



# Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

**Date:** May 18, 2023 - **Time:** 9:00 AM

## Call to Order

## Old Business

### 1. Hilldale Crossing Ph 2 - Final Plat

*Hope Consulting - Requesting Recommendation For Approval of Final Plat*

- [0689-PLN-02.pdf](#)
- [0689-ASB-03.pdf](#)
- [0689-ASB-04.pdf](#)
- [0689-ELC-01.pdf](#)

### 2. Cypress Valley Ph 2 - Final Plat

*Hope Consulting - Requesting Recommendation For Approval of Final Plat*

- [0658-ASB-03.pdf](#)
- [0658-ASB-02.pdf](#)
- [0658-PLN-04.pdf](#)
- [0658-BND-02.pdf](#)

### 3. Midland Road Estates - Preliminary Plat

*Hope Consulting - Requesting Recommendation For Approval of Preliminary Plat*

- [0691-PLN-04.pdf](#)
- [0691-RSP-02.pdf](#)

## New Business

### 4. Benjamin Grove Subdivision Ph 4 - Final Plat

*GarNat Engineering - Requesting Recommendation for Approval of Final Plat*

- [0725-APP-01.pdf](#)
- [0725-LTR-02.pdf](#)
- [0725-LTR-01.pdf](#)
- [0725-PLT-01.pdf](#)

### 5. Marketplace II Subdivision Ph 3 - Final Plat

*GarNat Engineering - Requesting Recommendation for Approval of Final Plat*

- [0726-LTR-01.pdf](#)
- [0726-PLN-01.pdf](#)
- [0726-APP-01.pdf](#)

- [0726-PLT-01.pdf](#)

#### **6. Murphy USA - 403 Bryant Ave**

*CEI Engineering - Requesting Site Plan Approval*

- [0728-PLN-01.pdf](#)
- [0728-ELV-01.pdf](#)
- [0728-LTR-01.pdf](#)

#### **7. Reynolds Centre Development - 23146 I-30 N**

*Bond Consulting - Requesting Site Plan Approval*

- [0729-PLN-01.pdf](#)
- [0729-ELV-01.pdf](#)
- [0729-SWP-01.pdf](#)
- [0729-APP-01.pdf](#)

#### **8. Arkansas Service One HVAC - 3015 Corporate Center Drive**

*Mark Emmerling - Requesting Site Plan Approval for New Building Addition*

- [0713-PLN-01.pdf](#)
- [0713-LTR-01.pdf](#)

#### **9. A-1 Fireworks - 25612 I-30 - Temporary Business License**

*Joan Rey - Requesting Approval for Temporary Business License for Fireworks Stand*

- [0723-APP-01.pdf](#)

#### **10. Meramec Specialty Co - 6905 Hwy 5 - Temporary Business License**

*Kevin Bailey - Requesting Approval for Temporary Business License for Fireworks Stand*

- [0724-PLN-01.pdf](#)

#### **11. S&S Storage - 905 N Reynolds Road - Sign Variance**

*Arkansas Sign and Neon - Requesting Recommendation for Approval of Sign Variance for Height of Sign*

- [0714-VAR-01.pdf](#)
- [0714-APP-01.pdf](#)

### **Staff Approved**

#### **12. Circle K - Convenience Stores - Sign Permits**

*Branded Image Group - Requesting Sign Permit Approvals for following locations: 2400 Springhill RD, 7701 Hwy 5 N, 1611 N Reynolds Road. - STAFF APPROVED, All signage except for Directional Signs at Each Location.*

- [0731-APP-02.pdf](#)
- [0732-APP-02.pdf](#)
- [0730-APP-02.pdf](#)
- [0732-APP-01.pdf](#)
- [0731-APP-01.pdf](#)
- [0730-APP-01.pdf](#)

#### **13. La Monarca - 612 Office Park Drive - Sign Permit**

*Aero Signs - Requesting Sign Permit Approval - STAFF APPROVED*

- [0718-APP-01.pdf](#)

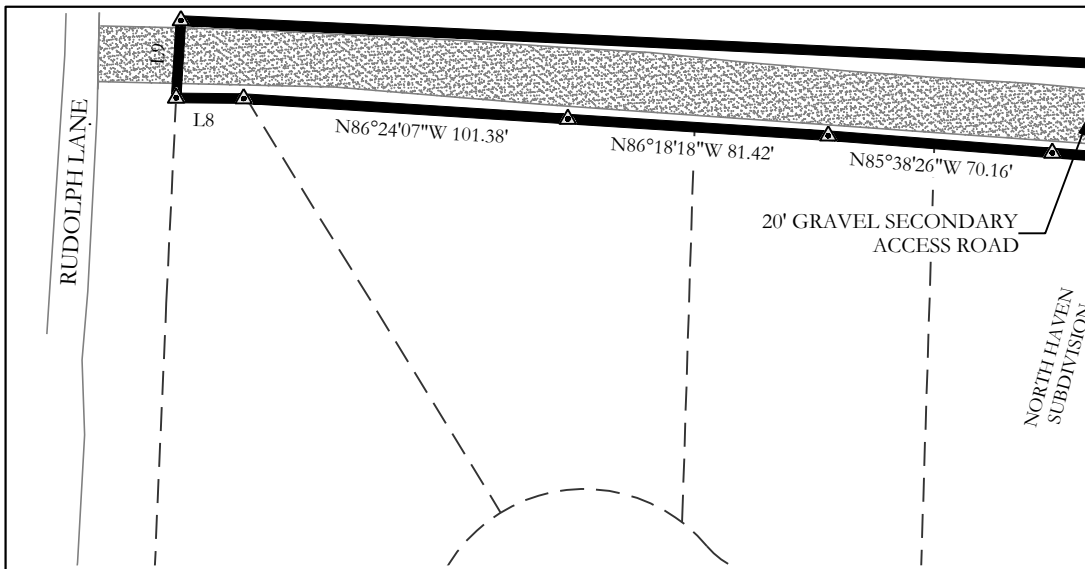
#### **14. Inspire Childcare Development Center - 303 N Reynolds Road - Sign Permit**

