



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: June 01, 2023 - **Time:** 9:00 AM

Call to Order

Old Business

1. Cypress Valley Phase 2 - Final Plat

Hope Consulting - Requesting Recommendation for Approval of Final Plat

- [0658-PLT-03.pdf](#)
- [0658-PLT-2.pdf](#)
- [0658-STSE-01.pdf](#)
- [0658-WSBND-01.pdf](#)

2. Reynolds Centre Development - 23146 I-30 N

Bond Consulting - Requesting Site Plan Approval

- [0729-PLN-01.pdf](#)
- [0729-ELV-01.pdf](#)
- [0729-SWP-01.pdf](#)
- [0729-APP-01.pdf](#)

New Business

3. Summerwood Partners Development - Vernia Park Subdivision - Site Plan Changes

Zane Robbins - Requesting Approval for Site Plan Changes

- [0739-PLN-01.pdf](#)

4. Walmart - 400 Bryant Ave - New Building Addition

Harrison French and Associates - Requesting Approval for New Building Addition

- [0740-PLN-01.pdf](#)

5. Hurricane Gardens Subdivision - Lot 2 and 3 Replat

Hope Consulting - Requesting Recommendation for Approval of Replat

- [0738-PLN-01.pdf](#)

6. Bryant Family Chiropractic - 3405 Market Place - Tenant Mounment Sign

Southpaw Designs - Requesting Sign Permit Approval

- [0735-APP-01.pdf](#)

7. Meramec Specialty Co - 6905 Hwy 5 - Fireworks Temporary Business License

Kevin Bailey - Requesting Approval for Temporary Business License for Fireworks Stand

- [0724-PLN-03.pdf](#)
- [0724-PLN-02.pdf](#)
- [0724-PLN-01.pdf](#)

8. Street Name Change - Shady Pine Street

Request for Approval of Shady Pine Street to be changed to Avery Lane.

9. REQUEST TO ADD - 407 Boone Road - Modification Request from HOB Code

Harris Family - Requesting Modification from Heart of Bryant Code for a driveway on a pedestrian friendly designated frontage and modification on Build-to zone setbacks.

- [23-0663 PP LOT 4-6 BLOCK 23 TOWN OF BRYANT-REPLAT 4R-8.5x14 P \(PP\).pdf](#)
- [23-0663 PP LOT 4-6 BLOCK 23 TOWN OF BRYANT-Revised 05-24-2023.pdf](#)

10. REQUEST TO ADD: Coral Ridge Subdivison Lots 7 & 8 - Modification for Sidewalk Location

Jeremiah Oltman - Requesting Recommendation for Approval of Modification from Code for Sidewalks to be Located at the Back of Curb.

- [0596-FPL-01.pdf](#)

Staff Approved

11. KO Auto Sales - 23337 I-30 - Sign Permit

KT&T Signs - Requesting Sign Permit Approval - STAFF APPROVED

- [0722-APP-02.pdf](#)

12. Sage Heath - 1800 N Reynolds Road - Sign Permit

Lumatech Inc - Requesting Sign Permit Approval - STAFF APPROVED

- [0733-APP-02.pdf](#)
- [0733-APP-01.pdf](#)

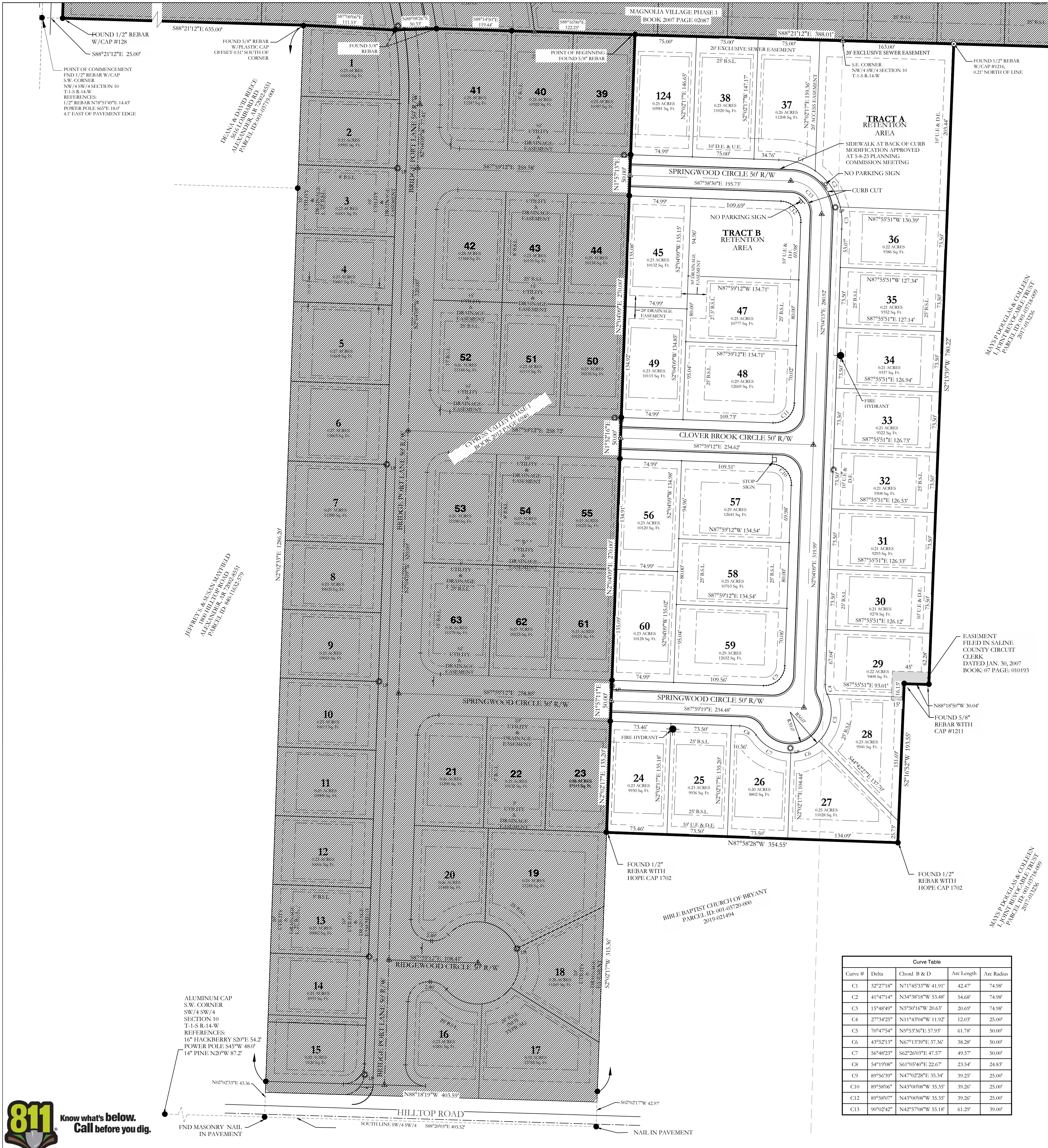
13. Road Runner - 23190 I-30 - Sign Permit

Custom Advertising - Requesting Sign Permit Approval - STAFF APPROVED

- [0737-APP-01.pdf](#)

Permit Report

Adjournments

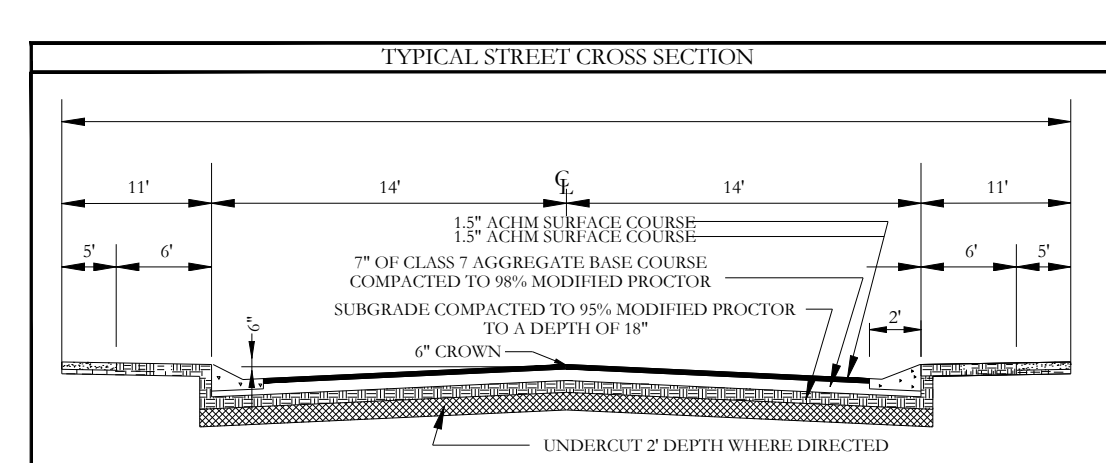


NOTES

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- MAGNOLIA VILLAGE PHASE 1 FINAL PLAT FILED ON FEB. 27, 2007, SALINE COUNTY CLERK, BOOK 07, PAGE 20887
- WARRANTY DEED, BOOK 10 PAGE 059270 FILED FOR RECORD ON JULY 10, 2010 SALINE COUNTY
- CYPRESS VALLEY PHASE 1 FINAL PLAT FILED ON JANUARY 31, 2012, SALINE COUNTY CLERK, BOOK 2012, PAGE 0940
- DELTON BROWN SURVEY SIGNED ON JANUARY 23, 2004, FILED FOR RECORD ON MARCH 5, 2004, SALINE COUNTY CLERK, BOOK 04, PAGE 18723
- NO OTHER DOCUMENTS WERE PROVIDED FOR, NOR ARE REFERENCED ON THIS SURVEY.

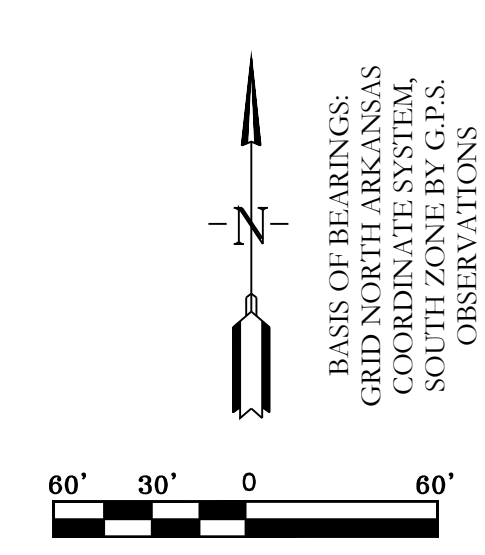
- AREAS AS SURVEYED
 - IN SW/4 SW/4 5.72 ACRES
 - IN SE/4 SW/4 2.78 ACRES



PART OF THE SE/4 SW/4 OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 14 WEST, IN SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NW/4 SW/4 OF SECTION 10, A FOUND 1/2" REBAR; THENCE S88°21'12"E 25.00' TO THE SOUTHWEST CORNER OF PHASE 1, MAGNOLIA VILLAGE, A FOUND 1/2" REBAR; THENCE AT PLATTED BEARING OF S88°21'12"E ALONG THE SOUTH BOUNDARY OF MAGNOLIA VILLAGE SUBDIVISION 635.00 FEET; THENCE S87°00'06"E 111.53 FEET TO A FOUND 5/8" REBAR; THENCE S88°08'27"E 50.33 FEET TO A FOUND 5/8" REBAR; THENCE S88°14'50"E 119.44 FEET TO A FOUND 5/8" REBAR; THENCE S88°16'00"E 122.25 FEET TO THE POINT OF BEGINNING, A FOUND 5/8" REBAR; THENCE S88°21'12"E 388.01 FEET ALONG SOUTH LINE OF MAGNOLIA VILLAGE PHASE 1 TO A SET 1/2" REBAR AND CAP, THENCE LEAVING THE SOUTH LINE OF MAGNOLIA VILLAGE PHASE 1 S2°13'39"W 780.22 FEET TO A FOUND 5/8" REBAR WITH CAP #1211, THENCE N88°18'50"W 30.04 FEET TO A FOUND #5 REBAR WITH CAP #1702, THENCE S02°16'52"W 193.55 FEET TO A FOUND #5 REBAR WITH CAP #1702, THENCE N87°58'28"W 354.55 FEET TO THE EAST BOUNDARY OF CYPRESS VALLEY PHASE 1; THENCE N02°02'17"E 135.20 FEET ALONG THE EAST BOUNDARY OF CYPRESS VALLEY PHASE 1, CONTINUING ALONG SAID BOUNDARY N01°57'11"E 50.00 FEET; N02°04'09"E 270.00 FEET; N01°52'16"E 50.00 FEET; N02°04'09"E 270.00 FEET; N01°57'13"E 50.00 FEET; N02°02'17"E 146.17 FEET TO THE SOUTH LINE OF MAGNOLIA VILLAGE PHASE 1, A FOUND #4 REBAR WITH HOPE CAP #1702 AND THE POINT OF BEGINNING. CONTAINING AN AREA OF 8.5 ACRES.

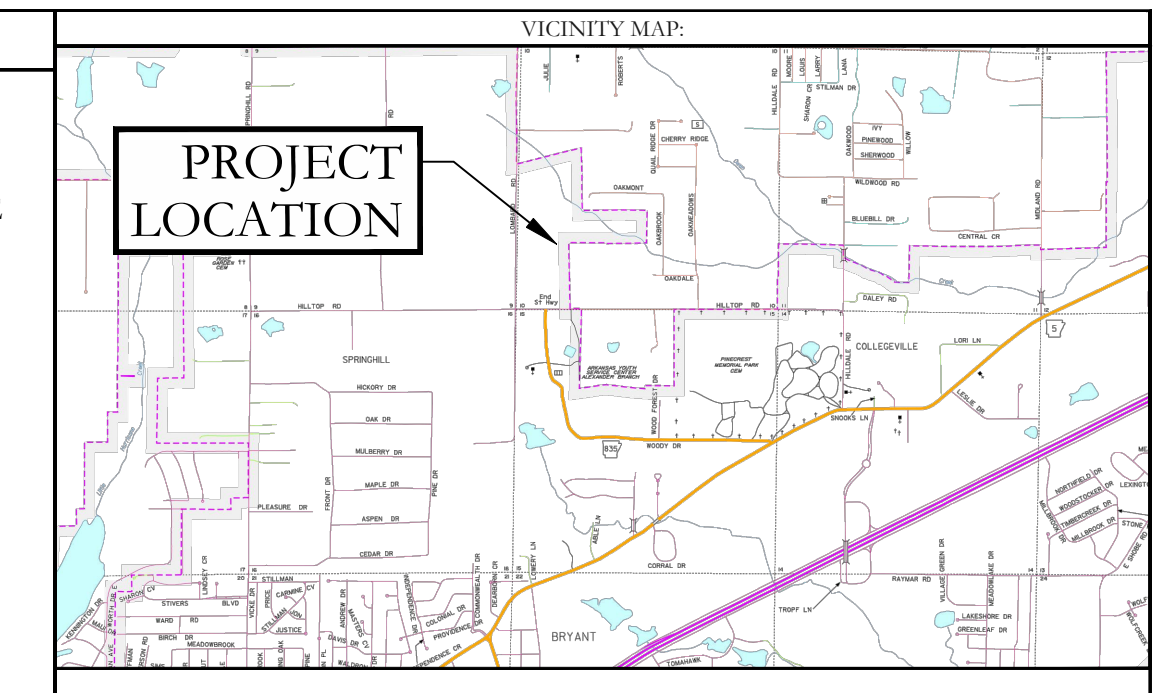
NOTE:

1. TRACT A & TRACT B WILL BE UTILIZED AS A DETENTION BASIN, DRAINAGE AND UTILITY EASEMENTS MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.



Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	32°27'18"	N71°45'33"W 41.91'	42.47'	74.98'
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C4	27°34'25"	N11°43'04"W 11.92'	12.03'	25.00'
C5	70°47'54"	N09°53'36"E 37.93'	61.78'	50.00'
C6	43°52'13"	N67°13'39"E 37.30'	38.28'	50.00'
C7	56°48'23"	S62°20'03"E 47.57'	49.57'	50.00'
C8	54°19'08"	S61°05'40"E 22.67'	23.54'	24.83'
C9	89°56'39"	N47°02'28"E 35.34'	39.25'	25.00'
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C12	89°58'07"	N45°06'08"W 35.35'	39.20'	25.00'
C13	90°02'42"	N42°57'08"W 55.18'	61.29'	39.00'

FINAL PLAT
 CYPRESS VALLEY SUBDIVISION PHASE 2
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS



OWNER: Kennedy Development, LLC
 Name: Kennedy Development, LLC
 Address: 1229 Hot Springs Hwy, Benton, AR 72089

DEVELOPER: Kennedy Development, LLC
 Name: Kennedy Development, LLC
 Address: 1229 Hot Springs Hwy, Benton, AR 72089

CERTIFICATE OF OWNER:
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution: _____ Name: _____
 Source of Title: 2021-010792

CERTIFICATE OF SURVEYING ACCURACY:
 I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution: _____ Name: Jonathan L. Hope
 Registered Professional Land Surveyor No. 1762
 Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:
 I, Kazi Islam, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

Date of Execution: _____ Name: Kazi Islam
 Registered Professional Engineer No. 20876
 Arkansas

CERTIFICATE OF FINAL APPROVAL:
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution: _____ Name: Rick Jordan,
 Bryant Planning Commission

PROPERTY SPECIFICATIONS:	
OWNER: KENNEDY DEVELOPMENT LLC 1229 HOT SPRINGS HWY BENTON, AR 72015	NUMBER OF LOTS: 25 SOURCE OF WATER: CITY OF BRYANT SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC ENERGY SOURCE OF GAS: CENTERPOINT
DEVELOPER: KENNEDY DEVELOPMENT LLC 1229 HOT SPRINGS HWY BENTON, AR 72015	BUILDING SETBACKS: FRONT: 25' OR AS SHOWN REAR: 25' OR AS SHOWN SIDE: 8' OR AS SHOWN
ENGINEERS: HOPE CONSULTING, INC. 129 N. MAIN STREET BENTON, AR 72015	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION: CYPRESS VALLEY PHASE 2 SOURCE OF TITLE: DEED BOOK 2012, PAGE 0972	ZONING: PROPOSED R-2

By affixing my seal and signature, I Jonathan L. Hope, Arkansas PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled by me or under my direct supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

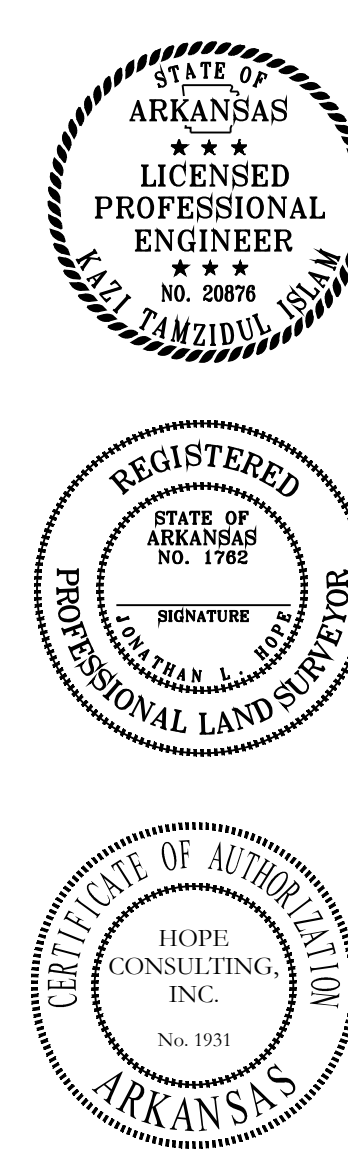
No portion of the property described hereon lies within the 100 year floodplain, according to the Flood Insurance Rate Map, panel # 05125C0240E, dated: 06/05/2020.

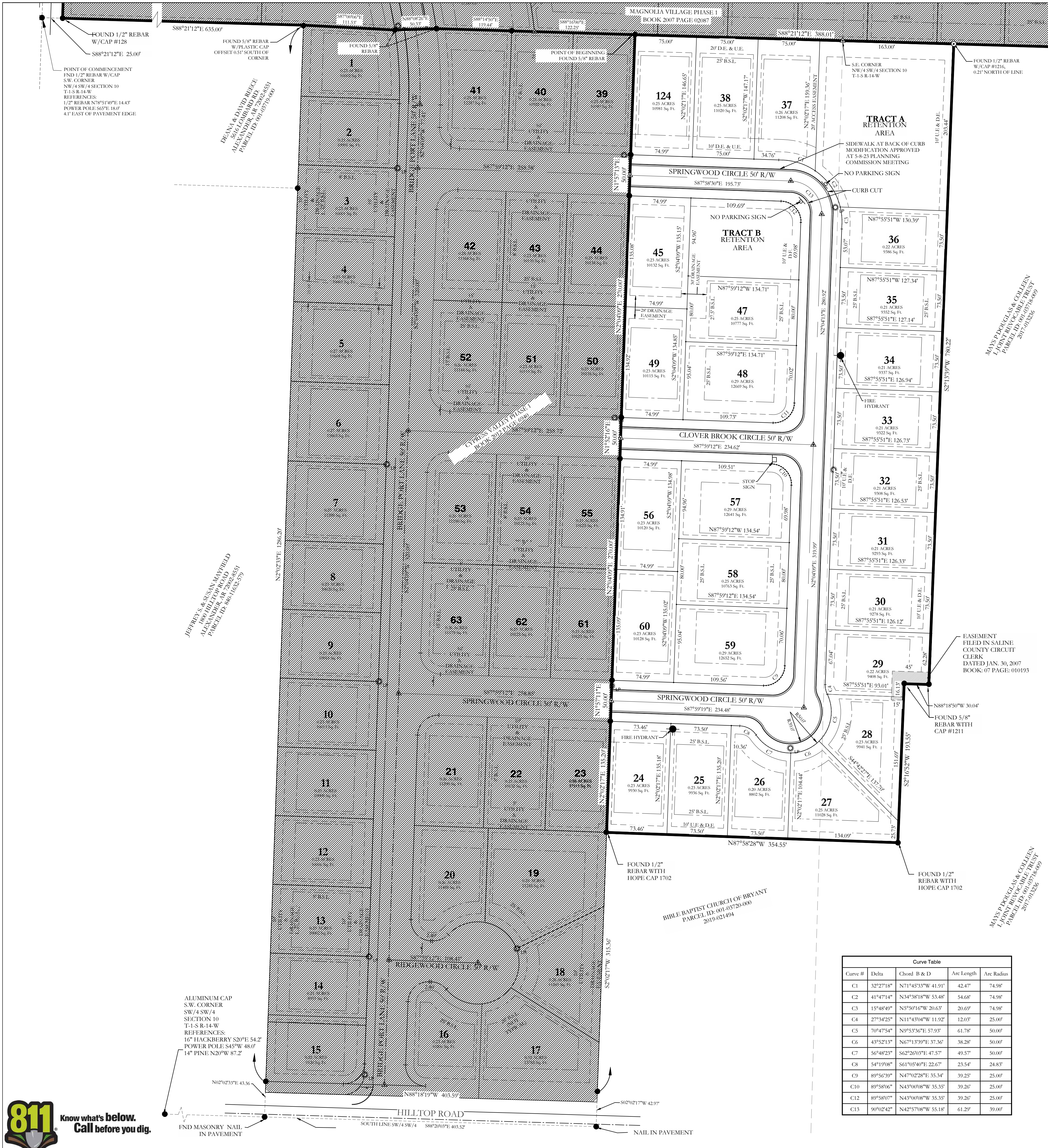
129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
KENNEDY DEVELOPMENT, LLC

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 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 05/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	21-0421
SHEET:	SCALE: 1" = 60'	
500 01S	14W	0 10 300 62 1762



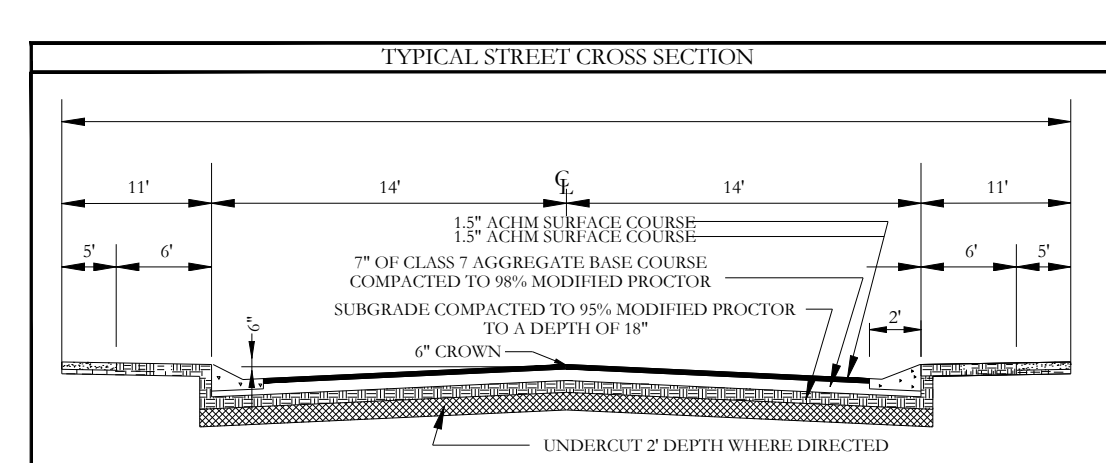


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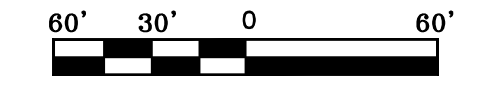
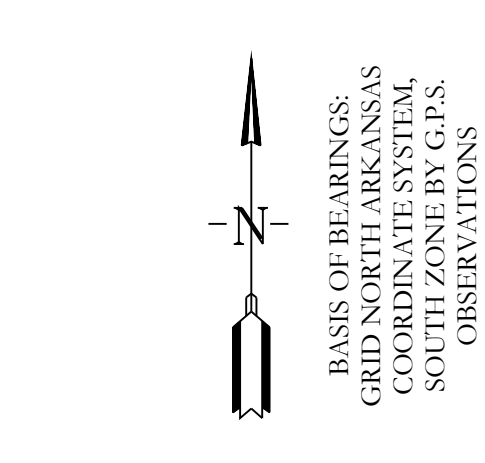
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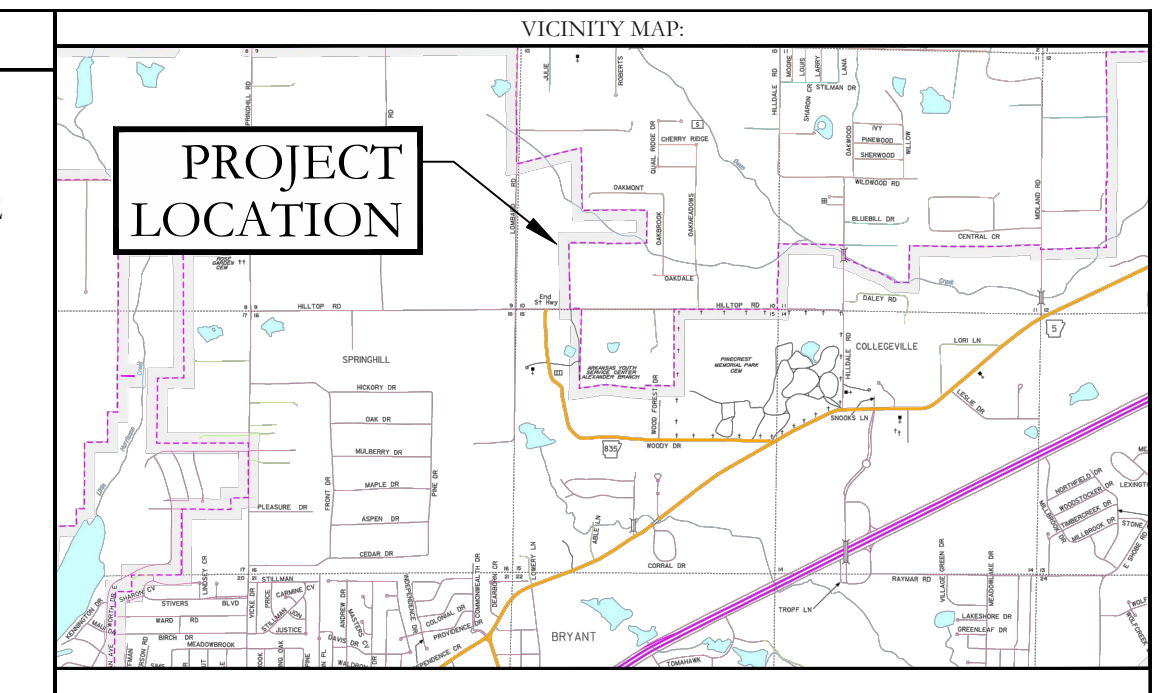
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DATE: 05/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	21-0421
SHEET:	SCALE: 1" = 60'	
500 01S	14W 0 10 300	62 1762



LEGEND

- Aliquot Corner
- Found monument
- Set 1/2" Rebar
- △ Computed point
- (M) Measured
- (P) Plat/Deed
- Fence



Estimate

Date	Estimate #
4/20/2023	16897

PO Box 185
Mabelvale, AR 72103

Name / Address
Sam Johnson Construction 3701 Alcoa Rd. Benton, AR 72015

Rep
House

Project #

Item	Description	Qty	U/M	Rate	Fuel	Labor	Total
03-0085	9"x48" Extruded Aluminum - (Cloverbrook Dr) St Sign	1		72.00			72.00
03-0085	9"x48" Extruded Aluminum - (Springwood Cir) St Sign	1		72.00			72.00
03-0089	30" OC .080 - Aluminum - HIP - Stop Sign	1		45.75			45.75
04-1023	12" U-Channel Heavy Duty Street Sign Bracket - - Extruded - 90 deg	1		19.00			19.00
04-1020	12" Bracket Crosspiece EXT Blade	1		22.00			22.00
Installation	Installation	1		500.00			500.00
	Order placed on 04/20/23						

				Subtotal	\$730.75
ESTIMATES DO NOT INCLUDE SALES TAX				Sales Tax (8.625%)	\$0.00
				Total	\$730.75

**MAINTENANCE
BOND**

United States Fire Insurance Company

Bond No.: 602-200386-9

KNOWN ALL BY THESE PRESENTS: That we Sam Johnson Construction, Inc.,
as Principal, and United States Fire Insurance Company, a corporation
organized and existing under the Laws of the State of Delaware, as Surety, are held
and firmly bound unto City Of Bryant, as Obligee, in the
total sum of _____
U.S. Dollars (120,197.00) for the payment whereof said Principal and Surety bind
themselves, jointly and severally, as provided herein.

WHEREAS, the Principal entered into a contract with the Obligee dated 5-9-2023 for
Cypress Valley Ph2 Bridgeport Road Water/Wastewater
("Work").

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal
shall maintain and remedy said Work free from defects in materials and workmanship for a
period of 2 year(s) commencing on 5-9-2023 (the
"Maintenance Period"), then this obligation shall be void; otherwise it shall remain in full force
and effect.

PROVIDED, HOWEVER, that any suit under this bond shall be commenced no later than one
(1) year from the expiration date of the Maintenance Period; provided, however, that if this
limitation is prohibited by any law controlling the construction hereof, such limitation shall be
deemed to be amended so as to be equal to the minimum period of limitation permitted by
such law, and said period of limitation shall be deemed to have accrued and shall commence
to run on the expiration date of the Maintenance Period.

SIGNED this 10 day of May, 2023.

Sam Johnson Construction, Inc.
(Principal)

By: [Signature]

United States Fire Insurance Company

By: [Signature]
Neil Simpson, Attorney-in-Fact

**POWER OF ATTORNEY
UNITED STATES FIRE INSURANCE COMPANY
PRINCIPAL OFFICE - MORRISTOWN, NEW JERSEY**

07080

KNOW ALL MEN BY THESE PRESENTS: That United States Fire Insurance Company, a corporation duly organized and existing under the laws of the state of Delaware, has made, constituted and appointed, and does hereby make, constitute and appoint:

Neil Simpson, Kathy Richardson

each, its true and lawful Attorney(s)-In-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver: Any and all bonds and undertakings of surety and other documents that the ordinary course of surety business may require, and to bind United States Fire Insurance Company thereby as fully and to the same extent as if such bonds or undertakings had been duly executed and acknowledged by the regularly elected officers of United States Fire Insurance Company at its principal office, in amounts or penalties not exceeding: **Seven Million, Five Hundred Thousand Dollars (\$7,500,000).**

This Power of Attorney limits the act of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind United States Fire Insurance Company except in the manner and to the extent therein stated.

This Power of Attorney is granted pursuant to Article IV of the By-Laws of United States Fire Insurance Company as now in full force and effect, and consistent with Article III thereof, which Articles provide, in pertinent part:

Article IV, Execution of Instruments - Except as the Board of Directors may authorize by resolution, the Chairman of the Board, President, any Vice-President, any Assistant Vice President, the Secretary, or any Assistant Secretary shall have power on behalf of the Corporation:

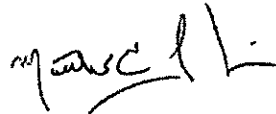
(a) to execute, affix the corporate seal manually or by facsimile to, acknowledge, verify and deliver any contracts, obligations, instruments and documents whatsoever in connection with its business including, without limiting the foregoing, any bonds, guarantees, undertakings, recognizances, powers of attorney or revocations of any powers of attorney, stipulations, policies of insurance, deeds, leases, mortgages, releases, satisfactions and agency agreements;

(b) to appoint, in writing, one or more persons for any or all of the purposes mentioned in the preceding paragraph (a), including affixing the seal of the Corporation.

Article III, Officers, Section 3.11, Facsimile Signatures. The signature of any officer authorized by the Corporation to sign any bonds, guarantees, undertakings, recognizances, stipulations, powers of attorney or revocations of any powers of attorney and policies of insurance issued by the Corporation may be printed, facsimile, lithographed or otherwise produced. In addition, if and as authorized by the Board of Directors, dividend warrants or checks, or other numerous instruments similar to one another in form, may be signed by the facsimile signature or signatures, lithographed or otherwise produced, of such officer or officers of the Corporation as from time to time may be authorized to sign such instruments on behalf of the Corporation. The Corporation may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Corporation, notwithstanding the fact that he may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, United States Fire Insurance Company has caused these presents to be signed and attested by its appropriate officer and its corporate seal hereunto affixed this 28th day of September, 2021.

UNITED STATES FIRE INSURANCE COMPANY



Matthew E. Lubin, President



State of New Jersey)
County of Morris)

On this 28th day of September, 2021, before me, a Notary public of the State of New Jersey, came the above named officer of United States Fire Insurance Company, to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seal of United States Fire Insurance Company thereto by the authority of his office.

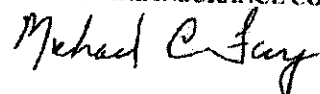


Melissa H. D'Alessio
Melissa H. D'Alessio (Notary Public)

I, the undersigned officer of United States Fire Insurance Company, a Delaware corporation, do hereby certify that the original Power of Attorney of which the foregoing is a full, true and correct copy is still in force and effect and has not been revoked.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of United States Fire Insurance Company on the 7 day of MAY 2023

UNITED STATES FIRE INSURANCE COMPANY



Michael C. Fay, Senior Vice President



**MAINTENANCE
BOND**

United States Fire Insurance Company

Bond No.: 602-200387-8

KNOWN ALL BY THESE PRESENTS: That we Sam Johnson Construction, Inc.,
as Principal, and United States Fire Insurance Company, a corporation
organized and existing under the Laws of the State of Delaware, as Surety, are held
and firmly bound unto City Of Bryant, as Obligee, in the
total sum of _____
U.S. Dollars (54,250.00) for the payment whereof said Principal and Surety bind
themselves, jointly and severally, as provided herein.

WHEREAS, the Principal entered into a contract with the Obligee dated 5-9-2023 for
Cypress Valley Ph2 Bridgeport Road Street Specification Part 2.7
("Work").

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal
shall maintain and remedy said Work free from defects in materials and workmanship for a
period of 1 year(s) commencing on 5-09-2023 (the
"Maintenance Period"), then this obligation shall be void; otherwise it shall remain in full force
and effect.

PROVIDED, HOWEVER, that any suit under this bond shall be commenced no later than one
(1) year from the expiration date of the Maintenance Period; provided, however, that if this
limitation is prohibited by any law controlling the construction hereof, such limitation shall be
deemed to be amended so as to be equal to the minimum period of limitation permitted by
such law, and said period of limitation shall be deemed to have accrued and shall commence
to run on the expiration date of the Maintenance Period.

SIGNED this 10 day of May, 2023.

Sam Johnson Construction, Inc.
(Principal)

By: 

United States Fire Insurance Company

By: 
Neil Simpson, Attorney-in-Fact

**POWER OF ATTORNEY
UNITED STATES FIRE INSURANCE COMPANY
PRINCIPAL OFFICE - MORRISTOWN, NEW JERSEY**

07080

KNOW ALL MEN BY THESE PRESENTS: That United States Fire Insurance Company, a corporation duly organized and existing under the laws of the state of Delaware, has made, constituted and appointed, and does hereby make, constitute and appoint:

Neil Simpson, Kathy Richardson

each, its true and lawful Attorney(s)-In-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver: Any and all bonds and undertakings of surety and other documents that the ordinary course of surety business may require, and to bind United States Fire Insurance Company thereby as fully and to the same extent as if such bonds or undertakings had been duly executed and acknowledged by the regularly elected officers of United States Fire Insurance Company at its principal office, in amounts or penalties not exceeding: **Seven Million, Five Hundred Thousand Dollars (\$7,500,000).**

This Power of Attorney limits the act of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind United States Fire Insurance Company except in the manner and to the extent therein stated.

This Power of Attorney is granted pursuant to Article IV of the By-Laws of United States Fire Insurance Company as now in full force and effect, and consistent with Article III thereof, which Articles provide, in pertinent part:

Article IV, Execution of Instruments - Except as the Board of Directors may authorize by resolution, the Chairman of the Board, President, any Vice-President, any Assistant Vice President, the Secretary, or any Assistant Secretary shall have power on behalf of the Corporation:

- (a) to execute, affix the corporate seal manually or by facsimile to, acknowledge, verify and deliver any contracts, obligations, instruments and documents whatsoever in connection with its business including, without limiting the foregoing, any bonds, guarantees, undertakings, recognizances, powers of attorney or revocations of any powers of attorney, stipulations, policies of insurance, deeds, leases, mortgages, releases, satisfactions and agency agreements;
- (b) to appoint, in writing, one or more persons for any or all of the purposes mentioned in the preceding paragraph (a), including affixing the seal of the Corporation.

Article III, Officers, Section 3.11, Facsimile Signatures. The signature of any officer authorized by the Corporation to sign any bonds, guarantees, undertakings, recognizances, stipulations, powers of attorney or revocations of any powers of attorney and policies of insurance issued by the Corporation may be printed, facsimile, lithographed or otherwise produced. In addition, if and as authorized by the Board of Directors, dividend warrants or checks, or other numerous instruments similar to one another in form, may be signed by the facsimile signature or signatures, lithographed or otherwise produced, of such officer or officers of the Corporation as from time to time may be authorized to sign such instruments on behalf of the Corporation. The Corporation may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Corporation, notwithstanding the fact that he may have ceased to be such at the time when such instruments shall be issued.

IN WITNESS WHEREOF, United States Fire Insurance Company has caused these presents to be signed and attested by its appropriate officer and its corporate seal hereunto affixed this 28th day of September, 2021.

UNITED STATES FIRE INSURANCE COMPANY



State of New Jersey)
County of Morris)

Matthew E. Lubin

Matthew E. Lubin, President

On this 28th day of September, 2021, before me, a Notary public of the State of New Jersey, came the above named officer of United States Fire Insurance Company, to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seal of United States Fire Insurance Company thereto by the authority of his office.



Melissa H. D'Alessio
Melissa H. D'Alessio (Notary Public)

I, the undersigned officer of United States Fire Insurance Company, a Delaware corporation, do hereby certify that the original Power of Attorney of which the foregoing is a full, true and correct copy is still in force and effect and has not been revoked.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of United States Fire Insurance Company on the 7 day of MAY 20 23

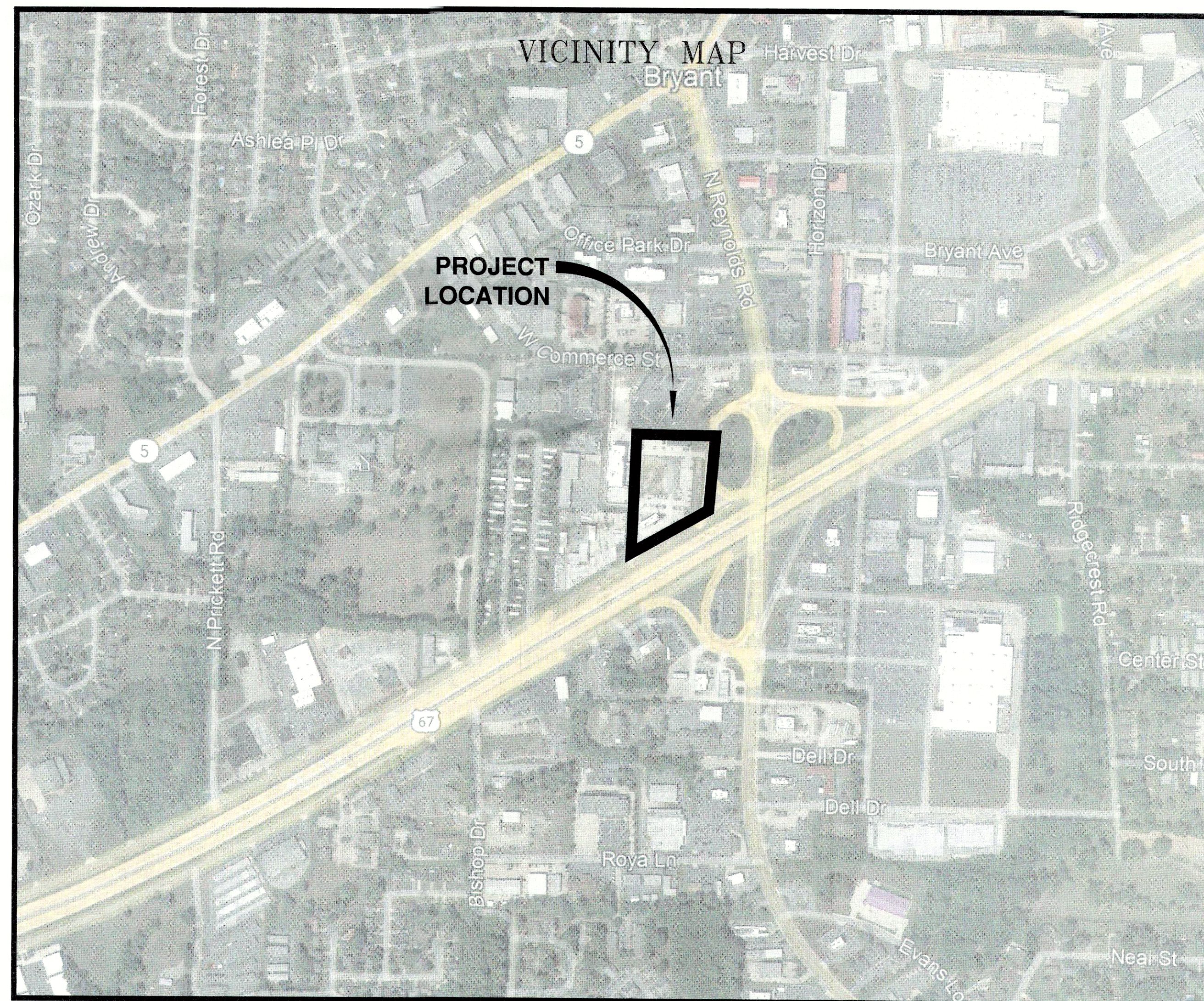
UNITED STATES FIRE INSURANCE COMPANY



Michael C. Fay

Michael C. Fay, Senior Vice President

REYNOLDS CENTRE COMMERCIAL EXPANSION BRYANT, SALINE COUNTY, ARKANSAS



SCHEDULE OF DRAWINGS

SHEET NO.	DESCRIPTION
COVER SHEET	COVER SHEET (TITLE, SCHEDULE OF DRAWINGS, VICINITY MAP)
C1.0	SITE PLAN
C2.0	DEMOLITION PLAN
C3.0	MASTER UTILITY PLAN
C4.0	WATER PLAN
C4.1	WATER DETAILS
C5.0	SANITARY SEWER PLAN & PROFILE
C6.0	GRADING & STORM DRAINAGE PLAN
C7.0	PAVING PLAN
C8.0	SIDEWALK & PARKING PLAN
C9.0	LANDSCAPE PLAN
C10.0	EROSION CONTROL PLAN



PREPARED BY:



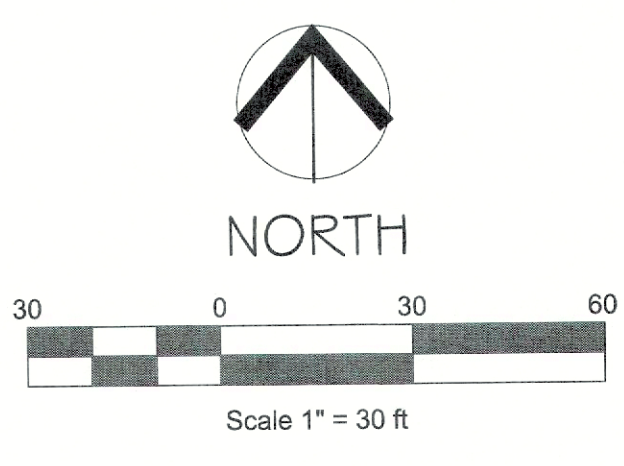
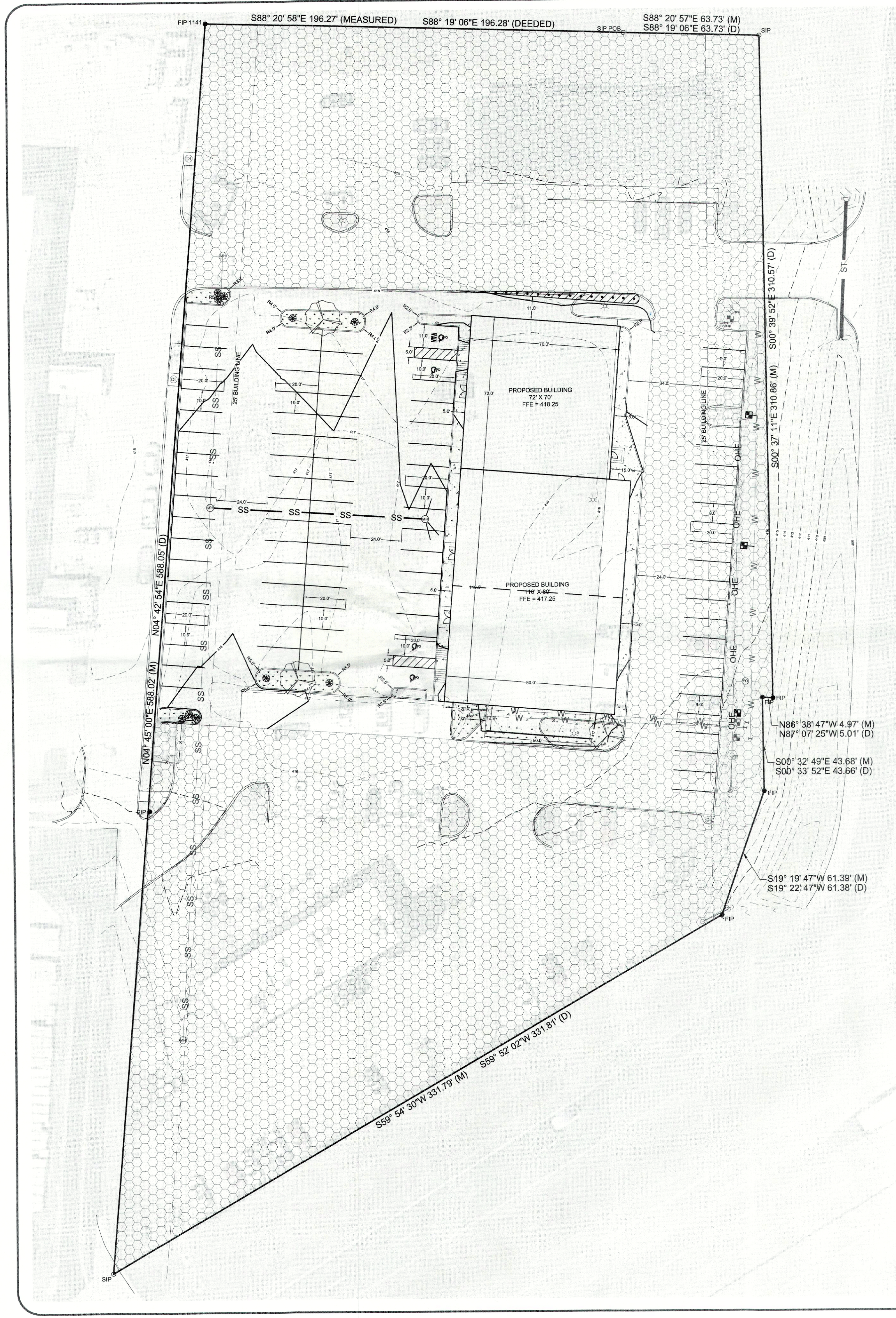
BOND CONSULTING ENGINEERS, INC.
2601 T. P. White Drive
Jacksonville, Arkansas 72076
Phone: (501) 982-1538 Fax: (501) 982-1530

DATE: MAY 5, 2023

PREPARED FOR:

ALAN BUBBUS
RYAN ROONEY
ANCHOR REALTY
1600 GREGORY ST.
NORTH LITTLE ROCK, ARKANSAS 72114





SITE AND BUILDING STATISTICS:
 PROPOSED BUILDING: 13,840 SQ. FT.
 BUILDING HEIGHT: ONE STORY
 BLDG SITE COVERAGE: 10.0%

PARKING CALCULATIONS:
 CRITERIA: C-2 HIGHWAY COMMERCIAL DISTRICT

PROPOSED BUILDING: 13,840 SQ. FT. OCCUPIED SPACE
 PARKING PROVIDED: 91 TOTAL
 HANDICAP PROVIDED: 4 TOTAL
 VAN SPACES PROVIDED: 1 TOTAL

LEGEND:

	EXISTING DEVELOPMENT
	BOUNDARY LINE
	BUILDING LINE
	EASEMENT LINE
	WATER LINE
	SEWER LINE
	OVERHEAD ELECTRIC
	STREET CENTERLINE
	RIGHT-OF-WAY
	CONTOUR
	FENCE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	DROP INLET
	FIBER OPTIC
	TELEPHONE PEDESTAL
	POWER POLE
	LIGHT POLE

LEGEND - PLANT LIST

KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE
	3	CREPE MYRTLE <i>Lagerstroemia</i>	BBB	3" CAL
	10	DWARF NANDINA <i>Nandina dumestris</i>	CONT.	3 GAL

NOTE: GROUND COVER TO BE BERMUDA GRASS UNLESS OTHERWISE NOTED

- GENERAL NOTES:**
- 1.) IRON PINS SET AT ALL LOT CORNERS.
 - 2.) BUILDING LINES SHALL BE AS INDICATED ON THIS PLAT.
 - 3.) EASEMENTS SHALL BE A MINIMUM 15 FEET IN WIDTH UNLESS NOTED OTHERWISE.
 - 4.) WATER & SEWER SERVICE PROVIDED BY CITY OF BRYANT.
 - 5.) THIS PROPERTY IS ZONED "C-2."
 - 6.) CURVE DIMENSION MEASURED ALONG CHORD.
 - 7.) NO CHANGES IN THE FINAL PLAT ARE PERMITTED WITHOUT APPROVAL OF THE BRYANT PLANNING COMMISSION.
 - 8.) BASIS OF BEARINGS: AR GRID NORTH

IRON PINS SET = 1/2" REBAR
 F.I.P. = FOUND 1/2" REBAR

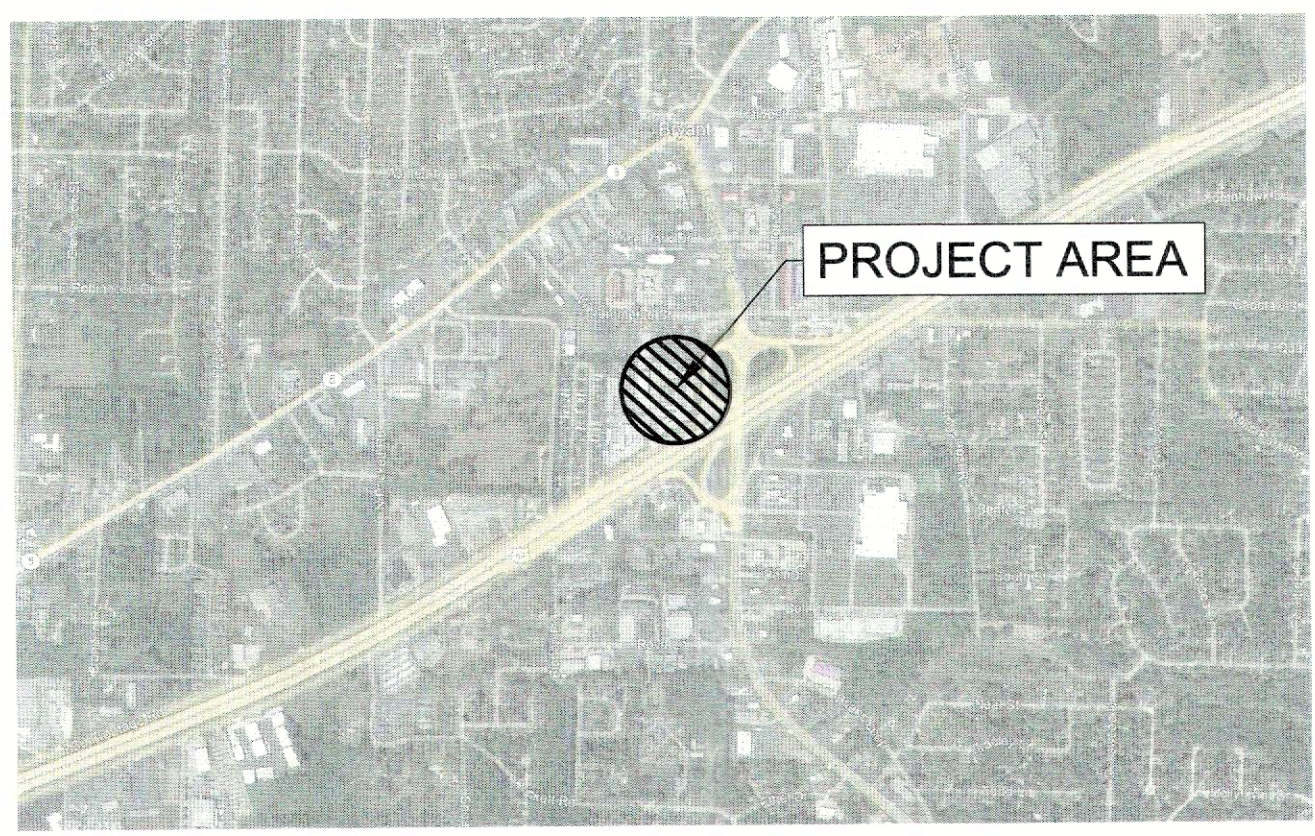
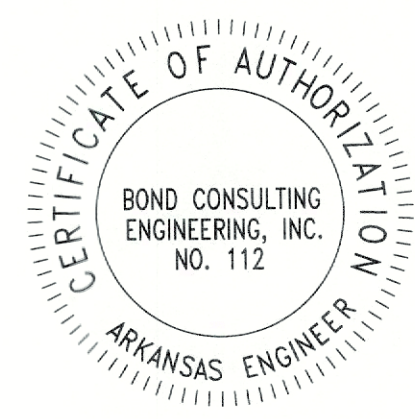
BASIS OF BEARINGS = GRID NORTH.
 ARKANSAS STATE PLANE COORDINATE SYSTEM,
 SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83).

