



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: September 19, 2024 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Little Life Academy - 4200 Hwy 5 - Play Ground Renovations

Seth Jeffery - Requesting Approval for play ground renovations on site

- [0909-PLN-02.pdf](#)
- [0909-PLN-01.pdf](#)

2. 2714 Lavern St - Conditional Use Permit for Duplex

Vanessa Guerra - Requesting recommendation for approval of CUP

- [0908-APP-01.pdf](#)

3. 3 Tanglewood Dr - Conditional Use Permit for Accessory Dwelling Unit

Peter Bluemmel - Requesting recommendation for approval of CUP

- [0913-APP-01.pdf](#)
- [0913-PLN-01.pdf](#)

4. 302 Court St - Minor Exception from Midtown Code

Zach Smith - Requesting approval for minor exception from Midtown Code on location of parking

- [0910-PLT-01.pdf](#)
- [0910-PLN-01.pdf](#)

5. Window World - 511 Boone Road - New Driveway

Jodie Cerrato - Requesting approval for new additional driveway

- [0905-PLN-01.pdf](#)

6. Lot 11 & 12 Block 13 - Original Town of Bryant - Replat

Freddy Beza - Requesting Recommendation of Approval for Replat

- [0915-PLT-01.pdf](#)

7. 7 Brew Coffee - 2006 N Reynolds Road - Site Plan

Brian Evans - Requesting Approval for Site Plan

- [0911-PLN-01.pdf](#)

8. 21814 I-30 - Site Plan Addition

- Requesting Approval for Site Plan for addition of two carports

- [0914-PLN-03.pdf](#)
- [0914-PLN-02.pdf](#)
- [0914-PLN-01.png](#)
- [0914-DRW-01.pdf](#)

9. Skye Blue Duplexes Subdivision - Plat and Conditional Use Permits

Hope Consulting - Requesting Recommendation of Approval for Subdivision Plat and Four Conditional Use Permits for Duplexes

- [0889-PLT-02.pdf](#)
- [0889-PLT-01.pdf](#)
- [0889-LTR-01.pdf](#)
- [0889-CUP-01.pdf](#)
- [0889-WVR-01.pdf](#)

10. First Southern Baptist Church - 604 S Reynolds - Site Plan

Hope Consulting - Requesting Recommendation for Approval of Site Plan

- [0912-PLN-01.pdf](#)

Staff Approved

11. Bath & Body Works - 7341 Alcoa Rd - Sign Permit

Arkansas Sign & Neon - Requesting Sign Permit Approval - STAFF APPROVED

- [92725-SGNAPP-02.pdf](#)

12. Fiiz Drinks -1812 N Reynolds Rd, Ste 4 - Sign Permit

Little Rock Conway Sign - Requesting Sign Permit Approval - STAFF APPROVED

- [92766-SGNAPP-01.pdf](#)

13. Fun Town RV - 22524 I-30 - Sign Permit

Action Signs - Requesting Sign Permit Approval - STAFF APPROVED

- [92767-SGNAPP-01.pdf](#)

14. Goodwill - 5914 Hwy 5 - Sign Permit

Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

- [92723-APP-02.pdf](#)
- [92723-APP-01.pdf](#)

15. Fence Brokers - 25736 I-30 - Sign Permit

Signs & Lines - Requesting Sign Permit Approval - STAFF APPROVED

- [92783-SGNAPP-01.pdf](#)

Permit Report

Adjournments

NLC SALINE COUNTY
PLAYGROUND IMPROVEMENTS

BRYANT, SALINE COUNTY, ARKANSAS

CONSTRUCTION PLANS

June 2022

HOLLOWAY ENGINEERING JOB NO. 2022-044



Holloway Engineering,
Surveying & Civil Design

200 Casey Drive
Maumelle, AR 72113
(501) 851-3366
www.holloway-eng.com

REV.	DATE	DESCRIPTION	BY

LEGEND		
PROPOSED	DESCRIPTION	EXISTING
— W —	WATER LINE	— W —
— G —	GAS LINE	— G —
— SS —	SANITARY SEWER LINE	— SS —
— FO —	FIBER OPTIC LINE	— FO —
— C _U —	UNDERGROUND PHONE LINE	— C _U —
— OHE —	OVERHEAD ELECTRIC LINE	— OHE —
— E _U —	UNDERGROUND ELECTRIC LINE	— E _U —
— —	STORM DRAINAGE PIPE	— —
(X-X)	DRAINAGE STRUCTURE - NO.	(X-X)
— CTV —	CATV CABLE LINE	— CTV —
— X —	FENCE	— X —
— —	DITCH FLOW LINE	— —
⊗	CURB INLET/JUNCTION BOX	⊗
⊙	CONTROL POINT	⊙
⊗	GAS METER	⊗
⊗	GAS REGULATOR	⊗
⊗	WATER METER	⊗
⊗	WATER VALVE	⊗
⊗	FIRE HYDRANT	⊗
⊗	AIR RELEASE VALVE	⊗
⊗	GUY ANCHOR	⊗
⊗	UTILITY POLE	⊗
⊗	LIGHT POLE	⊗
⊗	ELECTRICAL BOX	⊗
⊗	SANITARY SEWER MANHOLE	⊗
⊗	SANITARY SEWER CLEAN-OUT	⊗
⊗	TELEPHONE PEDESTAL/RISER	⊗
⊗	SIGN	⊗



VICINITY MAP

Sheet List Table		
Sheet Number	Sheet Title	Sheet Number
C0.00	COVER SHEET	C0.00
C1.00	SITE PLAN	C1.00
C1.01	SITE DETAILS	C1.01
C2.00	GRADING & DRAINAGE	C2.00
C2.01	GRADING & DRAINAGE DETAILS	C2.01

NLC SALINE COUNTY
BRYANT, SALINE COUNTY, AR
FOR NLC SALINE
COVER SHEET

DRAFT
This document
is preliminary
in nature and
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signed and
sealed
document.

DATE	PLAN SET	SHEET NO.

OWNER/DEVELOPER
NEW LIFE CHURCH
4200 HWY 5 NORTH
BRYANT, AR 72022

ENGINEER/ SURVEYOR
HOLLOWAY ENGINEERING
200 CASEY DRIVE
MAUMELLE, AR 72113
(501) 851-3366

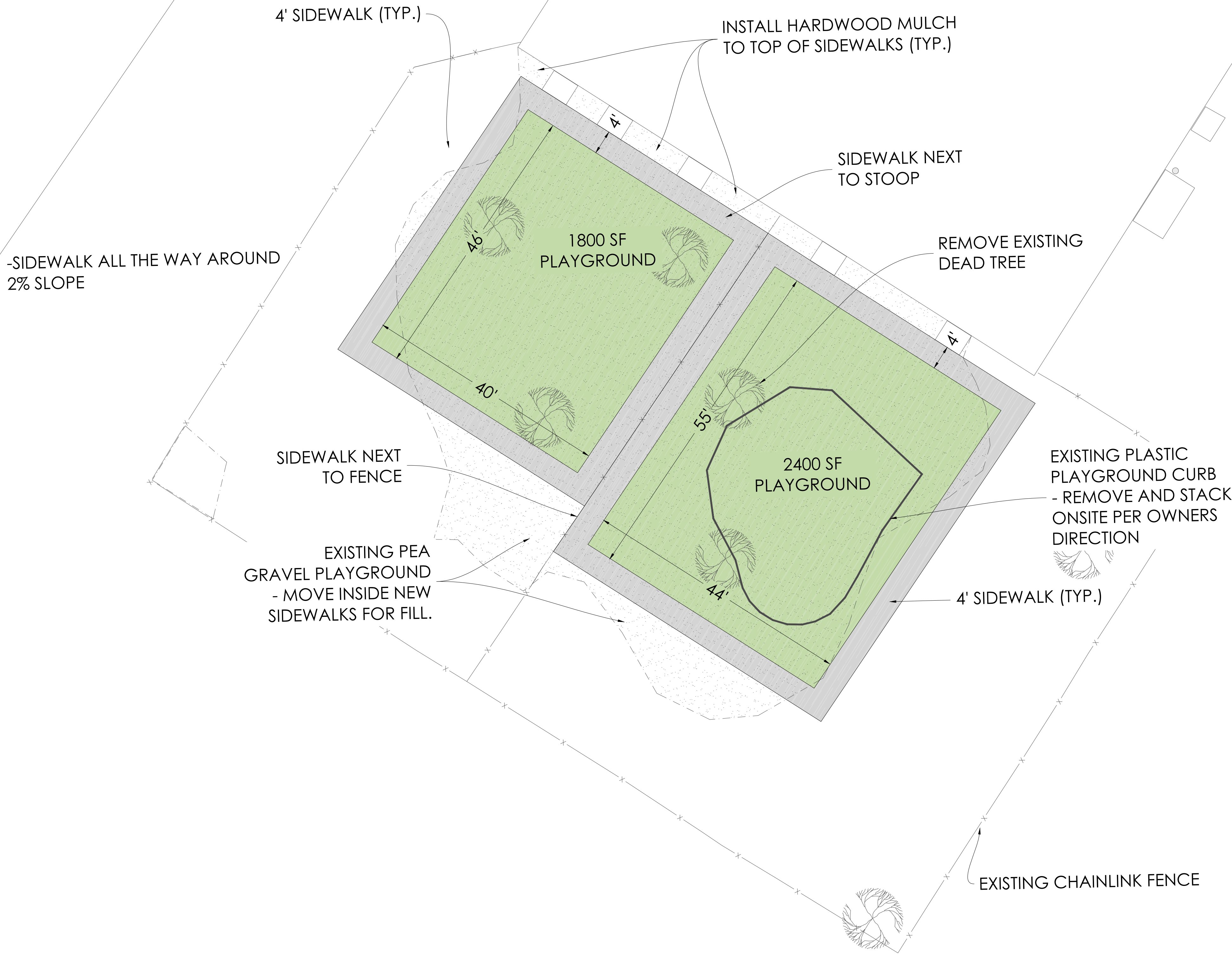
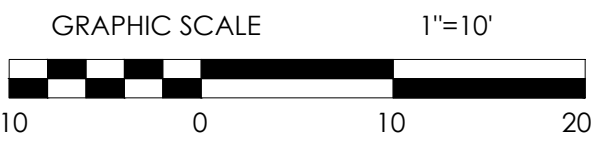
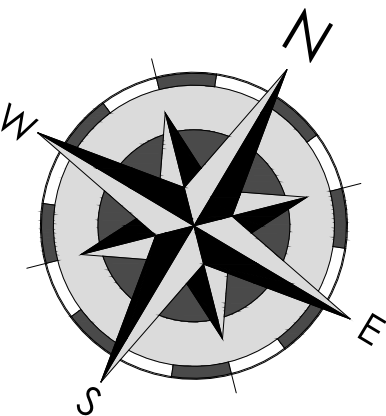


Know what's below.
Call before you dig.

CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY. ARKANSAS STATE LAW, THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES TWO WORKING DAYS ADVANCE NOTIFICATION THROUGH THE ARKANSAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPLOSIVES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-482-8998. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE ARKANSAS ONE-CALL SYSTEM; THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES, AS WELL AS THE ONE-CALL SYSTEM.

JOB NO.: 2022-044
DATE: 7/21/23
DRAWN BY: LCM
SHEET NUMBER:

C0.00



- GENERAL NOTES
- LOCATIONS OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL LOCATION.
 - CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
 - CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
 - EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
 - CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
 - CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
 - CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM ACCORDING TO PROTECTION ILLUSTRATIONS PROVIDED.
 - CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE ARKANSAS ONE-CALL SYSTEM AT 1-800-482-8998 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.

NLC SALINE COUNTY
BRYANT, SALINE COUNTY, AR
FOR NLC SALINE

SITE PLAN

DRAFT
**This document
is preliminary
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sealed
document.**

JOB NO.: 2022-044
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C1.00



- NOTES:
1. CONTRACTOR TO NOTIFY "ARKANSAS ONE-CALL" AND ALL APPROPRIATE UTILITIES, CABLE COMPANIES, ETC., PRIOR TO STARTING ANY EXCAVATION. DIAL 811
 2. VEGETATION MUST BE ESTABLISHED ON DISTURBED AREAS WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES.
 3. ADEQ STORMWATER PERMIT MUST BE OBTAINED AND EROSION CONTROL MEASURES MUST BE INSTALLED TO COMPLY WITH ALL STORMWATER RUNOFF REGULATIONS.
 4. ALL SIDEWALK AREAS TO MAINTAIN A MAXIMUM 2% CROSS SLOPE AND A 5% RUNNING SLOPE & CONFORM TO ALL ADA REGULATIONS, ALL ADA PARKING TO BE MAX. 2% SLOPE ALL DIRECTIONS.
 5. THE LOCATION OF ANY UTILITIES SHOWN IS ONLY APPROXIMATE OR PROPOSED. THERE MAY EXIST MORE UTILITIES THAN THOSE SHOWN.
 6. ALL DRAINAGE PIPE SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 7. CONTRACTOR TO ADJUST ALL VALVE BOXES, COVERS, PULL BOXES TO FINISH GRADE.



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REV.	DATE	DESCRIPTION	BY

NLC SALINE COUNTY

BRYANT, SALINE COUNTY, AR

FOR NLC SALINE

GRADING & DRAINAGE

DRAFT

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JOB NO.: 2022-044

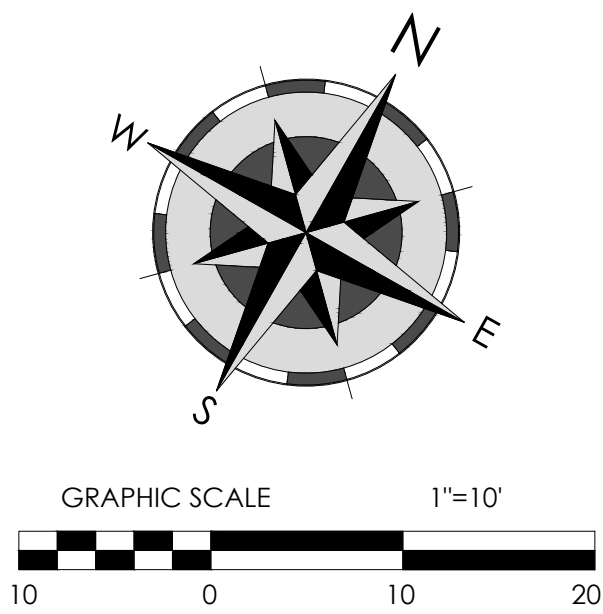
DATE: 7/21/23

DRAWN BY: LCM

SHEET NUMBER:

C2.00

L:\2022\2022-044 NLC Saline County Benton\Drawings\Sheets\C2.00 GRADING & DRAINAGE OVERALL.dwg



EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
	ROCK DITCH CHECK
	SILT FENCE
	CENTER DITCH & FLOW DIRECTION
	VEHICULAR TRACKING PAD (CONSTRUCTION ENTRANCE)
	INLET PROTECTION
	TEMPORARY PARKING & STORAGE
	OUTLET PROTECTION RIPRAP PAD

EROSION CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL EROSION CONTROL DEVICES AS SHOWN ON THIS SHEET, AND DESCRIBED IN THE SPECIFICATIONS. ADDITIONAL EROSION CONTROL AND/OR ADJUSTMENT OF LOCATIONS FOR EROSION CONTROL MAY BE REQUIRED.
- CONTRACTOR AT HIS EXPENSE SHALL MEET ALL REQUIREMENTS OF ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING, BUT NOT LIMITED TO, BEST MANAGEMENT PRACTICES, A STORM WATER POLLUTION PREVENTION PLAN, A FILING OF A NOTICE OF INTENT IN THE OWNER'S NAME, AND FILING A NOTICE OF TERMINATION AT THE END OF PROJECT.
- SILT FENCES SHALL BE CONSTRUCTED PER MANUFACTURER RECOMMENDATIONS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES ALREADY IN PLACE. CONTRACTOR SHALL REMOVE AND REPLACE EROSION CONTROL AS NEEDED FOR CONSTRUCTION OR ACCESS. ALL EROSION CONTROL MUST BE IN PLACE AT ALL TIMES DURING CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE WHATEVER MEANS NECESSARY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS, CREEKS, STORM DRAIN SYSTEMS AND INLETS FROM EROSION DEPOSITS.
- ALL DISTURBED SOIL SHALL BE PERMANENTLY SODDED/SEEDED.
- IN ORDER TO ALLEVIATE DUST CONDITIONS WITHIN THE CITY LIMITS DURING GRADING OPERATIONS, AND AFTER GRADING OPERATIONS ARE COMPLETED, BUT BEFORE PAVEMENT AND/OR PERMANENT EROSION CONTROL WORK IS STARTED, THE CONTRACTOR SHALL SPRINKLE GRADING AT INTERVALS APPROVED BY THE CITY.
- CONTRACTOR SHALL CONSTRUCT AT LEAST ONE VEHICULAR TRACKING PAD, TWO IS OPTIONAL.



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BY

DESCRIPTION

REV. DATE

NLC SALINE COUNTY
BRYANT, SALINE COUNTY, AR
FOR NLC SALINE

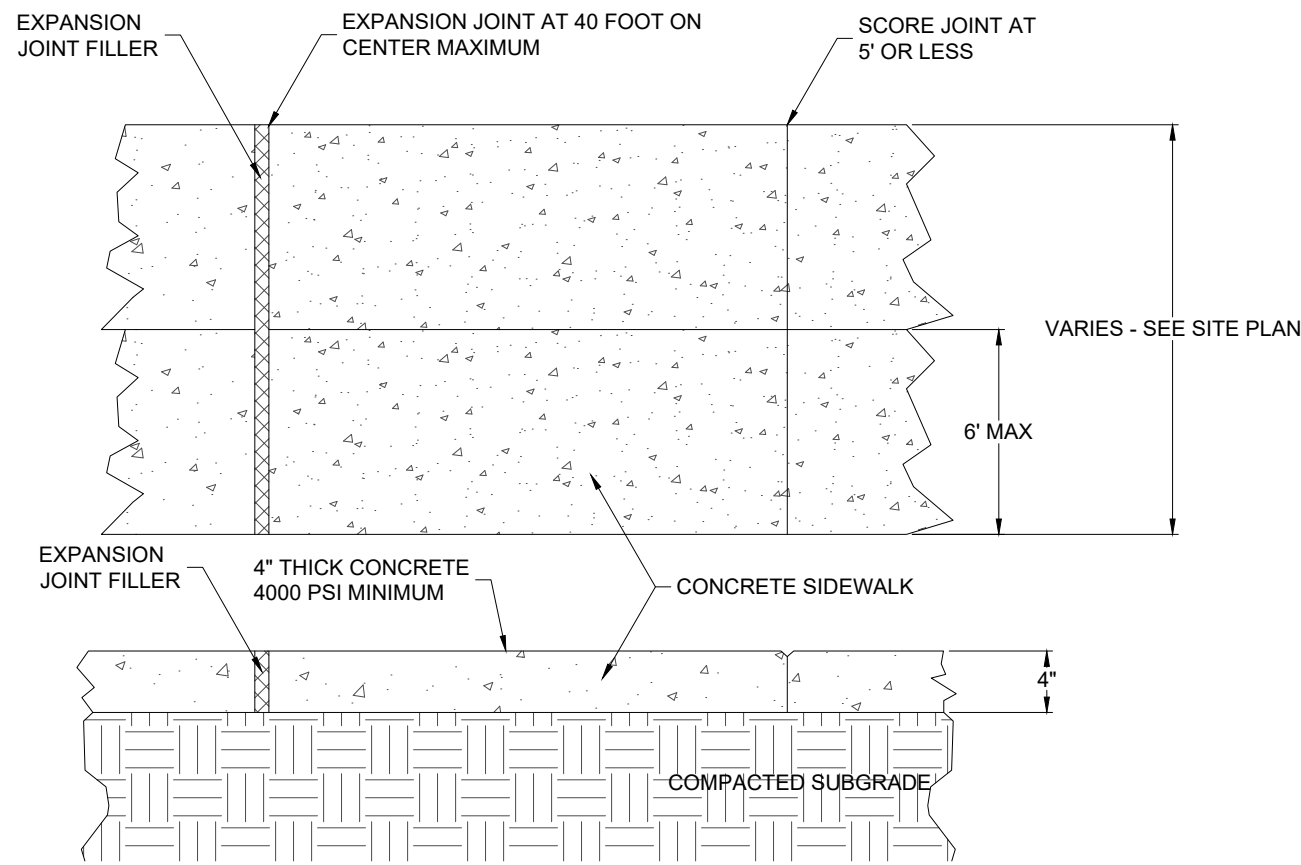
SWPPP-EROSION CONTROL PLAN

DRAFT

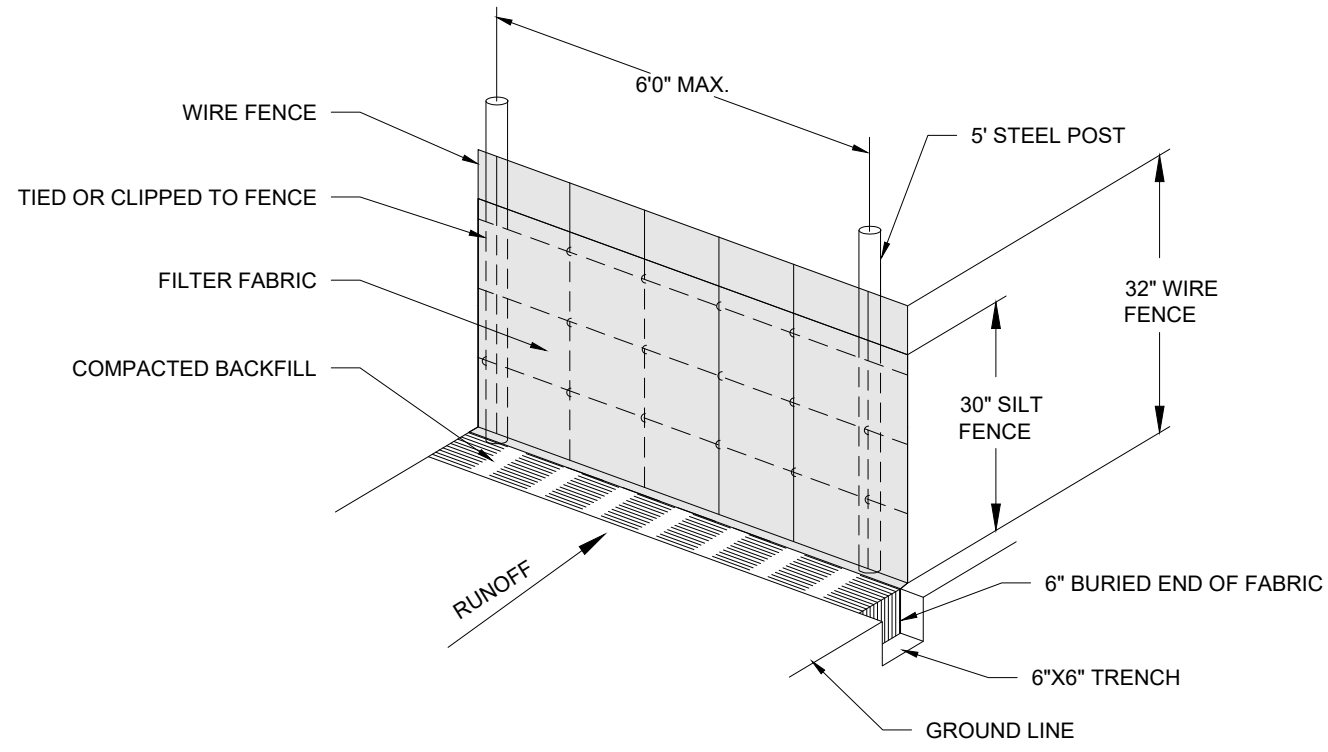
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C3.00

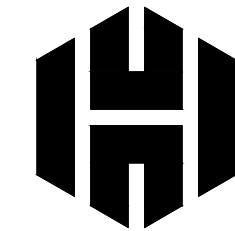


1 CONCRETE SIDEWALK - VARIED WIDTH
NOT TO SCALE



- SILT FENCE NOTES
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. REPAIR OF REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

E-2 WIRE REINFORCED SILT FENCE
N.T.S.



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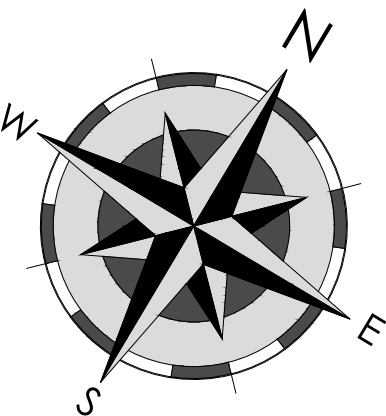
NLC SALINE COUNTY
BRYANT, SALINE COUNTY, AR
FOR NLC SALINE

DETAILS

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BRYANT, SALINE COUNTY, AR
FOR NLC SALINE

SITE PLAN

DRAFT
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JOB NO.: 2022-044
DATE: 9/10/24
DRAWN BY: TJH
SHEET NUMBER:

C1.00



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 08/22/2024

Applicant or Designee:

Project Location:

Name Delia Vanessa Guerra Chon Property Address 2714 Laverne St.
Address 7029 Kiwer Dr. NLR AR 72110 Bryant, AR.
Phone 501-283-4058 Parcel Number _____
Email Address: deliaguerra@gmail.com Zoning Classification R-M

Property Owner (If different from Applicant):

Name _____
Phone _____
Address _____
Email Address _____

Additional Information:

Legal Description (Attach description if necessary)

Description of Conditional Use Request (Attach any necessary drawings or images)

Convert portion of home to duplex

Proposed/Current Use of Property for Duplex
current is single family

Application Checklist

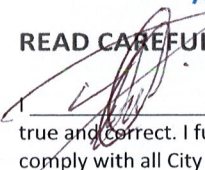
Requirements for Submission

- ☐ Letter stating request of Conditional Use and reasoning for request
- ☐ Completed Conditional Use Permit Application
- ☐ Submit Conditional Use Permit Application Fee (\$125)
- ☐ Submit Copy of completed Public Notice
- ☐ Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- ☐ Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- ☐ Submit eight (8) Copies of the Development Plan (Site Plan) showing:
 - Location, size, and use of buildings/signs/land or improvements
 - Location, size, and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing lighting
 - Proposed landscaping and screening
 - Use of adjacent properties
 - Scale, North Arrow, Vicinity Map
 - Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

 _____, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, Oct. 14, 2024 at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a conditional use request at the site of
2714 Lavern St. Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Lance Penfield
Chairman of Planning Commission
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 9.4.24

Applicant or Designee:

Name PETER BLUMMA
Address 2600 HENGILL E #602
Phone 501-249-3874
Email Address: PBLUMMA@ME.COM

Project Location:

Property Address 3 TANGLEWOOD DR
BRYANT, AR 72022
Parcel Number _____
Zoning Classification _____

Property Owner (If different from Applicant):

Name RITCHIE A. BRADY
Phone 501 940 6541
Address 3 TANGLEWOOD BRYANT, AR 72022
Email Address BRADY.6@COMCAST.NET

Additional Information:

Legal Description (Attach description if necessary)

SINGLE FAMILY HOME W/ DETACHED GARAGE

Description of Conditional Use Request (Attach any necessary drawings or images)

RENOVATE GARAGE TO & 1 BR MOTHER-IN-LAW SUITE

Proposed/Current Use of Property SINGLE FAMILY HOME

09SEPT24

3 Tanglewood Cr.
Bryant, AR 72022

Dear Council Members:

I'm writing this letter to request a conditional use permit on the property addressed in this letter. We would like to convert a single car detached garage to a mother-in-law suite. The intent would be for a family member to use this conversion as a home to be near their children and grandchildren. This family member has suffered two strokes in the last ten years and needs to be close to family members for support, which this conversion would provide. The property owners have lived in Bryant for 30+ years and have been good upstanding citizens of Bryant. One is a schoolteacher for the Bryant school district.

The intent of this project would be to create a small one-bedroom suite, 600 sq/ft. It would be outfitted with a bathroom, kitchen, living area, and a bedroom. Please see accompanying sketch.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Peter Bluemmel', with a large, stylized flourish at the end.

Peter Bluemmel

Property Owner Designate

NOTICE OF PUBLIC HEARING

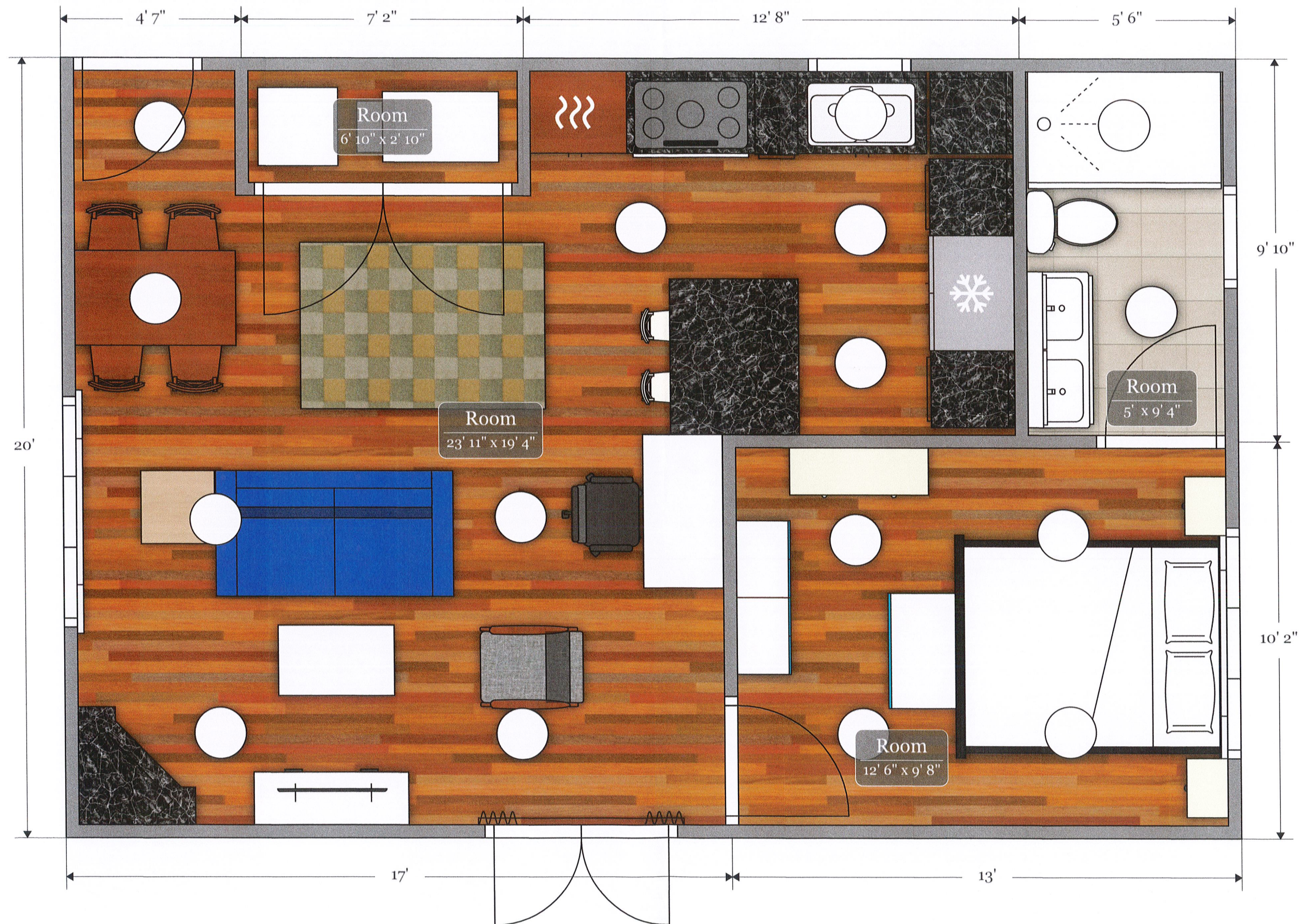
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3 TANGELWOOD DR BRYANT, MO 62022 (address).

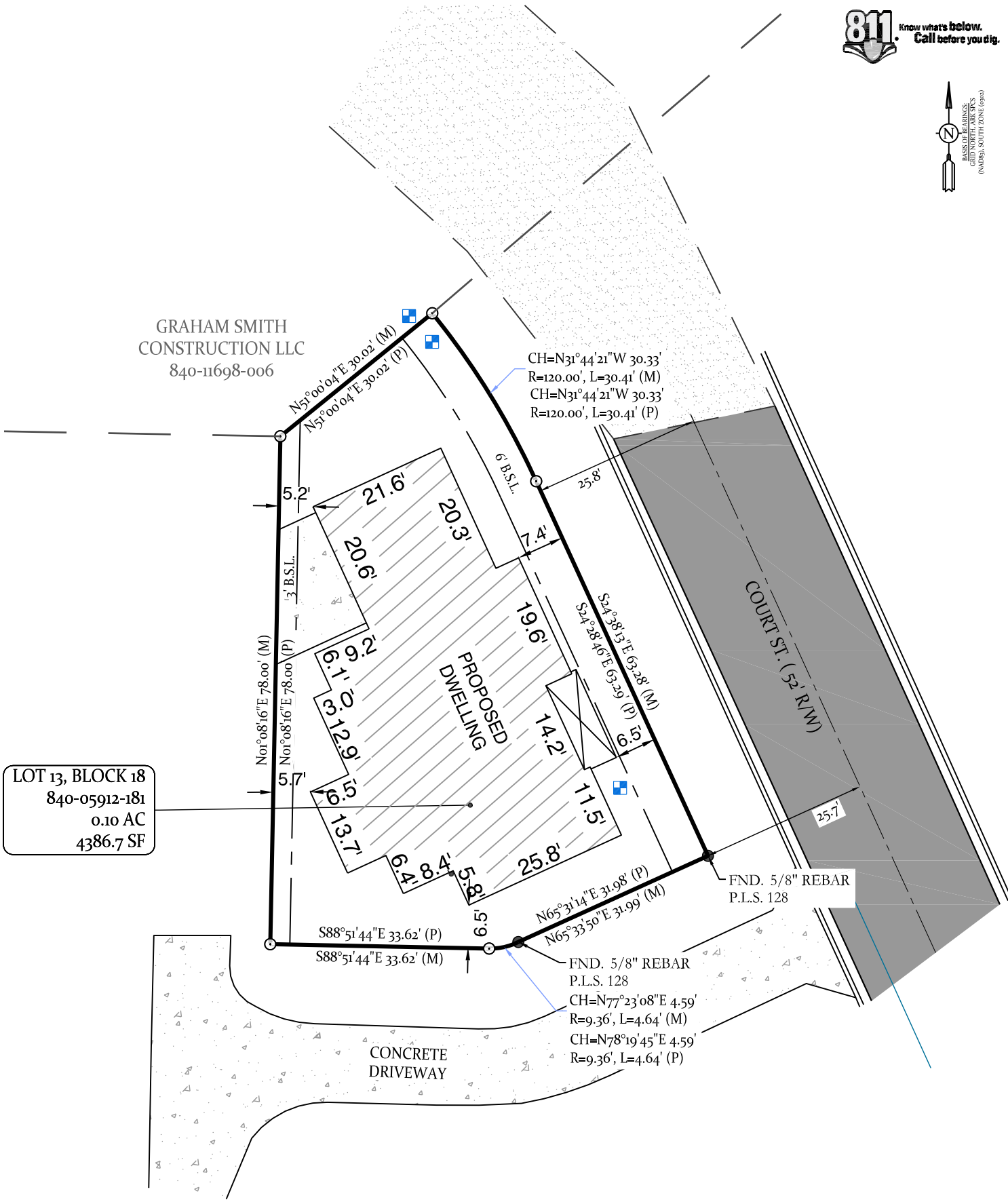
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Lance Penfield
Chairman of Planning Commission
City of Bryant

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RECORD DESCRIPTION

SALINE COUNTY INSTRUMENT DEED 2021-009614
LOT 13, BLOCK 18, MIDTOWN BRYANT, PHASE 1, AN ADDITION TO
THE CITY OF BRYANT, ARKANSAS.

This Plot Plan depicts the lot as it appears on the subdivision
plat. This drawing does not represent an actual survey.



PLOT PLAN

No portion of the property described hereon lies within the 100 year flood plain, according
to the Flood Insurance Rate Map,
panel # 05125C0240E, dated: 06/05/2020.

For the Exclusive Use and Benefit of:

Zach Smith Construction

Address 302 Court St.
Bryant, AR 72022

Date 9-9-24

500

01S

14W

0

15

340

62

1664

20' 10' 0 20'

LEGEND

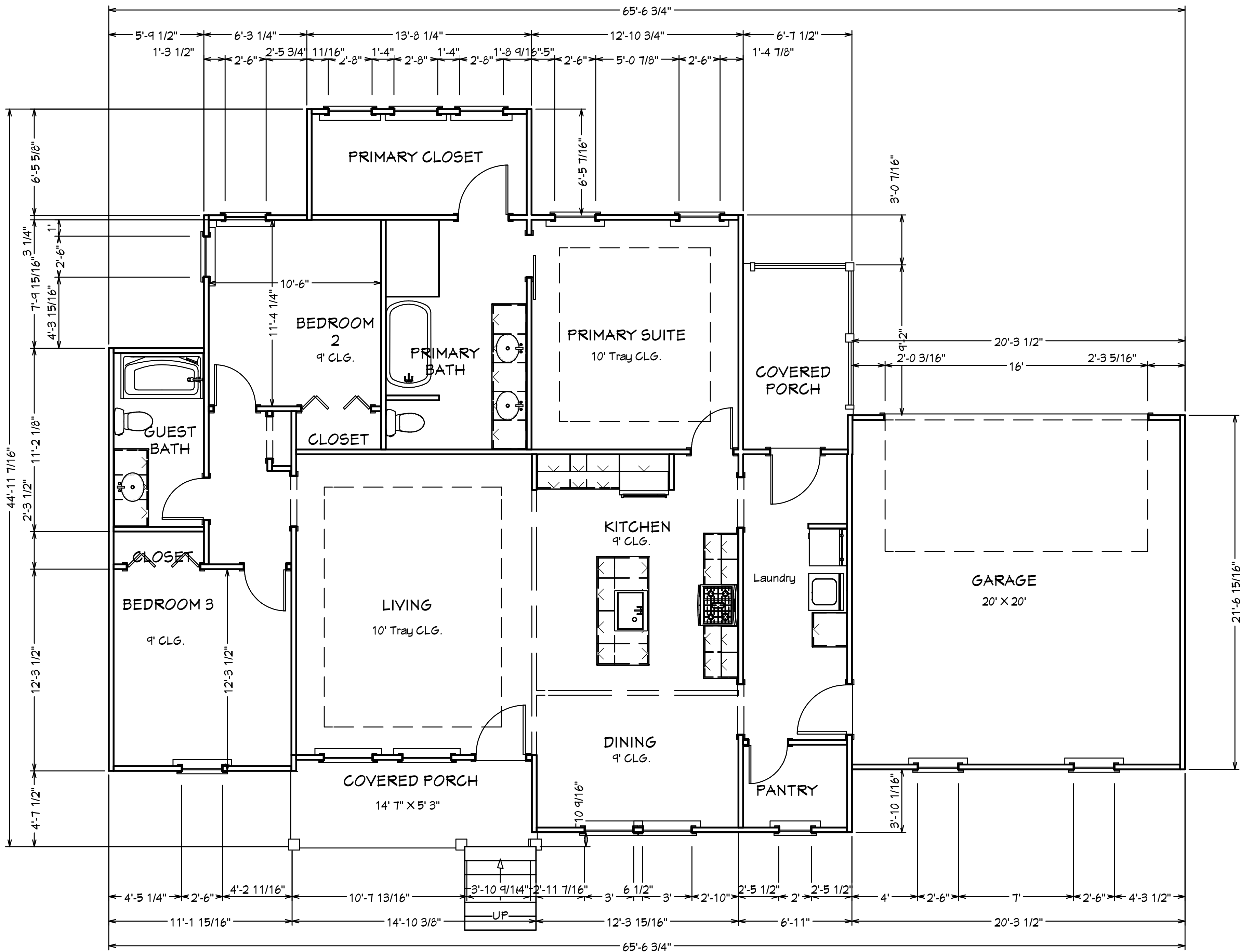
- Found Monument
- Set 1/2" Rebar #1664
- Computed Point Location
- Measured by Surveyor
- Record/Deed/Plat Measurements
- B.S.L.
- Utility/Drainage Easement
- Property Boundary Line
- Fence Lines
- Centerlines
- Parcel Lines/Misc Lines

Drawn By

MG

Checked By

WCS



LIVING AREA

1552 SQ FT



NO.	DESCRIPTION	BY	DATE

302 Court St.
Bryant, AR 72022

DRAWINGS PROVIDED BY:
Zack Smith Construction

DATE:
08/21/24

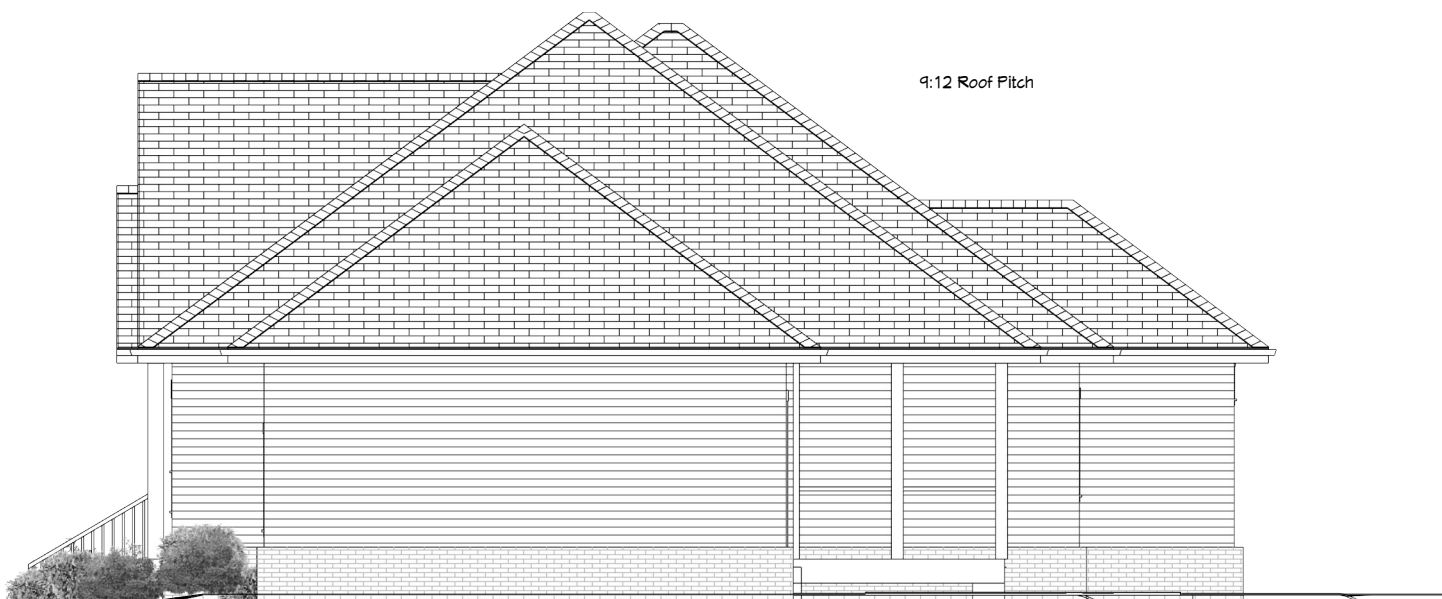
Scale: 1/4" = 1'

SHEET:

A-1



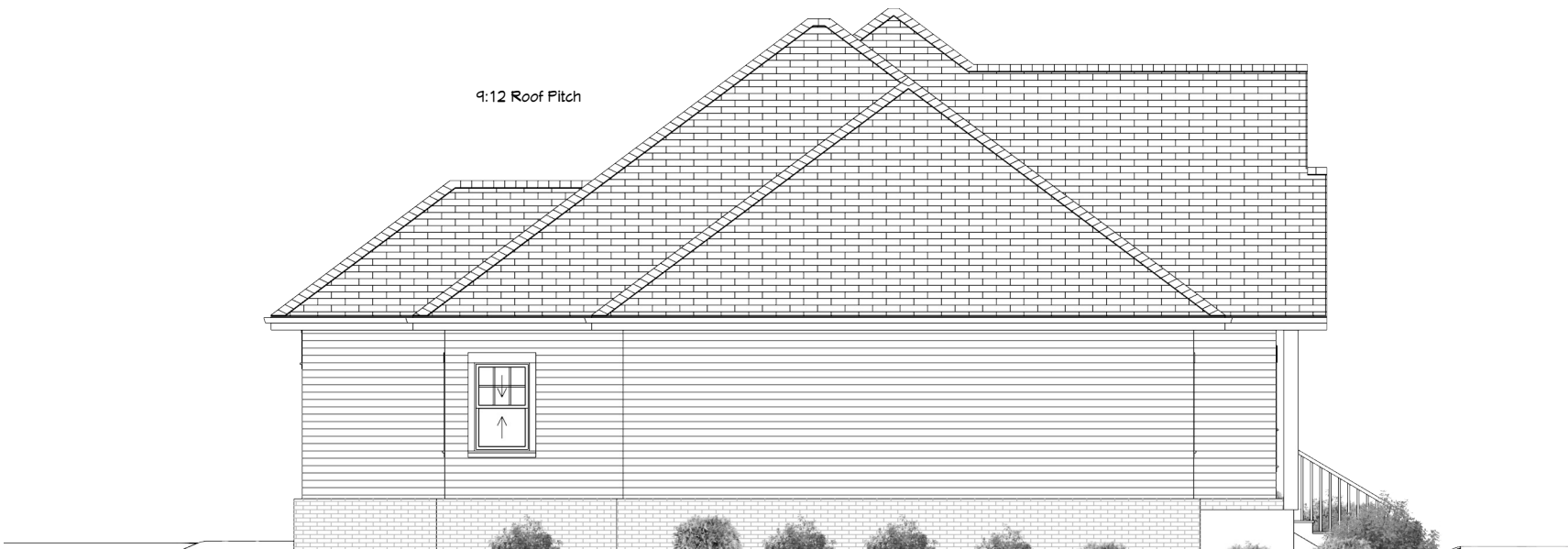
Front Elevation



Right Elevation



Rear Elevation



Left Elevation



NO.	DESCRIPTION	BY	DATE

302 Court St.
Bryant, AR 72022

DRAWINGS PROVIDED BY:
Zack Smith Construction

DATE:
08/21/24

Scale: 1/8" = 1'

SHEET:

A-2



NO.	DESCRIPTION	BY	DATE

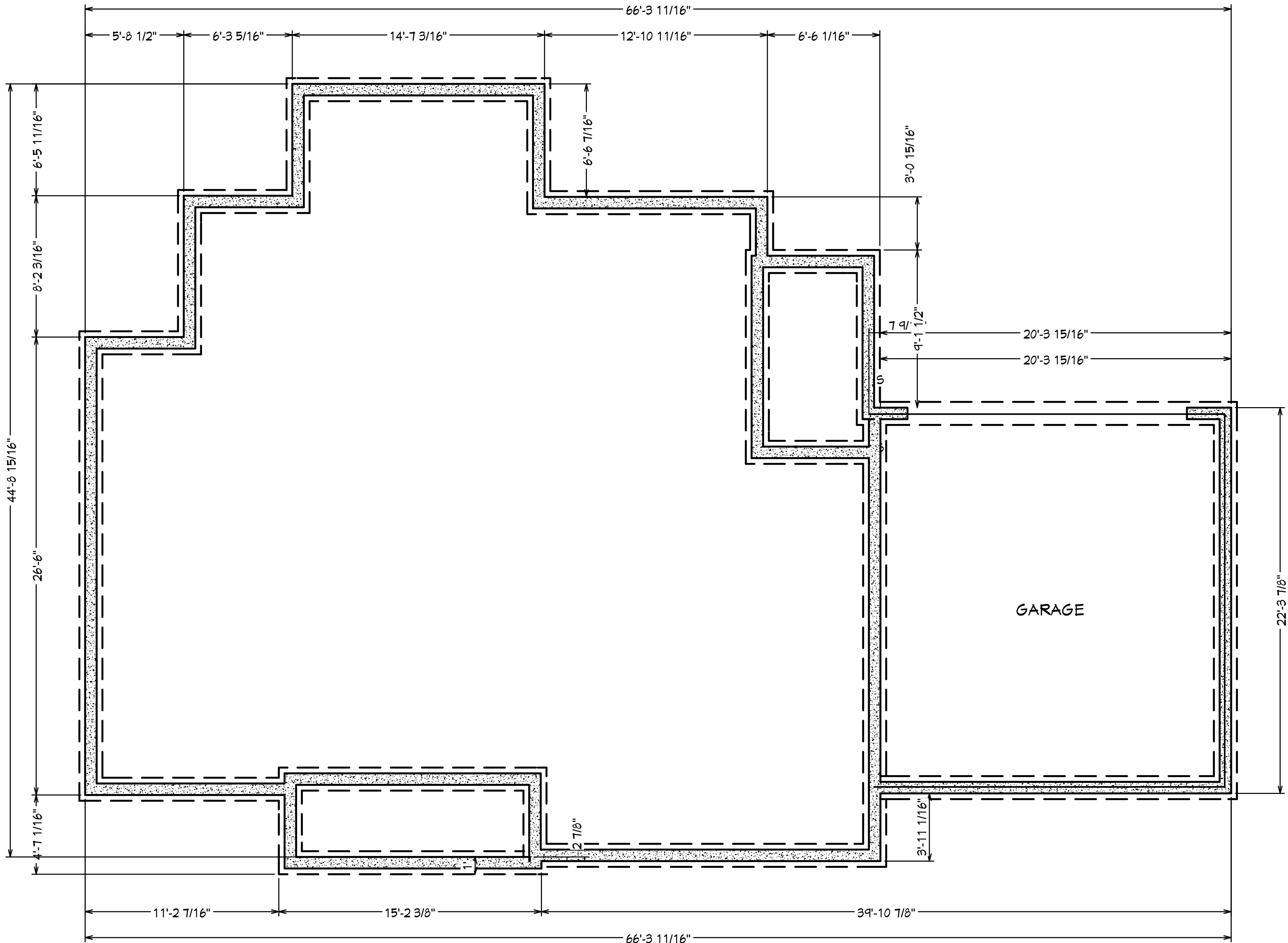
302 Court St.
Bryant, AR 72022

DRAWINGS PROVIDED BY:
Zack Smith Construction

DATE:
08/21/24

SCALE
1/4" = 1'

SHEET:
A-3



Boone Rd

18

19

Current
Entrance

We would like
to add a

4'0" x 24"

Culvert for
additional
driveway
entrance

Boone Rd

511
Boone Rd.

587

1000

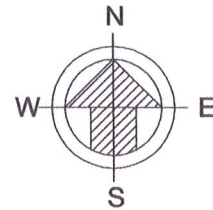
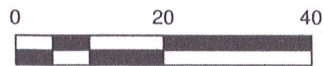
1001

1003

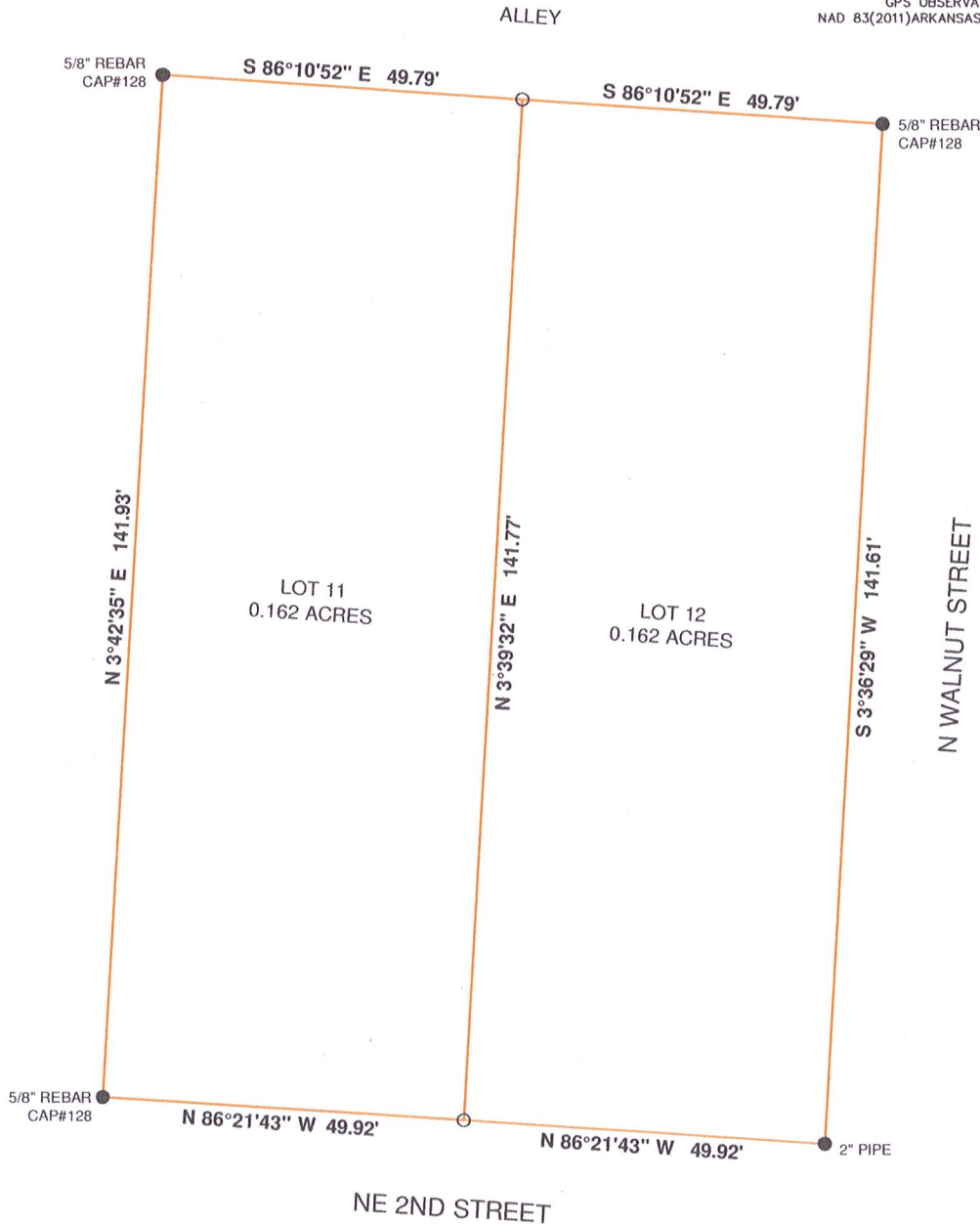
1002

LEGEND

- - SET #5REBAR/CAP
- - FND MONUMENT
- △ - COMPUTED POINT
- - SURVEY BOUNDARY

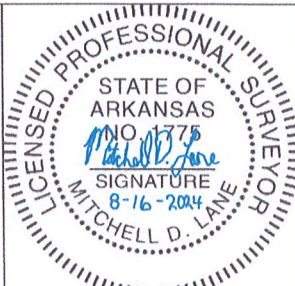


BASIS OF BEARING
GRID NORTH BASED ON
GPS OBSERVATION
NAD 83(2011)ARKANSAS SOUTH ZONE



LOT 11 AND LOT 12 BLOCK 13 IN THE TOWN OF BRYANT NOW THE CITY OF BRYANT
SALINE COUNTY ARKANSAS.

Unless Specifically Stated Or Shown, This Boundary Survey Is Made Subject To And Does Not Delineate: Building Setback Lines, Zoning Regulations, Restrictions, Or Other Items Which May Affect Development. No Statement Is Made Concerning Subsurface Conditions, Or The Existence Of Underground Or Overhead Containers Or Facilities, Unless Specifically Shown, Which May Affect The Use Or Development Of The Tract. Tract May Be Subject To Easements, Restrictive Covenants, Subdivision Restrictions, And Planning And Zoning Regulations Of Record, If Any, And Is Subject To Such Facts Which A Current Title Search May Disclose. I, Mitchell D. Lane, Hereby Certify That The Above Plat Represents A Boundary Survey Performed By Me Or Under My Supervision On This Day.



SURVEY PLAT
LOT 11 & 12 BLOCK 13 IN THE CITY OF
BRYANT SALINE COUNTY ARKANSAS

FOR USE AND BENEFIT OF:

FREDDY BEZA

MITCHELL D LANE
4801 HIGHWAY 5 BENTON, AR 72015

DATE	16AUG 2024
DRAWING #	24-022M
FIELD	MDL
DRAWN	MDL

CERTIFICATE OF FINAL SURVEYING ACCURACY

I, MITCHELL D. LANE, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY OR SURVEYING UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN, AND THAT ALL INTERIOR LOT LINES ARE ACCURATELY DESCRIBED IN TERMS OF LENGTH AND DIRECTION OF THE PROPERTY SIDES.

SIGNED _____

LICENSED PROFESSIONAL SURVEYOR
NO. 1775, ARKANSAS

CERTIFICATE OF OWNER

WE, THE UNDERSIGNED OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN DO HEREBY CERTIFY THAT WE HAVE CAUSED TO BE Laid Off, PLatted AND SUBDIVIDED, AND TO HEREBY Lay Off, PLat AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE PLAT.

SIGNED _____ DATE OF EXECUTION _____

FREDDY BEZA

NAME _____

15566 DOGWOOD RANCHETTE DR. ALEXANDER, AR 72002

ADDRESS _____

SOURCE OF TITLE: 2024-013359

CERTIFICATE OF FINAL PLAT APPROVAL

PURSUANT TO THE SALINE COUNTY SUBDIVISION RULES AND REGULATIONS, AND ALL OF THE CONDITIONS OF APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

SIGNED _____

DATE OF EXECUTION _____

CHAIRMAN, SALINE COUNTY

PLANNING BOARD

LEGAL DESCRIPTION

LOTS 11 AND 12, BLOCK 13 IN THE TOWN, NOW CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

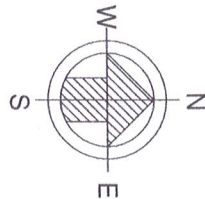
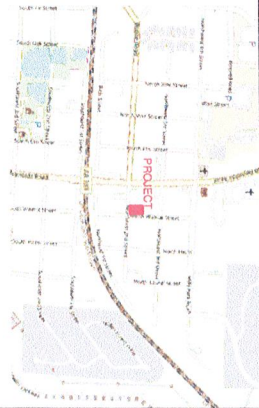
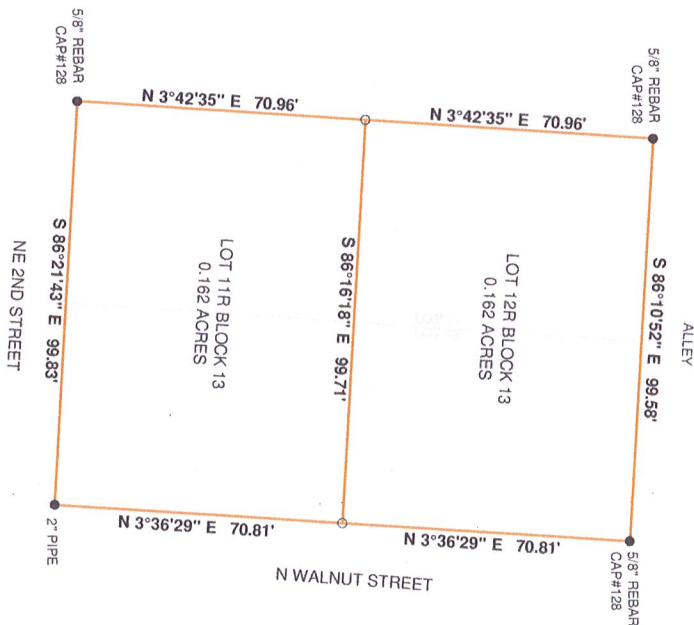
SURVEYORS CERTIFICATION

UNLESS SPECIFICALLY STATED OR SHOWN, THIS BOUNDARY SURVEY IS MADE SUBJECT TO AND DOES NOT DELINEATE, BUILDING SETBACK LINES, ZONING REGULATIONS, RESTRICTIONS, EASEMENTS, OR ANY OTHER INTERESTS. NO STATEMENT IS MADE AS TO THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND OR OVERHEAD UTILITIES OR ANY OTHER FEATURES SPECIFICALLY SHOWN, WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THE TRACT. TRACT MAY BE SUBJECT TO EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AND PLANNING AND ZONING REGULATIONS OF RECORD. IF ANY, AND IS SUBJECT TO SUCH FACTS WHICH A CURRENT TITLE SEARCH MAY DISCLOSE. I, MITCHELL D. LANE, HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION ON THIS DAY.

CERTIFICATE OF FLOOD NOTE

BY GRAPHIC FLOODING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, FIRM NO. 15050088 WHICH BEARS AN EFFECTIVE DATE OF 6-5-20 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

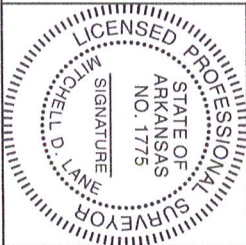
LOTS 11R AND 12R BLOCK 13 BEING A REPLAT OF LOTS 11 & 12 BLOCK 13 IN THE TOWN NOW CITY OF BRYANT SALINE COUNTY ARKANSAS



BASE OF BEARING
GRID NORTH BASED ON
GPS OBSERVATION
NAD 83(2011) ARKANSAS NORTH ZONE

LEGEND

- SET #5REBARCAP
- FIND MONUMENT
- ▲ COMPUTED POINT
- SURVEY BOUNDARY



FOR USE AND BENEFIT OF:

FREDDY BEZA

PLAT FILING CODE: 500-01S-14W-0-34-140-62-1775

MITCHELL D. LANE SURVEYING
4801 HIGHWAY 5, BENTON, AR 72015
mitchell.lane1775@gmail.com

DATE	AUG 28
JOB #	2024
FIELD/CAD	24-022M
MDL	

7 BREW COFFEE

BRYANT, AR #2

24198 7BBA2

AUGUST 15, 2024

PERMIT SET

SHEET INDEX

GENERAL

G0.0 COVER SHEET
G0.1 GENERAL NOTES & SCHEDULES

CIVIL

C0.0 COVER
C0.1 GENERAL NOTES
C1.1 DEMOLITION PLAN
C1.2 EROSION CONTROL PLAN
C2.1 SITE PLAN
C3.1 GRADING PLAN
C6.1 STRIPING PLAN
C7.1 DETAILS
C7.2 DETAILS

STRUCTURAL

S0.0 GENERAL NOTES
S0.1 ISOMETRIC VIEWS
S1.1 FOUNDATION & DETAILS
S3.1 DRIVE-THRU CANOPY
S4.1 FRAMING DETAILS

ARCHITECTURAL

AD1.1 ARCHITECTURAL DEMOLITION
AD1.2 ARCHITECTURAL DEMOLITION
AD1.3 ARCHITECTURAL DEMOLITION
A1.1 FLOOR PLANS
A1.2 ROOF PLAN / EGRESS PLAN
A1.3 REFLECTED CEILING PLANS
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A3.1 SECTIONS AND DETAILS
A4.1 DOORS AND WINDOWS
A5.1 INTERIOR ELEVATIONS

SITE UTILITIES

SU1.1 SITE UTILITIES PLAN

MECHANICAL

M1.1 UNDERSLAB PLUMBING PLAN
M1.2 PLUMBING PLAN
M2.1 HVAC PLAN
M3.1 SCHEDULES AND DETAILS

ELECTRICAL

E1.1 LIGHTING PLAN
E2.1 POWER PLAN

BUILDING CODE INFORMATION

AUTHORITY HAVING JURISDICTION: CITY OF BRYANT
APPLICABLE BUILDING CODES: 2021 ARKANSAS FIRE PREVENTION CODE - BUILDING, 2020 NEC, 2012 IEBC, 2009 IECC
CURRENT ZONING: C-2, COMMERCIAL
USE GROUPS: B, BUSINESS
CONSTRUCTION TYPE: V-B
BUILDING LIMITATIONS: ALLOWABLE HEIGHT: 2 STORIES (BASED ON B USE GROUP, IBC 2021, 504.4)
ALLOWABLE AREA: 9,000 S.F. (BASED ON B USE GROUP, IBC 2021, 506.2)
ACTUAL AREAS: 610 S.F. SERVICE AREA
OTHER CODE ITEMS: SEE EGRESS PLAN FOR ADDITIONAL ITEMS

PROJECT DESCRIPTION

INFILL OF AN EXISTING RESTAURANT TO CONVERT IT INTO A 7 BREW COFFEE PLACE. COFFEE, TEA AND ENERGY DRINKS ARE SERVED TO CUSTOMERS VIA DRIVE-THRU LANES. AN INTERIOR ORDERING AREA IS PROVIDED. DRINK ITEMS ARE THE ONLY ITEMS OFFERED ON THE MENU.

CANOPY & STAINLESS SUPPLIER



DREW RODIGER
PROJECT MANAGER
C: 417-425-4546
E: DREW@CMCMOD.COM

LEE LOVEALL
OWNER/DESIGN CONSULTANT
C: 417-353-1865
E: LEE@CMCMOD.COM

7 BREW DEVELOPMENT TEAM



CONSULTANTS

CIVIL ENGINEER:
ATOTH & ASSOCIATES
1550 E. REPUBLIC RD.
SPRINGFIELD, MO 65804
(417) 888-0645

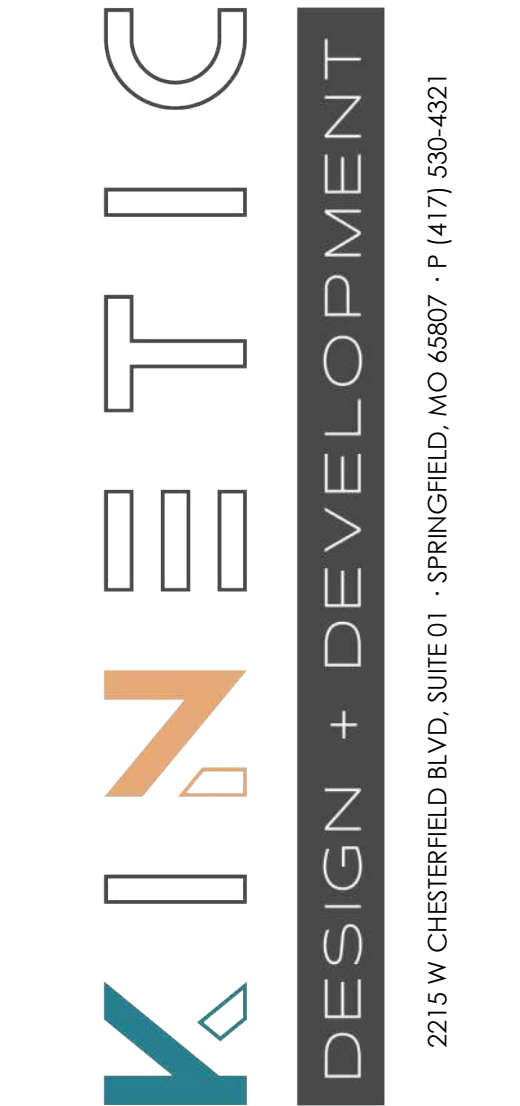
STRUCTURAL ENGINEER:
rtm engineering consultants
3045 S. KANSAS EXPY.,
SPRINGFIELD, MO 65807
(417) 708-9315

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
CJD
2225 WEST CHESTERFIELD BOULEVARD, SUITE
200 SPRINGFIELD, MO 65807
(417) 877-1700
Engineering | Energy | Innovation



VICINITY MAP

SCOPE OF WORK SCHEDULE	
CONSTRUCTION ITEM	RESPONSIBLE PARTY
EQUIPMENT LISTED IN EQUIPMENT SCHEDULE	OWNER PROVIDED, OWNER VENDOR INSTALLED (EXCEPT EQ-9)
SITE WORK INCLUDING BUT NOT LIMITED TO GRADING, PAVING, LANDSCAPING AND UTILITY EXTENSION TO BUILDING LOCATION.	GC
SITE AND FOUNDATION RELATED INSPECTIONS	GC
SITE LIGHTING	GC PROVIDED, GC INSTALLED.
SITE SIGNAGE	GC TO PROVIDE ELECTRICAL AND FOUNDATIONS. OWNER VENDOR TO PROVIDE SIGNS AND INSTALL.
SITE ELECTRICAL, PLUMBING AND MECHANICAL CONNECTIONS	GC
INSTALLATION OF MECHANICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO DUCTWORK, RTU'S, AHU'S, GRILLES, ETC.	GC
INTERIOR CLADDING AND FINISHES	GC
PLUMBING FIXTURES INSIDE OR TOUCHING THE BUILDING	GC
LIGHTING FIXTURES (EXCEPT SITE LIGHTING)	GC
COUNTERTOPS/TABLES	CMC, MANUFACTURE AND DELIVER
BUILDING SIGNAGE	CMC, DELIVER AND INSTALL
SLIDING DOORS	PROVIDED BY CMC, GC INSTALLED
TRASH ENCLOSURE GATES, HINGES/CLAMPS TO BOLLARDS, AND THEIR INSTALLATION.	CMC, COMPLETED ON SITE
CANOPIES	CMC, DELIVER AND INSTALL
LOW VOLTAGE EQUIPMENT	REFER TO SYSTEMS PLAN KEYNOTES



FIRM LICENSE NO. 24353

REGISTERED ARCHITECT
ABBYE BOBBETT
No. 912014
08/15/2014
STATE OF ARKANSAS

REGISTERED ARCHITECT
KINETIC DESIGN AND DEVELOPMENT, LLC
CDA-01104
STATE OF ARKANSAS

ARCHITECT OF RECORD:
NAME: ABBYE BOBBETT
LICENSE NO. 77051

PROJECT NUMBER: 24198 7BBA2
REVISION:

7 BREW COFFEE
BRYANT, AR #2
2006 N REYNOLDS ROAD
BRYANT, AR 72022

G0.0
COVER SHEET
DATE: AUGUST 15, 2024

EQUIPMENT AND FIXTURE SCHEDULE							
FEB NO.	EQ NO.	QTY.	MANUFACTURER	PRODUCT	PRODUCT NO.	SIZE	NOTES
#1	EQ-1	1	NORLAKE / KOLPAK / APPROVED EQ	REMOTE WALK-IN COOLER		675 CUBIC SF	B
	EQ-1.2	1	NORLAKE - CAPSULE PAK / APPROVED EQ	WALK-IN CONDENSER	CP8100JC-E-4-EV		B
	EQ-2	1	GRINDMASTER	DISPENSER	WTH20		
	EQ-3	1	LA MARZOCCO	ESPRESSO MACHINE	LINEA PB (AV) - 3		
#2	EQ-4	2	LA MARZOCCO	ESPRESSO MACHINE	LINEA PB (AV) - 4		
	EQ-5	2	MANITOWOC	ICE MAKER HEADS	IFY 1800 C		A
	EQ-6	1	MANITOWOC	ICE MAKER BIN	LB 1760	60"	
	EQ-7	27	TORRANI	SYRUP RACK			C
#3	EQ-8	3	VITAMIX	BLENDER			C, H
	EQ-9	4	BUILDING MANUFACTURER	STAINLESS STEEL STORAGE SHELVING		(A) 33 3/4" X 36" X 37" (B) 33 3/4" X 40" X 44" (C) 33 1/2" X 33" X 80" (D) 33 1/4" X 18" X 36"	B, D, G
#10	EQ-10	2	SPACEMAN	CHILLER MACHINE	6695-C		
	EQ-10.1	1	PROVIDED BY CMC	STAND/ ROLLING CART	CART - 550		
	EQ-11	3	MAZZER	COFFEE BEAN GRINDER	ROBUR S NERO		
	EQ-12	1	MAZZER	DECAF COFFEE BEAN GRINDER	SUPER JOLLY PRO V (E) NERO		
#13	EQ-13	3	RUBBERMAID	TRASH CONTAINER			C, E
	EQ-14	1	ATOSA	REFRIGERATED MERCHANDISER	MCF8723GR	54"	B
	EQ-15	3	JOHN BOOS	MOBILE ICE BINS	513034 CL24ICAB-31	36"	B
	EQ-16	1	ATOSA	UNDERCOUNTER REFRIGERATOR	MGF36RGR	36"	B
#14.2	EQ-17	3	STRONGWAY	AIR CURTAIN	49947	36"	D
	EQ-18	4	BLEND TECH	RAPID RINSE			B
	EQ-19	3	T&S BRASS	RINSE WELL W/ STEM	B-2822-01-F05		
	EQ-20	1	ATOSA	HAND WASH SINK	MRS-HS-18(W)	18" X 14" X 5"	B
#15	EQ-21	2	QUANTUM	WALL MOUNTED SHELF	1448GY	48" X 14"	B, E
	EQ-22	4	EPOXY COATED SHELVING UNIT	COOLER SHELVING		(2) 24" X 48" (2) 24" X 60"	B, F
	EQ-23	0	STAINLESS WALL SHELF	WALL MOUNTED SHELF		36" X 14"	B
	EQ-24	1	MULTI PURPOSE DRY CHEMICAL (2A:10BC) FIRE EXTINGUISHER	FIRE EXTINGUISHER	PER NFPA 10		C, I

A. REMOTE CONDENSOR - IF 1800C
B. EQUIPMENT MANUFACTURER SPEC IS OPTIONAL BUT MUST BE EQUAL APPROVED BY 78REW - U.N.O.
C. PROVIDED BY SMALLWARES PROVIDER
D. PROVIDED BY BUILDING MANUFACTURER
E. NOT SHOWN ON FLOOR PLAN, REFER TO INTERIOR ELEVATIONS
F. NOT SHOWN ON FLOOR PLAN, REFER TO A7.1
G. EQ-9D NOT ANCHORED AND LOCATION IS APPROXIMATE.
H. 3RD EQ-9S LOCATION IS MARKET AND OPERATION SPECIFIC
I. PROVIDED AND INSTALLED BY GC

GENERAL SCHEDULE NOTES:

ALL EQUIPMENT TO BE INSTALLED BY A LICENSED INSTALLER AND TO THE MANUFACTURERS SPECIFICATIONS

FINISH MATERIALS SCHEDULE				
SYMBOL	ITEM	DESCRIPTION	REMARKS	FINISH CLASSIFICATION
W1	FRP WALL PANEL	MARLITE OR APPROVED EQUAL FINISH: P100 SIZE: 4' X 9' X 3/32"	SERVICE AREA WALL FINISH	CLASS A
W2	GYP BOARD	USG SHEETROCK BRAND ECOSMART PANELS MANUFACTURER PRODUCT SIZE	DINING ROOM	CLASS A
MP-1	METAL SIDING	PAC-CLAD 16" METAL WALL PANEL COLOR: CITYSCAPE	EXTERIOR FINISH AND TRASH ENCLOSURE	
MP-2	BRAKE METAL	COLOR: PACIFIC BLUE FINISH: SMOOTH	METAL ROOF, COPING AND CANOPY COLUMNS	
MP-3	BRAKE METAL	COLOR: MATTE BLACK FINISH: SMOOTH	METAL SOFFIT	
MP-4	BRAKE METAL	COLOR: CITYSCAPE FINISH: SMOOTH	METAL COPING AT SIDE WALLS	
F1	RESILIENT VINYL FLOORING	PROTECT-ALL FLOORING COLOR: LIGHT GRAY	SERVICE AREA	
B1	METAL COVE BASE	METAL BASE COLOR: WHITE	SERVICE AREA	
B2	VINYL COVE BASE	EQUAL TO JOHNSONITE 4" VINYL COVE BASE. COLOR TO BE APPROVED BY OWNER.	DINING ROOM	
C1	VINYL FACED CEILING TILES	2X2	DINING ROOM AND SERVICE AREA WHERE EXISTING GRID IS TO BE UTILIZED	CLASS A
C2	VINYL FACED CEILING TILES	2X4	ALL LOCATIONS TO RECEIVE NEW CEILING GRID AT BACK OF HOUSE	CLASS A

FINISH MATERIALS SCHEDULE NOTES:

- ALL BUILDING FINISH ITEMS ARE PROVIDED BY CMC.
- CEILING AND WALLS ARE PRE-FINISHED/FACTORY FINISHED AND DO NOT REQUIRE PAINTING IN FIELD.

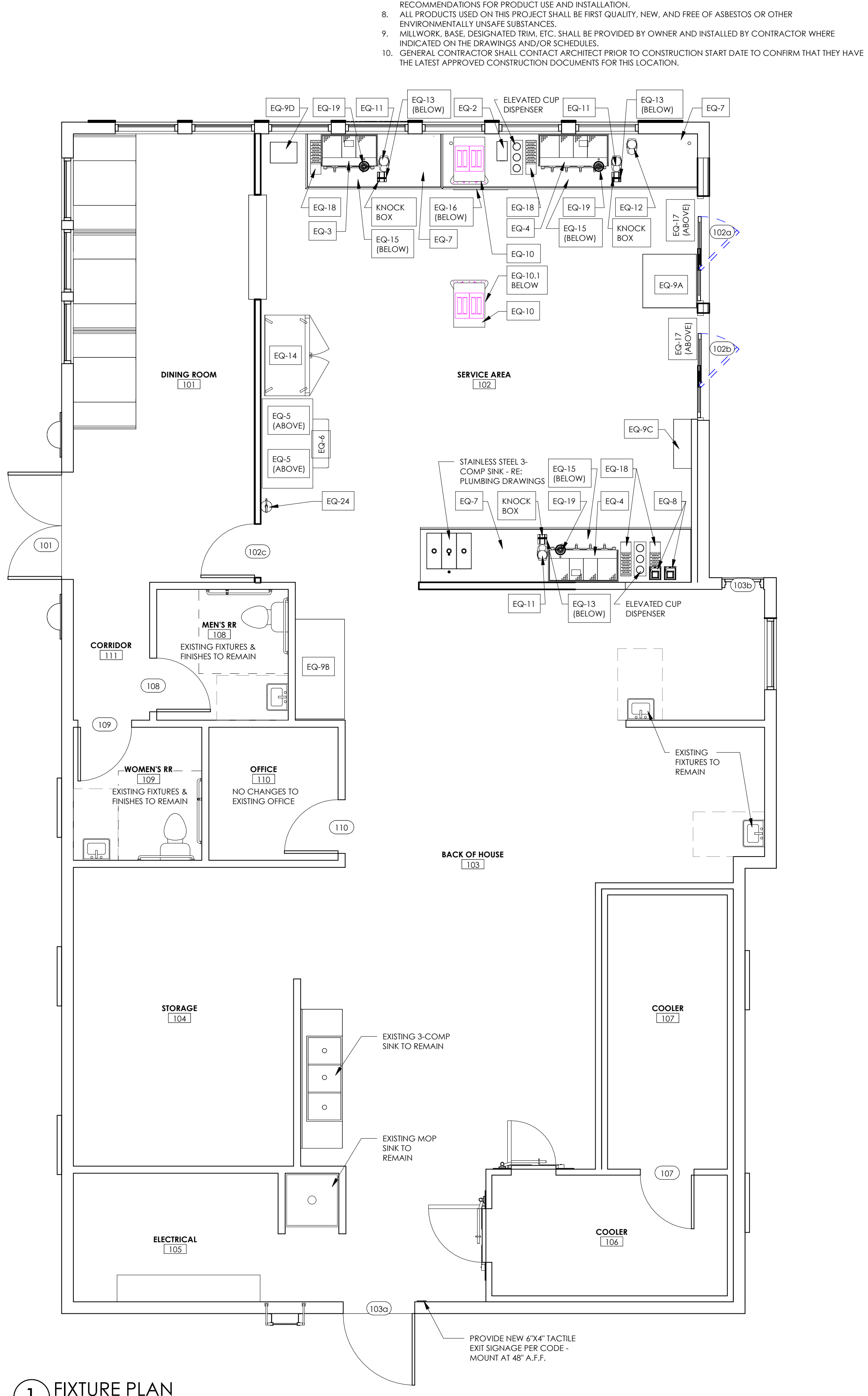
SUSTAINABILITY GUIDELINES

THE FOLLOWING GUIDELINES TO BE USED BY GENERAL CONTRACTOR ARE VOLUNTARY IN NATURE. IT IS HIGHLY RECOMMENDED THAT THE GENERAL CONTRACTOR FOLLOW THESE GUIDELINES TO THE EXTENT IT IS FEASIBLE.

- IMPROVE INDOOR AIR QUALITY:**
 - REDUCE CONSTRUCTION DUST AND AIR PARTICULATES WITH DUST CONTAINMENT SYSTEMS AND/OR SHUT OFF CIRCULATING AIR.
 - CHANGE HVAC FILTERS AT THE CONCLUSION OF THE JOB.
 - USE LOW V.O.C. PAINTS, ADHESIVES, SEALANTS, ETC

PREFABRICATED BUILDING

THIS BUILDING IS BEING FABRICATED IN A CONTROLLED ENVIRONMENT AND TRANSFERRED TO THE JOB SITE.
THIS BUILDING WILL BE FULLY INSPECTABLE ON SITE. 3RD PARTY INSPECTIONS WILL BE PROVIDED FOR STRUCTURAL, FRAMING, BUILDING, PLUMBING AND ELECTRICAL.



GENERAL CONSTRUCTION PROCEDURES

- ALL CONSTRUCTION SHALL BE EXECUTED IN STRICT COMPLIANCE WITH ALL LOCAL CODES AND ORDINANCES. GENERAL CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION REGULATIONS AND PROCEDURES ESTABLISHED BY THE LANDLORD.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING APPLICATIONS FOR AND PROCURING ALL PERMITS AND CERTIFICATES AS MIGHT BE REQUIRED BY GOVERNING AGENCIES AND SHALL BEAR THE COST FOR SUCH PERMITS AND CERTIFICATES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS OF THE SITE. EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURATE CONSTRUCTION DOCUMENTS, BUT IF A CONFLICT EXISTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. THESE DOCUMENTS INDICATE THE DESIGN INTENT AND IF EXISTING CONDITIONS ARE IN CONFLICT THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN DIRECT SUPERVISION OVER ALL SUBCONTRACTORS AND SHARE RESPONSIBILITY FOR THEIR PERFORMANCE AND QUALITY OF WORK. A LIST OF ALL SUBCONTRACTORS SHALL BE PROVIDED TO THE OWNER AND THE ARCHITECT. A COPY OF THIS LIST SHALL BE POSTED ON THE JOB SITE.
- ALL SIGNAGE AND MOUNTING DEVICES SHALL BE PROVIDED, AND ALL SIGNAGE APPROVALS OBTAINED, BY OWNERS SIGN CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL POWER AS REQUIRED AND ENSURE SUFFICIENT SPACE AND CLEARANCE IS PROVIDED FOR PROPER INSTALLATION. SIGNAGE CONTRACTOR SHALL APPLY FOR AND SECURE ALL APPROVALS REQUIRED BY ALL LOCAL GOVERNING AGENCIES AND SUPPLY ANY DRAWINGS OR GRAPHIC REPRESENTATIONS REQUIRED BY LANDLORD.
- ALL CONCEALED WOOD BLOCKING USED IN CONSTRUCTION SHALL BE FIRE-RETARDANT TREATED (IF APPLICABLE).
- GENERAL CONTRACTOR SHALL PERFORM AND/OR CAUSE TO BE PERFORMED ALL WORK IN A FIRST-CLASS WORKMANLIKE MANNER AND IN ACCORDANCE WITH EACH TRADE'S ESTABLISHED PROCEDURES AND MANUFACTURER'S RECOMMENDATIONS FOR PRODUCT USE AND INSTALLATION.
- ALL PRODUCTS USED ON THIS PROJECT SHALL BE FIRST QUALITY, NEW, AND FREE OF ASBESTOS OR OTHER ENVIRONMENTALLY UNSAFE SUBSTANCES.
- MILLWORK, BASE, DESIGNATED TRIM, ETC. SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR WHERE INDICATED ON THE DRAWINGS AND/OR SCHEDULES.
- GENERAL CONTRACTOR SHALL CONTACT ARCHITECT PRIOR TO CONSTRUCTION START DATE TO CONFIRM THAT THEY HAVE THE LATEST APPROVED CONSTRUCTION DOCUMENTS FOR THIS LOCATION.

TYPICAL SYMBOL LEGEND

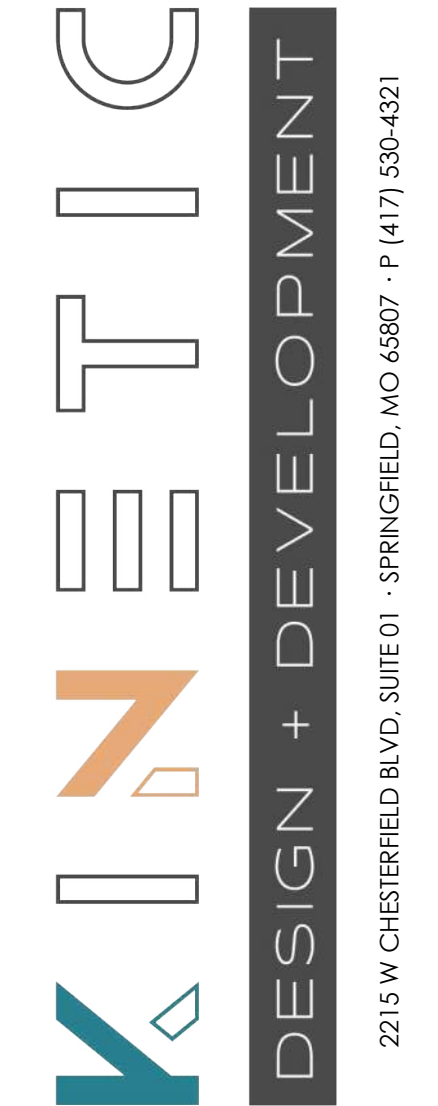
DETAIL NUMBER 12/A3.4	SHEET NUMBER	ELEVATION HEIGHT T.O. WALL 106'-0"
SQUARE FOOTAGE ROOM NAME 101 ### SF	ROOM NUMBER	ELEVATION TAG 1 A0.0 A0.0
DOOR TAG 000A		CEILING HEIGHT 0'-0"
SECTION CUT TAG 1 101		WINDOW TAG W1
ROOF SLOPE 12 2		REVISION DELTA A
WALL TYPE/ PARTITION TYPE W1		GRID BUBBLE 0.00
WALL PARTITION		ENLARGED DETAIL 101
EXISTING WALL		FINISH TAG PT-1

MATERIAL INDICATION

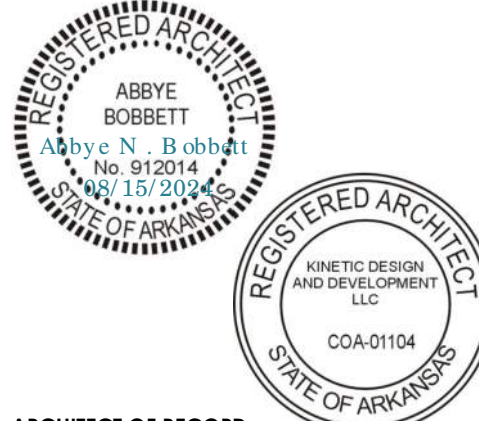
CONCRETE		FINISHED WOOD	
DIMENSIONAL LUMBER		GYPSUM BOARD	
RIGID INSULATION		PLYWOOD	
BATT OR BLOWN INSULATION		GLASS	
EARTH/BACKFILL		CMU	

ABBREVIATIONS

ACCOUST.	ACCOUSTICAL	L.H.B.	LEFT HAND BEVEL
ADD.	ADDITIONAL	L.H.R.B.	LEFT HAND REVERSE BEVEL
A.F.F.	ABOVE FINISH FLOOR	LN	LINEAR / LINEAL
AS FURNISHED	AS FURNISHED	LVR	LOUVER
AI	AS INSTALLED	MAS	MASONRY
ALT.	ALTERNATE	MATL	MATERIAL
ALUM.	ALUMINUM	MAX	MAXIMUM
ANCH.	ANCHOR	MEZZ	MEZZANINE
ARCHT.	ARCHITECT	MFR	MANUFACTURED
B	AT	MFR	MANUFACTURER
B	BOTTOM OF BEAM	MID	MIDDLE
B.F.	BOTTOM OF FOOTING	MIB	MISBUILT
BD	BOARD	MISC	MISCELLANEOUS
BLDG.	BLOCKING	MAR	MASONRY OPENING
BM	BENCH MARK	MID	MASONRY OPENING
B.O.	BOTTOM OF	MTL	METAL
BRC	BEARING	MULL	MULLION
BSMT	BASEMENT	NOM	NOMINAL
C.S.	COUNTERSINK	NTS	NOT TO SCALE
CAB.	CABINET	O.A.	OVERALL
C.C.	CENTER-TO-CENTER	O.C.	ON CENTER
CEM.	CEMENT	OD	OUTSIDE DIAMETER
CF	CONTRACTOR FURNISHED	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	OJH	OWNER FURNISHED OWNER INSTALLED
CI	CONTRACTOR installed	OJ	OVER
CLG	CEILING	OPNG	OPENING
C.O.	CLEAN OUT	OPP	OPPOSITE
COL.	COLUMN	PART	PARTITION
CONC.	CONCRETE	P.E.M.B.	PRE-ENGINEERED METAL BUILDING
CONF	CONFERENCE	PERIM	PERIMETER
CONSTR	CONSTRUCTION	P.G.	PRESENT GRADE
CONTR	CONTRIBUTOR	PLAM	PLASTIC LAMINATE
COORD	COORDINATE	PLAS	PLASTIC
CORR	CORRIDOR	PL	PROPERTY LINE
CTR	CENTER	PLUMB/G	PLUMBING
CTL	CYLINDER	PW	PLYWOOD
C.W.	CENTERLINE	P.P.	POWERPOLE
D	COLD WATER	PAR	PAR
DB	DOUBLE	PVC	POLYVINYL CHLORIDE
D.B.	DEGREE	Q.T.	QUARRY TILE
D.F.	DEGREE	R	RADIUS
DEMO	DEMOLITION	RCP	REINFORCED CONCRETE PIPE
DIAG	DIAGONAL	RE	REFER
DIMEN	DIMENSION	R.H.B.	RIGHT HAND BEVEL
DO-OVER	DO-OVER	RL	RIGHT HAND REVERSE BEVEL
DTL	DETAIL	RM	ROOM
DR	DOOR	R.O.	ROUGH OPENING
D.S.	DOWNPOUT	RES	RESILIENT TILE
EACH	EACH	REQD	REQUIRED
ELEC	ELECTRICAL	REQMT	REQUIREMENT
ELEV	ELEVATION (VIEW)	R.T.V.	ROTARY-TURBINE VENT
ELEV	ELEVATOR	REG	REGULAR
E.W.C.	ELECTRIC WATER COOLER	SAF	SAFETY
EQUIP	EQUIPMENT	SAN	SANITARY
EXISTG	EXISTING	SCHD	SCHEDULE
EXP	EXPOSED	S.C.	SOLID CORE
EXT	EXTERIOR / EXTENSION	SECT	SECTION
F.B.O.	FURNISHED BY OTHERS	SHT	SHEET
F.D.	FLOOR DRAIN	SH	SIMILAR
F.E.C.	FIRE EXTINGUISHER	SPEC	SPECIFICATION
F.E.B.	FIRE EXTINGUISHER BRACKET	STND	STANDARD
FIN	FINISH	STD	STUD
FIN	FINISH GRADE	STL	STEEL
F.L.	FLOW LINE	STOR	STORAGE
FLASH/G	FLASHING	STRUCT	STRUCTURE / STRUCTURAL
FLR	FLOOR	SURF	SURFACE
F.O.M.	FACE OF MASONRY	SUSP	SUSPENDED
FR	FOUNDATION	SYST	SYSTEM
FR	FRAME	TYP	TYPICAL
FRM	FIRE RETARDANT	T.O.	TOP OF
FURN	FURNISHED	U.H.O.	UNLESS NOTED OTHERWISE
F.V.T.	FIRE RETARDANT TREATED	VCP	VITRIFIED-CLAY PIPE
FIG	FOOTING	VEST	VESTIBULE
FUR	FURRING	VERT	VERTICAL
GAL	GALLON	VOL	VOLUME
GALV	GALVANIZED	VCT	VENT-THRU-ROOF
GC	GENERAL CONTRACTOR	W	WIDE
GLZ	GLAZING	W.I.	WITH
GOVT	GOVERNMENT	WO	WOOD
G.S.	GRAVEL STOP	W.D.	WINDOW DIMENSION
GEN	GENERAL	WOW	WEATHER RESISTANT BARRIER
GYP	GYPSUM	WRB	WELOD WIRE FABRIC
HDWR	HARDWARE	W.W.F.	WEATHER PROOF
H.C.	HOLLOW CORE	WT	WEIGHT
HCL	HOLLOW		
HORIZ	HORIZONTAL		
H	HEIGHT		
HT	HEIGHT		
HTR	HEATING		
H.W.	HOT WATER		
I.D.	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JNT	JOINT		
JTS	JOISTS		
K.E.S.	KITCHEN EQUIPMENT SUPPLIER		
LAM	LAMINATE		
LAV	LAVATORY		
LG	LONG		



FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBETT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

REVISION:

7 BREW COFFEE
BRYANT, AR #2
2006 N REYNOLDS ROAD
BRYANT, AR 72022

G0.1

GENERAL NOTES & SCHEDULES

DATE: AUGUST 15, 2024

SITE DEVELOPMENT PLANS FOR



BRYANT, AR

2006 NORTH REYNOLDS ROAD
BRYANT, AR

PROJECT NUMBER:
85 081

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0 250 500

NOTE: DRAWING REPRODUCTION
AND SCALING MAY CHANGE THE
INDICATED GRAPHIC SCALES
H. SCALE: 1" = 500'



1500 E. REPUBLIC ROAD
SPRINGFIELD, MO 65804
Ph: 417-888-0645 Fax: 417-888-0657
www.tothassociates.com

AR# 1008

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ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

PROJECT NUMBER:

85 081

REVISION:

7 BREW COFFEE
BRYANT, AR
2006 NORTH REYNOLDS ROAD
BRYANT, AR

C0.0
COVER SHEET

DATE: AUGUST 15, 2024

ABBREVIATIONS

BC	BACK OF CURB	■
CC	STANDARD CATCH CURB	▽
CL	CENTER LINE	●
CMP	CORRUGATED METAL PIPE	⊙
EP	EDGE OF PAVEMENT	✕
EX	EXISTING	△
FES	FLARED END SECTION	⊕
FL	FLOW LINE	⊙
GT	GUTTER INVERT	⊙
GY	GUY WIRE	①
HDPE	HIGH DENSITY POLYETHYLENE	②
INV	INVERT	⊙
LF	LINEAR FEET	⊙
MC	MOUNTABLE CURB	⊙
RW	RIGHT-OF-WAY	⊙
RCP	REINFORCED CONCRETE PIPE	⊙
SC	SPILL CURB	⊙
TB	TOP OF BASE ROCK	⊙
TC	TOP OF CURB	⊙
TG	TOP OF GROUND	⊙
TP	TOP OF PAVEMENT	⊙
TS	TOP OF SIDEWALK	⊙
TW	TOP OF WALL	⊙
TGV	TOP OF GRAVEL	⊙
EX TP	EXISTING TOP OF PAVEMENT	⊙

CIVIL LEGENDS

SYMBOLS

MARKER STONE	— PL —	PROPERTY LINE
RIGHT OF WAY MARKER	— RW —	RIGHT OF WAY LINE
IRON PIN FOUND	— S —	SANITARY SEWER LINE
IRON PIN SET	— FM —	SANITARY SEWER FORCE MAIN
CUT CROSS	— ST —	STORM SEWER LINE
CONTROL POINT	— IRR —	IRRIGATION WATER LINE
BENCHMARK	— FL —	FLOW LINE
SANITARY SEWER MANHOLE	— OHE —	OVERHEAD ELECTRIC LINE
STORM SEWER INLET	— UE —	UNDERGROUND ELECTRIC LINE
TELEPHONE MANHOLE	— G —	GAS LINE
POWER POLE	— W —	WATER LINE
GUY ANCHOR	— C —	COMMUNICATIONS LINE
LIGHT POLE	— T —	TELEPHONE LINE
TELEPHONE RISER	— FO —	FIBER OPTIC LINE
GAS VALVE	— CTV —	CABLE TELEVISION
GAS METER	— O —	CHAIN LINK FENCE
WATER VALVE	— X —	BARBED WIRE FENCE
WATER METER	— □ —	WOOD FENCE
FIRE HYDRANT	— 1000 —	EXISTING MAJOR CONTOUR
IRRIGATION VALVE	— 1001 —	EXISTING MINOR CONTOUR
WELL	— 1000 —	PROPOSED MAJOR CONTOUR
MAIL BOX	— 1001 —	PROPOSED MINOR CONTOUR
POST	— — —	TREE LINE
CLEANOUT	— — —	
SIGN	— — —	
AIR CONDITIONING UNIT	— — —	

LINETYPES

PROJECT CONTROL

BENCHMARKS

CONTROL DERIVED FROM OPUS SOLUTION, ARKANSAS STATE PLANE COORDINATE SYSTEM, AR-SF ZONE, NAD '83 FOR HORIZONTAL VALUES AND NAVD'88 FOR VERTICAL VALUES.