*Shanekia Smith - Requesting Sign Permit Approval - STAFF APPROVED*

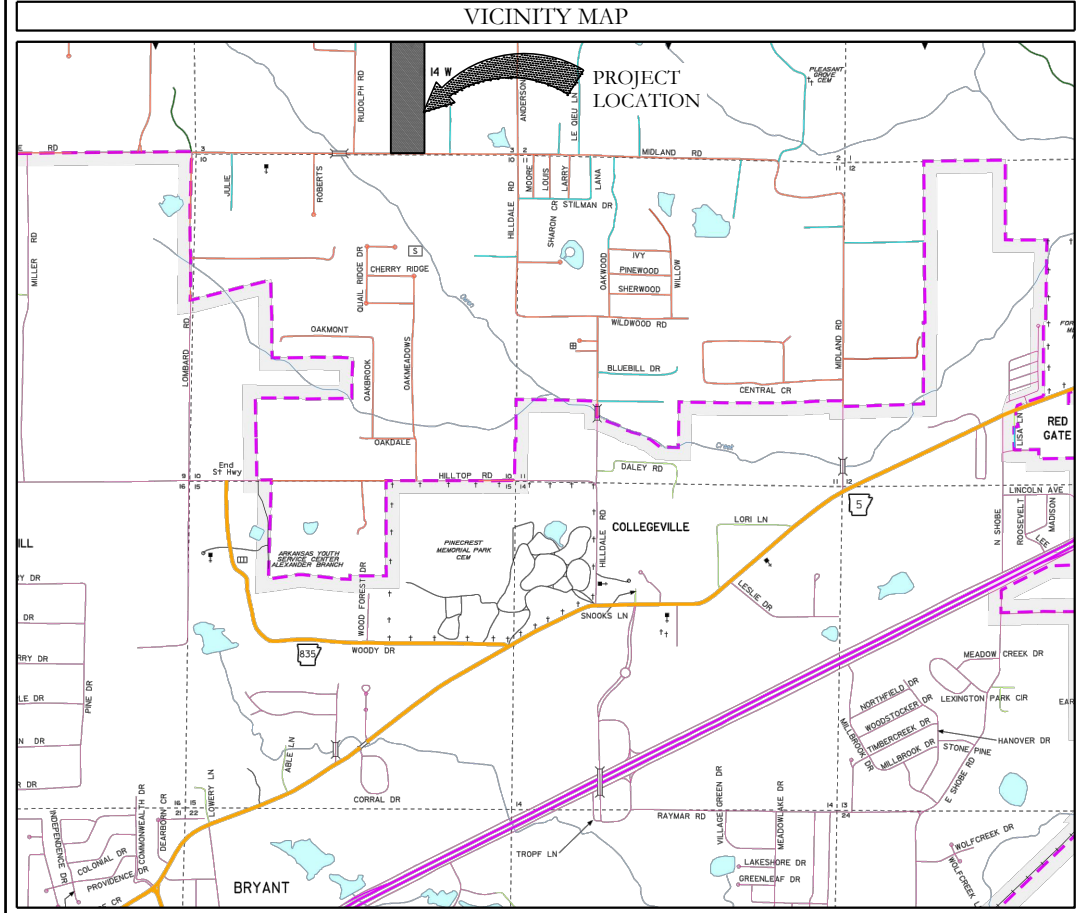
- [0720-APP-01.pdf](#)

### **Permit Report**

## **Adjournments**



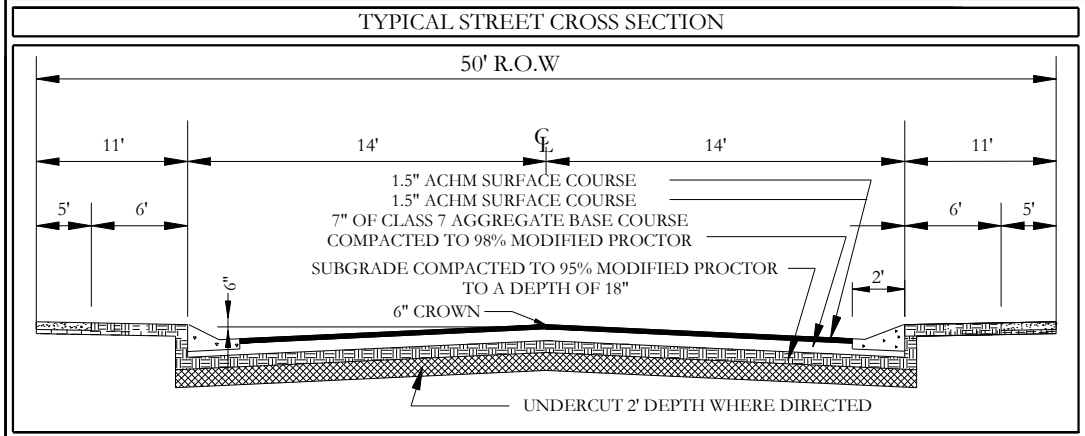
Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C15	51°49'12"	N23°57'59"W 21.85'	22.61'	25.00'
C16	37°22'22"	N31°11'24"W 32.04'	32.61'	50.00'
C17	54°56'09"	N14°57'51"E 46.13'	47.94'	50.00'
C18	51°15'03"	N68°03'28"E 43.25'	44.72'	50.00'
C19	41°55'43"	S63°21'09"W 35.78'	36.59'	50.00'
C20	43°40'05"	S66°13'20"E 18.60'	19.05'	25.00'
C21	89°51'27"	N47°09'54"E 70.62'	78.42'	50.00'
C22	90°06'33"	N42°59'06"W 55.40'	59.35'	25.00'
C23	48°07'03"	S67°52'06"W 20.40'	21.01'	25.00'
C24	63°11'07"	S75°20'09"W 52.46'	55.23'	50.00'
C25	47°05'50"	N49°22'21"W 39.95'	41.10'	50.00'
C26	55°15'01"	N1°48'04"E 46.37'	48.22'	50.00'
C27	47°22'55"	N53°07'03"E 40.18'	41.35'	50.00'
C28	63°21'50"	S71°30'57"E 52.52'	55.30'	50.00'
C29	48°15'43"	S63°50'51"E 20.43'	21.04'	25.00'
C30	89°51'27"	N47°09'54"E 35.31'	39.21'	25.00'
C35	43°43'24"	S19°46'32"E 18.62'	19.08'	25.00'
C36	34°24'02"	S24°20'13"E 29.57'	30.02'	50.00'
C37	49°06'39"	S17°19'07"W 41.56'	42.86'	50.00'
C38	44°11'24"	S63°58'09"W 37.61'	38.56'	50.00'
C39	49°39'59"	S69°06'10"W 42.00'	43.34'	50.00'
C60	43°47'13"	N66°09'47"W 18.64'	19.11'	25.00'
C61	90°06'00"	S46°50'37"W 70.71'	78.54'	50.00'
C89	41°59'09"	N22°56'11"E 53.74'	54.96'	75.00'
C90	48°06'51"	N67°56'11"E 61.03'	62.85'	75.00'
C91	44°55'44"	N69°28'45"E 57.32'	58.81'	75.00'
C92	44°55'44"	N24°33'02"E 57.32'	58.81'	75.00'



