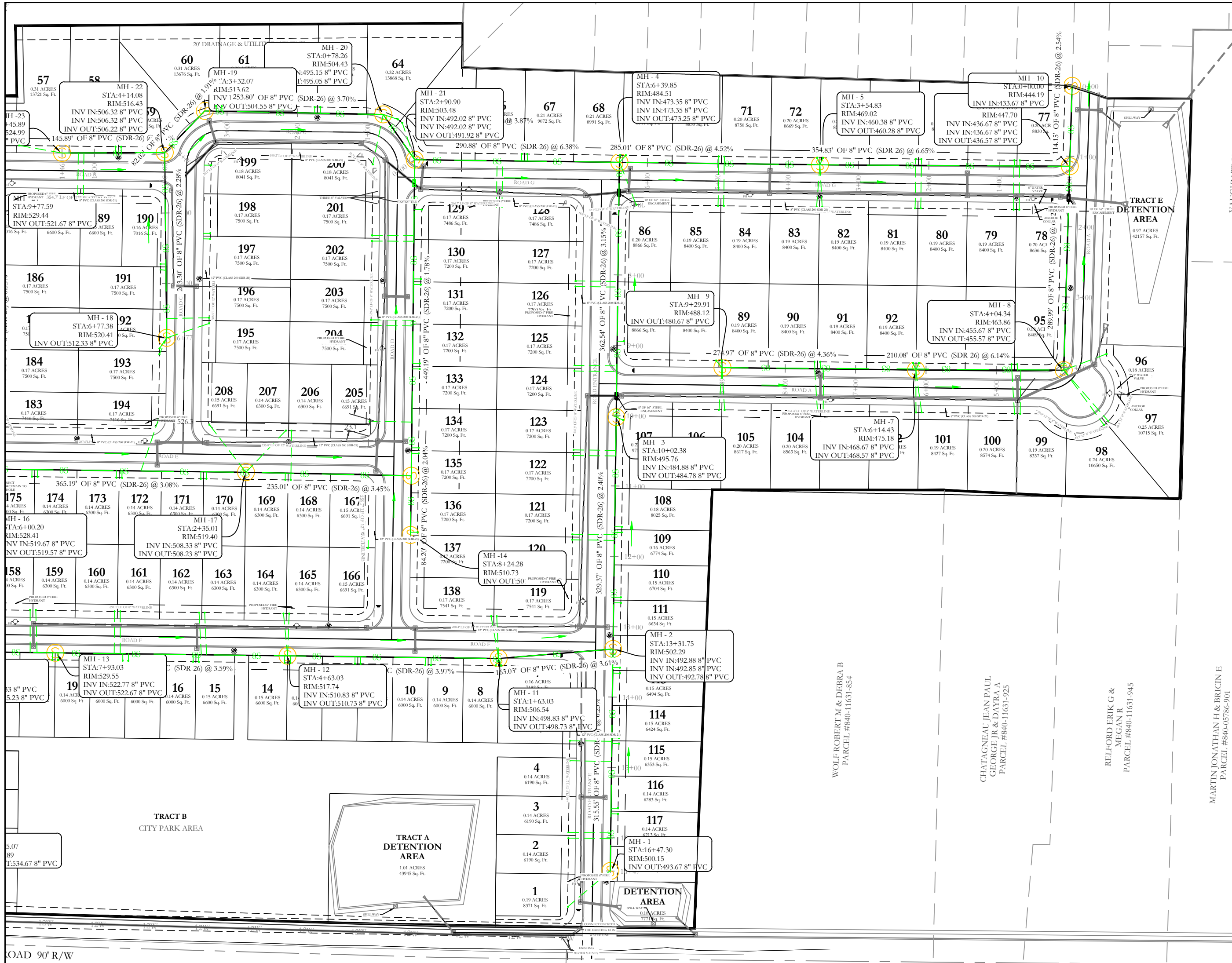
	DUAL WATER METERS
	SINGLE WATER METER
	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

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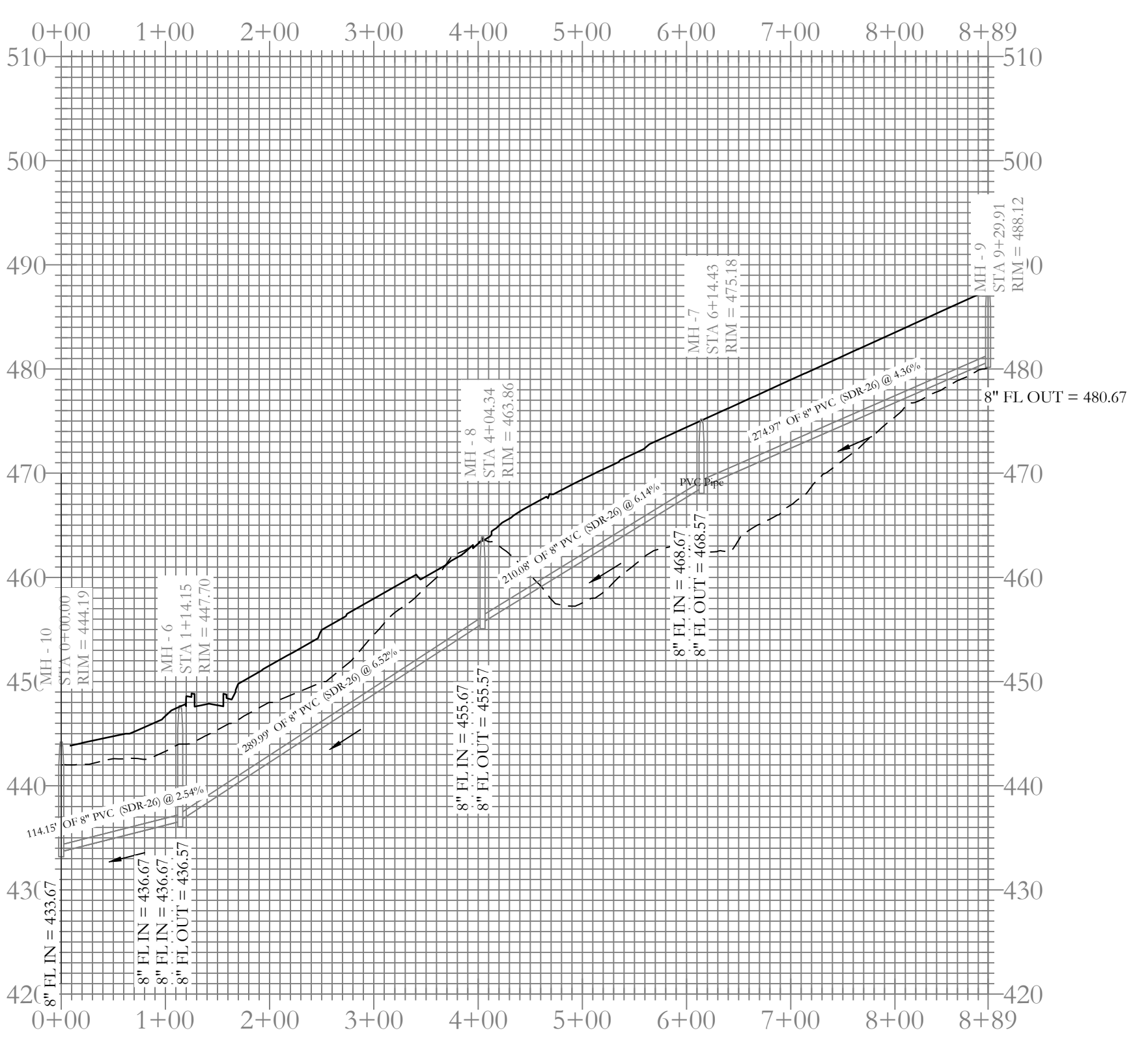
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HILLTOP LANDING UTILITY PLAN			
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:	
REVISIONS:	CHECKED BY:	20-1341	
SHEET: C-20	SCALE: 1" = 80'	500	01S 14W 0 09 200 62 1762

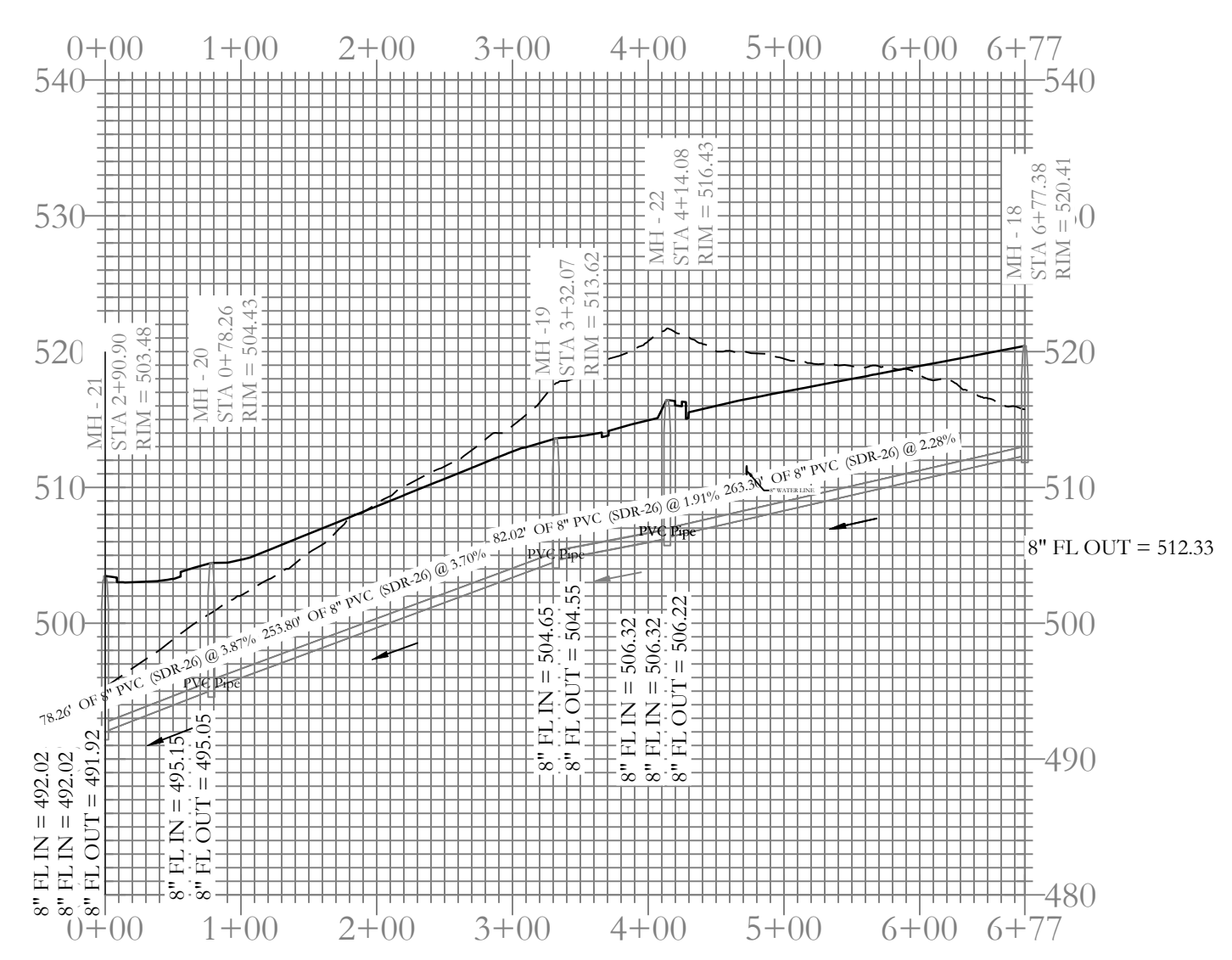
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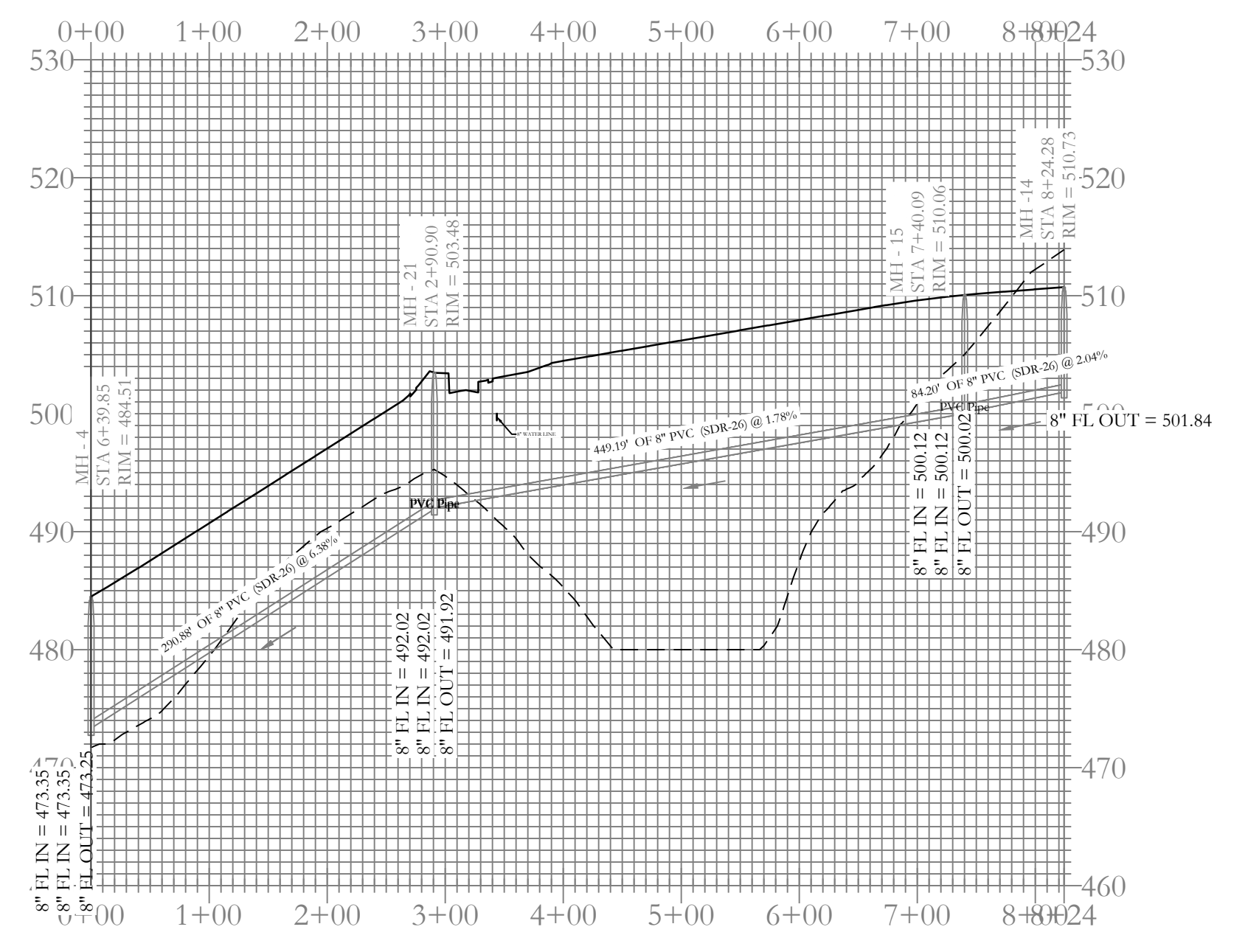
Sewer Entrance Profile



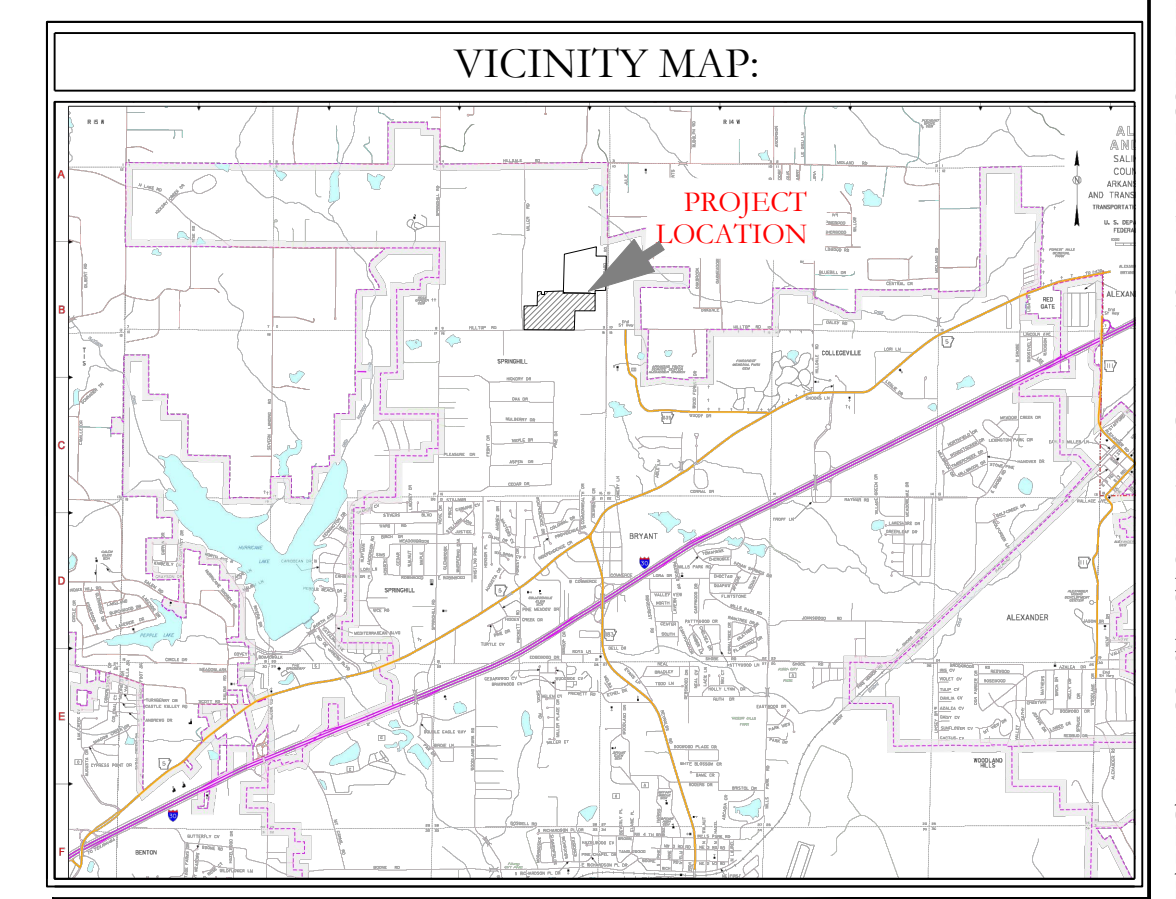
Sewer A Profile



Sewer C Profile



Sewer D Profile



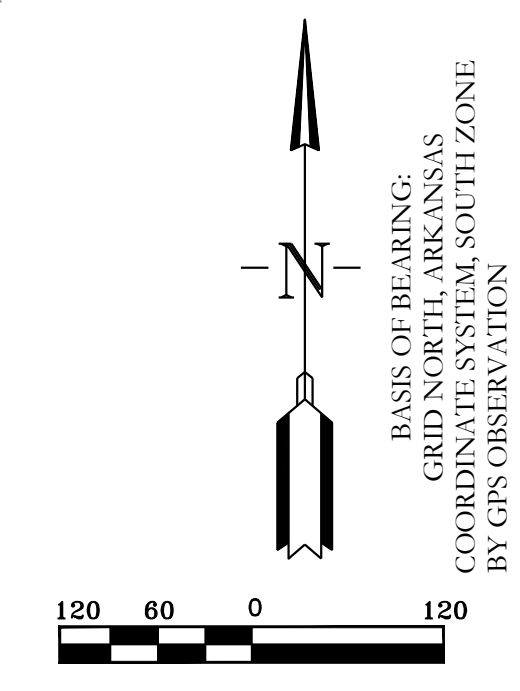
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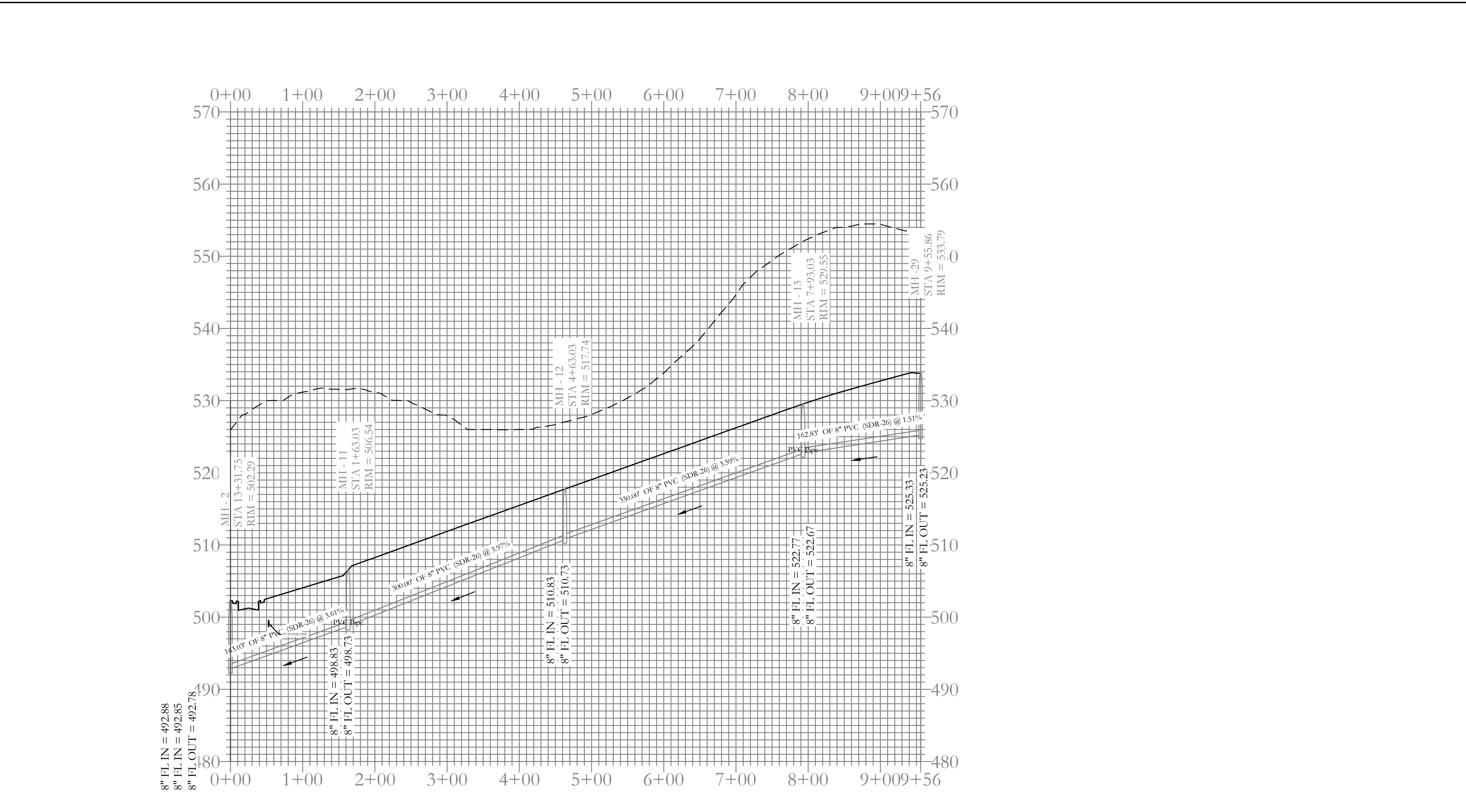
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HILLTOP LANDING
SEWER PLAN AND PROFILE
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

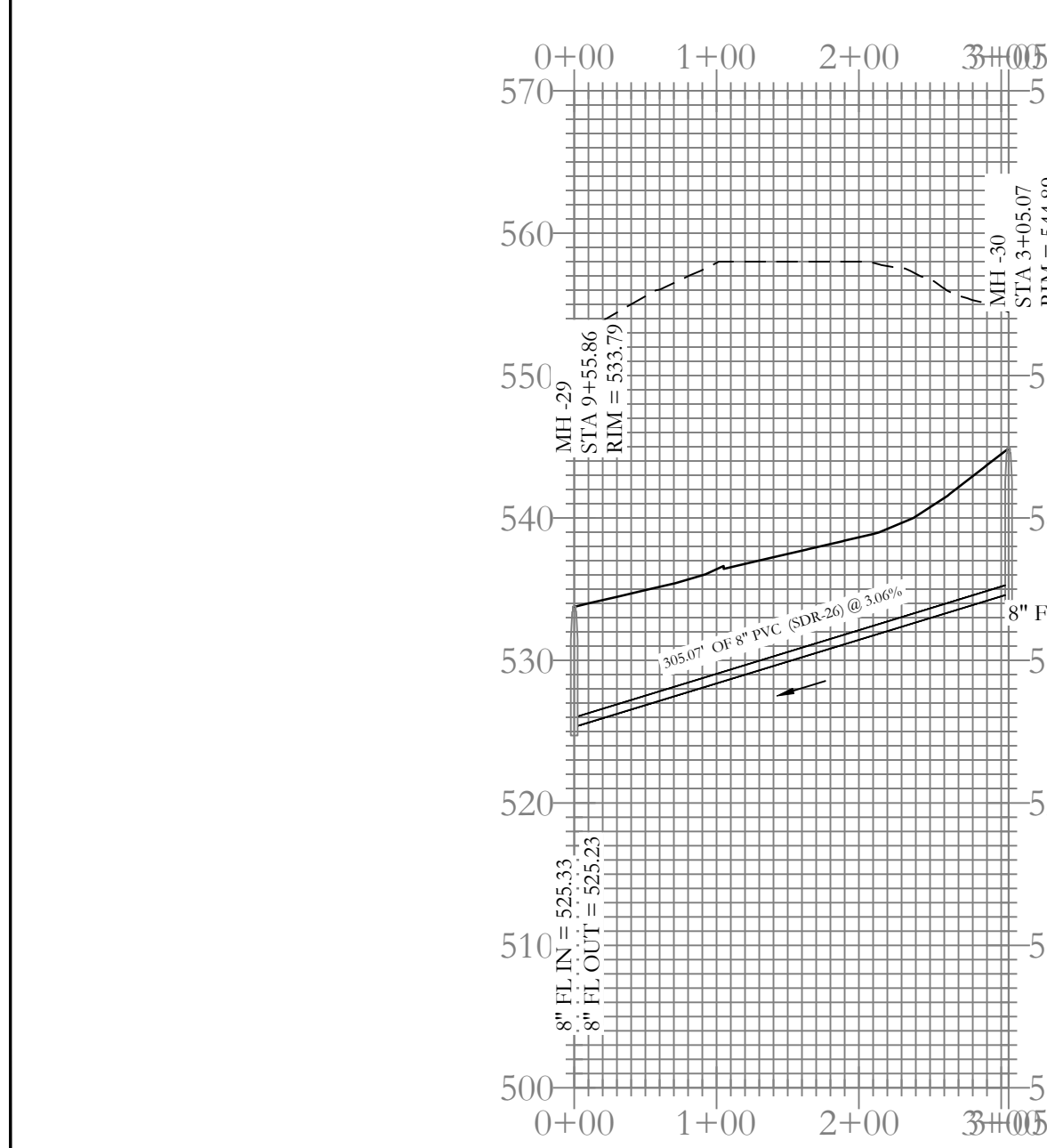
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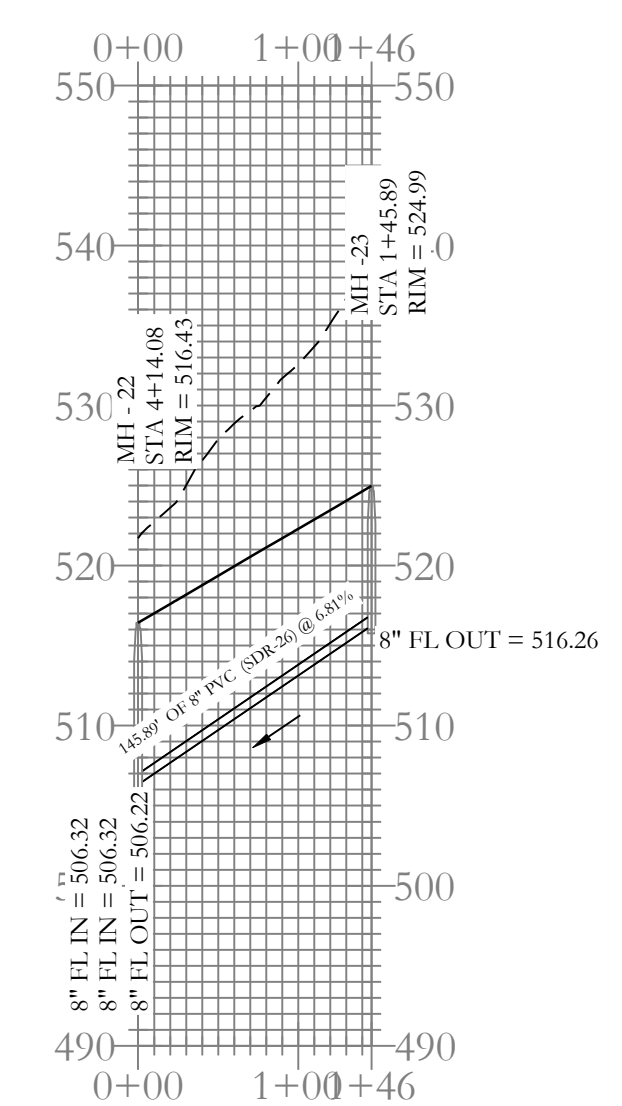
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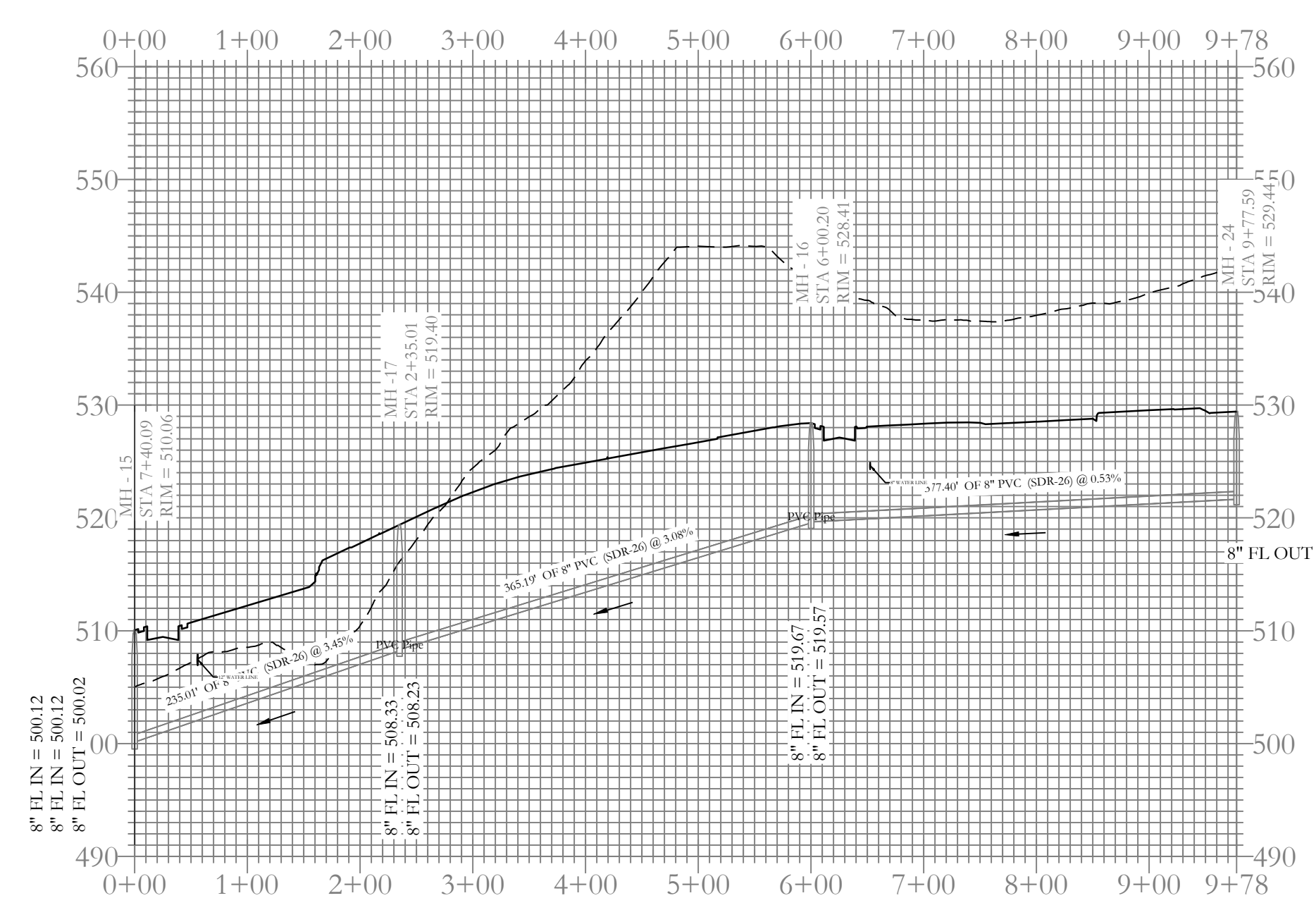
Sewer F-1 Profile



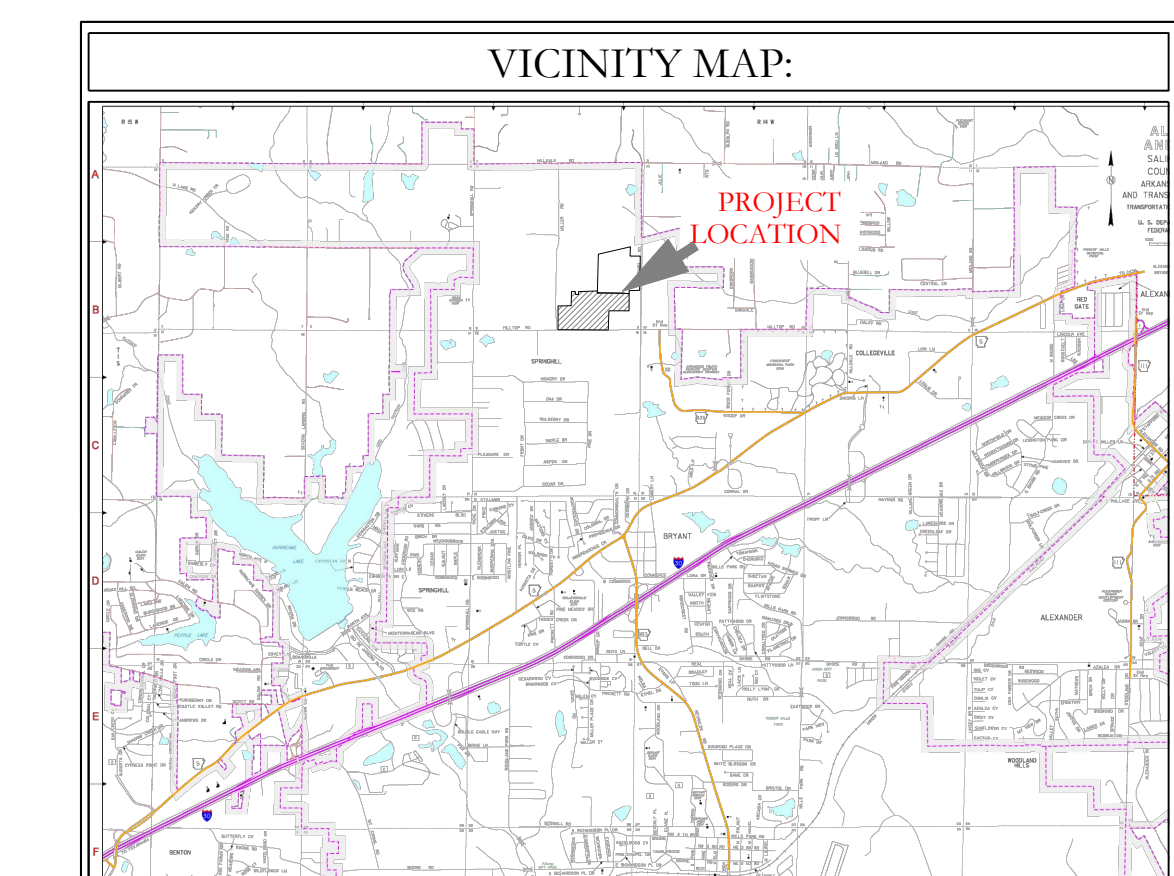
Sewer Entrance-2 Profile



Sewer B-1 Profile



Sewer B-2 Profile



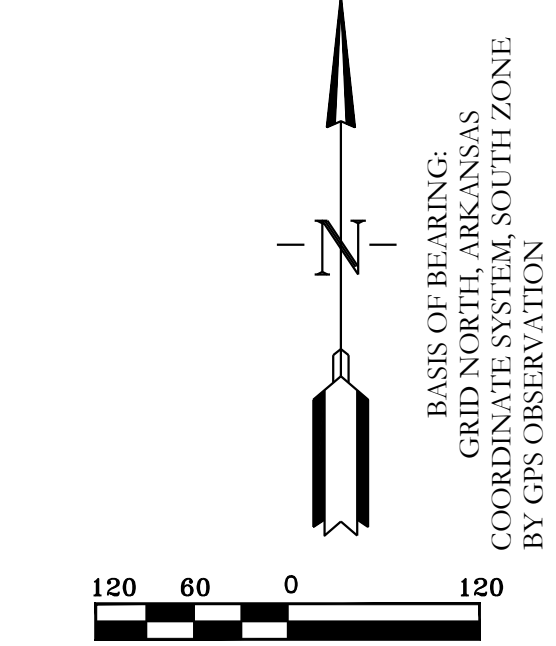
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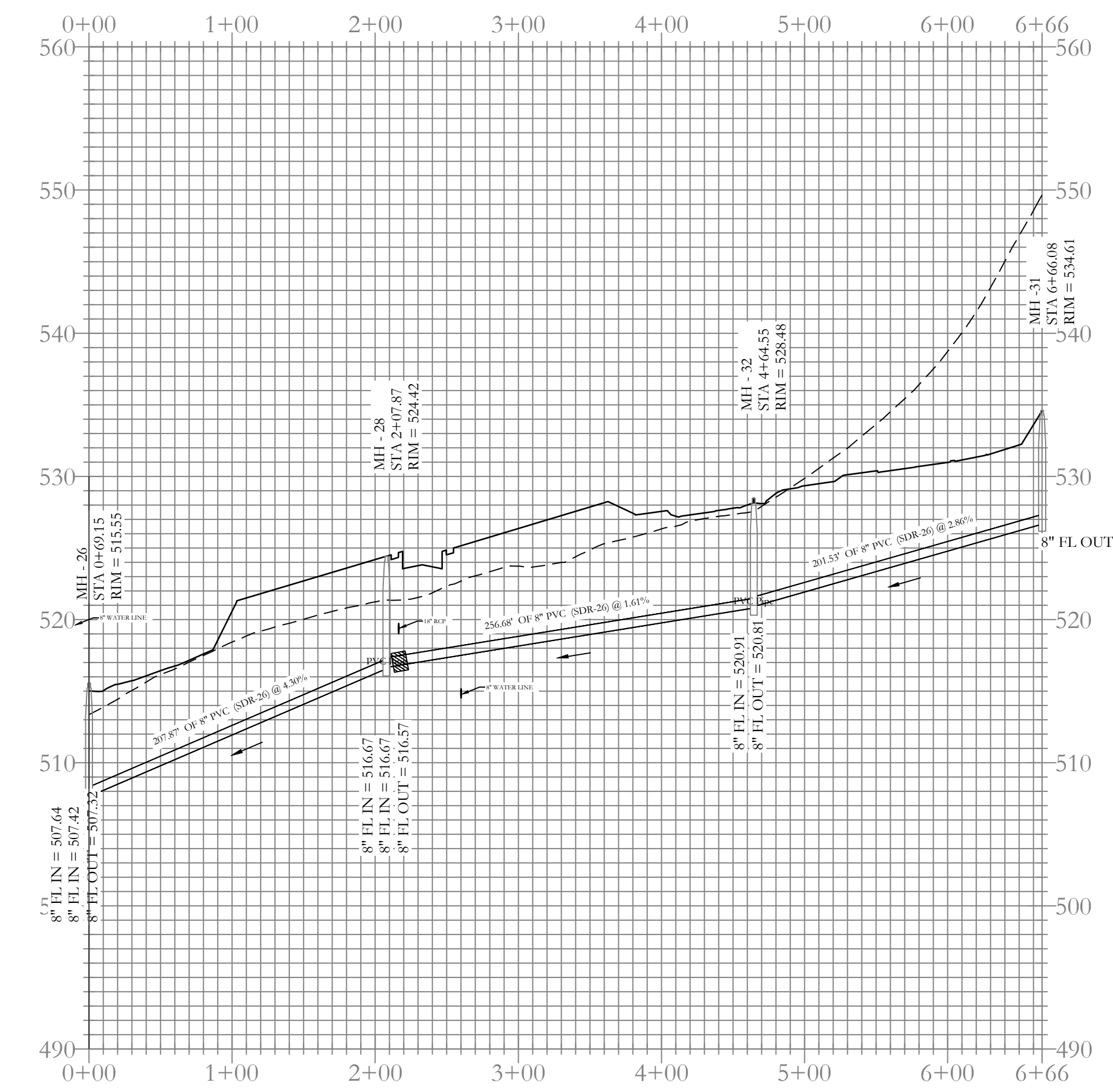
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HILLTOP LANDING
SEWER PLAN AND PROFILE
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

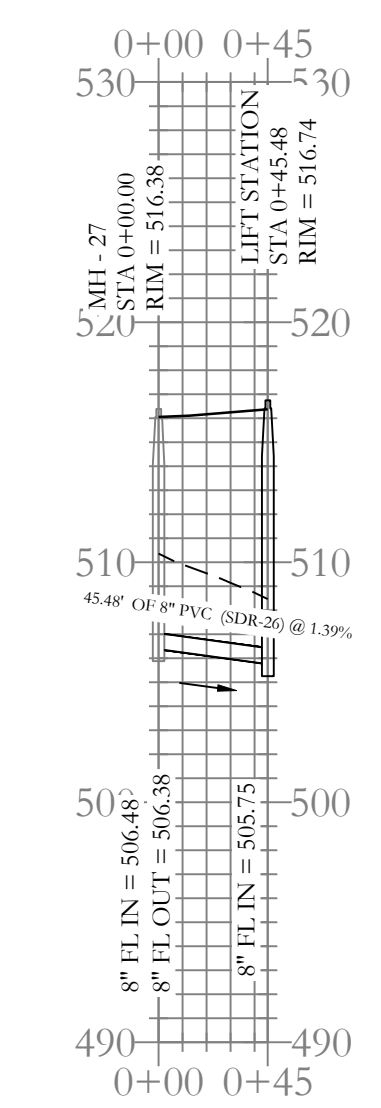
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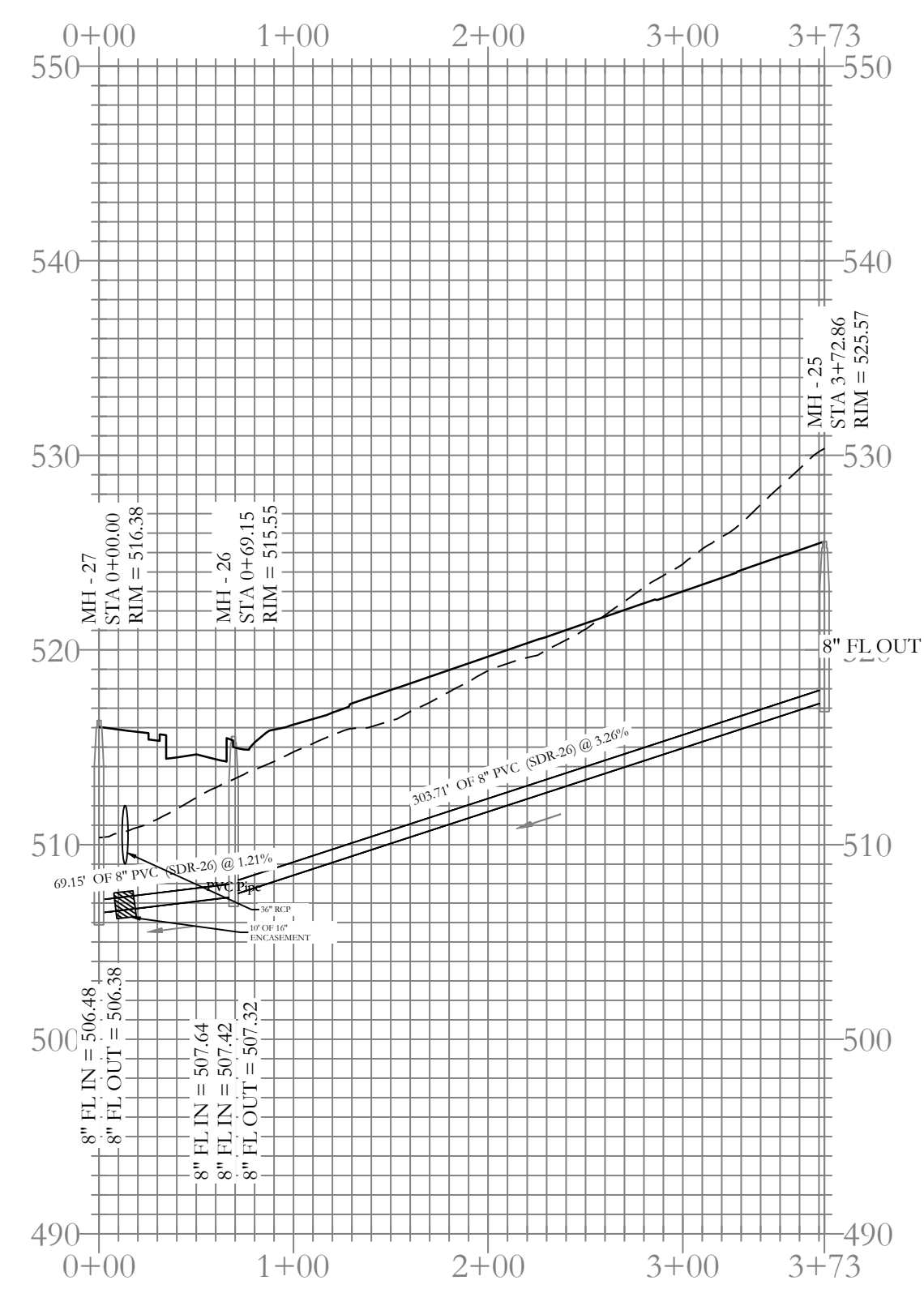
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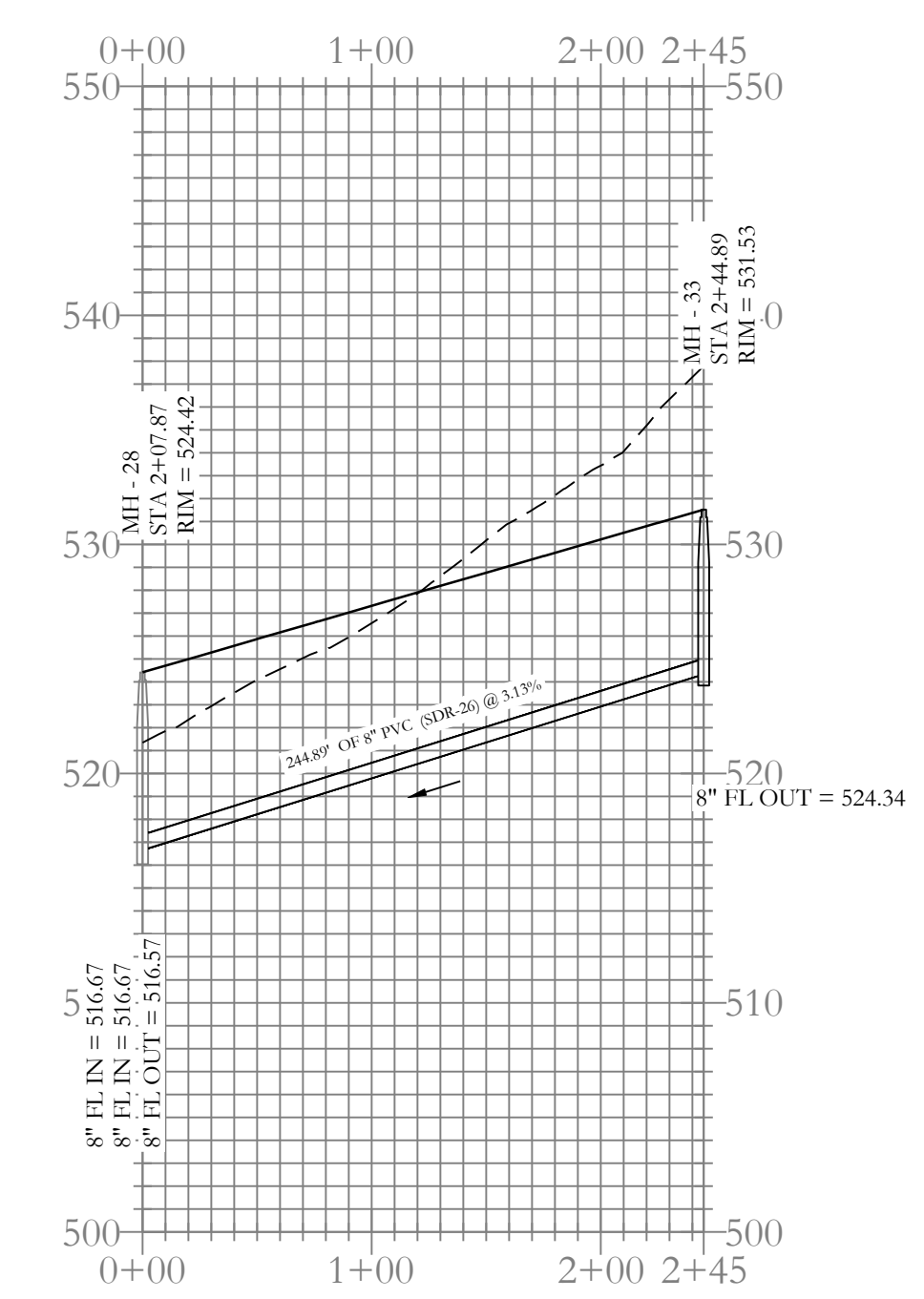
Sewer E-1 Profile



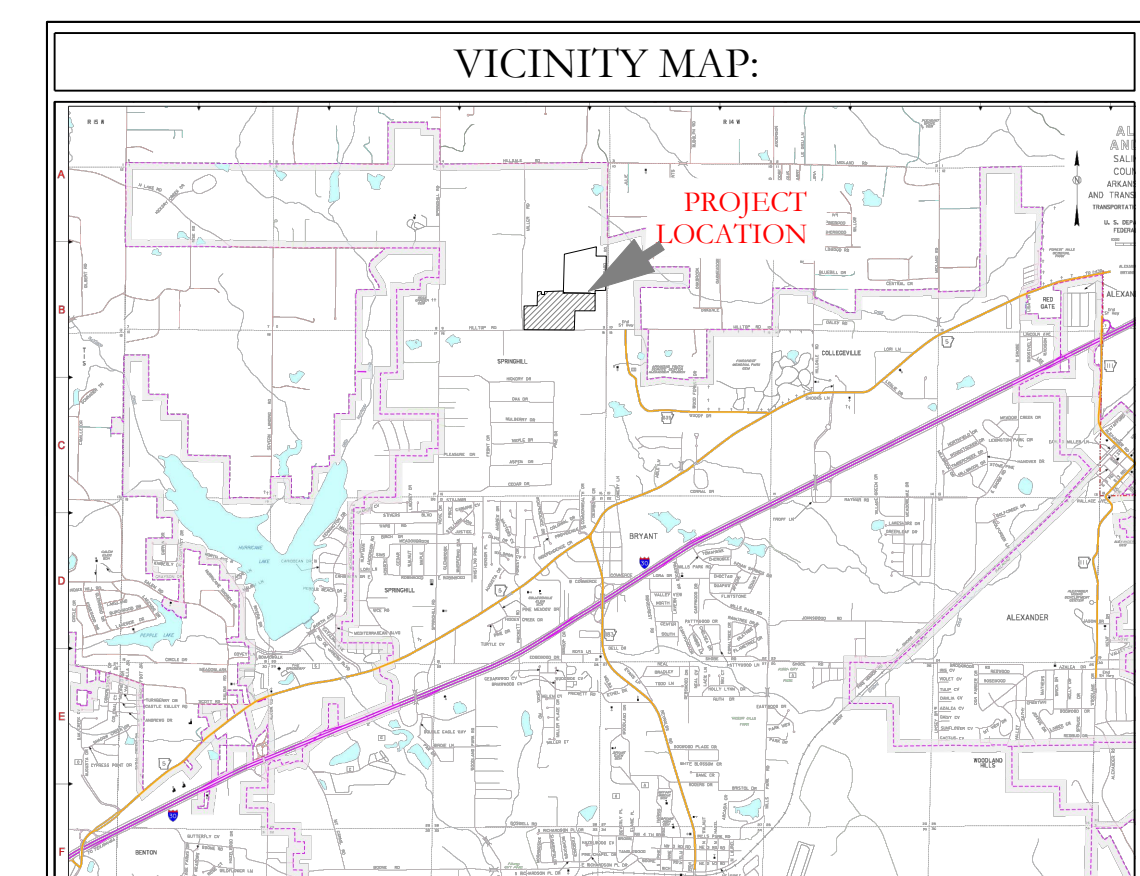
LIFT STATION Profile



Sewer E-2 Profile



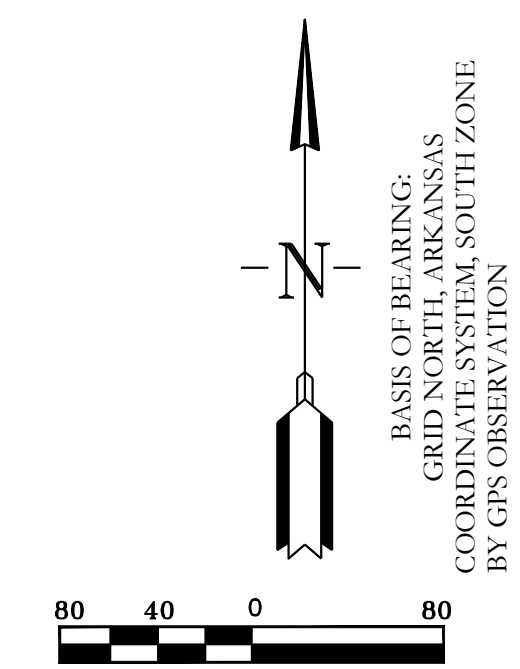
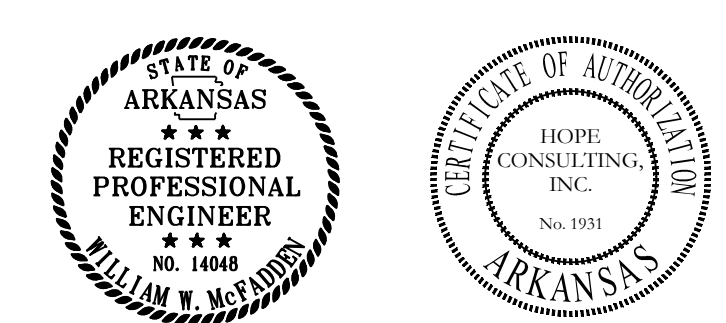
Sewer F-2 Profile



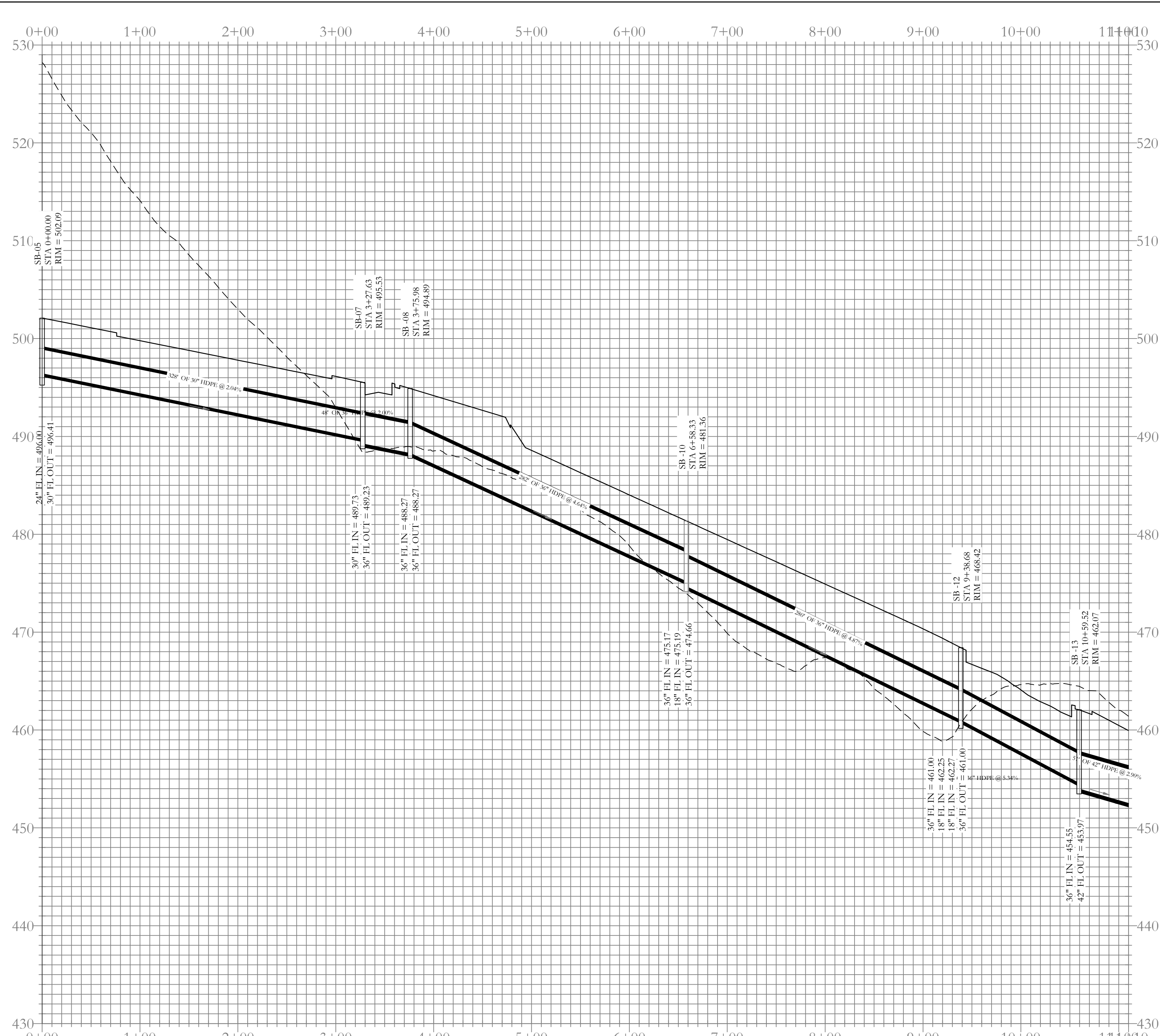
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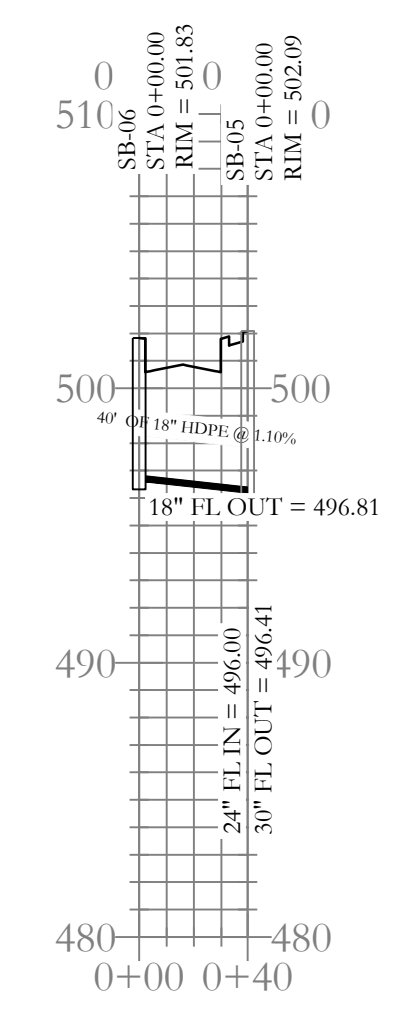
FOR USE AND BENEFIT OF: NXT GEN HOMES LLC.			
HILLTOP LANDING SEWER PLAN AND PROFILE A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:	
REVISION:	CHECKED BY:	20-1341	
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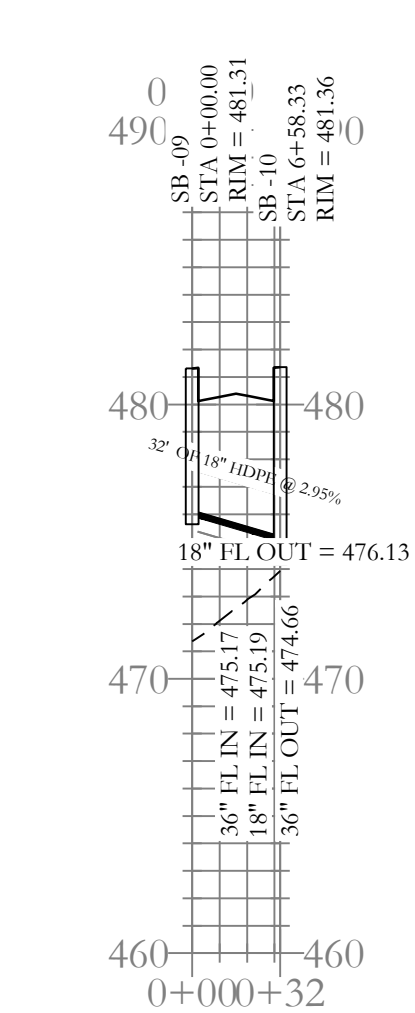
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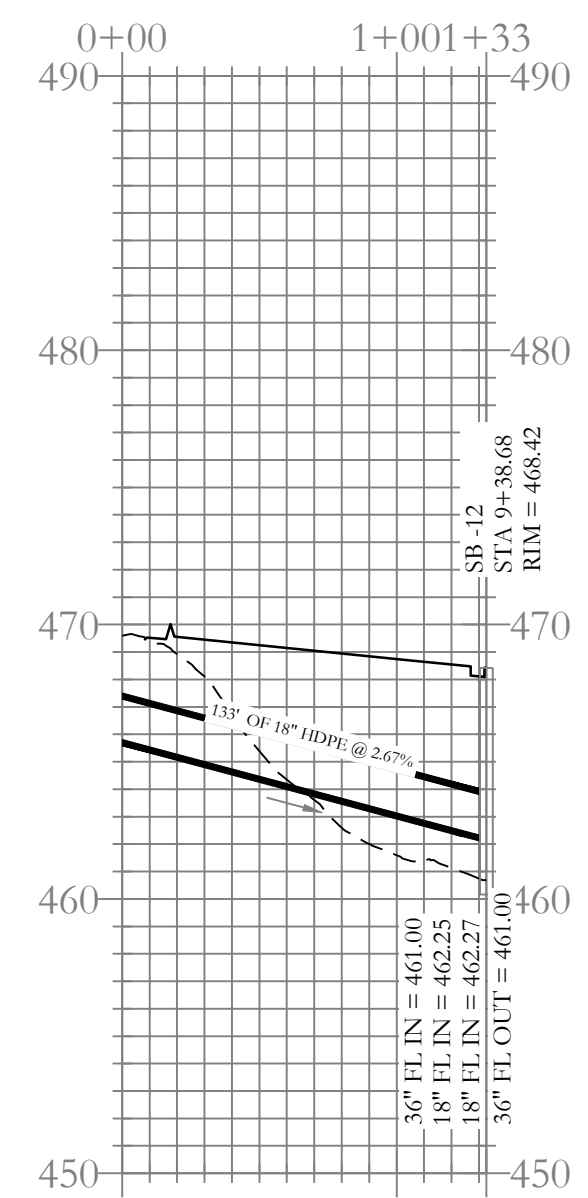
Stormwater A Profile