SURVEY NOTES:

THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A SURVEY PERFORMED JULY 8, 2024 BY HOPE CONSULTING, ARKANSAS PROFESSIONAL LAND SURVEYOR NO. 1664 AND IS NOT A PRODUCT OF TOT& ASSOCIATES.

CONTROL POINT TABLE

POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP 5000	20859.0520	62786.9230	392.01	FRB
CP 5100	21157.5040	62344.3580	388.43	ALUMINUM MON
CP 5105	20725.5650	62947.4720	387.89	FRB
CP 5107	20816.7210	62828.2580	389.27	FRB

FLOOD PLAIN INFORMATION:

FEMA PANEL #: 05125C0380E - EFFECTIVE DATE: 6/5/2020
FEMA ZONE - X: THE SUBJECT PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE.

DEVELOPER:

BREW CREW, LLC
MR. BRANDON SEBALD
3538 N HWY 112, STE 1
FAYETTEVILLE, AR 72704
914-384-1998

OWNER:

HB SEMINOLE, LLC
2006 REYNOLDS ROAD
BRYANT, ARKANSAS 72022



ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

PROJECT NUMBER:

85 081

REVISION:

SAFETY NOTICE TO CONTRACTOR

- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

UTILITY DISCLAIMER

- INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

USE OF CONSTRUCTION DOCUMENTS

- DRAWINGS AND SPECIFICATIONS ARE PROVIDED AS A SERVICE. DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED FOR USE ON OTHER PROJECTS AT THIS SITE OR OTHER SITES WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- DRAWING REPRODUCTION AND SCALING MAY ALTER THE INDICATED GRAPHIC SCALES.

SEDIMENT & EROSION CONTROL NOTES

- THE EROSION CONTROL PLAN SHOWS THE LOCATION AND DETAILS FOR PRIMARY EROSION CONTROLS TO BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION AND DISCHARGE OF SEDIMENT FROM THE SITE AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES DURING ALL PHASES OF HIS OPERATIONS REGARDLESS OF WHETHER THEY ARE SPECIFICALLY NOTED ON THE EROSION CONTROL PLAN AND SHALL MAINTAIN AND REPLACE CONTROLS AS NECESSARY DURING THE COURSE OF HIS OPERATIONS.
- INITIAL SEDIMENT CONTROLS SHOWN ON THE EROSION CONTROL PLAN MUST BE INSTALLED PRIOR TO ANY OTHER WORK.
- THE CONTRACTOR SHALL CLEAN ALL STREETS BOTH INTERIOR AND ADJACENT TO THE SITE, AS NEEDED AFTER EACH RAINFALL AND AT THE END OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING CONSTRUCTION AND SHALL WATER CONSTRUCTION AREAS WHENEVER CONDITIONS WARRANT.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT FROM STORM DRAINS, INLETS, CULVERTS, ETC. PRIOR TO APPROVAL OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT RECEIVING OTHER PERMANENT STABILIZATION SUCH AS PAVEMENT, ROOFS, SOD AND ETC. SHALL BE SEEDED AND MULCHED, AS PER THE PROJECT SPECIFICATIONS BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED AND PRIOR TO FINAL APPROVAL OF CONSTRUCTION.
- IF APPLICABLE THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS AS PUT FORTH IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP SHALL BE CONSIDERED AS A STARTING POINT FOR SEDIMENT AND EROSION CONTROLS AND THE CONTRACTOR WILL BE RESPONSIBLE FOR REVISING AND UPDATING EROSION CONTROLS AS SITE CONDITIONS CHANGE DURING THE COURSE OF CONSTRUCTION.

UTILITY CONSTRUCTION NOTES

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING UTILITY CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WHERE CONFLICTS MIGHT OCCUR WITH PROPOSED UTILITIES. IF A CONFLICT BECOMES APPARENT THE CONTRACTOR SHALL CONTACT ENGINEER FOR DIRECTION. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION BEING PERFORMED.
- ALL TRENCHES CROSSING PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED BEDDING MATERIAL IN CONFORMANCE WITH PROJECT DETAILS AND SPECIFICATIONS.
- ALL UTILITY CONSTRUCTION AND MATERIALS SHALL BE IN CONFORMANCE WITH CITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS AND STANDARD PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER.
- INSTALL TRACER WIRE WITH ALL SANITARY SEWER AND POTABLE WATER UTILITIES AS REQUIRED. CONNECT TRACER WIRE TO EXISTING TRACER WIRE AND STUB UP END OF THE TRACER WIRE AT THE ENDS OF RUNS IN ACCORDANCE WITH UTILITY OWNER'S SPECIFICATIONS.
- ALL HDPE PIPE, JOINTS AND FITTINGS SHALL BE ADS N-12 OR EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- COORDINATE THE INSTALLATION OF THE STORM SEWER WITH THE INSTALLATION OF THE POTABLE WATER, COMMUNICATION, ELECTRIC AND SANITARY SEWER TO AVOID CONFLICTS.
- EARTHWORK SHALL BE PLACED TO FINISH GRADE IN THE IMMEDIATE AREA OF UTILITIES PRIOR TO CONSTRUCTION OF UTILITIES TO INSURE PROPER DEPTH OF COVER FOR UTILITIES.
- ALL MATERIALS TO BE SUPPLIED AND LABOR TO BE DONE BY CONTRACTOR SHALL BE COMPLETED AS A PART OF THIS WORK, UNLESS STATED OTHERWISE.
- ALL UTILITY SERVICE LINES SHALL BE KEPT IN SERVICE AND PROTECTED DURING CONSTRUCTION OPERATIONS. THE DRAWINGS INDICATE THE LOCATION OF KNOWN EXISTING UTILITY SERVICE LINES AS COULD BE DETERMINED.
- ANY RELOCATION OF UTILITY SERVICE LINES THAT ARE REQUIRED TO COMPLETE THE PROJECT IS TO BE COMPLETED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND IS TO BE CONSIDERED SUBSIDIARY TO OTHER PROJECT COSTS.
- ALL WATER, SEWER, FIBER OPTIC CABLE, GAS SERVICE AND OTHER UTILITY REQUIREMENTS SHALL BE COORDINATED WITH THE APPROPRIATE LOCAL UTILITY PROVIDERS PRIOR TO INSTALLATION. ALL COSTS ASSOCIATED WITH THE WATER, SEWER, FIBER OPTIC CABLE, GAS SERVICE ENTRANCE AND OTHER UTILITY REQUIREMENTS SHALL BE BORNE BY THE CONTRACTOR, INCLUDING THOSE COSTS, IF ANY, FROM THE LOCAL UTILITY PROVIDERS AND INCLUDE ALL COSTS ASSOCIATED WITH WORK PERFORMED BY THE LOCAL UTILITY PROVIDERS AND CONNECTION FEES INTO THEIR BID.

SITE GRADING NOTES

- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING UTILITY CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WHERE CONFLICTS MIGHT OCCUR WITH PROPOSED UTILITIES. IF A CONFLICT BECOMES APPARENT THE CONTRACTOR SHALL CONTACT ENGINEER FOR DIRECTION. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION BEING PERFORMED.
- THE CONTOURS, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS ETC. REFER TO TYPICAL SECTIONS FOR PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
- CONTRACTOR SHALL FINISH GRADE EARTH SLOPES AS SHOWN TO NO STEEPER THAN 1 FOOT VERTICAL TO 3 FEET HORIZONTAL.
- CONTRACTOR SHALL GRADE LANDSCAPED AREAS AT A MINIMUM OF 1% TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON THE PLANS. NO EXTRA PAYMENT WILL BE MADE FOR OBTAINING FILL MATERIAL FROM OFF-SITE AREAS REQUIRED TO CONSTRUCT FILL TO THE LINES AND GRADES INDICATED ON THE DRAWINGS.
- NO CLASSIFICATION OF EXCAVATED MATERIALS WILL BE MADE UNLESS OTHERWISE SPECIFIED IN THE PROJECT DOCUMENTS. EXCAVATION WORK SHALL INCLUDE THE REMOVAL AND SUBSEQUENT HANDLING OF ALL MATERIALS EXCAVATED OR OTHERWISE REMOVED FOR THE PERFORMANCE OF THE WORK, REGARDLESS OF TYPE, CHARACTER, COMPOSITION OR CONDITION THEREOF. NO ADDITIONAL PAYMENT WILL BE MADE FOR ROCK EXCAVATIONS UNLESS OTHERWISE SPECIFIED IN THE PROJECT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE AMOUNT OF ROCK EXCAVATION, IF ANY, TO BE INCLUDED IN HIS BID.
- ALL DISTURBED AREAS, NOT RECEIVING PERMANENT STABILIZATION, SHALL HAVE 4" OF TOPSOIL REPLACED, TO LEAVE A SMOOTH SEEDBED SUITABLE TO RECEIVE SEED. SURFACE ROCK 1-1/2" OR GREATER IN ANY DIMENSION SHALL BE REMOVED FROM ALL FINISH GRADED AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEEDING WORK.
- THE CONTRACTOR SHALL GRADE ALL AREAS DISTURBED DURING THE COMPLETION OF THIS PROJECT TO PREVENT PONDING OR EROSION ON THIS SITE OR ADJACENT UNDISTURBED AREAS.
- ALL ITEMS REMOVED SHALL BE DISPOSED OFF SITE BY THE CONTRACTOR IN ACCORDANCE WITH REQUIREMENTS OF LOCAL AUTHORITIES.
- PRIOR TO MOVING OFF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO MAKE A FINAL REVIEW OF THE CONSTRUCTION SITE.
- IN THE EVENT THAT BLASTING IS PERMITTED ON THE PROJECT, THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, APPLICABLE SAFETY CODE REQUIREMENTS AND REGULATIONS RELATIVE TO THE HANDLING, STORAGE AND USE OF EXPLOSIVES AND THE PROTECTION OF LIFE AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED BY HIS BLASTING OPERATIONS.

DEMOLITION NOTES

JOB CONDITIONS

- THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF ANY STRUCTURES TO BE DEMOLISHED.
- ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE PROJECT SITE AT THE APPROVAL OF THE OWNER. TRANSPORT THE SALVAGED ITEMS FROM THE SITE AS THEY ARE REMOVED.
- THE USE OF EXPLOSIVES WILL NOT BE PERMITTED ON THIS PROJECT.
- THE CONTRACTOR SHALL CONDUCT THE DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- THE CONTRACTOR SHALL INSURE SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION AREA. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDING STRUCTURES AND OTHER FACILITIES THAT ARE TO REMAIN; AND INJURY TO PERSONS.
- PROVIDE INTERNAL AND EXTERNAL SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF ANY STRUCTURES TO BE DEMOLISHED AND ANY ADJACENT FACILITIES TO REMAIN.
- MAINTAIN EXISTING UTILITIES INDICATED TO STAY IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DISCONNECT ALL UTILITIES SERVING ANY STRUCTURES TO BE DEMOLISHED, PRIOR TO START OF DEMOLITION WORK.

DEMOLITION

- POLLUTION CONTROLS: USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR, COMPLY WITH GOVERNMENT REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS AS THEY EXIST PRIOR TO START OF WORK.
- BREAK UP AND REMOVE CONCRETE SLABS ON GRADE, UNLESS OTHERWISE SHOWN TO REMAIN.
- BELOW-GRADE CONSTRUCTION: DEMOLISH FOUNDATION WALLS AND OTHER BELOW GRADE CONSTRUCTION, INCLUDING CONCRETE SLABS, TO A DEPTH OF NOT LESS THAN 12" BELOW THE LOWEST FOUNDATION LEVEL.
- FILLING VOIDS: COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION AS OUTLINED BELOW.
- USE SATISFACTORY SOIL MATERIALS AS DEFINED IN THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE. CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER.
- PRIOR TO PLACEMENT OF FILL MATERIAL, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST OR FROZEN MATERIAL, TRASH AND DEBRIS.
- PLACE FILL MATERIAL IN HORIZONTAL LAYERS AT DEPTHS AND MOISTURE CONTENTS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEERING REPORT, IF AVAILABLE.
- AFTER FILL PLACEMENT AND COMPACTION, GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE FLOW TO SURFACE STRUCTURES.
- ALL TREES INDICATED TO BE REMOVED SHALL BE REMOVED IN ACCORDANCE WITH THE STATE PARKS AND WILDLIFE'S WILD HABITAT ASSESSMENT PROGRAM FOR THE SITE PER NOVEMBER 1 THROUGH MARCH 31. IF ANY TREES NEED TO BE REMOVED OUTSIDE OF THIS TIMEFRAME, CONTRACTOR SHALL FOLLOW BEST PRACTICES AS PRESCRIBED BY THE US FISH AND WILDLIFE SERVICE TO PRESERVE THE HABITAT OF ANY ENDANGERED SPECIES POTENTIALLY PRESENT ON SITE.

DISPOSAL OF DEMOLISHED MATERIALS

- REMOVE FROM SITE ACCUMULATED VEGETATION, DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM THE DEMOLITION OPERATION.
- BURNINGS OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES AND VEGETATION WILL NOT BE PERMITTED ON SITE.
- REMOVAL: TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES, VEGETATION, PAVEMENT AND BASE ROCK AND LEGALLY DISPOSE OFF SITE.

PROTECTION OF EXISTING STRUCTURES AND VEGETATION

- CONTRACTOR SHALL INSTALL 6" STEEL FENCE POSTS, DRIVEN 18" INTO THE GROUND, AT 10' ON CENTER AT TREE DRIE LINES AND INSTALL 4" TENAX ORANGE WARNING BARRIER, OR EQUAL, ATTACHED AS RECOMMENDED BY THE MANUFACTURER, TO PROTECT EXISTING TREES DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE POSTS AND FENCE FABRIC AFTER ALL CONSTRUCTION IS COMPLETE.

GENERAL CIVIL NOTES

- THE GENERAL NOTES ON THE DRAWINGS ARE INTENDED TO SUPPLEMENT THE GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS. WHEN THE NOTES ON THE DRAWINGS CONFLICT WITH THE TECHNICAL REQUIREMENTS OUTLINED IN THE SPECIFICATIONS, THE MORE STRINGENT CRITERIA WILL GOVERN.
- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS, THE PROJECT TECHNICAL SPECIFICATIONS, AND THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE LOCAL AUTHORITY, UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). DURING CONSTRUCTION, ACCESS SHALL BE MAINTAINED FOR EMERGENCY VEHICLES AND LOCAL TRAFFIC. THE FIRE, POLICE AND AMBULANCE DEPARTMENTS, SCHOOL BUS COMPANIES AND POST OFFICE ARE TO BE NOTIFIED 48 HOURS PRIOR TO ANY ROAD CLOSINGS.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. DURING CONSTRUCTION CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UTILITIES WHERE CONFLICTS MIGHT OCCUR WITH PROPOSED UTILITIES OR GRADING ACTIVITIES. IF A CONFLICT BECOMES APPARENT THE CONTRACTOR SHALL CONTACT ENGINEER FOR DIRECTION. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE UTILITY COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION BEING PERFORMED.
- EXISTING UNDERGROUND UTILITIES IN THE VICINITY OF THE WORK TO BE DONE ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE OR DISCOVERED BY THE ENGINEER IN PREPARATION OF THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES, INCLUDING SERVICE CONNECTIONS, IN ADVANCE OF CONSTRUCTION ACTIVITIES BY CONTACTING THE OWNERS THEREOF AND BY PROSPECTING. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER AND ENGINEER IN WRITING OF ANY DISCREPANCIES WITH THE PLAN INFORMATION, ALL DAMAGE TO EXISTING UTILITIES, INCLUDING SERVICE CONNECTIONS, SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND OWNER WILL PAY ALL FEES AS REQUIRED BY PERMITS FOR THIS CONSTRUCTION.
- ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO EITHER THE LOCAL JURISDICTION OR THE STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS; WHICH EVER IS APPLICABLE.
- ALL TRENCHES CROSSING THROUGH PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED CRUSHED STONE MATERIAL AS PER PROJECT DETAILS AND SPECIFICATIONS.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ANY ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS SHOWN ON PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS IN THE VICINITY OF THE JOB CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE RIGHT OF WAY AND FOR DAMAGED IMPROVEMENTS SUCH AS CURBS, SIDEWALKS, STREET LIGHT AND TRAFFIC SIGNAL JUNCTION BOXES, TRAFFIC SIGNAL LOOP WIRING, SIGNAL POLES AND ETC. DAMAGED IMPROVEMENTS SHALL BE REPAIRED IN CONFORMANCE WITH THE LATEST CITY AND STATE REGULATIONS AND TO THEIR SATISFACTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION AS OUTLINED IN THE EROSION CONTROL PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), IF APPLICABLE. EROSION CONTROL PROCEDURES SHALL BE IN PLACE PRIOR TO GRADING ACTIVITIES.
- THE CONTRACTOR SHALL CLEAN OUT ALL INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT THE COMPLETION OF SITE WORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND LOCAL JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, AND ONE (1) COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE SITE AT ALL TIMES.
- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS AND/OR INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. NO EXTRA COSTS WILL BE PAID TO THE CONTRACTOR DUE TO UNANTICIPATED EXISTING CONDITIONS AND/OR INSTALLATIONS. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.

C0.1

GENERAL NOTES

DATE: AUGUST 15, 2024

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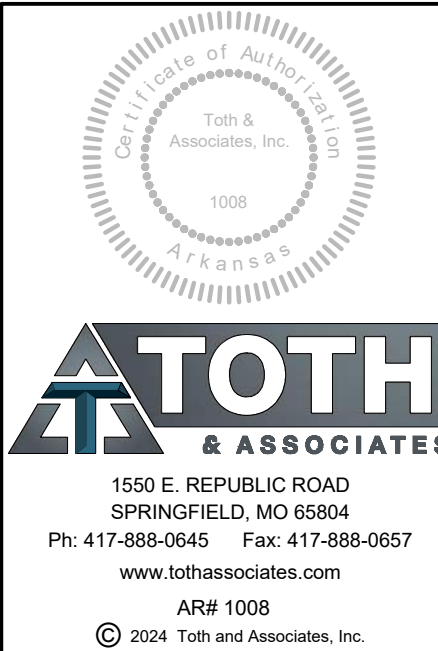
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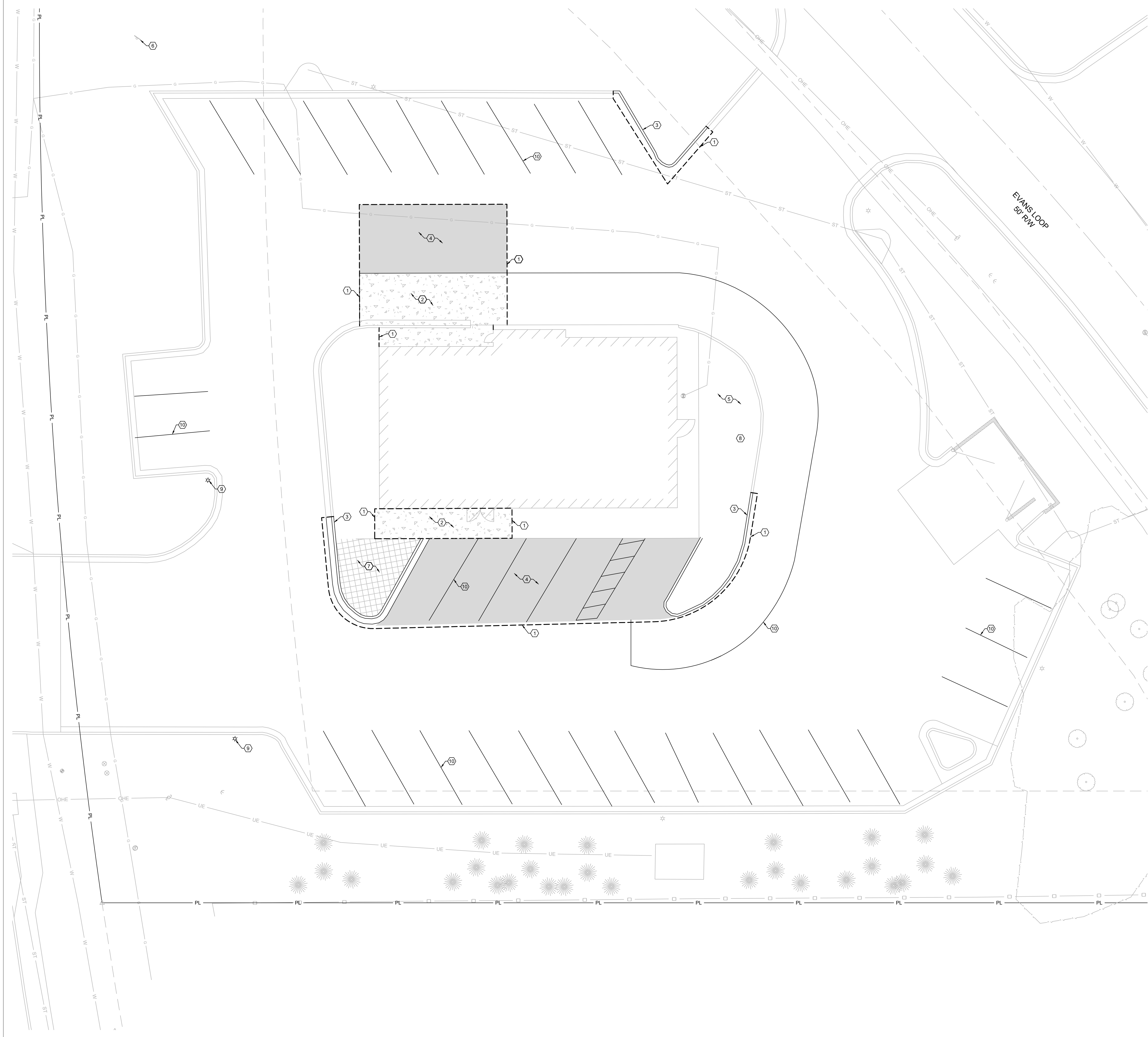
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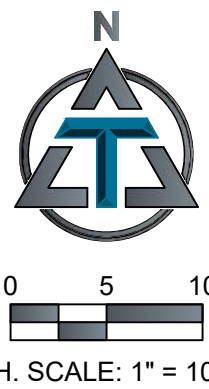


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- HATCH LEGEND:**
- [Solid Grey Hatch] = ASPHALT AREA TO BE REMOVED.
 - [Patterned Hatch] = CONCRETE AREA TO BE REMOVED.
 - [Cross-hatch] = LANDSCAPE SHRUBS & TREES TO BE REMOVED.

- KEY NOTES:**
- ① SAW CUT CLEAN EDGE FOR PAVEMENT REMOVAL. PROTECT EDGE OF PAVEMENT DURING CONSTRUCTION.
 - ② REMOVE 700 S.F. ± OF CONCRETE.
 - ③ REMOVE 135 L.F. ± OF CONCRETE CURB.
 - ④ REMOVE 1651 S.F. ± OF ASPHALT PAVEMENT.
 - ⑤ EXISTING LANDSCAPING. DO NOT DISTURB.
 - ⑥ REMOVE EXISTING SIGN FACE. PYLON AND FOUNDATION TO REMAIN FOR REUSE.
 - ⑦ REMOVE 222 S.F. EXISTING LANDSCAPING.
 - ⑧ REMOVE EXISTING MENU BOARD AND INTERCOM.
 - ⑨ REMOVE EXISTING LIGHT POLE.
 - ⑩ REMOVE EXISTING STRIPING, TYPICAL.



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ENGINEER OF RECORD:
NAME: SHAWN W. BARRY
LICENSE NO. AR #PE-16815

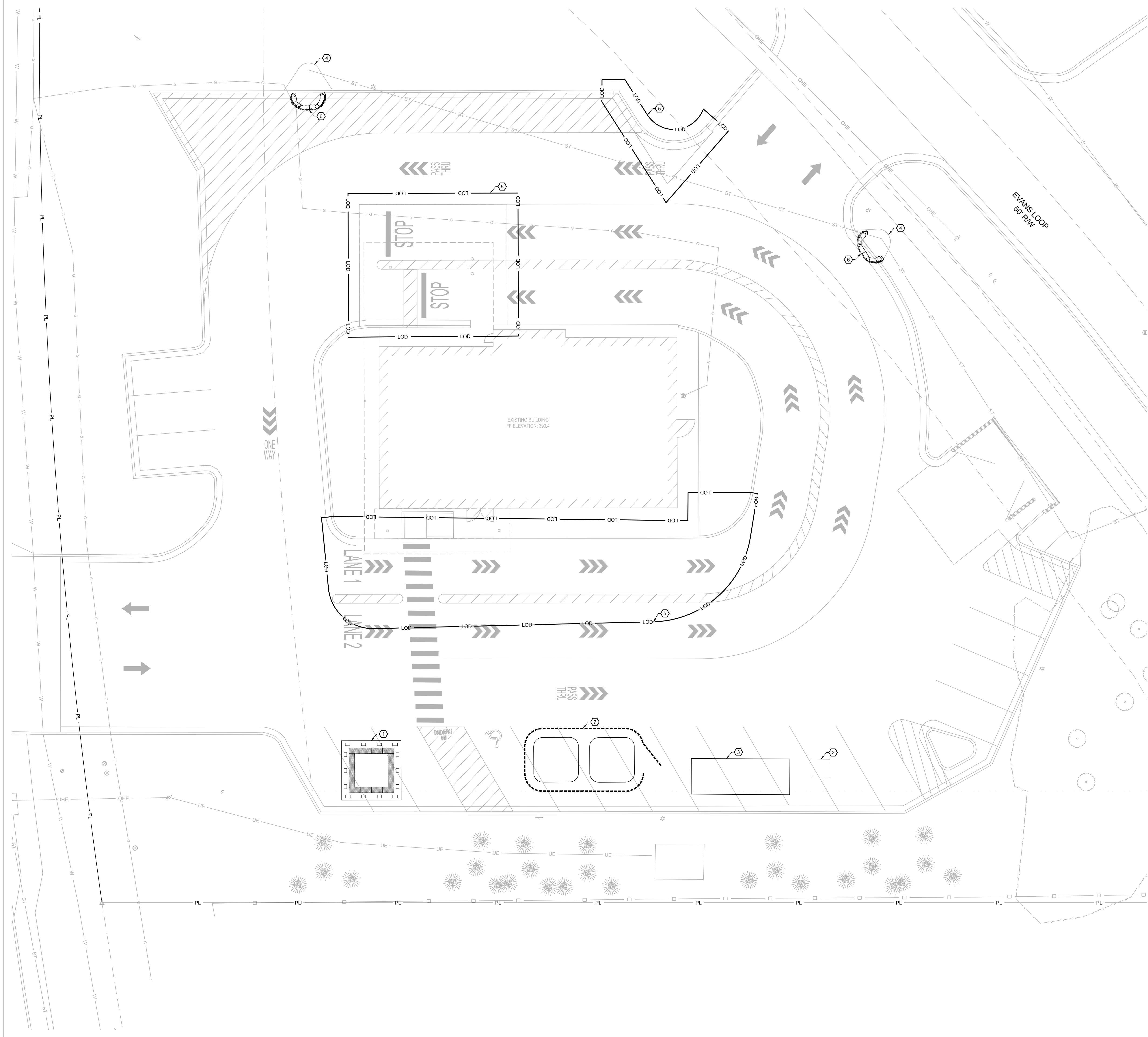
PROJECT NUMBER:
85 081

REVISION:

7 BREW COFFEE
BRYANT, AR
2006 NORTH REYNOLDS ROAD
BRYANT, AR

C1.1
DEMOLITION PLAN

DATE: AUGUST 15, 2024



- KEY NOTES:
- ① APPROXIMATE LOCATION OF CONCRETE WASHOUT PER DETAIL 1.03 SHEET C7.1.
 - ② APPROXIMATE LOCATION OF PORTABLE RESTROOM.
 - ③ APPROXIMATE LOCATION OF TEMPORARY ROLL-OFF DUMPSTER.
 - ④ PROPOSED OUTFALL.
 - ⑤ LIMITS OF DISTURBANCE = 0.08 ACRES.
 - ⑥ CURB INLET SEDIMENT BARRIER PROTECTION PER DETAIL 1.04 SHEET C7.2.
 - ⑦ APPROXIMATE LOCATION OF SOIL STOCKPILES. PROTECT STOCKPILES WITH COMPOST FILTER SOCK.

PHASING TABLE:		
PHASE	CONSTRUCTION ACTIVITIES	BEST MANAGEMENT PRACTICES INSTALLED
PHASE 1 (PRE - CONSTRUCTION)	INSTALLATION OF PRE-CON BMPs	~ TREE PROTECTION ~ CONSTRUCTION ENTRANCE ~ PERIMETER CONTROL (SILT SOCK)
PHASE 2	CLEARING	~ RETAIN TOPSOIL ~ STOCK PILE PROTECTION ~ DEWATERING ~ DUST CONTROL
PHASE 3	CONSTRUCTION	~ CONCRETE WASHOUT PIT ~ CONSTRUCTION ENTRANCE ~ TEMPORARY SEEDING
PHASE 4 (FINAL STABILIZATION)	FINAL STABILIZATION OF ALL DISTURBED AREAS	~ HYDROSEED ~ RIP RAP PLACEMENT ~ SEED / STRAW



ENGINEER OF RECORD:
NAME: SHAWN W. BARRY
LICENSE NO. AR #PE-16815

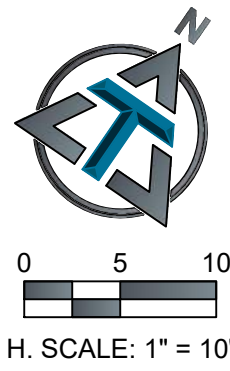
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REVISION:

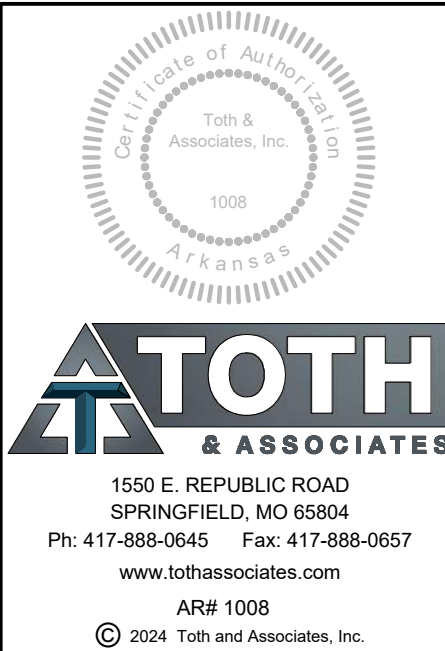
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BRYANT, AR
2006 NORTH REYNOLDS ROAD
BRYANT, AR

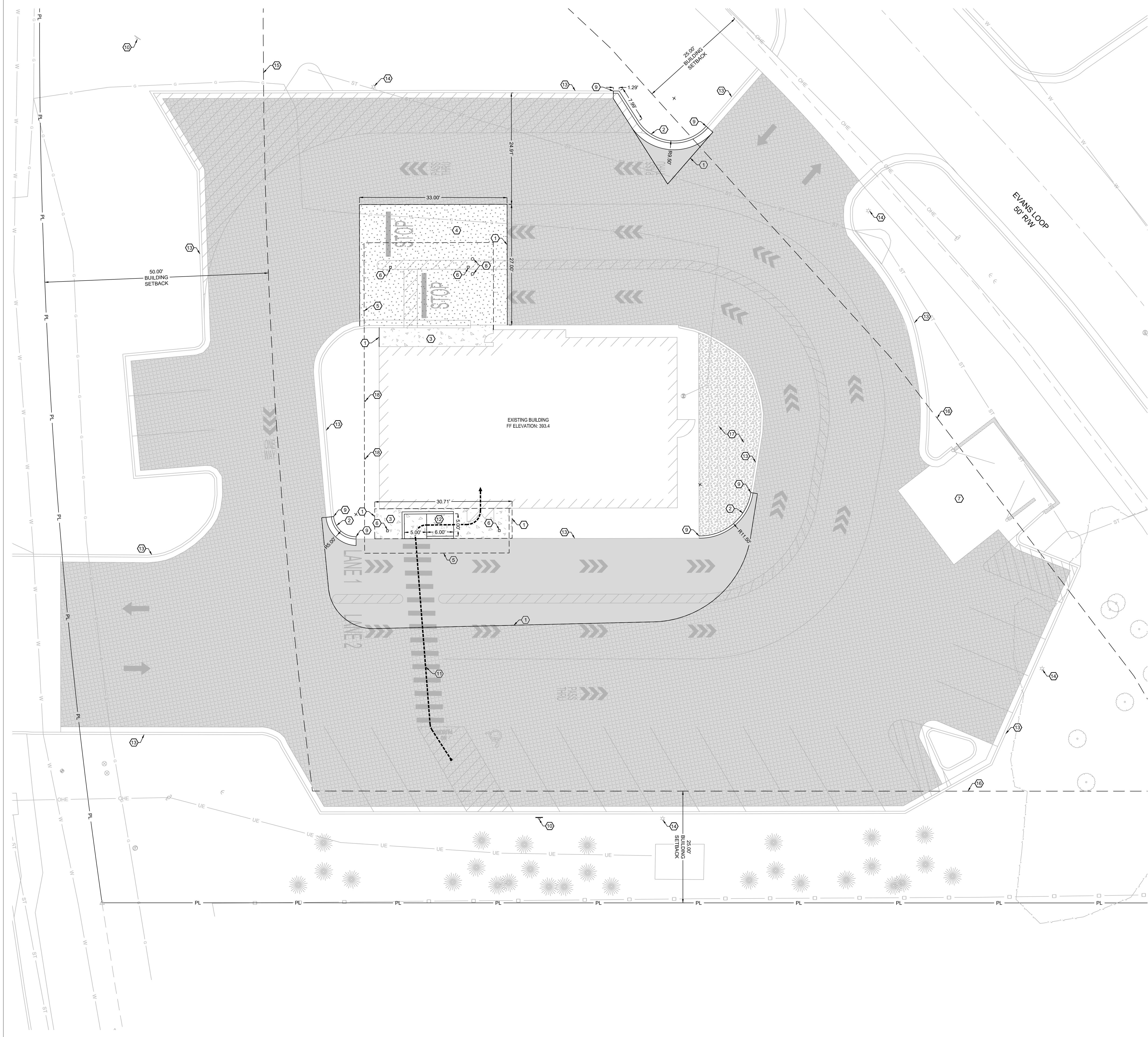
C1.2
EROSION
CONTROL PLAN

DATE: AUGUST 15, 2024



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HATCH LEGEND:

- ASPHALT PAVEMENT
PER DETAIL 2.06 SHEET C7.1.
- ASPHALT SEAL COAT OVER EXISTING PAVEMENT, PER
MANUFACTURERS RECOMMENDATIONS.
- CONCRETE SIDEWALK
PER SIDEWALK DETAIL 2.02 SHEET C7.1.
- CONCRETE PAVEMENT
PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05 SHEET C7.1.
- EXISTING LANDSCAPING.

KEY NOTES:

- MATCH EXISTING PAVEMENT.
- CONCRETE CURB & GUTTER PER DETAIL 2.01 SHEET C7.1.
- SIDEWALK PER DETAIL 2.02 SHEET C7.1.
- CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05 SHEET C7.1.
- BUILDING CANOPY OUTLINE.
- CANOPY COLUMNS LOCATIONS, TYPICAL.
- EXISTING TRASH ENCLOSURE AND NEW GATE.
- 36" X 4.5" BOLT-DOWN STEEL PIPE SAFETY BOLLARD.
- CONNECT TO EXISTING CURB.
- SIGN, SEE SHEET C6.1.
- ACCESSIBLE PATH FROM PARKING TO BUILDING.
- TYPE 2 ADA CURB RAMP PER DETAIL 2.12 SHEET C7.2.
- EXISTING CURB AND GUTTER, DO NOT DISTURB.
- EXISTING LIGHT POLE, TO REMAIN.
- 50 FOOT BUILDING SETBACK LINE.
- 25 FOOT BUILDING SETBACK LINE.
- EXISTING LANDSCAPING TO REMAIN, PROTECT AS NEEDED. REMOVE AND REPLACE LANDSCAPING WITH LIKE SPECIES AS NECESSARY FOR MENU BOARD DEMOLITION.
- CANOPY COLUMN TO BE FASTENED TO EXISTING SITE CONCRETE. CONTRACTOR TO FIELD VERIFY LOCATION DURING CONSTRUCTION.

PROPOSED USE:

RESTAURANT WITH DRIVE THRU.

ZONING:

ZONING: C-2 HIGHWAY COMMERCIAL DISTRICT.

PARKING REQUIREMENTS:

1 SPACE PER 300 S.F.
REQUIRED = 8 SPACES AT 2,400 S.F.
PROVIDED = 19 STALLS, 18 STANDARD AND 1 ADA.

BUILDING AND LOT DATA:

LOT SIZE 56,688 S.F. = 1.30 ACRES
PROJECT FOOTPRINT 3,448 S.F. = 0.08 ACRES
EXISTING BUILDING (1 STORY) - RETAIL = 2,400 S.F.

QUANTITIES

CURB & GUTTER: 75 L.F.
ASPHALT PAVEMENT: 1,795 S.F.
ASPHALT SEAL COAT: 19,395 S.F.
8" CONCRETE PAVEMENT: 310 S.F.
4" CONCRETE SIDEWALK: 305 S.F.

KNOWN EXISTING UTILITIES

UTILITY	UTILITY	PHONE NUMBER
ELECTRIC	FIRST ELECTRIC COOPERATIVE	800-489-7405
WATER	CITY OF BRYANT	501-943-0441
SANITARY SEWER	CITY OF BRYANT	501-943-0441



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ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

PROJECT NUMBER:

85 081

REVISION:

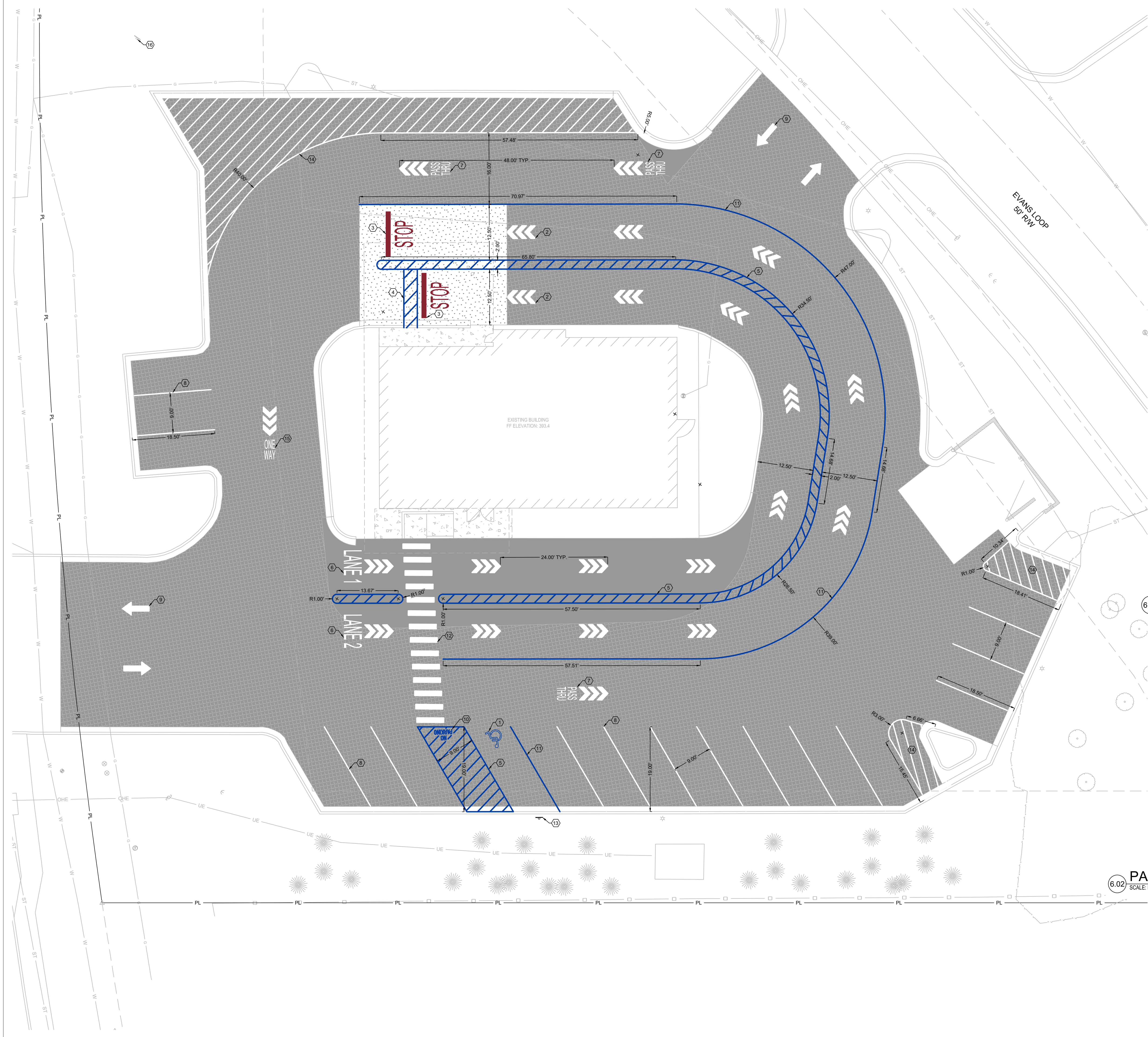
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BRYANT, AR

2006 NORTH REYNOLDS ROAD
BRYANT, AR

C 2.1

SITE PLAN

DATE: AUGUST 15, 2024

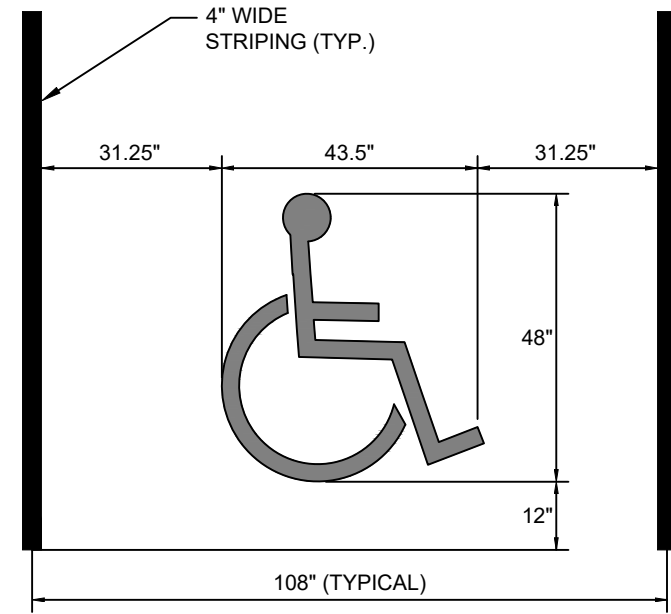


HATCH LEGEND:

- ASPHALT PAVEMENT
PER DETAIL 2.06 SHEET C7.1.
- ASPHALT SEAL COAT OVER EXISTING PAVEMENT, PER
MANUFACTURERS RECOMMENDATIONS.
- CONCRETE SIDEWALK
PER SIDEWALK DETAIL 2.02 SHEET C7.1.
- CONCRETE PAVEMENT
PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05 SHEET C7.1.

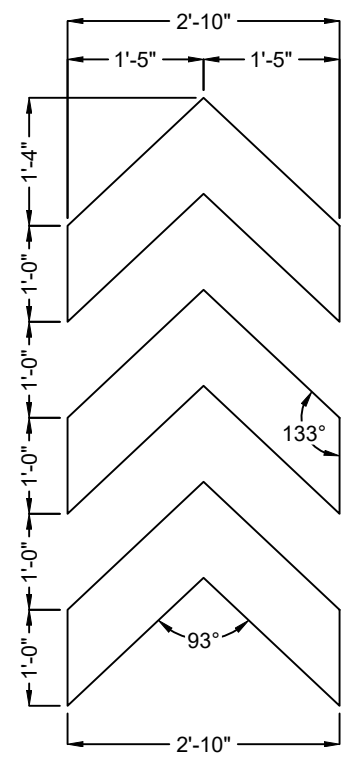
KEY NOTES:

- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01 THIS SHEET.
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER, PER DETAIL 6.02 THIS SHEET.
- 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
- ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- 4-INCH SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.
- 48-INCH TALL "LANE # PAINTED IN WHITE.
- 24-INCH TALL "PASS THRU" PAINTED IN WHITE.
- 4-INCH SOLID WHITE PAVEMENT MARKER FOR PARKING, TYPICAL.
- SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING.
- "NO PARKING" PAINTED IN ACCESS AISLE. ALL CAPITAL LETTERS < 12-INCH
HEIGHT LETTERS, 2-INCH STROKE.
- 4-INCH SOLID BLUE PAVEMENT MARKER.
- CROSS WALK PAVEMENT MARKING, 12" WIDE BY 6' LONG SOLID WHITE PAINT SPACED EVERY 3'.
ORIENT THE STRIPES IN THE DIRECTION SHOWN PARALLEL TO THE DIRECTION OF TRAFFIC.
- ADA VAN ACCESSIBLE SIGN PER DETAIL 6.03 SHEET C7.1.
- 4-INCH SOLID WHITE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.
- 24-INCH TALL "ONE WAY" PAINTED IN WHITE.
- REPLACE SIGN FACE OF EXISTING PYLON SIGN.



ADA ACCESSIBLE PARKING SYMBOL

6.01 SCALE: NONE



PARKING LOT STRIPING COLORS & PAINT	
ASPHALT PAINT COLORS:	
WHITE	PANTONE 000C
BLUE	PANTONE 293
CONCRETE PAINT COLORS:	
RED	PANTONE 202
BLUE	PANTONE 293
PMS 000C	
R: 255	
G: 255	
B: 255	
HEX: FFFFFF	
PMS 293	
R: 0	
G: 61	
B: 165	
HEX: 003DA5	
PMS 202	
R: 138	
G: 36	
B: 50	
HEX: 8A2432	

TRAFFIC PAINT TYPE:
SHERWIN-WILLIAMS PRO
PAK, SETFAST, HOTLINE
OR AN APPROVED EQUAL.

PARKING LOT STRIPING COLORS & PAINT

6.02 SCALE: NONE



H. SCALE: 1" = 10'

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ENGINEER OF RECORD:
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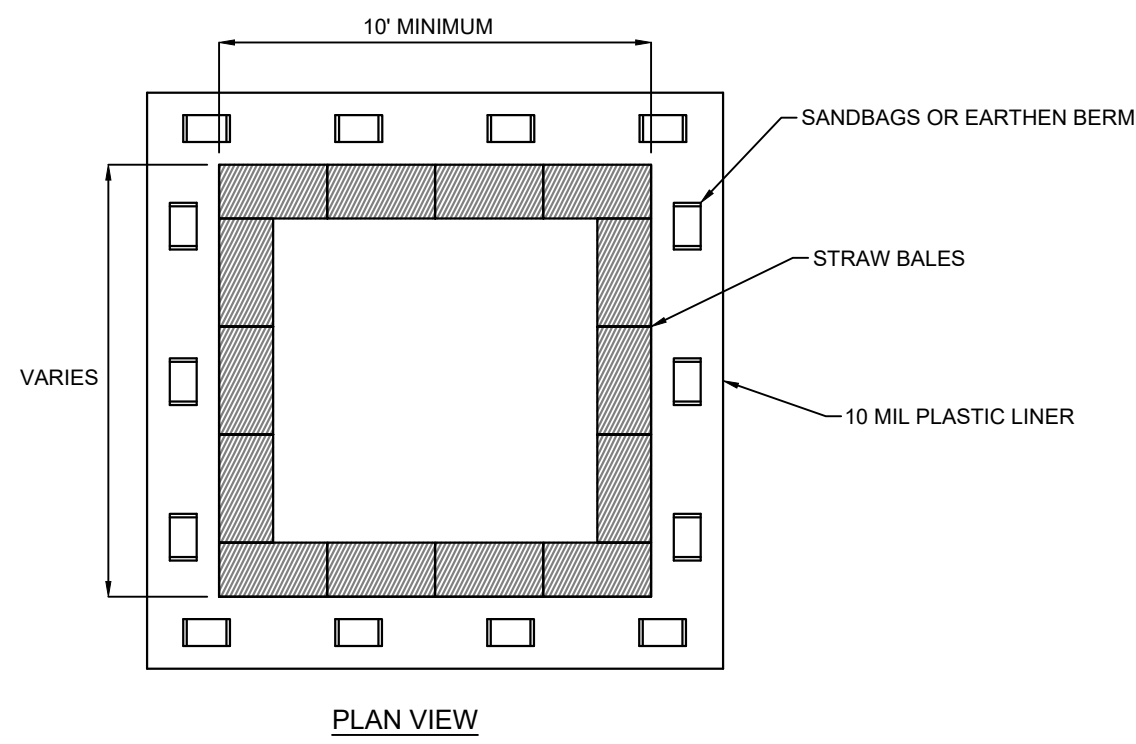
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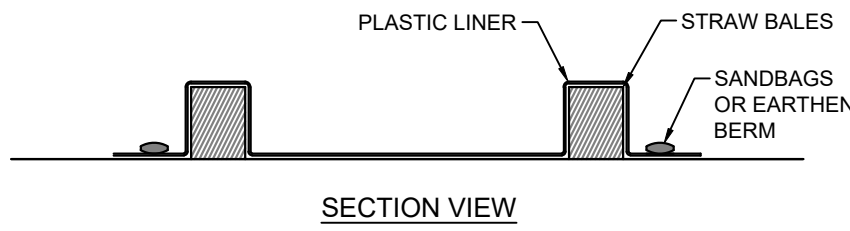
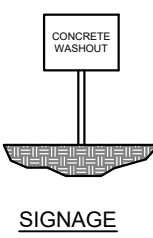
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C6.1
STRIPING PLAN

DATE: AUGUST 15, 2024

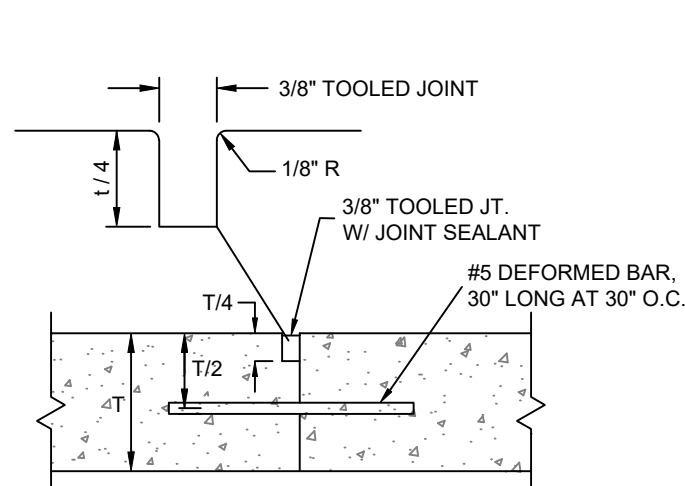


- NOTES:
1. WASHOUT CONTAINMENT SHALL BE INSTALLED FOR DURATION OF CONCRETE WORK AND RETAIN CONCRETE AND OTHER WASHOUT LIQUIDS UNTIL EVAPORATION OR REMOVAL BY PUMP.
 2. CONTAINMENT SHALL BE SIZED FOR EXPECTED WASHOUT VOLUMES.
 3. AVOID PLACING NEAR STORM DRAINS, STREAMS, SINK-HOLES, OUTFALLS OR OTHER LOW AREAS WHERE WATER PONDS OR FLOWS.
 4. OTHER APPROVED LEAK-PROOF CONTAINMENT IS ACCEPTABLE.
 5. TRAPS SHALL BE ROUTINELY MAINTAINED AT 75% CAPACITY AND REPLACED AS NECESSARY TO PERFORM.
 6. THE WASHOUT PIT SHALL BE COVERED BEFORE PREDICTED RAIN EVENTS TO PREVENT OVERFLOW.
 7. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

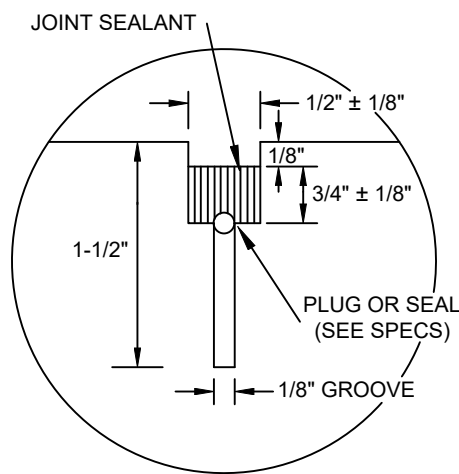


1.03 CONCRETE WASHOUT

SCALE: NONE



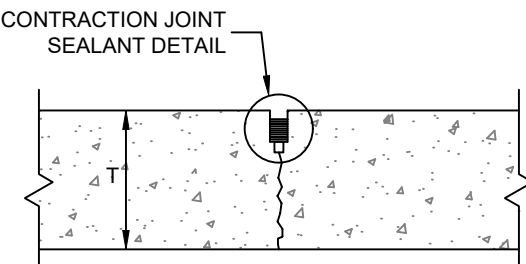
DOWELED CONSTRUCTION JOINT



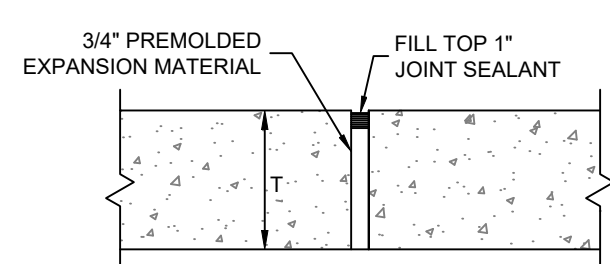
CONTRACTION JOINT SEALANT DETAIL

CONCRETE JOINT NOTES:

1. CONSTRUCTION JOINTS SHALL BE PLACED AS REQUIRED BY THE CONTRACTOR.
2. EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE ABUTS STRUCTURES OR EXISTING PAVEMENT AND AT 45 FEET ON CENTER, EACH DIRECTION (OR AS SHOWN ON PLAN).
3. CONTRACTION JOINTS SHALL BE PLACED AT 15 FEET MINIMUM SPACING IN EACH DIRECTIONS.



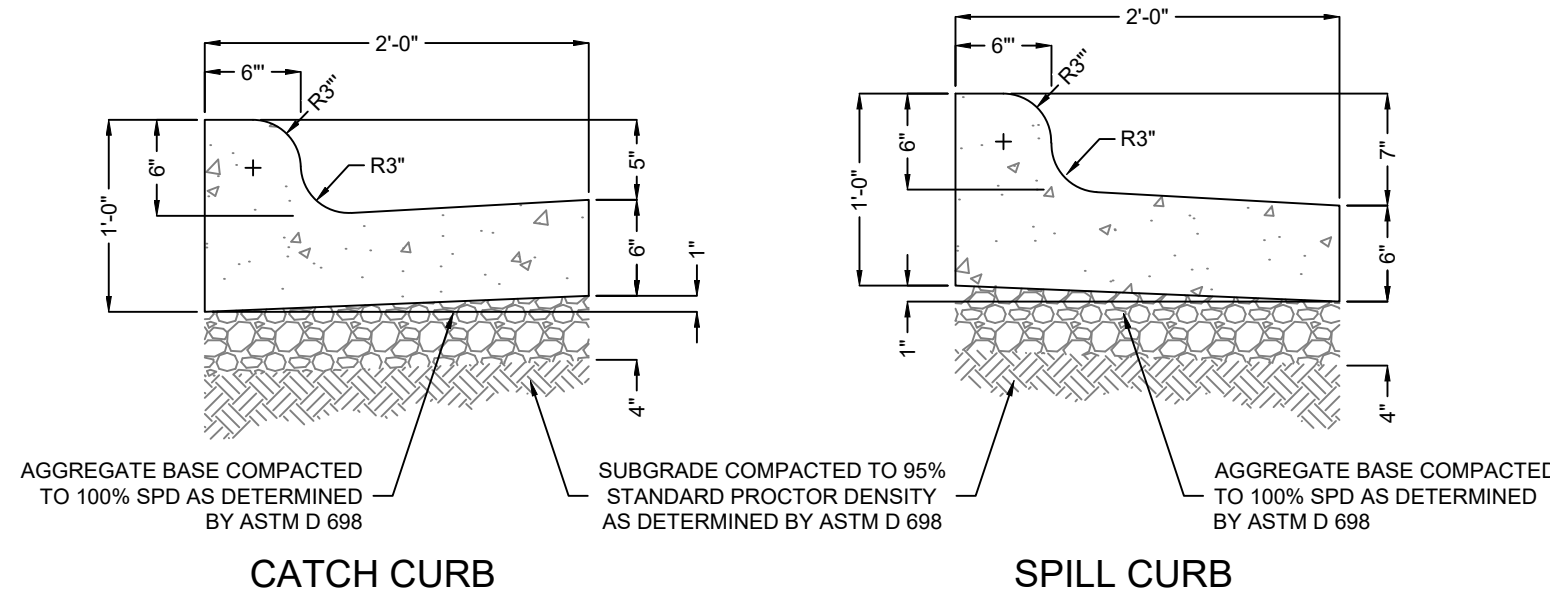
SAWED CONSTRUCTION JOINT



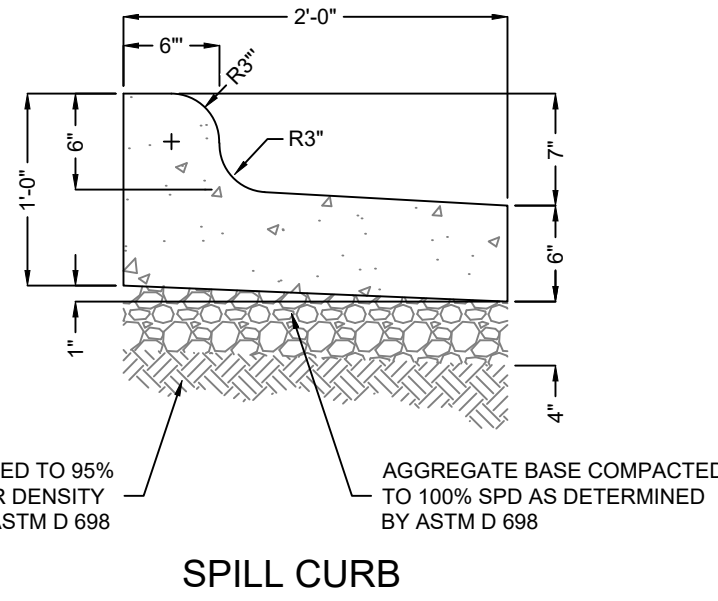
EXPANSION JOINT

2.03 CONCRETE PAVEMENT JOINT DETAILS

SCALE: NONE



CATCH CURB



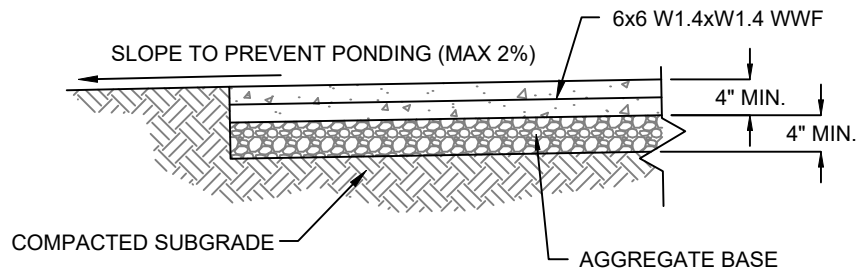
SPILL CURB

NOTES:

1. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, CUT TO THE CONFIGURATION OF THE FULL SIZE OF THE CURB AND GUTTER SECTION AND BEING SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. THE EDGES OF THESE JOINTS SHALL BE ROUNDED WITH AN EDGING TOOL ONE-EIGHTH (1/8) INCH RADIUS.
2. EXPANSION JOINTS SHALL BE PLACED WHERE CURB AND GUTTER ABUTS OTHER STRUCTURES AND AT ALL TANGENT POINTS TO CURBS. EXPANSION JOINTS SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID CURBS AND NOT MORE THAN 100 FEET APART FOR MACHINE LAID CURB AND GUTTER PROVIDED THAT ONE-HALF (1/2) INCH THICK JOINT FILLER IS USED. ALL JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE CURB AND GUTTER.
3. CONTRACTION JOINTS SHALL BE CONSTRUCTED BY INSERTING A REMOVABLE METAL TEMPLATE IN THE FRESH CONCRETE. THEY SHALL NOT BE SAW CUT. CONTRACTION JOINTS SHALL BE TO A DEPTH OF NOT LESS THAN ONE AND ONE-FOURTH (1-1/4) INCHES BELOW THE SURFACE AND TO A WIDTH NOT TO EXCEED THREE-EIGHTHS (3/8) INCH. CONTRACTION JOINTS SHALL BE LOCATED APPROXIMATELY 10 FEET APART.

2.01 CONCRETE CURB & GUTTER DETAIL

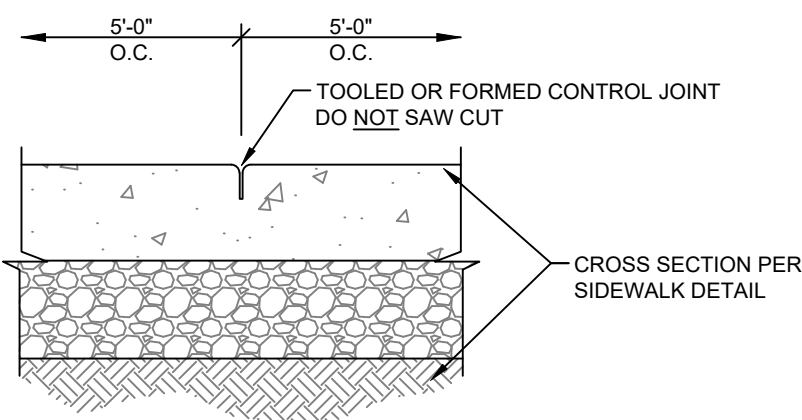
SCALE: NONE



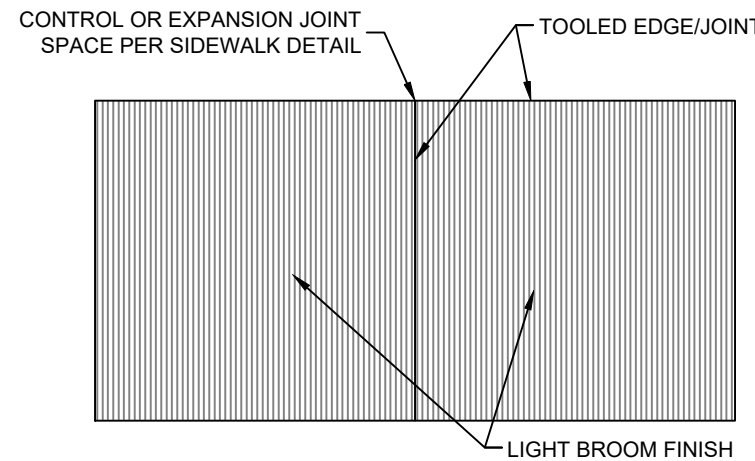
NOTES:

1. PROVIDE CONTROL JOINTS @ 5' O.C. MAX. OR WIDTH OF SIDEWALK. SEE JOINT DETAIL.
2. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX. & AS INDICATED ON SITE PLAN.
3. WHERE WALK ABUTS ANOTHER WALK, CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES, PROVIDE 1/2\"/>
4. KEY ALL CONSTRUCTION JOINTS.
5. PROVIDE NON-SLIP LIGHT BROOM FINISH.
6. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 2%. MAXIMUM SLOPE OF SIDEWALK IN DIRECTION OF TRAVEL SHALL BE 5%.

SECTION



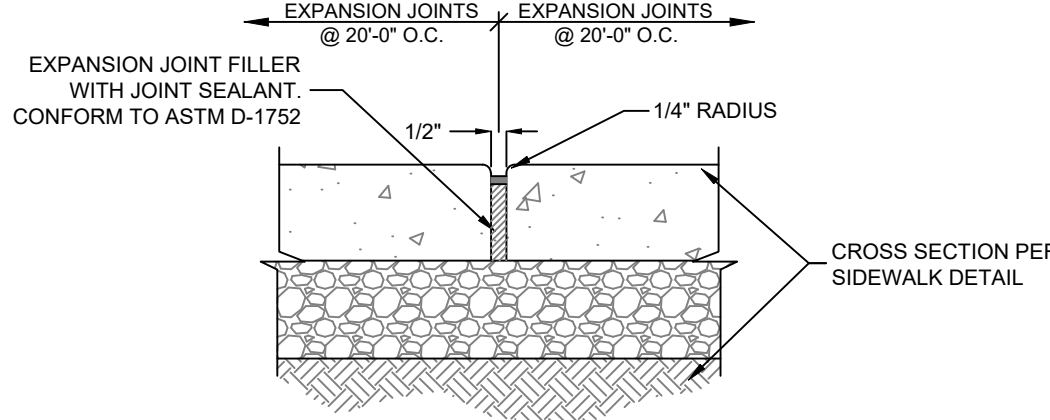
CONTROL JOINT



NOTES:

1. CONTRACTOR SHALL TOOL EDGES AND JOINTS AS SHOWN THEN LIGHTLY BROOM FINISH ENTIRE SIDEWALK SURFACE.

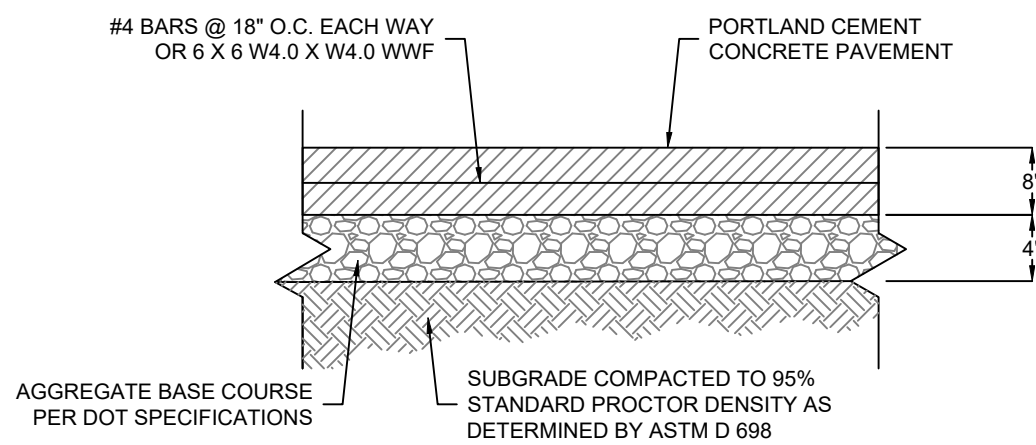
FINISH PLAN



EXPANSION JOINT

2.02 SIDEWALK DETAILS

SCALE: NONE

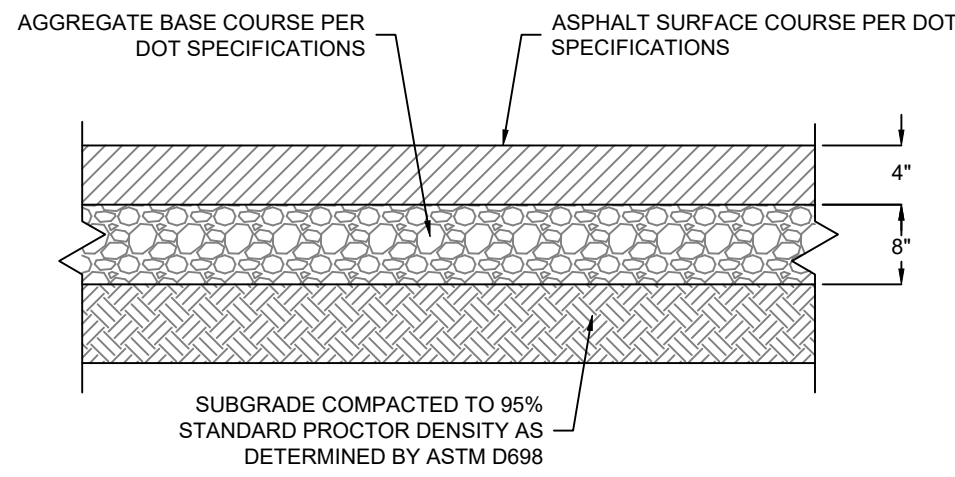


NOTES:

1. SEE CONCRETE PAVEMENT JOINT DETAILS AND NOTES.
2. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES PER GEOTECHNICAL ENGINEERING REPORT IF AVAILABLE.
3. ALL MATERIALS SHALL MEET THE CURRENT DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

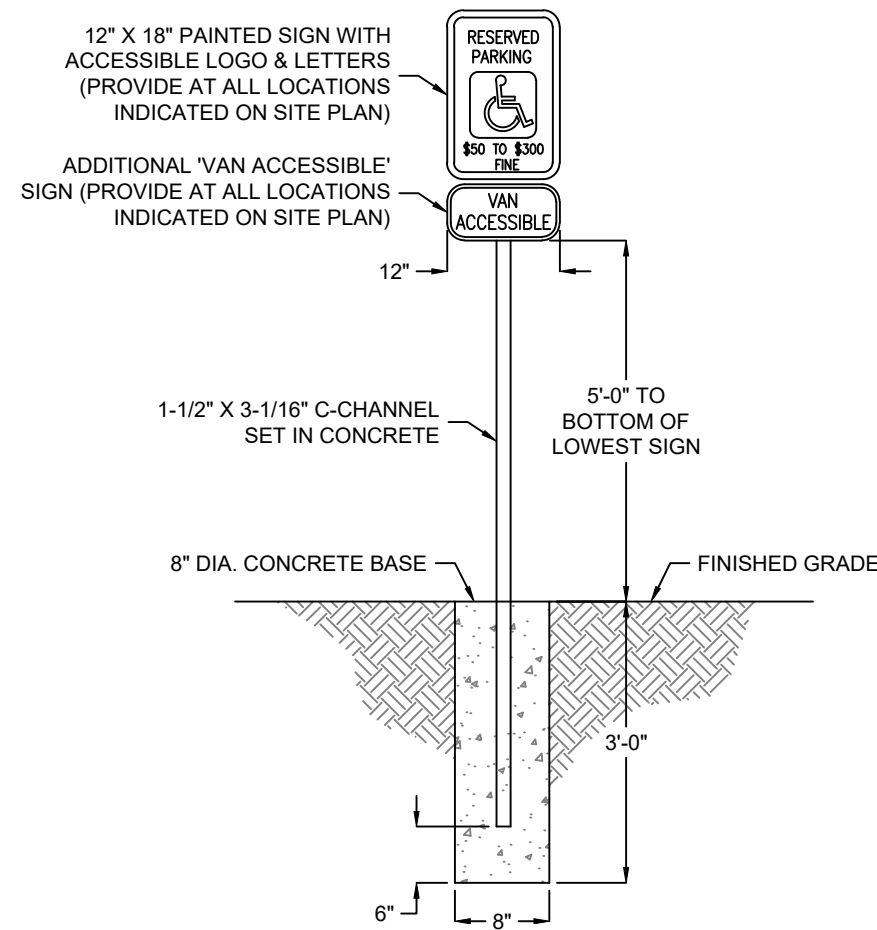
2.05 CONCRETE PAVEMENT

SCALE: NONE



2.06 ASPHALT PAVEMENT

SCALE: NONE



6.03 ADA ACCESSIBLE SIGN DETAIL

SCALE: NONE



ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

PROJECT NUMBER:

85 081

REVISION:

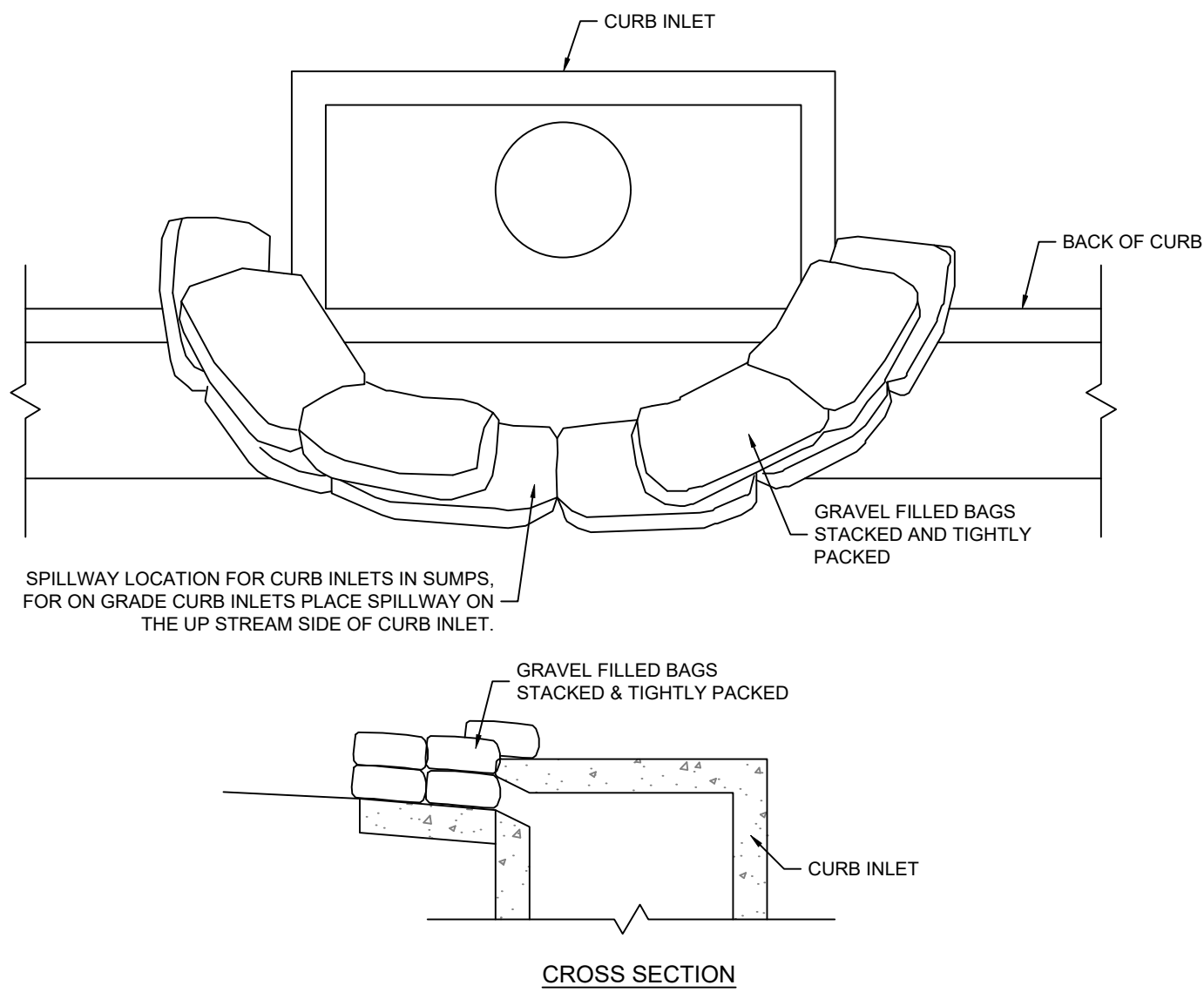
7 BREW COFFEE
BRYANT, AR

2006 NORTH REYNOLDS ROAD
BRYANT, AR

C7.1
DETAILS

DATE: AUGUST 15, 2024

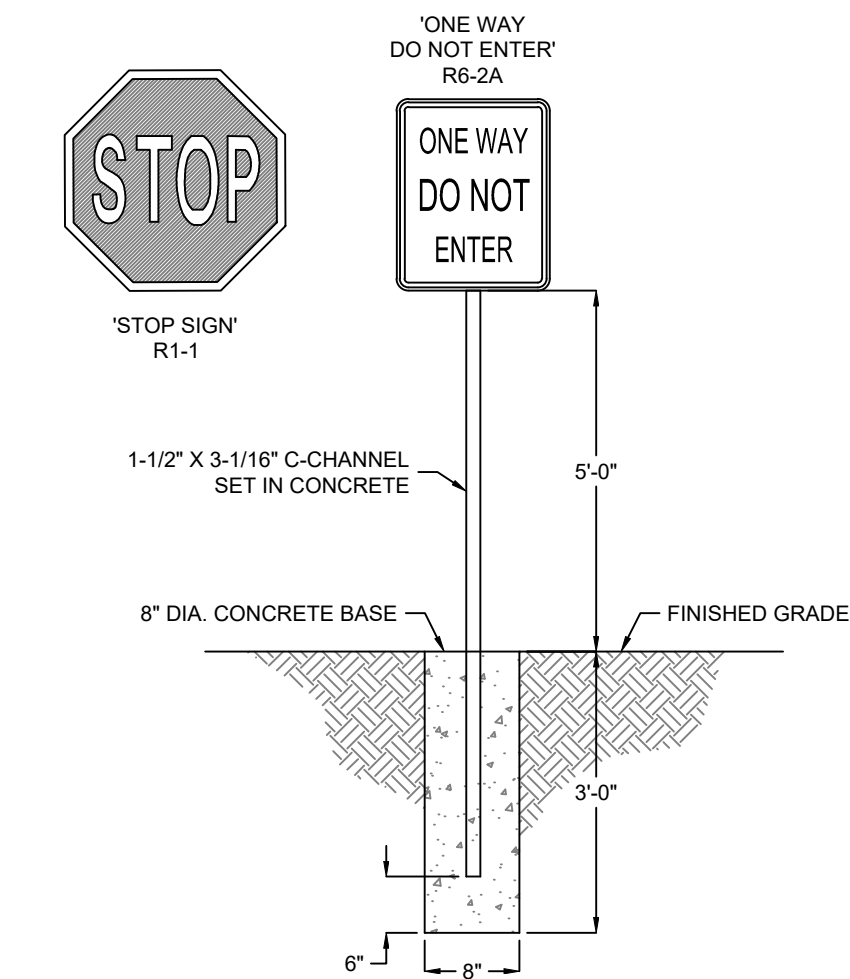




NOTES:

1. PLACE CURB INLET SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS OR IN SUMPS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. BAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH RAINFALL EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

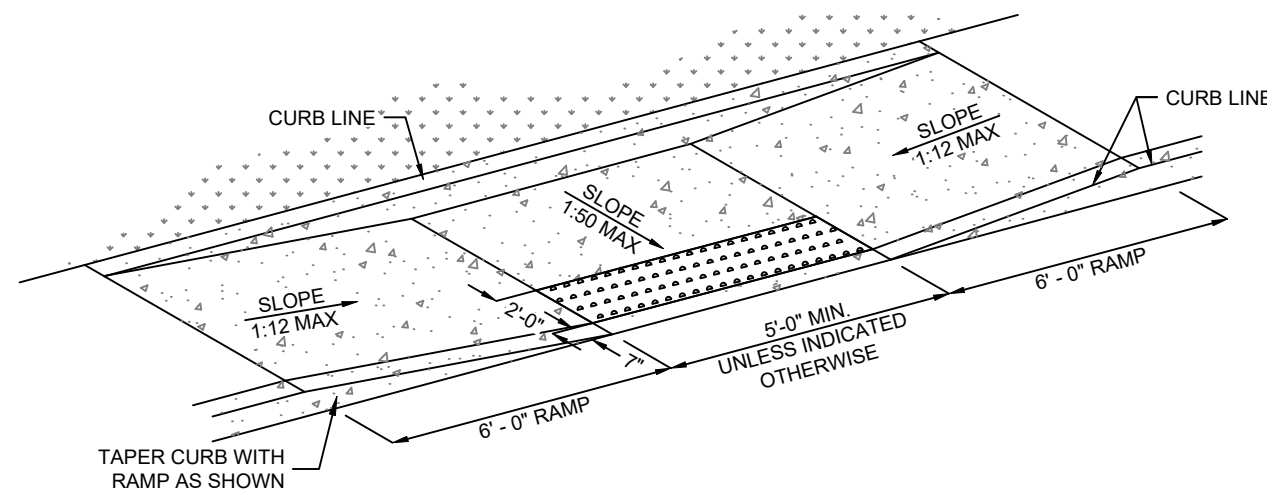
1.04 CURB INLET SEDIMENT BARRIER DETAIL
SCALE: NONE



6.04 TYPICAL SIGN POST DETAIL
SCALE: NONE

NOTES:

1. DETECTABLE WARNING ON RAMP SURFACE SHALL CONSIST OF TRUNCATED DOMES (FOR THE ENTIRE WIDTH OF THE RAMP) AND SHALL CONTRAST VISUALLY W/ ADJOINING SURFACES. PROVIDE ARMOR-TILE ADA TACTILE EPOXY POLYMER CAST IN PLACE WARNING TILES WITH TRUNCATED DOMES OR APPROVED EQUAL.
2. TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH AT THE BOTTOM, A DIAMETER OF 0.4 INCH AT THE TOP, A HEIGHT OF 0.2 INCH AND A CENTER-TO-CENTER SPACING OF 1.7 INCHES MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT.



2.12 TYPE 2 CURB RAMP DETAIL
SCALE: NONE



ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

PROJECT NUMBER:

85 081

REVISION:

7 BREW COFFEE
BRYANT, AR
2006 NORTH REYNOLDS ROAD
BRYANT, AR

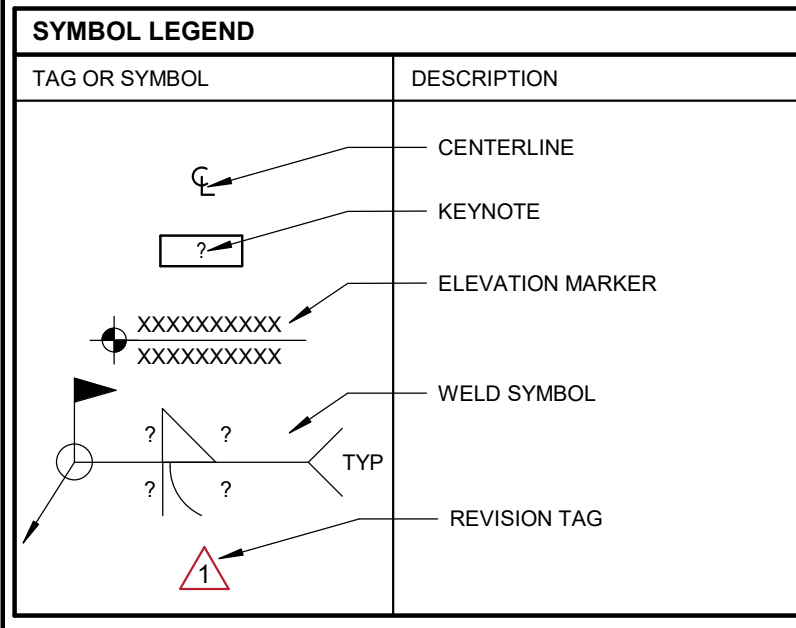


C7.2
DETAILS

DATE: AUGUST 15, 2024

ABBREVIATIONS	
1. A.R.=	ANCHOR ROD
2. ACI=	AMERICAN CONCRETE INSTITUTE
3. AISC=	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
4. AISI=	AMERICAN IRON AND STEEL INSTITUTE
5. ARCH=	ARCHITECTURE/ARCHITECT
6. ASTM=	AMERICAN SOCIETY FOR TESTING AND MATERIALS
7. A.W.=	AFTER WELDING
8. AWS=	AMERICAN WELDING SOCIETY
9. BAR=	REBAR
10. B.O.=	BOTTOM OF
11. B.O.A.=	BACK OF ANGLE
12. B.O.F.=	BOTTOM OF FOOTING
13. B.O.S.=	BOTTOM OF STEEL
14. BRG=	BEARING
15. BTM=	BOTTOM
16. CANT=	CANTILEVERED
17. C.I.P.=	CAST-IN-PLACE
18. C.J.P.=	COMPLETE JOINT PENETRATION WELD
19. CL=	CENTERLINE
20. CLR=	CLEAR
21. CMU=	CONCRETE MASONRY UNIT
22. COL=	COLUMN
23. CONC=	CONCRETE
24. CONN=	CONNECTION
25. CONT=	CONTINUOUS
26. D.B.=	DECK BEARING
27. D.B.A.=	DEFORMED BAR ANCHOR
28. D.E.=	DECK EDGE
29. DIA=	DIAMETER
30. DL=	DEAD LOAD
31. DT=	DETAIL
32. DWG=	DRAWING
33. E=	EXISTING
34. EA=	EACH
35. E.F.=	EACH FACE
36. EL=	ELEVATION
37. EPS=	EXPANDED POLYSTYRENE
38. EQ=	EQUAL
39. E.W.=	EACH WAY
40. EXT=	EXTERIOR
41. F.C.=	CONCRETE COMPRESSIVE STRENGTH
42. F.F.=	FINISHED FLOOR
43. FND=	FOUNDATION
44. F.O.W.=	FACE OF WALL
45. F.S.=	FAR SIDE
46. FTG=	FOOTING
47. F.V.=	FIELD VERNIFY
48. GA=	GAGE / GAUGE
49. GALV=	GALVANIZED
50. GB=	GRADE BEAM
51. GC=	GENERAL CONTRACTOR
52. (H)=	HIGH
53. HL=	HIGH & LOW
54. H.A.S.=	HEADED ANCHOR STUD
55. HORIZ=	HORIZONTAL
56. IBC=	INTERNATIONAL BUILDING CODE
57. ID=	INSIDE DIAMETER
58. INFO=	INFORMATION
59. INT=	INTERIOR
60. J.B.=	JOIST BEARING
61. J.B.E.=	JOIST BEARING ELEVATION
62. KIP=	1000 POUNDS
63. KSI=	KIPS PER SQUARE INCH
64. (L)=	LOW
65. L=	LENGTH
66. LB=	POUND
67. LGSF=	LIGHT-GAUGE STEEL FRAMING
68. LL=	LIVE LOAD
69. LLH=	LONG LEG HORIZONTAL
70. LLV=	LONG LEG VERTICAL
71. LONG=	LONGITUDINAL
72. L.P.=	LAYOUT LINE
73. LV=	LAMINATED VENEER LUMBER
74. LW=	LIGHTWEIGHT
75. MAX=	MAXIMUM
76. MECH=	MECHANICAL
77. MEP=	MECHANICAL, ELECTRICAL, PLUMBING
78. MFR=	MANUFACTURER
79. MI=	THOUSANDS OF AN INCH
80. MIN=	MINIMUM
81. MISC=	MISCELLANEOUS
82. MTL=	METAL
83. N.C.=	NOT IN CONTRACT
84. N.S.=	NEAR SIDE
85. N.T.S.=	NOT TO SCALE
86. N.W.=	NORMAL WEIGHT
87. O.C.=	ON CENTER
88. O.D.=	OUTSIDE DIAMETER
89. OPP=	OPPOSITE / OPPOSITE HAND
90. PA=	POWDER ACTUATED FASTENER
91. P.C.F.=	POUNDS PER CUBIC FOOT
92. PEMB=	PRE-ENGINEERED METAL BUILDING
93. PLF=	POUNDS PER LINEAR FOOT
94. PPT=	PRESERVATIVE PRESSURE TREATED
95. PSF=	POUNDS PER SQUARE FOOT
96. PSI=	POUNDS PER SQUARE INCH
97. PT=	POST TENSIONED
98. REINF=	REINFORCING
99. REQ=	REQUIRE
100. RTU=	ROOF TOP UNIT
101. S.C.=	SLIP CRITICAL
102. SCH=	SCHEDULE
103. SDI=	STEEL DECK INSTITUTE
104. SIM=	SIMILAR
105. SJI=	STEEL JOIST INSTITUTE
106. SL=	SNOW LOAD
107. S.O.G.=	SLAB ON GRADE
108. SPEC=	SPECIFICATIONS
109. STD=	STANDARD
110. STL=	STEEL
111. T=	THICKNESS
112. T&B=	TOP AND BOTTOM
113. T.O.=	TOP OF
114. T.O.F.=	TOP OF FOOTING
115. T.O.P.=	TOP OF PEDESTAL
116. T.O.S.=	TOP OF STEEL
117. T.O.W.=	TOP OF WALL
118. TYP=	TYPICAL
119. UL=	ULTIMATE LOAD
120. U.N.O.=	UNLESS NOTED OTHERWISE
121. VERT=	VERTICAL
122. VLD=	VERTICAL LEG DOWN
123. W=	WIDTH
124. WL=	WIND LOAD
125. W.P.=	WORK POINT
126. WWF=	WELDED WIRE FABRIC
127. (#)=	QUANTITY

LOADING TABLE AND CODE INFORMATION			
2021 ARKANSAS FIRE PREVENTION CODE (2021 IBC w/ ARKANSAS AMMENDMENTS)			
1. DEAD LOADS			
A. EXISTING ROOF DEAD LOAD		20	PSF
B. CANOPY DEAD LOAD		20	PSF
2. LIVE LOADS			
A. EXISTING ROOF LIVE LOAD		20	PSF
B. CANOPY LIVE LOAD		20	PSF
3. SNOW LOADS			
A. GROUND SNOW LOAD (pg)		10	PSF
B. FLAT ROOF SNOW LOAD (pfl)		14	PSF
C. EXPOSURE FACTOR (C _e)		1.0	
D. IMPORTANCE FACTOR (I _s)		1.0	
E. THERMAL FACTOR (C _t)		1.2	
F. DRIFT			PER CODE
4. WIND LOAD DESIGN CRITERIA			
A. ULTIMATE DESIGN WIND SPEED (Vult)		105	MPH
B. RISK CATEGORY		II	
C. EXPOSURE CATEGORY		C	
D. INTERNAL PRESSURE COEFFICIENT (GCp)		±/- 0.18	
5. SEISMIC LOAD DESIGN CRITERIA			
A. RISK CATEGORY		II	
B. IMPORTANCE FACTOR (I _s)		1.0	
C. SPECTRAL RESPONSE ACCELERATIONS AND COEFFICIENTS			
SHORT PERIOD ACCELERATION (S _s)		0.313	
LONG PERIOD ACCELERATION (S ₁)		0.133	
SHORT PERIOD RESPONSE (SD _s)		0.324	
LONG PERIOD RESPONSE (SD ₁)		0.207	
D. SITE CLASS		D	
E. SEISMIC DESIGN CATEGORY		D	
F. SEISMIC FORCE RESISTING SYSTEM		TABLE 12.2-1 G.2 (SOCCS)	
G. ANALYSIS PROCEDURE		ELF	
H. RESPONSE MODIFICATION FACTOR (R)		4	
I. SYSTEM OVERSTRENGTH FACTOR (Q)		2	
J. DEFLECTION AMPLIFICATION FACTOR (C _d)		3.5	



- EXISTING DIMENSIONS & CONDITIONS**
- THIS PROJECT CONSISTS OF AN ADDITION AND/OR MODIFICATIONS TO AN EXISTING BUILDING. INFORMATION ON EXISTING CONDITIONS, WHEN AVAILABLE, HAS BEEN TAKEN FROM FIELD MEASUREMENTS. SOME EXISTING CONDITIONS ARE INACCESSIBLE OR HIDDEN FROM VIEW AND CONDITIONS MAY BE DISCOVERED DURING CONSTRUCTION THAT VARY FROM THE ANTICIPATED CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING DIMENSIONS SHOWN ON THESE DRAWINGS AND TO VERIFY THE LOCATION OF ALL FRAMING MEMBERS AND ANY OBSTRUCTIONS WHICH WILL AFFECT THE WORK. AS A PART OF THE WORK, THE CONTRACTOR SHALL PREPARE AN ACCURATE FIELD SURVEY OF THE LOCATION OF ALL STRUCTURAL MEMBERS AND ANY OBSTRUCTIONS IN THE WORK AREA PRIOR TO BEGINNING SHOP DRAWINGS AND CONSTRUCTION. THIS SURVEY SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER WITH ANY VARIANCES NOTED BY THE CONTRACTOR. CONTRACTOR SHALL NOTIFY ENGINEER/ARCHITECT OF ANY DETERIORATION, CORROSION, CUTTING/NOTCHING OF MEMBERS, SIGNS OF WEAR, OR OTHER DAMAGE WHICH MAY COMPROMISE THE STRUCTURE. THESE CONDITIONS MAY NOT BE APPARENT UNTIL THE CONSTRUCTION WORK IS UNDERWAY.

WOOD FRAMING NOTES

- WOOD FRAMING INCLUDING MISCELLANEOUS BEAMS, LITELS, HEADERS, ETC. SHALL BE #2 GRADE DOUGLAS FIR-LARCH (F_b = 800 PSI).
- LIGHT FRAMING SUCH AS PLATES, SILLIS, CRIPPLES, BLOCKING AND ROOF FRAMING NOT OTHERWISE SPECIFIED SHALL BE #3 GRADE DOUGLAS FIR-LARCH (F_b = 525 PSI) OR BETTER.
- STUDS SHALL BE #1/2 GRADE SPRUCE-PINE-FIR (F_b = 875 PSI, F_c = 1150 PSI) OR BETTER.
- ALL WOOD FRAMING SHALL BE SELECTED SUCH THAT NO LUMBER WITH LARGE KNOTS, WARPS, SPLITS, OR DEFECTS IS USED.
- WHERE CALLED FOR ON PLANS TO USE FRAMING ANCHORS AND HARDWARE, USE Z-MAX GALVANIZED STEEL FRAMING ANCHORS EQUAL TO SIMPSON.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE "TREATED" AND SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF AWPA STANDARD U1 TO THE REQUIREMENTS OF USE CATEGORY 2 (UC2).
- ALL LUMBER FOR EXTERIOR USES, INCLUDING DECKING, DECK JOIST, RAILINGS, OR ANY LUMBER EXPOSED TO WEATHER SHALL BE "TREATED" AND COMPLY WITH APPLICABLE REQUIREMENTS OF AWPA STANDARD U1 TO THE REQUIREMENTS OF USE CATEGORY 3B (UC3B).
- ALL "TREATED" LUMBER WITH FIELD-CUT ENDS SHALL BE TREATED WITH PRESERVATIVES IN ACCORDANCE WITH AWPA STANDARD M4.
- WOOD FRAMING, ROUGH CARPENTRY, AND MISCELLANEOUS WOOD CARPENTRY WORK SHALL BE GOVERNED BY INTERNATIONAL BUILDING CODE REQUIREMENTS. ALL SUCH WORK SHALL COMPLY WITH CONSTRUCTION, CONNECTION AND GENERAL REQUIREMENTS OF CHAPTER 23 OF THE CODE. IT SHALL BE A REQUIREMENT OF THIS CONTRACT THAT THE CONTRACTOR PROVIDE A COPY OF THIS CHAPTER TO ALL PERTINENT PARTIES.
- WOOD FRAMING, ROUGH CARPENTRY, AND MISCELLANEOUS WOOD CARPENTRY WORK SHALL BE GOVERNED BY INTERNATIONAL BUILDING CODE REQUIREMENTS. ALL SUCH WORK SHALL COMPLY WITH CONSTRUCTION, CONNECTION AND GENERAL REQUIREMENTS OF CHAPTER 23 OF THE CODE. IT SHALL BE A REQUIREMENT OF THIS CONTRACT THAT THE CONTRACTOR PROVIDE A COPY OF THIS CHAPTER TO ALL PERTINENT PARTIES.
- SILL PLATE SHALL BE CONNECTED TO THE FOUNDATION WITH 5/8"Ø x 8" (MIN) SIMPSON TITEN HD @ 4'Ø O.C. (MAX)- SEE SHEAR WALL SCHEDULE FOR REQUIRED SPACING AND ADDITIONAL REQUIREMENTS. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF PLATE AND ANCHOR BOLTS SHALL BE PLACED 12" FROM END OF PLATE, REFER TO IBC CHAPTER 23.
- ALL BEAMS BEARING PERPENDICULAR TO WALL FRAMING SHALL BE SUPPORTED BY MULTIPLE STUDS FOR THE FULL WIDTH OF THE BEAM, UNO. MULTIPLE STUDS SHALL BE CONTINUED TO FOUNDATION.
- REFER TO NDS SECTION 15.3.3 FOR NAILING REQUIREMENTS FOR MULTIPLE STUDS.
- LAMINATED VENEER LUMBER (LVL) BEAMS ARE CALLED OUT IN THE PLANS ARE SIZED AS PER "TRUSS JOIST CORPORATION" RECOMMENDATIONS. ALTERNATE LVL BEAMS WILL BE CONSIDERED IF PROPER DESIGN INFORMATION IS SUBMITTED AND APPROVED AS EQUAL. (F_b = 2600 PSI, E = 1.9 · 10⁶ PSI).
- REFER TO SHEET S4.1 FOR STANDARD FRAMING DETAILS.