**PROPERTY DESCRIPTION:**  
PART OF THE WEST HALF OF THE SOUTHWEST QUARTER (W 1/2 SE 1/4) OF SECTION 03, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A RAIL SPIKE, ACCEPTED AS THE SOUTHWEST CORNER OF THE SW 1/4 SE 1/4 OF SECTION 03; THENCE N01°58'17"E, A DISTANCE OF 43.65 FEET TO A POINT ON THE NORTH LINE OF HILLDALE ROAD; THENCE N01°57'07"E, ALONG THE EAST LINE THEREOF, A DISTANCE OF 918.94 FEET TO THE POINT OF BEGINNING; THENCE S88°03'23"E, DISTANCE OF 377.91 FEET; THENCE N01°56'37"E, DISTANCE OF 30.00 FEET; THENCE S88°03'23"E, DISTANCE OF 100.00 FEET; THENCE N01°53'30"E, DISTANCE OF 44.99 FEET; THENCE N89°57'06"E, DISTANCE OF 50.17 FEET; THENCE S88°03'23"E, DISTANCE OF 132.25 FEET TO A POINT ON THE WEST LINE OF THE E 1/2 SW 1/4 SE 1/4 OF SECTION 03; THENCE N07°40'8"E, ALONG THE WEST LINE OF SAID E 1/2 SW 1/4 SE 1/4 AND THE EAST LINE OF PHASES 1 AND 3 OF NORTH HAVEN SUBDIVISION, A DISTANCE OF 422.36 FEET TO THE SOUTHWEST CORNER OF THE E 1/2 NW 1/4 SE 1/4 OF SECTION 03; THENCE N01°46'52"E, ALONG THE NORTH LINE OF SAID PHASE 6 OF NORTH HAVEN SUBDIVISION THE FOLLOWING NINE (9) CURVES: N86°31'06"W, A DISTANCE OF 22.77 FEET; THENCE N84°09'24"W, A DISTANCE OF 131.54 FEET; THENCE N84°31'04"W, A DISTANCE OF 62.99 FEET; THENCE N85°46'50"W, A DISTANCE OF 67.99 FEET; THENCE N85°41'34"W, A DISTANCE OF 72.05 FEET; THENCE N85°38'26"W, A DISTANCE OF 70.16 FEET; THENCE N86°19'07"W, A DISTANCE OF 81.42 FEET; THENCE N86°24'07"W, A DISTANCE OF 101.38 FEET; THENCE N89°23'01"W, A DISTANCE OF 21.11 FEET TO THE NORTHWEST CORNER OF SAID PHASE 6 OF NORTH HAVEN SUBDIVISION; THENCE N03°27'25"E, A DISTANCE OF 24.22 FEET TO A POINT ON THE NORTH LINE OF THE S 1/2 NW 1/4 SE 1/4 OF SECTION 03, BEING 27.51 FEET EAST OF THE NORTHWEST CORNER THEREOF; THENCE S87°08'31"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 655.61 FEET; THENCE LEAVING SAID NORTH LINE THEREOF, S01°48'09"W, A DISTANCE OF 58.87 FEET; THENCE S88°03'23"E, A DISTANCE OF 383.43 FEET; THENCE S02°05'10"W, A DISTANCE OF 30.00 FEET; THENCE S88°03'23"E, A DISTANCE OF 100.00 FEET; THENCE S27°09'07"E, A DISTANCE OF 58.18 FEET; THENCE S87°54'59"E, A DISTANCE OF 100.52 FEET TO A POINT ON THE EAST LINE OF THE NW 1/4 SE 1/4 OF SECTION 03; THENCE S01°36'20"W, ALONG THE EAST LINE THEREOF, A DISTANCE OF 106.83 FEET TO THE NORTHEAST CORNER OF THE E 1/2 SW 1/4 SE 1/4 OF SECTION 03; THENCE S03°50'30"W, ALONG THE EAST LINE THEREOF, A DISTANCE OF 332.99 FEET TO THE POINT OF BEGINNING, CONTAINING 367,623 SQUARE FEET, OR 8.44 ACRES, MORE OR LESS.

- NOTES:**
- TRACT C WILL BE UTILIZED AS A DRAINAGE, UTILITY AND ACCESS EASEMENTS THAT WILL BE MAINTAINED BY THE HILLDALE CROSSING IMPROVEMENT DISTRICT/PROPERTY OWNER ASSOCIATION.
  - ALL DRAINAGE PATHWAYS FROM TRACT C WILL BE INSPECTED, MAINTAINED, AND REPAIRED TO POINT OF DISCHARGE ON HILLDALE ROAD RIGHT-OF-WAY.



**CERTIFICATIONS:**

**OWNER:** HAVENS DEVELOPMENT, LLC  
**DEVELOPER:** HAVENS DEVELOPMENT, LLC  
 Name: HAVENS DEVELOPMENT, LLC  
 Address: 22095 I-30 #500  
 BRYANT AR 72022

**CERTIFICATE OF OWNER:**  
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution \_\_\_\_\_ Name: \_\_\_\_\_  
 Source of Title: D.R. BOOK 2020 PAGE: 007050

**CERTIFICATE OF FINAL SURVEYING ACCURACY:**  
 I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution \_\_\_\_\_ Jonathan L. Hope  
 Registered Professional  
 Land Surveyor No. 1762 Arkansas

**CERTIFICATE OF FINAL ENGINEERING ACCURACY:**  
 I, Kazim Tamizdul Islam, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.

Date of Execution \_\_\_\_\_ Kazim Tamizdul Islam  
 Registered Professional  
 Engineer, No. 20876 Arkansas

**CERTIFICATE OF FINAL PLAT APPROVAL:**  
 Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.

Date of Execution \_\_\_\_\_ Rick Johnson,  
 Bryant Planning Commission Chairman

By affixing my seal and signature, I, Jonathan L. Hope PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel 00125202400; Date: 06/05/2020.

**PROPERTY SPECIFICATIONS:**

OWNER: HAVENS DEVELOPMENT, LLC P.O. BOX 7745 LITTLE ROCK, AR 72217	AVERAGE LOT SIZE: 60 x 100 (6,000 S.F.) NUMBER OF LOTS: 37
DEVELOPER/SUBDIVIDER: HAVENS DEVELOPMENT, LLC P.O. BOX 7745 LITTLE ROCK, AR 72217	SOURCE OF WATER: WATER USERS SOURCE OF SEWER: BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC
ENGINEERS: HOPE CONSULTING INC. 117 S. MARKET STREET BRYANT, AR 72015	BUILDING SETBACKS: FRONT: 5' OR AS SHOWN REAR: 20' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION: HILLDALE CROSSING PHASE 2 INSTRUMENT # 2020-007050	UTILITY & DRAINAGE EASEMENTS: FRONT: 5' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN

**HOPE CONSULTING ENGINEERS - SURVEYORS**  
 129 N. Main Street,  
 Benton, Arkansas 72015  
 PH. (501)315-2626  
 FAX (501) 315-0024  
 www.hopeconsulting.com

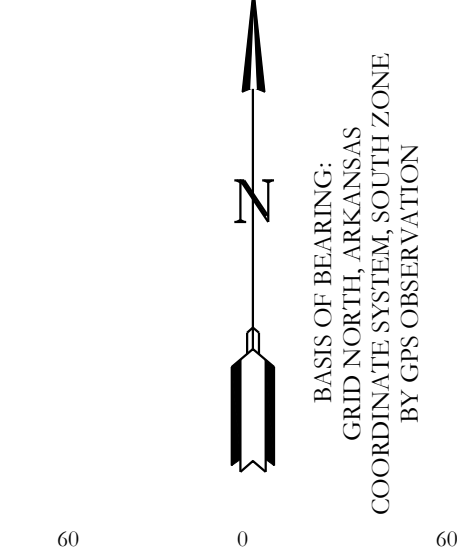
FOR USE AND BENEFIT OF:  
**HAVENS DEVELOPMENT, LLC**