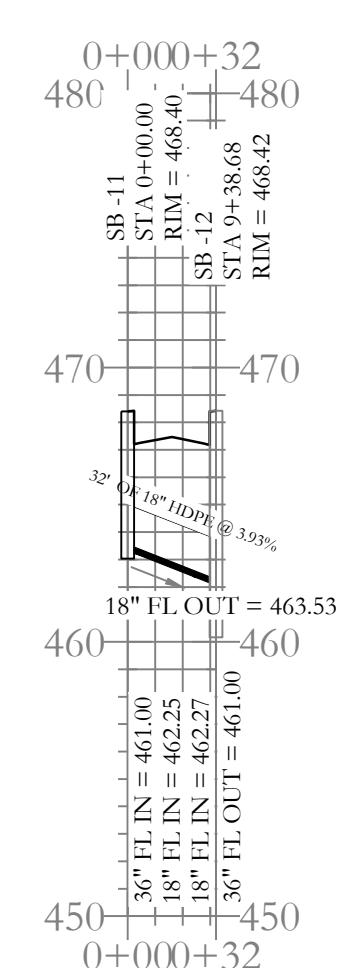
Stormwater A(i) Profile



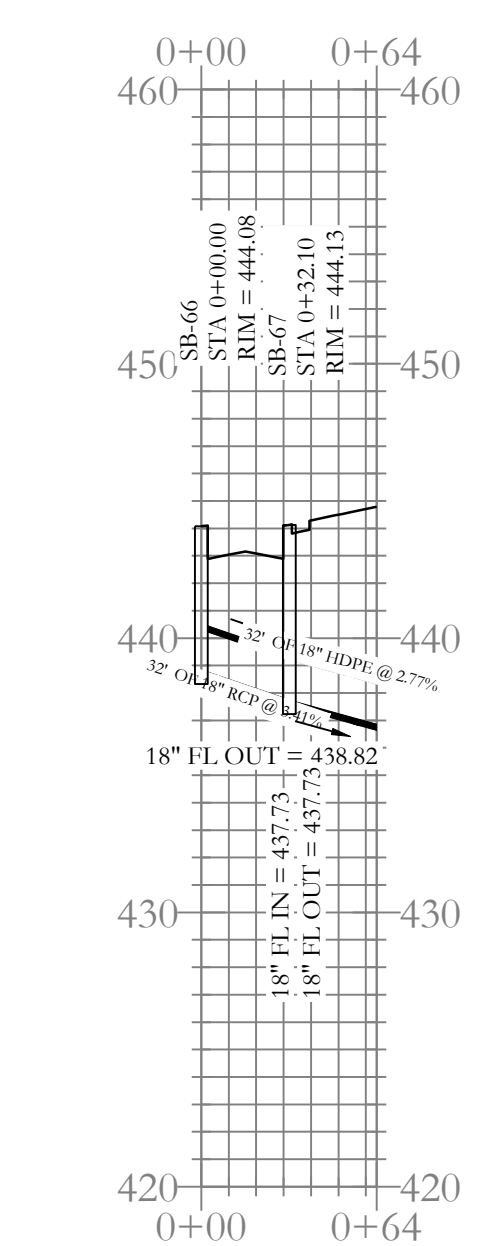
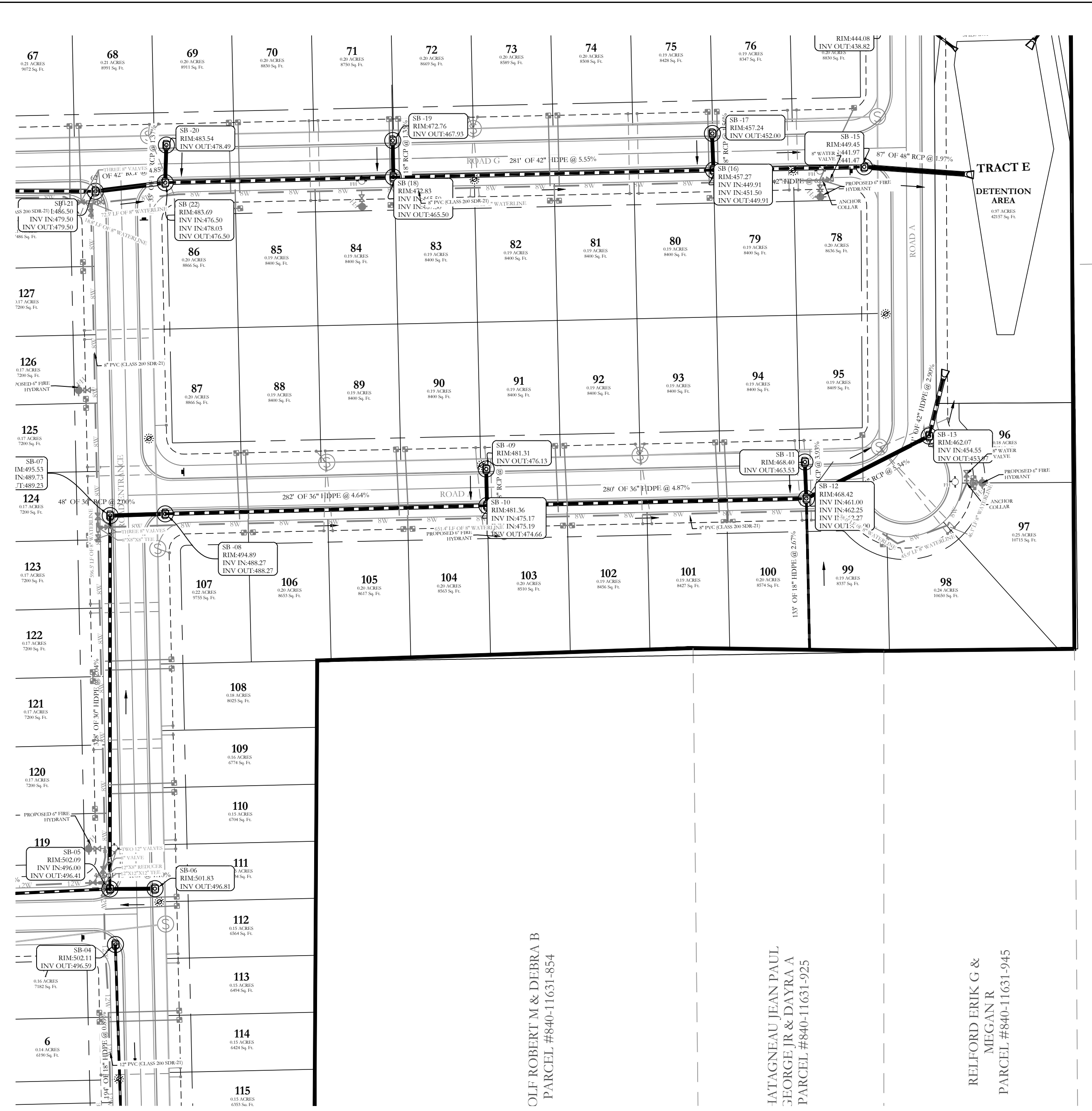
Stormwater A(ii) Profile



Stormwater A(iii)-Pipe behind the property Profile

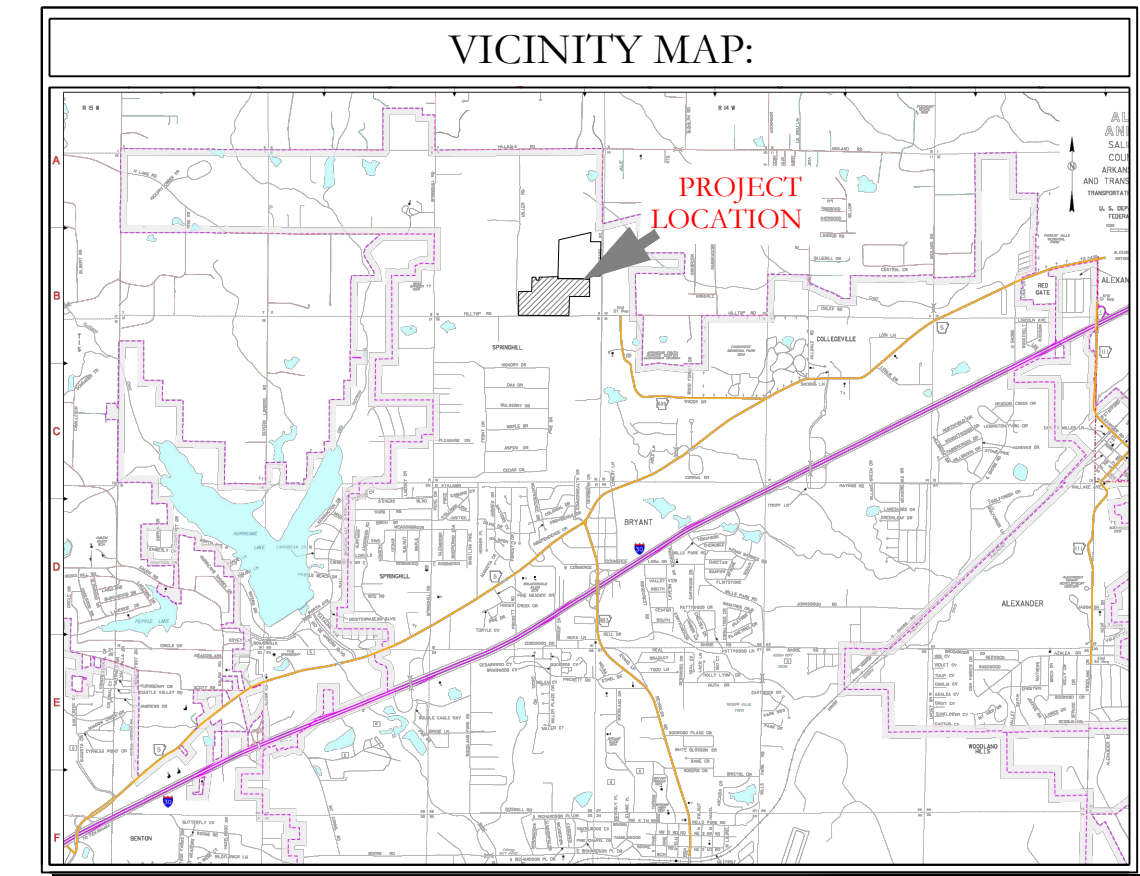
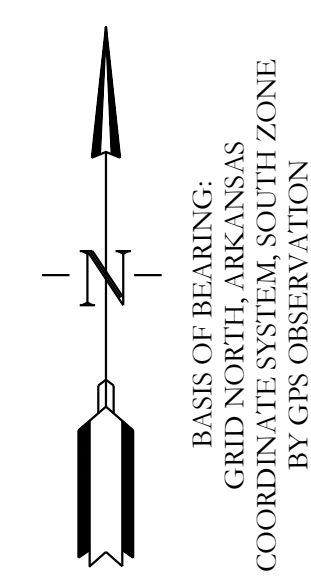
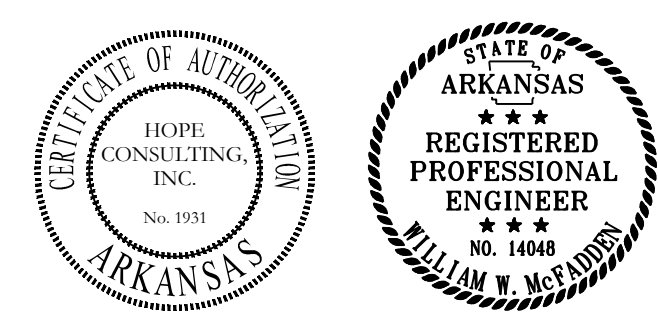


Stormwater A(iv) Profile



Stormwater A(v) Profile

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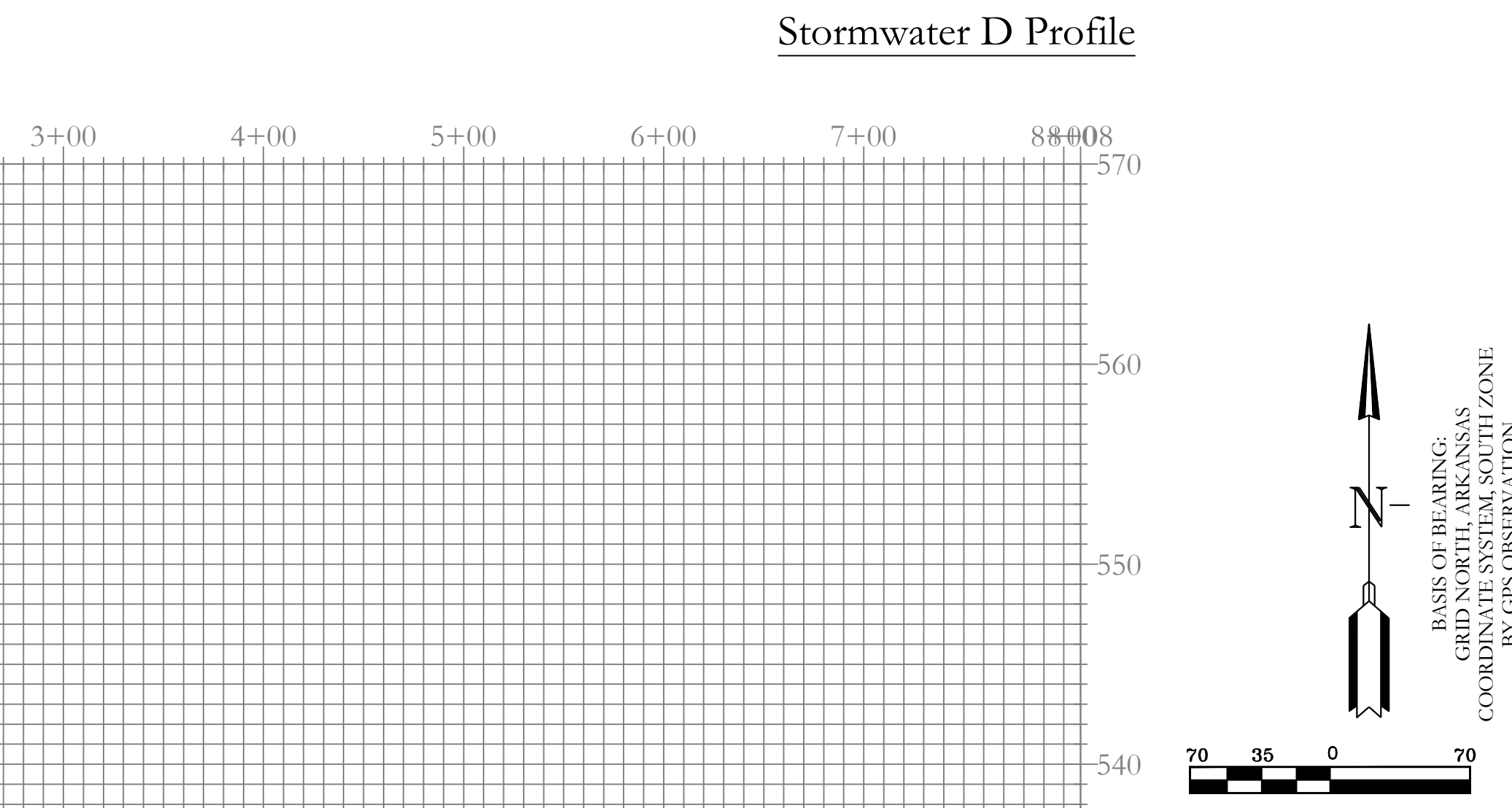
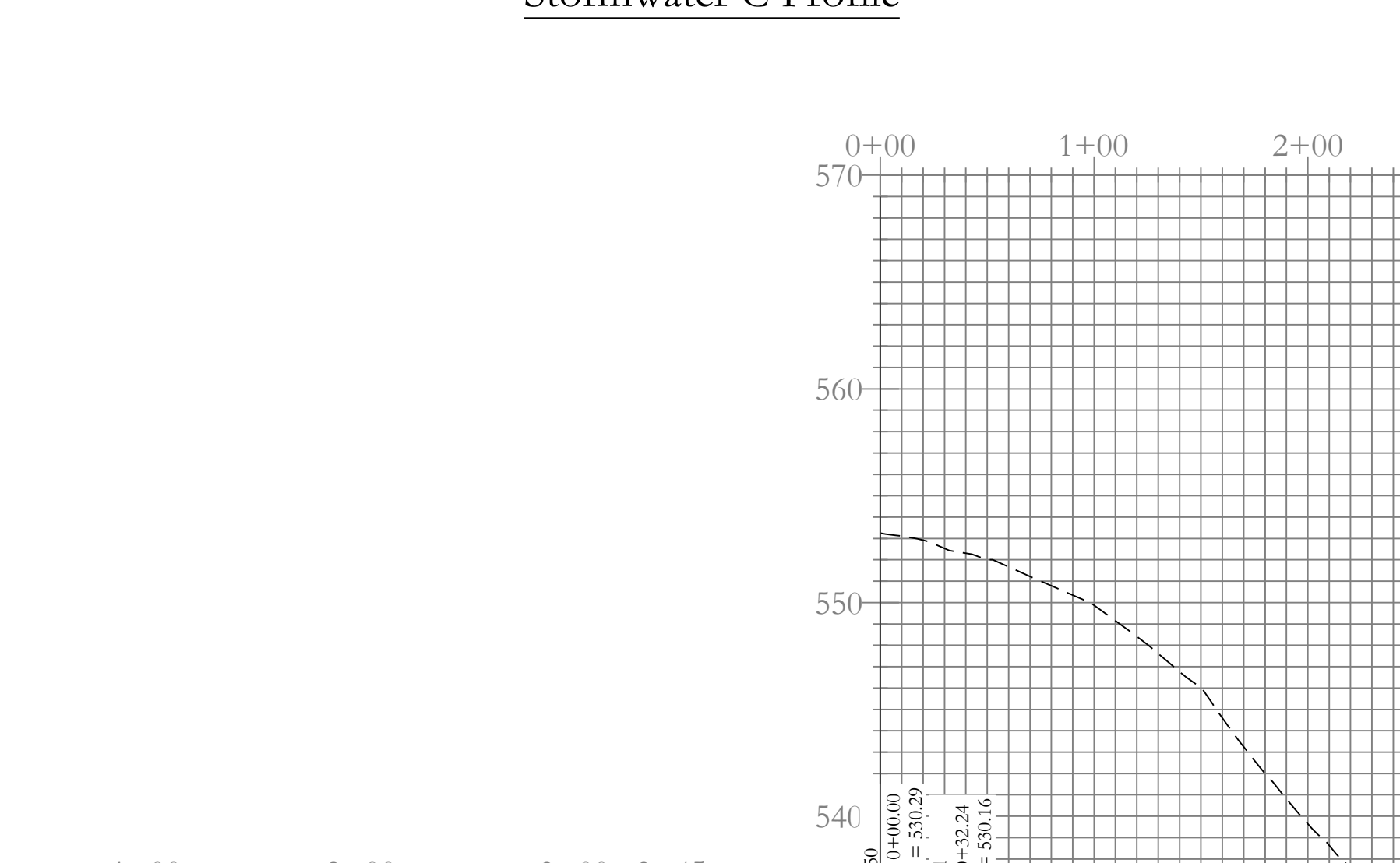
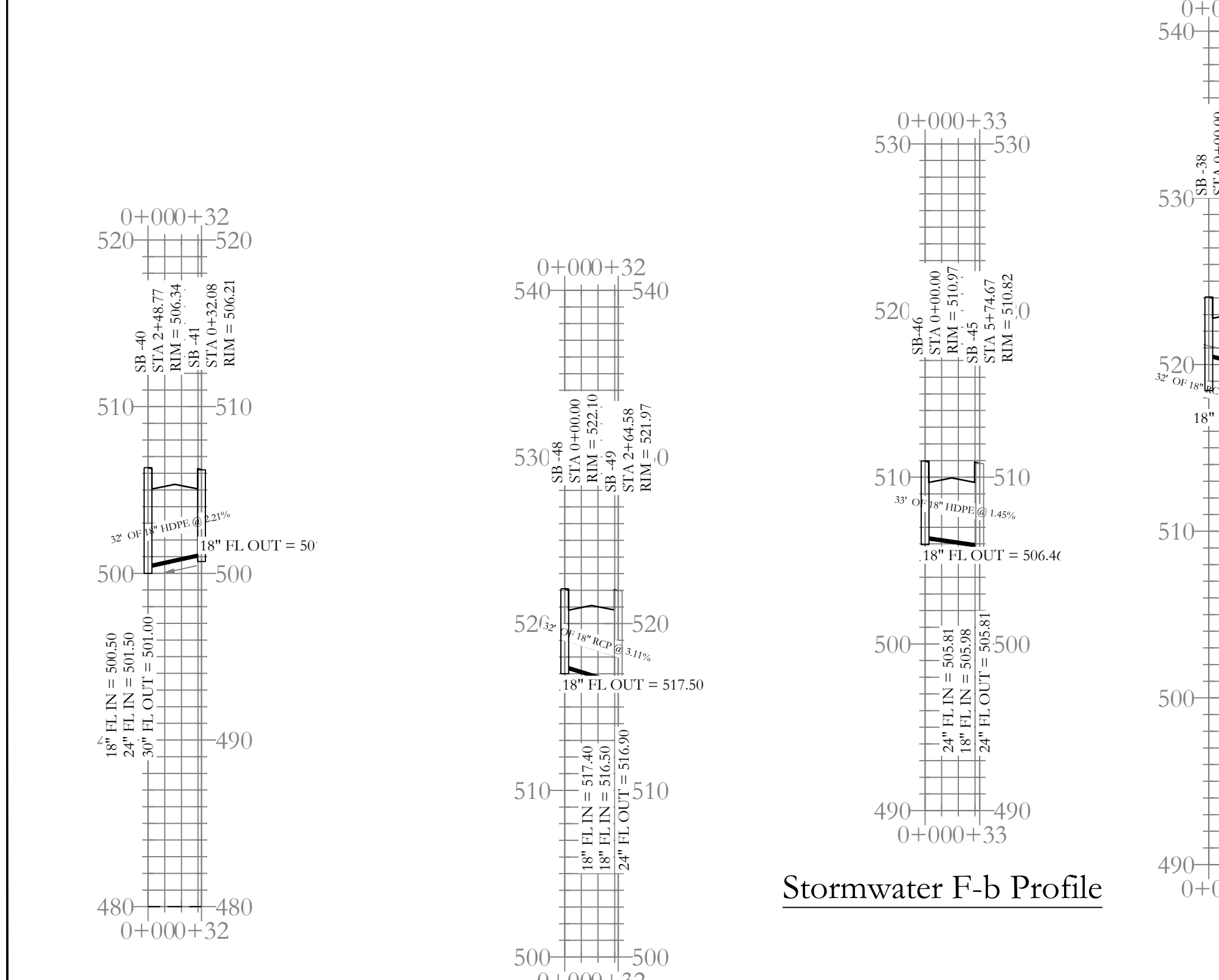
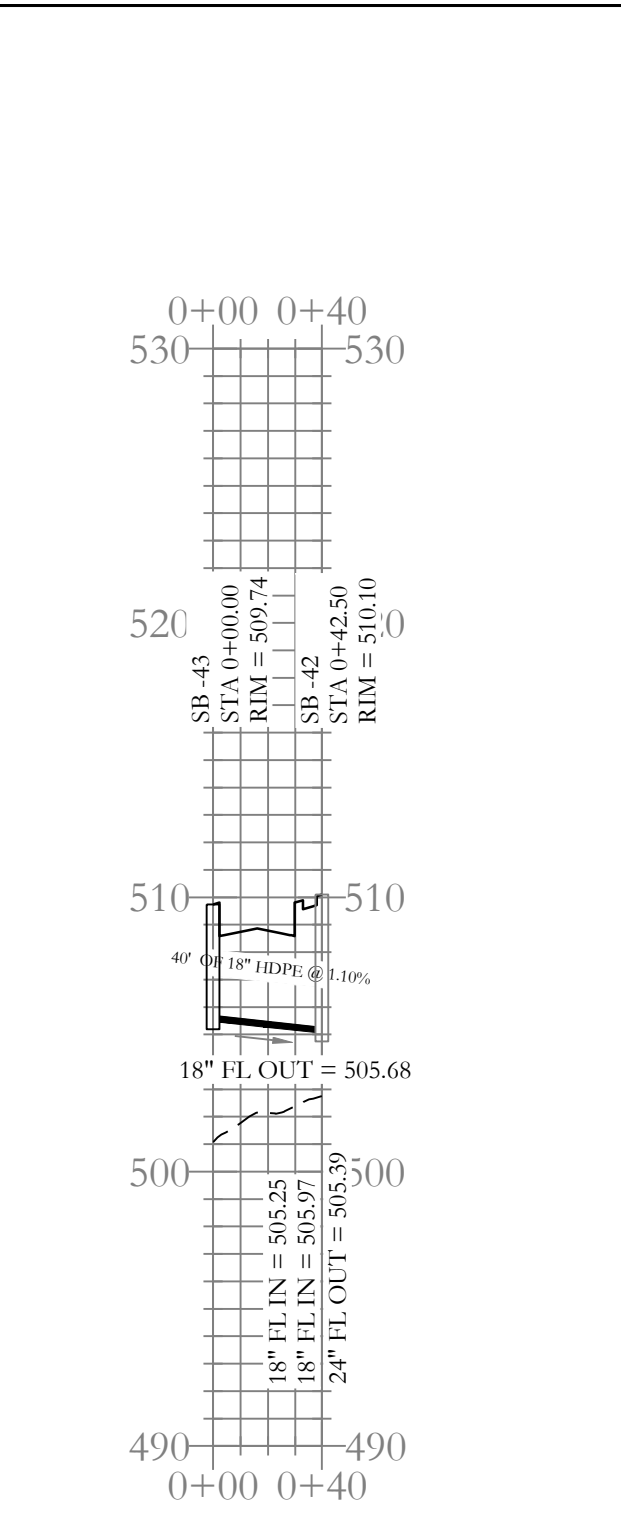
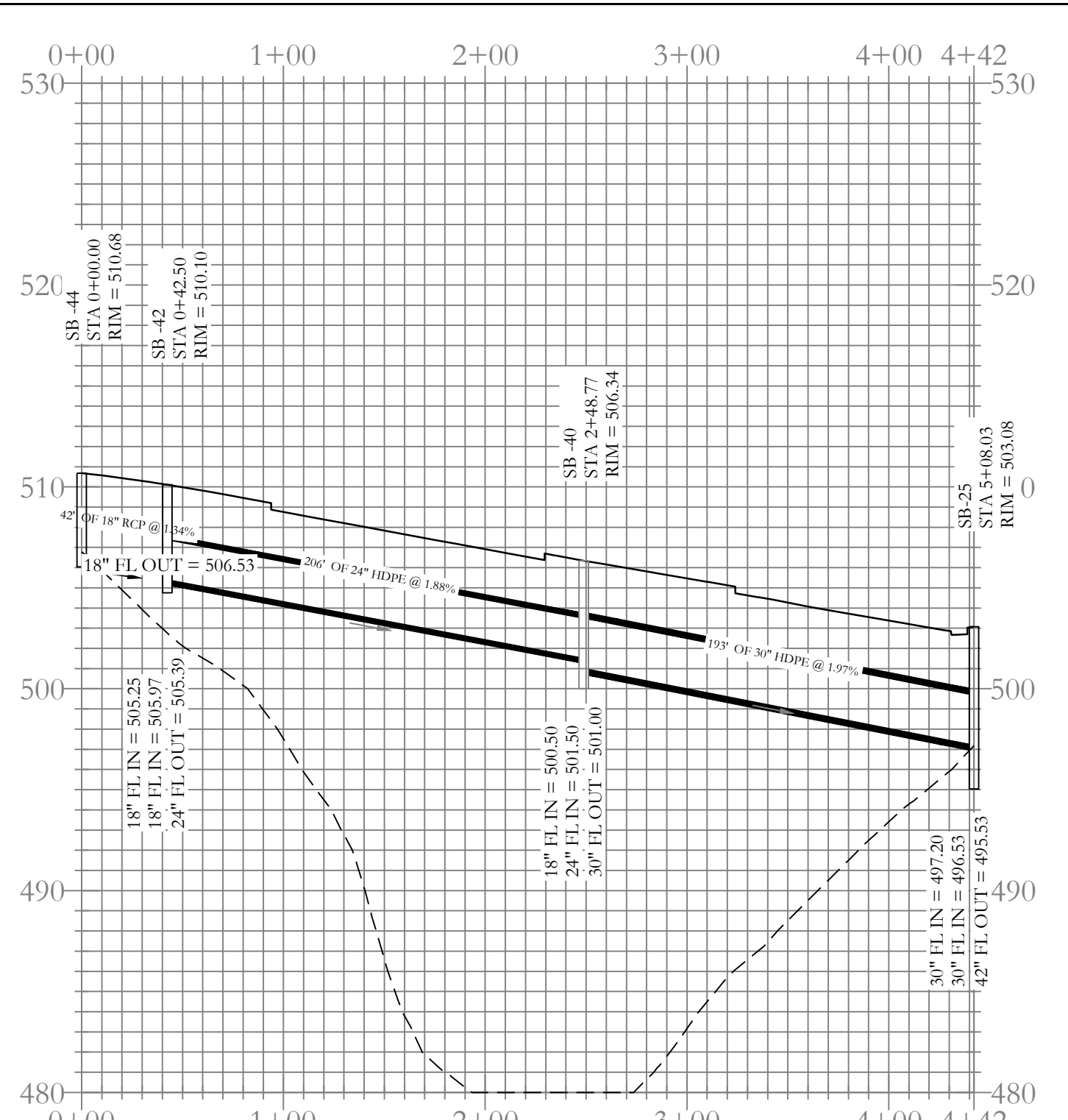
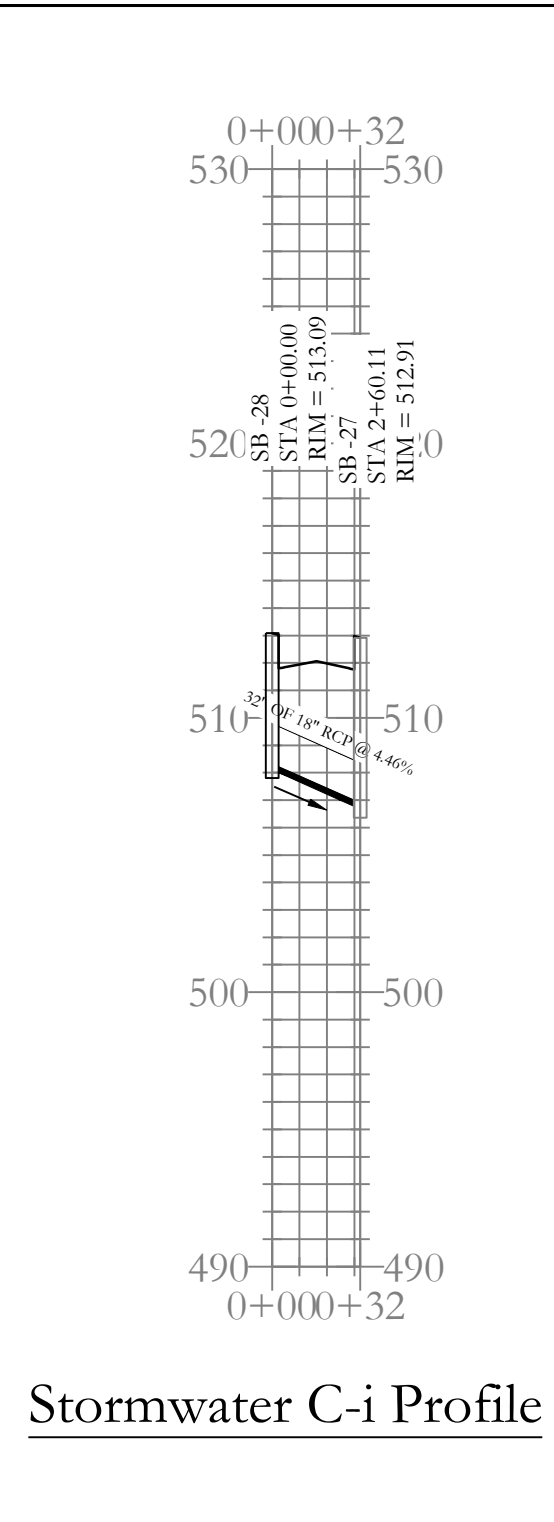
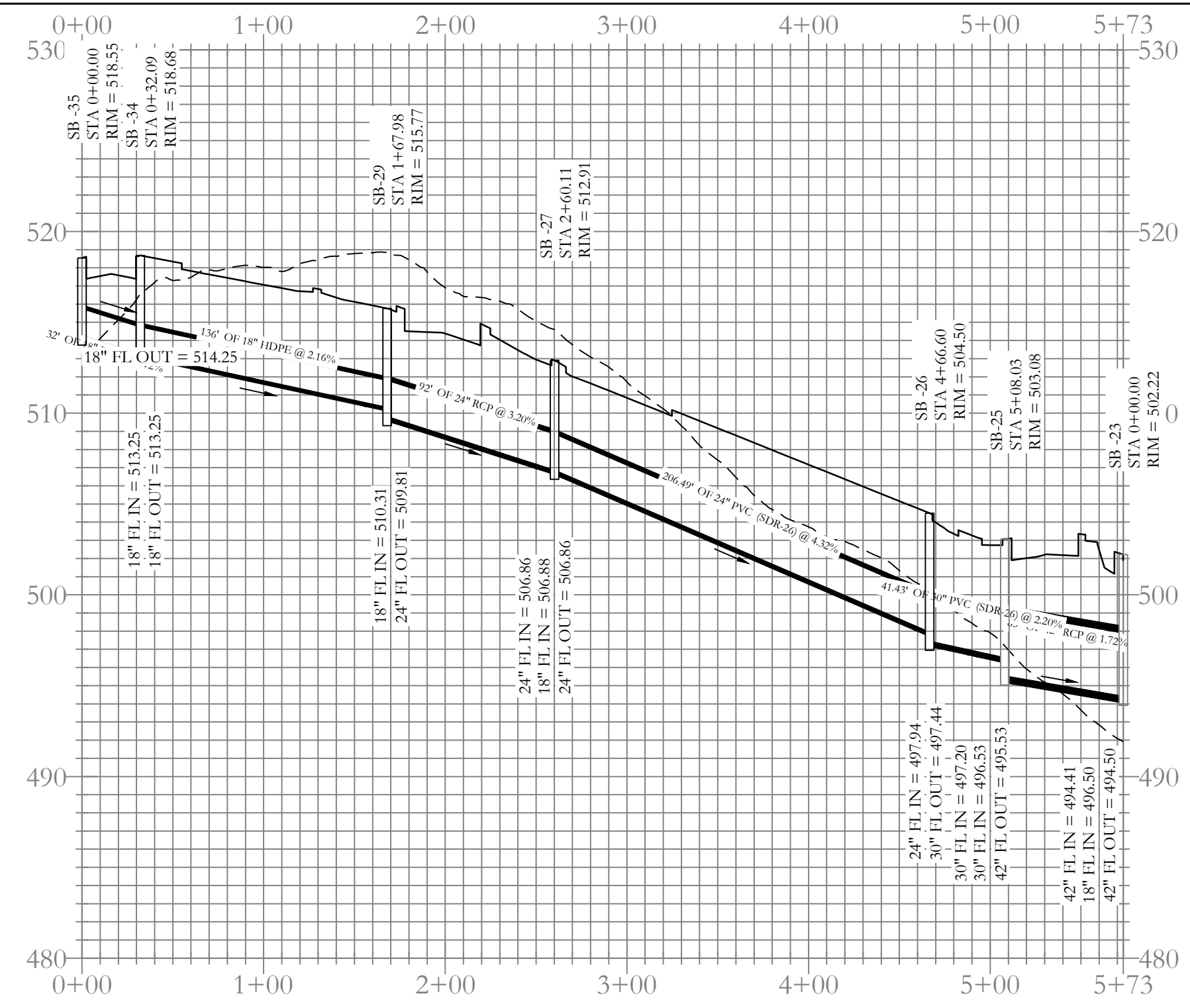
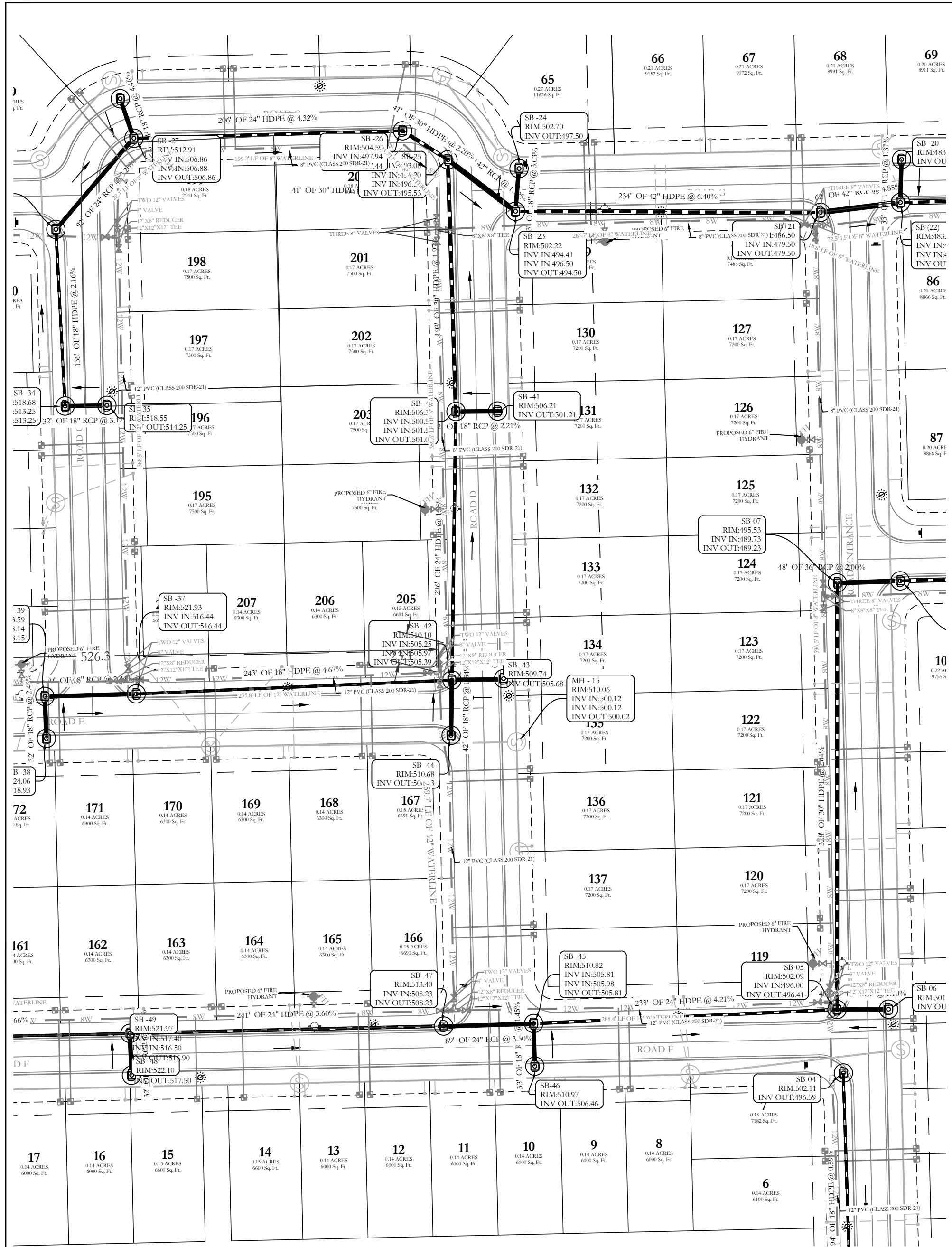


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HILLTOP LANDING
 STORM DRAINAGE PLAN AND PROFILE
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	20-1341
SHEET: C-3.1	SCALE: 1" = 70'	
500	01S	14W
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Stormwater D-ii Profile Stormwater F-a Profile

Stormwater E-1 Profile

Stormwater F Profile

Stormwater F-i Profile

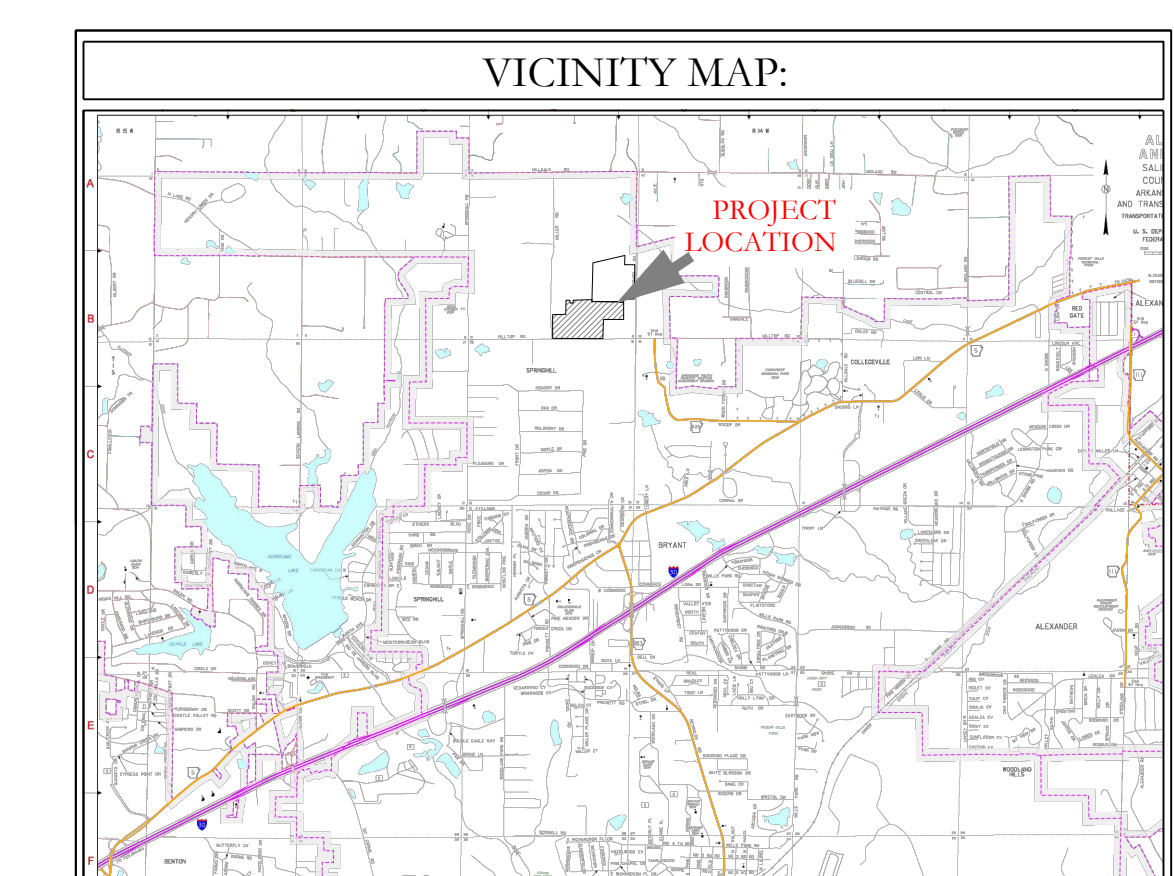
BASIS OF BEARING:
 GRID NORTH ARKANSAS
 COORDINATE SYSTEM SOUTH ZONE
 BY GPS OBSERVATION

0 35 70
 70 35 0 70

--- HDPE
 — RCP

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 WILLIAM M. McFARLAND
 No. 14048

CERTIFICATE OF AUTHORITY
 HOPE CONSULTING, INC.
 No. 1931
 ARKANSAS



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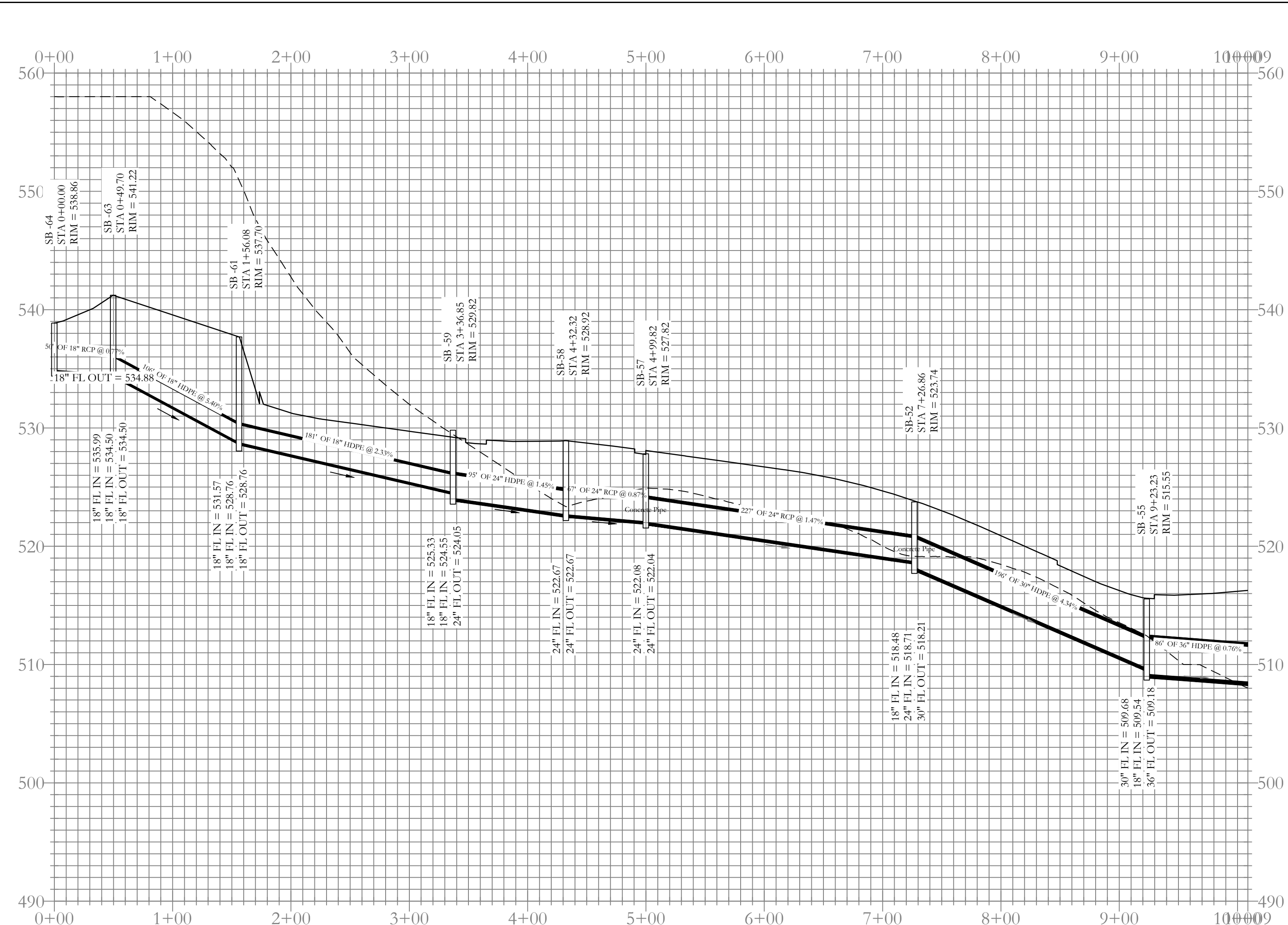
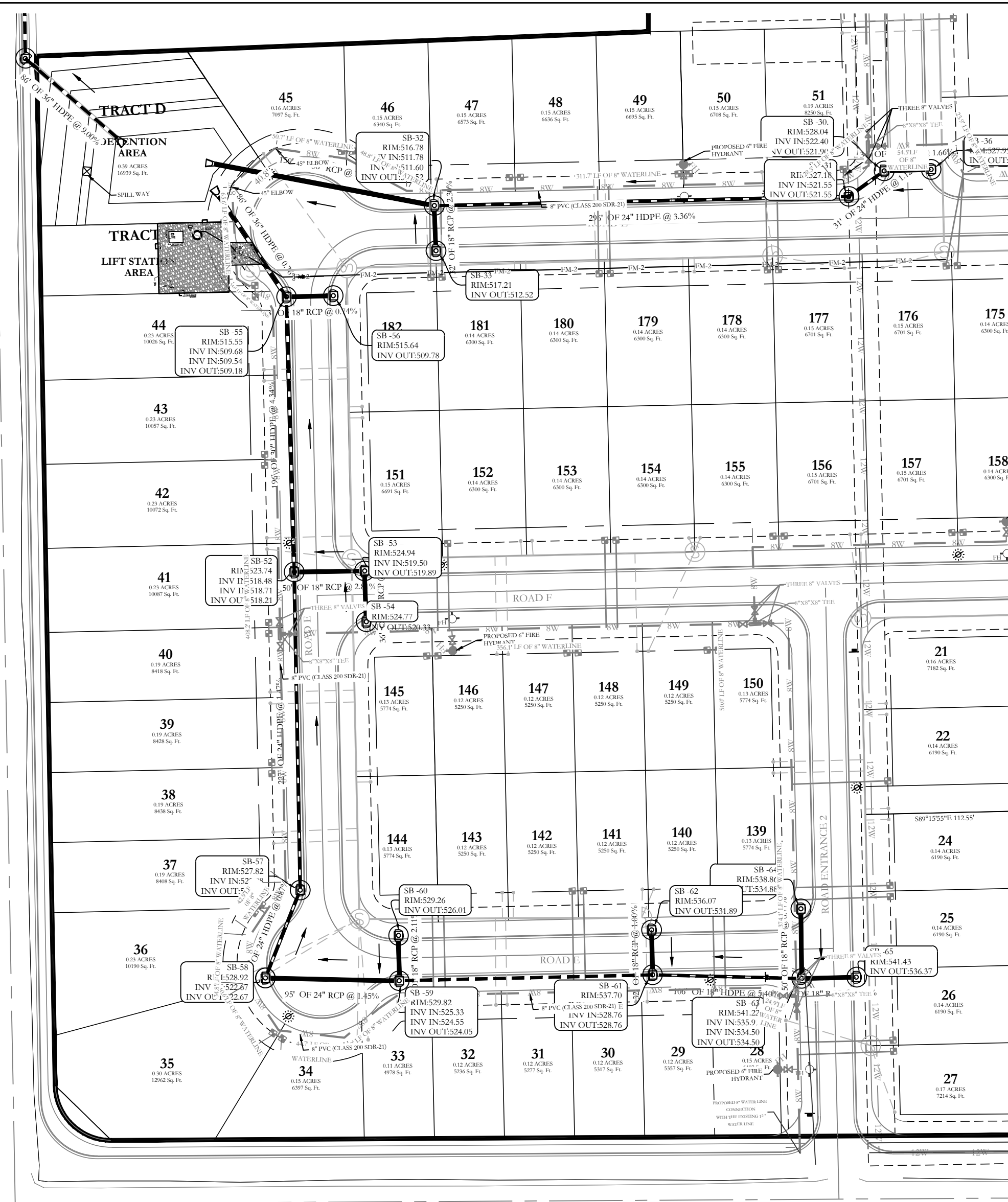
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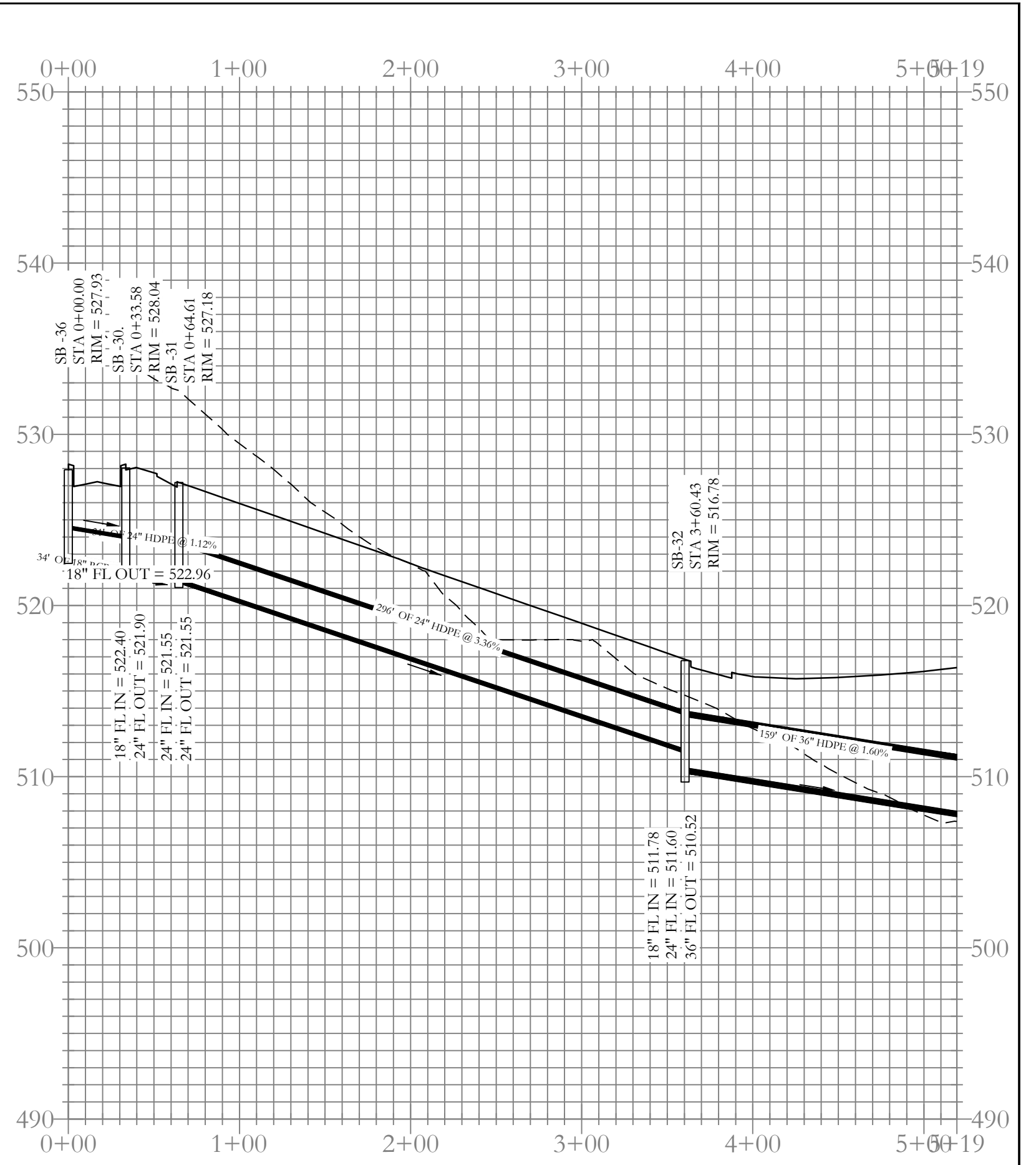
HILLTOP LANDING
 STORM DRAINAGE PLAN AND PROFILE
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	20-1341
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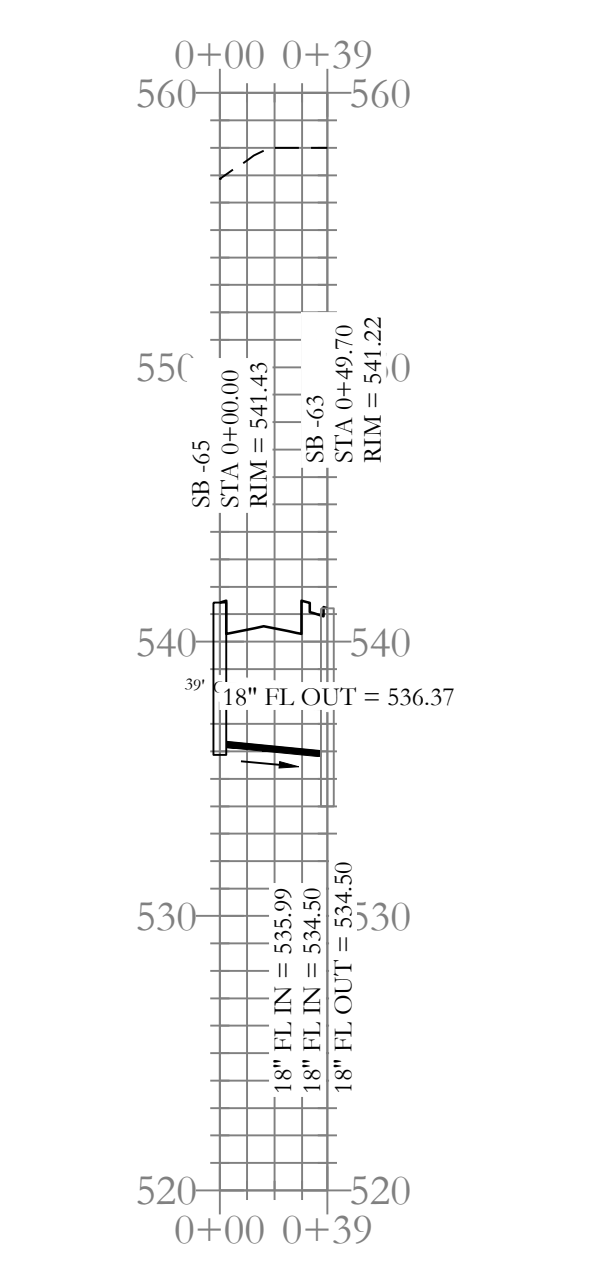
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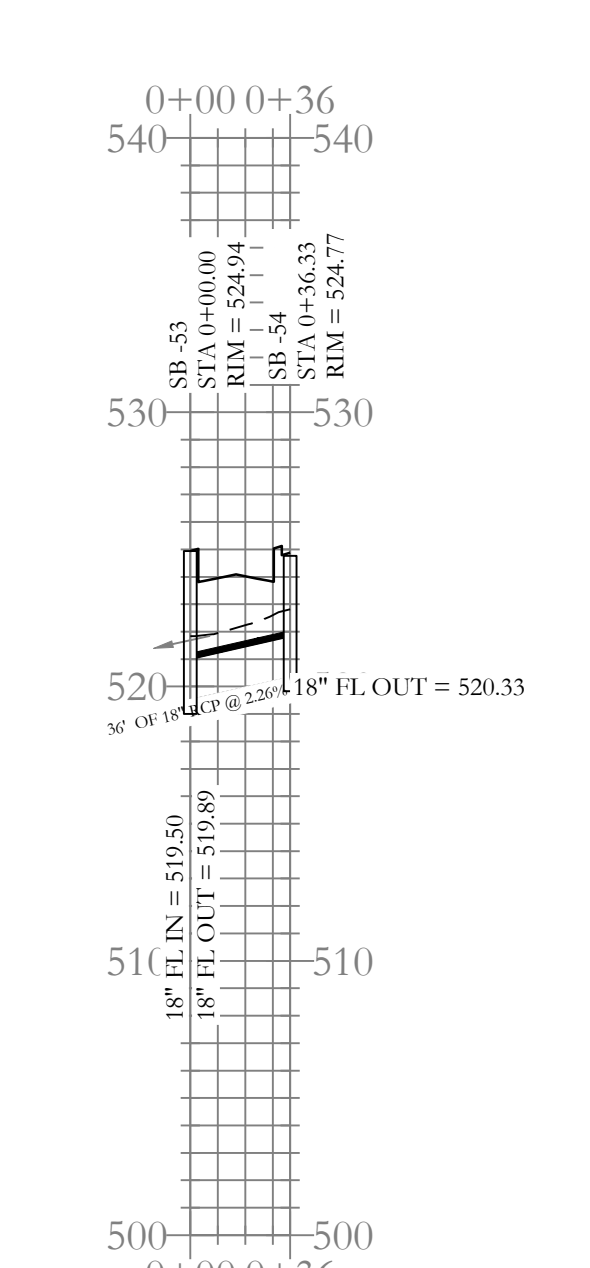
Stormwater E-2 Profile