WOOD SHEATHING & DECKING NOTES

- TYPICAL WALL SHEATHING SHALL BE 7/16" (1/2") APA RATED 24/16 STRUCTURAL 1 EXPOSURE 1 PANELS. NAIL TO SUPPORTS WITH 8d COMMON NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES. SEE SHEAR WALL SCHEDULE FOR REQUIREMENTS AT SHEAR WALLS.
- WOOD STRUCTURAL PANELS SHALL BE OSB OR PLYWOOD WITH (4) OR MORE PLYS AND SHALL COMPLY WITH DOC PS 1 OR PS 2.
- PANELS SHALL BE INSTALLED WITH THE STRENGTH AXIS (LONG DIRECTION) PERPENDICULAR TO SUPPORTS.

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SECTIONS:
 - ANGLES, CHANNELS, PLATES AND BAR STOCK - A36 (SS)
 - STEEL PIPE - A53 GR B OR A500 GR B, F_y=42ksi (SS)
 - ANCHOR BOLTS - ASTM F1554, GRADE 36
 - STEEL TUBING - A500 GR B, F_y=48ksi
- STEEL SHALL BE DETAILED, FABRICATED AND ERECTED ACCORDING TO ALL APPLICABLE SECTIONS OF THE LATEST EDITION OF THE AISC 360-2010 MANUAL OF STEEL CONSTRUCTION, ASD.
- PERFORM ALL WELDING WITH E70 XX ELECTRODE, UNLESS NOTED OTHERWISE OR UNLESS REQUIRED FOR SPECIAL CONNECTIONS.
- WELDING OF STRUCTURAL MEMBERS SHALL BE PERFORMED BY CERTIFIED WELDERS AND WELDING SHALL BE IN ACCORDANCE WITH "STRUCTURAL WELDING CODE" OF THE AMERICAN WELDING SOCIETY (AWS D1.1).
- ALL EXPOSED STEEL SHALL BE GALVANIZED OR COATED WITH A HIGH PERFORMANCE PAINT U.N.O., EXCEPT MASONRY SUPPORT LITELS SHALL BE GALVANIZED.

COLD-FORMED STEEL NOTES

- COLD FORMED STEEL NOTES:
- COLD-FORMED STEEL FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH AISI S200-2012 "STANDARD FOR COLD-FORMED STEEL FRAMING - GENERAL PROVISIONS."
 - WELDING OF COLD-FORMED STEEL SHALL BE IN ACCORDANCE WITH THE STANDARD CODE OF ARC AND GAS WELDING IN BUILDING CONSTRUCTION.
 - AXIALLY LOADED STUDS SHALL BE POSITIONED DIRECTLY UNDER TRUSS BEARING POINTS WHENEVER POSSIBLE.
 - PERFORM ALL WELDING OF LIGHT GAUGE WITH AWS E-7014 ELECTRODE, UNLESS NOTED OTHERWISE OR UNLESS REQUIRED FOR SPECIAL CONNECTIONS.
 12. HEADERS AND BUILT-UP BEAMS SHALL BE FORMED FROM UNPUNCHED MEMBERS.
 - MINIMUM YIELD STRENGTH FOR COLD-FORMED MEMBERS SHALL BE 33 KSI (SS), AND CONFORM TO ASTM A653.
 - STEEL FRAMING SCREWS SHALL BE COLD-HEADING QUALITY STEEL THAT COMPLIES WITH ASTM A548, GRADE 1022.

WOOD SHEATHING & DECKING NOTES ANCHORED TO LIGHT GAUGE

- ROOF DECKING SHALL BE 19/32" (5/8") STRUCTURAL I EXPOSURE I APA RATED 40/20 TONGUE AND GROOVE PANELS. "H" CLIPS MAY BE USED AT THE CONTRACTOR'S OPTION IN LIEU OF T&G. SCREW TO SUPPORTS WITH #6 PAN HEAD TEK SCREWS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERIOR SUPPORTS.
- FLOOR DECKING SHALL BE 1-1/8" ADVANTAGE HD @ 4'Ø O.C. (MAX)- SEE SHEAR WALL SCHEDULE FOR REQUIRED SPACING AND ADDITIONAL REQUIREMENTS. THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF PLATE AND ANCHOR BOLTS SHALL BE PLACED 12" FROM END OF PLATE, REFER TO IBC CHAPTER 23.
- WOOD STRUCTURAL PANELS SHALL BE OSB OR PLYWOOD WITH (4) OR MORE PLYS AND SHALL COMPLY WITH DOC PS 1 OR PS 2.
- ALL BEAMS SHALL BE INSTALLED WITH THE STRENGTH AXIS (LONG DIRECTION) PERPENDICULAR TO SUPPORTS.

GENERAL FOUNDATION & SLAB ON GRADE NOTES

- IN AREA OF THE STRUCTURE, EXISTING ORGANIC MATERIAL, UNSUITABLE SOIL, ABANDONED FOOTINGS AND ANY OTHER EXISTING UNSUITABLE MATERIALS SHALL BE REMOVED. ANY FILL MATERIAL REQUIRED AT THE SITE SHALL BE OF A SIMILAR TYPE SOIL THAT IS PRESENT AT THIS SITE EXHIBITING LIQUID LIMIT VALUES BELOW 50 AND PLASTIC INDEX VALUES BELOW 10. ROCKS GREATER THAN 6 IN. SHALL BE EXCLUDED FROM STRUCTURAL FILL LIFTS. FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NO GREATER THAN 8 INCHES IN DEPTH AND SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY BASED ON STANDARD PROCTOR DENSITIES (ASTM D-698). ADEQUATE FIELD DENSITY AND MOISTURE CONTENT TESTS SHALL BE PERFORMED TO ENSURE COMPLIANCE WITH REQUIREMENTS.
- TESTING OF CONTROLLED STRUCTURAL FILL SHALL BE DONE BY A QUALIFIED TESTING LABORATORY RETAINED BY THE OWNER. SEE STRUCTURAL DRAWINGS FOR REQUIRED TESTING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH INSPECTOR.
 - AFTER STRIPPING SITE AND PRIOR TO PLACEMENT OF ANY FILL, NOTIFY SPECIAL INSPECTOR/TESTING AGENCY FOR INSPECTION OF SOIL CONDITIONS. INSPECTION SHALL INCLUDE PROOF ROLLING SITE WITH HEAVY EQUIPMENT PROVIDED BY THE CONTRACTOR.
 - AFTER EXCAVATION FOR FOUNDATIONS AND PRIOR TO PLACEMENT OF STEEL REINFORCEMENT OR CONCRETE, NOTIFY SPECIAL INSPECTOR/TESTING AGENCY FOR INSPECTION OF SOIL CONDITIONS. WHEN SOIL OF INADEQUATE STRENGTH IS NOTED, CONTRACTOR SHALL FURTHER DEEPEN EXCAVATIONS UNTIL SUITABLE BEARING CONDITIONS ARE VERIFIED BY TESTING. EXCAVATIONS MAY BE BACKFILLED WITH SUITABLE COMPACTED ENGINEERED FILL, SUITABLE GRANULAR BASE, OR STRUCTURAL CONCRETE BACKFILL.
 - EXTERIOR FOOTINGS SHALL BEAR AT MIN. DEPTHS AS NOTED IN FOOTING SECTIONS AND PLANS, 30" BELOW EXTERIOR FINISH GRADE, OR INTO APPROVED BEARING STRATA, WHICHEVER DEPTH IS GREATER. NOTE THAT FOOTING BEARING ELEVATIONS GIVEN ON THE PLANS ARE ESTIMATED DEPTHS ONLY. WHERE UNSUITABLE SOIL IS ENCOUNTERED, FOOTING DEPTHS MAY VARY.
 - EXCAVATION FOR FOOTINGS SHALL BE CUT TO ACCURATE SIZE AND DIMENSIONS AS SHOWN ON PLANS. ALL SOIL BELOW SLABS AND FOOTINGS SHALL BE PROPERLY COMPACTED AND SUBGRADE BROUGHT TO A REASONABLE TRUE AND LEVEL PLANE BEFORE PLACING CONCRETE.
 - CONTINUOUS FOOTINGS AND INDIVIDUAL FOOTINGS ARE DESIGNED FOR A NET ALLOWABLE SOIL BEARING OF:
 - CONTINUOUS FOOTINGS: 1500 PSF
 - INDIVIDUAL FOOTINGS: 1500 PSF
 - FOR EITHER NATURALLY OCCURRING SOIL OR COMPACTED ENGINEERED FILL.
 - DRAINAGE FILL SHALL BE A FREE-DRAINING GRANULAR MATERIAL. USE #57 STONE OR EQUAL. REFER TO ASTM D448 FOR GRADATION.
 - CONTRACTOR IS RESPONSIBLE TO MAINTAIN EXCAVATIONS AND BACKFILL MATERIALS AT AN APPROPRIATE MOISTURE CONTENT FOR PROPER SOIL BEARING CAPACITY AND COMPACTION.
 - CONTRACTOR SHALL COORDINATE WITH THE CIVIL / SITE DRAWINGS TO DETERMINE WHETHER FOUNDATION DRAINS AROUND PERIMETER OF BUILDING AND/OR UNDER THE SLAB-ON-GRADE SHALL BE REQUIRED AND, IF SO, SHALL RUN TO DAYLIGHT OR EXTENDED TO THE STORM SEWER.

CONCRETE NOTES

- CONCRETE FOR FOUNDATIONS, FOOTINGS AND INTERIOR SLABS ON GRADE SHALL BE AS FOLLOWS:
 - 28-DAY COMPRESSIVE STRENGTH: 3000 PSI
 - MAXIMUM WATER TO CEMENT RATIO: 4" ±1"
 - SLUMP: 4" ±1"
- NO LIME SAND FINE AGGREGATE MAY BE USED IN CONCRETE EXPOSED TO WEATHER, VIEW, OR IN HORIZONTAL APPLICATIONS.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. LAP FABRIC 9" ON SIDES AND ENDS. MAINTAIN WIRE 1" TO 2" TOP SURFACE OF SLABS ON GRADE. PROVIDE CHAIRS, BOLSTERS OR OTHER APPROVED MEANS TO PROPERLY LOCATE REINFORCING.
- IF ADDITIONAL FLOWABILITY IS REQUIRED FOR PLACEMENT OF ANY CONCRETE MIX, A WATER-REDUCING ADDITIVE CONFORMING TO ASTM C494, TYPE A, D, E OR F SHALL BE USED. NO ADDITIONAL WATER MAY BE ADDED TO THE MIX AT THE SITE. SLUMP FOR CONCRETE CONTAINING WATER-REDUCING OR HIGH-RANGE WATER-REDUCING ADMIXTURE SHALL NOT EXCEED 8" AFTER ADMIXTURE IS ADDED TO CONCRETE WITH A 2'-4" SLUMP.
- INTERIOR SLABS SHALL HAVE SMOOTH TROWELED FINISH AND EXTERIOR SLABS SHALL HAVE LIGHT BROOM FINISH, UNO. ALL SLABS SHALL HAVE A CURING COMPOUND COMPLYING WITH ASTM C939 APPLIED TO SURFACE. EXCEPTIONS ARE WHERE FLOOR FINISHES REQUIRE SCRATCH FINISH AND WHERE CURING COMPOUNDS ARE NOT COMPATIBLE WITH ADHESIVES, ETC.
- CONTRACTOR SHALL COORDINATE ALL CONCRETE SEALERS, CURING COMPOUNDS, ETC TO ENSURE COMPATIBILITY WITH FLOORING ADHESIVES FOR FLOORING INDICATED IN THE FLOOR PLANS AND FLOOR FINISH SHALL BE APPLICABLE.
- TESTING OF FRESH CONCRETE SHALL BE DONE BY A QUALIFIED TESTING LABORATORY RETAINED BY THE OWNER AND APPROVED BY THE ENGINEER. TESTING SHALL INCLUDE:
 - SLUMP
 - AIR CONTENT
 - CONCRETE TEMPERATURE
 - 28 DAY COMPRESSIVE STRENGTH
 - NOTE ANY WATER OR ADMIXTURES ADDED ON-SITE.
- REFER TO ASTM C172 AND C94. PERFORM ONE SLUMP AND ONE AIR CONTENT TEST FOR EACH DAYS POUR AND FOUR AND ADDITIONAL TESTS WHEN THE CONCRETE CONSISTENCY SEEMS TO HAVE CHANGED IN THE OPINION OF THE INSPECTOR. REFER TO ASTM C143, C173 AND C231. PERFORM TEMPERATURE TESTS HOURLY WHEN THE AMBIENT AIR TEMPERATURE IS BELOW 40 DEGREES F OR ABOVE 80 DEGREES F AND ONE TEMPERATURE TEST FOR EACH SET OF COMPRESSIVE-STRENGTH SPECIMENS. REFER TO ASTM C1064. PERFORM ONE COMPRESSIVE-STRENGTH TEST FOR EACH DAYS POUR AND AN ADDITIONAL TEST FOR EACH 50 CUBIC YARD MORE THAN THE FIRST 25 CUBIC YARD. TEST ONE SPECIMEN AT 7 DAYS AND 2 SPECIMENS AT 28 DAYS. REFER TO ASTM C31 AND C39.
- CONCRETE FOR GROUTING MASONRY UNITS IS SPECIFIED IN CONCRETE MASONRY UNIT NOTES.
- WHERE FOOTINGS, WALLS, OR OTHER STRUCTURAL ELEMENTS INTERSECT, CORNER OR TEE, PROVIDE CORNER BARS WITH REQUIRED LAP LENGTHS TO PROVIDE CONTINUITY OF HORIZONTAL STEEL REINFORCING UNO.
- PROVIDE A MINIMUM OF 3" COVER FOR ANCHOR BOLTS AND LOCATE HORIZONTAL REINFORCEMENT TO THE OUTSIDE FOR ANCHOR BOLT CONTAINMENT, UNO.
- PROVIDE TEMPORARY SHORING AND BRACING OF ALL STRUCTURAL AND MISCELLANEOUS ELEMENTS UNTIL CONCRETE HAS OBTAINED 80% OF DESIGN STRENGTH AND ALL PERMANENT BRACING ELEMENTS ARE INSTALLED.
- WHERE DOWELS, BOLTS OR INSERTS ARE CALLED TO BE ANCHORED TO CAST IN PLACE OR PRECAST CONCRETE ELEMENTS USING EPOXY ADHESIVES, USE ANCHORAGE SYSTEM EQUAL TO "HIT IT" HIT RE 500 INJECTION ADHESIVE. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS. ALTERNATE ANCHORAGE SYSTEMS MAY BE USED WITH ENGINEER'S PRIOR APPROVAL.
- DETAILING MATERIALS AND INSTALLATION OF CONCRETE REINFORCING STEEL SHALL MEET REQ. AS SET FORTH BY CRSI AND THE AMERICAN CONCRETE INSTITUTE AND THE APPLICABLE BUILDING CODE.
- SHOP DRAWINGS SHALL BE SUBMITTED INDICATING COMPLETE INFORMATION REQUIRED FOR CONSTRUCTION OF THE REINFORCED CONCRETE ELEMENTS. SHOP DRAWINGS SHALL INCLUDE LAYOUT AND DIMENSIONS OF REINFORCING INCLUDING ANY OPENINGS, CONVENTIONAL REINFORCEMENT DETAILS, CONNECTION DETAILS, PROCEDURES AND SEQUENCES ETC.
- WHEN PLACING CONCRETE IN HOT WEATHER, REFER TO ACI 301. WHEN PLACING CONCRETE IN COLD WEATHER, REFER TO ACI 306.1.

POST-INSTALLED ANCHOR NOTES

- CONTINUOUS INSPECTIONS ARE REQUIRED FOR POST INSTALLED ANCHOR BOLTS INCLUDING TYPE, SIZE, LENGTH, DRILLING METHOD, HOLE CLEANING PROCEDURES, AND ANCHOR INSTALLATION AND SETTING PROCEDURES.
- ADHESIVE ANCHORS SHALL BE INSTALLED BY AN ADHESIVE ANCHOR INSTALLER WHO HAS BEEN CERTIFIED BY ACI AND TRAINED BY THE MANUFACTURER.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

7 BREW COFFEE

BRYANT, AR #2

2006 N REYNOLDS ROAD
BRYANT, AR 72022

S0.0

GENERAL NOTES

DATE: 08/15/2024

RTM ENGINEERING CONSULTANTS, LLC
3045 S. KANSAS EXPRESSWAY
SPRINGFIELD, MO 65807
PHONE: 417.708.9315

AR COA 3006

RTM ENGINEERING
NO 3006

LICENSE NO.

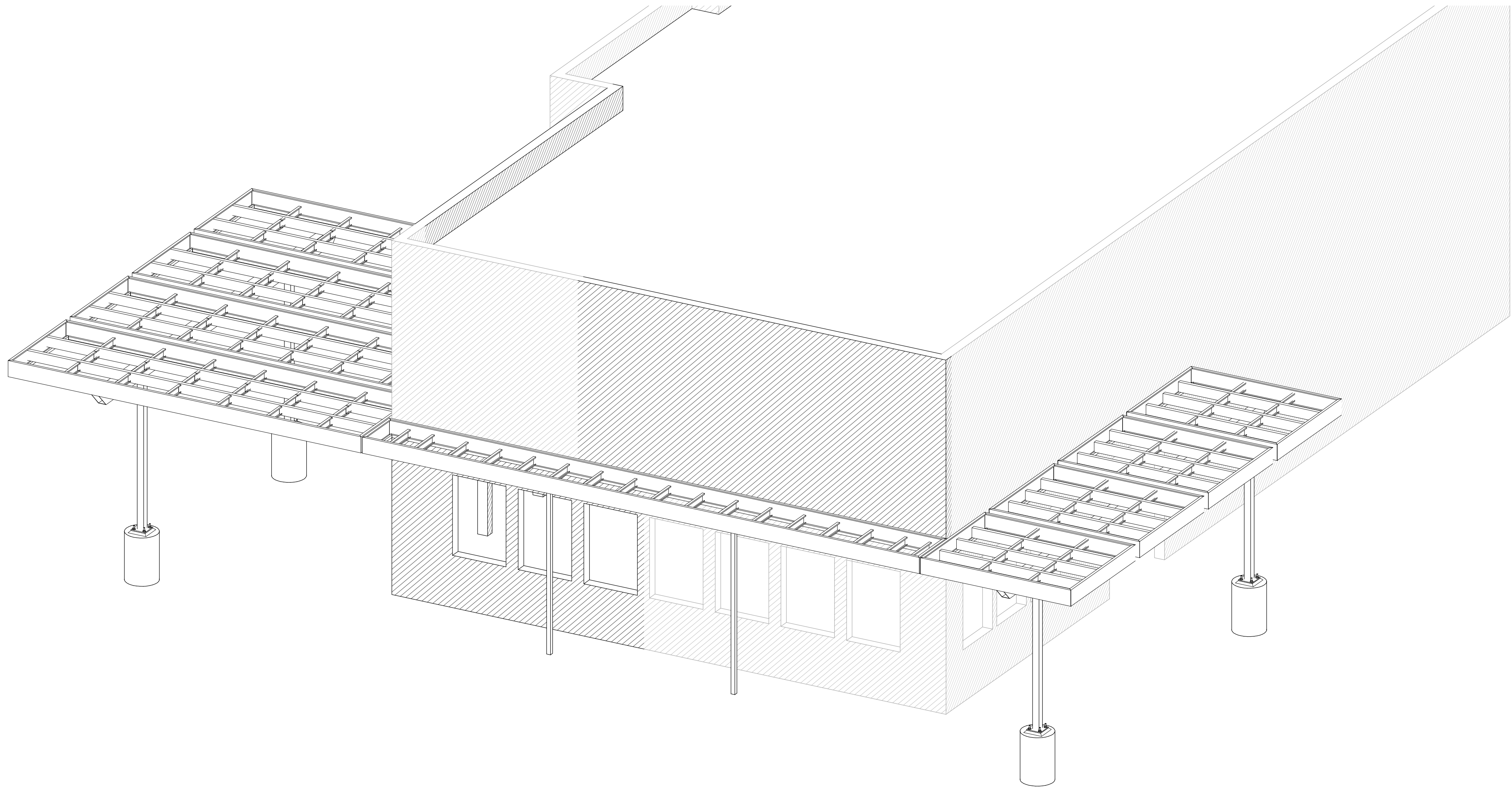
24198 78BA2

REVISION:

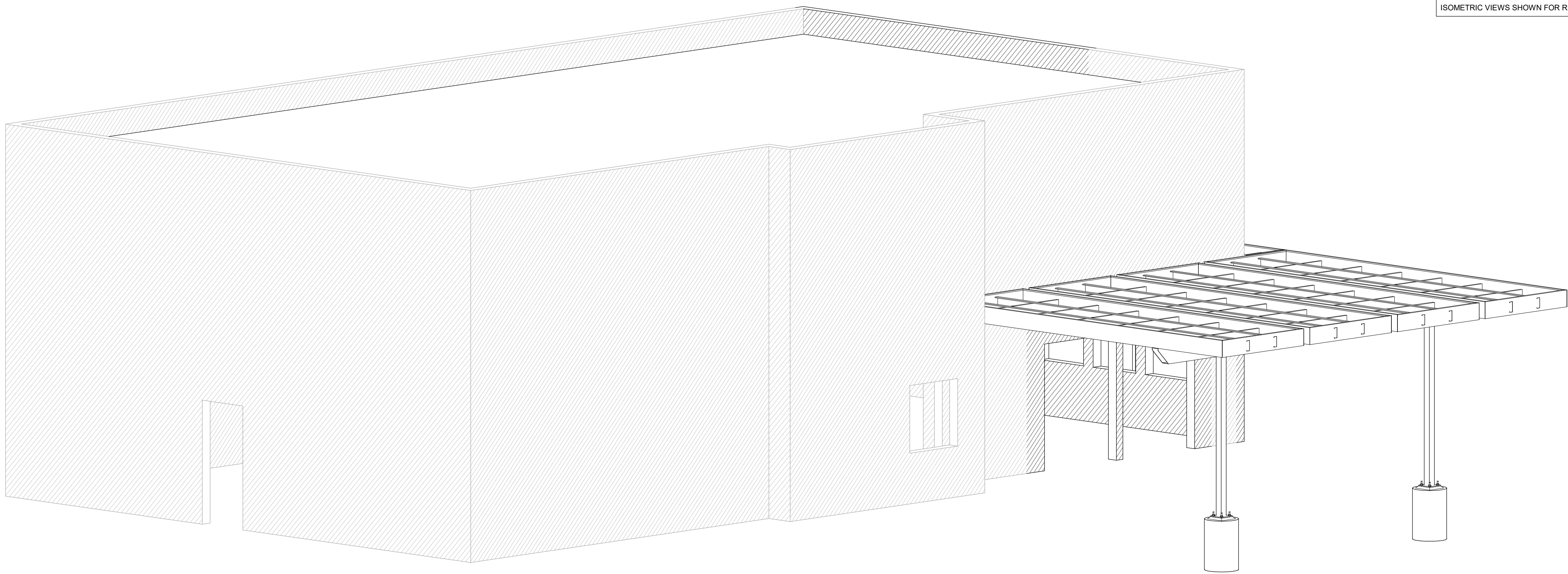
ENGINEER OF RECORD:
NAME: BEN C. JENNINGS, PE
LICENSE NO. 14655

PROJECT NUMBER:
24198 78BA2

8/15/2024 5:18:17 PM



1 FRONT ISOMETRIC VIEW



2 REAR ISOMETRIC VIEW

ISOMETRIC VIEWS SHOWN FOR REFERENCE ONLY



RTM ENGINEERING CONSULTANTS, LLC
3045 S. KANSAS EXPRESSWAY
SPRINGFIELD, MO 65807
PHONE: 417.708.9315
AR COA: 3006



ENGINEER OF RECORD:
NAME: BEN C. JENNINGS, PE
LICENSE NO. 14855

PROJECT NUMBER:
24198 7BBA2

REVISION:

7 BREW COFFEE
BRYANT, AR #2

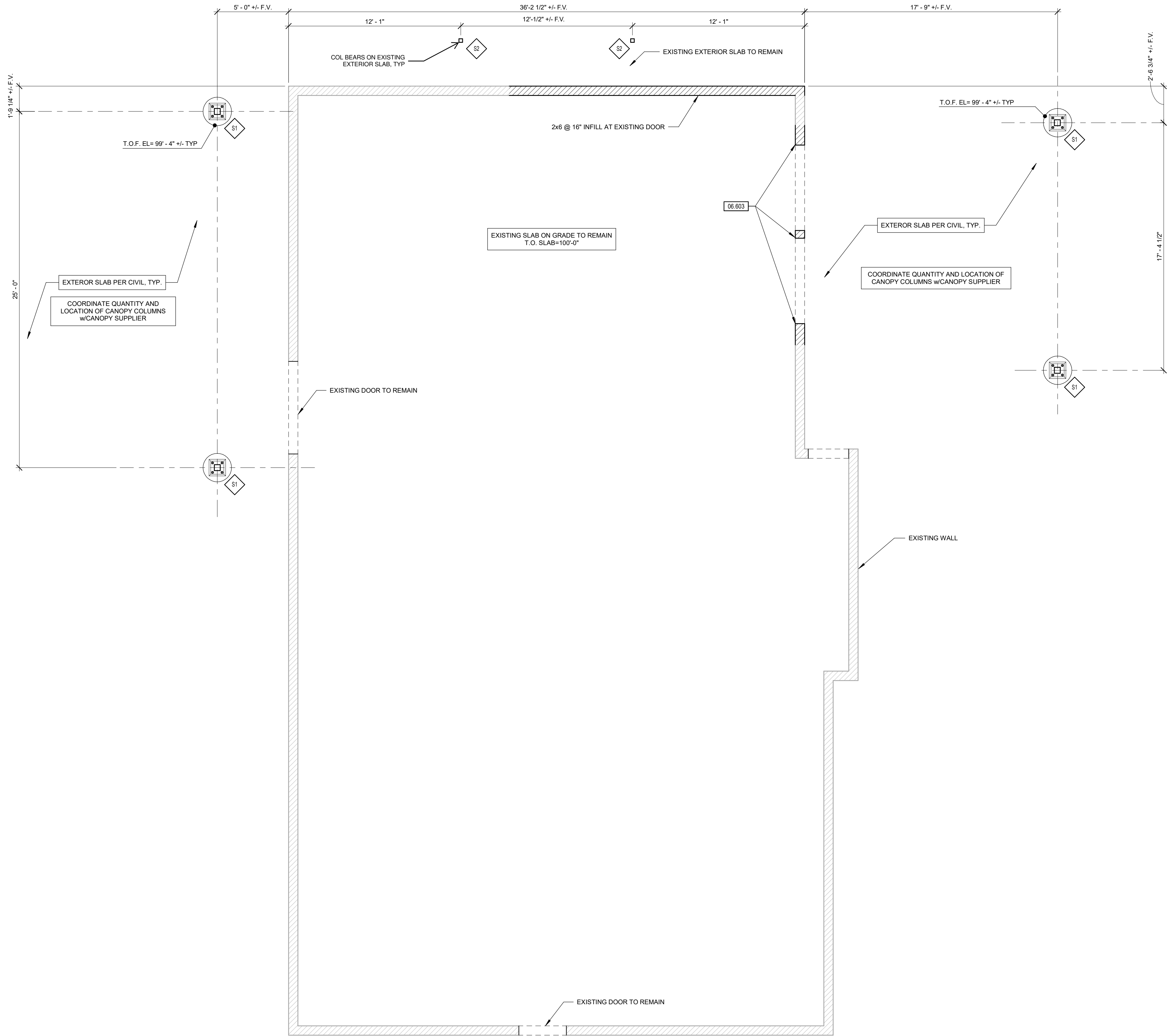
2006 N REYNOLDS ROAD
BRYANT, AR 72022

S0.1
ISOMETRIC VIEWS

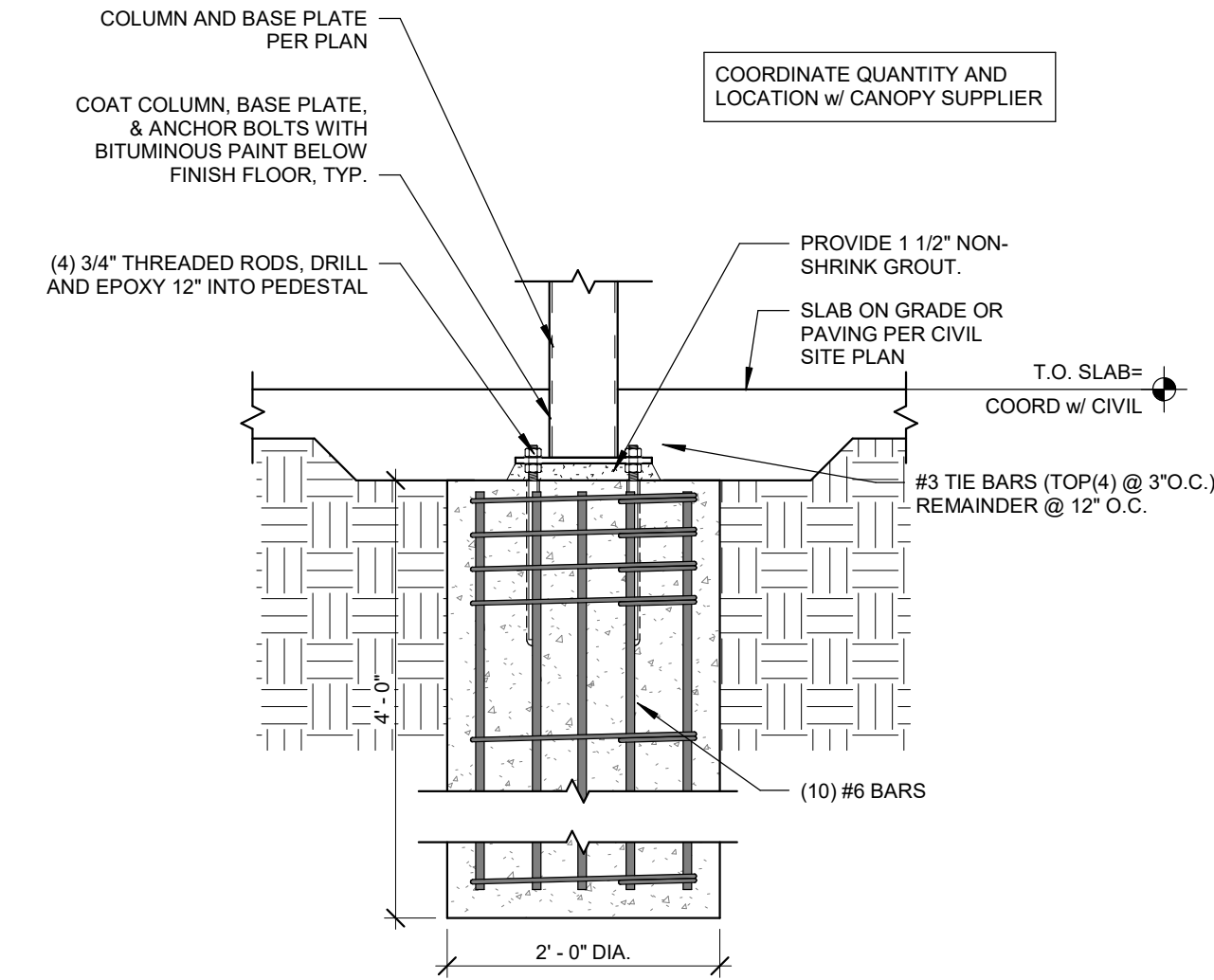
DATE: 08/15/2024

1 FOUNDATION PLAN

1/4" = 1'-0"

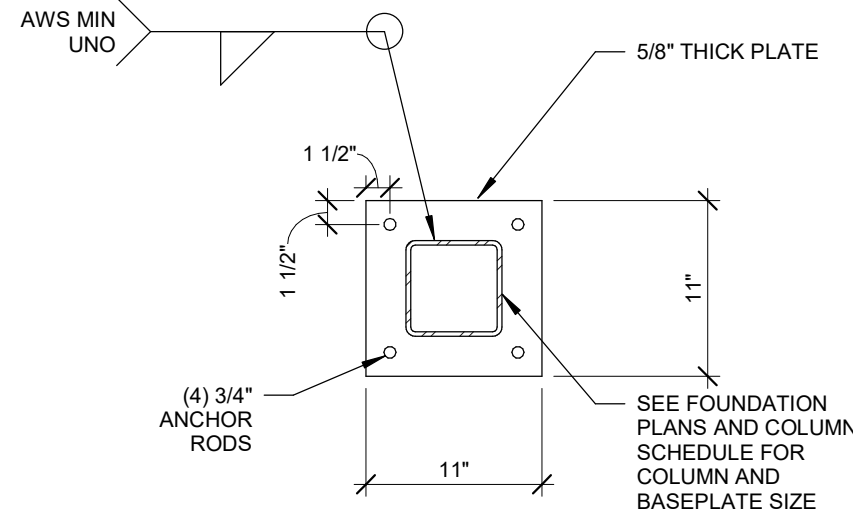


KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
06.603	PROVIDE 2x6 JACK STUD BELOW EA HEADER ABOVE. PROVIDE (4) 2x6 FULL HEIGHT EA SIDE OF NEW DOOR.



2 CANOPY COLUMN FOOTING-RECESSED

3/4" = 1'-0"



3 CANOPY BASEPLATE

1" = 1'-0"

COLUMN SCHEDULE			
MARK	COLUMN SIZE	BASE PLATE TYPE & SIZE	ANCHOR ROD SIZE
S1	HSS5X5X1/4	5/8"x11" SQ	3/4" DIA
S2	HSS3X3X1/4	5/8" x 6" SQ	1/2" x 3" TITAN HD



RTM ENGINEERING CONSULTANTS, LLC
3045 S. KANSAS EXPRESSWAY
SPRINGFIELD, MO 65807
PHONE: 417.708.9315
AR COA: 3006



ENGINEER OF RECORD:
NAME: BEN C. JENNINGS, PE
LICENSE NO. 14855

PROJECT NUMBER:
24198 7BBA2

REVISION:

7 BREW COFFEE
BRYANT, AR #2
2006 N REYNOLDS ROAD
BRYANT, AR 72022

S1.1
FOUNDATION PLAN AND
DETAILS

DATE: 08/15/2024

STRAIGHT DOWEL DEVELOPMENT LENGTHS (INCHES)									
BAR SIZE	TENSION						COMPRESSION		
	OTHER BARS			TOP BARS					
	3000 PSI CONCRETE	4000 PSI CONCRETE	5000 PSI CONCRETE	3000 PSI CONCRETE	4000 PSI CONCRETE	5000 PSI CONCRETE	3000 PSI CONCRETE	4000 PSI CONCRETE	5000 PSI CONCRETE
#3	17	15	13	22	19	17	9	8	8
#4	22	19	17	29	25	22	11	10	9
#5	28	24	22	36	31	28	14	12	12
#6	33	29	26	43	37	33	17	15	14
#7	48	42	37	63	54	49	20	17	16
#8	55	48	43	72	62	55	22	19	18
#9	62	54	48	81	70	63	25	22	21
#10	70	61	54	91	79	70	28	25	23
#11	78	67	60	101	87	78	31	27	25

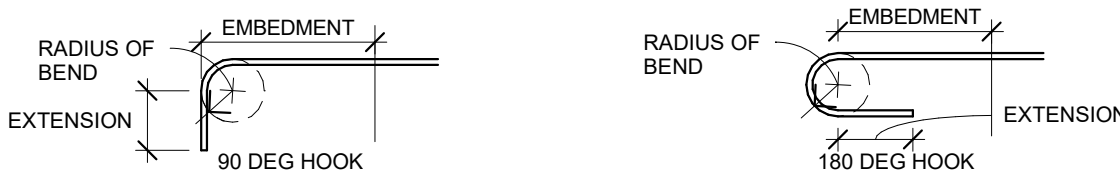
- NOTES:
- TOP BARS ARE HORIZONTAL REINFORCEMENT PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT.
 - LAP SPLICE LENGTHS ARE BASED ON BARS SPACED AT (2) BAR DIAMETERS OR MORE ON CENTER W/ (1) BARS DIAMETER MINIMUM ON CONCRETE COVER. NOTIFY ENGINEER IF SPACING IS LESS THAN (2) BAR DIAMETERS.

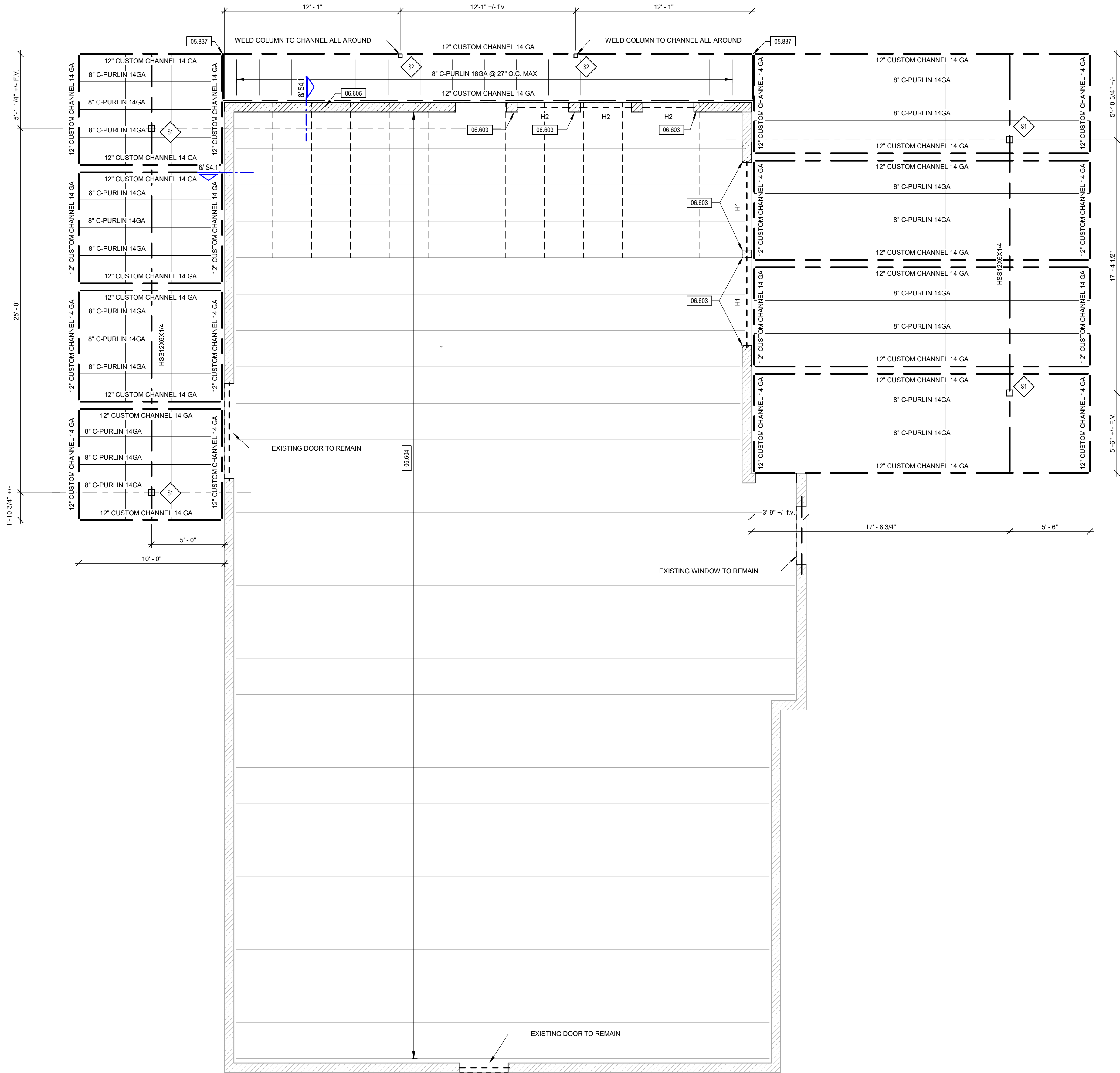
LAP SPLICE LENGTHS (INCHES)								
BAR SIZE	TENSION (CLASS B SPLICE)						COMPRESSION	
	OTHER BARS			TOP BARS				
	3000 PSI CONCRETE	4000 PSI CONCRETE	5000 PSI CONCRETE	3000 PSI CONCRETE	4000 PSI CONCRETE	5000 PSI CONCRETE	3000 PSI CONCRETE	5000 PSI CONCRETE
#3	22	19	17	28	24	22	12	12
#4	29	25	22	37	32	29	15	15
#5	36	31	28	47	40	36	19	19
#6	43	37	33	56	48	43	23	23
#7	63	54	49	81	70	63	27	27
#8	72	62	55	93	80	72	30	30
#9	81	70	63	105	91	81	34	34
#10	91	79	70	118	102	91	38	38
#11	101	87	78	131	113	101	43	43

- NOTES:
- TOP BARS ARE HORIZONTAL REINFORCEMENT PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT.
 - LAP SPLICE LENGTHS ARE BASED ON BARS SPACED AT (2) BAR DIAMETERS OR MORE ON CENTER W/ (1) BAR DIAMETER MINIMUM OF CONCRETE COVER. NOTIFY ENGINEER IF SPACING IS LESS THAN (2) BAR DIAMETERS.

HOOKED DOWEL DEVELOPMENT LENGTHS IN TENSION (INCHES)						
BAR SIZE	EMBEDMENT			EXTENSION		MINIMUM RADIUS OF BEND (INCHES)
	3000 PSI CONCRETE	4000 PSI CONCRETE	5000 PSI CONCRETE	90 DEG HOOK	180 DEG HOOK	
#3	8	7	6	4.5	2.5	1.50
#4	11	9	8	6.0	2.5	2.00
#5	14	12	11	7.5	2.5	2.50
#6	16	14	13	9.0	3.0	3.00
#7	19	17	15	10.5	3.5	3.50
#8	22	19	17	12.0	4.0	4.00
#9	25	21	19	13.5	4.5	5.64
#10	28	24	22	15.2	5.1	6.35
#11	31	27	24	16.9	5.6	7.05

NOTES:





COLUMN SCHEDULE			
MARK	COLUMN SIZE	BASE PLATE TYPE & SIZE	ANCHOR ROD SIZE
S1	HSS5X5X1/4	5/8"x11" SQ	3/4" DIA
S2	HSS3X3X1/4	5/8" x 6" SQ	1/2" x 3" TITAN HD

KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
06.603	12" CUSTOM CHANNEL 14GA. PROVIDE (12) #12 SELF DRILLING SCREWS AT BACK-TO-BACK CHANNELS.
06.604	PROVIDE 2x6 JACK STUD BELOW EA HEADER ABOVE. PROVIDE (4) 2x6 PULL HEIGHT EA SIDE OF NEW DOOR.
06.605	EXISTING ROOF TRUSSES, SHOWN HERE ONLY FOR CLARITY.
06.606	PROVIDE NEW 2x6 PARAPET STUD SISTERED TO EA EXISTING STUD AT PARAPET EXTENSION. SEE DETAIL 6/S4/1 FOR MORE INFORMATION.

HEADER SCHEDULE	
TYPE MARK	Description
H1	(3) 1 3/4"x 11 7/8" LVL
H2	(3) 2x8



ENGINEER OF RECORD:
NAME: BEN C. JENNINGS, PE
LICENSE NO. 14855

PROJECT NUMBER:
24198 7BBA2

REVISION:

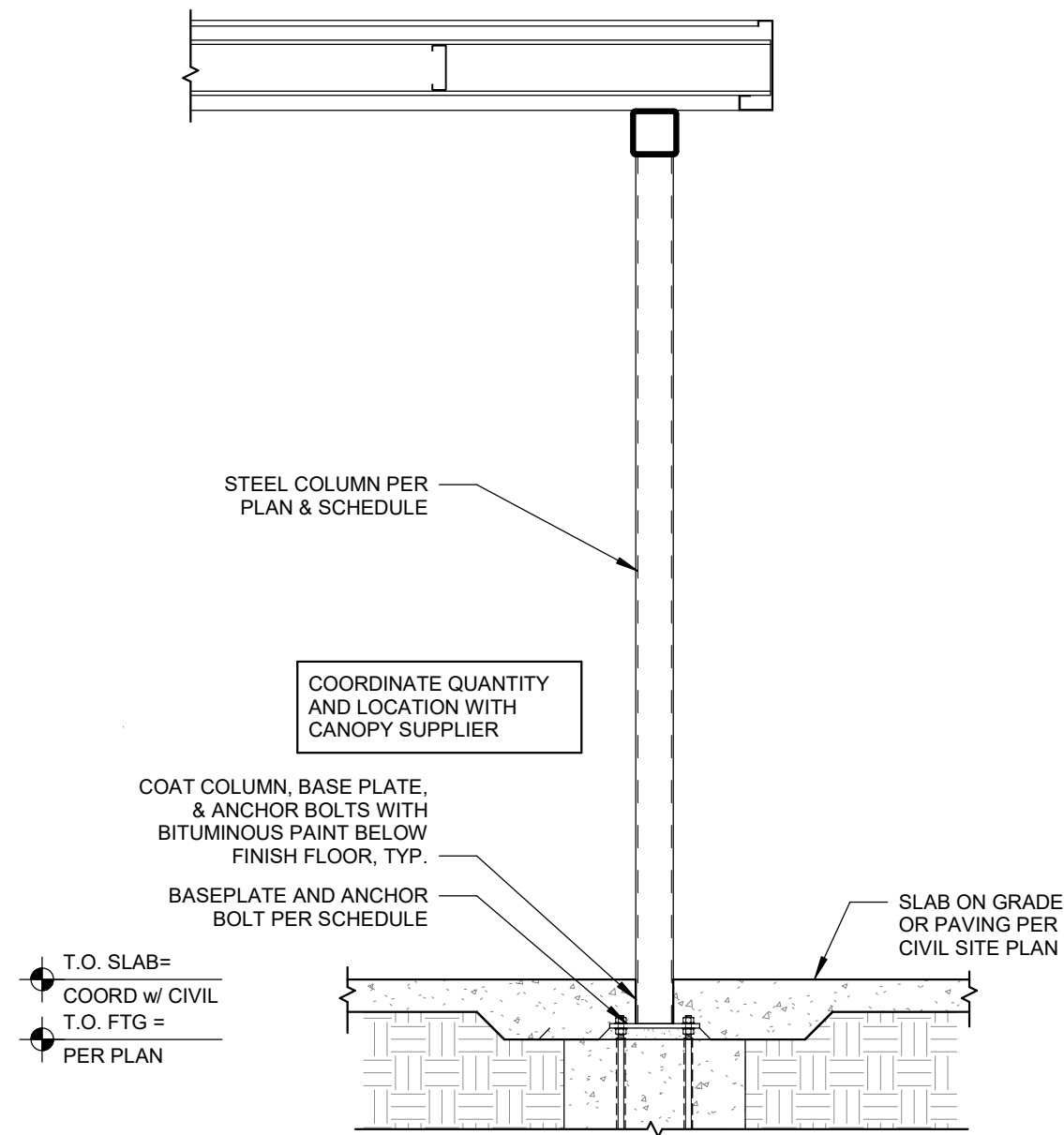
7 BREW COFFEE
BRYANT, AR #2
2006 N REYNOLDS ROAD
BRYANT, AR 72022

S3.1
DRIVE-THRU CANOPY

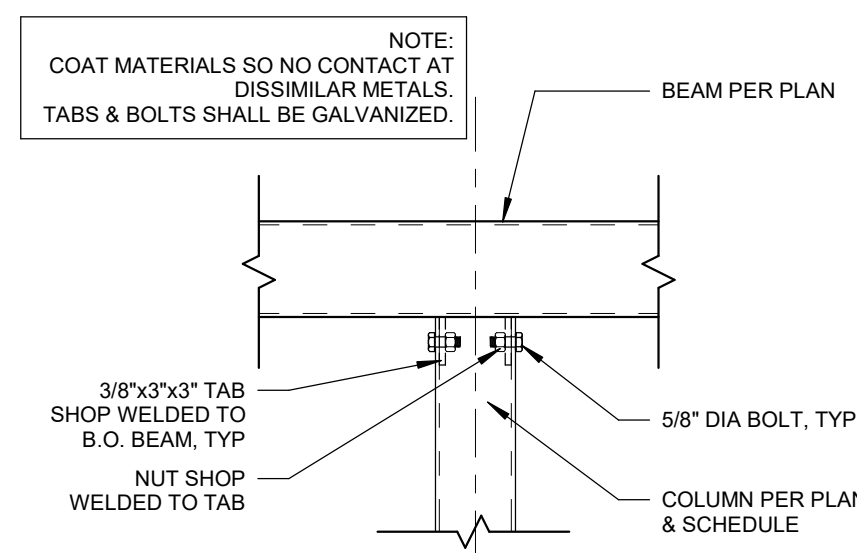
DATE: 08/15/2024

1 CANOPY ADDITION FRAMING PLAN
1/4" = 1'-0"

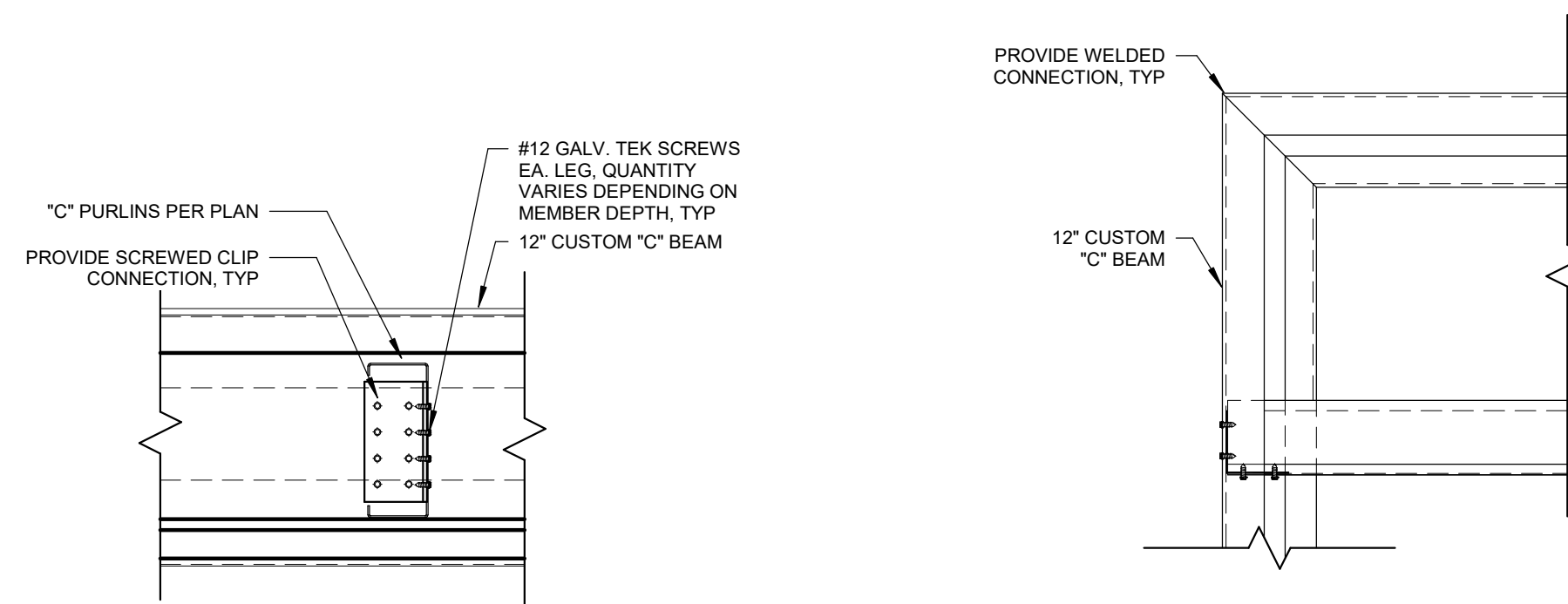




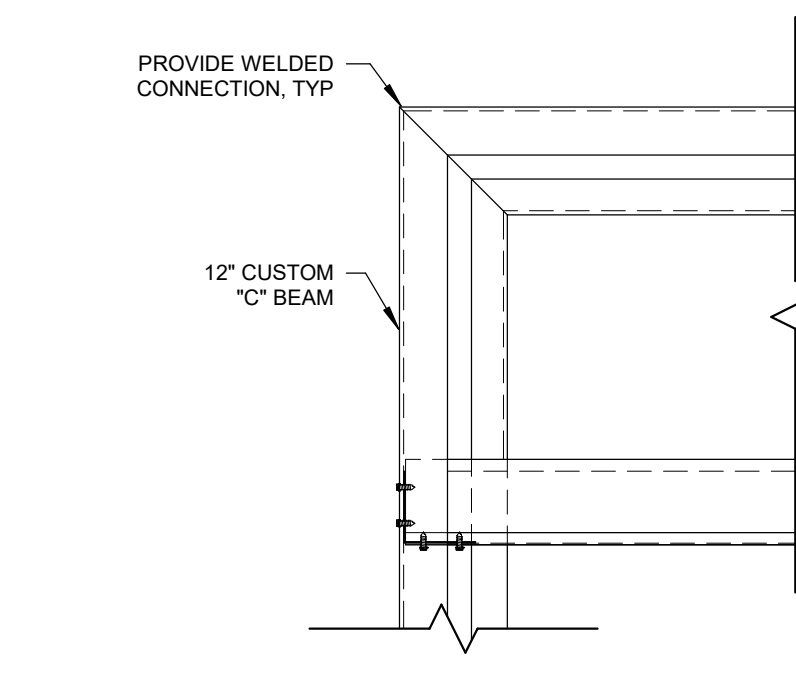
1 SECTION AT COLUMN
1/2" = 1'-0"



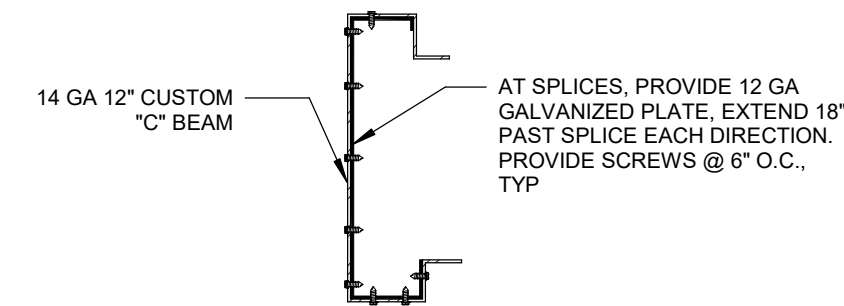
2 SECTION AT COLUMN CAP
1" = 1'-0"



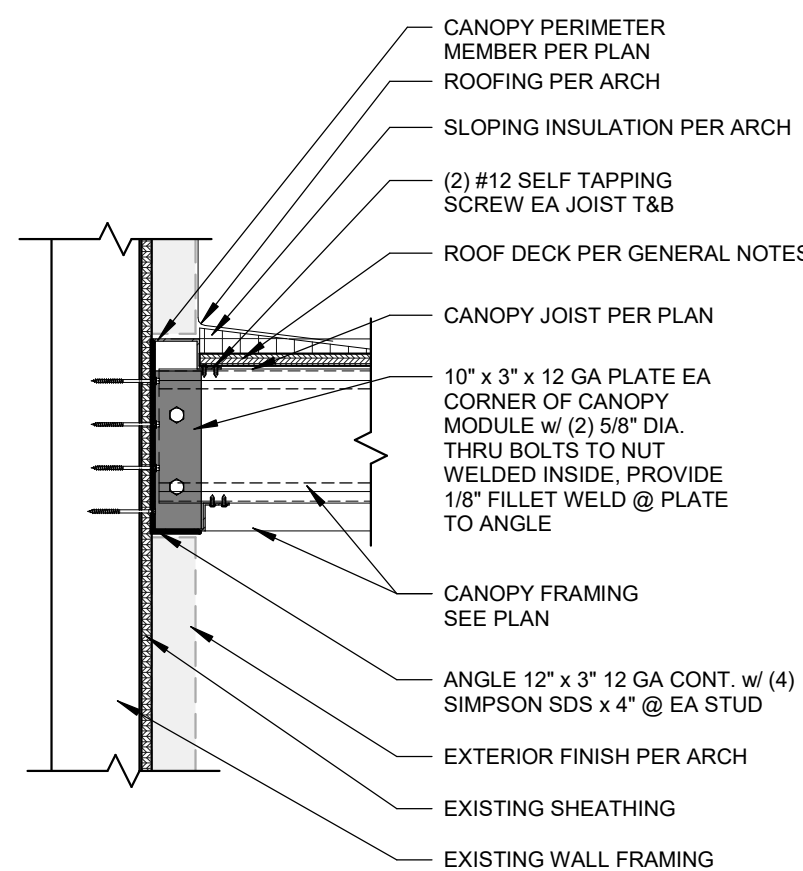
3 "C" PURLIN ATTACHMENT
1 1/2" = 1'-0"



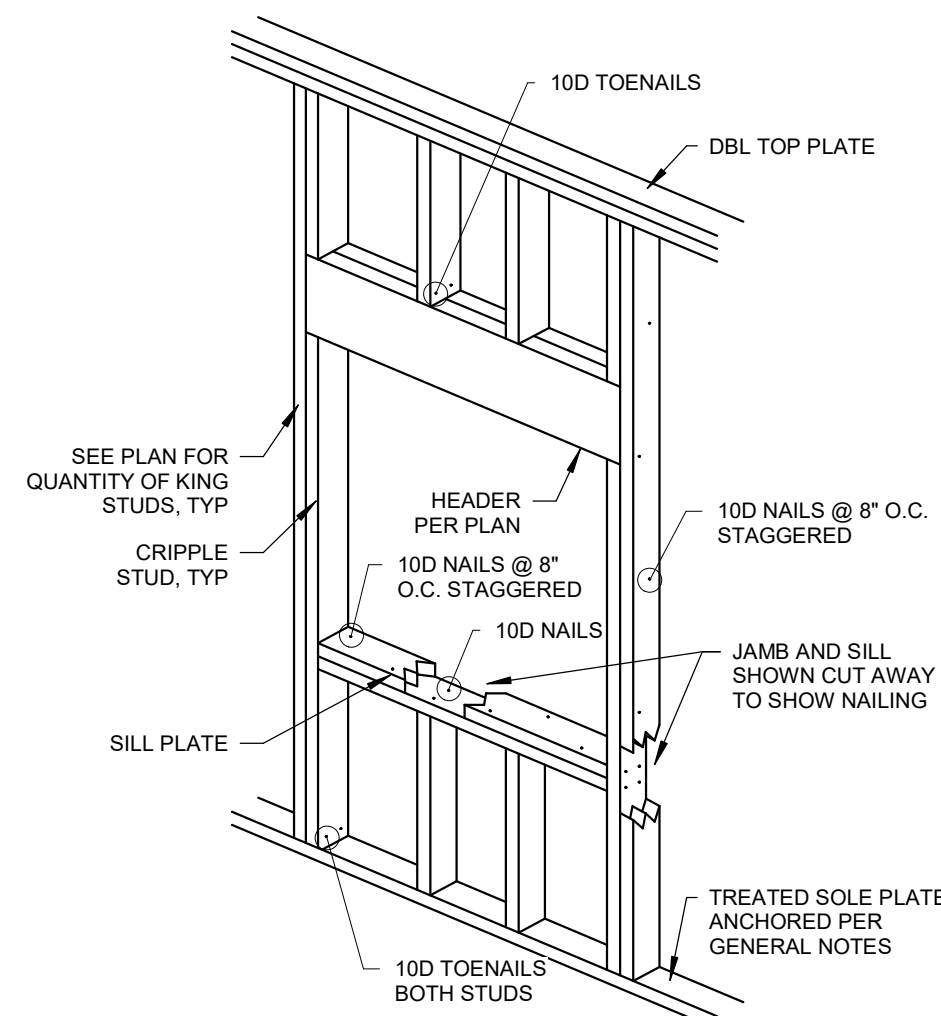
4 DETAIL AT CORNER
1 1/2" = 1'-0"



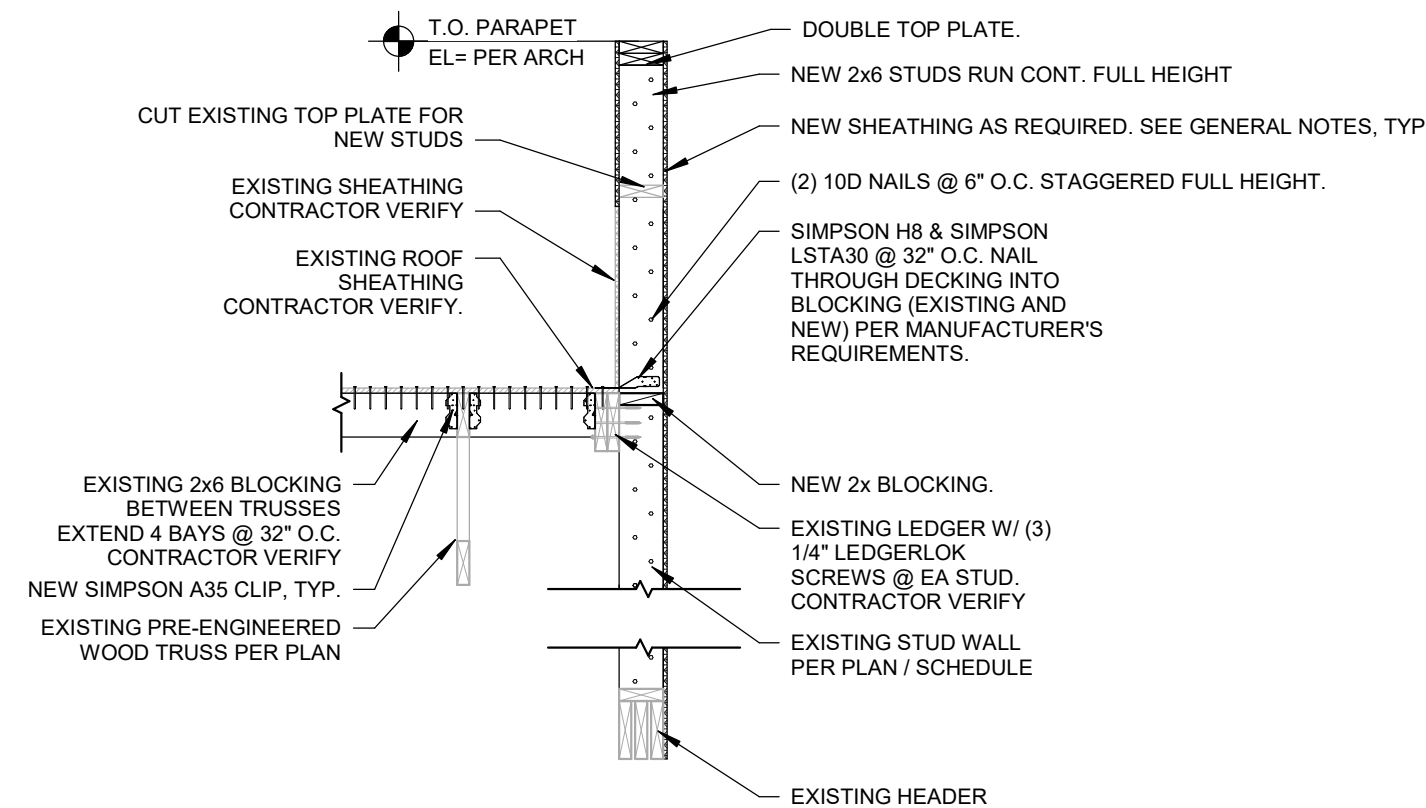
5 CUSTOM SECTION @ CANOPY
1 1/2" = 1'-0"



6 SECTION AT LOW CANOPY
1" = 1'-0"



7 TYPICAL HEADER DETAIL
1/2" = 1'-0"




8 END WALL FRAMING
1/2" = 1'-0"

The logo for KIZMETIC features the letters 'KIZMETIC' in a stylized, outlined font. The 'K' is blue, the 'I' is white with a blue outline, the 'Z' is orange, the 'M' is white with a blue outline, the 'E' is white with a blue outline, the 'T' is white with a blue outline, the 'I' is white with a blue outline, and the 'C' is white with a blue outline. The letters are arranged in a horizontal line.

KIZMETIC

DESIGN + DEVELOPMENT

2215 W CHESTERFIELD BLVD, SUITE 01 • SPRINGFIELD, MO 65807 • P (417) 530-4321

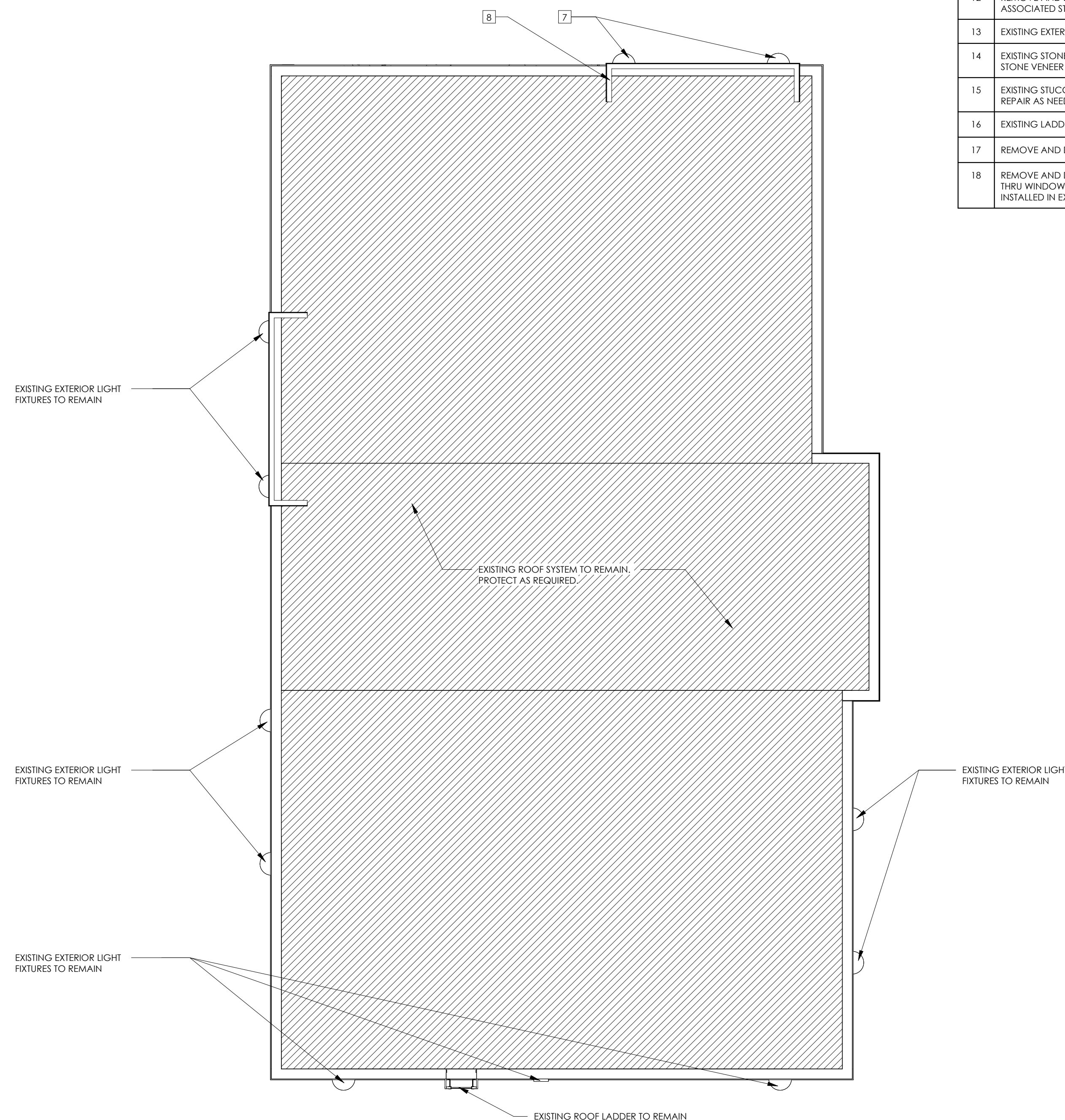


LICENSE NO. 77051

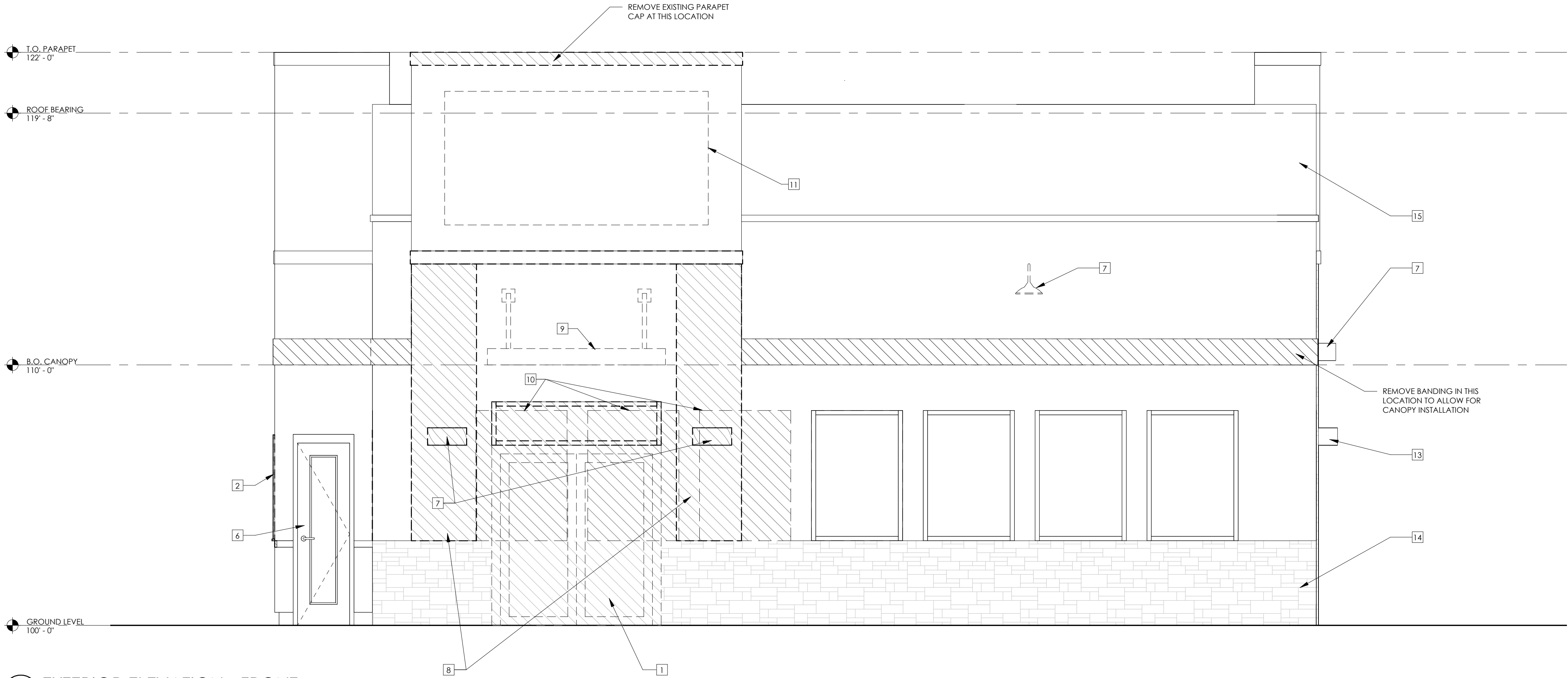
REVISION:

2006 N REYNOLDS ROAD
BRYANT, AR 72022

DATE: AUGUST 15, 2024

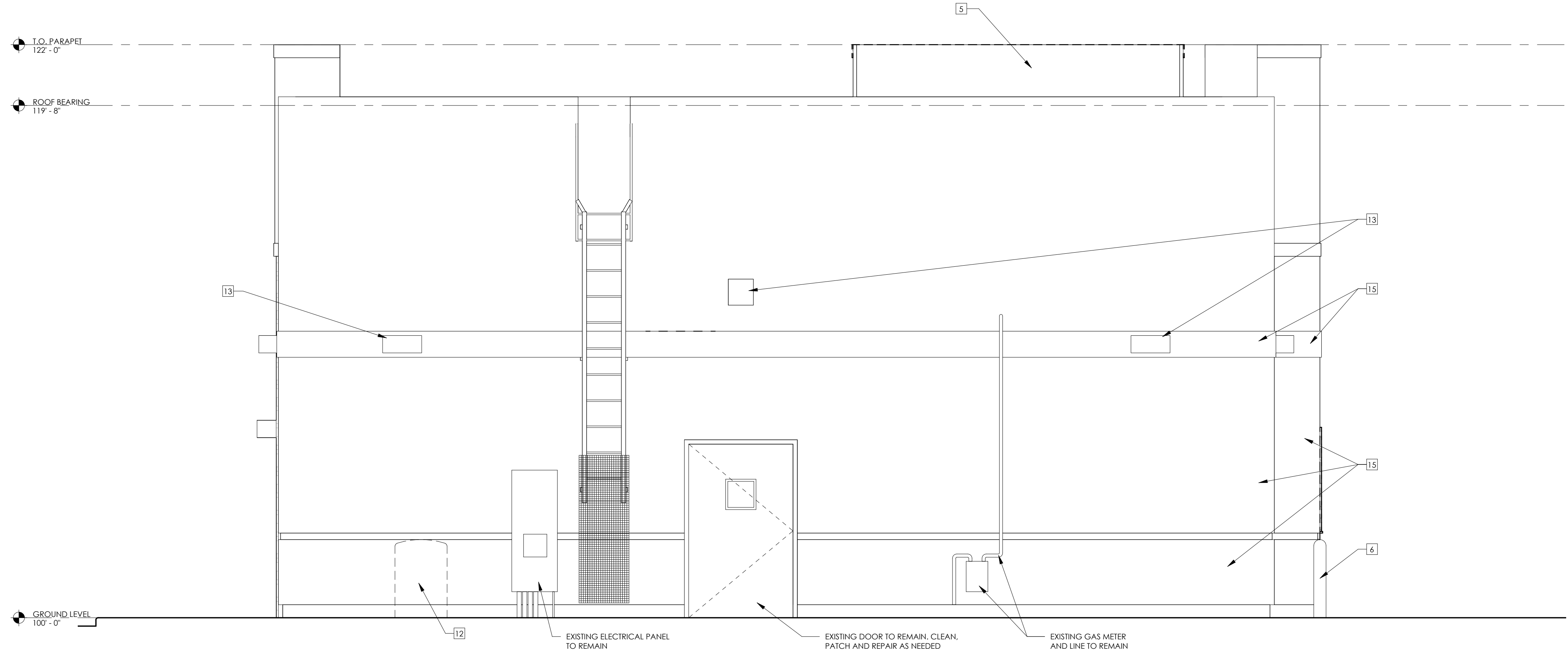


2 DEMOLITION ROOF PLAN
3/16" = 1'-0"



1 EXTERIOR ELEVATION - FRONT

3/8" = 1'-0"



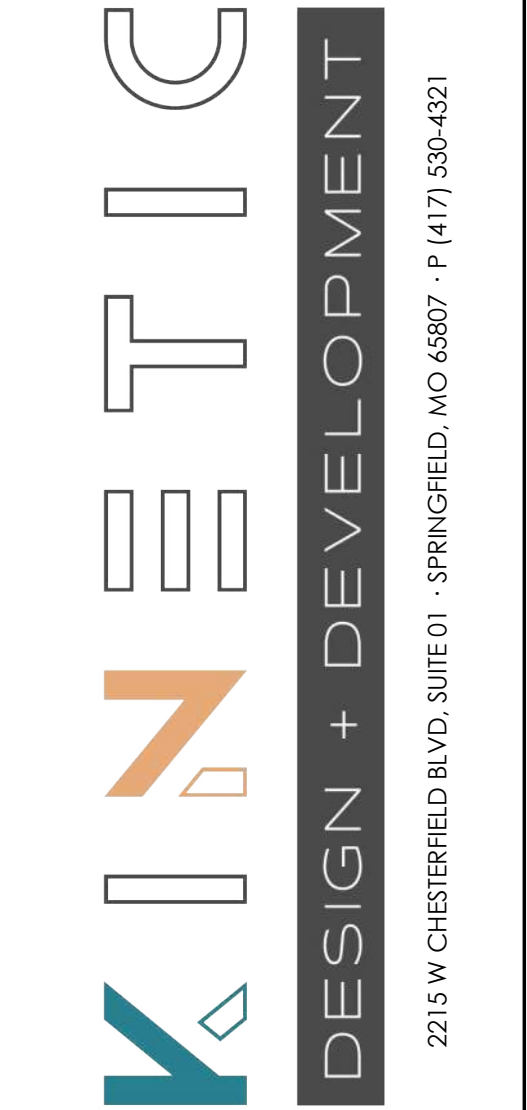
2 EXTERIOR ELEVATION - BACK

3/8" = 1'-0"

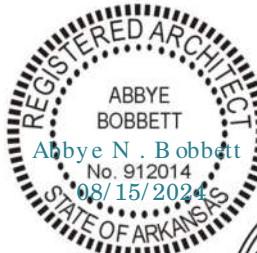
DEMOLITION KEYNOTES	
TAG NO.	DESCRIPTION
1	REMOVE AND DISCARD EXISTING DOOR.
2	REMOVE AND DISCARD SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN PLACE.
3	REMOVE AND DISCARD EXISTING WALLS.
4	REMOVE AND DISCARD EXISTING FIXTURE.
5	EXISTING BOLLARD TO REMAIN. PROTECT AS REQUIRED.
6	LOCK AND REMOVE HARDWARE. PRIVACY FILM TO BE APPLIED TO GLAZING.
7	REMOVE AND DISCARD EXISTING LIGHT FIXTURE. CAP EXISTING ELECTRICAL JUNCTION BOXES AS NEEDED AND PAINT TO MATCH ADJACENT WALL.
8	REMOVE AND DISCARD EXISTING FINISH ON PARAPET PORTION TO EXISTING STUD/SHEATHING TO ALLOW FOR NEW CONSTRUCTION. REFER TO STRUCTURAL FOR ADDITIONAL SUPPORT REQUIRED.
9	REMOVE AND DISCARD EXISTING CANOPY AND TIE RODS. PATCH AND REPAIR WALL BEHIND.
10	REMOVE AND DISCARD PORTION OF EXISTING WALL TO ALLOW FOR CONSTRUCTION OF NEW WINDOW OPENING AS SHOWN ON A1.1 AND A2.1
11	REMOVE AND DISCARD EXISTING WALL SIGNAGE
12	REMOVE AND DISCARD EXISTING CO2 TANK AND ASSOCIATED STRUCTURES
13	EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN
14	EXISTING STONE VENEER TO REMAIN, REFER TO STONE VENEER NOTE
15	EXISTING STUCCO TO REMAIN. CLEAN, PATCH AND REPAIR AS NEEDED.
16	EXISTING LADDER TO REMAIN
17	REMOVE AND DISCARD EXISTING WINDOW
18	REMOVE AND DISCARD EXISTING SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN EXISTING OPENING.

STONE VENEER NOTE:

STONE VENEER EXISTING TO REMAIN. ANY LOCATIONS WHERE STONE IS TO BE REMOVED, IT IS TO BE USED TO REPAIR ANY FAILING LOCATIONS THAT ARE TO REMAIN. CONTRACTOR TO CHECK AND ENSURE ANY LOOSE STONES ARE SECURED.



FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBETT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

REVISION:

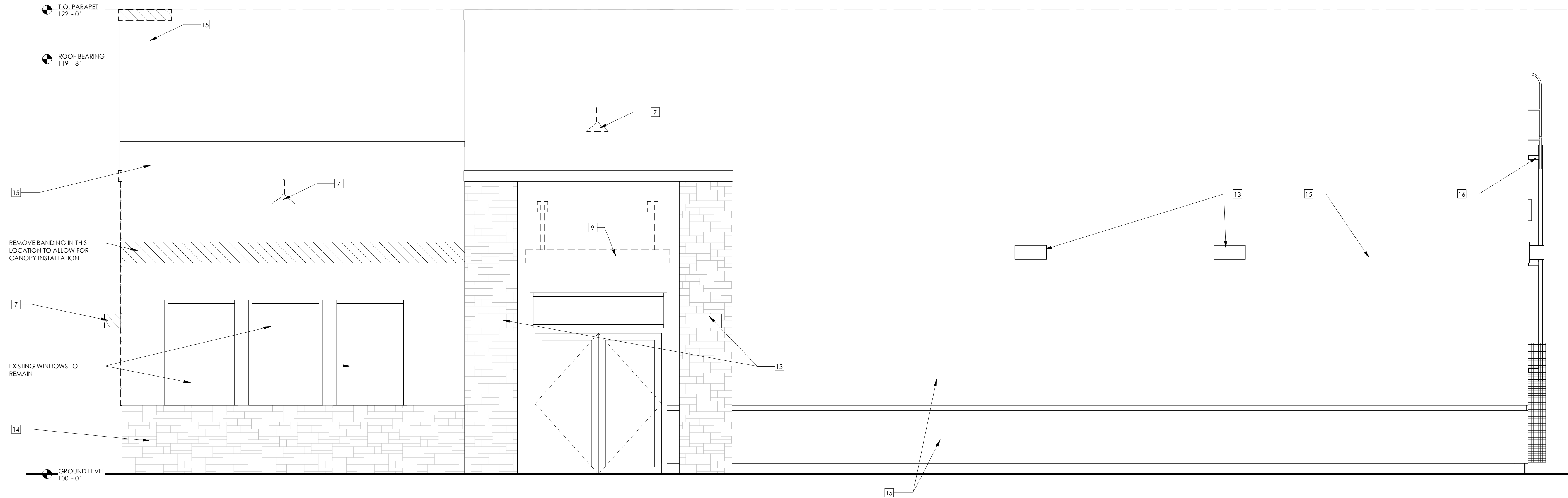
7 BREW COFFEE
BRYANT, AR #2

2006 N REYNOLDS ROAD
BRYANT, AR 72022

AD1.2

ARCHITECTURAL DEMOLITION

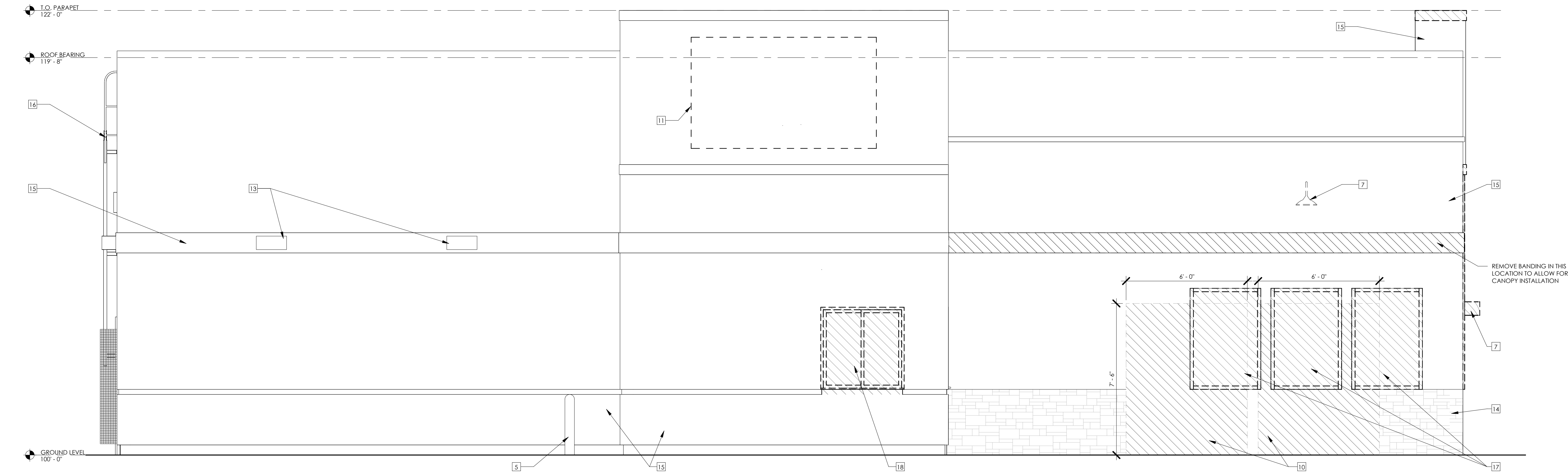
DATE: AUGUST 15, 2024



1 EXTERIOR ELEVATION - RIGHT SIDE
3/8" = 1'-0"

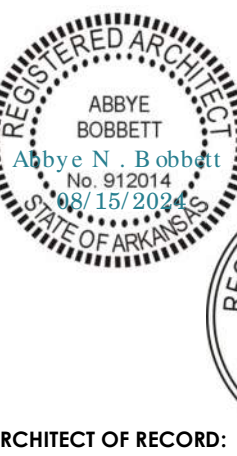
DEMOLITION KEYNOTES	
TAG NO.	DESCRIPTION
1	REMOVE AND DISCARD EXISTING DOOR.
2	REMOVE AND DISCARD SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN PLACE.
3	REMOVE AND DISCARD EXISTING WALLS.
4	REMOVE AND DISCARD EXISTING FIXTURE.
5	EXISTING BOLLARD TO REMAIN. PROTECT AS REQUIRED.
6	LOCK AND REMOVE HARDWARE. PRIVACY FILM TO BE APPLIED TO GLAZING.
7	REMOVE AND DISCARD EXISTING LIGHT FIXTURE. CAP EXISTING ELECTRICAL JUNCTION BOXES AS NEEDED AND PAINT TO MATCH ADJACENT WALL.
8	REMOVE AND DISCARD EXISTING FINISH ON PARAPET PORTION TO EXISTING STUD/SHEATHING TO ALLOW FOR NEW CONSTRUCTION. REFER TO STRUCTURAL FOR ADDITIONAL SUPPORT REQUIRED.
9	REMOVE AND DISCARD EXISTING CANOPY AND TIE RODS. PATCH AND REPAIR WALL BEHIND.
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11	REMOVE AND DISCARD EXISTING WALL SIGNAGE
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14	EXISTING STONE VENEER TO REMAIN. REFER TO STONE VENEER NOTE
15	EXISTING STUCCO TO REMAIN. CLEAN, PATCH AND REPAIR AS NEEDED.
16	EXISTING LADDER TO REMAIN
17	REMOVE AND DISCARD EXISTING WINDOW
18	REMOVE AND DISCARD EXISTING SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN EXISTING OPENING.

STONE VENEER NOTE:
STONE VENEER EXISTING TO REMAIN. ANY LOCATIONS WHERE STONE IS TO BE REMOVED, IT IS TO BE USED TO REPAIR ANY FAILING LOCATIONS THAT ARE TO REMAIN. CONTRACTOR TO CHECK AND ENSURE ANY LOOSE STONES ARE SECURED.



2 EXTERIOR ELEVATION - LEFT SIDE
3/8" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBETT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

REVISION:

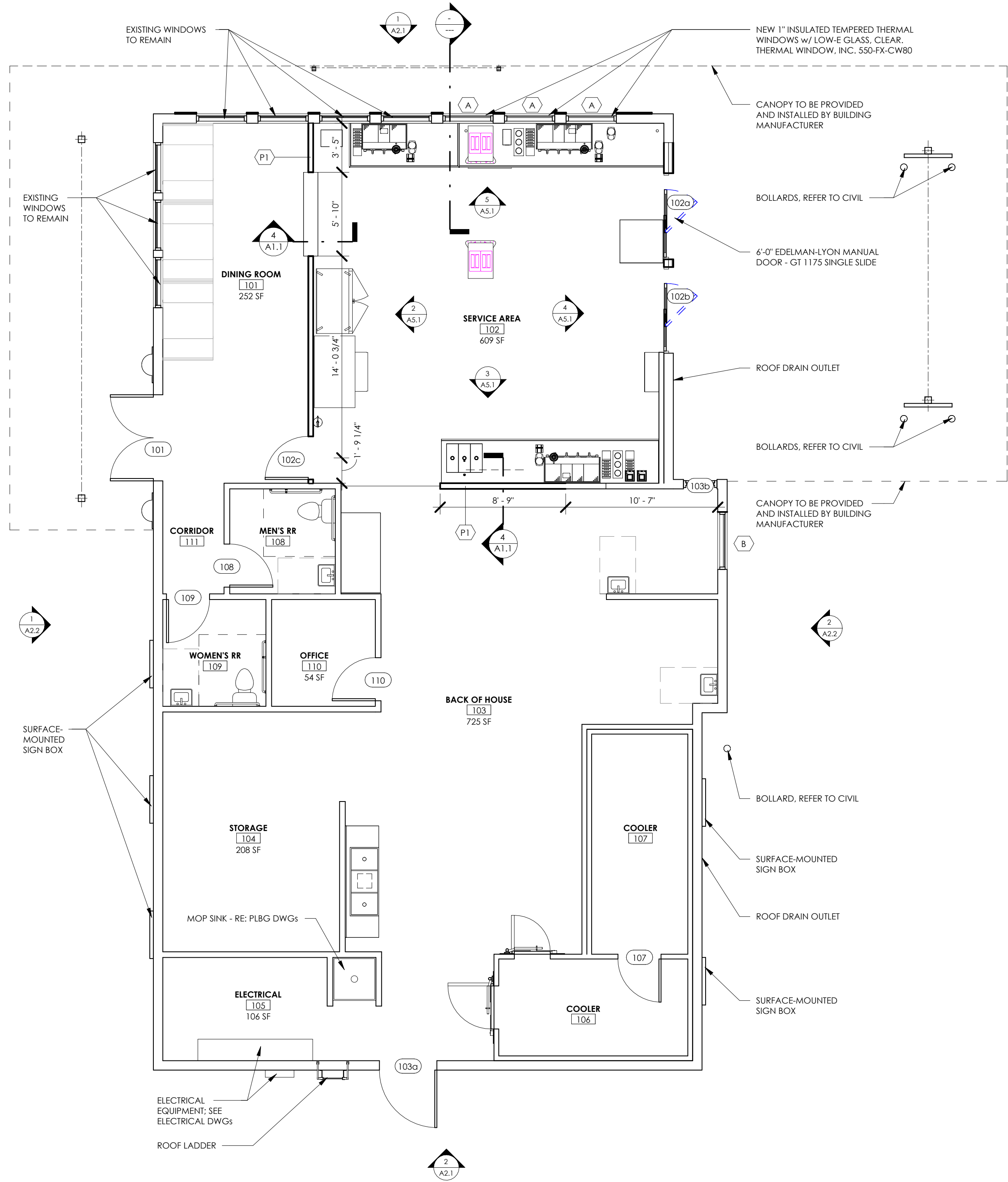
7 BREW COFFEE
BRYANT, AR #2

2006 N REYNOLDS ROAD
BRYANT, AR 72022

AD1.3

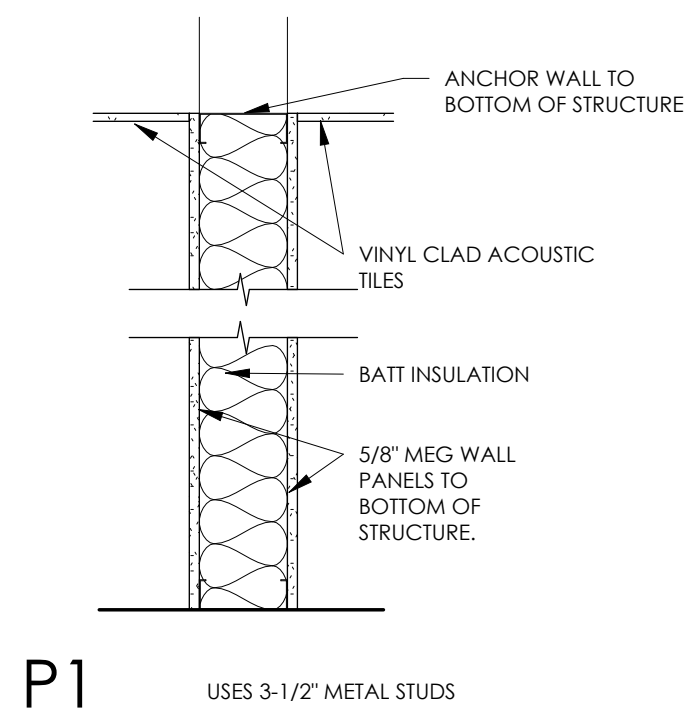
ARCHITECTURAL DEMOLITION

DATE: AUGUST 15, 2024

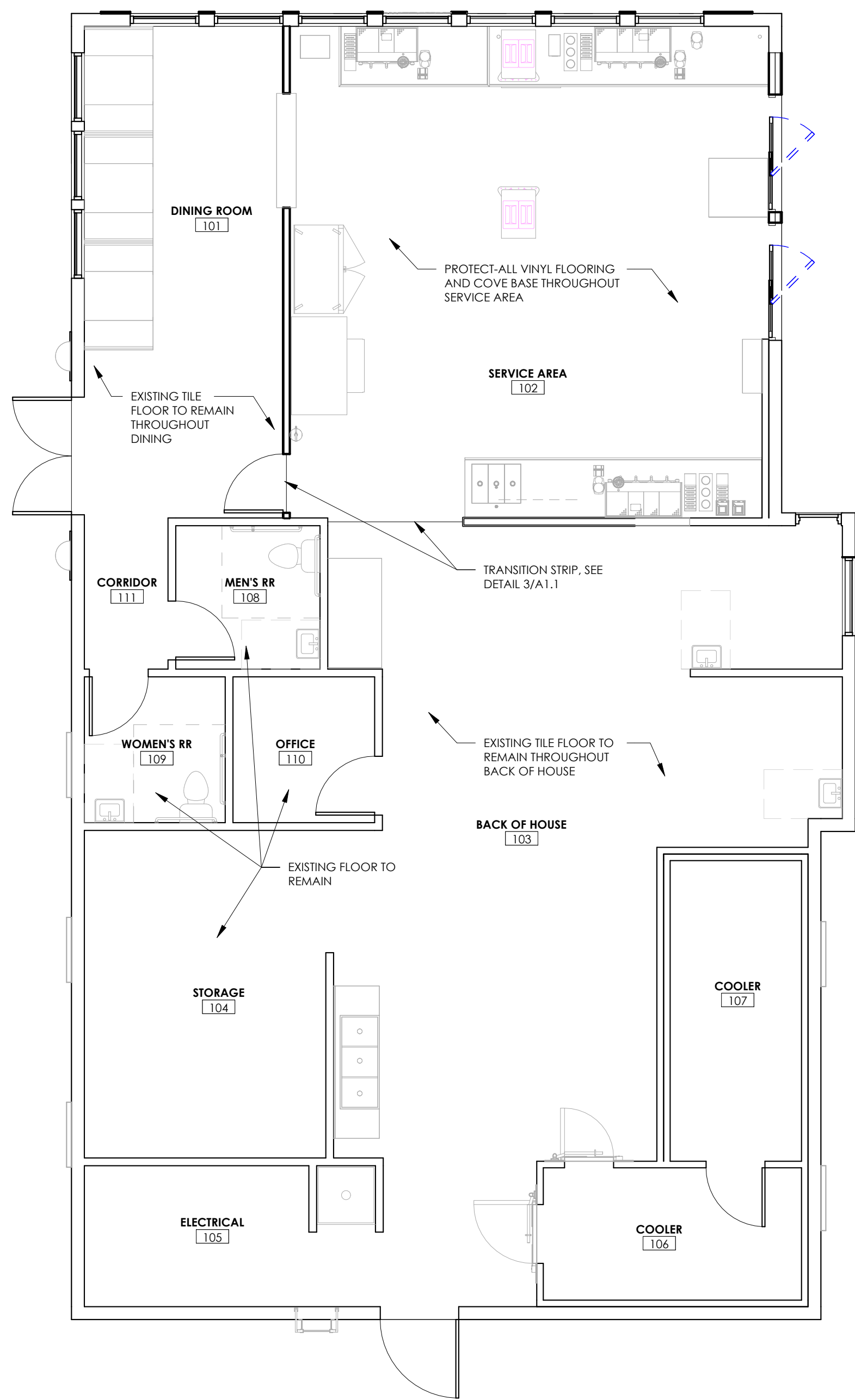


1 GROUND LEVEL
3/16" = 1'-0"

PARTITION TYPES



P1 USES 3-1/2\"/>



2 FLOOR FINISH PLAN
3/16" = 1'-0"

ROOM FINISH SCHEDULE

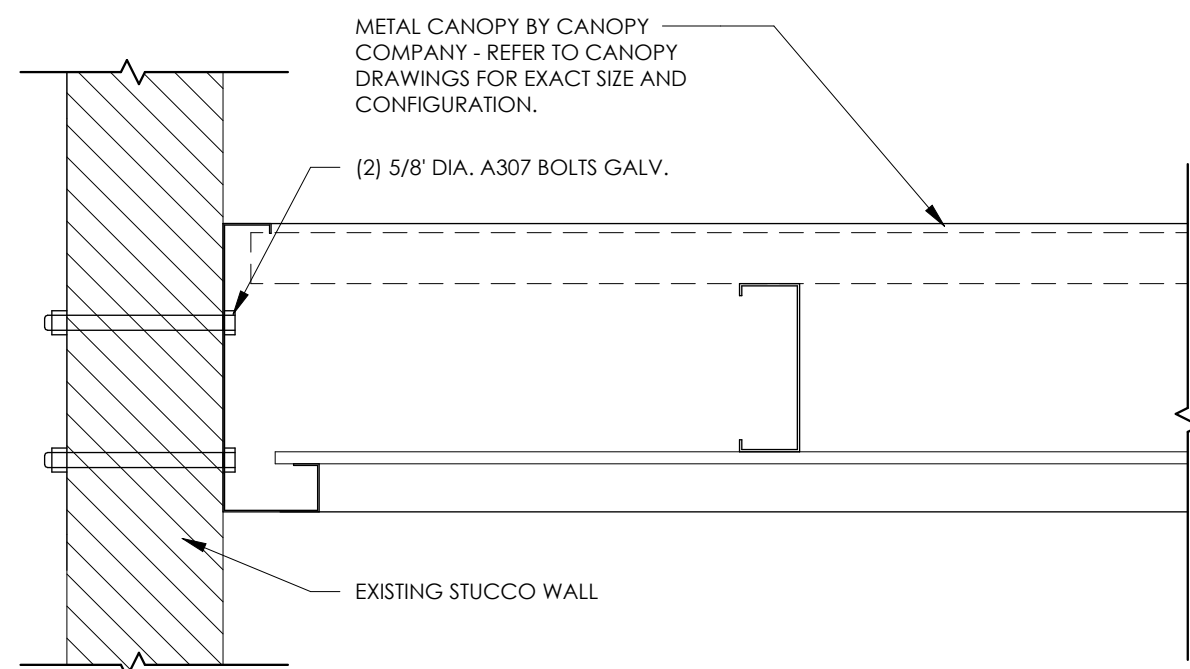
RM NO.	RM NAME	FLR	BASE	WALLS				CLG	CLG HGT
				TOP	RT	BOT	LT		
101	DINING ROOM	F2	B1	W1/2	W1/2	W1	W1/2	C1	VERIFY
102	SERVICE AREA	F1	B1	W1	W1	W1	W1	C1	VERIFY
103	BACK OF HOUSE	F2	B2	W3	W3	W3	W3	C1	VERIFY
104	STORAGE	F2	B2	W3	W3	W3	W3	C1	VERIFY
105	ELECTRICAL	F2	B2	W3	W3	W3	W3	C1	VERIFY
106	COOLER	F2	B2	W3	W3	W3	W3	C3	VERIFY
107	COOLER	F2	B2	W3	W3	W3	W3	C3	VERIFY
108	MEN'S RESTROOM	F2	B2	W3	W3	W3	W3	C2	VERIFY
109	WOMEN'S RESTROOM	F2	B2	W3	W3	W3	W3	C2	VERIFY
110	OFFICE	F2	B2	W3	W3	W3	W3	C2	VERIFY
111	CORRIDOR	F2	B2	W3	W3	W3	W3	C1	VERIFY

FINISH LEGEND:

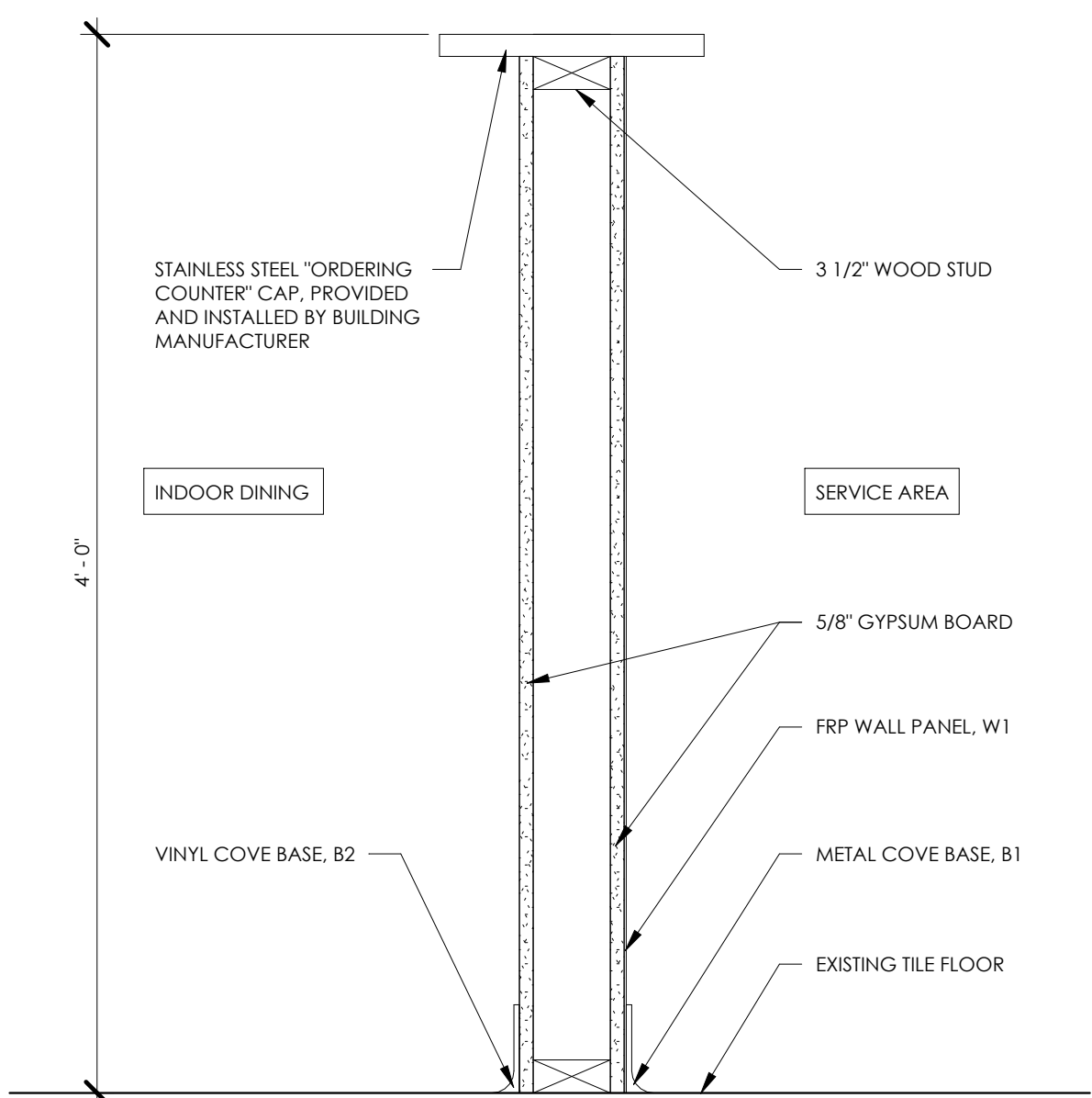
FLOORS	BASE	WALLS	CEILINGS
F1 PROTECT-ALL VINYL	B1 METAL COVE BASE	W1 MEG WALL PANELS	C1 VINYL CLAD ACOUSTICAL TILES
F2 EXISTING FLOOR TO REMAIN	B2 NONE	W2 ALUM STOREFRONT SYSTEM	C2 GYPSUM BOARD
		W3 EXPOSED STRUCTURE	C3 EXISTING CEILING TO REMAIN

NOTES:

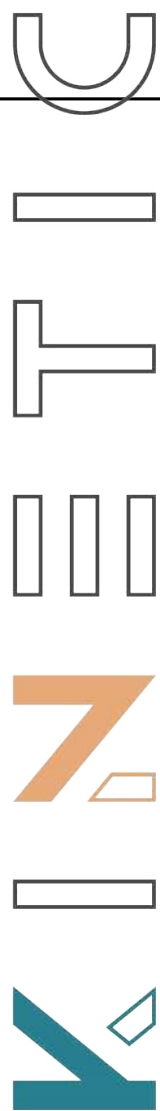
- CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE LANDLORDS CRITERIA PRIOR TO CONSTRUCTION. FAILURE TO ACCOUNT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM FROM ANY RESPONSIBILITY.
- CONTRACTOR SHALL THOROUGHLY VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.