**FINAL PLAT  
 HILLDALE CROSSING PHASE 2  
 A SUBDIVISION IN SALINE COUNTY, ARKANSAS**

DATE: 05/10/2023	C.A.D. BY: BJOHNSON	DRAWING NUMBER: 20-0169
REVISID:	CHECKED BY:	SCALE: 1"=60'
500	1S	14W
0	3	330
62	1762	

**Line Table**

Line #	Direction	Length
1.3	S46°06'12"E	30.78'
1.4	N42°59'06"W	25.00'
1.7	N86°33'06"W	22.77'
1.8	N89°23'01"W	21.11'
1.9	N37°27'25"E	24.22'



- LEGEND**
- Stop Sign
  - Street light
  - Fire Hydrant
  - Computed point
  - Found monument
  - Set #4 RB/Plas. Cap (SIP)
  - Decided (D)
  - Measured (M)
  - Platted (P)



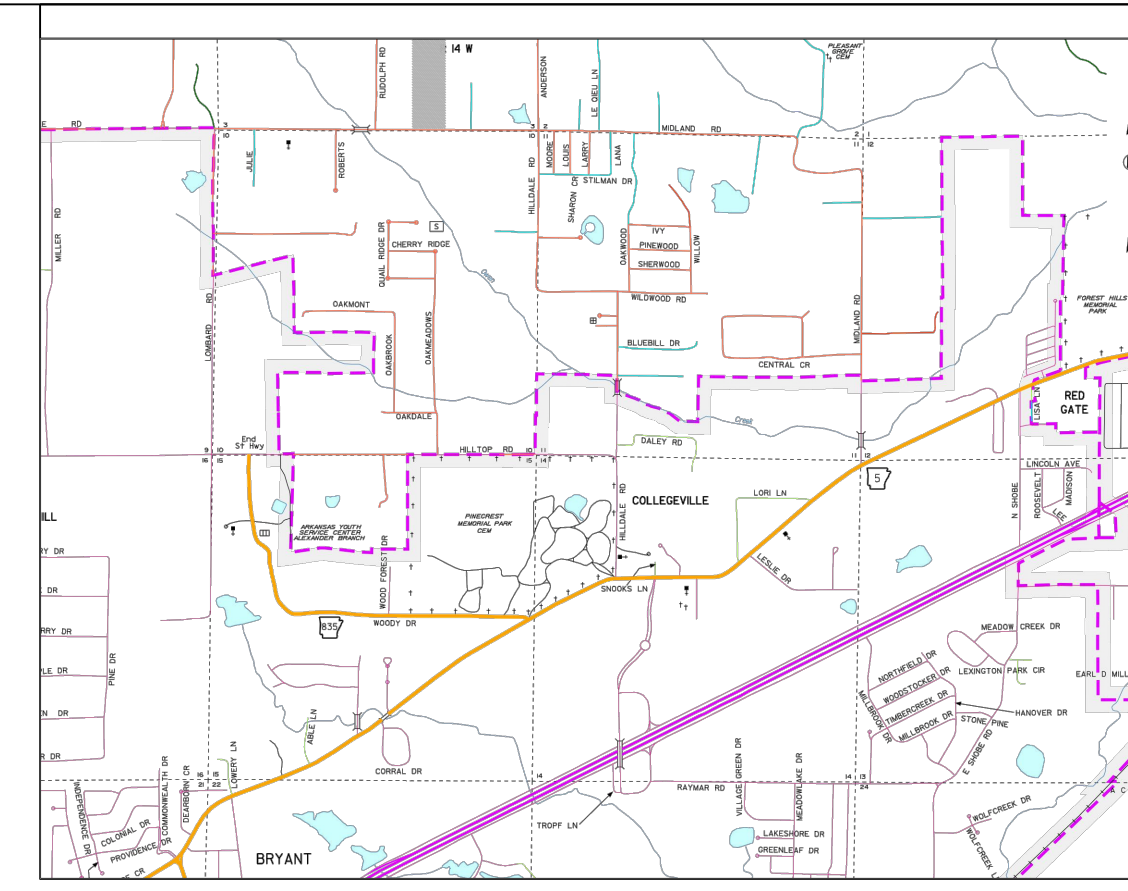
WINKLER GARY & PAT  
 SALINE COUNTY  
 TAX PARCEL #0016389-001

MAINTENANCE OF DRAINAGE & DRAINAGE STRUCTURES WILL BE THE RESPONSIBILITY OF THE POA FROM THE OUTLET STRUCTURE TO HILLDALE ROW

RIGHT OF WAY TO BE DEDICATED TO SALINE COUNTY

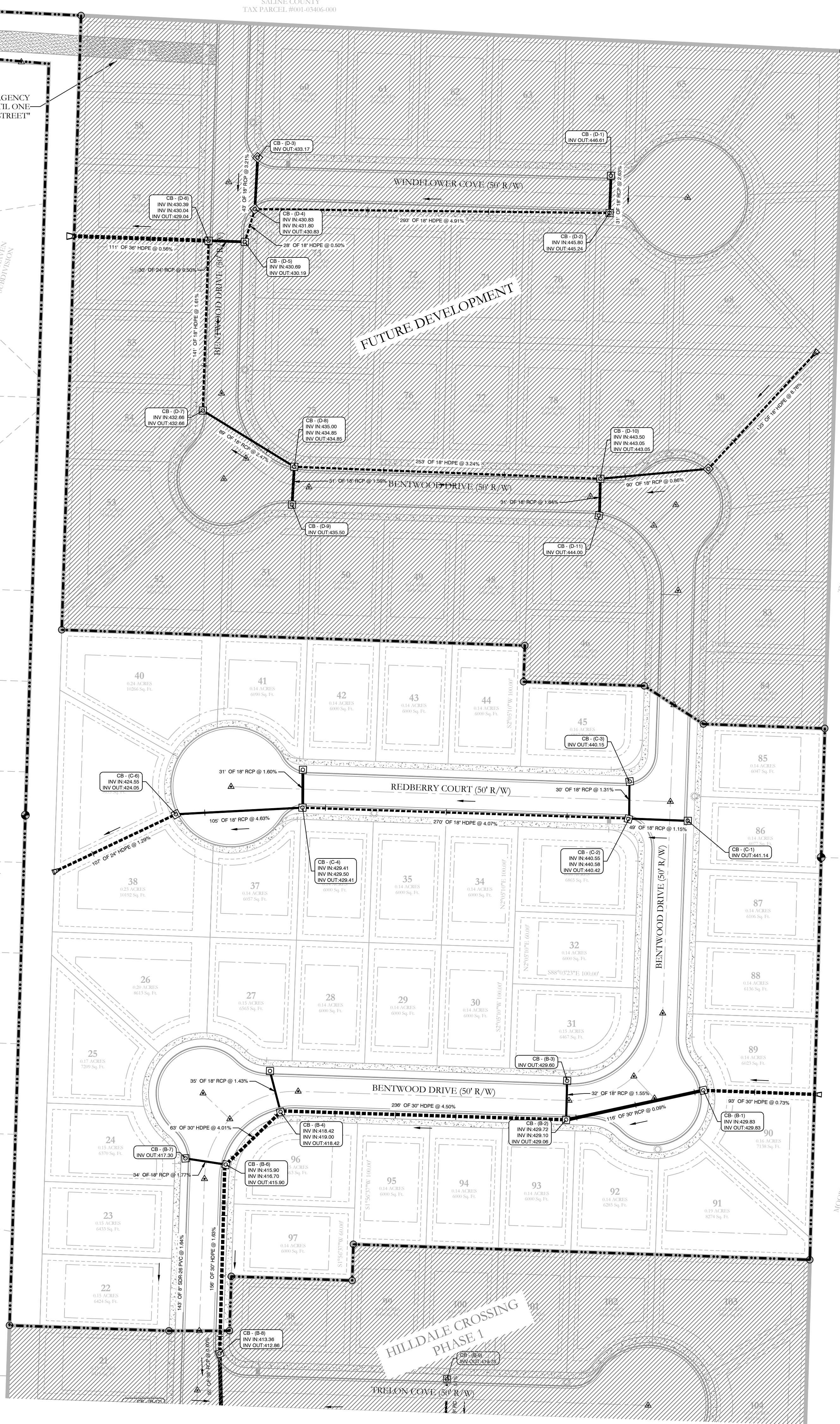
RIGHT OF WAY TO BE DEDICATED TO SALINE COUNTY