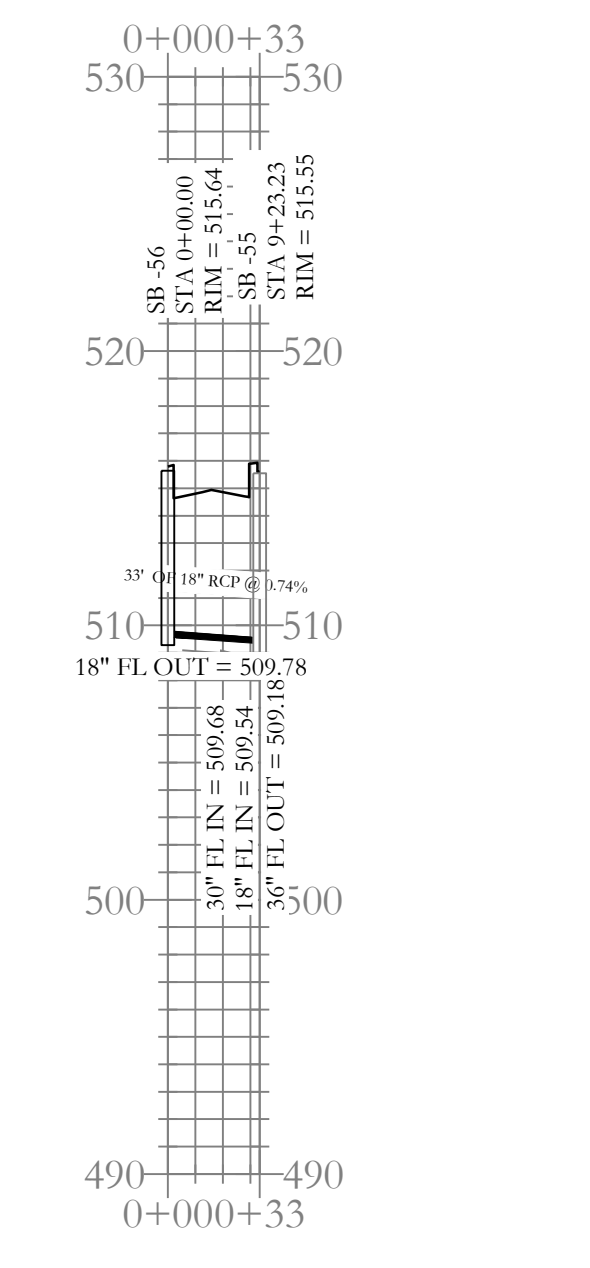
Stormwater B Profile



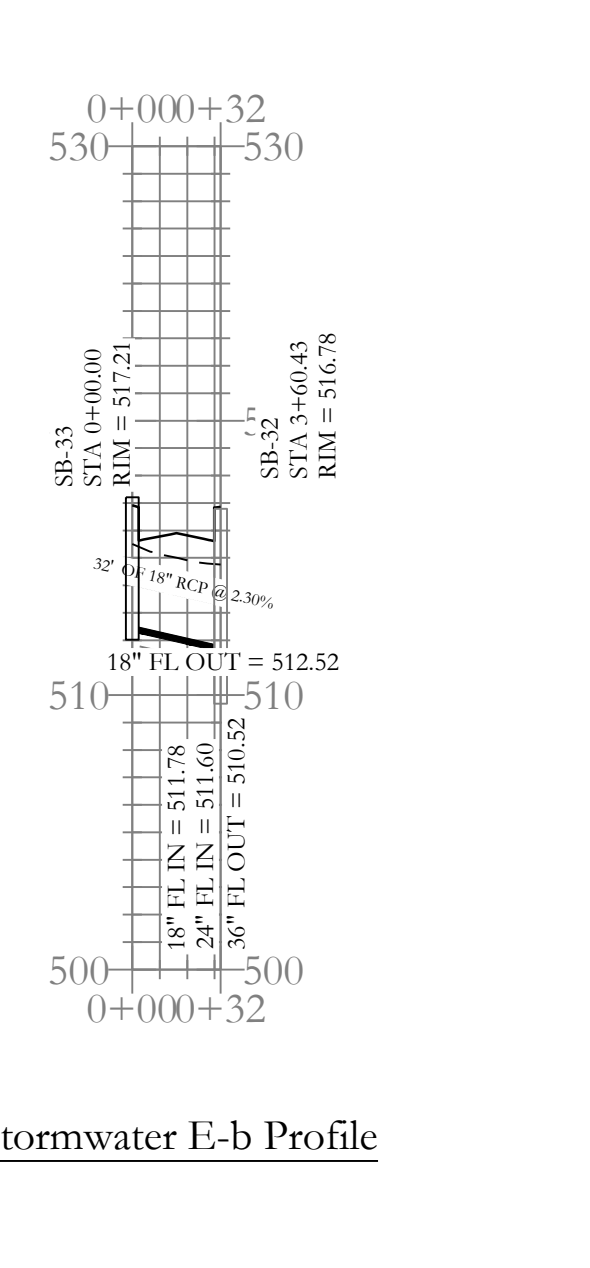
Stormwater Entrance-2 Profile



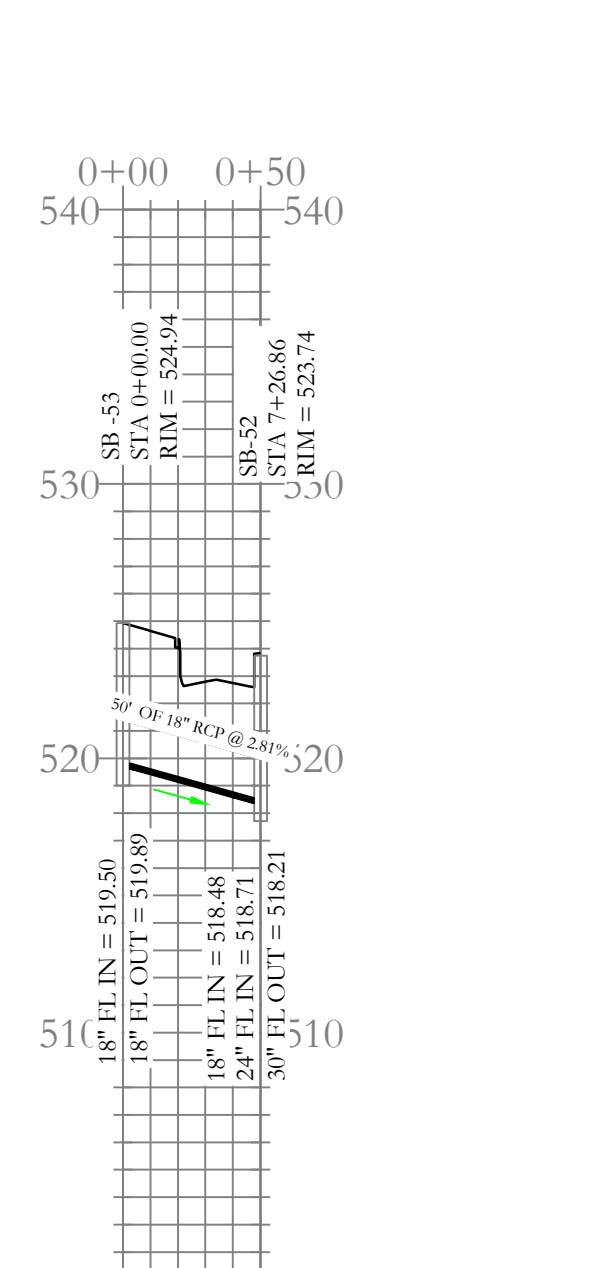
Stormwater F-c Profile



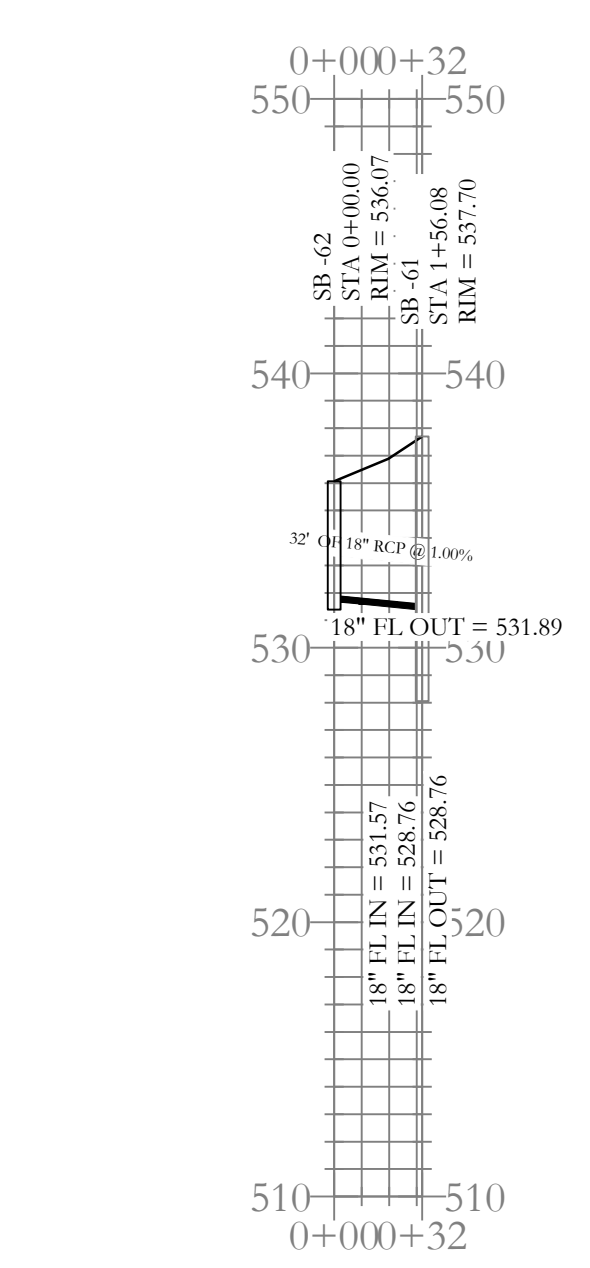
Stormwater E-a Profile



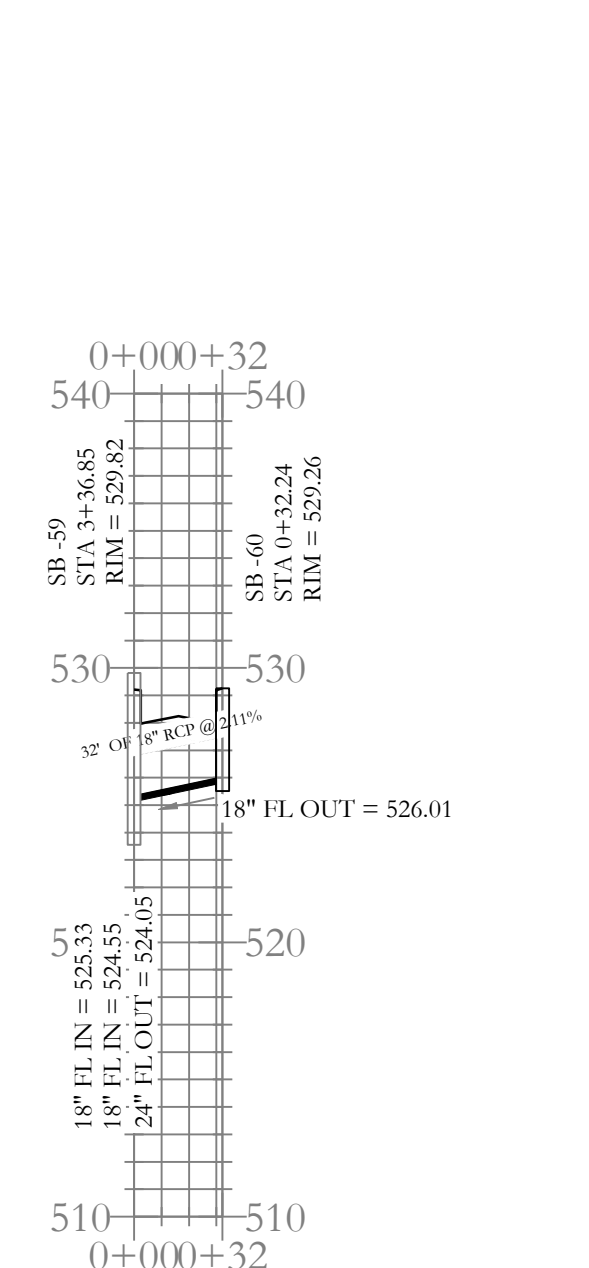
Stormwater E-b Profile



Stormwater E-c Profile

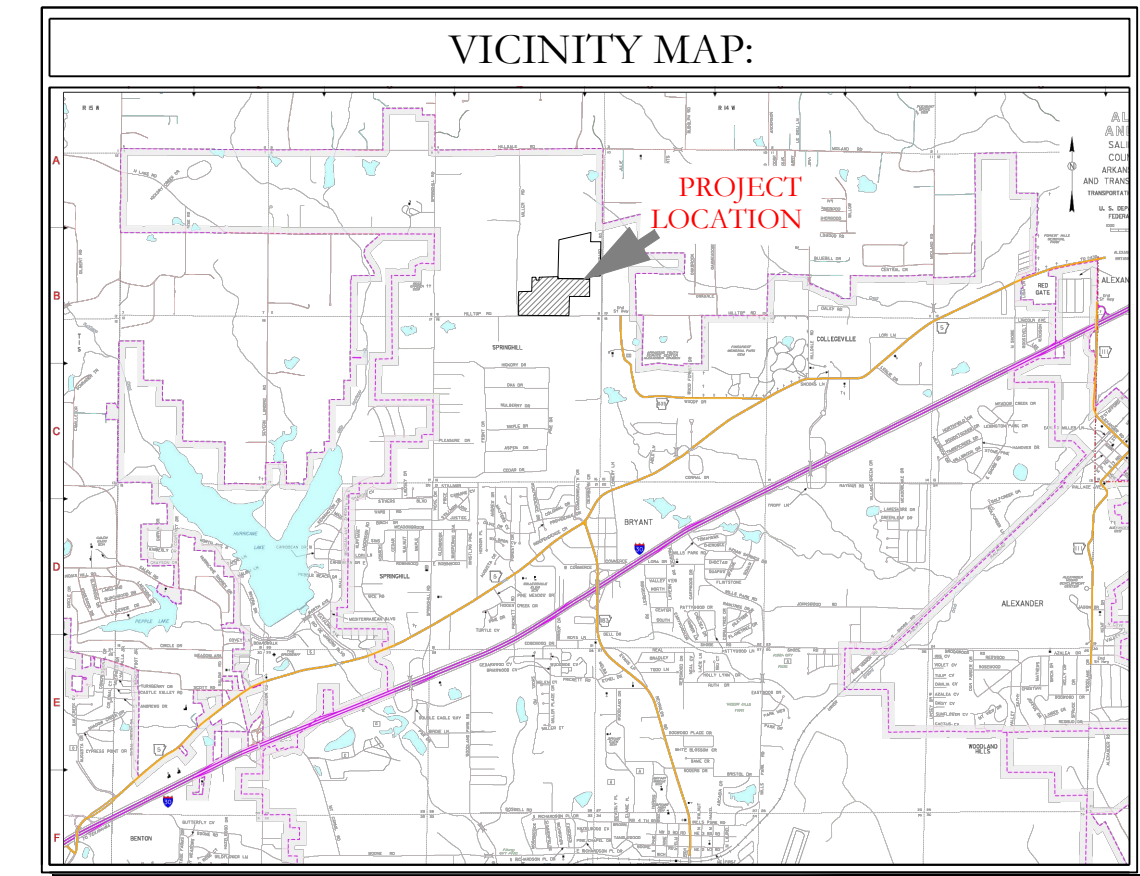


Stormwater E-d Profile



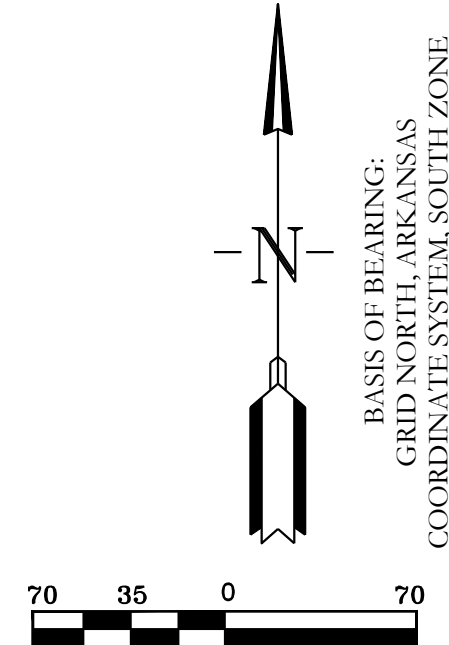
Stormwater E-e Profile

--- HDPE
 — RCP



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 ENGINEERS - SURVEYORS

117 S. Market Street,
 Benton, Arkansas 72015
 PH. (501)315-2626
 FAX (501) 315-0024
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FOR USE AND BENEFIT OF:
NXT GEN HOMES LLC.

HILLTOP LANDING
 STORM DRAINAGE PLAN AND PROFILE
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/05/2022	C.A.D. BY:	DRAWING NUMBER:
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SPECIFICATIONS

SUBGRADE MATERIAL

- A. Subgrade soils shall be all materials used for subgrade including in-situ materials and fill materials.
- B. Subgrades for pavement shall be stabilized by mechanical compaction. Stabilization methods such as fabrics and chemical stabilization may be submitted for approval when supported by engineering data and calculations to substantiate the adequacy of the stabilized procedure.
- C. Subgrade shall be compacted to 95 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture unless otherwise supported by the site specific geotechnical data and approved by City.
- D. Subgrade shall be prepared in such a manner that the base course shall be placed on a firm foundation that is stable and free from soft spots, pumping, dust pockets, wheel ruts, or other defects.
- E. The top 24 inches of the subgrade shall be a material not susceptible to frost action unless modified with cement, lime or another method approved specifically by the City to resist frost action. Soils classified as A-4 and A-5 including sandy silts, fine silty sand or lean clays are highly susceptible to frost action.
- F. In-situ soils meeting the requirements outlined in these specifications may be utilized as subgrade material. In-situ soils used as subgrade shall be scarified to a minimum depth of 8-inches below finish subgrade, recompact and tested as described below. Fill material for subgrade shall be placed in lifts not to exceed 8-inches compacted depth.
- G. Methods and procedures for establishing the total depth of soil replacement and/or modification shall be as specified by the design engineer and geotechnical investigations. The adequacy of in-situ soils and fill materials as pavement subgrade shall be evaluated based upon the soils classification, liquid limit, and plasticity index.
- H. Soils with a liquid limit greater than 40, or a plasticity index greater than 15 shall be undercut and removed from the street section or improved by a design method of stabilization approved by the City.
- I. Quality control testing shall be as specified below.
- J. Undercut 24" of soil below finished street base course. Proof roll to verify stability.
- K. Backfill the undercut subgrade with Class 7 aggregate or soil meeting the requirements of this section and compact in lifts not exceeding 8".

BASE COURSE

- A. Base course material shall be crushed stone meeting the requirements of ArDOT Class 7 aggregate base course as specified in the latest edition of ArDOT Standard Specifications.
- B. Base course shall be compacted to 98 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture.

SURFACE COURSE

- A. Surface course for flexible pavement designs shall utilize plant mix bituminous base and binder courses conforming to ArDOT Standard Specifications.

CURB AND GUTTER

- A. Curb and gutter shall be Portland Cement Concrete with a minimum 28-day compressive strength of 4,000 psi. Concrete shall be air-entrained with a maximum of 4-inch slump.
- B. Compaction requirements under curb and gutter shall conform to the requirements for street subgrade materials. Compaction requirements shall extend to a minimum of 1 foot behind the back of curb and gutter removing all soft spots and replacing with suitable material.
- C. Curb and gutter shall conform to the typical detail within these specifications or ArDOT Standard Roadway Drawing Details for curbing.
- D. Expansion joints shall be made with 1/2-inch preformed expansion joint filler of a non-extruding type. Expansion joints shall be placed at intervals not exceeding 195 feet, intersection radii, driveways, stationary structures, and sidewalks.
- E. Contraction joints shall be sawed or fromed at intervals not greater than 20 feet. Depth of saw-cut shall be 1 1/2-inch and have a width of 1/4-inch. Contraction joints shall be sealed in accordance with ArDOT Standard Specifications.
- F. Forms shall be made of metal or wood and shall be properly braced. The minimum length of each section of form used shall be 10 feet. Each section of form shall be uniform and free from undesirable bends or warps. Forms shall be of such cross section and strength and so secured as to resist the pressure of the impact and vibration on any equipment which they support without springing or settlement.
- G. Curb and gutter placed with slip form or extruding equipment will be acceptable providing it complies with all of the above requirements.
- H. After curing, the curb shall be immediately backfilled to within 4 inches of the top curb to eliminate the possibility of washing beneath the curb. The remaining 4 inches shall be topsoil.
- I. Cold weather protection shall meet the requirements of the latest edition of ArDOT Standard Specifications.

SIDEWALKS

General

- A. Sidewalks shall be Portland Cement Concrete with a minimum 28-day compressive strength of 4,000 psi.
- B. Sidewalks shall be on both sides of streets in line with sidewalks on opposite corners of roads.
- C. All sidewalks including ramps shall meet all current Federal Americans with Disabilities (ADA) design guidelines or requirements.
- D. Traverse slopes shall not exceed 2 percent.
- E. Subgrade under sidewalks shall be compacted to 90 percent modified proctor density minimum.
- F. Sidewalks shall not be placed upon grassy or organic materials.
- G. Sidewalks which extend or link existing sidewalks shall adjoin the existing sidewalks to form a continuous, even pathway.
- H. Utility poles, utility boxes, mailboxes, fire hydrants, and other similar obstructions shall not be located in sidewalks. Sidewalk location may vary at the discretion of the City to avoid such obstacles.

Minimum thickness and reinforcement

- A. Sidewalks shall have a minimum thickness of 4 inches.
- B. Sidewalks shall be reinforced, at a minimum, with woven wire fabric reinforcement.

Contraction and expansion joints

- A. Contraction joints shall be provided perpendicular to the sidewalk at intervals equal to the sidewalk width.
- B. Expansion joints shall be constructed perpendicular to the sidewalk at intervals equal to five times the sidewalk width. Expansion joints shall be made with 1/2-inch preformed expansion joint filler of a non-extruding type. Expansion joints shall be placed at driveways, drop inlets, and curbs.

Quality control testing and inspection by the City

- A. Subgrade and formwork for sidewalks shall be inspected by the City prior to pouring of the sidewalk.
- B. All testing of materials and construction shall be provided and paid for by the Developer/Owner.
- C. All field tests required for a project shall be witnessed by the City, contractor, or their authorized representatives.
- D. All testing shall be accomplished by a testing firm approved by the City and shall be performed under the supervision of a licensed Professional Engineer.
- E. Sampling and testing locations shall be subject to approval by the City.
- F. Density tests on subgrades shall be taken every 300 feet or portion thereof.
- G. The City shall be notified at least one day in advance of the need to inspect subgrade and formwork of sidewalks.

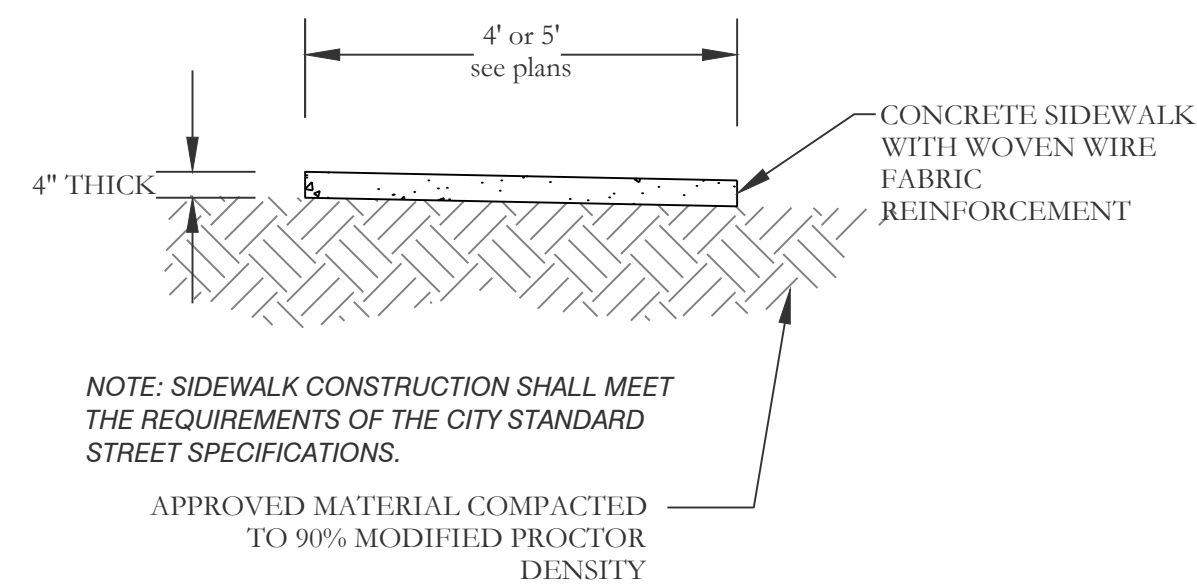
Subgrade

- A. Subgrade soils shall be all materials used for subgrade including in-situ materials and fill materials.
- B. Subgrade shall be compacted to 90 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture unless otherwise supported by the site specific geotechnical data and approved by City.
- C. Subgrade shall be prepared in such a manner that the base course shall be placed on a firm foundation that is stable and free from soft spots, pumping, dust pockets, wheel ruts, or other defects.
- D. The top 24 inches of the subgrade shall be a material not susceptible to frost action unless modified with cement, lime or another method approved specifically by the City to resist frost action. Soils classified as A-4 and A-5 including sandy silts, fine silty sand or lean clays are highly susceptible to frost action.

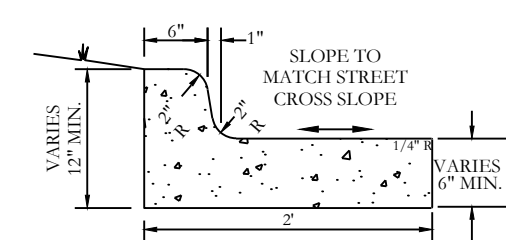
QUALITY CONTROL TESTING AND INSPECTIONS

General

- A. Materials and construction employed in street improvements shall be subject to inspection and quality control testing. All testing of materials and construction shall be provided and paid for by the Developer/Owner.
- B. The Developer/Owner shall provide for inspections of street improvements during construction. The inspections shall be accomplished under the supervision of the Engineer of Record. The Engineer of Record shall provide certification that all materials and construction conform to the approved plans and specifications and with these minimum street standards.
- C. The Engineer of Record shall furnish inspection whenever a critical construction activity is taking place. This means that a representative of the Engineer of Record must be on-site whenever a critical construction activity is taking place.
- D. All field tests required for a project shall be witnessed by the City, Engineer of Record, contractor, or other authorized representatives.
- E. The City shall be notified at least one day in advance of any test(s). It is the responsibility of the contractor to coordinated the scheduling of all tests with the City.



Typical Sidewalk Detail

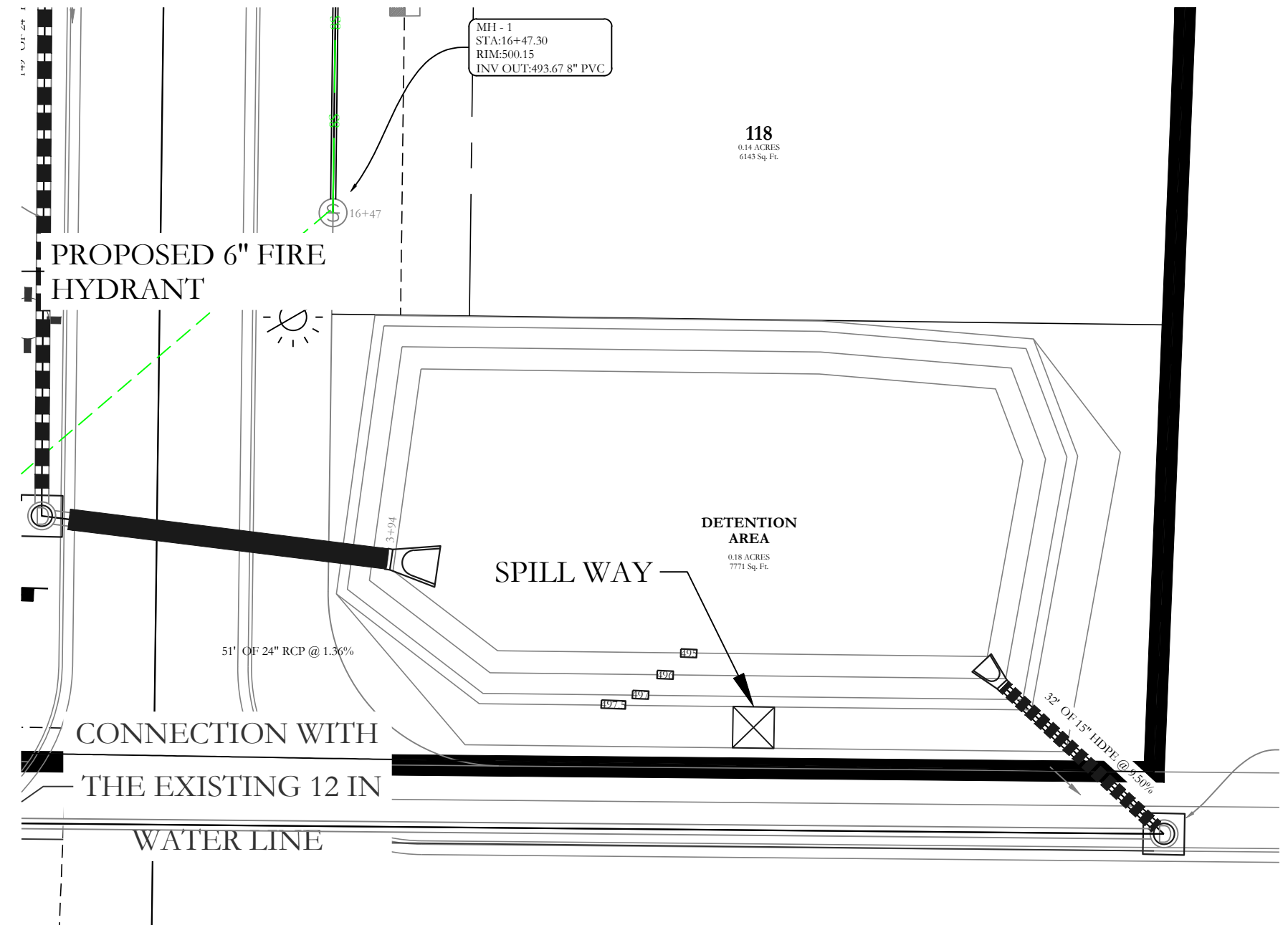
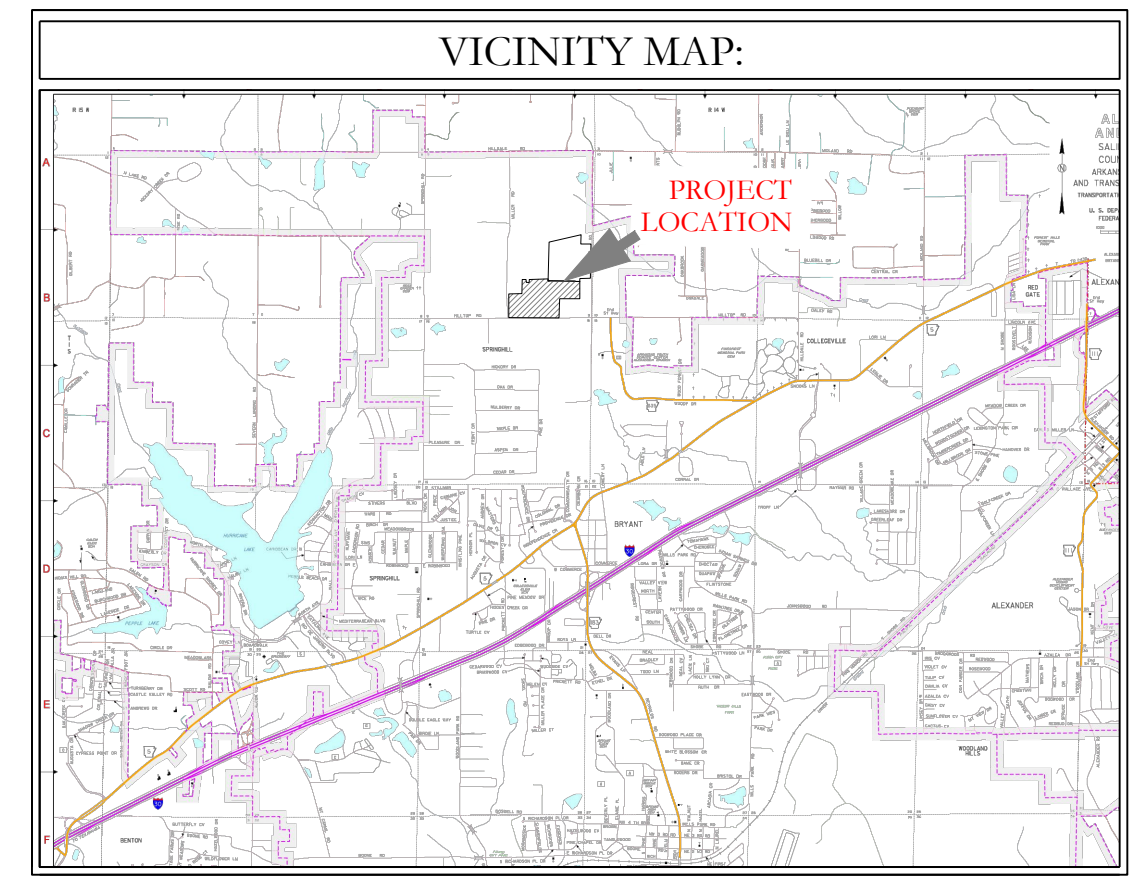


STANDARD CURB & GUTTER
NOT TO SCALE

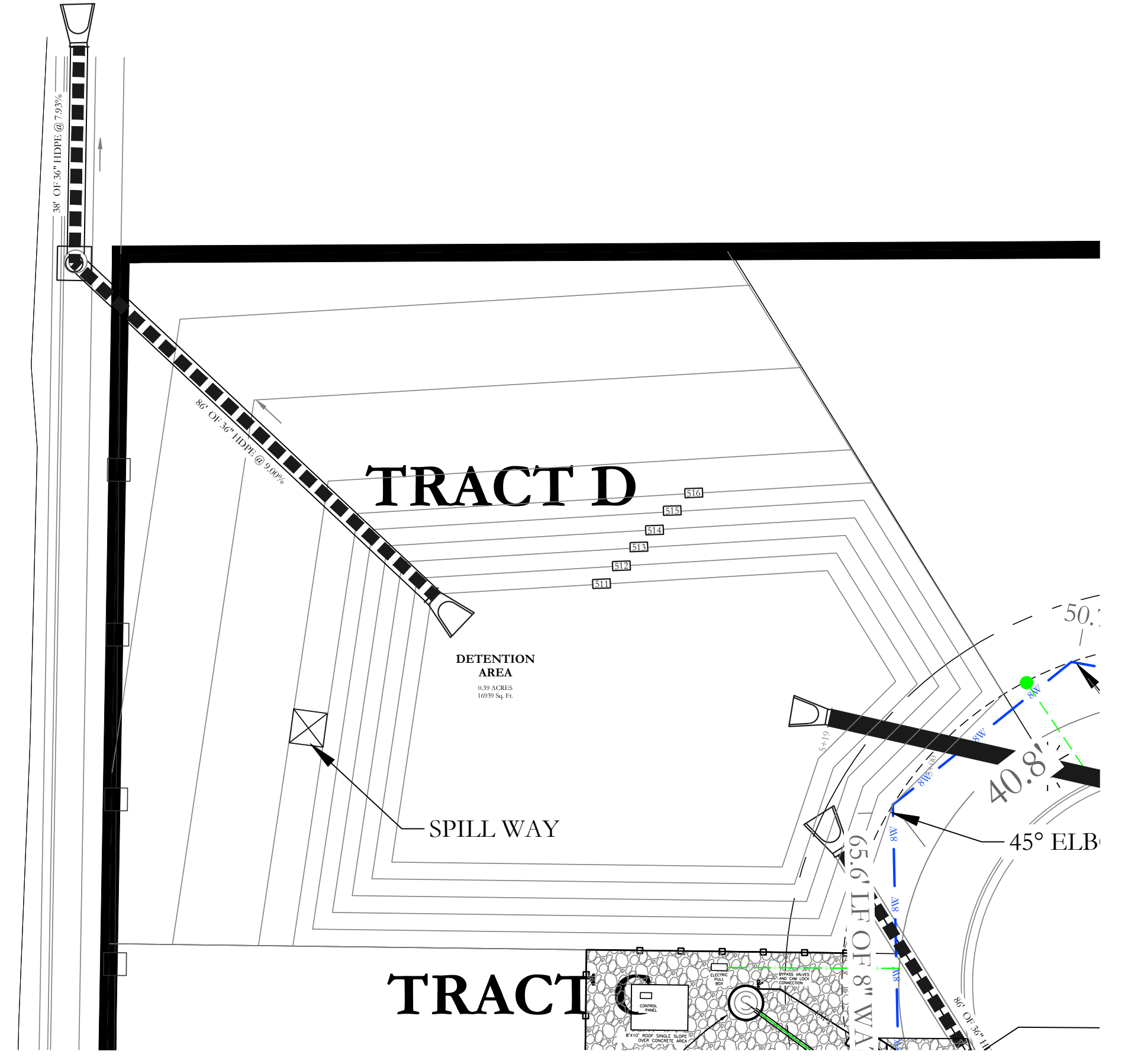
TYPICAL CURB DETAILS & NOTES
NOT TO SCALE

Typical Curb & Gutter Detail
4,000 psi concrete

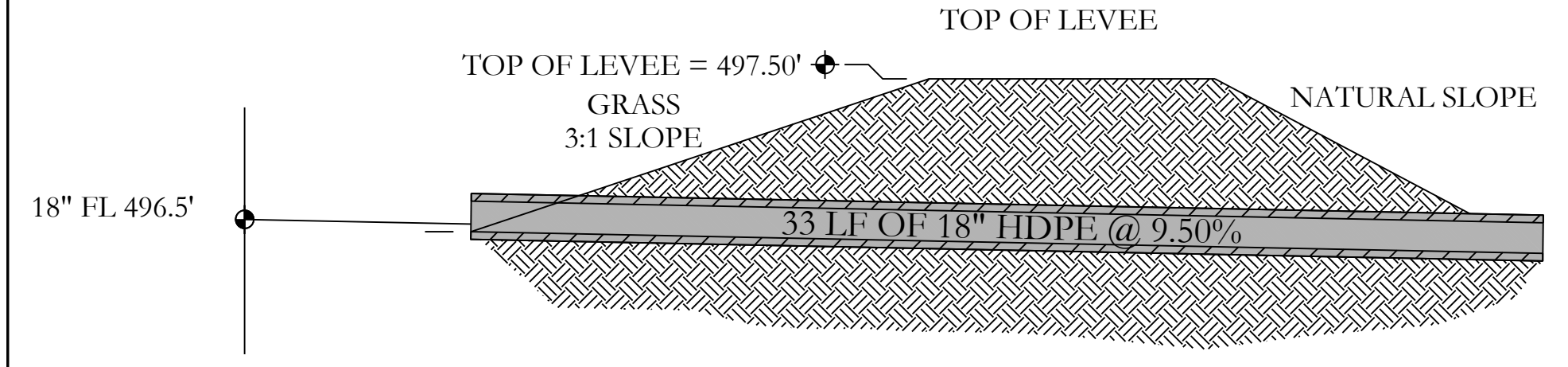
HOPE CONSULTING ENGINEERS - SURVEYORS		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com
FOR USE AND BENEFIT OF: NXT GEN HOMES LLC.		
HILLTOP LANDING CIVIL SPECIFICATIONS A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE:	10/05/2022	C.A.D. BY:
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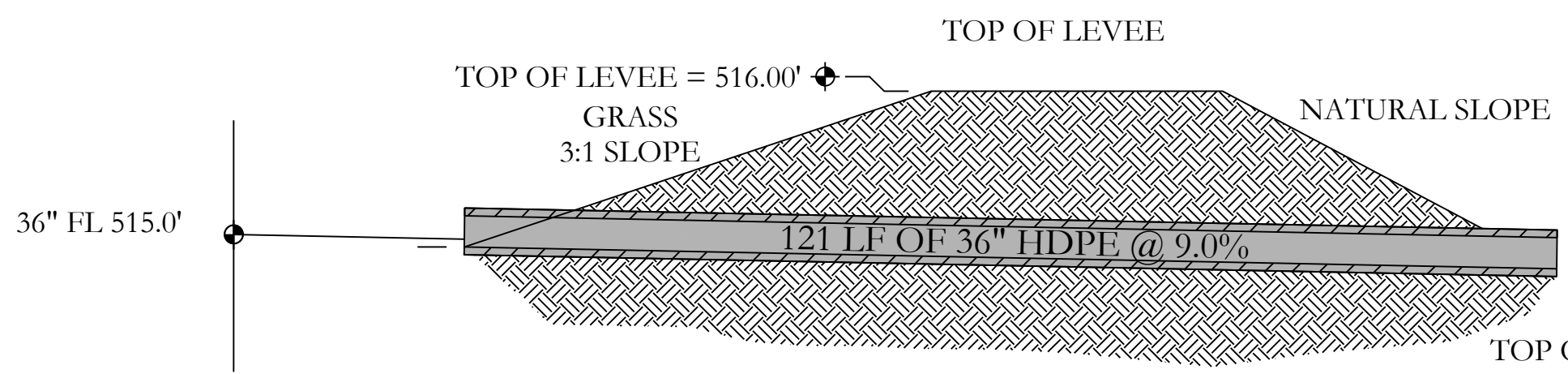
DETENTION POND-3



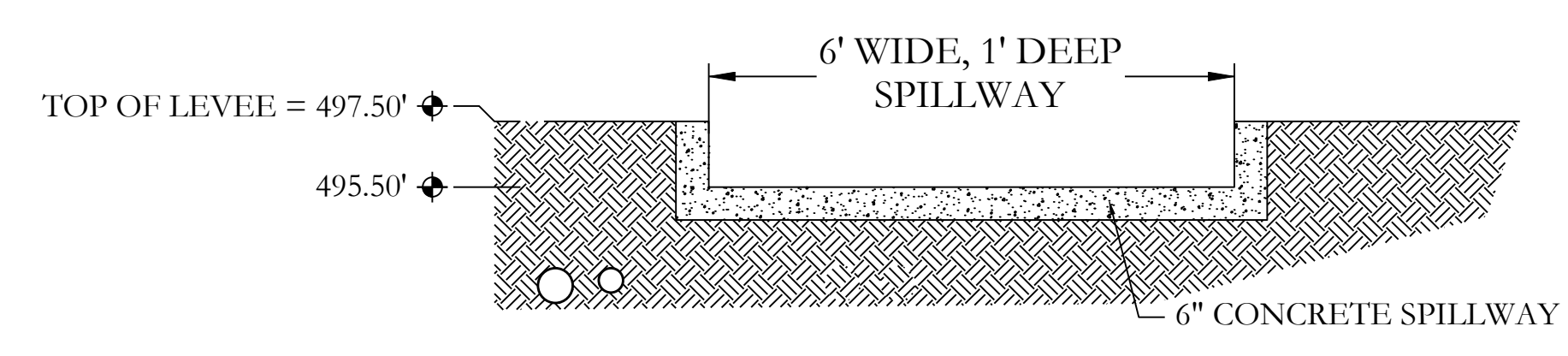
DETENTION POND-4



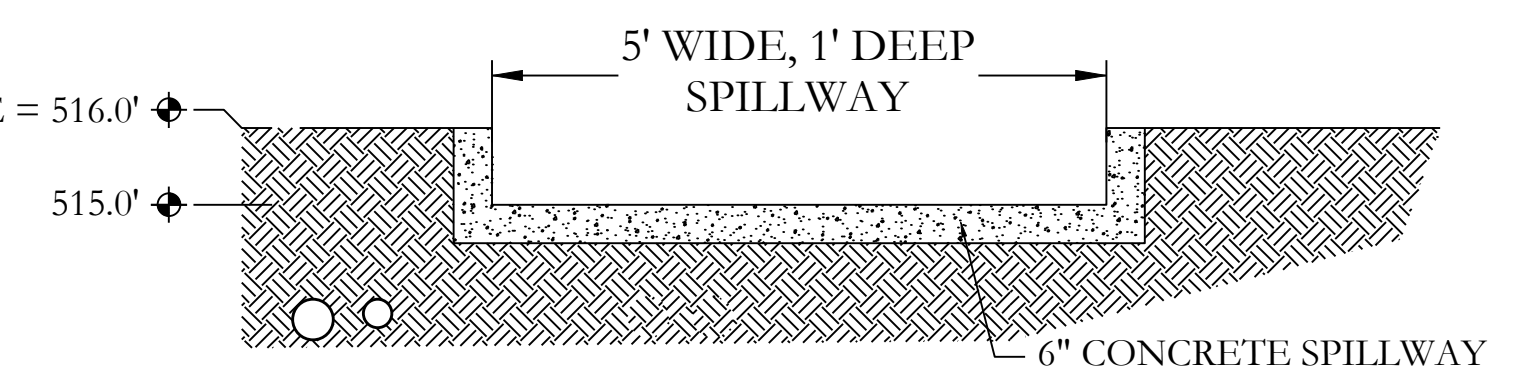
OUTLET SECTION NTS



OUTLET SECTION NTS



SPILLWAY END VIEW NTS



SPILLWAY END VIEW NTS

DETENTION POND -4

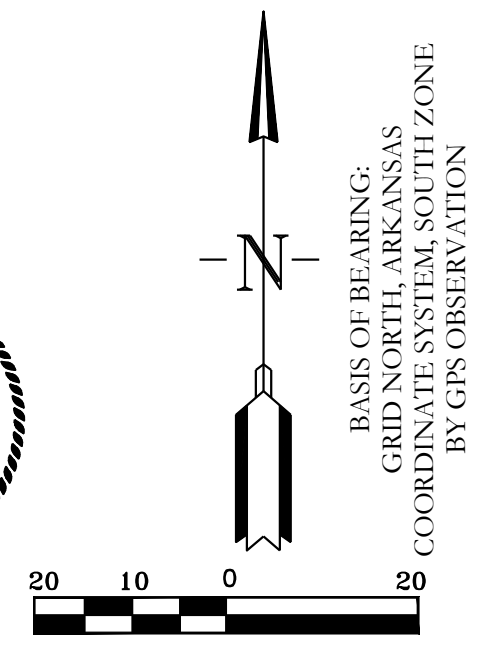
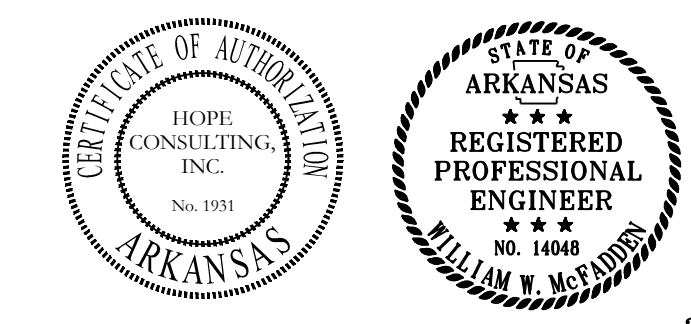
DETENTION POND-3

DETENTION POND MAINTENANCE PLAN

Background
The detention ponds are located on the periphery of the subdivision. They are designed to temporarily detain stormwater to meet water quantity criteria before discharging off the property.

Routine Maintenance
The property owners association will maintain the drainage easements. Routine maintenance will include but not be limited to:
-Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.
-The outlet pipes from the ponds and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.
-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.
-Inspect the pond and outlet pipe for non-routine maintenance need.

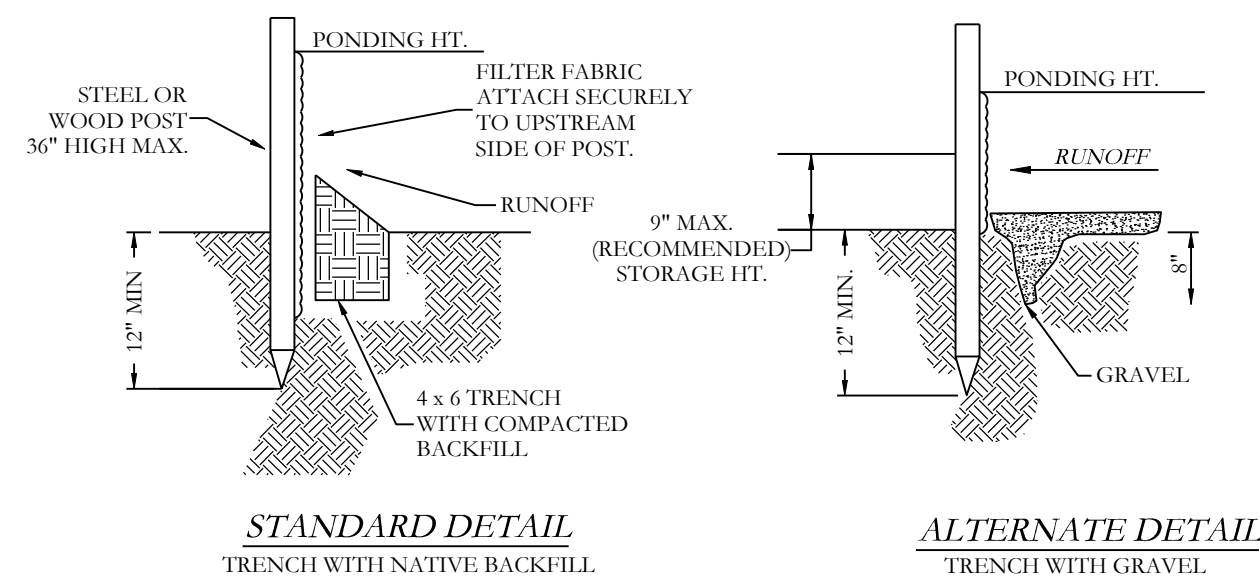
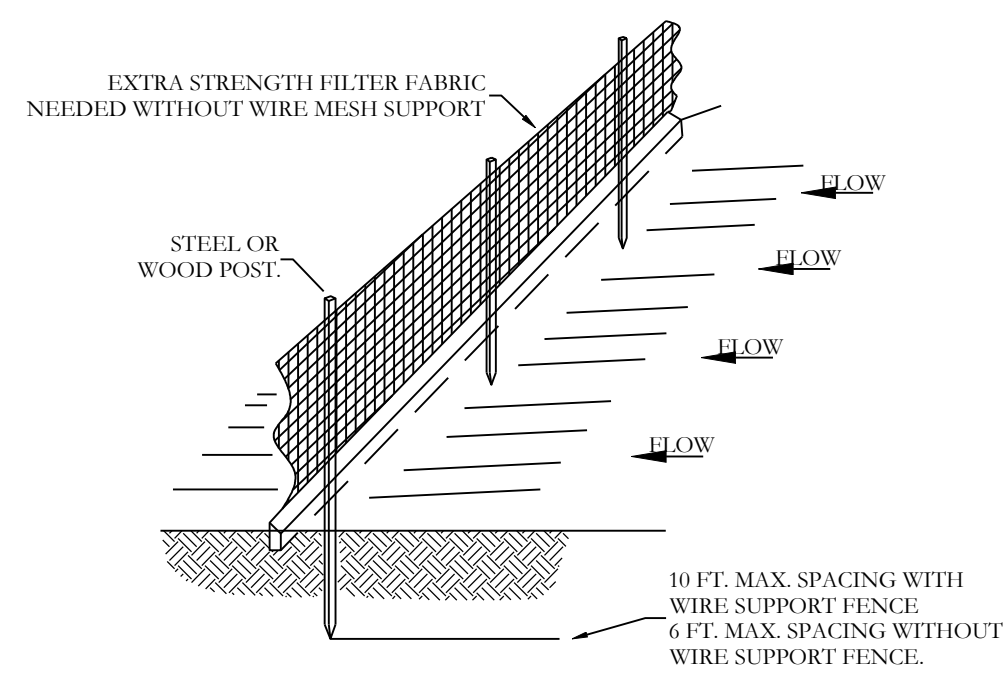
Periodic or Non-Routine Maintenance
The routine inspection of the pond areas and discharge pipes will identify needed repairs and non-routine maintenance. These items may include but not be limited to:
-Re-growth of trees on or around the pond bank. These should be cut and removed from the pond areas.
-Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.
-Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
-Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.



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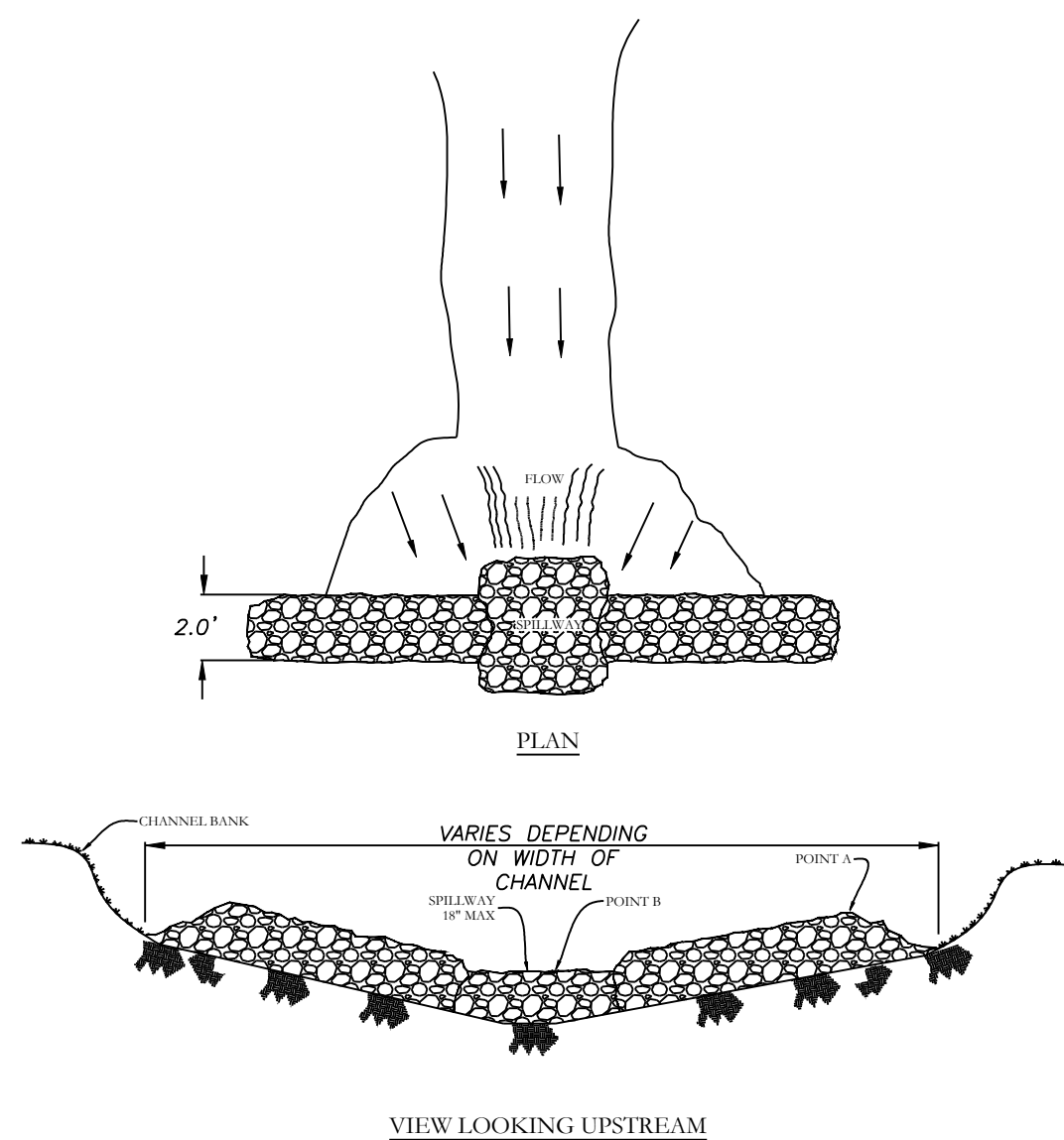
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PH. (501)315-2626
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FOR USE AND BENEFIT OF: NXT GEN HOMES LLC.			
HILLTOP LANDING DETENTION POND			
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	10/05/2022	C.A.D. BY:	DRAWING NUMBER:
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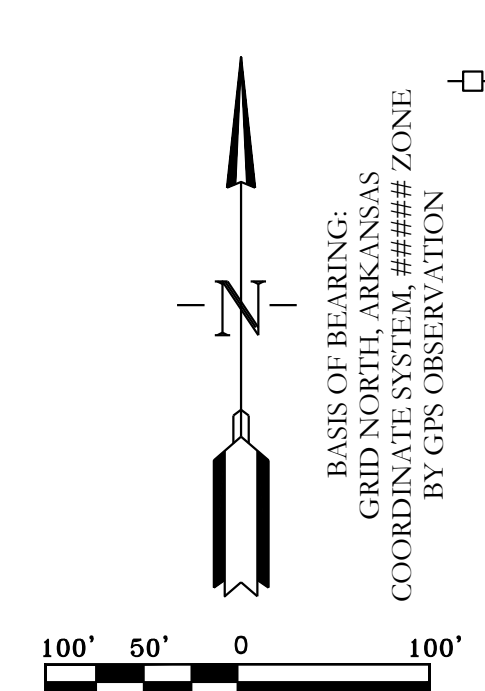
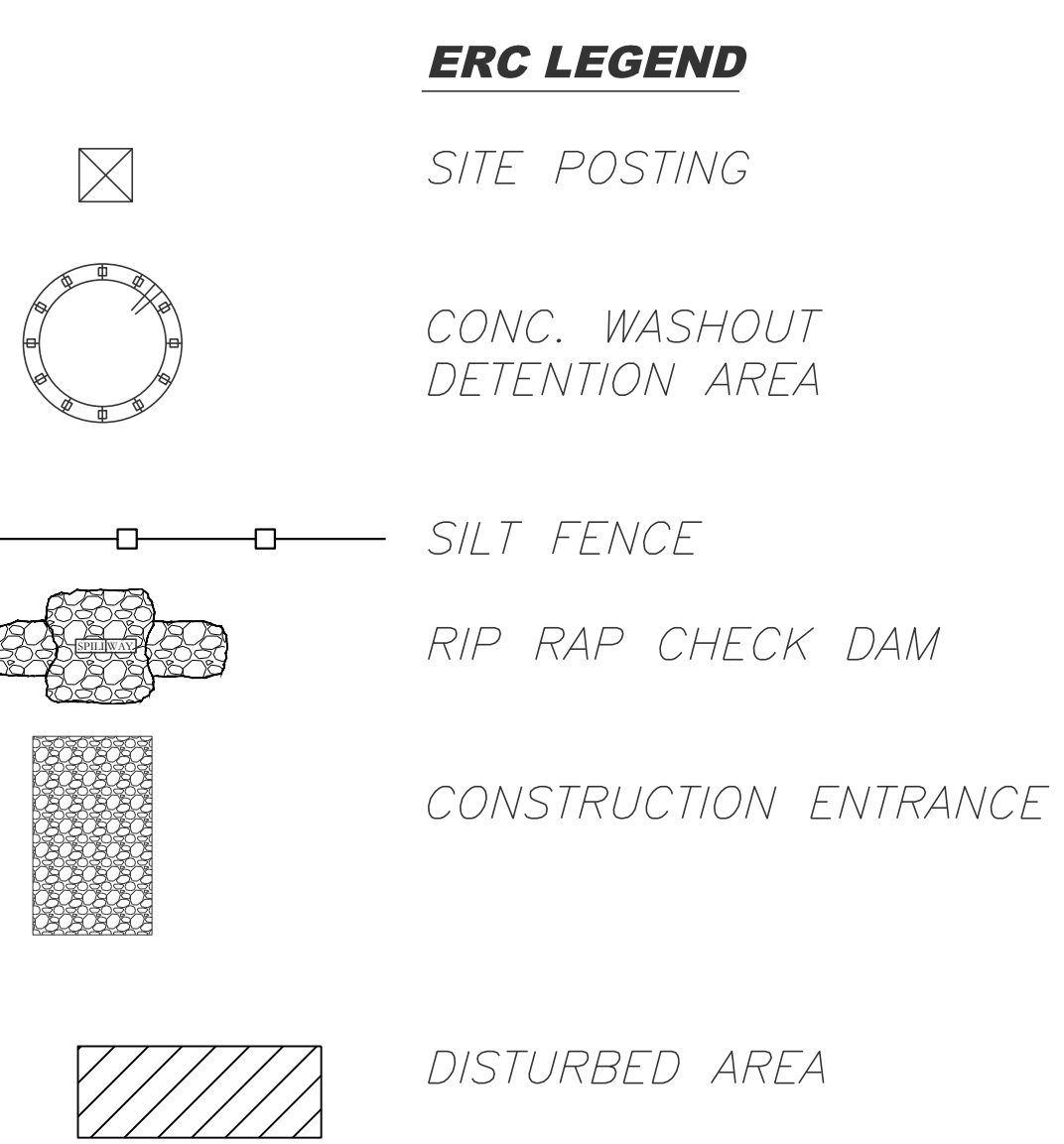
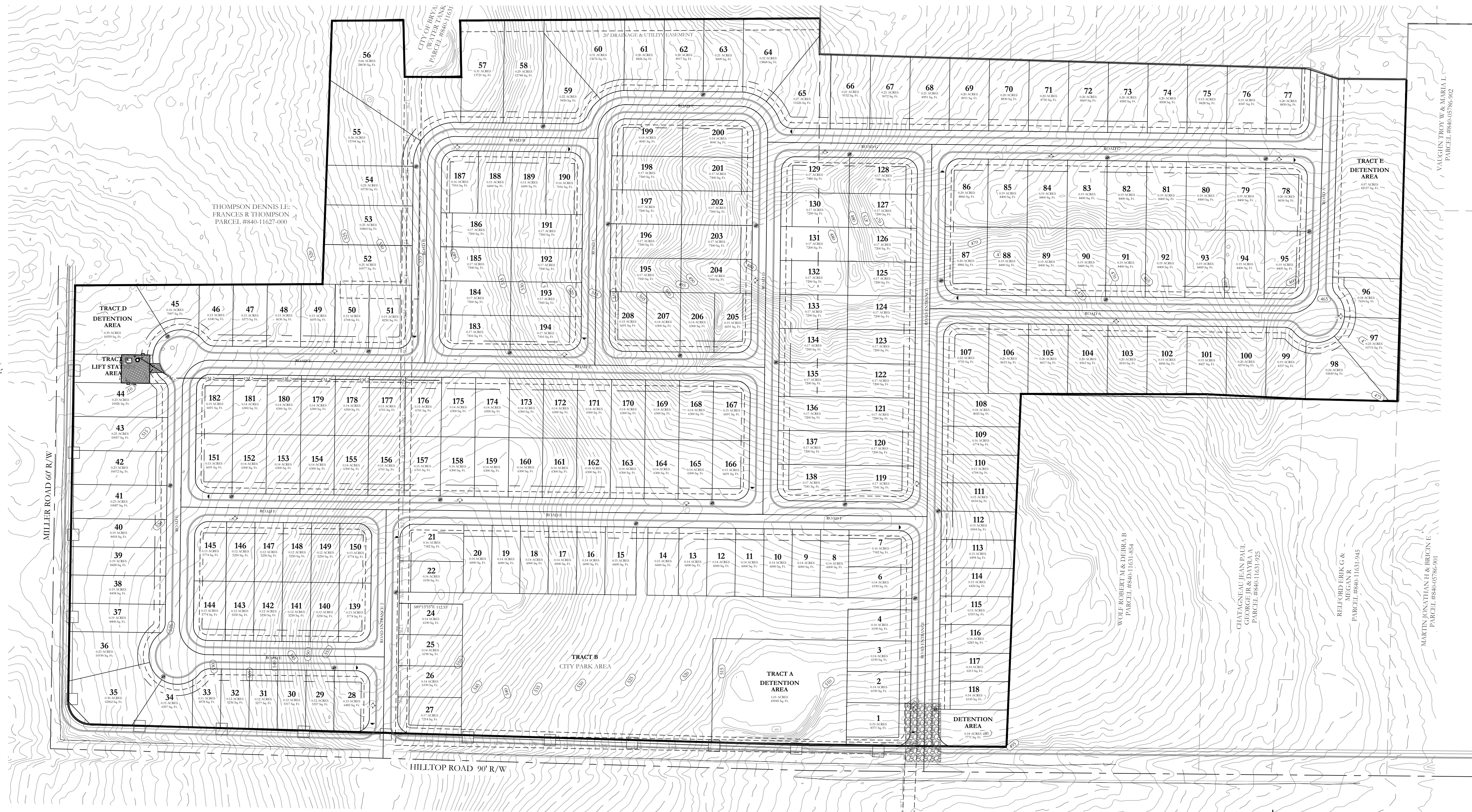
- NOTE:
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE



- NOTES:
- 1) POINT 'C' MUST BE HIGHER THAN POINT 'B' (SPILLWAY HEIGHT)
 - 2) 10' MIN. RISE OF RIP-RAP FROM POINT 'A' TO POINT 'B' WITH 1:1 SLOPE
 - 3) USE STRAW, ROCKS OR FILTER FABRIC TO FILTER SAND AND FINE PARTICLES
 - 4) BACKFILL MATERIAL TO PREVENT BREACHES OR FLOW OVER THE DAM
 - 5) SPILLWAY HEIGHT SHALL NOT EXCEED 10' 2"
 - 6) INSPECT AFTER EACH SIGNIFICANT STORM, MAINTAIN AND REPAIR PROPERLY.