3 DETAIL - CANOPY CONNECTION DETAIL
1 1/2" = 1'-0"

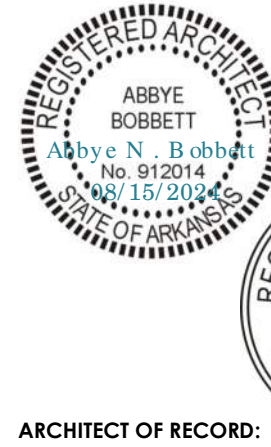


4 STAINLESS STEEL LEDGE DETAIL
1 1/2" = 1'-0"



DESIGN + DEVELOPMENT
2215 W CHESTERFIELD BLVD, SUITE 01 - SPRINGFIELD, MO 65807 - P (417) 530-4321

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBITT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

REVISION:

7 BREW COFFEE
BRYANT, AR #2

2006 N REYNOLDS ROAD
BRYANT, AR 72022

A1.1

FLOOR PLANS

DATE: AUGUST 15, 2024

EGRESS LEGEND

PATH OF EGRESS TRAVELED: 

SPACE OCCUPANCY:

ROOM NAME	ROOM NAME AND NUMBER
101	ROOM AREA, SQUARE FOOTAGE
### SF	USE GROUP PER IBC SECTION 3
FUNCTION	OCCUPANCY: AREA OF SPACE/AREA ALLOWANCES PER IBC TABLE 1004.1.2
000 OCC.	

DOOR EXIT CAPACITY:

EXIT TYPE (DOOR, STAIR, ETC)	NUMBER OF OCCUPANTS USING THE EXIT.
DOOR EXIT	EGRESS WIDTH REQUIRED FOR NUMBER OF OCCUPANTS USING THE EXIT PER IBC SECTION 1005.
000 OCC.	EGRESS WIDTH PROVIDED.
00' REQD.	
00' PROVIDED	

EGRESS LOADING INFORMATION

OCCUPANCY LOADING CALCULATIONS
PER IBC 2021: TABLE 1004.1.2

BUSINESS:	150 S.F. PER OCCUPANT
STORAGE:	300 S.F. PER OCCUPANT
ASSEMBLY:	15 S.F. PER OCCUPANT

#	ROOM	OCCUPANCY	CALCULATION	OCCUPANTS
101	DINING ROOM	ASSEMBLY	252 SF/15 SF	17
102	SERVICE AREA	BUSINESS	609 SF/150 SF	5
103	BACK OF HOUSE	BUSINESS	725 SF/150 SF	5
104	STORAGE	STORAGE	208 SF/300 SF	1
105	ELECTRICAL	STORAGE	104 SF/300 SF	1
106	COOLER	STORAGE	89 SF/300 SF	1
107	COOLER	STORAGE	103 SF/300 SF	1
110	OFFICE	BUSINESS	54 SF/150 SF	1
				32

EXIT CAPACITY:
EGRESS WIDTH REQUIRED: 32 OCCUPANTS X 0.2' PER OCCUPANT REQUIRED = 6.4"
EGRESS WIDTH PROVIDED: 36"
EGRESS WIDTH OF 0.2' PER OCCUPANT USED FOR DOORS PER IBC TABLE 1005.

NUMBER OF EXITS REQUIRED:
(1) EXIT REQUIRED FOR PER STORY FOR LESS THAN 49 OCCUPANTS PER IBC TABLE 1006.2.1.
(2) EXIT PROVIDED.

MAXIMUM TRAVEL DISTANCE:
200'-0" PER IBC TABLE 1017.2
ACTUAL MAX TRAVEL DISTANCE TO EXIT: 38'-0"

DEAD END CORRIDOR:
20'-0" MAX LENGTH OF DEAD END CORRIDOR PER IBC SECTION 1018

RESTROOM LOADING

OCCUPANCY:
32 OCCUPANTS

RESTROOM FIXTURES REQUIRED/PROVIDED - USE GROUP: BUSINESS

TOILET COUNT: = 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50

LAVATORY COUNT: = 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80

TUB/ SHOWERS: = NOT REQUIRED

DRINKING FOUNTAINS: = 1 PER 100

OTHER: = 1 SERVICE SINK

PLUMBING FIXTURE COUNT PER IBC TABLE 2902.1

TOILET COUNT:
WATER CLOSETS REQUIRED: 32 OCCUPANTS / 25
= 2 WATER CLOSET REQUIRED
WATER CLOSETS PROVIDED: = 2 WATER CLOSETS PROVIDED

LAVATORY COUNT:
SINKS REQUIRED: 32 OCCUPANTS / 40
= 1 REQUIRED
SINKS PROVIDED: = 2 PROVIDED

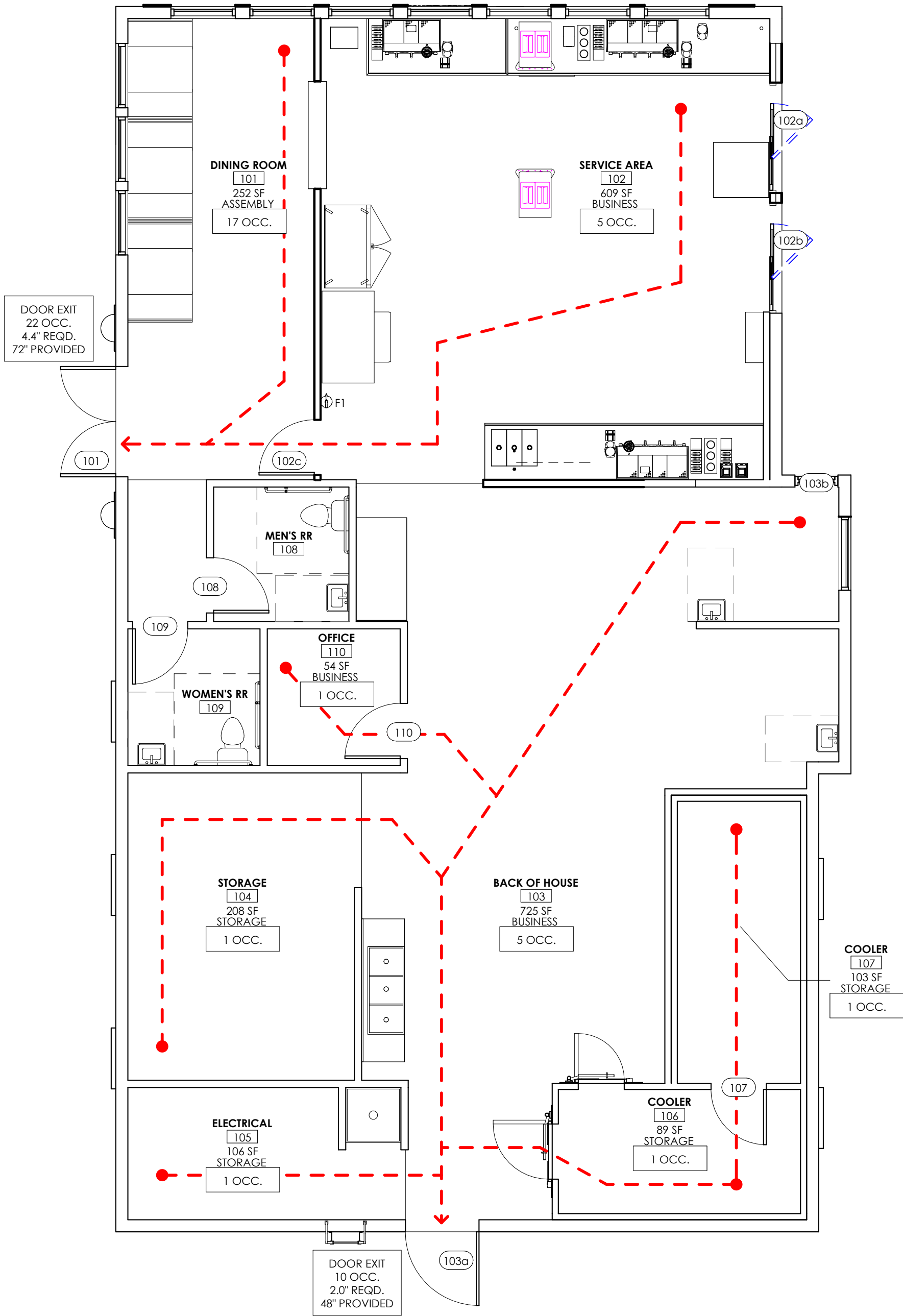
DRINKING FOUNTAIN COUNT:
DRINKING FOUNTAINS REQUIRED: 32 OCCUPANTS / 100
= 1 REQUIRED
DRINKING FOUNTAIN PROVIDED: = WATER WILL BE PROVIDED FOR FREE UPON REQUEST.

SERVICE SINK COUNT:
SERVICE SINKS REQUIRED: = 1 REQUIRED
SERVICE SINK PROVIDED: = 1 PROVIDED

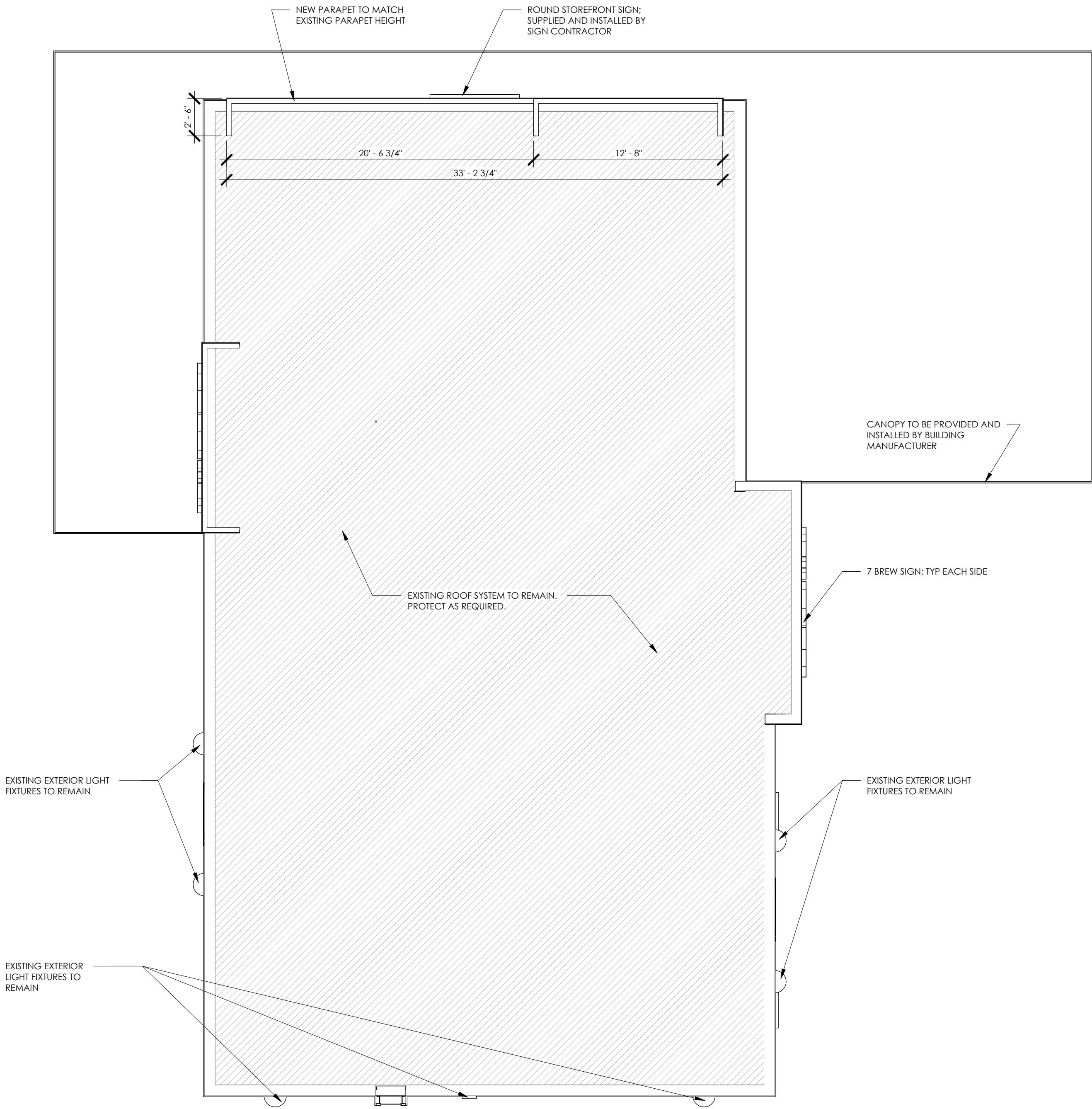
FIRE EXTINGUISHER NOTES

F1 10 LBS, ABC FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
MOUNT HANDLE @ 4'-0".

75'-0" RADIUS FROM FIRE EXTINGUISHER @ F1
(NOT SHOWN, ENCOMPASSES ENTIRE BUILDING)

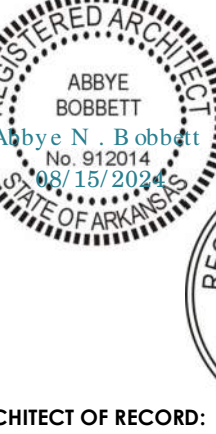


1 EGRESS PLAN
3/16" = 1'-0"



2 ROOF PLAN
3/16" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBETT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

REVISION:

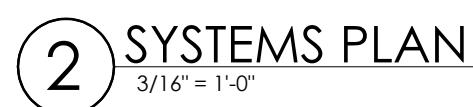
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BRYANT, AR #2

2006 N REYNOLDS ROAD
BRYANT, AR 72022

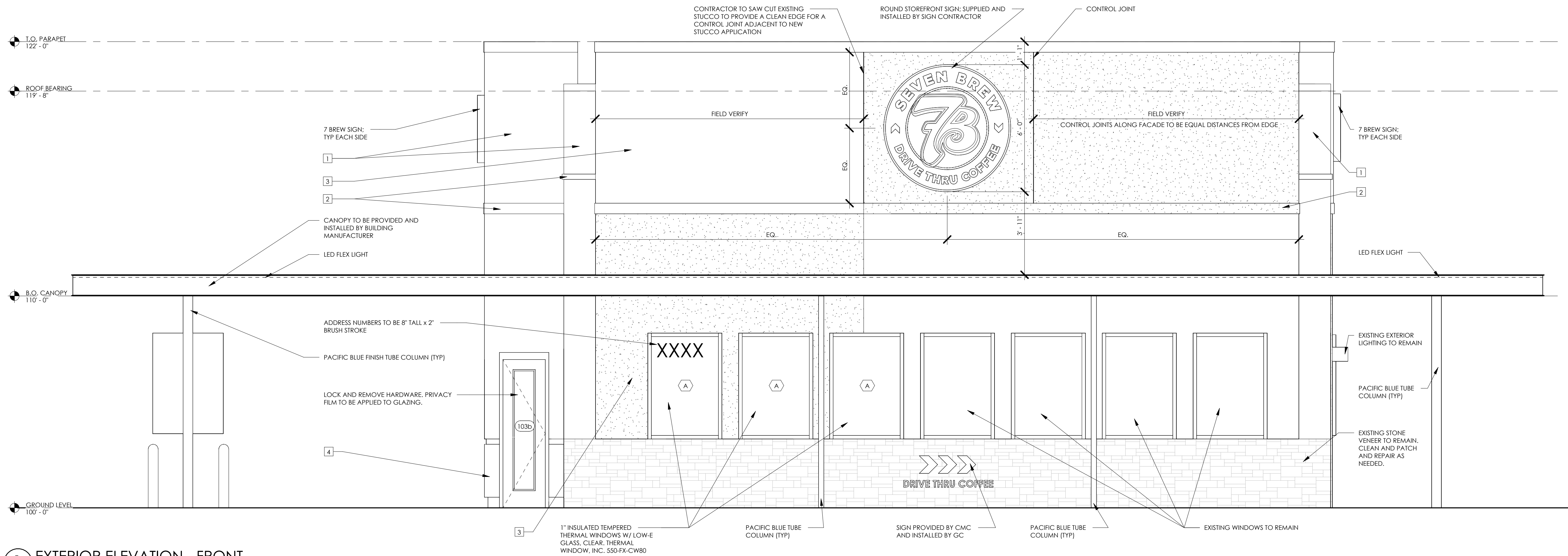
A1.2

ROOF PLAN / EGRESS PLAN

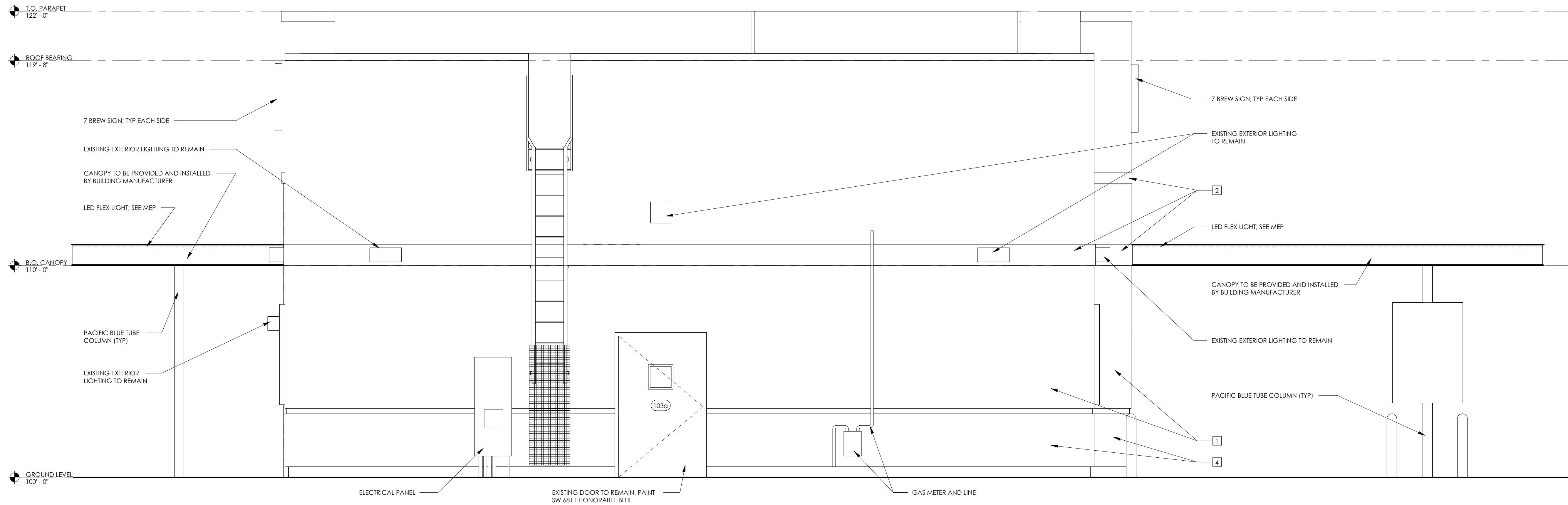
DATE: AUGUST 15, 2024



SYSTEMS PLAN LEGEND	
TAG NO.	DESCRIPTION
1	DATA RACK - INSTALLED IN FIELD BY IT PROVIDER
2	PANIC BUTTON, TYP OF (3) MOUNTED 44" A.F.F. - INSTALLED IN FIELD BY SECURITY PROVIDER
3	THERMOSTAT - INSTALLED IN FACTORY
4	SPEAKERS - INSTALLED IN FIELD BY IT PROVIDER
5	SECURITY CAMERA - INSTALLED IN FIELD BY SECURITY PROVIDER
6	VOLUME CONTROLLER, MOUNTED UNDER ALARM PANEL - INSTALLED IN FIELD BY IT PROVIDER
7	SECURITY KEY PAD ALARM PANEL - INSTALLED IN FIELD BY SECURITY PROVIDER
8	WIRELESS ACCESS POINT, CEILING MOUNTED - INSTALLED IN FIELD BY IT PROVIDER.
9	TV DROP MOUNT FOR SECURITY MONITOR - INSTALLED IN FIELD BY IT PROVIDER.
10	SAMSUNG DIGITAL DISPLAYS - TV'S INSTALLED IN FIELD BY IT PROVIDER - CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	CEILING MOUNTED SECURITY CAMERA EXISTING AND TO BE RE-INSTALLED AFTER NEW CEILING IS INSTALLED.



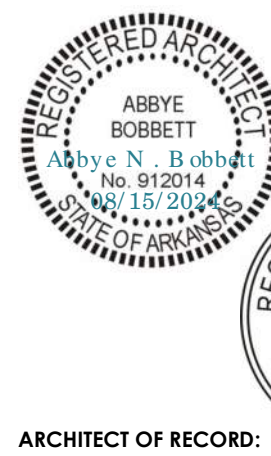
1 EXTERIOR ELEVATION - FRONT
3/8" = 1'-0"



2 EXTERIOR ELEVATION - BACK
3/8" = 1'-0"

ELEVATION FINISHES KEYNOTES	
TAG NO.	DESCRIPTION
1	CLEAN, PATCH AND REPAIR EXISTING STUCCO. PAINT STUCCO TO BE EQUAL TO SW 7067 CITYSCAPE. ANY COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
2	CLEAN, PATCH AND REPAIR EXISTING STUCCO ACCENT BANDING. REFER TO A4.1/4. PAINT STUCCO TO BE EQUAL TO SW 6811 HONORABLE BLUE. ANY COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
3	NEW STUCCO TO BE INSTALLED TO REPLACE REMOVED STONE FINISH. REFER TO A4.1/2. COLOR TO BE EQUAL TO SW 7067 CITYSCAPE. PROFILE / FINISH DEPTH TO MATCH EXISTING ADJACENT FINISH.
4	CLEAN, PATCH AND REPAIR EXISTING STUCCO. PAINT STUCCO TO BE EQUAL TO SW 7674 PEPPERCORN. ANY COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBETT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

REVISION:

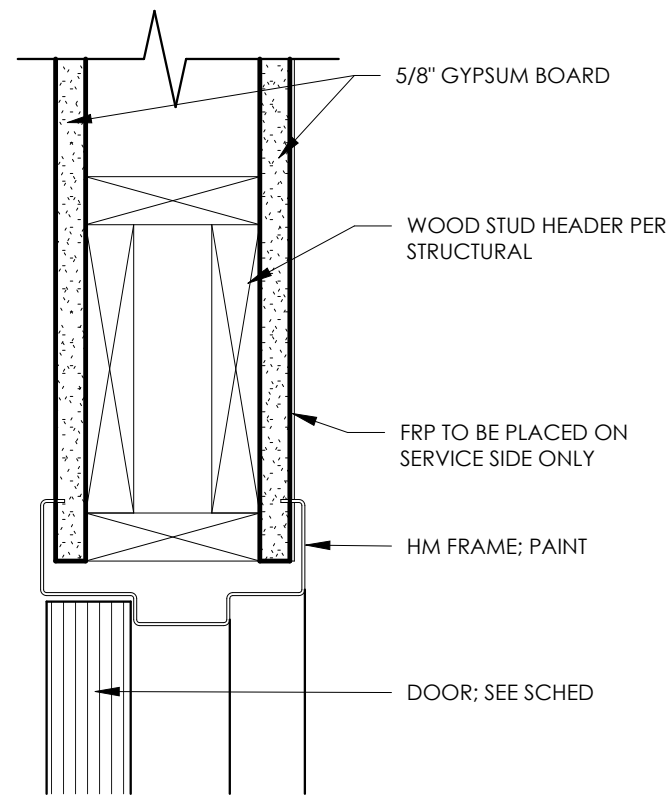
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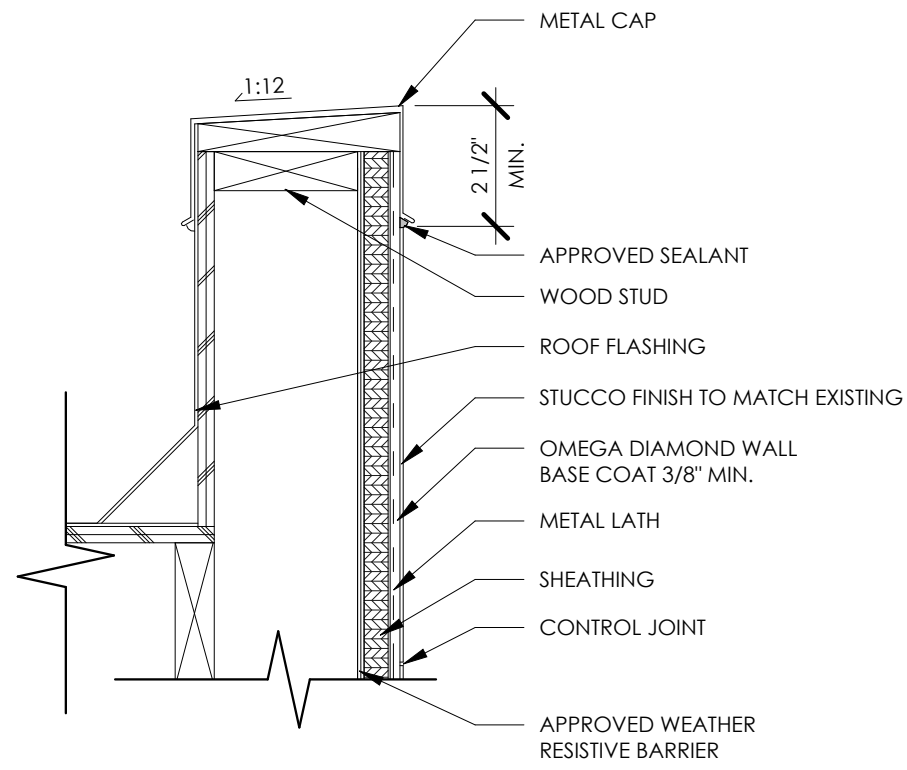
A2.1

EXTERIOR ELEVATIONS

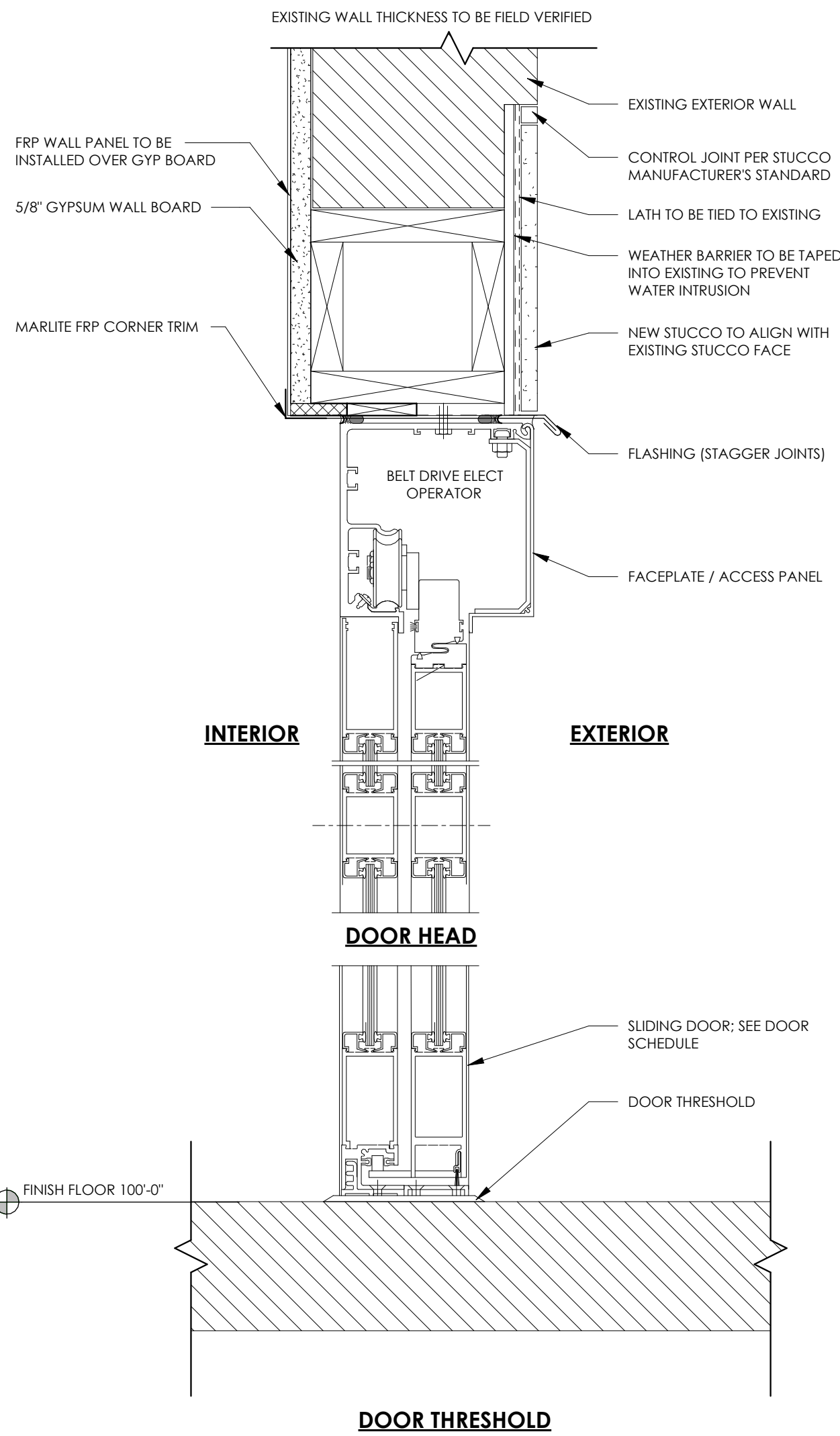
DATE: AUGUST 15, 2024



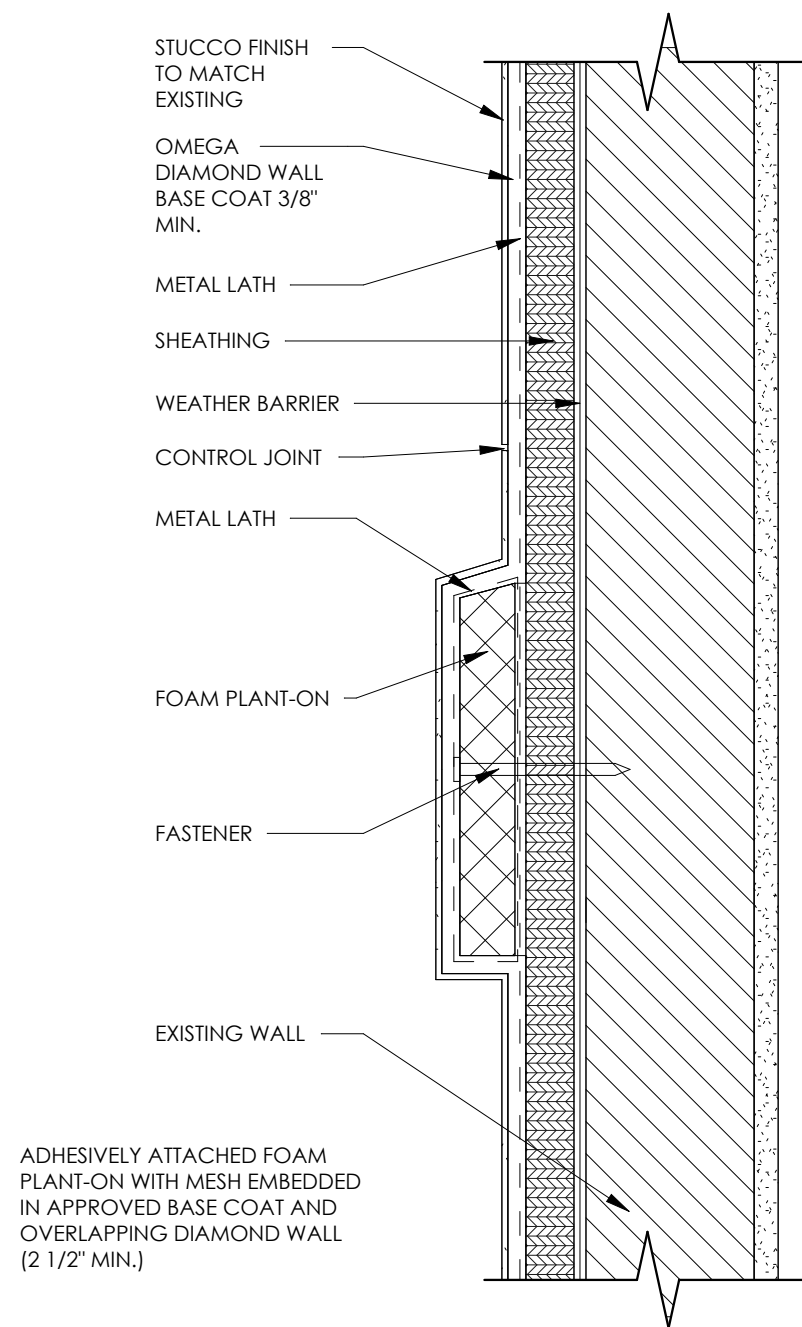
1 DOOR HEAD @ HM FRAME
3" = 1'-0"



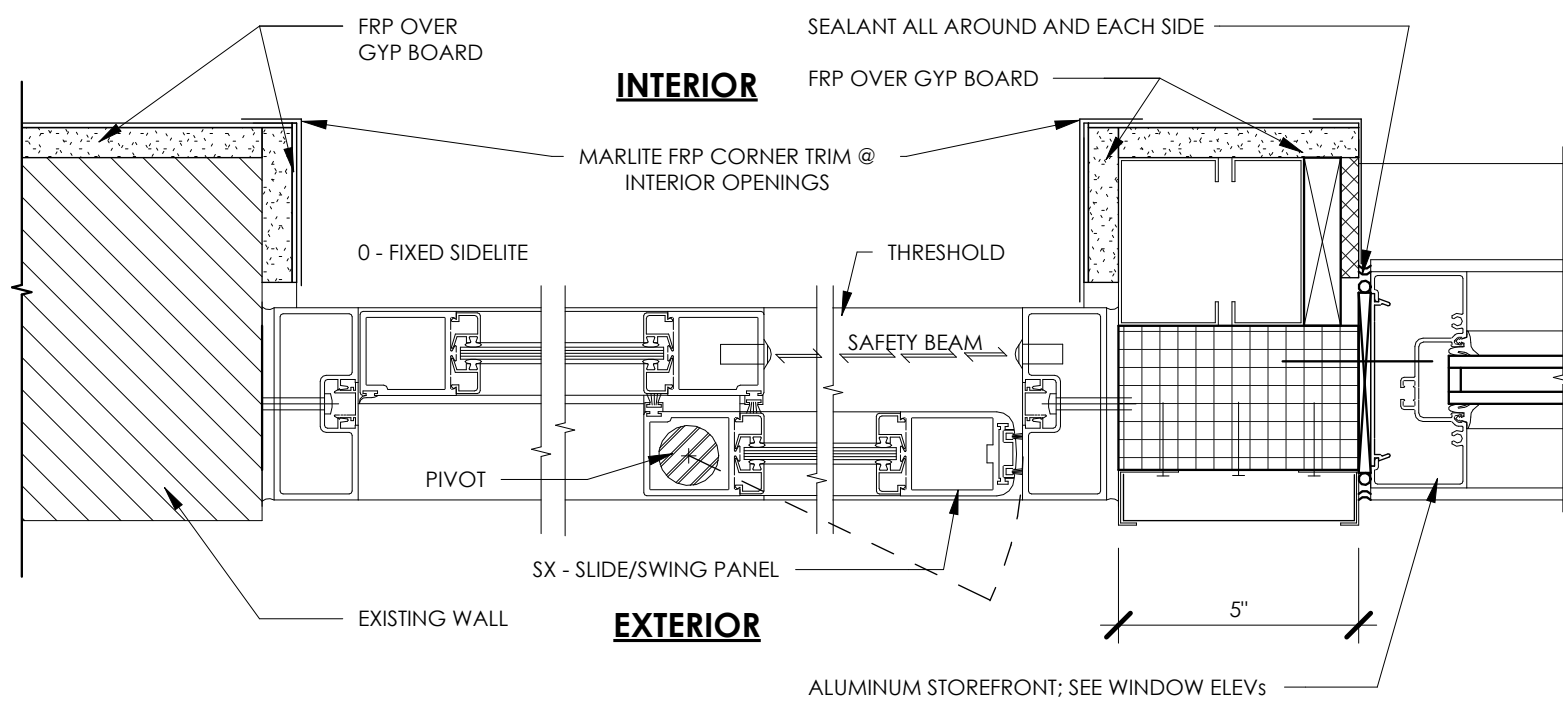
2 PARAPET DETAIL
3" = 1'-0"



3 SLIDING DOOR HEAD/THRESHOLD
3" = 1'-0"



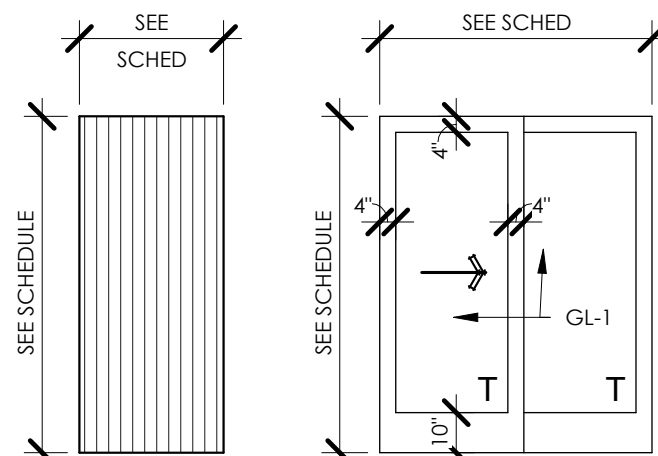
4 TYPICAL FOAM PLANT-ONS
3" = 1'-0"



5 SLIDING DOOR JAMB
3" = 1'-0"

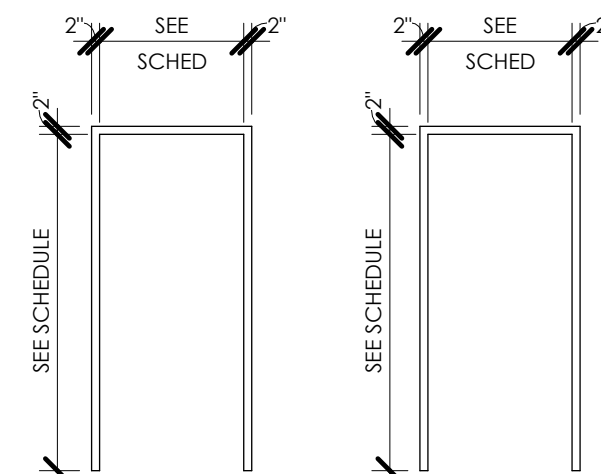
DOOR SCHEDULE									
DOOR NUMBER	ROOM	SIZE	DOOR		FRAME		DETAILS		HARDWARE SET
			TYPE	MATERIAL	TYPE	MATERIAL	HEAD	JAMB	
101	DINING ROOM	EX	EX		EX		EX		EX
102a	SERVICE AREA	6'-0"x7'-6"	D2	ALUM	F2	ALUM	3/A.2.2	3/A.4.1	2
102b	SERVICE AREA	6'-0"x7'-6"	D2	ALUM	F2	ALUM	3/A.4.1	3/A.4.1	2
102c	DINING ROOM	3'-0"x6'-8"	D1	HM	F1	HM	1/A.4.1	1/A.4.1 SIM	1
103a	BACK OF HOUSE	EX	EX		EX		EX		EX
103b	BACK OF HOUSE	EX	EX		EX		EX		EX
107	COOLER	EX	EX		EX		EX		EX
108	MEN'S RR	EX	EX		EX		EX		EX
109	WOMEN'S RR	EX	EX		EX		EX		EX
110	OFFICE	EX	EX		EX		EX		EX

DOOR ELEVATIONS



D1 HOLLOW METAL OR INSULATED HM (IHM)
D2 SLIDING ALUMINUM & GLASS

FRAME ELEVATIONS



F1 HOLLOW METAL FRAME
F2 ALUMINUM FRAME

DOOR SCHEDULE NOTES:

- REFER TO DOOR SCHEDULE FOR HARDWARE SETS
- PAINT INTERIOR DOORS AND FRAMES SHERWIN WILLIAMS HONORABLE BLUE (SW6811), LOW SHEEN
- REFER TO CODE COMPLIANCE DOOR NOTES (BELOW) FOR ADDITIONAL REQUIREMENTS.

CODE COMPLIANCE DOOR NOTES:

ALL EXIT DOORS SHALL CONFORM TO THE FOLLOWING PROVISIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE STATE OF ARKANSAS ACCESSIBILITY CODE:

- THE EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE BUILDING IS OCCUPIED.
- ALL HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" TO 48" A.F.F. AND SHALL BE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.
- DOOR LEADING TO UNisex TOILET ROOM SHALL BE IDENTIFIED WITH A 12" DIAMETER CIRCLE WITH A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER. SIGN/SYMBOL SHALL BE MOUNTED ON THE WALL ON THE LATCH SIDE OF THE DOOR AND 60" A.F.F. AND NO MORE THAN 8" FROM THE EDGE OF THE DOOR TO THE EDGE OF THE SIGN.

GENERAL NOTES

ALL GLAZING FOR EXTERIOR DOOR OR WINDOW FRAMES SHALL BE INSULATED

ALL GLAZING FOR INTERIOR DOOR OR WINDOW FRAMES SHALL BE UNINSULATED, SINGLE PANE

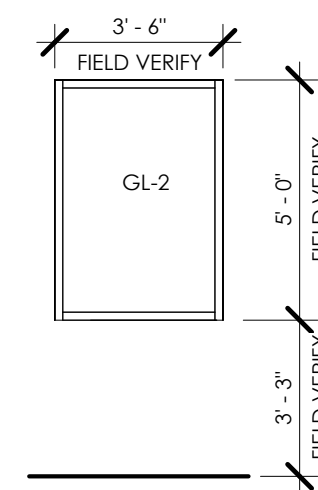
DOOR & FRAME FINISH LEGEND

- AL = ALUM DOOR OR FRAME
HM = HOLLOW METAL DOOR OR FRAME
F1 = PAINTED
F2 = PREFINISHED; CLEAN & PROTECT

GLAZING SCHEDULE

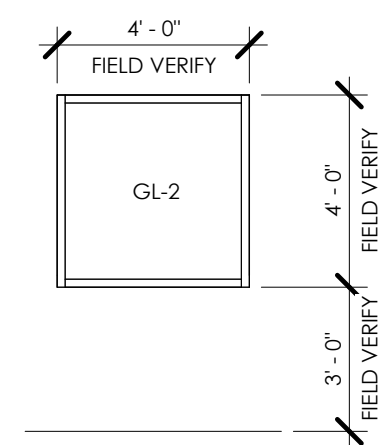
- GL-1 1" INSULATED SAFETY GLASS, CLEAR
GL-2 1" INSULATED TEMPERED GLASS, CLEAR

WINDOW ELEVATIONS



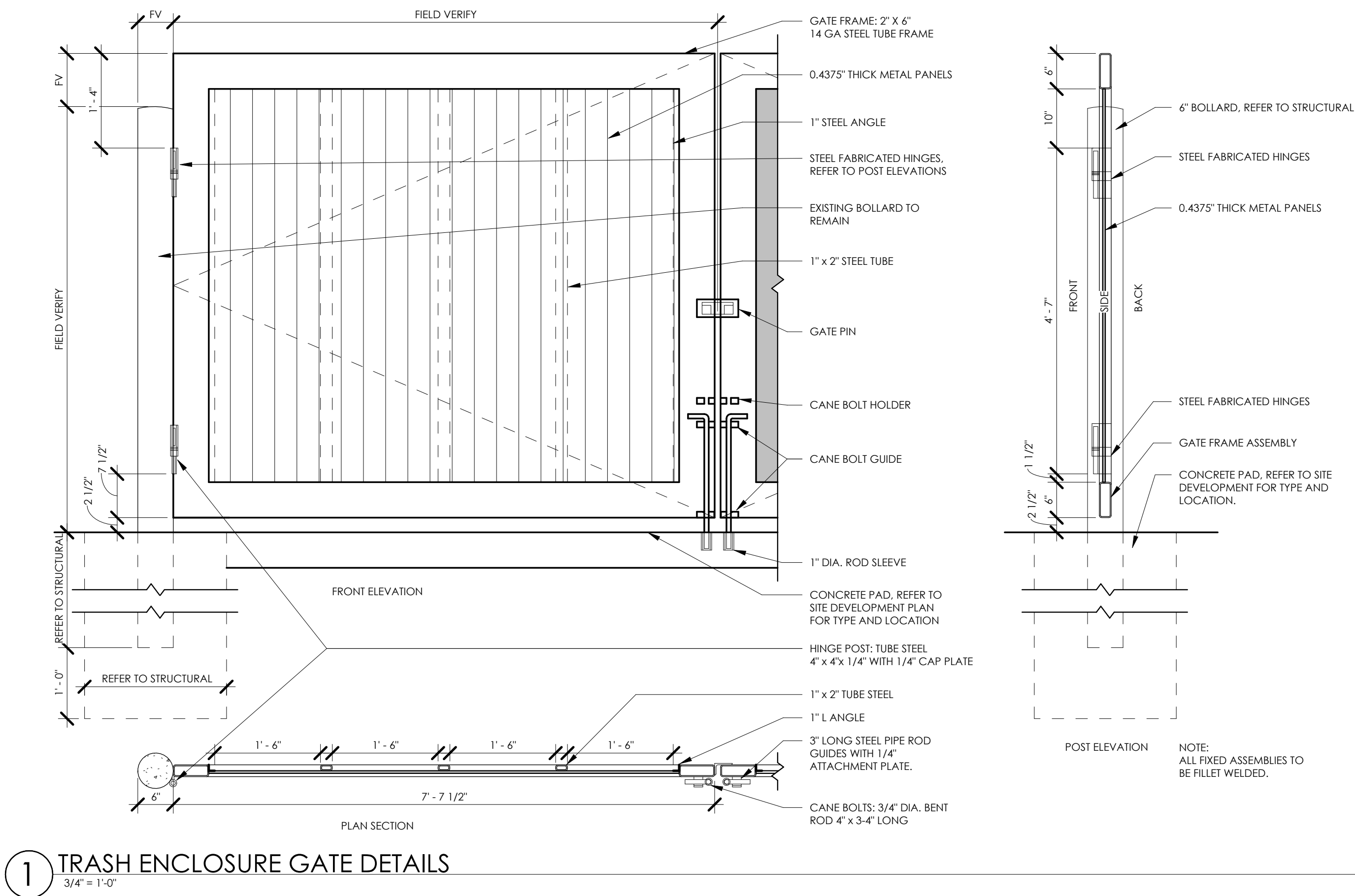
A ALUMINUM STOREFRONT

FIELD VERIFY ADJACENT WINDOW SIZE. DESIGN INTENT IS FOR THESE TO MATCH EXISTING WINDOWS ON THIS FACADE.



B ALUMINUM STOREFRONT

FIELD VERIFY EXISTING WINDOW OPENING



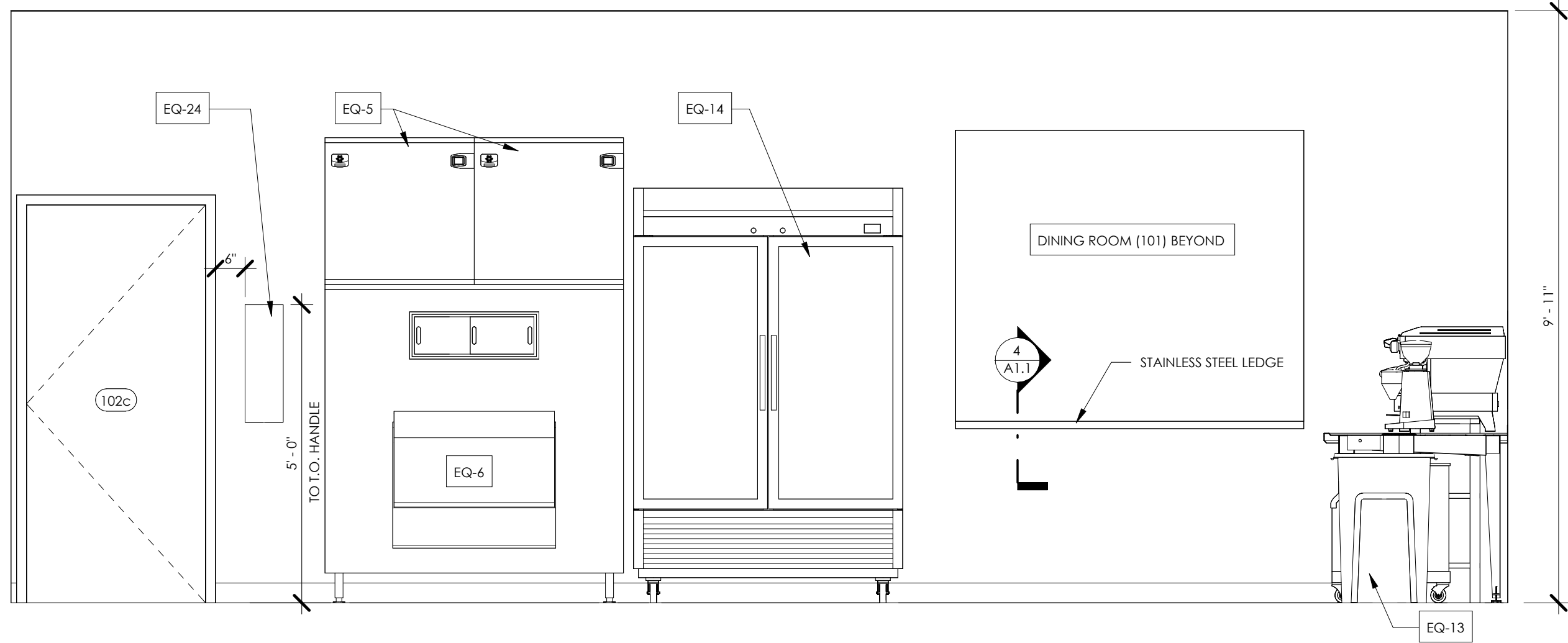
TRASH ENCLOSURE NOTES:
EXISTING TRASH ENCLOSURE TO REMAIN. CLEAN, PATCH, AND REPAIR AS NEEDED.

PAINTE INTERIOR AND EXTERIOR OF ENCLOSURE SW 7067 CITYSCAPE.

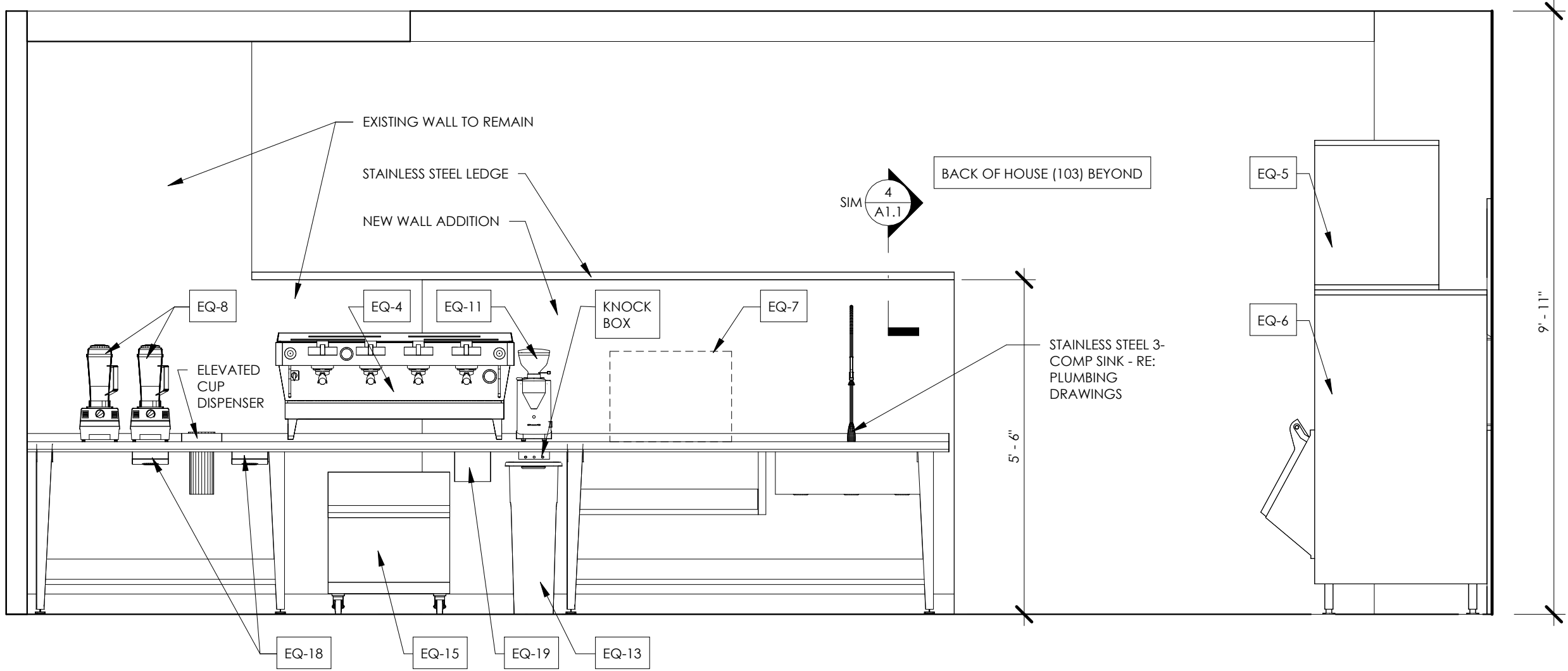
NEW GATE PROVIDED AND INSTALLED BY CMC. CLEAN, PATCH AND REPAIR EXISTING BOLLARDS. SW 6811 PAINT HONORABLE BLUE.

PAINT SPECIFICATIONS		
METAL DOORS AND FRAMES	SEMI GLOSS FINISH PRIMER: 1ST COAT: 2ND COAT:	PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES PRO INDUSTRIAL ACRYLIC SEMI-GLOSS, B66-650 SERIES PRO INDUSTRIAL ACRYLIC SEMI-GLOSS, B66-650 SERIES
STUCCO	SATIN FINISH PRIMER: 1ST COAT: 2ND COAT:	LOXON CONCRETE & MASONRY PRIMER SEALER, A24W8300 A-100 EXTERIOR LATEX SATIN, A82 SERIES A-100 EXTERIOR LATEX SATIN, A82 SERIES
CMU	SATIN FINISH PRIMER: 1ST COAT: 2ND COAT:	LOXON BLOCK SURFACER, A24W200 A-100 EXTERIOR LATEX SATIN, A82 SERIES A-100 EXTERIOR LATEX SATIN, A82 SERIES
BOLLARDS (CAST IRON)	GLOSS FINISH PRIMER: 1ST COAT: 2ND COAT:	PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES PRO INDUSTRIAL WATERBASED ACRYLON 100 POLYURETHANE GLOSS, B65-720 SERIES PRO INDUSTRIAL WATERBASED ACRYLON 100 POLYURETHANE GLOSS, B65-720 SERIES
INTERIOR GYPSUM	EG-SHEL FINISH PRIMER: 1ST COAT: 2ND COAT:	PROMAR 200 ZERO VOC LATEX PRIMER, B28W2600 PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B26-2600 SERIES PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B26-2600 SERIES

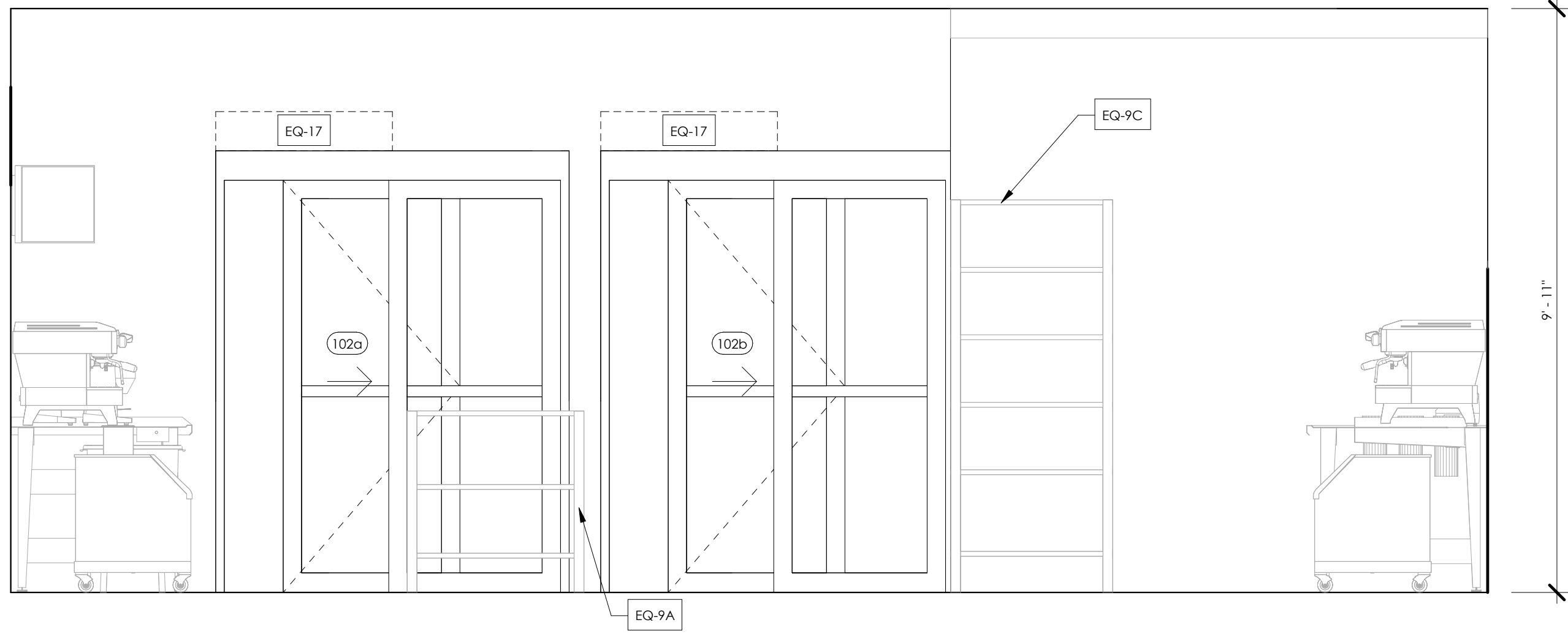
1 TRASH ENCLOSURE GATE DETAILS
3/4" = 1'-0"



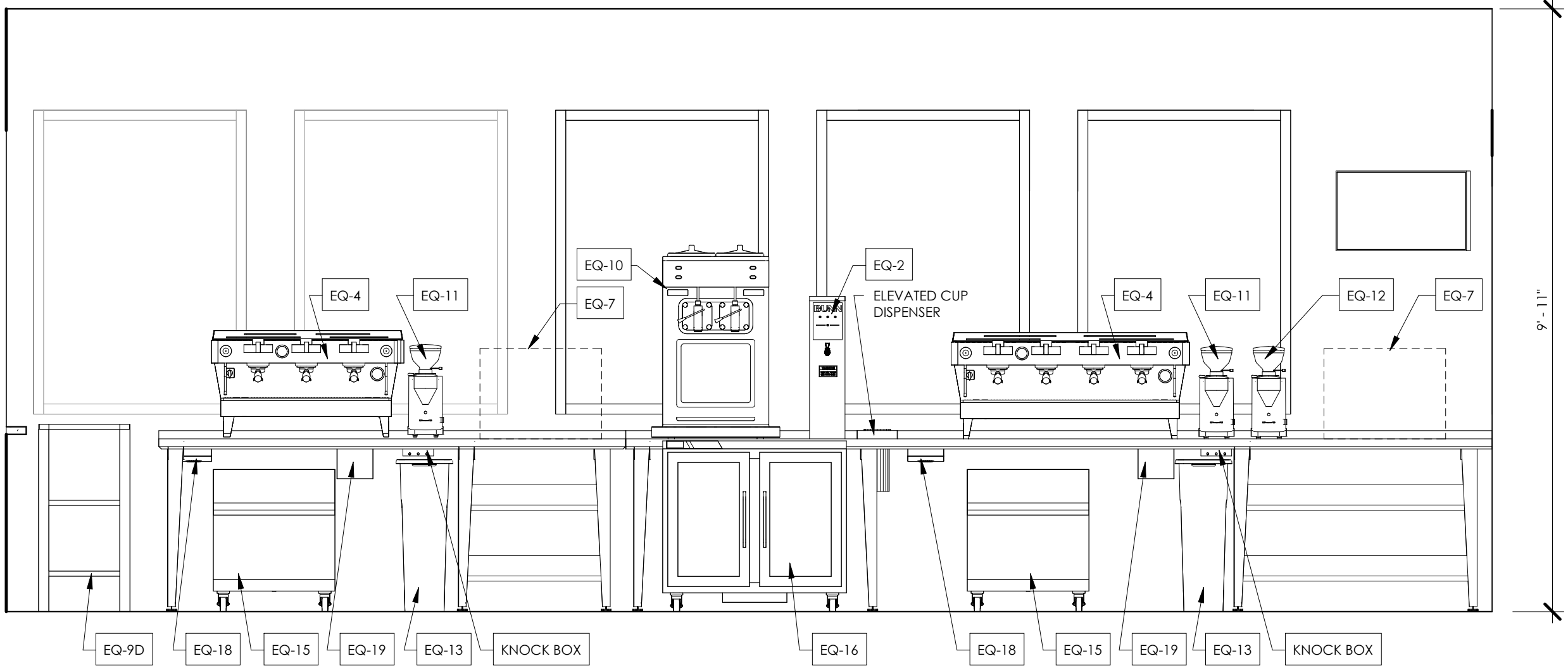
2 INTERIOR ELEVATION
1/2" = 1'-0"



3 INTERIOR ELEVATION
1/2" = 1'-0"

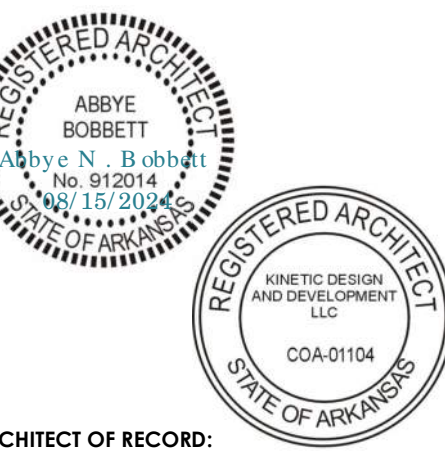


4 INTERIOR ELEVATION
1/2" = 1'-0"



5 INTERIOR ELEVATION
1/2" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBITT

LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

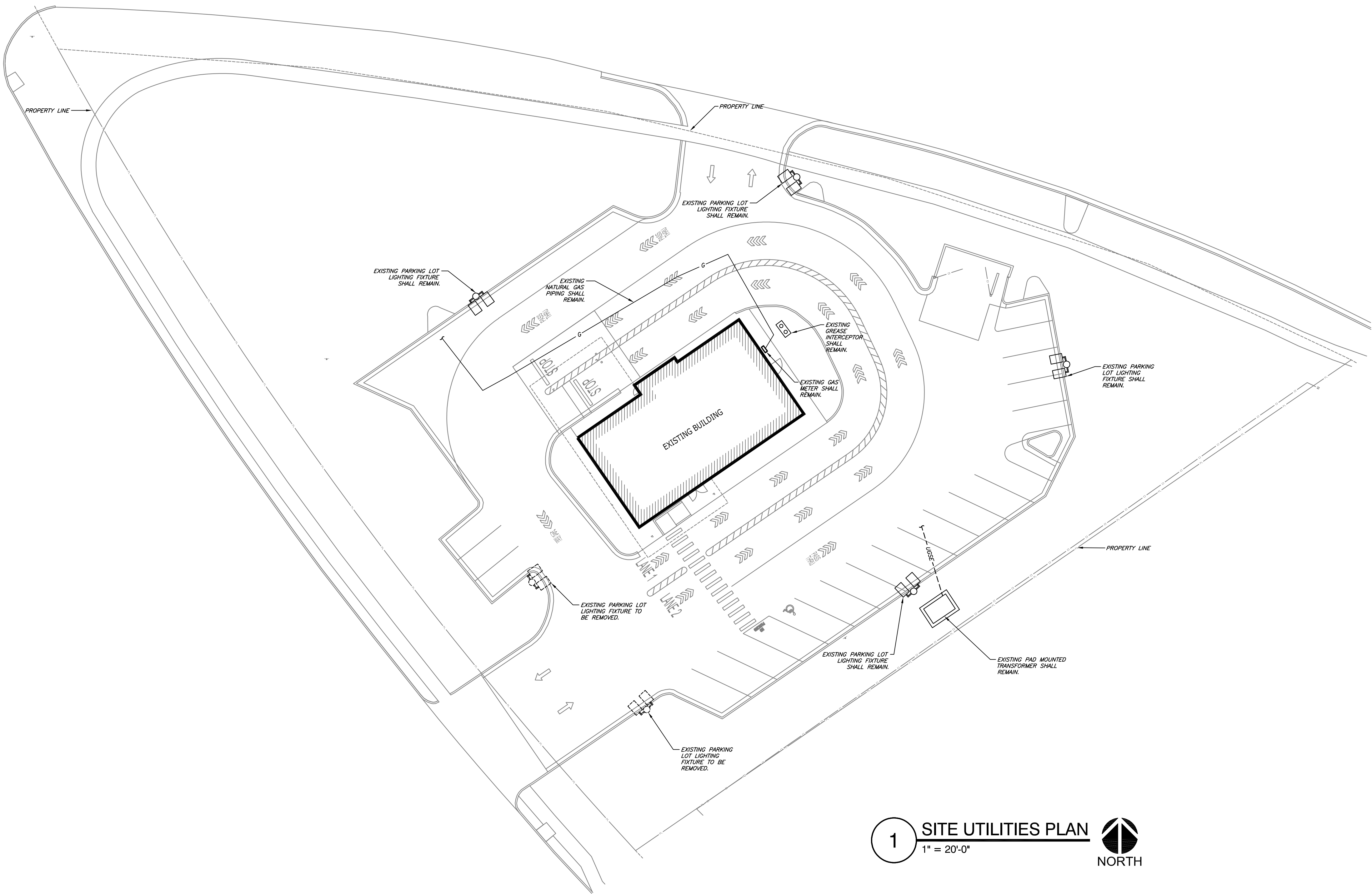
REVISION:

7 BREW COFFEE
BRYANT, AR #2

2006 N REYNOLDS ROAD
BRYANT, AR 72022

A5.1
INTERIOR ELEVATIONS

DATE: AUGUST 15, 2024



GENERAL NOTES:

1. UTILITY ROUTINGS ARE DIAGRAMMATIC. ADJUST EXACT ROUTING TO ACCOMMODATE FIELD CONDITIONS. REFER TO CIVIL AND PUBLIC IMPROVEMENT PLANS FOR NEW SEWER, WATER AND STORMWATER PIPING.

2. REFER TO CIVIL AND PUBLIC IMPROVEMENT PLANS FOR LOCATION AND COORDINATION OF ALL EASEMENTS.

3. REVIEW ALL CIVIL AND PUBLIC IMPROVEMENT PLANS AND COORDINATE ALL WORK WITH DIFFERENT DISCIPLINES. REVIEW AND OBTAIN APPROVAL FROM THE CITY OF JOHNSTOWN UTILITY COMPANIES PRIOR TO PERFORMING ANY UTILITY WORK.

4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS. PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR DIMENSIONS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TEMPORARY TELEPHONE, ELECTRICAL AND WATER SERVICES REQUIRED DURING CONSTRUCTION, AND SHALL PAY ALL ASSOCIATED COSTS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH TELECOMMUNICATIONS AND CABLE TELEVISION SERVICE PROVIDERS TO FACILITATE AND SCHEDULE INSTALLATION OF SERVICES. CONTRACTOR SHALL COORDINATE WITH OWNER FOR SERVICE PROVIDER CONTACT. THE OWNER SHALL BE RESPONSIBLE FOR ALL COSTS, CHARGES, FEES, ETC. INCURRED BY SERVICE PROVIDERS. PROVIDE ALL MATERIALS AS REQUIRED BY LOCAL AUTHORITIES FOR SERVICE INSTALLATION. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.

7. ALL SITE ELECTRICAL INSTALLATIONS AND CONSTRUCTION SHALL BE PER THE MOST RECENT EDITIONS OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) AND THE NATIONAL ELECTRIC CODE (NEC) STANDARDS AND SPECIFICATIONS.

8. COORDINATE ALL TRANSFORMER LOCATIONS WITH OTHER UTILITIES INDICATED ON CIVIL PLANS.

9. REFER TO CIVIL PLANS FOR ALL SITE SANITARY SEWER WORK.

STATE OF ARKANSAS
Professional Engineer
No. 16638
RYAN SCOTT JONES

08-15-24

ENGINEER OF RECORD:
NAME: RYAN JONES
LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA
REVISION:

SITE UTILITIES SYMBOLS:

— OHE —

— UGPE —

— UGSE —

— UGT —

— UGC —

OVERHEAD ELECTRIC

UNDERGROUND PRIMARY ELECTRIC

UNDERGROUND SECONDARY ELECTRIC

UNDERGROUND TELECOMMUNICATIONS

UNDERGROUND CABLE TV

1 SITE UTILITIES PLAN

1" = 20'-0"

NORTH

CJD

Engineering | Energy | Innovation

2225 West Chesterfield Boulevard, Suite 200, Springfield, MO 65807

P: 417.877.1700 F: 417.324.7735 www.cjd-eng.com

Arkansas State Certificate of Authority #800094966

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7 BREW COFFEE

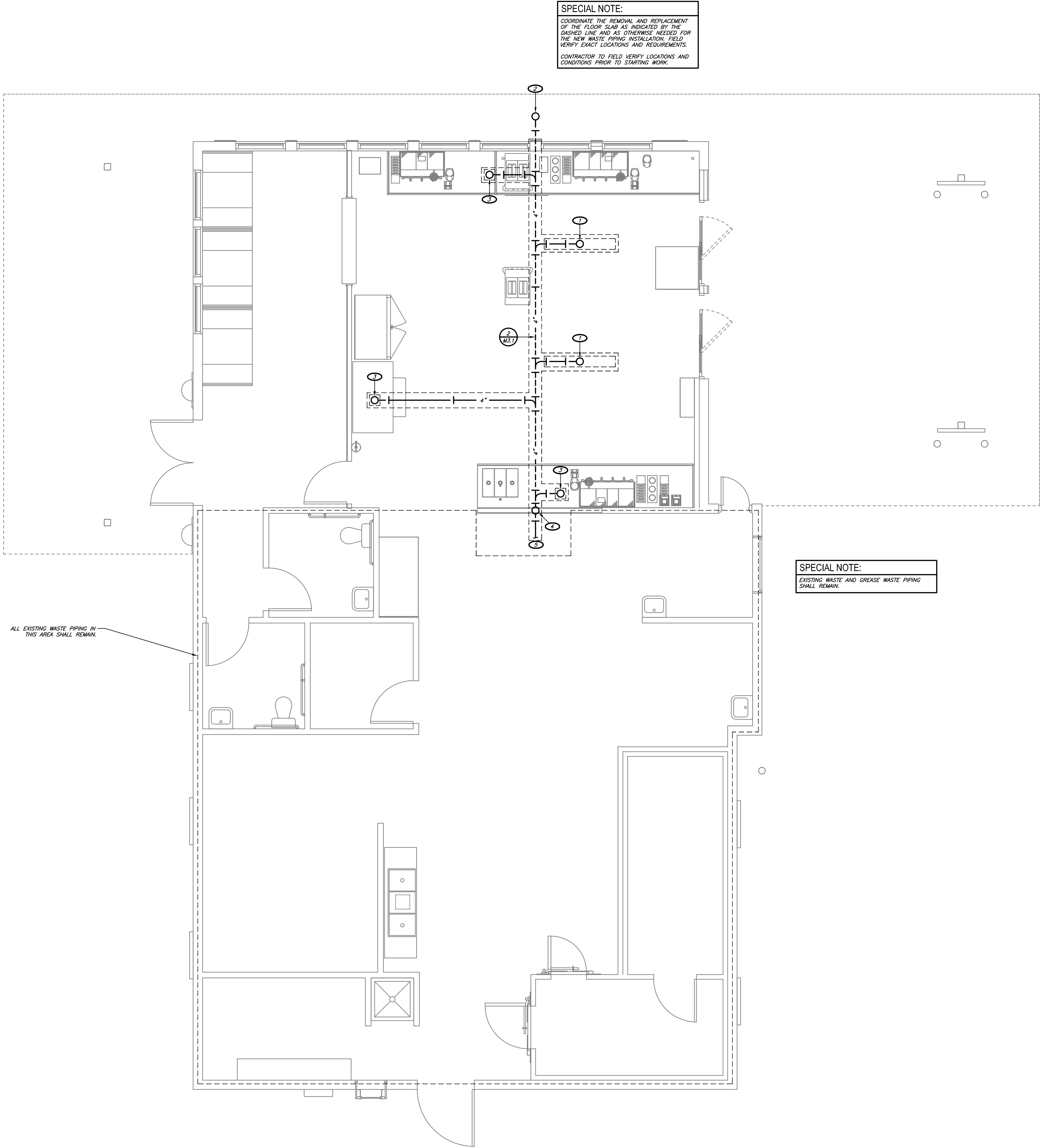
BRYANT, AR #2

2006 N REYNOLDS RD
BRYANT, AR 72022

SU1.1

SITE UTILITIES PLAN

DATE: AUGUST 15, 2024



KEYNOTES:

- 4" TRAPPED GREASE WASTE UP TO TRENCH DRAIN.
- 4" GREASE WASTE UP TO FINISH GRADE CLEANOUT.
- 4" TRAPPED GREASE WASTE UP TO FLOOR SINK.
- 3" VENT UP.
- CONNECT NEW 4" GREASE WASTE TO EXISTING 4" (OR LARGER) GREASE WASTE IN THIS AREA. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS. MODIFY/EXTEND PIPING AS REQUIRED.



ENGINEER OF RECORD:

NAME: RYAN JONES

LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA

REVISION:

7 BREW COFFEE
BRYANT, AR #2
2006 N REYNOLDS RD
BRYANT, AR 72022

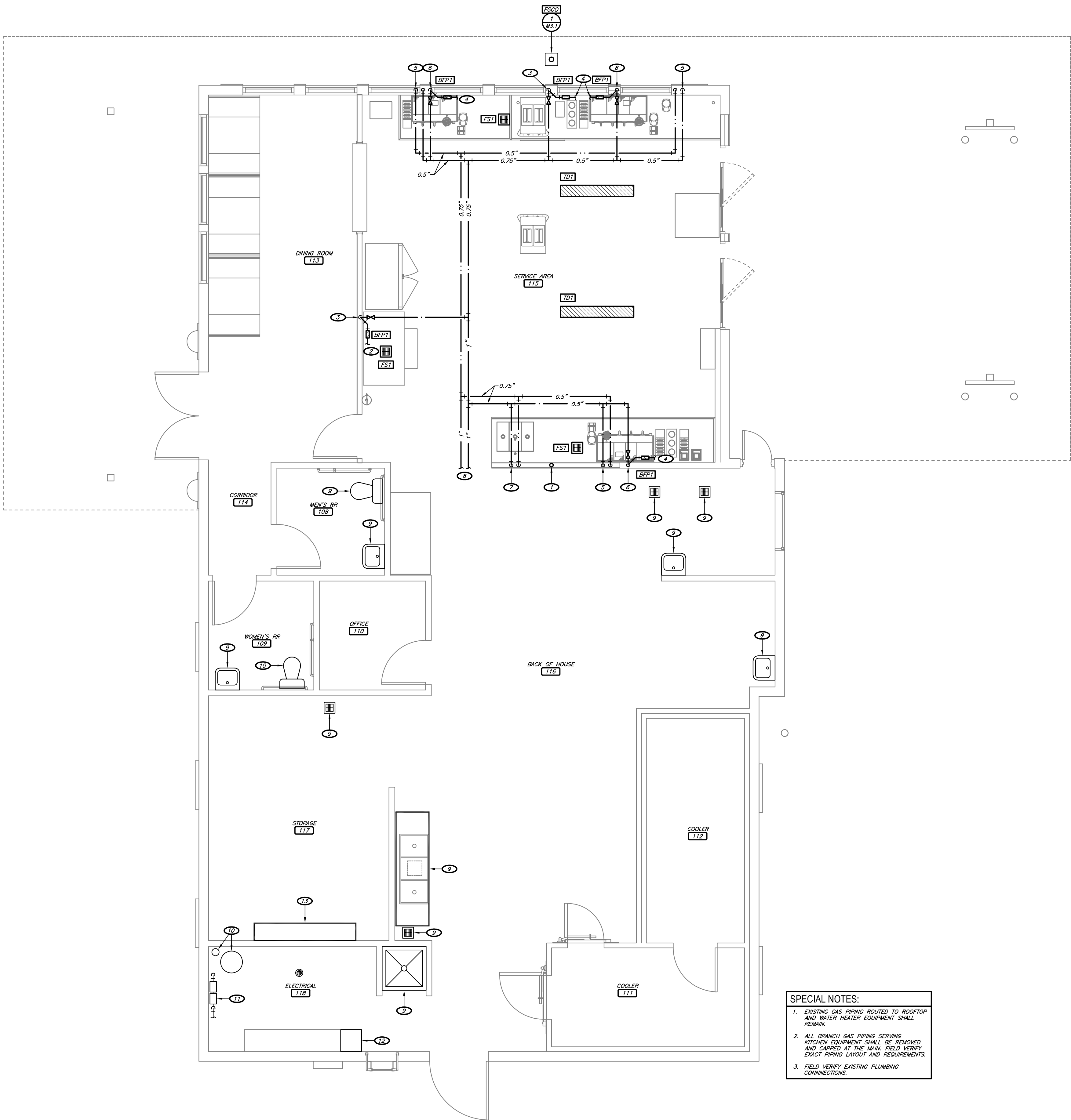


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1 UNDERSLAB PLUMBING PLAN
1/4" = 1'-0"
NORTH

M1.1
UNDERSLAB PLUMBING PLAN
DATE: AUGUST 15, 2024



1 GROUND LEVEL PLUMBING PLAN
1/4" = 1'-0"
NORTH

SPECIAL NOTES:

- EXISTING GAS PIPING ROUTED TO ROOFTOP AND WATER HEATER EQUIPMENT SHALL REMAIN.
- ALL BRANCH GAS PIPING SERVING KITCHEN EQUIPMENT SHALL BE REMOVED AND CAPPED AT THE MAIN. FIELD VERIFY EXACT PIPING LAYOUT AND REQUIREMENTS.
- FIELD VERIFY EXISTING PLUMBING CONNECTIONS.

KEYNOTES:

- 3" VENT DOWN. CONTINUE 3" VENT UP THROUGH ROOF.
- PROVIDE 0.5" FILTERED WATER WITH SHUT-OFF VALVE TO ICE MAKER WITH BACKFLOW PREVENTER. PROVIDE 0.75" INDIRECT DRAIN FROM ICE-MAKER TO FLOOR SINK AS REQUIRED.
- 0.5" FILTERED WATER DOWN.
- CONNECT FILTERED WATER PIPING TO KITCHEN EQUIPMENT. PROVIDE BACKFLOW PREVENTER AS REQUIRED.
- 0.5" HOT AND FILTERED COLD WATER DOWN. CAP BELOW COUNTER FOR OWNER PROVIDED EQUIPMENT.
- 0.5" FILTERED WATER DOWN TO ESPRESSO MACHINE. PROVIDE SHUT-OFF VALVE AND BACKFLOW PREVENTER PRIOR TO CONNECTION TO ESPRESSO MACHINE.
- 0.5" HOT AND COLD WATER DOWN TO SINK. TERMINATE WASTE PIPING AT ADJACENT FLOOR SINK.
- CONNECT TO EXISTING 1" (OR LARGER) HOT AND 1" (OR LARGER) FILTERED COLD WATER IN THIS AREA. FIELD VERIFY EXISTING LOCATION AND REQUIREMENTS. MODIFY/EXTEND PIPING AS NECESSARY.
- EXISTING PLUMBING FIXTURE SHALL REMAIN.
- EXISTING WATER HEATER AND THERMAL EXPANSION TANK SHALL REMAIN.
- EXISTING BACKFLOW PREVENTER ASSEMBLY SHALL REMAIN.
- EXISTING GAS RESET EQUIPMENT TO BE ABANDONED IN PLACE.
- CONTRACTOR TO FIELD VERIFY CONDITION OF EXISTING WATER FILTRATION SYSTEM AND COORDINATE REPLACEMENT SCOPE WITH OWNER.



08-15-24

ENGINEER OF RECORD:

NAME: RYAN JONES

LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA

REVISION:

7 BREW COFFEE
BRYANT, AR #2
2006 N REYNOLDS RD
BRYANT, AR 72022

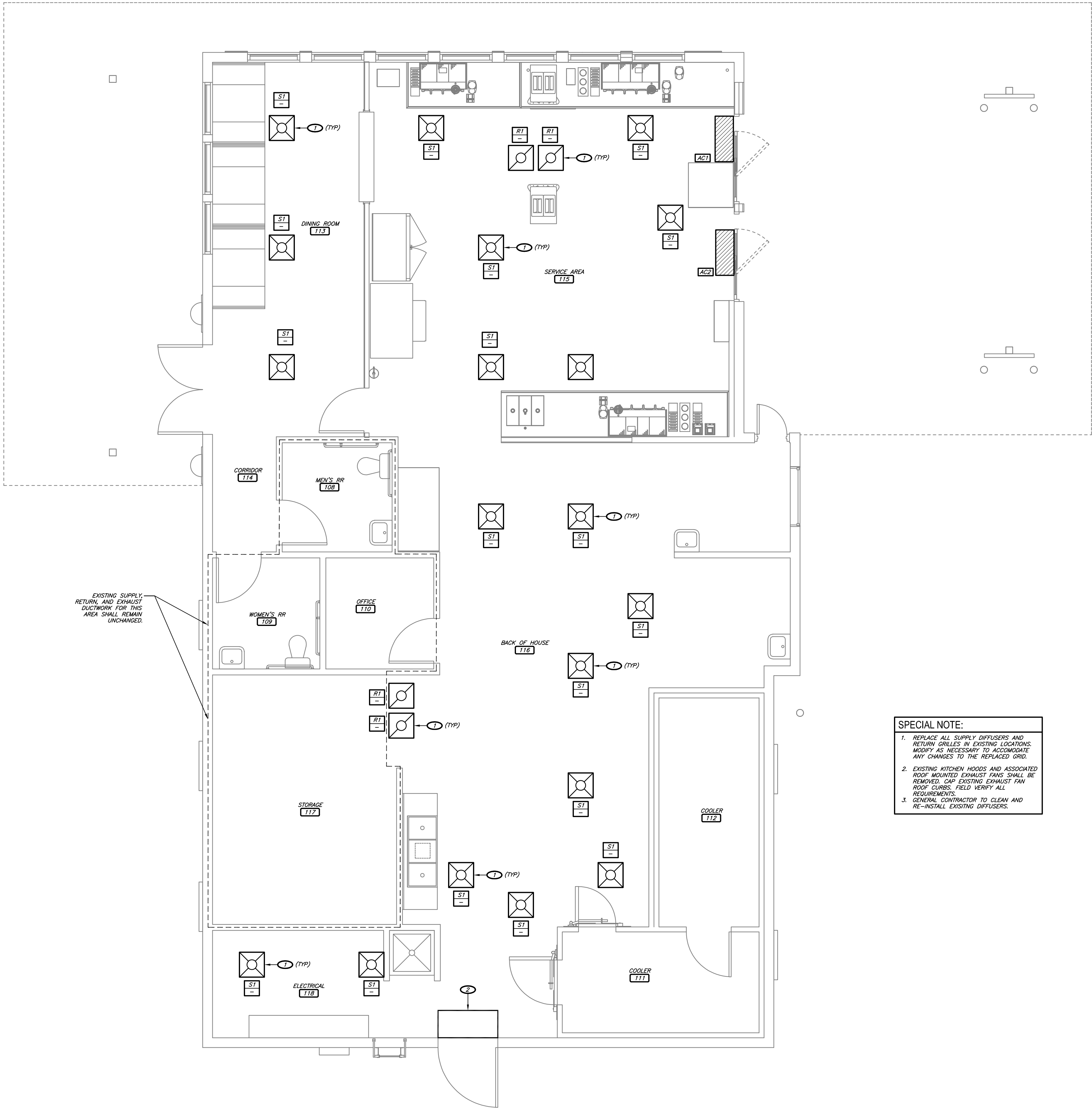


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M1.2
PLUMBING PLAN

DATE: AUGUST 15, 2024



1
GROUND LEVEL
HVAC PLAN
1/4" = 1'-0"
NORTH

KEYNOTES:

1. REPLACE EXISTING DIFFUSER/GRILLE WITH NEW. FIELD VERIFY SIZE AND REQUIREMENTS.
2. EXISTING AIR CURTAIN TO REMAIN.



08-15-24

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M2.1
HVAC PLAN

DATE: AUGUST 15, 2024

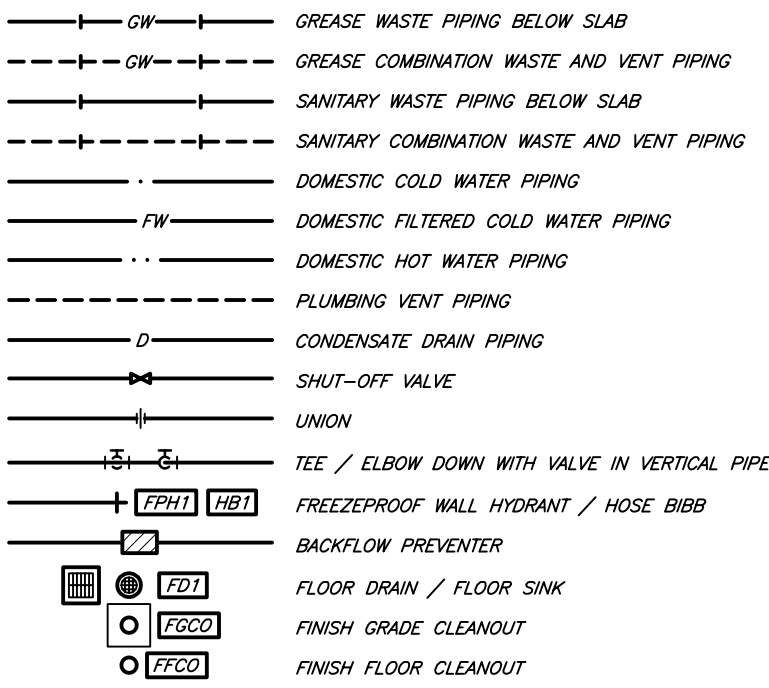
PIPING MATERIAL SCHEDULE													
SYSTEM	PIPING					FITTINGS		MAXIMUM WORKING		FIELD TEST		NOTES	
	SIZE	TYPE	SCHEDULE	GRADE	ASTM	MATERIAL	TYPE	PRESSURE (PSI)	TEMP (DEG F)	PRESSURE (PSI)	TIME (HOURS)		
CONDENSATE DRAIN ABOVE GRADE	ALL	DWV	40	-	2665	PVC	PVC	DR/SW	10 FT	50-180	10 FT	1	1
DOMESTIC WATER ABOVE AND BELOW GRADE	0.5"-2"	PEX	-	-	A877	PEX	BRONZE	MJ	120	40-180	150	1	-
GREASE WASTE AND VENT ABOVE GRADE	ALL	DWV	40	-	2665	PVC	PVC	DR/SW	10 FT	50-180	10 FT	1	1
GREASE WASTE BELOW GRADE	ALL	DWV	40	-	2665	PVC	PVC	DR/SW	10 FT	50-180	10 FT	1	1
NATURAL GAS ABOVE GRADE	0.5" - 2.5"	CW	40	A	A53	CS / BLK	MI	THRD	1	-	100	1 HR	-
SANITARY WASTE BELOW GRADE	ALL	DWV	40	-	2665	PVC	PVC	DR/SW	10 FT	50-180	10 FT	1	1
SANITARY WASTE & VENT ABOVE GRADE	ALL	DWV	40	-	2665	PVC	PVC	DR/SW	10 FT	50-180	10 FT	1	1
TEMPERATURE & PRESSURE RELIEF DRAIN	ALL	M	-	-	B88	COPPER	COPPER	DR/SJ	10 FT	40-70	10 FT	1	-
NOTES: 1. USE OF CELLULAR CORE DWV PIPING IS STRICTLY PROHIBITED.													
ABBREVIATIONS: CI - CAST IRON CS - CARBON STEEL CW - CONTINUOUS WELD DW - DUCTILE IRON DR - DRAINAGE FITTING DWV - DRAINAGE WASTE AND VENT MI - MALLEABLE IRON MJ - MECHANICAL JOINT NH - NO-HUB SJ - 95-5 TIN-ANTIMONY SOLDER JOINT SS - STANDARD STRENGTH / SERVICE WEIGHT SW - SOLVENT WELD													

PLUMBING FIXTURE & EQUIPMENT SCHEDULE										
MARK	DESCRIPTION	MANUFACTURER	MODEL NUMBER	ACCESSORIES	PIPING CONNECTION SIZES				NOTES	EQUIVALENT MANUFACTURERS
					COLD WATER	HOT WATER	WASTE	VENT		
BFP1	BACKFLOW PREVENTER	WATTS	SD-3	DUAL CHECK VALVE WITH ATMOSPHERIC PORT AND STRAINER FOR CARBONATED BEVERAGE MACHINES	0.5"	-	-	-	6	FEBCO
TD1	TRENCH DRAIN	ZURN	ZS665-AR-C-DB-ES-G	HEAVY DUTY, ACID RESISTING EPOXY COATED, 3'-0" LENGTH TRENCH DRAIN	-	-	SEE PLAN	SEE PLAN	2	JAY R. SMITH, WADE
FGCO	FINISH GRADE CLEANOUT	ZURN	ZN1400-HD	-	-	-	SEE PLAN	-	-	SILOUX CHIEF, SMITH, WADE
FS1	FLOOR SINK	OATEY	42721	PVC, 9 1/4"x9 1/4" INTERIOR, PROVIDE WITH 1/2 GRATE	-	-	3"	SEE PLAN	1	-
<u>NOTES:</u> 1. ACCESSORIES SHALL BE SAME MANUFACTURER AS FIXTURE / EQUIPMENT UNLESS NOTED OTHERWISE. 2. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHT. 3. INSTALL ACCESSORIES AS RECOMMENDED BY MANUFACTURER FOR ADA COMPLIANCE. 4. FIELD COORDINATE/VERIFY FRAMING ROUGH-IN DIMENSIONS WITH ASSOCIATED CONTRACTOR BEFORE ORDERING. 5. PROVIDE WALL CARRIER OR BRACKET AS RECOMMENDED BY MANUFACTURER FOR WALL MOUNTED INSTALLATION. 6. PROVIDED BY ONSITE CONTRACTOR.										