POINT OF COMMENCEMENT RAIL SPIKE SE CORNER SW 1/4 SE 1/4, SECTION 3, T-01-S, R-14-W



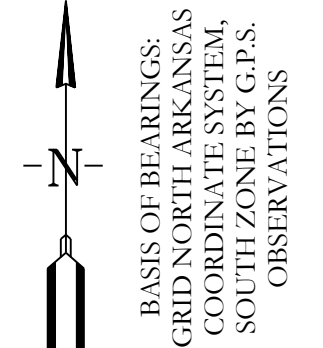
BOSSHART MARGARET  
ALANNA S & KIMBERLY C.  
SALINE COUNTY  
TAX PARCEL #001-03406-000

\*LOT 59 RESERVED FOR TEMPORARY EMERGENCY VEHICLE ACCESS FROM RUDOLPH LANE UNTIL ONE STUB STREET OPENS TO A PUBLIC ACCESS STREET\*

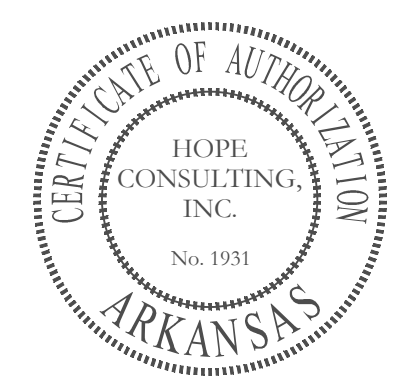


TUCKER CREEK & MEGAN  
SALINE COUNTY  
TAX PARCEL #001-03404-002

MOORE REDD LAGUE  
SALINE COUNTY  
TAX PARCEL #001-03412-004



## DRAINAGE AS-BUILTS HILLDALE CROSSING PHASE 2 A SUBDIVISION IN SALINE COUNTY, ARKANSAS

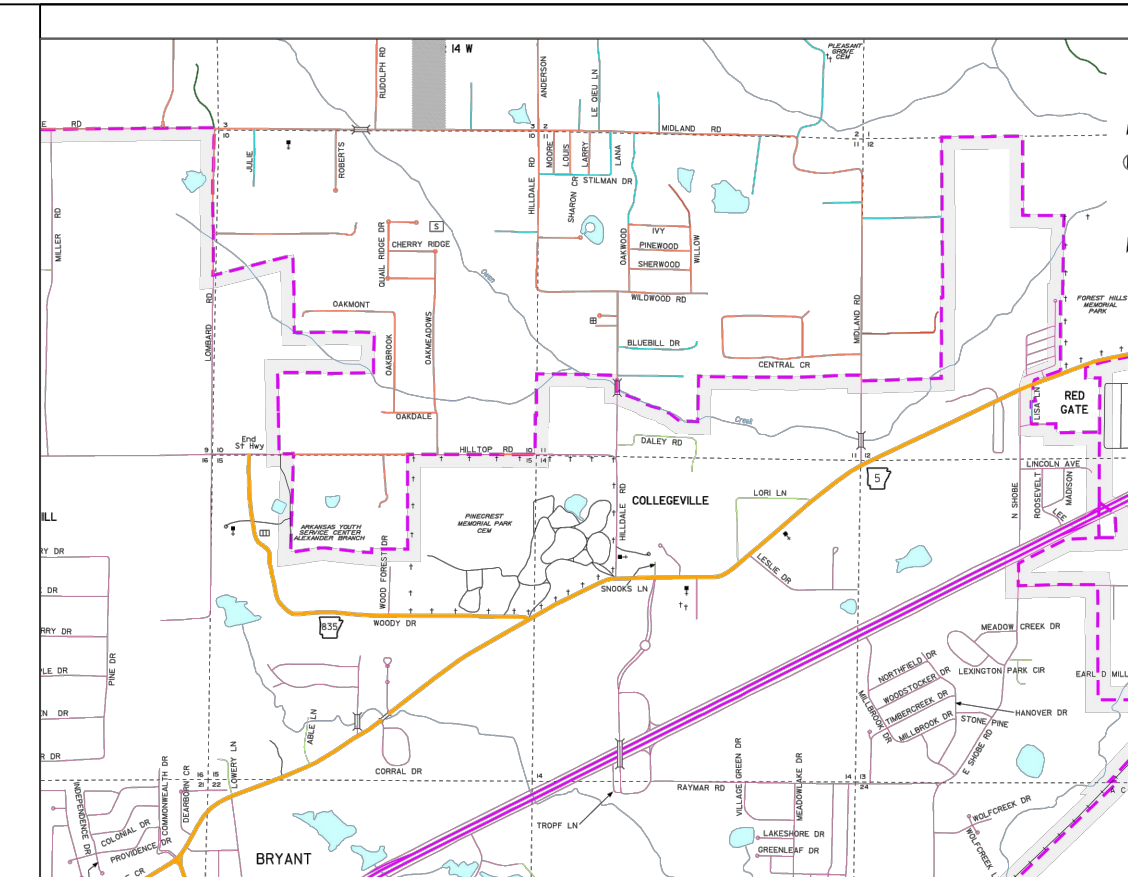


**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

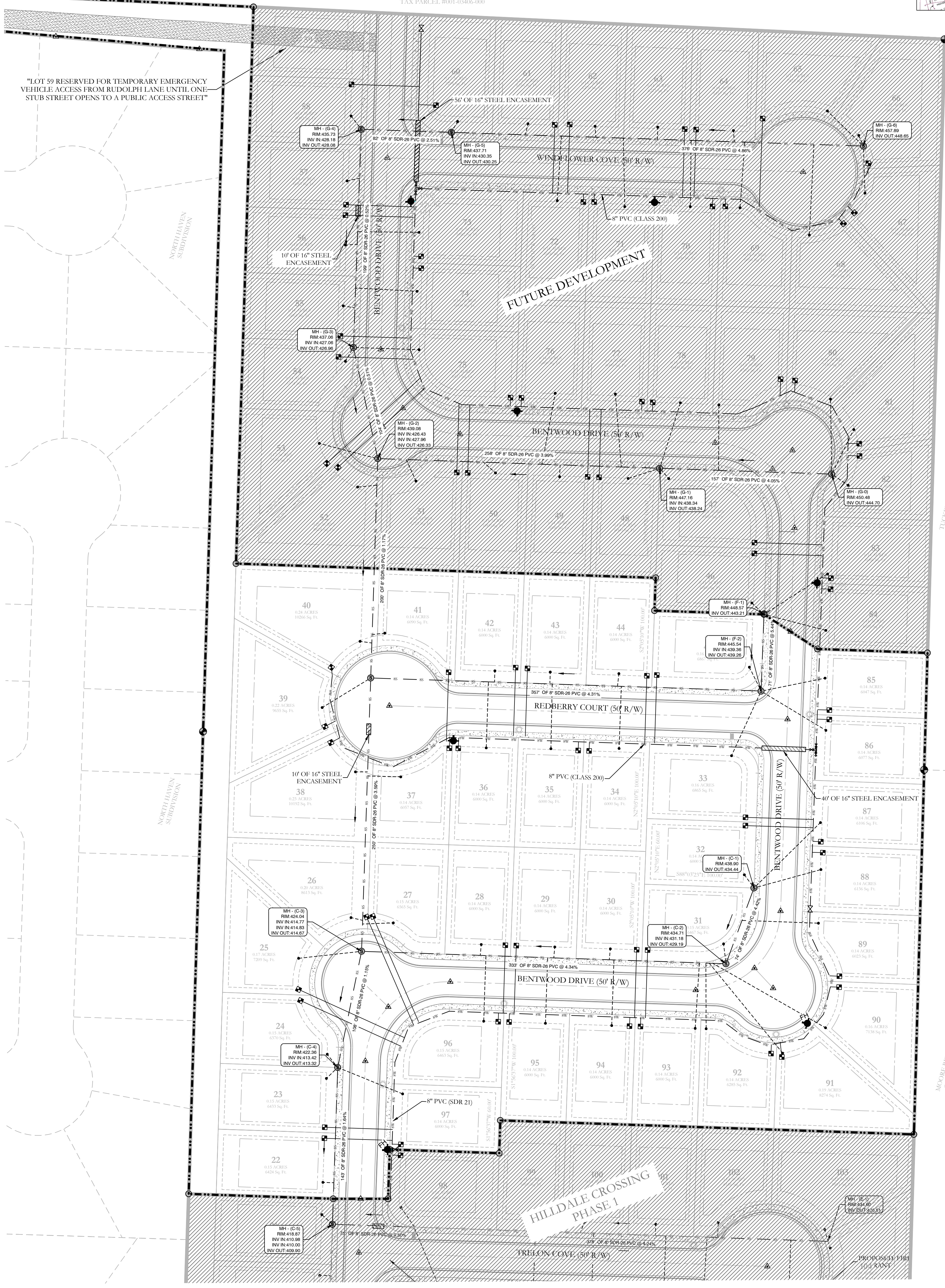
117 S. Market Street,  
Benton, Arkansas 72015  
PH. (501) 315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVENS DEVELOPMENT, LLC</b>		
DRAINAGE AS-BUILTS PLAN <b>HILLDALE CROSSING PHASE 2</b> A SUBDIVISION IN SALINE COUNTY, ARKANSAS		
DATE: 05/10/2023	C.A.D. BY: BJOHNSON	DRAWING NUMBER: 20-0169
REVISED:	CHECKED BY:	SCALE: 1"=50'
500	01S	14W 0 03 330 62 1762

C:\APR\PROJECTS\2020\HILLDALE CROSSING\PHASE 2\HILLDALE CROSSING PHASE 2 AS-BUILT 15-10-2023.DWG



BOSSHART MARGARET  