RIP-RAP CHECK DAM



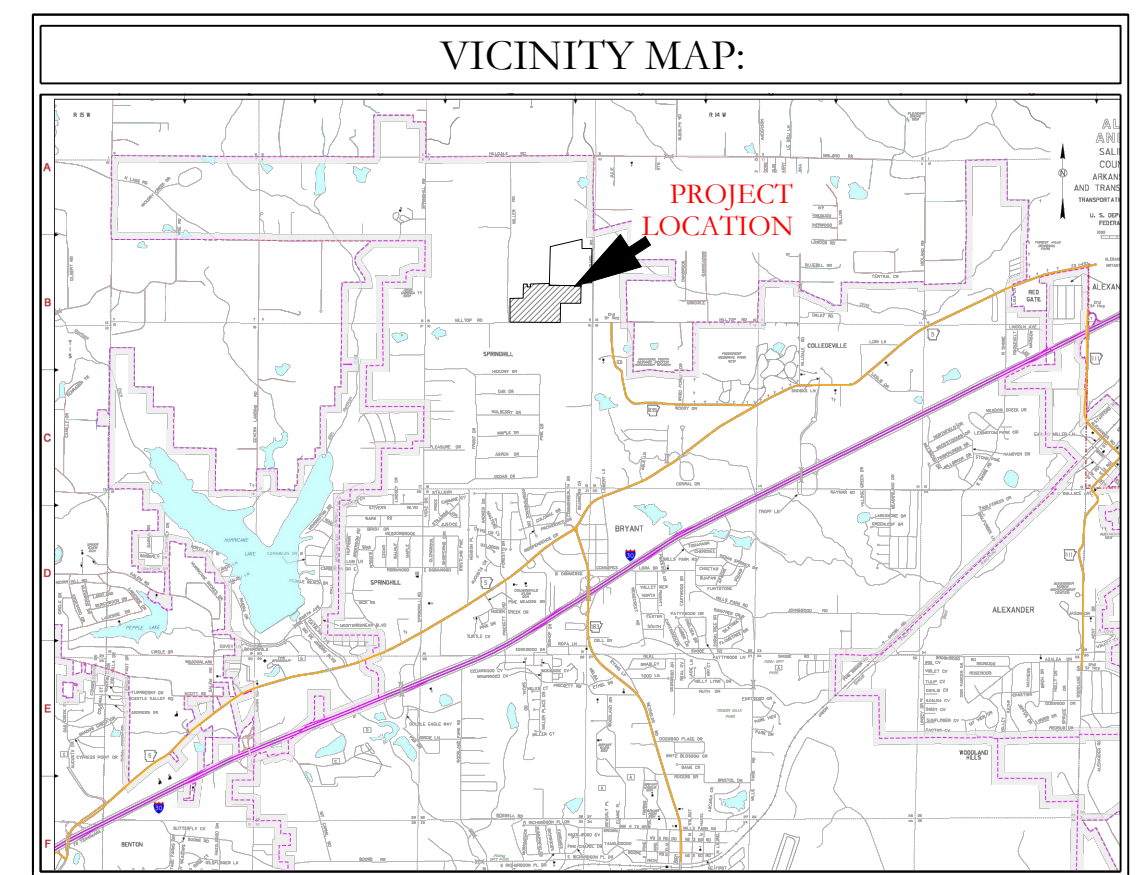
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BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE
BY GPS OBSERVATION

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14048
WILLIAM W. McGUIRE

CERTIFICATE OF AUTHORIZATION
HOPE CONSULTING, INC.
No. 1591
ARKANSAS



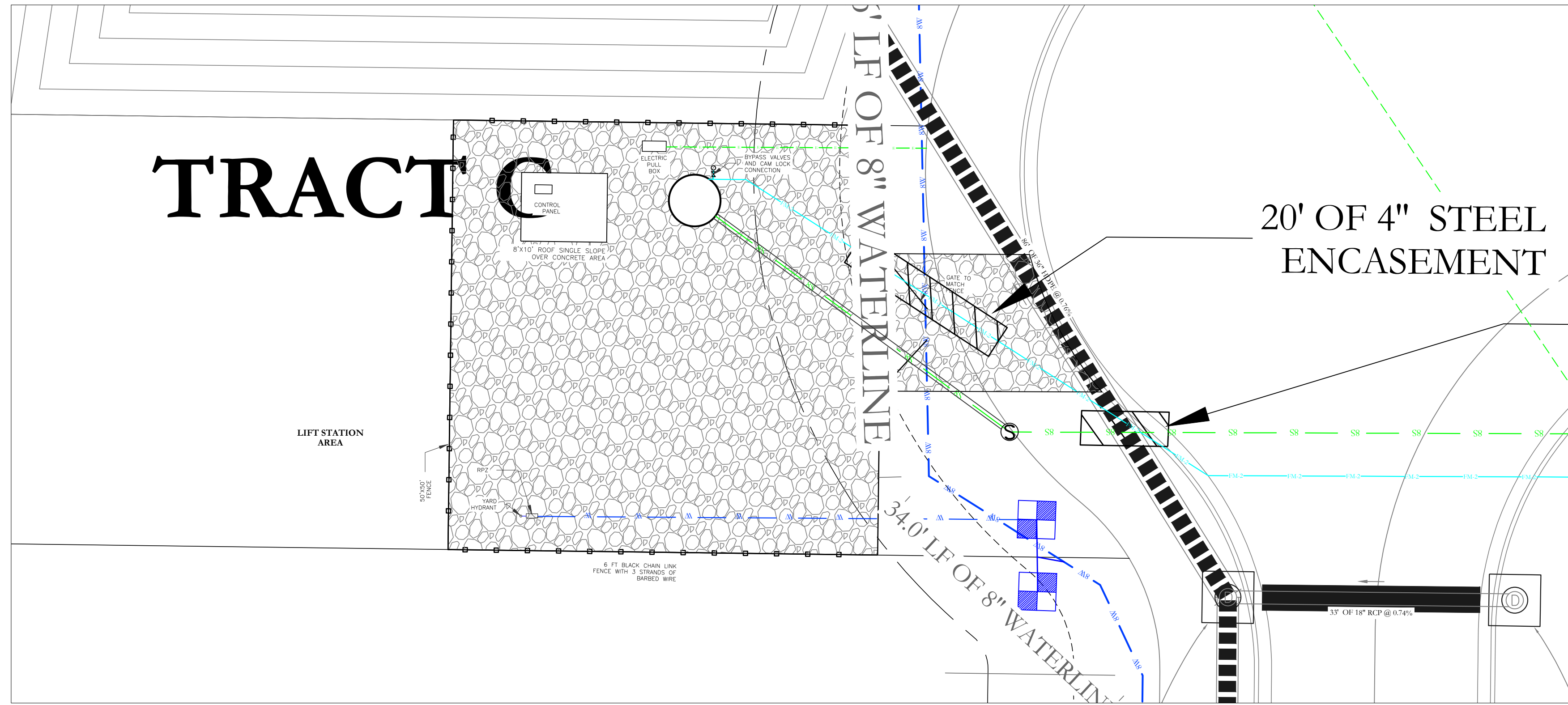
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NXT GEN HOMES LLC.

HILLTOP LANDING
EROSION CONTROL PLAN
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

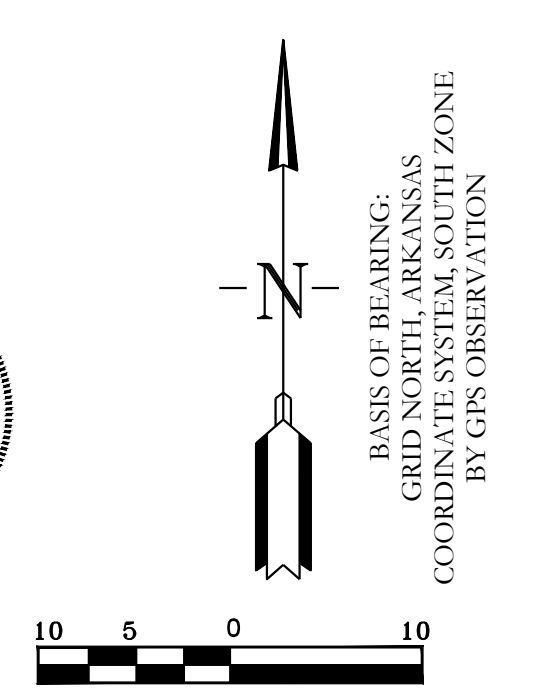
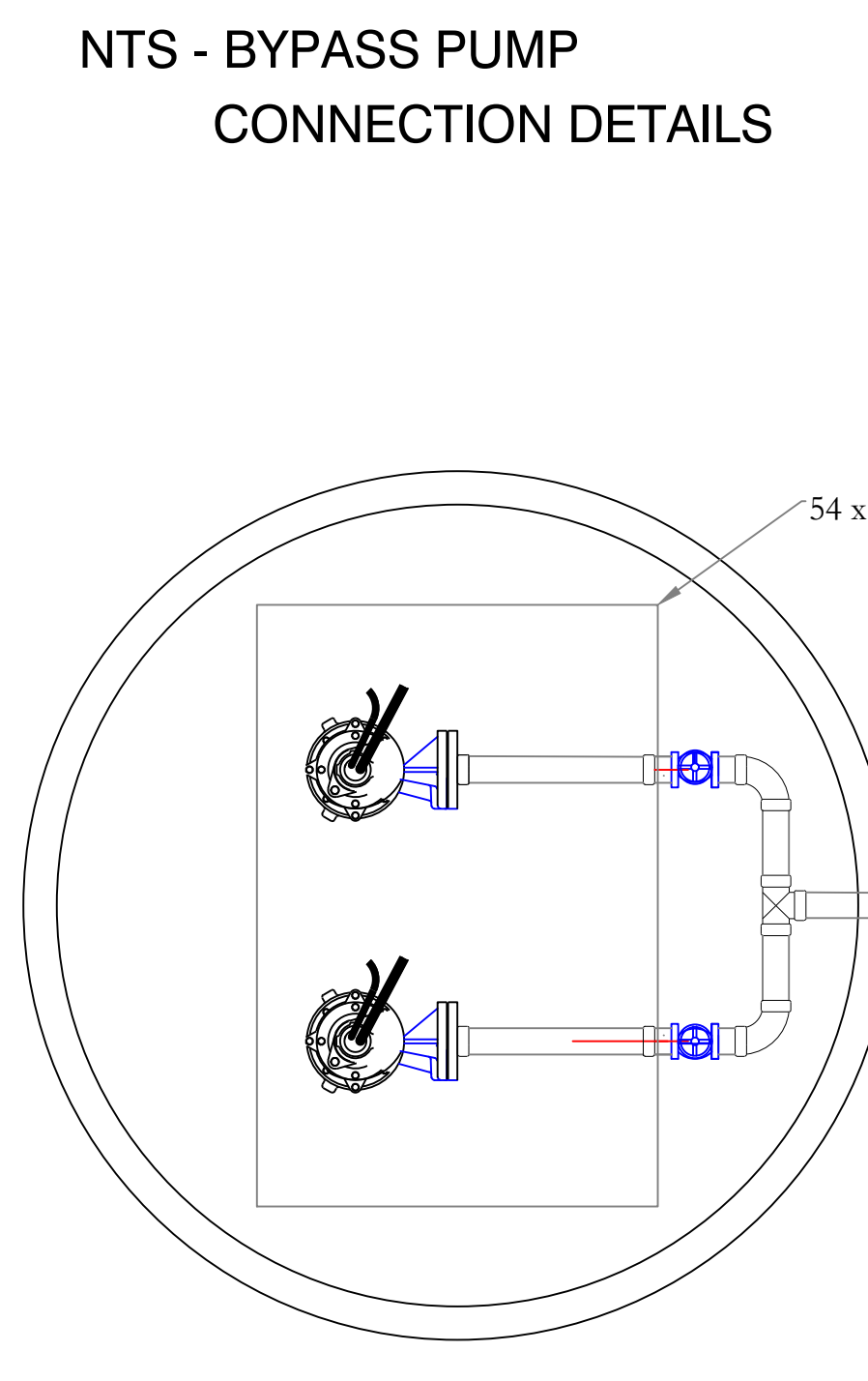
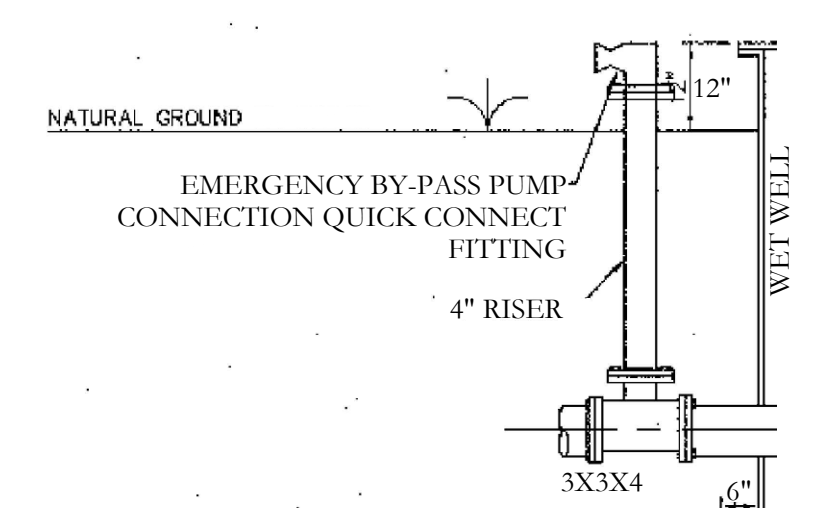
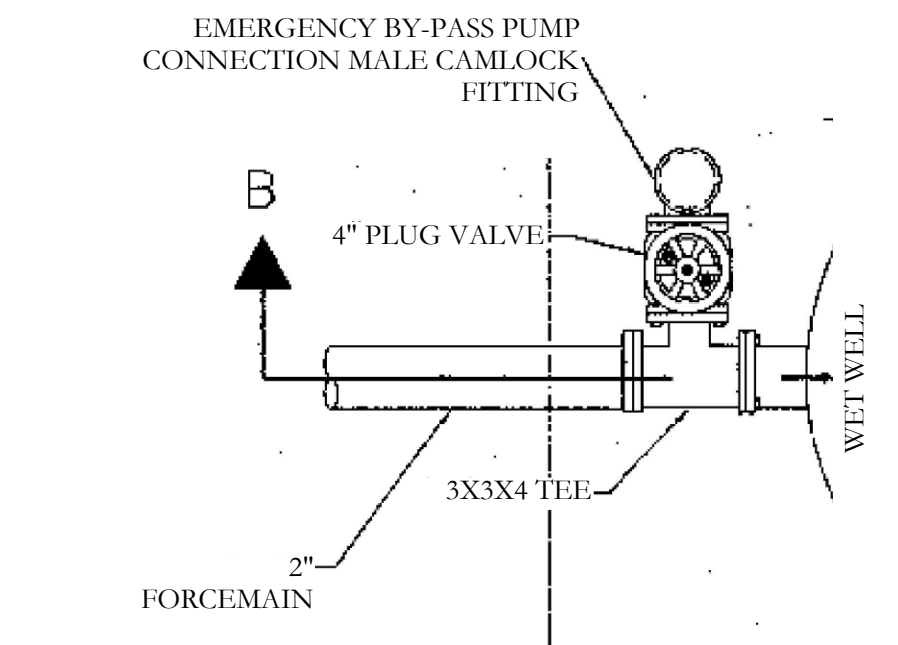
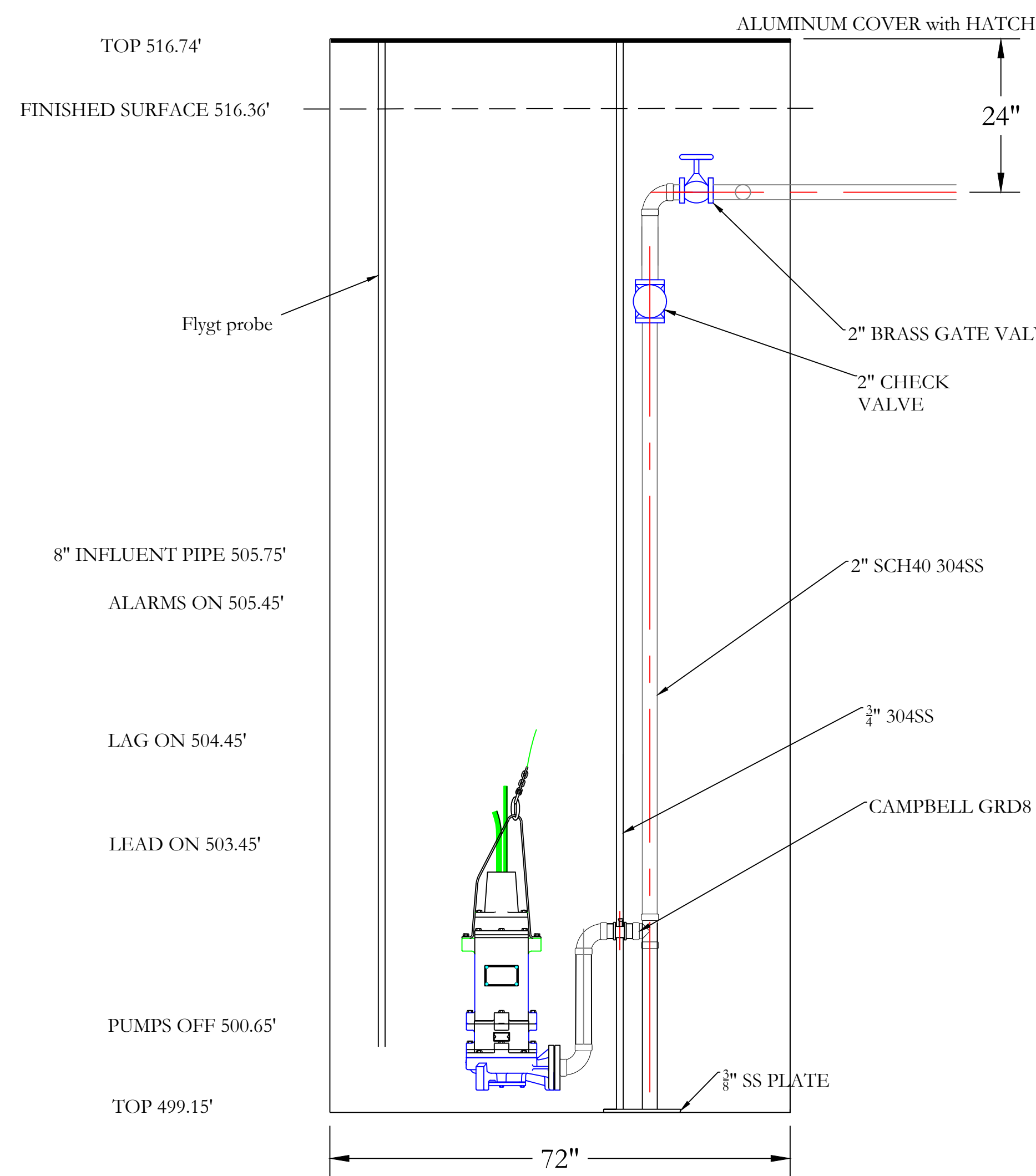
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SHEET: C-7.0	SCALE: 1" = 20'	
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LIFT STATION NOTES

DUPLEX LIFT STATION WILL BE PROVIDED BY JACK TYLER ENGINEERING, INC. AND WILL INCLUDE THE FOLLOWING:

1. Two(2) Myers Pump VS30-23 (3Hp, 230V, 3Ph) with a 3.5" impeller trim lifting bolts and stainless steel chain.
2. 60"x204" straight wall FRP basin with lifting lugs
3. Aluminum hatch cover 60" with vent and hoist socket
4. Float Bucket
5. Duplex control panel 3/60/230 vac, lead / log alternating
6. 200 amp disconnect and fuses
7. One (1) Flygt Probe
8. FRP basin plumbed with stainless steel guide rails, 2" stainless steel pipe and fittings, Campbell disconnects, brass check valves, ball valves, stainless tell extension handles, common discharge
9. One (1) 8" inlet hub
10. Delivery to job site
11. Start up installed lift station
12. A high-level alarm light and horn on the control panel top
13. Pump station equipped with hour meters
14. Generator Connection located at the top of control panel



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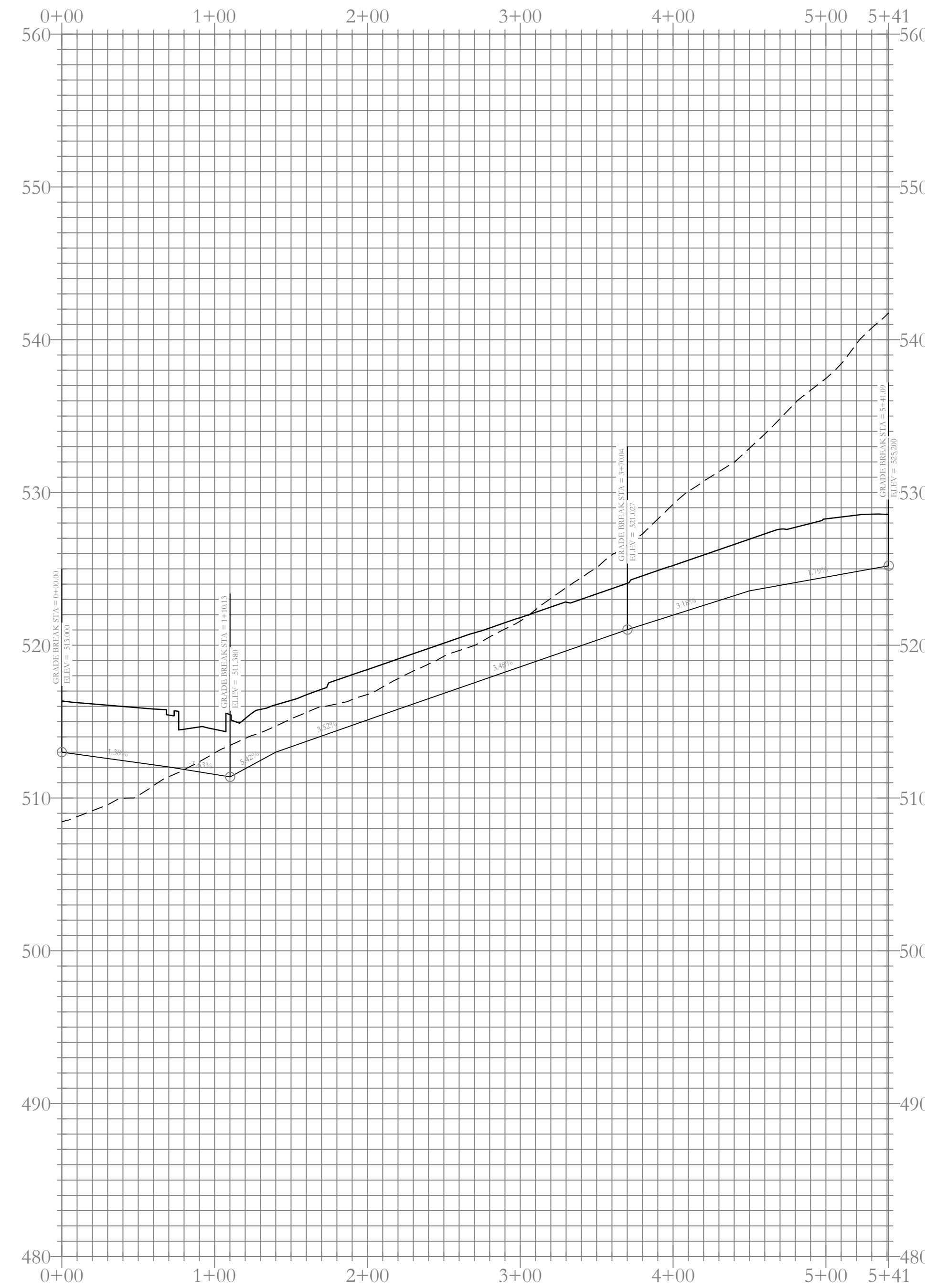
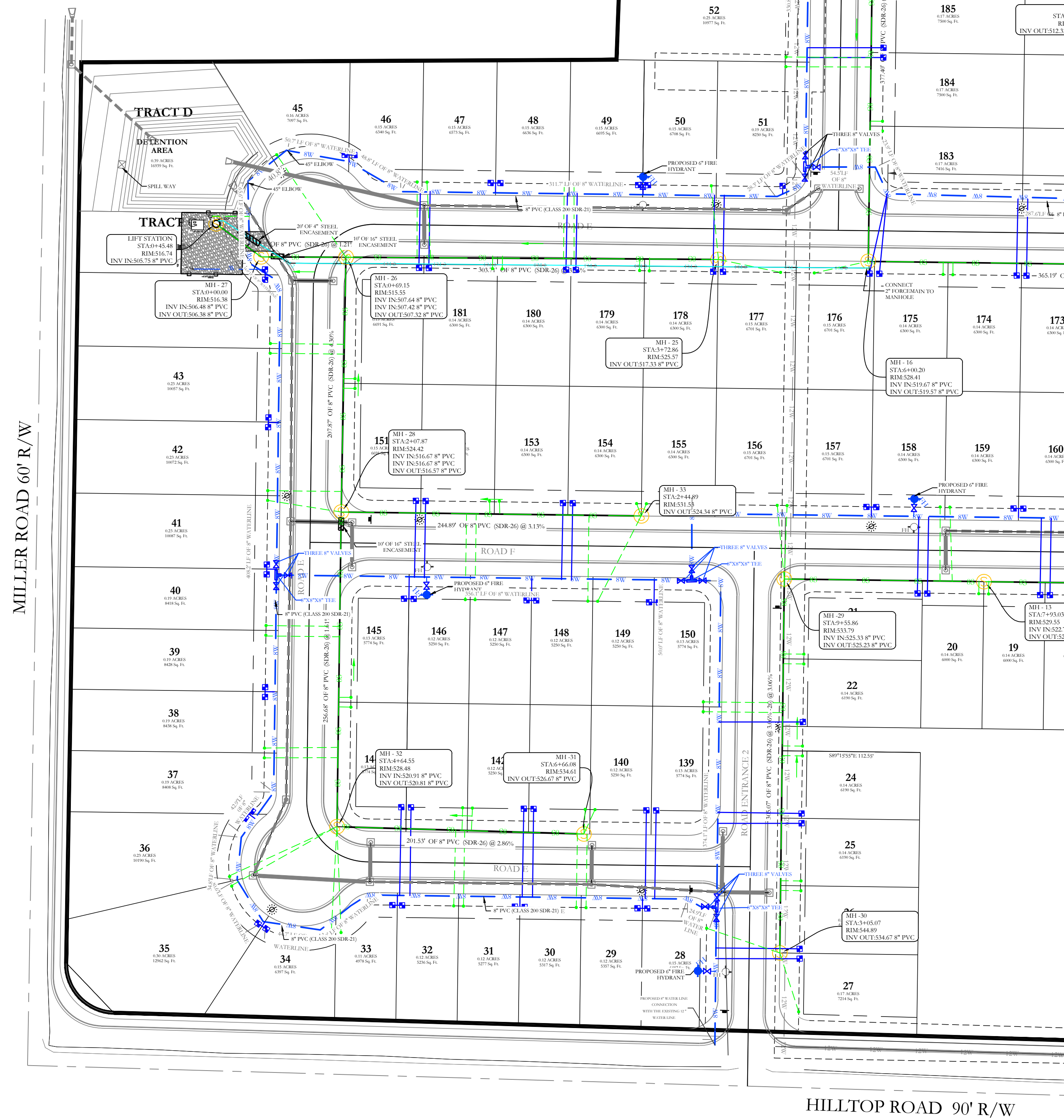
FOR USE AND BENEFIT OF:
 NXT GEN HOMES LLC.

LIFT STATION DETAILS/SPECIFICATIONS
 HILLTOP LANDING SUBDIVISION
 A SUBDIVISION IN THE CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS

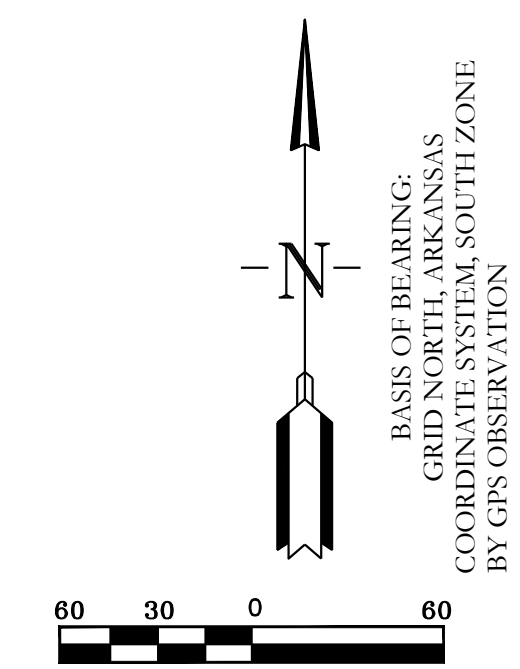
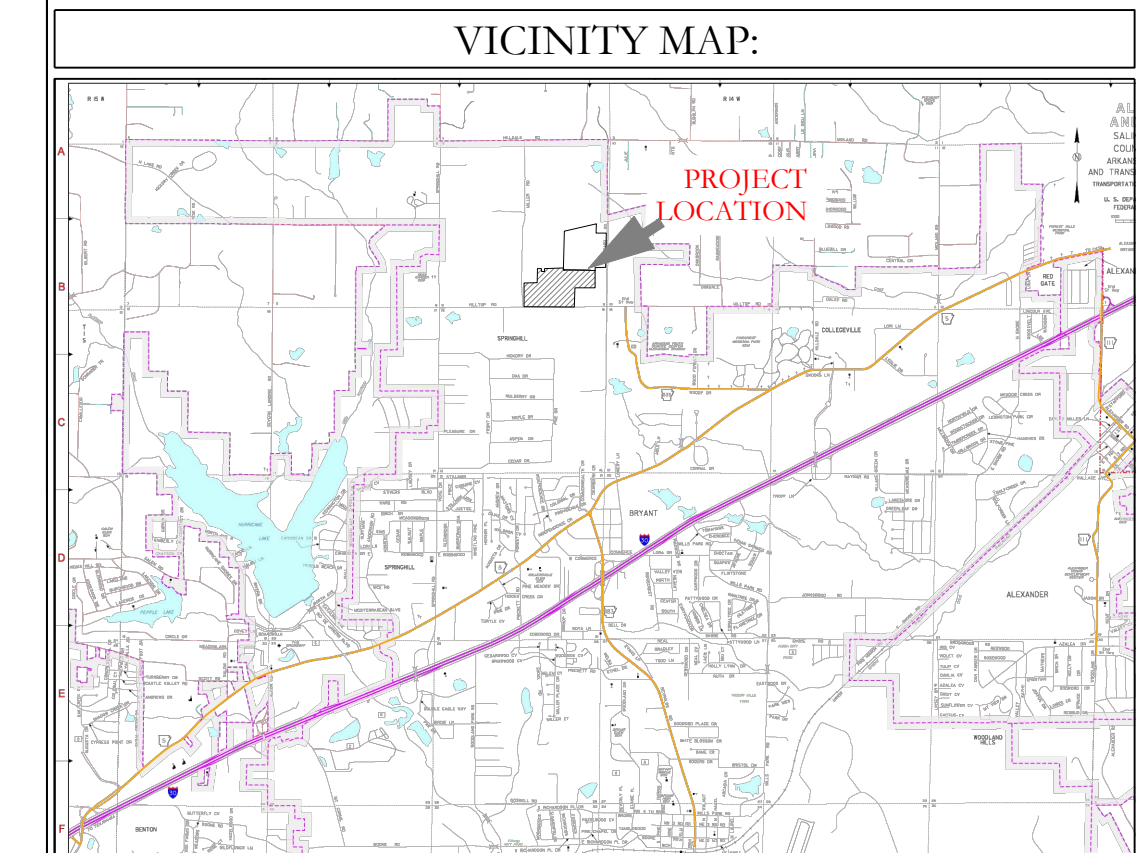
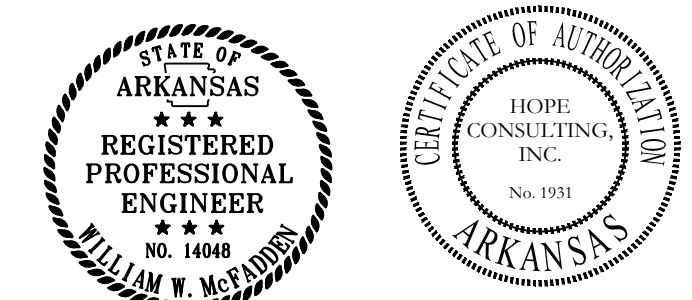
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THOMPSON DENNIS LE:
FRANCES R THOMPSON
PARCEL #840-11627-000



PROPOSED FORCEMAIN

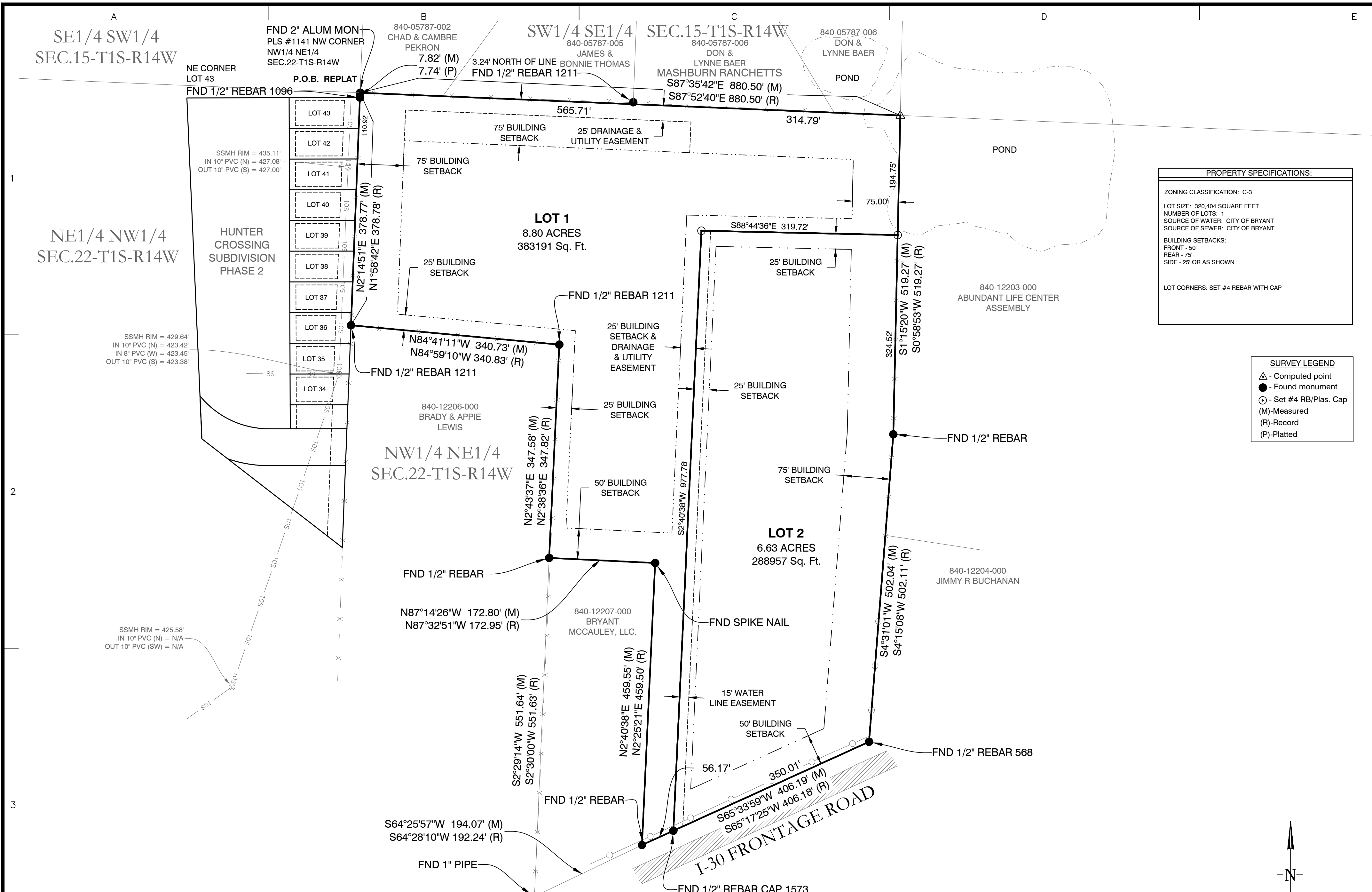


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DATE:	10/05/2022	C.A.D. BY:	DRAWING NUMBER:
REVISION:		CHECKED BY:	20-1341
SHEET:	C-8.1	SCALE:	1" = 80'
500	01S	14W	09 200 62 1762

K:\LAND PROJECTS\2004\SUBDIVISIONS\2020\20-1341 MILLER & HILLTOP\CVL\DWG\20-1341-CONSTRUCTION\DRAWING FULL PHASE_20-25-2022_RECOVER.DWG

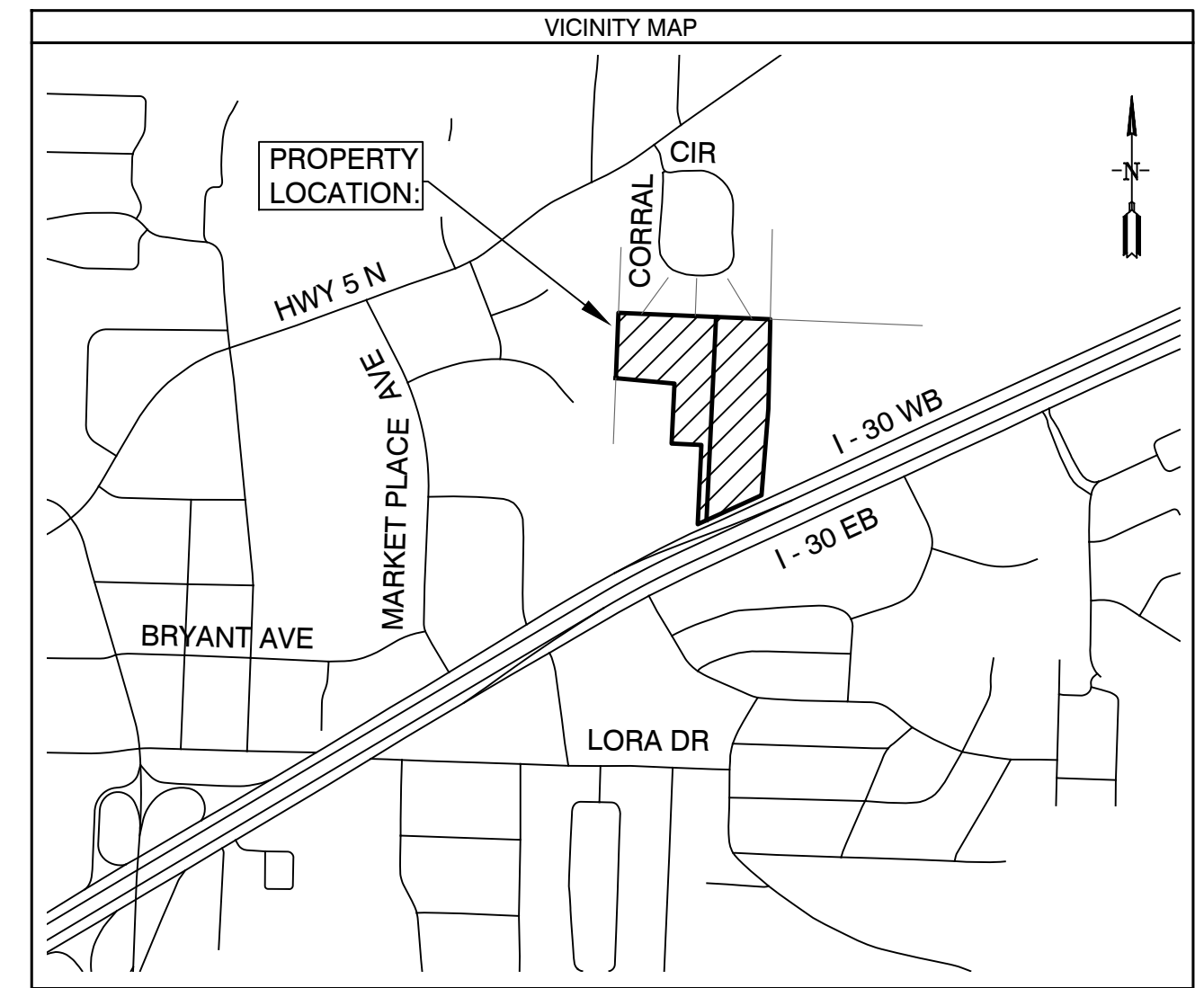


PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: C-3
 LOT SIZE: 320,404 SQUARE FEET
 NUMBER OF LOTS: 1
 SOURCE OF WATER: CITY OF BRYANT
 SOURCE OF SEWER: CITY OF BRYANT
 BUILDING SETBACKS:
 FRONT - 50'
 REAR - 75'
 SIDE - 25' OR AS SHOWN
 LOT CORNERS: SET #4 REBAR WITH CAP

SURVEY LEGEND

△ - Computed point
 ● - Found monument
 ○ - Set #4 RB/Plas. Cap
 (M) - Measured
 (R) - Record
 (P) - Platted



PROPERTY DESCRIPTION:

OVERALL SUBDIVISION DESCRIPTION
 PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A FOUND 2" ALUMINUM MONUMENT PLS#1141 FOR THE NORTHWEST CORNER OF THE SAID NW1/4 NE1/4; THENCE S87°35'42"E - 880.50 FEET ALONG THE NORTH LINE THEREOF TO A COMPUTED POINT WHICH FALLS IN AN EXISTING POND THEREOF; THENCE LEAVING SAID NORTH LINE S1°15'20"W - 519.27 FEET TO A FOUND 1/2" REBAR; THENCE S4°31'01"W - 502.04 FEET TO A FOUND 1/2" REBAR W/CAP 568 LOCATED ON THE NORTHERLY RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD; THENCE ALONG SAID RIGHT OF WAY S65°33'59"W - 406.19 FEET TO 1/2" REBAR; ; THENCE LEAVING SAID RIGHT OF WAY N2°40'38"E - 459.55 FEET TO A FOUND SPIKE NAIL; THENCE N87°14'26"W - 172.80 FEET TO A FOUND 1/2" REBAR; THENCE N2°43'37"E - 347.58 FEET TO A FOUND 1/2" REBAR W/CAP 1211; THENCE N84°41'11"W - 340.73 FEET TO A FOUND 1/2" REBAR W/CAP #1211 LOCATED ON THE WEST LINE OF THE SAID NW1/4 NE1/4; THENCE ALONG SAID WEST LINE N2°14'51"E - 378.77 FEET TO THE POINT OF BEGINNING, CONTAINING 15.43 ACRES, MORE OR LESS. SUBJECT TO ANY EXISTING EASEMENTS AND THE RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD.

DOCUMENTS USED:

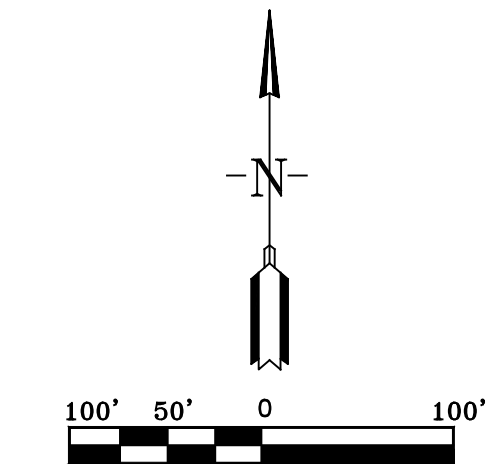
- DEED BOOK 1998 PAGE 11732 QCD WILLIAMS
- PREVIOUS SURVEY BY BROWN DATED 9/14/08
- NEIGHBORING SURVEY BY RASBURY DATED 2/4/05

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON MAY 17, 2021.
 THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.
 THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.



SURVEY PLAT CODE:
 500-01S-14W-0-22-140-62-1573



09-26-2022

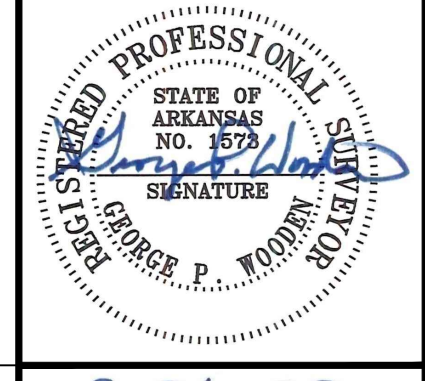
**FINAL PLAT
 CUSTOM ADVERTISING
 SUBDIVISION TO THE
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS**

PLAT CERTIFICATES:

<p>OWNER: Name: Northside Center LLC & So Diggin, Inc. d/b/a Custom Advertising of AR Address: P.O. Box 91, Alexander, AR 72002</p>	<p>DEVELOPER: Name: Northside Center LLC Address: P.O. Box 91, Alexander, AR 72002</p>	<p>CERTIFICATE OF RECORDING: I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on 9/26/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.</p>
<p>CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.</p> <p>Date: _____ Signed: _____ William Smith P.O. Box 91, Alexander, AR 72002</p>	<p>CERTIFICATE OF SURVEYING ACCURACY: Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____ All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.</p> <p>Date: _____ Signed: _____ George P. Wooden Registered Land Surveyor No. 1573, Arkansas</p>	<p>CERTIFICATE OF FINAL PLAT APPROVAL: Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____ All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.</p> <p>Date: _____ Signed: _____ Rick Johnson, Chairman Bryant Planning Commission</p>
<p>CERTIFICATE OF ENGINEERING ACCURACY: I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.</p> <p>Date: _____ Signed: _____ Vernon J. Williams Registered Professional Engineer No. 9551, Arkansas</p>	<p>Approval of the final plat shall become null and void unless said plat is filed for record within one hundred twenty (120) days from the date of execution of this certificate.</p>	

BY	
REVISION	
DATE	
<p>FOR: CUSTOM ADVERTISING LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST CITY OF BRYANT, ARKANSAS</p>	
<p>9-26-22</p>	
<p>CONTENTS: FINAL PLAT</p>	
PROJECT NO:	21069
DATE:	SEPT. 26 2022
SHEET NO:	V1.0

Designing our client's success
GarNat Engineering, LLC
 3825 Mt. Carmel Rd
 Bryant, AR 72022
 P.O. Box 116
 Benton, AR 72015
 Ph: (501) 408-4650
 garmatengineering@gmail.com



09-26-2022

CUSTOM ADVERTISING OFFICE & SHOPS ADDITION BRYANT, ARKANSAS

Prepared by:

GarNat Engineering, LLC

Designing our client's success

www.garnatengineering.com

P.O. Box 116
Benton, AR 72018
Ph (501) 408-4650

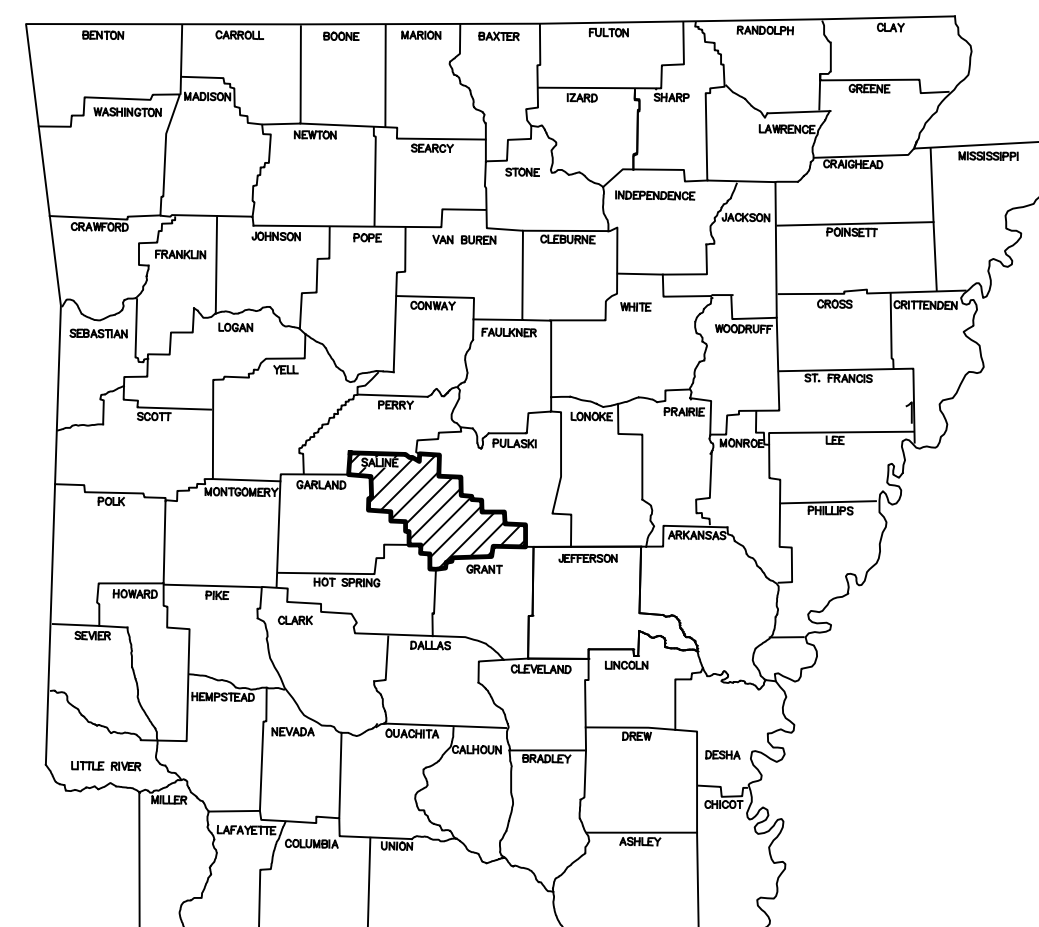
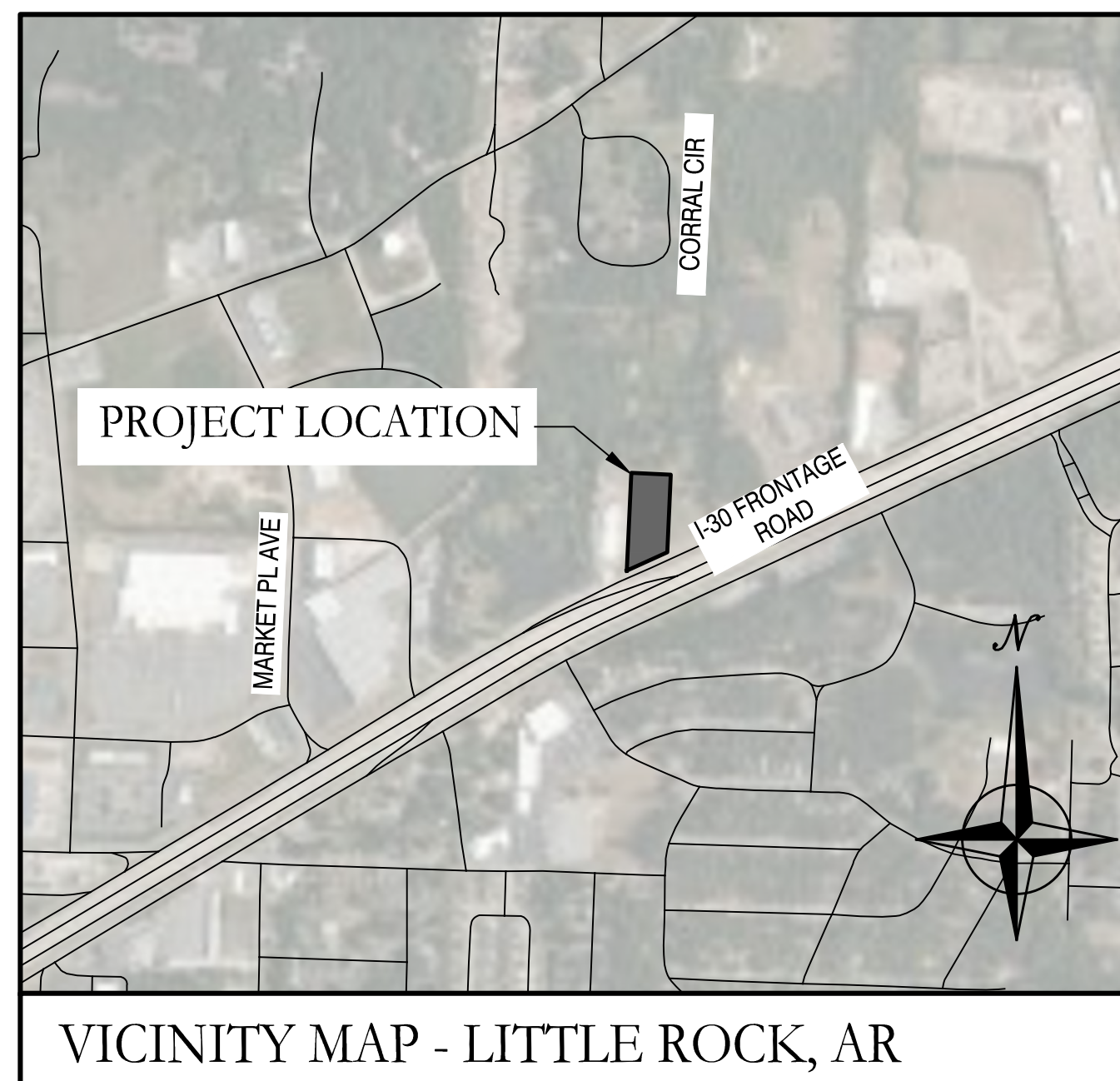
3825 Mt Carmel Road
Bryant, AR 72022
Fx (888) 900-3068

DRAWING INDEX:

G1.0	GENERAL NOTES
V1.0	CUSTOM ADVERTISING SUBDIVISION - FINAL PLAT
C1.0	SITE PLAN
C1.1	SITE DETAILS
C2.0	UTILITY PLAN
C2.1	FORCE MAIN PROFILE
C2.2	MYERS LIFT STATION DETAILS
C3.0	GRADING & DRAINAGE PLAN
C3.1	GRADING & DRAINAGE PROFILES
C3.2	OUTLET STRUCTURE
C4.0	EROSION CONTROL PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE NOTES & DETAILS

ARDOT INDEX:

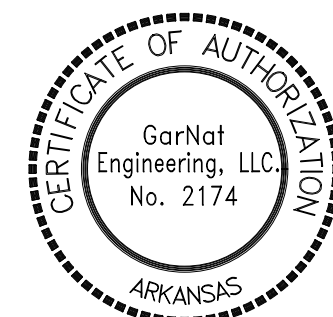
TEC-1	TEMPORARY EROSION CONTROL DEVICES
WR-2	WHEEL CHAIR RAMPS