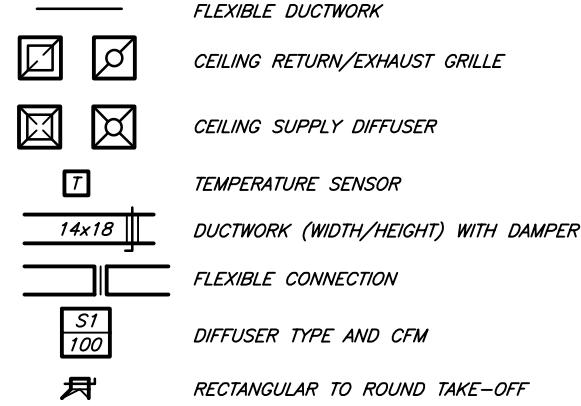
AIR DEVICE SCHEDULE												
MARK	MANUF	MODEL	DUCT CONNECTION SIZE	SERVICE	MODULE SIZE	FRAME	FINISH	DAMPER	MAX NC	THROW (FT)	DELTA P (STATIC)	NOTES
S1	KRUEGER	PLQ	6" 0-110 CFM	SUPPLY	24x24	LAY-IN	WHITE	-	30	15	0.1"	1.3
			8" 111-225 CFM									
			10" 226-420 CFM									
R1	KRUEGER	6690	6" 0-110 CFM	RETURN	24x24	LAY-IN	WHITE	-	30	-	0.1"	1.3
			8" 111-225 CFM									
			10" 500 CFM									
NOTES: 1. GRILLE/DIFFUSER NECK SHALL BE SAME SIZE AS BRANCH DUCTWORK UNLESS NOTED OTHERWISE ON PLAN. 2. PROVIDE PLASTER FRAME KIT FOR MOUNTING IN GYP BOARD CEILINGS AS REQUIRED. 3. VERIFY FINISH WITH ARCHITECT.												

AIR CURTAIN SCHEDULE												
MARK	MANUFACTURER	MODEL #	MOUNTING	HEATING (KW)	AMCA LAB AIRFLOW (SCFM)	NOZZLE WIDTH	MAX VELOCITY @ NOZZLE (FPM)	VOLTAGE/ PHASE	MCA	MOCP	NOTES	
AC1	STRONGWAY	49947	WALL	-	816	36"	3,937	120V1	2.9	15	1 THRU 8	
AC2	STRONGWAY	49947	WALL	-	816	36"	3,937	120V1	2.9	15	1 THRU 8	
AC3	STRONGWAY	49947	WALL	-	816	36"	3,937	120V1	2.9	15	1 THRU 8	
NOTES: 1. PROVIDE FACTORY INSTALLED DISCONNECT. 2. FACTORY INSTALLED UNIT MOUNTED CONTROLS WITH TWO SPEED CONTROL. 3. MAGNETIC DOOR/LIMIT SWITCH. 4. FACTORY MOUNTED MOTOR CONTROL PANEL. 5. CLEANABLE FILTER. 6. FIELD COORDINATE EXACT MOUNTING REQUIREMENTS AND PROVIDE ALL REQUIRED ACCESSORIES. 7. UNIT SHALL BE RATED FOR OUTDOOR CONDITIONS. 8. COORDINATE FINISH WITH OWNER.												

PLUMBING SYMBOLS:



HVAC SYMBOLS:



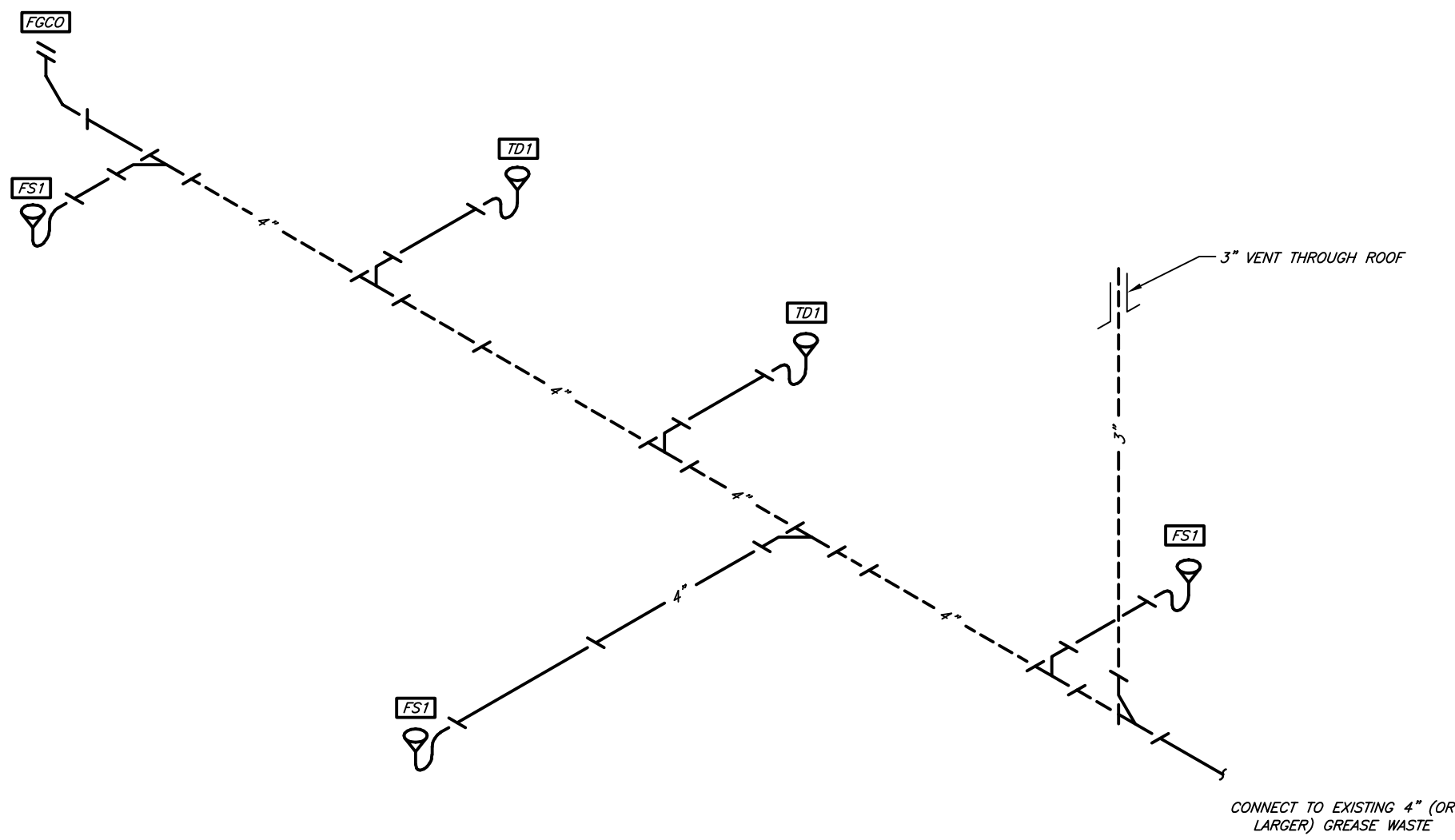
GENERAL MECHANICAL NOTES:

- GENERAL
- GENERAL MECHANICAL NOTES APPLY TO ALL MECHANICAL SCHEDULES.
 - CID ENGINEERING LLC, BEING THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS, RESERVES THE RIGHT OF FINAL INTERPRETATION AS TO THEIR INTENT AND MEANING. ANY ADDITIONAL WORK OR COSTS RESULTING FROM THE CONTRACTOR'S OWN INTERPRETATION AS TO THE INTENT OR MEANING WITHOUT CONSULTATION WITH CID ENGINEERING LLC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO OWNER OR A/E.
 - THE INTENT OF THE WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE A FULLY FUNCTIONING SYSTEM IN COMPLETE WORKING ORDER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR'S SUPPLIERS TO INCLUDE ALL ACCESSORIES, COMPONENTS, PARTS, ETC. THAT MAY NOT BE INDICATED ON THESE CONSTRUCTION DOCUMENTS TO PROVIDE BUILDING CODE COMPLIANT SYSTEMS AND EQUIPMENT THAT OPERATE SATISFACTORILY AS DESIGNED AND INTENDED.
 - DRAWINGS ARE NOT SET UP SPECIFICALLY ACCORDING TO TRADE AND EACH CONTRACTOR AND SUB-CONTRACTOR OR TRADE IS REQUIRED TO REVIEW THE CONSTRUCTION DOCUMENTS AS A WHOLE AND PROVIDE ANY MISC. ITEMS, MATERIALS, WORK, ETC. REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON ALL DOCUMENTS. THIS REQUIREMENT APPLIES TO ALL TRADES: STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING REQUIREMENTS AND RELATED WORK ARE INDICATED THROUGHOUT THE DOCUMENTS AND SHOULD BE REVIEWED WITH EACH FOR OVERALL SCOPE OF WORK.
 - ALL MECHANICAL WORK SHALL BE PERFORMED BY LICENSED PLUMBING AND MECHANICAL CONTRACTORS AND SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING, PLUMBING, PLUM, GAS AND MECHANICAL CODES, AND ALL APPLICABLE LOCAL CODES AS ADOPTED BY LOCAL AUTHORITIES.
 - THE CONTRACTOR SHALL INCLUDE ALL PERMIT AND INSPECTION FEES IN BID.
 - THE PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO CIVIL, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS FOR DIMENSIONS. FIELD VERIFY ALL DIMENSIONS.
 - PIPING AND DUCTWORK LAYOUTS ARE DIAGRAMMATIC. FIELD COORDINATE EXACT LOCATIONS AND ROUTINGS WITH STRUCTURE, LIGHT FIXTURES, CONDUITS, ETC. FINAL RESULT SHALL BE EQUIVALENT TO THAT INDICATED ON DRAWINGS.
 - COOPERATE CLOSELY WITH ALL OTHER TRADES TO EXPEDITE CONSTRUCTION AND AVOID INTERFERENCES AND CONFLICTS. BEFORE ANY PIPING, DUCTWORK, CONDUIT, ETC. IS INSTALLED, IT SHALL BE COORDINATED CAREFULLY BETWEEN ALL TRADES.
 - MAINTAIN ALL CLEARANCES REQUIRED BY PLUMBING AND HVAC EQUIPMENT. COORDINATE WITH ELECTRICAL CONTRACTOR TO MAINTAIN ALL CLEARANCES REQUIRED FOR EQUIPMENT. DO NOT ROUTE PIPING, DUCTWORK, ETC. ABOVE ELECTRICAL PANELS.
 - DRAWINGS REPRESENT FINAL RESULT. REMOVE, RELOCATE, MODIFY EXISTING EQUIPMENT, DUCTWORK, PIPING, ETC. AS REQUIRED. FIELD VERIFY EXISTING CONDITIONS AND EXACT REQUIREMENTS. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS.
 - IF CONTRACTOR WISHES TO INCORPORATE PRODUCTS OTHER THAN THOSE NAMED IN SPECIFICATIONS IN HIS BID OR PRODUCTS BY MANUFACTURERS OTHER THAN THOSE LISTED AS APPROVED MANUFACTURERS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR REVIEW AND APPROVAL OF PROPOSED SUBSTITUTIONS TO CID ENGINEERING LLC NOT LESS THAN FIVE WORKING DAYS PRIOR TO BID DATE. APPROVAL OR ACCEPTANCE OF PROPOSED SUBSTITUTION OF MANUFACTURERS OR ITEMS IS FOR THE PURPOSES OF BIDDING ONLY AND DOES NOT RELIEVE THE PROPOSED SUBSTITUTION FROM THE SUBMITTAL/SHOP DRAWING REVIEW AND DOES NOT CONSTITUTE PRIOR APPROVAL OF PROPOSED SUBSTITUTIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF LARGER WIRING, CONDUIT, ENCLOSURES, CONTROL AND OVERCURRENT PROTECTIVE DEVICES, ETC. RESULTING FROM SUBSTITUTION OF EQUIPMENT OTHER THAN THAT WHICH WAS THE BASIS OF DESIGN AT NO COST TO OWNER OR A/E.
 - THE CONTRACTOR SHALL PROVIDE ELECTRONIC SHOP DRAWINGS/SUBMITTALS OF ALL FIXTURES AND EQUIPMENT FURNISHED UNDER THIS CONTRACT.
 - THE CONTRACTOR SHALL PERFORM A PRELIMINARY FUNCTIONAL TEST AND BALANCE FOR ALL EQUIPMENT INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL THEN OBTAIN THE SERVICES OF AN INDEPENDENT FIRM CERTIFIED WITH ASSOCIATED AIR BALANCING COUNCIL OR NATIONAL ENVIRONMENTAL BALANCING BUREAU TO PERFORM THE HVAC SYSTEM TESTING AND BALANCING IN ACCORDANCE WITH ASHRAE OR NEBB NATIONAL STANDARDS.
 - THE CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT, ACCESSORIES, AND MATERIAL FURNISHED BY HIM FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COSTS TO CUT, PATCH AND REPAIR EXISTING WALL, FLOOR AND CEILING CONSTRUCTION AS REQUIRED TO INSTALL NEW PLUMBING FIXTURES, DUCTWORK, EQUIPMENT, PIPING, ETC. ARE INCLUDED IN THE BID PRICE.

GENERAL MECHANICAL NOTES (CONT'D):

- PRODUCTS:
- ALL SHUTOFF VALVES ON DOMESTIC WATER SHALL BE BRONZE FULL-PORT BALL VALVE TYPE.
 - P-TRAPS SHALL INCLUDE INTEGRAL CLEANOUT.
 - DUCT CONSTRUCTION:
ALL DUCTWORK SHALL BE FABRICATED OF G90 GALVANIZED STEEL AND INSTALLED IN ACCORDANCE WITH THE SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE MANUAL. ALL SUPPLY AND RETURN AIR DUCT PRESSURE CLASSES SHALL BE THE SAME AS THE EXTERNAL STATIC PRESSURE OF THE EQUIPMENT SUPPLYING THE DUCT. THE EQUIPMENT ESP SHALL BE THE PRESSURE CLASS FOR THE DRYING SUPPLY DUCT SYSTEM.
CONCEALED ROUND SUPPLY AIR DUCT - 3" PRESSURE CLASS OR LESS: GALVANIZED SNAP-LOCK PIPE WITH TRANSVERSE JOINTS AND CONNECTIONS SEALED. WRAP SUPPLY AND OUTSIDE AIR DUCTS WITH SPECIFIED INSULATION.
CONCEALED ROUND RETURN AND EXHAUST DUCT - 3" PRESSURE CLASS OR LESS: GALVANIZED SNAP-LOCK PIPE WITH TRANSVERSE JOINTS AND CONNECTIONS SEALED WITH SPECIFIED INSULATION.
RECTANGULAR SUPPLY AND RETURN AIR DUCT - 3" PRESSURE CLASS OR LESS: GALVANIZED SHEET METAL LINE SUPPLY, RETURN, OUTDOOR AIR AND MAKE-UP AIR DUCTWORK WITH SPECIFIED INSULATION.
FLEXIBLE DUCTWORK: FLEXMASTER USA TYPE RB, UL 181 CLASS 1 RATED PRE-INSULATED ACoustical FLEX DUCT WITH MECHANICAL LOCK BEVEL CONSTRUCTION, 25/20 FLAME SMOKE RATING, AND R-6.0 THERMAL BARRIER. RUNS OF FLEXIBLE DUCT SHALL NOT EXCEED 5 LINEAR FEET. FLEXIBLE DUCT SHALL NOT BE USED ON SYSTEMS WITH PRESSURE CLASS GREATER THAN 1".
EXTERIOR DUCTWORK SHALL HAVE FLANGED AND GASKETED JOINTS BY DUCTMATE OR EQUIVALENT.
ALL METAL DUCTWORK SPECIFIED TO RECEIVE INTERIOR THERMAL AND ACOUSTICAL LINER IS NOT SIZED ON PLANS TO INCLUDE THE PROPER THICKNESS OF INSULATION. PROVIDE ADDITIONAL HEIGHT AND WIDTH OF DUCTWORK TO ACCOMMODATE THICKNESS OF INSULATION.
 - DUCT INSULATION:
RECTANGULAR DUCT (LOCATED WITHIN CONDITIONED SPACE): 1.0" THICK, 2.0 LB DENSITY DUCT LINER. MINIMUM R-VALUE OF 1.0 LB DENSITY FIBERGLASS DUCT WRAP WITH FOIL-SCRM-KRAFT FACING. MINIMUM R-VALUE OF 6.0.
ROUND DUCT: WRAP WITH 2", 1.0 LB DENSITY FIBERGLASS DUCT WRAP WITH FOIL-SCRM-KRAFT FACING. MINIMUM R-VALUE OF 6.0.
ROUND TAKE-OFF FITTINGS FROM RECTANGULAR DUCTWORK SHALL BE MADE WITH BUCKLEY AIR PRODUCTS MODEL 1300 AND 1300D RECTANGULAR TO ROUND BOOT FITTINGS FITTINGS WITH INTEGRAL VOLUME DAMPERS AND INSULATION STAND-OFFS WHERE INDICATED BY AIR-TITE AND CROWN.
PROVIDE AERO-DINE OR EQUIVALENT DOUBLE WALL TURNING VANES IN ALL RECTANGULAR ELBOWS.
BRANCH DUCTS SHALL BE THE SAME SIZE AS DIFFUSER NECK UNLESS NOTED OTHERWISE.
EQUIVALENT WATER HEATERS BY A.O. SMITH, BRADFORD WHITE, LOCHINVAR, RHEEM, STATE, OR OTHERS WITH PRIOR APPROVAL.
EQUIVALENT GRILLES, DIFFUSERS AND REGISTERS BY CARNER, KRUEGER, MAJOR, PRICE, TITUS, HART & COOLEY, TUTTLE & BAILEY, OR OTHERS WITH PRIOR APPROVAL.
EQUIVALENT EXHAUST FANS BY ACME, COOK, GREENHECK, PENN, OR OTHERS WITH PRIOR APPROVAL.
EQUIVALENT FURNACES, EVAPORATOR COILS AND CONDENSING UNITS BY CARRIER, TRANE AND YORK, AND SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.

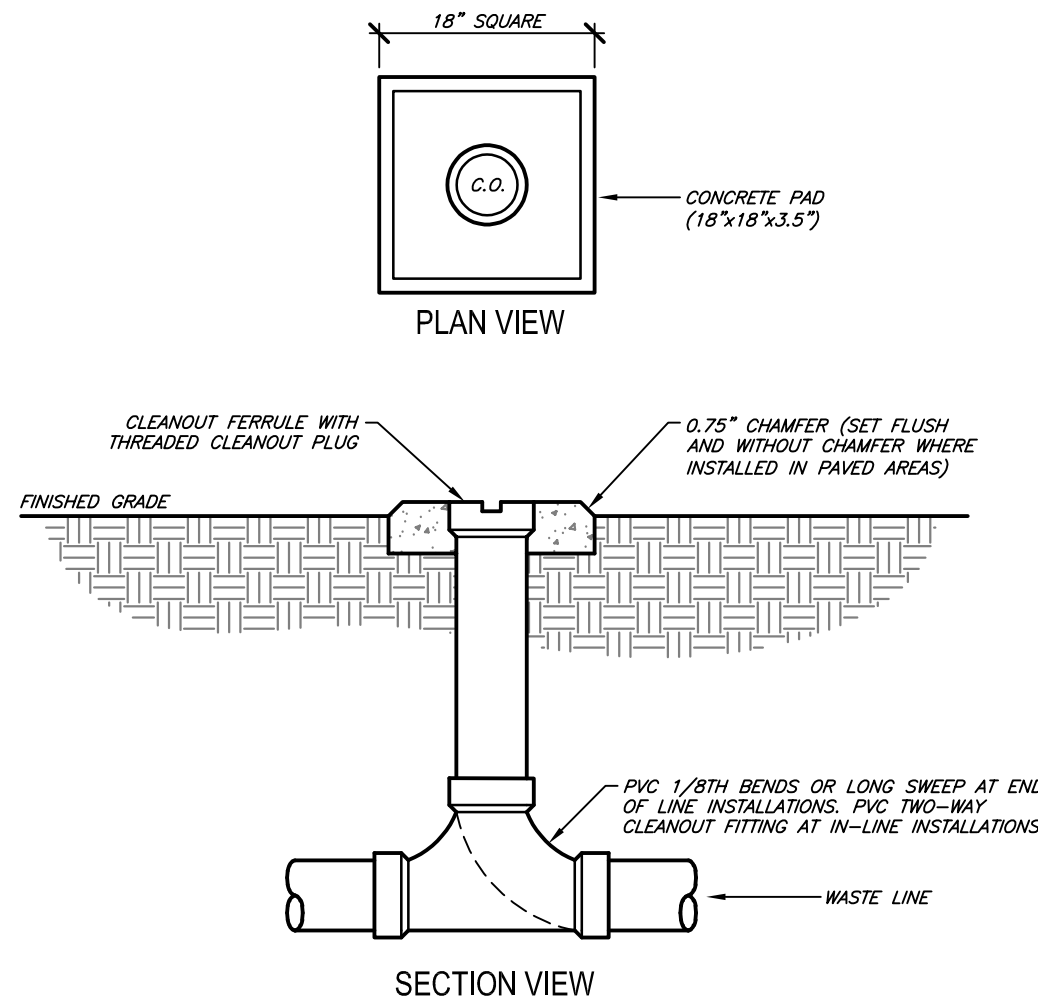
- EXECUTION
- PROVIDE ALL ACCESSORIES, COMPONENTS, ETC. REQUIRED FOR COMPLETE INSTALLATION OF SPECIFIED EQUIPMENT.
 - PROVIDE UNISTRUTS AND ACCESSORIES AS REQUIRED FOR SUPPORT OF PIPING, EQUIPMENT, ETC.
 - CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO EQUIPMENT. PROVIDE ADAPTERS, FITTINGS, ETC. FOR ALL EQUIPMENT AS REQUIRED. COORDINATE SPECIFIC REQUIREMENTS WITH EQUIPMENT SUPPLIERS. REFER TO SPECIAL EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
 - INSULATE ALL DOMESTIC WATER WITH 1/2" THICK ARMACELL AP/ARMAFLEX FLEXIBLE ELASTOMERIC THERMAL PIPE INSULATION. THE USE OF TUBULIT OR EQUIVALENT CLOSED CELL POLYETHYLENE FOAM INSULATION IS STRICTLY PROHIBITED.
 - INSULATE ALL REFRIGERANT PIPING WITH 1.5" THICK ARMACELL AP/ARMAFLEX FLEXIBLE ELASTOMERIC THERMAL PIPE INSULATION. EQUIVALENT BY RUBATEX. THE USE OF TUBULIT OR EQUIVALENT CLOSED CELL POLYETHYLENE FOAM INSULATION IS STRICTLY PROHIBITED.
 - INSTALL TRAPS AT WASTE CONNECTIONS TO ALL FLOOR DRAINS AND OTHER PLUMBING FIXTURES WITHOUT A TRAP INTEGRAL TO THE FIXTURE.
 - INSTALL WATER AND WASTE PIPING BELOW SLAB AND BELOW GRADE ON TOP OF A 6" BED OF PE4 GRAVEL, WITH 6" PE4 GRAVEL ON SIDES AND TOP OF PIPING.
 - PROVIDE TRAPPED AND VENTED CONDENSATE DRAIN CONNECTION TO ALL HVAC EQUIPMENT WHERE REQUIRED. EXTEND FULL SIZE TO NEAREST ROOF DRAIN, FLOOR DRAIN, OR MOP BASIN.
 - SEAL ALL DUCTWORK IN ACCORDANCE WITH THE LATEST SMACNA METAL AND FLEXIBLE DUCT CONSTRUCTION STANDARDS MANUAL. AT A MINIMUM, LOW STATIC PRESSURE DUCTS SHALL BE SEALED WITH WATER, SOLVENT OR SILICONE BASED SEALANT IN ACCORDANCE WITH SMACNA DUCT SEAL CLASS C. THE USE OF DUCT TAPE IS STRICTLY PROHIBITED.
 - ALL THERMOSTATS, SENSORS, DAMPER CONTROLS, ASSOCIATED ACCESSORIES, AND FINAL WIRING CONNECTIONS SHALL BE PROVIDED BY HVAC CONTRACTOR. ROUGH-IN AND WIRE INSTALLATION SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR.
 - PROVIDE HVAC EQUIPMENT WITH NEW FILTERS DURING CONSTRUCTION AND UPON SUBSTANTIAL COMPLETION.
 - COORDINATE CEILING DIFFUSER/GRILLE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.
 - PROVIDE FLEXIBLE CONNECTION AND TRANSITION TO UNIT OPENING SIZES FOR ALL HVAC EQUIPMENT.
 - INSTALL ALL ROOF EQUIPMENT, PIPE, CONDUIT AND DUCTWORK SUPPORTS, CURBS AND PENETRATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER.
 - PROVIDE FACTORY FABRICATED PIPE CURB ASSEMBLIES FOR MULTIPLE CONDUIT AND PIPING PENETRATIONS THROUGH THE ROOF. PIPE CURB ASSEMBLIES SHALL BE FACTORY FABRICATED, 8" TALL (MINIMUM) GALVANIZED STEEL ROOF CURBS WITH INTEGRAL BASE PLATE, 3 LB DENSITY INSULATION, WOOD WALER, ACrylic CLAD THERMOPLASTIC COVER, FASTENING SCREWS AND CONCRETE STEP BOLTS WITH STAINLESS STEEL CLAMPS AS MANUFACTURED BY RATE, HYBAR OR APPROVED EQUIVALENT. PROVIDE PIPE SEAL ASSEMBLIES FOR INDIVIDUAL CONDUIT OR PIPE PENETRATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH ROOFING MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
 - SUPPORT PIPING ON ROOF WITH PREMANUFACTURED PIPING SUPPORTS EQUIVALENT TO R-LINE C-SERIES. FIELD FABRICATED SUPPORTS CONSISTING OF LUMBER, ETC. ARE NOT ACCEPTABLE.
 - PROVIDE SLEEVES AT PIPE PENETRATIONS OF EXTERIOR OR FOUNDATION WALLS. SEAL PENETRATIONS WEATHERTIGHT.
 - SEAL ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AS NECESSARY TO RESTORE FIRE-RESISTANCE RATING. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR RATED ASSEMBLIES, FIRESTOPPING MATERIALS AND REQUIREMENTS.
 - ALL EXPOSED PIPING, DUCTWORK AND EQUIPMENT SHALL BE PRIMED AND PAINTED. REFER TO ARCHITECTURAL DRAWINGS FOR REQUIREMENTS AND COORDINATE WITH GENERAL CONTRACTOR.
 - THE MECHANICAL/PLUMBING CONTRACTOR SHALL SEAL ALL NECESSARY PENETRATIONS OF RATED WALL AND CEILING CONSTRUCTION WITH FIRE CAULK. PROVIDE FIRE PUTTY PAD AROUND LAUNDRY AND ICE-MAKERS ROUGH-IN BODIES INSTALLED IN RATED WALL AND CEILING CONSTRUCTION. FIRE CAULK AND PUTTY PADS SHALL BE MANUFACTURED BY 3M OR HILTI, AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - PROVIDE SILOUX CHIEF WATER HAMMER ARRESTERS ON ALL PLUMBING FIXTURES SIZED IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD P.D.I. WH201. EQUIVALENT BY JONESPEC, J.R. SMITH, OR WADE.



2

GREASE WASTE AND VENT ISOMETRIC

NO SCALE



1

FINISH GRADE CLEANOUT DETAIL

NO SCALE

7 BREW COFFEE

BRYANT, AR #2

2006 N REYNOLDS RD
BRYANT, AR 72022

BREW
SEVEN 73
DRIVE THRU
COFFEE



08-15-24

ENGINEER OF RECORD:

NAME: RYAN JONES

LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA

REVISION:

M3.1

SCHEDULES AND
DETAILS

DATE: AUGUST 15, 2024



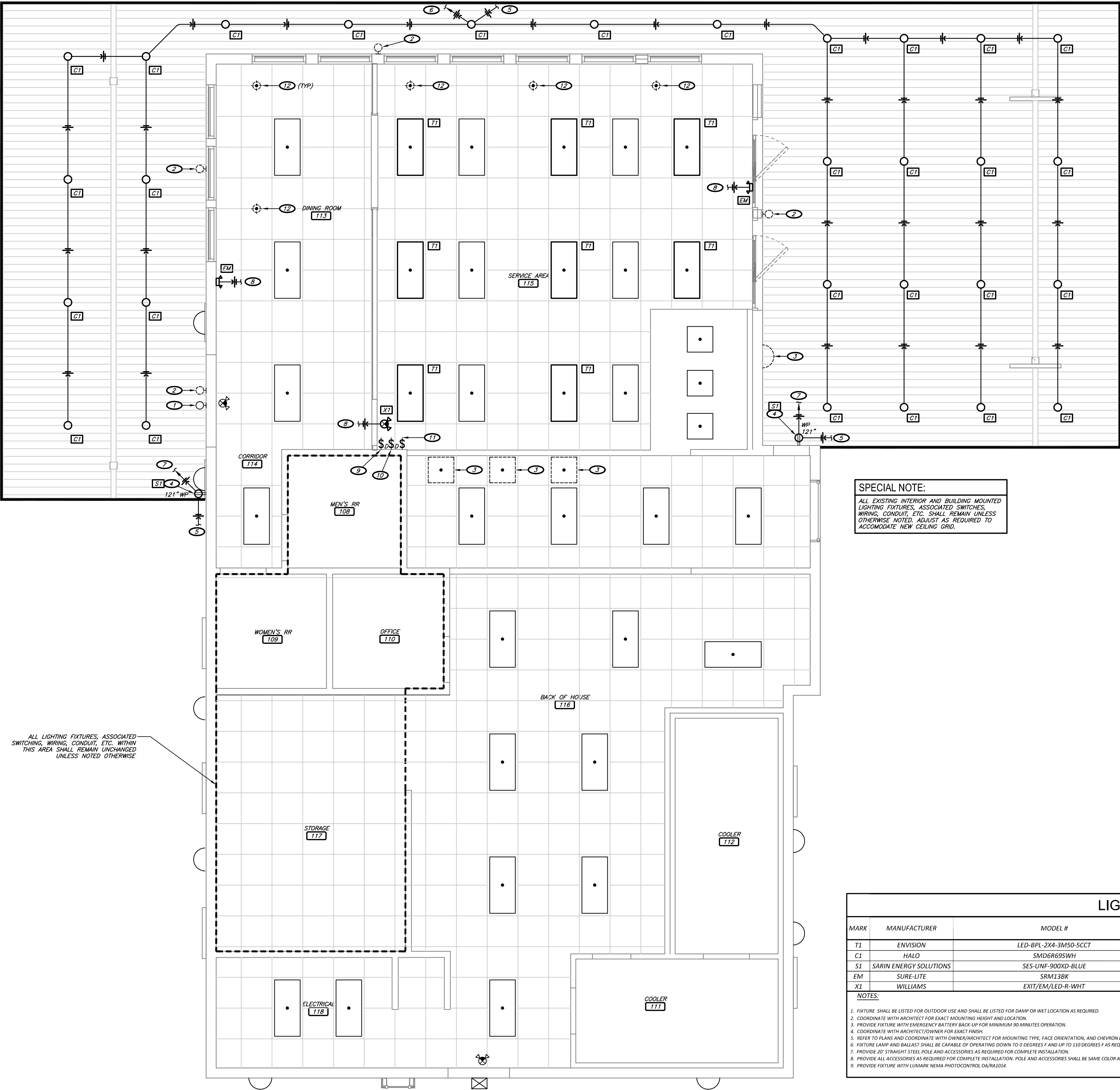
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SPECIAL NOTE:
ALL EXISTING INTERIOR AND BUILDING MOUNTED LIGHTING FIXTURES, ASSOCIATED SWITCHES, WIRING, CONDUIT, ETC. SHALL REMAIN UNLESS OTHERWISE NOTED. ADJUST AS REQUIRED TO ACCOMMODATE NEW CEILING GRID.

LIGHTING FIXTURE SCHEDULE											
MARK	MANUFACTURER	MODEL #	FINISH	MOUNTING	TYPE	LAMPS		FIXTURE WATTS	VOLTAGE	APPROVED MANUFACTURERS	NOTES
						CODE	QTY.				
T1	ENVISION	LED-BPL-2X4-3MS0-5CCT	WHITE	SURFACE	LED	WITH FIXTURE	-	50	120	SUBMIT	-
C1	HALO	SM06R65SWH	WHITE	SURFACE	LED	WITH FIXTURE	-	10	UNV	SUBMIT	1,2,4,6
S1	SARIN ENERGY SOLUTIONS	SES-UNF-900XD-BLUE	WHITE	SURFACE	LED	WITH FIXTURE	-	3/FT	UNV	SUBMIT	1,2,6
EM	SURE-LITE	SRM13BK	WHITE	SURFACE	LED	WITH FIXTURE	-	10	UNV	SUBMIT	3
X1	WILLIAMS	EXIT/EM/LED-R-WHT	WHITE	SURFACE	LED	WITH FIXTURE	-	10	120	SUBMIT	3
NOTES: 1. FIXTURE SHALL BE LISTED FOR OUTDOOR USE AND SHALL BE LISTED FOR DAMP OR WET LOCATION AS REQUIRED. 2. COORDINATE WITH ARCHITECT FOR EXACT MOUNTING HEIGHT AND LOCATION. 3. PROVIDE FIXTURE WITH EMERGENCY BATTERY BACK-UP FOR MINIMUM 90-MINUTES OPERATION. 4. COORDINATE WITH ARCHITECT/OWNER FOR EXACT FINISH. 5. REFER TO PLANS AND COORDINATE WITH OWNER/ARCHITECT FOR MOUNTING TYPE, FACE ORIENTATION, AND CHEVRON DIRECTION AS APPLICABLE. 6. FIXTURE LAMP AND BALLAST SHALL BE CAPABLE OF OPERATING DOWN TO 0 DEGREES F AND UP TO 110 DEGREES F AS REQUIRED. 7. PROVIDE 20' STRAIGHT STEEL POLE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION. 8. PROVIDE ALL ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION. POLE AND ACCESSORIES SHALL BE SAME COLOR AS FIXTURE HEAD. 9. PROVIDE FIXTURE WITH LUMARK NEMA PHOTOCENTRIC CAV/NOLOA.											
ABBREVIATIONS: DSVC - DIMMER FURNISHED, CONTRACTOR INSTALLED TBD - TO BE DETERMINED											

KEYNOTES:

- EXISTING EMERGENCY LIGHT ABOVE DOOR SHALL REMAIN.
- REMOVE EXISTING WALL MOUNTED GOOSENECK LIGHTING FIXTURE, ASSOCIATED WIRING, AND CONDUIT ABOVE NEW CANOPY WILL BE INSTALLED. FIELD VERIFY EXACT REQUIREMENTS.
- REMOVE EXISTING LIGHTING FIXTURE, ASSOCIATED CONDUIT, AND CONDUCTORS. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
- PROVIDE RECEPTACLE FOR POWER CONNECTION TO BUILDING LED TAPE LIGHT. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION AND LINEAR FOOTAGE OF FIXTURE. CONNECT POWER TO LED STRIPS PER MANUFACTURE'S INSTRUCTION.
- CIRCUIT TO CORRESPONDING LIGHT SWITCH IN SERVICE 115.
- CIRCUIT TO NEW OR EXISTING SPARE 20-AMP BREAKER IN EXISTING PANELBOARD. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
- CIRCUIT TO NEW 30 AMP BREAKER IN EXISTING PANELBOARD. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS. CIRCUIT TO INCLUDE BOTH CANOPY TAPE LIGHTING RECEPTACLES.
- CIRCUIT TO NEAREST LIGHTING CIRCUIT IN THIS AREA. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS. MODIFY/EXTEND WIRING AS REQUIRED.
- CIRCUIT DIMMER LIGHT SWITCH TO CANOPY TAPE LIGHTING CIRCUIT.
- CIRCUIT DIMMER LIGHT SWITCH TO CANOPY CAN LIGHTING CIRCUIT.
- CIRCUIT LIGHT SWITCH TO BUILDING SIGNAGE LIGHTING CIRCUIT.
- REMOVE EXISTING PENDANT LIGHT FIXTURE, ASSOCIATED CONDUIT AND CONDUCTORS. FIELD VERIFY QUANTITY, REQUIREMENTS, AND LOCATIONS.

ELECTRICAL SYMBOLS:

- SIMPLEX RECEPTACLE; 2P, 3W, 20A, 125V
- SIMPLEX RECEPTACLE; NEMA CONFIGURATION AS INDICATED
- DUPLEX RECEPTACLE; 2P, 3W, 20A, 125V
- DUPLEX RECEPTACLE; MOUNTED 42" ABOVE FINISHED FLOOR
- DUPLEX RECEPTACLE; MOUNTED 6" ABOVE COUNTERTOP BACKSPLASH
- DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER
- DUPLEX RECEPTACLE; WEATHERPROOF
- DOUBLE DUPLEX RECEPTACLE WITH COMMON FACEPLATE
- TELECOMMUNICATIONS OUTLET; ROUGH-IN JUNCTION BOX OR PLASTER RING ONLY. MAY BE USED FOR VOICE, DATA, FAX, MODEM, OR ANY COMBINATION THEREOF. CABLE, COVER PLATE & JACKS PROVIDED BY OTHERS.
- CABLE TV OUTLET; ROUGH-IN JUNCTION BOX OR PLASTER RING ONLY. CABLE, COVER PLATE & JACKS PROVIDED BY OTHERS.
- EXIT LIGHT; WALL MOUNTED / CEILING MOUNTED
- EMERGENCY LIGHT
- EXIT/EMERGENCY LIGHT
- LED LIGHT FIXTURE
- NIGHT LIGHT FIXTURE
- LIGHT SWITCH
- 3-WAY LIGHT SWITCH
- DIMMER LIGHT SWITCH
- OCCUPANCY SENSOR LIGHT SWITCH
- CEILING MOUNTED OCCUPANCY SENSOR
- JUNCTION BOX
- LIGHTING & POWER PANELBOARD
- CONDUIT CONCEALED IN CEILING OR WALL
- CONDUIT BELOW GRADE
- HOME RUN; TICK MARKS INDICATE NUMBER OF WIRES, ARROWS INDICATE NUMBER OF CIRCUITS
- GROUND WIRE
- FEEDER PER SCHEDULE
- DISCONNECT SWITCH
- DUCT MOUNTED SMOKE DETECTOR

GENERAL ELECTRICAL NOTES:

- GENERAL**
- GENERAL ELECTRICAL NOTES APPLY TO ALL ELECTRICAL SHEETS.
 - CJD ENGINEERING LLC, BEING THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS, RESERVES THE RIGHT OF FINAL INTERPRETATION AS TO THEIR INTENT AND MEANING. ANY ADDITIONAL WORK OR COSTS RESULTING FROM THE CONTRACTOR'S OWN INTERPRETATION AS TO THE INTENT OR MEANING WITHOUT CONSULTATION WITH CJD ENGINEERING LLC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO OWNER OR A/E.
 - THE INTENT OF THE WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE A FULLY FUNCTIONING SYSTEM IN COMPLETE WORKING ORDER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTORS SUPPLIERS TO INCLUDE ALL ACCESSORIES, COMPONENTS, PARTS, ETC. THAT MAY NOT BE INDICATED ON THESE CONSTRUCTION DOCUMENTS TO PROVIDE BUILDING CODE COMPLIANT SYSTEMS AND EQUIPMENT THAT OPERATE SATISFACTORILY AS DESIGNED AND INTENDED.
 - ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODES, THE 2017 NATIONAL ELECTRICAL CODE, AND ALL LOCAL CODES AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL INCLUDE ALL PERMIT AND INSPECTION FEES IN BID.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS.
 - PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO CIVIL, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS FOR DIMENSIONS. FIELD VERIFY ALL DIMENSIONS.
 - EQUIPMENT AND CONDUIT/CONDUCTOR LAYOUTS ARE DIAGRAMMATIC. FIELD COORDINATE EXACT LOCATIONS AND ROUTINGS WITH STRUCTURE, PIPING, DUCTWORK, LIGHT FIXTURES, ETC. FINAL RESULT SHALL BE EQUIVALENT TO THAT INDICATED ON DRAWINGS.
 - COOPERATE CLOSELY WITH ALL OTHER TRADES TO EXPEDITE CONSTRUCTION AND AVOID INTERFERENCES AND CONFLICTS. BEFORE ANY PIPING, DUCTWORK, CONDUIT, ETC. IS INSTALLED, IT SHALL BE COORDINATED CAREFULLY BETWEEN ALL TRADES.
 - MAINTAIN ALL CLEARANCES REQUIRED BY ELECTRICAL EQUIPMENT. COORDINATE WITH PLUMBING, HVAC, AND SPRINKLER CONTRACTORS TO MAINTAIN ALL CLEARANCES REQUIRED FOR EQUIPMENT. DO NOT ROUTE PIPING, DUCTWORK, ETC. ABOVE ELECTRICAL PANELS.
 - DRAWINGS REPRESENT FINAL RESULT. REMOVE, RELOCATE, MODIFY EXISTING EQUIPMENT, DUCTWORK, PIPING, ETC. AS REQUIRED. FIELD VERIFY EXISTING CONDITIONS AND EXACT REQUIREMENTS.
 - COORDINATE INFORMATION OUTLET, RECEPTACLE, AND OTHER DEVICE LOCATIONS WITH OWNER AND WITH MILLWORK AND WITH OTHER TRADES PRIOR TO ROUGH-IN.
 - INFORMATION OUTLET (DATA AND TELEPHONE) DEVICES, WALL PLATES, AND ASSOCIATED WIRING, SHALL BE SUPPLIED AND INSTALLED BY OTHERS UNDER A SEPARATE CONTRACT WITH THE OWNER.
 - THE CONTRACTOR SHALL PROVIDE ELECTRONIC SHOP DRAWINGS/SUBMITTALS OF ALL FIXTURES AND EQUIPMENT FURNISHED UNDER THIS CONTRACT.
 - IF CONTRACTOR WISHES TO INCORPORATE PRODUCTS OTHER THAN THOSE NAMED IN SPECIFICATIONS IN HIS BID OR PRODUCTS BY MANUFACTURERS OTHER THAN THOSE LISTED AS APPROVED MANUFACTURERS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR REVIEW AND APPROVAL OF PROPOSED SUBSTITUTIONS TO CJD ENGINEERING LLC NOT LESS THAN FIVE WORKING DAYS PRIOR TO BID DATE. APPROVAL OR ACCEPTANCE OF PROPOSED SUBSTITUTION OF MANUFACTURERS OR ITEMS IS FOR THE PURPOSES OF BIDDING ONLY AND DOES NOT RELIEVE THE PROPOSED SUBSTITUTION FROM SUBMITTAL/SHOP DRAWING REVIEW AND DOES NOT CONSTITUTE PRIOR APPROVAL OF PROPOSED SUBSTITUTIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF LARGER WIRING, CONDUIT, ENCLOSURES, CONTROL AND OVERCURRENT PROTECTIVE DEVICES, ETC. RESULTING FROM SUBSTITUTION OF EQUIPMENT OTHER THAN THAT WHICH WAS THE BASIS OF DESIGN AT NO COST TO OWNER OR A/E.
 - THE CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT, ACCESSORIES, AND MATERIAL FURNISHED BY HIM FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COSTS TO CUT, PATCH AND REPAIR EXISTING WALL, FLOOR AND CEILING CONSTRUCTION AS REQUIRED TO INSTALL NEW FIXTURES, CONDUIT, WIRING, ETC. ARE INCLUDED IN THE BID PRICE.
- PRODUCTS**
- LIGHT SWITCHES SHALL BE EQUIVALENT TO HUBBELL 1220 SERIES, 20-AMP, 120/277-VOLT, IN COLOR SELECTED BY THE ARCHITECT/INTERIOR DESIGNER.
 - DUPLEX RECEPTACLES SHALL BE EQUIVALENT TO HUBBELL 5300 SERIES, 20A, 125V, NEMA CONFIGURATION 5-20R, IN COLOR SELECTED BY THE ARCHITECT/INTERIOR DESIGNER.
 - ALL RECEPTACLES THROUGHOUT SHALL BE TAMPER-RESISTANT TYPE, TO COMPLY WITH N.E.C.
 - ELECTRICAL DEVICE WALL PLATES SHALL BE HIGH IMPACT NYLON PLASTIC IN COLOR AS SELECTED BY THE ARCHITECT/INTERIOR DESIGNER.
 - FEEDER AND BRANCH CIRCUIT WIRING SHALL BE COPPER, 600V WITH THHN/THWN INSULATION. BRANCH CIRCUIT WIRING SHALL BE #12 AWG MINIMUM HOMERUNS FOR BRANCH CIRCUITS OVER 75 FEET LONG SHALL BE #10 AWG; OVER 100 FEET LONG, #8 AWG UNLESS INDICATED OTHERWISE.
 - EQUIVALENT WIRING DEVICES BY BRYANT, COOPER, HUBBELL, LEVITON, OR AS APPROVED BY OWNER.
 - EQUIVALENT PANELBOARDS, LIGHTING CONTACTORS AND DISCONNECT SWITCHES BY CUTLER HAMMER, GENERAL ELECTRIC, SIEMENS, SQUARE D, OR AS APPROVED BY OWNER.
- EXECUTION**
- PROVIDE ALL ACCESSORIES, COMPONENTS, ETC. REQUIRED FOR COMPLETE INSTALLATION OF SPECIFIED EQUIPMENT.
 - PROVIDE UNISTRUTS AND ACCESSORIES AS REQUIRED FOR SUPPORT OF PIPING, EQUIPMENT, ETC.
 - COORDINATE LIGHTING AND CEILING DEVICE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.
 - ALL WIRING SHALL BE INSTALLED IN EMT CONDUIT AND SHALL BE CONCEALED UNLESS OTHERWISE NOTED. PVC CONDUIT WILL BE ALLOWED BELOW SLAB ALL TRANSITIONS FROM PVC TO STEEL CONDUIT SHALL BE MADE BELOW GRADE. MINIMUM CONDUIT SIZE FOR LIGHTING AND POWER BRANCH CIRCUITS ABOVE GRADE SHALL BE 1/2" MINIMUM CONDUIT SIZE FOR LIGHTING AND POWER BRANCH CIRCUITS BELOW GRADE SHALL BE 3/4". CONTRACTOR SHALL HAVE THE OPTION TO USE METALLIC CLAD (M/C) CABLE FOR CONCEALED BRANCH CIRCUIT WIRING.
 - MINIMUM CONDUIT SIZE FOR INFORMATION OUTLETS SHALL BE 3/4". CONDUIT STUBS SHALL BE TERMINATED WITH INSULATING BUSHINGS.
 - ALL LIGHTING AND POWER CIRCUITS SHALL HAVE A GROUNDING CONDUCTOR.
 - ALL RECEPTACLES, TELECOMMUNICATIONS OUTLETS, AND TELEVISION OUTLETS SHALL BE INSTALLED AT 18" AFF TO CENTER UNLESS NOTED OTHERWISE. ALL SWITCHES SHALL BE INSTALLED AT 48" AFF TO CENTER UNLESS NOTED OTHERWISE.
 - PROVIDE TYPED CIRCUIT DIRECTORIES FOR ALL PANELBOARDS. DIRECTORY INFORMATION SHALL INCLUDE CIRCUIT NUMBER AND EQUIPMENT SERVED.
 - INSTALL ALL ROOF EQUIPMENT, PIPE, AND CONDUIT SUPPORTS, CURBS AND PENETRATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER.
 - SUPPORT CONDUIT ON ROOF WITH PREMANUFACTURED PIPING SUPPORT EQUIVALENT TO B-LINE C-SERIES. FIELD FABRICATED SUPPORTS CONSISTING OF LUMBER, ETC. ARE NOT ACCEPTABLE.
 - PROVIDE FACTORY FABRICATED PIPE, CURB ASSEMBLIES FOR MULTIPLE CONDUIT AND PIPING PENETRATIONS THROUGH THE ROOF. PIPE CURB ASSEMBLIES SHALL BE FACTORY FABRICATED, 8" TALL (MINIMUM) GALVANIZED STEEL ROOF CURBS WITH INTEGRAL BASE PLATE, 1 LB DENSITY INSULATION, WOOD WALKER, APPROX CLAD THERMOPLASTIC COVER, FASTENING SCREWS, AND GRADUATED STEP BOOTS WITH STAINLESS STEEL CLAMPS AS MANUFACTURED BY RATE, HYBAR, OR APPROVED EQUIVALENT. PROVIDE PIPE SEAL ASSEMBLIES FOR INDIVIDUAL CONDUIT OR PIPE PENETRATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH ROOFING MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
 - PROVIDE SLEEVES AT CONDUIT PENETRATIONS OF EXTERIOR OR FOUNDATION WALLS. SEAL PENETRATIONS WEATHERTIGHT.
 - SEAL ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AS NECESSARY TO RESTORE FIRE-RESISTANCE RATING OF ASSEMBLY. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR RATED ASSEMBLIES, FIRESTOPPING MATERIALS AND REQUIREMENTS.
 - CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO SPECIAL EQUIPMENT. PROVIDE ADAPTERS, FITTINGS, ETC. FOR ALL EQUIPMENT AS REQUIRED. COORDINATE SPECIFIC REQUIREMENTS WITH EQUIPMENT SUPPLIERS. REFER TO SPECIAL EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE ROUGH-IN FOR THERMOSTATS AND SENSORS. PROVIDE SINGLE-GANG BOX WITH 0.75" CONDUIT TO ABOVE ACCESSIBLE CEILING OR TO ASSOCIATED EQUIPMENT. THERMOSTATS, SENSORS, AND WIRING SHALL BE PROVIDED BY MECHANICAL CONTRACTOR. REFER TO HVAC PLANS FOR THERMOSTAT AND CONTROL LOCATIONS.



ENGINEER OF RECORD:

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LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA

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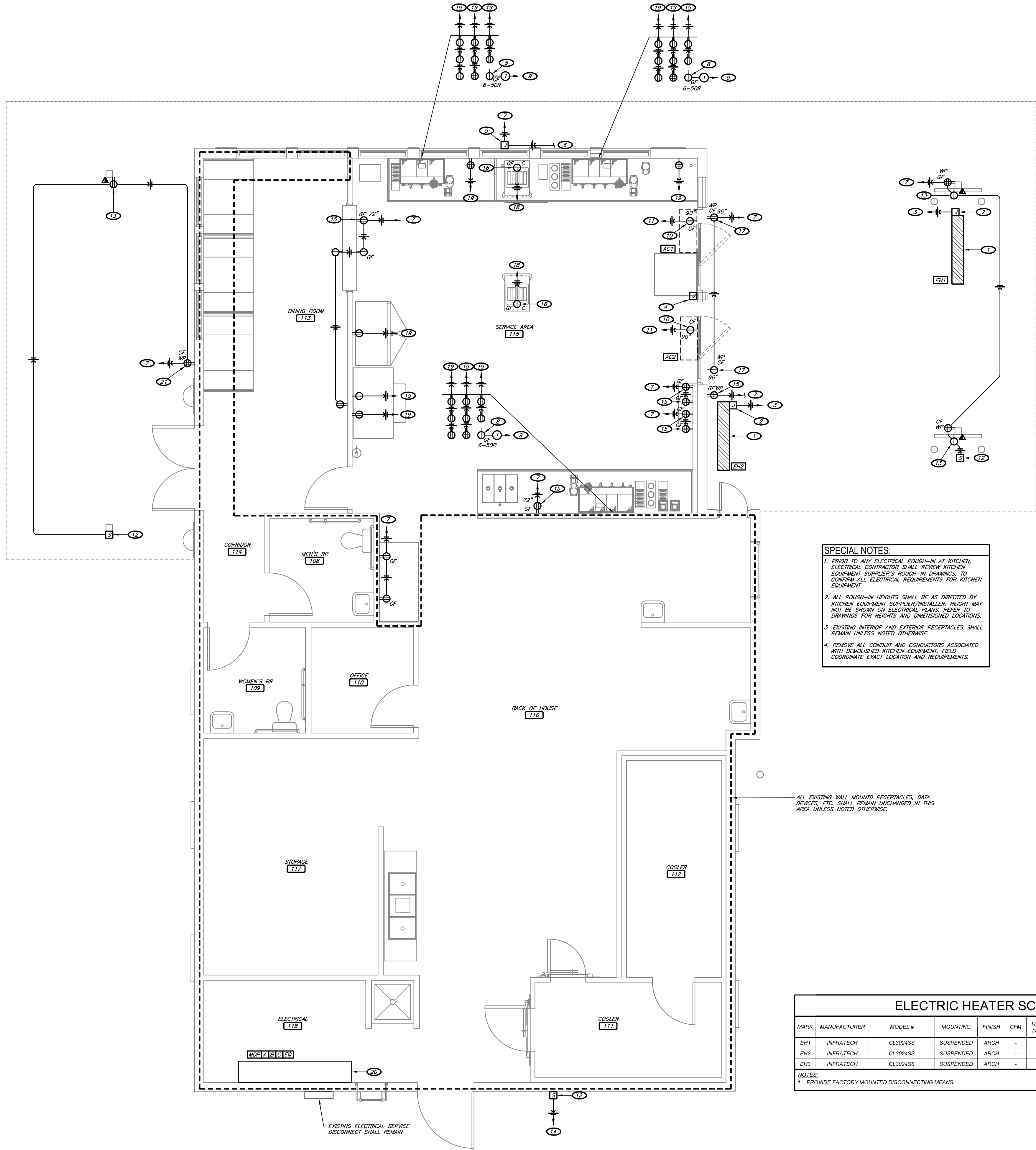
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E1.1

LIGHTING PLAN

DATE: AUGUST 15, 2024



SPECIAL NOTES:

1. PRIOR TO ANY ELECTRICAL ROUGH-IN AT KITCHEN, ELECTRICAL CONTRACTOR SHALL REVIEW KITCHEN EQUIPMENT SUPPLIER'S ROUGH-IN DRAWINGS, TO CONFIRM ALL ELECTRICAL REQUIREMENTS FOR KITCHEN EQUIPMENT.
2. ALL ROUGH-IN HEIGHTS SHALL BE AS DIRECTED BY KITCHEN EQUIPMENT SUPPLIER/INSTALLER. HEIGHT MAY NOT BE SHOWN ON ELECTRICAL PLANS. REFER TO DRAWINGS FOR HEIGHTS AND DIMENSIONED LOCATIONS.
3. EXISTING INTERIOR AND EXTERIOR RECEPTACLES SHALL REMAIN UNLESS NOTED OTHERWISE.
4. REMOVE ALL CONDUIT AND CONDUCTORS ASSOCIATED WITH DEMOLISHED KITCHEN EQUIPMENT. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS.

ALL EXISTING WALL MOUNTED RECEPTACLES, DATA DEVICES, ETC. SHALL REMAIN UNCHANGED IN THIS AREA UNLESS NOTED OTHERWISE.

ELECTRIC HEATER SCHEDULE										
MARK	MANUFACTURER	MODEL #	MOUNTING	FINISH	CFM	HEATING (WATTS)	VOLTAGE/ PHASE	MCA	MOCP	NOTES
EH1	INFRA TECH	CL3024SS	SUSPENDED	ARCH	-	3000	240V1	12.5	20	1
EH2	INFRA TECH	CL3024SS	SUSPENDED	ARCH	-	3000	240V1	12.5	20	1
EH3	INFRA TECH	CL3024SS	SUSPENDED	ARCH	-	3000	240V1	12.5	20	1
NOTES: 1. PROVIDE FACTORY MOUNTED DISCONNECTING MEANS.										

KEYNOTES:

1. ELECTRIC HEATER. COORDINATE MOUNTING HEIGHT WITH OWNER.
2. POWER CONNECTION FOR ELECTRIC HEATER. COORDINATE INSTALLATION HEIGHT WITH OWNER.
3. CIRCUIT TO NEW OR UNUSED 20-AMP, 2-POLE HACR BREAKER IN EXISTING PANELBOARD.
4. PROVIDE JUNCTION BOX FOR OUTDOOR HEATER CONTROLS 6" ABOVE SLIDING GLASS DOOR. COORDINATE ROUGH-IN AND WIRING REQUIREMENTS WITH OWNER.
5. PROVIDE WEATHER PROOF JUNCTION BOX AND TOGGLE SWITCH LOCATED ON SIGN IN CONCEALED LOCATION FOR EXTERIOR SIGNAGE PER NEC. COORDINATE EXACT LOCATION OF JUNCTION BOX WITH THE SIGNAGE PROVIDER PRIOR TO INSTALLATION. CONTRACTOR SHALL PULL ALL WIRING TO THE JUNCTION BOXES AND MAKE FINAL CONNECTIONS. COORDINATE ALL REQUIREMENTS WITH THE SIGNAGE PROVIDER.
6. CIRCUIT TO CORRESPONDING LIGHT SWITCH IN SERVICE 115. REFER TO 1/E1.1 FOR LOCATIONS OF LIGHT SWITCHES.
7. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP BREAKER IN EXISTING PANELBOARD.
8. RECEPTACLE FOR ESPRESSO MACHINE. PROVIDE CORD AND PLUG CONNECTION.
9. CIRCUIT TO NEW OR UNUSED EXISTING 50-AMP, 2-POLE GFCI BREAKER IN EXISTING PANELBOARD.
10. POWER CONNECTION FOR AIR CURTAIN. COORDINATE ROUGH-IN, WIRING REQUIREMENTS, AND MOUNTING HEIGHT WITH OWNER.
11. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP HACR BREAKER IN EXISTING PANELBOARD.
12. POWER CONNECTION FOR EXTERIOR SPEAKER. COORDINATE LOCATION AND POWER REQUIREMENTS WITH EQUIPMENT PROVIDER.
13. PROVIDE RECEPTACLE AND DATA OUTLET FOR TV. COORDINATE/VERIFY EXACT LOCATION, MOUNTING HEIGHT, AND REQUIREMENTS OF TELEVISION AND RECEPTACLE WITH OWNER PRIOR TO ROUGH-IN.
14. CIRCUIT TO NEAREST RECEPTACLE CIRCUIT IN THIS AREA. FIELD VERIFY EXISTING LOCATION AND REQUIREMENTS.
15. RECEPTACLE FOR IPAD. COORDINATE INSTALLATION HEIGHT AND LOCATION WITH OWNER.
16. COORDINATE LOCATION AND RECEPTACLE TYPE WITH EQUIPMENT PROVIDER.
17. RECEPTACLE FOR EXTERIOR FAN. COORDINATE INSTALLATION HEIGHT AND LOCATION WITH OWNER.
18. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP, 2-POLE GFCI BREAKER IN EXISTING PANELBOARD.
19. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP, GFCI BREAKER IN EXISTING PANELBOARD.
20. EXISTING 800-AMP, 120/208-VOLT, 3PHASE ELECTRICAL EQUIPMENT AND PANELBOARDS SHALL REMAIN.
21. COORDINATE RECEPTACLE LOCATION WITH OWNER.

CONDUIT & CONDUCTOR SCHEDULE:

1. (2) #8 AND (1) #10 GROUND IN 0.75" CONDUIT



ENGINEER OF RECORD:
NAME: RYAN JONES
LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA
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E2.1
POWER PLAN

DATE: AUGUST 15, 2024



REGULAR / A-FRAME 24'-0" WIDE CARPORT STYLE BUILDINGS

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2012, OSHA, AISC 360, AISI 100, ASCE 7-10, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SDS (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE T52 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

PREVAILING CODE:	AFPC 2012 (IBC 2012)
USE GROUP:	U (CARPORTS, BARNS)
RISK CATEGORY:	I
1. DEAD LOAD (D)	D = 4 PSF
2. ROOF LIVE/SNOW LOAD (Lr)	Lr = 20 - 61 PSF (AS PER SNOW LOAD SEE TABLE 4)
3. SNOW LOAD (S)	
GROUND SNOW LOAD	P _g = 20 - 90 PSF
IMPORTANCE FACTOR	I _s = 0.8
THERMAL FACTOR	C _t = 1.2
EXPOSURE FACTOR	C _e = 1.0
ROOF SLOPE FACTOR	C _s = 1.0
4. WIND LOAD (W)	
BASIC WIND SPEED	V _{ULT} = 105 - 180 MPH
EXPOSURE	C
5. SEISMIC LOAD (E)	
DESIGN CATEGORY	D
IMPORTANCE FACTOR	I _e = 1.00

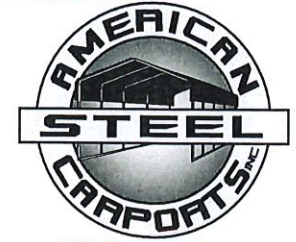
LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

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MANUFACTURED BY:



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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO DATE OF EXPIRATION.

SEAL:



CUSTOMER INFORMATION

OWNER:
ADDRESS:

DESIGN LOADS

GROUND SNOW:

ROOF LIVE LOAD:

BASIC WIND SPEED:

BUILDING INFORMATION

WIDTH:

LENGTH:

HEIGHT:

FRAME TYPE: ☐ A-FRAME
☐ REGULAR

☐ FULL
☐ PARTIAL
☐ OPEN

CERTIFICATION VALIDITY NOTICE

DATE OF PLANS
EXPIRATION: **01-18-2024**

CERTIFICATION ON THESE DRAWINGS IS
VALID FOR ONE YEAR FROM DATE OF ISSUE

STAMP EXPIRY: **12-31-2024**

DATE SIGNED: **01-18-2023**

TABLE 2.1: MEMBER PROPERTIES

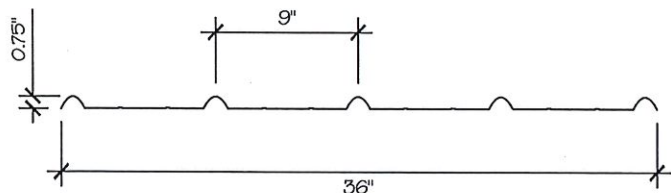
NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" 14GA CHANNEL	1
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.

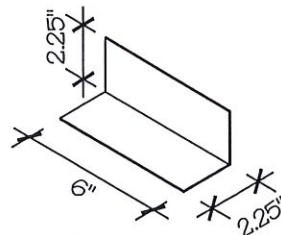


THICKNESS = 29GA

29 GA CORRUGATED SHEATHING

SCALE: NTS

8

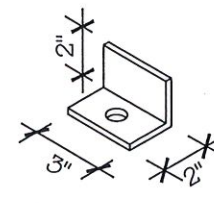


THICKNESS = 14GA

DB BRACKET

SCALE: NTS

9

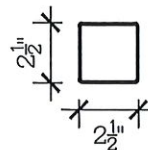


THICKNESS = 3/16"

BASE ANGLE

SCALE: NTS

10

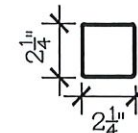


THICKNESS = 14GA

2.5" X 2.5" 14GA TUBE

SCALE: NTS

1

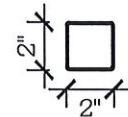


THICKNESS = 12GA

2.25" X 2.25" 12GA TUBE

SCALE: NTS

2

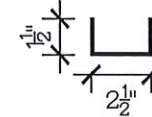


THICKNESS = 14GA

2" X 2" 14GA TUBE

SCALE: NTS

3

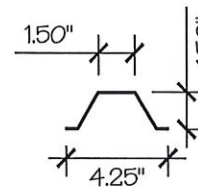


THICKNESS = 14GA

2.5" X 1.5" 14GA CHANNEL

SCALE: NTS

4



THICKNESS = 14GA / 18GA

4.25" X 1.5" X 14GA / 18GA

HAT CHANNEL

SCALE: NTS

5

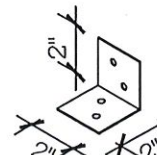


THICKNESS = 14GA

STRAIGHT BRACKET

SCALE: NTS

6



THICKNESS = 14GA

ANGLE BRACKET

SCALE: NTS

7

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SCHEDULES &
MEMBER SECTIONS

SHEET NO.: 2 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

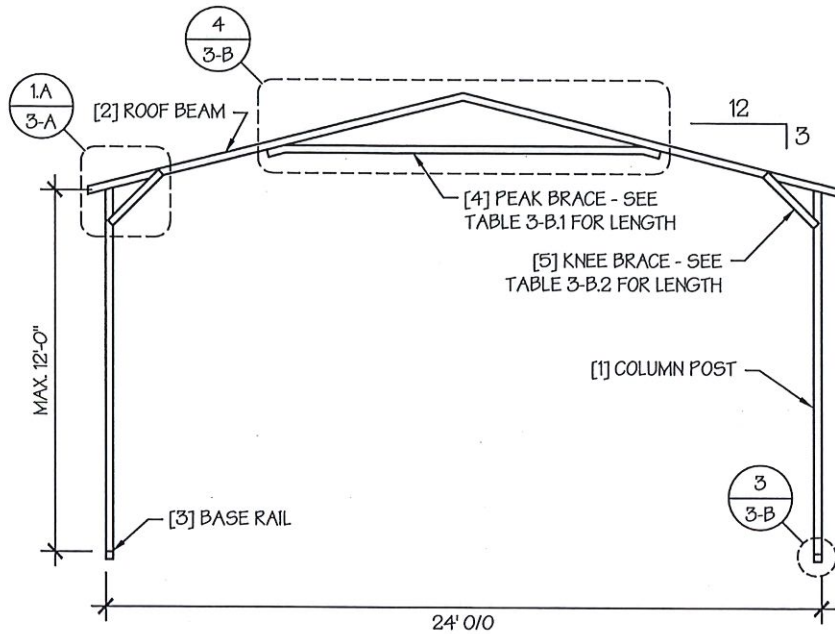
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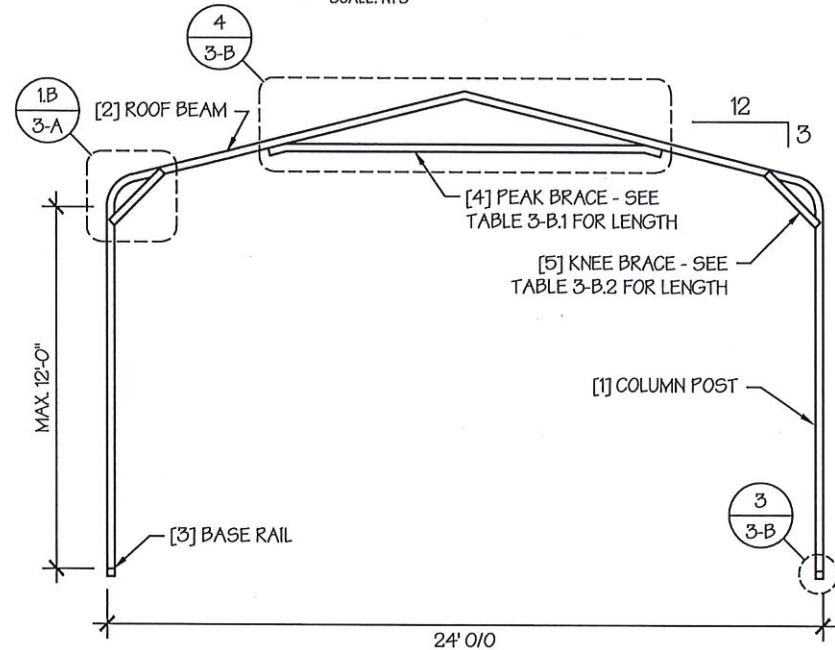


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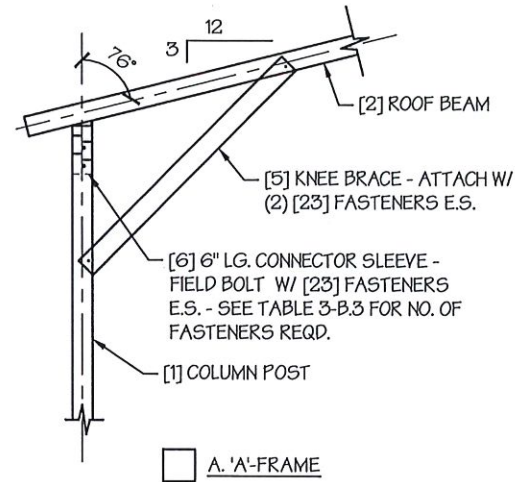
DATE SIGNED: 01-18-2023



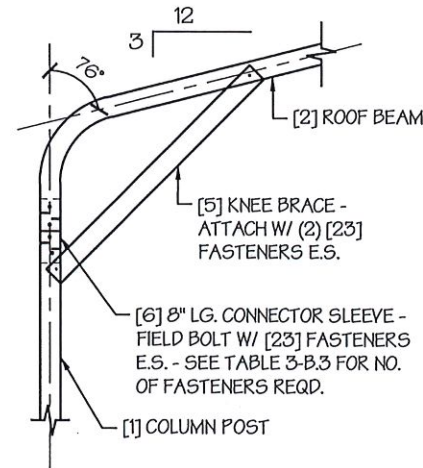
☐ TYP. A-FRAME SECTION
SCALE: NTS



☐ TYP. REGULAR FRAME SECTION
SCALE: NTS



☐ A. 'A'-FRAME



☐ B. REGULAR-FRAME

EAVE DETAIL
SCALE: NTS

1

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FRAME SECTIONS & DETAILS

SHEET NO.: 3-A / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

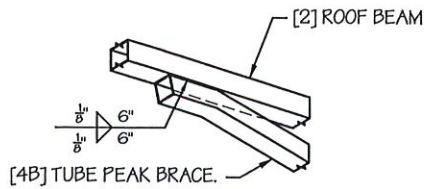
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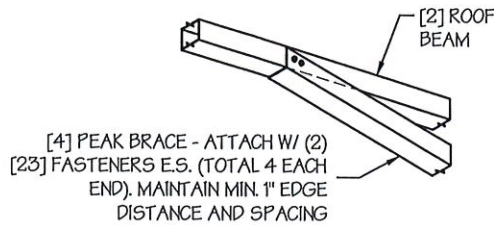


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DATE SIGNED: 01-18-2023

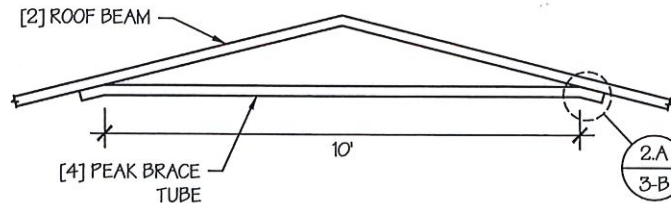


A. PEAK BRACE TUBE

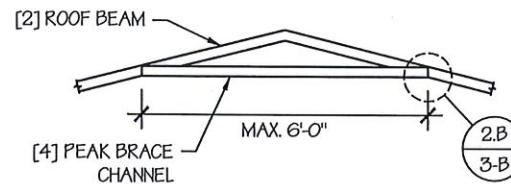


B. PEAK BRACE CHANNEL

PEAK BRACE CONNECTION DETAILS 2
SCALE: NTS

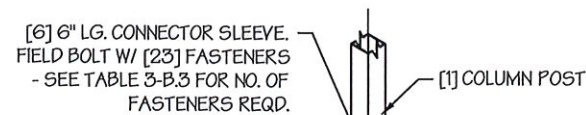


A. WELDED PEAK BRACE



B. CHANNEL PEAK BRACE

PEAK BRACE DETAILS 4
SCALE: NTS



BASE DETAIL 3
SCALE: NTS

TABLE 3-B.1: PEAK BRACE SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED	
	105 TO 130	140 TO 180
□ 30 / 20	6'	10'
□ 35 / 25 TO 90 / 61	10'	10'

TABLE 3-B.2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
□ UP TO 8'	24"
□ 9' TO 12'	36"

TABLE 3-B.3 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
□ 105 TO 125	4
□ 130 TO 155	6
□ 160 TO 180	8

NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING.
MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND
AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

DRAWN BY: A.W. DATE: 1/22/21

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TABLE 4: FRAME SPACING CHART / SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ ENCLOSED BUILDINGS							■ OPEN BUILDINGS						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	□105	□115	□130	□140	□155	□165	□180	□105	□115	□130	□140	□155	□165	□180
□ 30 / 20	60	60	54/60	54	42	42	36	48	48	48	42	36	30	24
□ 40 / 27	48/60	48/60	42/60	42/54	42	42	36	42	42	42	42	36	30	24
□ 50 / 34	40/48	40/48	40/48	40/48	40/42	40/42	36	30	30	30	30	30	30	24
□ 60 / 41	36	36	36	36	36	36	36	30	30	30	30	30	30	24
□ 70 / 47	30	30	30	30	30	30	30	24	24	24	24	24	24	24
□ 80 / 54	24	24	24	24	24	24	24	24	24	18	18	18	18	18
□ 90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---
□ 30 / 20	60	60	54/60	54	48	42/48	42	54	54	48/54	42/54	36/48	36	30
□ 40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	42	42	42	42	36/42	36	30
□ 50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	36	36	36	36	36	36	30
□ 60 / 41	36	36	36	36	36	36	36	30	30	30	30	30	30	30
□ 70 / 47	30	30	30	30	30	30	30	24	24	24	24	24	24	24
□ 80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	24
□ 90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---
□ 30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/42	36
□ 40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48	48	42/48	42/48	36/48	36/42	36
□ 50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	36/42	36	36
□ 60 / 41	36	36	36	36	36	36	36	36	36	36	36	36	36	30
□ 70 / 47	30	30	30	30	30	30	30	30	30	30	30	30	30	30
□ 80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	24
□ 90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---

NOTES:

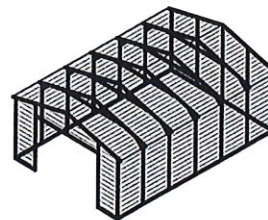
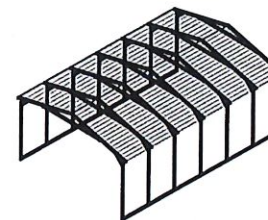
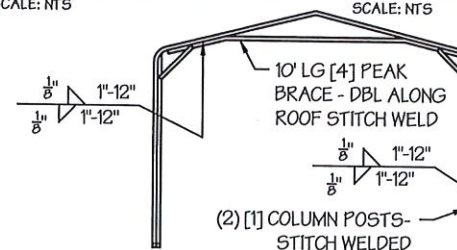
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

TYP. ENCLOSED BUILDING
SCALE: NTSTYP. OPEN BUILDING
SCALE: NTSTYP. OPEN END WALL ON 3
SIDE ENCLOSED BUILDING
SCALE: NTS

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SPACING SCHEDULES
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	14GA. HAT CHANNEL PURLIN						
	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
30 / 20	54	48	42	36	30	24	24
40 / 27	42	42	42	36	30	24	24
50 / 34	40	40	40	36	30	24	24
60 / 41	36	36	36	36	30	24	24
70 / 47	32	32	32	32	30	24	24
80 / 54	30	30	30	30	30	24	24
90 / 61	24	24	24	24	24	24	24
30 / 20	54	48	42	42	36	30	30
40 / 27	42	42	42	42	36	30	30
50 / 34	40	40	40	40	36	30	30
60 / 41	36	36	36	36	36	30	30
70 / 47	32	32	32	32	32	30	30
80 / 54	32	32	32	32	32	30	30
90 / 61	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30
40 / 27	42	42	42	42	36	36	30
50 / 34	40	40	40	40	36	36	30
60 / 41	36	36	36	36	36	36	30
70 / 47	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30
40 / 27	42	42	42	42	36	36	30
50 / 34	40	40	40	40	36	36	30
60 / 41	36	36	36	36	36	36	30
70 / 47	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30
40 / 27	42	42	42	42	36	36	30
50 / 34	40	40	40	40	36	36	30
60 / 41	36	36	36	36	36	36	30
70 / 47	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30

NOTES:

- PURLIN SPACING UNITS ARE IN INCHES.
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:

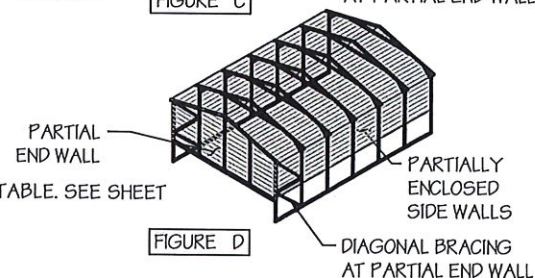
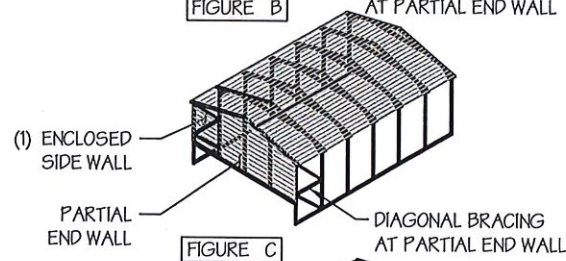
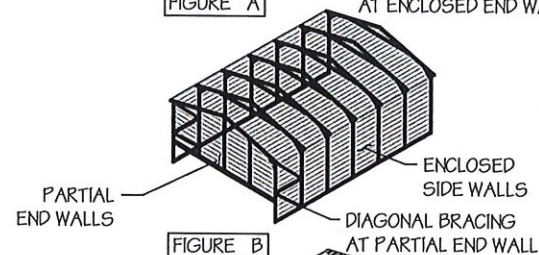
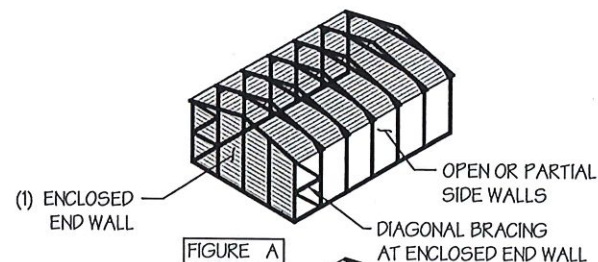
- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

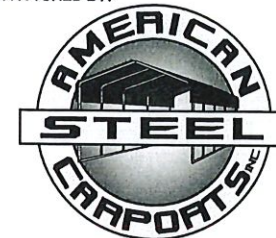
FRAME SPACING	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
5'-0"	60	48	36	30	24	24	18
4'-6"	60	60	48	42	36	30	24
4'-0"	60	60	54	54	42	36	30
3'-6"	60	60	54	54	48	42	42
2'-0" TO 3'-0"	60	60	54	54	48	42	42

NOTES:

- GIRT SPACING UNITS ARE IN INCHES.
- THIS SCHEDULE IS TO BE USED FOR BOTH 14GA
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

PURLIN & GIRT
SPACING SCHEDULES

SHEET NO.: 5 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

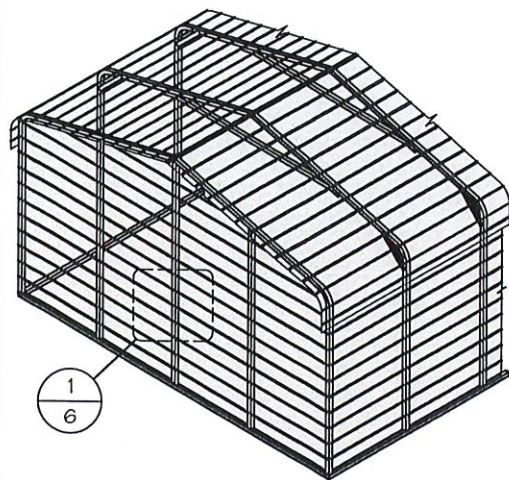
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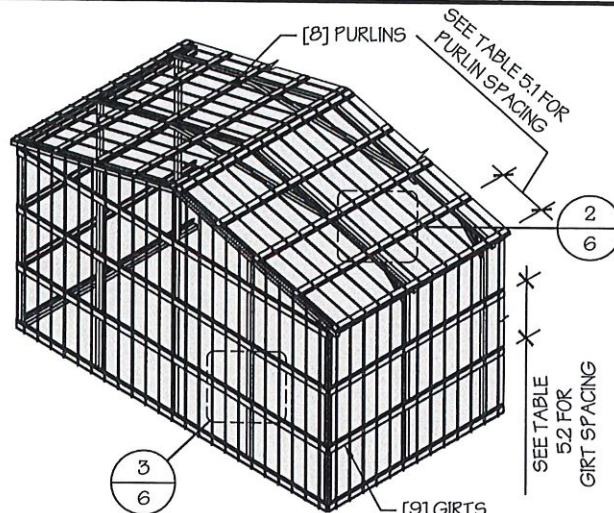


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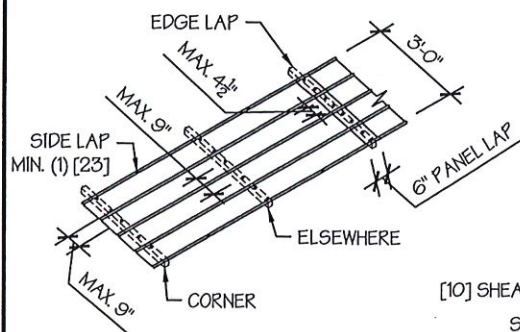
☐ TYP. HORIZONTAL SHEATHING
SCALE: NTS



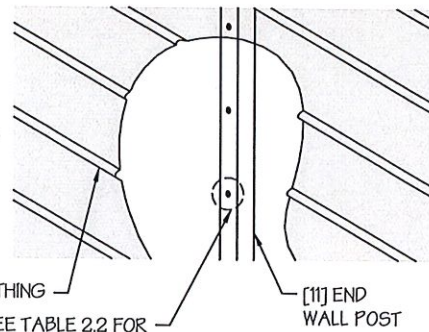
☐ TYP. VERTICAL SHEATHING
SCALE: NTS

GENERAL SHEATHING NOTES:

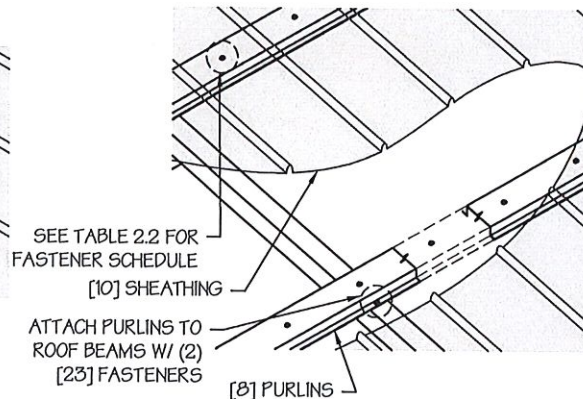
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



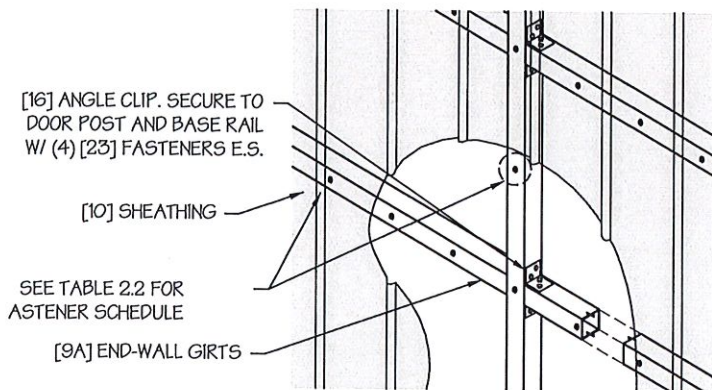
TYP. SHEATHING FASTENER SCHEDULE
SCALE: NTS



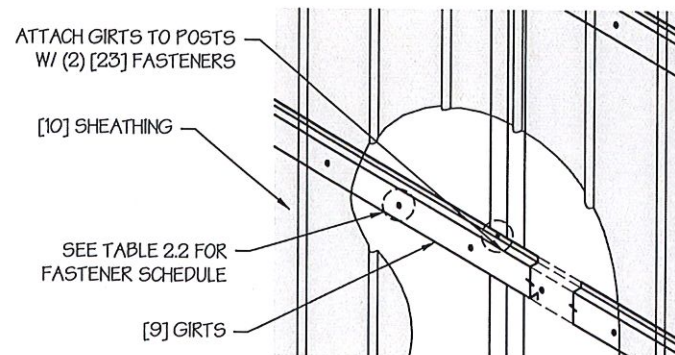
TYP. HORIZONTAL SHEATHING DETAIL
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL
SCALE: NTS



☐ WALL VERTICAL SHEATHING - TUBE DETAIL
SCALE: NTS



☐ WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL
SCALE: NTS

MANUFACTURED BY:



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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS
LOCATION: STATE OF ARKANSAS
PROJECT NO.: 033-23-0101
SHEET TITLE:

SHEATHING OPTIONS & DETAILS

SHEET NO.: 6 / 11
DRAWN BY: A.W. DATE: 1/22/21
CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

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- DRAWINGS VALID UP TO DATE OF EXPIRATION.

SEAL:



STAMP EXPIRY: 12-31-2024
DATE SIGNED: 01-18-2023

MANUFACTURED BY:



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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

END WALL FRAMING

SHEET NO.: 8-A / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-18-2023

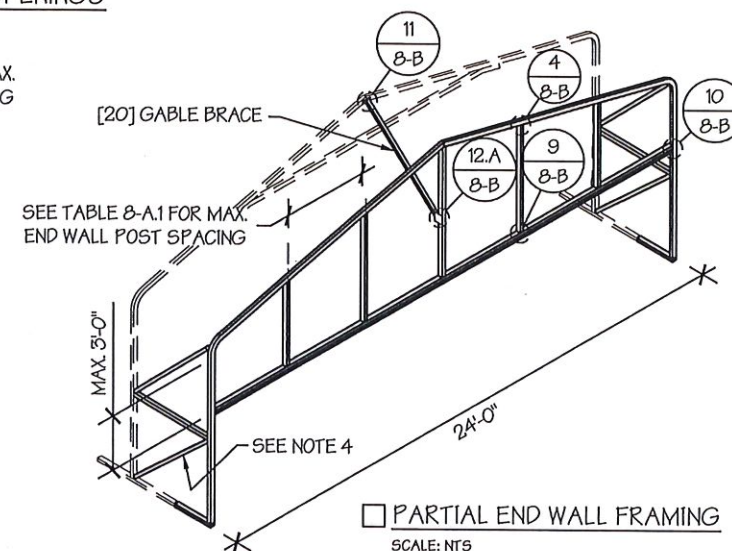
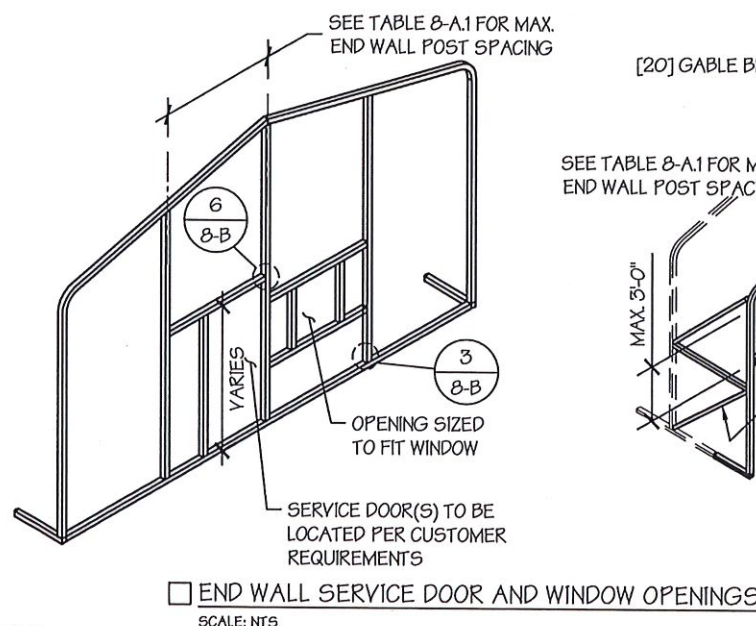
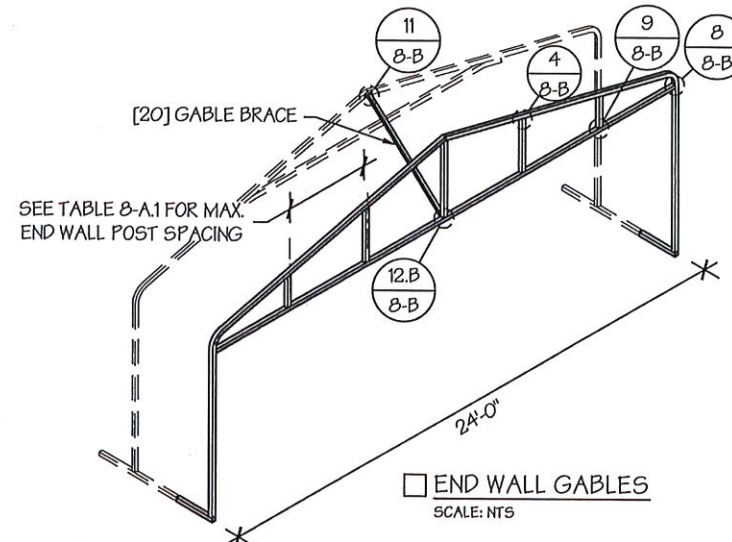
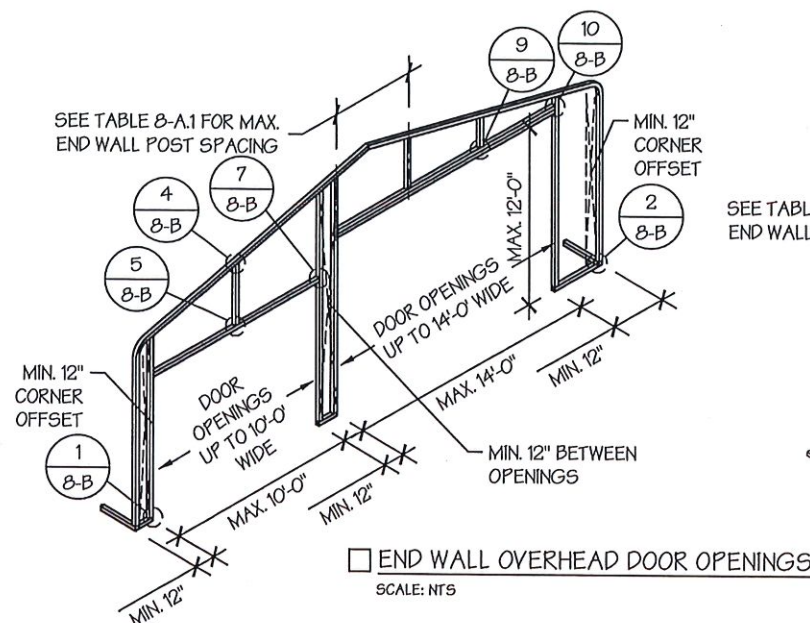
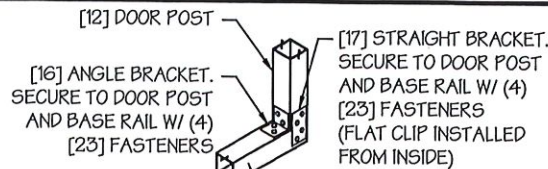


TABLE 8-A.1: END WALL POST SPACING SCHEDULE

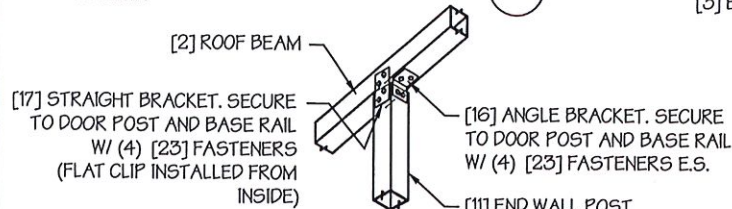
WIND SPEED (MPH)	EAVE HEIGHT		
	UP TO 7'	8' TO 9'	10' TO 12'
105	5'	5'	5'
115	5'	5'	4.5'
130	4.5'	4.5'	4'
140	4.5'	4.5'	3'
155	4'	4'	2.5'
165 - 180	3.5'	3'	2'

END WALL FRAMING NOTES:

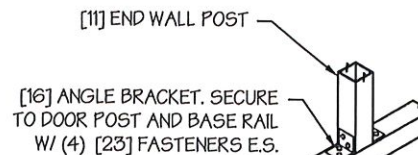
- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
- DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.



DOOR POST BASE RAIL CONN. DETAIL
SCALE: NTS

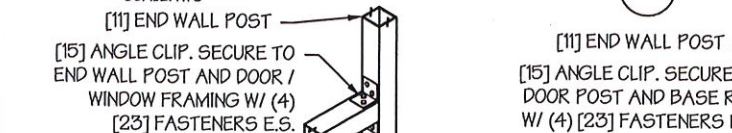


CORNER DETAIL
SCALE: NTS



END WALL POST - BASE RAIL CONN. DETAIL
SCALE: NTS

END WALL POST - ROOF BEAM CONN. DETAIL
SCALE: NTS



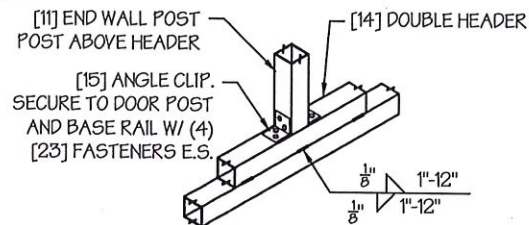
TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL
SCALE: NTS



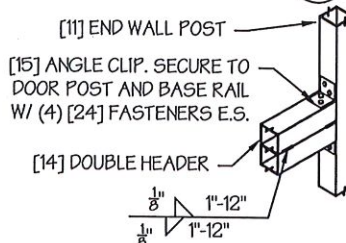
END WALL POST ABOVE HEADER CONN. DETAIL
SCALE: NTS



HEADER - END WALL POST CONN. DETAIL
SCALE: NTS

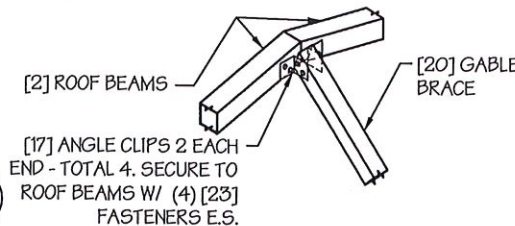


END WALL POST ABOVE DOUBLE HEADER CONN. DETAIL
SCALE: NTS

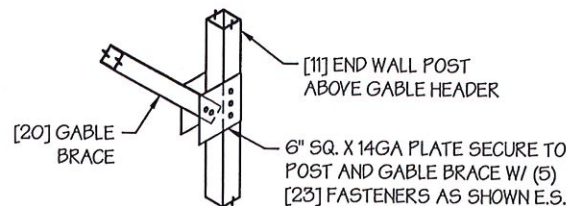


DOUBLE HEADER - END WALL POST CONN. DETAIL
SCALE: NTS

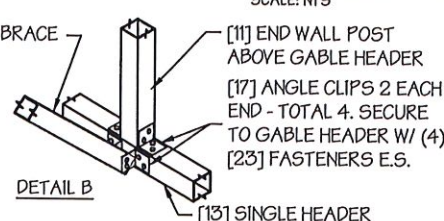
GABLE HEADER - CORNER POST CONN. DETAIL
SCALE: NTS



TYP. GABLE BRACE CONN. DETAIL
SCALE: NTS



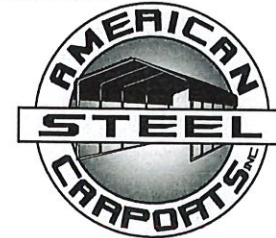
DETAIL A



DETAIL B

GABLE BRACE - END WALL CONN. DETAIL
SCALE: NTS

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www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

END WALL FRAMING DETAILS

SHEET NO.: 8-B / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

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SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-18-2023

CONCRETE SLAB FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A.2.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS $5\frac{1}{2}$ " FOR 14GA MATERIAL AND $5\frac{3}{4}$ " FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.