UTILITIES:
 BRYANT WATER DEPARTMENT
 210 SW 3rd St
 BRYANT, AR 72022
 (501) 943-0441

BRYANT WASTEWATER DEPARTMENT
 1019 S.W. 2ND ST.
 BRYANT, AR 72022
 (501) 943-0469

FIRST ELECTRIC COOPERATIVE
 1000 SOUTH J.P. WRIGHT LOOP RD.
 JACKSONVILLE, AR 72076
 (501) 985-4545

CENTURYTEL
 1-800-483-5400



VICINITY MAP

LEGAL DESCRIPTION: REYNOLDS CENTRE
 LANDS LYING IN PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 SULLIVAN PLACE SUBDIVISION, BRYANT ARKANSAS FILED FOR RECORD 1999-54495 RECORDS OF SALINE COUNTY, SOUTH 88 DEGREES 19 MINUTES 06 SECONDS EAST 63.73 FEET; THENCE SOUTH 00 DEGREES 39 MINUTES 52 SECONDS WEST 5.01 FEET; THENCE SOUTH 00 DEGREES 39 MINUTES 52 SECONDS EAST 43.66 FEET; THENCE SOUTH 19 DEGREES 22 MINUTES 47 SECONDS WEST 61.38 FEET; THENCE SOUTH 59 DEGREES 52 MINUTES 02 SECONDS WEST 331.81 FEET; THENCE NORTH 04 DEGREES 42 MINUTES 54 SECONDS EAST 588.05 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 06 SECONDS EAST 196.28 FEET TO THE POINT OF BEGINNING CONTAINING 3.166 ACRES MORE OR LESS.

FLOOD STATEMENT:
 FIRM FLOOD INSURANCE RATE MAP PANELS 05125C0380E (EFFECTIVE DATE: JUNE 5, 2020) AND 05125C0360E (EFFECTIVE DATE: JUNE 5, 2020) INDICATES THAT THIS PROPERTY IS LOCATED ABOVE THE 100 YEAR FLOOD PLAIN.

CERTIFICATE OF SITE PLAN APPROVAL:

PURSUANT TO THE BRYANT UNIFIED DEVELOPMENT CODE, AND ALL OF THE CONDITIONS OF APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER THIS AUTHORITY OF SAID RULES AND REGULATIONS.

DATE _____ SIGNED - CHAIRMAN
 BRYANT PLANNING COMMISSION

CERTIFICATE OF OWNER:

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

DATE OF EXECUTION _____ SIGNED
 ANCHOR REALTY

SOURCE OF TITLE INSTRUMENT NO. _____

CERTIFICATE OF SURVEY ACCURACY:

I, T. R. BOND, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION, AND THAT ALL CORNERS ARE SHOWN IN ACCORDANCE WITH THE EXISTING MONUMENTS OF THE AREA IMPROVEMENTS

DATE: _____ T. R. BOND,
 REGISTERED LAND SURVEYOR,
 NO. 28, ARKANSAS

CERTIFICATE OF ENGINEERING ACCURACY:

I, THOMAS R. BOND, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY AND A PLAN MADE BY ME, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL ENGINEERING REQUIREMENTS OF THE JACKSONVILLE SUBDIVISION RULES AND REGULATIONS HAVE BEEN FULLY COMPLIED WITH.

DATE: _____ THOMAS R. BOND,
 REGISTERED PROFESSIONAL ENGINEER
 NO. 2219, ARKANSAS

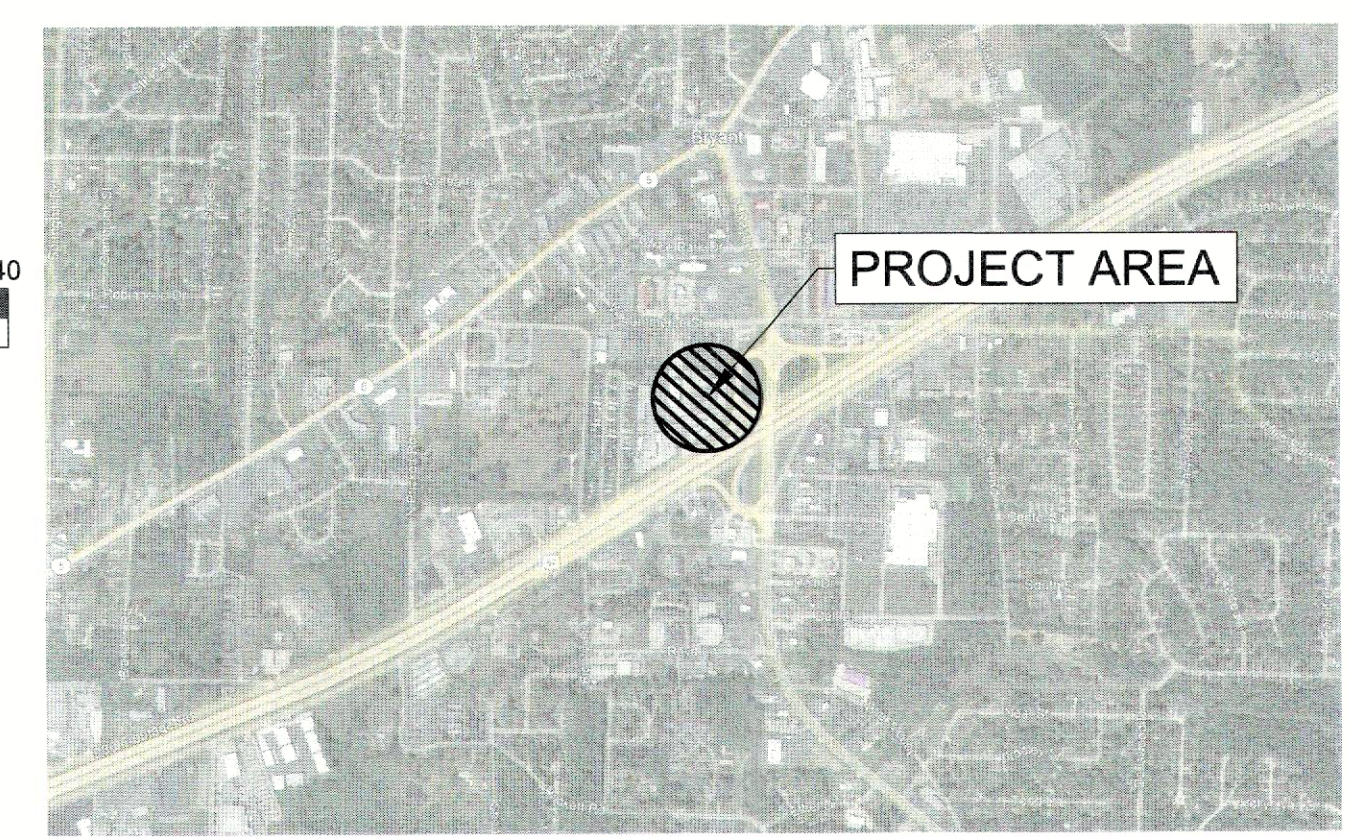
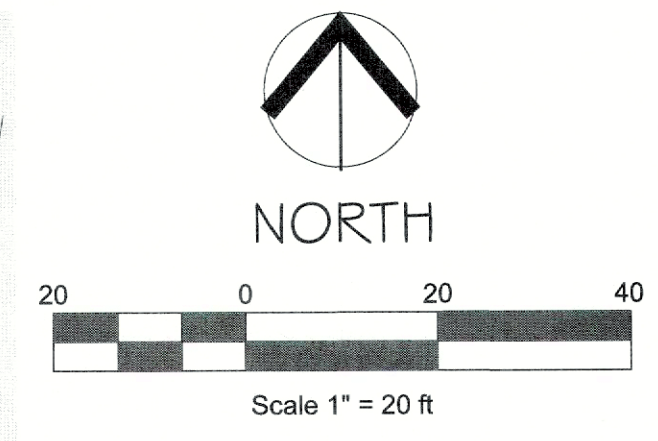
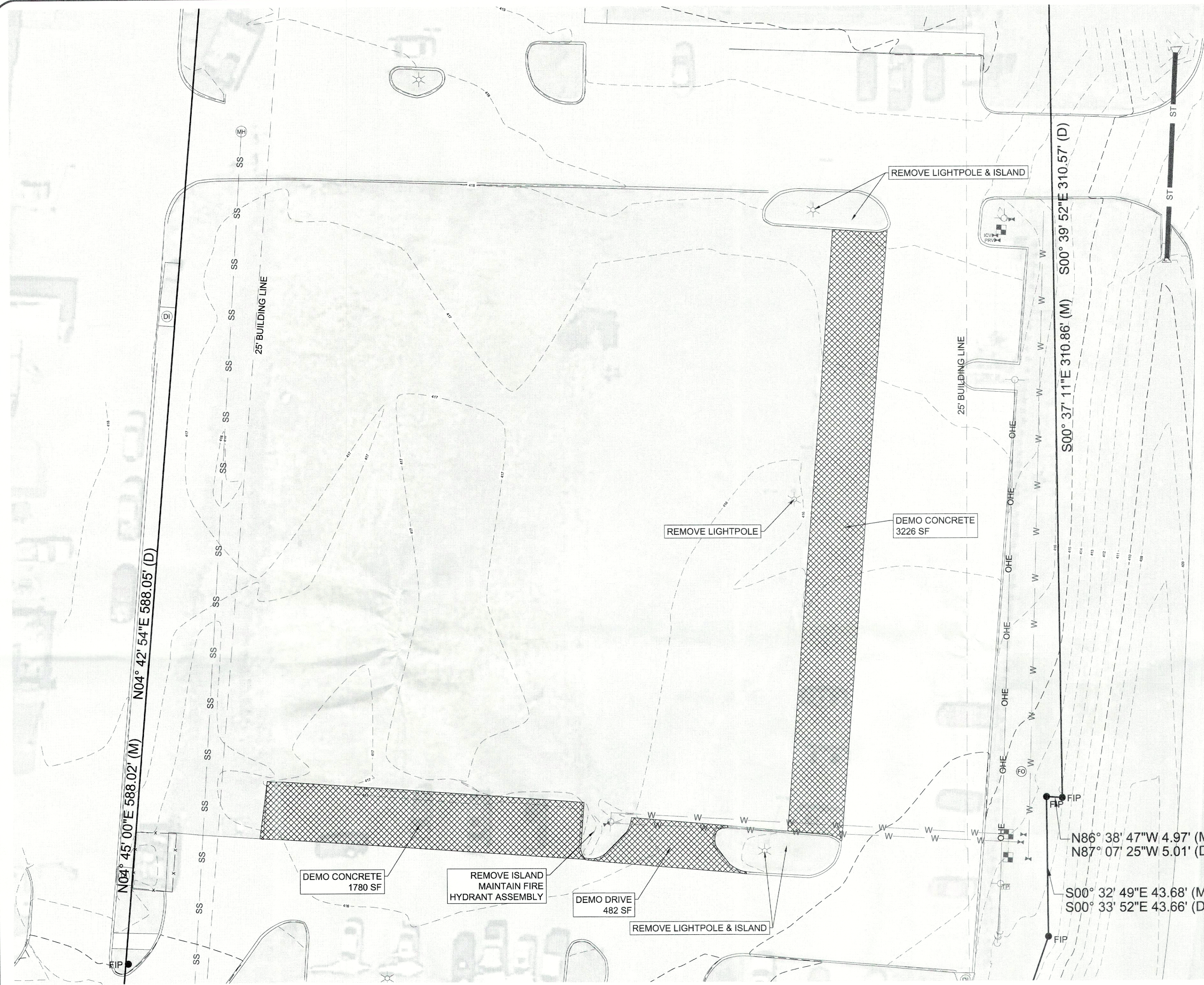
BOND CONSULTING ENGINEERS, INC.
 2601 T. P. White Drive
 Jacksonville, Arkansas 72076
 Phone: (501) 982-1538 Fax: (501) 982-1530
 E-mail: arbond@bondce.com
 E-mail: arbondce@bondce.com

Prepared For:
 Alan Bubbus
 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

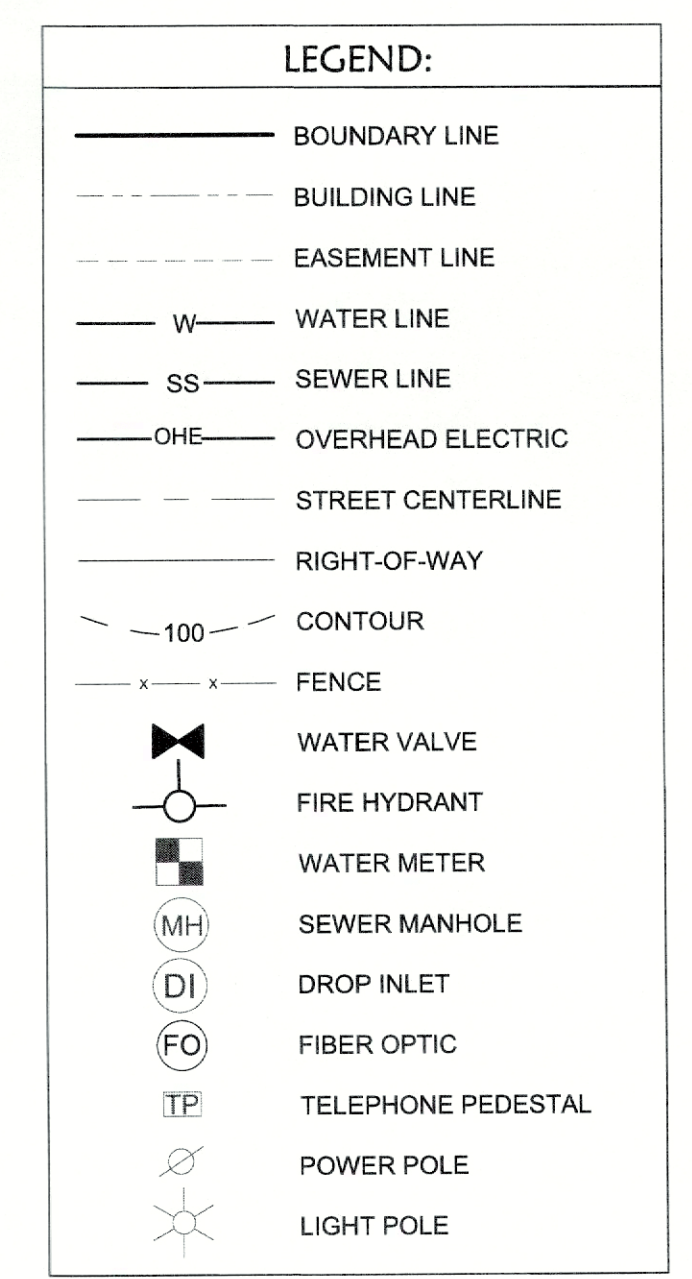
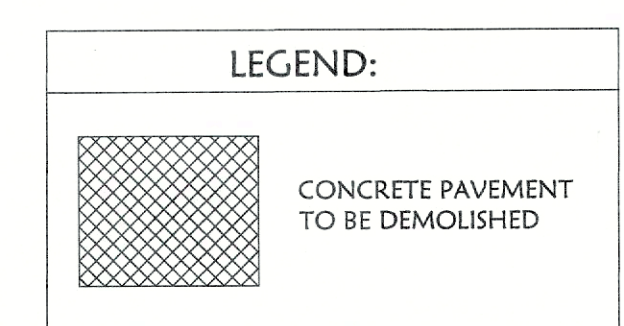
SITE PLAN
REYNOLDS CENTRE
BRYANT, SALINE COUNTY, ARKANSAS

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:

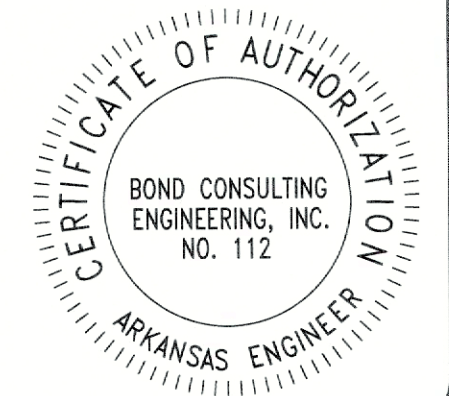
C1.0



VICINITY MAP



UTILITIES:
 BRYANT WATER DEPARTMENT
 210 SW 3rd St
 BRYANT, AR 72022
 (501) 943-0441
 BRYANT WASTEWATER DEPARTMENT
 1019 S.W. 2ND ST.
 BRYANT, AR 72022
 (501) 943-0469
 FIRST ELECTRIC COOPERATIVE
 1000 SOUTH J.F. WRIGHT LOOP RD.
 JACKSONVILLE, AR 72076
 (501) 985-4545
 CENTURYTEL
 1-800-483-5400



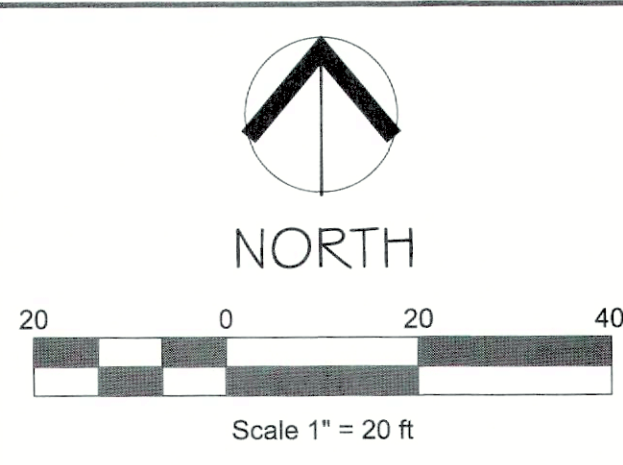
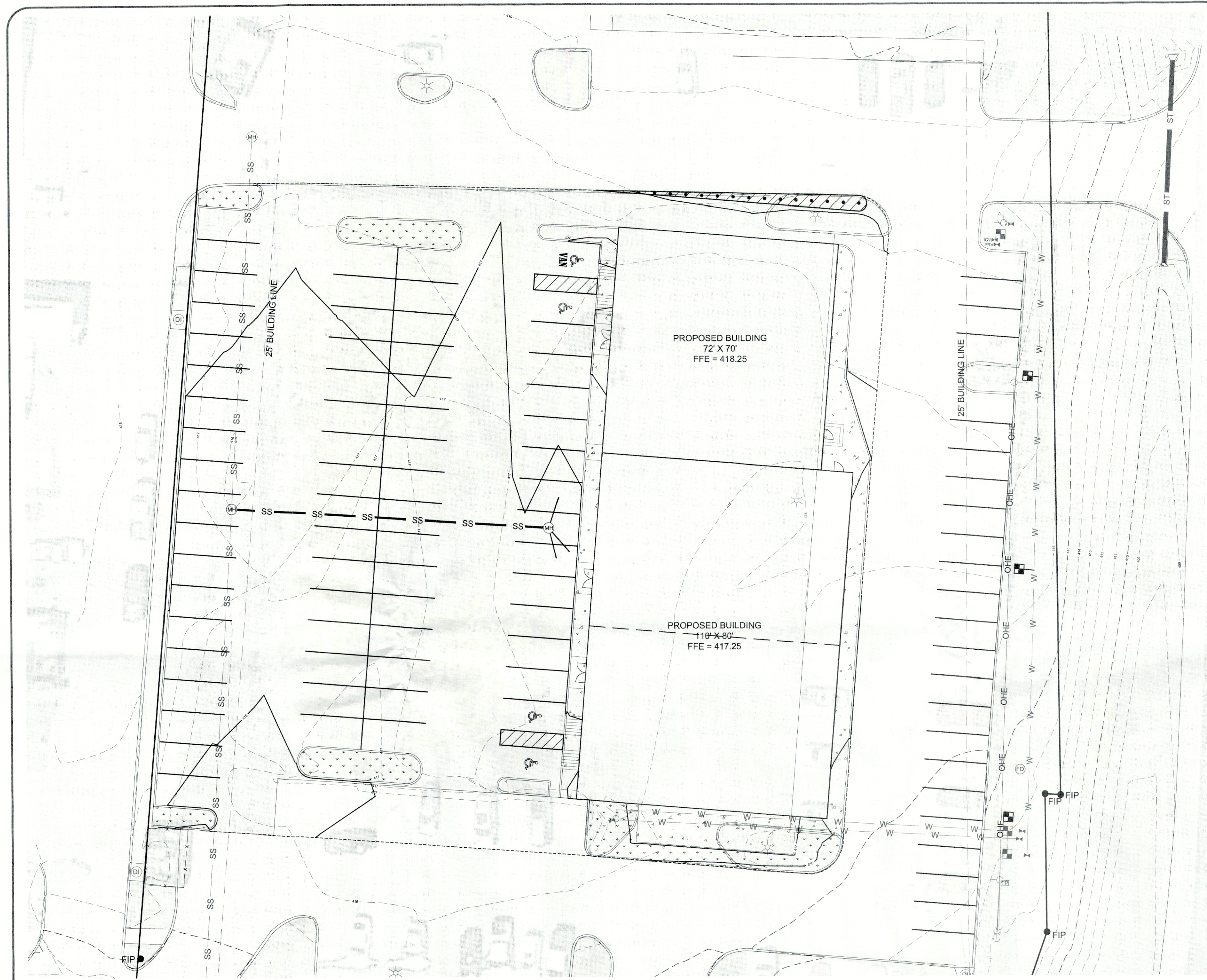
BOND CONSULTING ENGINEERS, INC.
 2801 T. P. White Drive
 Jacksonville, Arkansas 72076
 Phone: (501) 982-1538 Fax: (501) 982-1530
 E-mail: tbrbond@bceinc.com
 E-mail: arbond@bceinc.com

Prepared For:
 Alan Bubbus
 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

DEMOLITION PLAN
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:

C2.0



VICINITY MAP

LEGEND:

	BOUNDARY LINE
	BUILDING LINE
	EASEMENT LINE
	WATER LINE
	SEWER LINE
	OVERHEAD ELECTRIC
	STREET CENTERLINE
	RIGHT-OF-WAY
	CONTOUR
	FENCE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	DROP INLET
	FIBER OPTIC
	TELEPHONE PEDESTAL
	POWER POLE
	LIGHT POLE

- GENERAL NOTES:**
1. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED THE BRYANT WATER DEPARTMENT AND BRYANT WASTEWATER DEPARTMENT UTILITY STANDARDS AND THE ARKANSAS DEPARTMENT OF HEALTH STANDARDS.
 2. SEWER MAINS AND FITTINGS SHALL BE SDR-26 PVC. ALL SERVICE LINES SHALL BE SDR 26. ALL SERVICE LINES TO BE CONSTRUCTED TO WITHIN 5 FEET OF THE BUILDING.
 3. ALL WATER LINES TO BE CONSTRUCTED OF SDR 17 PVC CLASS 250 UNLESS OTHERWISE STATED.
 4. ALL WATER SERVICE LINES SHALL CONFORM TO PLUMBING LOCATIONS ON THE MECHANICAL DRAWING.
 5. CONTRACTOR WILL WARRANTY ALL CONSTRUCTION AND MATERIALS FOR A PERIOD OF ONE (1) YEAR UPON SUBSTANTIAL COMPLETION.
 6. ALL STUBOUTS FOR SEWER MAIN SHALL BE CAPPED AND MARKED FOR EASY LOCATION IN THE FUTURE.
 7. IN THE EVENT THAT THE MATERIALS LISTED ON THE PLANS AND SPECIFICATIONS DIFFER FROM THE STANDARDS OF BRYANT WATER OR BRYANT WASTEWATER, THE SAID STANDARDS FOR THE UTILITY SHALL BE USED.
 8. CONTRACTOR TO GIVE 48 HRS. NOTICE PRIOR TO STARTING CONSTRUCTION. A UTILITY REPRESENTATIVE MUST BE PRESENT WHEN THE CONTRACTOR TIES INTO AN EXISTING MANHOLE OR WATER LINE AND THE UTILITY MUST BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO THE CONNECTION.
 9. WATER LINES AND SEWER LINES SHALL BE SEPARATED BY A MINIMUM OF 1' HORIZONTAL AND 1.5' VERTICAL.
 10. AS-BUILT DRAWINGS TO BE PROVIDED BY CONTRACTOR TO ENGINEER/ARCHITECT. ALL VALVES SHALL BE REFERENCED BY TWO LOCATIONS AND ALL SEWER SERVICES TO BE MEASURED FROM MANHOLE.
 11. ALL WATER SHALL HAVE TRACER WIRE INSTALLED.

UTILITIES:

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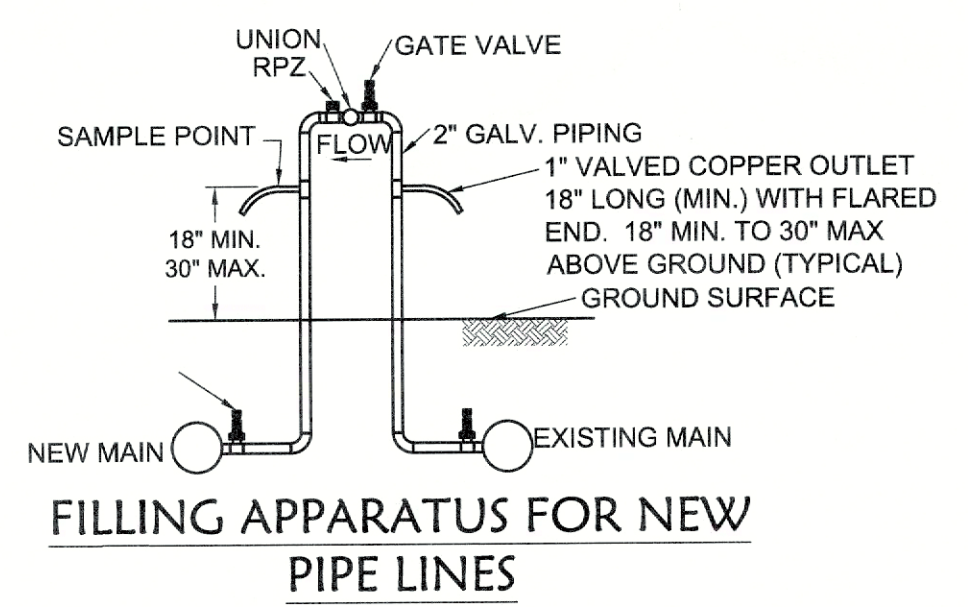
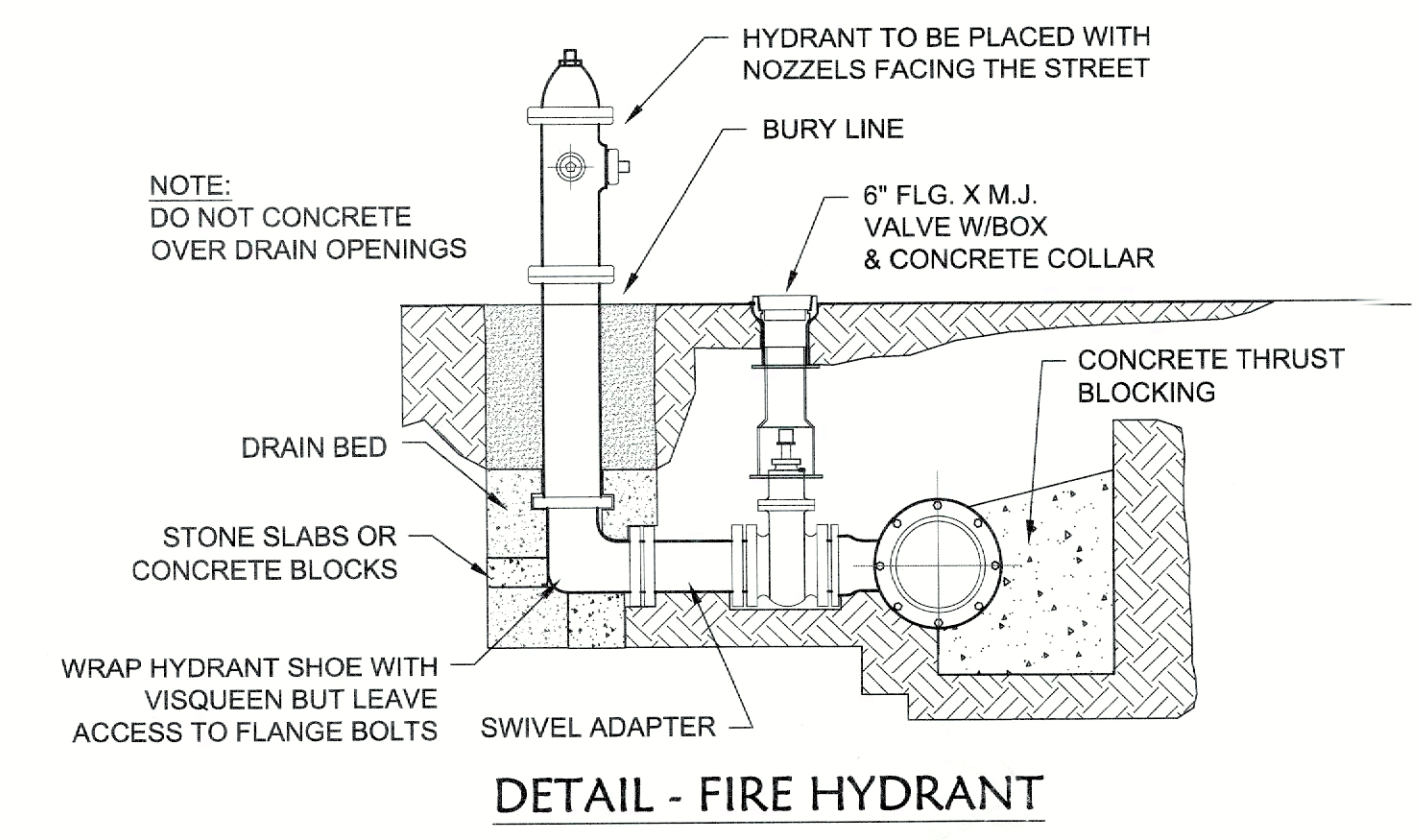
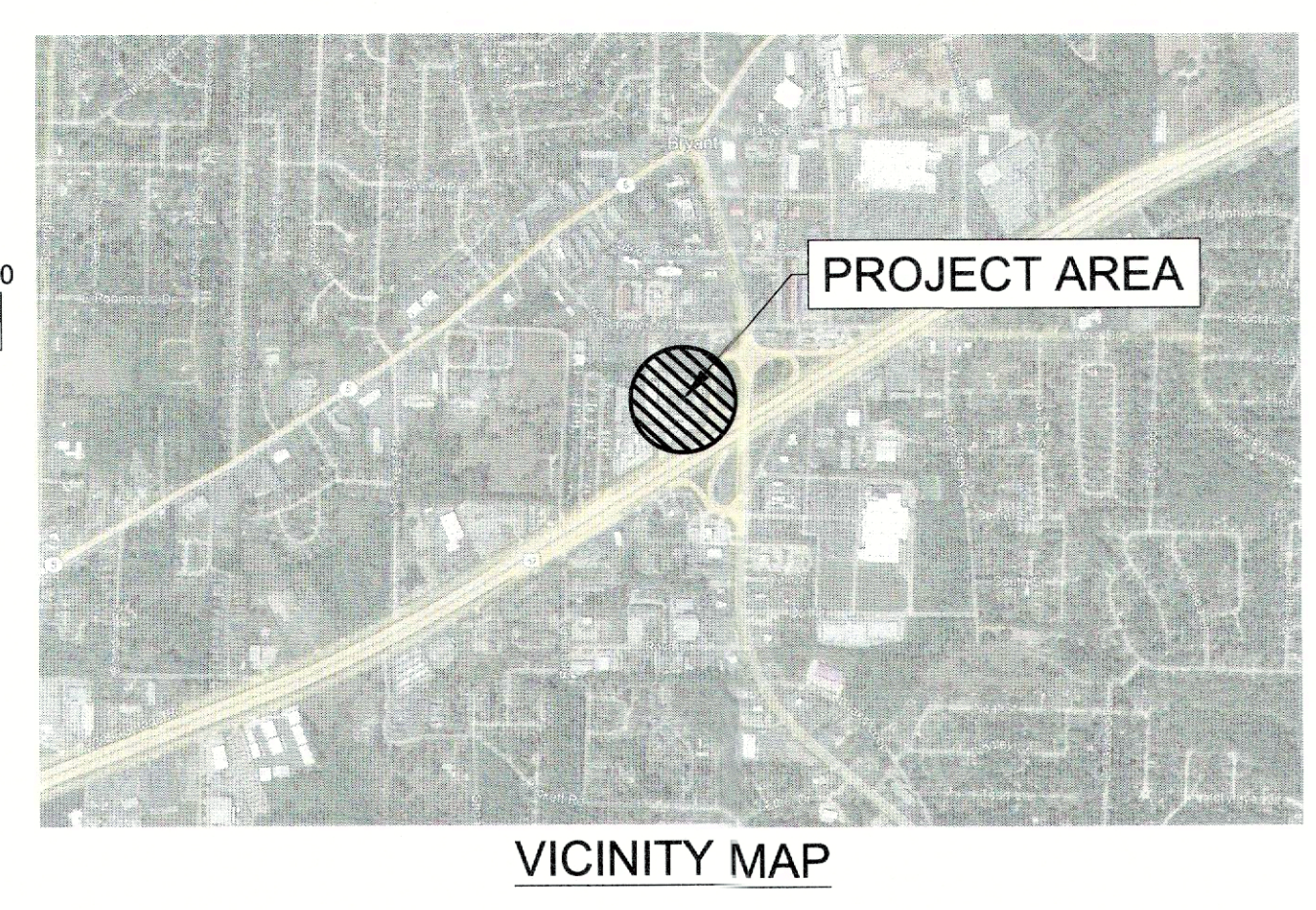
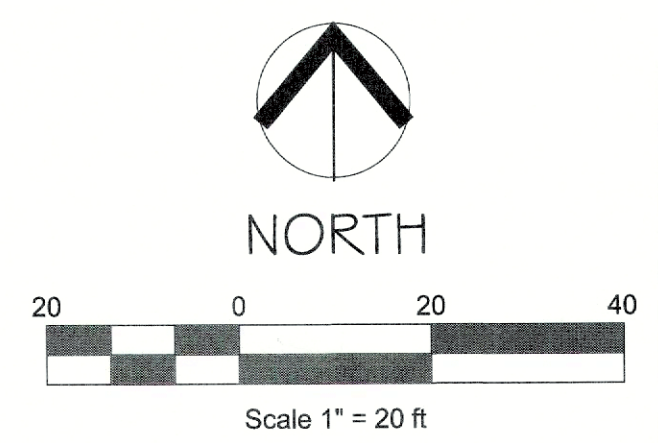
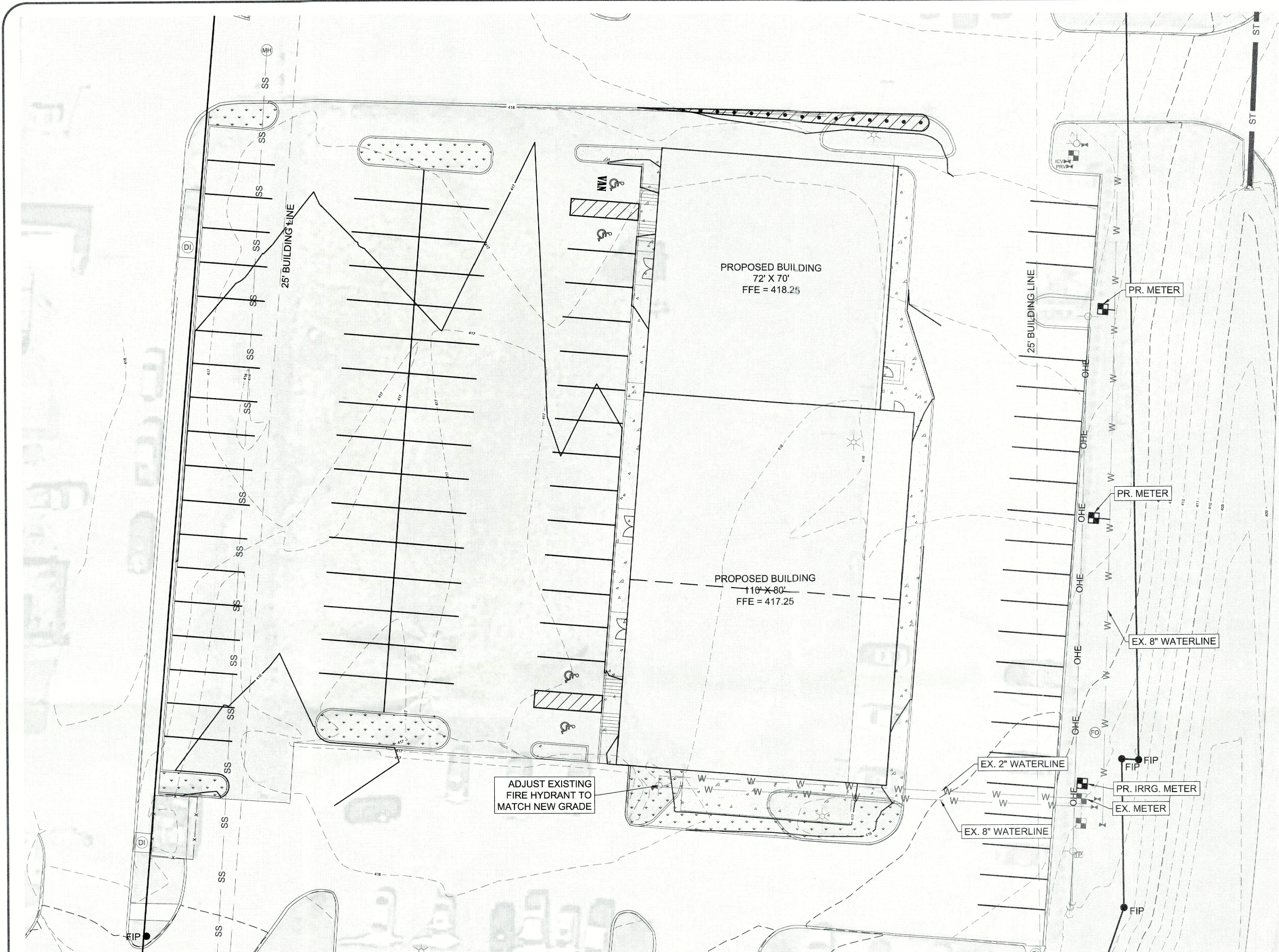
Prepared For:
 Alan Bubbut
 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

**MASTER UTILITY PLAN
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS**

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:



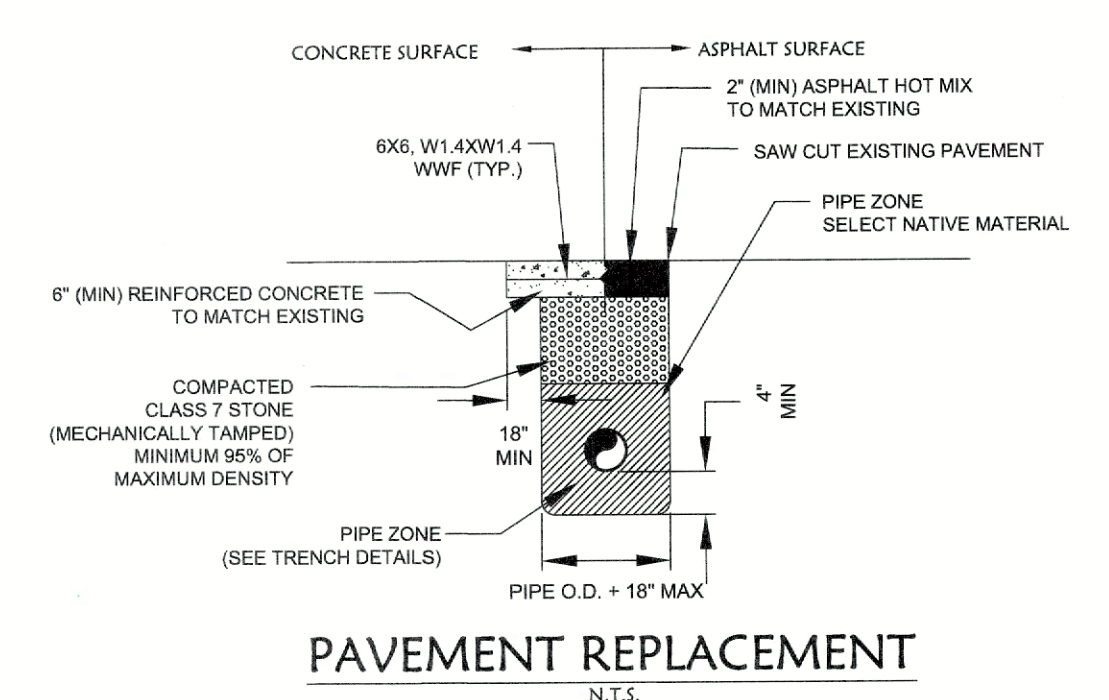
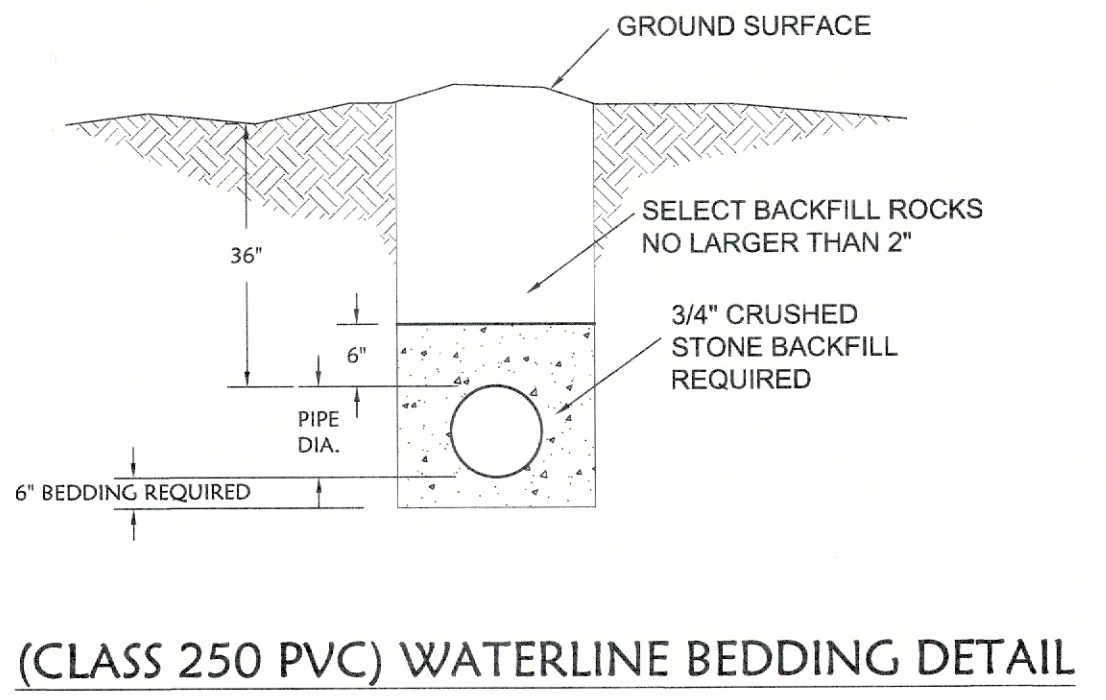
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LEGEND:

---	BOUNDARY LINE
- - - -	BUILDING LINE
- - - -	EASEMENT LINE
W	WATER LINE
SS	SEWER LINE
OHE	OVERHEAD ELECTRIC
---	STREET CENTERLINE
---	RIGHT-OF-WAY
100	CONTOUR
X X X	FENCE
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	WATER METER
⊕	SEWER MANHOLE
⊕	DROP INLET
⊕	FIBER OPTIC
⊕	TELEPHONE PEDESTAL
⊕	POWER POLE
⊕	LIGHT POLE

- GENERAL NOTES:**
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 - ALL WATER LINES TO BE CONSTRUCTED OF SDR 17 PVC CLASS 250 UNLESS OTHERWISE STATED.
 - ALL WATER SERVICE LINES SHALL CONFORM TO PLUMBING LOCATIONS ON THE MECHANICAL DRAWING.
 - CONTRACTOR WILL WARRANTY ALL CONSTRUCTION AND MATERIALS FOR A PERIOD OF ONE (1) YEAR UPON SUBSTANTIAL COMPLETION.
 - ALL STUBOUTS FOR SEWER MAIN SHALL BE CAPPED AND MARKED FOR EASY LOCATION IN THE FUTURE.
 - IN THE EVENT THAT THE MATERIALS LISTED ON THE PLANS AND SPECIFICATIONS DIFFER FROM THE STANDARDS OF BRYANT WATER OR BRYANT WASTEWATER, THE SAID STANDARDS FOR THE UTILITY SHALL BE USED.
 - CONTRACTOR TO GIVE 48 HRS. NOTICE PRIOR TO STARTING CONSTRUCTION. A UTILITY REPRESENTATIVE MUST BE PRESENT WHEN THE CONTRACTOR TIES INTO AN EXISTING MANHOLE OR WATER LINE AND THE UTILITY MUST BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO THE CONNECTION.
 - WATER LINES AND SEWER LINES SHALL BE SEPARATED BY A MINIMUM OF 1' HORIZONTAL AND 1.5' VERTICAL.
 - AS-BUILT DRAWINGS TO BE PROVIDED BY CONTRACTOR TO ENGINEER/ARCHITECT. ALL VALVES SHALL BE REFERENCED BY TWO LOCATIONS AND ALL SEWER SERVICES TO BE MEASURED FROM MANHOLE.
 - ALL WATER SHALL HAVE TRACER WIRE INSTALLED.