ARKANSAS



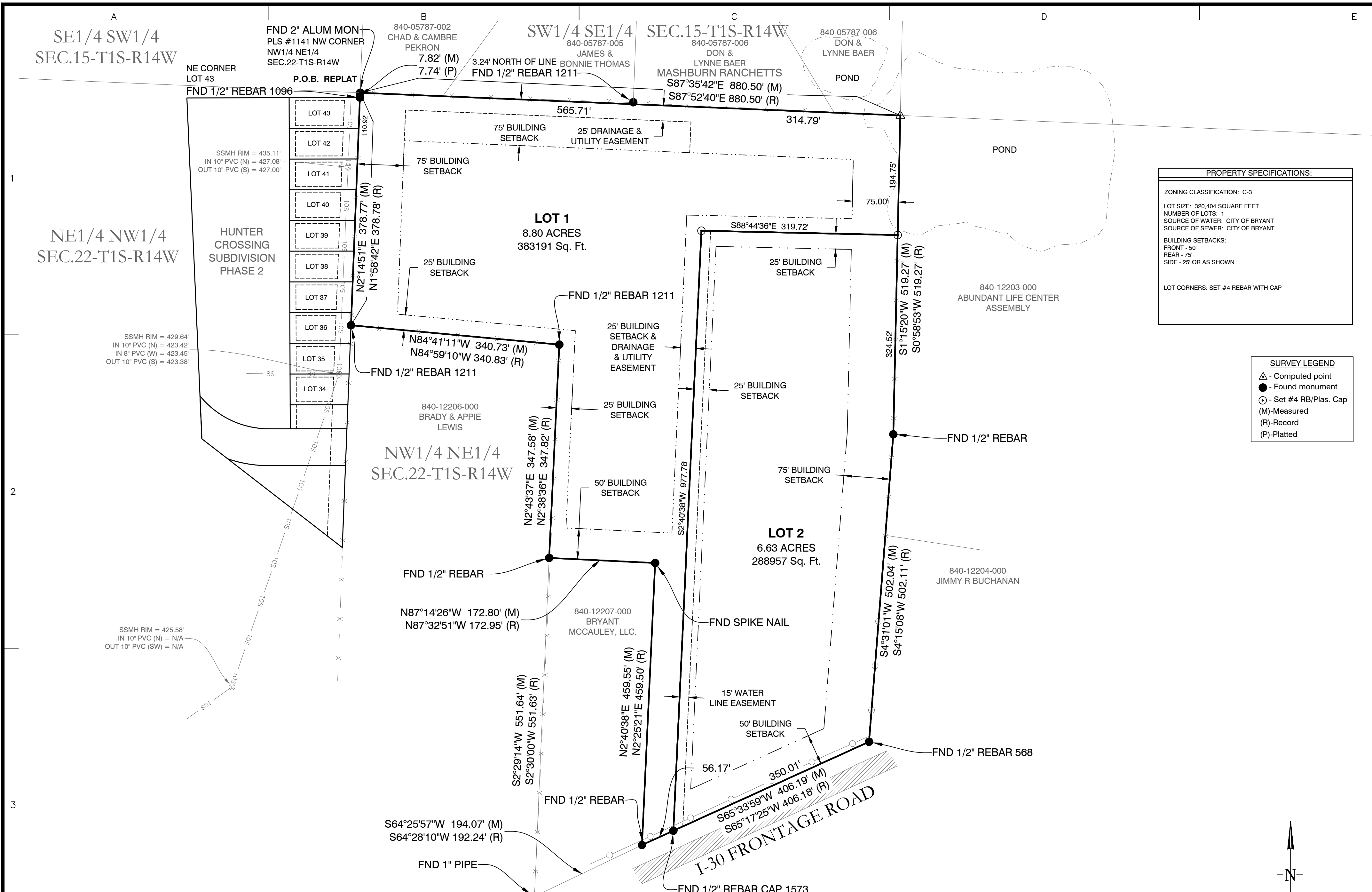
10-5-2022



A	B	C	D	E	F
<p>1. SAFETY</p> <p>1.1. JOBSITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>1.2. THIS RESPONSIBILITY COVERS THEIR OWN WORK FORCE, ALL SUBCONTRACTORS, VISITING PERSONNEL, OFFICIALS, AND THE GENERAL PUBLIC WHICH MAY HAVE ACCESS TO THE JOBSITE.</p> <p>1.3. THE CONTRACTOR SHALL EXERCISE COMPLETE CONTROL OVER WHO HAS ACCESS TO THE JOBSITE TO ENSURE JOBSITE SAFETY.</p> <p>1.4. THE CONTRACTOR SHALL CONFORM TO ALL SECURITY AND SAFETY REQUIREMENTS OF THE OWNER.</p> <p>1.5. ANY SAFETY OR OTHER TRAINING REQUIRED BY THE OWNER FOR THE WORK FORCE MUST BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.</p>		<p>7. STRUCTURES</p> <p>7.1. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT IN TO INVERT OUT.</p> <p>7.2. BEDDING FOR STORM STRUCTURES SHALL CONSIST OF A MINIMUM OF 6-INCHES OF COMPACTED #57 STONE ON TOP OF COMPACTED SUBGRADE.</p> <p>7.3. AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SCARIFIED TO MINIMUM DEPTH OF 0'-8" AND COMPACTED TO MINIMUM OF 95% OPTIMUM DENSITY. ANY AREAS THAT FAIL COMPACTION ARE TO BE STABILIZED AS DIRECTED BY THE ENGINEER.</p>		<p>11. SUBSTITUTIONS</p> <p>11.1. SUBSTITUTIONS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT ENGINEER.</p>	<p>12. ENVIRONMENTAL</p> <p>12.1. THE CONTRACTOR IS TO MEET ALL ENVIRONMENTAL REQUIREMENTS OF THE OWNER AND ANY REGULATORY AGENCY HAVING AUTHORITY OVER THIS SITE.</p> <p>12.2. THE CONTRACTOR IS TO UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) FOR CONTROL OF EROSION DURING ALL CONSTRUCTION PHASES OF THIS PROJECT.</p> <p>12.3. MINIMUM BMP'S REQUIRED FOR THE PROJECT ARE LISTED ON SHEET THESE PLANS. CONTRACTOR SHALL PROVIDE THESE BMP'S AND ANY OTHERS REQUIRED FOR THE PROJECT.</p> <p>12.4. IF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE CONSTRUCTION PHASE OF THIS PROJECT, THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS FOR EROSION CONTROL INCLUDED IN THE SWPPP DOCUMENTS.</p> <p>12.5. CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF ACCUMULATED TRASH AND DEBRIS. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING MEASURES TO AVOID TRACKING OF MUD, DIRT, ROCKS, AND DEBRIS ONTO AREAS OUTSIDE THE PROJECT AREA. CONTRACTOR SHALL CLEAN PAVEMENTS WHEN NECESSARY OR AS OTHERWISE DIRECTED, AND SHALL CONTROL DUST BY SWEEPING AND WATERING AS NEEDED. DE-TRACKING MAY BE REQUIRED AT ALL ENTRANCES.</p>
<p>2. PERMITS</p> <p>2.1. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AS REQUIRED BY REGULATING AUTHORITIES OR BY THE OWNER. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE TERMS AND CONDITIONS ASSOCIATED WITH EACH REQUIRED PERMIT, AS WELL AS ADHERING TO THE RULES AND REGULATIONS OF EACH REGULATING AUTHORITY</p>		<p>8. PRIOR TO PLACING FILL IN LOW AREAS, SUCH AS PREVIOUSLY EXISTING CREEKS, PONDS, OR LAKES, PERFORM FOLLOWING PROCEDURES:</p> <p>8.1. DRAIN WATER OUT BY GRAVITY WITH DITCH HAVING FLOW LINE LOWER THAN LOWEST ELEVATION IN LOW AREA. IF DRAINAGE CANNOT BE PERFORMED BY GRAVITY DITCH, USE ADEQUATE PUMP TO OBTAIN THE SAME RESULTS.</p> <p>8.2. AFTER DRAINAGE OF LOW AREA IS COMPLETE, REMOVE MULCH, MUD DEBRIS, AND OTHER UNSUITABLE MATERIAL BY USING ACCEPTABLE EQUIPMENT AND METHODS THAT WILL KEEP NATURAL SOILS UNDERLYING LOW AREA DRY AND UNDISTURBED.</p>		<p>13. FINAL SITE CONDITIONS</p> <p>13.1. ALL DISTURBED AREAS NOT RECEIVING PAVEMENT OR LANDSCAPING SHALL HAVE VEGETATION ESTABLISHED AT TIME OF FINAL INSPECTION.</p> <p>13.2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPE 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.</p> <p>13.3. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.</p> <p>13.4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS</p> <p>13.5. UPON PARTIAL OR FINAL COMPLETION OF GRADING WORK, SPREAD TOPSOIL, SEED, FERTILIZER, AND MULCH IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE STORM WATER POLLUTION PREVENTION PLAN.</p>	<p>13. FINAL SITE CONDITIONS</p> <p>13.1. ALL DISTURBED AREAS NOT RECEIVING PAVEMENT OR LANDSCAPING SHALL HAVE VEGETATION ESTABLISHED AT TIME OF FINAL INSPECTION.</p> <p>13.2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPE 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.</p> <p>13.3. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.</p> <p>13.4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS</p> <p>13.5. UPON PARTIAL OR FINAL COMPLETION OF GRADING WORK, SPREAD TOPSOIL, SEED, FERTILIZER, AND MULCH IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE STORM WATER POLLUTION PREVENTION PLAN.</p>
<p>3. CONTRACT DOCUMENTS</p> <p>3.1. ALL WORK SHALL CONFORM TO THE PLANS, THESE NOTES, AND SPECIFICATIONS IN ALL RESPECTS AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.</p>		<p>9. UTILITIES</p> <p>9.1. AN ATTEMPT HAS BEEN MADE TO APPROXIMATELY LOCATE UTILITIES ON THE DRAWINGS.</p> <p>9.2. UTILITIES SHOWN ON THE DRAWINGS WERE LOCATED BY VISUAL OBSERVATION, AND BY TRANSCRIBING FROM RECORD MAPS AND PLANS.</p> <p>9.3. NO EXCAVATIONS WERE MADE TO CONFIRM SUB-SURFACE UTILITIES. NEITHER THE SURVEYOR NOR PROJECT ENGINEER GUARANTEES THAT ALL UTILITIES HAVE BEEN SHOWN, OR THAT THOSE SHOWN ARE FULLY ACCURATE.</p> <p>9.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS AND/OR RELOCATION OF EXISTING UTILITIES THAT ARE DAMAGED AS A RESULT OF WORK OF THIS PROJECT.</p> <p>9.5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROPERLY DISCONNECTING, ABANDONING, RELOCATING, AND/OR ADJUSTING ALL AFFECTED UTILITIES WITHIN THE PROJECT AREA.</p> <p>9.6. ALL UTILITY WORK SHALL BE COORDINATED AND EXECUTED IN ACCORDANCE WITH THE OWNER AND/OR GOVERNING UTILITY COMPANY CODES, SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.</p> <p>9.7. DESIGN AND ALIGNMENT OF UNDERGROUND TELEPHONE, TV CABLE, GAS AND ELECTRIC SERVICES SHALL BE PROVIDED BY THE INDIVIDUAL UTILITIES AND ARE NOT NECESSARILY SHOWN WITH THESE PLANS. CONTRACTOR SHALL PROVIDE CONDUITS SIZED TO ACCOMMODATE UTILITY ROUTING WITH PULL STRINGS WHERE NECESSARY.</p> <p>9.8. CONTRACTOR TO PROVIDE ALL NECESSARY APPURTENANCES NECESSARY FOR COMPLETE UTILITY SERVICES WHICH ARE NOT PROVIDED BY THE UTILITY COMPANY.</p>			
<p>4. INDEMNITY</p> <p>4.1. BY ACCEPTING THE CONTRACT FOR THIS WORK, THE CONTRACTOR, AT THEIR OWN EXPENSE AND RISK, HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER, GARNAT ENGINEERING, THEIR OFFICERS, AGENTS, EMPLOYEES, CONSULTANTS, AND REPRESENTATIVES FOR DAMAGE TO THE PROPERTY OR INJURY TO, OR DEATH, OF ANY PERSONS, FROM ANY AND ALL CLAIMS, DEMANDS, ACTIONS OF ANY KIND WHATSOEVER ARISING OUT OF AND IN CONNECTION WITH THE AGREEMENT OR PROSECUTION OF WORK UNDER IT, WHETHER SUCH CLAIMS, DEMANDS, ACTIONS, OR LIABILITY ARE CAUSED BY THE CONTRACTOR, ITS AGENTS, EMPLOYEES, SUBCONTRACTORS, PRODUCTS INSTALLED ON THE PROJECT OR CAUSED BY ANY OTHER PARTY.</p>		<p>10. DISPOSAL OF DEBRIS, WASTE OR SPOIL</p> <p>10.1. BURNING OF DEBRIS AND WASTE IS NOT ALLOWED. CONTRACTOR MAY BE REQUIRED TO PROPERLY HAUL AWAY AND DISPOSE OF ANY WASTE MATERIAL REMOVED FROM THE SITE.</p> <p>10.2. ANY WASTE OR SPOIL MATERIAL WHICH IS EXCAVATED FROM THE JOB SITE IS TO BE DISPOSED OF AS DIRECTED BY THE ENGINEER OR OWNER.</p> <p>10.3. REMOVAL AND DISPOSAL OF EXCAVATED WASTE MATERIAL IS CONSIDERED SUBSIDIARY TO ALL OTHER ITEMS IN THE PROJECT, AND WILL NOT BE PAID FOR SEPARATELY.</p> <p>10.4. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIAL REMOVED FROM THIS SITE.</p> <p>10.5. CONTRACTOR SHALL REMOVE FROM SITE AND DISPOSE OF MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN OPINION OF THE ENGINEER, IS UNSUITABLE OR UNDESIRABLE FOR BACKFILLING OR SUBGRADE PURPOSES. DISPOSE OF IN A MANNER SATISFACTORY TO ENGINEER. BACKFILL UNDERCUT AREAS WITH LAYERS OF SUITABLE MATERIAL AND COMPACT AS SPECIFIED HEREIN.</p>			
<p>5. CONSTRUCTION PROCEDURES, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS UNLESS OTHERWISE MODIFIED ON THE DRAWINGS OR IN THESE NOTES OR SPECIFICATIONS.</p> <p>5.1. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION - ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT</p> <p>5.2. INTERNATIONAL BUILDING CODE</p> <p>5.3. ACI 315 MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES</p> <p>5.4. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING STEEL.</p>					
<p>6. SITE</p> <p>6.1. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.</p> <p>6.2. CONTRACTOR IS NOT TO PERFORM WORK BEYOND THE DESIGNATED WORK LIMITS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNER.</p> <p>6.3. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.</p> <p>6.4. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL ITEMS, SHOWN TO BE REMOVED OR RELOCATED AND NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE REQUIRED TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.</p> <p>6.5. CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED MANHOLES, VALVE BOXES, ETC. TO FINISH GRADE, WHERE REQUIRED.</p>					

BY					
REVISION					
DATE					
 Designing our client's success GarNat Engineering, LLC P.O. Box 116 (72018) Ph (501) 408-4650 2909 Military Road Fx (888) 900-3068 Benton, Arkansas 72015 gnatengineering@gmail.com					
CUSTOM ADVERTISING OFFICE & SHOPS ADDITION BRYANT, ARKANSAS					
					
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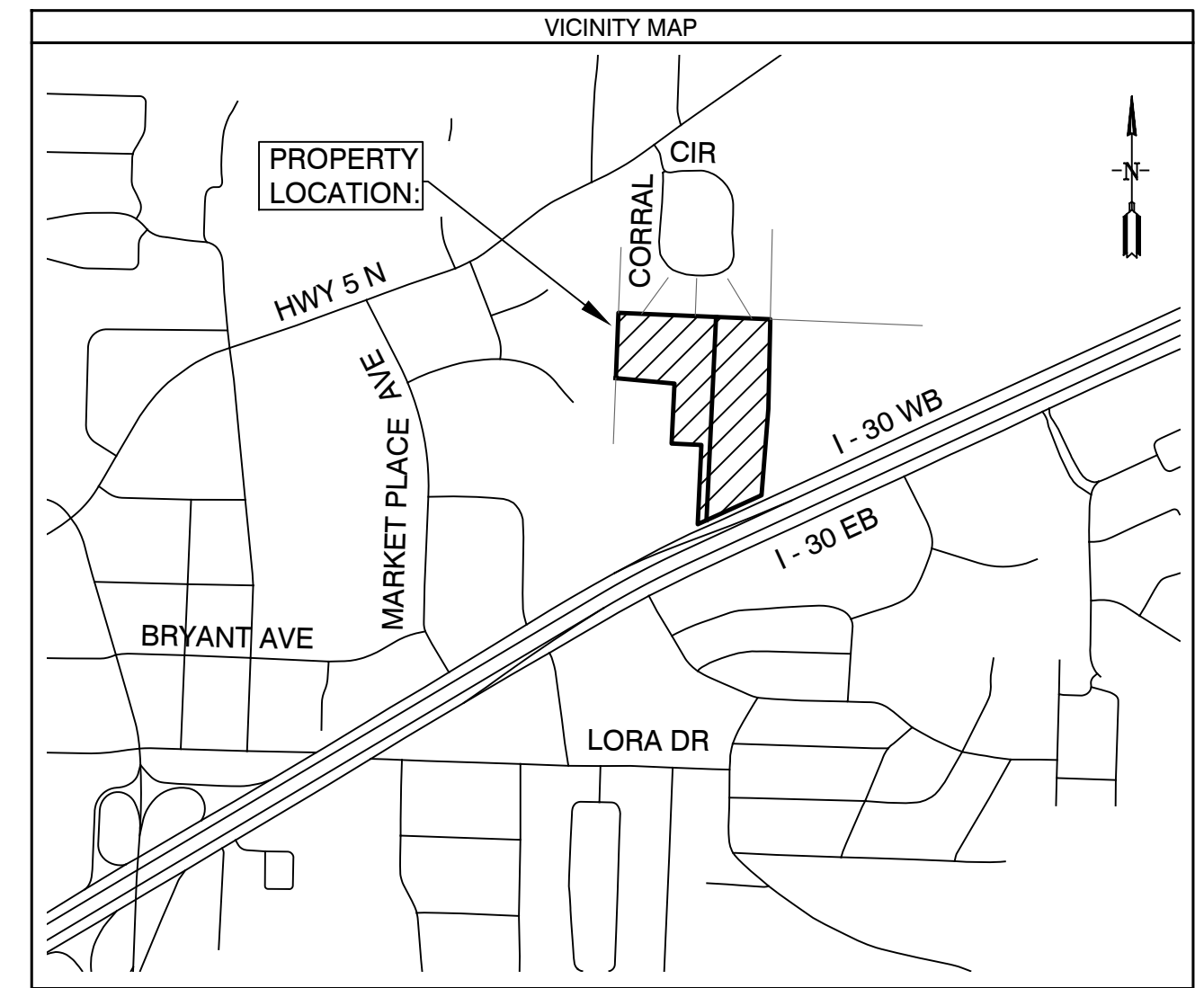


PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: C-3
 LOT SIZE: 320,404 SQUARE FEET
 NUMBER OF LOTS: 1
 SOURCE OF WATER: CITY OF BRYANT
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 BUILDING SETBACKS:
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PROPERTY DESCRIPTION:

OVERALL SUBDIVISION DESCRIPTION
 PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A FOUND 2" ALUMINUM MONUMENT PLS#1141 FOR THE NORTHWEST CORNER OF THE SAID NW1/4 NE1/4; THENCE S87°35'42"E - 880.50 FEET ALONG THE NORTH LINE THEREOF TO A COMPUTED POINT WHICH FALLS IN AN EXISTING POND THEREOF; THENCE LEAVING SAID NORTH LINE S1°15'20"W - 519.27 FEET TO A FOUND 1/2" REBAR; THENCE S4°31'01"W - 502.04 FEET TO A FOUND 1/2" REBAR W/CAP 568 LOCATED ON THE NORTHERLY RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD; THENCE ALONG SAID RIGHT OF WAY S65°33'59"W - 406.19 FEET TO 1/2" REBAR; ; THENCE LEAVING SAID RIGHT OF WAY N2°40'38"E - 459.55 FEET TO A FOUND SPIKE NAIL; THENCE N87°14'26"W - 172.80 FEET TO A FOUND 1/2" REBAR; THENCE N2°43'37"E - 347.58 FEET TO A FOUND 1/2" REBAR W/CAP 1211; THENCE N84°41'11"W - 340.73 FEET TO A FOUND 1/2" REBAR W/CAP #1211 LOCATED ON THE WEST LINE OF THE SAID NW1/4 NE1/4; THENCE ALONG SAID WEST LINE N2°14'51"E - 378.77 FEET TO THE POINT OF BEGINNING, CONTAINING 15.43 ACRES, MORE OR LESS. SUBJECT TO ANY EXISTING EASEMENTS AND THE RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD.

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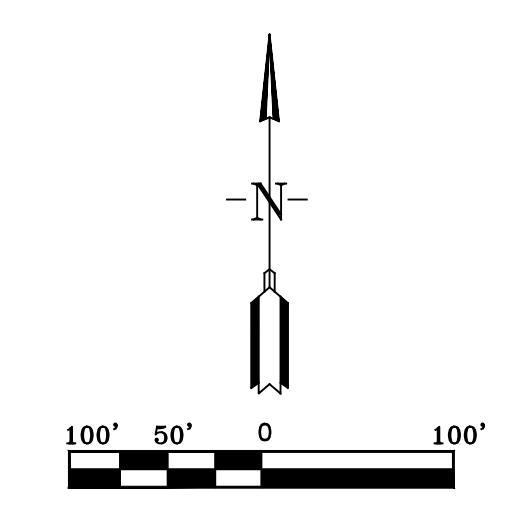
- DEED BOOK 1998 PAGE 11732 QCD WILLIAMS
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BASIS OF BEARINGS:

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CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON MAY 17, 2021.
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 THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.



SURVEY PLAT CODE:
 500-01S-14W-0-22-140-62-1573



09-26-2022

**FINAL PLAT
 CUSTOM ADVERTISING
 SUBDIVISION TO THE
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS**

PLAT CERTIFICATES:

OWNER: Northside Center LLC & So Diggin, Inc. d/b/a Custom Advertising of AR
DEVELOPER: Northside Center LLC
CERTIFICATE OF RECORDING:

CERTIFICATE OF OWNER:
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.
 Date: _____ Signed: _____
 William Smith
 P.O. Box 91, Alexander, AR 72002

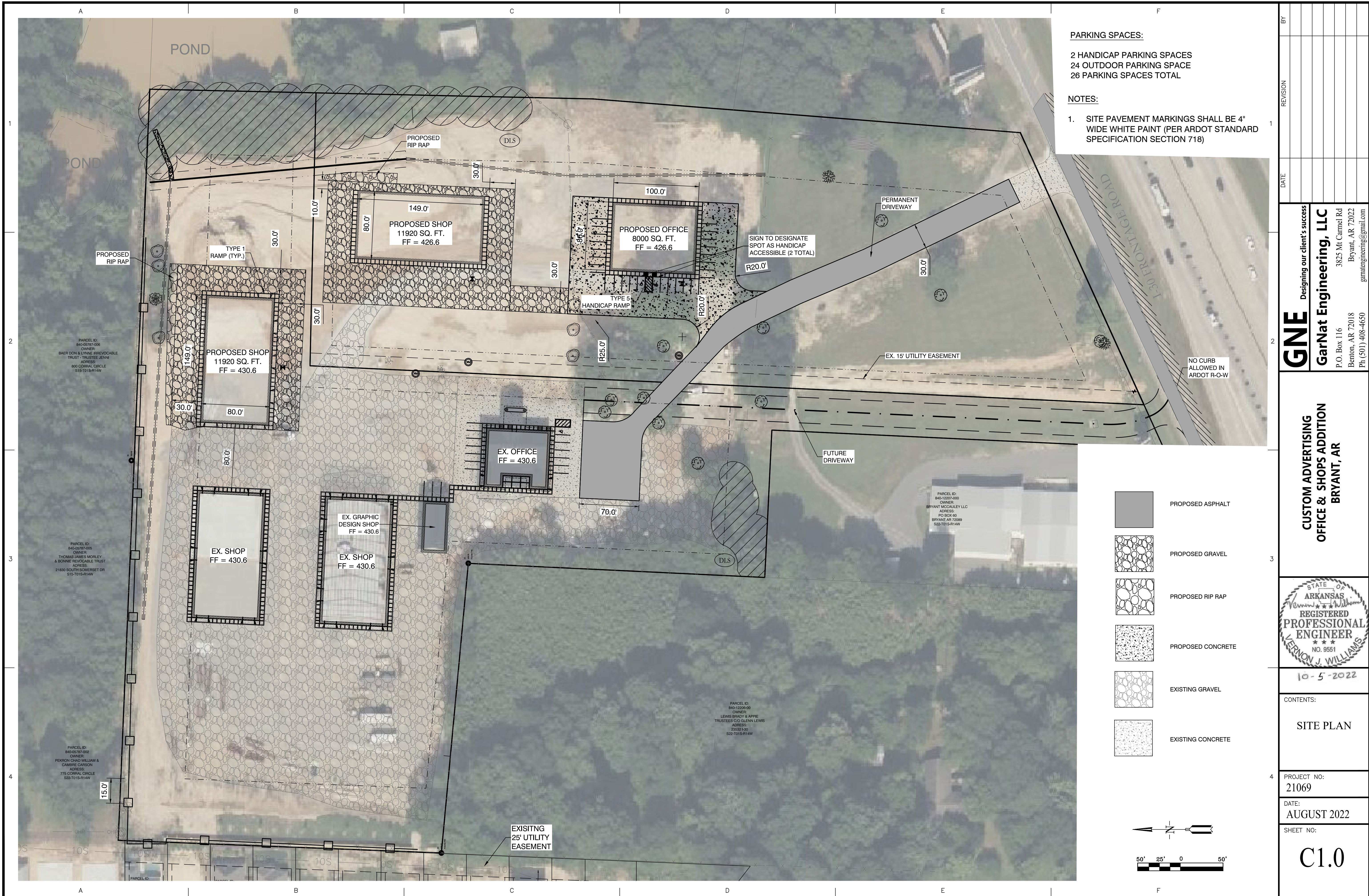
CERTIFICATE OF SURVEYING ACCURACY:
 I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on 9/26/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.
 Date: _____ Signed: _____
 George P. Wooden
 Registered Land Surveyor
 No. 1573, Arkansas

CERTIFICATE OF FINAL PLAT APPROVAL:
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____
 All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.
 Date: _____ Signed: _____
 Rick Johnson, Chairman
 Bryant Planning Commission

CERTIFICATE OF ENGINEERING ACCURACY:
 I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.
 Date: _____ Signed: _____
 Vernon J. Williams
 Registered Professional Engineer
 No. 9551, Arkansas

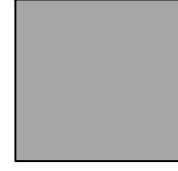
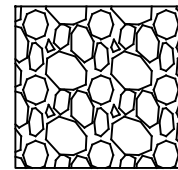
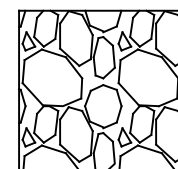

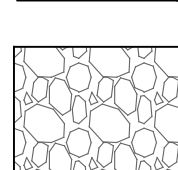
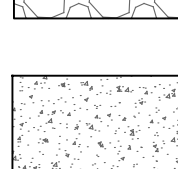
Approval of the final plat shall become null and void unless said plat is filed for record within one hundred twenty (120) days from the date of execution of this certificate.

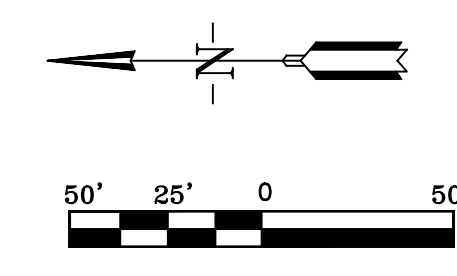
BY	
REVISION	
DATE	
<p>FOR: CUSTOM ADVERTISING LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST CITY OF BRYANT, ARKANSAS</p>	
<p>DESIGNING OUR CLIENT'S SUCCESS GarNat Engineering, LLC 3825 Mt. Carmel Rd Bryant, AR 72022 garnatengineering@gmail.com P.O. Box 116 Benton, AR 72015 PH: (501) 408-4650</p>	
<p>STATE OF ARKANSAS PROFESSIONAL ENGINEER NO. 1573 SIGNATURE GEORGE P. WOODEN</p>	
<p>9-26-22</p>	
<p>CONTENTS: FINAL PLAT</p>	
PROJECT NO:	21069
DATE:	SEPT. 26 2022
SHEET NO:	V1.0



PARKING SPACES:
2 HANDICAP PARKING SPACES
24 OUTDOOR PARKING SPACE
26 PARKING SPACES TOTAL

NOTES:
1. SITE PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT (PER ARDOT STANDARD SPECIFICATION SECTION 718)

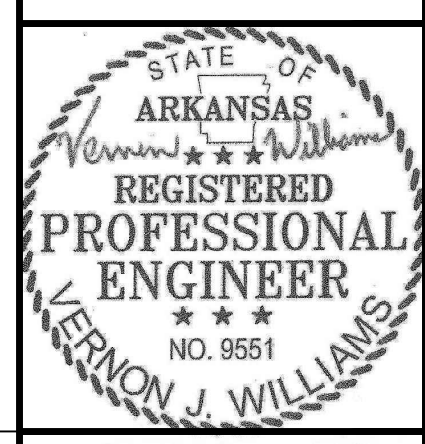
-  PROPOSED ASPHALT
-  PROPOSED GRAVEL
-  PROPOSED RIP RAP
-  PROPOSED CONCRETE
-  EXISTING GRAVEL
-  EXISTING CONCRETE



REVISION	DATE	BY

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GarNat Engineering, LLC
3825 Mt. Carmel Rd
Bryant, AR 72018
P.O. Box 116
Bryant, AR 72022
PH: (501) 408-4650
garnatengineering@gmail.com

**CUSTOM ADVERTISING
OFFICE & SHOPS ADDITION
BRYANT, AR**



10-5-2022

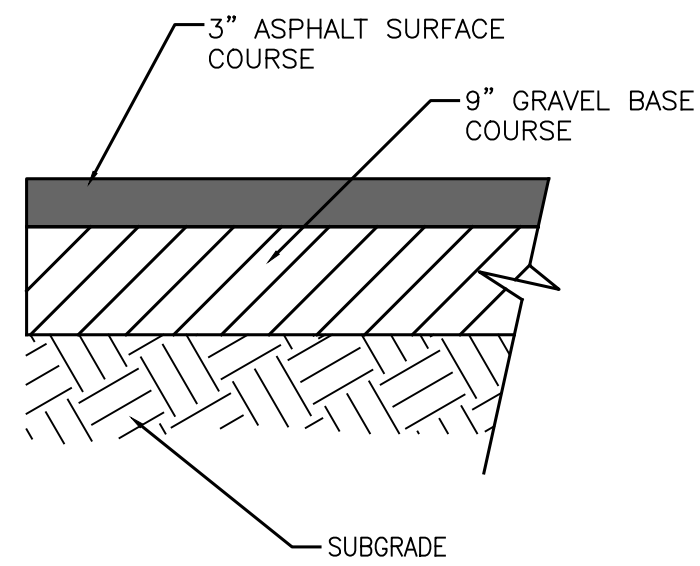
CONTENTS:
SITE PLAN

PROJECT NO:
21069

DATE:
AUGUST 2022

SHEET NO:
C1.0

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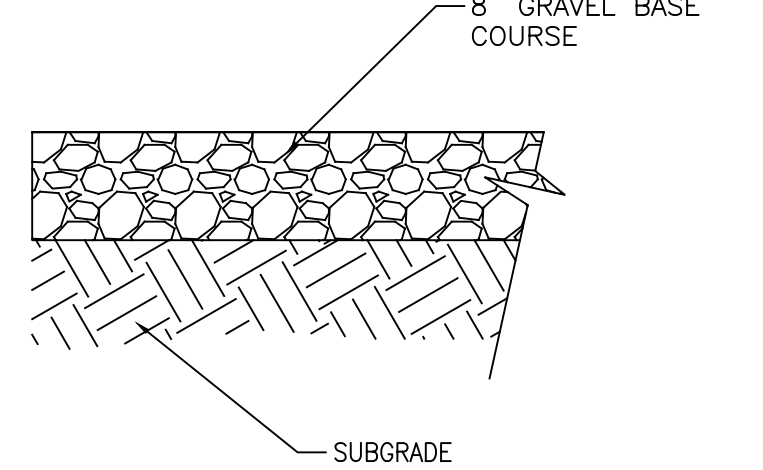
ASPHALT PAVING

NOT TO SCALE

NOTES:

- ASPHALT SURFACE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS OF SECTION 407 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- ASPHALT BINDER COURSE SHALL MEET MATERIAL & INSTALLATION REQUIREMENTS OF SECTION 406 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.

1



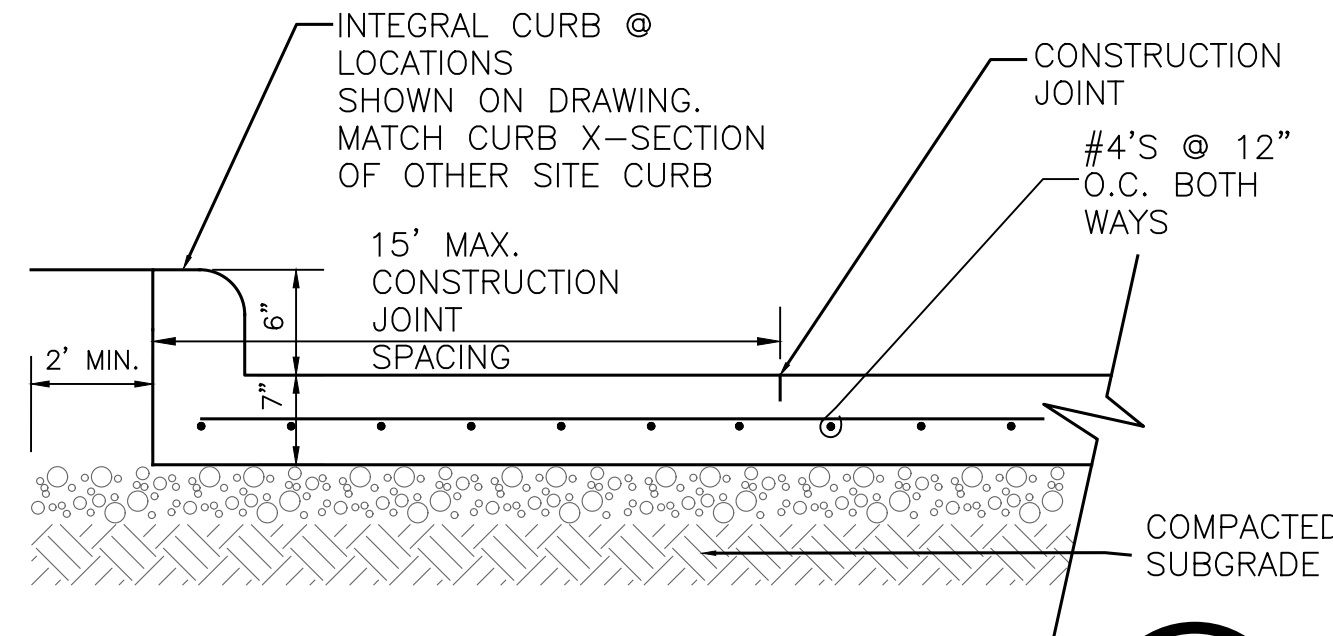
GRAVEL PAVING DETAIL

NOT TO SCALE

NOTES:

- GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.
- CONTRACTOR TO REMOVE 8" OF MATERIAL TO REACH SUBGRADE.
- CONTRACTOR TO COORDINATE WITH OWNER'S GEOTECHNICAL ENGINEER ON APPROVAL OF SUBGRADE. SUBGRADE SHALL BE PROOF ROLLED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH GRAVEL BASE.

2



CONCRETE PAVING

NOT TO SCALE

NOTES:

- CONCRETE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS OF SECTION 501 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- REINFORCED STEEL SHALL MEET MATERIAL & INSTALLATION REQUIREMENTS OF SECTION 502 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION. USE OF EPOXY COATED STEEL IS NOT REQUIRED.
- GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.

3



12" x 18" 0.080 ALUMINUM HANDICAP SYMBOL SIMILAR TO 09A345 SARGENT-SOWELL, INC. GRAND PRARIE, TEXAS



6" x 12" VAN ACCESSIBLE SIGNAGE WHERE APPROPRIATE, SIMILAR TO 09A626 SARGENT-SOWELL, INC. GRAND PRARIE, TEXAS

60" ABOVE WALKING SURFACE

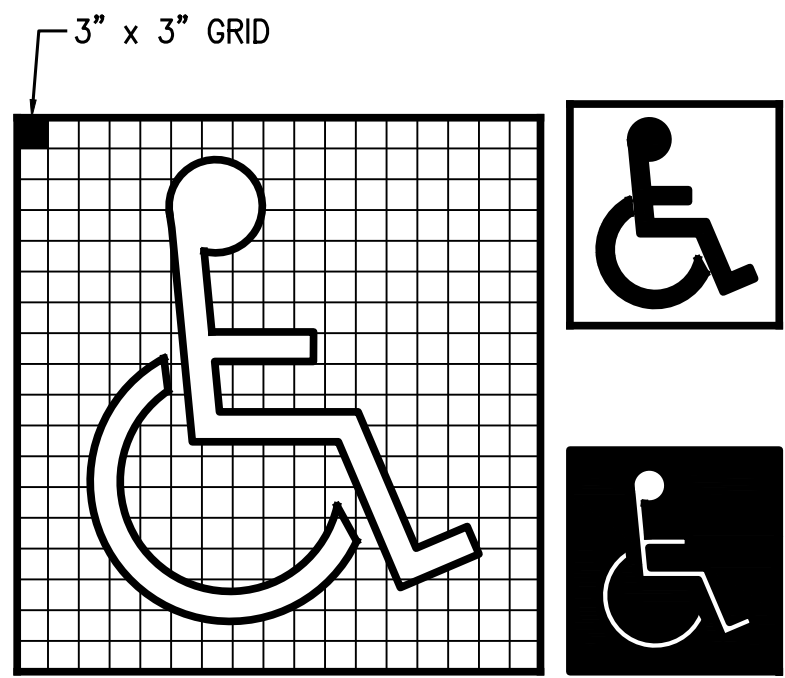
2 3/8" O.D. GALV. STEEL TUBING SIMILAR TO Q3C097, SARGENT-SOWELL, INC. GRAND PRARIE, TEXAS - ANCHOR 18" INTO CONCRETE

SIGN TO BE CENTERED ON HANDICAP PARKING SPACE

TYP. H.C. SIGN

NOT TO SCALE

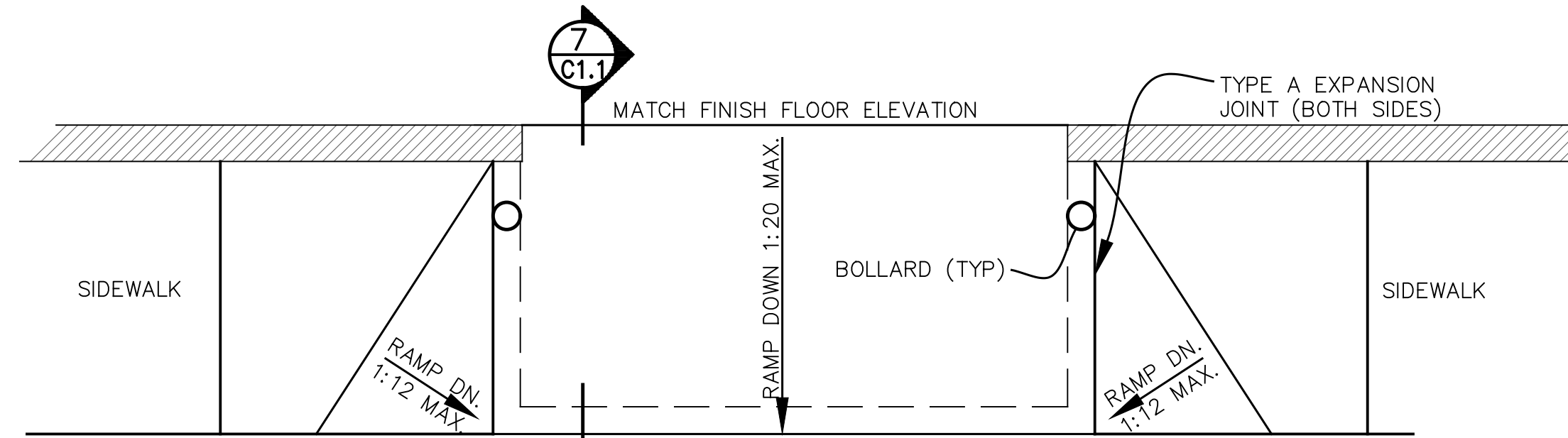
4



H.C. PAVEMENT EMBLEM

NOT TO SCALE

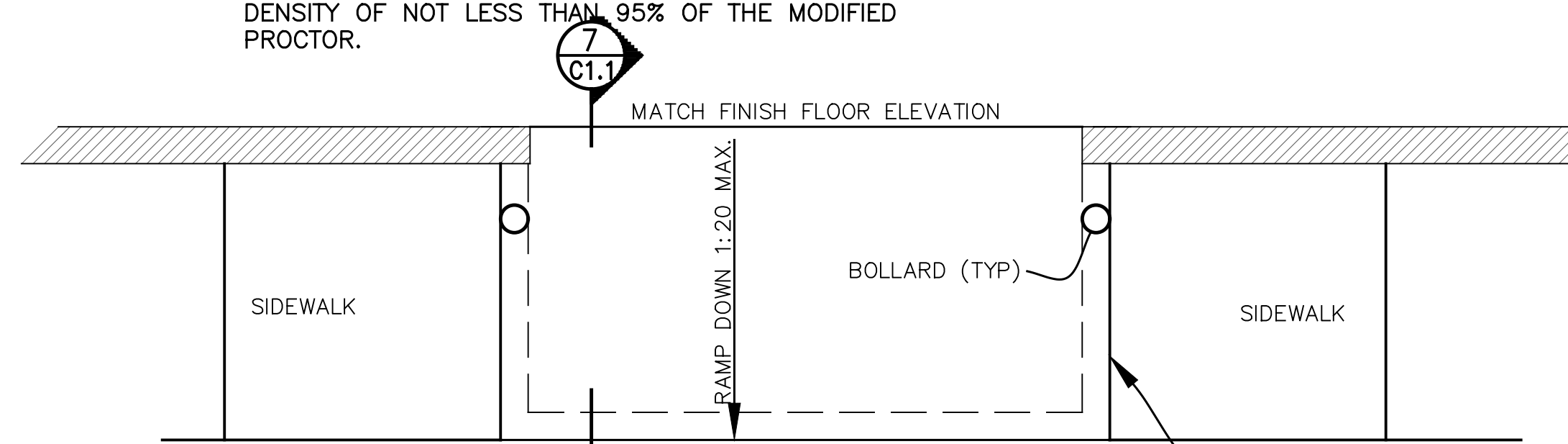
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APRON (TYPE 1)

NOT TO SCALE

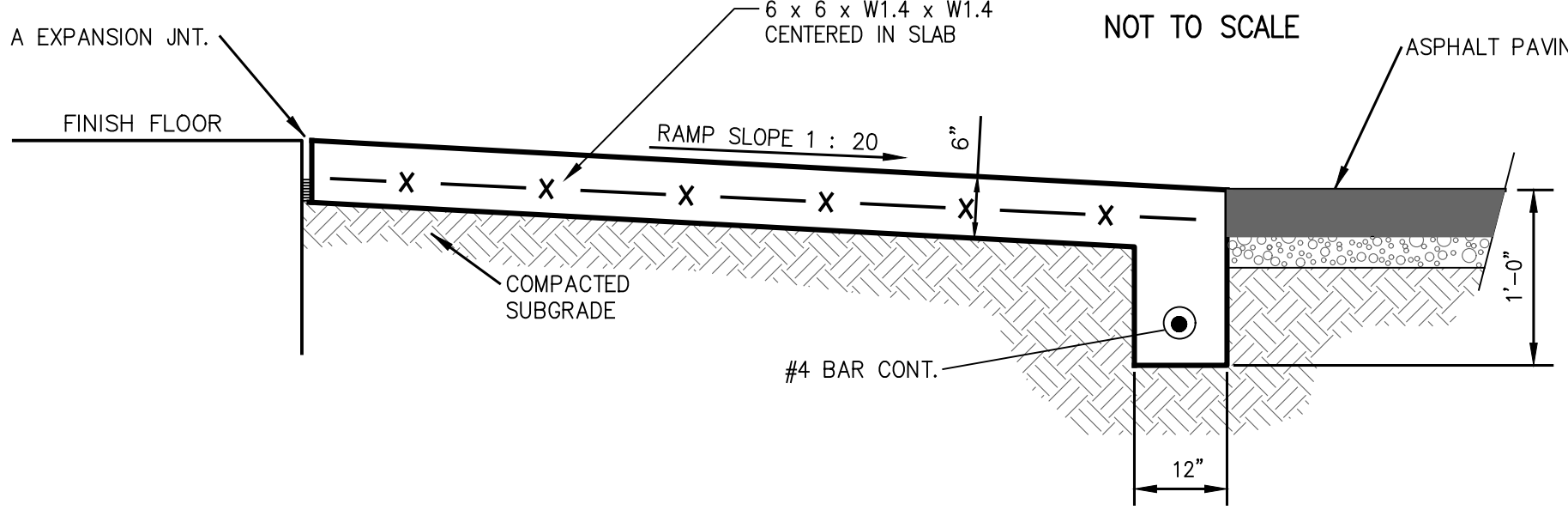
6



APRON (TYPE 2)

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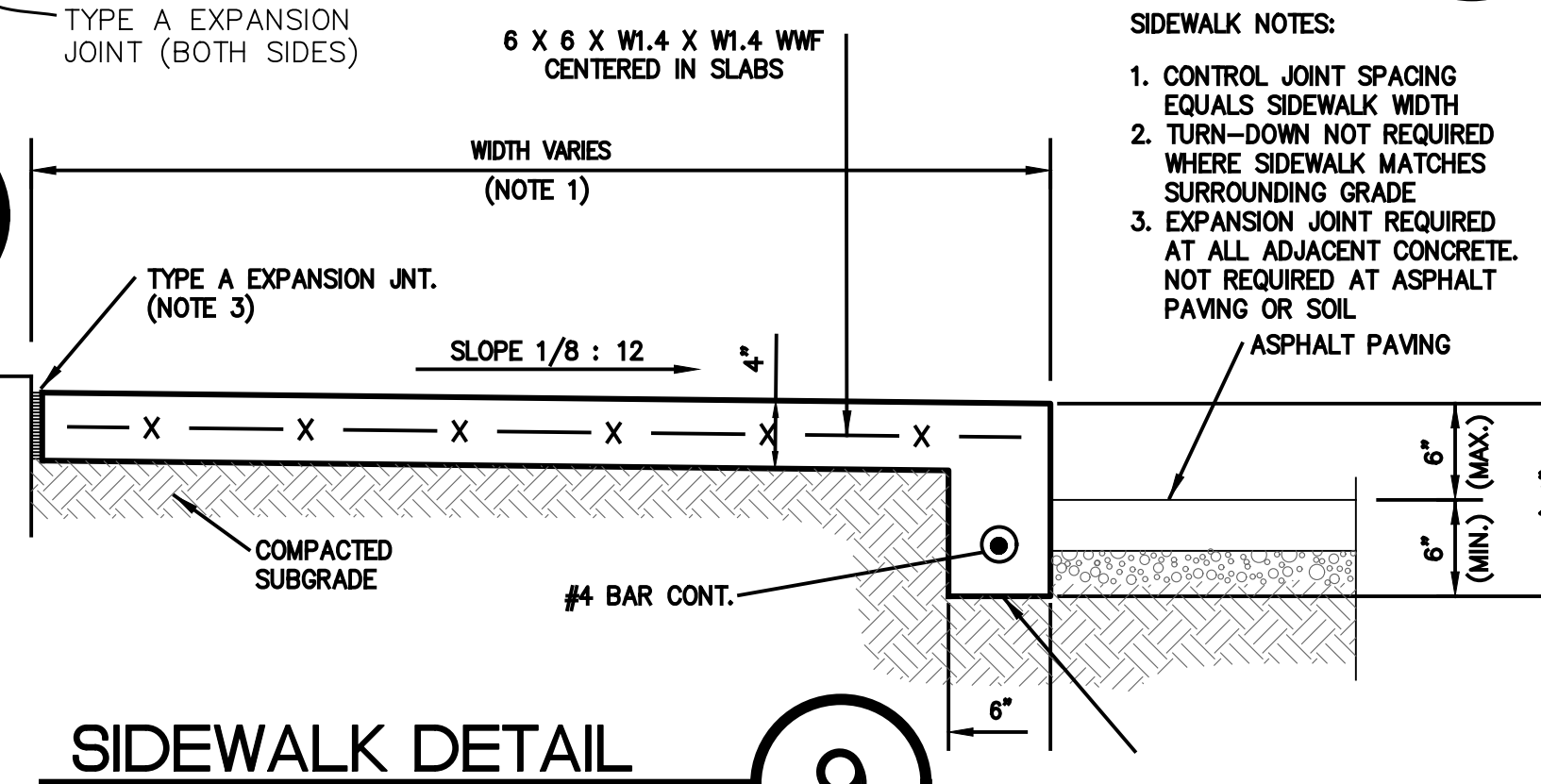
7



SECTION AT APRON

NOT TO SCALE

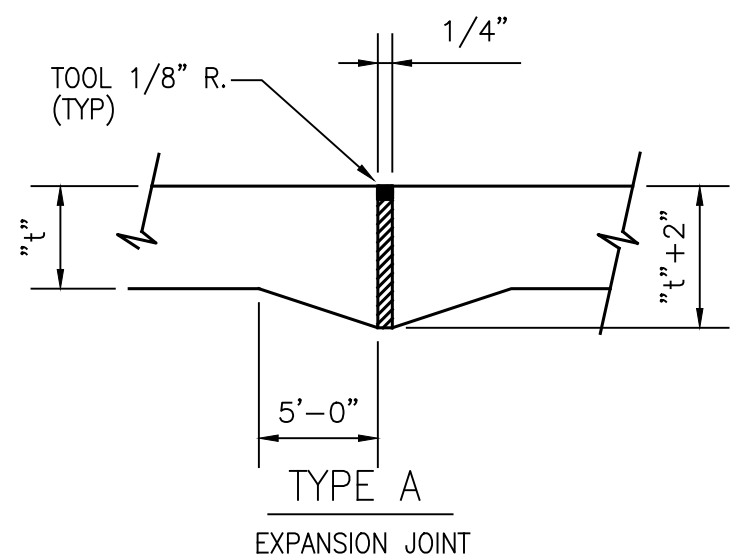
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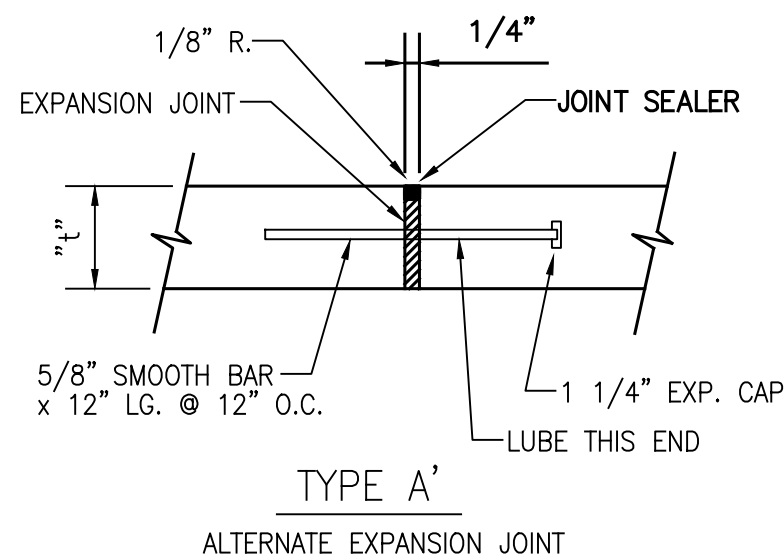
SIDEWALK DETAIL

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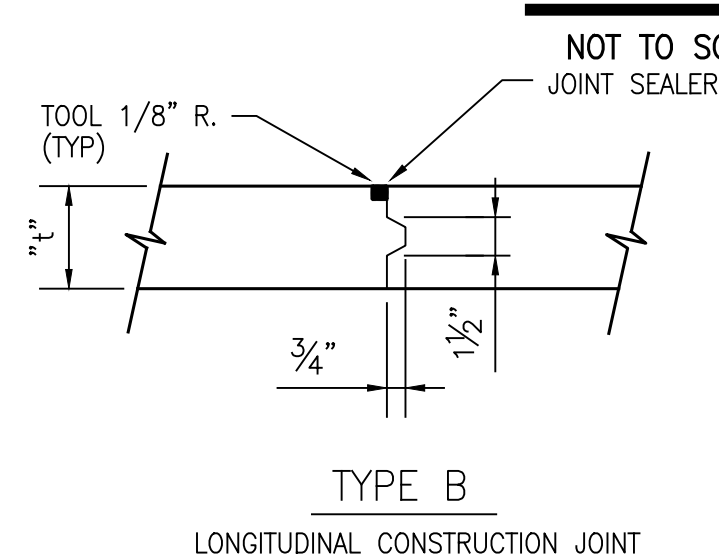
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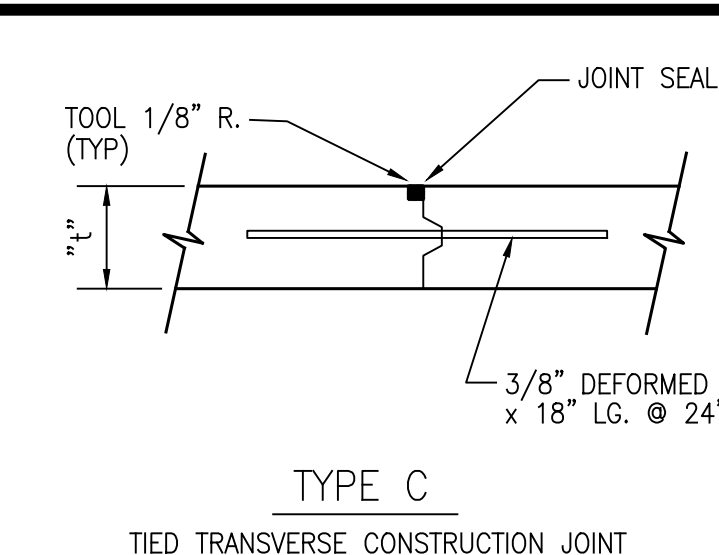
TYPE A EXPANSION JOINT



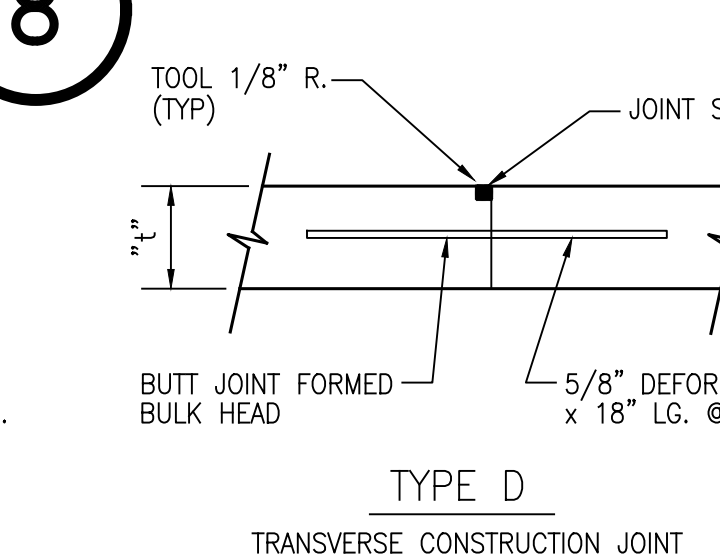
TYPE A' ALTERNATE EXPANSION JOINT



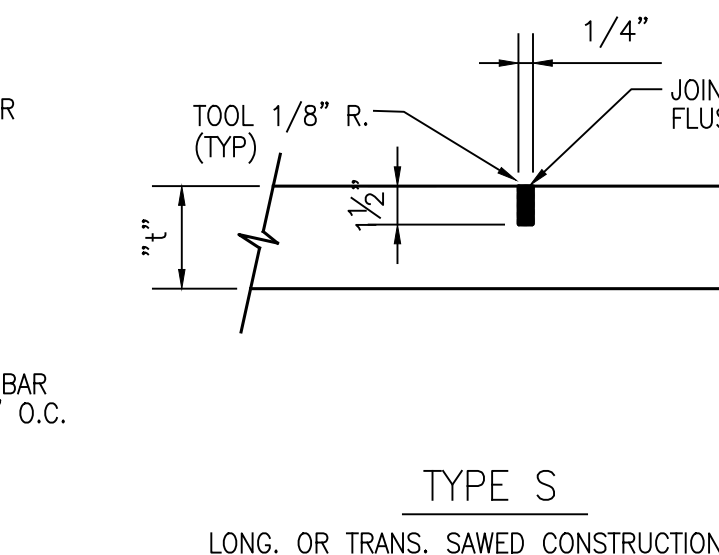
TYPE B LONGITUDINAL CONSTRUCTION JOINT



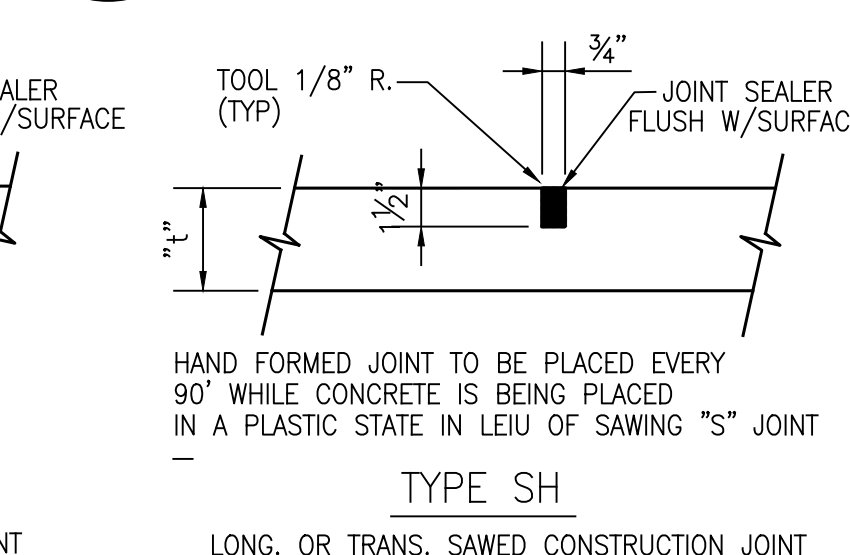
TYPE C TIED TRANSVERSE CONSTRUCTION JOINT



TYPE D TRANSVERSE CONSTRUCTION JOINT



TYPE S LONG. OR TRANS. SAWED CONSTRUCTION JOINT



TYPE SH LONG. OR TRANS. SAWED CONSTRUCTION JOINT

CONCRETE JOINTING DETAILS

NOT TO SCALE

10

NOTE: ALL JOINT SPACING NOT TO EXCEED 15'-0" INTERVALS

REVISION	DATE
1	

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 3825 Mt Carmel Rd
 Bryant, AR 72022
 P.O. Box 116
 Benton, AR 72018
 PH: (501) 408-4650
 gnatengineering@gmail.com

CUSTOM ADVERTISING OFFICE & SHOPS ADDITION BRYANT, AR

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 VERNON J. WILLIAMS
 NO. 9551

10-5-2022

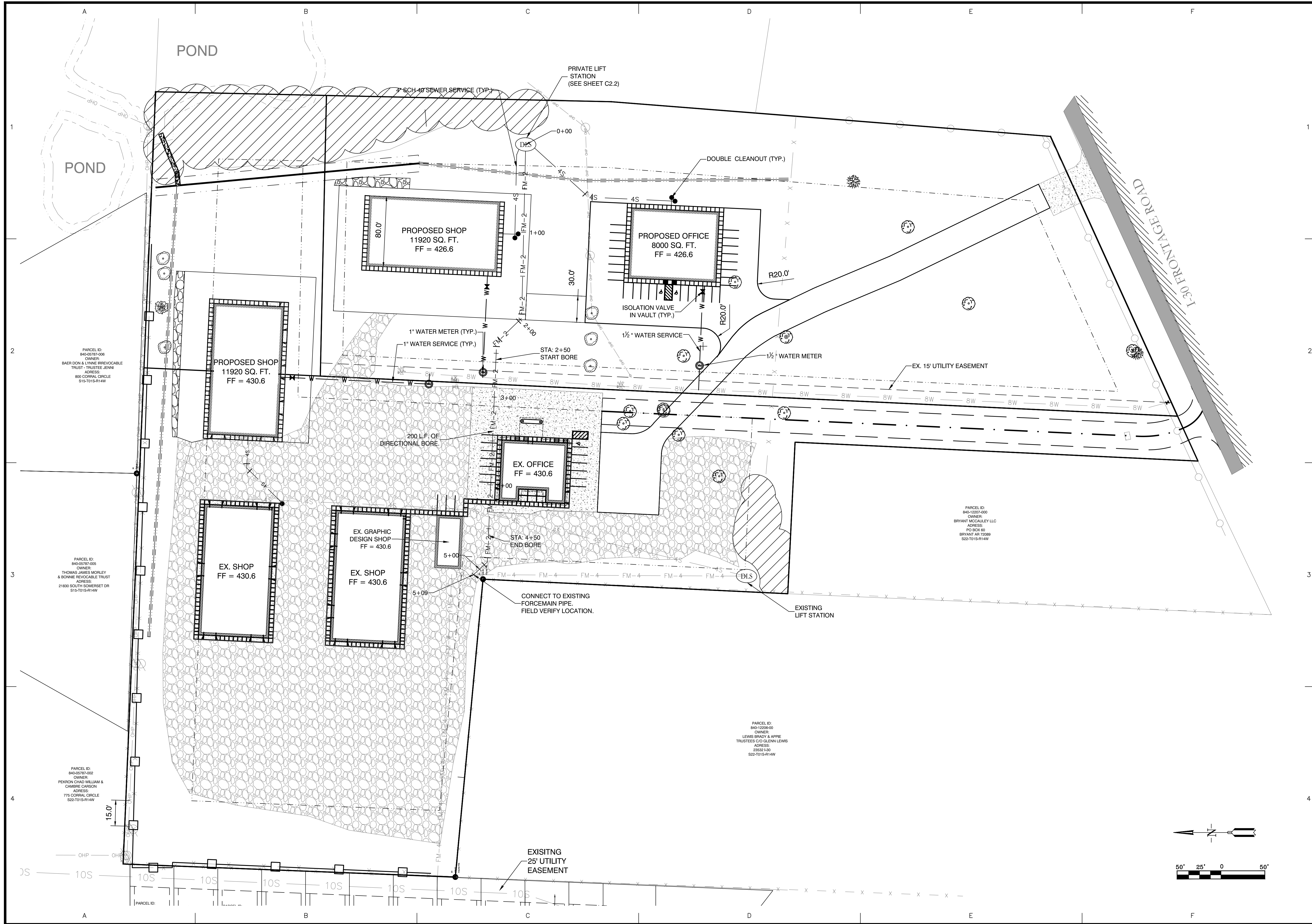
CONTENTS:
 SITE DETAILS

PROJECT NO:
 21069

DATE:
 AUGUST 2022

SHEET NO:

C1.1



REVISION	DATE

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GNE

GarNat Engineering, LLC

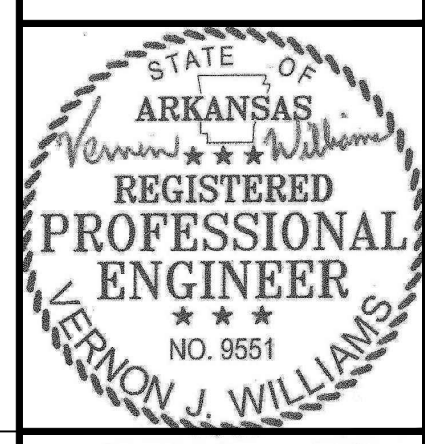
3825 Mt. Carmel Rd
Bryant, AR 72022
garnatengineering@gmail.com

P.O. Box 116
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Ph: (501) 408-4650

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BRYANT, AR



10-5-2022

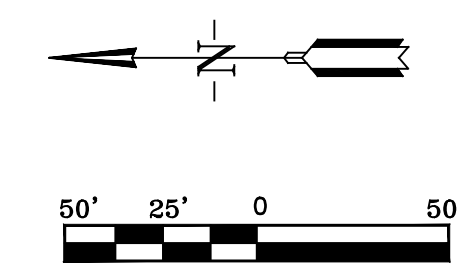
CONTENTS:

UTILITY PLAN

PROJECT NO:
21069

DATE:
AUGUST 2022

SHEET NO:
C2.0



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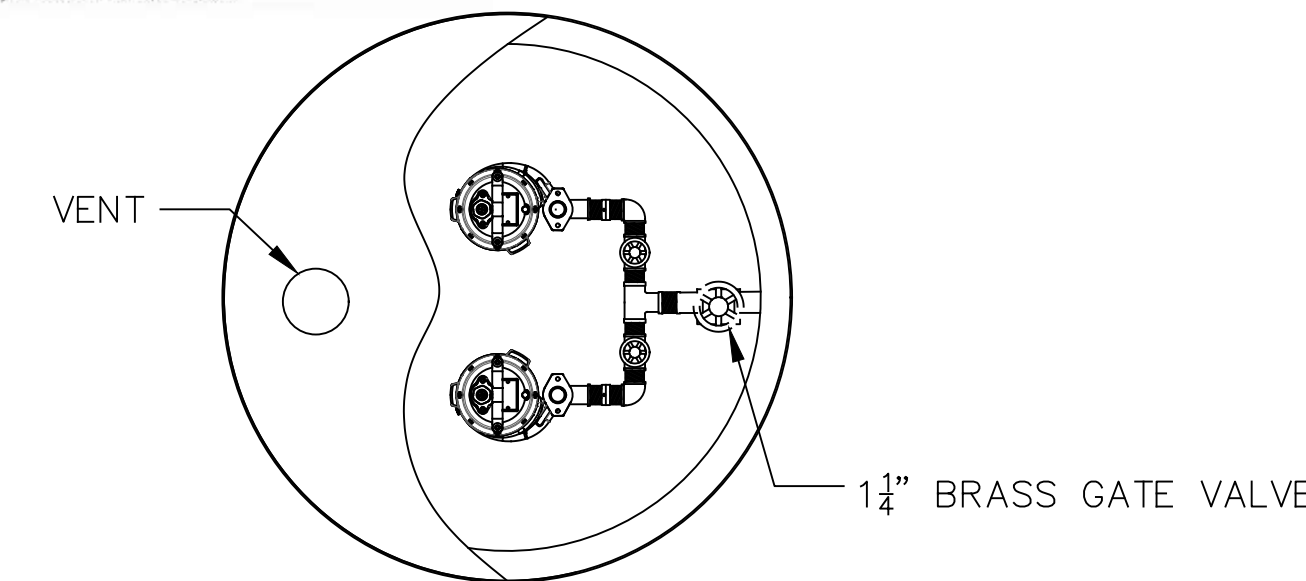
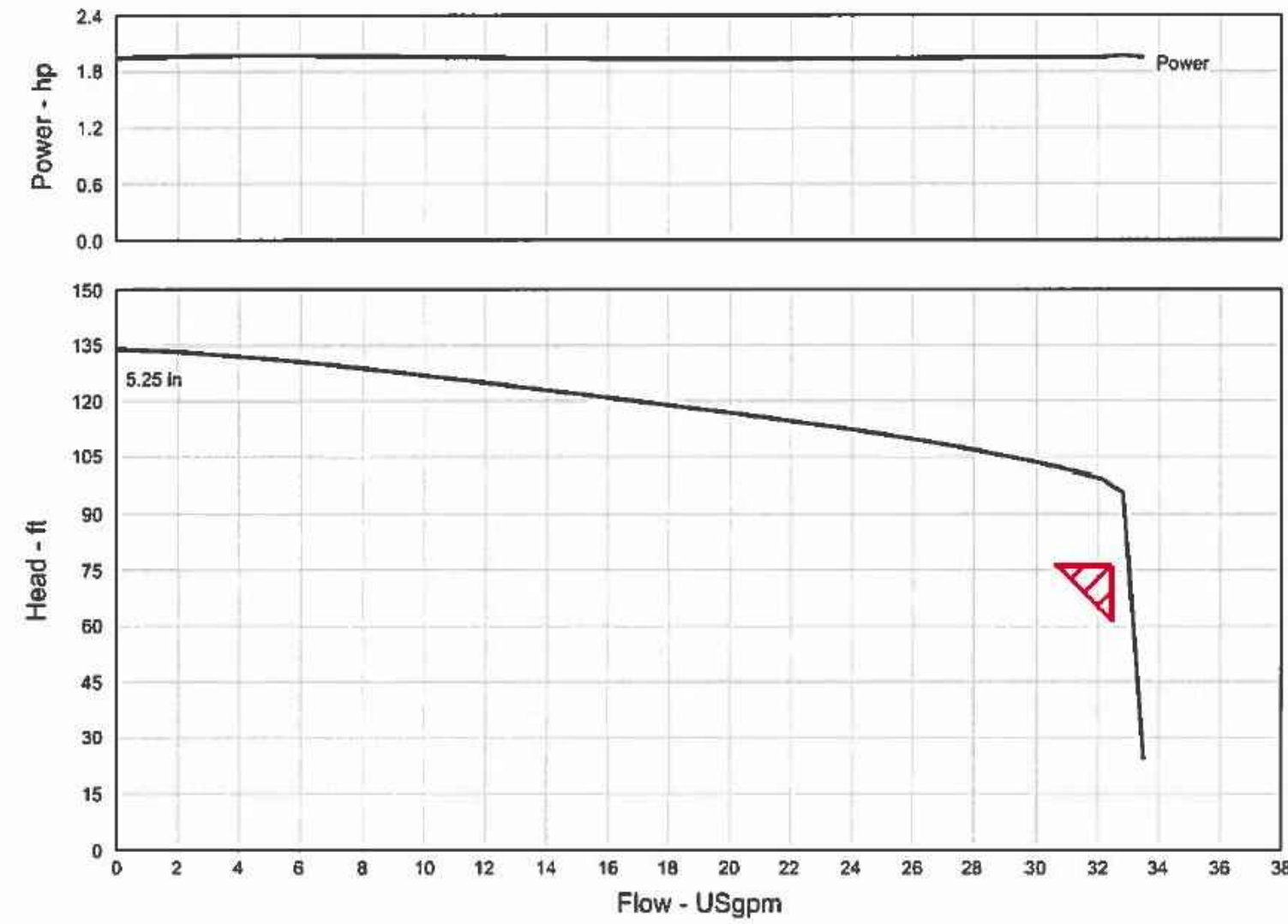
Customer :
Project name : Default

Pump Performance Datasheet
Encompass 2.0 - 17.0.3.0

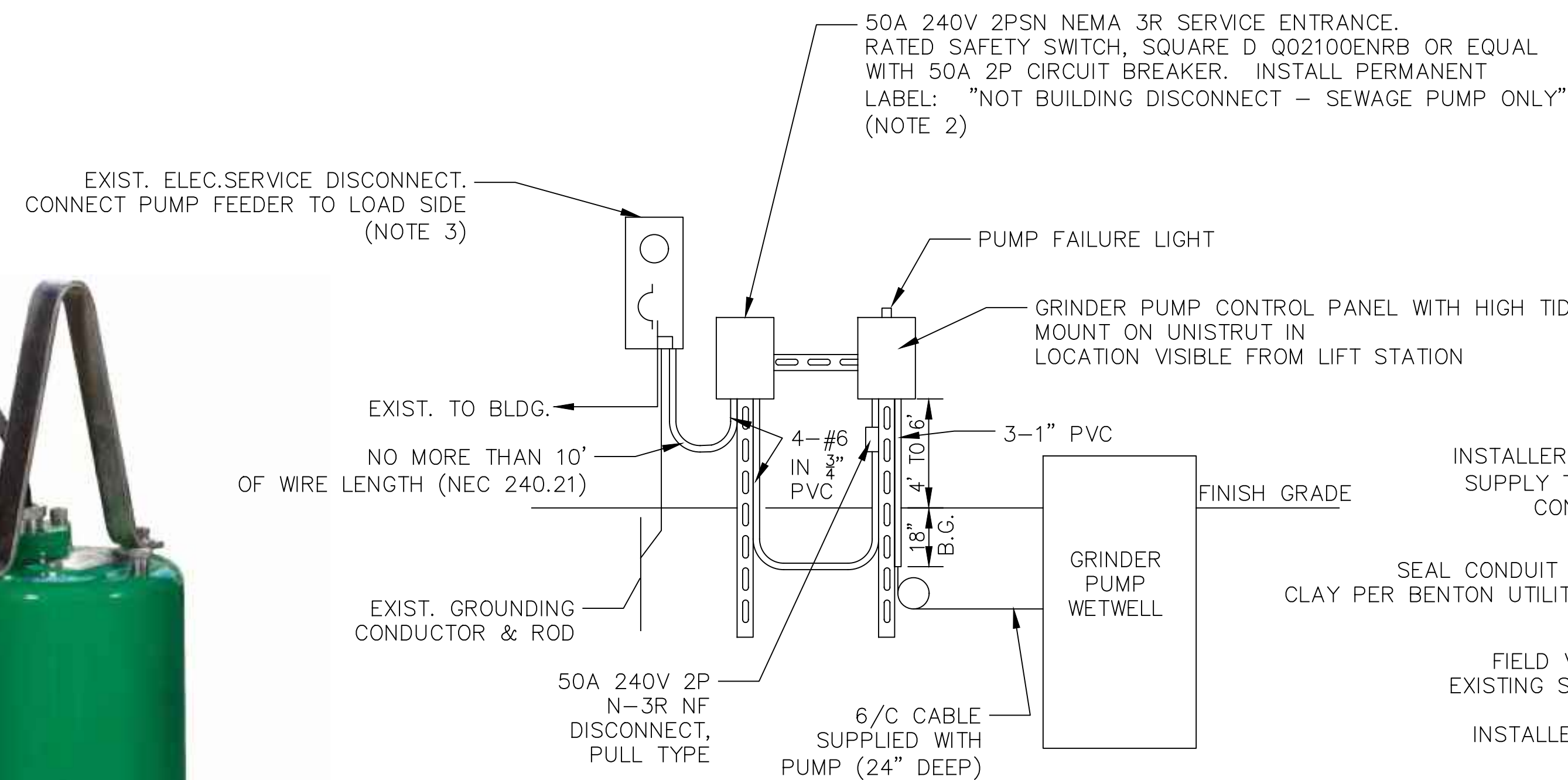
Item number	: 014	Size	: Myers - VRS20
Service	:	Stages	: 1
Quantity	: 1	Based on curve number	: SUB_G_O_AH_00012_A_2 Rev 2016-12-07
Quote number	: 363843	Date last saved	: 16 Feb 2017 10:19 AM

Operating Conditions	Liquid
Flow, rated	: 32.42 USgpm
Differential head / pressure, rated (requested)	: 76.23 ft
Differential head / pressure, rated (actual)	: 76.23 ft
Suction pressure, rated / max	: 0.00 / 0.00 psi.g
NPSH available, rated	: Ample
Frequency	: 60 Hz
Speed, rated	: 3500 rpm
Impeller diameter, rated	: 5.25 in
Impeller diameter, maximum	: 5.25 in
Impeller diameter, minimum	: 5.25 in
Efficiency	: -
NPSH required / margin required	: - / 0.00 ft
nq (imp. eye flow) / S (imp. eye flow)	: N/A Metric units
Minimum Continuous Stable Flow	: -
Head, maximum, rated diameter	: 134.0 ft
Head rise to shutoff	: 75.78 %
Flow, best eff. point	: -
Flow ratio, rated / BEP	: -
Diameter ratio (rated / max)	: 100.00 %
Head ratio (rated dia / max dia)	: 100.00 %
Cq/Ch/Ce/Cn [ANSIHI 9.6.7-2010]	: 1.00 / 1.00 / 1.00 / 1.00
Selection status	: Acceptable

Pressure Data	Driver & Power Data (@Max density)
Maximum working pressure	: 57.99 psi.g
Maximum allowable working pressure	: N/A
Maximum allowable suction pressure	: N/A
Hydrostatic test pressure	: N/A
Driver sizing specification	: Rated power
Margin over specification	: 0.00 %
Service factor	: 1.00
Power, hydraulic	: 0.62 hp
Power, rated	: 1.50 hp
Power, maximum, rated diameter	: 1.97 hp
Minimum recommended motor rating	: 2.00 hp / 1.49 kW (Fixed)

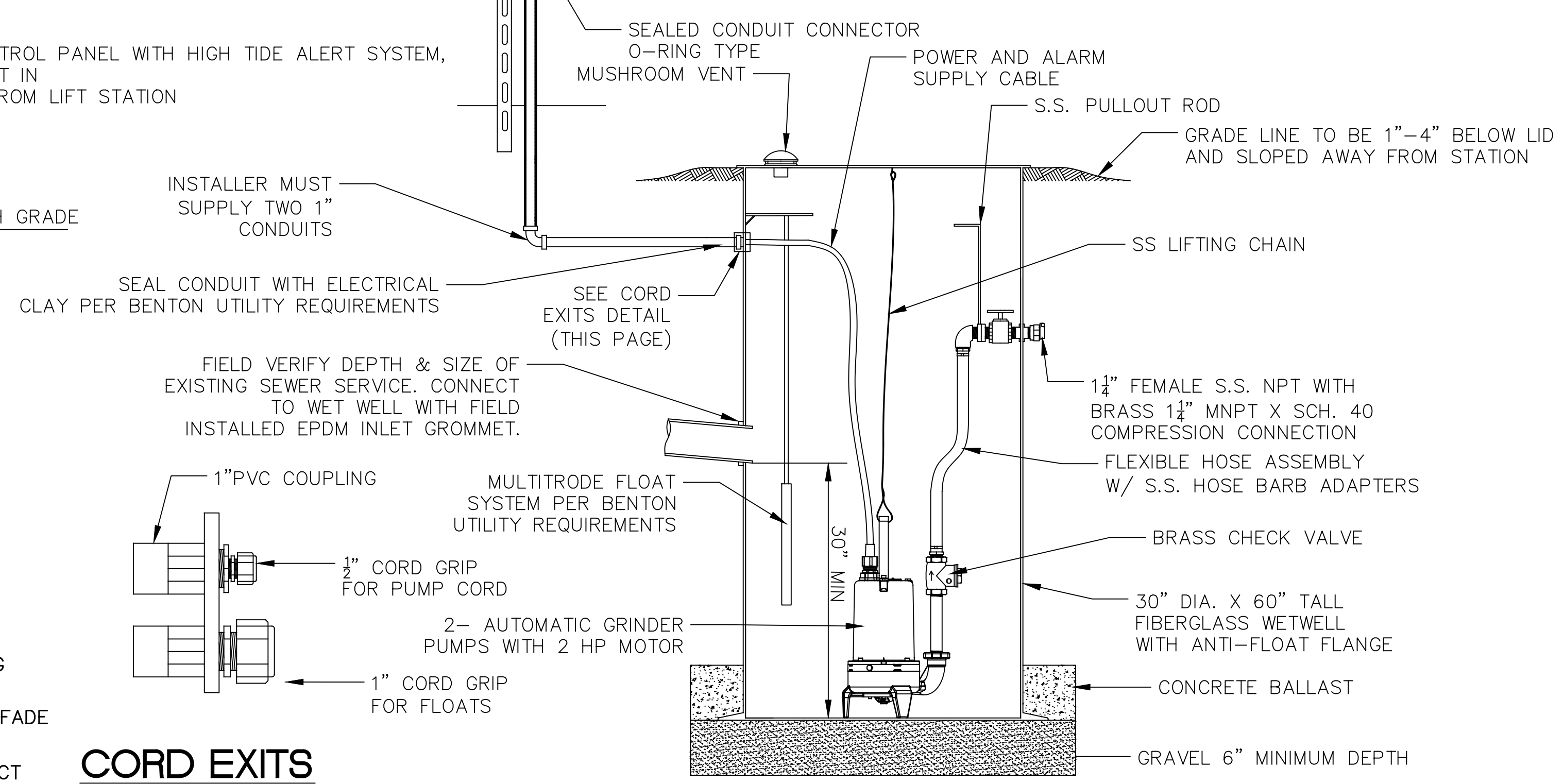


MYERS DUPLEX LIFT STATION - TOP VIEW
N.T.S.



LIFT STATION ELECTRICAL
OPTION 2
N.T.S.

- NOTES:
- PUMP LOCATED MORE THAN 90 FEET FROM BUILDING USING POWER FROM BUILDING SERVICE AND METER.
 - LABELS SHALL BE VINYL SELF ADHESIVE PRINTED IN NON-FADE BLACK ON WHITE, MINIMUM SIZE 4"X5".
 - PROVIDE 50A, 2P CIRCUIT BREAKER. INSTALL AND CONNECT PUMP FEEDER TO NEW BREAKER.



MYERS DUPLEX LIFT STATION - SECTION
N.T.S.



CORD EXITS
N.T.S.



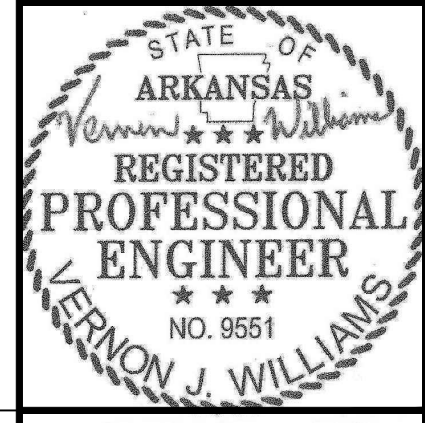
BY	REVISION	DATE
	1	

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Bryant, AR 72022
garnatengineering@gmail.com

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Benton, AR 72018
Ph: (501) 408-4650

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BRYANT, AR**



10-5-2022

CONTENTS:
**MYERS LIFT
STATION
DETAILS**

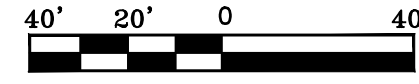
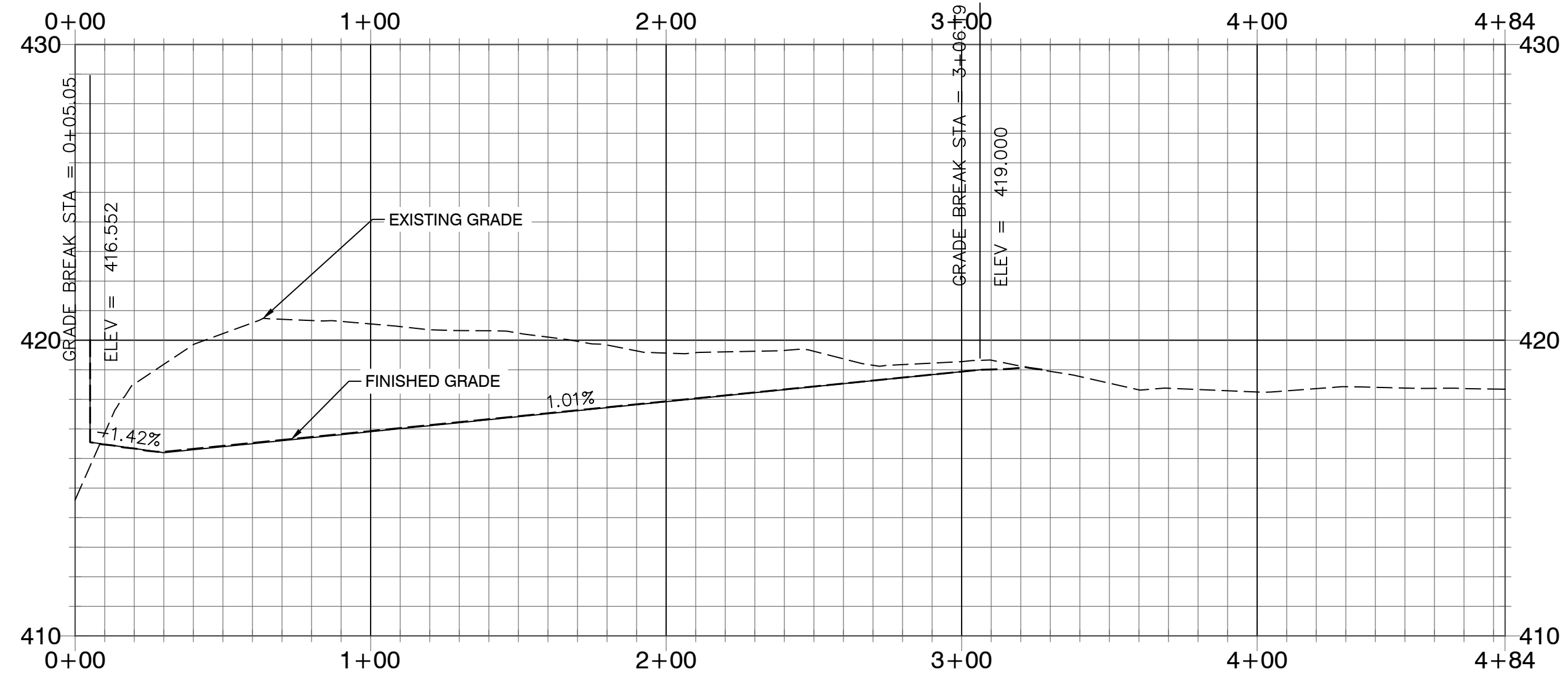
PROJECT NO:
21069

DATE:
AUGUST 2022

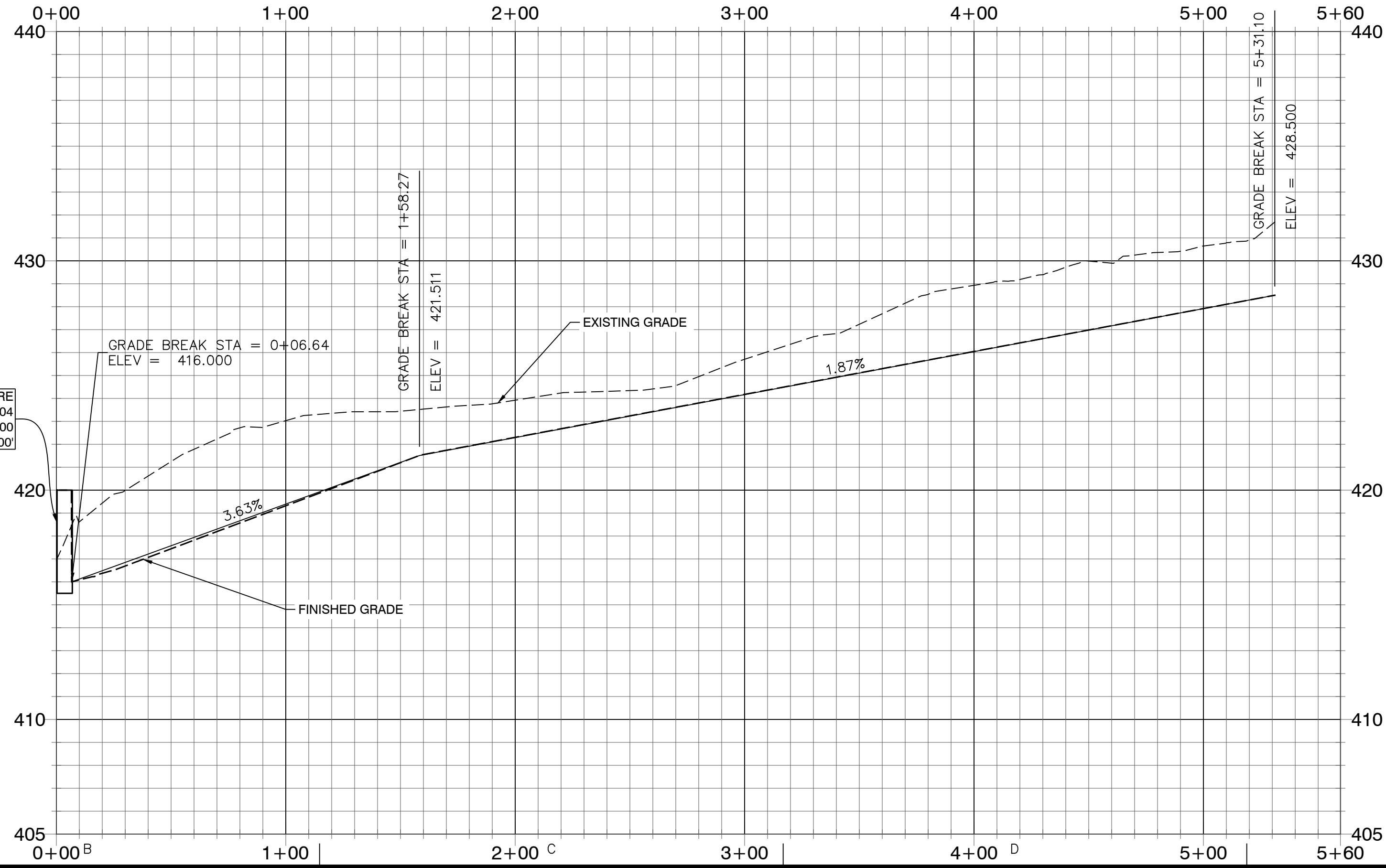
SHEET NO:

C2.2

EAST DITCH PROFILE



NORTH DITCH PROFILE

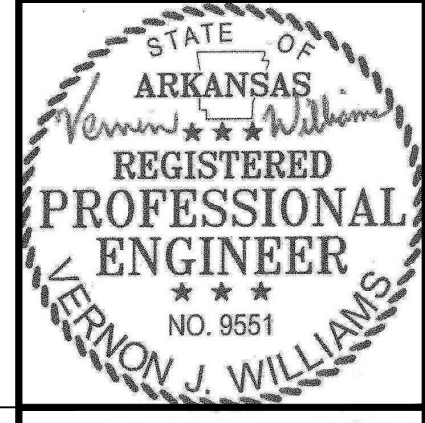


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 OFFICE & SHOPS ADDITION
 BRYANT, AR**



10-5-2022

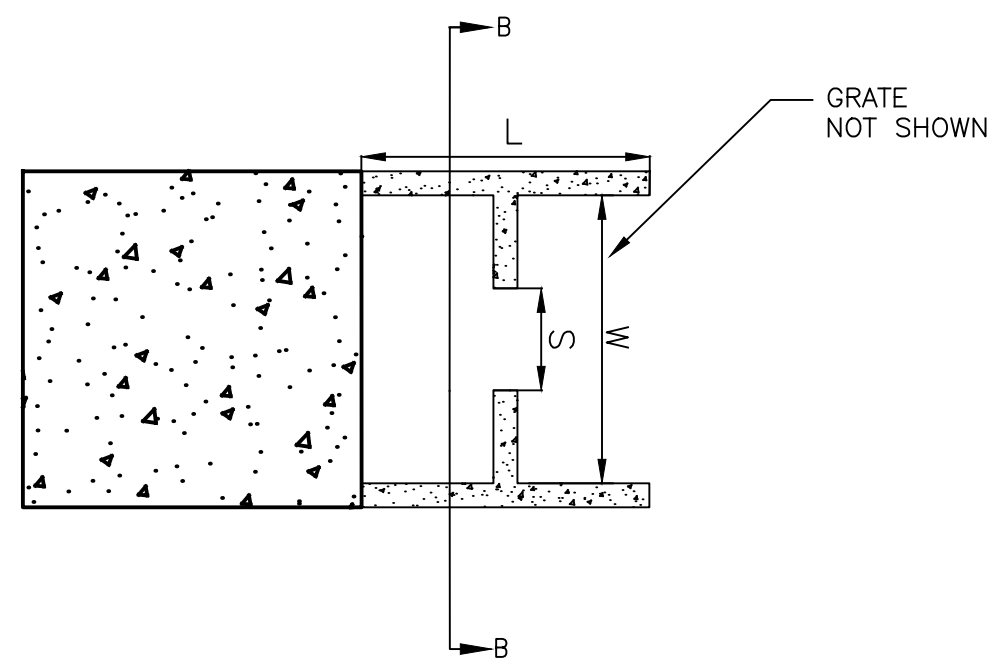
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**DRAINAGE
 PROFILES**

PROJECT NO:
21069

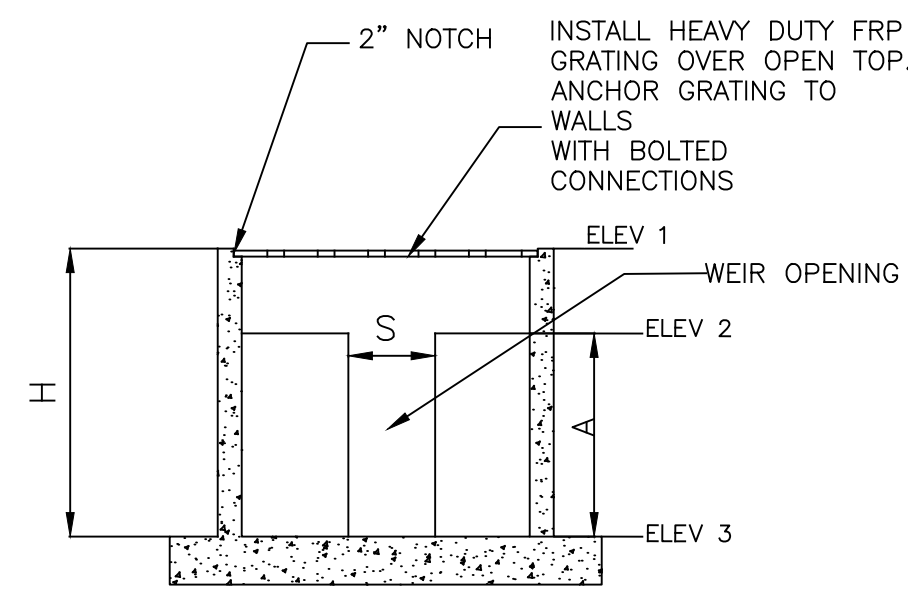
DATE:
AUGUST 2022

SHEET NO:
C3.1

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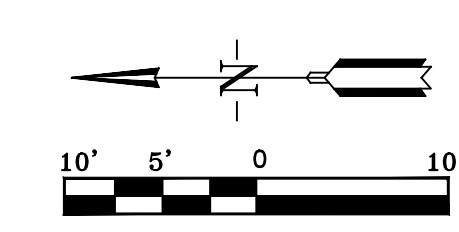
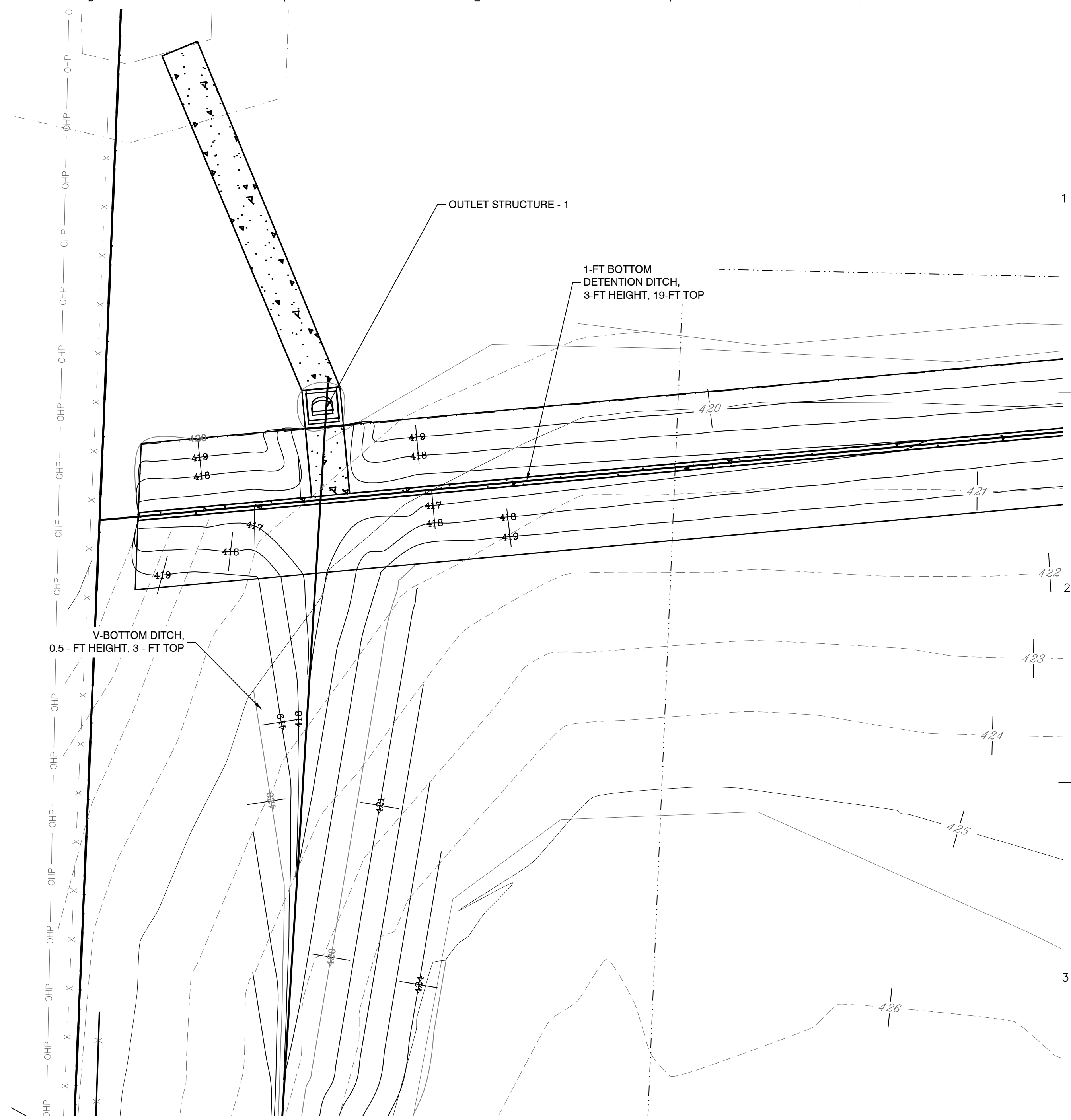


DITCH OUTLET STRUCTURE
PLAN VIEW
NOT TO SCALE



DITCH OUTLET STRUCTURE
SECTION B-B
NOT TO SCALE

OUTLET STRUCTURE								
OUTLET STRUCTURE	L	W	H	ELEV 1	ELEV 2	ELEV 3	S	A
1	5'-0"	5'-0"	4'-0"	420.00	419.00	416.00	1'-11"	3'-0"

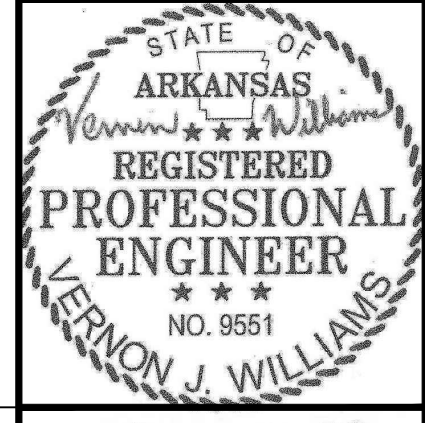


BY	DATE	REVISION

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 Ph: (501) 408-4650

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 Bryant, AR 72022
 gnatengineering@gmail.com

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OFFICE & SHOPS ADDITION
BRYANT, AR



10-5-2022

CONTENTS:
OUTLET STRUCTURE DETAILS

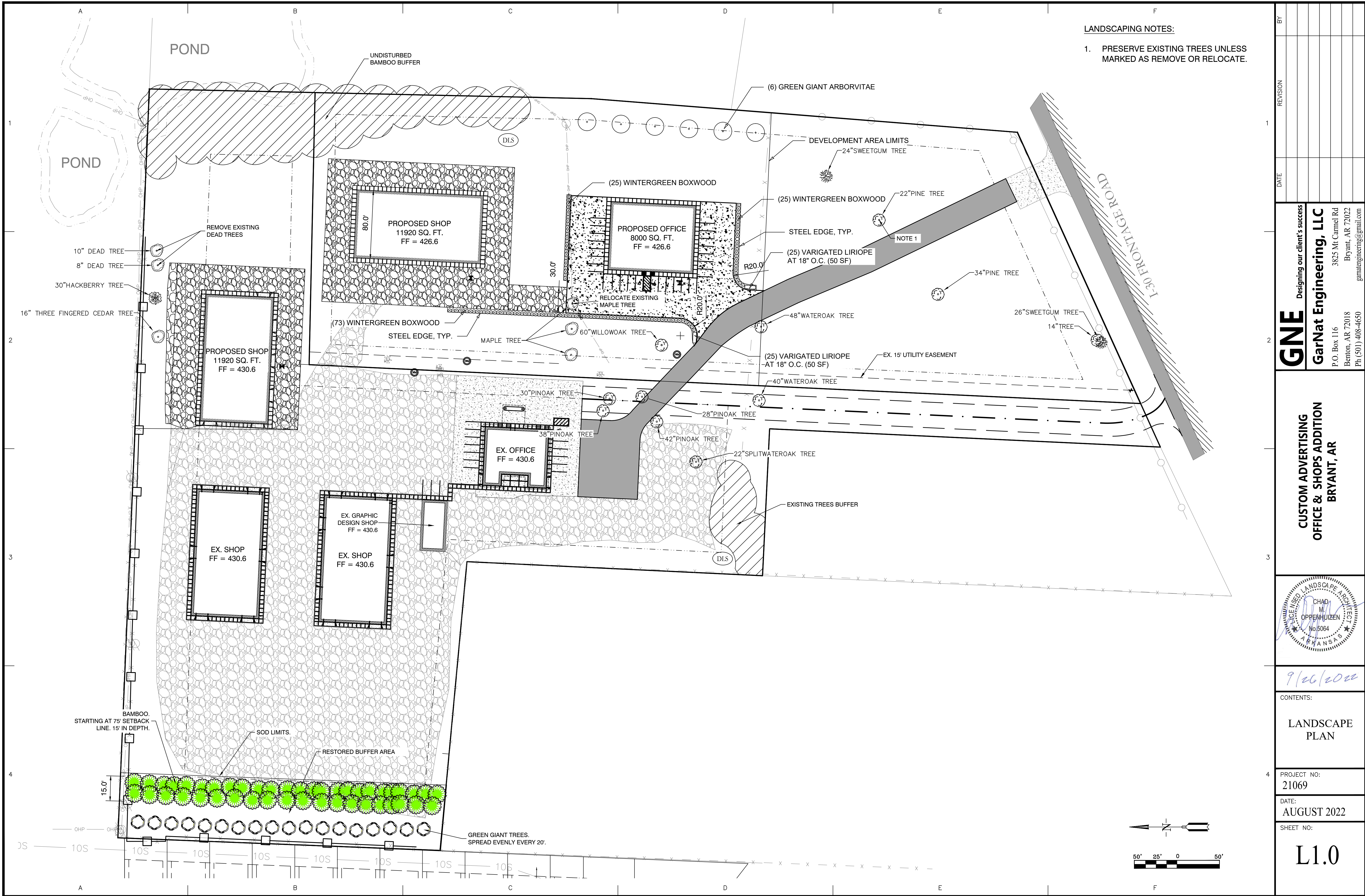
PROJECT NO:
21069

DATE:
AUGUST 2022

SHEET NO:

C3.2

A:\Projects\2021 Projects\21069 23738 12-30-21 - Jimmy Power\Drawings\DWG\Sheet\Phase 2 - 21069 Outlet Detail Phase 2 R1 - 21.dwg



LANDSCAPING NOTES:
 1. PRESERVE EXISTING TREES UNLESS MARKED AS REMOVE OR RELOCATE.

REVISION	DATE	BY

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GarNat Engineering, LLC
 3825 Mt. Carmel Rd
 Bryant, AR 72022
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650
 garnatengineering@gmail.com

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BRYANT, AR



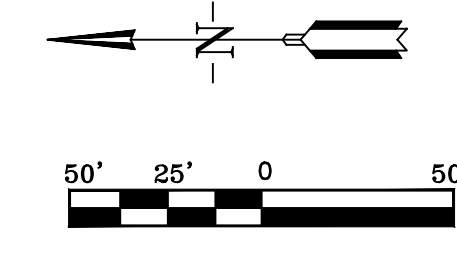
9/26/2022

CONTENTS:
 LANDSCAPE PLAN

PROJECT NO:
 21069

DATE:
 AUGUST 2022

SHEET NO:
L1.0

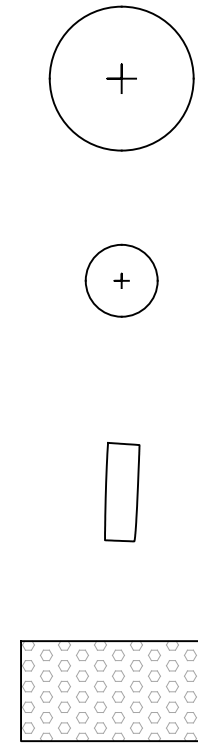


C:\Projects\2022\Project_21069 - Army Post\Drawings\Office_Shops_ADDITION.dwg (PLOT) 9/26/2022 1:58:04 PM

LANDSCAPING NOTES:

- REPORT ANY DISCREPANCIES FOUND IN THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE DESIGNER OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- THE NUMBER OF PLANTS OR INTENDED COVERAGE AREAS SHOWN SHALL SUPERSEDE NOTED QUANTITIES. TREE LOCATIONS ARE DIAGRAMMATIC.
- ALL PLANT MATERIALS MUST BE APPROVED PRIOR TO INSTALLATION. SUBSTITUTIONS OF SIZE OR TYPE OF MATERIAL ARE NOT PERMITTED WITHOUT WRITTEN APPROVAL PRIOR TO DELIVERY OR INSTALLATION.
- ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION. REPLACE ANY DAMAGED, DESTROYED, OR REMOVED PLANT MATERIALS WITH THE SAME VARIETY AND SIZE PRIOR TO FINAL ACCEPTANCE.
- PLANT STORAGE TO BE LOCATED OUT OF VEHICULAR USE AREAS AND NEAR A WATERING SYSTEM TO OPTIMIZE SURVIVAL.
- ALL PLANTING BEDS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3-INCHES SHREDDED HARDWOOD OR CYPRESS MUGH.
- ALL SHRUBS AND TREES SHALL RECEIVE PLANTING BACKFILL OF 2/3 TOPSOIL AND 1/3 COMPOST BY VOLUME AND 2 POUNDS OF 14-14-14 TIMED-RELEASE FERTILIZER PER CUBIC YARD OF BACKFILL.
- ALL BEDS INSIDE LAWN AREAS TO BE EDGED WITH 4" PAINTED STEEL EDGING.
- ALL TREES AND SHRUBS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING.

- TREES SHALL NOT BE TOPPED AT ANY TIME. PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- COORDINATE ALL INSTALLATION ACTIVITIES WITH IRRIGATION WORK AND IMMEDIATELY REPAIR DAMAGES TO FINISH GRADES, SOD, AND PLANT MATERIALS UNTIL FINAL ACCEPTANCE.
- SEE GRADING AND DRAINAGE PLAN FOR PROPOSED SLOPES, SWALES, BERMS, AND WATER FEATURES. MAINTAIN PROPER FINISH GRADES IN ALL AREAS AS INDICATED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO PROVIDE MINIMUM TOPSOIL DEPTHS AND CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL AREAS.
- TOPSOIL SHALL BE FREE OF STONES, ROOTS, CLODS, AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FROM PLANT GROWTH.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- IDENTIFICATION LABELS MUST BE ATTACHED TO ALL PLANT MATERIALS AND SHALL REMAIN INTACT UNTIL FINAL ACCEPTANCE OF THE WORK. REMOVE ALL TAGS AND LABELS FOLLOWING FINAL ACCEPTANCE.
- CALIPER OF TREES TO BE MEASURED 6-INCHES ABOVE GROUND LEVEL FOR TREES UP TO 4-INCH CALIPER SIZE.
- GENERAL CONTRACTOR SHALL PROVIDE 6-INCH DIAMETER MINIMUM SCHEDULE 40 PVC SLEEVING FOR IRRIGATION TO ALL CURB ISLANDS AND UNDER ALL DRIVE ISLE CROSSINGS.
- CONTRACTOR TO REFER TO THE UTILITY PLAN SHEET FOR RECENT FIRE FLOW INFORMATION.

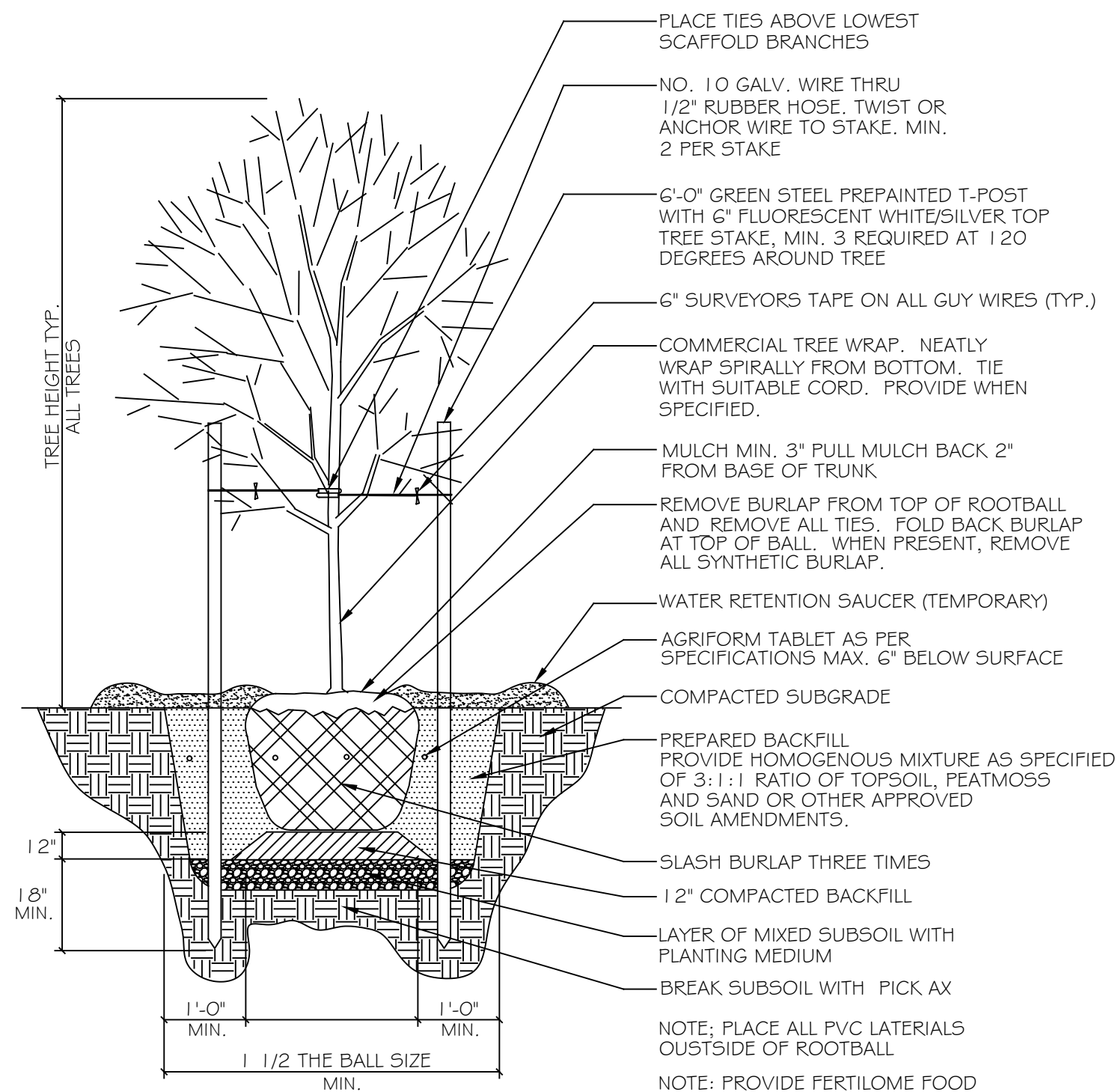


LEGEND:

PLAN QUANTITIES:

Quantity	Common Name/Botanical Name	Size	Remarks
6	Green Giant Arborvitae <i>Thuja standishii x plicata 'Green Giant'</i>	6 - 8'	Specimen, Full to Ground
123	Wintergreen Boxwood <i>Buxus sinica var. Insularis 'Wintergreen'</i>	3 gallon, 18" HT	Full well branched shrub with uniform shape, Space plants 4' o.c.
50	Varigated Liriope <i>Liriope muscari 'Variegata'</i>	1 gallon	Space pance at 18" o.c.
	Bermuda Tifway 419 <i>Cynodon Dactylon var. Tifway 419</i>	Sod	Solid sod, all areas indicated with close knit joints

NOTE: PLANTS SHALL BE SET SLIGHTLY HIGHER THAN GRADE TO ALLOW FOR SETTLING & POSITIVE DRAINAGE.



TREE PLANTING DETAIL
No Scale

SODDING OF DISTURBED AREAS

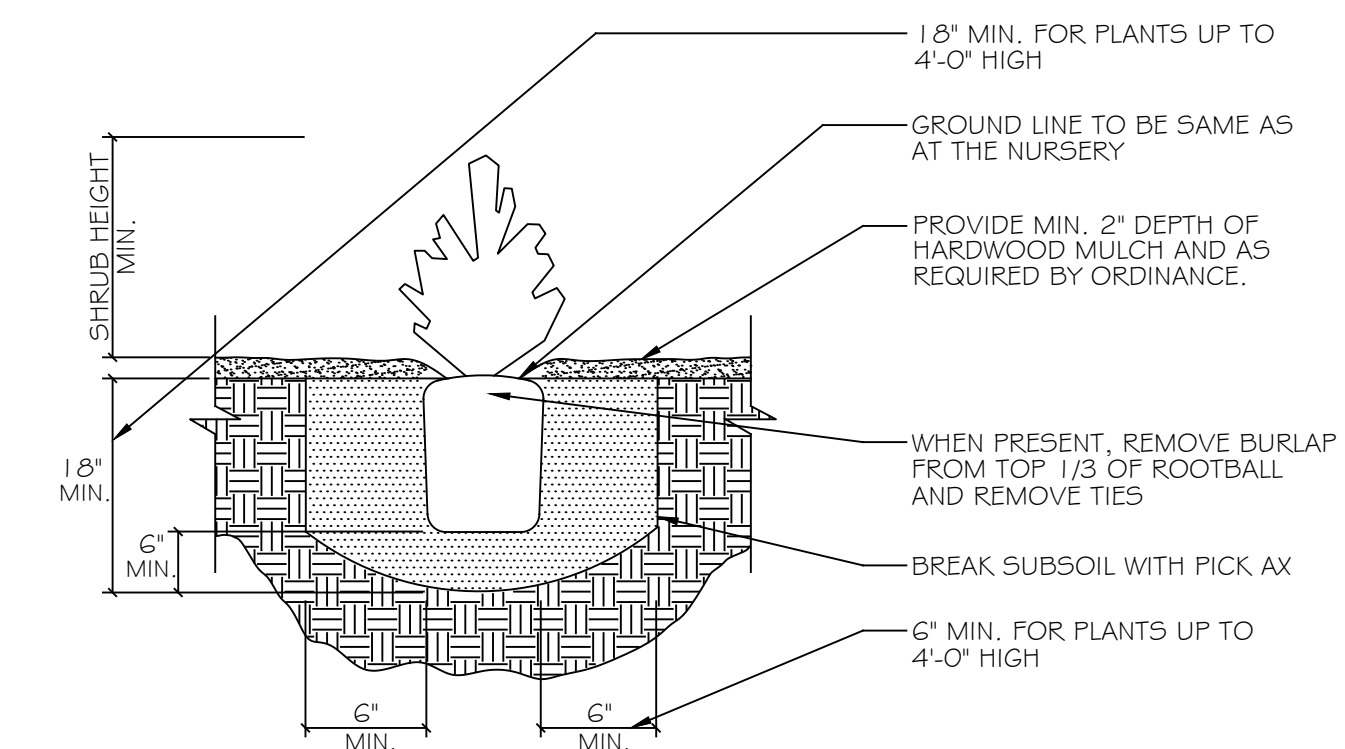
AREAS AND LIMITS OF SODDING ARE INDICATED BASED ON ANTICIPATED DISTURBANCE BY GRADING OPERATIONS. CONTRACTOR TO PROVIDE ADDITIONAL SODDING IN ANY OTHER AREAS DISTURBED BY WORK UNDER THIS CONTRACT. EXCAVATE AND REMOVE ANY REMAINING TURF AND SOIL TO A 4-INCH MINIMUM DEPTH WITHIN NEW SOD AREAS. HAND EXCAVATION REQUIRED WITHIN DRIP LINES OF TREE AREAS TO AVOID DAMAGE TO EXISTING ROOTS.

MAINTENANCE AND WARRANTY

CONTRACTOR TO PROVIDE FULL MAINTENANCE OF INSTALLED LANDSCAPE AND IRRIGATION UNTIL DATE OF FINAL ACCEPTANCE. ADDITIONALLY, CONTRACTOR TO PROVIDE ONE YEAR WARRANTY FOR ALL LANDSCAPE AND IRRIGATION WORK FROM THE DATE OF FINAL ACCEPTANCE.

IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE AUTOMATIC IRRIGATION SYSTEM FOR ALL NEW LANDSCAPE AND TURF AREAS SHOWN ON THE PLANS. SYSTEM WILL REQUIRE PROVIDING BACKFLOW PREVENTER, PERMITTING, POWER CONNECTION, CONTROLLER, AND ALL OTHER WORK REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM THAT PROVIDES 100% COVERAGE. COORDINATE LOCATION OF CONTROLLER WITH OWNER, GENERAL CONTRACTOR, AND ELECTRICAL CONTRACTOR. COORDINATE LOCATION OF IRRIGATION SLEEVES WITH GENERAL CONTRACTOR PRIOR TO FULLY MOBILIZING TO SITE. CONTRACTOR TO REFER TO THE UTILITY PLAN SHEET FOR CURRENT FIRE FLOW INFORMATION.



- NOTES:
- PROVIDE WEED CONTROL AND/OR FERTILIZER AS SPECIFIED BELOW.
 - WEED CONTROL AND FERTILIZER MAY BE APPLIED AT A LATER DATE TO COMPLY WITH SEASONAL CONDITIONS AND THE GROWING PERIOD.
 - PROVIDE AGRIFORM TABLETS AS PER MANUFACTURERS RECOMMENDATIONS.
 - PROVIDE HOMOGENOUS BACKFILL PLANTING MIXTURE OF 3:1 RATIO TOPSOIL TO PEATMOSS AND/OR OTHER APPROVED SOIL AMENDMENTS.
 - PROVIDE FERTILOME ROOT STIMULATOR OR APPROVED EQUAL IN PITS.
 - APPLY BALAN PREEMERGENT WEED CONTROL OR APPROVED EQUAL TREATMENT ON ALL SHRUB AND GROUNDCOVER BEDS.

SHRUB PLANTING DETAIL
No Scale

BY	REVISION	DATE

Designing our client's success

GarNat Engineering, LLC
3825 Mt Carmel Rd
Bryant, AR 72022
gamatengineering@gmail.com

GNE

P.O. Box 116
Benton, AR 72018
Ph: (501) 408-4650

**CUSTOM ADVERTISING
OFFICE & SHOPS ADDITION
BRYANT, AR**



9/26/2022

CONTENTS:
**LANDSCAPING
NOTES &
DETAILS**

PROJECT NO:
21069

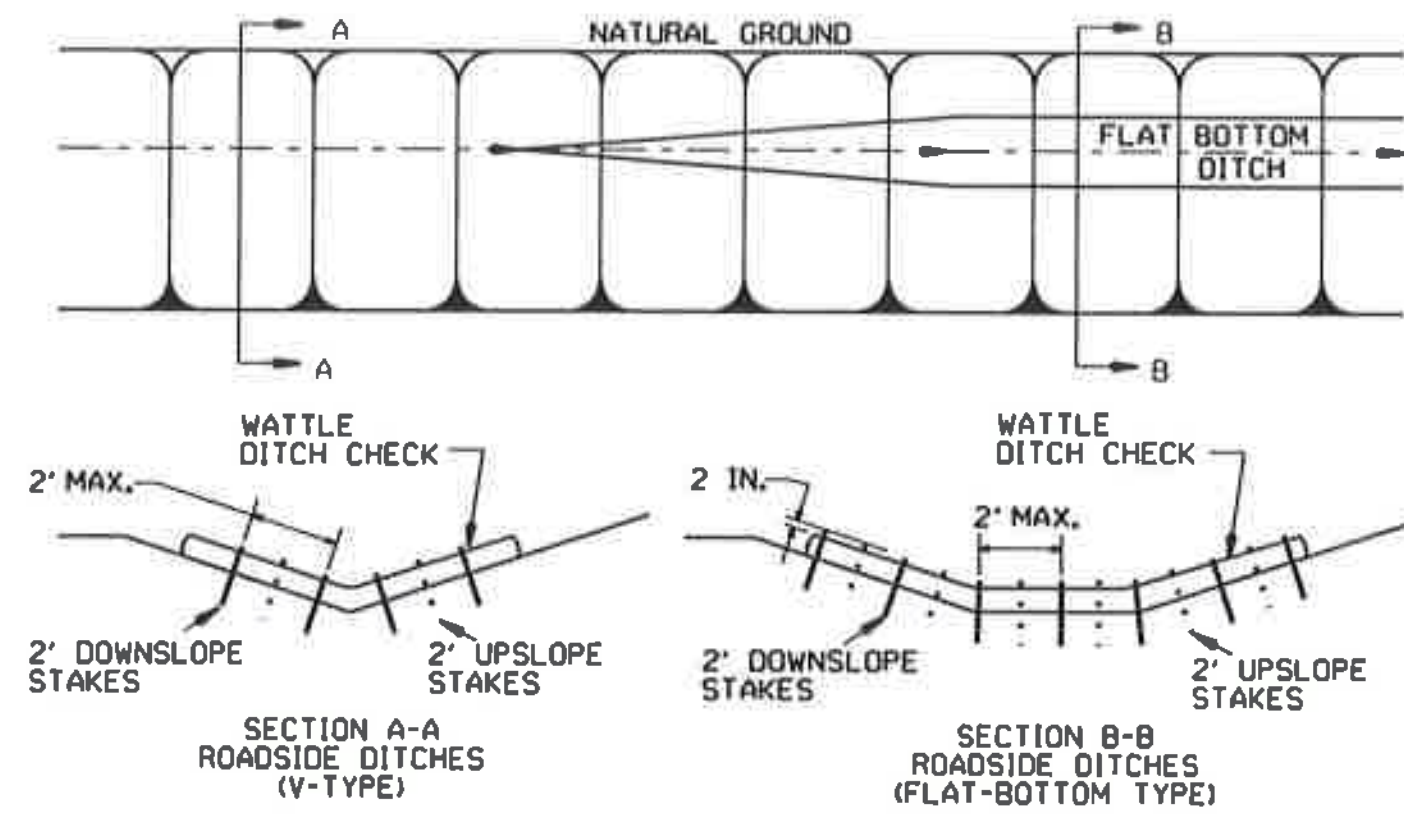
DATE:
AUGUST 2022

SHEET NO:

L1.1

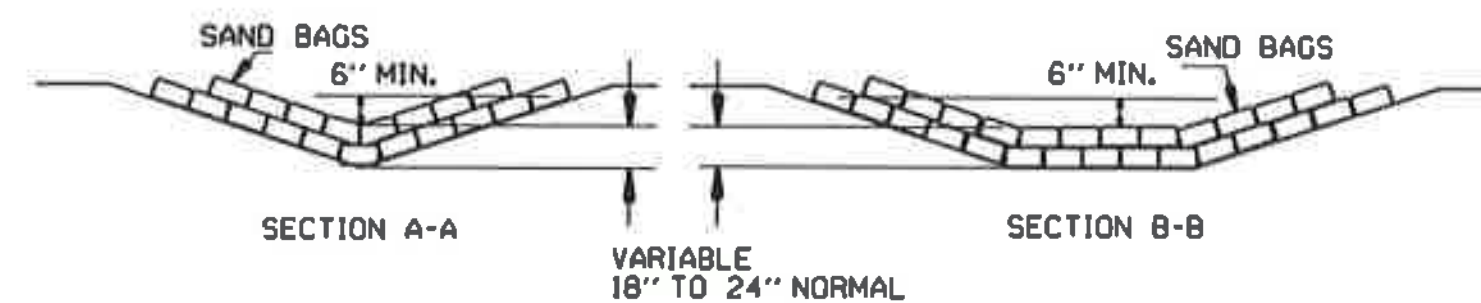
GENERAL NOTES

INSTALL A MINIMUM OF 2 UPSLOPE STAKES AND 4 DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.

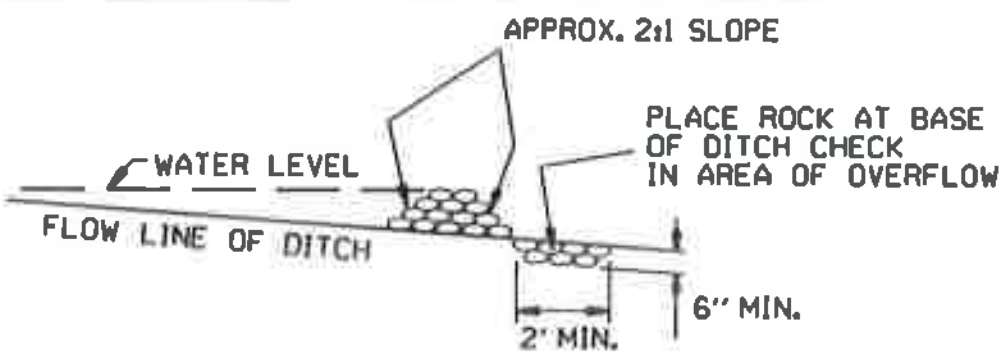


WATTLE DITCH CHECK (E-1)

NUMBER OF SAND BAGS AND ARRANGEMENT VARIABLE WITH ON-SITE CONDITIONS. PLACE SAND BAGS AT BASE OF DITCH CHECK IN AREA OF OVERFLOW.