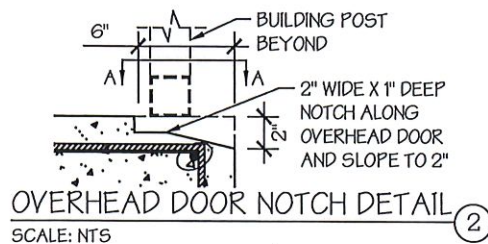
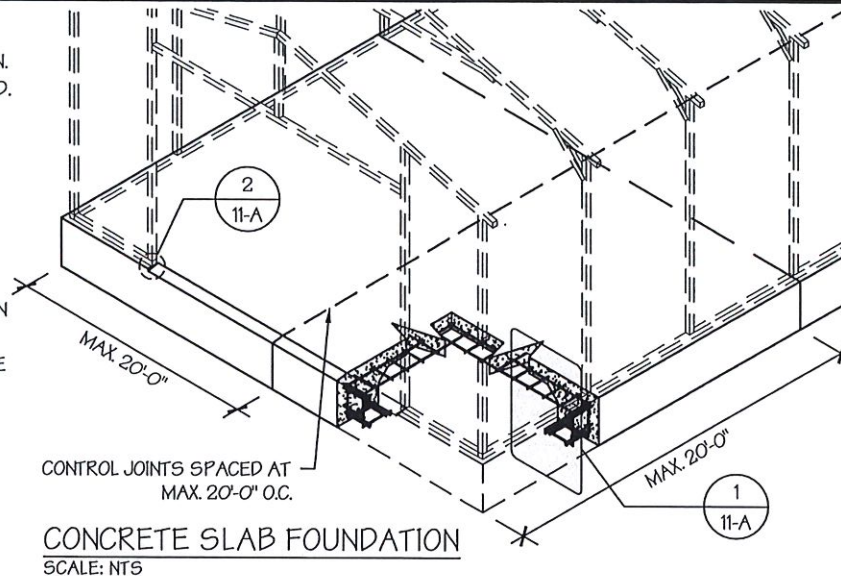


TABLE 11-A.2: CONCRETE SLAB ANCHOR SCHEDULE

ENCLOSURE	WIND SPEED (MPH)	ANCHOR SIZE/NUMBER
ENCLOSED	□ 105 TO 135	(1) $\frac{1}{2}$ " \varnothing X 7"
	□ 136 TO 180	(2) $\frac{1}{2}$ " \varnothing X 7"
OPEN	□ 105 TO 135	(1) $\frac{1}{2}$ " \varnothing X 7"
	□ 136 TO 180	(2) $\frac{1}{2}$ " \varnothing X 7"

NOTES:

- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE $2\frac{7}{8}$ ".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.

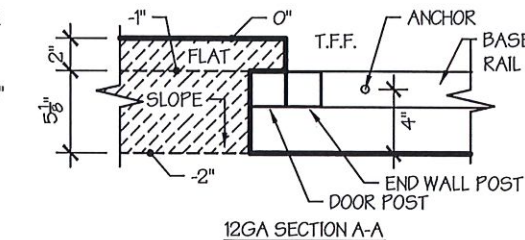
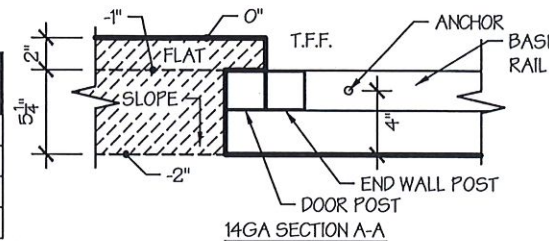
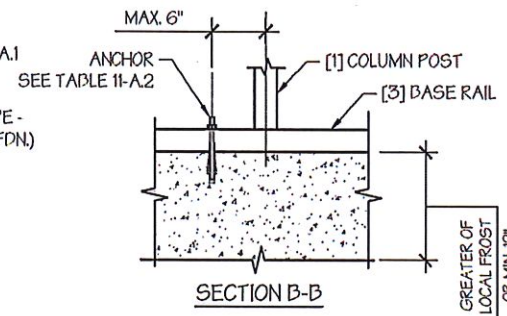
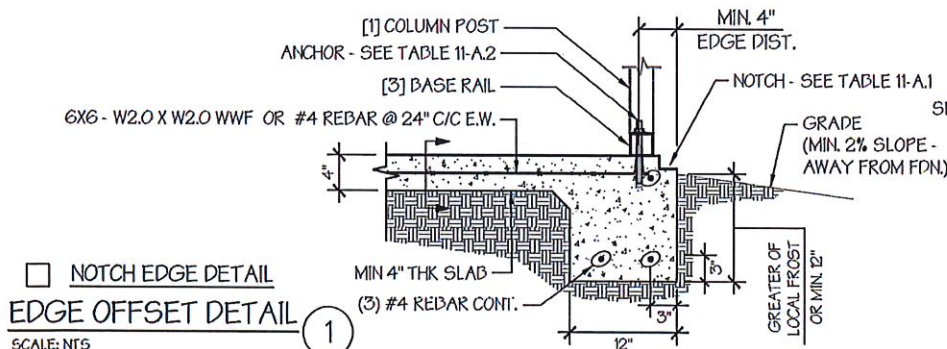


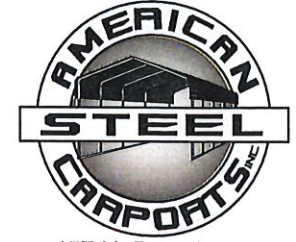
TABLE 11-A.1: NOTCH WIDTH

HORIZONTAL/OPEN	VERTICAL
□ 14GA	□ 12GA
□ 14GA	□ 12GA
2 3/4"	2 7/8"
1 3/4"	1 7/8"

NOTE: DEPTH IS TO BE 1 1/2"



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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FOUNDATION OPTION 1:
CONCRETE SLAB

SHEET NO.: 11-A / 11

DRAWN BY: AW DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-18-2023



REGULAR / A-FRAME 24'-0" WIDE CARPORT STYLE BUILDINGS

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2012, OSHA, AISC 360, AISI 100, ASCE 7-10, AWS D1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SDS (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE T52 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

PREVAILING CODE:	AFPC 2012 (IBC 2012)
USE GROUP:	U (CARPORTS, BARN)
RISK CATEGORY:	I
1. DEAD LOAD (D)	D = 4 PSF
2. ROOF LIVE/SNOW LOAD (Lr)	Lr = 20 - 61 PSF (AS PER SNOW LOAD SEE TABLE 4)
3. SNOW LOAD (S)	
GROUND SNOW LOAD	P _g = 20 - 90 PSF
IMPORTANCE FACTOR	I _s = 0.8
THERMAL FACTOR	C _t = 1.2
EXPOSURE FACTOR	C _e = 1.0
ROOF SLOPE FACTOR	C _s = 1.0
4. WIND LOAD (W)	
BASIC WIND SPEED	V _{ULT} = 105 - 180 MPH
EXPOSURE	C
5. SEISMIC LOAD (E)	
DESIGN CATEGORY	D
IMPORTANCE FACTOR	I _e = 1.00

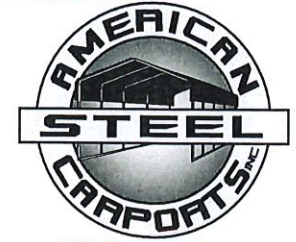
LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

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SCHEDULES & MEMBER -		
SECTIONS	-----	2
FRAME SECTIONS & DETAILS	-----	3-A, 3-B
SPACING SCHEDULES -		
& ENCLOSURE NOTES	-----	4
PURLIN & GIRT SCHEDULES	-----	5
SHEATHING OPTIONS	-----	6
SIDE WALL FRAMING		
& OPENINGS	-----	7-A, 7-B
END WALL FRAMING		
& OPENINGS	-----	8-A, 8-B
CORNER BRACING DETAILS	-----	9
OPTIONAL LEAN-TO ADDITION	-----	10
FOUNDATION OPTIONS	-----	11-A TO 11-D

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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SEAL:



CUSTOMER INFORMATION

OWNER:
ADDRESS:

DESIGN LOADS

GROUND SNOW:

ROOF LIVE LOAD:

BASIC WIND SPEED:

BUILDING INFORMATION

WIDTH:

LENGTH:

HEIGHT:

FRAME TYPE: ☐ A-FRAME
☐ REGULAR

☐ FULL
☐ PARTIAL
☐ OPEN

CERTIFICATION VALIDITY NOTICE

DATE OF PLANS
EXPIRATION: **01-18-2024**

CERTIFICATION ON THESE DRAWINGS IS
VALID FOR ONE YEAR FROM DATE OF ISSUE

STAMP EXPIRY: **12-31-2024**

DATE SIGNED: **01-18-2023**

TABLE 2.1: MEMBER PROPERTIES

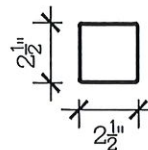
NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" 14GA CHANNEL	1
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.

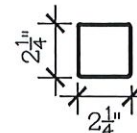


THICKNESS = 14GA

2.5" X 2.5" 14GA TUBE

SCALE: NTS

1

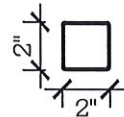


THICKNESS = 12GA

2.25" X 2.25" 12GA TUBE

SCALE: NTS

2

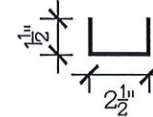


THICKNESS = 14GA

2" X 2" 14GA TUBE

SCALE: NTS

3

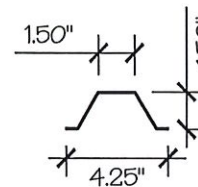


THICKNESS = 14GA

2.5" X 1.5" 14GA CHANNEL

SCALE: NTS

4

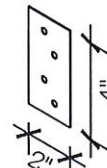


THICKNESS = 14GA / 18GA

4.25" X 1.5" X 14GA / 18GA HAT CHANNEL

SCALE: NTS

5

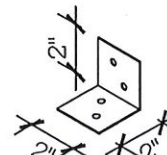


THICKNESS = 14GA

STRAIGHT BRACKET

SCALE: NTS

6

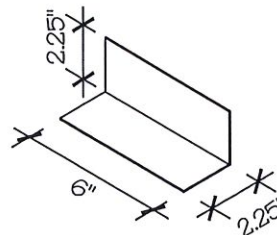


THICKNESS = 14GA

ANGLE BRACKET

SCALE: NTS

7

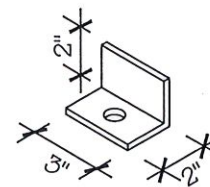


THICKNESS = 14GA

DB BRACKET

SCALE: NTS

9

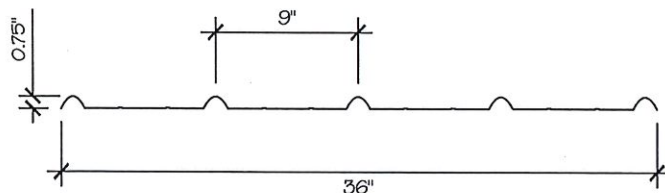


THICKNESS = 3/16"

BASE ANGLE

SCALE: NTS

10



THICKNESS = 29GA

29 GA CORRUGATED SHEATHING

SCALE: NTS

8

MANUFACTURED BY:



457 N. Broadway,
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ENGINEERED BY:



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6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SCHEDULES &
MEMBER SECTIONS

SHEET NO.: 2 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

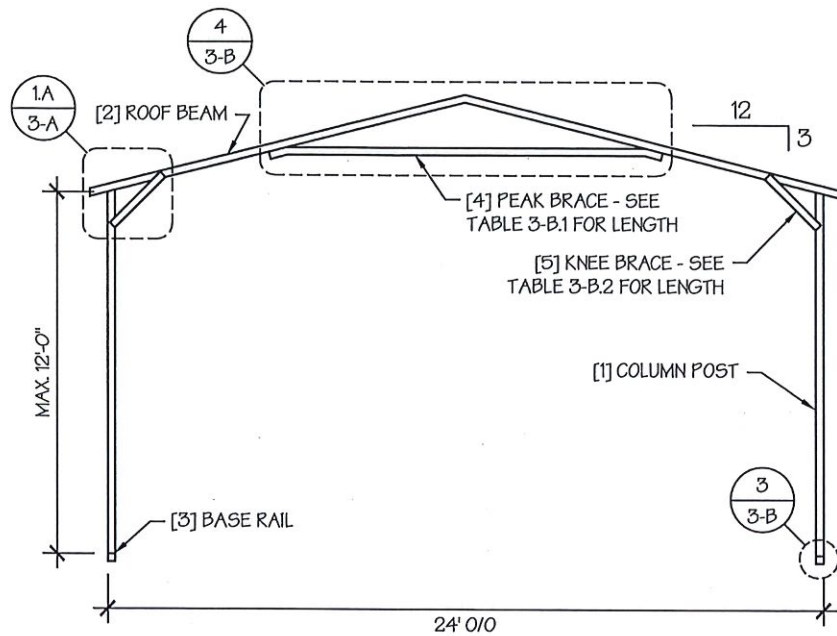
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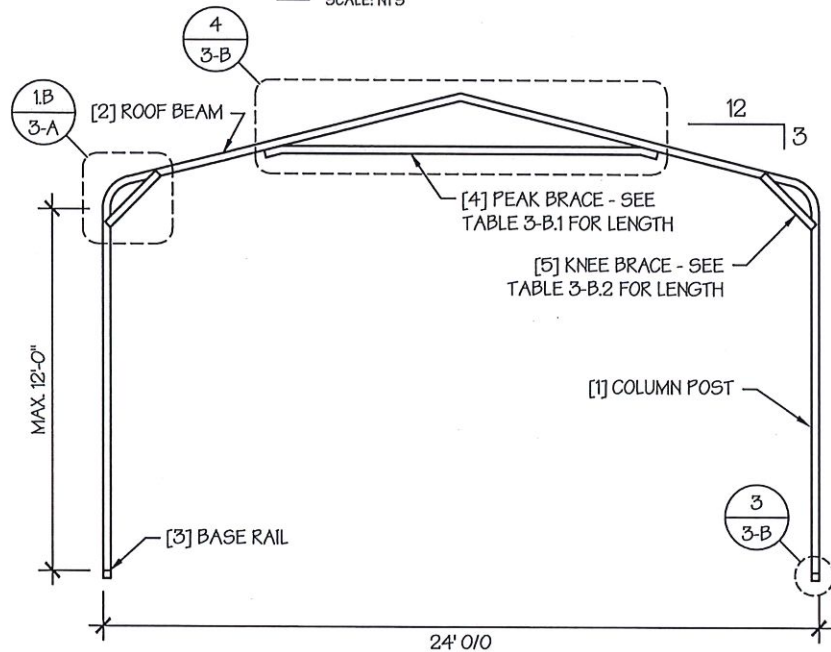


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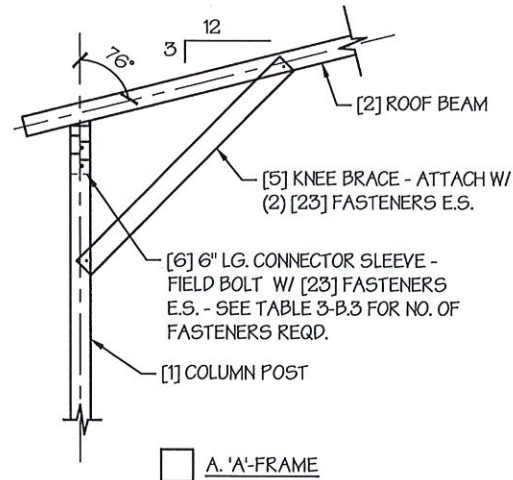
DATE SIGNED: 01-18-2023



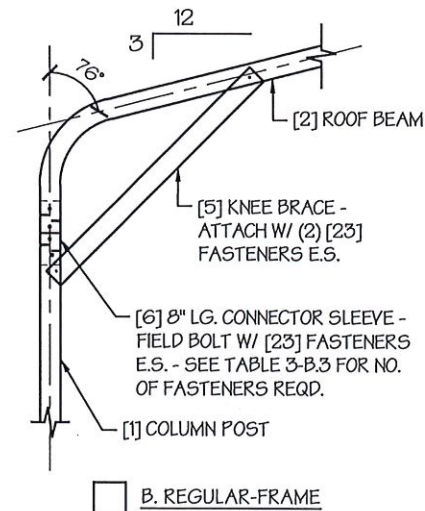
☐ TYP. A-FRAME SECTION
SCALE: NTS



☐ TYP. REGULAR FRAME SECTION
SCALE: NTS



☐ A. 'A'-FRAME



☐ B. REGULAR-FRAME

EAVE DETAIL
SCALE: NTS

1

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FRAME SECTIONS & DETAILS

SHEET NO.: 3-A / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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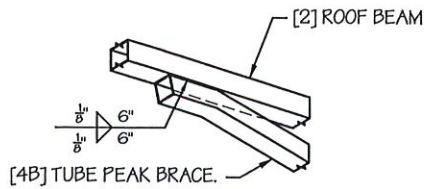
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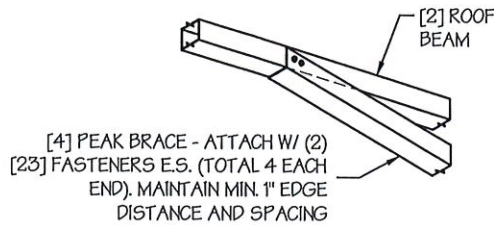


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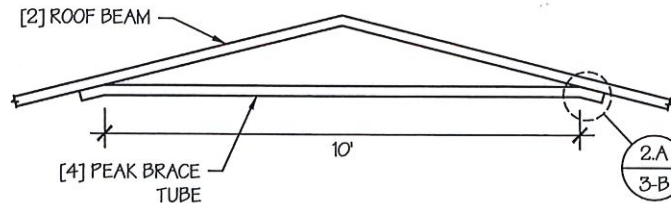


A. PEAK BRACE TUBE

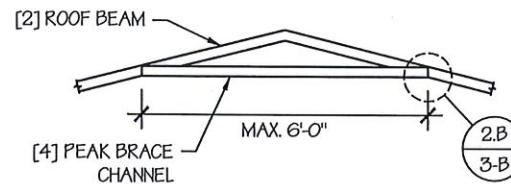


B. PEAK BRACE CHANNEL

PEAK BRACE CONNECTION DETAILS 2
SCALE: NTS



A. WELDED PEAK BRACE



B. CHANNEL PEAK BRACE

PEAK BRACE DETAILS 4
SCALE: NTS

TABLE 3-B.1: PEAK BRACE SCHEDULE

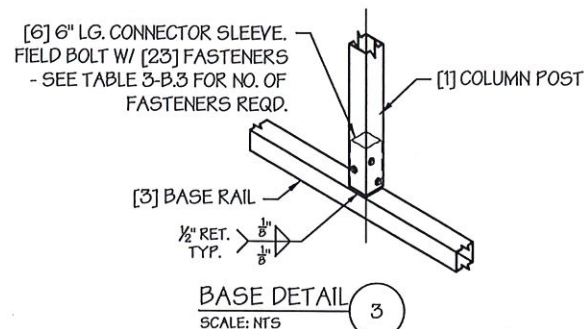
GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED	
	105 TO 130	140 TO 180
□ 30 / 20	6'	10'
□ 35 / 25 TO 90 / 61	10'	10'

TABLE 3-B.2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
□ UP TO 8'	24"
□ 9' TO 12'	36"

TABLE 3-B.3 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
□ 105 TO 125	4
□ 130 TO 155	6
□ 160 TO 180	8



BASE DETAIL 3
SCALE: NTS

NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING.
MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND
AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

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SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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TABLE 4: FRAME SPACING CHART / SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ ENCLOSED BUILDINGS							■ OPEN BUILDINGS						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	□105	□115	□130	□140	□155	□165	□180	□105	□115	□130	□140	□155	□165	□180
□ 30 / 20	60	60	54/60	54	42	42	36	48	48	48	42	36	30	24
□ 40 / 27	48/60	48/60	42/60	42/54	42	42	36	42	42	42	42	36	30	24
□ 50 / 34	40/48	40/48	40/48	40/48	40/42	40/42	36	30	30	30	30	30	30	24
□ 60 / 41	36	36	36	36	36	36	36	30	30	30	30	30	30	24
□ 70 / 47	30	30	30	30	30	30	30	24	24	24	24	24	24	24
□ 80 / 54	24	24	24	24	24	24	24	24	24	18	18	18	18	18
□ 90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---
□ 30 / 20	60	60	54/60	54	48	42/48	42	54	54	48/54	42/54	36/48	36	30
□ 40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	42	42	42	42	36/42	36	30
□ 50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	36	36	36	36	36	36	30
□ 60 / 41	36	36	36	36	36	36	36	30	30	30	30	30	30	30
□ 70 / 47	30	30	30	30	30	30	30	24	24	24	24	24	24	24
□ 80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	24
□ 90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---
□ 30 / 20	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/42	36
□ 40 / 27	48/60	48/60	42/60	42/54	42/48	42/48	42	48	48	42/48	42/48	36/48	36/42	36
□ 50 / 34	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	36/42	36	36
□ 60 / 41	36	36	36	36	36	36	36	36	36	36	36	36	36	30
□ 70 / 47	30	30	30	30	30	30	30	30	30	30	30	30	30	30
□ 80 / 54	24	24	24	24	24	24	24	24	24	24	24	24	24	24
□ 90 / 61	---	---	---	---	---	---	---	---	---	---	---	---	---	---

NOTES:

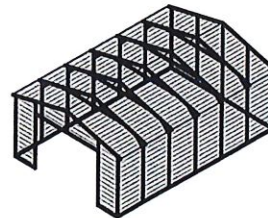
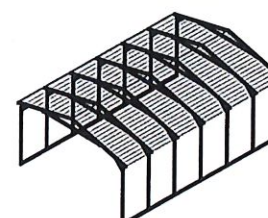
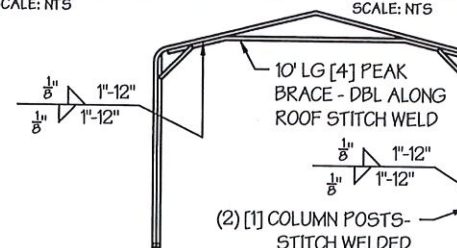
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

TYP. ENCLOSED BUILDING
SCALE: NTSTYP. OPEN BUILDING
SCALE: NTSTYP. OPEN END WALL ON 3
SIDE ENCLOSED BUILDING
SCALE: NTS

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SPACING SCHEDULES
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

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TABLE 5.1: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	14GA. HAT CHANNEL PURLIN						
	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
30 / 20	54	48	42	36	30	24	24
40 / 27	42	42	42	36	30	24	24
50 / 34	40	40	40	36	30	24	24
60 / 41	36	36	36	36	30	24	24
70 / 47	32	32	32	32	30	24	24
80 / 54	30	30	30	30	30	24	24
90 / 61	24	24	24	24	24	24	24
30 / 20	54	48	42	42	36	30	30
40 / 27	42	42	42	42	36	30	30
50 / 34	40	40	40	40	36	30	30
60 / 41	36	36	36	36	36	30	30
70 / 47	32	32	32	32	32	30	30
80 / 54	32	32	32	32	32	30	30
90 / 61	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30
40 / 27	42	42	42	42	36	36	30
50 / 34	40	40	40	40	36	36	30
60 / 41	36	36	36	36	36	36	30
70 / 47	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30
40 / 27	42	42	42	42	36	36	30
50 / 34	40	40	40	40	36	36	30
60 / 41	36	36	36	36	36	36	30
70 / 47	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30
30 / 20	54	48	42	42	36	36	30
40 / 27	42	42	42	42	36	36	30
50 / 34	40	40	40	40	36	36	30
60 / 41	36	36	36	36	36	36	30
70 / 47	32	32	32	32	32	32	30
80 / 54	32	32	32	32	32	32	30
90 / 61	30	30	30	30	30	30	30

NOTES:

- PURLIN SPACING UNITS ARE IN INCHES.
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

IRREGULAR BUILDING NOTES:

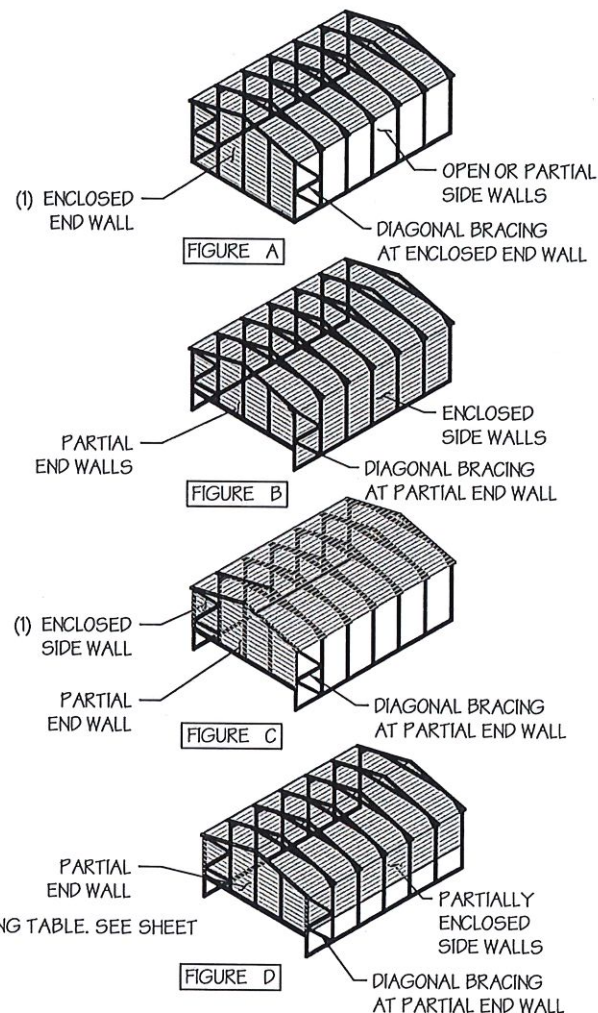
- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

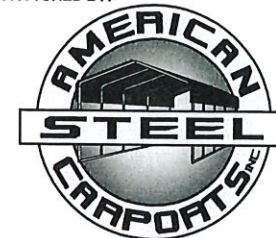
FRAME SPACING	WIND SPEED (MPH)						
	105	115	130	140	155	165	180
5'-0"	60	48	36	30	24	24	18
4'-6"	60	60	48	42	36	30	24
4'-0"	60	60	54	54	42	36	30
3'-6"	60	60	54	54	48	42	42
2'-0" TO 3'-0"	60	60	54	54	48	42	42

NOTES:

- GIRT SPACING UNITS ARE IN INCHES.
- THIS SCHEDULE IS TO BE USED FOR BOTH 14GA
- FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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DRAWING INFORMATION

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LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

PURLIN & GIRT
SPACING SCHEDULES

SHEET NO.: 5 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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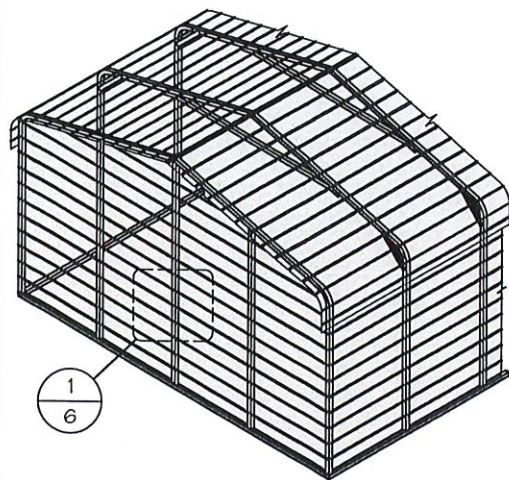
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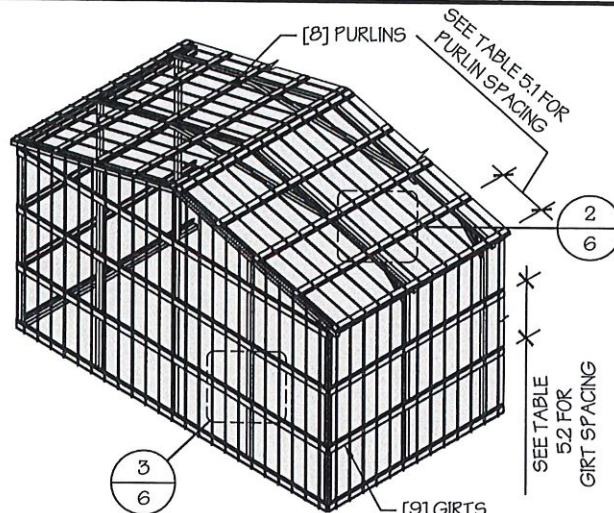


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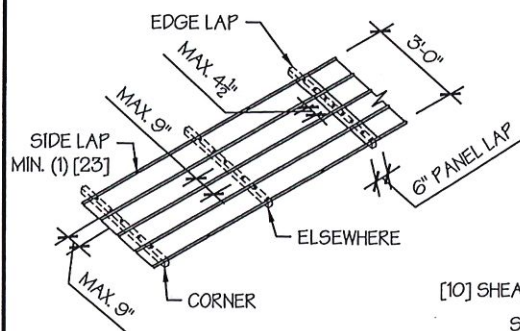
☐ TYP. HORIZONTAL SHEATHING
SCALE: NTS



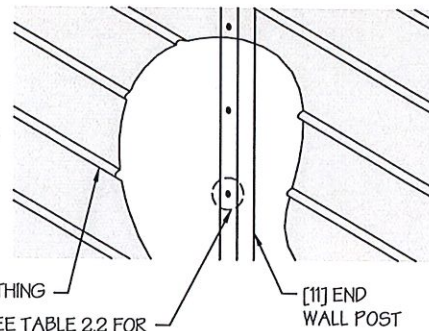
☐ TYP. VERTICAL SHEATHING
SCALE: NTS

GENERAL SHEATHING NOTES:

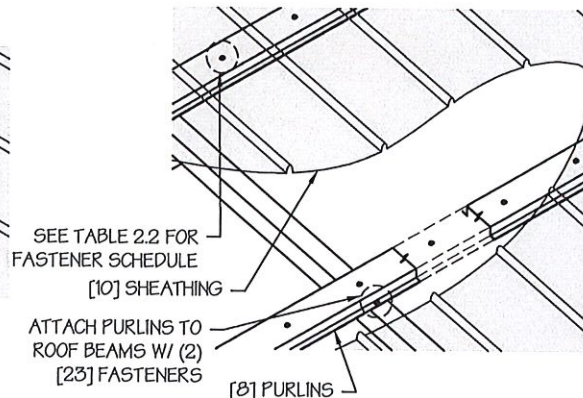
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



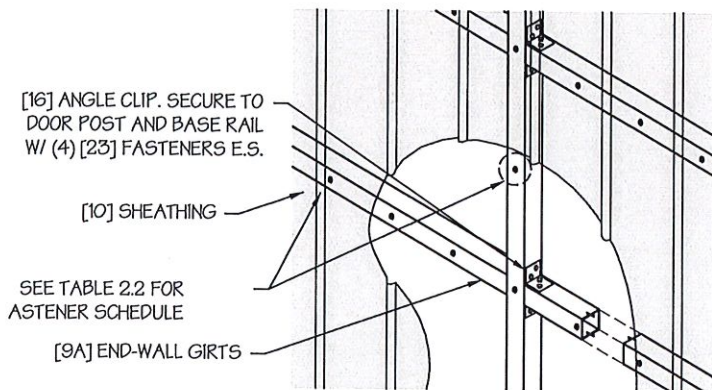
TYP. SHEATHING FASTENER SCHEDULE
SCALE: NTS



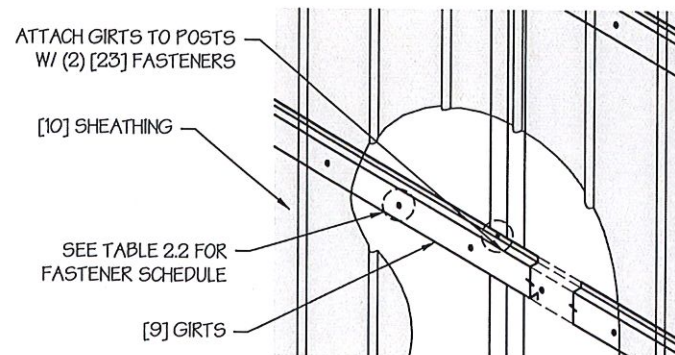
TYP. HORIZONTAL SHEATHING DETAIL
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL
SCALE: NTS



☐ WALL VERTICAL SHEATHING - TUBE DETAIL
SCALE: NTS



☐ WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL
SCALE: NTS

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SHEATHING OPTIONS & DETAILS

SHEET NO.: 6 / 11

DRAWN BY: A.W. DATE: 1/22/21

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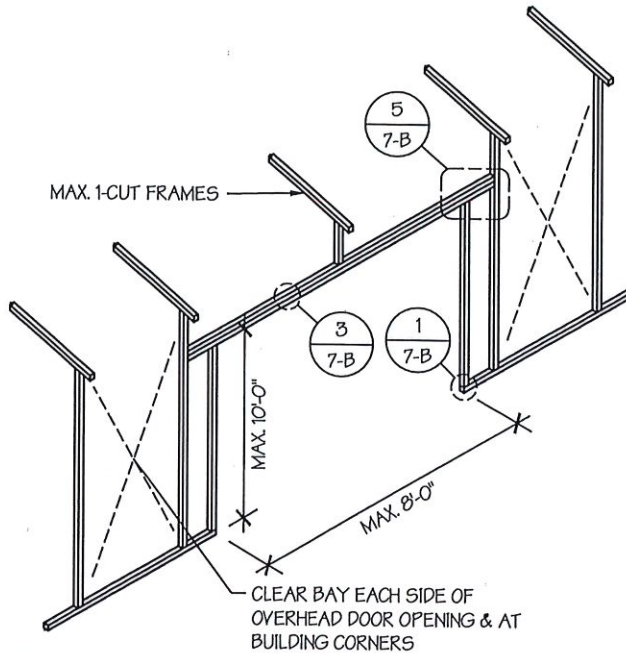
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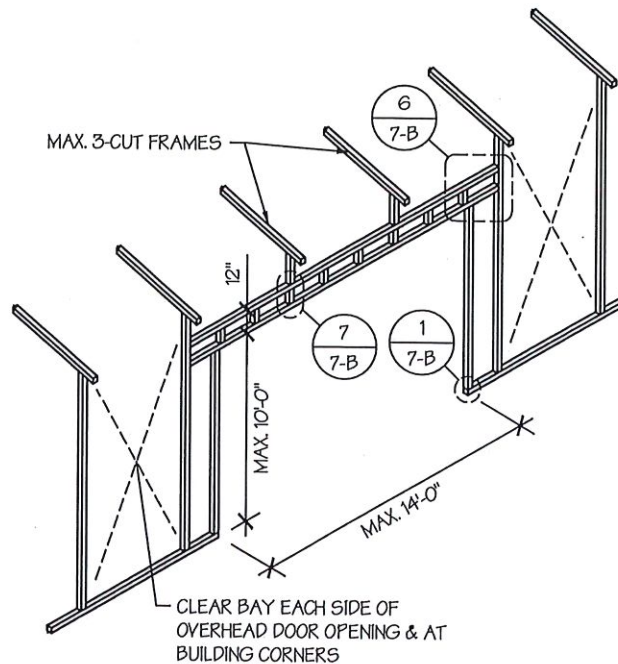
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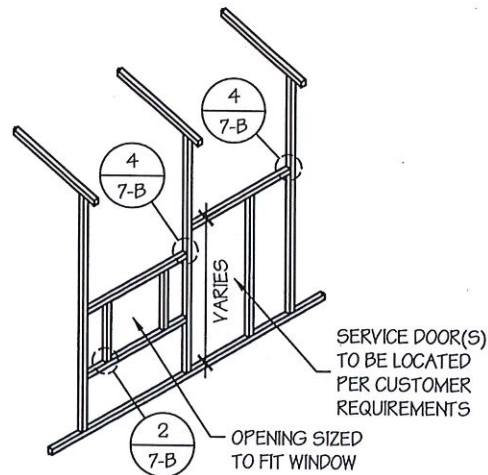
☐ SIDE WALL OVERHEAD DOOR OPENINGS

SCALE: NTS



☐ SIDE WALL OVERHEAD DOOR OPENINGS WITH TRUSS STYLE HEADER

SCALE: NTS



☐ SIDE WALL SERVICE DOOR / WINDOW OPENINGS

SCALE: NTS

SIDE WALL FRAMING NOTES:

1. TRUSS-STYLE HEADERS ARE REQUIRED FOR WHERE THE GROUND SNOW LOAD IS 40 PSF OR GREATER.
2. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
3. MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
4. OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
5. MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
6. MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
7. SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.

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SIDE WALL FRAMING
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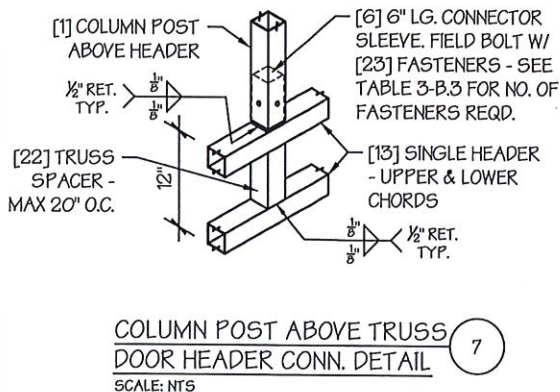
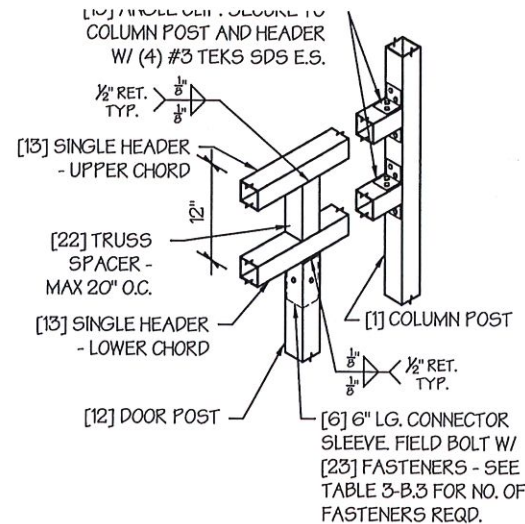
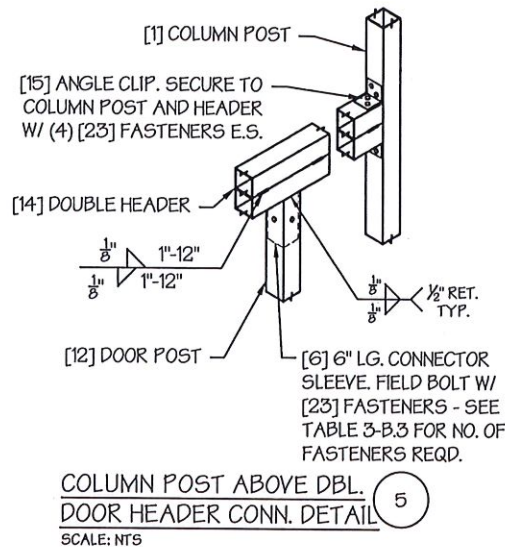
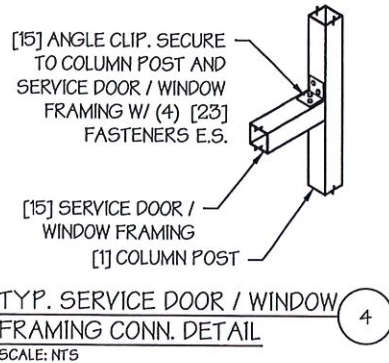
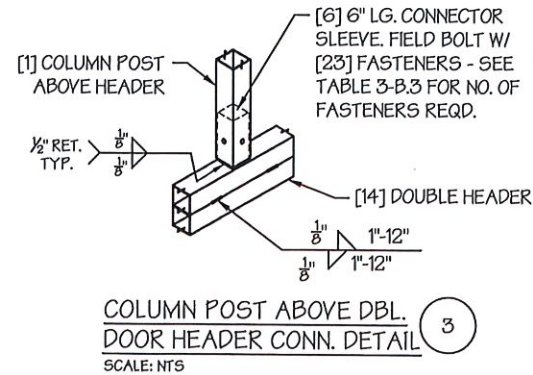
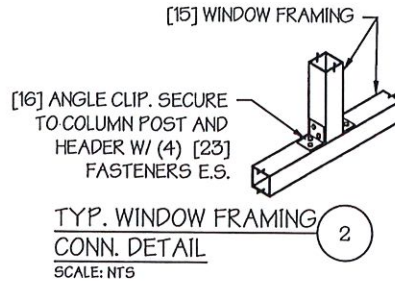
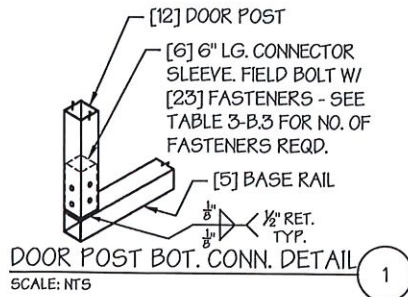
- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO DATE OF EXPIRATION.

SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-18-2023



MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SIDE WALL FRAMING DETAILS

SHEET NO.: 7-B / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

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CIVIL • STRUCTURAL
6036 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax. 419-292-0955
www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS
LOCATION: STATE OF ARKANSAS
PROJECT NO.: 033-23-0101
SHEET TITLE:

END WALL FRAMING

SHEET NO.: 8-A / 11

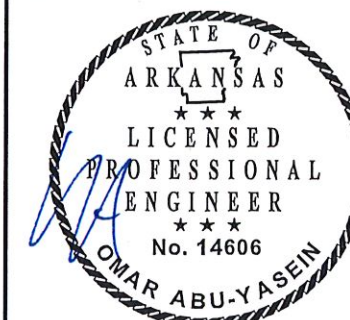
DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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SEAL:



STAMP EXPIRY: 12-31-2024

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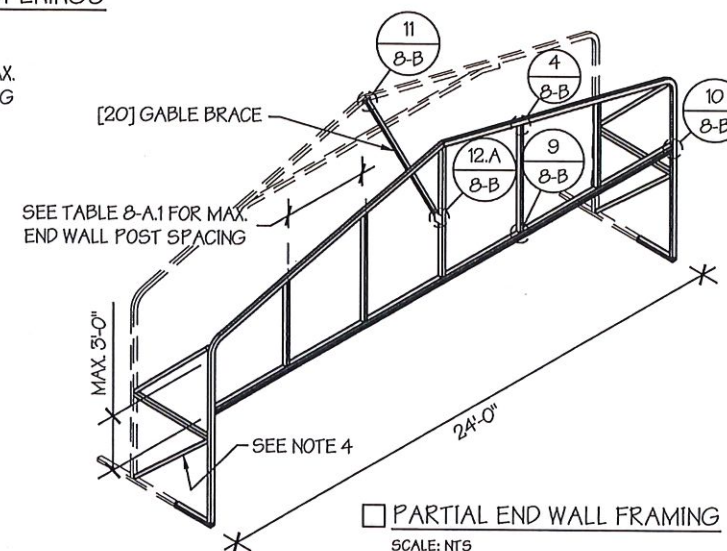
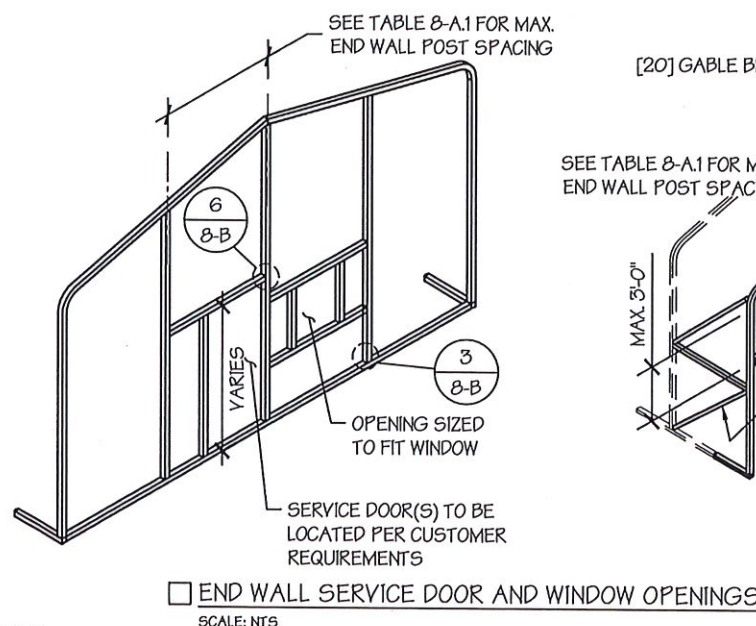
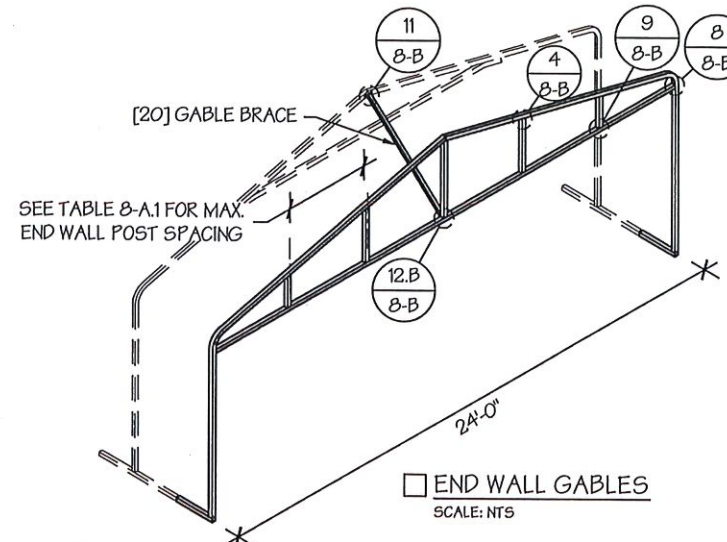
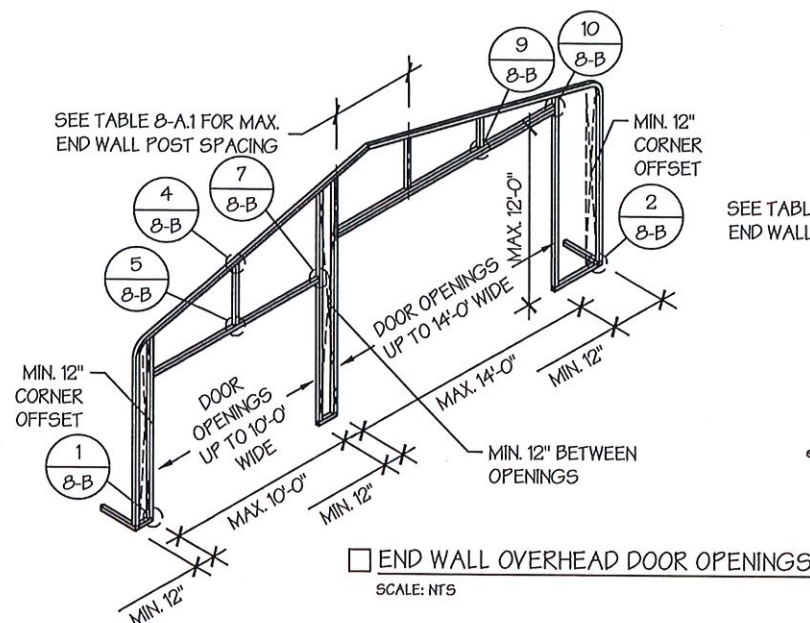
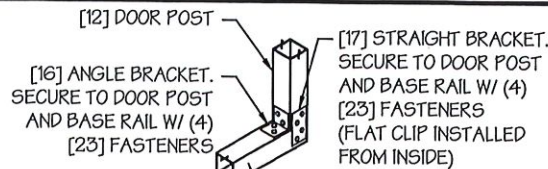


TABLE 8-A.1: END WALL POST SPACING SCHEDULE

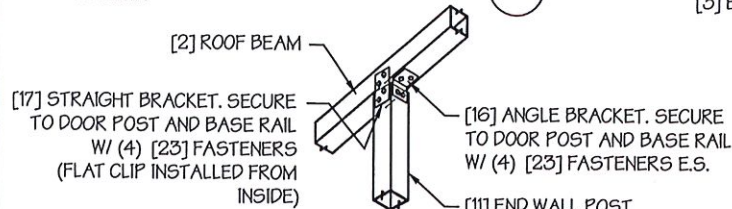
WIND SPEED (MPH)	EAVE HEIGHT		
	UP TO 7'	8' TO 9'	10' TO 12'
105	5'	5'	5'
115	5'	5'	4.5'
130	4.5'	4.5'	4'
140	4.5'	4.5'	3'
155	4'	4'	2.5'
165 - 180	3.5'	3'	2'

END WALL FRAMING NOTES:

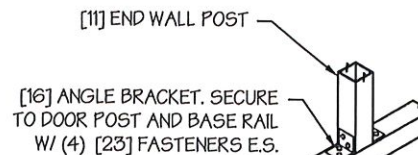
- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
- DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.



DOOR POST BASE RAIL CONN. DETAIL
SCALE: NTS

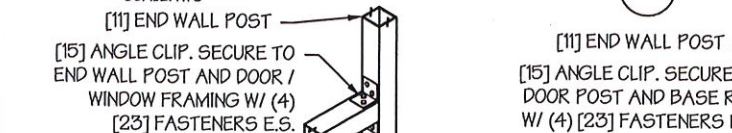


CORNER DETAIL
SCALE: NTS



END WALL POST - BASE RAIL CONN. DETAIL
SCALE: NTS

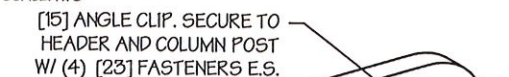
END WALL POST - ROOF BEAM CONN. DETAIL
SCALE: NTS



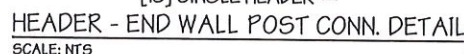
TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL
SCALE: NTS



END WALL POST ABOVE HEADER CONN. DETAIL
SCALE: NTS



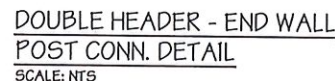
HEADER - END WALL POST CONN. DETAIL
SCALE: NTS



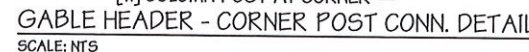
END WALL POST ABOVE DOUBLE HEADER CONN. DETAIL
SCALE: NTS



DOUBLE HEADER - END WALL POST CONN. DETAIL
SCALE: NTS



GABLE HEADER - CORNER POST CONN. DETAIL
SCALE: NTS



TYP. GABLE BRACE CONN. DETAIL
SCALE: NTS



GABLE BRACE - END WALL CONN. DETAIL
SCALE: NTS



DETAIL B



MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



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6036 Renaissance Place, Toledo, OH 43623
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www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

END WALL FRAMING DETAILS

SHEET NO.: 8-B / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

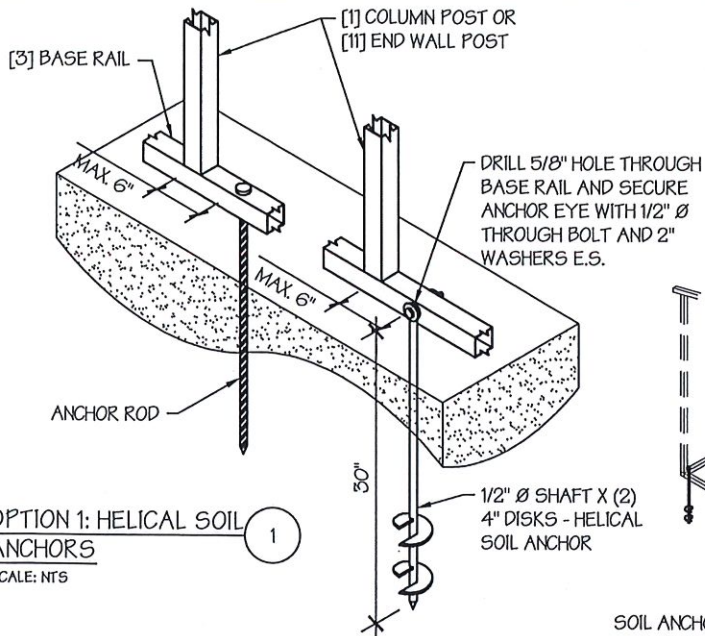
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- DRAWINGS VALID UP TO DATE OF EXPIRATION.

SEAL:

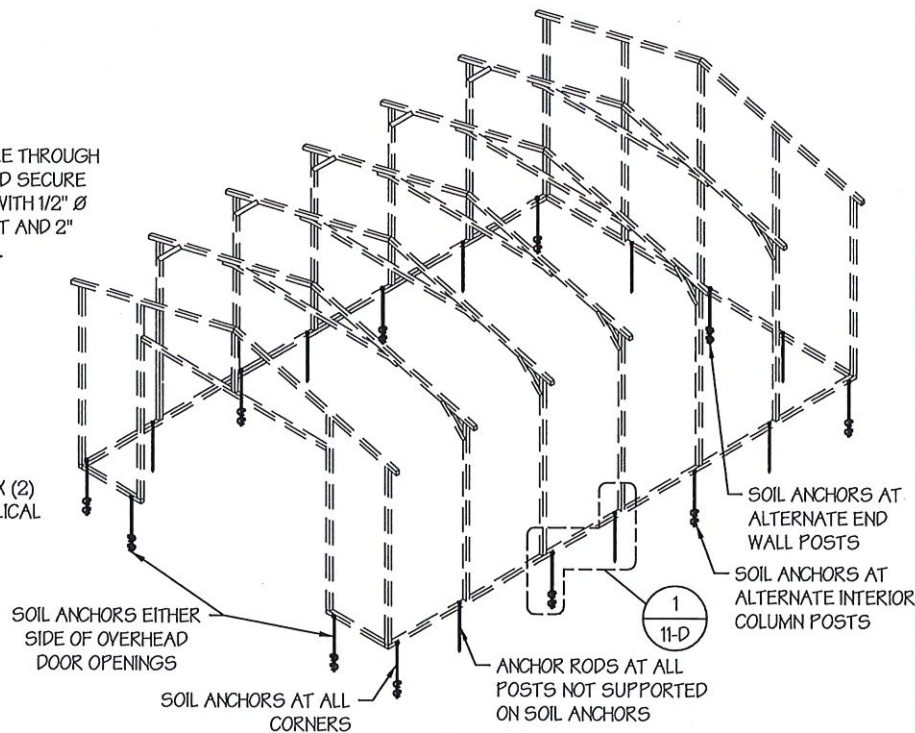


STAMP EXPIRY: 12-31-2024

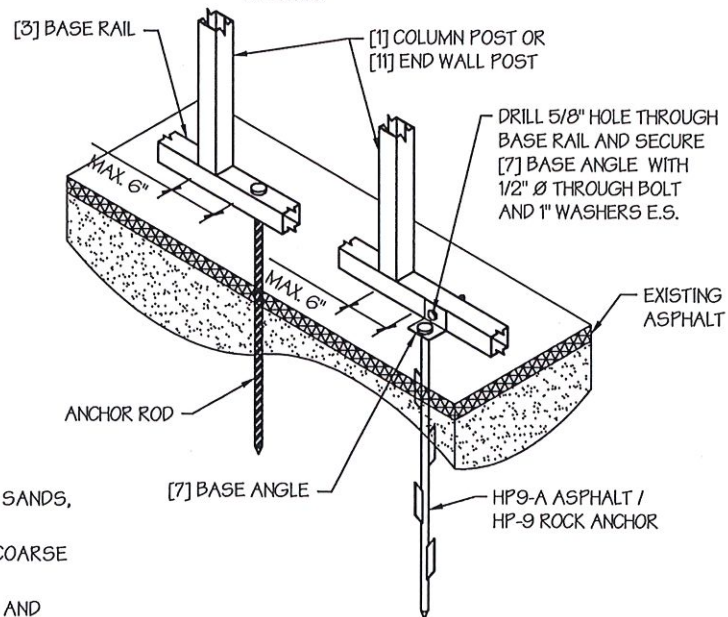
DATE SIGNED: 01-18-2023



☐ **OPTION 1: HELICAL SOIL ANCHORS**
SCALE: NTS



SOIL FOUNDATION
SCALE: NTS



☐ **OPTION 2: ROCK / ASPHALT ANCHORS**
SCALE: NTS

SOIL FOUNDATION NOTES:

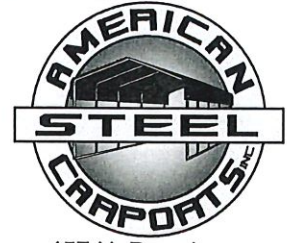
1. DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION.
2. SOIL ANCHORS (HELICAL OR ROCK/ASPALT) SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS, ON POSTS WITH DIAGONAL BRACING IF REQUIRED, AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
3. HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
4. HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATIONS THIS PAGE).
5. ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
6. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.

SOIL CLASSIFICATIONS:

SOIL CLASS	DESCRIPTION
2	SANDY GRAVEL AND GRAVEL, VERY THIN DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/COBBLES, PRELOADED SILTS, CLAYS AND CORAL.
3	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.

"FROM HUD "MODEL MANUFACTURED HOME INSTALLATION STANDARDS"

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL

6036 Renaissance Place, Toledo, OH 43623
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www.aa-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

**FOUNDATION OPTION 4:
SOIL ANCHORS**

SHEET NO.: 11-D / 11

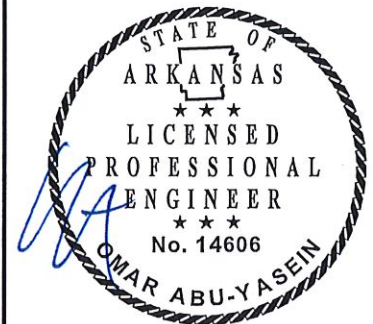
DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

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SEAL:



STAMP EXPIRY: **12-31-2024**

DATE SIGNED: **01-18-2023**

Springhill Rd

CHE Post

175FT

Building

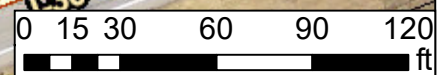
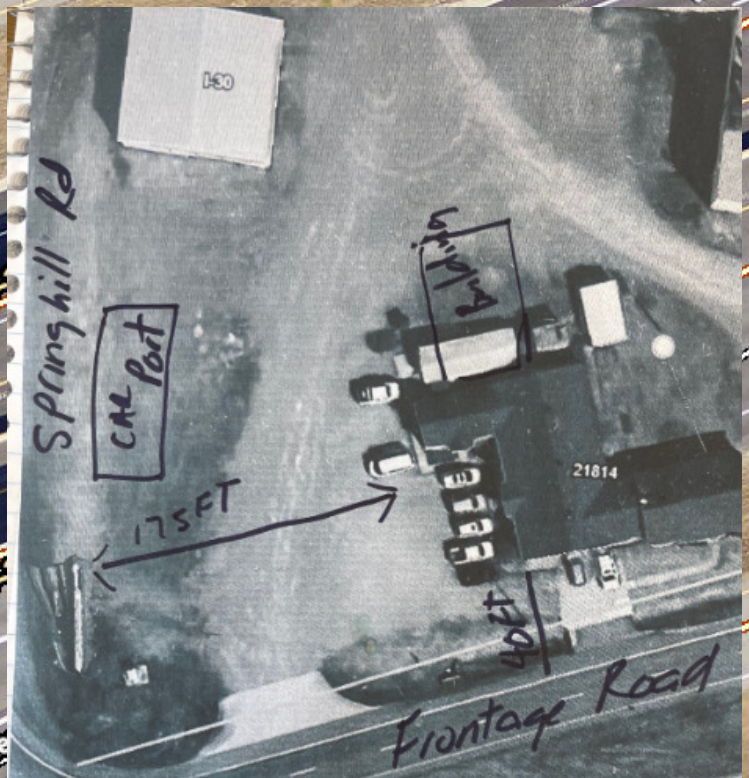
21814

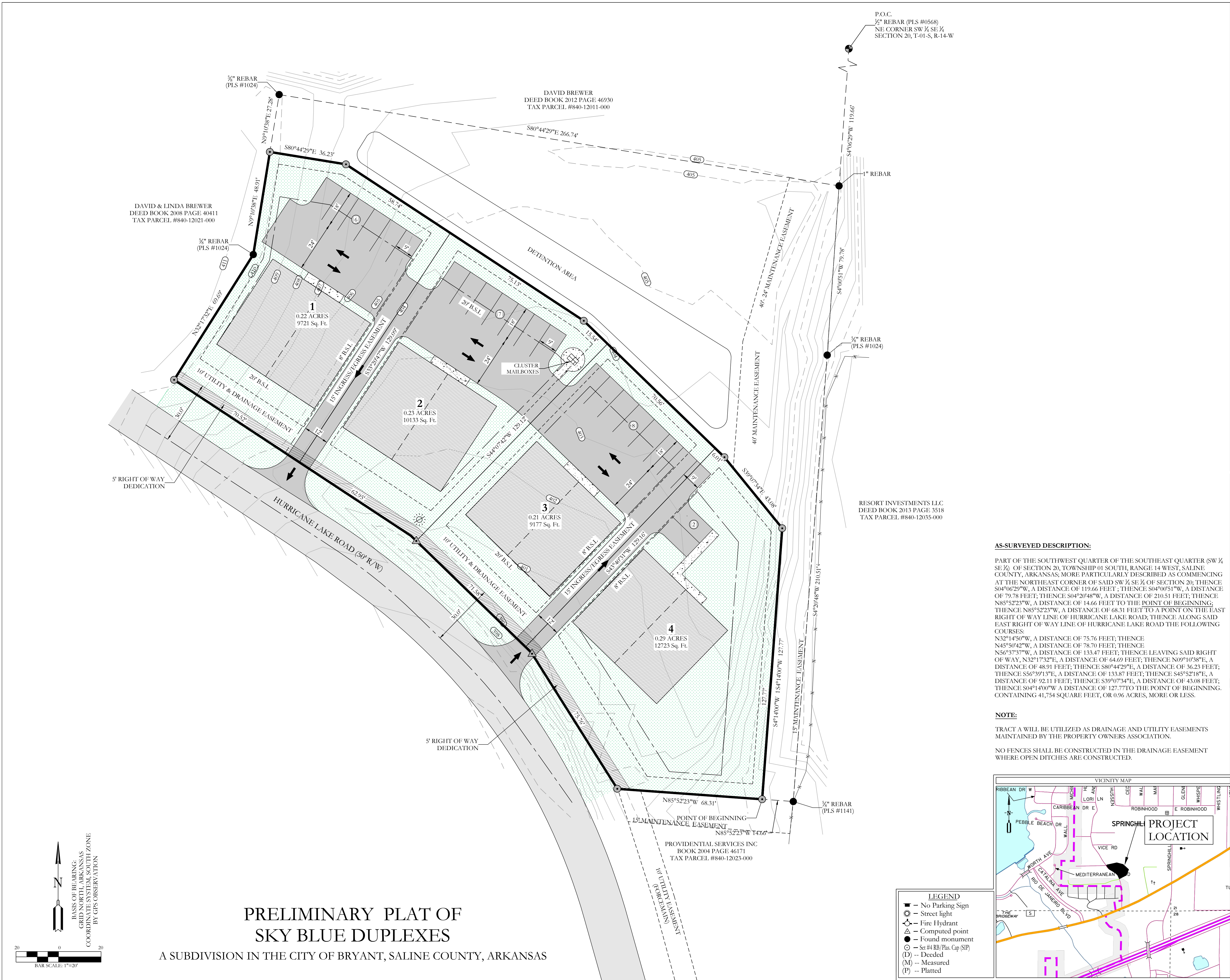
40ft

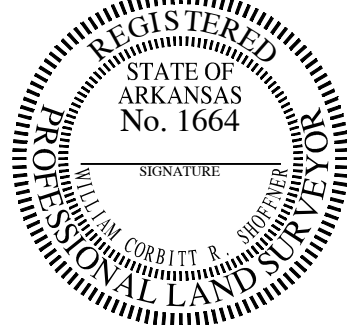

Frontage Road

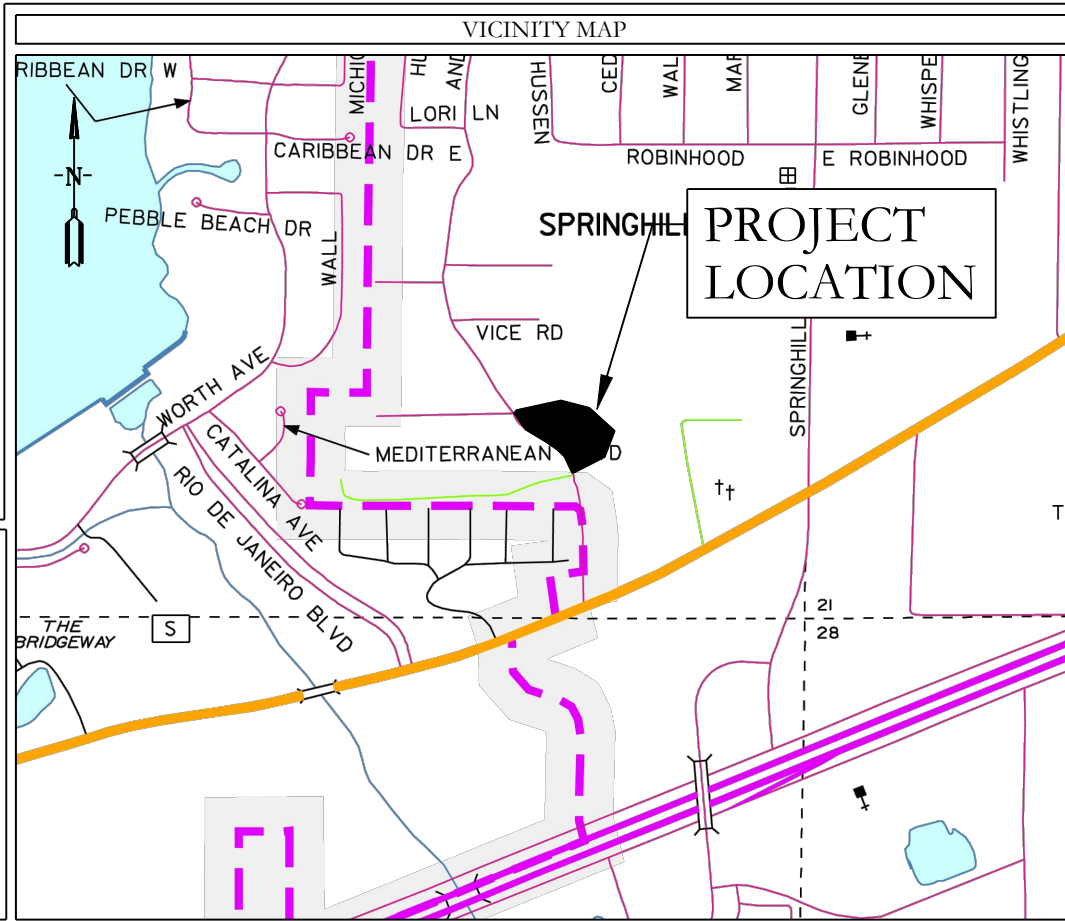
Hwy 70 E







CERTIFICATIONS:		
OWNER:		DEVELOPER:
Name: SKY BLUE, LLC	Name: SKY BLUE, LLC	
Address: 3621 INDEPENDENCE DRIVE BRYANT, AR 72022	Address: 3621 INDEPENDENCE DRIVE BRYANT, AR 72022	
CERTIFICATE OF OWNER:		
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.		
Date of Execution	Name:	
Source of Title:	D.R. BOOK 2015 PAGE 7766	
CERTIFICATE OF PROPERTY OWNERSHIP:		
I, _____, hereby certify that the deed records in the office of Circuit Clerk and Ex-Officio recorder of Saline County, Arkansas, reflect that _____ is the record title owner of real property more particularly described herein on plat.		
Dated:	Certified Title Insurance Agent or Abstractor	
CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:		
I, William Corbett R. Shoffner, hereby certify that this proposed preliminary plat correctly represents a survey completed by me or under my supervision on _____, 20____, that the boundary lines show hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.		
Date of Execution	William Corbett R. Shoffner Registered Professional Land Surveyor No. 1664 Arkansas	
CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:		
I, Kazi Islam, hereby certify that this plat correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.		
Date of Execution	Kazi Islam Registered Professional Engineer, No. 20876 Arkansas	
CERTIFICATE OF PRELIMINARY PLAT APPROVAL:		
Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.		
Date of Execution	NAME, CHAIRMAN BRYANT PLANNING COMMISSION	
<div><div></div><div></div></div>		
By affixing my seal and signature, I Kazi Islam PE No. 20876, hereby certify that this drawing correctly depicts a survey compiled under my supervision.		
NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.		
No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C030E; Dated: 06/05/2020.		
PROPERTY SPECIFICATIONS:		
OWNER:	SKY BLUE, LLC 3501 INDEPENDENCE DRIVE BRYANT, AR 72022	AVERAGE LOT SIZE: 0.19 ACRES (58,437 SQ. FT.) MINIMUM LOT SIZE: 7,209 SQ. FT. NUMBER OF LOTS: 4
DEVELOPER/SUBDIVIDER:	SKY BLUE, LLC 3501 INDEPENDENCE DRIVE BRYANT, AR 72022	SOURCE OF WATER: WATER USERS SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC: INTERGY BUILDING SETBACKS: FRONT: 20' OR AS SHOWN REAR: 20' OR AS SHOWN SIDE: 8' OR AS SHOWN
ENGINEERS:	HOPE CONSULTING INC. 117 S. MARKET STREET BENTON, AR 72015	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION:	SKY BLUE DUPLEXES	
INSTRUMENT #	2015-7766	
ZONING:	R-X	
FOR USE AND BENEFIT OF: SKY BLUE, LLC		
PRELIMINARY PLAT SKY BLUE DUPLEXES A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE:	C.A.D. BY:	DRAWING NUMBER:
09/16/2024	B. JOHNSON	19-0066
REVISED:	CHECKED BY:	
SHEET:	C-1.0	SCALE: 1"=20'
500	01S	14W
0	20	230
62	1807	



PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW $\frac{1}{4}$ SE $\frac{1}{4}$) OF SECTION 20, TOWNSHIP 10 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SW $\frac{1}{4}$ SE $\frac{1}{4}$ OF SECTION 20; THENCE S04°06'29"W, A DISTANCE OF 119.66 FEET; THENCE S04°05'01"W, A DISTANCE OF 78.78 FEET; THENCE S04°29'48"W, A DISTANCE OF 2105.51 FEET; THENCE S89°04'42"W, A DISTANCE OF 56.23 FEET TO THE POINT OF BEGINNING; THENCE N85°52'23"W, A DISTANCE OF 68.31 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD THE FOLLOWING COURSES:
 N32°14'50"W, A DISTANCE OF 75.76 FEET; THENCE
 N45°50'42"W, A DISTANCE OF 78.70 FEET; THENCE
 N56°37'59"W, A DISTANCE OF 153.47 FEET; THENCE LEAVING SAID RIGHT OF WAY, N32°17'32"E, A DISTANCE OF 64.69 FEET; THENCE N09°10'38"E, A DISTANCE OF 49.01 FEET; THENCE S89°04'42"W, A DISTANCE OF 56.23 FEET; THENCE S56°39'13"E, A DISTANCE OF 133.87 FEET; THENCE S45°52'18"E, A DISTANCE OF 92.11 FEET; THENCE S39°07'34"E, A DISTANCE OF 43.08 FEET; THENCE S04°10'00"W A DISTANCE OF 127.77 TO THE POINT OF BEGINNING, CONTAINING 41,754 SQUARE FEET, OR 0.96 ACRES, MORE OR LESS.

NO FENCES SHALL BE CONSTRUCTED IN THE DRAINAGE EASEMENT WHERE OPEN DITCHES ARE CONSTRUCTED.

Date of Execution	NAME, CHAIRMAN BRYANT PLANNING COMMISSION
-------------------	--



By affixing my seal and signature, I Kazi Islem PE No. 20876, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C0360E, Dated: 06/05/2020.

HOPE
CONSULTING
ENGINEERS - SURVEYORS

129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/23/2024		C.A.D. BY: BJOHNSON				DRAWING NUMBER: 19-0066	
REVISED:		CHECKED BY:					
SHEET:	C-1.0	SCALE: 1"=20'					
500	01S	14W	0	20	230	62	1807



September 12, 2024

Colton Leonard
City of Bryant
210 Southwest Third St.,
Bryant, AR 72022


RE: Request for Modification from Code and Request for CUP (Parcel #:840-12022-000)

Dear Mr. Leonard,

We are proposing duplexes on the 4 lots of this proposed subdivision. I am also requesting a modification from the Walk Bike Drive Code for no curb improvements on this proposed development. We are also asking for a waiver on sidewalks and half-street improvements.

It is our goal to be included on the October 14, 2024 Planning Commission agenda.

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.
Sincerely,



Jonathan Hope
Hope Consulting, Inc.

129 N. Main St. Benton, Arkansas 72015
501-315-2626
www.hopeconsulting.com



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 7-24-24

Applicant or Designee:

Name Jonathan Hope

Address 129 N. Main St. Benton, AR

Phone 501-860-0467

Email Address: jonathan@hopeconsulting.com

Project Location:

Property Address Hurricane Lake Rd.

Parcel Number 840-12022-000

Zoning Classification R-X

Property Owner (If different from Applicant):

Name Sky Blue, LLC.

Phone 501-912-2752

Address 3621 Independence Dr. Bryant, AR 72022

Email Address tj.bessent@sbcglobal.net

Additional Information:

Legal Description (Attach description if necessary)

Attached

Description of Conditional Use Request (Attach any necessary drawings or images)

Requesting approval of construction of Duplexes as allowed in zoning R-X

Proposed/Current Use of Property Duplexes

Application Checklist

Requirements for Submission

- ☐ Letter stating request of Conditional Use and reasoning for request
- ☐ Completed Conditional Use Permit Application
- ☐ Submit Conditional Use Permit Application Fee (\$125)
- ☐ Submit Copy of completed Public Notice
- ☐ Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- ☐ Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- ☐ Submit eight (8) Copies of the Development Plan (Site Plan) showing:
 - Location, size, and use of buildings/signs/land or improvements
 - Location, size, and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing lighting
 - Proposed landscaping and screening
 - Use of adjacent properties
 - Scale, North Arrow, Vicinity Map
 - Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I Jonathan Hope, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

AS SURVEYED DESCRIPTION FOR PARCEL #840-12022-000

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW $\frac{1}{4}$ SE $\frac{1}{4}$) OF SECTION 20, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SW $\frac{1}{4}$ SE $\frac{1}{4}$ OF SECTION 20; THENCE S04°06'29"W, A DISTANCE OF 119.66 FEET ; THENCE S04°00'51"W, A DISTANCE OF 79.78 FEET; THENCE S04°20'48"W, A DISTANCE OF 210.51 FEET; THENCE N85°52'23"W, A DISTANCE OF 14.66 FEET TO THE POINT OF BEGINNING; THENCE N85°52'23"W, A DISTANCE OF 68.31 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD THE FOLLOWING COURSES:

N32°14'50"W, A DISTANCE OF 75.76 FEET; THENCE N45°50'42"W, A DISTANCE OF 78.70 FEET; THENCE N56°37'37"W, A DISTANCE OF 133.47 FEET; THENCE LEAVING SAID RIGHT OF WAY, N32°17'32"E, A DISTANCE OF 64.69 FEET; THENCE N09°10'38"E, A DISTANCE OF 48.91 FEET; THENCE S80°44'29"E, A DISTANCE OF 36.23 FEET; THENCE S56°39'13"E, A DISTANCE OF 133.87 FEET; THENCE S45°52'18"E, A DISTANCE OF 92.11 FEET; THENCE S39°07'34"E, A DISTANCE OF 43.08 FEET; THENCE S04°14'00"W A DISTANCE OF 127.77 TO THE POINT OF BEGINNING. CONTAINING 41,754 SQUARE FEET, OR 0.96 ACRES, MORE OR LESS.

HOPE

CONSULTING

ENGINEERS - SURVEYORS

July 26, 2024

Colton Leonard
City of Bryant
210 Southwest Third St.,
Bryant, AR 72022


RE: Request for Modification from Code and Request for CUP (Parcel #:840-12022-000)

Dear Mr. Leonard,

I am requesting a modification from the Walk Bike Drive Code for no curb improvements on this proposed development. We are proposing duplexes on this property and the majority of the property will be driveways. Adding curb to this development would be only in between driveways which would be minimal on this project.

It is our goal to be included on the August 12, 2024 Planning Commission agenda.

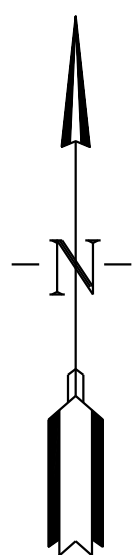
Please feel free to contact me with any questions or concerns or if I can be of any further assistance.
Sincerely,



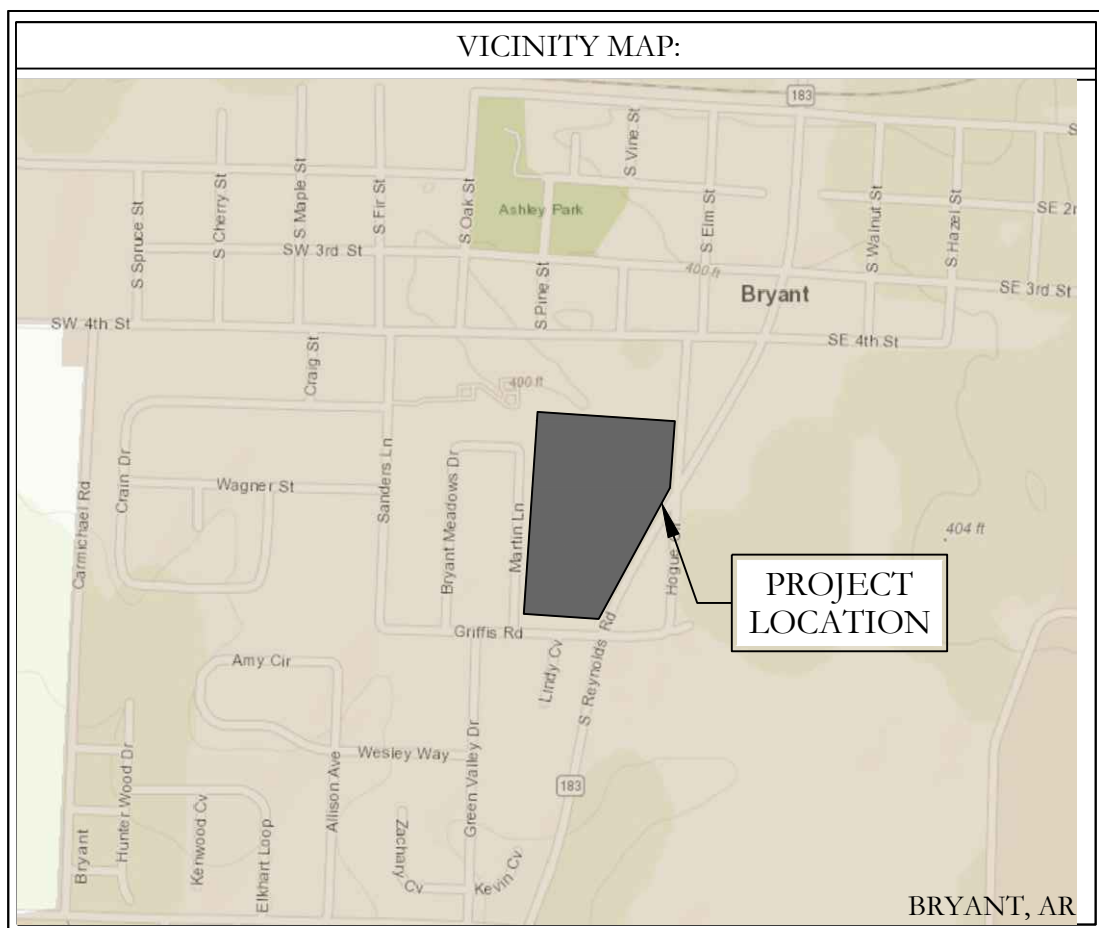
Jonathan Hope
Hope Consulting, Inc.

129 N. Main St. Benton, Arkansas 72015
501-315-2626
www.hopeconsulting.com

CONSTRUCTION PLANS
FIRST SOUTHERN BAPTIST CHURCH OF BRYANT
604 S REYNOLDS ROAD, BRYANT, SALINE COUNTY, ARKANSAS



BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE
GPS OBSERVATION



PREPARED BY:

HOPE
CONSULTING
ENGINEERS - SURVEYORS

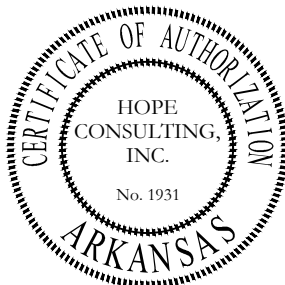
129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

DRAWING INDEX

SHEET NO.	TITLE
	BOUNDARY & TOPO SURVEY
C-1.0	SITE PLAN
C-2.0	UTILITY PLAN
C-3.0	SEWER PLAN & PROFILE
C-4.0	GRADING PLAN
C-5.0	STORM DRAINAGE PLAN AND PROFILE
C-6.0	RETENTION PLAN
C-7.0	LANDSCAPE PLAN
C-8.0	EROSION CONTROL PLAN
C-9.0	DEMOLITION PLAN

OWNER:	DEVELOPER:
Name: <u>Peter Cunningham</u>	Name: <u>Peter Cunningham</u>
Address: <u>604 S Reynolds Rd, Bryant,</u>	Address: <u>604 S Reynolds Rd, Bryant,</u>
<u>Arkansas 72022</u>	<u>Arkansas 72022</u>
Email & <u>peter@fsbcbryant.org</u>	Email & <u>peter@fsbcbryant.org</u>
Phone: <u>501-847-3014</u>	Phone: <u>501-847-3014</u>

CIVIL ENGINEER
HOPE CONSULTING INC
129 N. MAIN STREET
BENTON, AR 72015



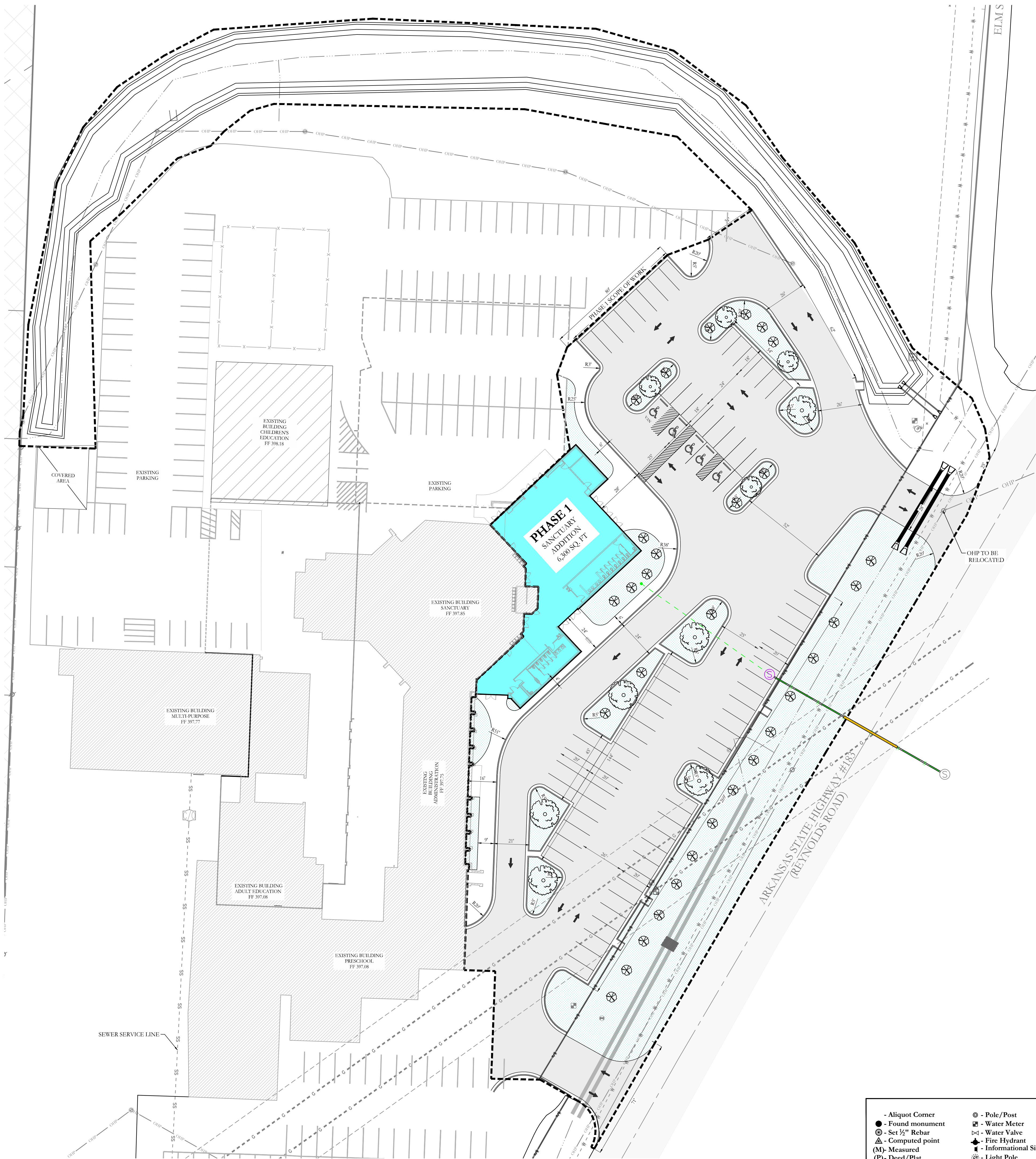
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CONSULTING
ENGINEERS - SURVEYORS

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Benton, Arkansas 72015
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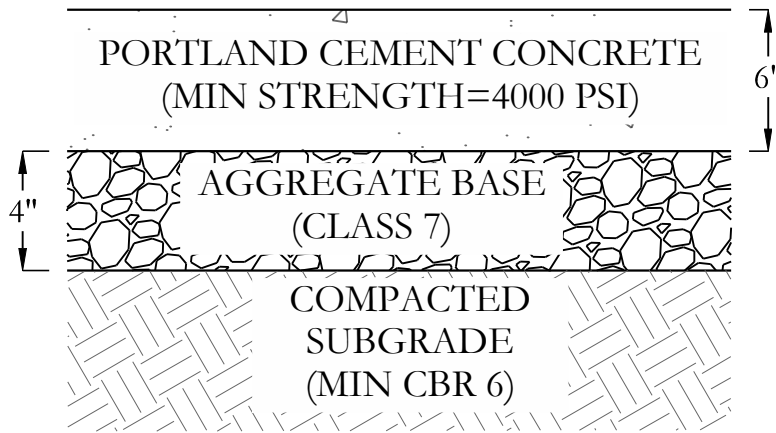
FOR USE AND BENEFIT OF:
FIRST SOUTHERN BAPTIST CHURCH OF BRYANT

FSCB EXPANSION & REMODEL PHASE-1
COVER SHEET
604 S REYNOLDS ROAD,
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	9/4/2024	C.A.D. BY:		DRAWING NUMBER:	
REVISED:		CHECKED BY:			
SHEET:		SCALE:			
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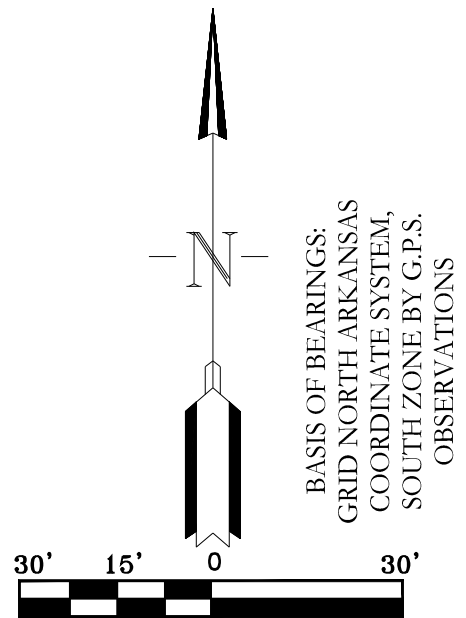
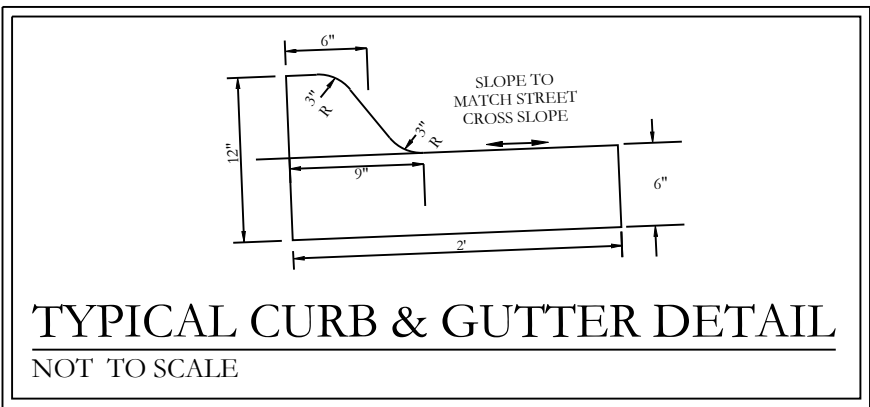
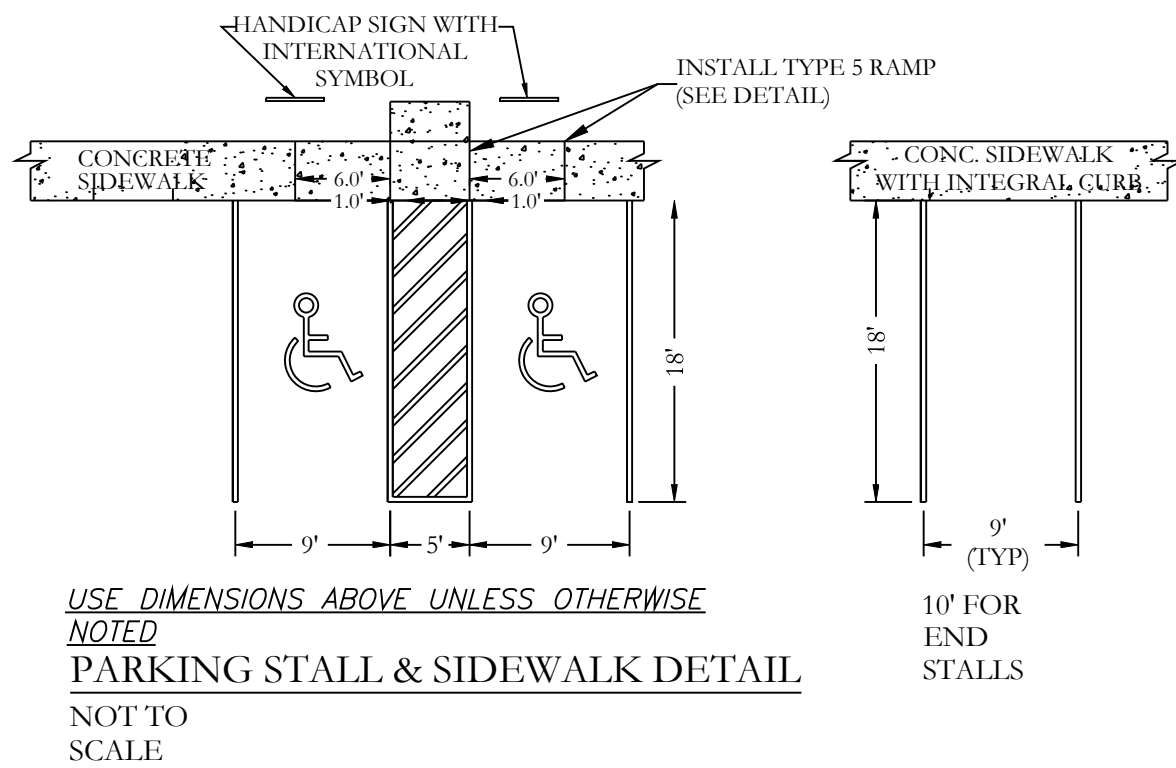


SITE DATA	
TOTAL SITE AREA	7.58 ACRES
TOTAL DEVELOPMENT AREA	2.94 ACRES
GROSS BUILDING AREA	TOTAL BUILDING AREA 6300 SF
ZONING	R-2
BUILDING SETBACKS	FRONT SETBACK LINE: 25' REAR SETBACK LINE: 25' INTERIOR SETBACK LINE: 5' EXTERIOR SETBACK LINE: 15'
BUILDING HEIGHTS	25'
BUILDING COVERAGE PERCENTAGE	6300/128066=0.0492=4.92%
PROPOSED LANDSCAPE AREA	25772 SF >5% OF 128066 SF
BUSINESS TYPE	CHURCH

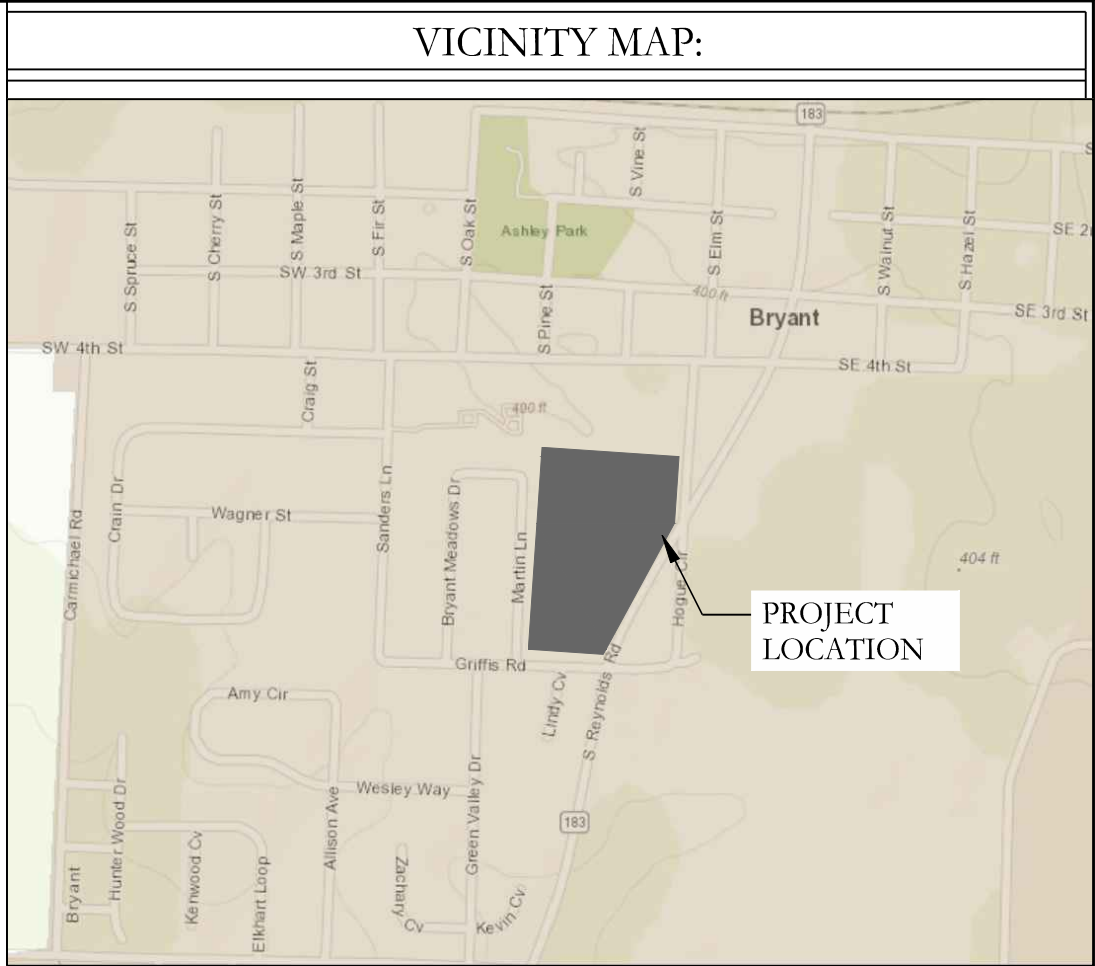


STANDARD CONCRETE
PAVEMENT SECTION

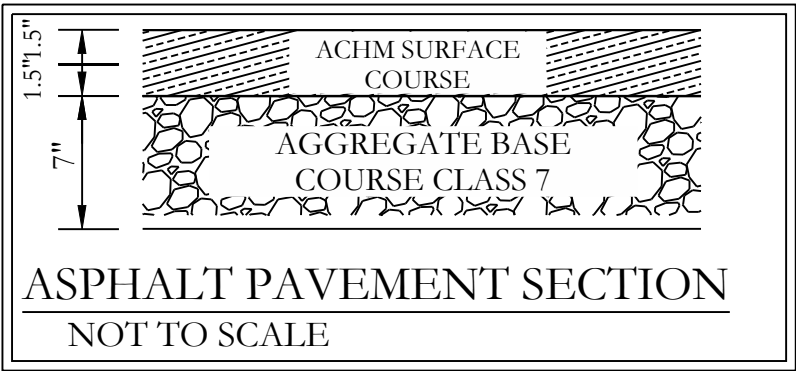
NOT TO SCALE



LEGEND	
• Aliquot Corner ● Found monument ⊙ Set 1/2" Rebar △ Computed point (M) Measured (P) Deed/Plat ⊙ Storm Drain Manhole	⊙ Pole/Post ⊙ Water Meter ⊙ Water Valve ⊙ Fire Hydrant ⊙ Informational Sign ⊙ Light Pole ⊙ Telephone Pedestal/Box
⊙ Clean Out ⊙ Power Pole ⊙ Power Pole W/Anchor ⊙ Overhead Power ⊙ Fence ⊙ 12" Sewer Line ⊙ 12" Water Line	⊙ Guy Anchor ⊙ Concrete ⊙ Asphalt ⊙ Gas Line ⊙ Telephone Line
⊙ Sewer Manhole ⊙ Landscape Area / Proposed Sod	