ALANA S & KIMBERLY C  
SALINE COUNTY  
TAX PARCEL #001-03406-000

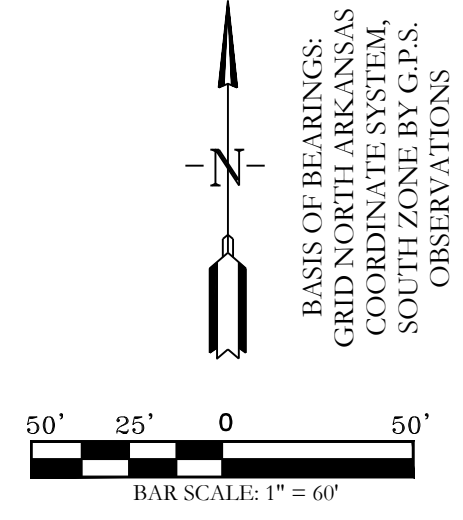


TUGAHER, GIBBS & MORGAN  
SALINE COUNTY  
TAX PARCEL #001-03406-000

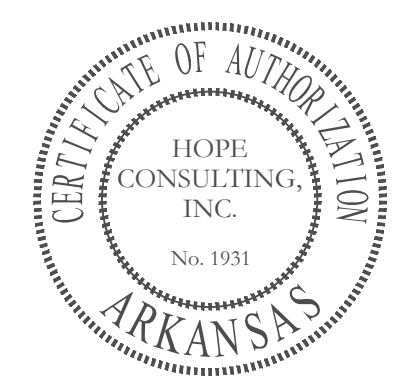
MOORE, REDD, GALE  
SALINE COUNTY  
TAX PARCEL #001-03406-000

## SANITARY SEWER AND WATER AS-BUILTS HILLDALE CROSSING PHASE 2

A SUBDIVISION IN SALINE COUNTY, ARKANSAS



SEWER LEGEND:	WATER LEGEND:	TYPICAL FIRE HYDRANT:
<ul style="list-style-type: none"> <li> AIR RELEASE VALVE</li> <li> CLEAN OUT</li> <li> ISOLATION VALVE</li> <li> SEWER SERVICE</li> <li> SEWER SERVICE</li> </ul>	<ul style="list-style-type: none"> <li> 3" BLOW OFF</li> <li> GATE VALVE</li> <li> REDUCER</li> <li> WATER LINE</li> <li> FIRE HYDRANT</li> <li> DOUBLE WATER SERVICE</li> <li> SINGLE WATER SERVICE</li> </ul>	<ul style="list-style-type: none"> <li> 3" BLOW OFF</li> <li> REDUCER</li> <li> 8"</li> <li> 8"</li> <li> GATE VALVE</li> <li> FIRE HYDRANT</li> </ul>
<p><small>NOTE: PROPOSED SEWER MAINS IS TO HAVE TRACER WIRE. ALSO A NON-BIODEGRADABLE TRENCH MARKING THE LINE AS "SEWER" MUST BE PLACED AT LEAST 18" ABOVE THE SEWER MAINS.</small></p> <p><small>NOTE: ALL FIRE HYDRANT LEADERS HAVE A GATE VALVE BETWEEN MAIN AND FIRE HYDRANT.</small></p>		