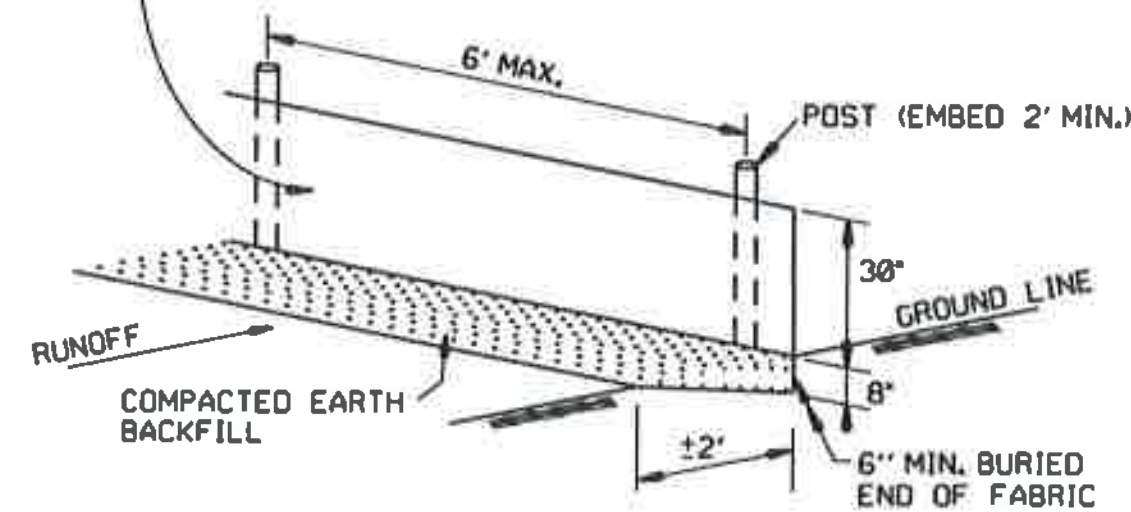


SAND BAG DITCH CHECK (E-5)

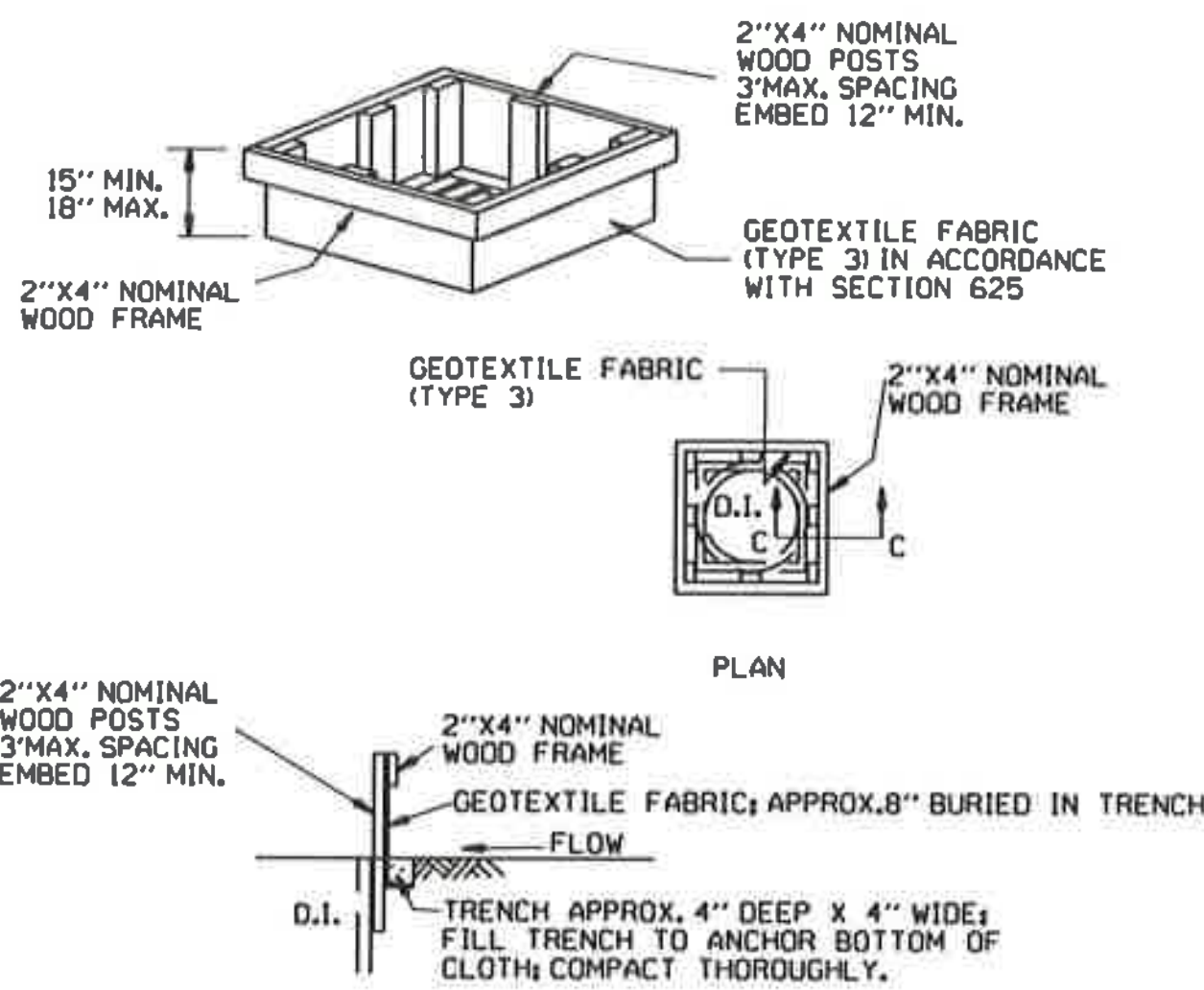


ROCK DITCH CHECK (E-6)

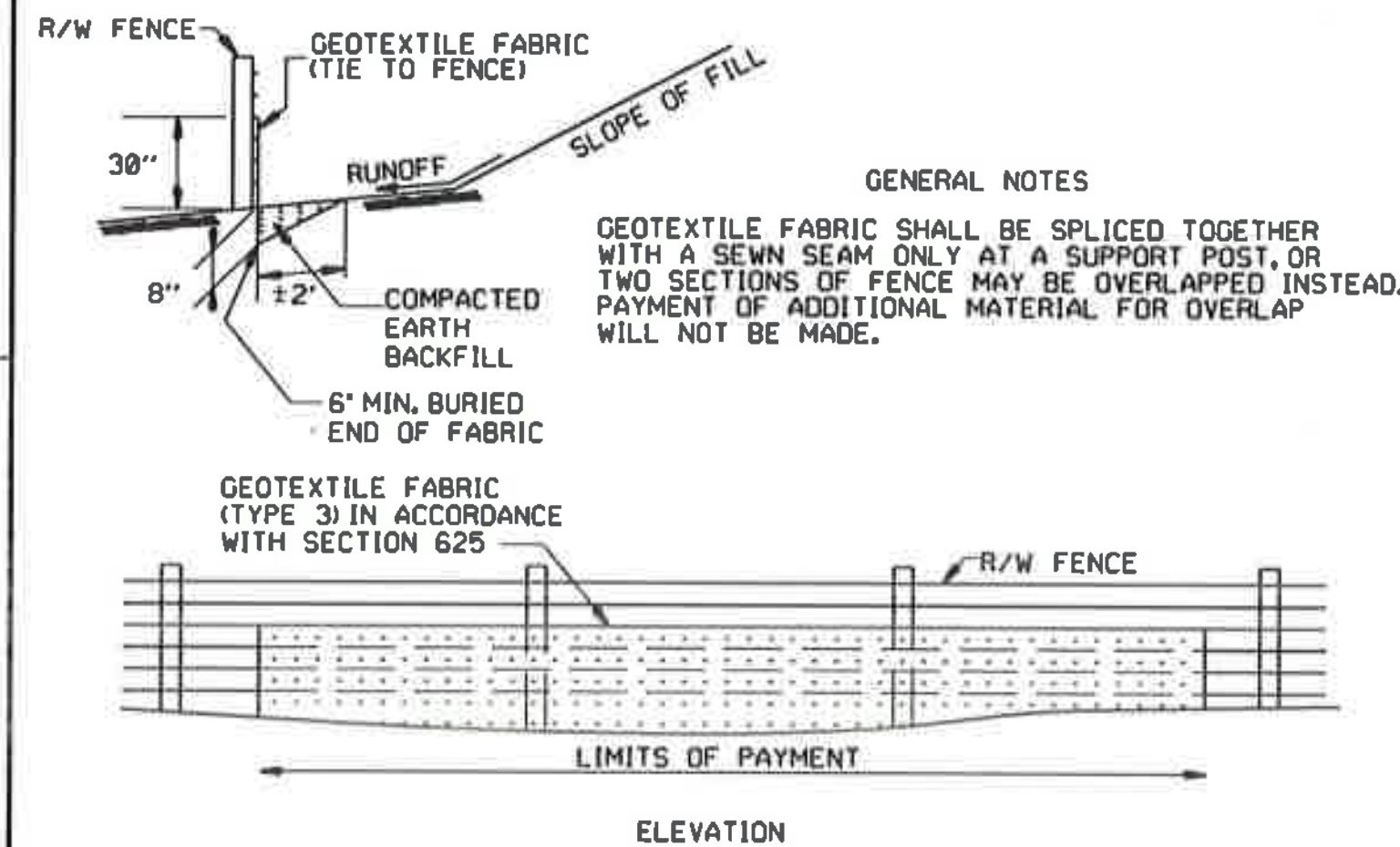
GENERAL NOTES
 GEOTEXTILE FABRIC (TYPE 4) IN ACCORDANCE WITH SECTION 625
 GEOTEXTILE FABRIC SHALL BE SPLICED TOGETHER WITH A SEWN SEAM ONLY AT A SUPPORT POST OR TWO SECTIONS OF FENCE MAY BE OVERLAPPED INSTEAD. PAYMENT OF ADDITIONAL MATERIAL FOR OVERLAP WILL NOT BE MADE.



SILT FENCE (E-11)

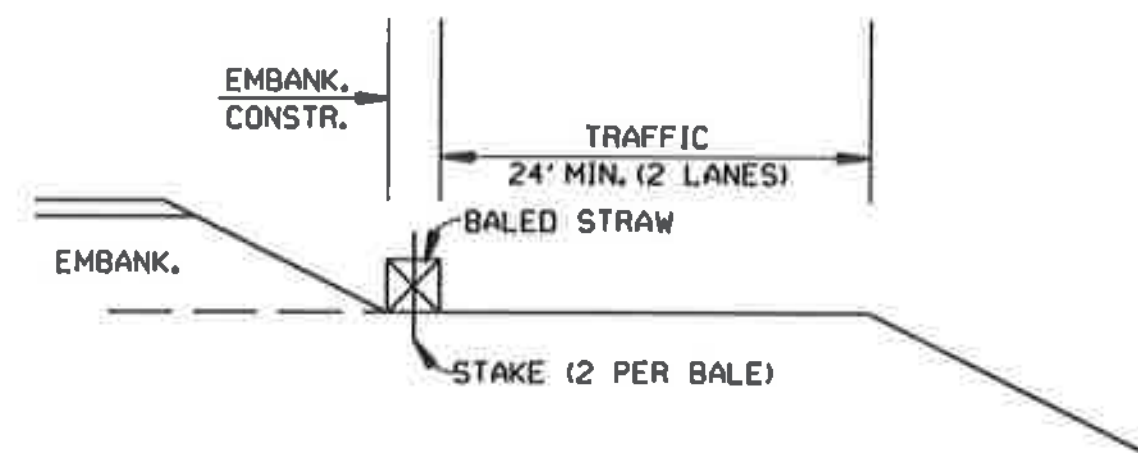


DROP INLET SILT FENCE (E-7)

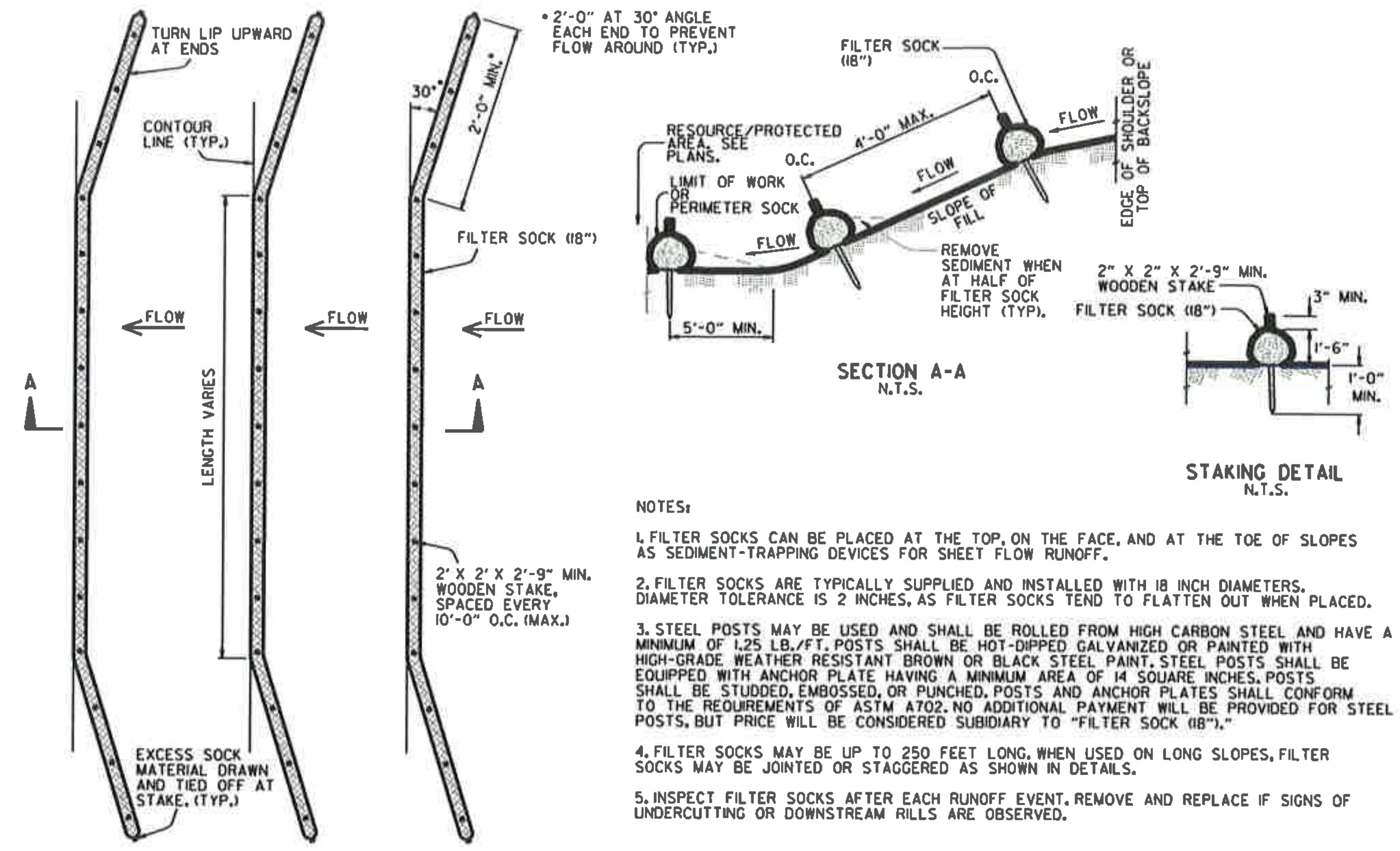


SILT FENCE ON R/W FENCE (E-4)

GENERAL NOTES
 1. STRAW BALES SHALL BE INSTALLED SO THAT THE BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES. THE BALES SHALL BE A MINIMUM OF 30 INCHES IN LENGTH.
 2. NO GAPS SHALL BE LEFT BETWEEN BALES.
 3. BALED STRAW FILTER BARRIERS COMPLETED AND ACCEPTED WILL BE MEASURED BY THE BALE IN PLACE AS AUTHORIZED BY THE ENGINEER AND WILL BE PAID FOR AT THE CONTRACT UNIT PRICE BID PER BALE FOR BALED STRAW DITCH CHECKS.

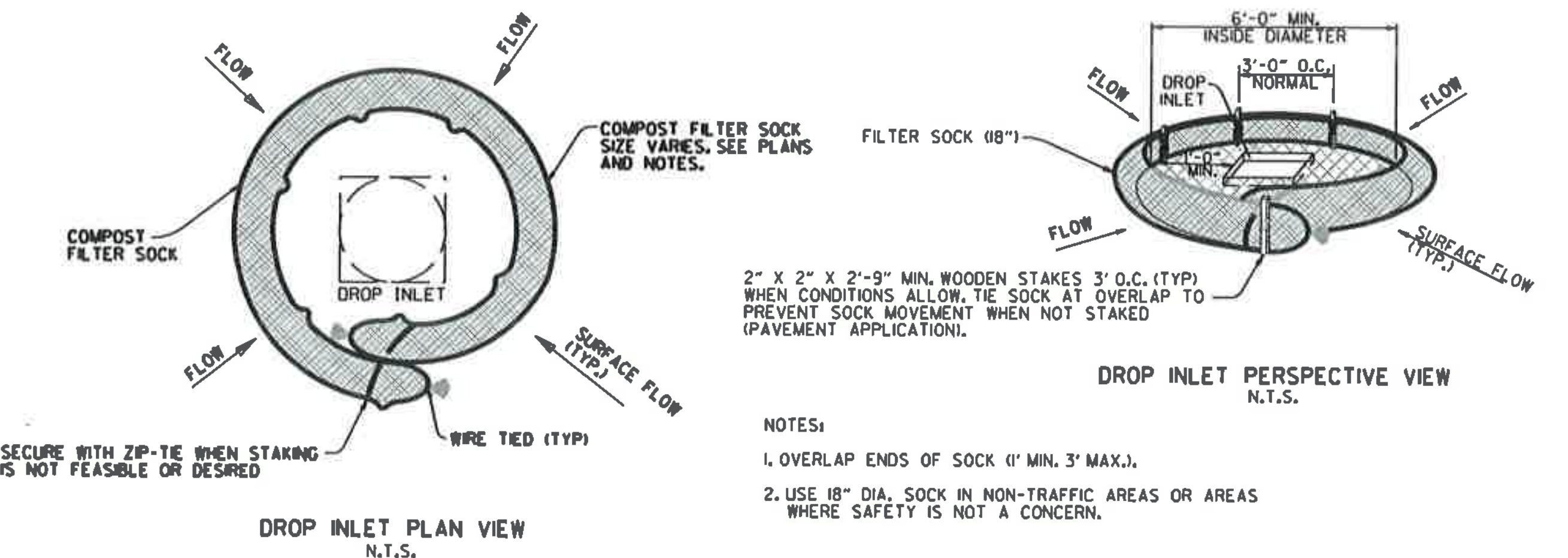


BALED STRAW FILTER BARRIER (E-2)



FILTER SOCK ALONG SLOPE (E-3)

NOTES:
 1. FILTER SOCKS CAN BE PLACED AT THE TOP, ON THE FACE, AND AT THE TOE OF SLOPES AS SEDIMENT-TRAPPING DEVICES FOR SHEET FLOW RUNOFF.
 2. FILTER SOCKS ARE TYPICALLY SUPPLIED AND INSTALLED WITH 18 INCH DIAMETERS. DIAMETER TOLERANCE IS 2 INCHES, AS FILTER SOCKS TEND TO FLATTEN OUT WHEN PLACED.
 3. STEEL POSTS MAY BE USED AND SHALL BE ROLLED FROM HIGH CARBON STEEL AND HAVE A MINIMUM OF 1.25 LB./FT. POSTS SHALL BE HOT-DIPPED GALVANIZED OR PAINTED WITH HIGH-GRADE WEATHER RESISTANT BROWN OR BLACK STEEL PAINT. STEEL POSTS SHALL BE EQUIPPED WITH ANCHOR PLATE HAVING A MINIMUM AREA OF 14 SQUARE INCHES. POSTS SHALL BE STUDDED, EMBOSSED, OR PUNCHED. POSTS AND ANCHOR PLATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A702. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR STEEL POSTS, BUT PRICE WILL BE CONSIDERED SUBSIDIARY TO "FILTER SOCK (18\"/>



COMPOST FILTER SOCK DROP INLET PROTECTION (E-13)

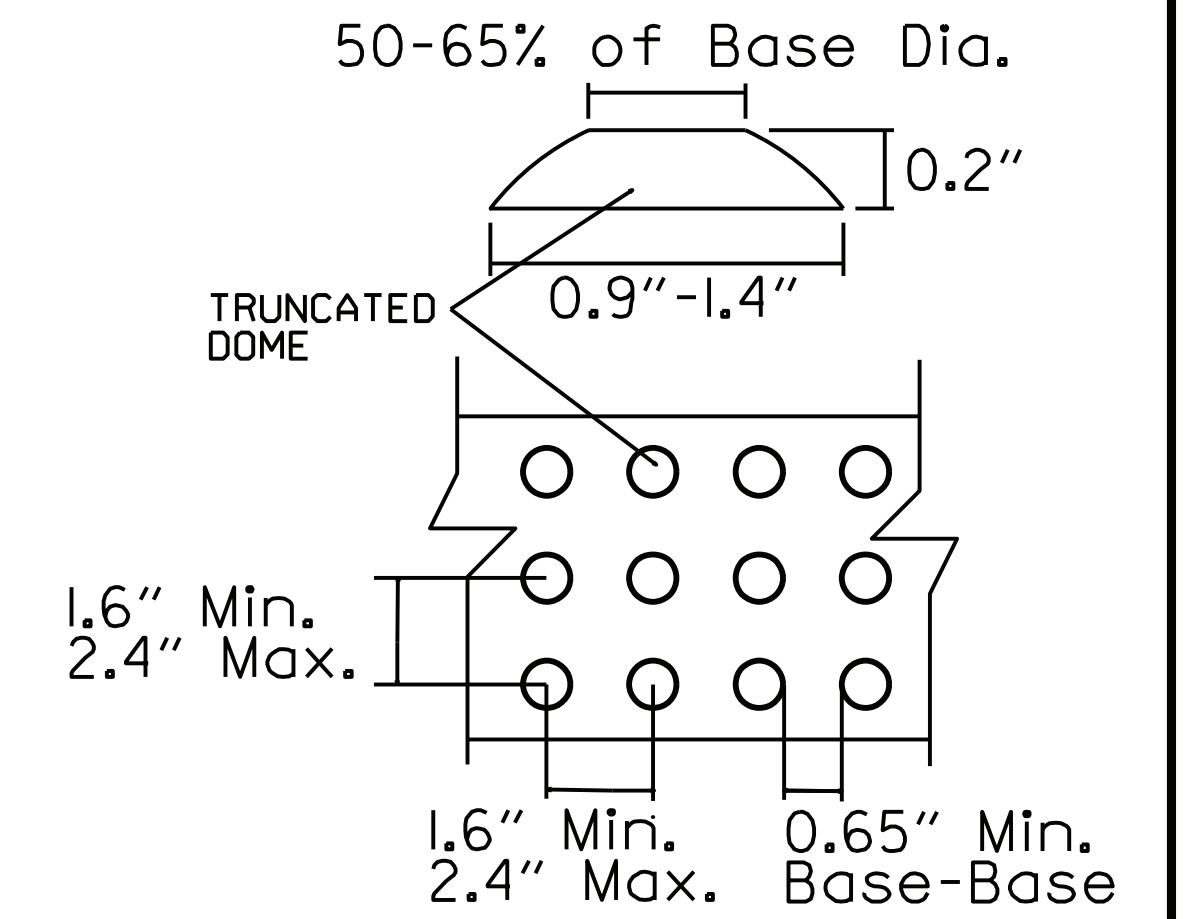
NOTES:
 1. OVERLAP ENDS OF SOCK (1\"/>

DATE	REVISION	
11-16-17	ADDED FILTER SOCK E-3 AND E-13	
12-15-11	DELETED BALED STRAW DITCH CHECK & ADDED WATTLE DITCH CHECK	
1-18-98	ADDED NOTES	
07-02-98	ADDED BALED STRAW FILTER BARRIER (E-2)	
07-20-95	REVISED SILT FENCE E-4 AND E-11	7-20-95
07-15-94	REV. E-4 & E-11 MIN. 13\"/>	
06-02-94	REVISED E-1, 4, 7 & 11; DELETED E-2 & 3	6-2-94
04-01-93	REDRAWN	
10-01-92	REDRAWN	
08-02-76	ISSUED R.O.M.	298-7-28-76
		FILMED

ARKANSAS STATE HIGHWAY COMMISSION
 TEMPORARY EROSION CONTROL DEVICES
 STANDARD DRAWING TEC-1

GENERAL NOTES FOR DETECTABLE WARNING DEVICES

THE DETECTABLE WARNING DEVICE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS 6 TO 8 INCHES FROM THE FACE OF THE CURB. TRUNCATED DOMES IN THE DETECTABLE WARNING SURFACE SHALL MEET THE REQUIREMENTS OF THE GEOMETRIC CONFIGURATION SHOWN. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES. DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNING DEVICE SHALL BE ON THE ARDOT QUALIFIED PRODUCTS LIST FOR CAST-IN-PLACE TACTILE PANELS (ADA DETECTABLE WARNING).



DETECTABLE WARNING DEVICE DETAIL

GENERAL NOTES:

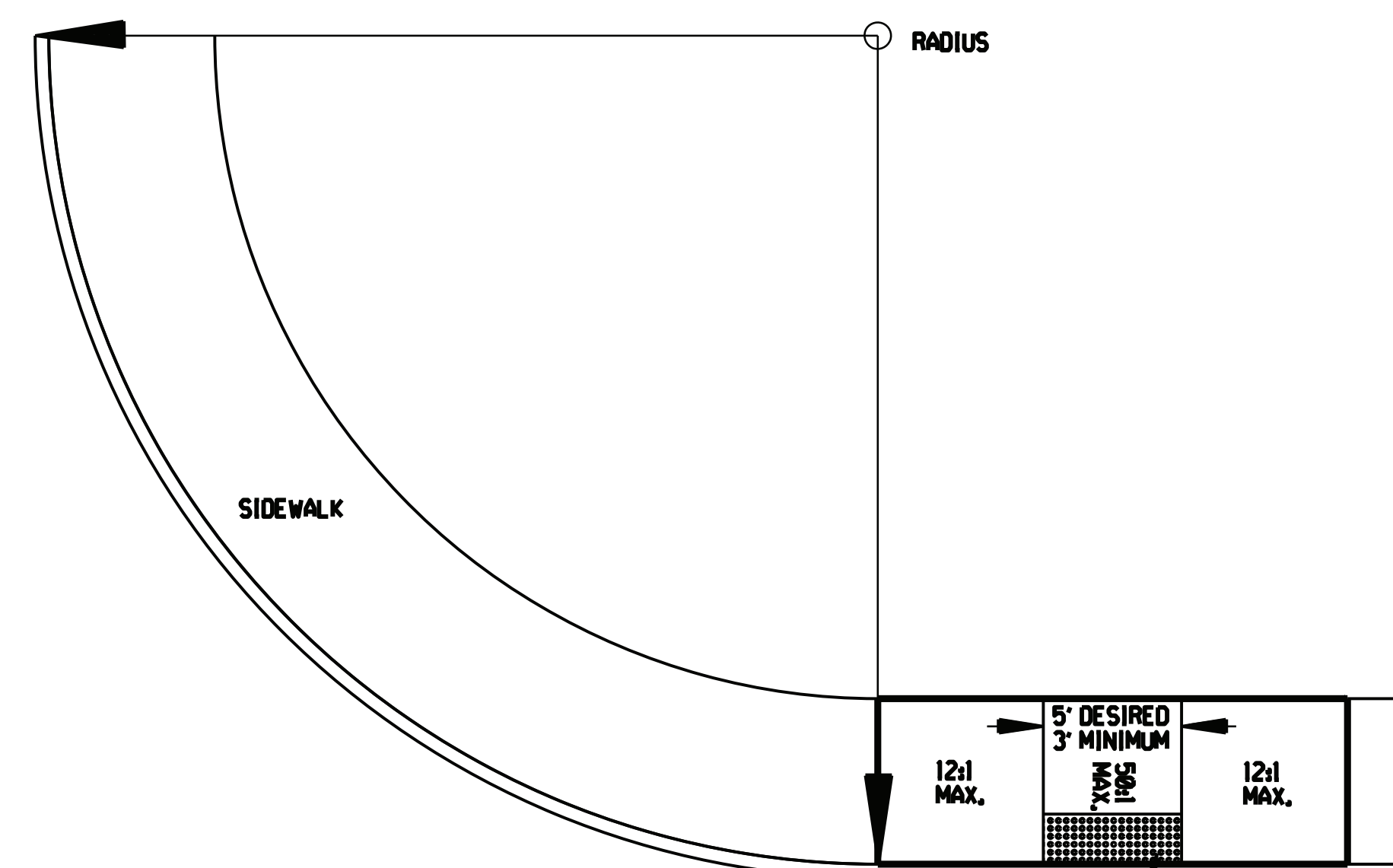
IN ALTERATIONS WHEELCHAIR RAMPS ARE TO BE PROVIDED AT CURBED STREET INTERSECTIONS WITH PEDESTRIAN TRAFFIC AND MID-BLOCK CROSSWALK LOCATIONS. THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1. THE SURFACE TEXTURE OF THE RAMP SHALL CONFORM TO A CLASS 6 FINISH ACCORDING TO SECTION 802.19. THE NORMAL GUTTER GRADE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. ALL PAYMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THE MINIMUM THICKNESS OF THE RAMP, WALK, & LANDING SHALL BE 4". THE MINIMUM WIDTH OF THE RAMPS SHALL BE THE EXISTING WALK WIDTH OR 36", WHICHEVER IS GREATER. MINOR MODIFICATIONS OF THESE DETAILS, AS APPROVED BY THE ENGINEER, MAY BE MADE TO ADJUST TO LOCAL CONDITIONS.

RAMP SELECTION CRITERIA

FIRST CHOICE	TYPE 1	CORNER LOCATIONS WITH THE WALK ADJACENT TO THE CURB (BOTH NEW CONSTRUCTION AND ALTERATIONS).
	TYPE 2	CORNER LOCATIONS WITH THE WALK OFFSET FROM THE CURB A DISTANCE INSUFFICIENT TO ALLOW THE REQUIRED RAMP SLOPE (BOTH NEW CONSTRUCTION AND ALTERATIONS).
	TYPE 3	CORNER LOCATIONS WITH THE WALK OFFSET FROM THE CURB A DISTANCE SUFFICIENT TO ALLOW THE REQUIRED RAMP SLOPE (BOTH NEW CONSTRUCTION AND ALTERATIONS).
	TYPE 4	TANGENT LOCATIONS (BOTH NEW CONSTRUCTION AND ALTERATIONS).
SECOND CHOICE	TYPE 5	TANGENT LOCATIONS (ALTERATIONS ONLY).
THIRD CHOICE	TYPE 6	CORNER LOCATIONS (ALTERATIONS ONLY). THIS RAMP MAY BE USED ONLY IF THE TYPE 5 RAMPS CANNOT BE PLACED AT THE ENDS OF THE RADIUS.
FOURTH CHOICE		IF SITE CONSTRAINTS PREVENT THE CONSTRUCTION OF ANY OF THE TYPES LISTED, THEN AND ONLY THEN CAN THE 12:1 MAX. SLOPE ON THE RAMP BE EXCEEDED TO PROVIDE ACCESS TO THE STREET LEVEL (ALTERATIONS ONLY). THE SLOPE CAN BE STEEPENED TO A 10:1 MAX. FOR A MAX. LENGTH OF 5' OR A 8:1 MAX. FOR A MAX. LENGTH OF 2'. SLOPES STEEPER THAN 8:1 ARE NOT ALLOWED UNDER ANY CIRCUMSTANCES.

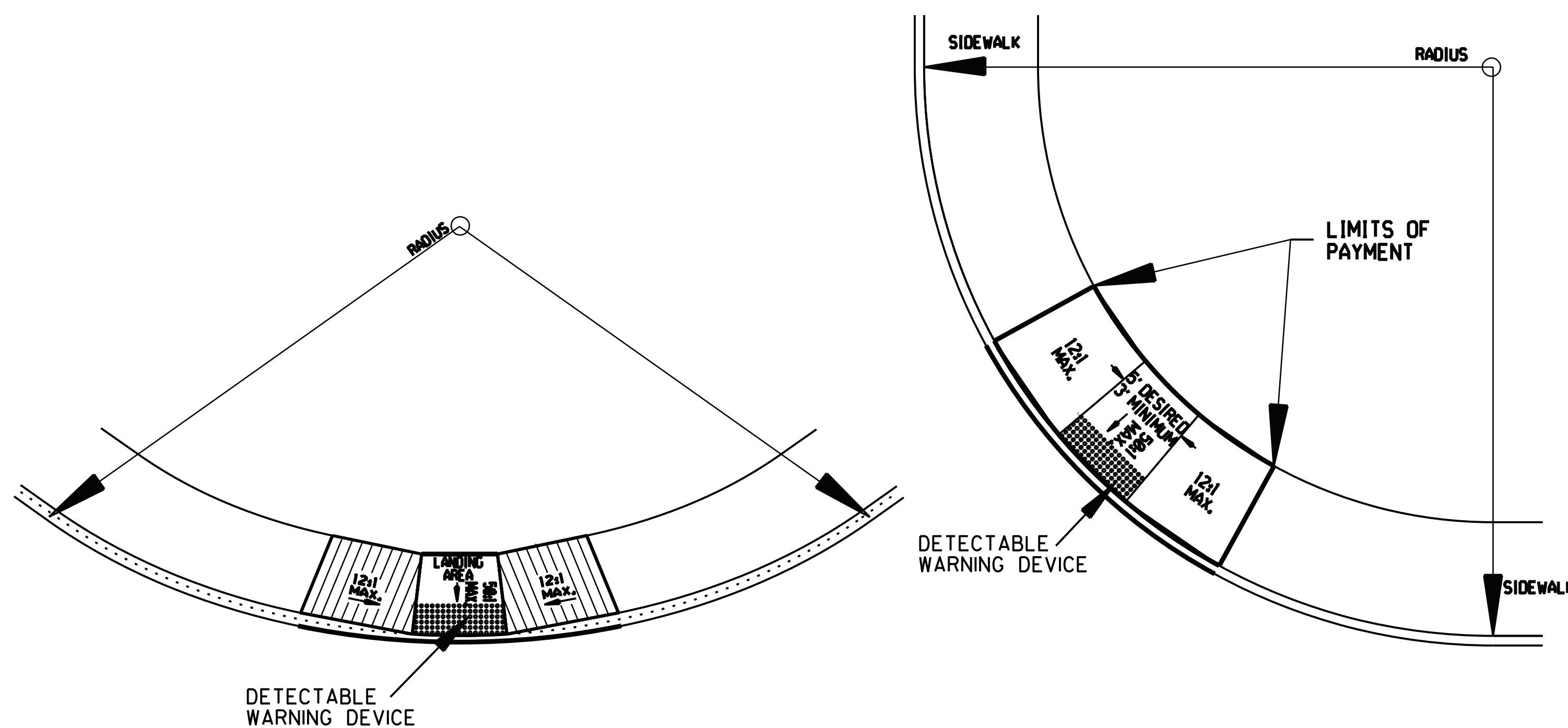
NOTE: IN ALTERATIONS, THE SELECTION OF THE TYPE OF WHEELCHAIR RAMP TO BE CONSTRUCTED SHALL BE BASED ON THE AMOUNT OF RIGHT-OF-WAY AVAILABLE, AND ON THE PRESENCE OF OTHER SITE CONSTRAINTS (UTILITIES, BUILDINGS, ETC.). THE TABLE ABOVE LISTS THE ORDER IN WHICH THE RAMPS ARE TO BE CONSIDERED.

AN ALTERATION IS DEFINED AS A PROJECT THAT CHANGES OR AFFECTS THE USE OF A PEDESTRIAN PATHWAY (OVERLAYS, SIGNALIZATION PROJECTS, ETC.) BUT DOES NOT REQUIRE THE PURCHASE OF ADDITIONAL RIGHT-OF-WAY. ALL PROJECTS THAT REQUIRE THE PURCHASE OF ADDITIONAL RIGHT-OF-WAY WILL USUALLY BE CONSIDERED NEW CONSTRUCTION FOR THE PURPOSES OF THE CHART ABOVE.



TYPE 5 RAMP

NOTE: THE CROSS SLOPE OF THE RAMPS AND SIDEWALKS SHALL NOT EXCEED 2.0% UNLESS REQUIRED TO MATCH STREET LONGITUDINAL GRADE.



TYPE 6 RAMP

			ARKANSAS STATE HIGHWAY COMMISSION
10-9-03	REVISED GENERAL NOTES & ADDED NOTE.		WHEELCHAIR RAMPS ALTERATIONS ONLY
4-10-03	REVISED DETECTABLE WARNING DEVICE DETAIL		
8-22-02	ADDED DETECTABLE WARNING DEVICES DETAILS		STANDARD DRAWING WR-2
11-18-98	REV. FOURTH CHOICE NOTE		
8-12-98	REVISED TEXTURE		
7-02-98	ISSUED		
DATE	REVISION	DATE FILM	

A NEW FACILITY FOR: CUSTOM ADVERTISING
DRAINAGE CALCULATIONS – SUMMARY
10/6/2022

DESCRIPTION OF PROJECT

Custom Advertising is an approximately 15.45 Acre development located in the City of Bryant, Arkansas at the north Portion of I-30 N Frontage Rd. There is a ridge that runs through the site creating four main drainage basins. Basin 3 will be detained in a ditch located in the east of the site. The detention of the basin will be detained by a 19 ft. wide ditch. Basin 1 and 2 will not be detained. Basin 4 runs to west of the site and in-lieu-fee provided for this basin.

Stormwater Calculations were prepared with the intent to comply with the City of Bryant's Drainage Code. The primary intent of this analysis is to produce a drainage system adequately sized to convey post development runoff while attenuating post development discharge levels equal to or less than pre development flows.

Hydraulic calculations were made using the Rational Method. Design frequencies were analyzed for 2, 5, 10, 25, 50, and 100 year return periods.

These calculations are divided into the following sections:

Summary of Drainage Basins

Summary of Pipes

Detention Summary

Appendices

Exhibit A – Pre-Development Drainage Basins

Exhibit B – Post-Development Drainage Basins

A NEW FACILITY FOR: CUSTOM ADVERTISING
DRAINAGE CALCULATIONS – SUMMARY
10/6/2022

SUMMARY OF DRAINAGE BASINS

PRE-DEVELOPMENT CONDITIONS

The existing site contains four drainage basins. The existing site is a mixture of grass and clay soil with moderate slopes. Basin 1 drains to the south western side of the property, basin 2 drains to the south eastern side of the property, basin 3 drains to the north eastern side of the property and basin 4 drains to the south side of the property.

POST-DEVELOPMENT CONDITIONS

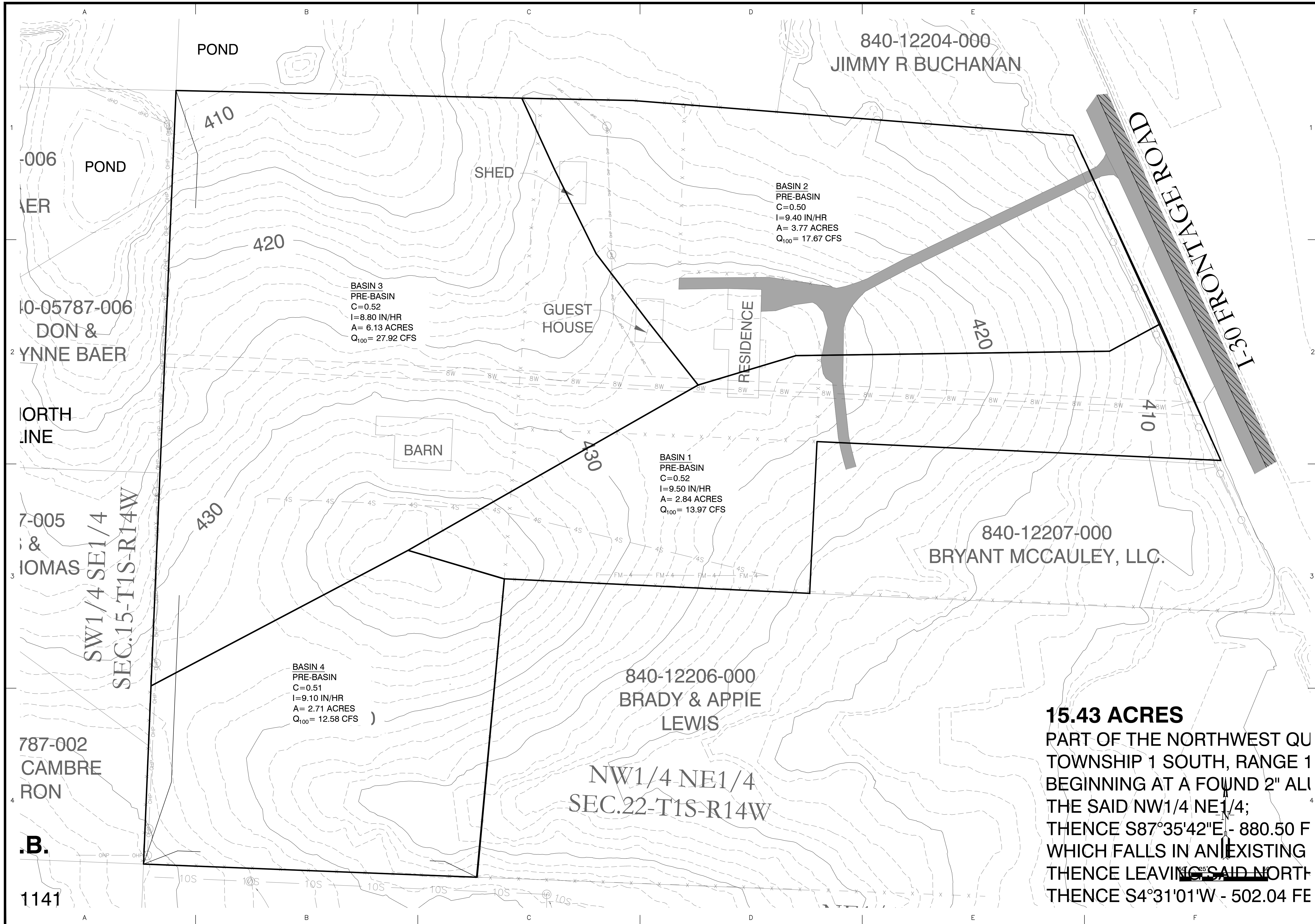
As previously described, this site is being developed into a commercial office. Slopes range from 2% to 6%. Runoff from the developed areas of basin 3 collects by a ditch and finally detained in the eastern corner of the property. Runoff from basin 1, 2 and 4 will not be captured.

SUMMARY OF PIPES

All pipes used in this project are HDPE. Therefore, a manning's of 0.012 was used on all pipes in the analysis.

DETENTION BASIN 1 SUMMARY

The ditch storage in these calculations detains flows from the basin 3. The ditch storage is located in the eastern portion of the property. The ditch storage is made of 300 linear feet of 1' concrete bottom trickle channel and has a volume of 4,800 cf. A concrete control structure is constructed on the east side of the ditch. This control structure uses a slotted weir to limit the discharge through the structure to that of the 2, 5, 10, 25, 50, and 100-year pre-development flow. The ditch storage is designed to hold the 100-year storm event.



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POND
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&
IOMAS

787-002
CAMBRE
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1141

840-12204-000
JIMMY R BUCHANAN

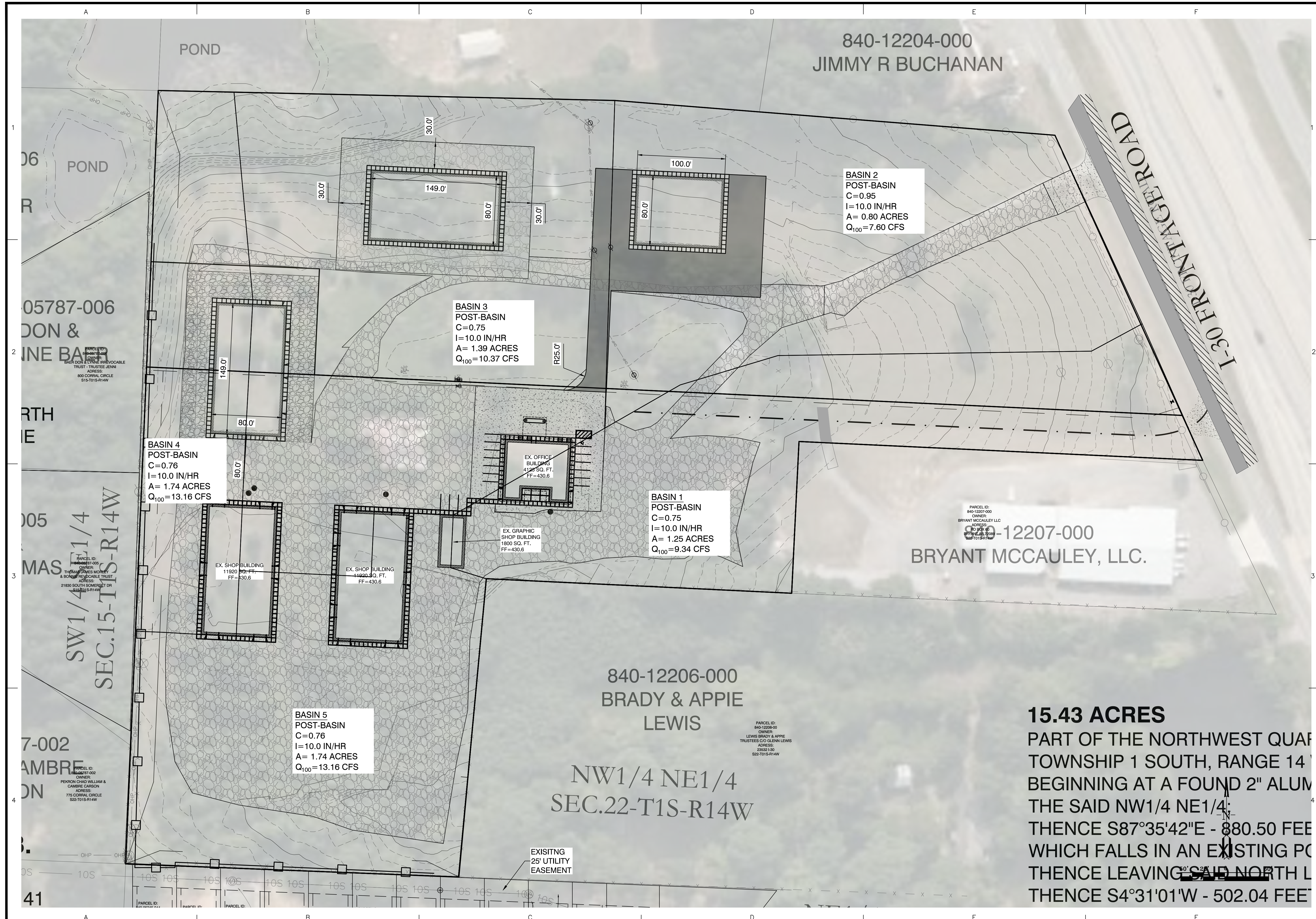
840-12207-000
BRYANT MCCAULEY, LLC.

840-12206-000
BRADY & APPIE
LEWIS

NW1/4 NE1/4
SEC.22-T1S-R14W

15.43 ACRES
PART OF THE NORTHWEST QU
TOWNSHIP 1 SOUTH, RANGE 1
BEGINNING AT A FOUND 2" ALL
THE SAID NW1/4 NE1/4;
THENCE S87°35'42"E - 880.50 F
WHICH FALLS IN AN EXISTING
THENCE LEAVING SAID NORTH
THENCE S4°31'01"W - 502.04 FE

BY	
REVISION	
DATE	
<p>GNE Designing our client's success GarNat Engineering, LLC P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 garnatengineering@gmail.com</p>	
<p>A NEW FACILITY FOR: CUSTOM ADVERTISING JIMMY PARKER BRYANT, AR</p>	
<p>CONTENTS: PRE DRAINAGE BASIN</p>	
PROJECT NO:	21069
DATE:	JULY 2021
SHEET NO:	1



840-12204-000
JIMMY R BUCHANAN

BASIN 2
POST-BASIN
C=0.95
I=10.0 IN/HR
A= 0.80 ACRES
Q₁₀₀=7.60 CFS

BASIN 3
POST-BASIN
C=0.75
I=10.0 IN/HR
A= 1.39 ACRES
Q₁₀₀=10.37 CFS

BASIN 4
POST-BASIN
C=0.76
I=10.0 IN/HR
A= 1.74 ACRES
Q₁₀₀=13.16 CFS

BASIN 1
POST-BASIN
C=0.75
I=10.0 IN/HR
A= 1.25 ACRES
Q₁₀₀=9.34 CFS

BASIN 5
POST-BASIN
C=0.76
I=10.0 IN/HR
A= 1.74 ACRES
Q₁₀₀=13.16 CFS

840-12207-000
BRYANT MCCAULEY, LLC.

840-12206-000
BRADY & APPIE
LEWIS

NW1/4 NE1/4
SEC.22-T1S-R14W

15.43 ACRES
PART OF THE NORTHWEST QUARTER
TOWNSHIP 1 SOUTH, RANGE 14
BEGINNING AT A FOUND 2" ALUM
THE SAID NW1/4 NE1/4;
THENCE S87°35'42"E - 880.50 FEET
WHICH FALLS IN AN EXISTING PO
THENCE LEAVING SAID NORTH L
THENCE S4°31'01"W - 502.04 FEET

BY	
REVISION	
DATE	
<p>GNE Designing our client's success GarNat Engineering, LLC 3825 Mt Carmel Rd Bryant, AR 72022 P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 gnatengineering@gmail.com</p>	
<p>A NEW FACILITY FOR: CUSTOM ADVERTISING JIMMY PARKER BRYANT, AR</p>	
<p>CONTENTS: POST DRAINAGE BASIN</p>	
PROJECT NO:	21069
DATE:	JULY 2021
SHEET NO:	2

Stormwater Calcs - 23738 I-30 N
Using Rational Method

Pre-development

Calculated Tc values - Drainage Basin 1

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 220 feet	L1 = 465 feet
n1 = 0.033 Gravel	n1 = 0.035 Streams on plain, more stones & weeds
S1 = 0.036 ft/ft	S1 = 0.036 ft/ft
$I_{\text{assumed}} = 6.90$ inches	$I_{\text{assumed}} = 6.90$ inches
$T_{c\text{calculated}} = 230$ seconds	$T_{c\text{calculated}} = 374$ seconds
$T_{c\text{calculated}} = 3.84$ minutes	$T_{c\text{calculated}} = 6.23$ minutes
Tc = 10.07 minutes	Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
I = 6.90 inches	i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
Use Tc = 10.00 minutes	
I - 100 yr = 8.2	
I - 50 yr = 7.6	
I - 25 yr = 6.90	
I - 10 yr = 6	
I - 5 yr = 5.5	
I - 2 yr = 4.7	

Calculated Tc values - Drainage Basin 2

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 100 feet	L1 = 500 feet
n1 = 0.15 Sheet flow	n1 = 0.045 Grass, some weeds
S1 = 0.033 ft/ft	S1 = 0.033 ft/ft
$I_{\text{assumed}} = 6.00$ inches	$I_{\text{assumed}} = 6.00$ inches
$T_{c\text{calculated}} = 386$ seconds	$T_{c\text{calculated}} = 493$ seconds
$T_{c\text{calculated}} = 6.44$ minutes	$T_{c\text{calculated}} = 8.21$ minutes
Tc = 14.65 minutes	Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
I = 6.00 inches	i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
Use Tc = 14.50 minutes	
I - 100 yr = 7.5	
I - 50 yr = 6.8	
I - 25 yr = 6.00	
I - 10 yr = 5.5	
I - 5 yr = 4.9	
I - 2 yr = 4.2	

Calculated Tc values - Drainage Basin 3

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 829 feet	L1 = 829 feet
n1 = 0.045 Grass, some weeds	n1 = 0.045 Grass, some weeds
S1 = 0.034 ft/ft	S1 = 0.034 ft/ft
$I_{\text{assumed}} = 6.80$ inches	$I_{\text{assumed}} = 6.80$ inches
$T_{c\text{calculated}} = 630$ seconds	$T_{c\text{calculated}} = 630$ seconds
$T_{c\text{calculated}} = 10.51$ minutes	$T_{c\text{calculated}} = 10.51$ minutes
Tc = 10.51 minutes	Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
I = 6.80 inches	i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
Use Tc = 10.50 minutes	
I - 100 yr = 8.1	
I - 50 yr = 7.4	
I - 25 yr = 6.80	
I - 10 yr = 6	
I - 5 yr = 5.4	
I - 2 yr = 4.7	

Calculated Tc values - Drainage Basin 4

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 491 feet	L1 = 491 feet
n1 = 0.045 Grass, some weeds	n1 = 0.045 Grass, some weeds
S1 = 0.028 ft/ft	S1 = 0.028 ft/ft
$I_{\text{assumed}} = 7.70$ inches	$I_{\text{assumed}} = 7.70$ inches
$T_{c\text{calculated}} = 464$ seconds	$T_{c\text{calculated}} = 464$ seconds
$T_{c\text{calculated}} = 7.73$ minutes	$T_{c\text{calculated}} = 7.73$ minutes
Tc = 7.73 minutes	Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
I = 7.70 inches	i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
Use Tc = 7.70 minutes	
I - 100 yr = 9.1	
I - 50 yr = 8.8	
I - 25 yr = 7.70	
I - 10 yr = 6.9	
I - 5 yr = 6.1	
I - 2 yr = 5.2	

**Stormwater Calcs - 23738 I-30 N
Using Rational Method**

Post-development

Calculated Tc values - Drainage Basin 1

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 220 feet
n1 = 0.033 Gravel
S1 = 0.035 ft/ft
I_{assumed} = 6.90 inches
T_{calculated} = 232 seconds
T_{calculated} = 3.87 minutes

Tc = 10.10 minutes
I = 6.90 inches

Use Tc = 10.00 minutes

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}}$$

L1 = 465 feet
n1 = 0.035 Streams on plain, more stones & weeds
S1 = 0.036 ft/ft
I_{assumed} = 6.90 inches
T_{calculated} = 374 seconds
T_{calculated} = 6.23 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

I ₁₀₀ =	8.2 Inches	I ₁₀ =	6.0 Inches
I ₅₀ =	7.5 Inches	I ₅ =	5.5 Inches
I ₂₅ =	6.9 Inches	I ₂ =	4.7 Inches

Calculated Tc values - Drainage Basin 2

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 100 feet
n1 = 0.15 Sheet Flow
S1 = 0.033 ft/ft
I_{assumed} = 6.30 inches
T_{calculated} = 379 seconds
T_{calculated} = 6.32 minutes

Tc = 13.24 minutes
I = 6.30 inches

Use Tc = 13.20 minutes

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 500 feet
n1 = 0.035 Streams on plain, more stones & weeds
S1 = 0.033 ft/ft
I_{assumed} = 6.30 inches
T_{calculated} = 416 seconds
T_{calculated} = 6.93 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

I ₁₀₀ =	7.8 Inches	I ₁₀ =	5.8 Inches
I ₅₀ =	7 Inches	I ₅ =	5.0 Inches
I ₂₅ =	6.3 Inches	I ₂ =	4.3 Inches

Calculated Tc values - Drainage Basin 3

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 170 feet
n1 = 0.033 Gravel
S1 = 0.058 ft/ft
I_{assumed} = 6.80 inches
T_{calculated} = 172 seconds
T_{calculated} = 2.87 minutes

Tc = 10.58 minutes
I = 6.80 inches

Use Tc = 10.50 minutes

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 285 feet
n1 = 0.035 Streams on plain, more stones ;
S1 = 0.058 ft/ft
I_{assumed} = 6.80 inches
T_{calculated} = 243 seconds
T_{calculated} = 4.05 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

I ₁₀₀ =	8.1 Inches	I ₁₀ =	6.0 Inches
I ₅₀ =	7.4 Inches	I ₅ =	5.4 Inches
I ₂₅ =	6.8 Inches	I ₂ =	4.7 Inches

L1 = 175 feet
n1 = 0.02 Earth, straight and uniform ditch
S1 = 0.01 ft/ft
I_{assumed} = 6.80 inches
T_{calculated} = 220 seconds
T_{calculated} = 3.66 minutes

Calculated Tc values - Drainage Basin 4

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 491 feet
n1 = 0.045 Grass, some weeds
S1 = 0.028 ft/ft
I_{assumed} = 7.70 inches
T_{calculated} = 463 seconds
T_{calculated} = 7.72 minutes

Tc = 7.72 minutes
I = 7.70 inches

Use Tc = 7.70 minutes

I ₁₀₀ =	9.1 Inches	I ₁₀ =	6.9 Inches
I ₅₀ =	8.8 Inches	I ₅ =	6.1 Inches
I ₂₅ =	7.7 Inches	I ₂ =	5.2 Inches

Stormwater Calcs - 23738 I-30 N
using Rational Method

Pre-development

Calculated C values - Drainage Basin 1

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Roof	0.02	0.97	0.92	0.88	0.83	0.8	0.75	(C values taken from Bryant Drainage Manual) Developed - Concrete/Roof -Table 400-2
Asphalt	0.03	0.95	0.9	0.86	0.81	0.77	0.73	Developed - Asphaltic -Table 400-2
Grass	2.79	0.51	0.48	0.44	0.41	0.38	0.35	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2
Total	2.84	0.52	0.49	0.45	0.42	0.39	0.36	

Calculated C values - Drainage Basin 2

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Roof	0.14	0.97	0.92	0.88	0.83	0.8	0.75	(C values taken from Bryant Drainage Manual) Developed - Concrete/Roof -Table 400-2
Asphalt	0.21	0.95	0.9	0.86	0.81	0.77	0.73	Developed - Asphaltic -Table 400-2
Grass	3.42	0.51	0.48	0.44	0.41	0.38	0.35	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2
Total	3.77	0.50	0.47	0.43	0.40	0.37	0.35	

Calculated C values - Drainage Basin 3

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Roof	0.10	0.97	0.92	0.88	0.83	0.8	0.75	(C values taken from Bryant Drainage Manual) Developed - Concrete/Roof -Table 400-2
Grass	6.03	0.51	0.48	0.44	0.41	0.38	0.35	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2
Total	6.13	0.52	0.49	0.45	0.42	0.39	0.36	

Calculated C values - Drainage Basin 4

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Grass	2.71	0.51	0.48	0.44	0.41	0.38	0.35	(C values taken from Bryant Drainage Manual) Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2
Total	2.71	0.51	0.48	0.44	0.41	0.38	0.35	

Stormwater Calcs - 23738 I-30 N
 using Rational Method

Post-development

Calculated C values - Drainage Basin 1

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	0.41	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Grass	1.57	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Gravel	0.81	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Total	2.79	0.59	0.53	0.49	0.42	0.38	0.35	

Calculated C values - Drainage Basin 2

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	0.11	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Grass	2.24	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Gravel	0.39	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Asphalt	0.20	0.95	0.90	0.86	0.81	0.77	0.73	Developed - Asphaltic - Table 400-2
Total	2.94	0.54	0.49	0.45	0.40	0.37	0.33	

Calculated C values - Drainage Basin 3

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	1.34	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Asphalt	0.25	0.95	0.90	0.86	0.81	0.77	0.73	Developed - Asphaltic - Table 400-2
Grass	2.83	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Gravel	2.33	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Total	6.74	0.64	0.58	0.54	0.46	0.42	0.38	

Calculated C values - Drainage Basin 4

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	0.35	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Gravel	1.81	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Grass	0.81	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Total	2.97	0.64	0.56	0.51	0.41	0.36	0.32	

Stormwater Calcs -23738 I-30 N
using Rational Method

Pre-development

Drainage Basin 1

Q₁₀₀ = 12.06 CFS
c = 0.52
i = 8.20 in/hr
A = 2.84 acres

Q₃₀ = 10.52 CFS
c = 0.49
i = 7.60 in/hr
A = 2.84 acres

Q₂₅ = 8.77 CFS
c = 0.45
i = 6.90 in/hr
A = 2.84 acres

Q₁₀ = 7.11 CFS
c = 0.42
i = 6.00 in/hr
A = 2.84 acres

Q₅ = 6.05 CFS
c = 0.39
i = 5.50 in/hr
A = 2.84 acres

Q₂ = 4.76 CFS
c = 0.36
i = 4.70 in/hr
A = 2.84 acres

Drainage Basin 2

Q₁₀₀ = 14.10 CFS
c = 0.50
i = 7.50 in/hr
A = 3.77 acres

Q₃₀ = 12.04 CFS
c = 0.47
i = 6.80 in/hr
A = 3.77 acres

Q₂₅ = 9.77 CFS
c = 0.43
i = 6.00 in/hr
A = 3.77 acres

Q₁₀ = 8.35 CFS
c = 0.40
i = 5.50 in/hr
A = 3.77 acres

Q₅ = 6.92 CFS
c = 0.37
i = 4.90 in/hr
A = 3.77 acres

Q₂ = 5.47 CFS
c = 0.35
i = 4.20 in/hr
A = 3.77 acres

Drainage Basin 3

Q₁₀₀ = 25.70 CFS
c = 0.52
i = 8.10 in/hr
A = 6.13 acres

Q₃₀ = 22.10 CFS
c = 0.49
i = 7.40 in/hr
A = 6.13 acres

Q₂₅ = 18.64 CFS
c = 0.45
i = 6.80 in/hr
A = 6.13 acres

Q₁₀ = 15.33 CFS
c = 0.42
i = 6.00 in/hr
A = 6.13 acres

Q₅ = 12.81 CFS
c = 0.39
i = 5.40 in/hr
A = 6.13 acres

Q₂ = 10.27 CFS
c = 0.36
i = 4.70 in/hr
A = 6.13 acres

Drainage Basin 4

Q₁₀₀ = 12.58 CFS
c = 0.51
i = 9.10 in/hr
A = 2.71 acres

Q₃₀ = 11.45 CFS
c = 0.48
i = 8.80 in/hr
A = 2.71 acres

Q₂₅ = 9.18 CFS
c = 0.44
i = 7.70 in/hr
A = 2.71 acres

Q₁₀ = 7.67 CFS
c = 0.41
i = 6.90 in/hr
A = 2.71 acres

Q₅ = 6.28 CFS
c = 0.38
i = 6.10 in/hr
A = 2.71 acres

Q₂ = 4.93 CFS
c = 0.35
i = 5.20 in/hr
A = 2.71 acres

Total 64.44 CFS

56.11 CFS

46.36 CFS

38.46 CFS

32.05 CFS

25.44 CFS

Post-development

Drainage Basin 1

Q₁₀₀ = 13.50 CFS
c = 0.59
i = 8.20 in/hr
A = 2.79 acres

Q₃₀ = 11.12 CFS
c = 0.53
i = 7.50 in/hr
A = 2.79 acres

Q₂₅ = 9.51 CFS
c = 0.49
i = 6.90 in/hr
A = 2.79 acres

Q₁₀ = 7.04 CFS
c = 0.42
i = 6.00 in/hr
A = 2.79 acres

Q₅ = 5.90 CFS
c = 0.38
i = 5.50 in/hr
A = 2.79 acres

Q₂ = 4.54 CFS
c = 0.35
i = 4.70 in/hr
A = 2.79 acres

Drainage Basin 2

Q₁₀₀ = 12.33 CFS
c = 0.54
i = 7.80 in/hr
A = 2.94 acres

Q₃₀ = 10.06 CFS
c = 0.49
i = 7.00 in/hr
A = 2.94 acres

Q₂₅ = 8.43 CFS
c = 0.45
i = 6.30 in/hr
A = 2.94 acres

Q₁₀ = 6.81 CFS
c = 0.40
i = 5.80 in/hr
A = 2.94 acres

Q₅ = 5.38 CFS
c = 0.37
i = 5.00 in/hr
A = 2.94 acres

Q₂ = 4.20 CFS
c = 0.33
i = 4.30 in/hr
A = 2.94 acres

Drainage Basin 3

Q₁₀₀ = 35.21 CFS
c = 0.64
i = 8.10 in/hr
A = 6.74 acres

Q₃₀ = 29.02 CFS
c = 0.58
i = 7.40 in/hr
A = 6.74 acres

Q₂₅ = 24.86 CFS
c = 0.54
i = 6.80 in/hr
A = 6.74 acres

Q₁₀ = 18.69 CFS
c = 0.46
i = 6.00 in/hr
A = 6.74 acres

Q₅ = 15.46 CFS
c = 0.42
i = 5.40 in/hr
A = 6.74 acres

Q₂ = 12.15 CFS
c = 0.38
i = 4.70 in/hr
A = 6.74 acres

Drainage Basin 4

Q₁₀₀ = 17.19 CFS
c = 0.64
i = 9.10 in/hr
A = 2.97 acres

Q₃₀ = 14.59 CFS
c = 0.56
i = 8.80 in/hr
A = 2.97 acres

Q₂₅ = 11.77 CFS
c = 0.51
i = 7.70 in/hr
A = 2.97 acres

Q₁₀ = 8.33 CFS
c = 0.41
i = 6.90 in/hr
A = 2.97 acres

Q₅ = 6.60 CFS
c = 0.36
i = 6.10 in/hr
A = 2.97 acres

Q₂ = 4.94 CFS
c = 0.32
i = 5.20 in/hr
A = 2.97 acres

Total 78.22 CFS

64.78 CFS

54.57 CFS

40.87 CFS

33.35 CFS

25.82 CFS

Detention Volume

Pond-1 for Q100	
Cundev=	0.52
lundev=	8.20 in/hr
cdev=	0.59
lddev=	8.20 in/hr
R=	0.592
A=	2.79 acres
Tc=	10.00 minutes
	60 sec/min
Detention Volume=	991 cubic feet