OWNER:	DEVELOPER:
Name: Peter Cunningham	Name: Peter Cunningham
Address: 604 S Reynolds Rd, Bryant, Arkansas 72022	Address: 604 S Reynolds Rd, Bryant, Arkansas 72022
Email & peter@fsbcbryant.org	Email & peter@fsbcbryant.org
Phone: 501-847-3014	Phone: 501-847-3014



PAVEMENT LEGEND	
STANDARD - DUTY CON. PAVEMENT	
STANDARD ASPHALT PAVEMENT	

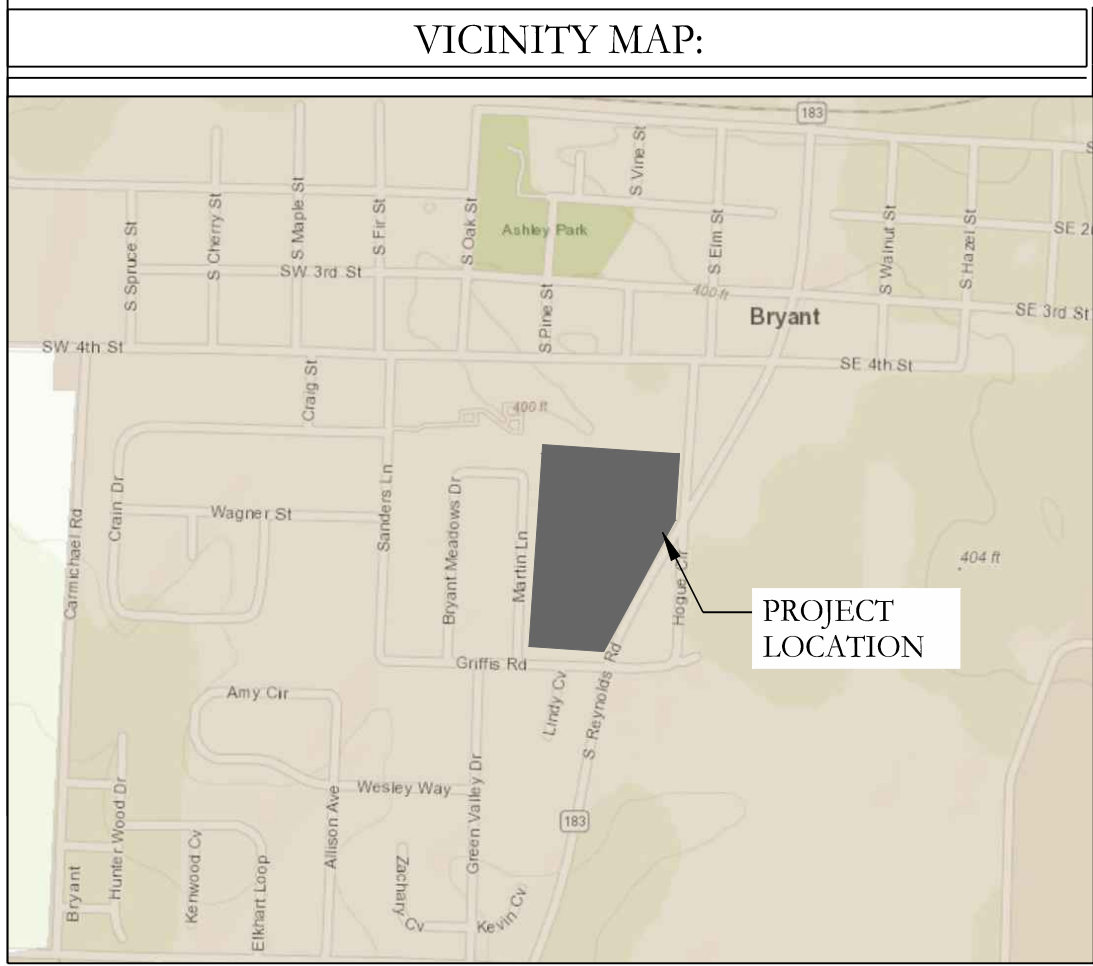
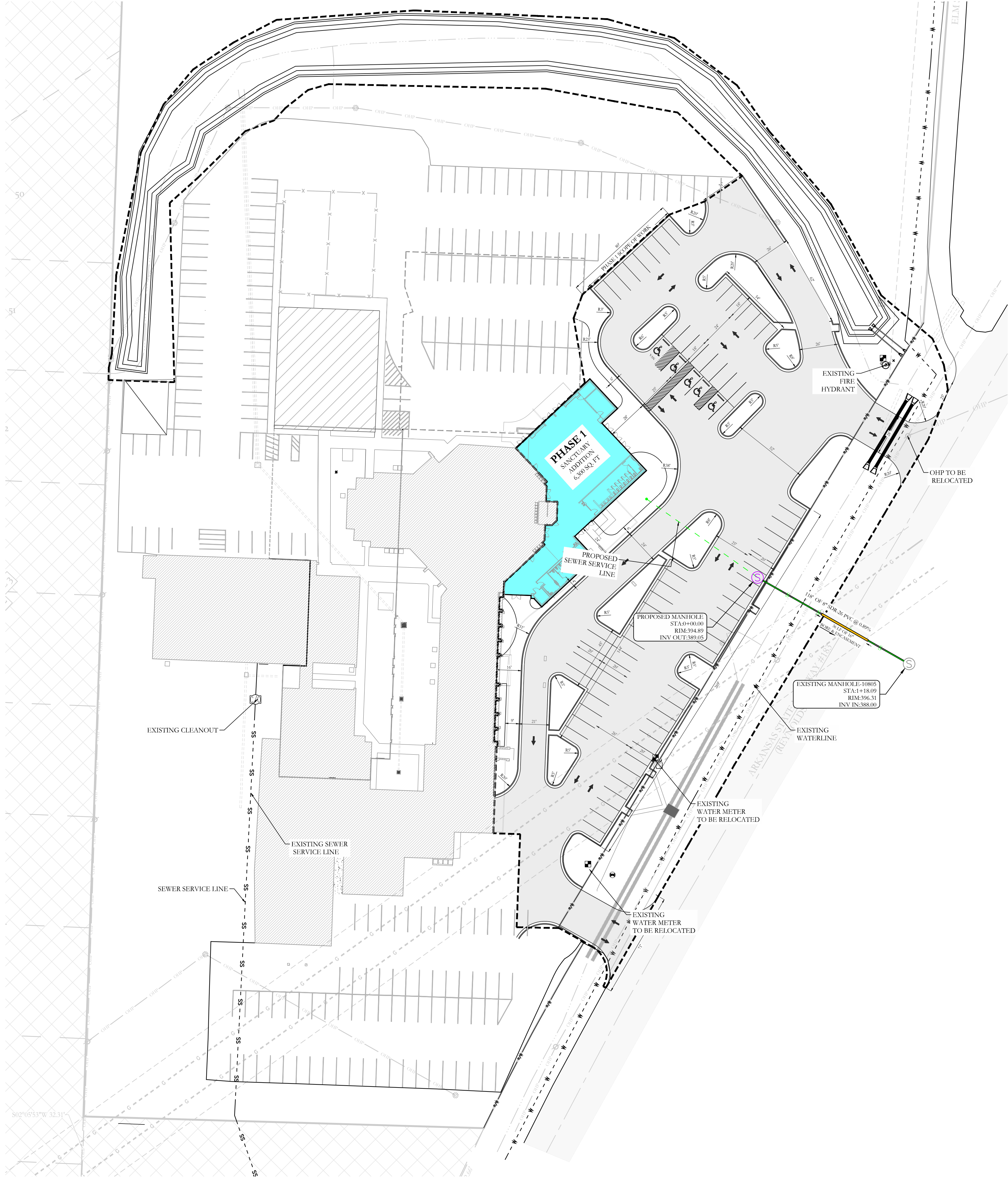
CIVIL ENGINEER
HOPE CONSULTING INC
129 N. MAIN STREET
BENTON, AR 72015
CONTACT: KAZI TAMZIDUL ISLAM
PHONE: 501-315-2626
EMAIL: kazi@hopeconsulting.com

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www.hopeconsulting.com

FOR USE AND BENEFIT OF:	
FIRST SOUTHERN BAPTIST CHURCH OF BRYANT	
CHURCH EXPANSION PHASE 1	
SITE PLAN	
604 S REYNOLDS ROAD BRYANT, SALINE COUNTY, ARKANSAS	
DATE: 09-04-2024	CAD. BY: BJOHNSON
REVISIONS:	CHECKED BY:
SHEET: C-1.0	SCALE:
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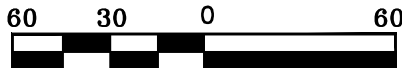
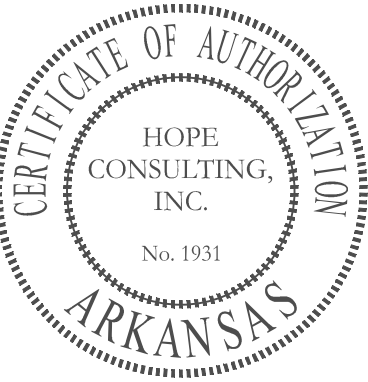
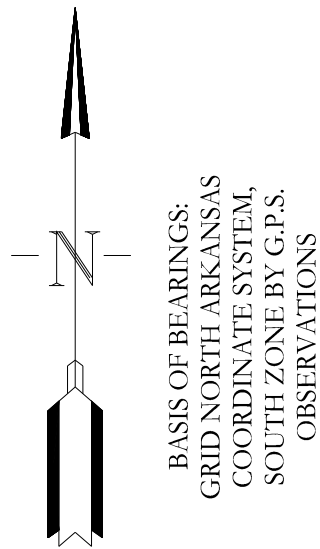
S:\LAND PROJECTS\2004\COMMERCIAL\2004\24-0260 FSCH EXPANSION AND REARDOOR CIVIL.DWG:24-0260 SITE PLAN-PHASE 1 PHASE1.DWG



OWNER:	DEVELOPER:
Name: <u>Peter Cunningham</u>	Name: <u>Peter Cunningham</u>
Address: <u>604 S Reynolds Rd, Bryant, Arkansas</u>	Address: <u>604 S Reynolds Rd, Bryant, Arkansas</u>
72022	72022
Email & <u>peter@fsbcbryant.org</u>	Email & <u>peter@fsbcbryant.org</u>
Phone: <u>501-847-3014</u>	Phone: <u>501-847-3014</u>

LEGEND			
COMPUTED POINT	FIRE HYDRANT	SEWER MANHOLE	MISC FENCE LINE
FOUND MONUMENT	WATER VALVE	SANITARY SEWER LINE	GRASS
SET 1/2" REBAR	POWER POLE	OHP OVERHEAD POWER LINE	CONCRETE
(M) MEASURED	STORM DRAIN/MANHOLE	TELEPHONE LINE	B.S.L. = BUILDING SETBACK LINE
(P) PLAT/DEED	GAS METER	12" 12" WATER LINE	P.L.S. = PERIMETER LANDSCAPE SETBACK
WATER METER	TELEPHONE PEDESTAL	8" 8" WATER LINE	

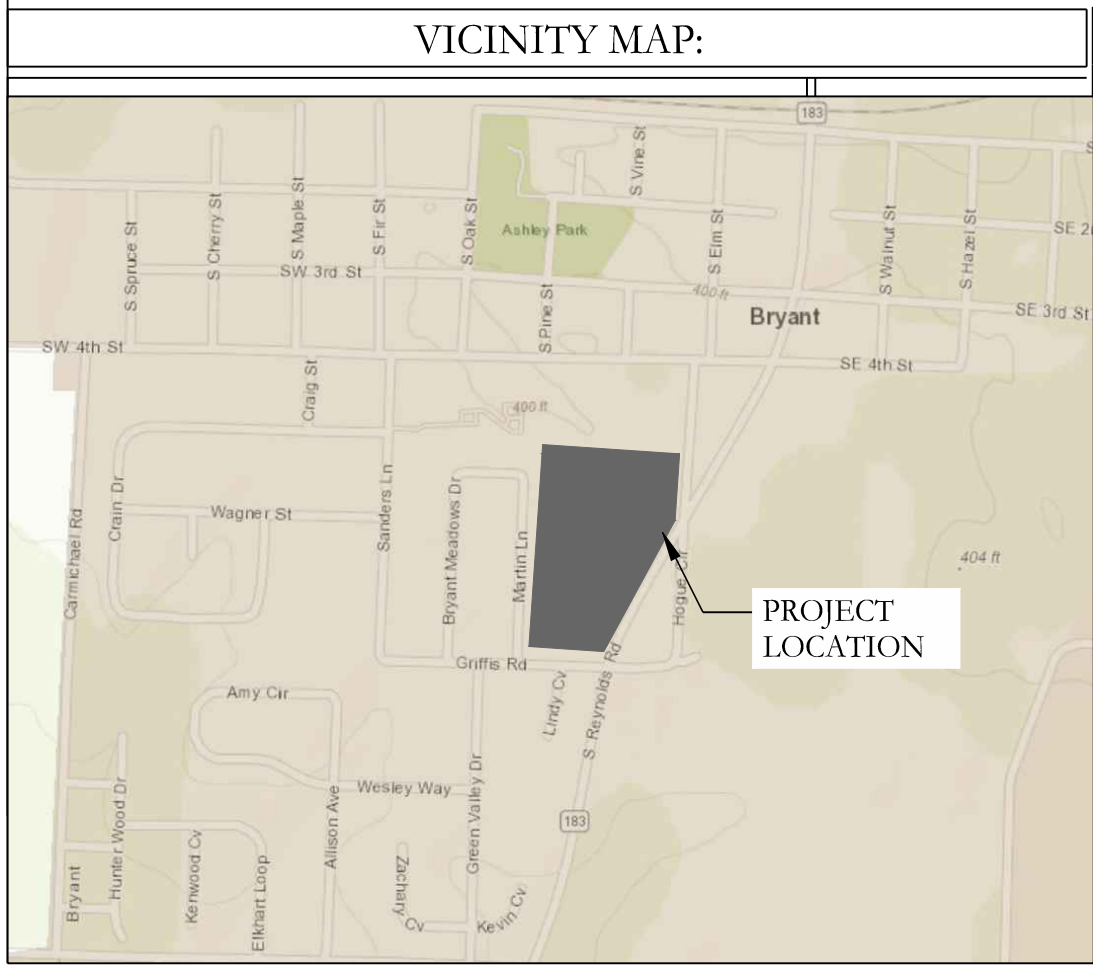
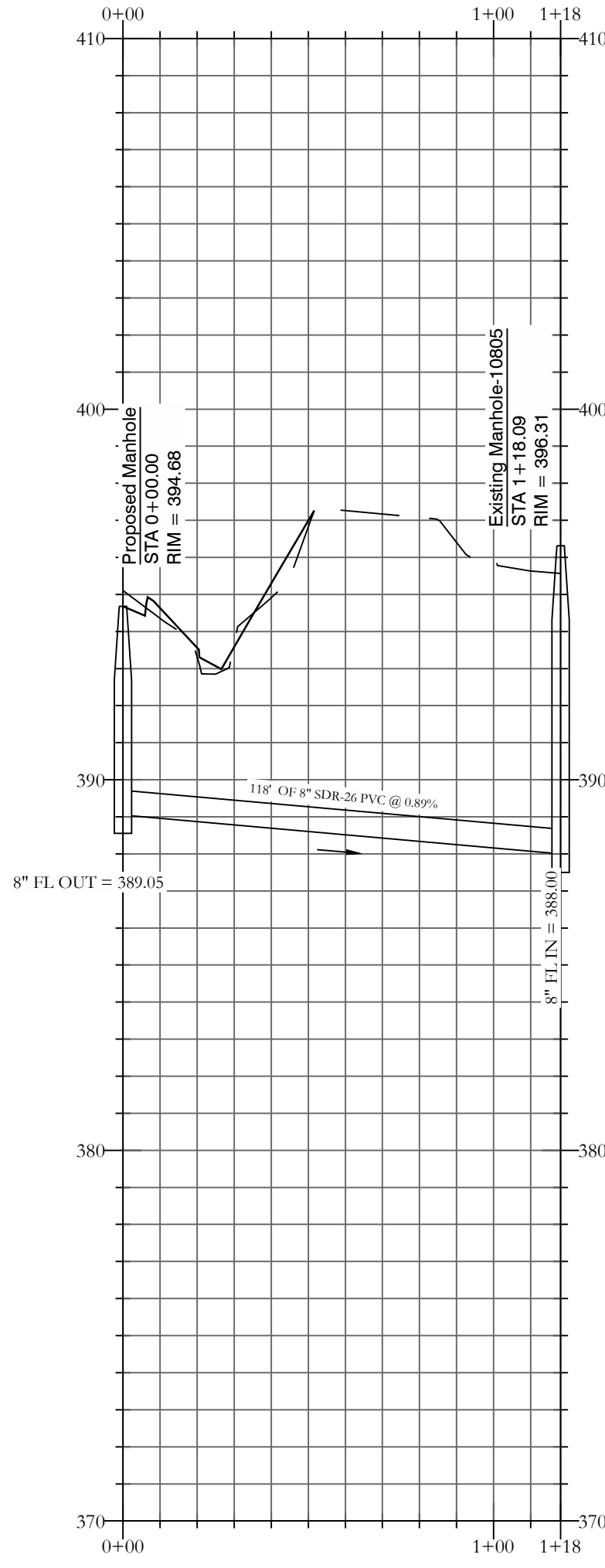
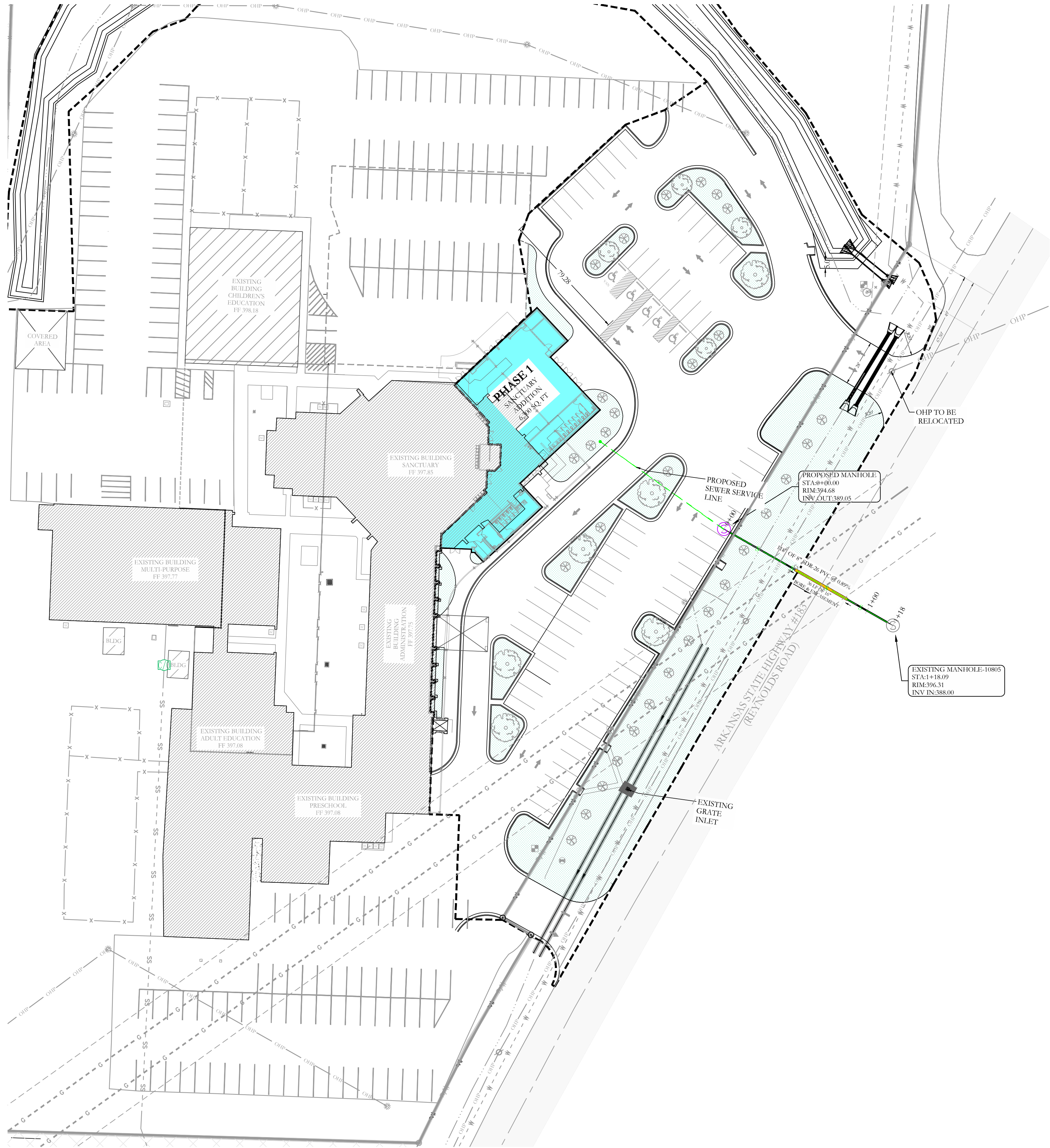
CIVIL ENGINEER
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CONTACT: KAZI TAMZIDUL ISLAM
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FOR USE AND BENEFIT OF: FIRST SOUTHERN BAPTIST CHURCH OF BRYANT		
CHURCH EXPANSION PHASE 1		
UTILITY PLAN		
604 S REYNOLDS ROAD BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 09-04-2024	C.A.D. BY: BJOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	24-0260
SHEET: C-2.0	SCALE:	
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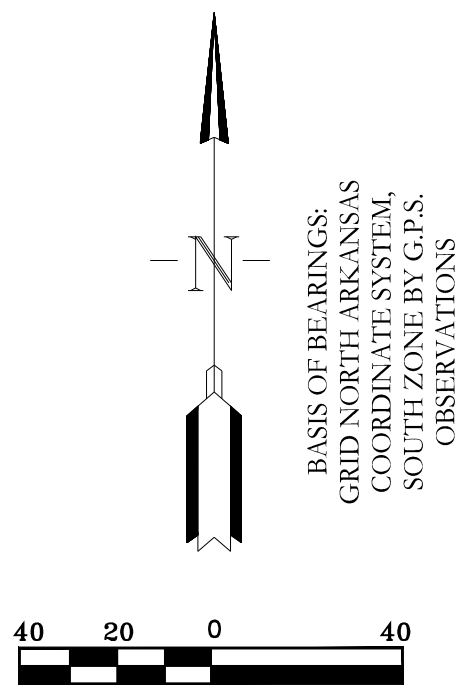
S:\LAND PROJECTS\2004\COMMERCIAL\2004\24-0260 FSCH EXPANSION AND REMODEL\CIVIL\DWG\24-0260 SITE PLAN-PHASE 1.DWG



OWNER:	DEVELOPER:
Name: <u>Peter Cunningham</u>	Name: <u>Peter Cunningham</u>
Address: <u>604 S Reynolds Rd, Bryant, Arkansas 72022</u>	Address: <u>604 S Reynolds Rd, Bryant, Arkansas 72022</u>
Email & <u>peter@fsbcbryant.org</u>	Email & <u>peter@fsbcbryant.org</u>
Phone: <u>501-847-3014</u>	Phone: <u>501-847-3014</u>

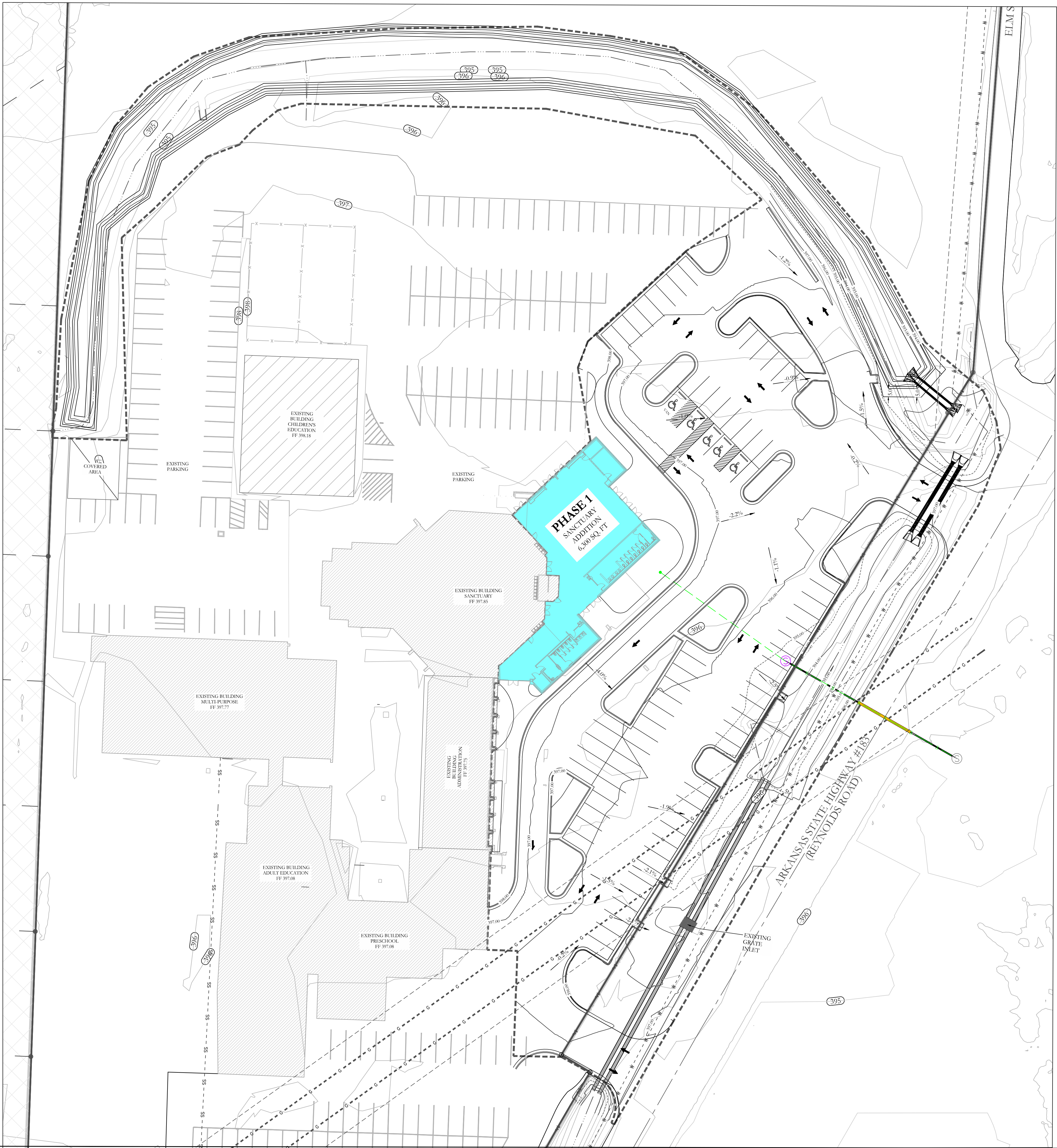
LEGEND			
	COMPUTED POINT		FIRE HYDRANT
	FOUND MONUMENT		WATER VALVE
	SET 1/2" REBAR		POWER POLE
	MEASURED		STORM DRAIN/MANHOLE
	PLAT/DEED		GAS METER
	WATER METER		TELEPHONE PEDESTAL
	SEWER MANHOLE		SANITARY SEWER LINE
	OHP OVERHEAD POWER LINE		TELEPHONE LINE
	12" WATER LINE		8" WATER LINE
	MISC FENCE LINE		GRASS
	CONCRETE		B.S.L. = BUILDING SETBACK LINE
	P.L.S. = PERIMETER LANDSCAPE SETBACK		

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FOR USE AND BENEFIT OF: FIRST SOUTHERN BAPTIST CHURCH OF BRYANT			
FSCB EXPANSION & REMODEL PHASE 1			
SEWER PLAN & PROFILE 604 S REYNOLDS ROAD BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 09-04-2024	C.A.D. BY:	DRAWING NUMBER:	
REVISED:	CHECKED BY:	24-0260	
SHEET: C-3.0	SCALE:		
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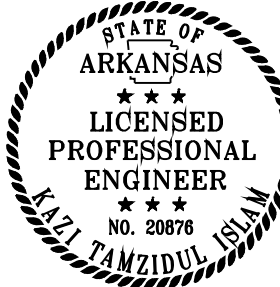


- GRADING PLAN NOTES**
- DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
 - SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS.
 - CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR.
 - FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY.
 - THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW TO 3% ABOVE THE OPTIMUM MOISTURE CONTENT.
 - SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
 - ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION.

LEGEND

EXISTING CONTOUR LINE - - - - - 363 - - - - -
PROPOSED CONTOUR LINE ————— 363 —————

N
BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE
BY GIS OBSERVATION



VICINITY MAP:



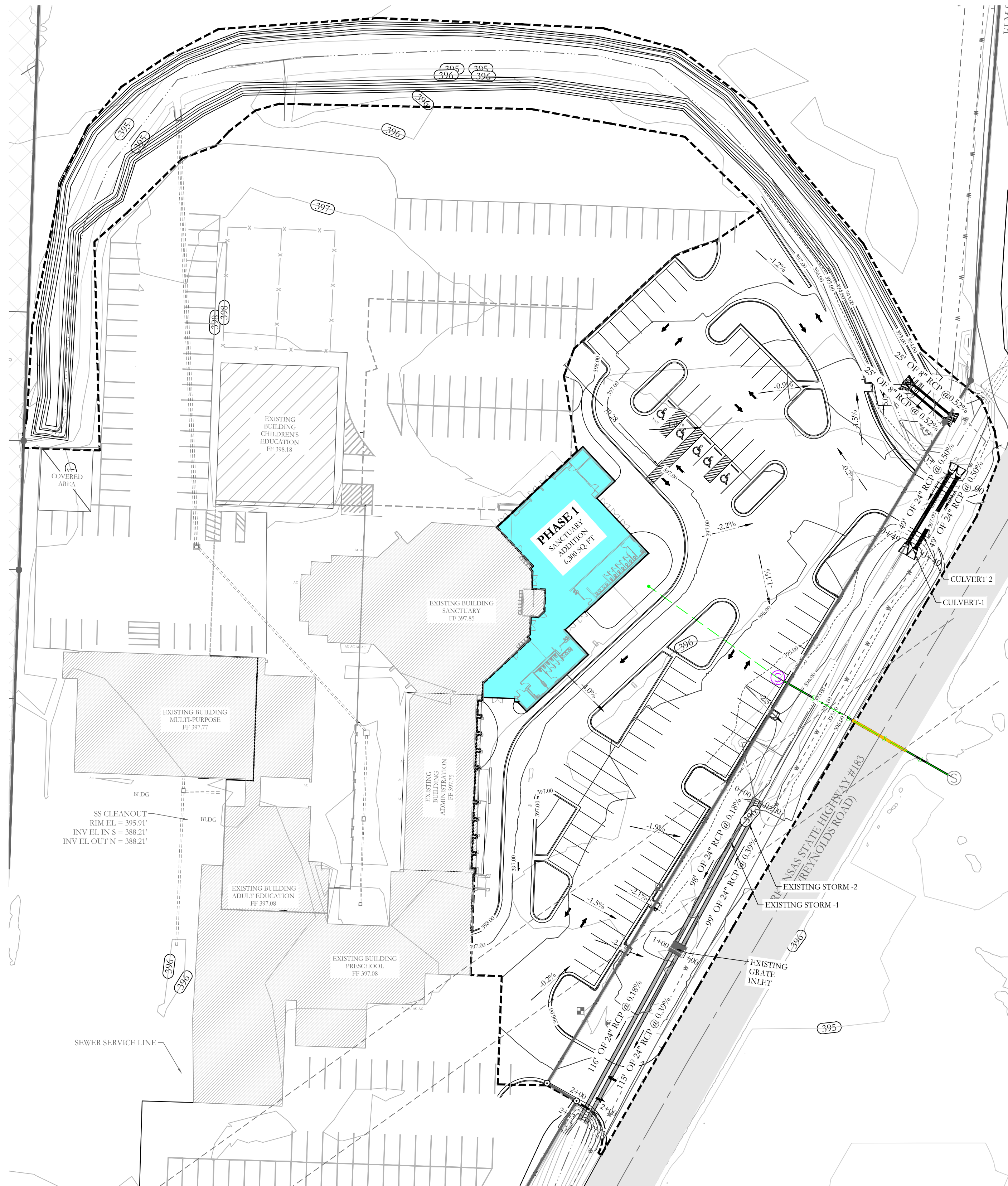
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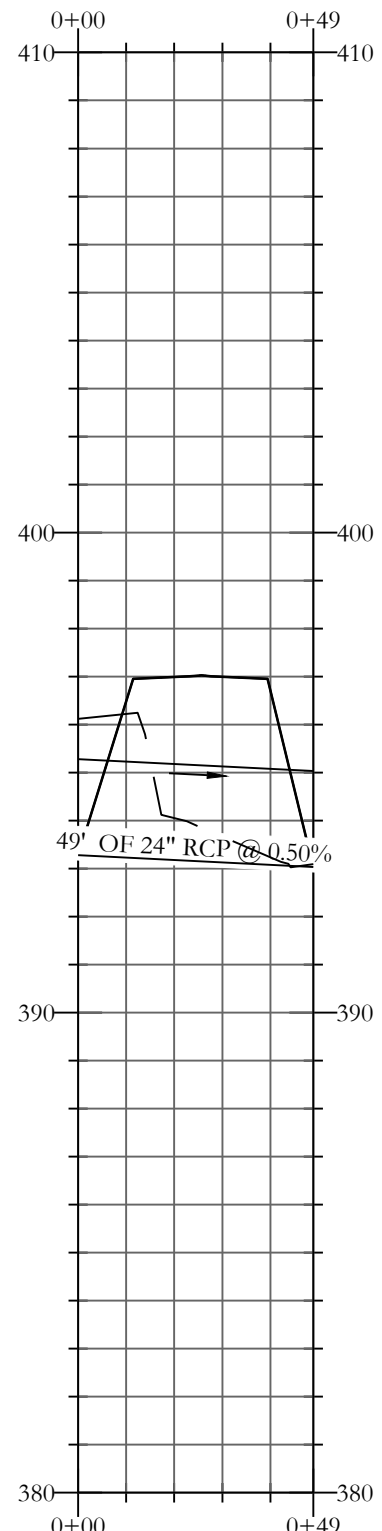
FOR USE AND BENEFIT OF:
FIRST SOUTHERN BAPTIST CHURCH OF BRYANT

FSCB EXPANSION & REMODEL PHASE 1
GRADING PLAN
604 S REYNOLDS ROAD
BRYANT, SALINE COUNTY, ARKANSAS

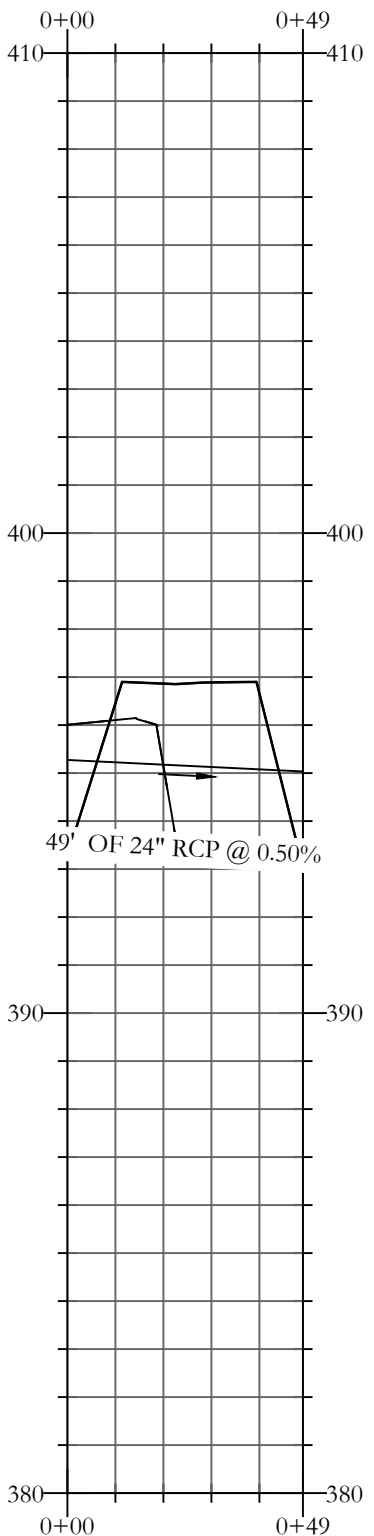
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REVISED:		CHECKED BY:		24-0260
SHEET:	C-4.0	SCALE:		
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310	62	1664		



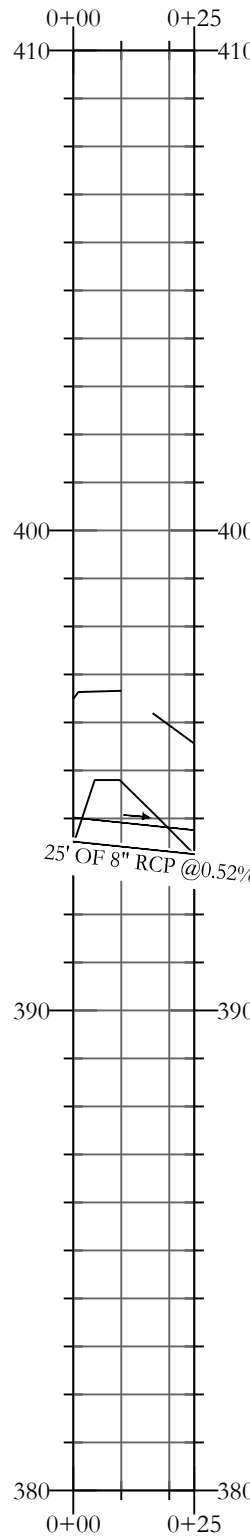
CULVERT-1 PROFILE



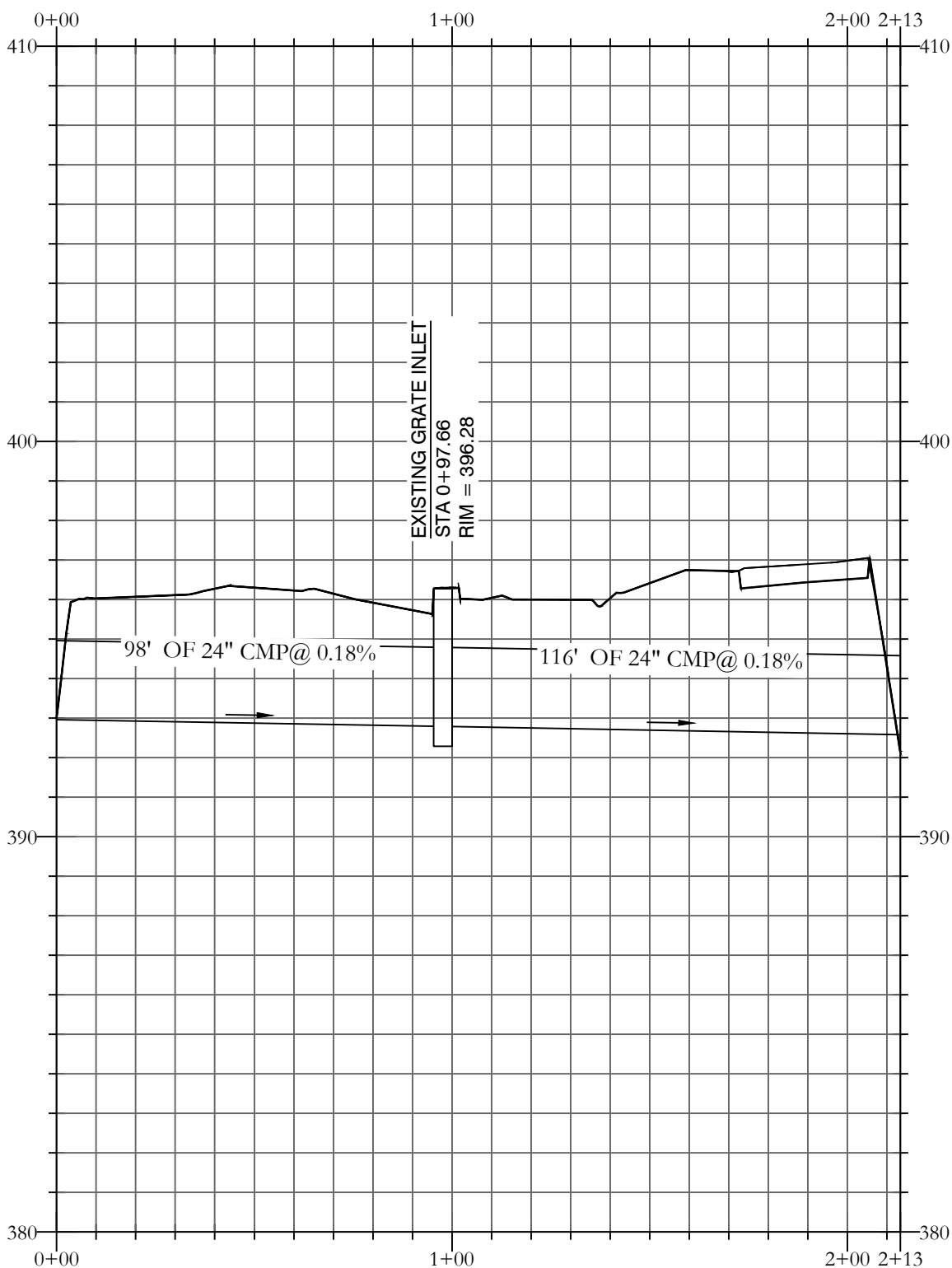
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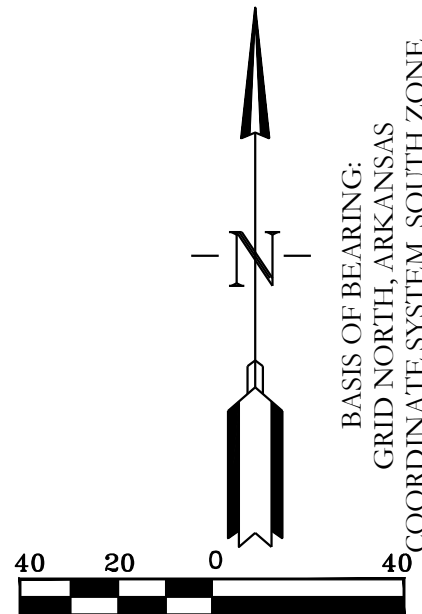
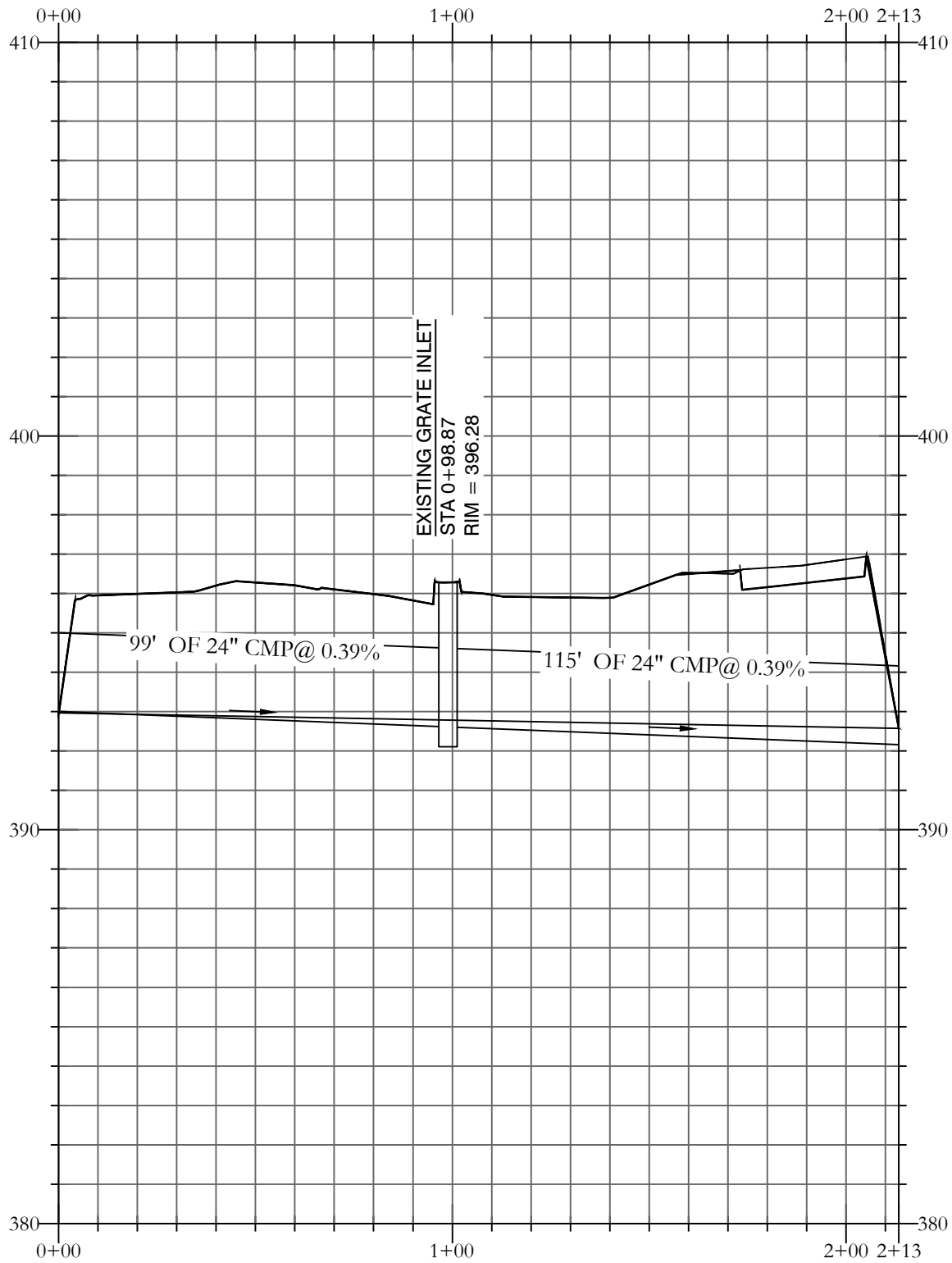
OUTLET PROFILE



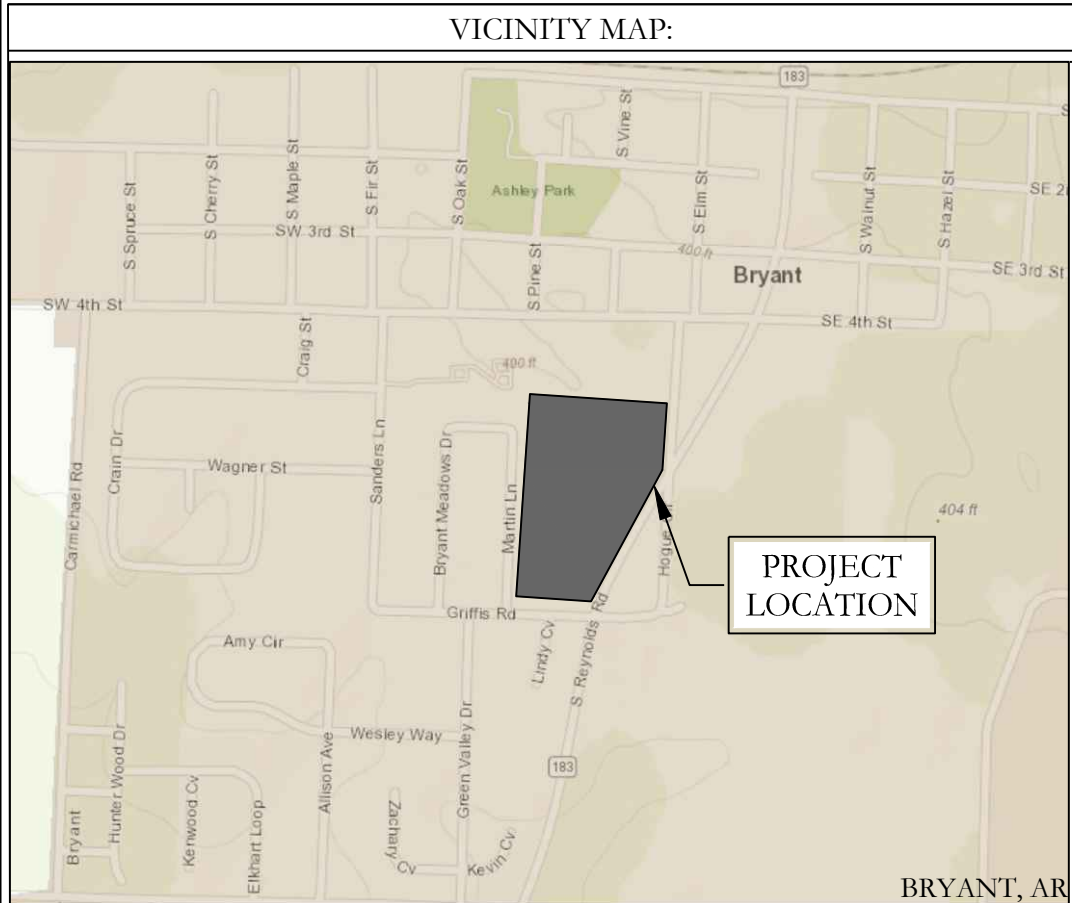
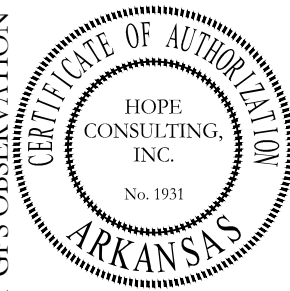
EXISTING STORM-1 PROFILE



EXISTING STORM-2 PROFILE

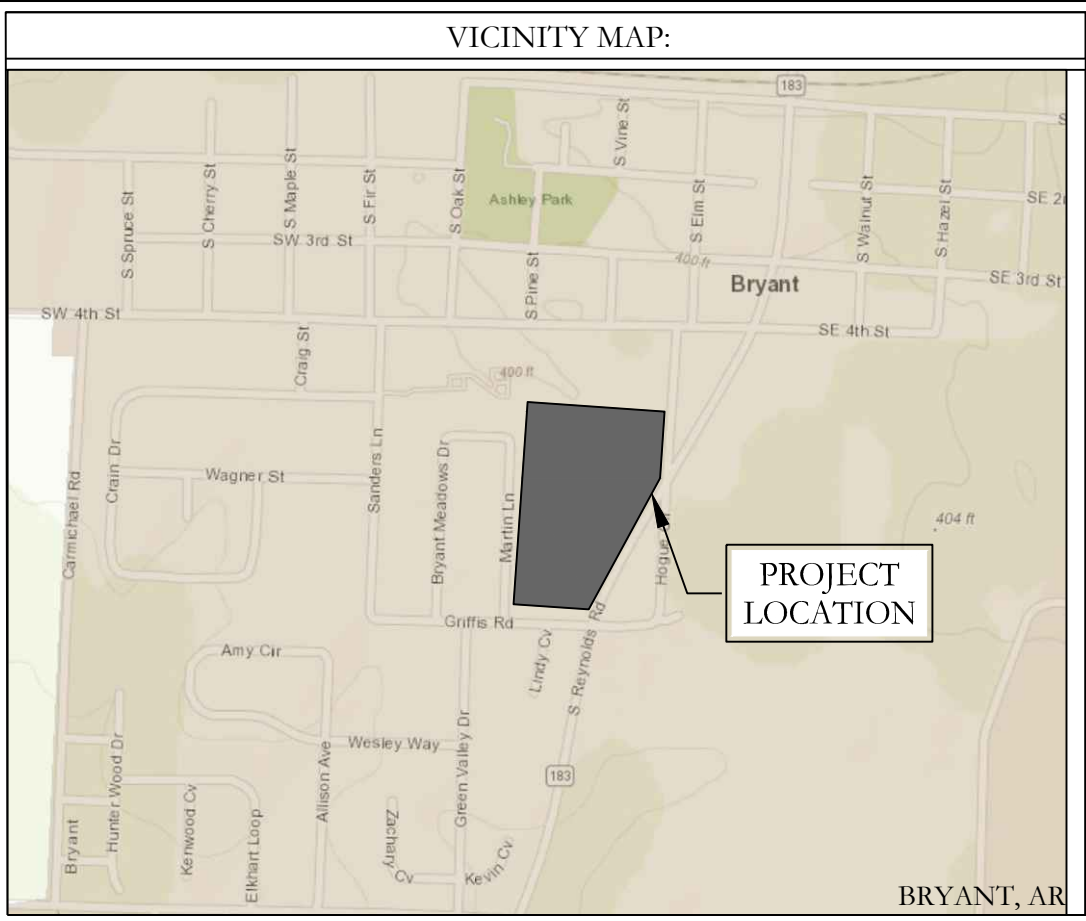
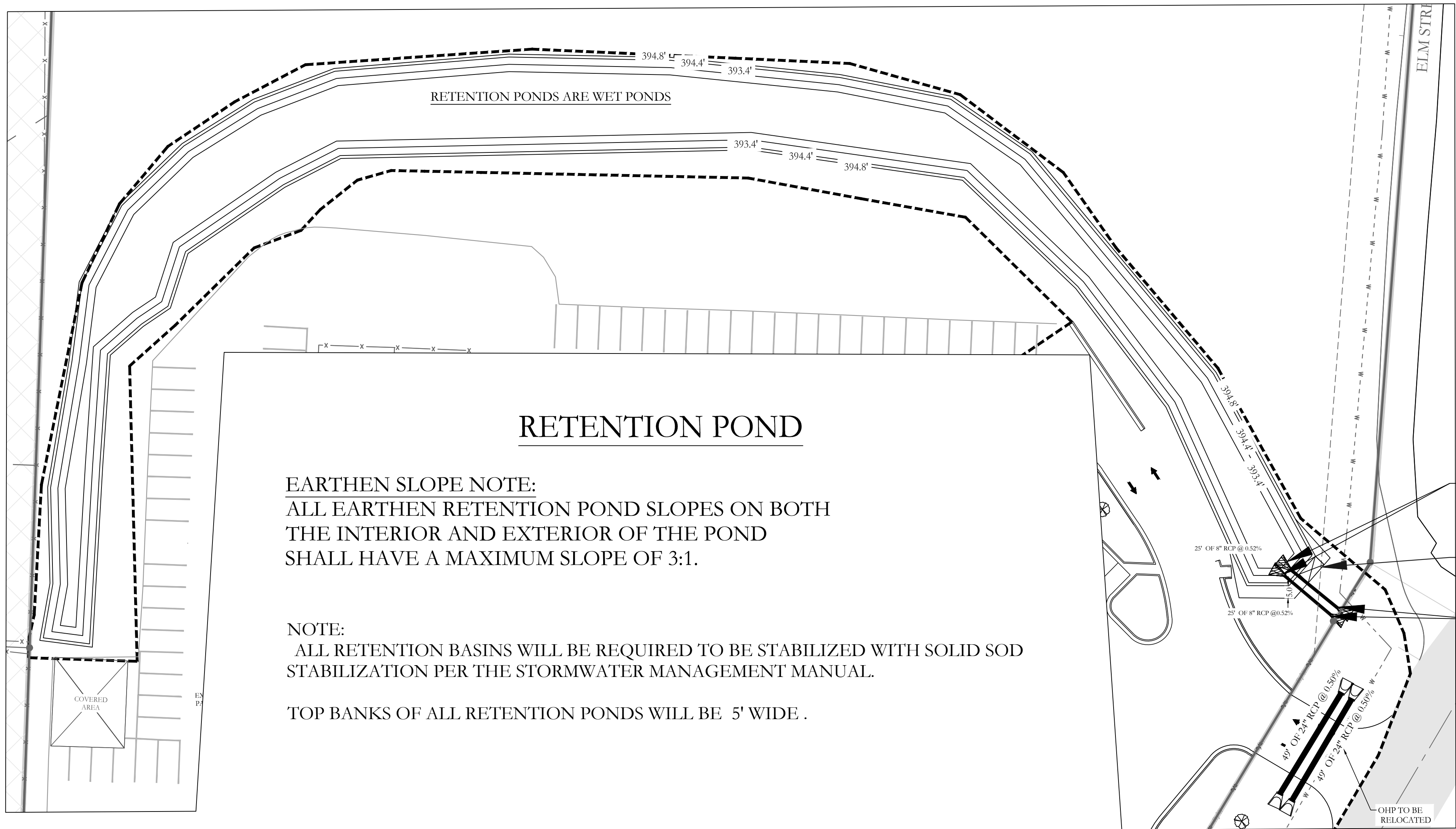


BASIS OF BEARING:
GRID NORTH ARKANSAS
COORDINATE SYSTEM WITH ZONE
BY GPS OBSERVATION



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Benton, Arkansas 72015
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FOR USE AND BENEFIT OF: FIRST SOUTHERN BAPTIST CHURCH OF BRYANT			
FSCB EXPANSION & REMODEL PHASE I			
STORM DRAINAGE & PROFILE			
604 S REYNOLDS ROAD BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	9/4/2024	C.A.D. BY:	DRAWING NUMBER: 24-0260
REVISED:		CHECKED BY:	
SHEET:	C-5.0	SCALE:	
500	01S	14W	0
		34	310
		62	1664



DETENTION POND MAINTENANCE PLAN

Background

The Retention ponds are located on the periphery of the subdivision.They are designed to temporarily detain stormwater to meet water quantity criteria before discharging off the property.

Routine Maintenance:

The property owners association will maintain the drainage easements . Routine maintenance will include but not be limited to:

-Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.

-The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.

-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.

-Inspect the pond and outlet pipe for non-routine maintenance need.

Periodic or Non-Routine Maintenance

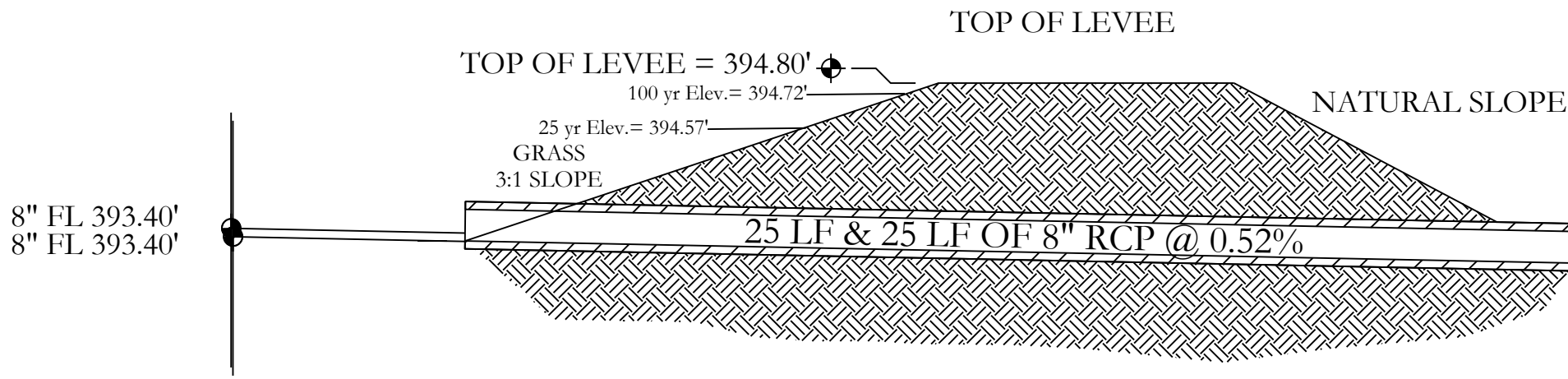
The routine inspection of the ponds areas and discharge pipes will identify needed repairs and non-routine maintenance. These items may include but not be limited to:

-Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.

-Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.

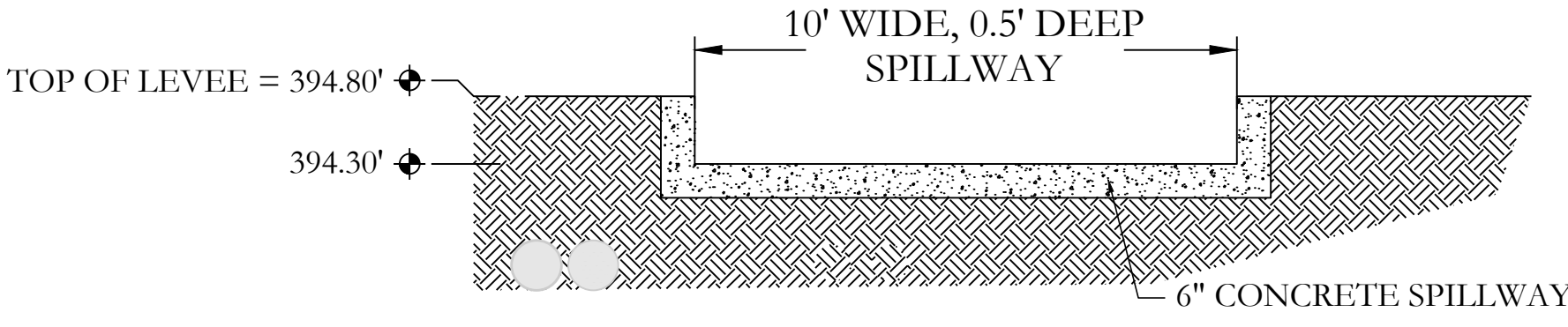
-Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.

-Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.

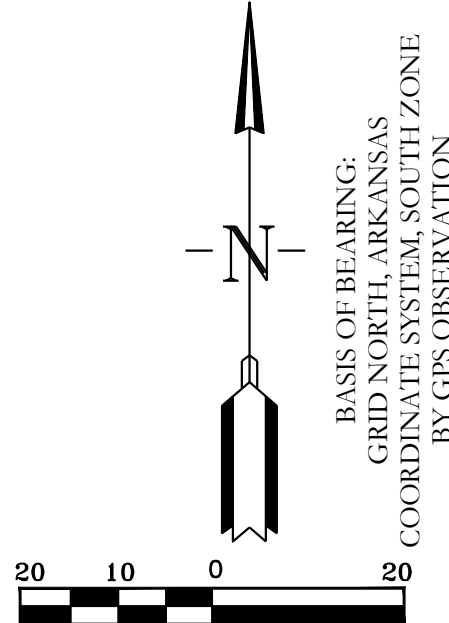


OUTLET SECTION
NTS

RETENTION POND



SPILLWAY END VIEW
NTS



HOPE
CONSULTING
ENGINEERS - SURVEYORS

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Benton, Arkansas 72015
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FOR USE AND BENEFIT OF:
FIRST SOUTHERN BAPTIST CHURCH OF BRYANT

FSCB EXPANSION & REMODEL PHASE 1
RETENTION POND
604 S REYNOLDS ROAD
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/4/2024	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	24-0260
SHEET: C-6.0	SCALE:	

500	01S	14W	0	34	310	62	1664
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S:\LAND PROJECTS\2004\COMMERCIAL\2004-24-0260 FSCB EXPANSION AND REMODEL\CIVIL\DWG\24-0260 FSCB EXPANSION & REMODEL_DRAINAGE.CALCS (8.27.2024).DWG

TREE LEGENDS

COMMON NAME:	BOTANICAL NAME:	QTY.:
SHRUBS:		
NANDINA	NANDINA DOMESTICA	31
TREES:		
AMERICAN HOLLY TREE	ILEX OPACA	10
SOD (INCLUDES MULCH BEDS)		
BERMUDA		
MULCH BEDS (OPTIONAL) PLANTER/FLOWER BED		

CITY PLATING REQUIREMENTS:

SECTION IV: MINIMUM LANDSCAPING CRITERIA

	Residential Subdivision	C-1	C-2	PUD
Trees	N/A	1 each 1/3 acre or Fraction	1 each ½ acre or Fraction	X*
Evergreens	N/A	1/ 2,000 Sq. Ft.	1/ 2,000 Sq. Ft.	X*
Bedding Plants or Ground Cover in Containment	Primary Entrance must be Landscaped	100 Sq. Ft. Minimum	100 Sq. Ft. Minimum	X*
Lawn (Grass)	N/A	Options	Options	X*
Open Space Natural or Landscaping	100 Sq. Ft./Lot	N/A	N/A	X*

* Landscape design must be approved

- No Planting within 5 feet of a fire hydrant.
- Spacing will be 40' between trees.
- Tree must be a minimum 3" in diameter @ the base and 12'+ tall.
- Existing trees meeting the minimum size can be counted to meet the criteria.
- No trees can be planted within thirty-foot (30') of a property corner or driveway.
- Shrubs along street fight-of-way lines cannot exceed thirty inches (30") in height.
- Separations noted in the zoning regulations must be bermed or screened with landscaping and ground cover or grass.

City of Bryant Landscaping Ordinance # 2000-07

Page 4 of 8

The following list of shrubs, are those which have been found to be best suited to this area and yet requiring the least amount of maintenance. This list, along with the secondary list, are those shrubs which may be planted in the required landscape area. Additional selective shrubs may be substituted when proven to be hearty in this region.

1. Primary List:

COMMON NAME
Evergreen Hollies
Nandina

SCIENTIFIC NAME
Ilex species
Nandina domestica

2.

Secondary List:

COMMON NAME
Abelia
Boxwood
Chinese Photinia

SCIENTIFIC NAME
Abelia grandiflora
Buxus sempervirens
Photinia serrulata

Note: Secondary listed shrubs require increased maintenance

D. Grasses

1. The following grasses may be used to comply with this ordinance:

Mayer Z-52
Bermuda Grass
Centipede
Fescue

Zoysia
Bermuda Grass hybrids
St. Augustine

2. The Grasses listed in subsection (1) above are the more commonly used grasses adjacent to vehicular use areas.

E. Ground Covers

1. The following primary list of ground covers are recommended for use to comply with this ordinance.

COMMON NAME
DwarfNandina
Junipers
Liriope
Memorial Rose
Mondo Grass
Periwinkle
Spreading Euonymus

SCIENTIFIC NAME
N. domestica "Harbour Dwarf"
Juniperus species
Liriope Muscari
Rosa Wichuralana
Ophiopogon japonicus
Vinca minor
E. fortunei "Radicans"

City of Bryant Landscaping Ordinance # 2000-07

Page 6 of 8

2. Secondary List: (This list can be used but must be confined to a bed.)

COMMON NAME
Carolina Jessamine
Dwarf Bamboo
English Ivy
Honeysuckle

SCIENTIFIC NAME
Gelsemium sempervirens
Arundinaria pygmaea
Hedera Helix
Lonicera sempervirens

SECTION VI MAINTENANCE

- A. The developer, his successor and the property owner shall be responsible for regular weeding, irrigating, fertilizing, pruning and other maintenance of all planting on private property of a development. Plant materials which are installed for compliance with this ordinance, both on private property and the public right-of-way, which exhibit evidence of insect pests, disease and/or damage, shall be appropriately treated and dead plant materials shall be replaced.
- B. The owner of land abutting a constructed public right-of-way shall be responsible for the tree planting strip lying between the private property line and the curbline or backslope line and shall be required to regularly weed, mow, prune and maintain plantings in compliance with good horticultural practices.
- C. If the owner of land thus situated as in (2) above, neglects or refuses to maintain the areas as proscribed, after having been given ten (10) days notice in writing to maintain by the City, the owner shall be guilty of a misdemeanor.

SECTION VII PLANNING COMMISSION APPROVAL

The City of Bryant Planning Commission will review and act on all landscaping proposals at the time building plans are submitted and in the case of subdivision at the preliminary plat submittal.

A certificate of occupancy will not be issued for a commercial establishment nor will the final subdivision plat be approved until landscaping requirements are satisfied.

SECTION VIII ENFORCEMENT

The code enforcement officer of the City of Bryant will enforce this ordinance and issue citations as authorized by law.

The following list of shrubs, are those which have been found to be best suited to this area and yet requiring the least amount of maintenance. This list, along with the secondary list, are those shrubs which may be planted in the required landscape area. Additional selective shrubs may be substituted when proven to be hearty in this region.

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E. Ground Covers

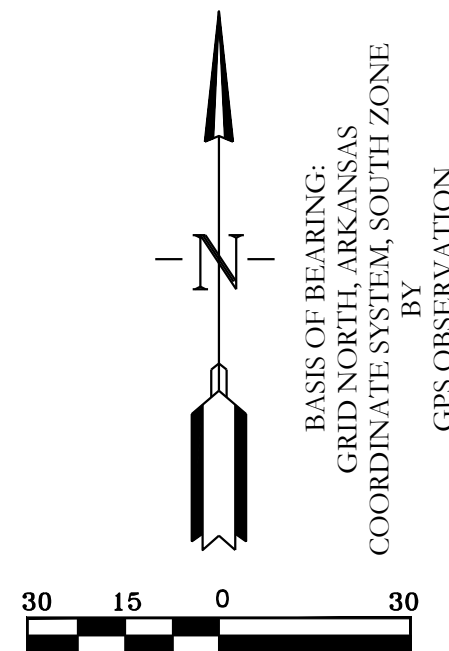
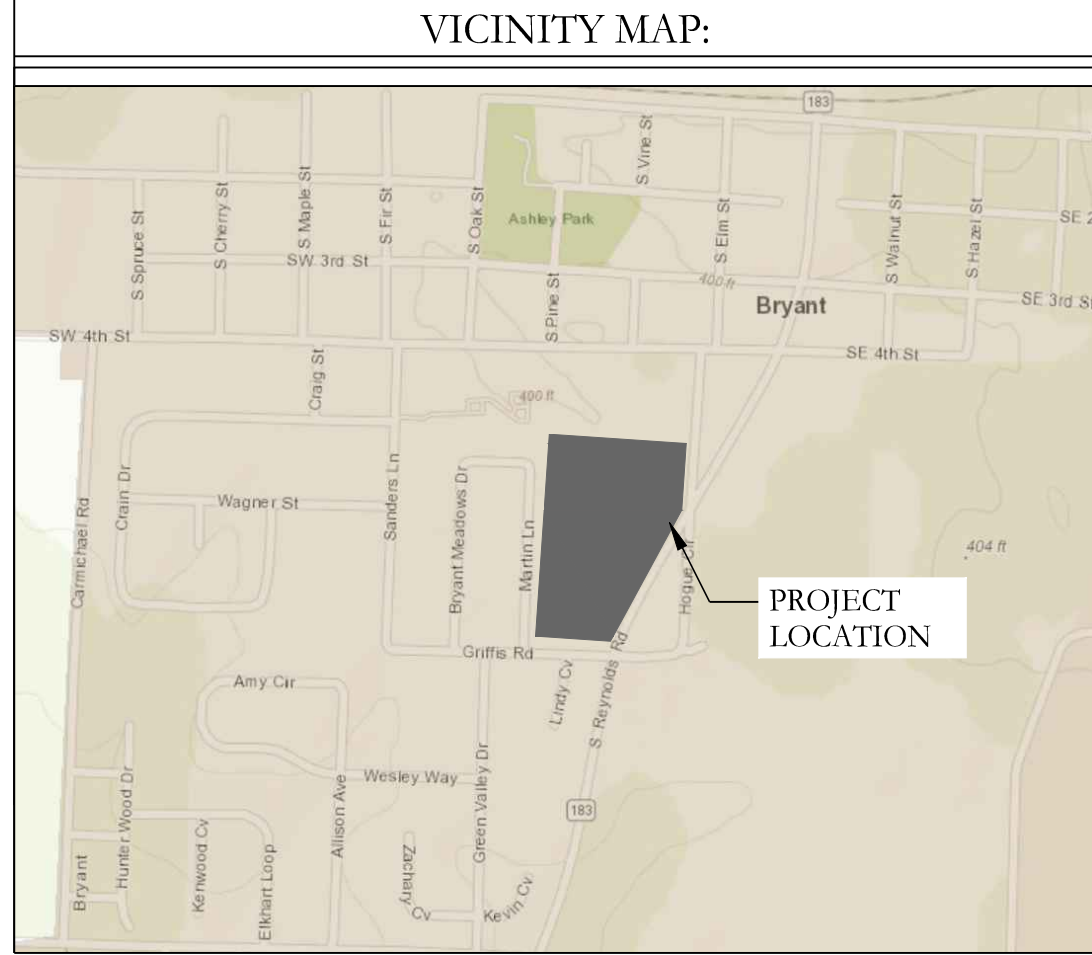
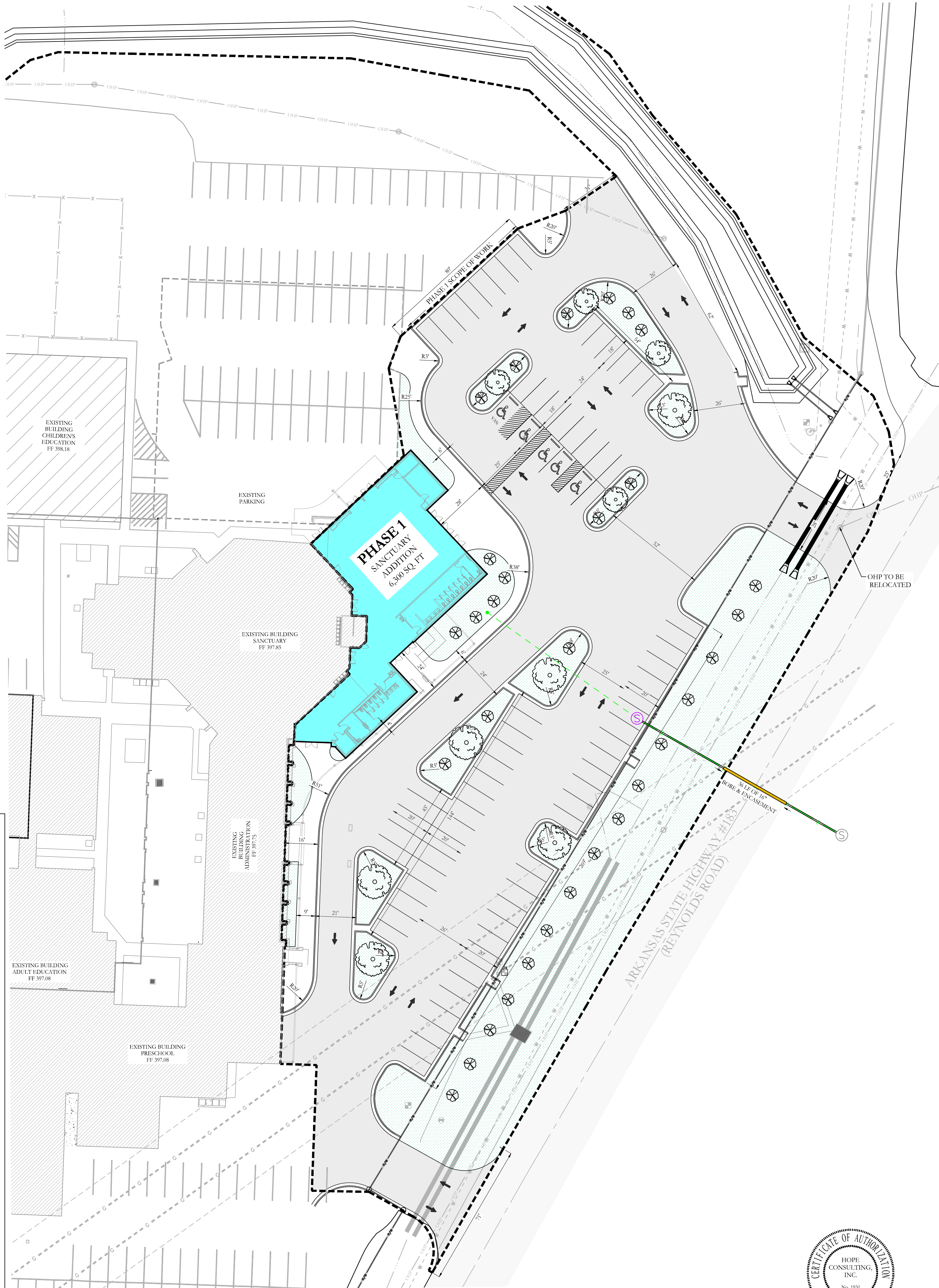
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Spreading Euonymus

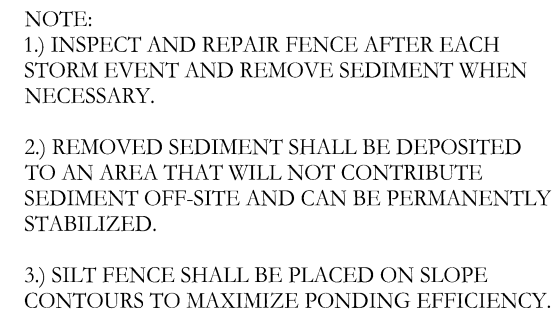
SCIENTIFIC NAME
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Rosa Wichuralana
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E. fortunei "Radicans"

City of Bryant Landscaping Ordinance # 2000-07

Page 6 of 8



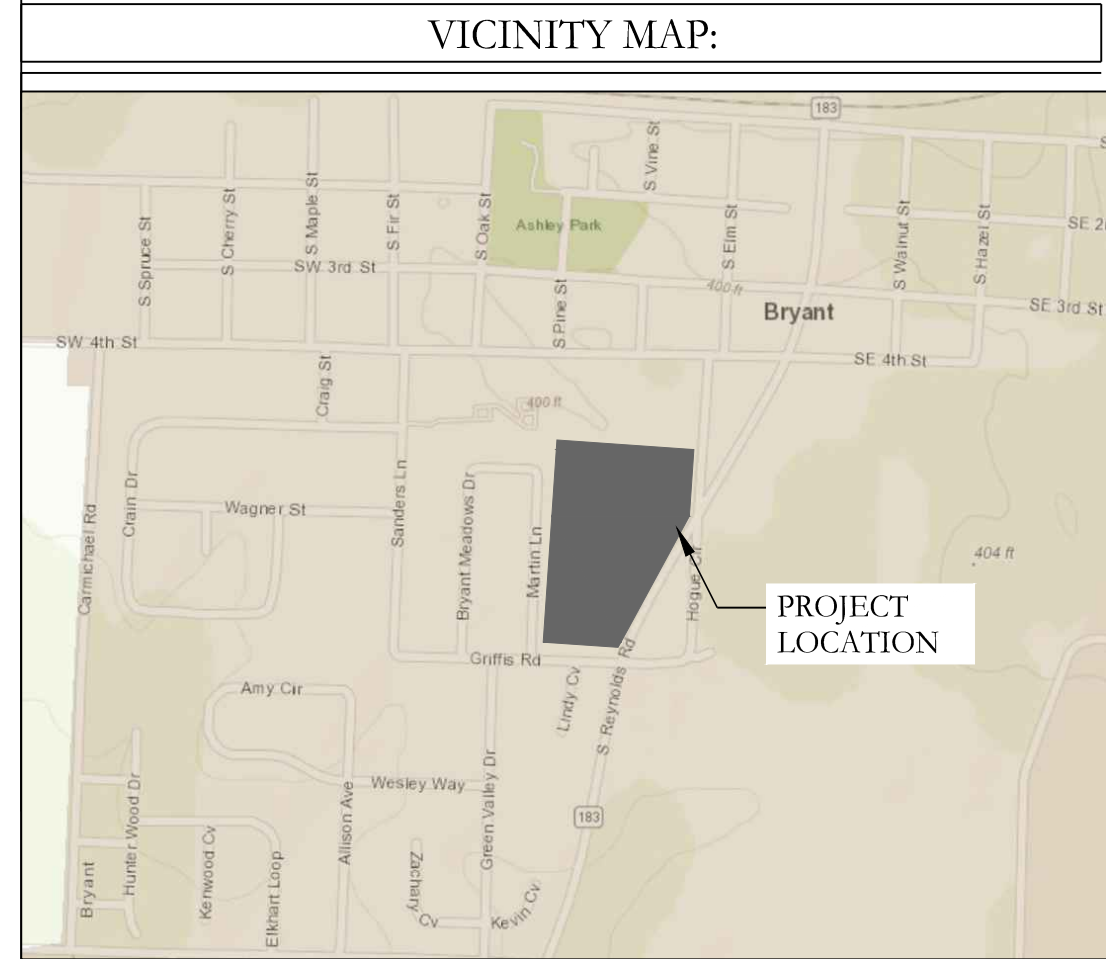
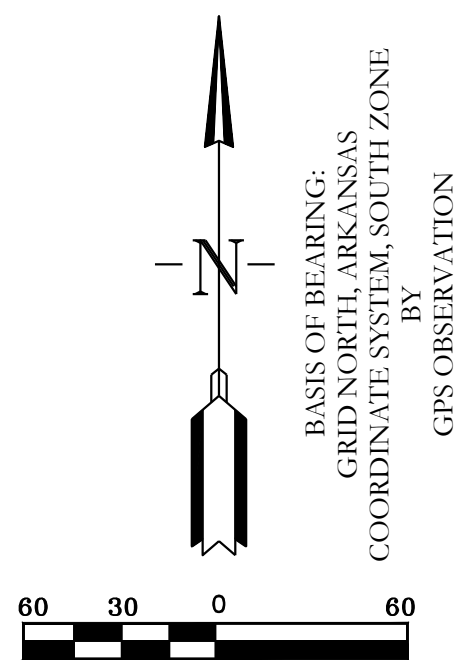
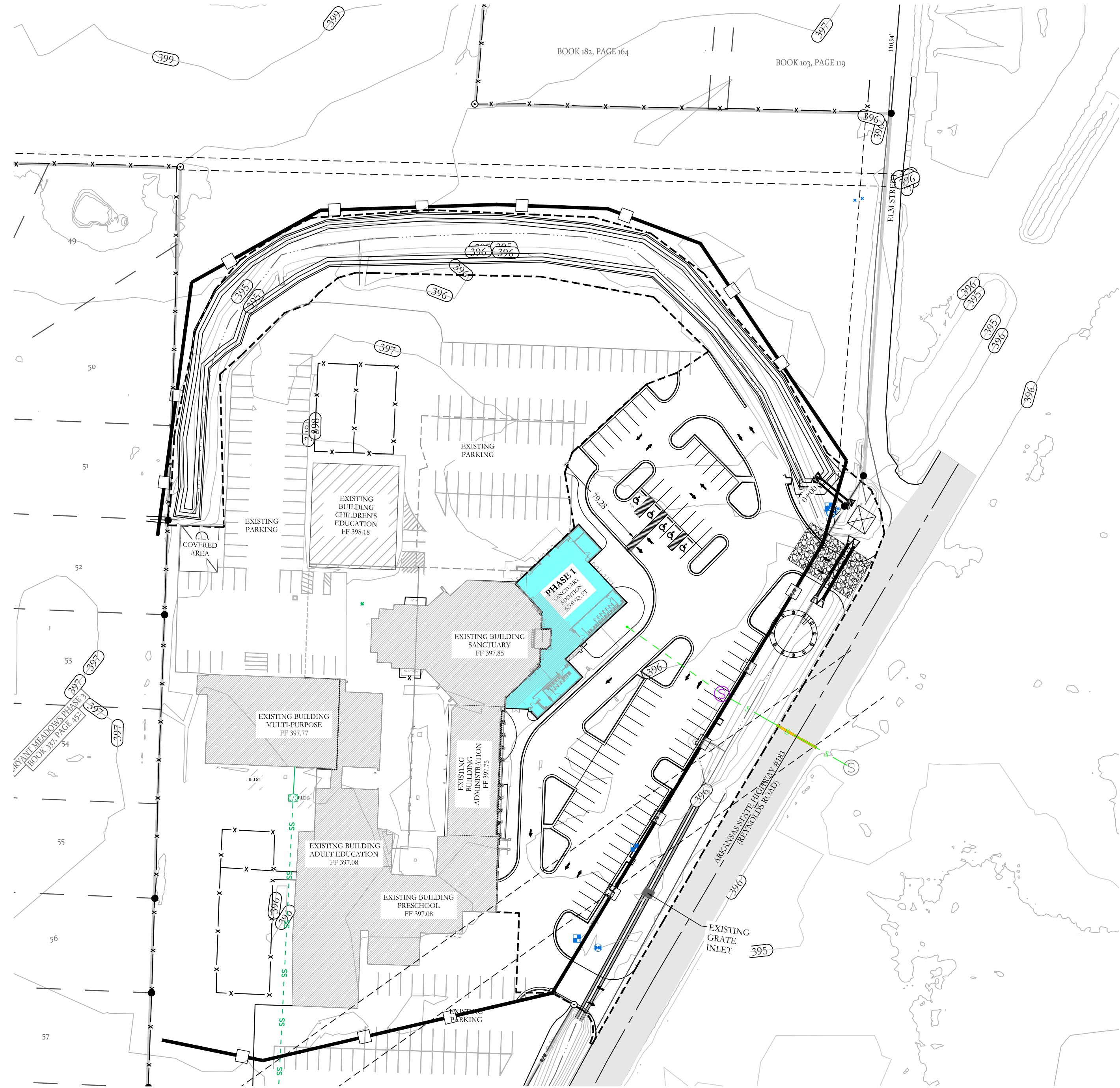
HOPE CONSULTING ENGINEERS - SURVEYORS		129 N. Main Street, Benton, Arkansas 72015 PH. (501) 315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: FIRST SOUTHERN BAPTIST CHURCH OF BRYANT			
LANDSCAPE PLAN 604 S REYNOLDS ROAD BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	09-04-2024	C.A.D. BY:	B. JOHNSON
REVISID:		CHECKED BY:	
SHEET:	C-7.0	SCALE:	
500	01S	14W	0 34 310 62 1664




The diagram consists of two parts. The top part is a cross-section showing a channel with a central rock structure. Arrows indicate flow direction. A vertical dimension line on the left is labeled '2.0\''. The bottom part is a plan view looking upstream, showing the channel banks and the rock structure. A horizontal dimension line is labeled 'VARIES DEPENDING ON WIDTH OF CHANNEL'. Two points are marked on the structure: 'POINT A' at the left end and 'POINT B' at the right end. A label 'SPECIAL 18" MAX.' points to the rock structure. The entire diagram is labeled 'PLAN' at the bottom.

FRONT VIEW

The diagram shows the front view of the mailbox assembly. It consists of a vertical post with a mailbox at the top and a 'Construction Site Notice' sign below it. The mailbox is labeled 'Mailbox containing' and lists '1) SWPPP' and '2) Erosion Control Plan'. The sign is labeled 'Construction Site Notice'.



	129 N. Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com
---	--

FOR USE AND BENEFIT OF: FIRST SOUTHERN BAPTIST CHURCH OF BRYANT
FSCB EXPANSION & REMODEL PHASE 1 EROSION CONTROL PLAN 604 S REYNOLDS ROAD BRYANT, SALINE COUNTY, ARKANSAS

DATE:	09-04-2024	C.A.D. BY:	DRAWING NUMBER: 24-0260
REVISED:		CHECKED BY:	
SHEET:	C-8.0	SCALE:	

500	01S	14W	0	34	310	62	1664
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K:\LAND PROJECTS 2004\COMMERCIAL\2024\24-0260 FSCB EXPANSION AND REMODEL\CIVIL\DWG\24-0260-FSCB EXPANSION & REMODEL DRAINAGE.CALCS 08-27-2024_DWG



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 08/14*/2024

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON

Address 8525 DISTRIBUTION DR

City, State, Zip LITTLE ROCK AR 72209

Phone 501.562.3942

Email Address lora@arkansassign.com

Property Owner

Name BATH & BODY WORKS

Address 7341 ALCOA RD

City, State, Zip BRYANT AR 72002

Phone _____

Email Address _____

GENERAL INFORMATION

Name of Business BATH & BODY WORKS

Address/Location of sign 7341 ALCOA RD BRYANT AR 72002

Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

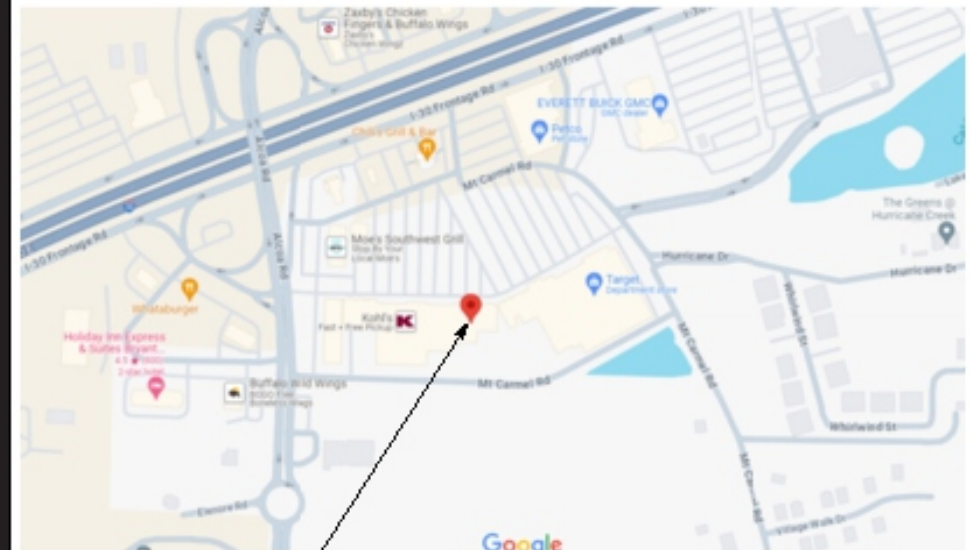
that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign SQ FT	Bottom of Sign	
		6'10 x 21'10	89.21 TOTAL			
A	WALL	7'8 X 24'8	191.15	22'8"	15'	
B				COSTS = 10000.00		
C						
E						
F						
G						

Bath & Body Works

STORE: 2899 | SPACE: 4B
ALCOA CROSSINGS
7341 ALCOA RD.
BRYANT, AR 72002



VICINITY MAP

N.T.S.

42N-A000-K00-NOTE

K
02-25-10

LEVEL 1 OF 1



BATH & BODY WORKS/WHITE BARN
SPACE # 4B

- ☒ FLOOR OUTLETS TO BE SLAB ON GRADE
- ☐ FLOOR OUTLETS TO BE POKE-THROUGH

KEY PLAN

N.T.S.

42N-A000-J00-NOTE

J
02-25-10



93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199



Bath & Body Works

STORE: 2899 | SPACE: 4B
ALCOA CROSSINGS
7341 ALCOA RD.
BRYANT, AR 72002

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!