UTILITIES:
 BRYANT WATER DEPARTMENT
 210 SW 3rd St
 BRYANT, AR 72022
 (501) 943-0441
 BRYANT WASTEWATER DEPARTMENT
 1019 S.W. 2ND ST.
 BRYANT, AR. 72022
 (501) 943-0469
 FIRST ELECTRIC COOPERATIVE
 1000 SOUTH J.P. WRIGHT LOOP RD.
 JACKSONVILLE, AR 72076
 (501) 985-4545
 CENTURYTEL
 1-800-483-5400

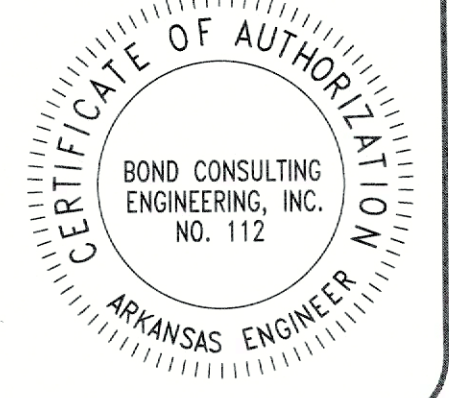


BOND CONSULTING ENGINEERS, INC.
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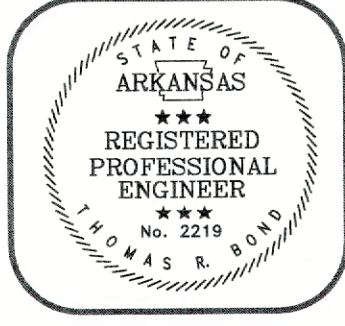
Prepared For:
 Alan Bubbus
 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

**WATER PLAN
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS**

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:



C4.0



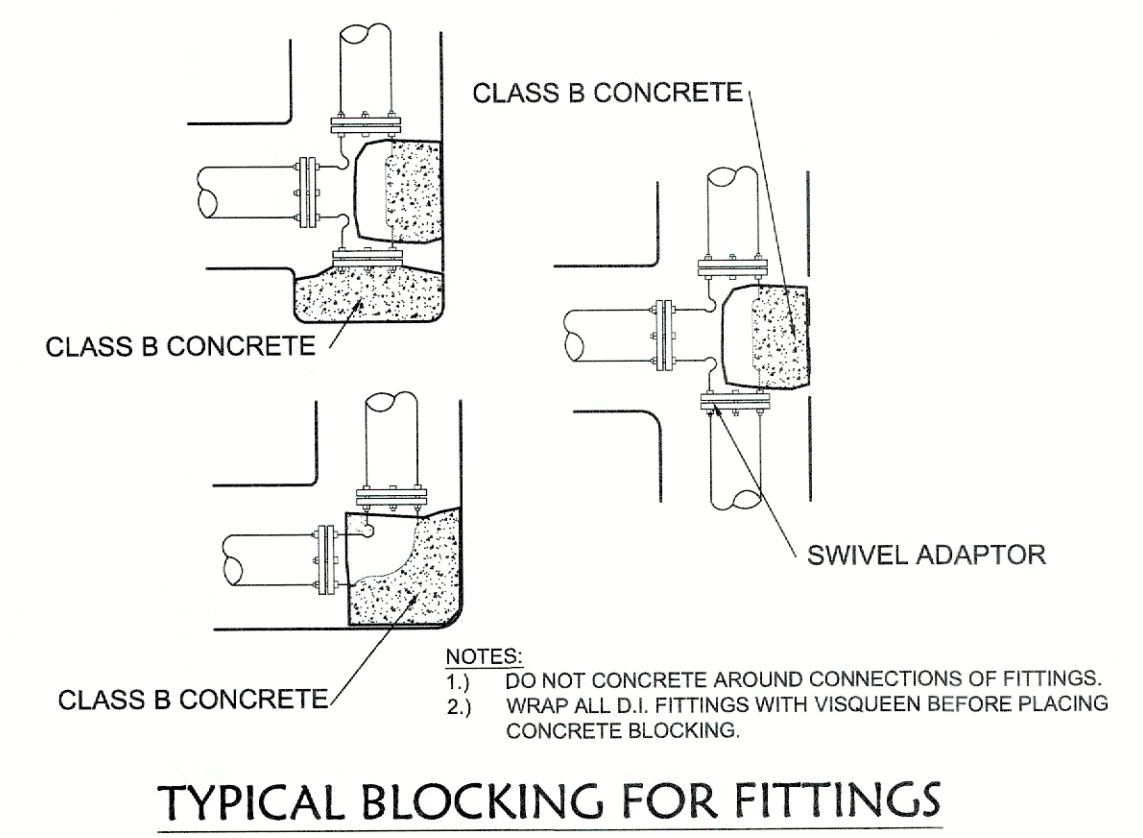
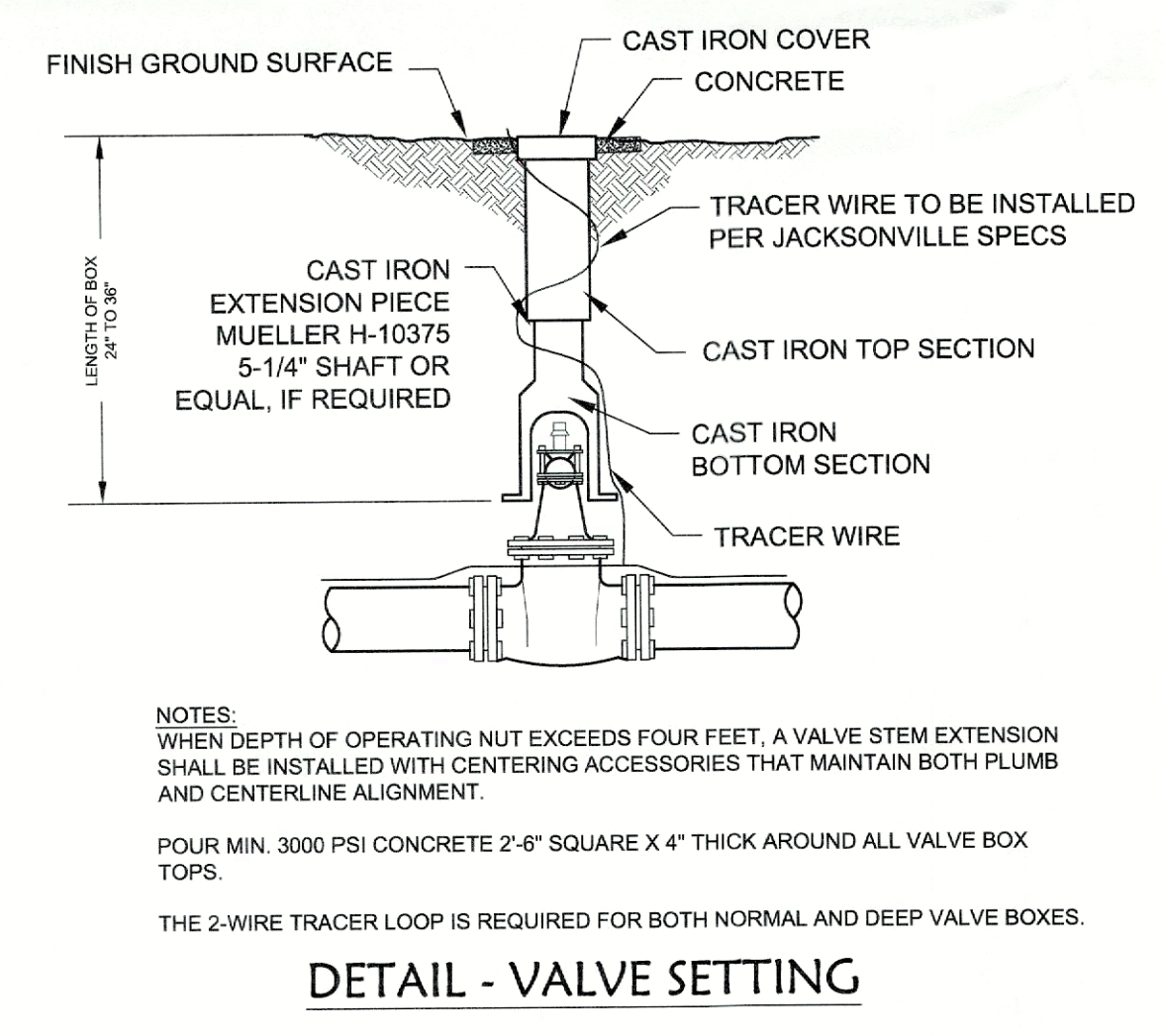
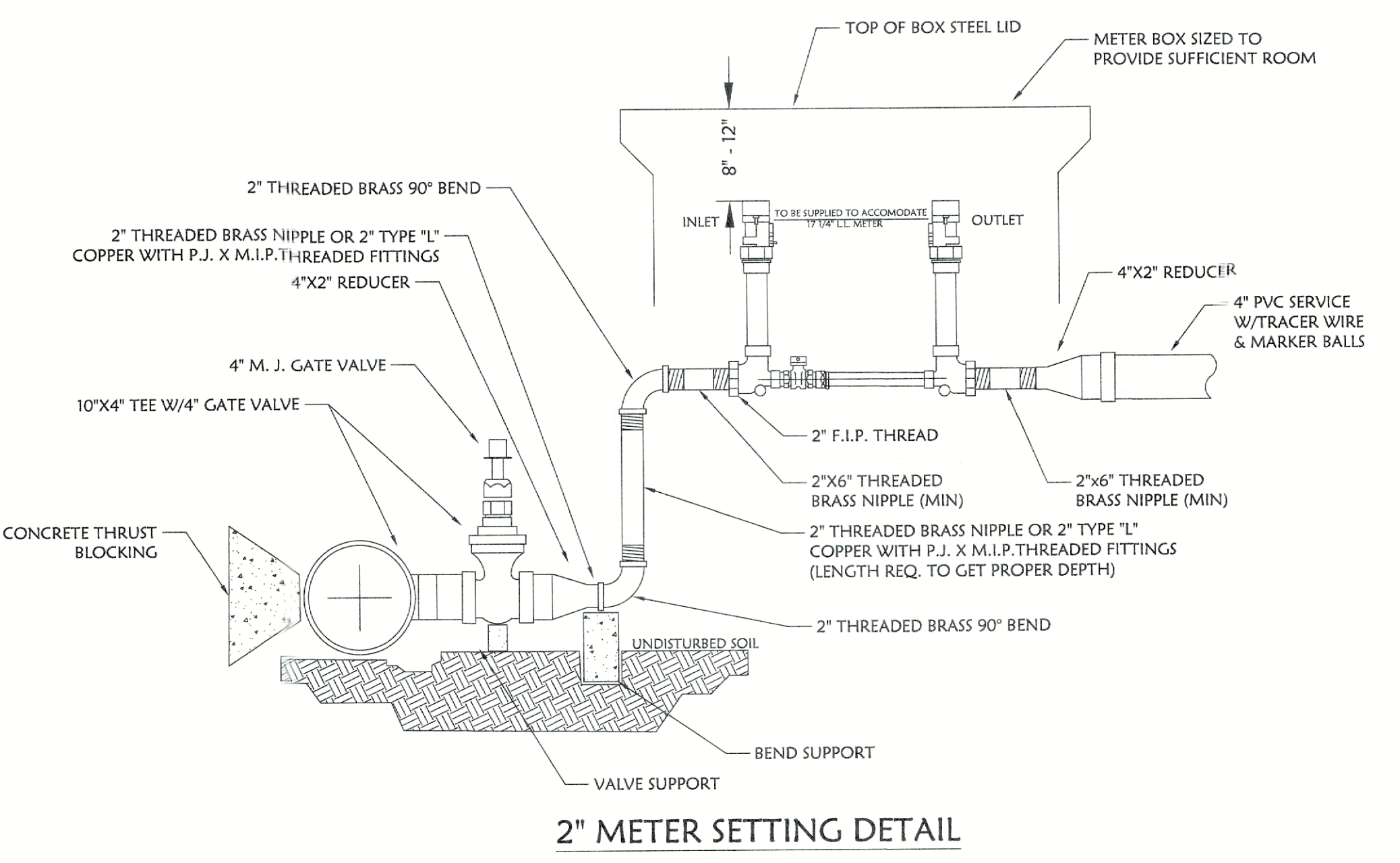
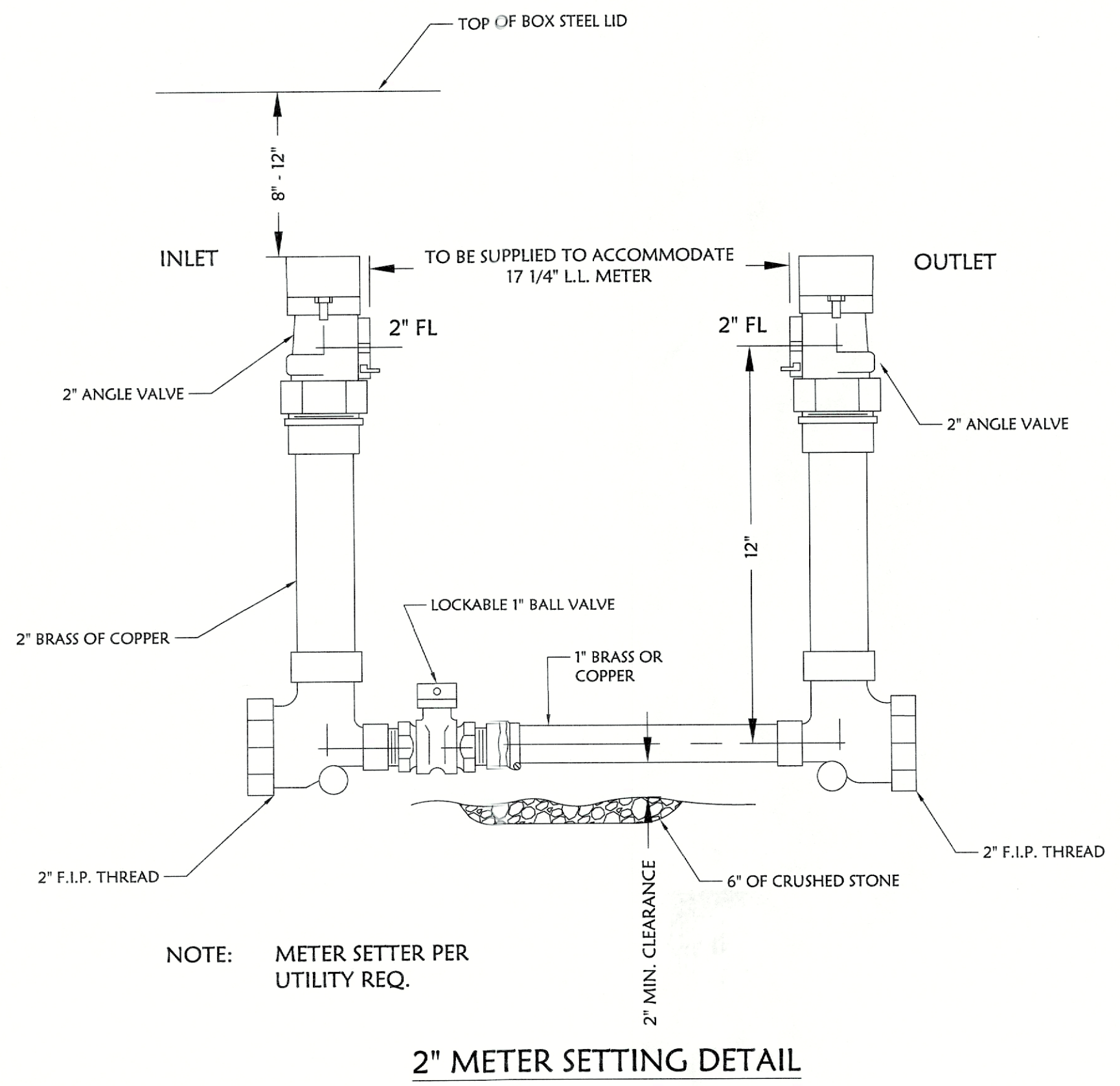
BOND CONSULTING ENGINEERS, INC.
 2601 T. P. White Drive
 Jacksonville, Arkansas 72076
 Phone: (501) 982-1538 Fax: (501) 982-1530
 E-mail: tbond@bondce.com
 E-mail: arbond@bondce.com

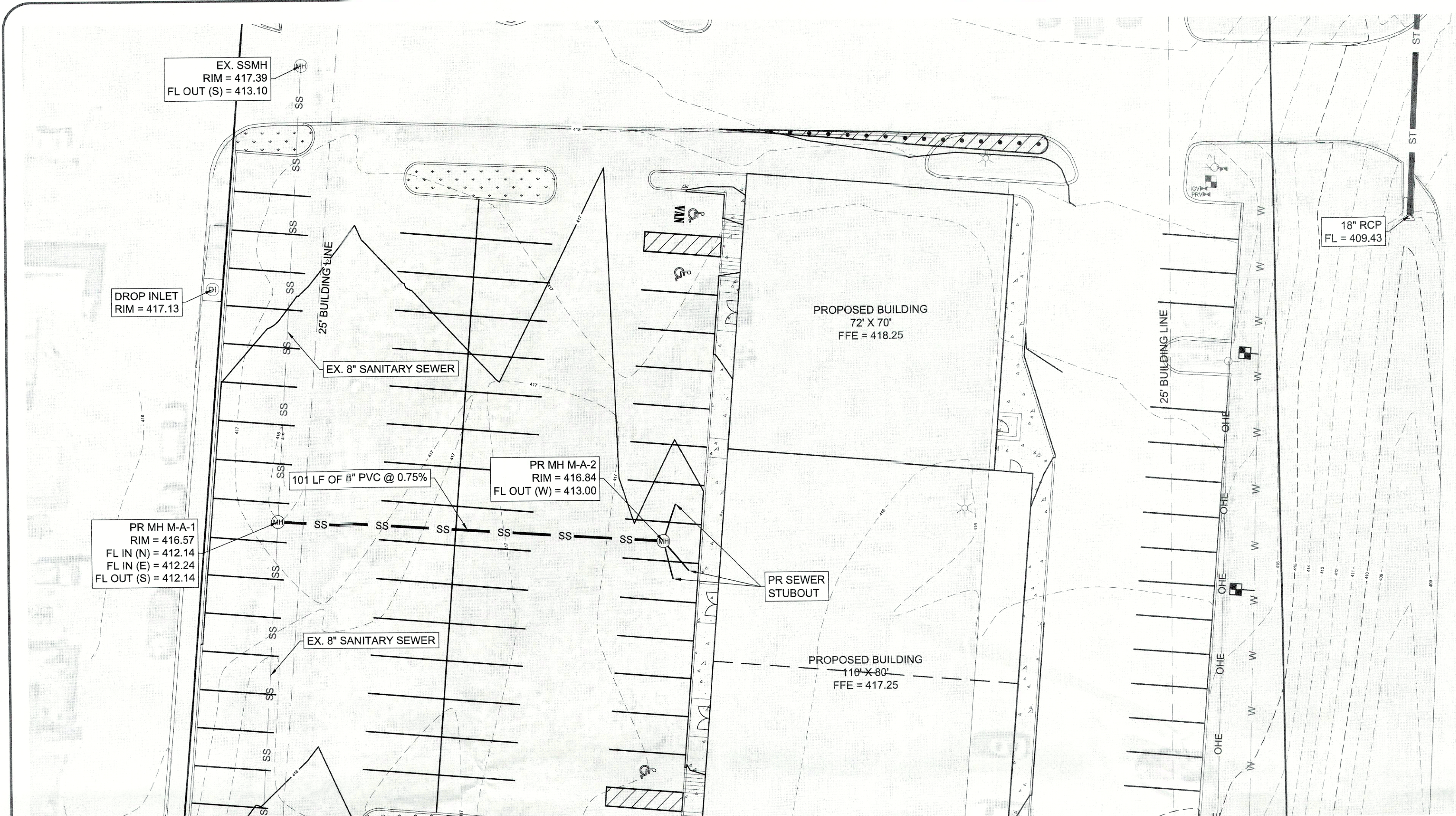
Prepared For:
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 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

WATER DETAILS
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS

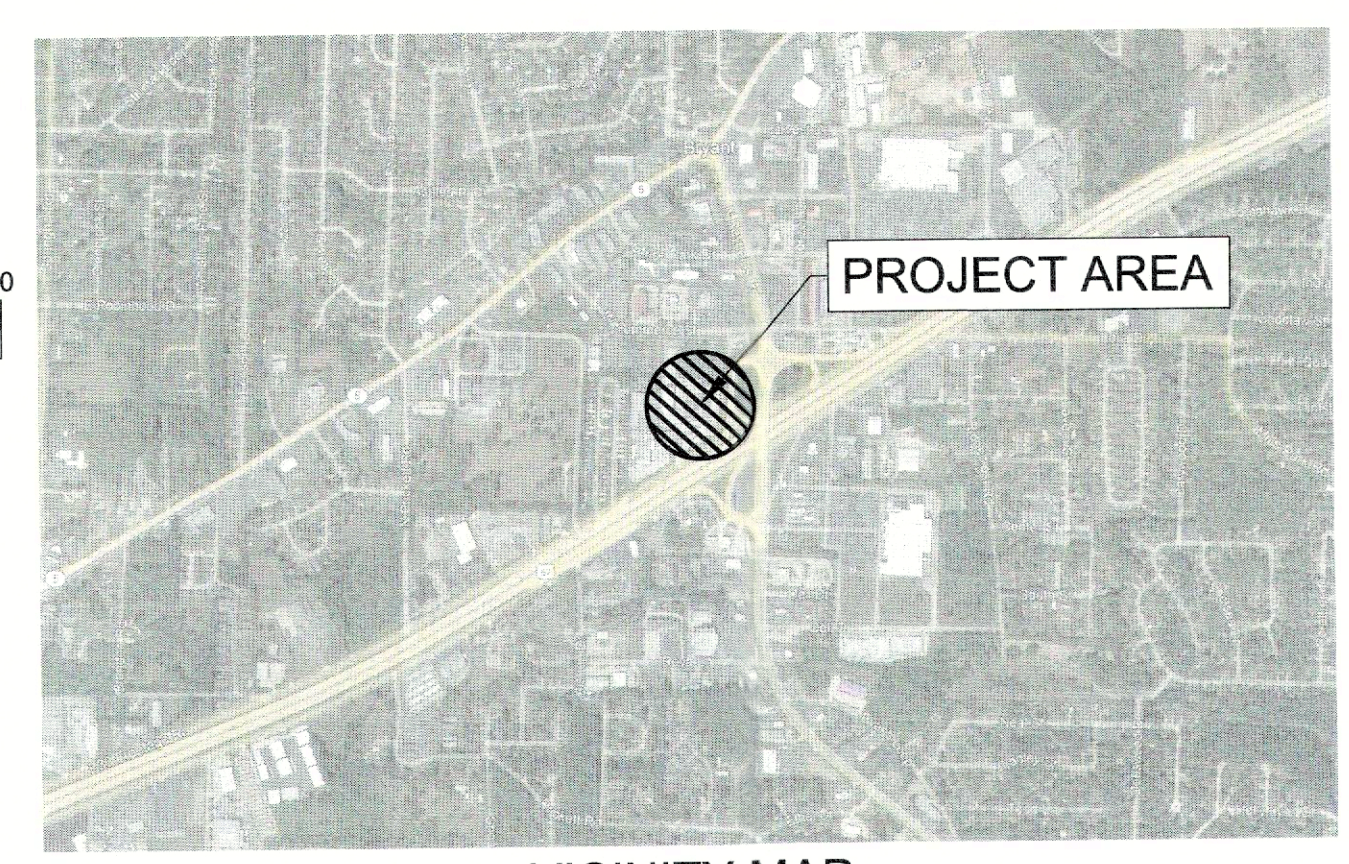
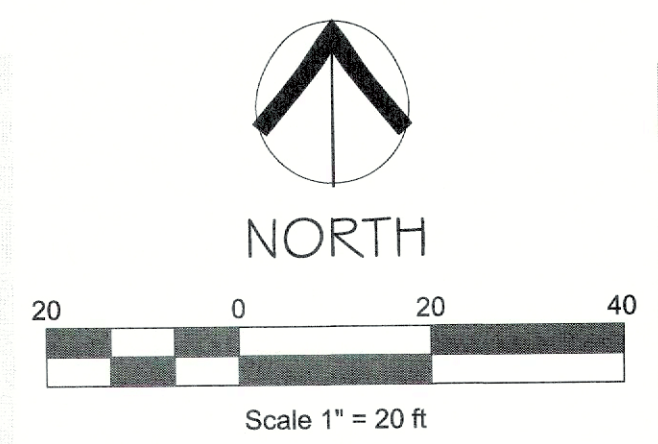
PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:

C4.1

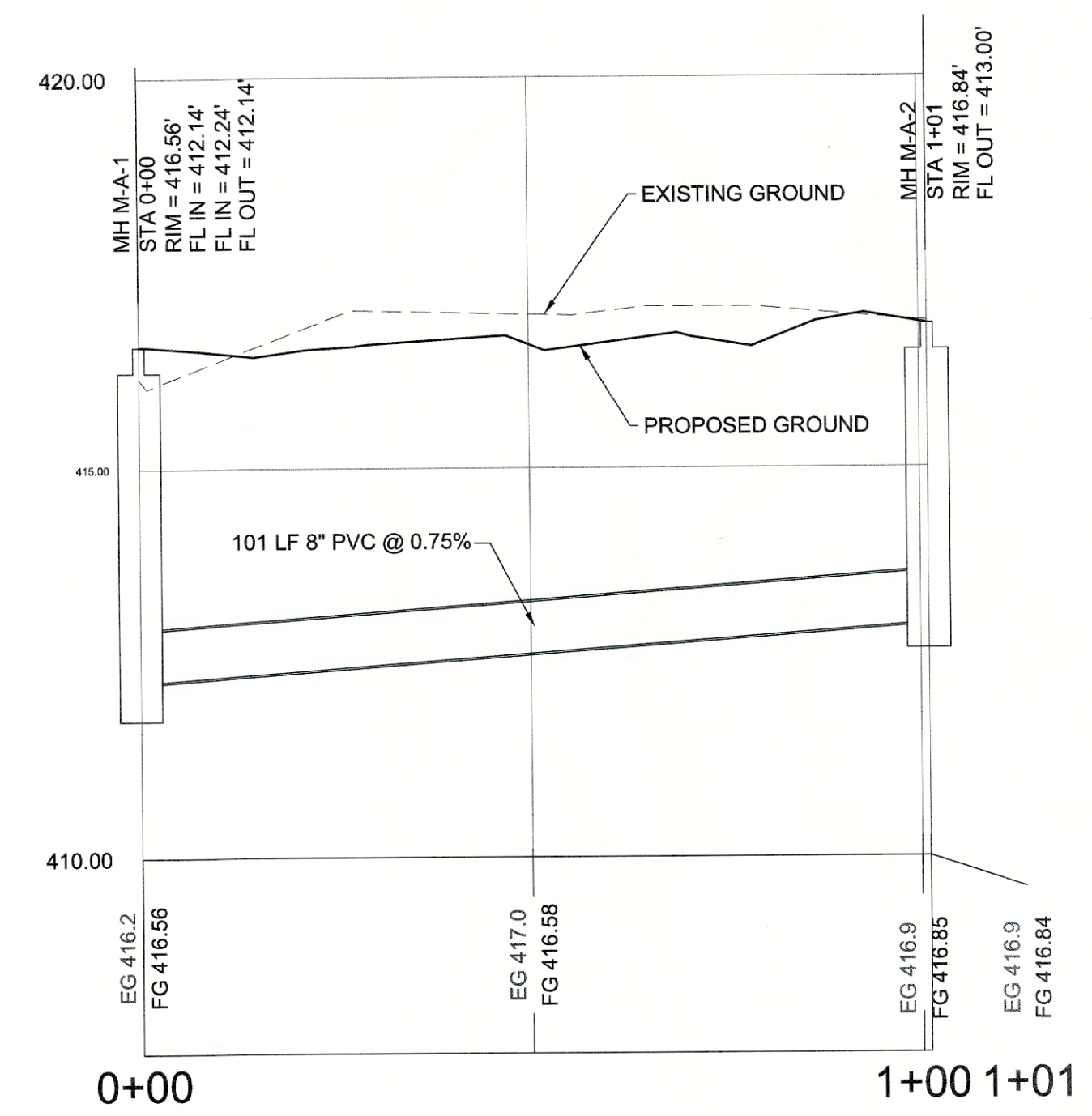
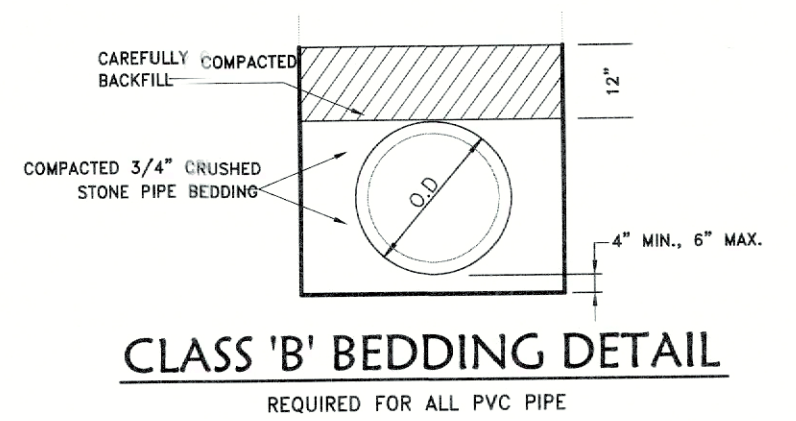
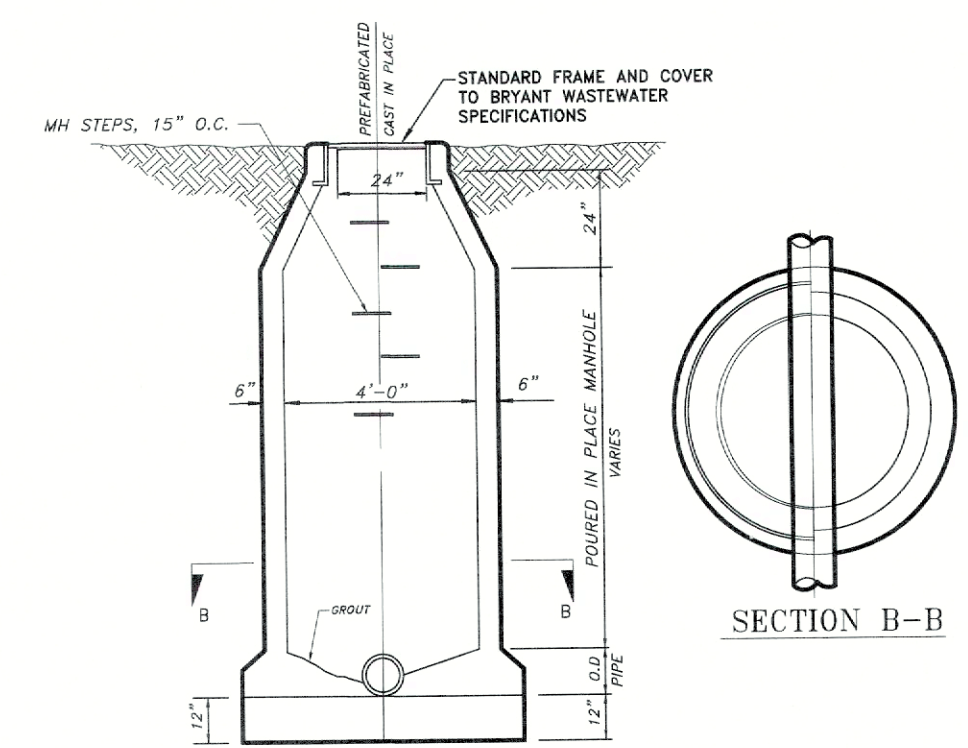




SEWER MAIN 'A' PLAN



VICINITY MAP



SEWER MAIN 'A' PROFILE

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED THE BRYANT WATER DEPARTMENT AND BRYANT WASTEWATER DEPARTMENT UTILITY STANDARDS AND THE ARKANSAS DEPARTMENT OF HEALTH STANDARDS.
2. SEWER MAINS AND FITTINGS SHALL BE SDR-26 PVC. ALL SERVICE LINES SHALL BE SDR 26. ALL SERVICE LINES TO BE CONSTRUCTED TO WITHIN 5 FEET OF THE BUILDING.
3. ALL WATER LINES TO BE CONSTRUCTED OF SDR 17 PVC CLASS 250 UNLESS OTHERWISE STATED.
4. ALL WATER SERVICE LINES SHALL CONFORM TO PLUMBING LOCATIONS ON THE MECHANICAL DRAWING.
5. CONTRACTOR WILL WARRANT ALL CONSTRUCTION AND MATERIALS FOR A PERIOD OF ONE (1) YEAR UPON SUBSTANTIAL COMPLETION.
6. ALL STUBOUTS FOR SEWER MAIN SHALL BE CAPPED AND MARKED FOR EASY LOCATION IN THE FUTURE.
7. IN THE EVENT THAT THE MATERIALS LISTED ON THE PLANS AND SPECIFICATIONS DIFFER FROM THE STANDARDS OF BRYANT WATER OR BRYANT WASTEWATER, THE SAID STANDARDS FOR THE UTILITY SHALL BE USED.
8. CONTRACTOR TO GIVE 48 HRS. NOTICE PRIOR TO STARTING CONSTRUCTION. A UTILITY REPRESENTATIVE MUST BE PRESENT WHEN THE CONTRACTOR TIES INTO AN EXISTING MANHOLE OR WATER LINE AND THE UTILITY MUST BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO THE CONNECTION.
9. WATER LINES AND SEWER LINES SHALL BE SEPARATED BY A MINIMUM OF 10' HORIZONTAL AND 1.5' VERTICAL.
10. AS-BUILT DRAWINGS TO BE PROVIDED BY CONTRACTOR TO ENGINEER/ARCHITECT. ALL VALVES SHALL BE REFERENCED BY TWO LOCATIONS AND ALL SEWER SERVICES TO BE MEASURED FROM MANHOLE.
11. ALL WATER SHALL HAVE TRACER WIRE INSTALLED.

LEGEND:

	BOUNDARY LINE
	BUILDING LINE
	EASEMENT LINE
	WATER LINE
	SEWER LINE
	OVERHEAD ELECTRIC
	STREET CENTERLINE
	RIGHT-OF-WAY
	CONTOUR
	FENCE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	DROP INLET
	FIBER OPTIC
	TELEPHONE PEDESTAL
	POWER POLE
	LIGHT POLE

UTILITIES:
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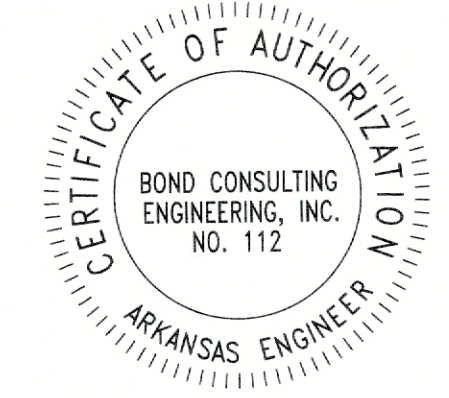
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 Phone: (501) 982-1638 Fax: (501) 982-1639
 E-mail: alan@bondce.com
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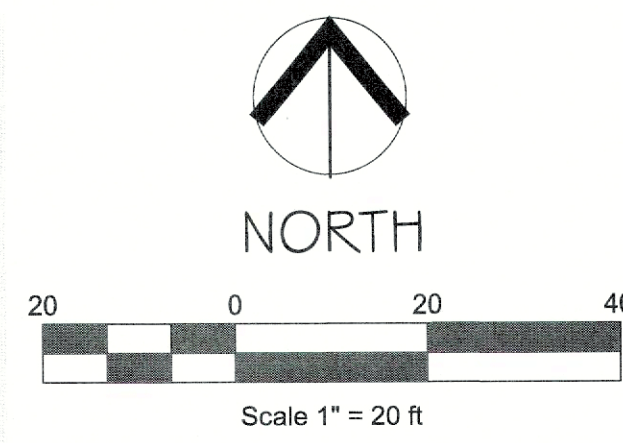
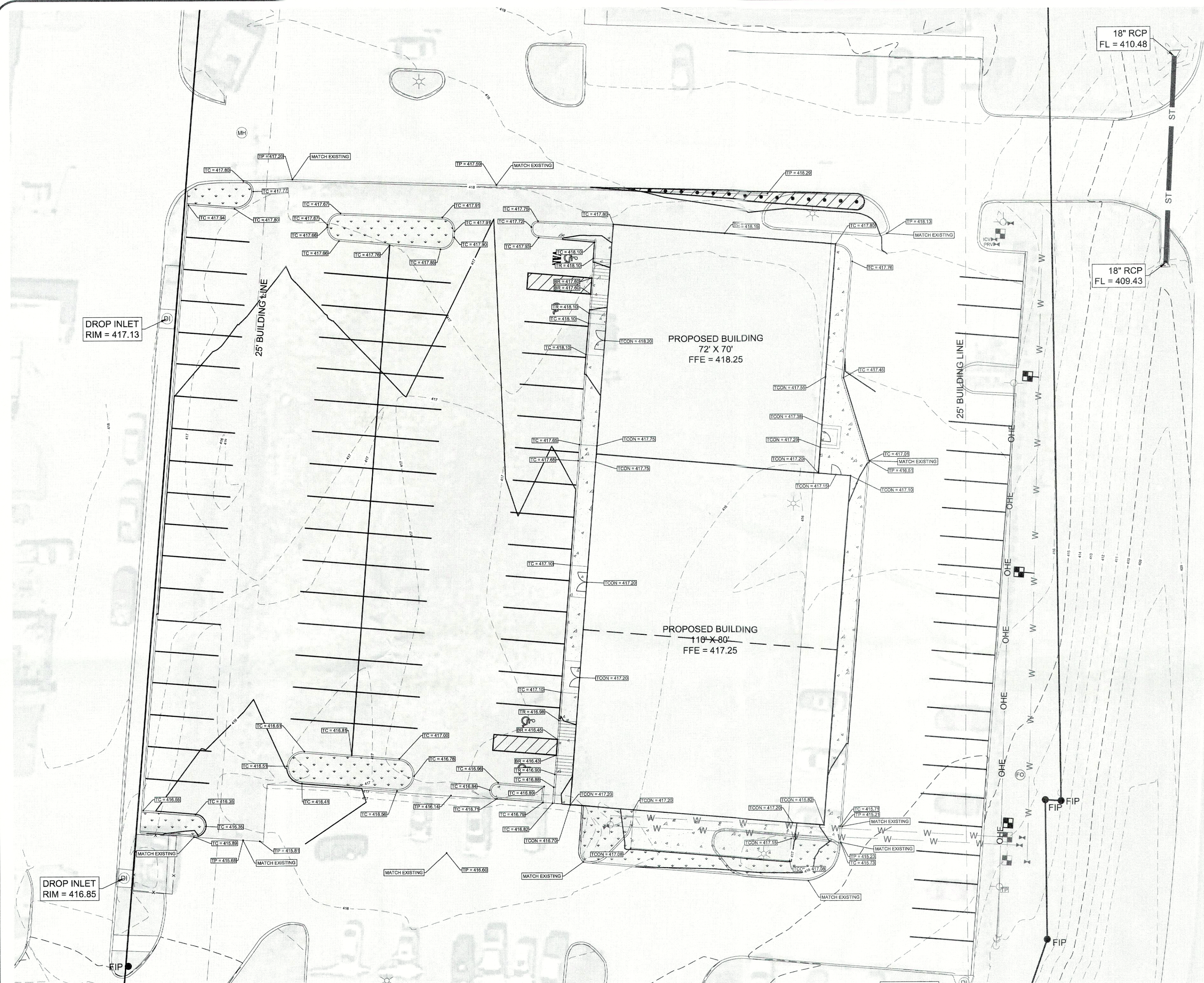
Prepared For:
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 Ryan Rooney
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 North Little Rock, AR 72114

SANITARY SEWER PLAN & PROFILE
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:



C5.0



VICINITY MAP

LEGEND:

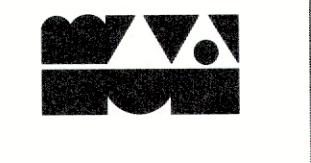
TC = 100.00	TOP OF CURB
TP = 100.00	TOP OF PAVEMENT
TCON = 100.00	TOP OF CONCRETE
TR = 100.00	TOP OF RAMP
BR = 100.00	BOTTOM OF RAMP

LEGEND:

—	BOUNDARY LINE
- - -	BUILDING LINE
- · - · -	EASEMENT LINE
W	WATER LINE
SS	SEWER LINE
OHE	OVERHEAD ELECTRIC
- - -	STREET CENTERLINE
- - -	RIGHT-OF-WAY
100	CONTOUR
x x x	FENCE
⊕	WATER VALVE
⊙	FIRE HYDRANT
⊠	WATER METER
⊙	SEWER MANHOLE
⊙	DROP INLET
⊙	FIBER OPTIC
⊙	TELEPHONE PEDESTAL
⊙	POWER POLE
⊙	LIGHT POLE



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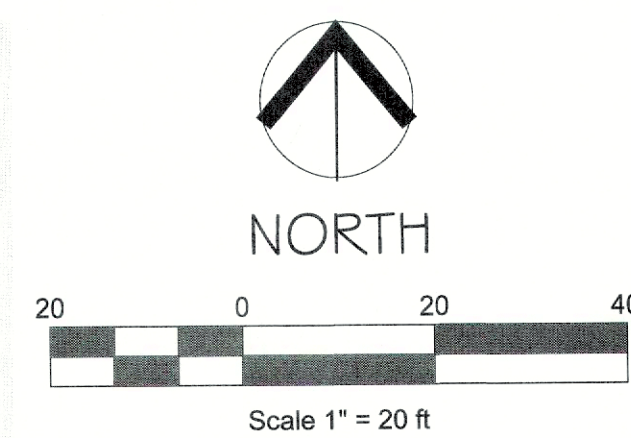
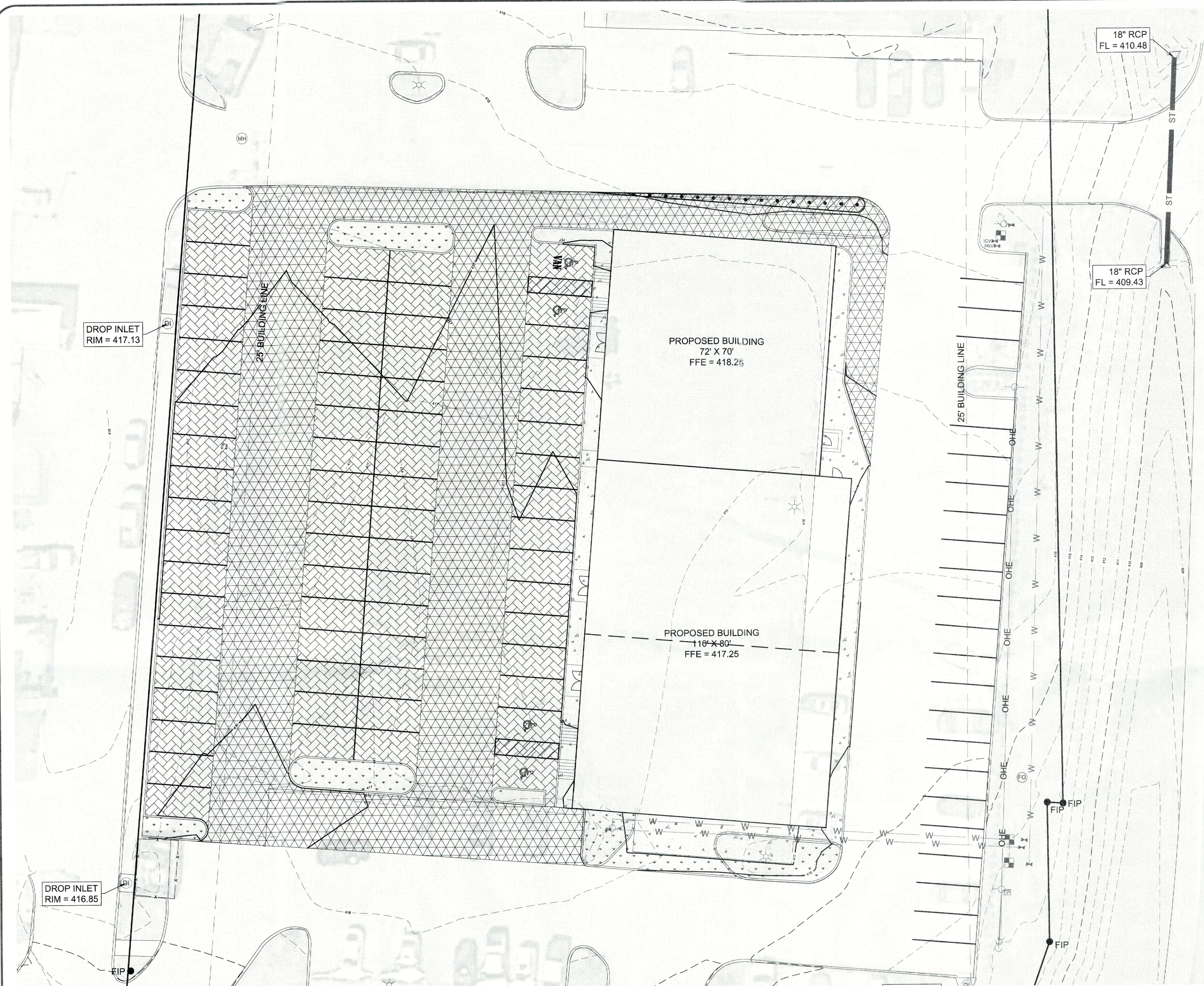
Prepared For:
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 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

GRADING & STORM DRAINAGE PLAN
REYNOLDS CENTRE
BRYANT, SALINE COUNTY, ARKANSAS

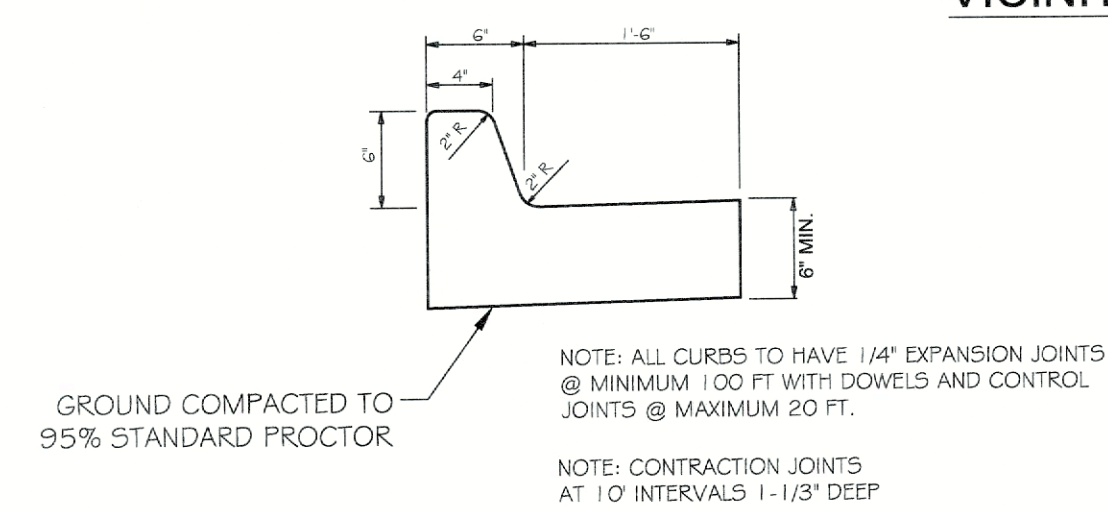
PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:



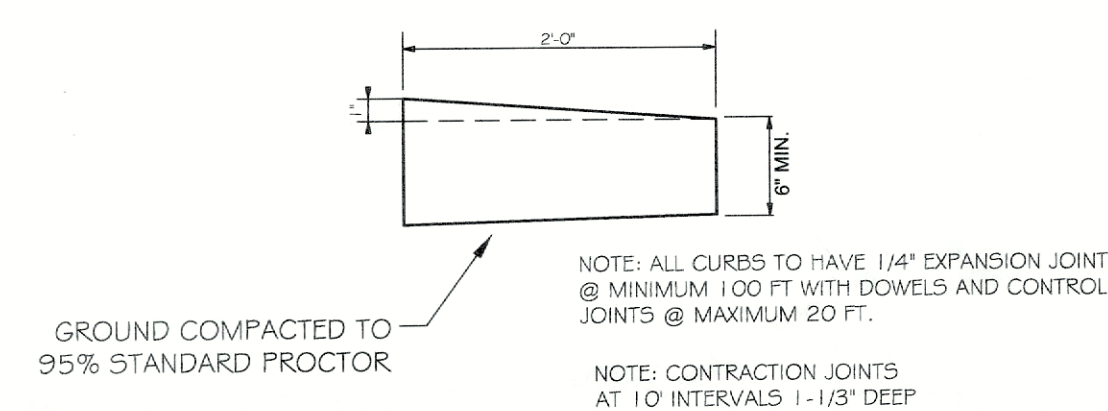
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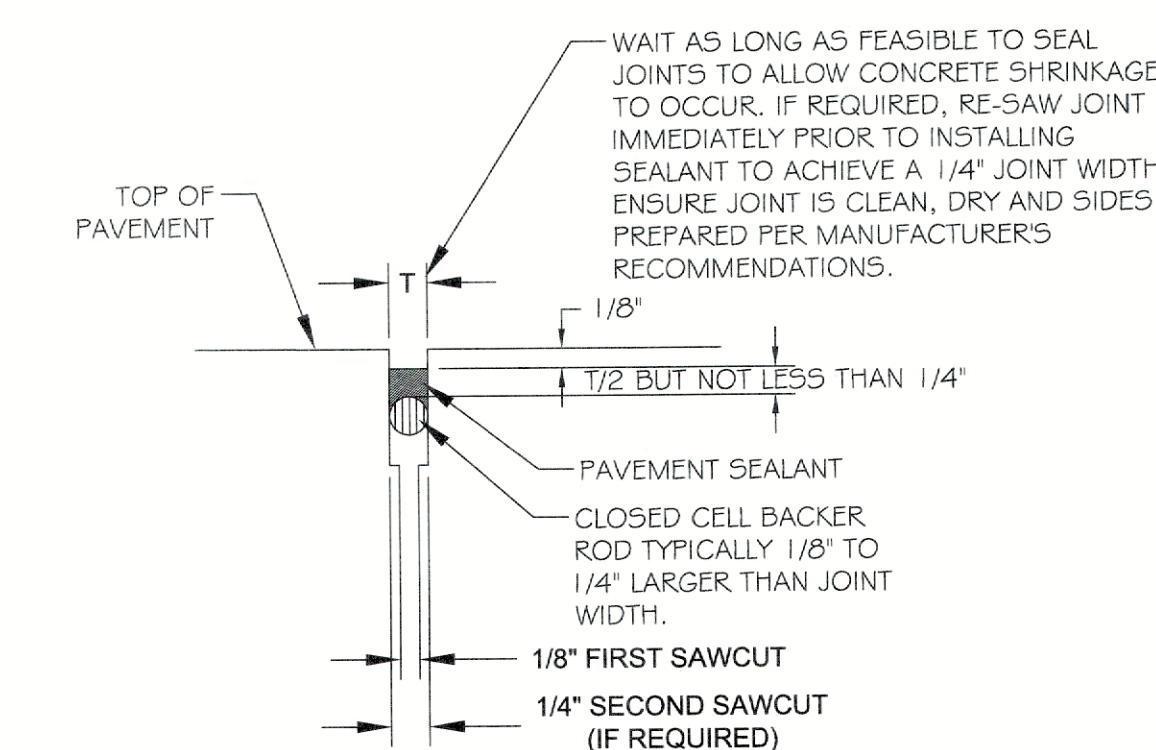
VICINITY MAP



DETAIL - STANDARD CURB & GUTTER



DETAIL - ROLLED CURB



- NOTES:
1. ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
 2. INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.
 3. INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.
 4. JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.