Pond-2 for Q100	
Cundev=	0.50
lundev=	7.50 in/hr
cdev=	0.54
lddev=	7.80 in/hr
R=	0.453
A=	2.94 acres
Tc=	13.20 minutes
	60 sec/min
Detention Volume=	1056 cubic feet

Pond-3 for Q100	
Cundev=	0.52
lundev=	8.10 in/hr
cdev=	0.64
lddev=	8.10 in/hr
R=	1.031
A=	6.74 acres
Tc=	10.50 minutes
	60 sec/min
Detention Volume=	4,378 cubic feet

Pond-4 for Q100	
Cundev=	0.51
lundev=	9.10 in/hr
cdev=	0.64
lddev=	9.10 in/hr
R=	1.146
A=	2.97 acres
Tc=	7.70 minutes
	60 sec/min
Detention Volt	1,572 cubic feet

Stormwater Calcs - 23738 I-30 N
using Rational Method
Ditch Detention Volume

Required Detention Volume = 4378.204 cft

Ditch Bottom	1	ft
Ditch Height	3	ft
Ditch Slope	3	:1
Ditch Top	19	ft
Ditch Cross Sectional Area	30	sft

EAST Side

Ditch Length 320 ft
 Ditch Volume 4800 cft

Total Volume = 4837.5 cft

Required Detention Volume = 0 cft

Ditch Bottom	0	ft
Ditch Height	0.5	ft
Ditch Slope	3	:1
Ditch Top	3	ft
Ditch Cross Sectional Area	0.75	sft

EAST Side

Ditch Length 100 ft
 Ditch Volume 37.5 cft

Stormwater Calcs - 23738 I-30 N
 using Rational Method
 Weir-1 Sizing

Storm Event	Flow (cfs)
Q2 - Pre	10.27
Q10 - Pre	15.33
Q25 - Pre	18.64
Q100 - Pre	25.70
Q2 - Post	12.15
Q10 - Post	18.69
Q25 - Post	24.86
Q100 - Post	35.21

Rectangular Weir

Q100

Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	3
Q (cfs)	24.90

23 INCHES

Q25

Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	2.4
Q (cfs)	17.82

23 INCHES

Q10

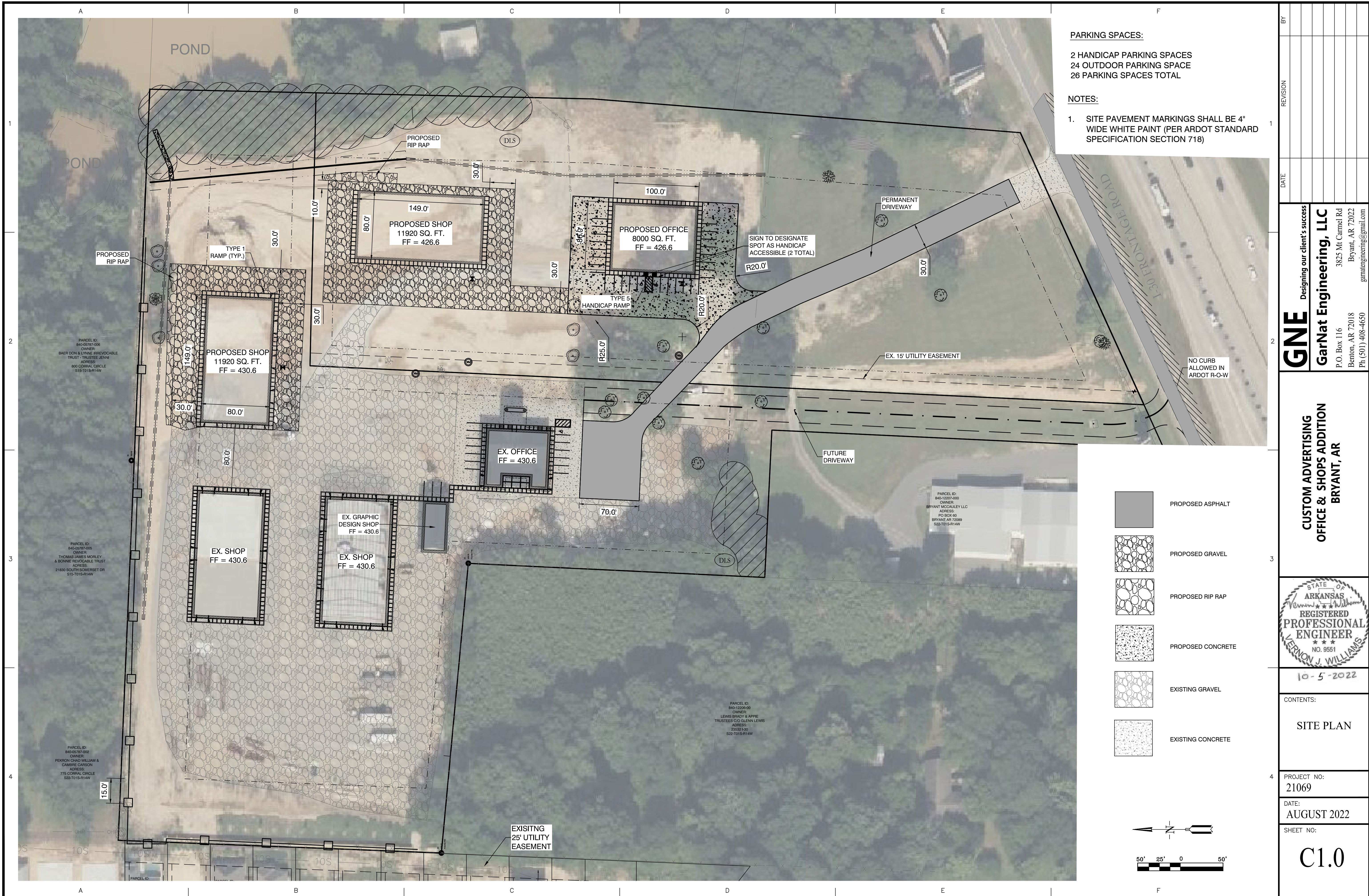
Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	2.1
Q (cfs)	14.58

23 INCHES

Q2

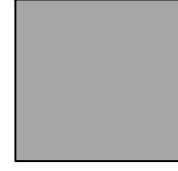
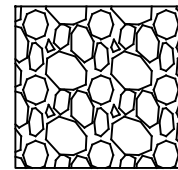
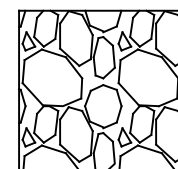

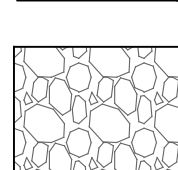
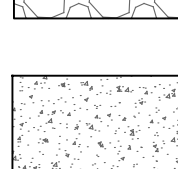
Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	1.6
Q (cfs)	9.70

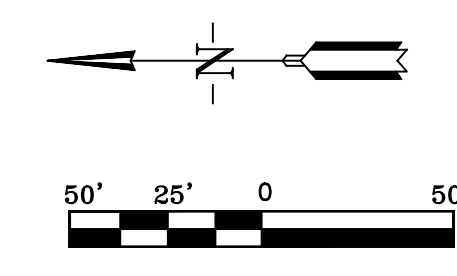
23 INCHES



PARKING SPACES:
2 HANDICAP PARKING SPACES
24 OUTDOOR PARKING SPACE
26 PARKING SPACES TOTAL

NOTES:
1. SITE PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT (PER ARDOT STANDARD SPECIFICATION SECTION 718)

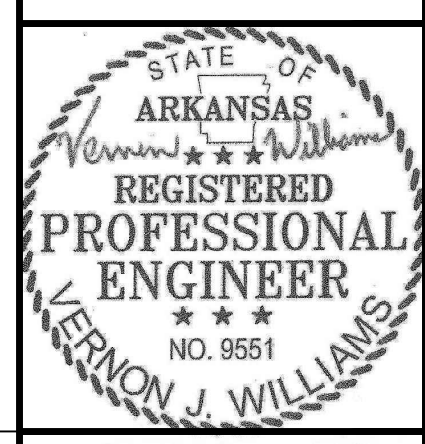
-  PROPOSED ASPHALT
-  PROPOSED GRAVEL
-  PROPOSED RIP RAP
-  PROPOSED CONCRETE
-  EXISTING GRAVEL
-  EXISTING CONCRETE



DATE	REVISION	BY

GNE Designing our client's success
GarNat Engineering, LLC
 3825 Mt. Carmel Rd
 P.O. Box 116
 Bryant, AR 72018
 PH: (501) 408-4650
 gnatengineering@gmail.com

**CUSTOM ADVERTISING
 OFFICE & SHOPS ADDITION
 BRYANT, AR**



10-5-2022

CONTENTS:
SITE PLAN

PROJECT NO:
 21069

DATE:
 AUGUST 2022

SHEET NO:
C1.0

C:\Projects\2022 Projects\21069 23788 - 230 - N - Army Posters\Drawings\Office\Shop\Office\Site Plan.dwg - SITE: 08/20/22

Bryant Planning Commission

Subdivision Checklist

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

City of Bryant Subdivision Checklist

MARKET PLACE II SUBDIVISION

Subdivision/Project Name PHASE II LOTS 12 THROUGH 16

Contact Person VERNON WILLIAMS Phone (501) 408-4650

Mailing Address 3825 MT CARMEL ROAD, BRYANT, AR
72022

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning C-2
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
 - 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

MARKET PLACE II
PHASE II
Name of Subdivision

George Woodson
Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

[Signature]
Owner Signature

Vernon J. Williams
Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

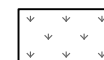

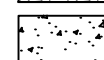
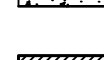
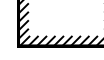
Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____

LEGEND:

-  GREEN SPACE
-  GRAVEL
-  ASPHALT
-  EXISTING COMMERCIAL CONSTRUCTION PER CITY OF BRYANT COMMERCIAL BUILDING REQUIREMENTS.
-  PROPOSED COMMERCIAL CONSTRUCTION PER CITY OF BRYANT COMMERCIAL BUILDING REQUIREMENTS.

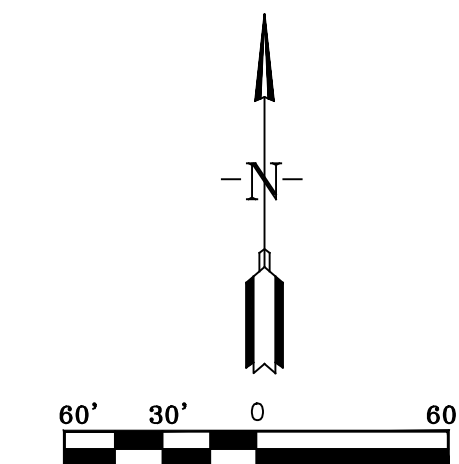
CENTERLINE EXISTING COMMERCIAL DRIVEWAY

CENTERLINE EXISTING COMMERCIAL DRIVEWAY

CENTERLINE EXISTING ROAD

CENTERLINE EXISTING COMMERCIAL DRIVEWAY

CENTERLINE EXISTING COMMERCIAL DRIVEWAY



DATE	REVISION	BY
01-25-22	REVISED PER AS-BUILT	GPW

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650
 3825 Mt. Carmel Rd
 Bryant, AR 72022
 gnatengineering@gmail.com

MARKET PLACE CENTER
CITY OF BRYANT
SALINE COUNTY, ARKANSAS

PRELIMINARY

CONTENTS:
SCHEMATIC PLAN

PROJECT NO:
18087
 DATE:
SEPTEMBER 2022

SHEET NO:
N/A

J:\Projects\2018 Projects\18087_Bart_Engstrom - Market Place Center\Drawings\DWG\18087 - Schematic - 01-25-22-18087.dwg



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

2 Signs

Staff Approved
10/25/2022 CJ

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 10/17/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
Address 8525 DISTRIBUTION DR
City, State, Zip LITTLE ROCK AR 72209
Phone 501.562.3942
Email Address lora@arkansassign.com

Property Owner

Name MCASLITER'S DELI
Address 7401 ALCOA RD, STE 1
City, State, Zip BRYANT AR 72022
Phone _____
Email Address _____

GENERAL INFORMATION

JOB COSTS \$15000.00

Name of Business MCALISTER'S DELE
Address/Location of sign 7401 ALCOA RD, STE 1
Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

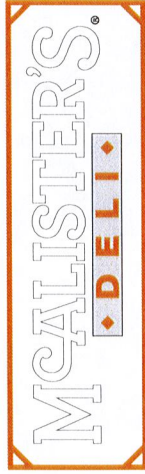
READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL (FRONT)	39.6" X 186.1"	51.2	16'	12'6"	<i>CL</i> 10/25/22
B	WALL (SIDE)	39.6" X 186.1	51.2	16;	12'6"	<i>CL</i> 10/25/22
C						
E						
F						
G						



Sales: Rhonda Lambert
Project Manager: Andrea Cooksey
7401 Alcoa Rd • Ste 1
Bryant, AR 72022

Table of Contents

- Page 1 - Cover Page
- Page 2 - Front Elevation
- Page 3 - Side Elevation
- Page 4 - 30" Direct Mount Channel Letters
- Page 5 - Door Vinyl

Revision Notes

Rev 1: JH 02-25-20 Updated Letters to remove green backer, changed colors of awnings from green to black, updated elevations.

Rev 2: CM 04-05-21 Updated Channel Letters, and Wall Sconces.

Rev 3: JH 09-22-22 Updated elevations to remove awnings

Front Elevation

- A | 30" Direct Mount Channel Letters
- B | Door Vinyl

- Rev 1: JH 02-25-20 Removed Green backing on Letters, updated awning colors to black
- Rev 2: CM 04/05/21 Removed Surround from Channel Letters
- Rev 3: JH 09-22-22 Revised to remove awnings from building
- Rev 4:
- Rev 5:

Proposed Elevation



-Previous Letterband - 27 x 2
 → 72 sqft
 54 sqft
 Total - 126 sqft

Existing Elevation



Designer: MEB	Date: 9-13-19	Option 1 - MEB
Client: McAlister's - 7401 Alcoa Rd • Ste 1		
File Path: z/Restaurant/McA/BryantAR/CP		

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 of icons, symbols, and text (e.g. spacing, capitalization, punctuation).
 Print Name: _____
 Date: _____



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Side Elevation

- A 30" Direct Mount Channel Letters
- B Door Vinyl

Proposed Elevation



- Rev 1: JH 02-25-20 Removed green backer for letters, revised colors for awnings to black
- Rev 2: CM 4-5-21 Removed Surround from Channel Letters
- Rev 3: JH 09-22-22 Revised to remove awnings
- Rev 4:
- Rev 5:

Previous

- Letterband - 22 sqft x 2

44 sqft

- Main Sign 72 sqft

Total 116 sqft

Existing Elevation



Designer: MEB Date: 9-13-19 Option 1 - MEB
 Client: McAlister's - 7401 Alcoa Rd • Ste 1
 File Path: z:\Restaurant\McAlBryan\AR\CP

- Proof Is Approved. Proceed With Production Of Order
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 Print Name: _____
 Date: _____

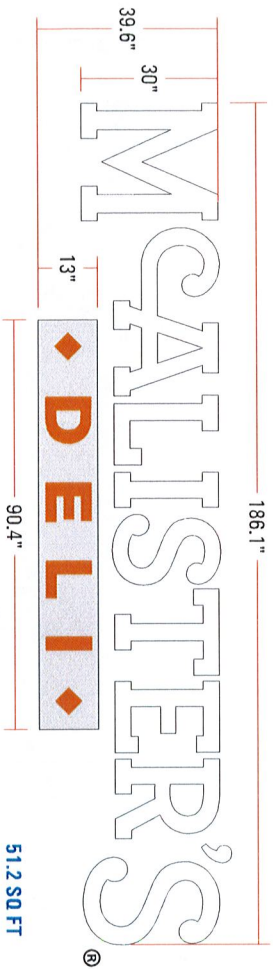


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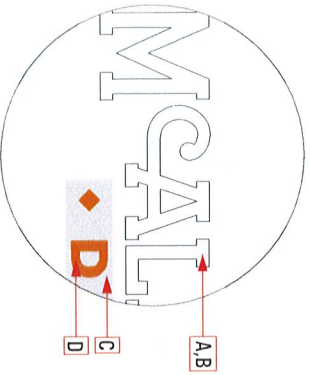


SIGN COMPANY LLC.

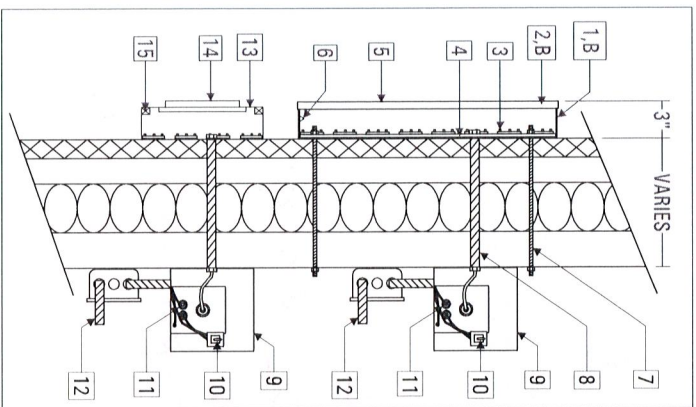
Direct Mount Channel Letters w/Face Lit Descriptor MCA-1: Preferred White



Color Schedule



Rev 1:
Rev 2:
Rev 3:
Rev 4:
Rev 5:



Materials

- 1 .040 Aluminum Returns
- 2 1" Trimcap
- 3 LED Mounted to Back of Channel Letters
- 4 .090 Aluminum Back
- 5 7328 White Acrylic
- 6 .25" Weep Holes
- 7 Mounting Hardware (Varies per Building)
- 8 .5" Flex Conduit
- 9 Transformer Mounting Box
- 10 Toggle Switch Mounted at End of Box
- 11 Power Supply
- 12 Primary Electrical Leads (Power by Others)
- 13 .125" Routed Aluminum Face
- 14 3/4" Clear Push Thru w/1st Surf. Vinyl & Diffuser
- 15 1" Alum. Tube Frame Inside Cabinet

Colors & Finishes

A	7328 White Acrylic Faces
B	Gloss Black Returns and Trimcap
C	Powdercoat Tiger Drylac RAL 7035
D	Vinyl 3630-44 Backed w/ 30% Diffuser

Notes

- McAlister's - to receive White LED
- Deli - to receive White LED
- Painted to match Powdercoat Colors



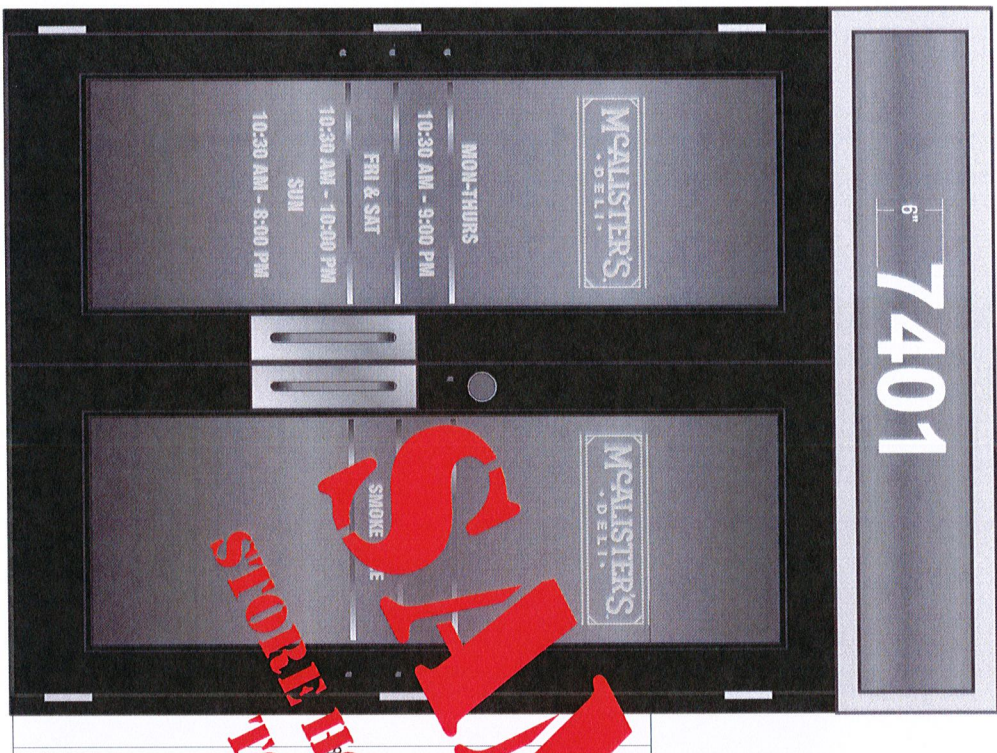
Designer: MEB	Date: 11-25-19
Client: McAlister's	
File Path: z:\Restaurant\McAlisters\CorpSpacs	

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 I have reviewed this proof in regard to Sign type, order quantity, and accuracy of copy, symbols, and text (e.g. spelling, capitalization, punctuation).
 Print Name: _____
 Date: _____

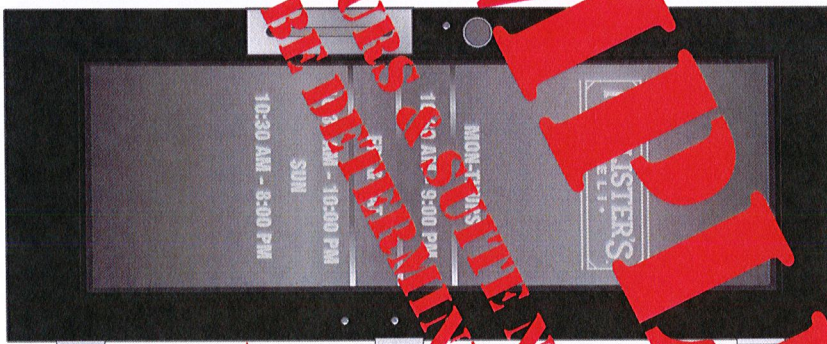


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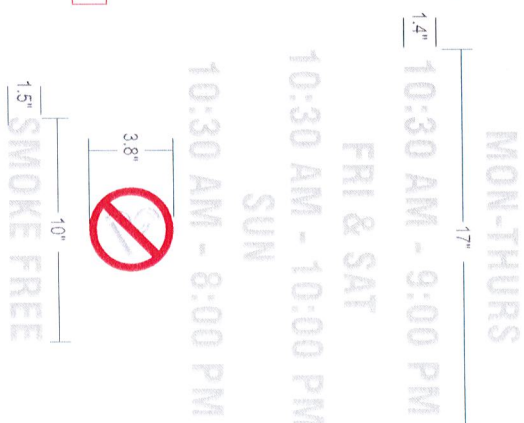
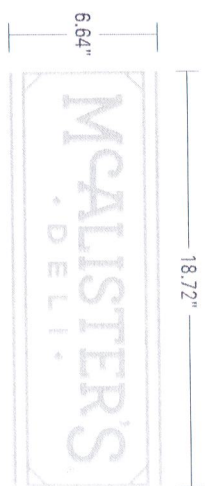


6" 7401

Suite Number Font is Arial Bold
Additional Wording is Swis 721 BkCh BT



STOP! STORE HOURS TO BE DETERMINED NUMBER



Black Fiberglass Door

Specifications:
 Avery SC 900-861-W Vinyl Applied
 1st Surface (McAlister's Logo, Store Hours, and Smoke Free Lettering)
 751-010 White Vinyl (Suite Number)



Designer: MEB Date: 3-30-19
 Client: McAlister's
 File Path: z:\Restaurant\McAlister's Conspcs

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 Print Name: _____
 Date: _____



These plans are the exclusive property of Design Team, Sign emporium. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans. They are not to be used for any other purpose without the express written consent of Design Team, Sign emporium. The design and product manufactured according to these plans. Distribution or reproduction of these plans to anyone other than the sign contractor named herein, is expressly prohibited. In the event that you do not wish to purchase these plans, you must advise us immediately. Make arrangements to be reimbursed \$500 in compensation for time and effort entailed in creating these plans.



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

2 Signs

Staff Approved
10/25/2022 CJ

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 10/17/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
Address 8525 DISTRIBUTION DR
City, State, Zip LITTLE ROCK AR 72209
Phone 501.562.3942
Email Address lora@arkansassign.com

Property Owner

Name MCASLITER'S DELI
Address 7401 ALCOA RD, STE 1
City, State, Zip BRYANT AR 72022
Phone _____
Email Address _____

GENERAL INFORMATION

JOB COSTS \$15000.00

Name of Business MCALISTER'S DELE
Address/Location of sign 7401 ALCOA RD, STE 1
Zoning Classification _____

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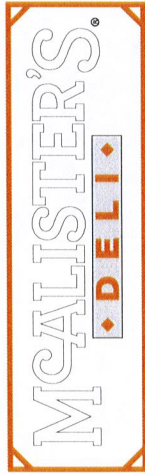
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C						
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G						



Sales: Rhonda Lambert
Project Manager: Andrea Cooksey
7401 Alcoa Rd • Ste 1
Bryant, AR 72022

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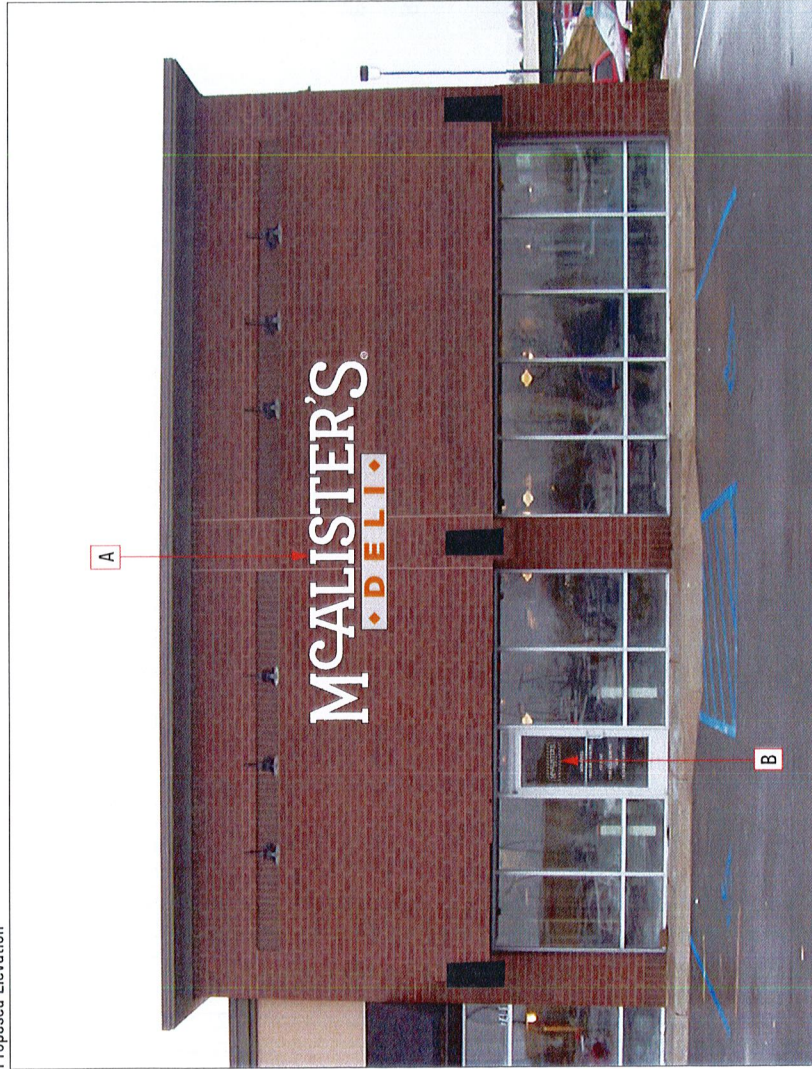
Rev 3: JH 09-22-22 Updated elevations to remove awnings

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- Rev 4:
- Rev 5:

Proposed Elevation



-Previous Letterband - 27 x 2
 → 72 sqft
 54 sqft
 Total - 126 sqft

Existing Elevation



Designer: MEB	Date: 9-13-19	Option 1 - MEB
Client: McAlister's - 7401 Alcoa Rd • Ste 1		
File Path: z/Restaurant/McA/BryantAR/CP		

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 Print Name: _____
 Date: _____



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Previous

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Total 116 sqft

Existing Elevation



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 Client: McAlister's - 7401 Alcoa Rd • Ste 1
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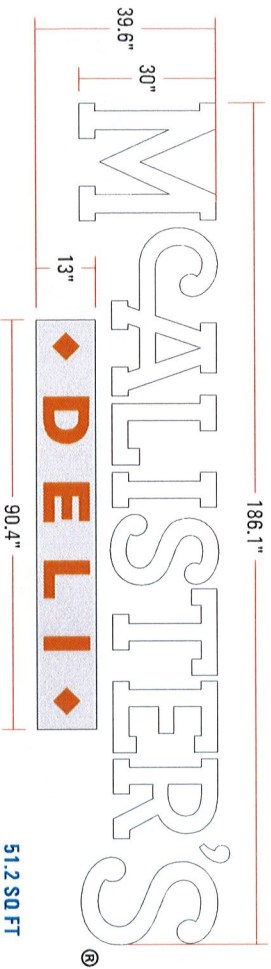


These plans are the exclusive property of Design Team Sign Company and are to be used only for the project and location specified. Any reproduction or use of these plans without the written consent of Design Team Sign Company is strictly prohibited. Design Team Sign Company is not responsible for any errors or omissions in these plans. The client is responsible for obtaining all necessary permits and approvals. Design Team Sign Company is not responsible for any damage to property or injury to persons resulting from the use of these plans.

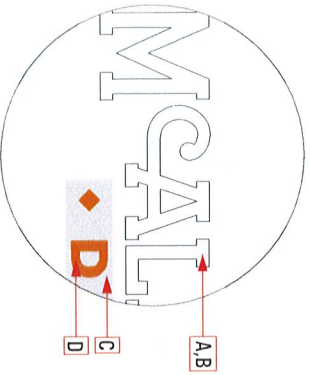


SIGN COMPANY LLC.

Direct Mount Channel Letters w/Face Lit Descriptor MCA-1: Preferred White



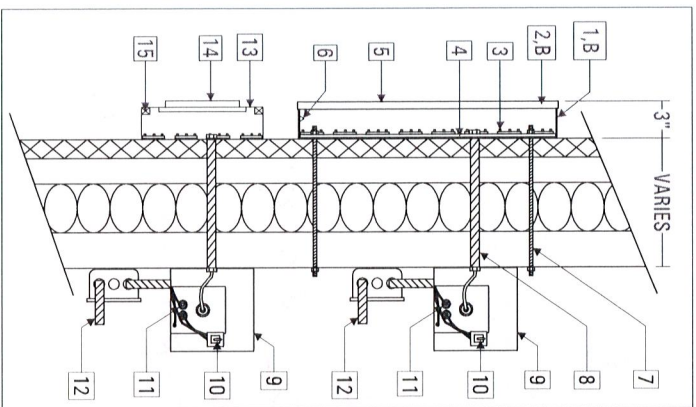
Color Schedule



Rev 1:
Rev 2:
Rev 3:
Rev 4:
Rev 5:

Designer: MEB	Date: 11-25-19
Client: McAlister's	
File Path: z:\Restaurant\McAlisters\CorpSpacs	

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order



Materials

- 1 .040 Aluminum Returns
- 2 1" Trimcap
- 3 LED Mounted to Back of Channel Letters
- 4 .090 Aluminum Back
- 5 7328 White Acrylic
- 6 .25" Weep Holes
- 7 Mounting Hardware (Varies per Building)
- 8 .5" Flex Conduit
- 9 Transformer Mounting Box
- 10 Toggle Switch Mounted at End of Box
- 11 Power Supply
- 12 Primary Electrical Leads (Power by Others)
- 13 .125" Routed Aluminum Face
- 14 3/4" Clear Push Thru w/1st Surf. Vinyl & Diffuser
- 15 1" Alum. Tube Frame Inside Cabinet

Colors & Finishes

A	7328 White Acrylic Faces
B	Gloss Black Returns and Trimcap
C	Powdercoat Tiger Drylac RAL 7035
D	Vinyl 3630-44 Backed w/ 30% Diffuser

Notes

- McAlister's - to receive White LED
- Deli - to receive White LED
- Painted to match Powdercoat Colors

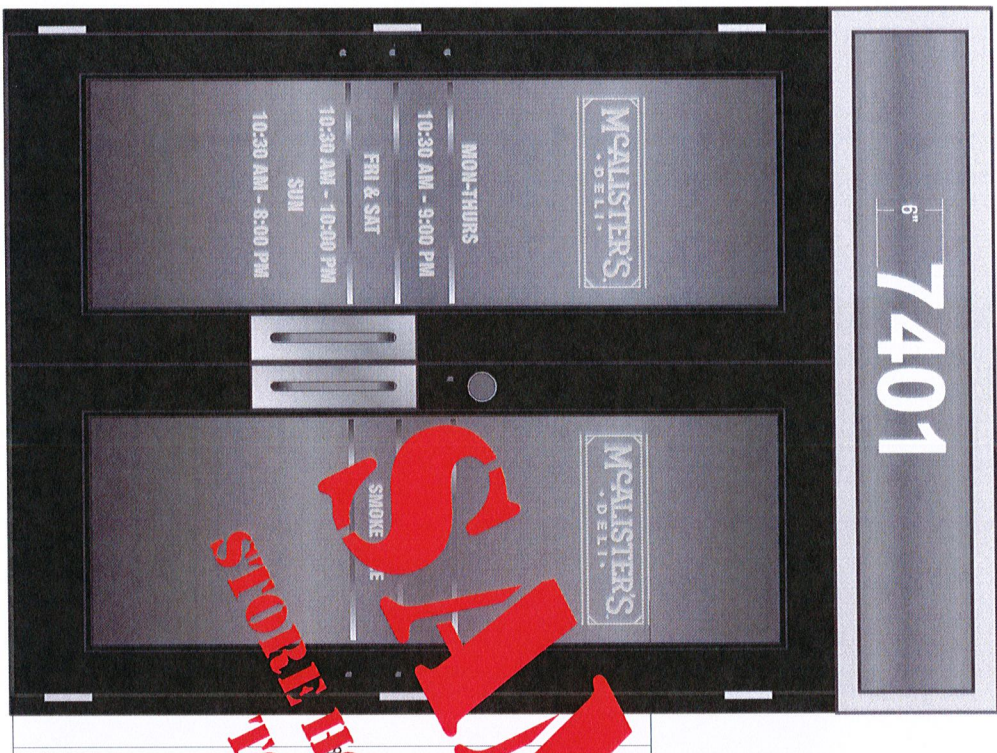
Signature: _____
 I have reviewed this proof in regard to Sign type, order quantity, and accuracy of copy, symbols, and text (e.g. spelling, capitalization, punctuation).
 Print Name: _____
 Date: _____

MSSA THE SIGN SOURCE ASSOCIATION
 Member Since 1988
 The Sign Source Association is the leading authority in the sign industry. They are committed to providing the highest quality products and services to their members. MSSA is the only organization in the sign industry that provides a comprehensive range of services, including design, production, and installation. MSSA is the only organization in the sign industry that provides a comprehensive range of services, including design, production, and installation.

IPMA INTERNATIONAL PRINTING MANAGEMENT ASSOCIATION
 Member Since 1988
 The International Printing Management Association is the leading authority in the printing industry. They are committed to providing the highest quality products and services to their members. IPMA is the only organization in the printing industry that provides a comprehensive range of services, including design, production, and installation. IPMA is the only organization in the printing industry that provides a comprehensive range of services, including design, production, and installation.

ISA INTERNATIONAL SIGN ASSOCIATION
 Member Since 1988
 The International Sign Association is the leading authority in the sign industry. They are committed to providing the highest quality products and services to their members. ISA is the only organization in the sign industry that provides a comprehensive range of services, including design, production, and installation. ISA is the only organization in the sign industry that provides a comprehensive range of services, including design, production, and installation.



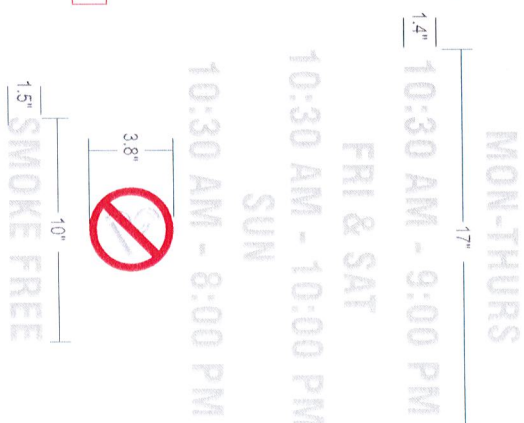
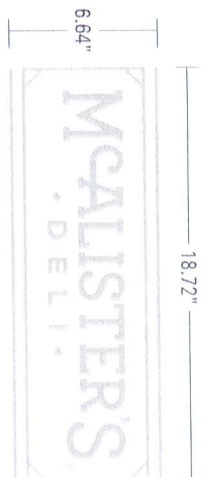


6" **7401**

Suite Number Font is Arial Bold
Additional Wording is Swis 721 BkCh BT



STAMPED
STORE HOURS DETERMINED
TO BE PURCHASE NUMBER



Black Fiberglass Door

Specifications:

Avery SC 900-861-W Vinyl Applied
1st Surface (McAlister's Logo, Store Hours, and Smoke Free Lettering)
751-010 White Vinyl (Suite Number)

Designer: MEB Date: 3-30-19
Client: McAlister's
File Path: z:\Restaurant\McAlister's Conspcs

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

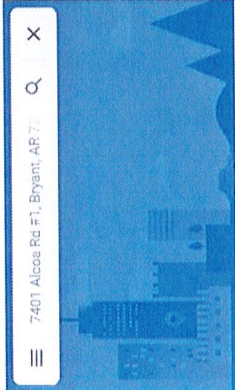
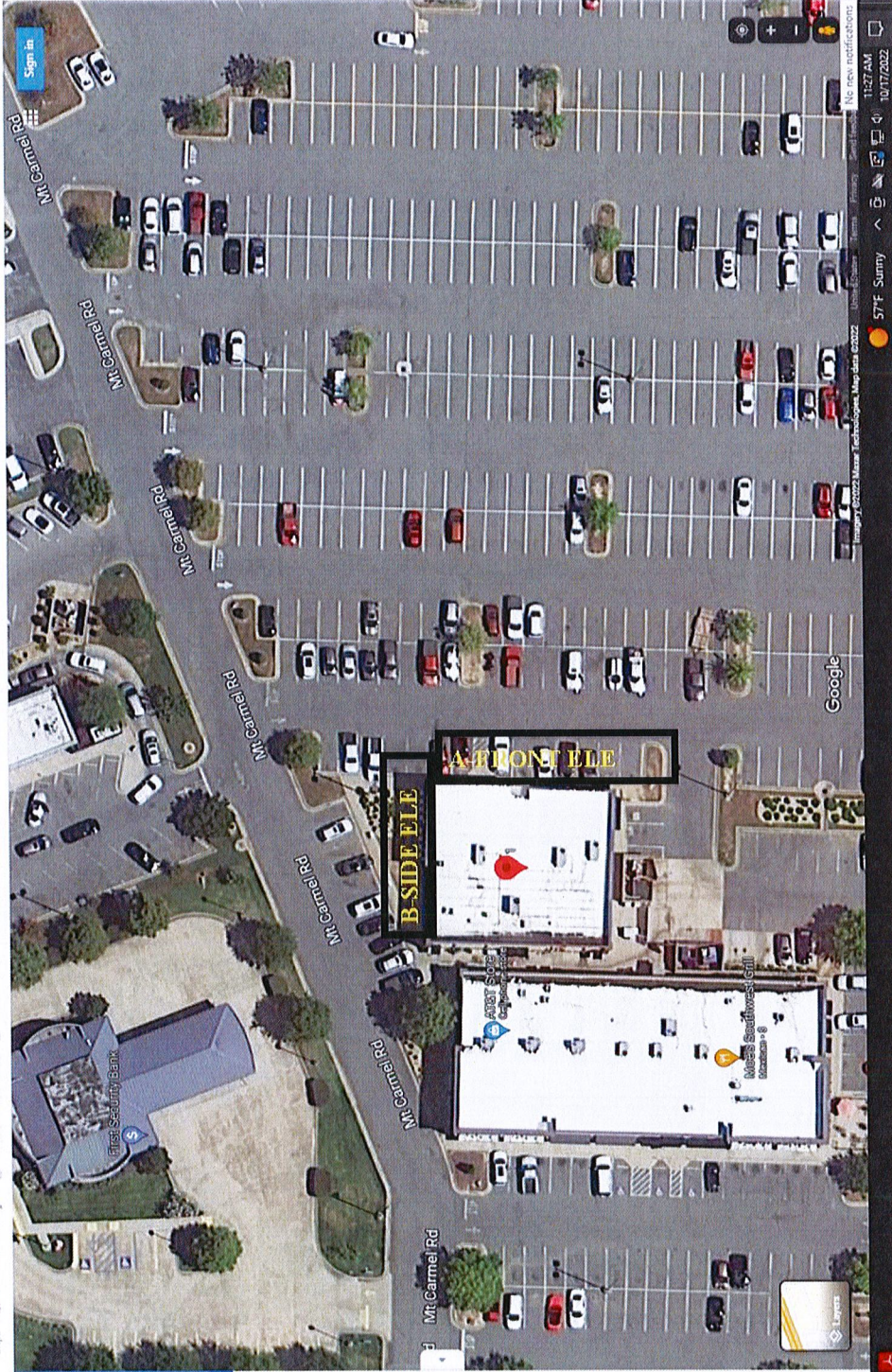
Signature: _____
Print Name: _____
Date: _____



SIGN COMPANY LLC.



These plans are the exclusive property of Design Team, Sign emporium. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans. They are not to be used for any other purpose without the express written consent of Design Team, Sign emporium. In the event you do purchase these plans, it is expressly understood that the design and construction of the sign is the responsibility of the sign manufacturer. Design Team, Sign emporium is not responsible for any errors or omissions in these plans. Make appropriate to the intended use of the sign. Design Team, Sign emporium is not responsible for any errors or omissions in these plans.



7401 Alcoa Rd #1

- Directions
 - Save
 - Map
 - Send to phone
 - Share
- 7401 Alcoa Rd, Bryant, AR 72022
- Suggest an edit on 7401 Alcoa Rd #1
 - Add a missing place
 - Add your business

At this place

- McAlister's Deli**
4.3 (666) \$\$
Sandwich shop, Floor 1
Open · Closes 9PM
- Great Clips**
4.3 (181)
Hair salon
Open · Closes 7PM

#0614

2-Signs Approved *CL*
10/19/2022



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 8-10-22

Sign Co. or Sign Owner

Name Ken's Signs / Ken Jones
Address 2100 S. Powell St.
City, State, Zip Springdale, AR 72764
Phone 479.756.1810
Email Address ken.jones@kensigns.com

Property Owner

Name America's Car-Mart
Address 1805 N. 2nd St., Ste. 401
City, State, Zip Rogers, AR 72756
Phone 479.464.9944
Email Address Ken.Worthington@Car-Mart.com

GENERAL INFORMATION

Name of Business America's Car-Mart.
Address/Location of sign 3200 N. Reynolds Rd.
Zoning Classification CZ

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I *[Signature]* do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

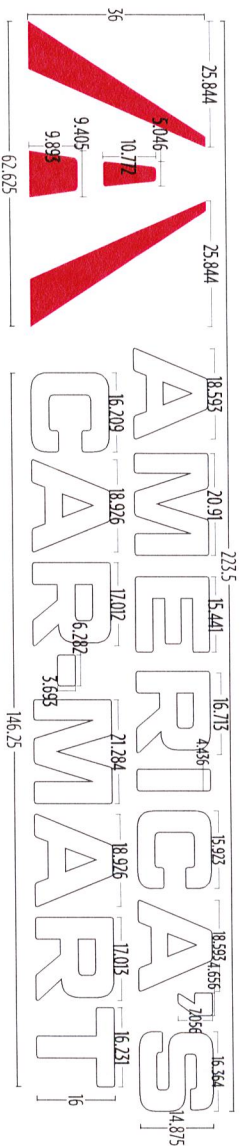
SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Facade	3' x 18.63'	55.89	25'	22'	<i>CL</i> 10/19/22
B	Facade	3' x 18.63'	55.89	25'	22'	<i>CL</i> 10/19/22
C						
E						
F						
G						

- Same location as Previous signs, Same sqft. as previous.
- Different sign Type.

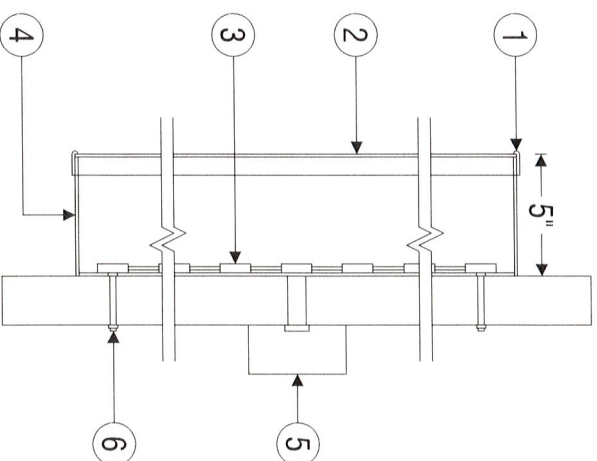
America's Car-Mart #175

Bryant, AR

8/10/2022



LED Channel Letters



1. 1" trim cap with retaining screws
2. 3/16" white plexi face
3. White LED
4. .080" aluminum back / .080" return
5" deep aluminum return
5. Remote power supply
6. 3/8" all thread, nuts & washers



1.888.809.1810 | 479.756.1810 | www.kenssigns.com | 2100 S. Powell St. Springdale, AR 72764 | Designer: Stephanie

©2022 KEN'S SIGNS. DESIGNS PRESENTED ARE THE SOLE PROPERTY OF KEN'S SIGNS, AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION.
 1171 E. N. 1065 S. Vinton Rd. • Fort Smith, Bryant, AR 72715
 Building Letters #175 Bryant, AR 72715

America's Car-Mart #175

Bryant, AR

8/10/2022



1.888.809.1810

479.756.1810

www.kenssigns.com

2100 S. Powell St. Springdale, AR 72764

Designer: Stephanie

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For more information, please contact Ken's Signs at 1.888.809.1810 or visit our website at www.kenssigns.com. Building location: #175-Bryant, AR, 6/15.

America's Car-Mart #175

Bryant, AR

8/10/2022



1.888.809.1810 | 479.756.1810 | www.kenssigns.com | 2100 S. Powell St. Springdale, AR 72764 | Designer: Stephanie

©2022 KEN'S SIGNS. DESIGNS PRESENTED ARE THE SOLE PROPERTY OF KEN'S SIGNS, AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION.
A PHOTO COURTESY OF AMERICA'S CAR-MART, BRYANT, AR 72725
Building letters #115-Bryant, AR, AR

#0613

3 Signs → Approved CL

10/19/2022



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 10/17/22

Sign Co. or Sign Owner

Name Whatley Industries
Address 1109 E 51st St.
City, State, Zip Texarkana AR, 71854
Phone 870-773-2139
Email Address info@whatleysign.com

Property Owner

Name Bob Strate
Address 206 W. Commerce St.
City, State, Zip Bryant, AR 72022
Phone _____
Email Address bobs@tamollys.com

GENERAL INFORMATION

Name of Business Tamolly's
Address/Location of sign 206 W. Commerce St. Bryant, AR 72022
Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I [Signature] do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

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Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A						
B						
C						
E						
F						
G						

Tamolu's 59" x 158"
 Real, Fresh, Tex - mex 17" x 282"
 Homestyle ~~17" x 134"~~ 17" x 134"

- Signs same size + font as current signage.
- New signage, but same sqft and size as previous/existing.

206 W Commerce St, Bryant, AR



X

Scale = 128:1

Details: **Border Neon**
17\"



SIGNCOMPANY

1109 E 51st Street P 870.773.2139
Texarkana, AR 71854 F 870.772.5703
whatleysign.com

Client: **Ta Molly's**

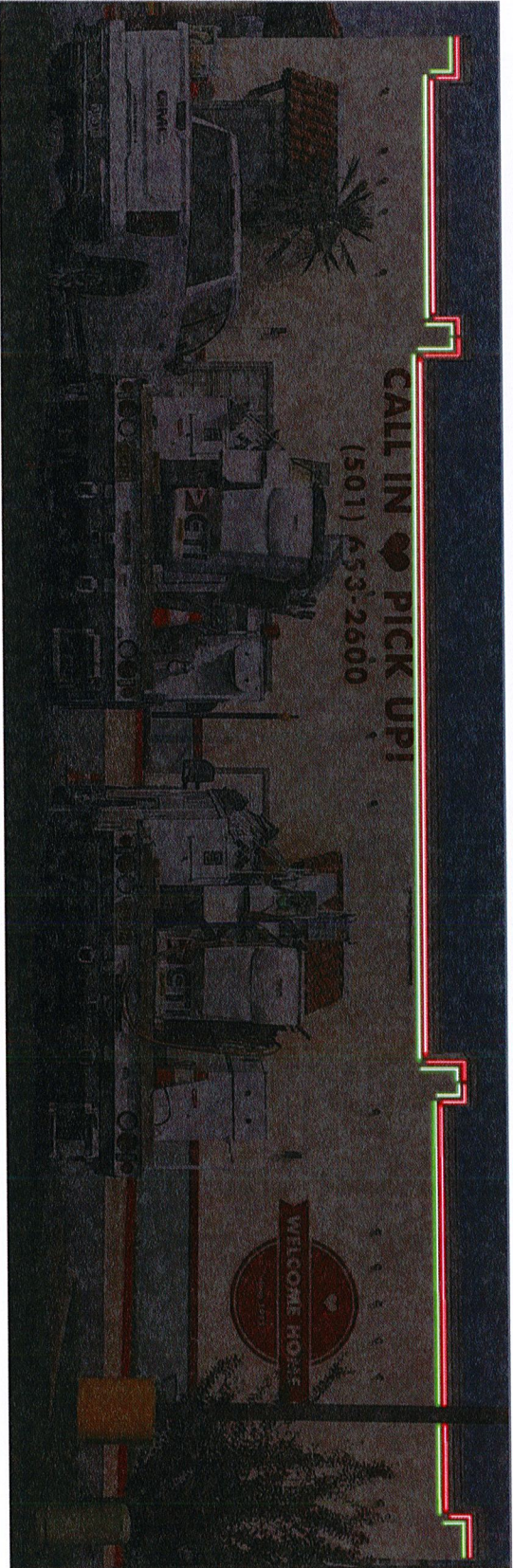
Desc: **Exterior Neon**

Salesman: **Tye Whatley**

Artist: **Cortney Crawford**

Date: **09/08/2022**

206 W Commerce St, Bryant, AR



Scale = 128:1

Details:



SIGNCOMPANY

1109 E 51st Street P 870.773.2139
 Texarkana, AR 71854 F 870.772.5703
 whatley/sign.com

TAMollys - 206 W Commerce St, Bryant, Ar - Exterior Neon - Customer Proof_001

Client: **Ta Molly's**

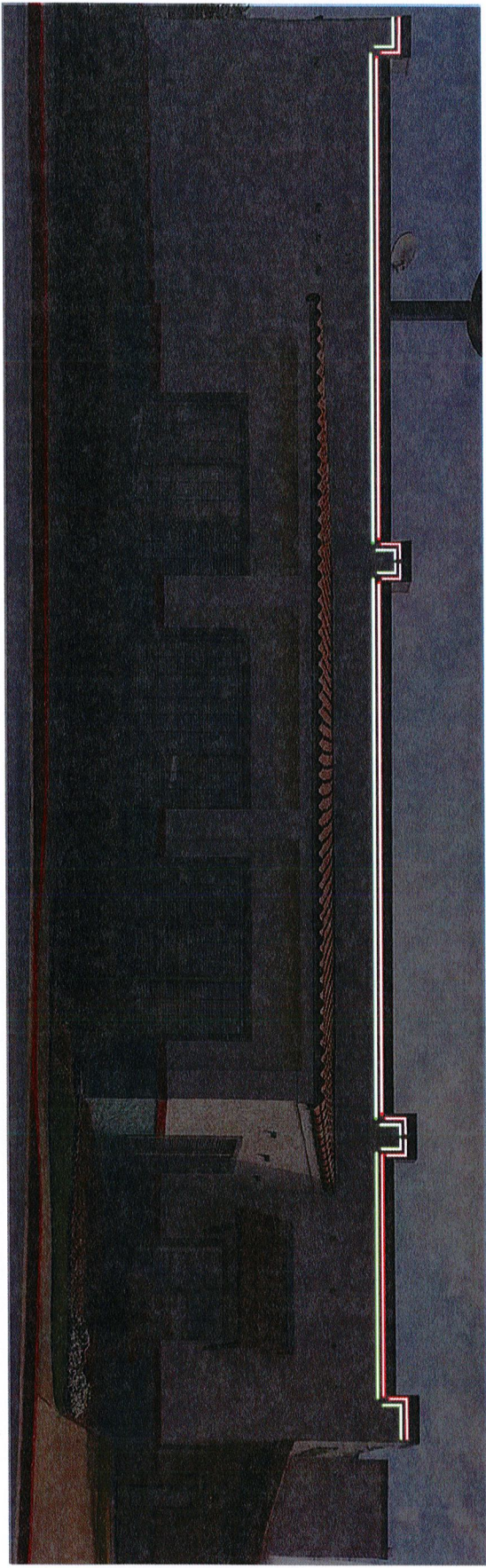
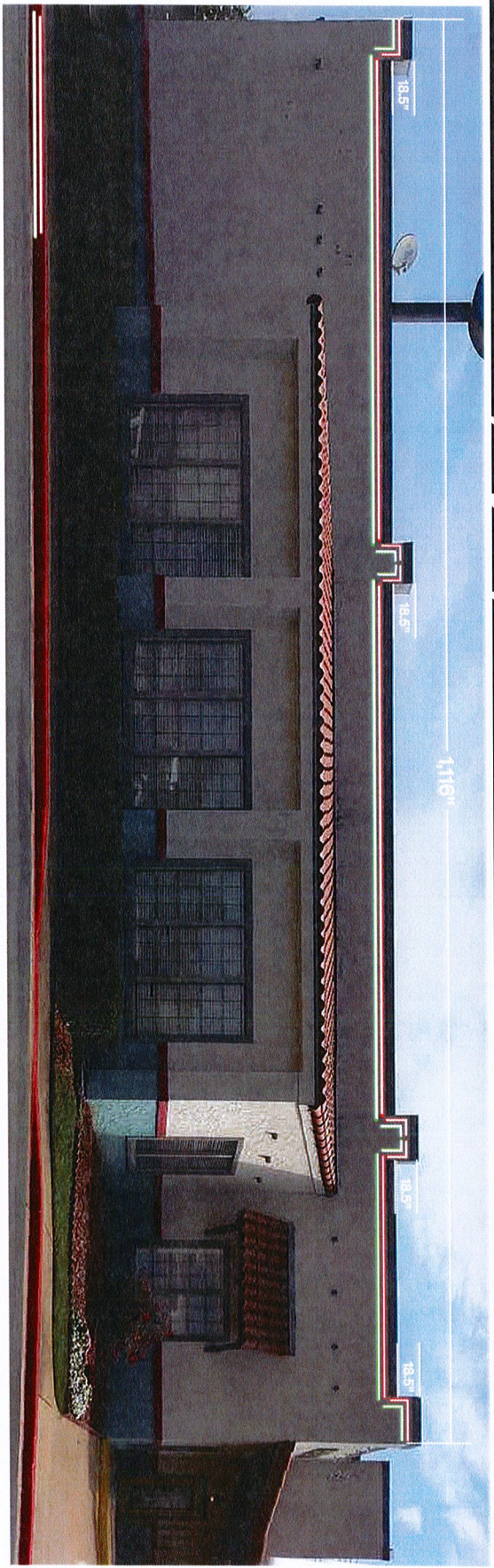
Desc: **Exterior Neon**

Salesman: **Tye Whatley**

Artist: **Cortney Crawford**

Date: **09/08/2022**

206 W Commerce St, Bryant, AR



Details: **Border Neon**

Scale = 128:1



TaMollys - 206 W Commerce St, Bryant, Ar - Exterior Neon - Customer-Proof_001

1109 E 51st Street P 870.773.2139
Texarkana, AR 71854 F 870.772.5703
whatleysign.com



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

Approved 1 Sign
 9/30/2022 CL

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 09/29/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name EXXON
 Address 22755 I-30,
 City, State, Zip Bryant, AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business EXXOM
 Address/Location of sign 22755 I-30, BRYANT AR
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Lora A. Rand do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand



SCALE: 3/32" = 1'-0"
PROPOSED

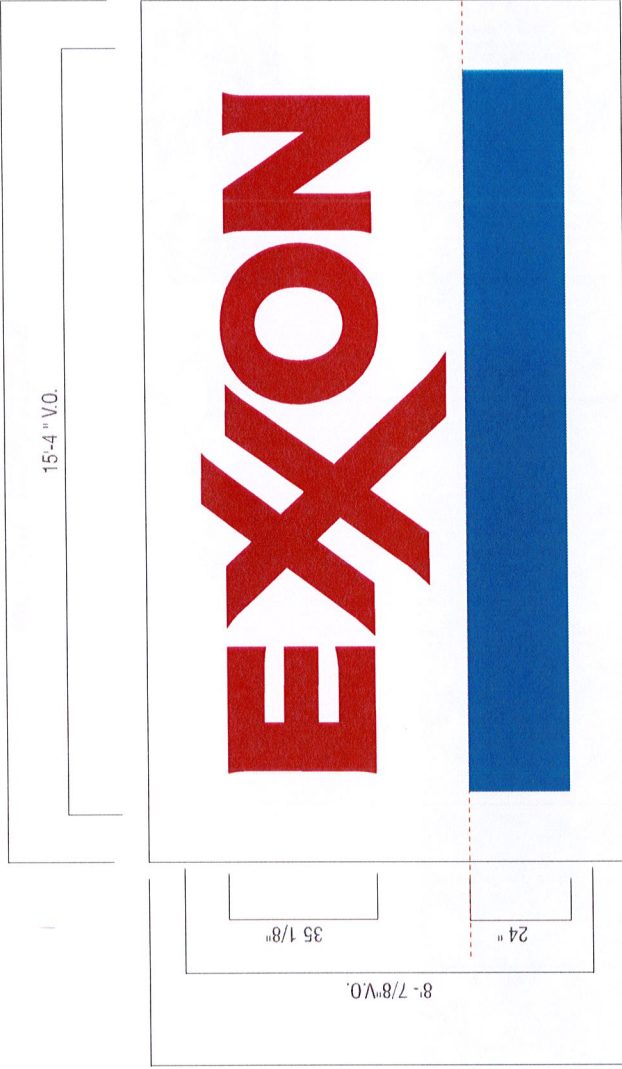


SCALE: 3/32" = 1'-0"

EXISTING
CONDITIONS

17'-3" EXCESS TRIM

15'-4" V.O.



140 SF FLEX FACE



APPROVED BY: _____ DATE: _____			
110 VOLT 15 AMP CIRCUIT TO BE PROVIDED AND PAID FOR BY CUSTOMER.			
CUSTOMER: EXXON BRYANT ARKANSAS		DRAWING NO. 202214801	
SALESMAN CHUCK CRAWFORD	SCALE PROPORTIONAL	DRAWN BY DSM	DATE 8-14-2022
821 Vance Ave, Memphis, TN 38126		PH: 901-523-1595	
		FAX: 901-527-7372	

EXISTING SIGN ALTERATION

Exxon
 3.8 ★★★★★ 176 reviews
 Gas station

Diesel	Regular	Midgrade	Premium
\$4.30	\$3.20	\$3.80*	

* Prices over 24h old

Ad - Boost Mileage At Exxon
 Better mileage is easy with Exxon Synergy Supreme™ fuel!
 FILL UP - www.exxon.com/fuels/premiumgas...

22755 I-30, Bryant, AR 72022
 Open - Closes 10PM
 Confirmed by phone call 12 weeks ago
 exxon.com
 (501) 647-9232
 JFSX-VW Bryant, Arkansas
 Send to your phone