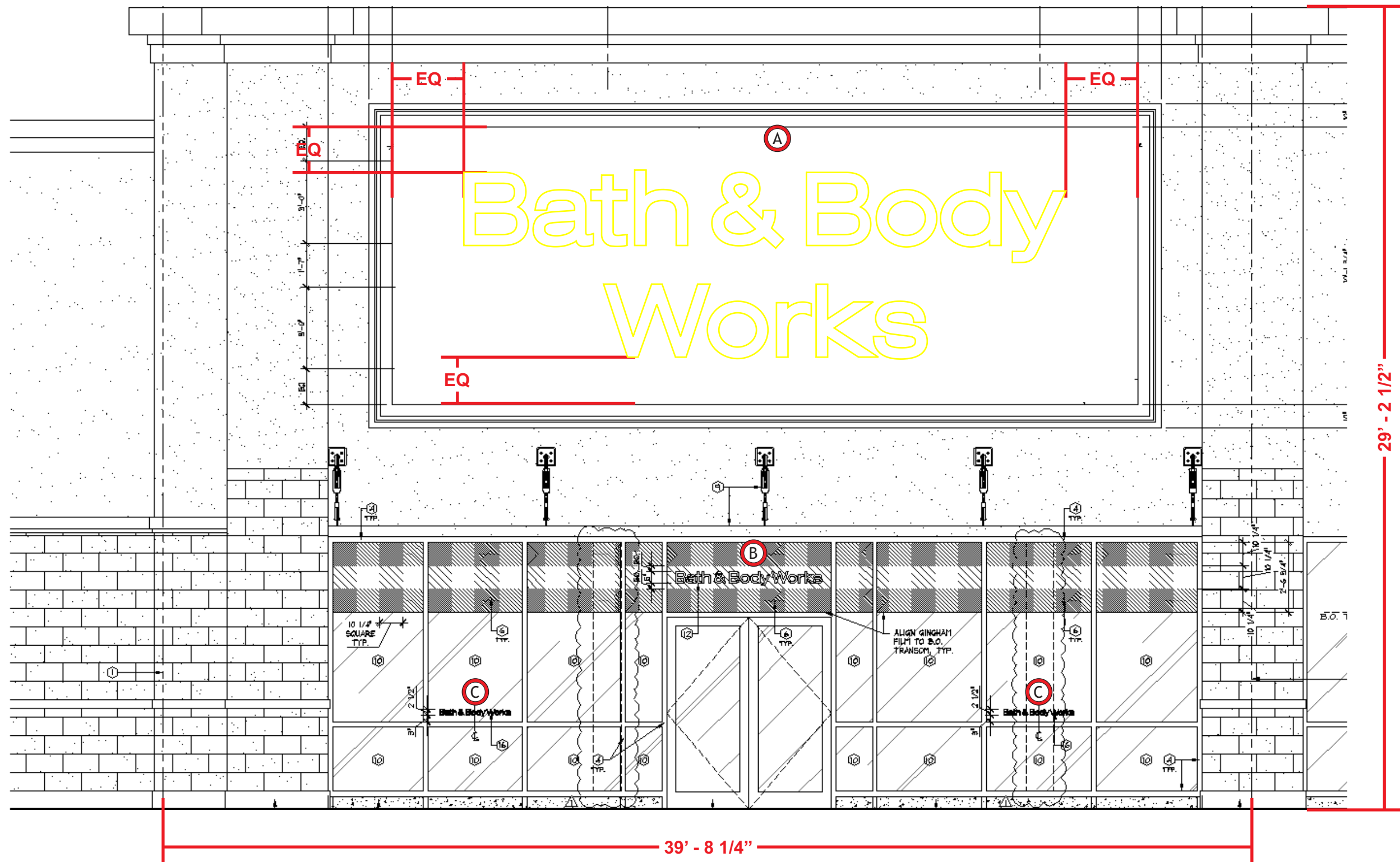


Submittal Date: 07/15/24
Plan Issue/Rev Date: _____
Acct Rep: Ashley Abney
Designer: Jaye Williams

REVISIONS

R1: _____ R6: _____
R2: _____ R7: _____
R3: _____ R8: _____
R4: _____ R9: _____
R5: _____ R10: _____

STOREFRONT - ELEVATION



93 Industry Drive
PO Box 349
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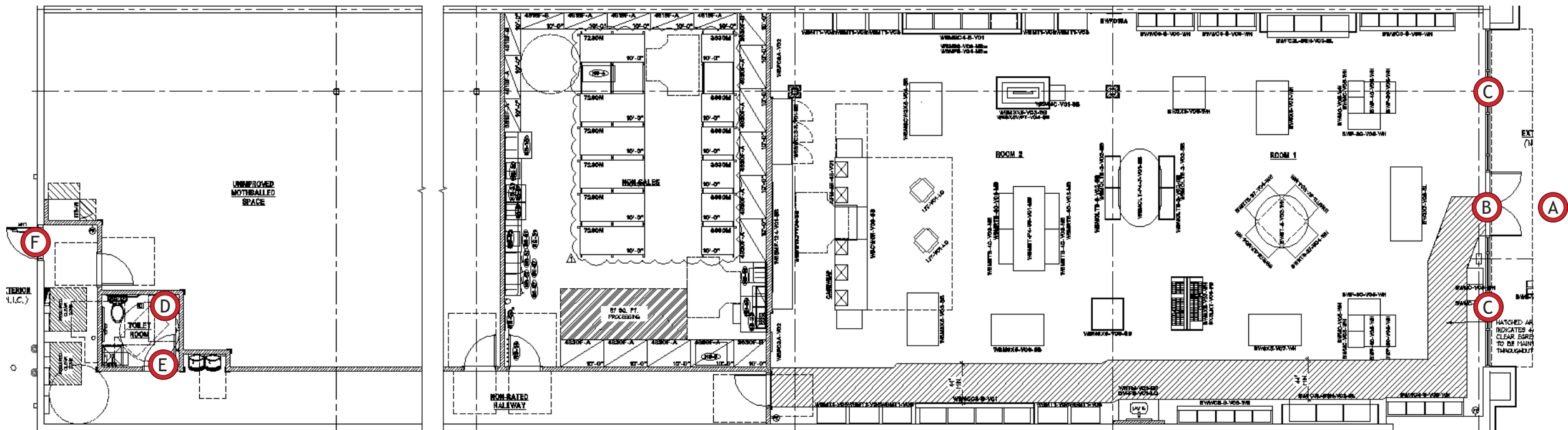
Submittal Date: 07/15/24
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REVISIONS

R1: _____	R6: _____
R2: _____	R7: _____
R3: _____	R8: _____
R4: _____	R9: _____
R5: _____	R10: _____

A BBW32FL 2L Qty - 1	B BBW5FCO GM Qty - 1	C BBW3V Qty - 2	D BBW NS V Qty - 1	E ADA AG RR PL BBW blue Qty - 1	F BBW PL18 Qty - 1
--------------------------------	--------------------------------	---------------------------	------------------------------	---	------------------------------

STORE PLAN VIEW



93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199



Bath & Body Works

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ALCOA CROSSINGS
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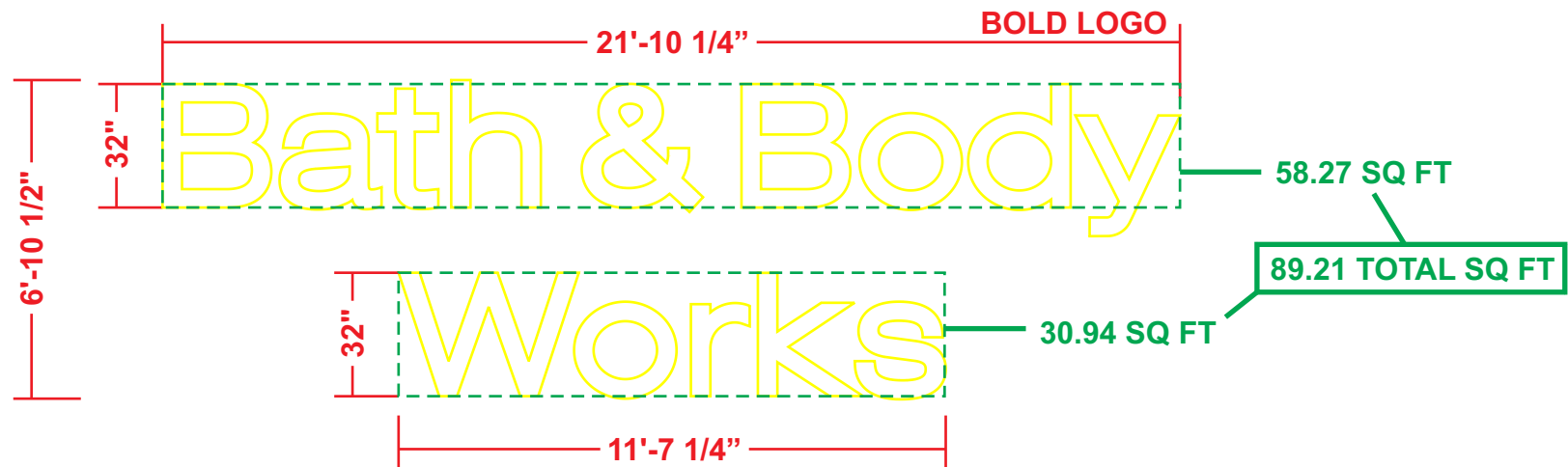
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R1: _____ R6: _____
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(A) BBW32FL 2L Qty - 1 (B) BBW5FCO GM Qty - 1 (C) BBW3V Qty - 2 (D) BBW NS V Qty - 1 (E) ADA AG RR PL BBW blue Qty - 1 (F) BBW PL18 Qty - 1

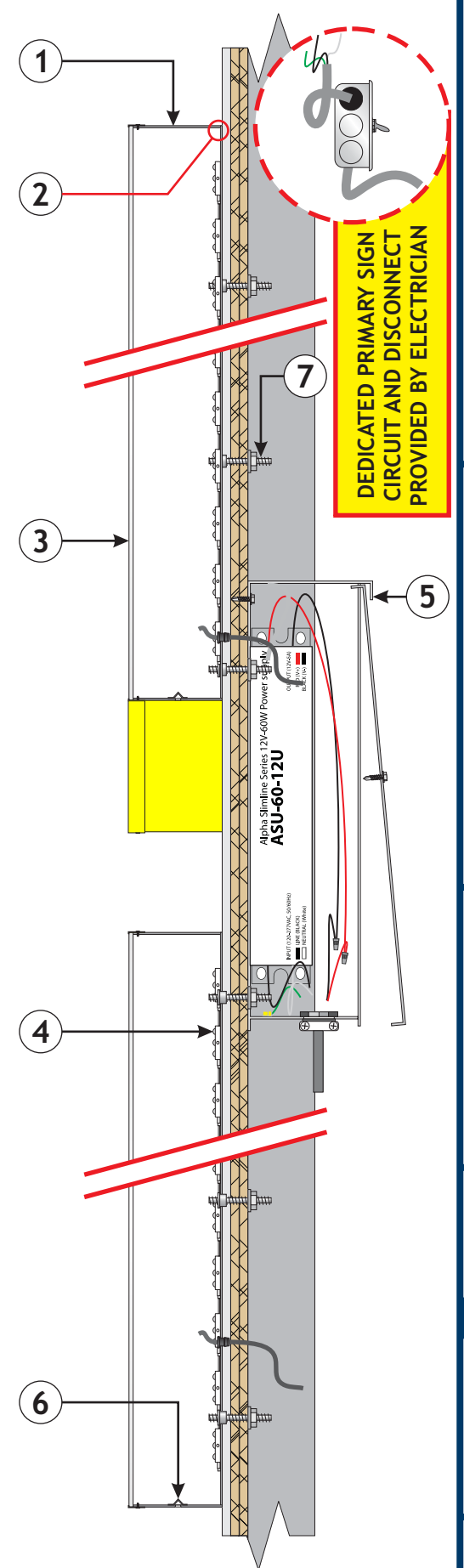
A FACE LIT ILLUM. CHANNEL LETTERS- ELEVATION
Scale: 1/4" - 1' - 0"



SIGN - DETAILS

- 1 5" DEEP ALUMINUM LETTERS WITH ROUTED ALUMINUM BACKS PAINTED TO MATCH SW PT-19 IT'S ALL ABOUT THE BLUE (UFN 1554796), INTERIOR SURFACES PAINTED HIGH GLOSS WHITE
- 2 LETTER RETURNS & BACKS ARE CAULKED TO ELIMINATE LIGHT LEAKS
- 3 3/16" THICK #7328 WHITE ACRYLIC LETTER FACES WITH 3/4" TRIM CAP SECURED TO LETTER WITH SELF TAPPING SCREW (TO MATCH RETURNS)
- 4 BITRO PLUS 6500K WHITE LED UNITS (PLACED END-TO-END) TO ILLUMINATE LETTERS
- 5 3/8" RIGID CONDUIT FOR LOW VOLTAGE PASS-THRU TO BITRO ASU-60-12U LED DRIVER (120-277 VOLT) CONTAINED IN **PAIGE 980054C SNAP 2 ENCLOSURE**
- 6 DRAIN HOLE IN BOTTOM OF LETTER RETURN WITH LIGHT COVER
- 7 LETTERS MOUNT FLUSH TO SURFACE WITH REQUIRED FASTENERS

FACE LIT ILLUM. CHANNEL LETTERS - SECTION



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Bath & Body Works

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BRYANT, AR 72002

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RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!



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Plan Issue/Rev Date: _____
Acct Rep: Ashley Abney
Designer: Jaye Williams

REVISIONS

R1: _____	R6: _____
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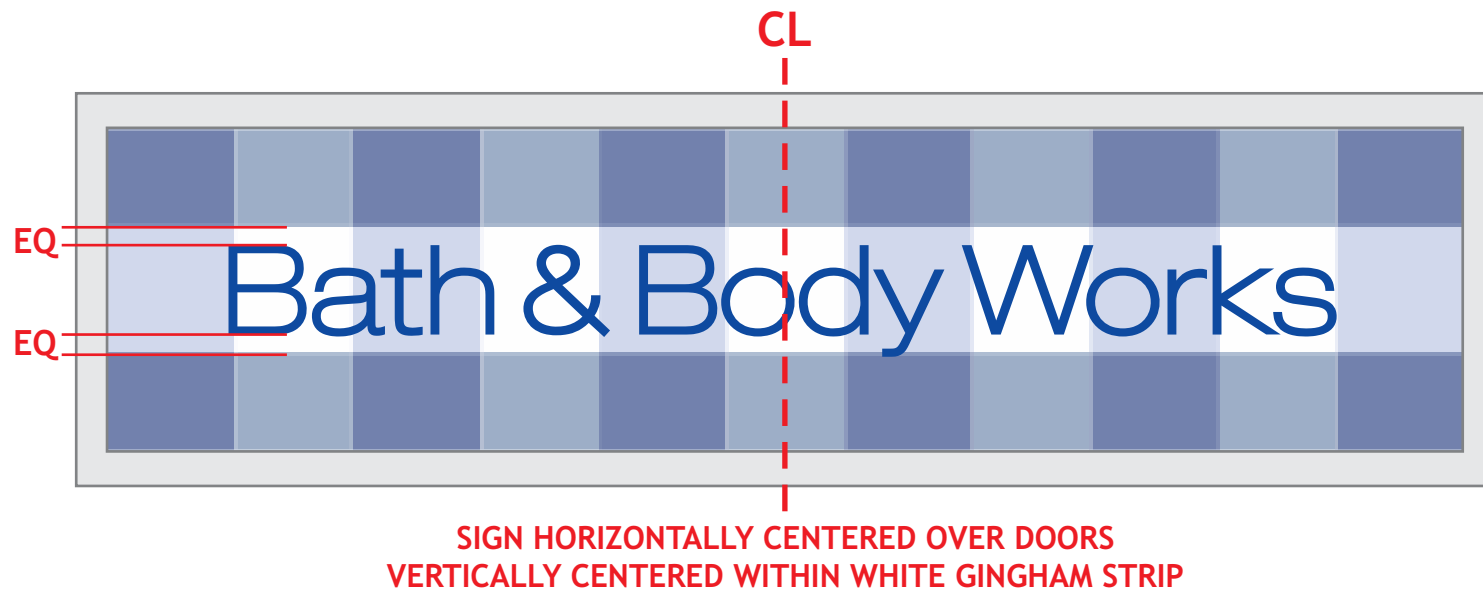
B NON-ILLUM. LETTERS - ELEVATION
Scale: 1 1/2" = 1' - 0"

5'-2" 2.14 SQ FT
NARROW LOGO
5" Bath & Body Works

SIGN - DETAILS

- 1 3/4" THICK, ROUTED ACRYLIC LETTERS PAINTED SW PT-19 IT'S ALL ABOUT THE BLUE (UFN 1554796)
- 2 LETTER ARE MOUNTED FLUSH TO STOREFRONT WITH DOUBLE SIDED TAPE AND SILICONE
- 3 STOREFRONT GLASS BY OTHERS

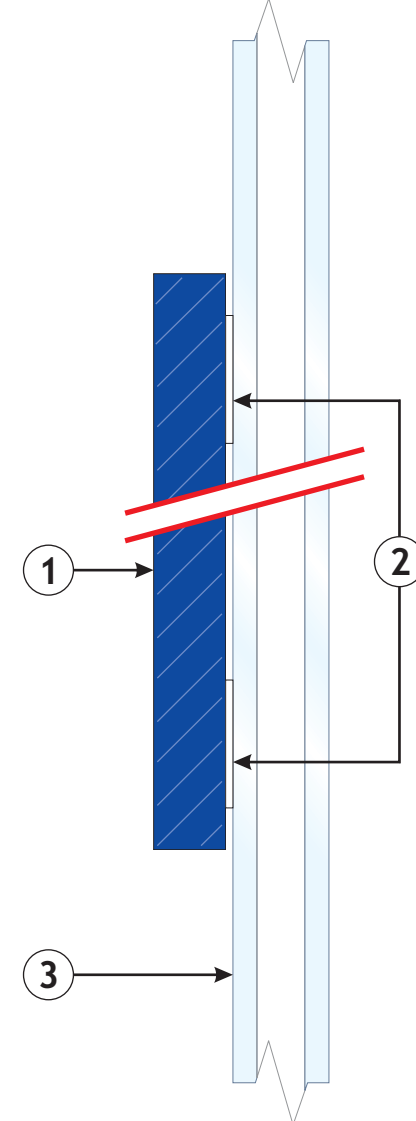
INSTALL - DETAILS



****INSTALLATION NOTE****

- GLASS TO BE THOROUGHLY CLEANED OF ANY DEBRIS PRIOR TO INSTALLATION.
- DOUBLE SIDED TAPE IS ONLY FOR SHORT TERM APPLICATION.
- SILICONE MUST BE APPLIED TO BACKSIDE OF LETTERS TO ENSURE PROPER ADHESION TO GLASS.

NON-ILLUM. LETTERS - SECTION
Scale: HALF



93 Industry Drive
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Bath & Body Works

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BRYANT, AR 72002

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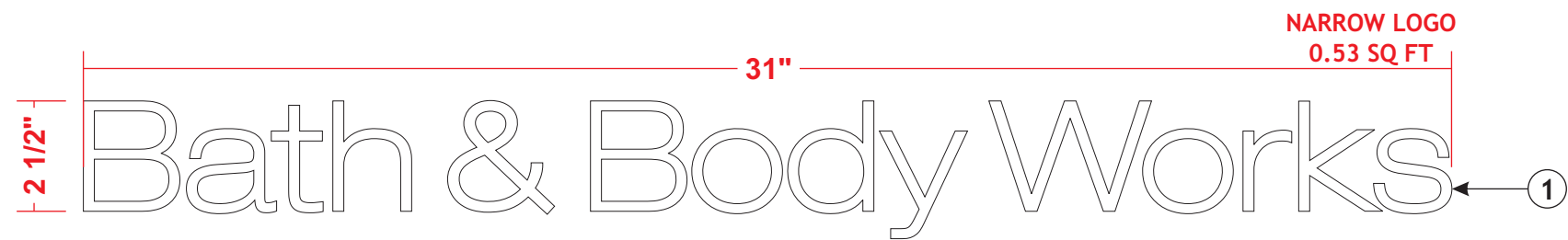
RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!



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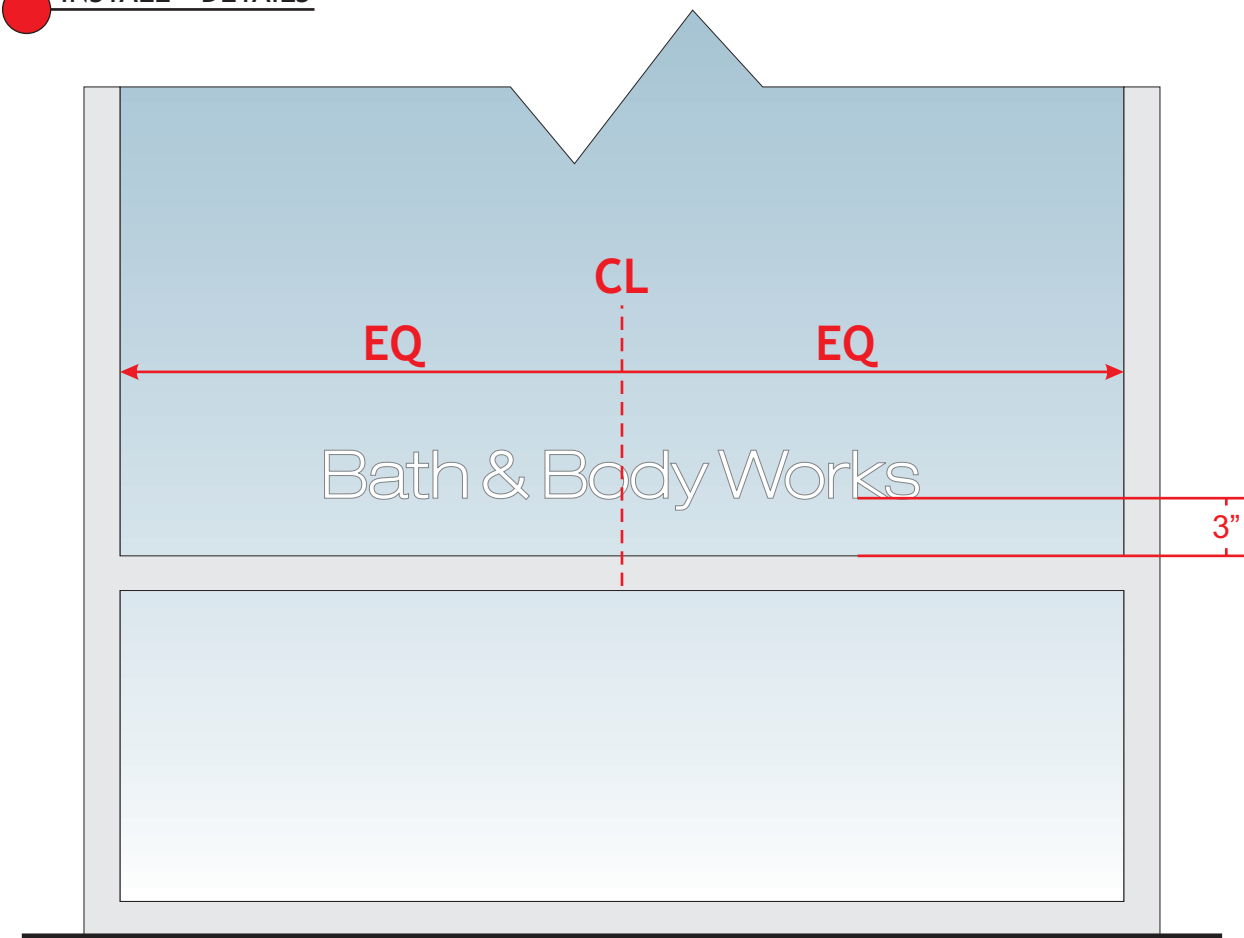
REVISIONS

R1: _____	R6: _____
R2: _____	R7: _____
R3: _____	R8: _____
R4: _____	R9: _____
R5: _____	R10: _____



●

INSTALL - DETAILS



●

SIGN - DETAILS

- 1
- REVERSE CUT, MATTE WHITE VINYL
-
- 2
- VINYL GRAPHIC IS INSTALLED ON THE INSIDE SURFACE OF STOREFRONT GLASS



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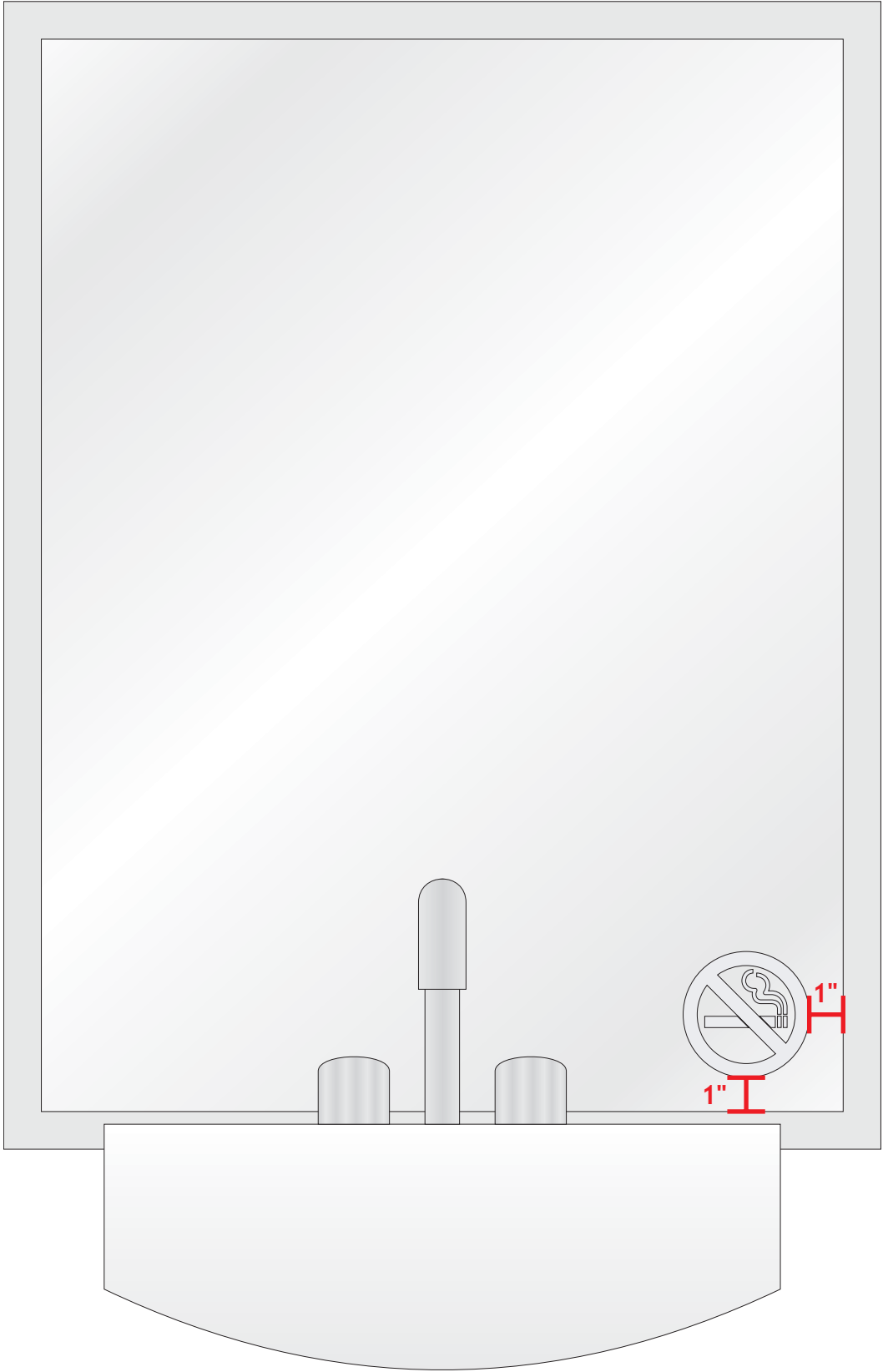
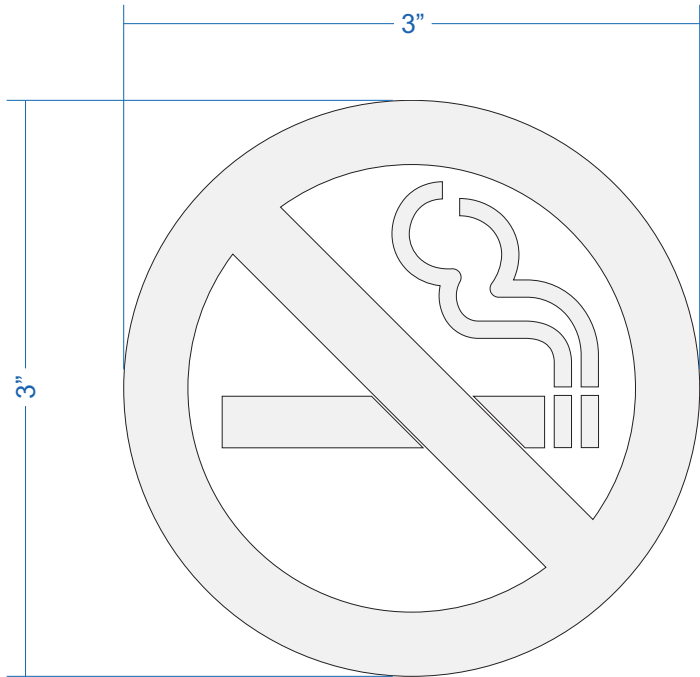
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Designer: Jaye Williams

REVISIONS

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R2:_____	R7:_____
R3:_____	R8:_____
R4:_____	R9:_____
R5:_____	R10:_____



SIGN - DETAILS

- 1 FORWARD CUT FROSTED VINYL APPLIED FIRST SURFACE OF MIRROR
- 2 VINYL APPLIED DIRECTLY TO FACE OF MIRROR AT BOTTOM RIGHT CORNER, 1" FROM BOTTOM AND RIGHT EDGES OF FRAME



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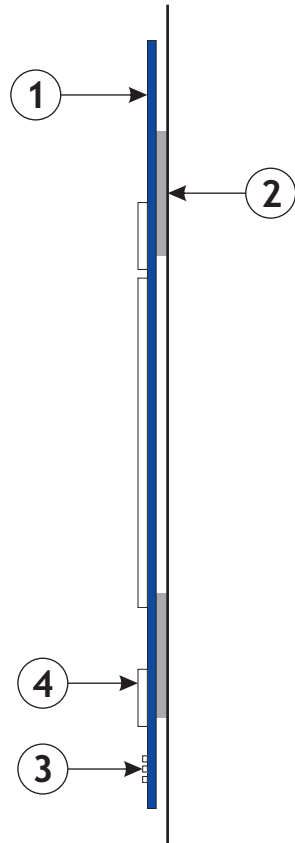
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Plan Issue/Rev Date: _____
Acct Rep: Ashley Abney
Designer: Jaye Williams

REVISIONS

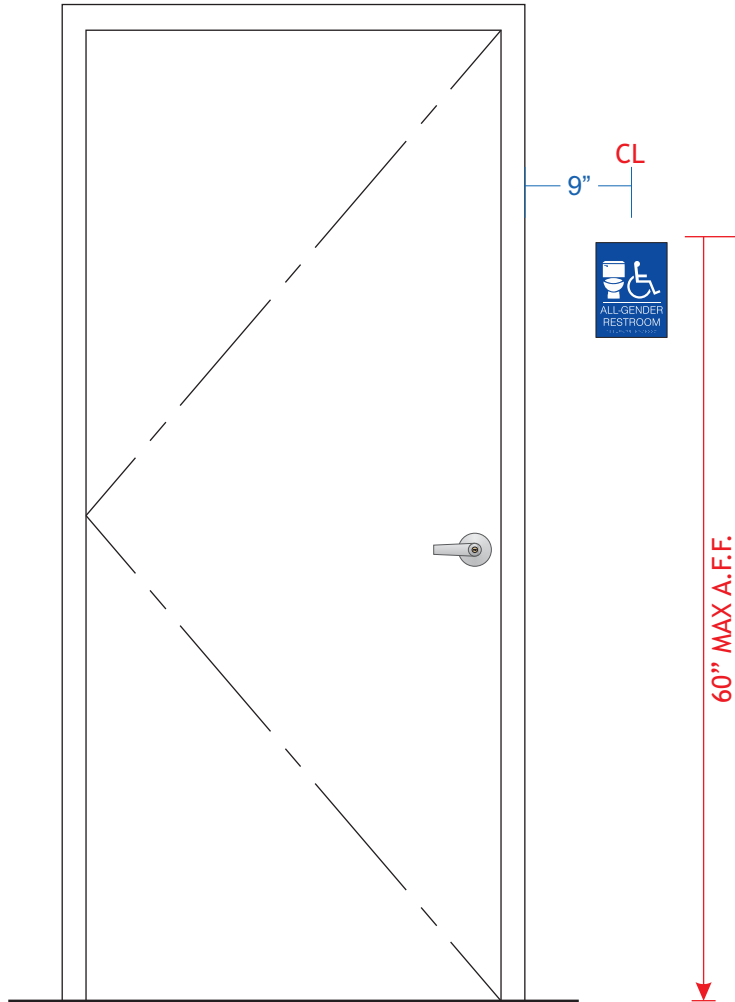
R1:_____	R6:_____
R2:_____	R7:_____
R3:_____	R8:_____
R4:_____	R9:_____
R5:_____	R10:_____



ACCESSIBLE RESTROOM SIGNAGE - ELEVATION / SECTION
Scale: HALF SIZE



ACCESSIBLE RESTROOM SIGNAGE - INSTALLATION DETAIL
Scale: N.T.S.



SIGN - DETAILS

- 1 1/4" THICK MOLDED PLASTIC, TO MATCH SW PT-19 "IT'S ALL ABOUT THE BLUE"
- 2 1/4" THICK ROUTED ACRYLIC SYMBOL AND COPY, MATTE WHITE MOUNTED FLUSH TO WALL WITH DOUBLE SIDED TAPE (TAPE IS PRE-APPLIED TO PANEL, JUST PEEL AND STICK)
- 3 TYPE 2 BRAILLE LOCATED AT BOTTOM OF SIGN
- 4 CHARACTERS TO BE RAISED 1/32" MINIMUM



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Acct Rep: Ashley Abney
Designer: Jaye Williams

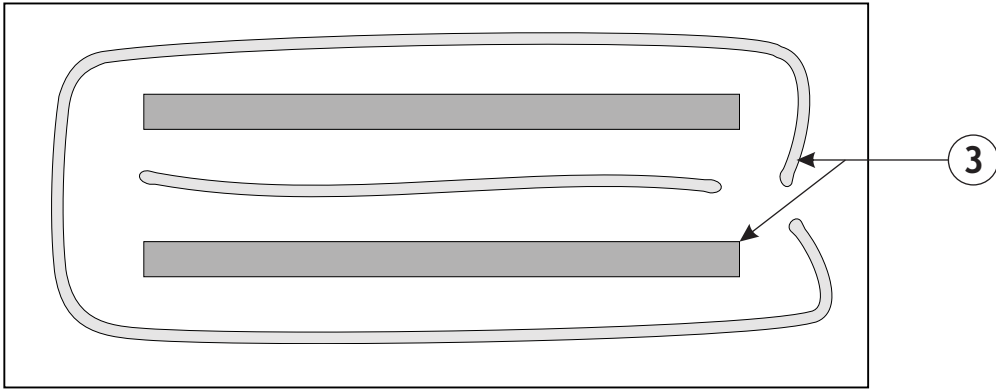
REVISIONS

R1: _____	R6: _____
R2: _____	R7: _____
R3: _____	R8: _____
R4: _____	R9: _____
R5: _____	R10: _____

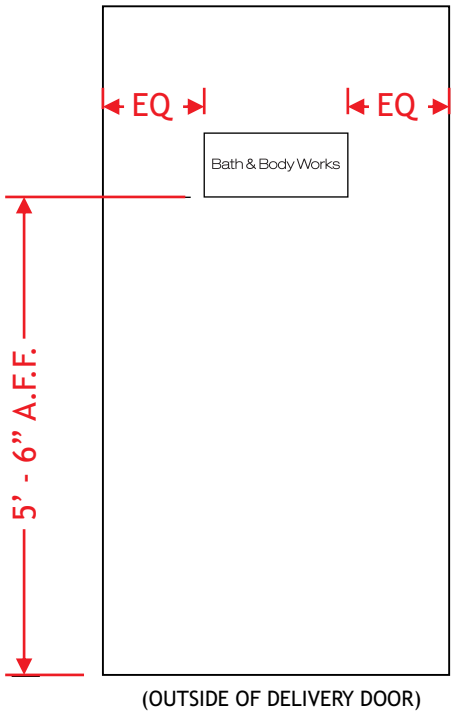
F PANEL - ELEVATION
Scale: 3" = 1' - 0"



P PANEL - BACK SIDE
Scale: 3" = 1' - 0"



P PANEL - INSTALL DETAIL
Scale: N.T.S.



P SIGN - DETAILS

- 1 .040 PRE-FINISHED WHITE ALUMINUM PANEL
- 2 FORWARD CUT, GLOSS BLACK VINYL LOGO, APPLIED TO FACE OF WHITE PANEL
- 3 PANEL IS MOUNTED FLUSH TO DOOR WITH SILICONE AND VHB DOUBLE SIDED TAPE



93 Industry Drive
PO Box 349
Versailles, KY 40383
859.879.1199



Bath & Body Works

STORE: 2899 | SPACE: 4B
ALCOA CROSSINGS
7341 ALCOA RD.
BRYANT, AR 72002

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!



Submittal Date: 07/15/24
Plan Issue/Rev Date: _____
Acct Rep: Ashley Abney
Designer: Jaye Williams

REVISIONS

R1:_____	R6:_____
R2:_____	R7:_____
R3:_____	R8:_____
R4:_____	R9:_____
R5:_____	R10:_____



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community

Development tab.

Date: 8-19-24

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name Little Rock Cemetery Sign
Address PO Box 806
City, State, Zip Conway AR 72033
Phone 501-387-4166
Alternate Phone 501-764-7611

Property Owner

Name Fiiz Drinks
Address 2346 Texas Heritage Parkway #600
City, State, Zip Brookshire TX 77444
Phone 281-375-9305
Alternate Phone _____

GENERAL INFORMATION

Name of Business Fiiz Drinks
Address/Location of sign 1812 Reynolds Rd Suite 4
Zoning Classification C-2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Quinn Stolt do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Facade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall	38" x 164.75"	43.5	16'4"	13'2"	
B	Wall	38" x 164.75	43.5	16'2"	13'	
C	Wall	38" x 164.75	43.5	13'4"	10'2"	
D	Pole/monument	82 1/2" x 69 1/2"	10.86			
E						
F						

Sign A is a menu board for drive thru -
that won't require a permit, will it?

PLOT MAP



DESIGN LEGEND	
S1:	FRONT LIT CHANNEL LETTERS - 3'-2" x 13'-8 3/4" OVERALL
S2:	FRONT LIT WALL SIGN MENU - 4'-0" x 6'-7" OVERALL
S3:	FRONT LIT CHANNEL LETTERS - 3'-2" x 13'-8 3/4" OVERALL
S4:	FRONT LIT CHANNEL LETTERS - 3'-2" x 13'-8 3/4" OVERALL
S5:	TENANT VINYL / Poly ?? - 1'-10 1/2" x 5'-9 1/2" OVERALL

PLOT MAP SCALE: 1" = 50'-0"

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS




ALLIED
ELECTRIC SIGN
& Awnings

WWW.ALLIED-SIGN.COM

CLIENT: Fiz Drinks		CONTACT: Amber - Jones PHONE #: 501-454-0487 EMAIL: amber@dayones.lc DATE: 07/15/24
ADDRESS: 1812 Reynolds Road Suite #4 Bryant, Arkansas 72022		
DESIGNER: Courtney		
ACCOUNT EXEC.: Regina Hewlett		
FILE NAME: Fiz Drinks (Bryant) Sign Package 03		

REV	DATE	BY	DESCRIPTION
1	07-12-24	GC	options for red or white background on monument sign and
2	07-15-24	GC	all signage to have no bushes or vegetation mark
3	08-00-24	XX	xxx
4	08-00-24	XX	xxx
5	08-00-24	XX	xxx
6	08-00-24	XX	xxx
7	08-00-24	XX	xxx
8	08-00-24	XX	xxx
9	08-00-24	XX	xxx
10	08-00-24	XX	xxx

Client Approval	DATE
RE Approval	DATE
Contract Approval	DATE



WARRANTY

NAME & DATE	
00:00:24	
CALLOUT	1 of 8

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LC00247443 Idaho: RCE-29969
THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY ALLIED ELECTRIC SIGN. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED.

S1.)

FVZ DRINKS
YOUR DRINK. YOUR WAY.

NIGHT VIEW Not in Scale



SQUARE FOOTAGE BREAKDOWN

EXISTING CONDITIONS
Not in Scale

FASCIA: 26 Linear Ft.
CODE ALLOTMENT (2 SQ.FT./LIN FT.) = 52 sq. ft.
PROPOSED SIGNAGE: 43.5 sq. ft.

S1

*Rendering is an Approximate Visual Aid ONLY
Actual Results May Vary



SOUTH ELEVATION
Not in Scale

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Filz Drinks-Filz Drinks-Arkansas / 03 DESIGNER DRAWINGS



CLIENT: Filz Drinks
ADDRESS: 1812 Reynolds Road Suite #4
Bryant, Arkansas 72022
DESIGNER: Courtney
ACCOUNT EXEC.: Regina Hewlett
FILE NAME: Filz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones
PHONE #: 501-454-0487
EMAIL: amber@dayonek.com
DATE: 07/15/24

REV	DATE	BY	DESCRIPTION
1	07-12-24	CC	options for red or white background on monument tenant sign
2	07-15-24	CC	All signage to have no bubble or registration marks
3	08-02-24	XX	new
4	08-02-24	XX	new
5	08-02-24	XX	new
6	08-02-24	XX	new
7	08-02-24	XX	new
8	08-02-24	XX	new
9	08-02-24	XX	new
10	08-02-24	XX	new

Client Approval	DATE
SE Approval	DATE
Landlord Approval	DATE

	NAME & DATE
	00/00/24
	2 of 8

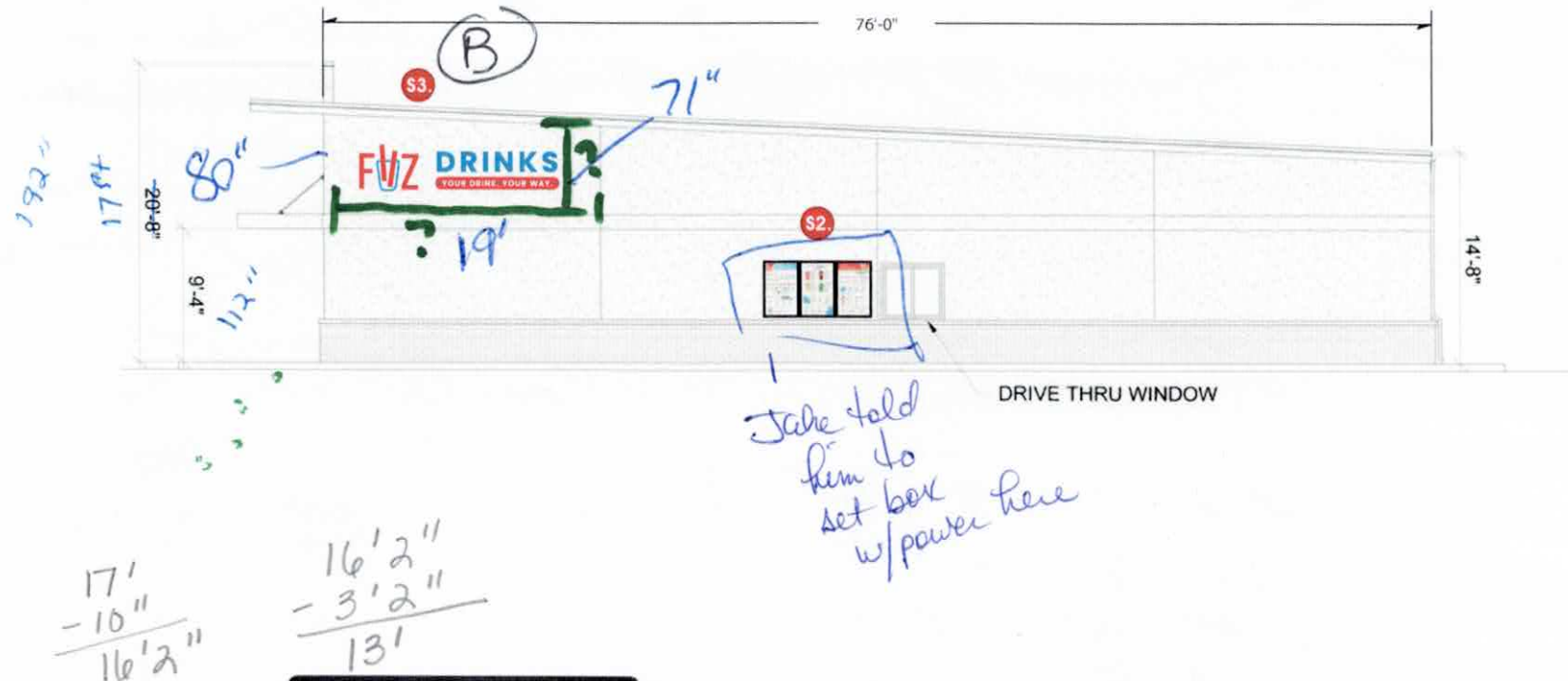
LOCATIONS: HQ LINDON, 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969
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Follow us on

Handwritten calculations:
17' - 8" = 16'4" top
16'4" + 3'2" = 19'6"

S2. & S3.) EAST ELEVATION

FRONT LIT WALL SIGN MENU & FRONT LIT CHANNEL LETTERS



EAST ELEVATION:

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE BREAKDOWN

FASCIA: 74 Linear Ft.
CODE ALLOTMENT (2 sq. ft./lin. ft.) = 152 sq. ft.
PROPOSED SIGNAGE: 43.5 + 30 = 73.5 sq. ft.

FILE LOCATION: Google Drive [G:] / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS



CLIENT: Fiz Drinks
ADDRESS: 1812 Reynolds Road Suite #4
Bryant, Arkansas 72022
DESIGNER: Courtney
ACCOUNT EXEC.: Regina Hewlett
FILE NAME: Fiz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones
PHONE #: 501-454-0487
EMAIL: amber@clajones.com
DATE: 07/18/24

REV	DATE	#	DESCRIPTION
1	07-12-24	CC	options for red or white background on monument letter vinyl
2	07-18-24	CC	All signage to have no bubble or vegetation mark
3	08-05-24	XX	----
4	08-05-24	XX	----
5	08-05-24	XX	----
6	08-05-24	XX	----
7	08-05-24	XX	----
8	08-05-24	XX	----
9	08-05-24	XX	----
10	08-05-24	XX	----

Client Approval

ALL APPROVED

Contractor Approval

DATE

SIGN

DATE



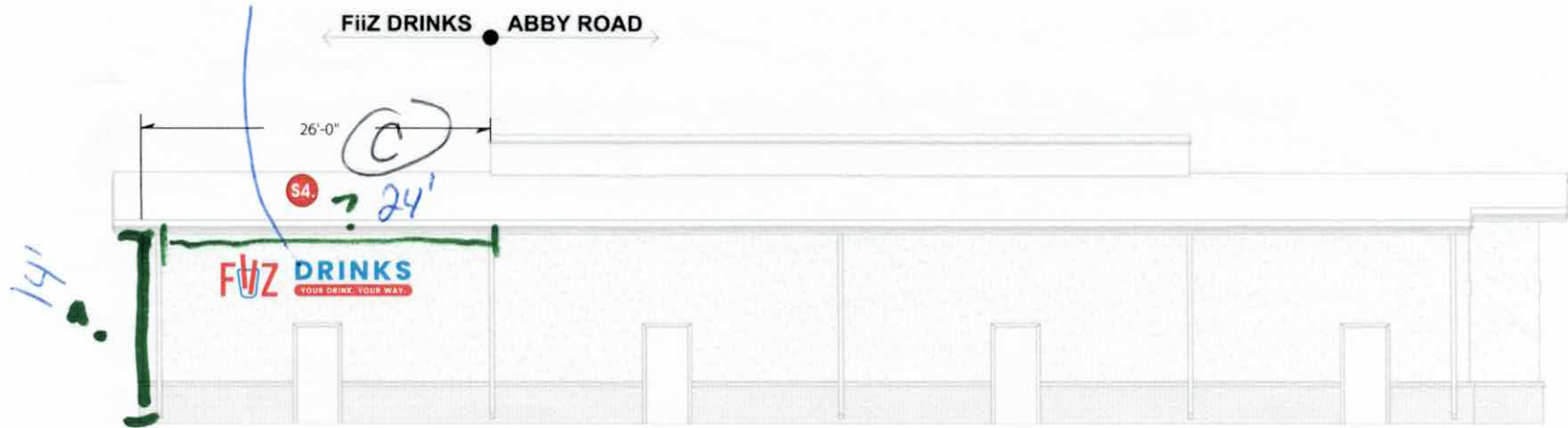
NAME & DATE
Revised
08-06-24
Callout
3 of 8

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LC00247443 Idaho: RCE-29969
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Follow us on

S4.) NORTH ELEVATION
FRONT LIT CHANNEL LETTERS

Wall Park in the way- May have to patch



$$\begin{array}{r} 14' \\ - 8'' \\ \hline 13' 4'' \end{array} \quad \begin{array}{r} 13' 4'' \\ - 3' 2'' \\ \hline 10' 2'' \end{array}$$

CHANNEL LETTERS:

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGE BREAKDOWN

FASCIA: 26 Linear Ft.
 CODE ALLOTMENT (2 SQ.FT./LIN FT.) = 52 sq. ft.
 PROPOSED SIGNAGE: 43.5 sq. ft.

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS



CLIENT: Fiz Drinks
 ADDRESS: 1812 Reynolds Road Suite #4
 Bryant, Arkansas 72022
 DESIGNER: Courtney
 ACCOUNT EXEC.: Regina Hewlett
 FILE NAME: Fiz Drinks (Bryant) Sign Package 03
 CONTACT: Amber Jones
 PHONE #: 501-454-0487
 EMAIL: amber@daicnet.biz
 DATE: 07/15/24

REV	DATE	BY	DESCRIPTION
1	07-12-24	CC	options for red or white background on monument brand vinyl
2	07-15-24	CC	all signage to have no outline or registration mark
3	08-01-24	XX	rev
4	08-01-24	XX	rev
5	08-01-24	XX	rev
6	08-01-24	XX	rev
7	08-01-24	XX	rev
8	08-01-24	XX	rev
9	08-01-24	XX	rev
10	08-01-24	XX	rev

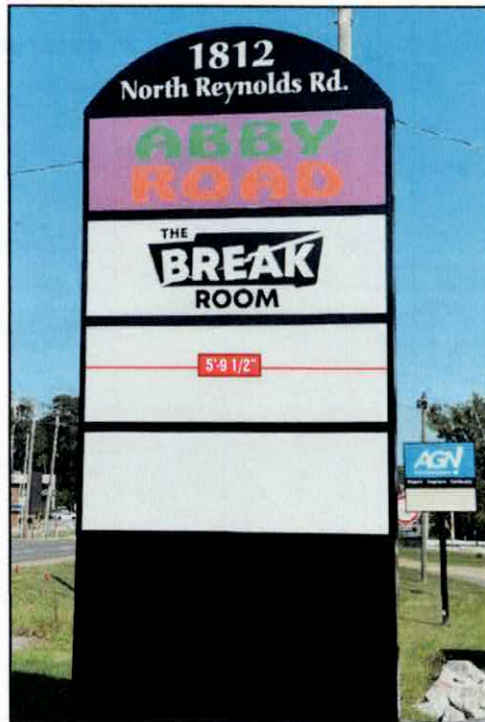
Client Approval	DATE
All Approvals	SIGN
Contract Approval	DATE

	NAME & DATE
	00-00-24
	CALLOUT
4 of 8	

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375609-5501 Nevada: 60486 Colorado: LC00247443 Idaho: RCE-29969
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S5.) EXISTING D/S MONUMENT
FRONT LIT CHANNEL LETTERS

Flat Poly Faces w/ translucent vinyl



EXISTING CONDITIONS
 Not in Scale



EXTERIOR
 Not in Scale

VO - 69 1/2" x 22 1/2"
 1 1/2" Ref.



CLIENT: Filz Drinks
ADDRESS: 1812 Reynolds Road Suite #4
 Bryant, Arkansas 72022
DESIGNER: Courtney
ACCOUNT EXEC.: Regina Hewlett
FILE NAME: Filz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones
PHONE #: 501-454-0487
EMAIL: amber@daljones.co
DATE: 07/15/24

REV	DATE	BY	DESCRIPTION
1	07/15/24	CC	options for red or white background on monument letter vinyl
2	07/15/24	CC	All signage to have no bubble or vegetation marks
3	08/01/24	JK	envs
4	08/01/24	JK	envs
5	08/01/24	JK	envs
6	08/01/24	JK	envs
7	08/01/24	JK	envs
8	08/01/24	JK	envs
9	08/01/24	JK	envs
10	08/01/24	JK	envs

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Filz Drinks-Filz Drinks-Arkansas / 03 DESIGNER DRAWINGS

Client Approval	DATE	Signature	NAME & DATE
NO APPROVAL	GATE	Printed	00:00:00
Contract Approval	DATE	Printed	CALLOUT
			5 of 8



LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969
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A B C

S1., S2. & S4.) SOUTH, EAST & NORTH ELEVATION FRONT LIT CHANNEL LETTERS

ALLIED TO MANUFACTURE & INSTALL
QTY (3) SETS OF FRONT LIT CHANNEL LETTERS

- A** FACES: 3/16" Trans White Plex w. Applied Vinyl
 - VINYL: Vinyl to Match V1 & V2
 - BUBBLES: to Have .040 White Aluminum Middles
- B** TRIMCAP: 1" White Trimcap
- C** RETURNS: 3" .040 White Aluminum
- D** BACKS: .063 Aluminum Stock Color
- E** ILLUMINATION: White LED's
- F** POWER SUPPLY: Remote Housed in Power Supply Box
- G** MOUNTING: Flush to Facade

- Visible Disconnect Switch at Sign
- 120V Service Supplied by Others

POWER REQUIREMENTS: PROVIDED BY OTHERS

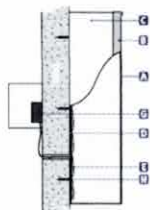
(1) 20 AMP Circuit / 120 Volts



ACCURATE FIELD SURVEY REQUIRED
PRIOR TO FABRICATION



VINYL SCHEDULE	
V1:	3M Poppy Red 3630-143
V2:	Crajet 3850 w. 8520 Lam



SIDE DETAIL - FRONT LIT CHANNEL LETTERS
Not to Scale

CHANNEL LETTERS: 43.5 SQ. FT.

SCALE: 3/4" = 1'-0"

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS

ALLIED ELECTRIC SIGN & FINISHING
www.allied-sign.com

CLIENT: Fiz Drinks
ADDRESS: 1812 Reynolds Road Suite #4
Bryant, Arkansas 72022
DESIGNER: Courtney
ACCOUNT EXEC.: Regina Hewlett
FILE NAME: Fiz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones
PHONE #: 501-454-0487
EMAIL: amber@plajones.lc
DATE: 07/15/24

REV	DATE	BY	DESCRIPTION
1	07-12-24	CC	updates for red to white background on monument lettering vinyl
2	07-18-24	CC	All signage to have no bubble or registration mark
3	08-00-24	XX	rev
4	08-01-24	XX	rev
5	08-02-24	XX	rev
6	08-03-24	XX	rev
7	08-05-24	XX	rev
8	08-06-24	XX	rev
9	08-07-24	XX	rev
10	08-08-24	XX	rev

Client Approval	DATE
AI Approval	DATE
Contractor Approval	DATE

	NAME & DATE
	DATE
	CALLOUT
	6 of 8

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969
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Follow us on

S5.) D/S MONUMENT FRONT LIT CHANNEL LETTERS

ALLIED TO MANUFACTURE & INSTALL
QTY (2) SETS OF TENANT VINYL

- ☐ VINYL: To Match V1-V2
☐ MOUNTING: Flush to Tenant Panel

Flat Poly Faces
w/ translucent vinyl



VINYL SCHEDULE	
V1: 3M Poppy Red 3630-143	
V2: Oracal 053 Light Blue 8500 Series	



VINYL: QTY 2

SCALE: 3/8" = 1'-0"

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS



CLIENT: Fiz Drinks
ADDRESS: 1812 Reynolds Road Suite #4
Bryant, Arkansas 72022
DESIGNER: Courtney
ACCOUNT EXEC.: Regina Hewlett
FILE NAME: Fiz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones
PHONE #: 501-454-0487
EMAIL: amber@fizdrinks.com
DATE: 07/15/24

REV	DATE	BY	DESCRIPTION
1	07-12-24	CC	Options for ad or white background on monument tenant vinyl
2	07-15-24	CC	All signage to have no outside or registration marks
3	08-09-24	XX	xxx
4	08-09-24	XX	xxx
5	07-02-24	XX	xxx
6	07-02-24	XX	xxx
7	08-09-24	XX	xxx
8	08-09-24	XX	xxx
9	08-09-24	XX	xxx
10	08-09-24	XX	xxx

Client Approval	DATE
Site Approval	DATE
Manufacturer Approval	DATE

	Name: NAME & DATE Date: 08/09/24 Callout: 8 of 8
--	--

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LC00247443 Idaho: RCE-29969
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City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 8.20.24

Sign Co. or Sign Owner

Name Action Sign
Address 2700 John Harden Drive
City, State, Zip Jacksonville, AR 7207
Phone 501.457.739
Email Address tim@actionsignandneon.co

Property Owner


Name Fun Town R\
Address 22524 I-30
City, State, Zip Bryant, AR 7202
Phone 817.760.210
Email Address patrick.baker@funtownrv.co

GENERAL INFORMATION

Name of Business Fun Town R'
Address/Location of sign 22524 I-30 Bryant, AR 7202
Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I , do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Road Sign Face	102"x204'	144.5	58.5'	50'	
B	Building Sign - Ma	4'x10'	40	21.75	18'	
C	Building Sign - Service	4'x10'	40	15'	11'	
E						
F						
G						

Folder Name
K:\Art Department\2024\Fun Town RV

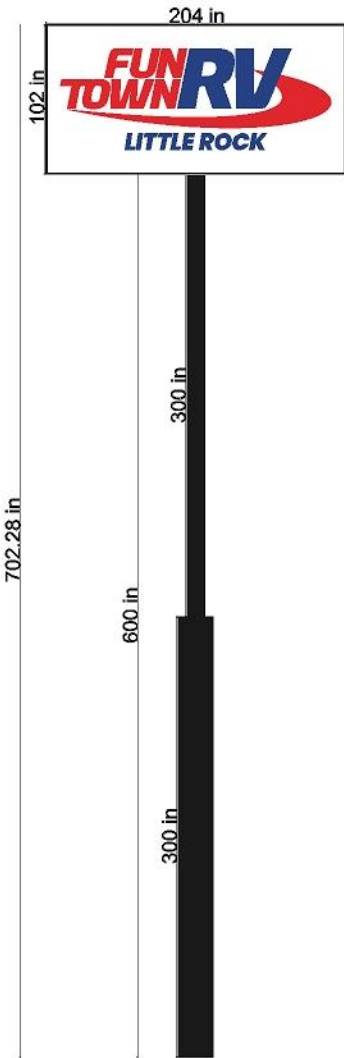
Designer

File Name
Fun Town RV.fs

Job Number

QTY: 2 SS Acrylic
Sign Faces w/Install

QTY: 2 Sets of Face Lit Channel Letters
Install 1 on Main & 1 on Service Bldg



Description

ARTWORK IS PROPERTY OF ACTION SIGN & NEON AND SHALL NOT BE DUPLICATED OR COPIED IN ANY MANNER.



P. O. Box 188
Jacksonville, AR 72076
2700 John Harden Dr.
Jacksonville, AR 72076

Ph 501-457-7391
Ph/Text 501-712-0012
Fax 501-457-7393

ARTWORK APPROVAL **MUST** BE MADE IN WRITING.
THIS CAN BE DONE BY A SIMPLE EMAIL, TEXT, OR FAX
WITH THE APPROVED ARTWORK ATTACHED.
PRODUCTION WILL NOT START OTHERWISE.

Customer	Name	Design Time
Phone	Email	Minutes
		8/20/2024

Design Time Pricing
Design time is at a rate of \$60 per hour, in 15 minute increments. Your first 15 minutes is **FREE**.

COLORS SHOWN ARE FOR REFERENCE ONLY. COLORS MAY VARY.



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: August 6, 2024

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name ACE Sign Company
Address 11935 Interstate 30
City, State, Zip Little Rock, AR 72209
Phone 501-562-0800
Alternate Phone _____

Property Owner

Name Goodwill Industries of Arkansas
Address 7400 Scott Hamilton Drive
City, State, Zip Little Rock, AR 72209
Phone 501-372-5100
Alternate Phone _____

GENERAL INFORMATION

Name of Business Goodwill Industries of Arkansas
Address/Location of sign 5914 Hwy 5 N, Bryant AR 72022
Zoning Classification C2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I, Tonya Hulett, Project Manager, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Existing Pole Sign	13' 5 3/4" x 10' 1"	136	24' 6"	14' 5"	
B						
C						
E						
F						
G						

ORDINANCE 2012 - 29

**AN ORDINANCE REGULATING SIGNS WITHIN THE CITY LIMITS OF THE CITY OF BRYANT,
ARKANSAS; AND FOR OTHER PURPOSES.**

WHEREAS, the City of Bryant Arkansas desires to promote beautification efforts and promote the use of signs in the city which are safe, aesthetically pleasing, compatible with their surroundings and legible in the circumstances in which they are seen.

WHEREAS, the City of Bryant recognizes the need for a well-maintained and attractive physical appearance of the community and the need for adequate business identification for the conduct of competitive commerce.

WHEREAS, the City of Bryant desires to reduce sign or advertising distractions which may increase traffic accidents by distracting driver's attention from the roadway;

NOW BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BRYANT, ARKANSAS:

SECTION 1: Enactment of Attached Sign Ordinance Regulations.

The City Council of Bryant, Arkansas hereby approves and adopts by reference the Sign Ordinance. Said Ordinance shall be filed in the office of the City Clerk of the City of Bryant, Arkansas and from the date on which this ordinance shall take effect the provisions thereof shall be controlling within the limits of the City of Bryant and those areas in the territory subject to Bryant zoning regulations.

SECTION 2: Severability and General Repealer.

That all ordinances and part of ordinances of a permanent and general nature in effect at the time of adoption of this ordinance and not included herein, are hereby repealed where they are in conflict with this ordinance.

All Ordinances and resolutions and parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

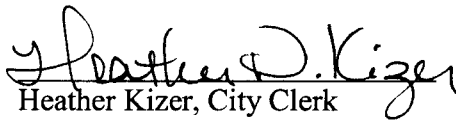
Section 3: Emergency Clause.

An emergency is hereby declared, it being necessary to protect the health and safety of the citizens of Bryant, Arkansas such that this Ordinance shall have full force and effect immediately upon its passage.

PASSED AND APPROVED THIS 27th DAY OF September, 2012, BY THE CITY COUNCIL OF BRYANT, ARKANSAS.


Jill Dabbs, Mayor

Attest:


Heather Kizer, City Clerk

Purpose and Scope

SECTION ONE

Purpose

Signs are an important and necessary means of communication. When properly regulated, signs can serve as a great economic and aesthetic asset. In enacting this Ordinance, it is the intent of the City of Bryant to promote commerce and the use of attractive signage, facilitate traffic safety, and to comprehensively address community aesthetic concerns about visual clutter and blight in the environment. The regulation of signs in the City is intended to cultivate an aesthetically-pleasing environment with these concerns in mind. Sign regulation shall be consistent with land use patterns, and signs shall add to, rather than detract from the architecture of the buildings where they are located. Signs shall be well maintained and, in addition, shall not create traffic safety hazards. The regulation of signs in the City of Bryant is intended to be content-neutral and to provide adequate opportunity for the presentation of messages of all kinds.

Scope

The primary intent of the Ordinance shall be to regulate signs intended to be viewed from any vehicular or pedestrian public right-of-way.

This Ordinance shall relate signage to building design, particularly integral decorative or architectural features of buildings. This Ordinance shall not regulate official traffic or government signs, control devices or signals; the copy and message of signs; signs not intended to be viewed from a public right-of-way; product dispensers and point of purchase displays; scoreboards on athletic fields; gravestones, barber poles; religious symbols; awning signs; decorations which are seasonal, clearly incidental and customarily associated with any national, local, or religious observance; the display of street numbers; and signs not exceeding one square foot in area and bearing only property numbers, postbox numbers, or names of occupants of premises.

Applicability

No signs shall be erected or maintained in any land use district established by the City's Zoning Ordinance, except those signs specifically permitted in this ordinance. The number and area of signs as outlined in this ordinance are intended to be maximum standards.

All signage shall adhere to the guidelines and regulations detailed within this Ordinance and any and all other current laws pertaining to signage.

SECTION TWO

General Provisions

It shall hereafter be unlawful for any person to erect, place, or maintain a sign in the City of Bryant except in accordance with the provisions of this Ordinance.

Section 2.01 - Signs Prohibited

The following types of signs are prohibited in all districts:

- 1) Abandoned signs.
- 2) Signs imitating or resembling official traffic or government signs or signals.
- 3) Signs imitating warning signals.
- 4) Signs within Right-of-Way. No sign whatsoever, whether temporary or permanent, except erected by an official governmental agency is permitted within any street or highway right-of-way.
- 5) No signs may be painted on or attached to trees, rocks, or other natural formations, fence posts, utility poles, public benches, streetlights, or building roofs.
- 6) Portable signs. A portable sign is any sign designed to be moved easily and not permanently affixed to the ground or to a structure or building.
- 7) Off-premise/off-site signs, except as permitted by Bryant Billboard Ordinance No. 2006-42.
- 8) Signs that are mounted, attached, or painted on trailers, boats or vehicles when parked to be used as additional signage on or near a business premises; and similar signs. No vehicle or trailer with advertising message mounted or painted thereon may be parked continuously for more than 15 consecutive calendar days in any zoning district, so that it becomes an advertising sign. Such vehicles or trailers parked on active construction sites or within a commercial zoning district with an approved temporary business permit for the vehicle or trailer are exempt from this regulation.

Section 2.02 - Permits Required

Unless otherwise provided by this Ordinance, all new signs shall require permits and payment of fees as described in this ordinance. No permit is required for the maintenance of a sign or for a change of copy on painted, printed, or changeable copy signs.

Section 2.03 - Signs Not Requiring Permits The following types of signs are exempt from the permit requirements but must be in conformance with all other requirements of the ordinance:

- 1) On-Premise directional signs of six (6) square feet or less
- 2) Nameplates of two (2) square feet or less, non-illuminated, attached to building or structure, or supported by a post and arm structure, 1 per occupancy
- 3) Official public safety signs/devices, traffic control devices and signals.
- 4) Window signs
- 5) Incidental signs
- 6) Signs created by landscaping by which the letters and/or symbols are composed entirely of approved landscape elements.
- 7) Sign face changes not requiring any change to the structure of a sign
- 8) A-frame signs.

- 9) Inflatable signs less than ten (10) feet high, by ten (10) feet wide, ten (10) feet deep or one-thousand (1000) cubic feet. Larger inflatable signs require a permit and are allowed for a special event one time per year for a maximum of 30 days.
- 10) Blade signs.
- 11) Temporary signs. A Temporary sign is a sign that is advertising an event or special sale that is viewable by the public for less than seven (7) days.
- 12) Real estate signs on the premises of property for sale.

Section 2.04 - Lighting

- 1) Unless otherwise prohibited by this Ordinance, all signs may be illuminated. No illuminated sign shall be permitted which faces the front, side or rear lot lines of any residential lot regardless of zoning district and is located within fifty (50) feet thereof.
- 2) Every part of the light source of any illuminated sign shall be concealed from view from vehicular traffic in the public right-of-way or adjacent property. The light shall not travel from the light source directly to vehicular traffic in the public right-of-way or adjacent property, but instead shall be visible only from a reflecting or diffusing surface.
- 3) This provision shall not apply to neon tube lighting or electronic message centers operating in accordance with this ordinance.
- 4) Backlit Illuminated Awnings - Unless expressly provided otherwise in this ordinance, awning signs may be illuminated, including without limitation by backlighting.
- 5) Electronic message centers shall be illuminated in accordance with Section 2.05 of this Ordinance.

Section 2.05 - Changeable Copy

Unless otherwise specified by this Ordinance, any sign herein allowed may use manual changeable copy or electronic message centers as follows:

- 1) Electronic message centers in C-2 Commercial Zoning Districts may display animation so long as flashing is not utilized.
- 2) Electronic message centers in C-1 and C-2 Commercial Zoning Districts may display static images. Such static images shall remain in place on the sign for a period of at least two seconds prior to transitioning to another static image. Frame effects shall be permitted for transition from one static image to the next so long as animation and flashing are not utilized.
- 3) Electronic message centers are not allowed in any residential zoning district.
- 4) All electronic message centers must be equipped with automatic dimming technology which automatically adjusts the sign's brightness in direct correlation with natural ambient light conditions.
- 5) No electronic message center shall exceed a brightness level of 0.3 foot candles above ambient light as measure using a foot candle (Lux) meter at a distance set by the industry standard as defined by the Outdoor Advertising Association of America.

Section 2.06 - Sign Projections from Buildings

Signs attached to and wholly supported by a building shall not project more than eight (8) feet from any building and the bottom of such sign shall not be less than ten (10) feet above the sidewalk or fourteen (14) feet above a vehicular right of way and shall not project into the public right-of-way.

Section 2.07 - Sign Similarity to Official Signs

No sign may be placed or designed so as to simulate or interfere with traffic control devices or official highway signs.

Section 2.08 - Obstruction of Vision

No sign shall be erected on any corner lot in such a manner as to obstruct pedestrian or vehicular vision. This requirement supersedes all other setback and coverage regulations.

Section 2.09 - Interference With Utilities

No part of any sign shall be located within or over the designated safety zone of any utility easement.

Section 2.10 - Signs Viewed from Public Right of Ways

No person shall erect, fasten, or attach in any way any sign or other advertising message upon any property within the city which is facing or visible from any public street, unless legally authorized under the terms of this Ordinance. These regulations shall apply to all signs and billboards in all districts, subdivisions and zones within the City of Bryant.

Section 2.11 - Setback Requirements

No Sign shall be erected or maintained except in conformity with the following setback requirements:

1) Front: Signs shall be set back a minimum of 10 feet from back of curb, edge of roadway surface, or street right-of-way, whichever is greater.

2) Side: All signs shall be set back a minimum of 10 feet from the nearest side property line.

Exceptions: The above setback requirements shall not apply to those signs mounted on building walls lawfully sited within the setback space, when such signs otherwise conform to the provisions of this ordinance.

Section 2.12 - Sign Erection Deadline

Permits for any sign not completely erected within twelve months of date of issuance shall be void.

Section 2.13 - Inspections

All signs are subject to inspection by the Building Official or Code Enforcement, who may revoke any permit or order any sign removed upon notice and for cause as set out in Section 4.03, Section 6.07, and Section 6.08.

SECTION THREE

Specific Requirements by Sign Type and Zoning District

Section 3.01 - Specific Requirements by Sign Type

The following apply to specific types of signs located in the city.

- 1) Temporary signs are allowed. Temporary signs are limited to a maximum of 32 square feet in size. Signs such as banners, pennants and posters are considered temporary signs.
- 2) Election Event Period - An election event period begins 70 calendar days prior to and ends 7 calendar days after any public election for which the county election commission has authorized. During this event period, a lot may contain an unlimited number of temporary signs with the consent of the property owner. Property owners or their authorized agents have the right to remove unauthorized signs from their property. In no event shall signs be located in the public right-of-way.
- 3) Signs that are constructed, removed, destroyed or replaced shall be replaced only with a monument or ground-mounted sign which conforms to this Ordinance along the roadways listed below. Monument or ground-mounted signs shall be allowed to advertise on-premise businesses only.
 - a) A monument sign is a sign mounted directly to the ground. No poles or raised support structures shall be visible.
 - b) A ground-mounted sign is a permanent sign that has its supporting structure depending on the ground for attachment, and is made in such a way as to allow the supporting structure to be covered in a façade of shaped metal, brick or other durable material that matches the material encasing or surrounding the messaging area of the sign. No single pole sign, such as a telephone pole or other single wooden pole structure is allowed.
- 4) All Signs must be maintained and kept in good repair. Signs falling into disrepair, such as falling down, faded, broken, damaged, rusting, paint peeling, or tattered signs, shall be maintained and/or repaired or removed within 30 days of notice of the sign falling into disrepair. If the Director of Code Enforcement is unable to locate an owner of the sign, the Director may post the notice on the sign itself as effective notice of it falling into disrepair.
- 5) Monument and ground-mounted signs along the following listed roadways will conform to the specifications listed in 3.01(5)(b) below:
 - a) Roadways subject to this provision:
 - i) Springhill
 - ii) Highway 5 from Commerce Drive to Springhill Road;
 - iii) Hilldale Road
 - iv) Newly constructed Roads connecting to Raymar Overpass , North and South
 - v) Woodland Park Road
 - vi) Springhill Overpass to Woodland Park
 - vii) Prickett Road from Woodland Park to Reynolds Road
 - viii) Prickett Road
 - ix) Boone Road
 - x) Reynolds Road from Mills Park Road south to the City Limits line.

- xi) Mt. Carmel Road
- xii) Brandon Road
- b) The signage on roadways listed above are subject to the following specifications:
 - i) Lots or developments on less than 5 acres in size:
 - 1. Monument or ground-mounted sign may not exceed 8 feet in height and 64 sq ft.
 - ii) Lots or developments on property more than 5 acres, but less than 20 acres
 - 1. Monument or ground-mounted sign may not exceed 10 feet in height and 100 sq. ft.
 - iii) Lots or developments on property 20 acres or more in size:
 - 1. Monument or ground-mounted sign may not exceed 12 feet in height and 144 sq. ft.
- 6) Signs in Coordinated Shopping Center:
 - a) Each Coordinated Shopping Center may have one free-standing identification sign for each street frontage.
 - b) Additionally, each Center may have one directory sign, not exceeding 35 feet in height.
 - c) Individual tenants in the Center may each have business identification signs mounted on their façade; total sign area shall not exceed two square feet for each one linear foot of building façade fronting the public street or parking area.
- 7) Signs in commercial cul-de-sacs: A commercial subdivision forming a cul-de-sac for individual commercial lots may have a directory sign located at the entrance to the cul-de-sac. Such sign shall not exceed 35 feet in height and shall be located in a manner which does not restrict the view of traffic entering or exiting the subdivision.
- 8) Banners:
 - a) An unlimited number of banners may be affixed to buildings, subject to aggregate signage permitted by the zoning district.
 - b) All banners must be securely-affixed and kept in a safe, neat, and legible condition; banners shall not fall into disrepair. Banners falling into disrepair are subject to section 3.01(4) above.

Section 3.02 - Signs permitted in Residential "R" Districts

Signs placed in residential districts, shall conform to the following regulations.

- 1) One sign which does not exceed two square feet in area is allowed and no permit is required.
- 2) Signs larger than two square feet but less than 32 square feet may be permitted by special permit process for such non-residential uses.
- 3) One additional nameplate sign, not to exceed two square feet in area, is allowed without permit for a dwelling group of four or more units to identify the building or as an occupant directory.
- 4) Temporary signs advertising a new subdivision of five or more lots are allowed by permit for up to one year. Such signs may not exceed 60 square feet in aggregate surface area, and can be no more than 15 feet in height, nor less than two feet above ground. Signs may be erected only at dedicated street entrances. If lots are not sold in one year, the contractor may request additional time to display the temporary sign from the Director of Code Enforcement or his designee. The request must be submitted in writing with a specified date for construction of permanent signage and removal of the temporary sign.

Section 3.03 - Signs in Commercial C-1 District

Signs placed in the C-1 district shall conform to the following regulations.

- 1) All signs permitted in the Residential Districts are allowed in Commercial Districts.
- 2) Signs mounted on the building walls are permitted subject to a limit of one sign not exceeding one square foot per each one linear foot of building façade. Each exposed building wall may have one such wall-mounted façade sign.
- 3) Blade signs are allowed. A blade sign cannot exceed a total of five square feet of signage per side, must have at least six inches between the building wall and the edge of the sign nearest the building, and cannot project more than forty-two inches from the building wall on which it is mounted.
- 4) Free standing signs are permitted subject to the following:
 - a) Except as otherwise allowed in subsection 3.03(5) below, only one sign per lot or commercial street frontage where adequate lot size permits the sign to be located at least 10 feet from edge of curb, street surface, or right-of-way, whichever is greatest.
 - b) Sign height shall not exceed 20 feet, and sign shall be constructed to provide at least 10 feet of visual clearance from bottom of sign to lot surface.
- 5) The maximum aggregate surface area of all permitted signs for any establishment fronting one street shall not exceed 200 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 75 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.
- 6) Pole signs will be spaced no closer than 60 feet from any other pole sign.
- 7) The specific surface area of commercial signs displaying gasoline prices only shall be exempt from calculations of the total aggregate surface area.
- 8) Internal businesses and brands contained within a host business are allowed exterior signage. Sign area utilized by the internal business/brand shall be deducted from the sign area allowed for the host business sign area.

Section 3.04 - Signs in Commercial C-2 Districts

Signs placed in C-2 districts shall conform to the following regulations.

- 1) All signs permitted in the Residential Districts are allowed in Commercial Districts
- 2) One façade sign is allowed per business. This sign shall not exceed two square foot for each one linear foot of building façade fronting a public street, and is to be mounted on the building wall. For businesses on corner lots, side walls facing public streets may have one additional façade sign subject to the same restrictions noted in this paragraph.
- 3) Blade Signs are allowed. A blade sign cannot exceed a total of five square feet of signage per side, must have at least six inches between the building wall and the edge of the sign nearest the building, and cannot project more than forty-two inches from the building wall on which it is mounted.
- 4) Free Standing signs are permitted subject to the following:
 - a) Except as otherwise allowed in subsection 3.04(5) below, only one sign per lot or commercial street frontage where adequate lot size permits sign to be located at least 10 feet from edge of curb, street surface, or right-of-way, whichever is greatest.
 - b) Sign height shall not exceed 25 feet or height of building whichever is less. Sign shall be constructed to provide at least 10 feet of visual clearance from bottom of sign to lot surface.

- 5) The maximum aggregate surface area of all permitted signs for any establishment shall not exceed 300 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 100 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.
- 6) Pole signs will be spaced no closer than 60 feet from any other pole sign.
- 7) The specific surface area of commercial signs displaying gasoline prices only shall be exempt from calculations of the total aggregate surface area.
- 8) Internal businesses and brands contained within a host business are allowed exterior signage. Sign area utilized by the internal business/brand shall be deducted from the sign area allowed for the host business sign area.

Section 3.05 - Signs in the Airport Industrial District

Signs in the Airport Industrial District are governed by the regulations established specifically for that district.

Section 3.06 - Signs in Planned Unit Development, (PUD) Districts

All signs in the PUD districts shall be submitted for review and approval as part of the PUD approval process.

SECTION FOUR

Nonconforming Signs

Section 4.01 - Determination of Legal Nonconformity

- 1) A nonconforming sign is any permanent sign that was legally established and maintained in compliance with the provisions of all applicable laws in effect at the time of original installation but that does not comply with the provisions of this sign ordinance as of the date this ordinance is adopted.
- 2) A nonconforming sign, as defined above, shall be allowed continued use, except that the sign shall not be expanded, moved, or relocated, except in the case of street relocation. A nonconforming sign shall be allowed continued use even if ownership of the property changes.

Section 4.02 - Loss of Legal Nonconforming Status

A legal nonconforming sign shall lose this designation in the following instances:

- 1) When the sign is intentionally damaged or destroyed or fails to observe the following restrictions in cases of unintentional damage or destruction:
 - a) If the sign face is unintentionally damaged or destroyed, the face may be replaced. The sign face supporting structure may be temporarily placed on the ground in order to replace the sign face or service the structure.

- b) If the structural components of the sign including the face structure is damaged or destroyed, the structure and face may be replaced with a new face and structure not to exceed the size, height or location of the established nonconforming sign.
- 2) When the size of the sign is altered in any way, except toward compliance with this ordinance, it will lose its legal nonconforming status. This does not refer to change of copy, face of the sign, or normal maintenance. Normal maintenance does not include the replacement of structural elements.
- 3) When the sign(s) advertising a building/development contains the majority of the businesses/tenants and the building/development undergoes major redevelopment such as demolition or expansion requiring a building permit.
Exceptions:
 - a) A remodel of an existing building will not cause the loss of legal non-conformity.
 - b) The construction of an additional building on the same property shall not cause the loss of legal non-conformity.
- 4) When the sign is expanded, moved, or relocated, except in the case of street relocation.

Section 4.03 - Maintenance and Repair of Nonconforming signs

The legal nonconforming sign is subject to all requirements of this code regarding safety, maintenance, and repair. If a non-conforming sign is found to advertise a business that has been discontinued for ninety (90) days or more and the business' signs **have been abandoned and/or** fallen into disrepair (disrepair means broken, cracked, vandalized, torn, rotten, faded, faulty, defective, rusty or otherwise unsightly), the owner will be notified and if the condition(s) is not corrected within thirty (30) days, the sign will lose legal non-conforming status and shall be required to be removed.

SECTION FIVE

Construction Specifications and Maintenance

Section 5.01 - Construction Specifications

Every sign, all parts, portions, and materials shall be manufactured, assembled, and erected in compliance with all applicable state, federal, and city regulations, building and electrical codes.

Section 5.02 - Construction and Maintenance

Every sign, including those specifically exempt from this ordinance in respect to permits and permit fees, and all parts, portions and materials shall be maintained and kept in good repair. The display surface of all signs shall be kept clean, neatly painted, free from rust corrosion and well maintained. If a sign is found to advertise a business that **has been discontinued for ninety (90) days or more and the business' signs have been abandoned and** fallen into disrepair the owner will be notified and if the condition(s) is not corrected within thirty (30) days, the sign shall be required to be removed.

SECTION SIX

Administration and Enforcement

Section 6.01 – Director of Code Enforcement

All sign permits shall be issued by the Director of Code Enforcement or his/her designee following design review and approval from the Development Review Committee.

The Director of Code Enforcement or his/her designee is empowered, upon presentation of proper credentials, to enter or inspect any building, structure, or premises in the City for the purpose of inspection of a sign and its structural and electrical connections to ensure compliance with all applicable codes and ordinances. Such inspections shall be carried out during business hours unless an emergency exists.

Section 6.02 - Application for Permits

Application for a permit for the erection or relocation of a sign shall be made on a form provided by the Code Enforcement.

Section 6.03 - Permit Fees

Sign permits filed with the Code Enforcement shall be accompanied by a payment of the initial permit fee for each new sign as required by the ordinance. The fee shall be thirty five dollars (\$35) per sign.

Section 6.04 - Issuance and Denial

The Director of Code Enforcement or his/her designee shall issue a permit for the erection, structural alteration, or relocation of a sign provided that the sign complies with all applicable laws and regulations of the City. In all applications, where a matter of interpretation arises, the more specific definition or higher standard shall prevail. When a permit is denied, the Director of Code Enforcement shall give a written notice to the applicant along with a brief statement of the reasons for denial, citing code sections and interpretation of possible nonconformity. The Code Enforcement may suspend or revoke an issued permit for any false statement or misrepresentation of fact in the application.

Section 6.05 - Inspection Upon Completion

Any person installing, structurally altering, or relocating a sign for which a permit has been issued shall notify the Code Enforcement upon completion of the work. The Director of Code Enforcement may require a final inspection, including an electrical inspection and inspection of footings on freestanding signs.

The Director of Code Enforcement may require at the time of issuance of a permit that written notification for an inspection be submitted prior to the installation of certain signs.

Section 6.06 - Variances and Special Permits for Signs

1) Variances

A variance for height, location, type, etc. may be requested.

Requests for sign variances shall be in writing and shall be submitted along with the sign application. Such request shall demonstrate that special conditions or circumstances exist that are not applicable to other lands, structures, or buildings such that a literal interpretation of the ordinance would result in an undue hardship.

The Planning Commission shall review the request to determine if the variance should be granted.

If the Planning Commission should also decide to grant the variance, the variance shall be considered granted.

If the Planning Commission denies the variance or takes no action on the request within 30 days following the variance request appearing on its agenda, the variance shall be deemed denied. The applicant may then appeal the decision to the City Council. The appeal must be submitted to the Planning Department no less than thirty (30) working days from the date of the Planning Commission's decision or the deemed denied date whichever may apply. In order to be placed on the City Council agenda, the appeal must be submitted no less than eleven (11) days prior to the City Council meeting. If the decision is appealed but it is within the 11 days prior to the next City Council meeting, it shall be placed on the following month's regularly scheduled City Council meeting agenda.

A variance may be granted only when the requirements noted above have been met. Planning Commission or City Council shall grant only the minimum variance required to make possible the variance request, provided that such variance will be in harmony with the general purpose and intent of the ordinance and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

2) Special Sign Permit:

In certain circumstances, special sign permits may allow additional signs, sign area and directional message center signs. A special sign permit may be approved by the Planning Commission if the Commission deems a special circumstance exists which warrants the signage requested.

The following criteria shall be used in the review and approval of requests:

- (a) Conditions exist which are unique to the property or type and size of development, which would cause hardship under a literal interpretation of the sign code.
- (b) The proposed sign will not adversely affect other signs in the area.
- (c) The proposed signs will not be detrimental to properties located in the vicinity.
- (d) The proposed sign will not obscure fire hydrants, traffic signs or traffic signals, block motorists' line of sight, or otherwise inhibit or interfere with vehicular or pedestrian traffic.

- (e) Approval of the special sign permit will not constitute a grant of special privileges which is inconsistent with the limitations placed upon other properties in the vicinity having similar circumstances.

The Planning Commission may attach any additional requirements necessary to maintain the intent and purpose of the sign ordinance, in the interest of the public.

An application for special sign permit shall be accepted by the Planning Commission at a regularly scheduled meeting along with the payment of the application fees. A public hearing shall be scheduled for the next regularly scheduled meeting date of the Planning Commission.

3) **Fee for Sign Variance:**

The fee for any sign variance or special sign permit request shall be one hundred dollars (\$100).

Section 6.07 - Violations

In cases of emergency, the Director of Code Enforcement or his designee may cause the immediate removal of a dangerous or defective sign without notice. Signs removed in this manner must present a hazard to the public safety as defined in the local building or traffic codes.

In cases of illegal signs placed in the public right-of-way, or if banners or temporary signs become faded, worn or tattered; or have become detached from the structure designed to support the signage, the Director of Code Enforcement or his designee may cause immediate removal of the sign without notification of the owner of the sign.

Section 6.08 - Removal of Signs by the Director of Code Enforcement

Signs located within the public right-of-way or which fail to comply with the written orders of removal or repair are subject to removal, the Director of Code Enforcement or his designee may order removal of the sign in question. After removal, a notice shall be mailed to the sign owner stating the nature of the work and the date on which it was performed and demanding payment of the costs as certified by the Director of Code Enforcement or his designee. Alleged violators shall have sixty (60) days from the date of said notice in which to appeal to the Planning Commission. If the amount specified in the notice is not paid within sixty (60) days of the notice and no appeal to the Planning Commission has been formally lodged, it shall become an assessment upon a lien against the property of the sign owner, and will be certified as an assessment against the property together with a ten percent (10%) penalty for collection in the same manner as the real estate taxes

The owner of the property upon which the sign is located shall be presumed to be the owner of all signs thereon unless documented facts to the contrary are brought to the attention of the Director of Code Enforcement or his designee, as in the case of a leased sign. For purposes of removal, the definition of sign shall include all embellishments and structures designed specifically to support the sign.

Removed signs shall be stored at a location designated by the sign Director of Code Enforcement or his designee pending return to the owner(s). Signs will be stored in such a manner as to minimize damage

to them. The sign Director of Code Enforcement or his designee will notify the owner of all removal costs and the procedures for retrieving the removed sign(s).

Temporary signs located within the street right-of-way will be removed without notice and stored for 30 days pending return to owners.

Section 6.09 - Penalties

Any person who fails to comply with the provisions of the Ordinance within ten (10) days after a notice by the Director of Code Enforcement or his designee may be subject to a fine of \$25 per day, per occurrence that the violation continues.

SECTION SEVEN

Conflict, Severability, and Effective Date

Section 7.01 - Conflict

If any portion of this code is found to be in conflict with any other provision of any zoning, building, fire, safety, or health ordinance of the City code, the provision which establishes the stricter standard shall prevail.

Section 7.02 - Severability

If any section, subsection, sentence, clause, or phrase of this code or its application to any person or circumstance is held invalid by the decision of any court of competent jurisdiction, the remainder of this code, or the application of the provision to other persons or circumstances is in effect and shall remain in full force and effect.

Section 7.03 - Effective Date

This code shall take effect and be in force upon passage of the Ordinance.

ARTWORK APPROVAL



PLEASE READ CAREFULLY

ALL PAGES PROVIDED IN THIS DOCUMENT MUST BE SIGNED

Please be advised that all pages of the document displaying artwork proofs must be thoroughly reviewed in their entirety. It is imperative to examine each page carefully to ensure accuracy, orientation, completeness, and satisfaction with the design.

Upon completion of the review, each page must be signed by the responsible individual or authorized representative to indicate approval. Your signature serves as confirmation that you have reviewed and accepted the artwork as presented.

Production of your signage order will commence only after all pages have been reviewed and signed. Failure to review and sign each page may result in delays in production and may affect the final outcome of your signage.

We appreciate your attention to this important step in the process and thank you for your cooperation. If you have any questions or concerns regarding the artwork proofs or the approval process, please do not hesitate to contact us.



PROPERTY BRAND/EXTENSION:
Goodwill

PROPERTY LOCATION:
5914 Hwy 5 N Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
08/01/2024

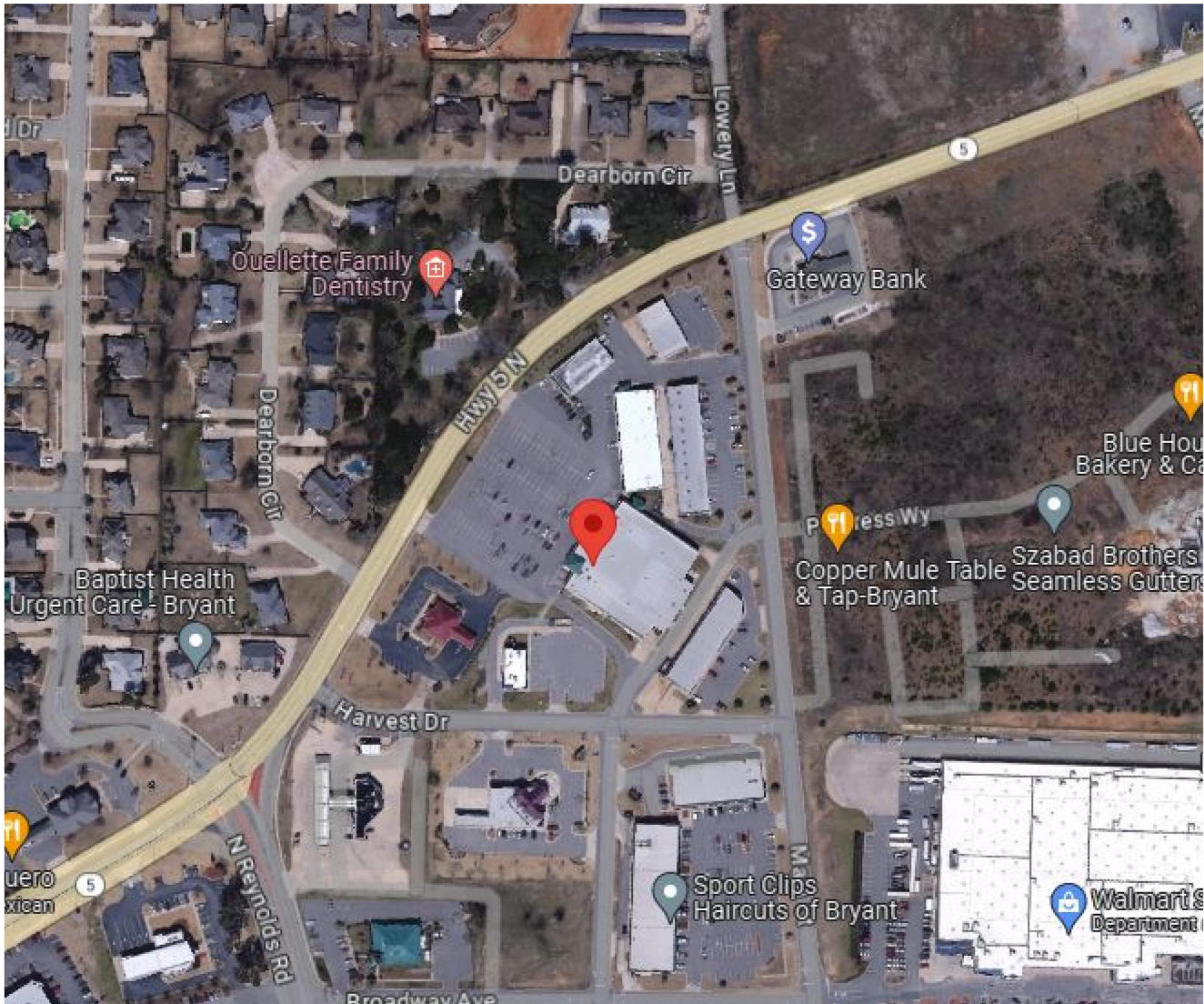
SALES REP:
Tonya Hulett

PREPARED BY:
Victoria Phan

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INITIALS: _____

LOCATION MAP



	PROPERTY BRAND/EXTENSION: Goodwill		PROPERTY LOCATION: 5914 Hwy 5 N Bryant, AR 72022	PROPERTY CODE: TBD
	DATE: 08/01/2024	SALES REP: Tonya Hulett	PREPARED BY: Victoria Phan	INITIALS: _____
	<small>©2022 ACE Company & Ace Signs of Arkansas, LLC. All Rights Reserved. This design is the property of ACE Company and are the result of original work of its employees. They are submitted to your company for the purpose of consideration to purchase from ACE Company, a project according to this design. Exhibition to anyone other than employees of your company or use of this design or to create a design that is similar without written approval from ACE Company is a violation of copyright. In the event that such violation occurs, ACE Company shall be paid for the full amount of any project using a similar design. The colors and dimensions are approximate and may vary from the actual product. Customer must Sign and Date for artwork approval to confirm they are ready for production. Please double check colors, sizes, placement, description, and spelling errors before signing. After payments and signed approval, the artwork is now owned by the customer.</small>			

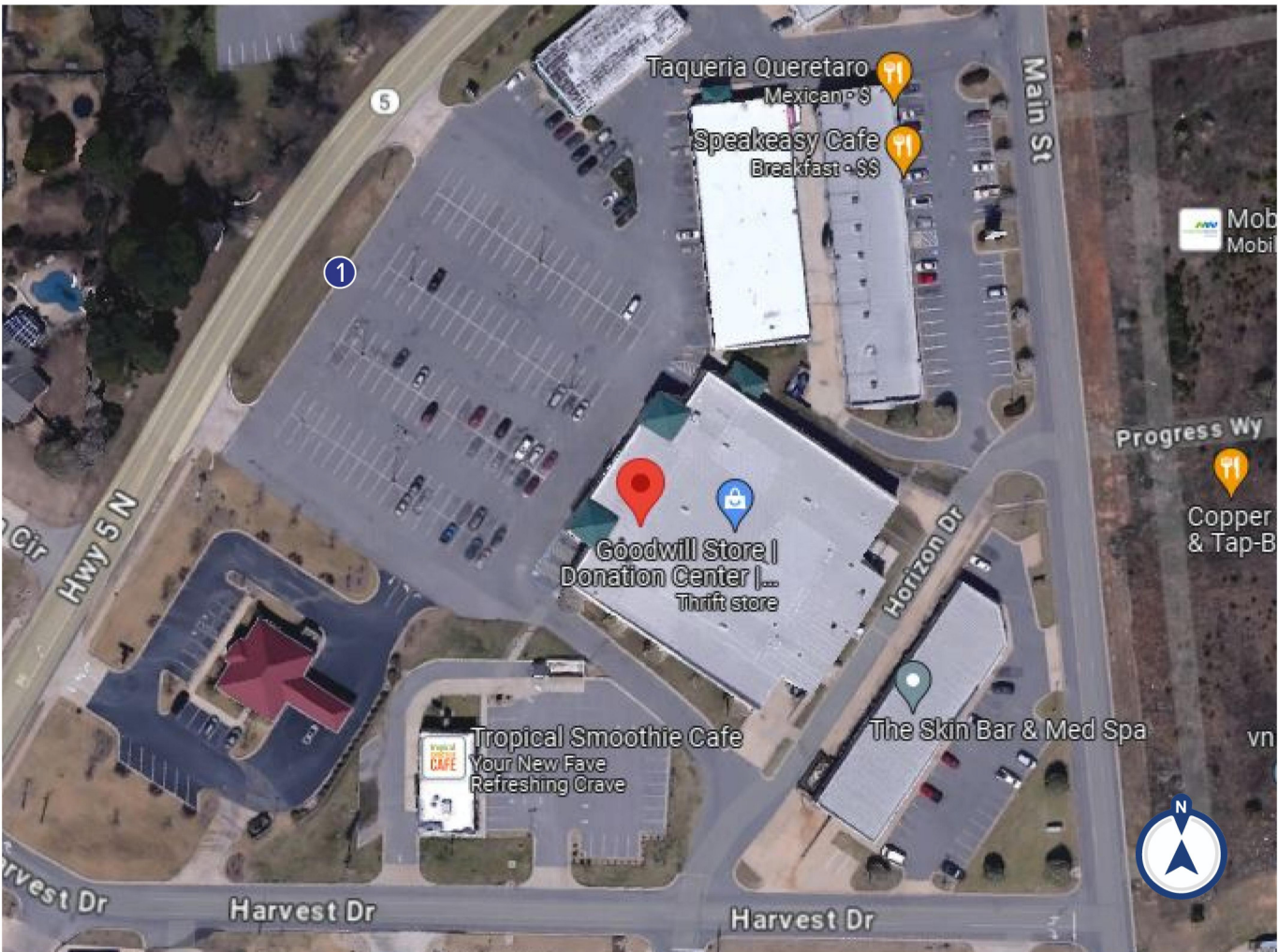
SITE PLAN

PROPOSED SIGNS:

- 1 MID-RISE

EXISTING SIGNS:

- 1 MID-RISE



PROPERTY BRAND/EXTENSION: Goodwill		PROPERTY LOCATION: 5914 Hwy 5 N Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 08/01/2024	SALES REP: Tonya Hulett	PREPARED BY: Victoria Phan		INITIALS: _____
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EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H6'-1" x W13'-5 3/4" Face with applied graphics

H4' x W13'-5 3/4" Face with applied graphics

○ PANTONE WHITE
● PANTONE BLACK

● PANTONE REFLEX BLUE

ACE
SIGNS

PROPERTY BRAND/EXTENSION:
Goodwill

PROPERTY LOCATION:
5914 Hwy 5 N Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
08/01/2024

SALES REP:
Tonya Hulett

PREPARED BY:
Victoria Phan

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INITIALS: _____

92783



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 8-29-24

Sign Co. or Sign Owner

Name Signs & Lines
Address 6821 Scott Hamilton Dr
City, State, Zip LR, AR 72209
Phone 501-562-7446
Alternate Phone NONE

Property Owner

Name Chris Walker
Address 6610 Hwy 229
City, State, Zip Traskwood, AR 72117
Phone 501-551-5502
Alternate Phone 501-804-4345

GENERAL INFORMATION

Name of Business Fence Brokers
Address/Location of sign 25736 I-30 N Bryant, AR 72022
Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan** showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Chris Walker, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	FACADE	60" x 450" x 8"	125 sq ft	210"	150"	
B	FACADE	48" x 360" x 8"	85 sq ft	168"	120"	
C						
E						
F						
G						



FENCE BROKERS INC.

122.5 SF

450"



FENCE BROKERS INC.

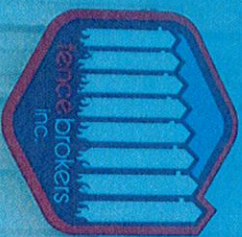
81 SF

360"

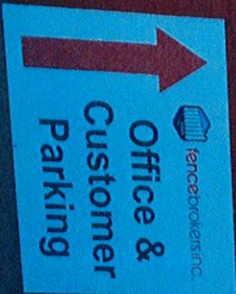


FENCE BROKERS INC.





FENCE BROKERS INC.



AUTHORIZED
PERSONNEL
ONLY
DO NOT ENTER