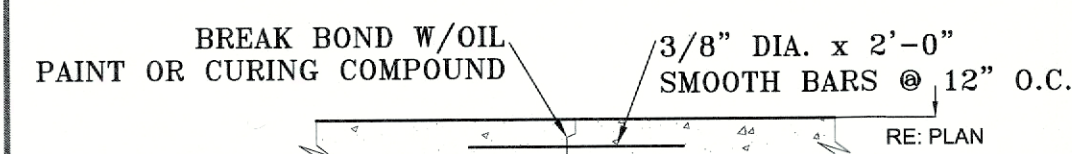
DETAIL - PCC JOINT BLOW-UP

LEGEND:

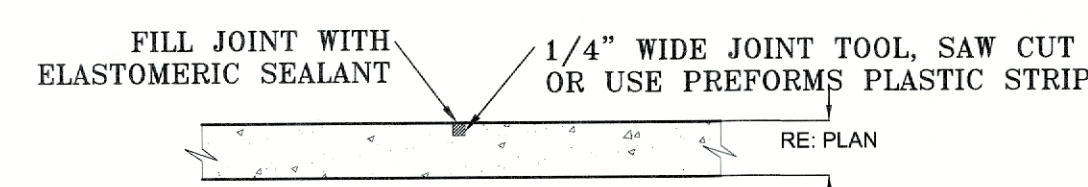
—	BOUNDARY LINE
- - -	BUILDING LINE
- - - -	EASEMENT LINE
— W —	WATER LINE
— SS —	SEWER LINE
— OHE —	OVERHEAD ELECTRIC
- - -	STREET CENTERLINE
—	RIGHT-OF-WAY
— 100 —	CONTOUR
x x x	FENCE
⊕	WATER VALVE
⊙	FIRE HYDRANT
⊗	WATER METER
⊙	SEWER MANHOLE
⊙	DROP INLET
⊙	FIBER OPTIC
⊙	TELEPHONE PEDESTAL
⊙	POWER POLE
⊙	LIGHT POLE

LEGEND:

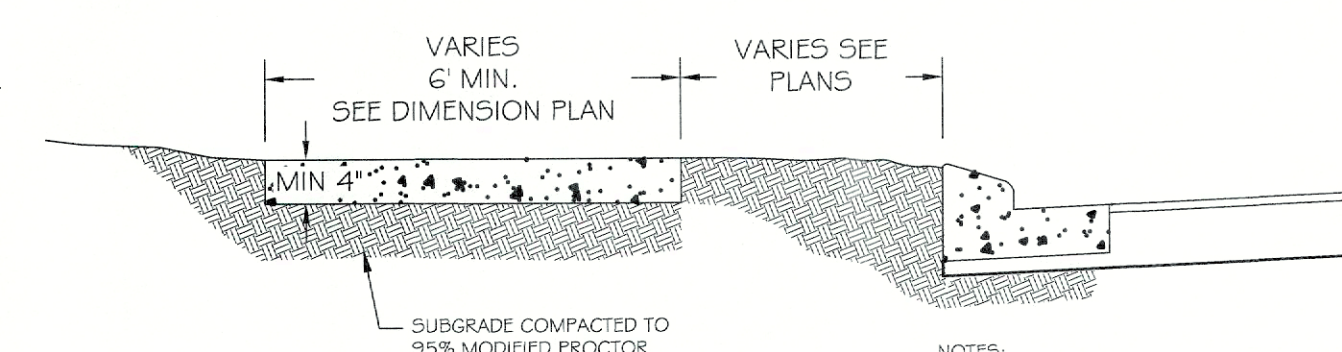
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	LIGHT DUTY CONCRETE
[Pattern]	SIDEWALK



DETAIL - CONSTRUCTION JOINT

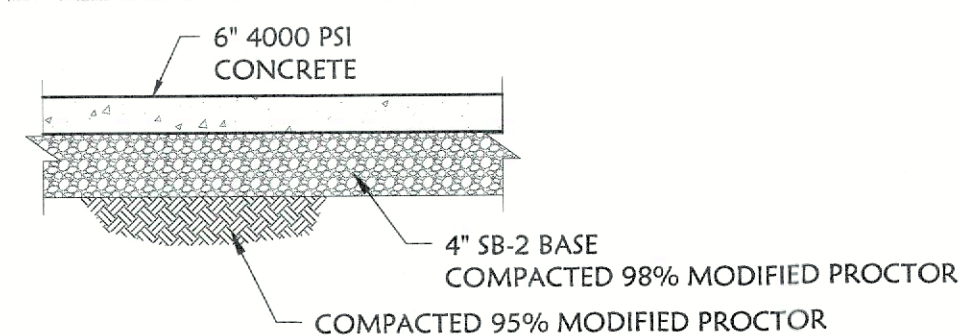


DETAIL - CONTROL JOINT

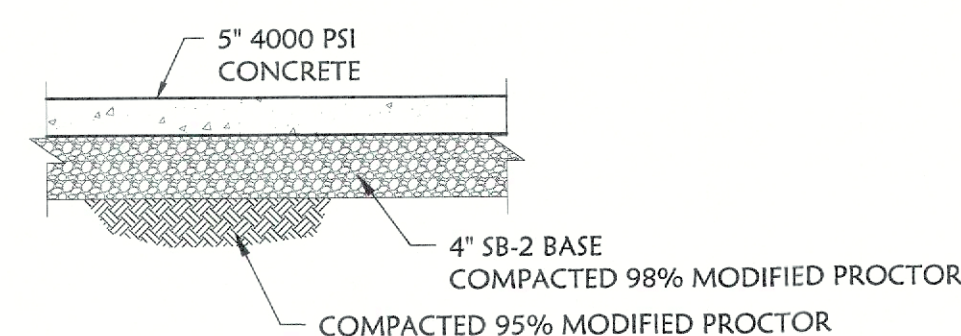


DETAIL - SIDEWALK

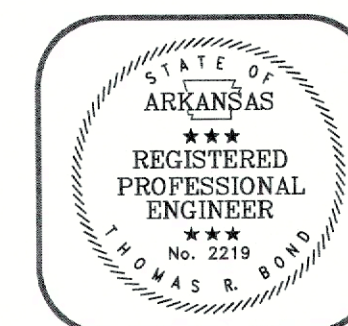
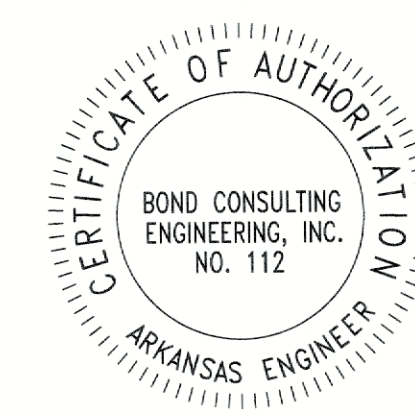
- NOTES:
1. CONCRETE TO BE 3500 PSI @ 28 DAYS
 2. SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR
 3. CONTROL JOINTS SHALL BE MIN. EVERY 5 FT. 4. EXPANSION JOINTS SHALL BE 50 FT. SEE JOINT PATTERN



DETAIL - 6" HEAVY DUTY CONCRETE PAVING



DETAIL - 5" LIGHT DUTY CONCRETE PAVING



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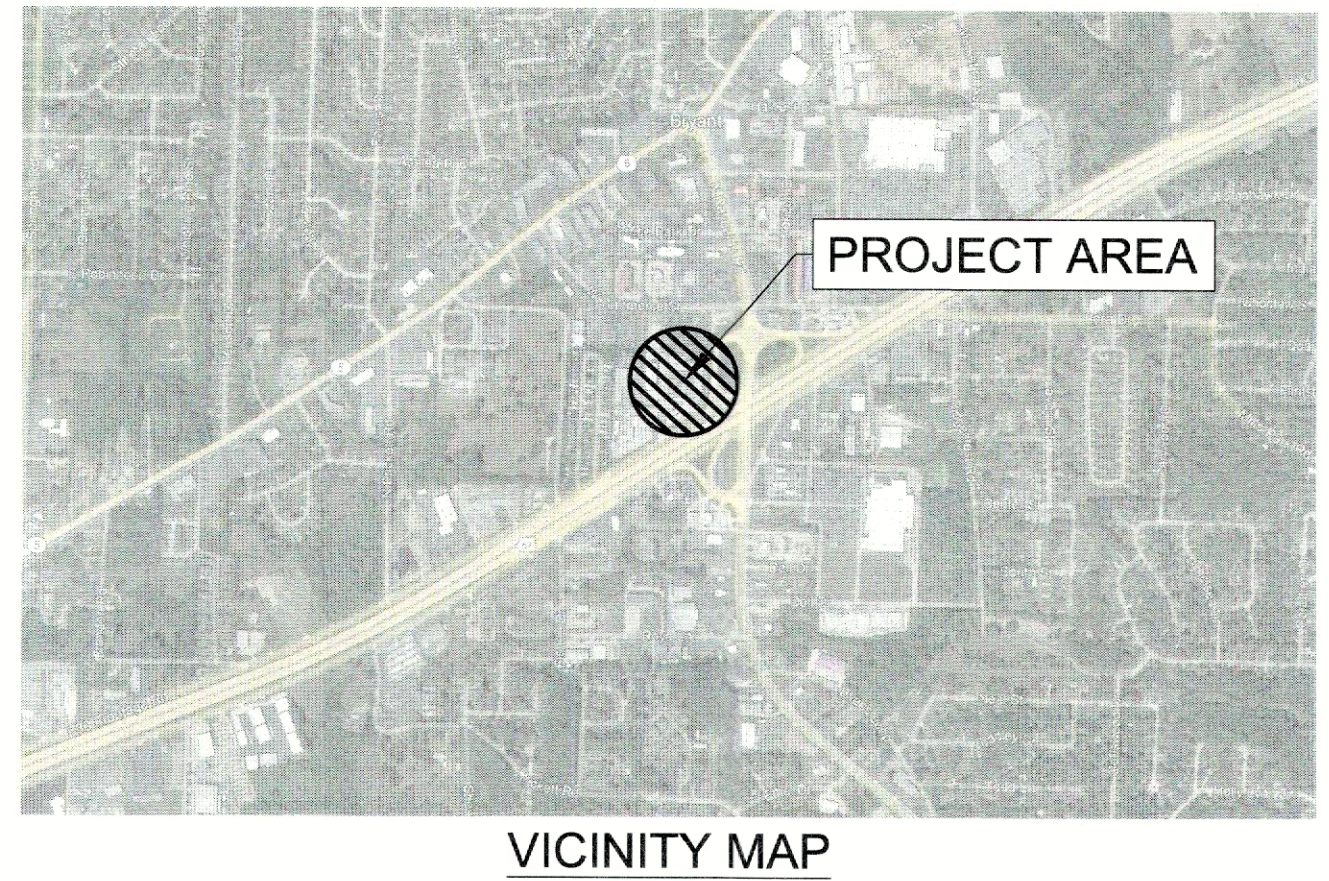
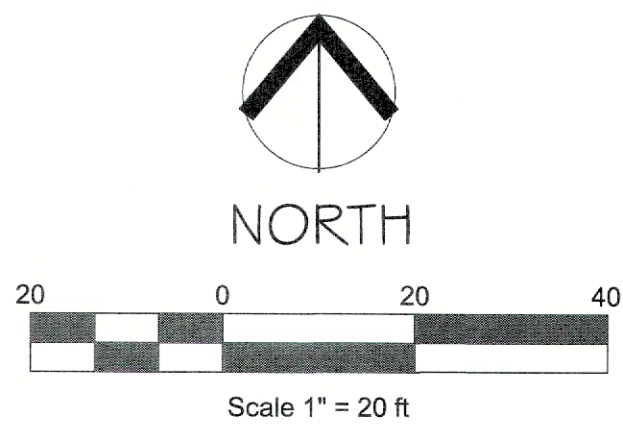
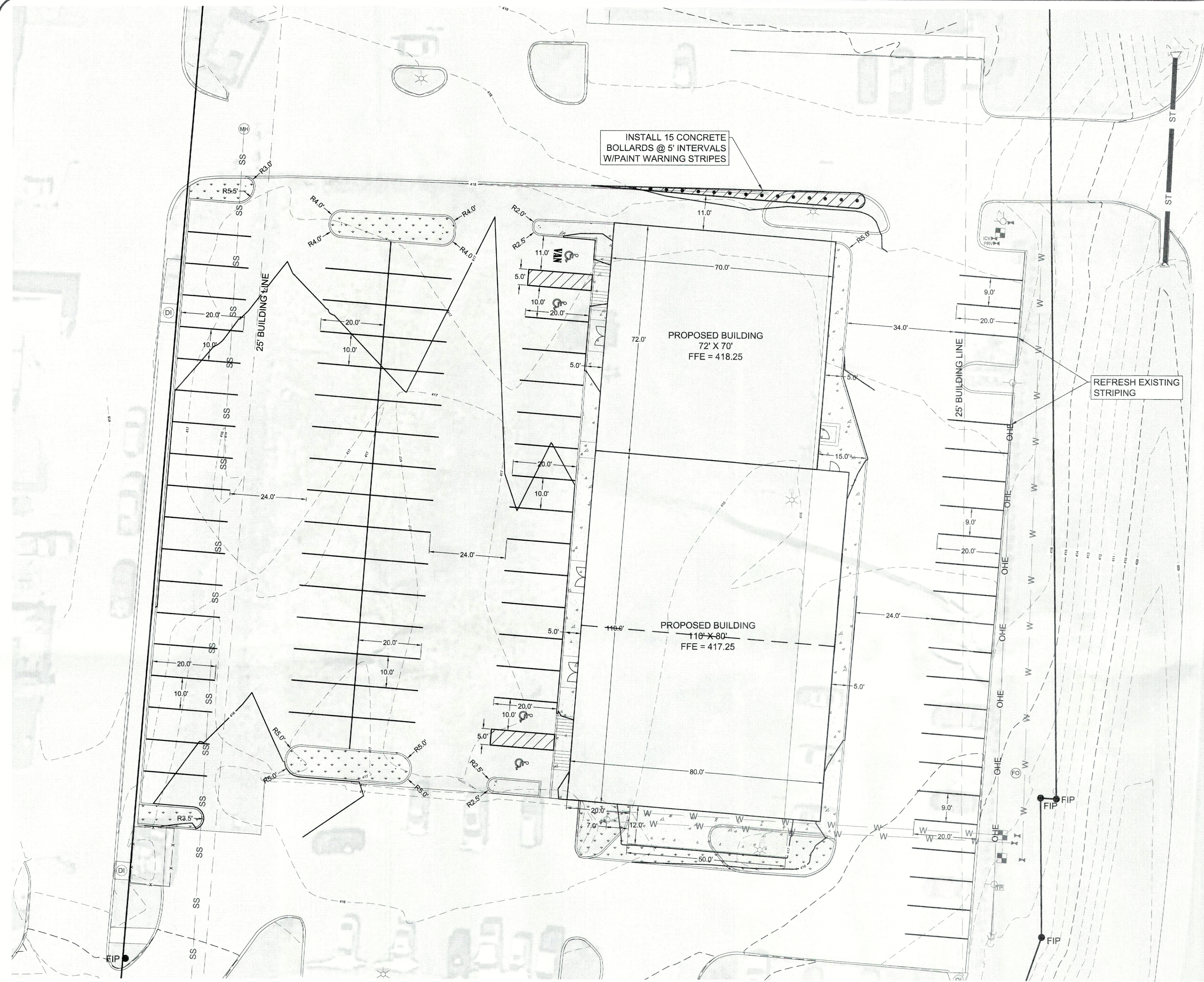


Prepared For:
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 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

PAVING PLAN
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:

C7.0



GENERAL NOTES:
 IN NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED ON THE PLANS, WHEELCHAIR RAMPS ARE TO BE PROVIDED AT ALL CORNERS OR CURBED STREET INTERSECTIONS AND MID-BLOCK CROSSWALK LOCATIONS. IN ALTERATIONS WHEELCHAIR RAMPS ARE TO BE PROVIDED AT CURBED STREET INTERSECTIONS WITH PEDESTRIAN TRAFFIC AND MID-BLOCK CROSSWALK LOCATIONS.

THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 1:2.1. THE SURFACE TEXTURE OF THE RAMP SHALL CONFORM TO A CLASS 6 FINISH ACCORDING TO ARDOT SECTION 802.19.

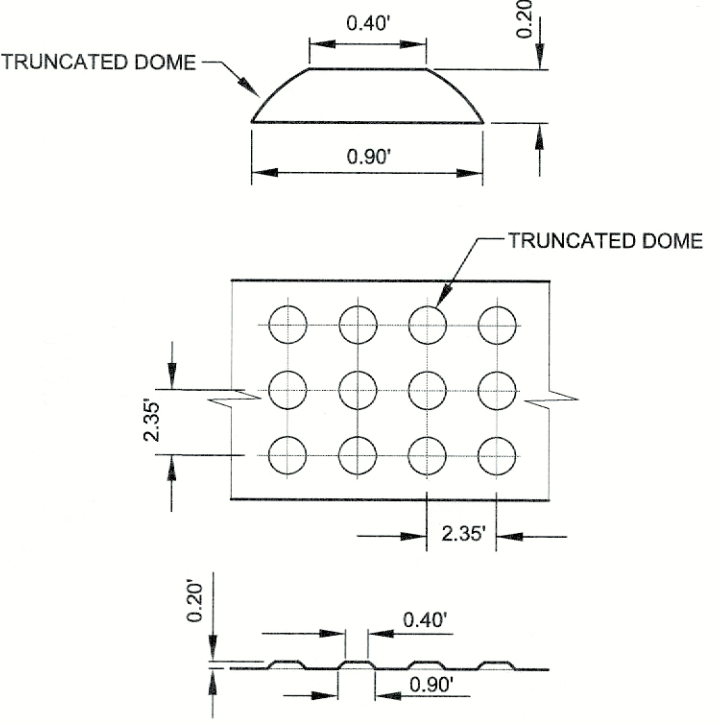
THE NORMAL GUTTER GRADE SHALL BE MAINTAINED THROUGH THE AREA ON THE RAMP. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THE MINIMUM THICKNESS OF THE RAMP, WALK, AND LANDING SHALL BE 4". THE MINIMUM WIDTH OF THE RAMPS SHALL BE THE EXISTING WALK WIDTH OR 36", WHICHEVER IS GREATER.

RAMPS SHALL BE MODIFIED AS NECESSARY TO INSURE THAT THEY ARE PARALLEL TO A LINE DRAWN FROM THE CENTER OF ONE RAMP TO THE CENTER OF THE RAMP ON THE OPPOSITE SIDE OF THE INTERSECTION.

THE DIMENSIONS AND QUANTITIES SHOWN ON THIS DRAWING ARE FOR A 90 DEGREE INTERSECTION ONLY. DIMENSIONS AND QUANTITIES FOR SKEWED INTERSECTIONS WILL VARY, AND ARE TO BE DETERMINED BY THE ENGINEER.

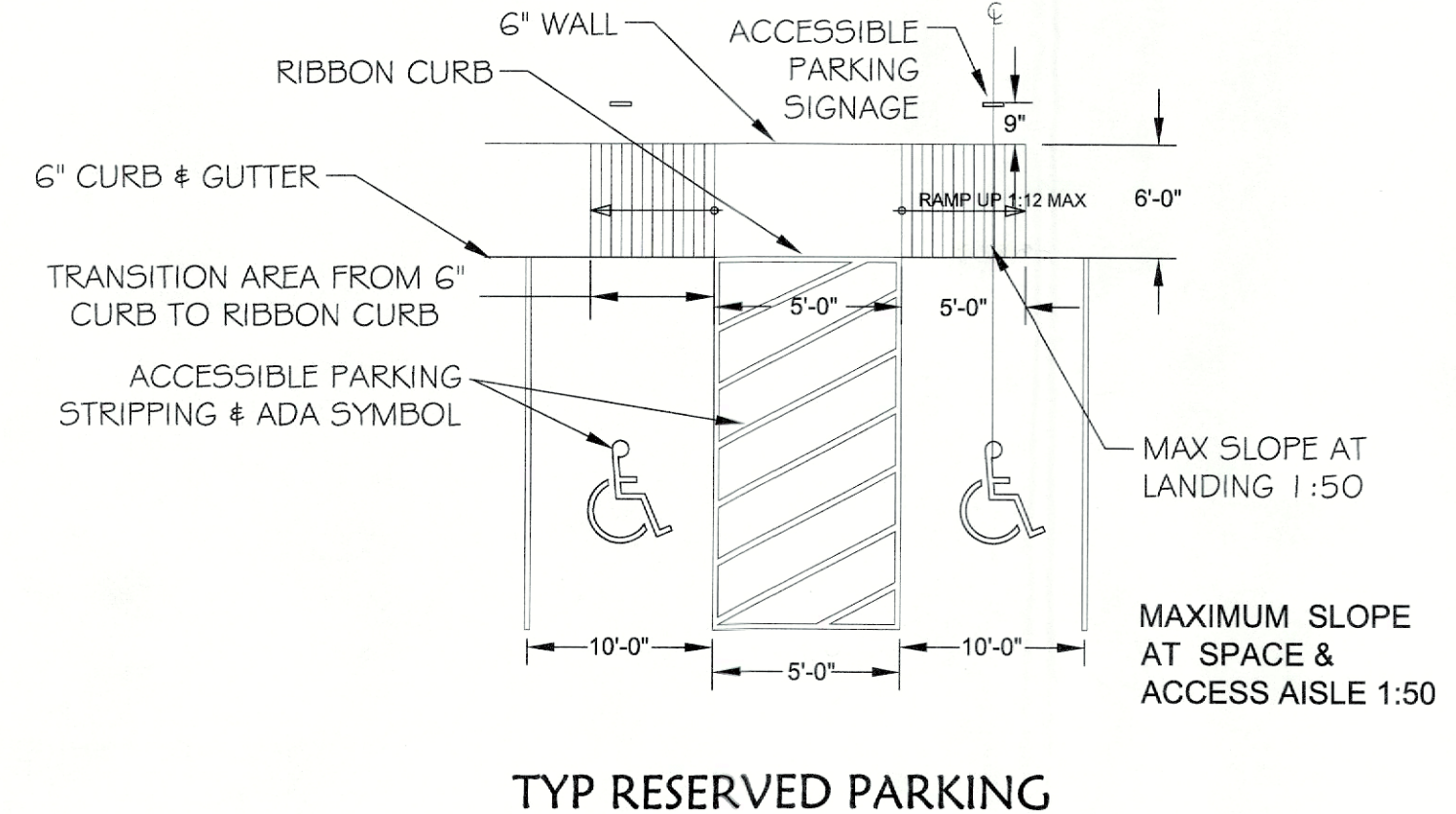
NOTE:
 CONTRACTOR TO BUILD ALL HANDICAP RAMPS AND LANDING PADS.

LEGEND:	
	BOUNDARY LINE
	BUILDING LINE
	EASEMENT LINE
	WATER LINE
	SEWER LINE
	OVERHEAD ELECTRIC
	STREET CENTERLINE
	RIGHT-OF-WAY
	CONTOUR
	FENCE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	DROP INLET
	FIBER OPTIC
	TELEPHONE PEDESTAL
	POWER POLE
	LIGHT POLE

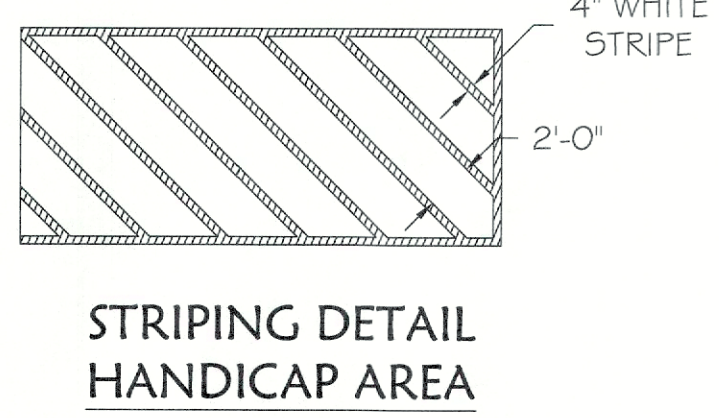


DETAIL - TRUNCATED DOMES

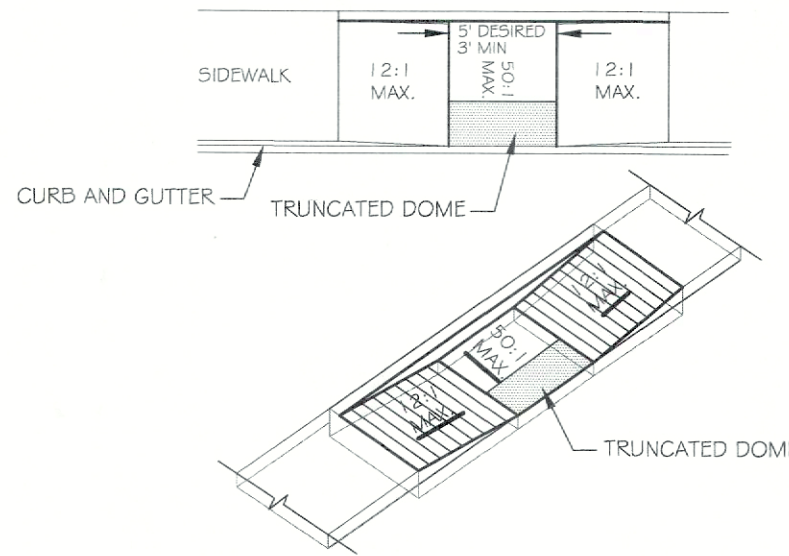
- GENERAL NOTES FOR DETECTABLE WARNING DEVICES
- 1.) THE DETECTABLE WARNING DEVICE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS 6 TO 8 INCHES FROM THE FACE OF THE CURB.
 - 2.) TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH AT THE BOTTOM, A DIAMETER OF 0.4 INCH AT THE TOP, A HEIGHT OF 0.2 INCH AND A CENTER-TO-CENTER SPACING OF 2.35 INCHES MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT.
 - 3.) DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
 - 4.) DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE



TYP RESERVED PARKING



STRIPING DETAIL HANDICAP AREA



HANDICAP RAMP - TYPE 5



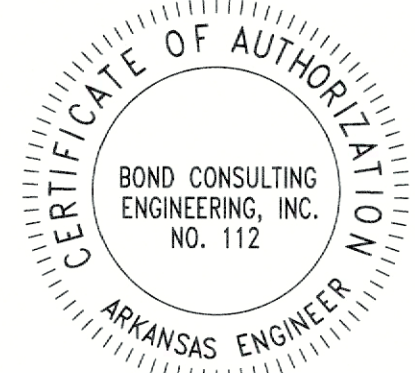
BOND CONSULTING ENGINEERS, INC.
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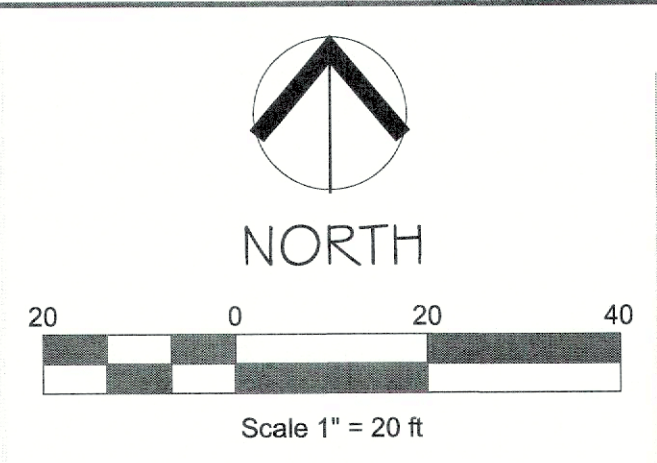
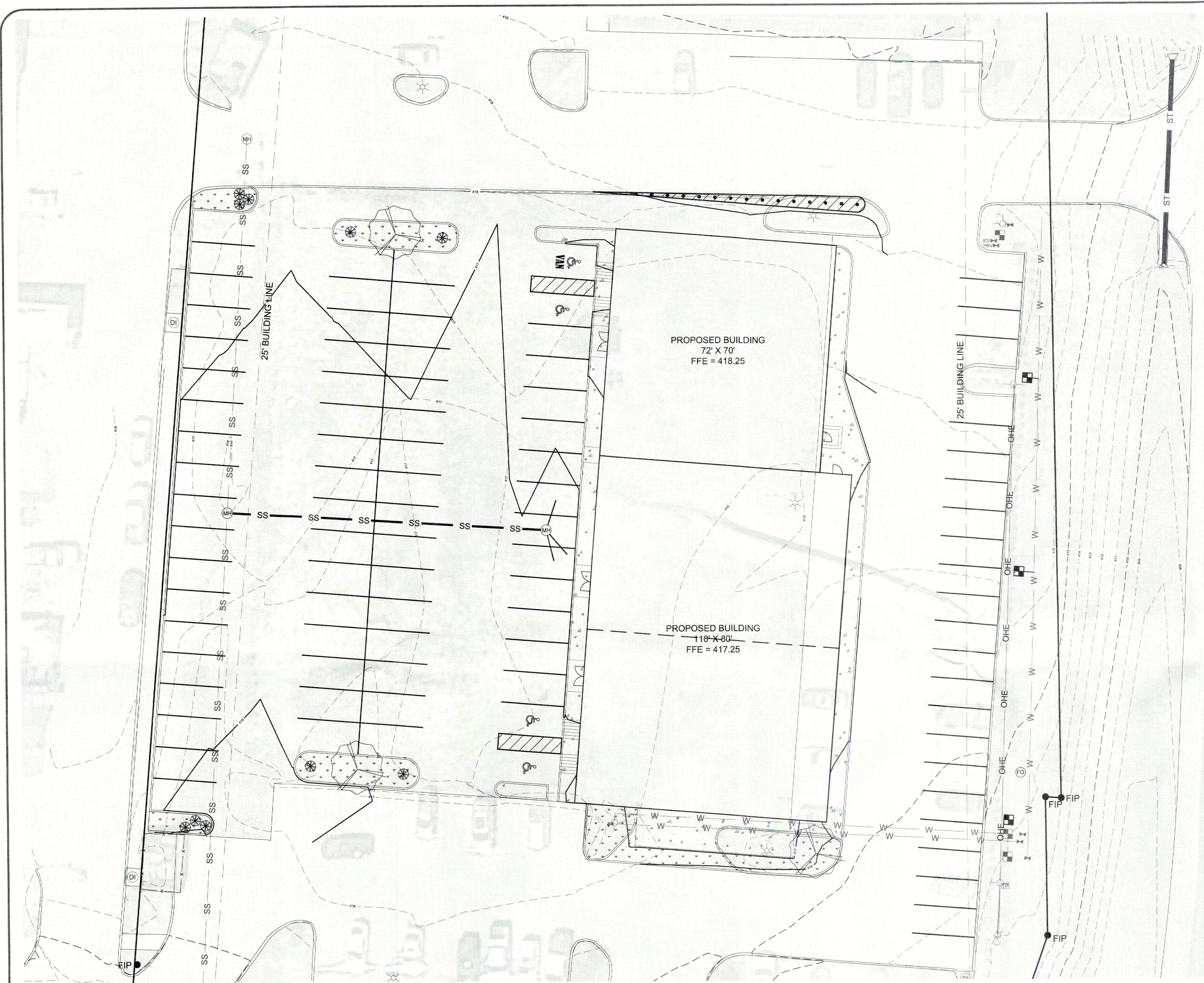
Prepared For:
 Alan Bubbus
 Ryan Rooney
 Anchor Realty
 1600 Gregory St.
 North Little Rock, AR 72114

**SIDEWALK & PARKING PLAN
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS**

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:



C8.0



VICINITY MAP

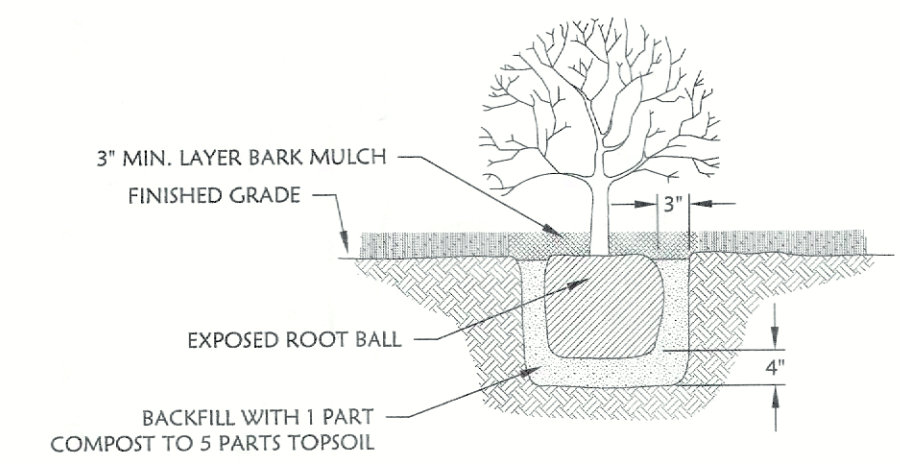
LEGEND - PLANT LIST				
KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE
	3	CREPE MYRTLE <i>Lagerstroemia</i>	BBB	3' CAL
	10	DWARF NANDINA <i>Nandina dumestron</i>	CONT.	3 GAL.

NOTE: GROUND COVER TO BE BERMUDA GRASS UNLESS OTHERWISE NOTED

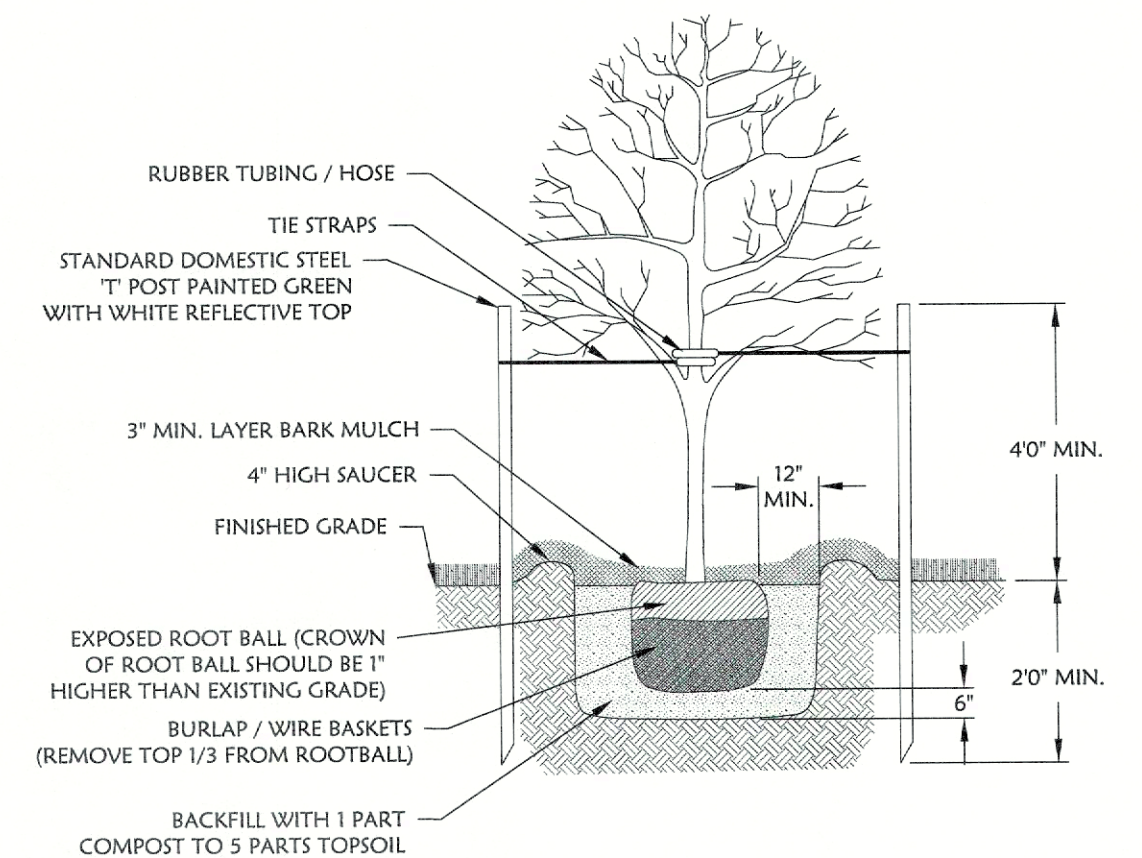
LANDSCAPE REQUIREMENTS	REQUIRED	REQUESTED
PARKING LOT LANDSCAPING: 1 TREE PER 0.5 ACRES OR FRACTION	= 3 TREES	3 TREES
INTERIOR LANDSCAPING: 100 SF MINIMUM	= 100 SF	1579 SF

GENERAL LANDSCAPE NOTES:

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT QUANTITIES
2. ADJUSTMENTS IN ACTUAL LOCATION OF PLANT MATERIAL MAY BE NECESSARY DUE TO FIELD ITEMS
3. WHEN SAME SPECIES OF TREES ARE PAIRED OR GROUPED IN 3 OR MORE, THEY SHOULD BE MATCHED IN SIZE, SHAPE, GROWTH, ETC.
4. VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION.
5. ALL PLANTING AREAS SHALL BE MULCHED AS SPECIFIED.
6. ALL DISTURBED AREAS SHALL BE SODDED.