**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

117 S. Market Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

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FOR USE AND BENEFIT OF:  
HAVENS DEVELOPMENT, LLC

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WATER & SEWER AS-BUILTS PLAN  
HILLDALE CROSSING PHASE 2  
A SUBDIVISION IN SALINE COUNTY, ARKANSAS

DATE: 05/10/2023	C.A.D. BY: BJOHNSON	DRAWING NUMBER: 20-0169
REVISED:	CHECKED BY:	SCALE: 1"=50'

500 01S 14W 0 03 330 62 1762

I:\CADD\PROJECTS\2020\HILLDALE CROSSING\PHASE 2\AS-BUILT\20-0169.DWG  
 2023/05/10 10:00 AM  
 BJOHNSON



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# First Electric Cooperative Corporation

P.O. Box 5018  
Jacksonville, Arkansas 72078-5018  
(501) 982-4545 • (800) 489-7405

May 2, 2023

Mr. Truett-Smith  
Planning Director  
City of Bryant Planning and Development  
210 S.W. Third Street  
Bryant, Arkansas 72022

RE: Installation of Electrical facilities for Hilldale Crossing Phase Two

Dear Mr. Smith

This letter is to inform you that the developer for the above referenced subdivision has paid First Electric Cooperative all fees associated with the installation of electric facilities for the above referenced development. The underground conduits have been installed. The installation of the conductors, transformers, and street lighting will be completed as soon as contract crews become available. First Electric has requested that our contractor provide additional crews. The electric utility industry is currently experiencing a severe labor shortage.

We anticipate that the installation of the remaining equipment will take two weeks to complete as crews become available.

If you need additional information, please let me know.

Sincerely

A handwritten signature in blue ink, appearing to read "Randy Jones", is written over the typed name.

Randy Jones  
Field Engineer



# First Electric Cooperative Corporation

P.O. Box 5018  
Jacksonville, Arkansas 72078-5018  
(501) 982-4545 • (800) 489-7405

## NOTICE OF CONSTRUCTION PAYMENT REQUIRED

As summarized below, you recently inquired and/or applied for electric service which would require construction of new facilities.

Your share of the construction cost, the amount specified below as "Payment Required", must be paid in full before the project can be scheduled. You may make payment by mailing a check using the enclosed envelope or visiting any First Electric office. Please include a copy of this notice with your check.

**If you have previously submitted payment, please disregard this notice.**

If you have any questions regarding this matter, please call our office at **1-800-489-7405**. Thank you for the opportunity to be of service.

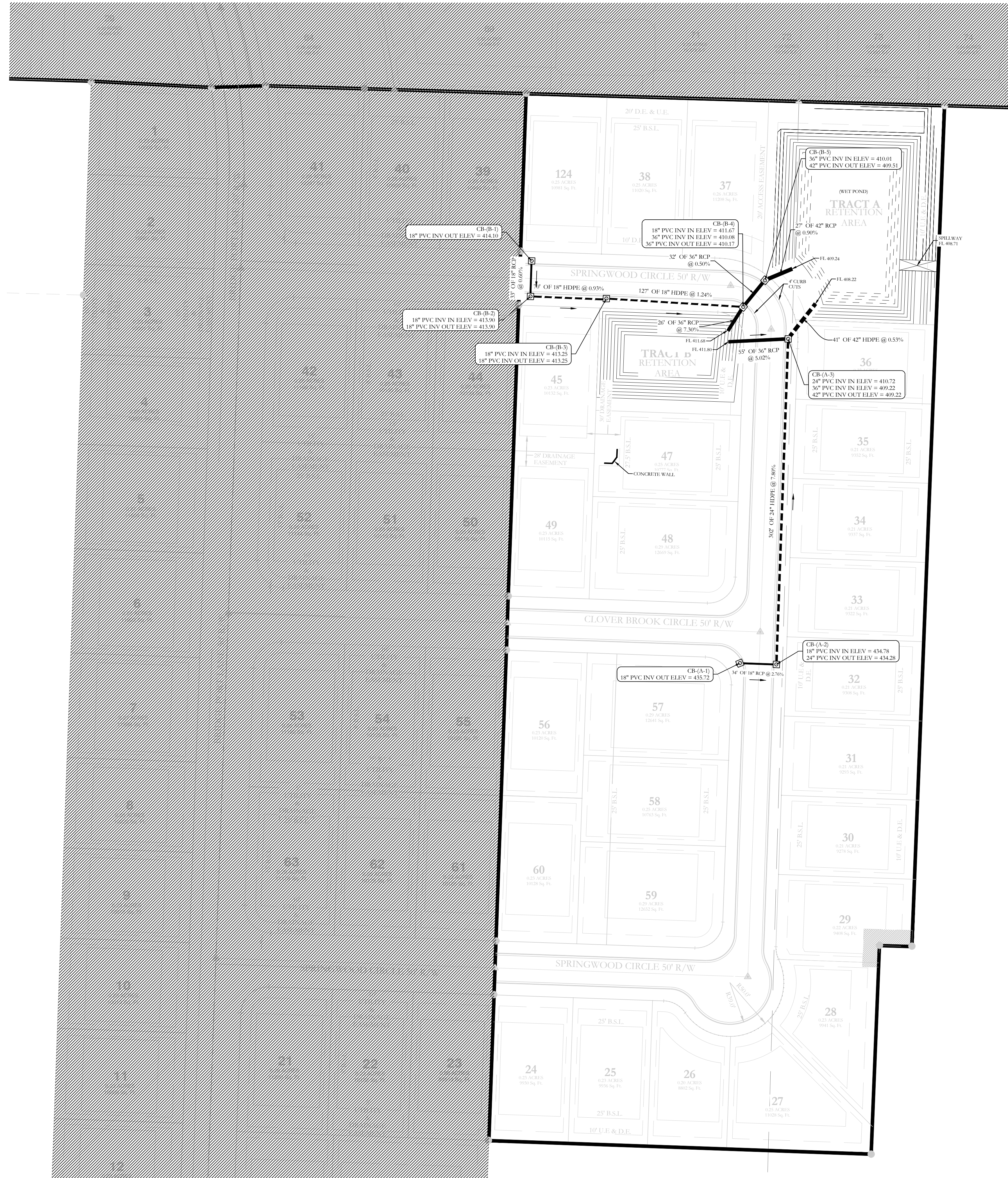
Name:	E - SAMS HILL SUBDIVISION PHASE 2
Account Number:	
Job Description:	UG subdivision with 9 street lights
Service Address:	Sams Hill subdivision
City:	
Work Order Number:	64086123
Service Order Number:	
District:	BENTON
Design Technician:	Doug Hall
Notification Date:	<b>2022-09-14</b>
Payment Required:	<b>\$3,500.00 + \$23,114.23</b>