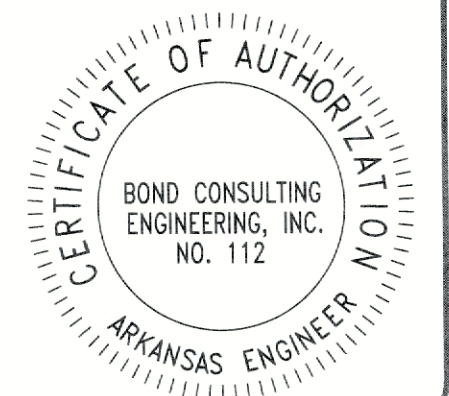


DETAIL - SHRUB PLANTING



DETAIL - TREE PLANTING

LEGEND:	
	BOUNDARY LINE
	BUILDING LINE
	EASEMENT LINE
	WATER LINE
	SEWER LINE
	OHE OVERHEAD ELECTRIC
	STREET CENTERLINE
	RIGHT-OF-WAY
	100 CONTOUR
	FENCE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	DROP INLET
	FIBER OPTIC
	TELEPHONE PEDESTAL
	POWER POLE
	LIGHT POLE



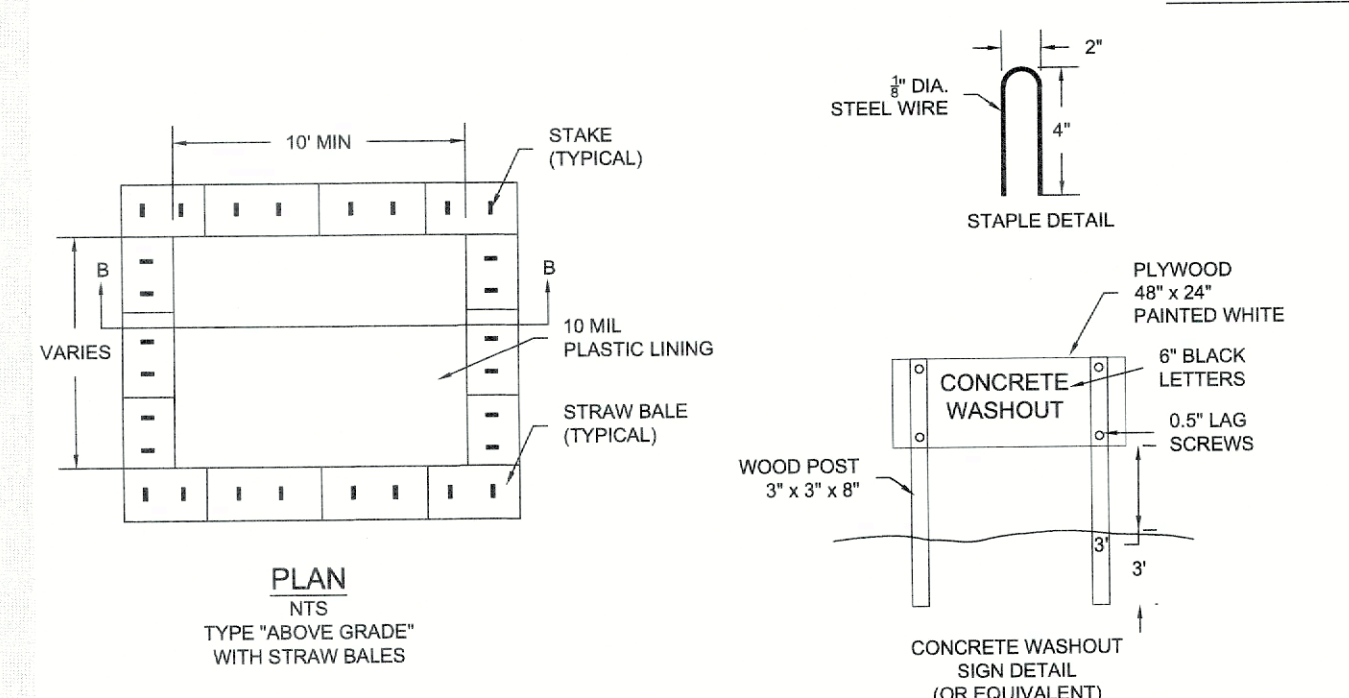
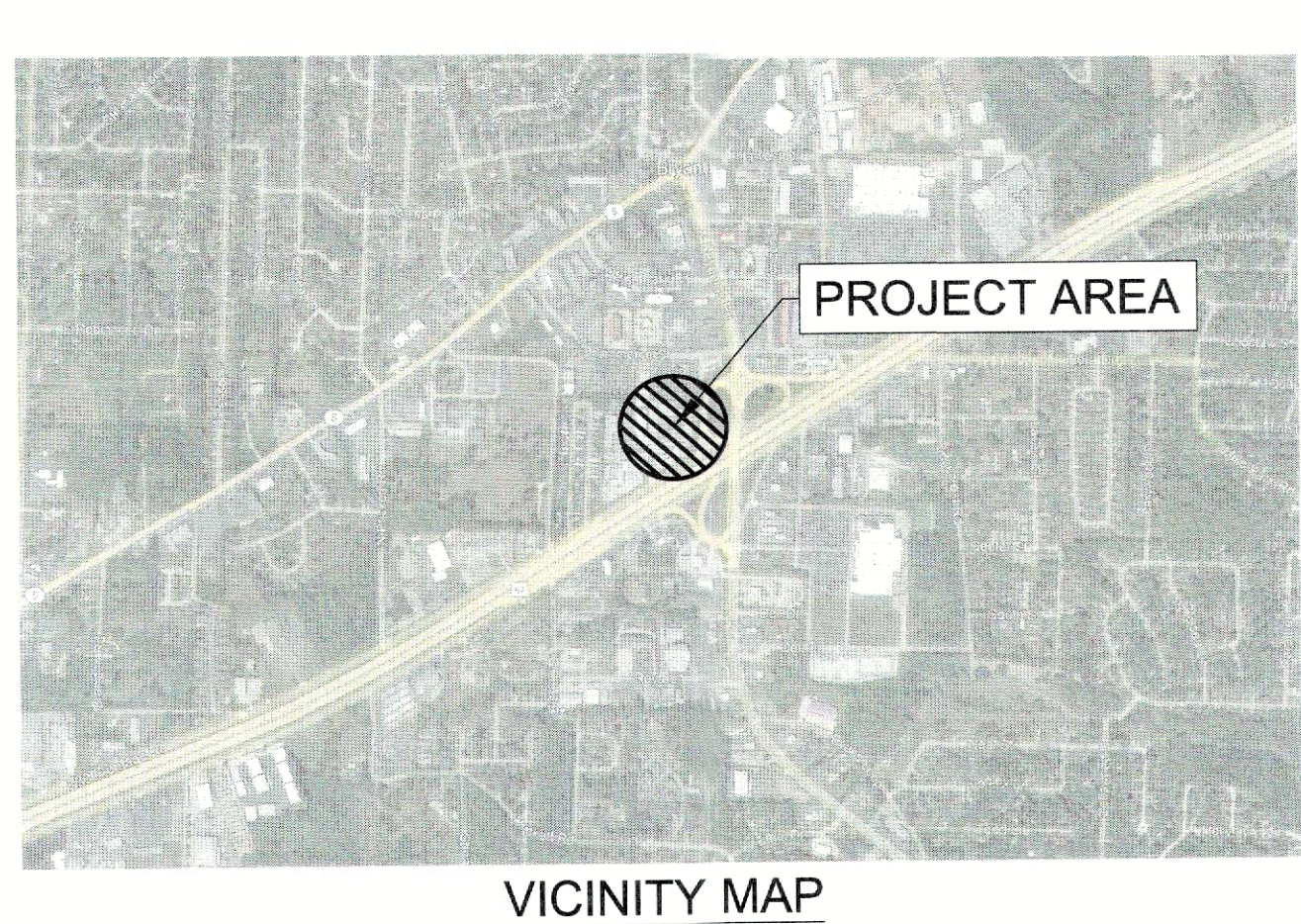
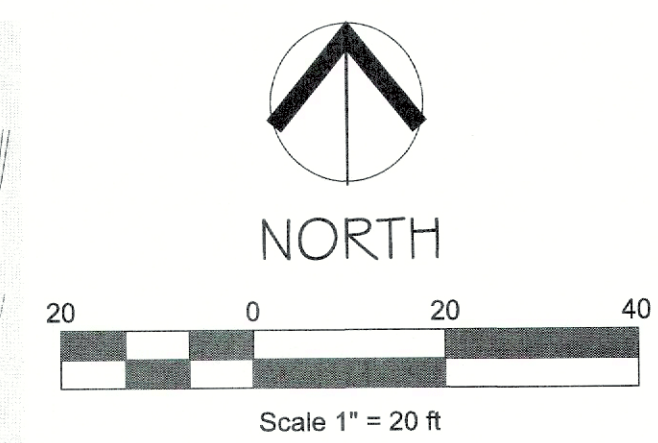
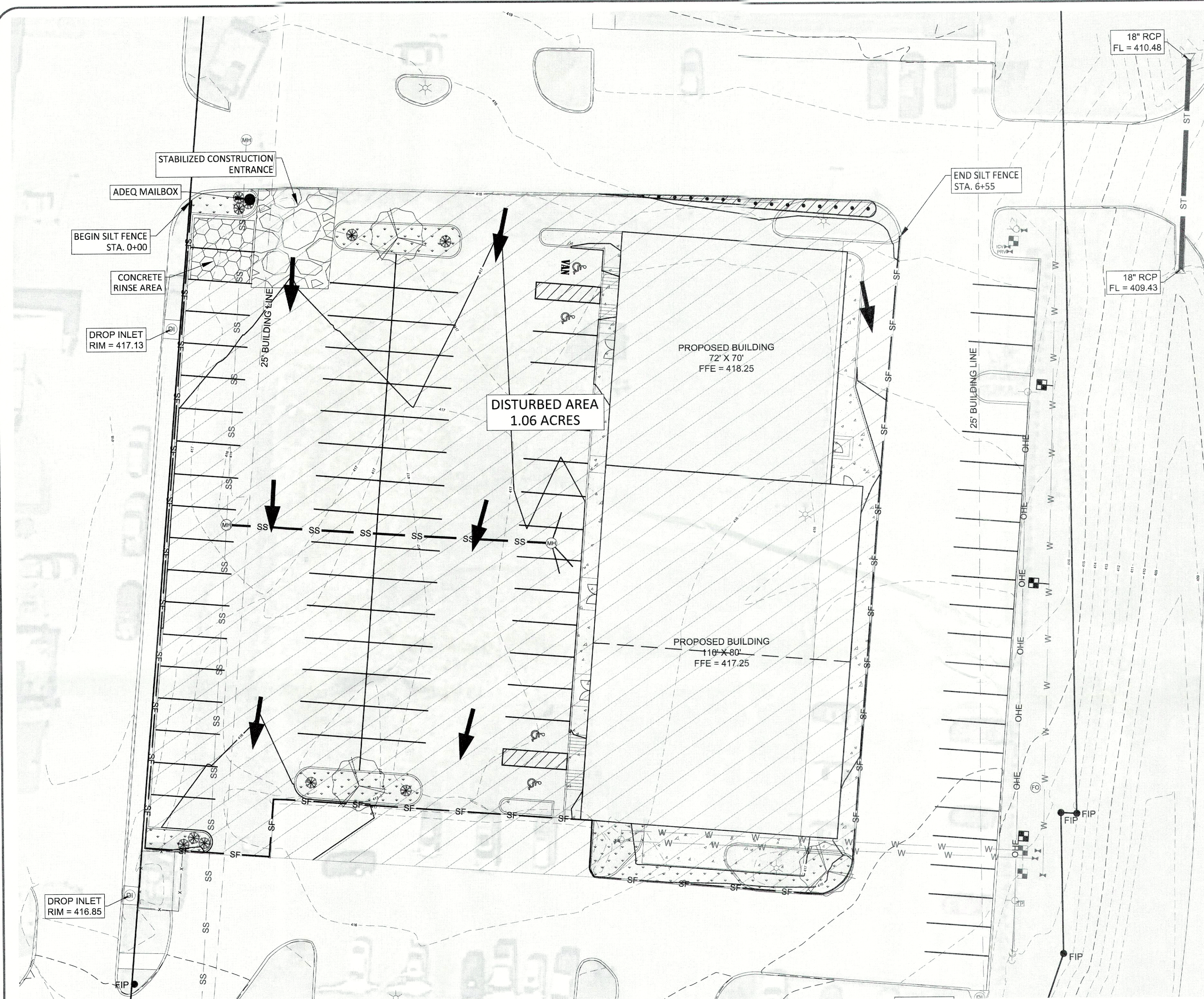
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 North Little Rock, AR 72114

LANDSCAPE PLAN
 REYNOLDS CENTRE
 BRYANT, SALINE COUNTY, ARKANSAS

PROJECT: 9922
 DATE: 5-5-2023
 REVISIONS:

C9.0



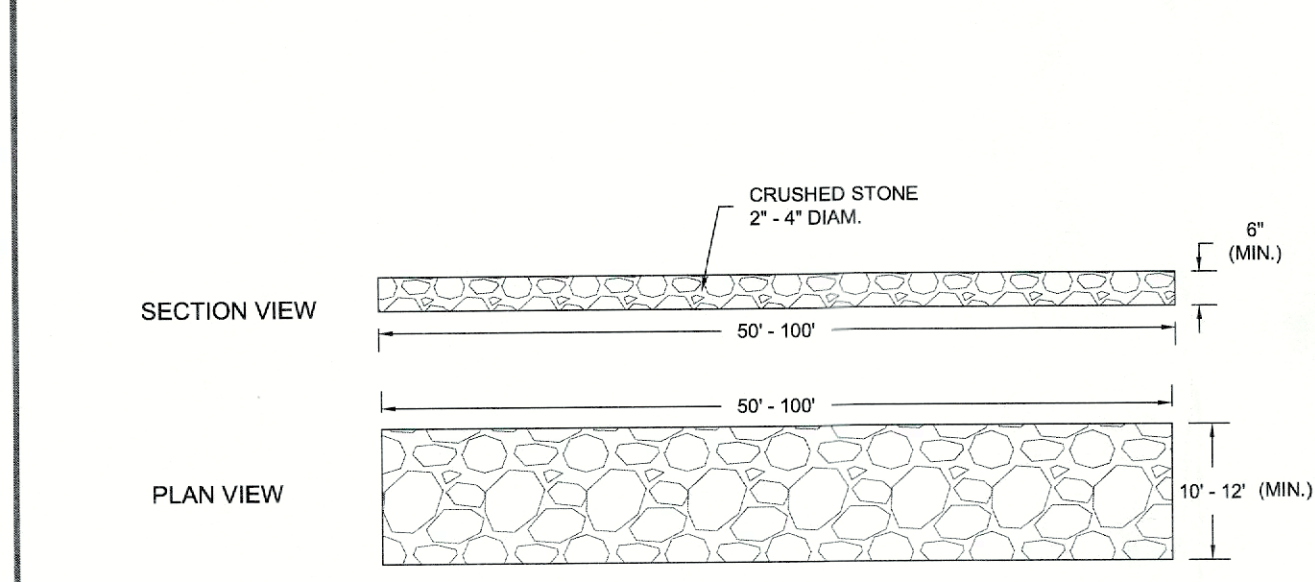
- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT BIN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OF ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
 4. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 5. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE. FACILITY SHOULD BE CONSTRUCTED AND MAINTAINED TO SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUIDS GENERATED DURING WASHOUT PROCEDURES.
 6. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
 7. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
 8. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
 9. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA TO PROPERLY DISPOSED OF OFF-SITE.
 10. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREAS AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED AND DISPOSED OF. DISPOSAL OF HARDENED CONCRETE ON A REGULAR BASIS.
 11. TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE CONSTRUCTED ACCORDING TO THE DETAIL, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT. BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATORS.
 12. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

CONCRETE WASHOUT AREA
NTS

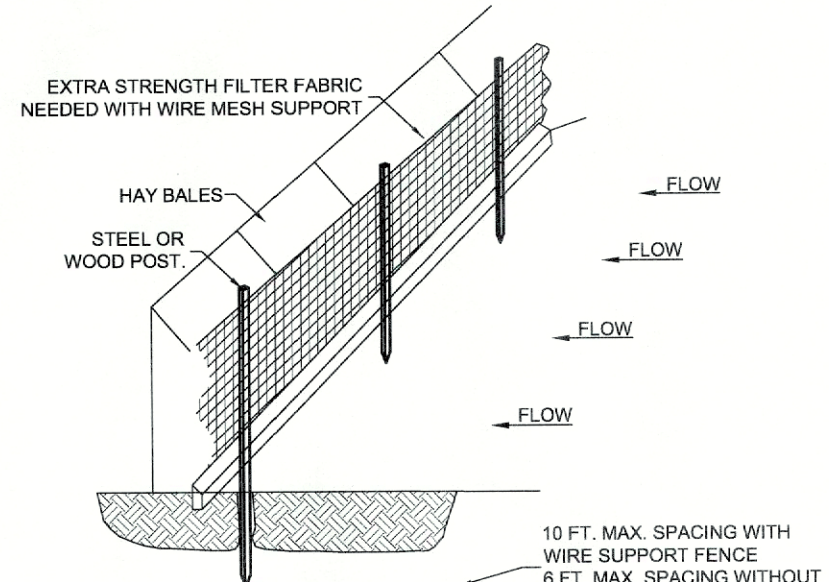
- GENERAL NOTES:**
1. SILT FENCES MUST BE MAINTAINED AS SHOWN ON THE SILT FENCE DETAIL THROUGHOUT THE CONSTRUCTION PERIOD.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING ACTIVITIES CONCERNING EROSION CONTROL FOR THIS PROJECT:
 - A. CONFORMING TO THE SWPPP AND IMPLEMENTING THE BMP'S OUTLINED
 - B. POSTING THE SITE WITH THE ADEQ PERMIT
 - C. INSTALLING A RAIN GAUGE
 - D. FILLING OUT ALL REQUIRED INSPECTION REPORTS
 - E. INSTALLING A MAILBOX AT THE ENTRANCE TO HOLD THE SWPPP, EROSION CONTROL PLAN, AND INSPECTION REPORTS.
 - F. CLEANING UP ANY SEDIMENT THAT LEAVES THE SITE.
 - G. HYDROSEEDING/MULCHING AND/OR SOODING DISTURBED AREAS ONCE THE CONSTRUCTION ACTIVITIES IN THOSE AREAS ARE COMPLETED.
 3. IT IS ACCEPTABLE TO CHANGE/UPDATE THE EROSION CONTROL PLAN IN A MANNER THAT WILL ENHANCE SEDIMENT CONTROL. ANY CHANGES SHALL BE REFLECTED ON THE EROSION CONTROL PLAN INSIDE THE MAILBOX AND ACCEPTED BY THE ENGINEER.
 4. CURB INLET PROTECTION PRACTICES SHALL BE IMPLEMENTED AFTER TOPS OF INLETS ARE CONSTRUCTED.
 5. DISCHARGE POINTS ARE TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION OF DRAINAGE STRUCTURES. STABILIZE BANKS WITH GRASS & DISCHARGE POINT WITH A COMBINATION OF EROSION MATTING, RIP RAP, & GRASS.
 6. SOIL EXPOSED FOR MORE THAN 14 DAYS WITH NO CONSTRUCTION ACTIVITY SHALL BE SEEDED OR RE-VEGETATED.

LEGEND:

	BOUNDARY LINE
	BUILDING LINE
	EASEMENT LINE
	WATER LINE
	SEWER LINE
	OVERHEAD ELECTRIC
	STREET CENTERLINE
	RIGHT-OF-WAY
	CONTOUR
	FENCE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	DROP INLET
	FIBER OPTIC
	TELEPHONE PEDESTAL
	POWER POLE
	LIGHT POLE

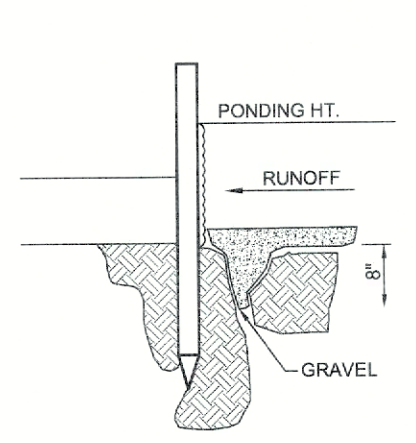


STABILIZED CONSTRUCTION ENTRANCE
NTS



STANDARD DETAIL TRENCH WITH NATIVE GRAVEL

SILT FENCE
NTS



ALTERNATE DETAIL TRENCH WITH GRAVEL

- NOTE:**
- 1.) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2.) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3.) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



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Jacksonville, Arkansas 72076
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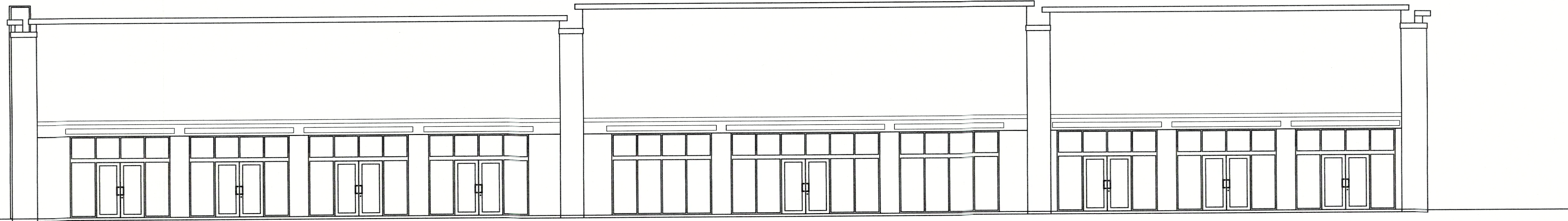
Prepared For:
Alan Bubbus
Ryan Rooney
Anchor Realty
1600 Gregory St.
North Little Rock, AR 72114

EROSION CONTROL PLAN
REYNOLDS CENTRE
BRYANT, SALINE COUNTY, ARKANSAS

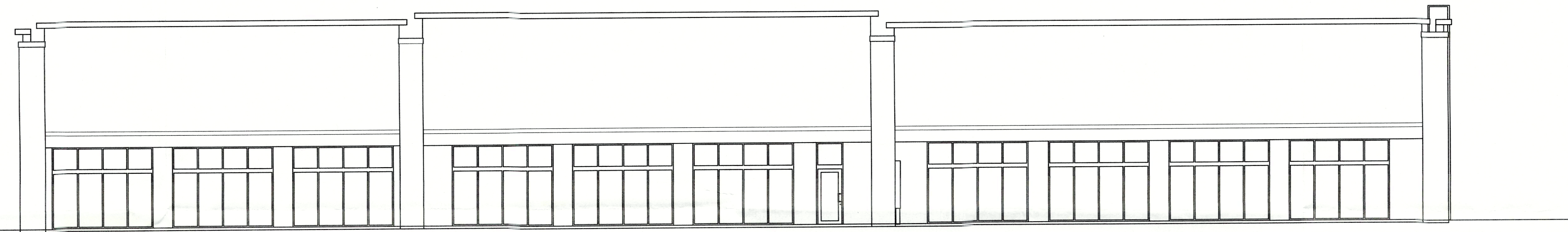
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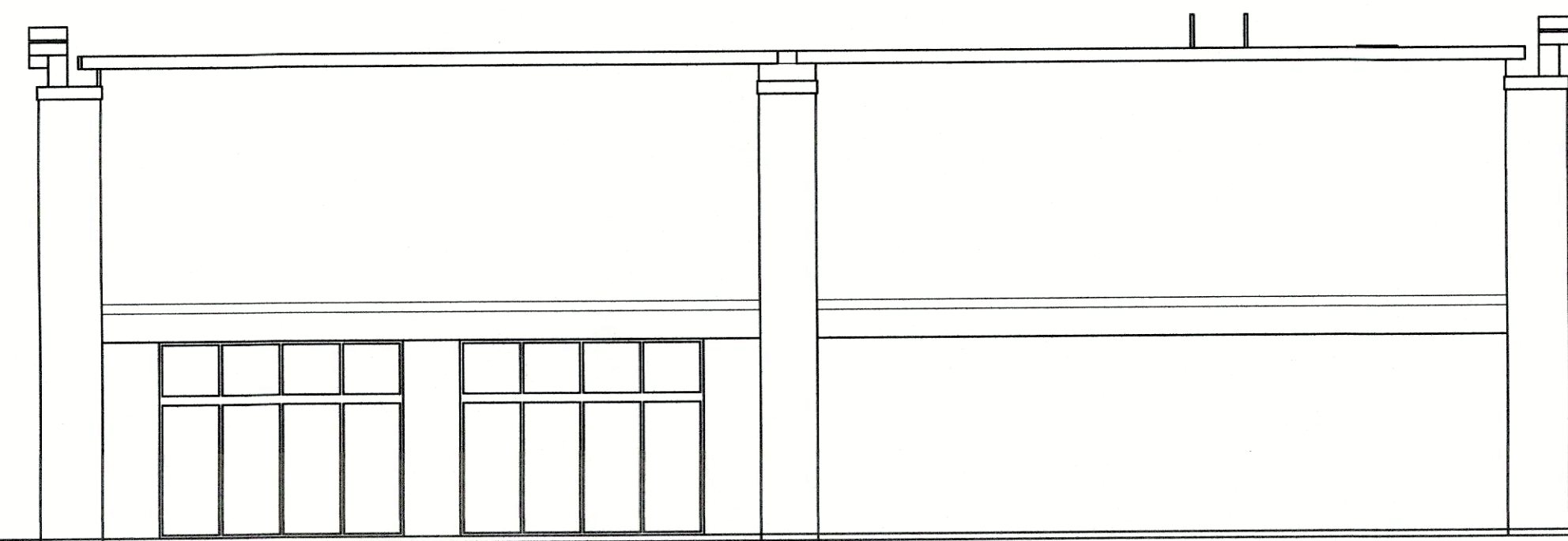
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Front, West Elevation



Back, East Elevation



Side, South Elevation



Side, North Elevation

Stormwater Pollution Prevention Plan (SWPPP) for Construction Activity
for Small Construction Sites

National Pollutant Discharge Elimination System (NPDES)
General Permit # ARR150000

Prepared for:

Anchor Realty

Date:

May 9, 2023

Prepared by:

Bond Consulting Engineers, Inc.

Project Name and Location: Reynolds Centre Commercial Expansion

Property Parcel Number (Optional): 840-12104-003

Operator Name and Address: Anchor Realty Investments, LLC
102 Country Club Parkway
Maumelle, AR 72113

A. Site Description

- a. Project description, intended use after NOI is filed: The site will be the home of a new commercial building in an existing development.
- b. Sequence of major activities which disturb soils:
 - a. Installation of erosion control measures
 - b. Clear and grub underbrush
 - c. Mass earth work
 - d. Install storm drainage infrastructure
 - e. Grade area to drain
 - f. Periodically remove accumulated sediment from around silt fences and other areas
 - g. Obtain vegetation around completed structures
 - h. Stabilization of disturbed soils
 - i. Removal of erosion control measures, as needed
- c. Total Area: 1.06 ac Disturbed Area: 1.06 ac

B. Responsible Parties

Be sure to assign all SWPPP related activities to an individual or position; even if the specific individual is not yet known (i.e. contractor has not been chosen).

Individual/Company	Phone Number	Service Provided for SWPPP (i.e., Inspector, SWPPP revisions, Stabilization Activities, BMP Maintenance, etc.)
Erosion Control Contractor	n/a	All SWPPP Services

C. Receiving Waters

- a. The following waterbody (or waterbodies) receives stormwater from this construction site: An unnamed tributary of Crooked Creek; thence into Crooked Creek; thence into Fourche Creek; thence into the Arkansas River.
- b. Is the project located within the jurisdiction of an MS4? Yes No

- i. If yes, Name of MS4: City of Bryant
- c. Ultimate Receiving Water:
- | | |
|--|--|
| <input type="checkbox"/> Red River | <input type="checkbox"/> White River |
| <input type="checkbox"/> Ouachita River | <input type="checkbox"/> St. Francis River |
| <input checked="" type="checkbox"/> Arkansas River | <input type="checkbox"/> Mississippi River |

D. Site Map Requirements (Attach Site Map):

- a. Pre-construction topographic view;
- b. Direction of stormwater flow (i.e., use arrows to show which direction stormwater will flow) and approximate slopes anticipated after grading activities;
- c. Delineate on the site map areas of soil disturbance and areas that will not be disturbed under the coverage of this permit;
- d. Location of major structural and nonstructural controls identified in the plan;
- e. Location of main construction entrance and exit;
- f. Location where stabilization practices are expected to occur;
- g. Locations of off-site materials, waste, borrow area, or equipment storage area;
- h. Location of areas used for concrete wash-out;
- i. Location of all surface water bodies (including wetlands) with associated natural buffer boundary lines. Identify floodplain and floodway boundaries, if available;
- j. Locations where stormwater is discharged to a surface water and/or municipal separate storm sewer system if applicable,
- k. Locations where stormwater is discharged off-site (should be continuously updated);
- l. Areas where final stabilization has been accomplished and no further construction phase permit requirements apply;
- m. A legend that identifies any erosion and sediment control measure symbols/labels used in the site map and/or detail sheet; and
- n. Locations of any storm drain inlets on the site and in the immediate vicinity of the site.

E. Stormwater Controls

- a. Initial Site Stabilization, Erosion and Sediment Controls, and Best Management Practices:
 - i. Initial Site Stabilization: 1.06 acres of area will be disturbed over the duration of the project. Construction of streets, water, sanitary sewer, gas, electric, phone, and cable shall be the areas initially disturbed.

- ii. Erosion and Sediment Controls: Silt fencing around the site, concrete washout areas, and construction entrances will be installed before construction begins.
- iii. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the operator will replace or modify the control for site situations: Yes No
If No, explain: _____

- iv. Off-site accumulations of sediment will be removed at a frequency sufficient to minimize off-site impacts: Yes No
If No, explain: _____

- v. Sediment will be removed from sediment traps or sedimentation ponds when design capacity has been reduced by 50%: Yes No
If No, explain: _____

- vi. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges: Yes No
If No, explain: _____

- vii. Off-site material storage areas used solely by the permitted project are being covered by this SWPPP: Yes No
If Yes, explain additional BMPs implemented at off-site material storage area: _____

b. Stabilization Practices

- i. Description and Schedule: During construction of streets, utilities, sidewalks, and buildings, surrounding vegetation will be disturbed as required. After streets and utilities are installed, the areas that will no longer be disturbed will be seeded and BMP's installed until vegetation growth.
- ii. Are buffer areas required? Yes No
If Yes, are buffer areas being used? Yes No
If No, explain why not: _____

If Yes, describe natural buffer areas: _____

- iii. A record of the dates when grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated shall be included with the plan.

Yes No

If No, explain: _____

- iv. Deadlines for stabilization:

1. Stabilization procedures will be initiated 14 days after construction activity temporarily ceases on a portion of the site.
2. Stabilization procedures will be initiated immediately in portions of the site where construction activities have permanently ceased.

- c. Structural Practices

- i. Describe any structural practices to divert flows from exposed soils, store flows, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site: Silt fence barriers are being used around all exposed areas of the site that may be adversely affected by errant water flows.

- ii. Describe Velocity Dissipation Devices: No areas of the site are expected to have high velocity flow, however the silt fences will be placed in such a way to retard any flows that may occur.

- iii. Sediment Basins:

Are 10 or more acres draining to a common point? Yes No

Is a sediment basin included in the project? Yes No

If Yes, what is the designed capacity for the storage?

3600 cubic feet per acre = : _____

or

10 year, 24 hour storm = : _____

Other criteria were used to design basin: _____

If No, explain why no sedimentation basin was included and describe required natural buffer areas and other controls implemented instead: The site is an existing incomplete commercial development. The entirety of the site is planned for use either for buildings, roads or parking. The silt fencing will be sufficient to control any stormwater flows coming from the site.

- F. Other Controls

- a. Solid materials, including building materials, shall be prevented from being discharged to Waters of the State: Yes No

b. Off-site vehicle tracking of sediments and the generation of dust shall be minimized through the use of:

A stabilized construction entrance and exit

Vehicle tire washing

Other controls, describe: _____

c. Temporary Sanitary Facilities: Portable toilets will be available and shall be located away from any anticipated storm water flow. The contractor is responsible for regular cleaning of the portable toilets. All waste will be disposed of in proper waste

d. Concrete Waste Area Provided:

Yes

No. Concrete is used on the site, but no concrete washout is provided.

Explain why: _____

N/A, no concrete will be used with this project

e. Fuel Storage Areas, Hazardous Waste Storage, and Truck Wash Areas: No fuel storage or hazardous materials are anticipated on this project. However, no contaminants from fuel storage, hazardous materials, and truck washing shall be discharged to waters of the State. If truck washing occurs, then the water must be collected and contained and pumped out as required by a licensed operator for this type of operation.

G. Non-Stormwater Discharges

a. The following allowable non-stormwater discharges comingled with stormwater are present or anticipated at the site:

Fire-fighting activities;

Fire hydrant flushings;

Water used to wash vehicles (where detergents or other chemicals are not used) or control dust in accordance with Part II.A.4.H.2;

Potable water sources including uncontaminated waterline flushings;

Landscape Irrigation;

Routine external building wash down which does not use detergents or other chemicals;

Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled materials have been removed) and where detergents or other chemicals are not used;

Uncontaminated air conditioning, compressor condensate (See Part I.B.12.C of the permit);,

Uncontaminated springs, excavation dewatering and groundwater (See Part I.B.13.C of the permit);

Foundation or footing drains where flows are not contaminated with process materials such as solvents (See Part I.B.13.C of the permit);

- b. Describe any controls associated with non-stormwater discharges present at the site: The controls already in use on the site will be sufficient to contain any non-stormwater discharges on the site.

H. Applicable State or Local Programs: The SWPPP will be updated as necessary to reflect any revisions to applicable federal, state, or local requirements that affect the stormwater controls implemented at the site. Yes No

I. Inspections

a. Inspection frequency:

Every 7 calendar days

or

At least once every 14 calendar days and within 24 hours of the end of a storm even 0.25 inches or greater (a rain gauge must be maintained on-site)

b. Inspections:

Completed inspection forms will be kept with the SWPPP.

ADEQ's inspection form will be used (See Appendix B)

or

A form other than ADEQ's inspection form will be used and is attached (See inspection form requirements Part II.A.4.L.2)

c. Inspection records will be retained as part of the SWPPP for at least 3 years from the date of termination.

d. It is understood that the following sections describe waivers of site inspection requirements. All applicable documentation requirements will be followed in accordance with the referenced sections.

- i. Winter Conditions (Part II.A.4.L.4)
- ii. Adverse Weather Conditions (Part II.A.4.L.5)

J. Maintenance:

The following procedures to maintain vegetation, erosion and sediment control measures and other protective measures in good, effective operating condition will be followed: The site erosion control measures will be checked periodically by site personnel and by the inspector during his visits. Any measures deemed deficient will be identified and appropriate repairs will be initiated.

Any necessary repairs will be completed, when practicable, before the next storm event, but not to exceed a period of 3 business days of discovery, or as otherwise directed by state or local officials.

K. Employee Training:

The following is a description of the training plan for personnel (including contractors and subcontractors) on this project: All job foremen and inspectors will be taught how to recognize deficiencies and failures in the erosion control structures. They will be taught how to maintain any erosion control measures in place on the site, and will be instructed in how to lead workmen in maintaining and repairing said structures. They will be instructed to immediately contact job supervisors for consultation if there are any problems with the erosion control measures.

****Note**, Formal training classes given by Universities or other third-party organizations are not required, but recommended for qualified trainers; the permittee is responsible for the content of the training being adequate for personnel to implement the requirements of the permit.

Certification

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: _____

Title: _____

Date: _____

ARR150000 Inspection Form

Appendix A

Inspector Name: _____

Date of Inspection: _____

Inspector Title: _____

Date of Rainfall: _____

Duration of Rainfall: _____

Days Since Last Rain Event: _____ days

Rainfall Since Last Rain Event: _____ inches

Description of any Discharges During Inspection: _____

Location of Discharges of Sediment/Other Pollutant (specify pollutant & location): _____

Locations in Need of Additional BMPs: _____

Information on Location of Construction Activities

Location	Activity Begin Date	Activity Occurring Now (y/n)?	Activity Ceased Date	Stabilization Initiated Date	Stabilization Complete Date

Information on BMPs in Need of Maintenance

Location	In Working Order?	Maintenance Scheduled Date	Maintenance Completed Date	Maintenance to be Performed By

Changes required to the SWPPP: _____

Reasons for changes: _____

SWPPP changes completed (date): _____

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: _____ Date: _____

Title: _____

BMP Consideration Checklist

The BMPs listed here should be considered for every project. Those BMPs that are not included in the SWPPP should be checked as "Not Used" with a brief statement describing why it is not being used.

Note: Appendix B and C do not have to be submitted with the SWPPP. These attachments are for use during the development of the SWPPP.

EROSION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
EC-1 Scheduling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-2 Preservation of Existing Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-3 Hydraulic Mulch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-4 Hydroseeding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-5 Soil Binders	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-6 Straw Mulch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-7 Geotextiles & Mats	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-8 Wood Mulching	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-9 Earth Dikes & Drainage Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-10 Velocity Dissipation Devices	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-11 Slope Drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-12 Stream bank Stabilization	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SEDIMENT CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
SE-1 Silt Fence	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-2 Sediment Basin	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-3 Sediment Trap	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-4 Check Dam	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-5 Fiber Rolls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-6 Gravel Bag Berm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-7 Street Sweeping and Vacuuming	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-8 Sand Bag Barrier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-9 Straw Bale Barrier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-10 Storm Drain Inlet Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-11 Chemical Treatment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WIND EROSION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
WE-1 Wind Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

BMP Consideration Checklist

TRACKING CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
TR-1 Stabilized Construction Entrance/Exit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TR-2 Stabilized Construction Roadway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TR-3 Entrance/Outlet Tire Wash	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NON-STORM WATER MANAGEMENT BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
NS-1 Water Conservation Practices	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-2 Dewatering Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-3 Paving and Grinding Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-4 Temporary Stream Crossing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-5 Clear Water Diversion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-6 Illicit Connection/ Discharge	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-7 Potable Water/Irrigation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-8 Vehicle and Equipment Cleaning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-9 Vehicle and Equipment Fueling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-10 Vehicle and Equipment Maintenance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-11 Pile Driving Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-12 Concrete Curing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-13 Concrete Finishing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-14 Material and Equipment Use Over Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-15 Demolition Adjacent to Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-16 Temporary Batch Plants	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
WM-1 Material Delivery and Storage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-2 Material Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-3 Stockpile Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-4 Spill Prevention and Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-5 Solid Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-6 Hazardous Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-7 Contaminated Soil Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-8 Concrete Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-9 Sanitary/Septic Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-10 Liquid Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

SWPPP Completion Checklist

Yes = Complete

No = Incomplete/Deficient

N/A = Not applicable to project

Yes	No	N/A	A. A site description, including:	Permit Section
			1. Project description, intended use after NOT	Part II.A.4.A.1
			2. Sequence of major activities	Part II.A.4.A.2
			3. Total & disturbed acreage	Part II.A.4.A.3
			B. Responsible Parties: All parties dealing with the SWPPP and the areas they are responsible for on-site.	Part II.A.4.B
			C. Receiving Water.	Part II.A.4.C
			-MS4 Name	Part II.A.4.C
			-Ultimate Receiving Water	Part II.A.4.C
			D.Site Map --- See End of Evaluation Form	Part II.A.4.F
			E. Description of Controls:	
			1. Erosion and sediment controls, including:	
			a. Initial site stabilization	Part II.A.4.G.1.a
			b. Erosion and sediment controls	Part II.A.4.G.1.b
			c. Replacement of inadequate controls	Part II.A.4.G.1.c
			d. Removal of off-site accumulations	Part II.A.4.G.1.d
			e. Maintenance of sediment traps/basins @ 50% capacity	Part II.A.4.G.1.e
			f. Litter, construction debris and chemicals properly handled	Part II.A.4.G.1.f
			g. Off-site storage areas and controls	Part II.A.4.G.1.g
			2. Stabilization practices:	
			a. Description and schedule for stabilization	Part II.A.4.G.2.a
			b. Description of buffer areas	Part II.A.4.G.2.b
			c. Records of stabilization	Part II.A.4.G.2.c
			d. Deadlines for stabilization	Part II.A.4.G.2.d
			3. Structural Practices:	
			-Describe structural practices to divert flows, store flows, or otherwise limit runoff	Part II.A.4.G.3
			a. Sediment basins	Part II.A.4.G.3.a.1
			-Are more than 10 acres draining to a common point? If so, are sediment basins included?	Part II.A.4.G.3.a.1
			-Sediment basin dimensions and capacity description and calculations	Part II.A.4.G.3.a.1
			-If a basin wasn't practicable, are other controls sufficient?	Part II.A.4.G.3.a.1
			b. Velocity dissipation devices concentrated flow from 2 or more acres	Part II.A.4.G.3.b
			F. Other controls including:	
			1. Solid waste control measures	Part II.A.4.H.1
			2. Vehicle off-site tracking controls	Part II.A.4.H.2
			3. Compliance with sanitary waste disposal	Part II.A.4.H.4
			4. Does the site have a concrete washout area controls?	Part II.A.4.H.5
			5. Does the site have fuel storage areas, hazardous waste storage and/or truck wash areas controls?	Part II.A.4.H.6
			G. Identification of allowable non-storm water discharges	Part II.A.4.I
			-Appropriate controls for dewatering, if present	Part I.B.12.C
			H. State or local requirements incorporated into the plan.	Part II.A.4.K

SWPPP Completion Checklist

Yes = Complete

No = Incomplete/Deficient

N/A = Not applicable to project

Yes	No	N/A	I. Inspections	Permit Section
			1. Inspection frequency listed?	Part II.A.4.L.1
			2. Inspection form	Part II.A.4.L.2
			Ours.	
If not ours, does it contain the following items:				
			a. Inspector name and title	Part II.A.4.L.2.a
			b. Date of inspection.	Part II.A.4.L.2.b
			c. Amount of rainfall and days since last rain event (14 day only)	Part II.A.4.L.2.c
			d. Approx beginning and duration of storm event	Part II.A.4.L.2.d
			e. Description of any discharges during inspection	Part II.A.4.L.2.e
			f. Locations of discharges of sediment/other pollutants	Part II.A.4.L.2.f
			g. BMPs in need of maintenance	Part II.A.4.L.2.g
			h. BMPs in working order, if maintenance needed (scheduled and completed)	Part II.A.4.L.2.h
			i. Locations that are in need of additional controls	Part II.A.4.L.2.i
			j. Location and dates when major construction activities begin, occur or cease	Part II.A.4.L.2.j
			k. Signature of responsible/eognizant official	Part II.A.4.L.2.k
			3. Inspection Records	Part II.A.4.L.3
			4. Winter Conditions	Part II.A.4.L.4
			5. Adverse Weather Conditions	Part II.A.4.L.5
			J. Maintenance Procedures	Part II.A.4.M
			K. Employee Training	Part II.A.4.N
			Signed Plan Certification	Part II.A.7. and Part II.B.10
D. Site Map showing:				
			1. Pre-construction topographic view	Part II.A.4.F.1
			2. Drainage flow	Part II.A.4.F.2
			3. Approximate slopes after grading activities	Part II.A.4.F.2
			4. Areas of soil disturbance and areas not disturbed	Part II.A.4.F.3
			5. Location of major structural and non-structural controls.	Part II.A.4.F.4
			6. Location of main construction entrance and exit.	Part II.A.4.F.5
			7. Areas where stabilization practices are expected to occur.	Part II.A.4.F.6
			8. Locations of off-site materials, waste, borrow area or storage area.	Part II.A.4.F.7
			9. Locations of areas used for concrete wash-out.	Part II.A.4.F.8
			10. Locations of surface waters on site.	Part II.A.4.F.9
			11. Locations where water is discharged to a surface water or MS4.	Part II.A.4.F.10
			12. Storm water discharge locations.	Part II.A.4.F.11
			13. Areas where final stabilization has been accomplished.	Part II.A.4.F.12



2601 T.P. White Drive
Jacksonville, AR 72076

TEL 501.982.1538
FAX 501.982.1530

www.bondce.com

May 9, 2023

Mr. Truett Smith, Director
Community Development
210 S.W. 3rd Street
Bryant, AR 72022

RE: Site Plan – Reynolds Centre Commercial Expansion, Bryant, Arkansas

Dear Mr. Smith:

We have attached 12 copies of the site plan and proposed elevations for the new building in the Reynolds Centre development. We have also attached 2 full sets of civil design plans and the storm water pollution prevention plan. As you know this is the last building of a larger development. Our client plans to use much of the existing site as is and disturb as little as necessary.

The landscape area for this building is relatively small and confined to parking islands and the southern border of the proposed building in this undeveloped section.

Most utilities already existing for the proposed area, but a sewer extension is planned to the existing sewer line on the West side of the property. The site is graded for surface stormwater flow. Since all site conditions are existing there is no additional detention planned.

Please feel free to call me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tommy Bond', with a large, stylized flourish at the end.

Tommy Bond P.E.

cc: Anchor Realty
BCE # 9922

Bryant Planning Commission

SMALL SCALE DEVELOPMENT COMMERCIAL BUILDING CHECKLIST

CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022
501-943-0309

PC MEETING DATE: THURSDAY OF EACH WEEK
TIME: 9:00 A.M.
PLACE: ADMINISTRATION CONFERENCE ROOM-BRYANT OFFICE COMPLEX
AGENDA DEADLINE: 5:00 P.M. FRIDAY PRIOR TO SCHEDULED MEETING DATE

REQUIREMENTS FOR SUBMISSION

1. COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
2. ADA/ABA FORM COMPLETED
3. TWO FULL SETS OF BUILDING PLANS
4. 12 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
 - A. VICINITY MAP
 - B. LEGAL DESCRIPTION
 - C. LANDSCAPING PLAN
5. 12 FOLDED COPIES OF FLOOR PLAN
6. 12 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
7. A CD IN .PDF FORMAT
8. COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
9. 2 COPIES OF STORMWATER DETENTION PLAN
10. \$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.

NOTE: WHEN MAKING CHANGES TO AN APPROVED SITE PLAN, A REVISED SITE PLAN MUST BE SUBMITTED TO THE BRYANT PLANNING COMMISSION FOR APPROVAL. THIS MUST BE DONE PRIOR TO IMPLEMENTATION. FAILURE TO COMPLY WILL RESULT IN PENALTIES/FINES BEING IMPOSED IN ACCORDANCE WITH CITY ORDINANCES.

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.



SIGNATURE

May 9, 2023
DATE

City of Bryant Commercial Building Checklist

Name of Development REYNOLDS CENTRE COMMERCIAL EXPANSION
Site Location PARCEL # 840-12104-003 Current zoning C-2
Owner ANCHOR REALTY INVESTMENTS LLC Phone 501-701-0977

I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- ▲ 1. Name of Development
- ▲ 2. Current zoning
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan
- ▲ 5. Date of preparation of the plan
- ▲ 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 7. Legal description of the property with exact boundary lines
- ▲ 8. North arrow & Scale
- ▲ 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway
- ▲ 10. Lot area in square feet
- ▲ 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34")
- ▲ 12. Existing streams, drainage channels, and other bodies of water
- ▲ 13. Drainage easements for stormwater run-off and detention shown & labeled
- ▲ 14. Location and name of existing streets
- ▲ 15. Show source of water supply
- ▲ 16. Show location of waste water connection to municipal system & sanitary sewer layout
- ▲ 17. Fire Hydrant placement
- ▲ 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets
- ▲ 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan
- ▲ 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated.
- ▲ 21. Location, massing and pattern of existing vegetation to be retained
- ▲ 22. Existing structures on the site
- ▲ 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc.
- ▲ 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context.
- ▲ 25. Any variance approvals

II ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan		
Proposed improvement is within building line setbacks Front _____ft. Side _____ft. CNR Side _____ft. Back _____ft.		
Parking requirements can be satisfied Floor Space _____sq.ft. divided by 300 = _____ (no. of parking spaces required)		
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)		
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation		
Will there be a dumpster located on the site?		
Will there be a construction site office?		
Have you made "One Call"?		
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines		
Design complies with Arkansas Plumbing Code and National Electric Code requirements		
Foundation and structure meet earthquake requirements for Zone 1.		
Structure meets Arkansas Energy Code for specified use.		
Complies with Arkansas Fire Prevention Code		
Complies with International Code Council regulations		
Will a Site Clearance Permit be required? (City Ordinance 2002-03)		
Are you granted any variances by the Board of Adjustment? If you have been granted a variance please explain in detail:		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Spacing will be 40' between trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree must be a minimum 3" in diameter at the base and 12' + tall	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing trees meeting the minimum size can be counted to meet above criteria	<input type="checkbox"/>	<input checked="" type="checkbox"/>
No trees can be planted within 30 feet of a property corner or driveway	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Shrubs along street right-of-way lines cannot exceed 30 inches in height	<input checked="" type="checkbox"/>	<input type="checkbox"/>

IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
1. C-1 Zoning - Neighborhood Commercial		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183		
Front Yard: not less than 50 feet from front property line	✓	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	✓	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	✓	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	✓	_____
Parking: one space per each 300 sq. ft. of occupied space	✓	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	✓	_____
 3. C-2 Zoning - Lots fronting along roadways designated as interior local.		
Front Yard: none required	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____

V. SITE PLAN ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 26. Letter to Planning Commission stating your request
- ▲ 27. Completed Checklist
- ▲ 28. Completed ADA/ABA Form
- ▲ 29. Two full sets of Building Plans
- ▲ 30. 20 copies of Site Plan (folded to no larger than 8 1/2 X 14 size) that includes vicinity map and landscaping plan (minimum size 17" X 34" paper)
- ▲ 31. 20 copies of Landscaping Plan (folded to no larger than 8 1/2 X 14 size)
- ▲ 32. 20 copies of building floor plan (folded to no larger than 8 1/2 X 14 size)
- ▲ 33. Copy of Stormwater Detention approval
- ▲ 34. Copy of ADEQ Stormwater Pollution Prevention Plan for property containing one acre or larger.
- ▲ 35. IBM compatible diskette or CD with data in PDF format.
- ▲ 36. Receipt for \$250.00 for Stormwater Detention and Drainage Plan review

I CERTIFY that the design of _____
complies with the above regulations, laws and codes.

_____ in the City of Bryant, Arkansas



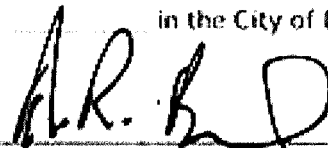
Owner

7301 River Pointe Drive

Mailing Address

North Little Rock, AR 72113

City



Engineer/Architect

501-782-2334

Phone #

May 7, 2023

Date

CITY USE

Action Taken:

Special Conditions:

Permit Issued:	Date	Sq.Ft.	Amount \$
----------------	------	--------	-----------

Construction Completed Certified For Occupancy:	Date:
	Inspector:

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor or Authorized Agent Bryan Rooney Date 5/9/23

Signature of Owner (if owner-builder) _____ Date _____

Application of Permit Approved: _____ Date _____
Commission - Chairman

SITE DEVELOPMENT PLANS



SUPERCENTER #3230-282

400 BRYANT AVE.

BRYANT, ARKANSAS

GENERAL NOTES:

1. TOPOGRAHIC, BOUNDARY, SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
CEI ENGINEERING ASSOCIATES, INC.
1000 SW KEEFER BLVD, SUITE 100
BENTONVILLE, AR 72712
479-273-9472
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
3. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBER, AND OTHER MATERIALS ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
4. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. **WARRANTY/DISCLAIMER:**
THE DESIGN REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF THE PROFESSION OF SURVEYING AND ENGINEERING. CEI ENGINEERING ASSOCIATES, INC. DOES NOT, HOWEVER, WARRANT THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGN OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTINUOUS BASIS AT THE SITE.
6. **SAFETY NOTICE TO CONTRACTOR:**
ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
7. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
8. **WEIARIANS NOTE:**
ANY REDEMPTION, EXCAVATION, CONSTRUCTION, OR FILING IN A U.S. CORPS OF ENGINEERS SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
9. **RESIDENT ENGINEERING SERVICES:**
WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEER FOR THE CONSTRUCTION OF THE PROJECT. THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWERS, AND CITY STREETS, AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH ALL APPLICABLE CITY ORDINANCES AND STATE REQUIREMENTS. CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY RECONSTRUCTION / CONSTRUCTION CONCERNS AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

NOTICE TO BIDDERS:

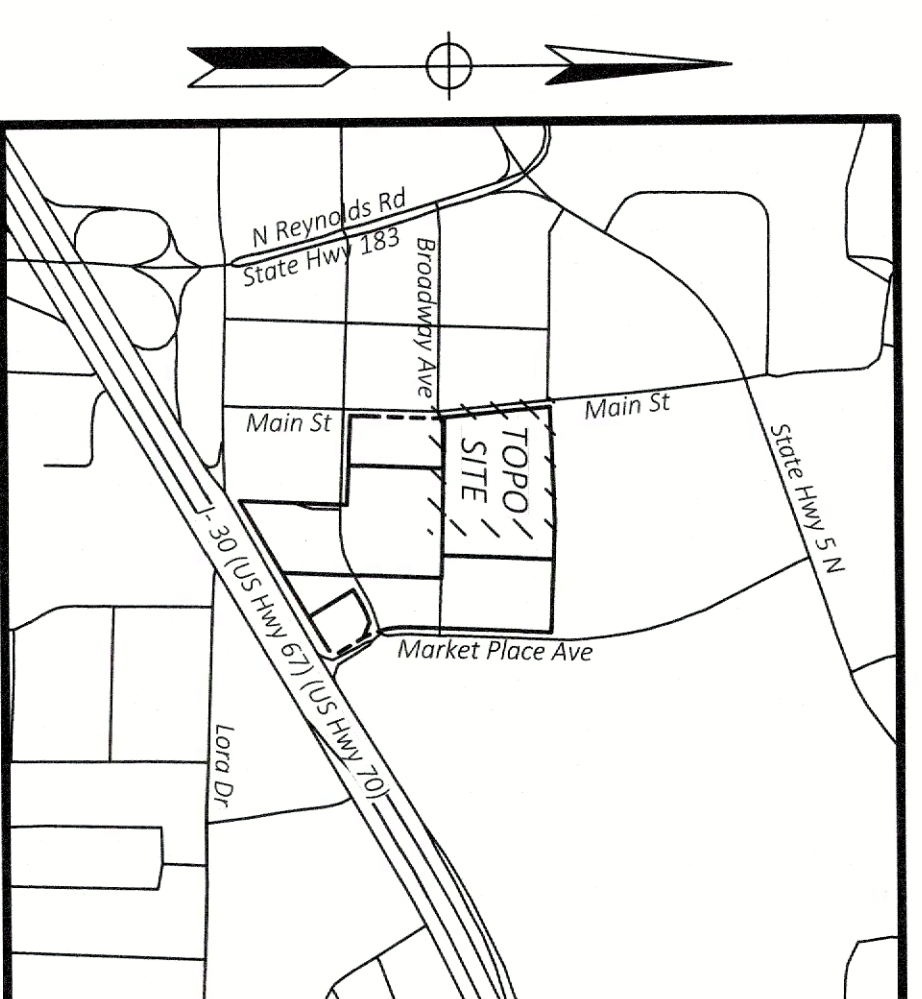
ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTORS BID SHALL BE DIRECTED TO THE CONSULTING ENGINEER. ANY AND ALL QUESTIONS REGARDING THE BIDDING PROCESS MUST BE DIRECTED THROUGH THE GENERAL CONTRACTOR, THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER. SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

FLOOD CERTIFICATION:

THIS PROPERTY IS LOCATED IN ZONE 300. THE NEAREST AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOODPLAIN ARE SHOWN ON THE ATTACHED NATIONAL FLOOD INSURANCE PROGRAMAL FLOOD INSURANCE RATE MAP FOR THE CITY OF BRYANT, COMMUNITY PANEL NUMBER 051503088E EFFECTIVE DATE 06/05/2020. HOWEVER, THE PROJECT AREAS IS NOT WITHIN THE FLOODPLAIN.

ALERT TO CONTRACTOR:

1. THE SITEWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE SITE SPECIFIC SPECIFICATIONS.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.



Vicinity Map
Not to scale

PLAN INDEX:

- C-0.0 COVER SHEET
- C-1.0 DEMOLITION & SITE PLAN
- C-2.0 SITE SIGNAGE PLAN
- C-3.0 PICKUP 2.0 DETAIL SHEET 1
- C-3.1 PICKUP 2.0 DETAIL SHEET 2
- C-4.0 GRADING PLAN

ASSOCIATED PLANS:

- SUPPLY PLANS**
- SW-1.0 SWPPP NOTES
- SW-2.0 SWPPP OVERALL SITE PLAN
- SW-3.0 SWPPP LIMITS OF WORK & SEQUENCE
- SW-4.0 PHASE EROSION AND SEDIMENTATION CONTROL PLAN
- SW-5.0 PHASE EROSION AND SEDIMENTATION CONTROL PLAN
- SW-6.0 SWPPP INFORMATION
- SW-7.0 SWPPP DETAILS SHEET 1
- SW-7.1 SWPPP DETAILS SHEET 2
- SW-7.2 SWPPP DETAILS SHEET 3



CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND SURVEYING • PLANNING
BENTONVILLE | DALLAS | FRESNO | HOUSTON | JACKSONVILLE | MINNEAPOLIS | PHILADELPHIA | PHOENIX



M.H. A. Highfill

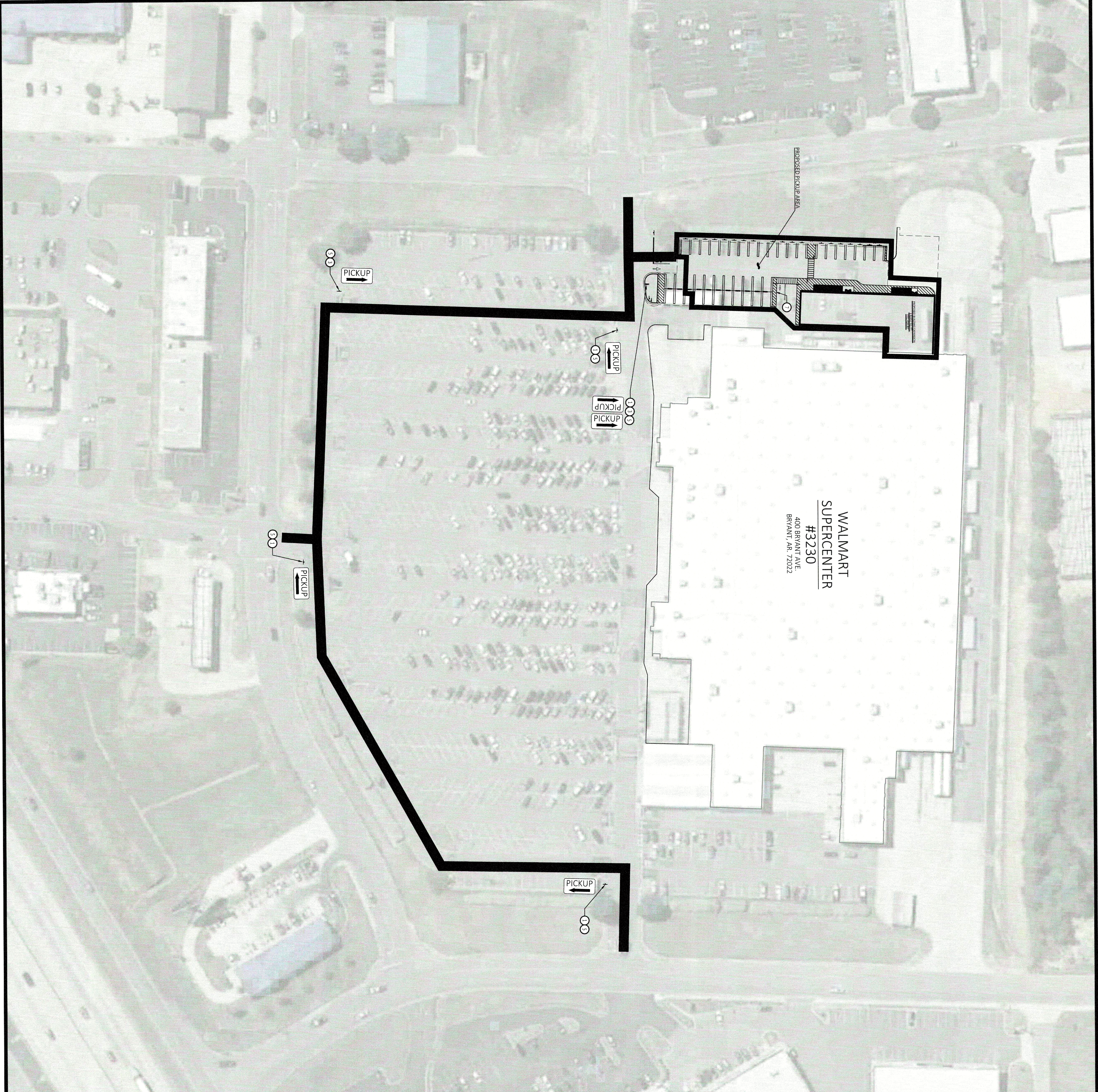
SUPERCENTER #3230-282
400 BRYANT AVE.
BRYANT, ARKANSAS

PROFESSIONAL OF RECORD
PROJECT MANAGER MCM
DESIGNER ASM
CEI PROJECT NUMBER 33982
DATE 04/09/2023
REVISION REV.0

COVER SHEET
SHEET TITLE
SHEET NUMBER
C-0.0

CEI ENGINEERING ASSOCIATES, INC.
1000 SW KEEFER BLVD, SUITE 100
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-9472

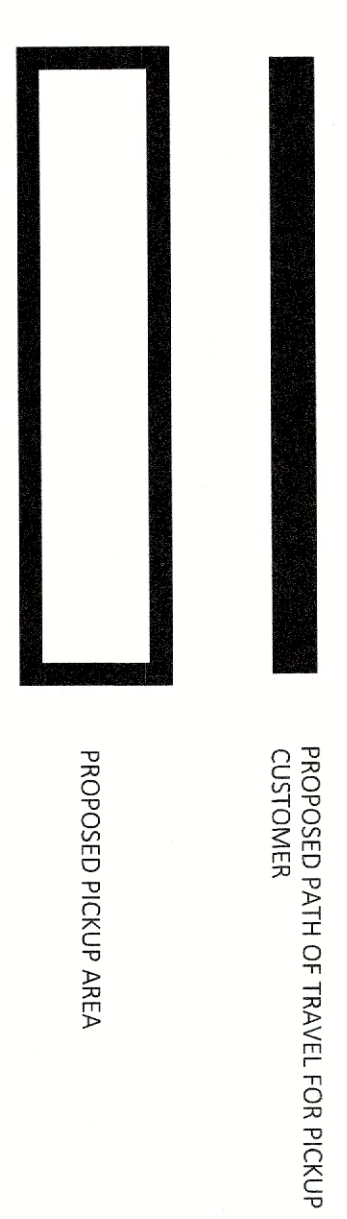




SIGNAGE & STRIPING SCHEDULE NOTES

- ① PROPOSED PICKUP SIGNAGE, LEFT: SEE DETAIL SHEET FOR SIGNAGE AND LOCATION DETAILS.
- ② PROPOSED PICKUP SIGNAGE, STRAIGHT: SEE DETAIL SHEET FOR SIGNAGE AND LOCATION.
- ③ PROPOSED PICKUP SIGNAGE, RIGHT: SEE DETAIL SHEET FOR SIGNAGE AND LOCATION.
- ④ PROPOSED DIRECTIONAL PICKUP SIGNAGE TO BE MOUNTED TO EXISTING SIGN POST BELOW EXISTING SIGNAGE.
- ⑤ NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- ⑥ EXISTING PICKUP SIGNAGE TO BE REMOVED AND PROPOSED PICKUP SIGN POST AND BASE TO BE REUSED AND LEFT IN PLACE.
- ⑦ PROPOSED PICKUP BANNER: SEE DETAIL SHEET FOR SIGNAGE AND LOCATION.
- ⑧ EXISTING "CAUTION SLOW DOWN" SIGN, REFERENCE ARCH PLANS FOR ADDITIONAL DETAILS.
- ⑨ EXISTING PICKUP SIGNAGE (AND BOLLARD WHERE APPLICABLE) TO BE REMOVED.

LEGEND

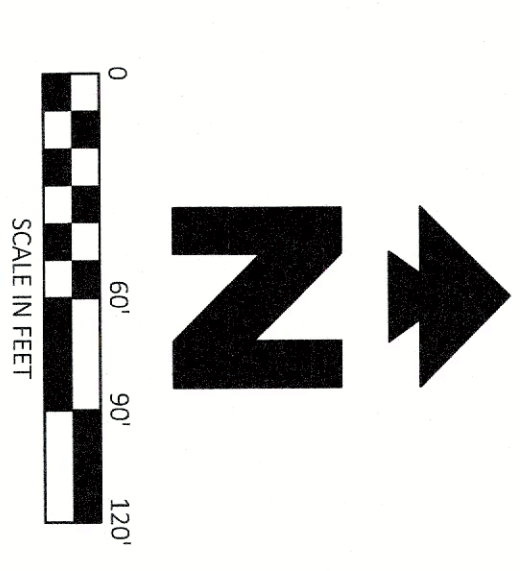


SITE SIGNAGE NOTES

1. THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 8/02/2021. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
2. REFERENCE SITE DETAILS FOR SIGN LOCATION & VESTIBULE CROSSWALK DETAILS FOR SITE SIGNAGE OFFSETS.

PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	
WAITING SPACES RIGHT	18 X 24	
WAITING SPACES AHEAD	18 X 24	
RESERVED WAITING	18 X 24	
PICKUP LEFT PHARMACY RIGHT	18 X 24	
PICKUP RIGHT PHARMACY LEFT	18 X 24	
STOP THANKS FOR ORDERING	18 X 36	
PICKUP HOURS	18 X 36	
RESERVED	18 X 18	
PHONE NUMBER	8 X 18	
VERTICAL PICKUP	18 X 36	
PICKUP LEFT	18 X 24	4
PICKUP AHEAD	18 X 24	
PICKUP RIGHT	18 X 24	2
PICKUP BANNER AND MOUNTING HARDWARE	24 X 60	1



ALERT TO CONTRACTOR:
 ALL NEW GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND CONSTRUCTION) PRIOR TO THE START OF SIGNAGE INSTALLATION. SIGNAGE SHALL BE INSTALLED AND TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. W/M GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.

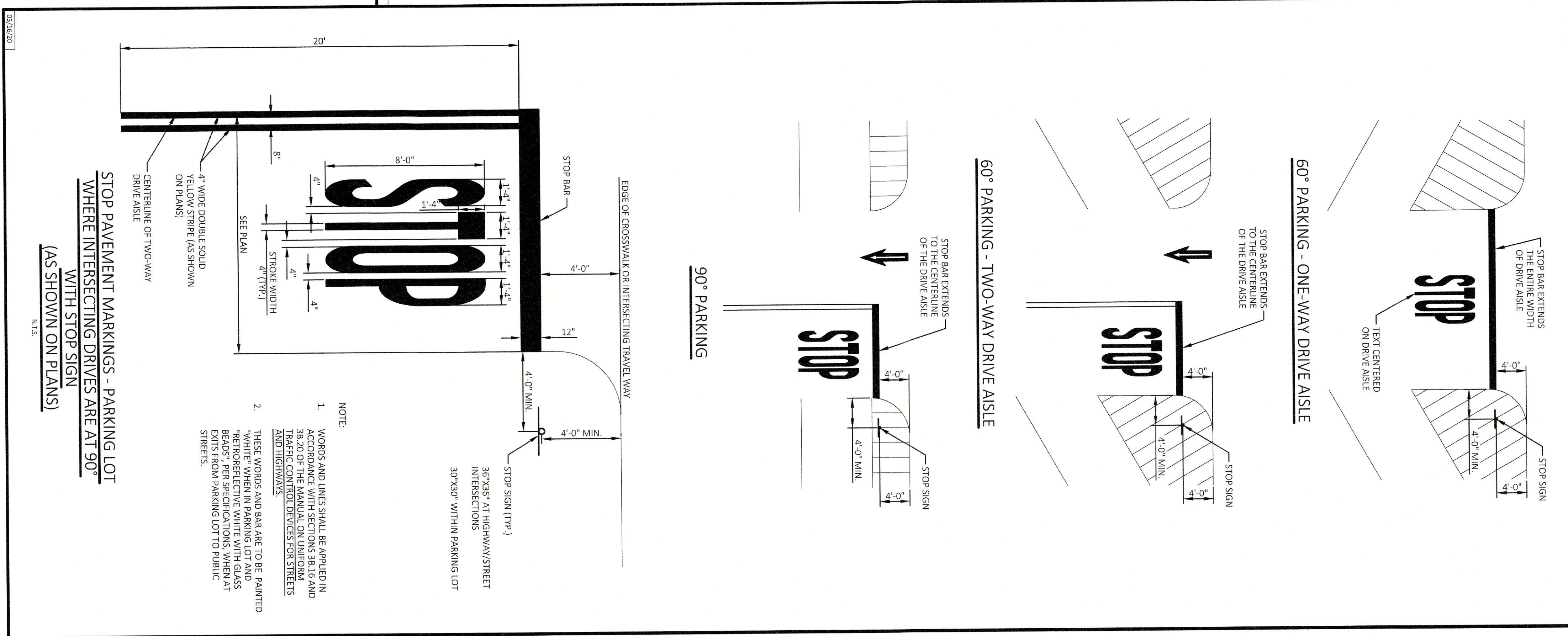
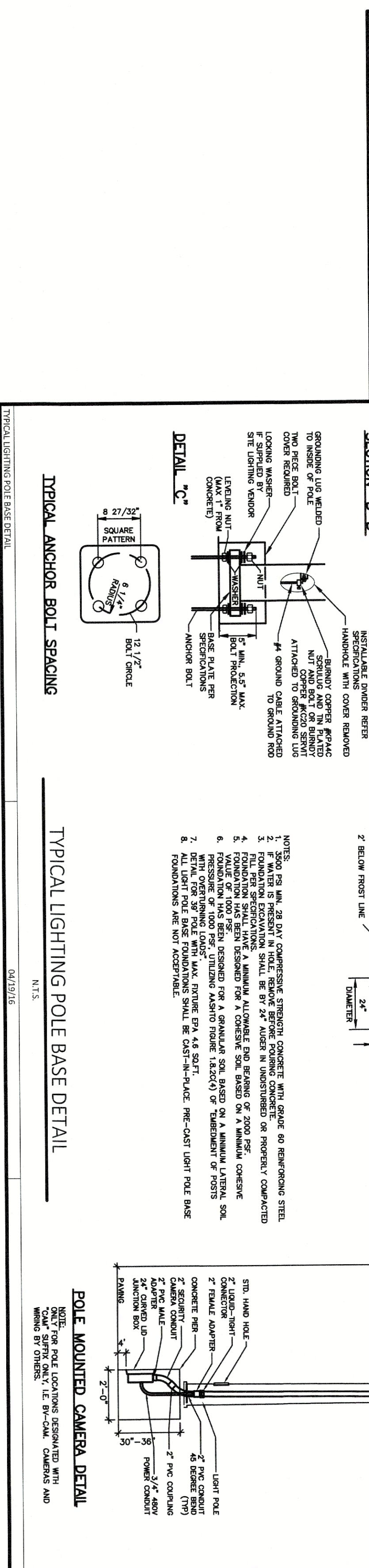
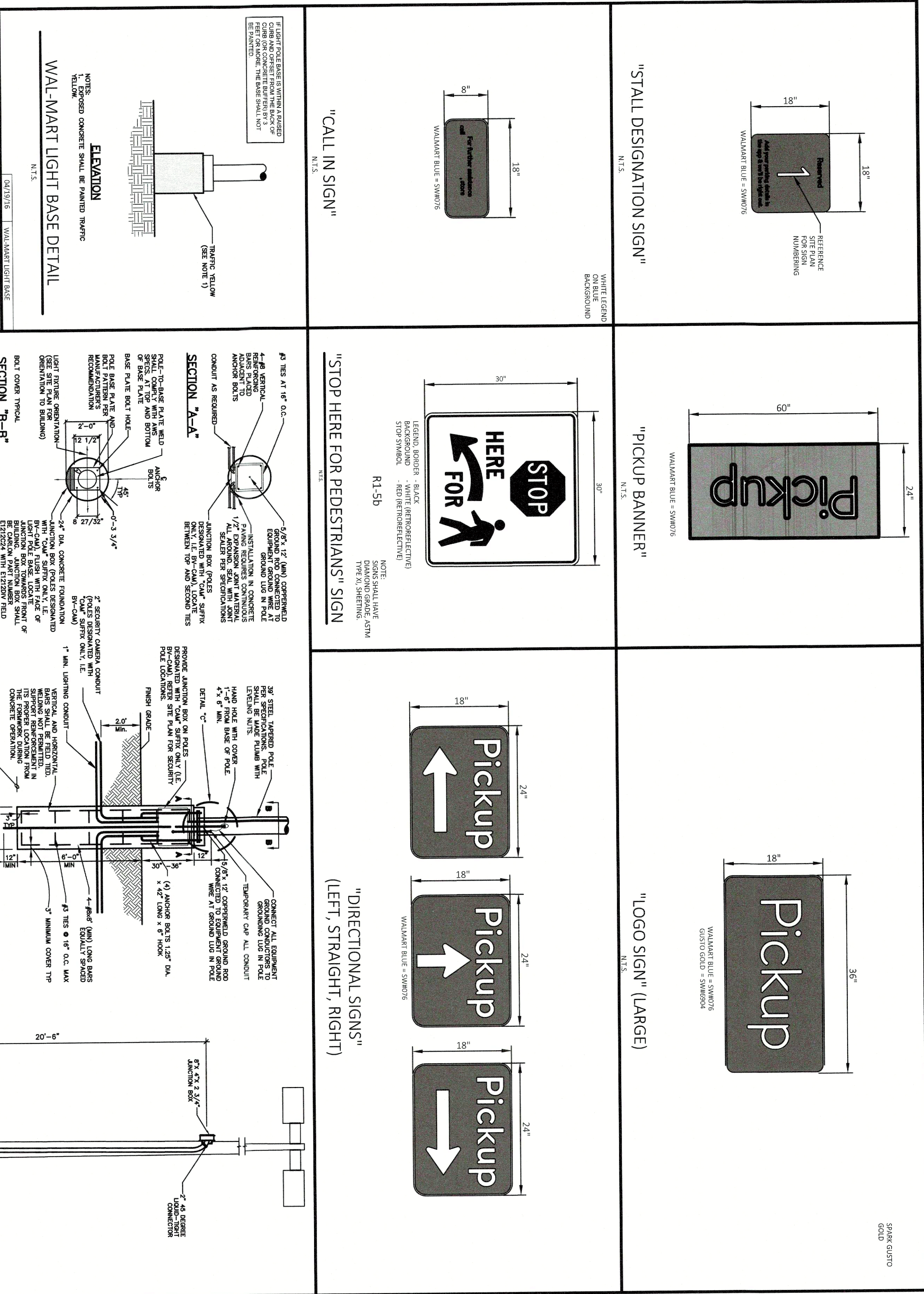
SITE SIGNAGE PLAN

CEI ENGINEERING ASSOCIATES, INC.
 5100 W. MICHIGAN AVENUE
 SUITE 200
 BENTON, ARKANSAS 72015
 PHONE: (479) 273-9472
 FAX: (479) 273-9884

SUPERCENTER #3230-282
 400 BRYANT AVE.
 BRYANT, ARKANSAS

PROFESSIONAL OF RECORD	FOR
PROJECT MANAGER	MCM
DESIGNER	AMM
DATE	04/03/2023
REVISION	REV 0
CEI PROJECT NUMBER	33982

SITE SIGNAGE PLAN
 SHEET NUMBER
C-2.0

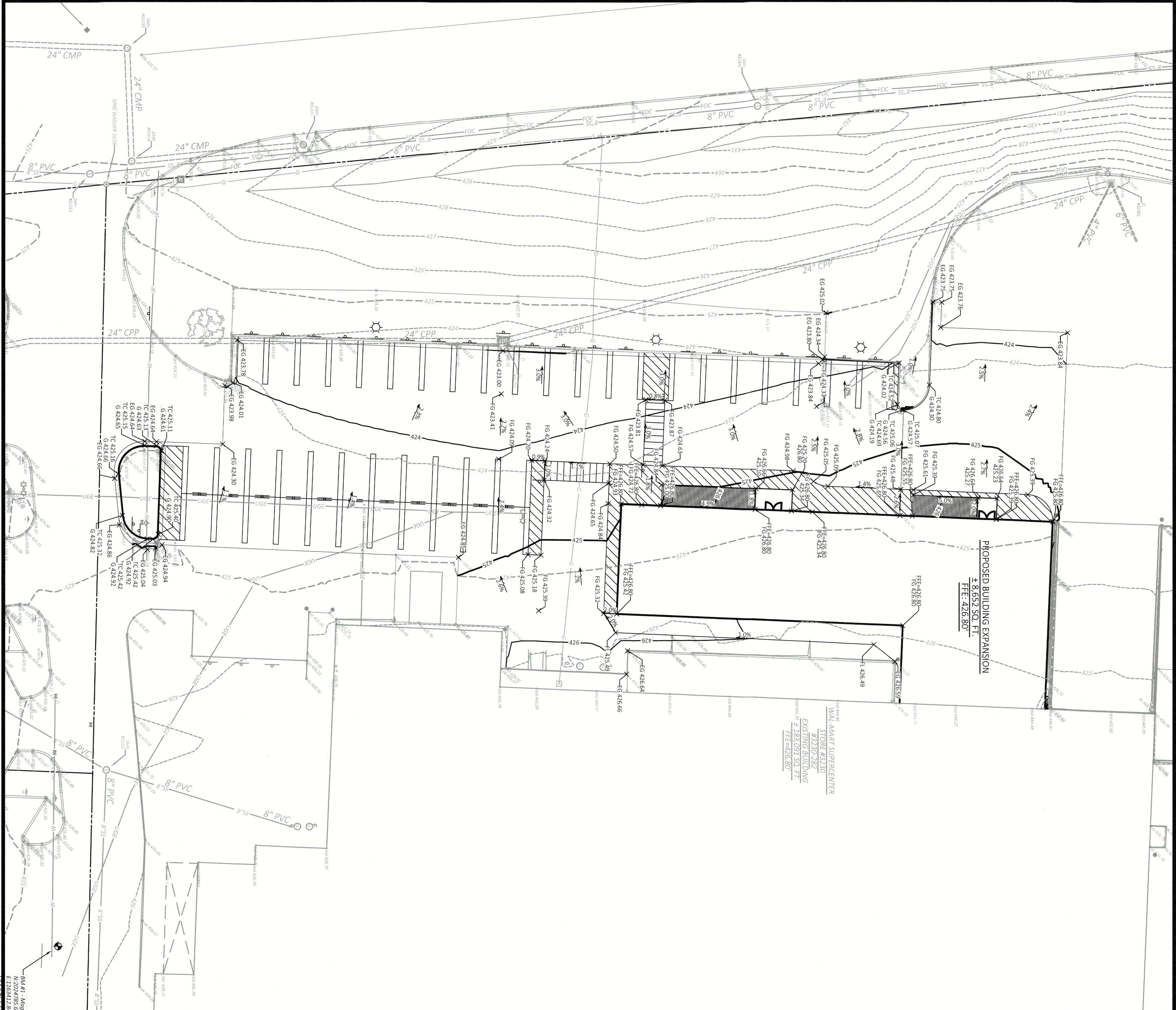


CEI Solutions for Land and Life
 CEI ENGINEERING ASSOCIATES, INC.
 3108 SW REGENCY HWY
 BENTONVILLE, AR 72712
 TEL: (479) 273-0844
 FAX: (479) 273-0844

Walmart
 SUPERCENTER #3230-282
 400 BRYANT AVE.
 BRYANT, ARKANSAS

MATTY A. HIGGINS
 No. 14825
 PROFESSIONAL OF RECORD
 PROJECT MANAGER: MCM
 DESIGNER: ASM
 CEI PROJECT NUMBER: 3882
 DATE: 04/03/2023
 REVISION: REV:0

PICKUP 2.0 DETAIL
 SHEET 2
 SHEET NUMBER
C-3.1



SITE BENCHMARK
 B.M. 1
 THE BENCH MARK LOCATION IS CONSIDERED TO BE THE SAME AS THE BENCH MARK LOCATION SHOWN ON THE PLANS. THE BENCH MARK IS LOCATED AT THE INTERSECTION OF THE CENTERLINE OF THE MAIN DRIVE AND THE CENTERLINE OF THE EXISTING SIDEWALK. THE BENCH MARK IS A 6\"/>

0 20' 30' 40'

SCALE IN FEET

811

Know what's below.
 Call before you dig.

PROPOSED LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- GRADE BREAK
- FLOW LINE
- CONTOUR ELEVATIONS
- SPOT ELEVATIONS:
 - FG = FINISHED GRADE
 - FL = FLOW LINE
 - HL = HATCH PLAN
- XXX
- X XXX

GENERAL GRADING NOTES

1. CONTRACTOR IS RESPONSIBLE FOR RECONSTRUCTION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND FIELD SURVEY. MISPLACEMENTS MAY BE IN THE FIELD. THE CONTRACTOR IS NOT TO BE RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
5. CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: 8\"/>

DEWATERING NOTE:
 WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO SITE SPECIFICATIONS.

ALERT TO CONTRACTOR:
 ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

CE ENGINEERING ASSOCIATES, INC.
 318 SW REGENT TRLY
 BRYANT, ARKANSAS 72205
 PHONE: (479) 273-8422
 FAX: (479) 273-8844

Solutions for Land and Life

Walmart

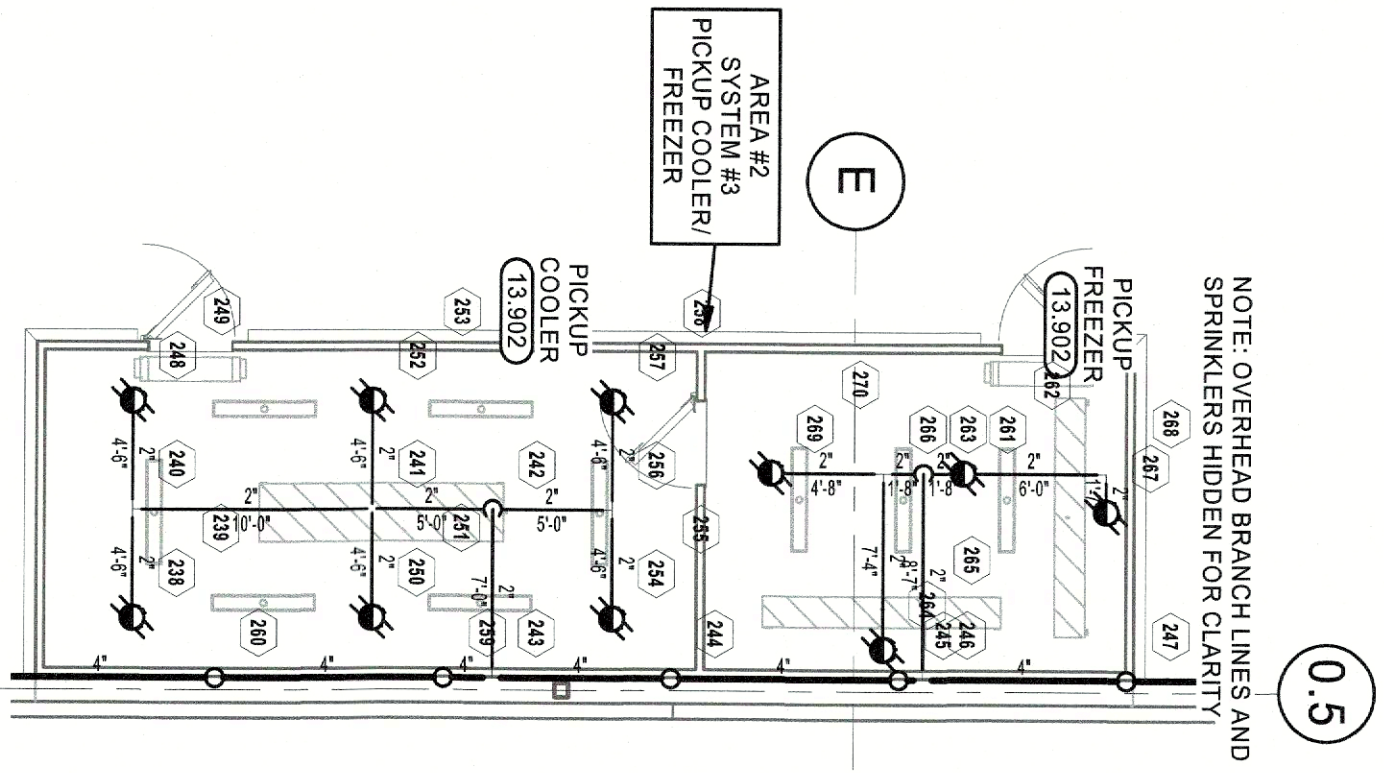
SUPERCENTER #3230-282
 400 BRYANT AVE.
 BRYANT, ARKANSAS

NO. 14905
 DESIGN: J.NAVARRO
 DATE: 04/03/2023
 REVISION: REV. 0

CE ENGINEERING ASSOCIATES, INC.
 PROFESSIONAL OF RECORD: FOR
 PROJECT MANAGER: MCM
 DESIGNER: AMM
 CE PROJECT NUMBER: 33882
 DATE: 04/03/2023
 REVISION: REV. 0

GRADING PLAN
 SHEET NUMBER: C-4.0

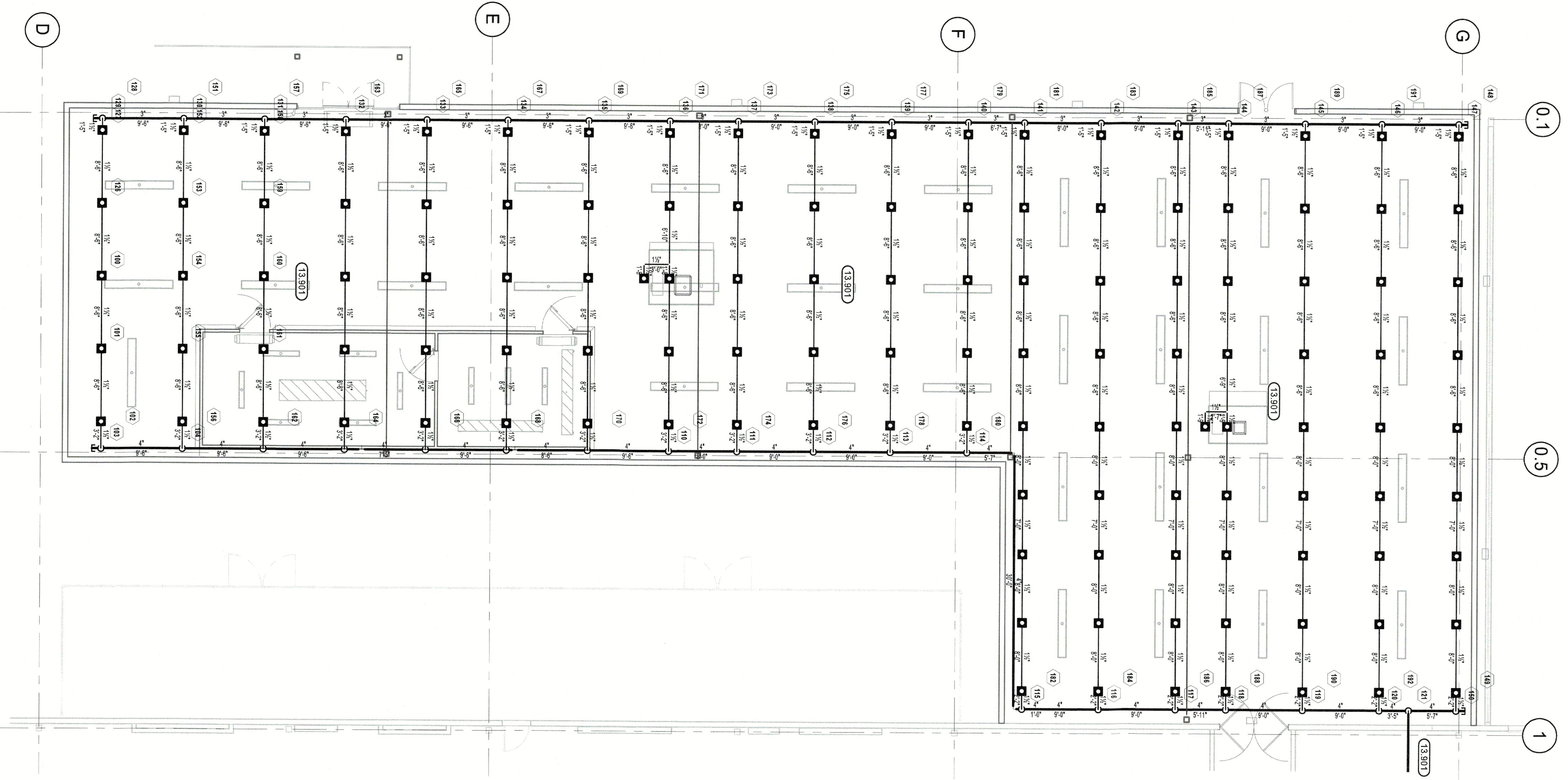
3 PICKUP COOLER/FREEZER
 1/8" = 1'-0"



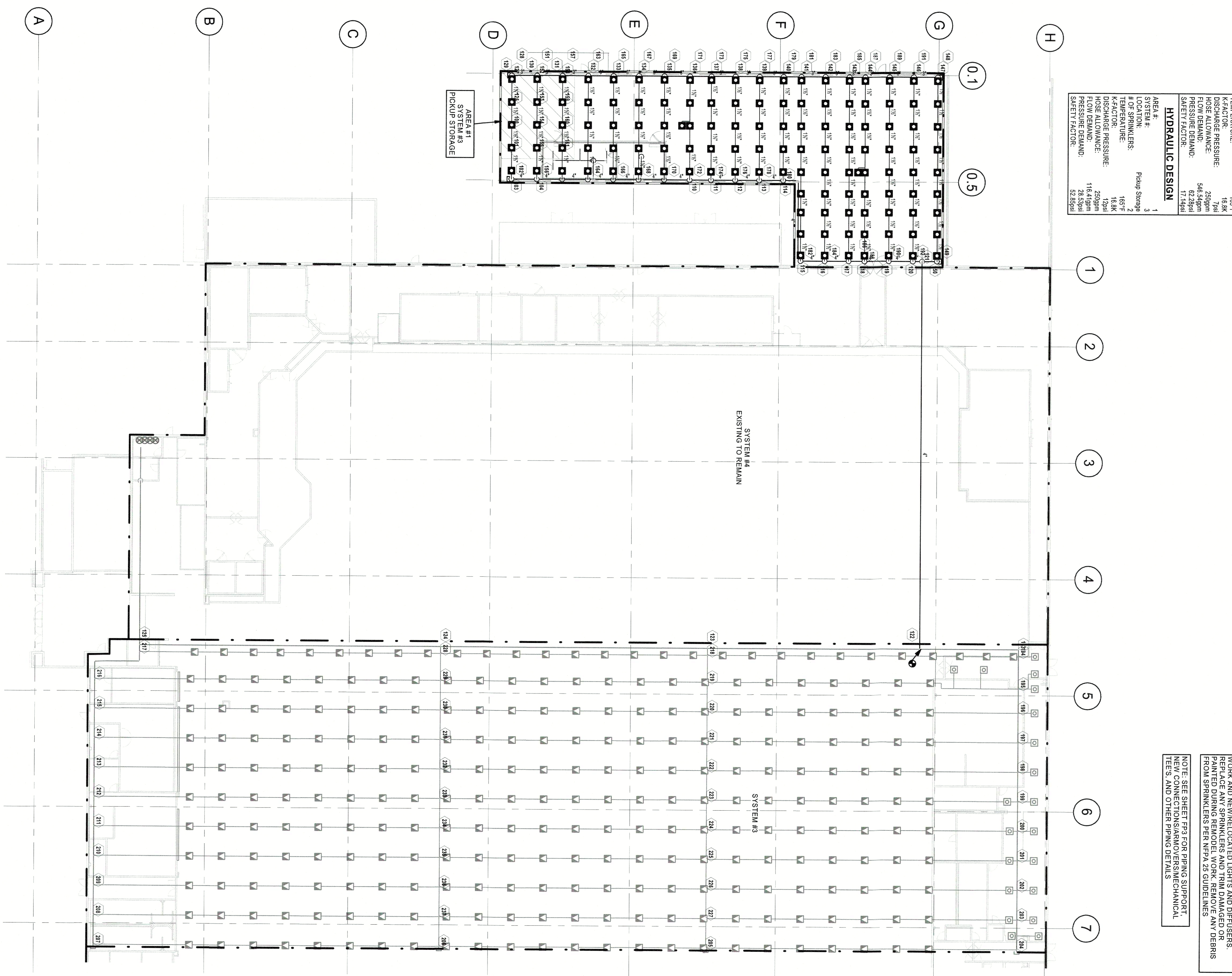
HYDRAULIC DESIGN	
AREA #:	2
SYSTEM #:	3
LOCATION:	Pickup CF
TEMPERATURE:	28°F
K-FACTOR:	11.2K
DISCHARGE AREA:	0.44
HOSE ALLOWANCE:	4500gpm
PRESSURE DEMAND:	44.47PSI
SAFETY FACTOR:	10.58Psi

NOTE: PROVIDE PERMANENT HYDRAULIC PLACARD WITH THIS INFORMATION FOR REFERENCE PROVIDED FOR REFERENCE.

2 PICKUP EXPANSION
 1/8" = 1'-0"



1 OVERALL FIRE SPRINKLER PLAN
 1" = 20'-0"



HYDRAULIC DESIGN	
AREA #:	1
SYSTEM #:	3
LOCATION:	Pickup Storage
TEMPERATURE:	40°F
K-FACTOR:	11.2K
DISCHARGE AREA:	0.44
HOSE ALLOWANCE:	4500gpm
PRESSURE DEMAND:	116.40PSI
SAFETY FACTOR:	28.55Psi

NOTE: PROVIDE PERMANENT HYDRAULIC PLACARD WITH THIS INFORMATION FOR REFERENCE PROVIDED FOR REFERENCE.

FIRE PROTECTION KEY NOTES

- 13.801 INSTALL NEW OWNER PROVIDED UPRIGHT SPRINKLERS AND ADJACENT SPRINKLER SYSTEM AS SHOWN. MAINTAIN MAXIMUM 18 SOFT SPRINKLER COVERAGE AREA. ACCORDANCE WITH NFPA 13.8.4.1.2 AND TABLE 8.6.5.1.2 DUE TO OBSTRUCTED CONSTRUCTION. COORDINATE PIPE FROM SPRINKLERS PER NFPA 13 REQUIREMENTS.
- 13.802 PROVIDE AND INSTALL NEW DRY PREPARED SPRINKLERS AND SPACING COORDINATE EXACT LOCATIONS WITH ALL NEW LIGHTING AND EVAPORATORS. REFERENCE DETAIL 2.PP3

NOTE: EXISTING SPRINKLERS MAY REQUIRE RELOCATION IN REMODELED AREAS. COORDINATE WITH ALL NEW FINISH WORK AND NEW RELOCATED LIGHTS AND DIFFUSERS. PAINTED DURING REMODEL WORK. REMOVE ANY DEBRIS FROM SPRINKLERS PER NFPA 13.5 GUIDELINES.

NOTE: SEE SHEET PPS FOR SPRING SUPPORT NEW, CONNECTIONS AND OVERSIGHT MECHANICAL TESTS, AND OTHER PIPING DETAILS.

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT THE LOCATION AND ADDRESS SHOWN. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT SITE OR AT A LATER DATE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO LAW.

HPA
 Creative Solutions
 Membership Plus
HARRISON FRENCH
 & ASSOCIATES, LTD.
 1715 S. Wilson Blvd., Suite 3
 Knoxville, Alabama 37112
 479.273.7780
 www.hfa.com

Walmart
BRYANT, AR
 STORE NO. 03230-282
 JOB NUMBER: 02-23-53230 173 PROTO SC

ISSUE BLOCK	
NO.	DESCRIPTION

CHECKED BY: JC
 DRAWN BY: AM
 DOCUMENT DATE: 04/03/23
 PROTO: 173 PROTO SC
 PROTO CYCLE: 01/27/23

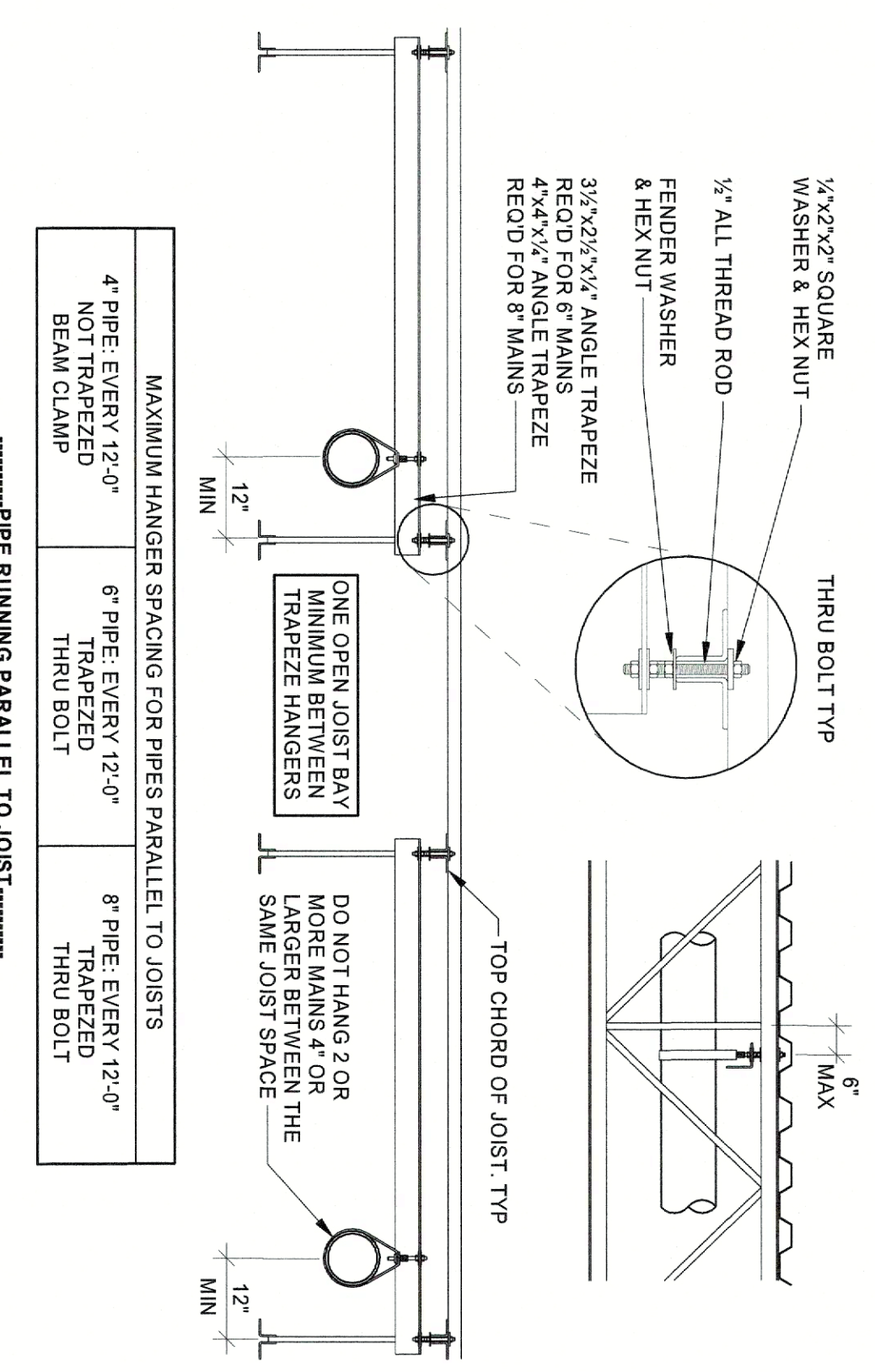
CERTIFICATE OF REGISTRATION
 PROFESSIONAL ENGINEER
 STATE OF ARIZONA
 No. 20705
 JACOB A. HARRISON
 PROFESSIONAL ENGINEER
 No. 20705
 JACOB A. HARRISON

ENLARGED SPRINKLER PLANS
 SHEET PP2



MAXIMUM HANGER SPACING FOR PIPES PERPENDICULAR TO JOISTS

PIPE SIZE	THRU-BOLT (NOT TRAPEZOID)	BEAM CLAMP (TRAPEZOID)
4" PIPE EVERY 12'-0"	4" PIPE EVERY 12'-0"	4" PIPE EVERY 12'-0"
6" PIPE EVERY 8'-0"	6" PIPE EVERY 12'-0"	6" PIPE EVERY 12'-0"
8" PIPE EVERY 6'-0"	8" PIPE EVERY 12'-0"	8" PIPE EVERY 12'-0"
NOT ALLOWED	EVERY JOIST	NOT NECESSARY



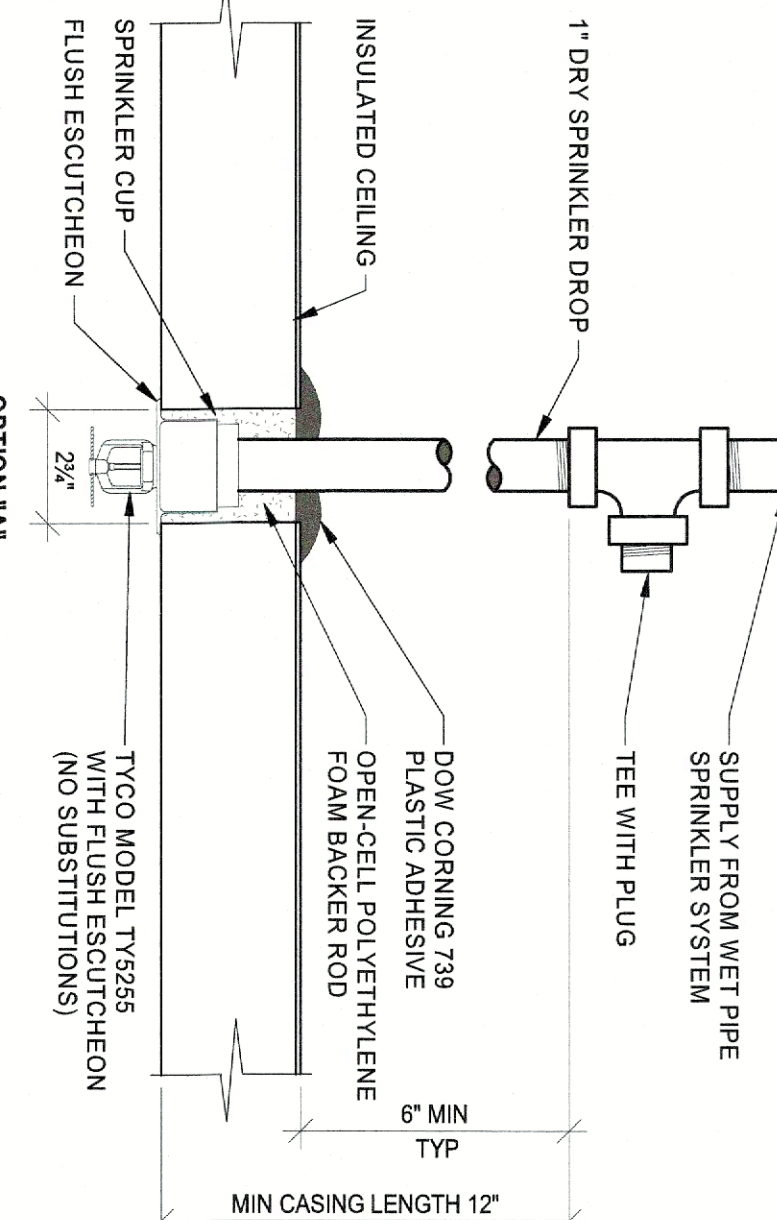
GENERAL PIPE SUPPORT NOTES:

- HANGERS SHALL BE SPACING FROM BOTTOM CHORD OF BEAM JOISTS
- MAINTAIN VISIBLE CLEARANCE BETWEEN PIPE AND JOIST MEMBERS
- CONTINUOUS AND UNINTERRUPTED HANGERS SHALL BE USED WITH PIPE MEMBER SIZE PIPE MEMBER IN ACCORDANCE WITH SCHEDULE 40 AND 40A
- UTILIZE THESE HANGING METHODS FOR ALL SPRINKLER PIPING. SPACE TRAPEZOID HANGERS IN ACCORDANCE WITH SCHEDULE 40 AND 40A HANGERS WITHIN 5'-0" OF JOIST PANEL POINTS UNLESS OTHERWISE NOTED.

3 PIPING SUPPORT
 NTS

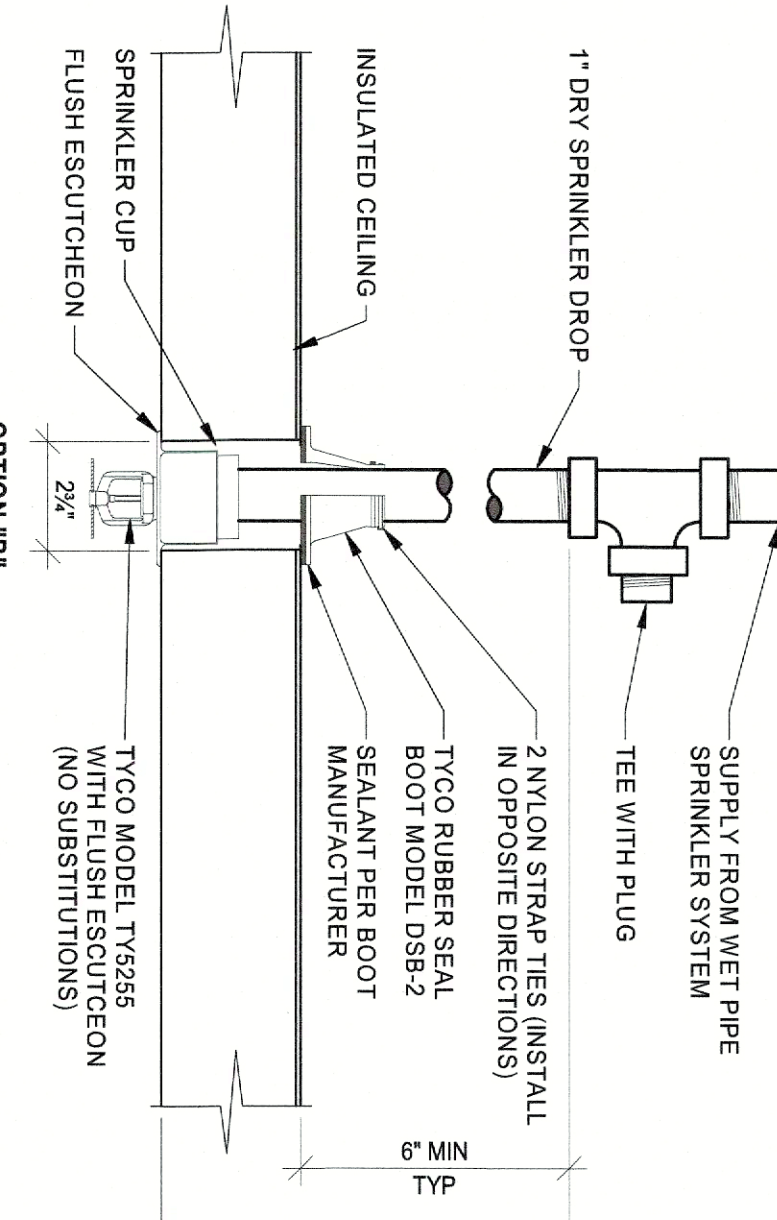
OPTION "A" INSTALLATION PROCEDURE

1. CORE DRILL 2 1/2" DIAMETER HOLE IN THE INSULATED CEILING PANEL. LOCATE THE HOLE IN ACCORDANCE WITH NFPA 13 OBSTRUCTION CRITERIA (OSP) TYPE SPRINKLERS). MAINTAIN 6" CLEARANCE FROM COOLER BEAMS.
2. INSTALL DRY PENDENT SPRINKLER PER MANUFACTURER'S REQUIREMENTS.
3. COMPLETELY SEAL ANNULAR CEILING OPENING BETWEEN THE ESCUTCHEON AND TOP OF CEILING PANEL WITH OPEN-CELL POLYETHYLENE FOAM BRICKER ROD. EXPANDED FOAM IS NOT PERMITTED.
4. TOP OF THE CEILING CORE OPENING IN ACCORDANCE WITH SEALANT MANUFACTURER'S INSTRUCTIONS.

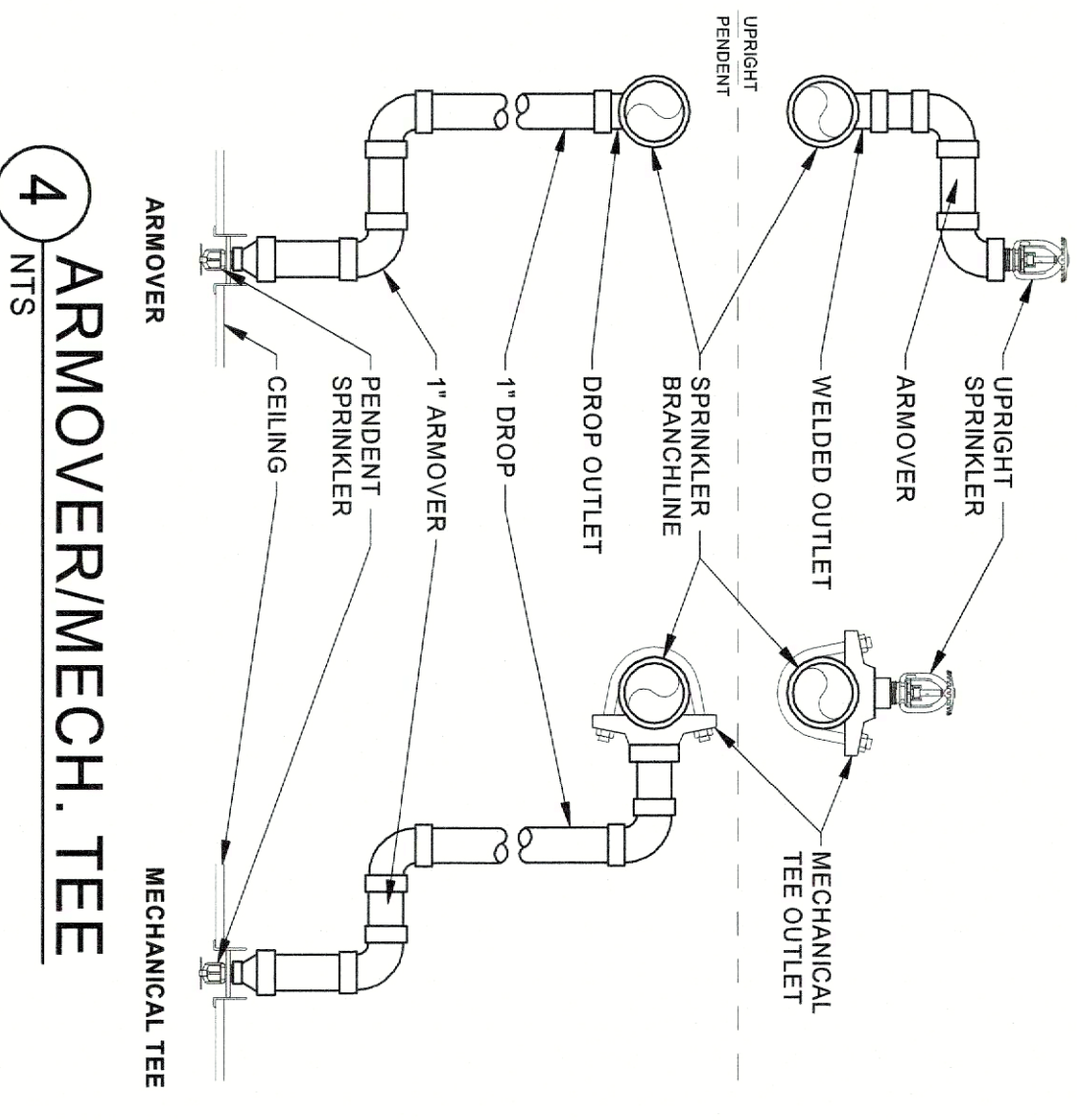


OPTION "B" INSTALLATION PROCEDURE

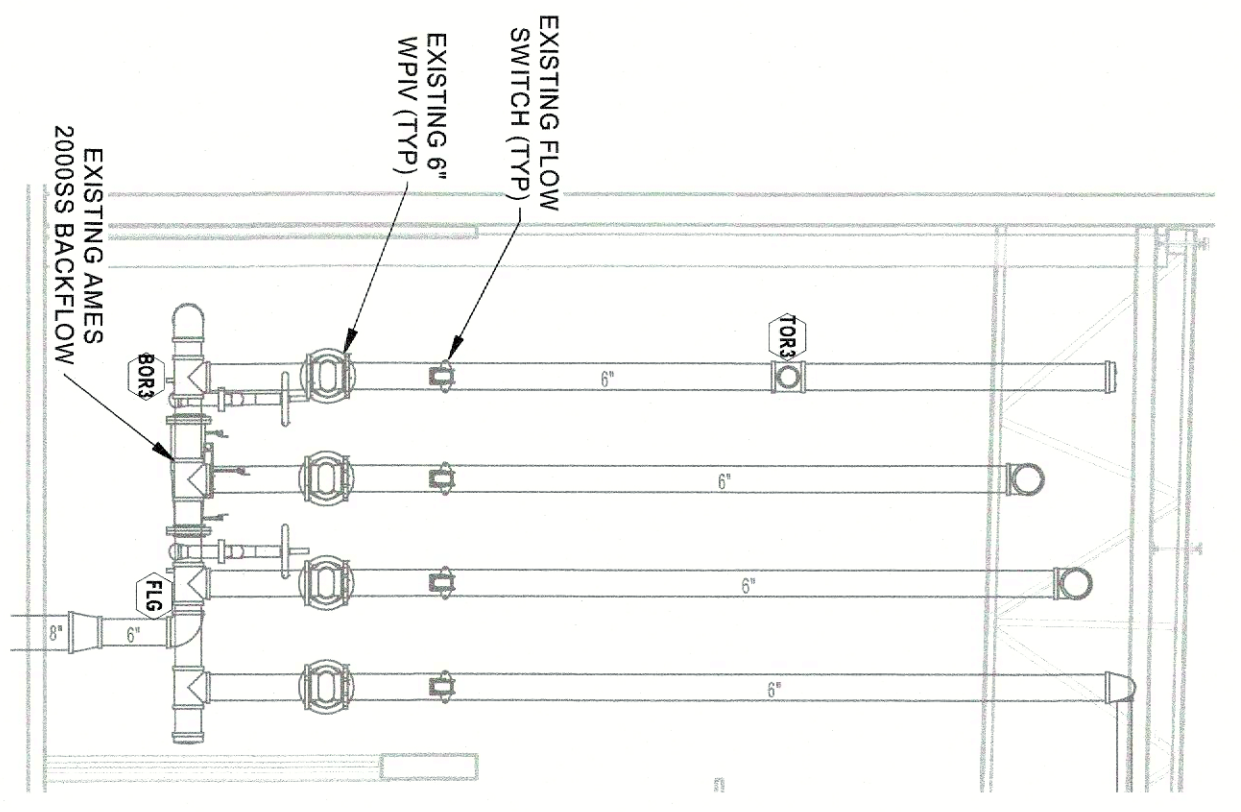
1. CORE DRILL 2 1/2" DIAMETER HOLE IN THE INSULATED CEILING PANEL FROM ACCORDANCE WITH NFPA 13 OBSTRUCTION CRITERIA (OSP) TYPE SPRINKLERS). MAINTAIN 6" CLEARANCE FROM COOLER BEAMS.
2. INSTALL TYCO DRY PENDENT SPRINKLER PER MANUFACTURER'S REQUIREMENTS. INSERT BOOT PRIOR TO MAKE-UP WITH PIPING.
3. COMPLETELY SEAL INTERFACE BETWEEN BOOT TO MAKE-UP WITH PIPING PANEL WITH ADHESIVE PROVIDED WITH BOOT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. APPLY STRAP TIES OR BOOT AROUND DRY SPRINKLER BARREL PER MANUFACTURER'S INSTRUCTIONS.



2 PICKUP COOLER/FREEZER DRY PENDENT SPRINKLER INSTALLATION
 NTS



4 ARMOVER/MECH. TEE
 NTS



1 RISER DIAGRAM
 1/4" = 1'-0"

HFA
 Meaningful Places
 HARRISON FRENCH & ASSOCIATES, LTD.
 149231780
 1715 S. Wilson Blvd., Suite 3
 Bentonville, Arkansas 72712
 www.hfa.com

Walmart
 BRYANT, AR
 STORE NO. 03230-282
 JOB NUMBER: 02-23-53230 173 PROTO SC

ISSUE BLOCK

NO.	DESCRIPTION	DATE

CHECKED BY: JG
 DRAWN BY: AM
 DOCUMENT DATE: 04/03/23
 PROTO: 173 PROTO SC
 PROTO CYCLE: 01/21/23

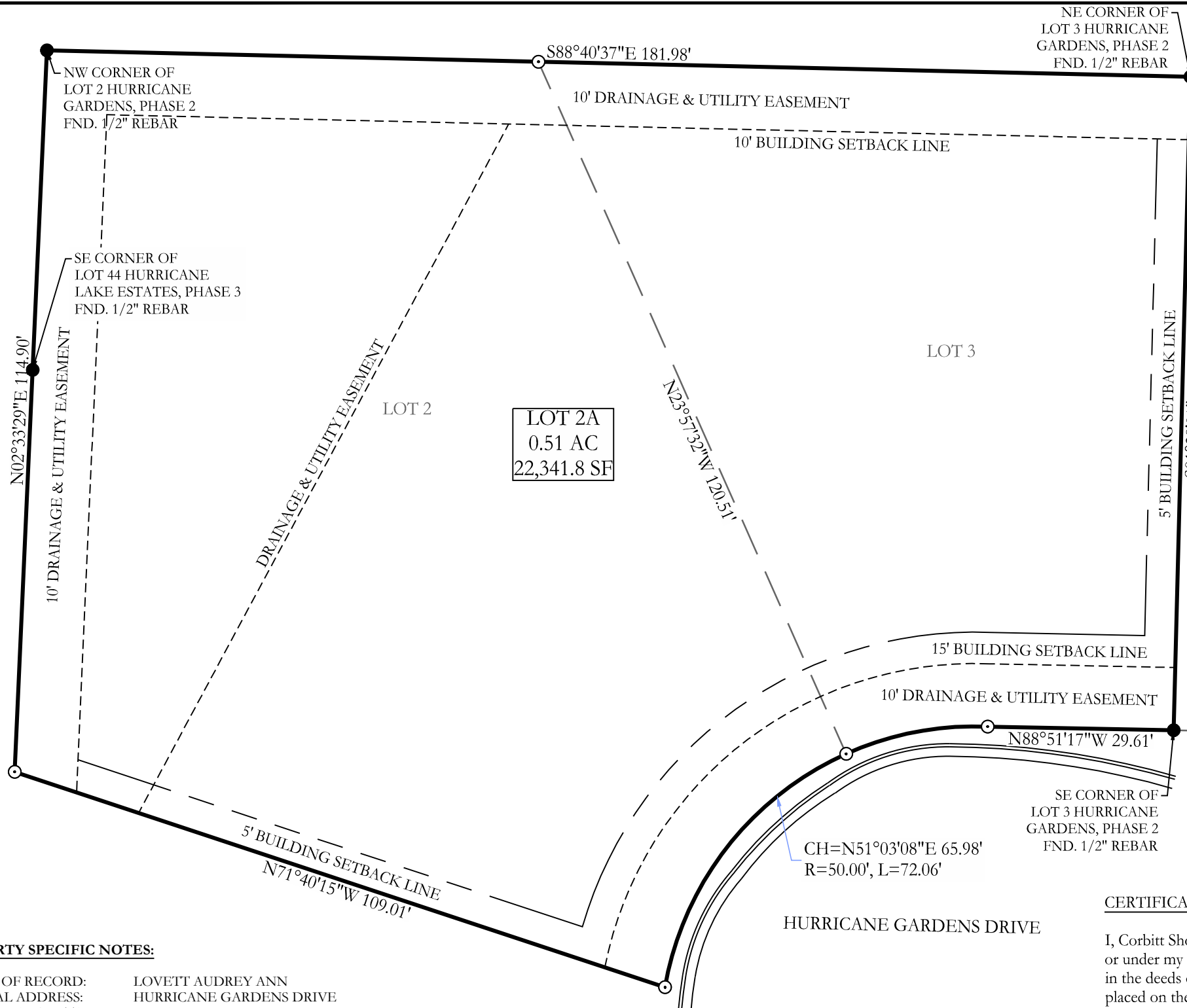
CERTIFICATE OF AUTHORIZATION
 STATE OF ARKANSAS
 PROFESSIONAL ENGINEERING
 No. 20765
 ASHWIN MCCABE

REGISTERED PROFESSIONAL ENGINEER
 STATE OF ARKANSAS
 No. 20765
 ASHWIN MCCABE

FIRE SPRINKLER DETAILS

FP3

RD DOCUMENTS WERE GENERATED FROM ORIGINAL DRAWINGS AND MAY NOT REFLECT AS-BUILT CONDITIONS



LOT 4
HURRICANE
GARDEN
PHASE 2

RECORD DESCRIPTION

SALINE COUNTY INSTRUMENT 2022-008069

LOT 2, HURRICANE GARDENS SUBDIVISION, PHASE 2, SALINE COUNTY, ARKANSAS.

SUBJECT TO RIGHT OF WAY/EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY. NO WARRANTY OR REPRESENTATION IS MADE HEREIN AS TO ANY MINERAL INTEREST ON THE AFOREMENTIONED PROPERTY.

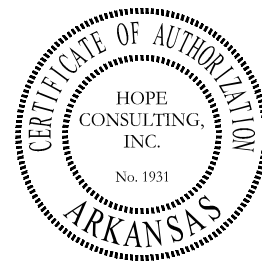
SALINE COUNTY INSTRUMENT 2022-008073

LOT 3, HURRICANE GARDENS SUBDIVISION, PHASE 2, SALINE COUNTY, ARKANSAS.

SUBJECT TO RIGHT OF WAY/EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY. SUBJECT ALSO TO ANY STATE OF FACTS WHICH AN ACCURATE SURVEY WOULD REVEAL. NO WARRANTY OR REPRESENTATION IS MADE HEREIN AS TO ANY MINERAL INTEREST ON THE AFOREMENTIONED PROPERTY.

LEGAL DESCRIPTION

LOT 2A, A REPLAT OF LOTS 2 AND 3 OF HURRICANE GARDENS SUBDIVISION, PHASE 2, SALINE COUNTY, ARKANSAS.



CERTIFICATE OF FINAL SURVEYING ACCURACY:

I, Corbitt Shoffner, hereby certify that this plat correctly represents a survey completed by me, or under my supervision, that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Titles; and that all monuments which were found or placed on the property are correctly described and located.

Date of Execution _____

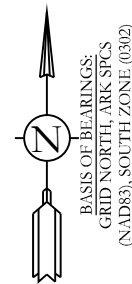
Name: Corbitt Shoffner,
Registered Professional
Land Surveyor, No. 1664
Arkansas

CERTIFICATE OF FINAL APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution _____

Name
Bryant Planning Commission



20' 0' 20'

LEGEND

- - Found Aliquot Corner
- - Found Monument
- - Set 1/2" Rebar & Cap
- △ - Computed point
- (M) - Measured
- (P) - Platted/Record
- - Fence

Drawn By: JPP Checked: _____

GENERAL DISCLAIMER
This survey is for the exclusive use and benefit of parties shown hereon. Use or duplication of this document by any other parties is prohibited and voids said document.
This survey is based on public records and/or title investigations furnished by third parties. No independent search or investigation has been made by this firm for any records, public or private. Listed reference documents hereon were used and considered as a part of this survey; however other records, if any, could further affect this survey. No statement or guarantees of ownership, rights, or other interests are made by this survey plat.
FLOOD STATEMENT
No portion of the property described hereon lies within the 100 year flood plain, according to the Flood Insurance Rate Map, panel # 05125C0223E, dated: 06/05/2020.

PROPERTY SPECIFIC NOTES:

OWNER OF RECORD: LOVETT AUDREY ANN
PHYSICAL ADDRESS: HURRICANE GARDENS DRIVE
COUNTY PARCEL TAX ID: 840-05248-002; 840-05248-003

GENERAL SURVEY DISCLAIMERS:

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

OWNERSHIP INFORMATION, IF SHOWN, IS DISPLAYED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution _____

Name: _____

Source of Title: Saline County Document #2022-008069 & #2022-008073

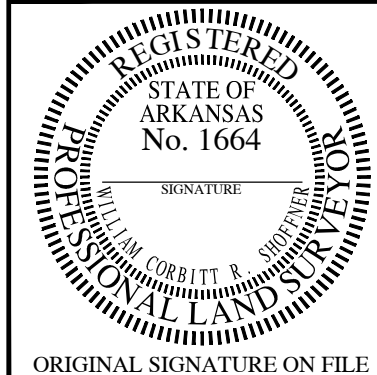


129 North Main Street
Benton, Arkansas 72015
office: (501) 315-2626
fax: (501) 315-0024
www.HopeConsulting.com

HOPE CONSULTING
ENGINEERS - SURVEYORS
For the Exclusive Use and Benefit of:
D & D HOMES

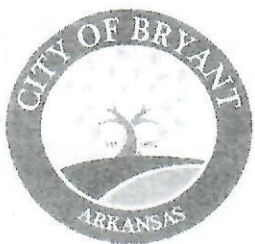
Address Hurricane Gardens Drive
Bryant, Arkansas 72022

500	01S	14W	0	17	220	62	1664
Date		04/20/2023					



ORIGINAL SIGNATURE ON FILE

comdev@CITYOFBRYANT.CO



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: MAY 15, 2023

Sign Co. or Sign Owner

Name SOUTHPAW DESIGNS
Address 213 E. NARROWAY
City, State, Zip BENTON, AR 72015
Phone 501-563-4725
Email Address southpawdesigns@yahoo.com

Property Owner

Name CHRIS REED
Address 3405 MARKETPLACE DR.
City, State, Zip BRYANT AR
Phone 501-847-0863
Email Address _____

GENERAL INFORMATION

Name of Business BRYANT FAMILY CHIROPRACTIC
Address/Location of sign 3405 MARKETPLACE DR
Zoning Classification C2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I, Daniel B. [Signature], do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MONUMENT	73" x 48"	APPROX 24	75"	26"	
B						
C						
E						
F						
G						

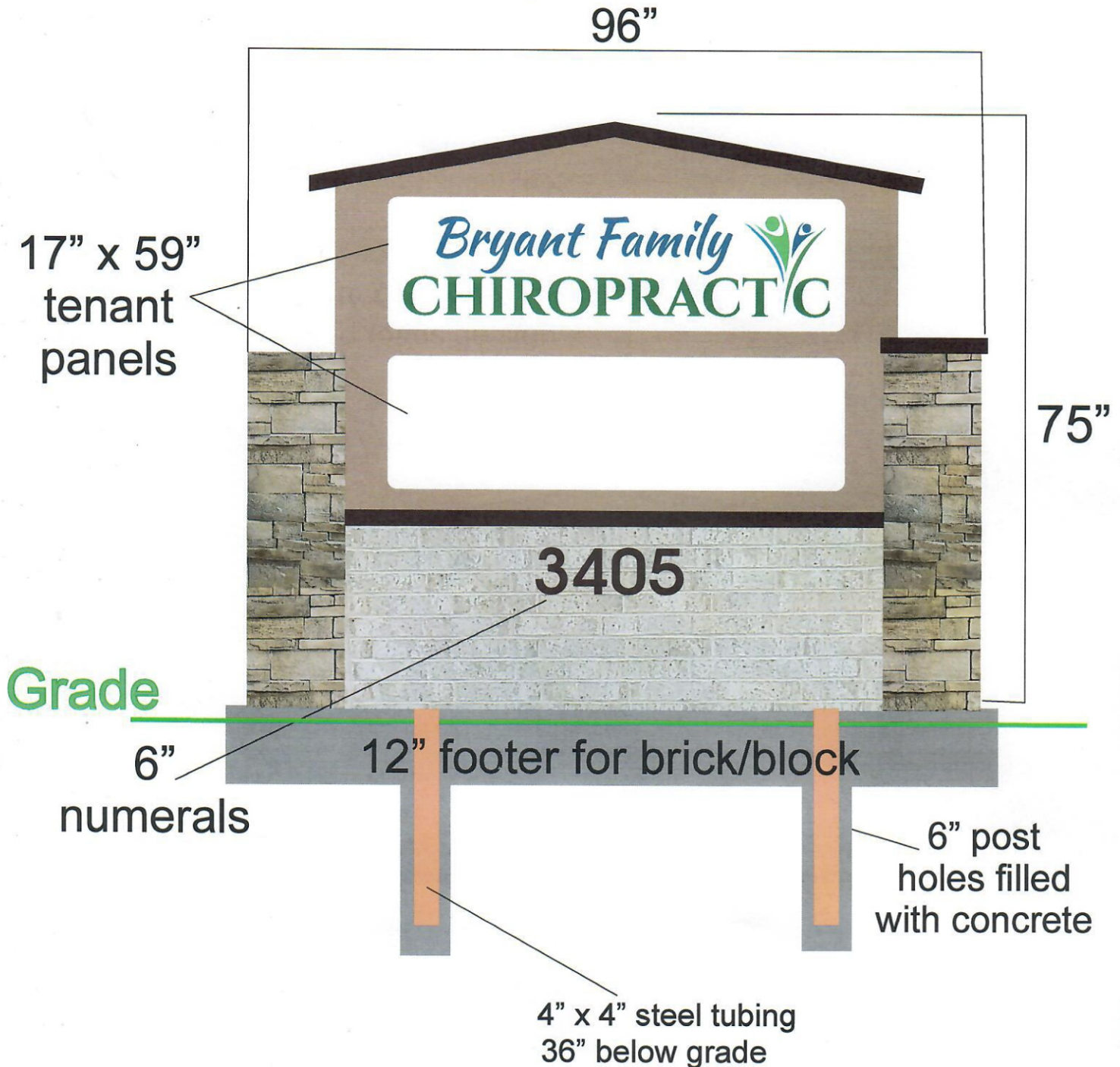
Signs of all Kinds

213 E. Narrowway Rd. Benton AR. 72015
(501) 563-4725
southpawdesigns@yahoo.com

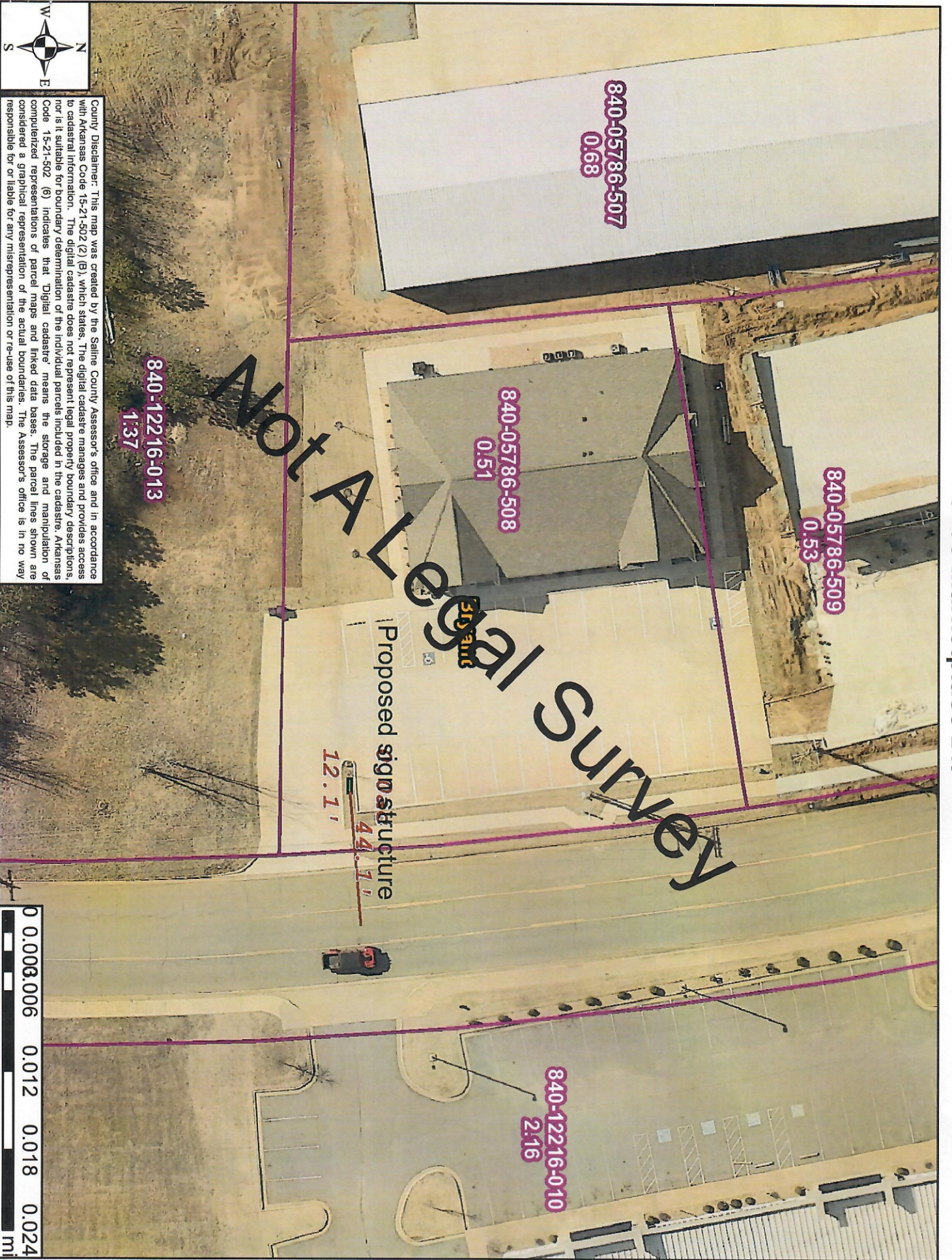
Artwork Approved By: _____

Date: _____

Project: Bryant Family Chiropractic
Description: Proposed roadside sign



***NOTICE:** All designs- both structural and installation, engineering ideas, original artwork and applications thereof are the intellectual property of Southpaw Designs. All rights reserved. Any unauthorized usage, duplication of or any reasonable likeness thereof shall be considered infringement and proper legal recourse will be taken upon all parties involved in design, production, construction, installation and display in any form.



840-05786-507
0.68

840-05786-509
0.53

840-05786-508
0.51

840-12216-010
2.16

840-12216-013
1.37

Proposed sign structure
44.1' x 12.1'

NOT A Legal Survey




County Disclaimer: This map was created by the Saline County Assessor's office and in accordance with Arkansas Code 15-21-502 (2) (B), which states, "The digital cadastre manages and provides access to cadastral information. The digital cadastre does not represent legal property boundary descriptions, nor is it suitable for boundary determination of the individual parcels included in the cadastre. Arkansas Code 15-21-502 (6) indicates that 'Digital cadastre' means the storage and manipulation of computerized representations of parcel maps and linked data bases. The parcel lines shown are considered a graphical representation of the actual boundaries. The Assessor's office is in no way responsible for or liable for any misrepresentation or re-use of this map."



6139 HWY 5 N. Bryant, AR 72022

Tent Location and Distances

Legend

 Hornet Ice

Dumpster

Porto Potty

Trailer

Tent

90'

30'

Hornet Ice

52'



100 ft

5

Old Stage



6905 HWY. 5 N



© 2012 Google

Google earth

Google earth

feet
meters





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943



Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at www.cityofbryant.com under the Community Development tab.

Date: 4-2023

Business Information:

Name Meramec Specialty Co. d.b.a. FireworksCity
 Federal Tax Employer ID Number 43-0762804
 Arkansas State Sales Tax Number 035048-18-001
 Location of Proposed Temporary Business 6905 Hwy 5N., Bryant, AR. 72072

Business Owner:

Name Mark Loyd/Kevin Bailey
 Address P.O. Box 1150
West Memphis, AR. 72303
 Phone 870. 735. 1753
 Email K.baileyar@aol.com
Kristi.Loyd@aol.com

Contact Person:

Name Kevin Bailey
 Address 5505 Chesterfield Cove
Bartlett, TN. 38134
 Phone (901) 409. 1884
 Email Kbaileyar@aol.com

Checklist for Submission

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
 - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
 - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
 - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

READ CAREFULLY BEFORE SIGNING

I, KEVIN A. BAILEY, do hereby certify that all information contained within this application is true and correct. I further certify that I agree to and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature _____

Kevin A. Bailey

AN ORDINANCE TO LIMIT THE SALE AND DISCHARGE OF FIREWORKS WITHIN THE CITY OF BRYANT, AND FOR OTHER PURPOSES.

WHEREAS, it is the desire of the City of Bryant to maintain the safety and peace of the city.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Bryant, Arkansas, that:

Section 1: The term "fireworks" means and includes any combustible or explosive composition or any substance, combination of substances, or article prepared for the purpose of producing a visible or audible effect by combustion, explosion deflagration, or detonation and includes, but is not limited to, sky rockets, roman candles, daygo bombs, blank cartridges, toy cannons, toy canes, or toy guns in which explosives other than toy paper caps are used, the type of balloons which require fire underneath to propel them, firecrackers, torpedoes, sparklers, or other fireworks of like construction, any fireworks containing any explosive or flammable compound, or any tablet or other device containing any explosive substance. This definition includes items which contain even small amounts of silver fulminate, potassium nitrate, ammonium perchlorate, or other chemical or pyrotechnical composition intended to produce a pyrotechnic event or effect, even if not classified as a "hazardous material" under federal regulation.

Section 2: **Regulations**

- A. No individual, firm, partnership, corporation, or association shall possess for sale, sell, or offer for sale at retail, or discharge within the city limits, any fireworks, as defined herein, except as specifically provided in this chapter.
- B. No parent, guardian, or custodian of any child under the age of majority shall knowingly permit or consent to the possession or discharge of fireworks by any child under the age of majority without proper supervision. Possession or discharge by any child under the age of majority within the city limits shall be *prima facie* evidence of the knowing permission or consent of such parent, guardian, or custodian.
- C. No fireworks may be discharged within the boundaries of or within three hundred (300) feet of any public park owned or maintained by the City without a public display permit except as otherwise provided in this chapter. No fireworks may be discharged upon any public street, alley, road, or right-of-way, except as otherwise provided in this chapter. No fireworks may be discharged within 1000 feet of any

hospital, nursing, or assisted living facility. No fireworks may be discharged under or upon a motor vehicle, whether moving or not, or within 300 feet of any gas station; gas, oil, or propane storage facility; or other area which is highly flammable by nature.

D. Subject to the limitations contained in this chapter, fireworks, as listed below, may be discharged within the city limits only on private property of the owner, or with the owner's permission when such discharge is in a safe and sane manner, and limited to the 4th of July holiday only:

1. Between 12:00 p.m. and 10:00 p.m. July 3rd;
2. Between 12:00 p.m. and 10:00 p.m. July 4th; and
3. Between 12:00 p.m. and 10:00 p.m. July 5th;

And for the New Year's Day holiday only from 12:00 p.m. and 10:00 p.m. December 31st and 12:00 p.m. and 10:00 p.m. January 1st. As used in this part, "safe and sane manner" refers to actions which do not endanger life, limb or property of those in the area of the discharge. Nothing in allowing the discharge of fireworks within the city limits relieves the individual, firm, partnership, corporation, or association of its responsibility for any injury or damage caused to individuals or property by the discharge of the fireworks. Any discharge, with or without a permit, is at the individual, firm, partnership, corporation or association's own risk, and is not sanctioned by this ordinance.

E. When, in the opinion of the Fire Chief, drought or other conditions exist which, when coupled with the discharge of fireworks, would pose a hazard to persons or property, the Fire Chief shall issue a ban on the discharge of all fireworks until such time as the condition causing the ban ceases to exist.

F. Any individual, firm, partnership, corporation, or association discharging fireworks under this ordinance shall, upon such discharge, be responsible for clean-up of the discharge site, including disposal of all discharged fireworks, all non-discharged or "dud" fireworks, and the associated debris from the discharged fireworks in a safe manner.

G. The safe and sane discharge of fireworks in accordance with the provisions of this chapter shall not be deemed a violation of Ordinance 2005-05, otherwise known as the 'Noise Ordinance.'

Section 3: Public Display Permitted When

- A. Public display is permitted when performed in accordance with the Rules and Regulations of the Bryant Planning Commission and the State Fire Marshall. The most recent Rules & Regulations are hereby adopted by reference.

Section 4: The sale or display for sale of fireworks shall be unlawful within the City unless the appropriate firework permit is obtained from the City through the Planning Commission.

Section 5: Enforcement

- A. The Police Department, Fire Department and Code Enforcement Officers shall enforce the rules and regulations of this chapter.
- B. Any code enforcement officer, police officer or firefighter may, in the enforcement of this chapter, seize, impound, remove, or cause to be removed, at the expense of the owner, all stocks of fireworks offered for sale, sold, or in the possession of any individual, firm, partnership, corporation, or association in violation of this chapter. Notice of the seizure and the reasons for the seizure shall be reported to the Police Chief within 48 hours of the seizure.
- C. Fireworks seized under this section may be disposed of in a safe and proper manner by the Police Department ten days after seizure.
- D. Appeal of any seizure shall be filed with the Police Chief in writing within five working days of the seizure. The decision of the Police Chief on the appeal shall be final.

Section 6: Violation – Penalty

Any individual, firm, partnership, corporation, or association violating the provisions of this chapter shall be guilty of a misdemeanor and, upon conviction, shall be punished by a fine of not less than \$100 or more than \$500 for a first offense, a fine of not less than \$200 or more than \$500 for a second offense, and a fine of not less than \$300 or more than \$500 for a third or subsequent offense. Each day of a violation constitutes a separate offense. In the case of a violation by a firm, partnership, corporation, or association, the manager or members of the partnership or responsible officers or agents shall be deemed to be *prima facie* responsible, individually, and subject to the penalty as provided.

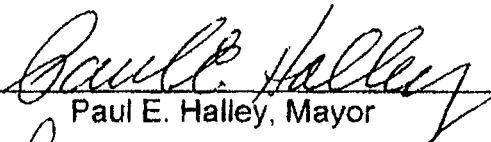
Any damages caused or injuries sustained as a result of any violation of this chapter shall be ordered paid as restitution as a part of any conviction for any violation.

The court may order the reimbursement of costs of enforcement, investigation, fire suppression services, and overtime related to a violation upon conviction.

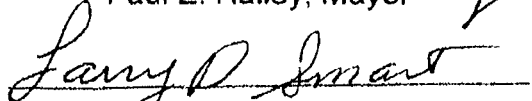
Section 7: Any previous ordinances in conflict herewith are hereby repealed.

Section 8: This ordinance shall take effect and be in full force from and after its passage.

PASSED AND APPROVED by the Bryant City Council on the day of ~~September~~ 25, 2006.


Paul E. Halley, Mayor

ATTEST:


Acting Mayor for this Meeting

CLERK:


Brenda Cockerham, City Clerk

DRAYTON INSURANCE BROKERS, INC.

2500 CENTER POINT ROAD, SUITE 301
BIRMINGHAM, ALABAMA 35215
PHONE: (205) 854-5806
FAX: (205) 854-5899

POST OFFICE BOX 94067
BIRMINGHAM, ALABAMA 35220
EMAIL: dib@draytonins.com

CERTIFICATE OF INSURANCE

NO. 340203

We certify that insurance is afforded as stated below. This Certificate does not affirmatively or negatively amend, extend or alter the coverage afforded by the insurance policy and the insurance afforded is subject to all the terms, exclusions and conditions of the policy.

INSURER	Admiral Insurance Company	POLICY NO. CA000018967-10
NAMED INSURED	Atomic Fireworks Inc. of Arkansas Atomic Fireworks Inc. of Missouri Meramec Specialty Company P.O. Box 305 Arnold, Missouri 63010	T.E.A. Enterprises, Inc. Pacific Specialty Company West Alton Properties, Inc ATLG, LLC
POLICY TERM	March 1, 2023 to March 1, 2024; Both Days 12:01 A.M. Standard Time	
COVERAGE	Premises-Operations Liability:	<input checked="" type="checkbox"/> Occurrence Basis <input type="checkbox"/> Claims Made Basis
LIMIT OF LIABILITY	\$1,000,000 each occurrence, \$10,000,000 general aggregate The limit of liability shall not be increased by the inclusion of more than one insured or additional insured.	

INSURED OPERATIONS The sale of consumer fireworks (1.4G) and related products at the **Insured location**, during the **period of operation**.

It is certified that, for the period of operation stated below and when named below as such, this policy includes as **Additional Insureds** 1) the operator(s), sponsor(s), promoter(s), organizer(s), of the **Insured Premises** used principally for the retail sale of consumer fireworks supplied by the Named Insureds and/or 2) the owner(s), manager(s), tenant(s), mortgagee(s) (including other entities having similar interests), of the property on which the **Insured Premises** is located and/or 3) the licensing authority issuing a permit or license for the operation of the **Insured Premises** and/or 4) any entity for which the Named Insured is required, by written contract, to provide insurance such as is afforded by the terms of this policy.

**NAME(S) OF
ADDITIONAL INSURED(S)**

Pinnacle Improvements, LLC- Property Owner
Meramec Specialty Company-Stand Owner and Operator
Stand Manager and Sub-Operator
Licensing Authorities-State of Ar., City of Bryant

**ADDRESS OF
INSURED PREMISES** An area measuring approximately 150' x 150' whose physical address is 6139 Hwy 5 N. in Bryant, Arkansas. #127B

PERIOD OF OPERATION March 1, 2023 through February 28, 2024

It is certified that this policy requires a 30 day mutual notice of cancellation between the Insurer and the Named Insured. In the event of such cancellation we will endeavor to mail 10 days written notice to the Additional Insured(s), whose name and address is shown hereon, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer and/or the undersigned.

DRAYTON INSURANCE BROKERS, INC.


A.J. STRINGER, PRESIDENT

March 1, 2023
DATE OF ISSUE



Western Surety Company

CONTINUATION CERTIFICATE

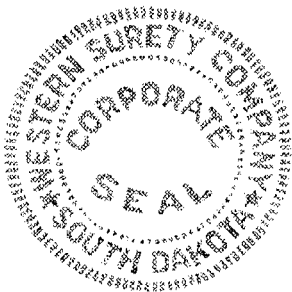
Western Surety Company hereby continues in force Bond No. 15146913 briefly described as TEMPORARY BUSINESS PERMIT CITY OF BRYANT, ARKANSAS for MERAMEC SPECIALTY COMPANY, as Principal, in the sum of \$ ONE THOUSAND AND NO/100 Dollars, for the term beginning May 20, 2023, and ending May 20, 2024, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 5th day of April, 2023.

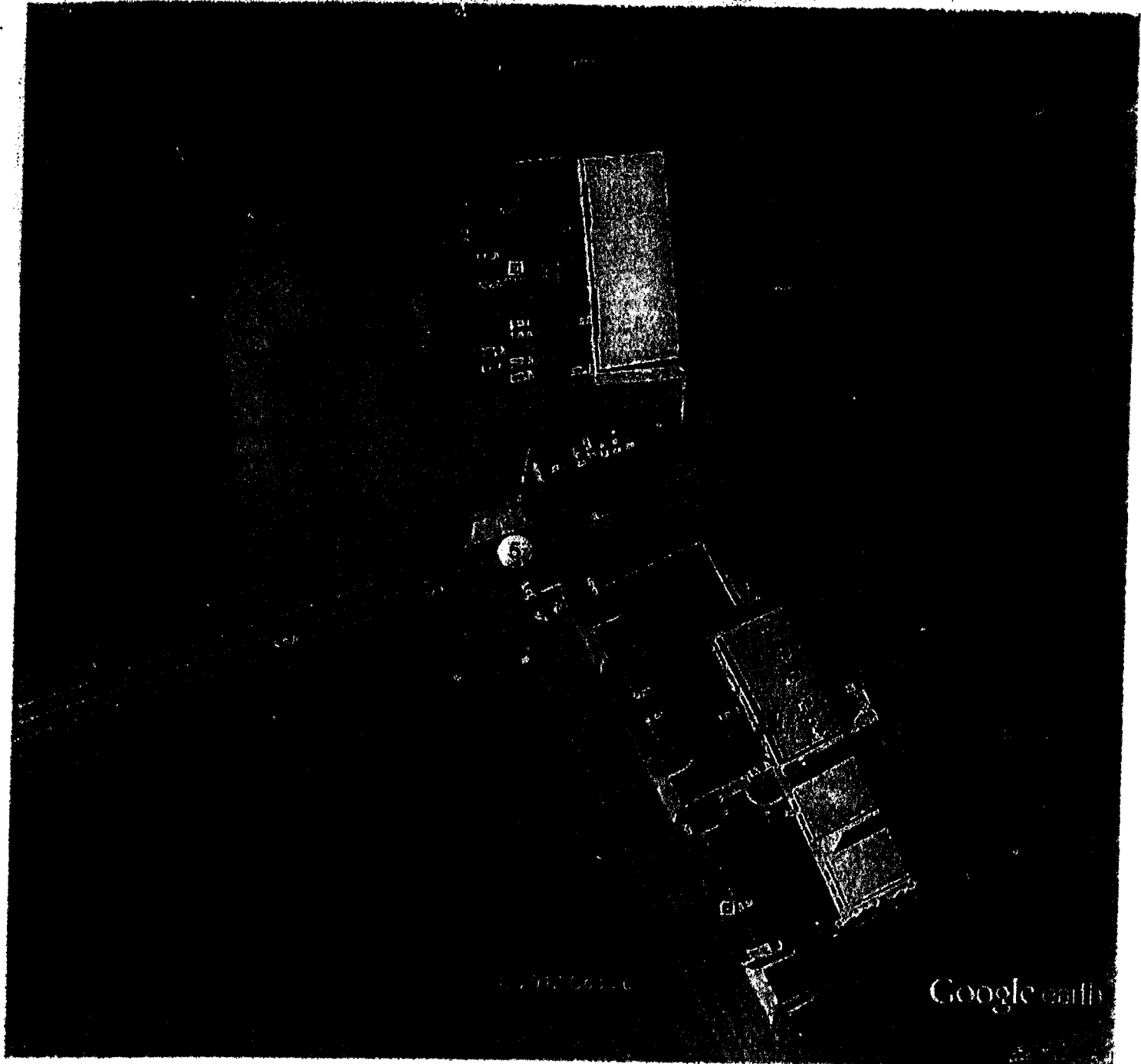
WESTERN SURETY COMPANY

By Paul T. Bruhat
Paul T. Bruhat, Vice President



THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.

6905 HWY. 5 N



Google earth



OUTDOOR MANAGEMENT DISPLAYS
P.O. BOX 91
ALEXANDER, AR 72002
Telephone 501.847.1000

August 25, 2022

Bryant Planning Commission:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks on my property during the period of June 15, 2023 through July 10, 2023. The physical address of the property is 6905 Highway 5 in Bryant, Arkansas.

Sincerely,

OUTDOOR MANAGEMENT DISPLAYS



Billy Smith

August 4, 2022

City of Bryant Planning Commission:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks on my property during the period of June 15, 2023 through July 10, 2023. The physical address of the property is 6905 Highway 5 in Bryant, Arkansas.

Sincerely,

PINNACLE IMPROVEMENTS, LLC

A handwritten signature in black ink that reads "Rick Jones". The signature is written in a cursive style with a large, looped "R" and "J".

Rick Jones

State of Arkansas
ARKANSAS SALES AND USE TAX PERMIT

MERAMEC SPECIALITY CO

DATE ISSUED:

P.O. BOX 1150

PERMIT NUMBER: 035048-18-00i

WEST MEMPHIS AR 72301

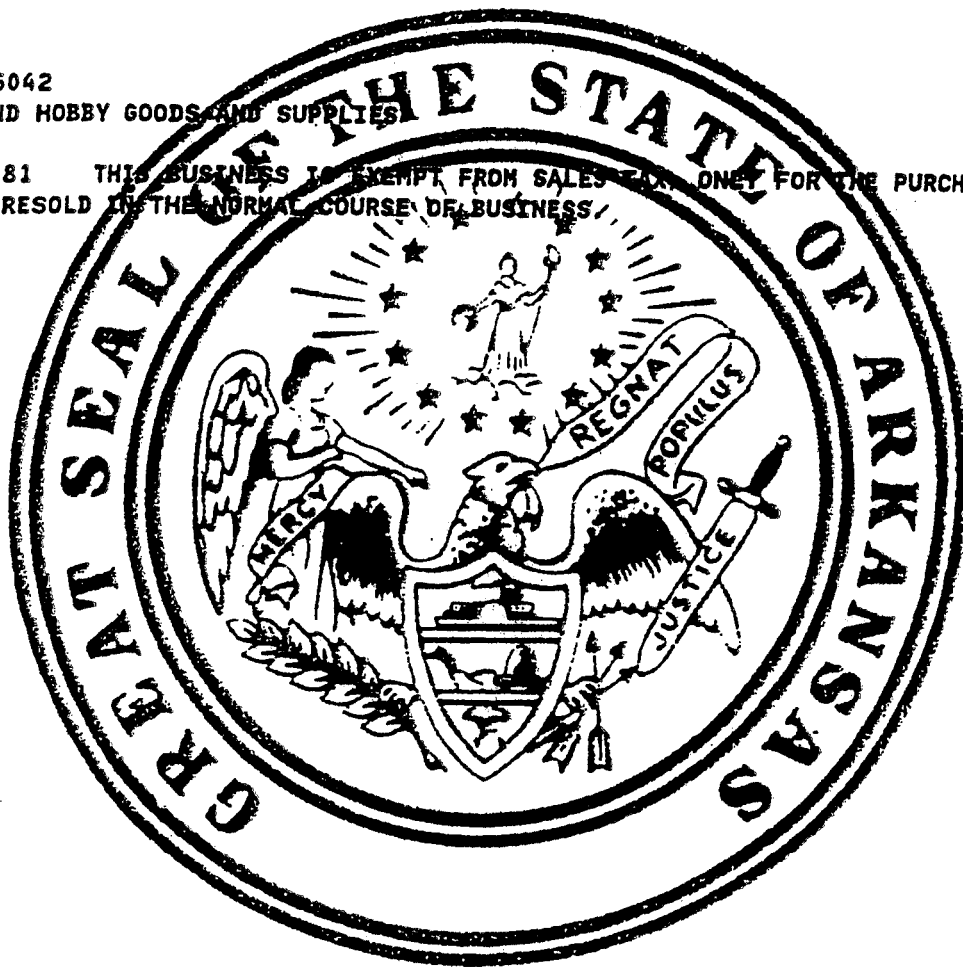
DLN:

DATE OPENED: 01/01/1965

SIC: 5042

TOYS AND HOBBY GOODS AND SUPPLIES

EXEMPTION: 81 THIS BUSINESS IS EXEMPT FROM SALES TAX ONLY FOR THE PURCHASES OF
GOODS TO BE RESOLD IN THE NORMAL COURSE OF BUSINESS.



THIS PERMIT IS VALID UNTIL IT IS CANCELED AND SURRENDERED BY THE PERMIT HOLDER OR REVOKED BY THE COMMISSIONER OF REVENUES.

THIS PERMIT MUST BE SURRENDERED IF BUSINESS IS SOLD, DISCONTINUED OR LOCATION CHANGED.

WHEN THIS PERMIT IS SURRENDERED FOR ANY OF THE ABOVE REASONS, YOU MUST REPORT AND PAY ANY SALES OR USE TAX PLUS ANY PENALTIES OR INTEREST THAT IS OWED BY THIS BUSINESS. FAILURE TO PAY THESE TAXES WILL RESULT IN A LIEN BEING PLACED AGAINST THE STOCK AND FIXTURES OF THIS BUSINESS AND THE SAME IS ENFORCEABLE AGAINST PURCHASERS AND THIRD PARTIES.



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured

06/02/10

140.01

This is to certify that the materials described below are flame-retardant and inherently nonflammable.
FOR RIVER CITY TEXTS AND AWNING INC

CITY PINE BLUFF ADDRESS 3008 EVA DRIVE

STATE AR 71602

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

- NFPA-701 (Large Scale)
- CANULC-S108

MIL-C-45008

FMVSS-302

A-A-55308

SNYDER MANUFACTURING INC. BY Michael [Signature]

STYLE PRV 13102 WITE 61" HI GLOSS

TITLE Supervisor, Quality Control

CONTROL NO. 18629

SNYDER B-ORDER NO. 216670

CUSTOMER ORDER NO. RAY

DATE PROCESSED 06/02/10

YARDS OR QUANTITY 375

DATE CERTIFIED 06/04/10

6-70-4-007-10



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
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Date manufactured

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- NFPA-701 (Large Scale)
- CANULC-S108

MIL-C-45008

FMVSS-302

A-A-55308

SNYDER MANUFACTURING INC. BY Michael [Signature]

STYLE PRV 13102 WITE 61" HI GLOSS

TITLE Supervisor, Quality Control

CONTROL NO. 18664

SNYDER B-ORDER NO. 216670

CUSTOMER ORDER NO. RAY

DATE PROCESSED 06/02/10

YARDS OR QUANTITY 375

DATE CERTIFIED 06/04/10



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY
SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured
02/07/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC ADDRESS 3006 EVA DRIVE
CITY PINE BLUFF STATE AR 71602

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

- NFPA-701 (Large Scale)
- CANULC-S100
- MIL-C-43006
- FMVSS-302
- A-A-55306

SNYDER MANUFACTURING INC. By Michael B. [Signature] Title Supervisor, Quality Control
 STYLE PRV 13100 DARK BLUE 61" HI-GLOSS CONTROL NO. 18347
 SNYDER S-ORDER NO. 215565 CUSTOMER ORDER NO. VEI RAY
 YARDS OR QUANTITY 73 DATE PROCESSED 02/07/11
 DATE CERTIFIED 02/22/11



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY
SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured
01/06/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC ADDRESS 3006 EVA DRIVE
CITY PINE BLUFF STATE AR 71602

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

- NFPA-701 (Large Scale)
- CANULC-S100
- MIL-C-43006
- FMVSS-302
- A-A-55306

SNYDER MANUFACTURING INC. By Michael B. [Signature] Title Supervisor, Quality Control
 STYLE PRV 13100 WHITE 61" HI GLOSS CONTROL NO. 19254
 SNYDER S-ORDER NO. 220003 CUSTOMER ORDER NO. RAY
 YARDS OR QUANTITY 300 DATE PROCESSED 01/06/11
 DATE CERTIFIED 01/21/11



ARKANSAS STATE POLICE
 REGULATORY and BUILDING OPERATIONS DIVISION
FIRE MARSHAL'S OFFICE

0385

RETAIL FIREWORKS LICENSE - FEE \$25.00

LICENSE EXPIRES January 6, 2024

This is to certify that the person named below is licensed to act as a RETAILER of FIREWORKS under the provision of Act 224 of 1961, as amended, State of Arkansas.

Name of Person Applying Kristi Loyd Telephone #: (810) 735-1753
 Address of Person Applying 381 Front Street, West Memphis 72301
Street City Zip
 Name of Organization Meramec Specialty Co.
 Address of the Stand Location 639 Hwy 5N, Bryant 72022
Street City Zip

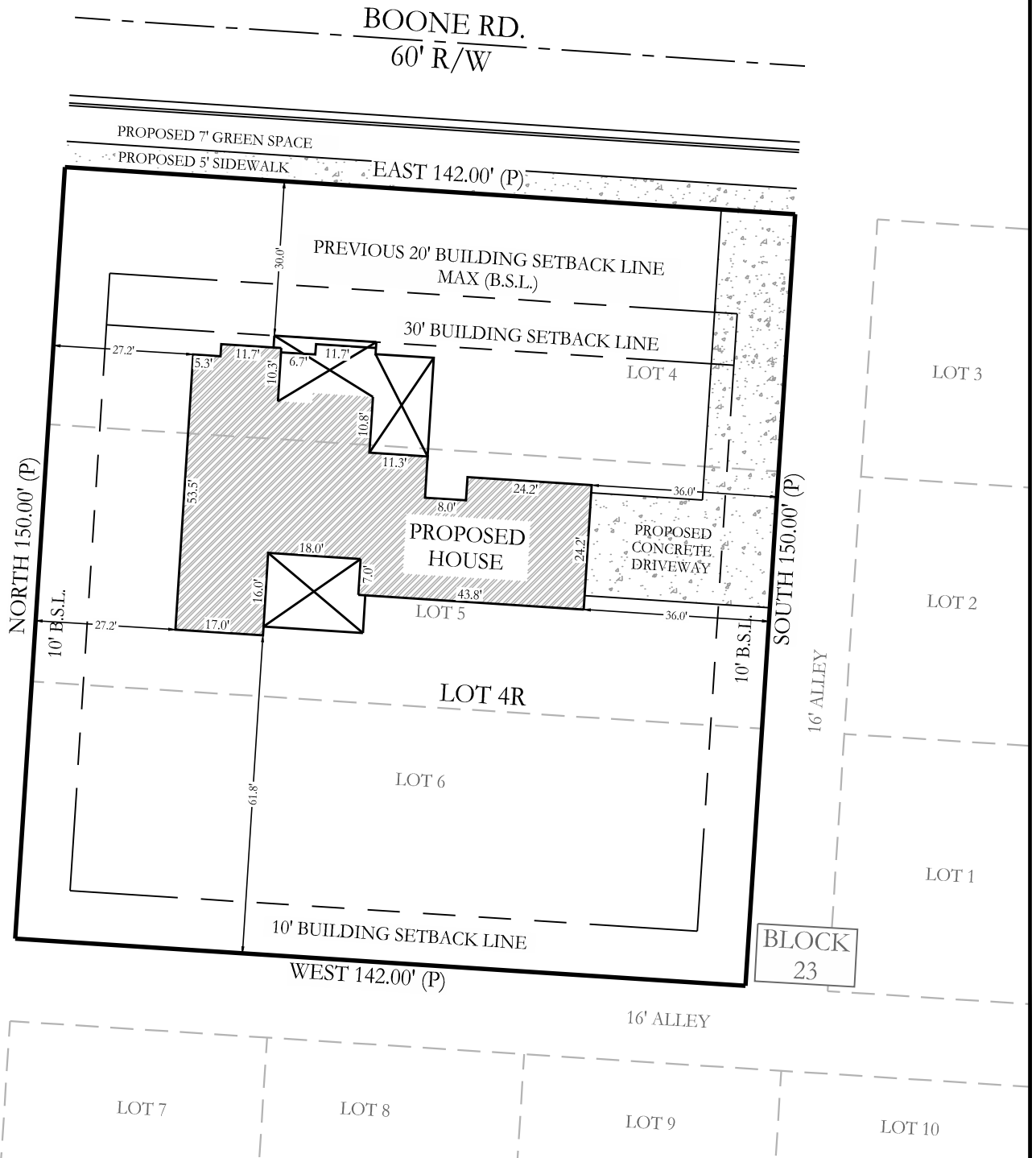
This license is issued to the person named above for use in making retail sales of PERMISSIBLE FIREWORKS from June 20 through July 10 and December 10 through January 5.

This license is not transferable and must be DISPLAYED AT ALL TIMES.

Vendor: Atomic of Arkansas Date Issued: 4-13-2023
 License #: 801
 Telephone #: (810) 735-1753
 Major Michael Moyer #148
 Major Michael Moyer
 State Fire Marshal
 Telephone (501) 618-8624

NOTICE: This license may be revoked by the State Fire Marshal or his deputies for violation of any of the provisions of the above referred to law.

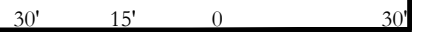
127



RECORD DESCRIPTION

LOT 4R, BEING A REPLAT OF LOTS 4,5, AND 6 OF BLOCK 23 OF THE TOWN OF BRYANT, SALINE COUNTY, ARKANSAS.

This Plot Plan depicts the lot as it appears on the subdivision plat. This drawing does not represent an actual survey.



PLOT PLAN

No portion of the property described hereon lies within the 100 year flood plain, according to the Flood Insurance Rate Map, panel # 05125C0380E, dated: 06/05/2020.

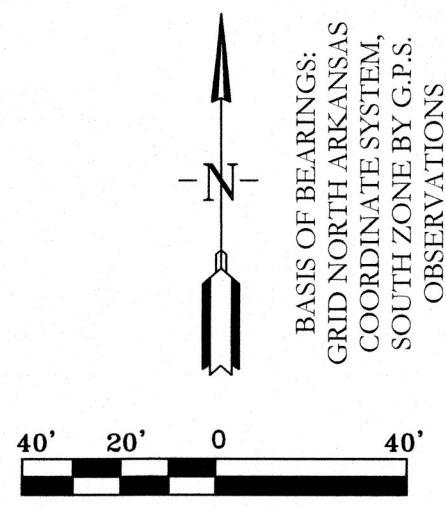
For the Exclusive Use and Benefit of:
D & B Property Solutions, LLC
 Address 407 Boone Road
Bryant, AR 72022 Date 05/31/2023 MD

LEGEND

- △ - Computed point
- - Found monument
- ⊙ - Set #4 RB/Cap #1664
- (M) - Measured
- (P) - Platted
- (R) - Record

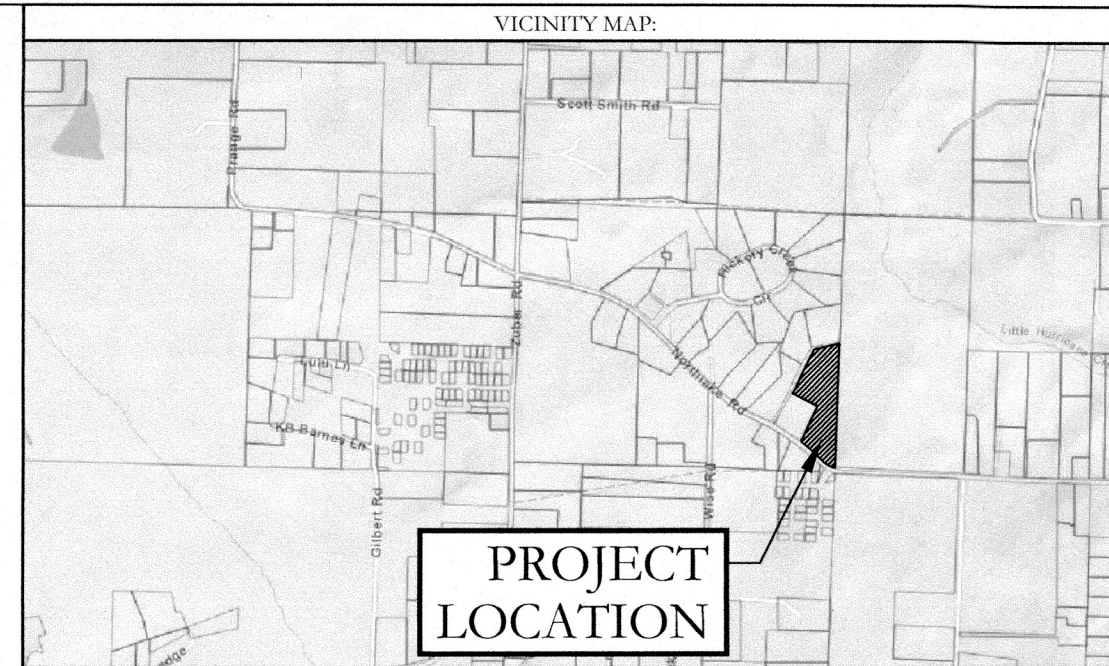
Drawn By MD
 Checked By WCS





HIGHFILL JEFFERSON JR & ELIZABETH SALINE COUNTY TAX PARCEL #840-11623-013

END UTILITY POLE FENCE CORNER NE CORNER OF THE SW/4 OF THE NE/4, S-07, T-1-S, R-14-W



PROJECT LOCATION

LEGAL DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7; THENCE N 02°02'55" E, ALONG THE EAST LINE THEREOF, A DISTANCE OF 15.10 FEET TO A POINT ON THE CENTERLINE OF NORTHLAKE ROAD BEING THE POINT OF BEGINNING OF HEREIN DESCRIBED TRACT OF LAND; THENCE N01°57'47" E, A DISTANCE OF 35.86 FEET TO A POINT ON AN EXISTING FENCE; THENCE ALONG SAID FENCE LINE THE FOLLOWING CALLS: N01°57'30" E 648.56 FEET; THENCE N02°08'28" E, A DISTANCE OF 633.36 FEET TO A UTILITY POLE FENCE CORNER, ACCEPTED AS THE NORTHEAST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7; THENCE LEAVING SAID FENCE LINE, S 77°42'07" W, A DISTANCE OF 295.64 FEET TO A 1.5 INCH SHAFT; THENCE S 27°20'16" W, A DISTANCE OF 492.79 FEET TO A 1/2 REBAR AND CAP (PS #1081); THENCE S 62°12'40" E, A DISTANCE OF 318.91 FEET TO A 1/2 REBAR CAP (NOT LEGIBLE); THENCE S 27°14'10" W, A DISTANCE OF 430.94 FEET TO A POINT IN THE CENTER OF NORTHLAKE ROAD; THENCE ALONG THE CENTERLINE OF NORTHLAKE ROAD THE FOLLOWING COURSES: S 54°12'24" E 119.54 FEET; THENCE S 45°52'00" E 181.70 FEET; THENCE S 53°37'24" E 93.64 FEET; THENCE S 68°03'06" E, A DISTANCE OF 86.69 FEET TO THE POINT OF BEGINNING, CONTAINING 409,353 SQUARE FEET OR 9.40 ACRES, MORE OR LESS.

NOTE:

TRACTS A & B WILL BE AN EASEMENT UTILIZED FOR DRAINAGE, UTILITIES AND ACCESS.

Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	99°45'49"	N75°53'58"E 38.24'	43.53'	25.00'
C2	89°29'06"	N17°28'07"W 70.39'	78.09'	50.00'
C3	40°01'33"	N82°13'26"W 17.11'	17.46'	25.00'
C4	61°00'50"	N71°43'47"W 50.76'	53.24'	50.00'
C5	45°10'47"	N18°37'58"W 38.41'	39.43'	50.00'
C6	63°24'23"	N35°39'37"E 52.55'	55.33'	50.00'
C7	39°33'16"	N47°35'10"E 16.92'	17.26'	25.00'
C8	33°31'47"	N47°11'29"E 34.61'	35.11'	60.00'
C9	49°37'26"	N88°46'06"E 50.36'	51.97'	60.00'
C10	39°41'09"	S46°34'37"E 40.73'	41.56'	60.00'
C11	53°32'50"	S0°02'23"W 54.06'	56.07'	60.00'
C12	80°21'41"	S66°59'39"W 77.42'	84.15'	60.00'
C13	56°53'08"	S78°43'56"W 23.81'	24.82'	25.00'
C14	22°59'17"	S38°47'43"W 9.96'	10.03'	25.00'
C15	89°32'55"	S17°26'12"E 70.43'	78.15'	50.00'
C16	62°47'00"	N58°39'56"E 26.04'	27.39'	25.00'
C17	76°37'16"	N7°26'17"W 31.00'	33.43'	25.00'
C18	37°45'21"	S8°23'46"W 48.53'	49.42'	75.00'
C19	10°20'59"	S84°41'35"W 27.06'	27.10'	150.00'
C20	51°43'45"	S36°20'47"E 65.44'	67.71'	75.00'
C21	44°42'30"	S4°55'03"W 57.05'	58.52'	75.00'
C22	44°42'30"	S4°55'03"W 57.05'	58.52'	75.00'
C25	0°01'40"	S54°12'17"E 0.01'	0.01'	25.00'
C26	99°45'49"	S75°53'58"W 38.24'	43.53'	25.00'

FND. 1/2 REBAR W/CAP, PS 1081

SMITH JOE D & MARSHA C SALINE COUNTY TAX PARCEL #840-11623-018

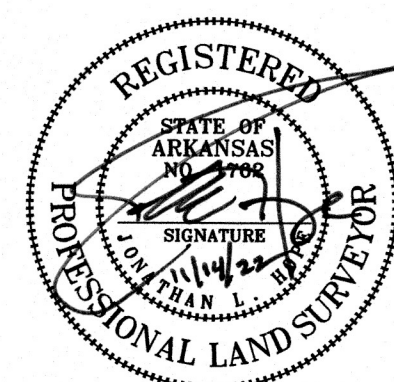
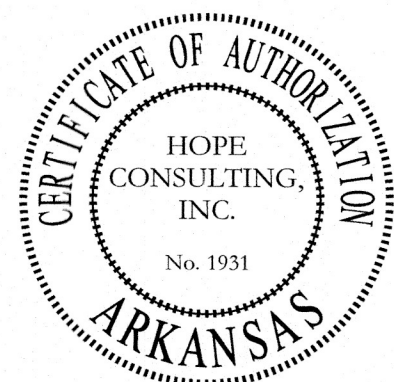
WILHELM OSCAR CLIFFORD & FLOELLA MARIE TRUSTEE SALINE COUNTY TAX PARCEL #840-11623-001

NOTES:
1. NO ABOVE GROUND UTILITIES TO BE CONSTRUCTED WHERE HATCHED AREA IS DRAINAGE & ACCESS EASEMENT.

Line #	Direction	Length
L1	N79°31'05"E	10.52'
L2	N89°52'04"E	12.73'
L3	N72°33'48"E	20.18'
L4	N62°41'55"W	35.06'
L5	S62°12'40"E	21.55'

2022-027345
I certify this instrument was filed on 12/07/2022 11:02:30 AM Myka Bono Sample Saline County Circuit Clerk

Pages: 1
C ANDERSON



CERTIFICATIONS:

OWNER: OLTMANS DEVELOPMENT
Address: 1930 N REYNOLDS ROAD STE 1P BRYANT, AR 72022

DEVELOPER: OLTMANS DEVELOPMENT
Address: 1930 N REYNOLDS ROAD STE 1P BRYANT, AR 72022

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and defined herein do hereby certify that we have caused to be laid off, planted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution: 11/14/2022
Name: Jonathan L. Hope, Registered Professional Land Surveyor No. 1762, Arkansas

CERTIFICATE OF SURVEYING ACCURACY:
I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "best conditions" and are accurately described on the plat and identified on the ground by length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution: 11-14-2022
Name: William W. McFadden, Registered Professional Engineer, No. 14048, Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:
I, William W. McFadden, hereby certify that this plat correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

Date of Execution: 12-5-22
Name: Rick Johnson, Bryant Planning Commission

CERTIFICATE OF FINAL APPROVAL:
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

By affixing my seal and signature, I, Jonathan L. Hope, PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described herein lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel 0301250223E, Dated 06/05/2020.

PROPERTY SPECIFICATIONS:	
OWNER: OLTMANS DEVELOPMENT 1930 N REYNOLDS ROAD STE 1P BRYANT, AR 72022	NUMBER OF LOTS: 30 SOURCE OF WATER: WATER USERS SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC
DEVELOPER: OLTMANS DEVELOPMENT 1930 N REYNOLDS ROAD STE 1P BRYANT, AR 72022	BUILDING SETBACKS: FRONT: 25' OR AS SHOWN REAR: 25' OR AS SHOWN SIDE: 5' OR AS SHOWN
ENGINEERS: HOPE CONSULTING, INC. 117 S MARKET STREET BENTON, AR 72015	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION: CORAL RIDGE	
ZONING: R-2	
INSTRUMENT # 2021-02916	

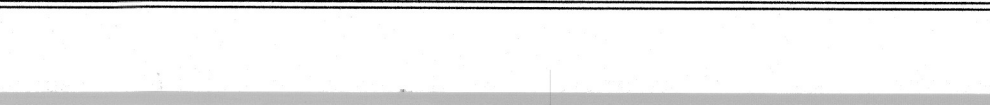
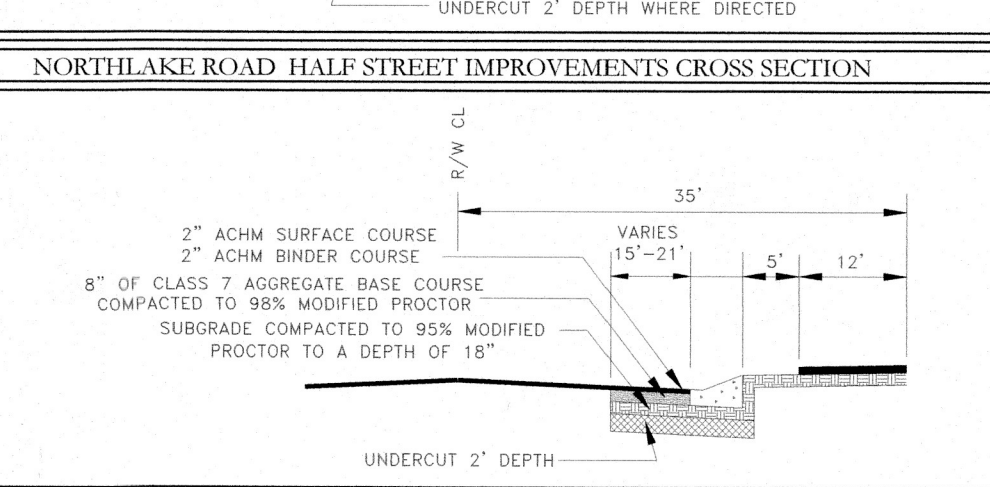
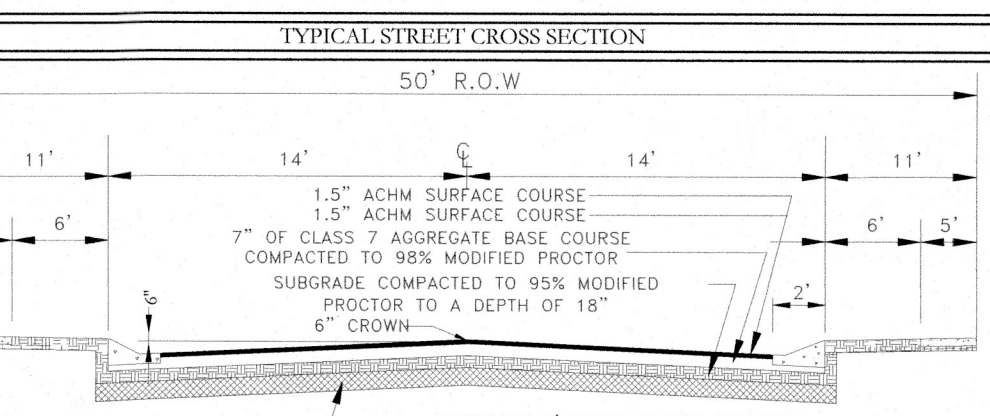
HOPE CONSULTING ENGINEERS - SURVEYORS
117 S. Market Street, Benton, Arkansas 72015
PH. (501) 315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
OLTMANS DEVELOPMENT

FINAL PLAT
CORAL RIDGE
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	C.A.D. BY:	DRAWING NUMBER:
03/05/2021	B. JOHNSON	
REVISED:	CHECKED BY:	
11/14/2022	BY:	21-0209
500	1S	14W
	0	07
	130	62
		1762

- LEGEND
- Found Aliquot Corner
 - Computed point
 - Found monument
 - Set #4 RB/Plas. Cap(S/P)
 - Measured
 - Record
 - Platted
 - Street Light
 - Fire Hydrant
 - Stop Sign
 - No Parking Sign





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
 The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 4/25/23

Sign Co. or Sign Owner

Property Owner

Name KT & T Sign / Kevin Holmes

Name Jalen

Address 3609 Crutcher St.

Address 2337 Frontage Rd 1-30

City, State, Zip NLR, AR 72118

City, State, Zip Bryant, AR

Phone ⁵⁰¹ 568-8457 / cell: 501-672-0997

Phone 501-612-4424

Email Address ktstsignnetwork@yahoo.com

Email Address _____

GENERAL INFORMATION

Name of Business Relix Motors KO AUTO SALES

Address/Location of sign 2337 Frontage Rd.

Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Kevin R. Holmes, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
	✓	4' x 40'	104	Top of Sign	Bottom of Sign	
A	(3) 3' x 8'		72	12'		
B	(2) 4' x 8' or 4' x 16'		32	12'	8'	
C	4' x 1'					
E	3' x 12'					
F						
G						

2337
Frontage Rd. Byrant, Ark.



**GUARANTEED
FINANCING**

DRIVE ONE HOME TODAY!



KO AUTO SALES



501-319-5836



Stratus™

stratusunlimited.com

888.503.1569

LOCATION NUMBER:

6

SITE ADDRESS:

1800 N Reynolds Rd Suite 8
Bryant, AR 72022

[View in Google Maps](#)

SIGN CODE:

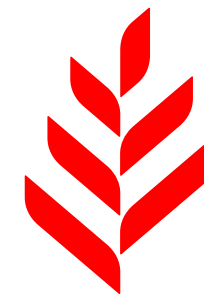
Permit timeline 2-4 Weeks

Allowed 2sf per linear ft of frontage

SF can be calculated with up to 3 distinct areas made of squares or rectangles to measure Total SF

Window graphics are calculated in available SF Allowed

Frontage is 47' x 2 = 94sf allowed

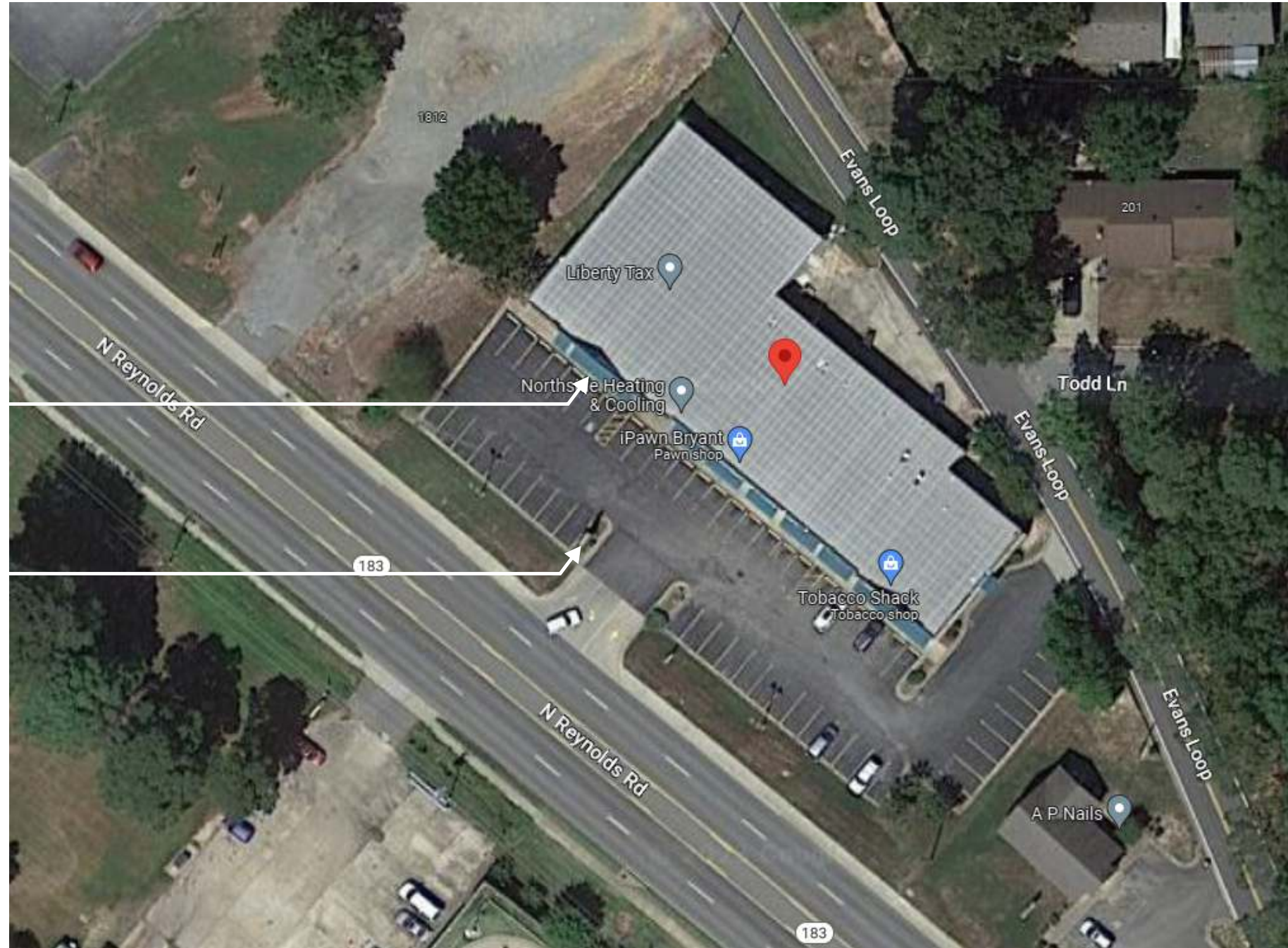


Sage Health

Wiser healthcare for seniors.

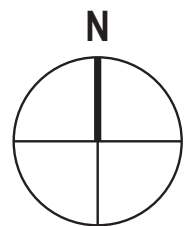
SITE PLAN

Scale: NOT TO SCALE



E01

E02



StratusTM

stratusunlimited.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:
 **Sage Health**

ADDRESS:
1800 N REYNOLDS RD SUITE 8
BRYANT, AR 72022

PAGE NO.:
2

ORDER NUMBER:
1192818

SITE NUMBER:
6

ELECTRONIC FILE NAME:
G:\ACCOUNTS\S\SAGE HEALTH\2023\AR\6_Bryant\
6_Bryant_R1.cdr

PROJECT NUMBER:
87594

PROJECT MANAGER:
KYLE FREEMAN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	425604	04/11/23 AS					
Rev 1	426137	04/17/23 AS					

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

E01 STOREFRONT ELEVATION
Scale: 1/8"=1'-0"

CL-H-FC-283-R-I

EXISTING SIGN SF:	0
PROPOSED SIGN SF:	83.9

EXISTING CONDITIONS



Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	425604	04/11/23 AS					
Rev 1	426137	04/17/23 AS	Chose this option				

E01

FACE LIT CHANNEL LETTERS ON RACEWAY

Scale: 3/8"=1'-0"

CL-H-FC-283-R-I

83.9 square feet



- FACES:** 3/16" #2447 white acrylic with surface applied dual-color white vinyl printed to match Dk. Teal and Teal; *Graphics will illuminate white at night*
- TRIMCAP:** 1" jewelite trimcap painted Dk. Teal
- RETURNS:** 5" deep .040 alum. returns - insides painted High Gloss White; Outsides painted Dk. Teal
- BACKS:** .063 alum. backs - insides painted High Gloss White
- ILLUM.:** White LEDs as required by manufacturer; **Power supplies housed in raceway**
- RACEWAY:** Extruded low profile aluminum raceway 8.5" H x 4.375" D painted to match sign band
- WALL MAT.:** Stucco
- INSTALL:** Thru bolted using all thread into blocking as required; 12" standard length of threaded rod will be supplied unless otherwise noted; 3/8" threaded rod into blocking or Stratus approved equivalent; Compression sleeves required to avoid crushing wall & achieve max tensioning
- QUANTITY:** (1) ONE SET REQUIRED FOR STOREFRONT ELEVATION

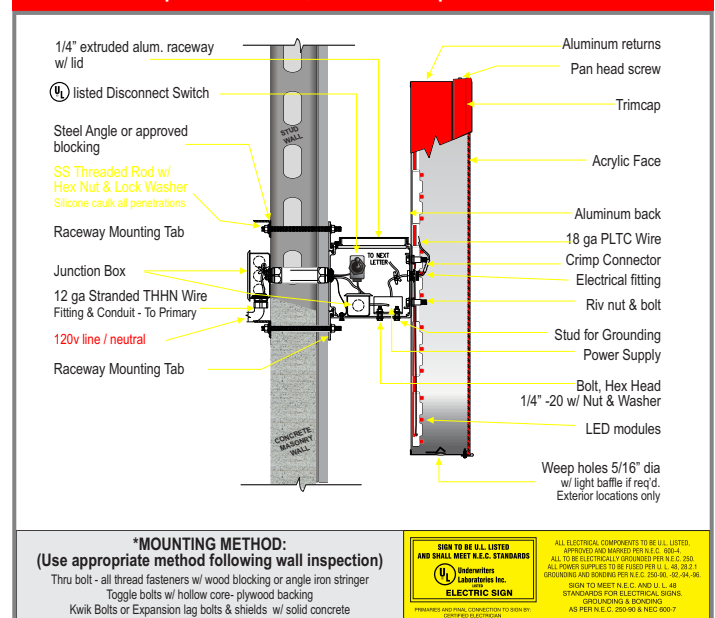
COLOR PALETTE

- 3M 3635-210 Dual-Color White Printed to Match PMS 309 C Dk. Teal
- High Gloss White
- 3M 3635-210 Dual-Color White Printed to Match PMS 7716 C Teal
- RACEWAY:** Color to be provided
- PMS 309 C Dk. Teal

SIMULATED NIGHT VIEW



FACE LIT | RACEWAY, CENTER | GENERIC INSTALL



Stratus™

stratusunlimited.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:
 Sage Health

ADDRESS:
1800 N REYNOLDS RD SUITE 8
BRYANT, AR 72022

PAGE NO.:
4

ORDER NUMBER:
1192818

SITE NUMBER:
6

ELECTRONIC FILE NAME:
G:\ACCOUNTS\S\SAGE HEALTH\2023\AR\6_Bryant\6_Bryant_R1.cdr

PROJECT NUMBER:
87594

PROJECT MANAGER:
KYLE FREEMAN

Rev #	Req #	Date/Artist	Description
Original	425604	04/11/23 AS	
Rev 1	426137	04/17/23 AS	Chose this option

Rev #	Req #	Date/Artist	Description

E02

D/F ILLUMINATED PYLON

Scale: 1/4"=1'-0"

EXISTING CONDITIONS



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8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:



ORDER NUMBER:

1192818

PROJECT NUMBER:

87594

SITE NUMBER:

6

PROJECT MANAGER:

KYLE FREEMAN

ADDRESS:

1800 N REYNOLDS RD SUITE 8
BRYANT, AR 72022

PAGE NO.:

5

ELECTRONIC FILE NAME:

G:\ACCOUNTS\IS\SAGE HEALTH\2023\AR\6_Bryant\6_Bryant_R1.cdr

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	425604	04/11/23 AS					
Rev 1	426137	04/17/23 AS	Chose this option				

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

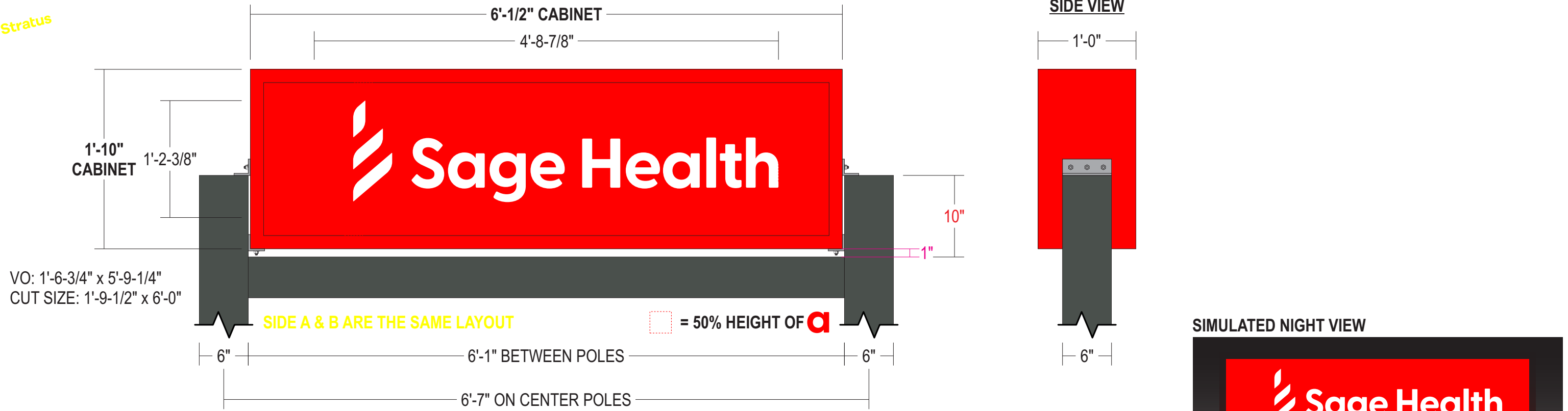
E02 D/F ILLUMINATED CABINET

Scale: 1"=1'-0"

11.1 square feet

If this cabinet is larger than the existing or alternate shape: Engineering review is required and may not be approved as shown. In this case, additional Engineering or change of scope will apply.

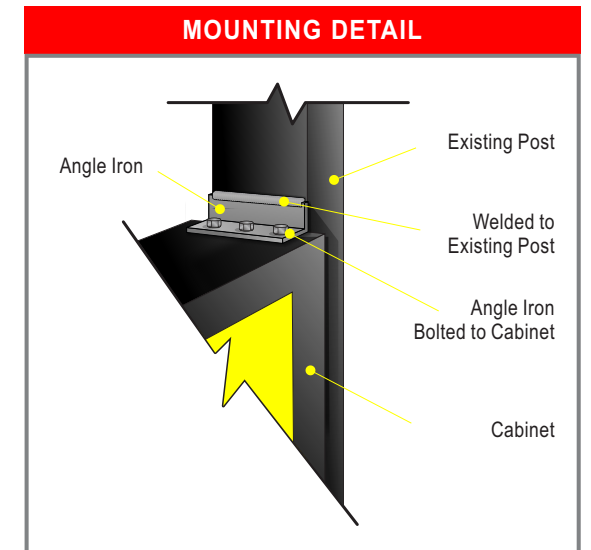
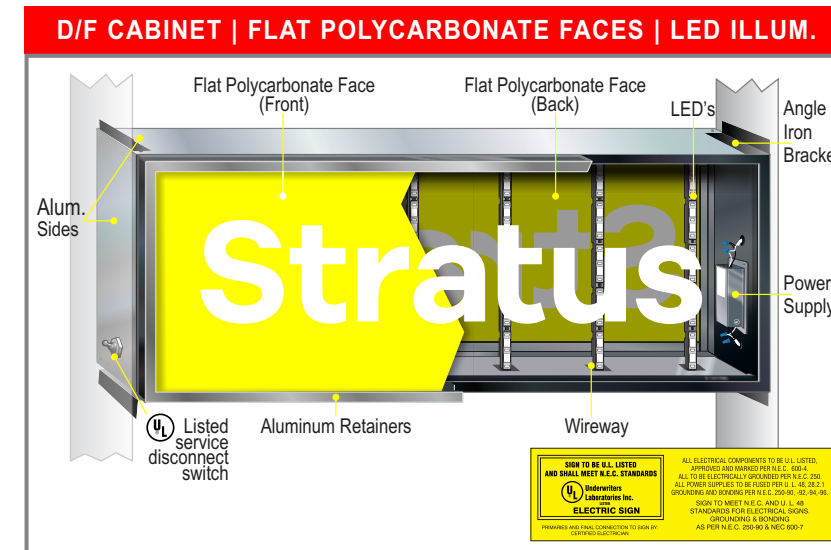
Stratus



- CABINET:** 12" deep fab'd aluminum cabinet with 1-5/8" retainers painted Dk. Teal
- FACES:** .150 flat white polycarbonate
- GRAPHICS:** Surface applied digitally printed translucent vinyl to match Dk. Teal and Teal
- ILLUM.:** White LEDs as required by manufacturer; **Power supplies housed in cabinet**
- SUPPORTS:** Existing 6" square supports to remain
- INSTALL:** Mounted between supports with angle iron welded to existing post and bolted to cabinet
- QUANTITY:** (1) ONE D/F ILLUMINATED CABINET REQUIRED FOR EXISTING PYLON

COLOR PALETTE

- Matthews White
- PMS 309 C Dk. Teal
- PMS 7716 C Teal



Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT: **Sage Health**

ADDRESS: 1800 N REYNOLDS RD SUITE 8
BRYANT, AR 72022

PAGE NO.: **6**

ORDER NUMBER: 1192818

SITE NUMBER: 6

ELECTRONIC FILE NAME: G:\ACCOUNTS\S\SAGE HEALTH\2023\AR\6_Bryant\6_Bryant_R1.cdr

PROJECT NUMBER: 87594

PROJECT MANAGER: KYLE FREEMAN

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	425604	04/11/23 AS					
Rev 1	426137	04/17/23 AS	Chose this option, revised cabinet to Dk. Teal				

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 05/11/2023

Sign Co. or Sign Owner

Name Lumatech Inc
 Address 6301 Murray Street
 City, State, Zip Little Rock, AR 72209
 Phone 501-217-9919 ext 115
 Email Address service@lumatechservice.com

Property Owner

Name SN Management LLC
 Address 1800 N Reynolds Road
 City, State, Zip Bryant, AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business Sage Heath
 Address/Location of sign 1800 N Reynolds Rd, Bryant, AR 72022
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Michelle Tucker, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Facade	47'-0" x 6'-8"	83.9	19'-9"	13'-2"	
B	Pole	6'-1/2" x 1'-10"	11.1	19'-10"	18'-3"	
C						
E						
F						
G						



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.
The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 5-16-23

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name Custom Advertising
Address 23738 I-30
City, State, Zip Bryant, AR
Phone 501.847.1000
Email Address Jimmy.Parker65@gmail.com

Property Owner

Name Coulson
Address 5101 Northshore Lane
City, State, Zip NLR AR 72118
Phone 501.376-4222
Email Address callcenter@Coulsonoil.com

GENERAL INFORMATION

Name of Business Roadrunner
Address/Location of sign 23190 I-30 Bryant
Zoning Classification C-3

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I, Jimmy Parker, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

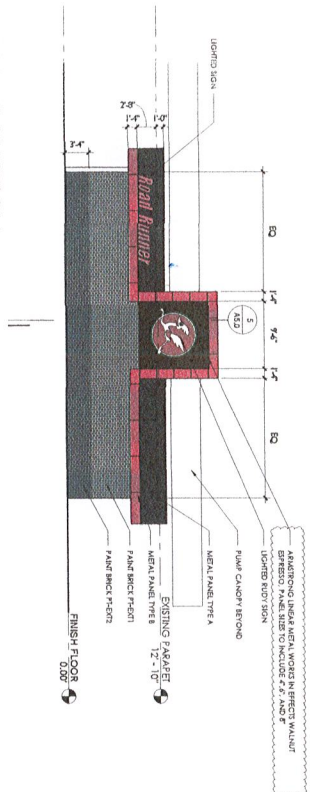
that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

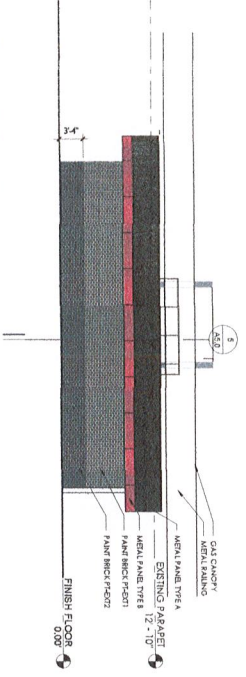
SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
	Facade	6' x 6'	36	15'	12'	
A	Facade	2 1/2 x 8	20	14	11 1/2	
B						
C						
E						
F						
G						

Logo
"Road runner"

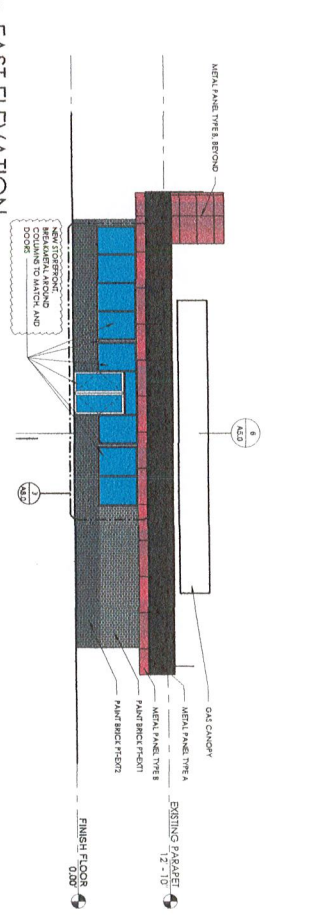
1 SOUTH ELEVATION
1/8" = 1'-0"



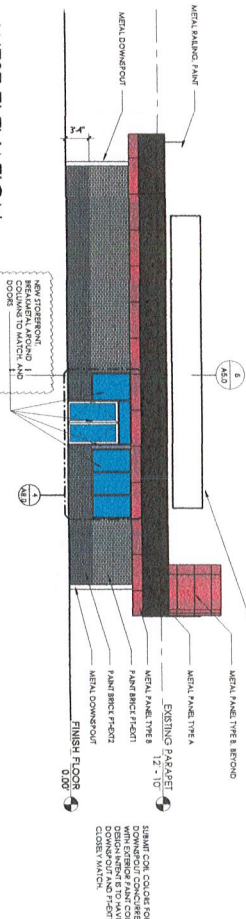
3 NORTH ELEVATION
1/8" = 1'-0"



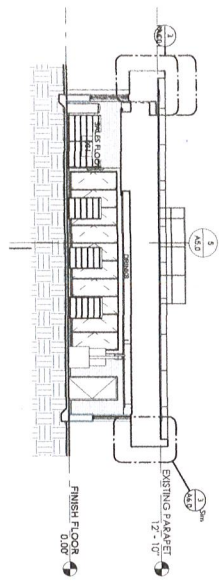
2 EAST ELEVATION
1/8" = 1'-0"



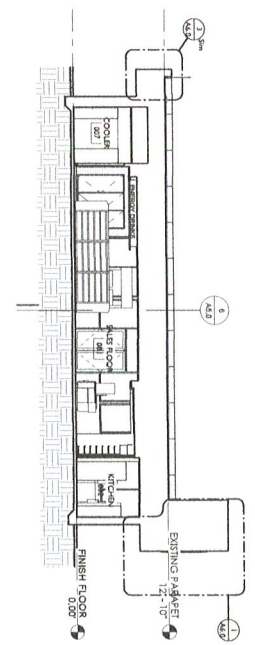
4 WEST ELEVATION
1/8" = 1'-0"



6 BUILDING SECTION B
1/8" = 1'-0"



5 BUILDING SECTION A
1/8" = 1'-0"



FENNEL PURIFOY
ARCHITECTS
150 RIVER HAVEN DRIVE, SUITE 200, LITTLE ROCK, AR 72202
501.372.4234 • 501.372.4238



EXTERIOR PAINT COLORS
P.C.02: SHERWIN WILLIAMS 7019 CAUNTIET GRAY