**This agreement and cost of service calculation is valid for 90 days from the date of this notice.**





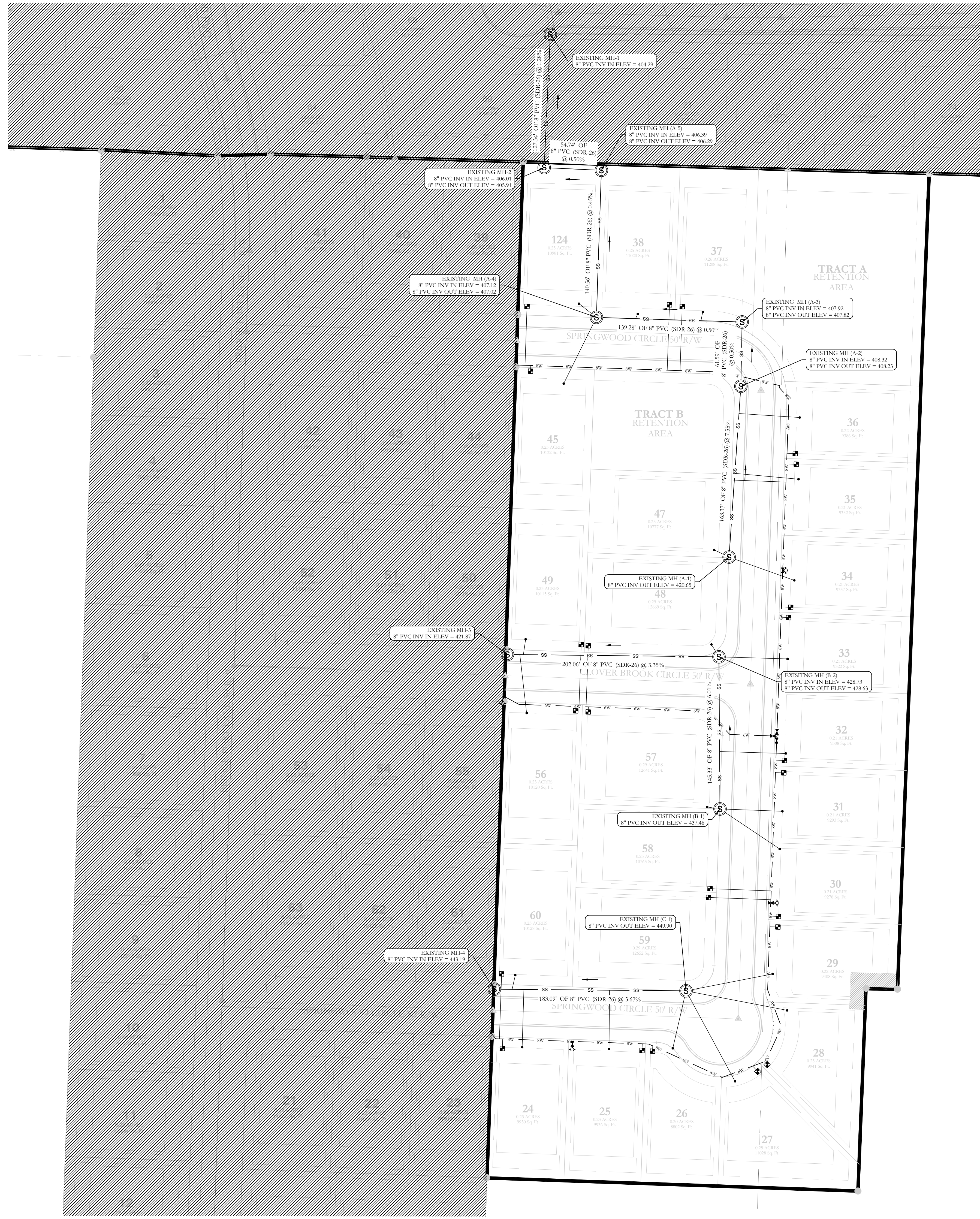
Know what's below.  
Call before you dig.



<b>HOPE CONSULTING</b> ENGINEERS - SURVEYORS		129 N. Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501)315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: <b>CYPRESS VALLEY</b>			
<b>DRAINAGE AS-BUILTS</b> <b>CYPRESS VALLEY, PHASE 2</b> A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 05/10/2023	C.A.D. BY:	DRAWING NUMBER	
REVISED:	CHECKED BY:	21-0421	
SHEET:	SCALE: 1" = 50'		
500	01S	14W	0 10 300 62 1762



Know what's below.  
Call before you dig.



- SEWER CONSTRUCTION NOTES:**
1. ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT \* STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION\*
  2. ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.
  3. FORCE MAIN WILL BE TESTED IN ACCORDANCE WITH BRYANT WATER/WASTEWATER SPECIFICATION SECTION 5200-1.03.A.4
  4. SANITARY SEWER FORCE MAIN SHALL BE INSTALLED IN ACCORDANCE WITH BRYANT WATER/WASTEWATER SPECIFICATIONS.
  5. CONNECTING MANHOLE FROM FORCE MAIN SHALL BE REQUIRED TO BE COATED WITH AN EPOXY COATING ACCORDANCE WITH BRYANT WATER/WASTEWATER SPECIFICATION SECTION 1200-1.07A.1.1

**WATER UTILITY NOTES:**

ALL NEW 8-INCH AND 6-INCH WATER MAINS TO BE C900 DR 14 PVC

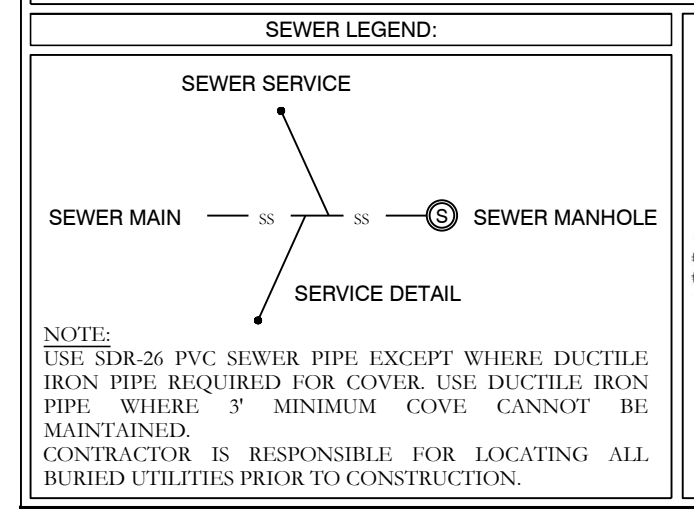
ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT \*STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION\*

WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASUREMENT PIPE. THE STEEL ENCASUREMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.

EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAN).

THE SEWER/WATER MAIN CROSSINGS THAT REQUIRE ENCASUREMENT REQUIRE TEN (10) LINEAR FEET OF PIPE ON EITHER SIDE OF THE CROSSING.

ADH RULES PERTAINING TO PUBLIC WATER SYSTEMS NOTES REGARDING CROSS-CONNECTIONS AND SEPARATIONS OF WATER AND SEWER. WATER AND SEWER WILL BE 10 FEET APART IN PARALLEL AND IN THE CASE OF WATER CROSSING SEWER WATER LINE SHOULD BE MINIMUM 18" ABOVE SEWER LINE. AT THE EVENT OF WATER CROSSING BELOW SWER EITHER ONE OF THE PIPE WILL NEED TO BE ENCASED.



**HOPE CONSULTING**  
ENGINEERS + SURVEYORS

129 N. Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501)315-0024  
www.hopeconsulting.com

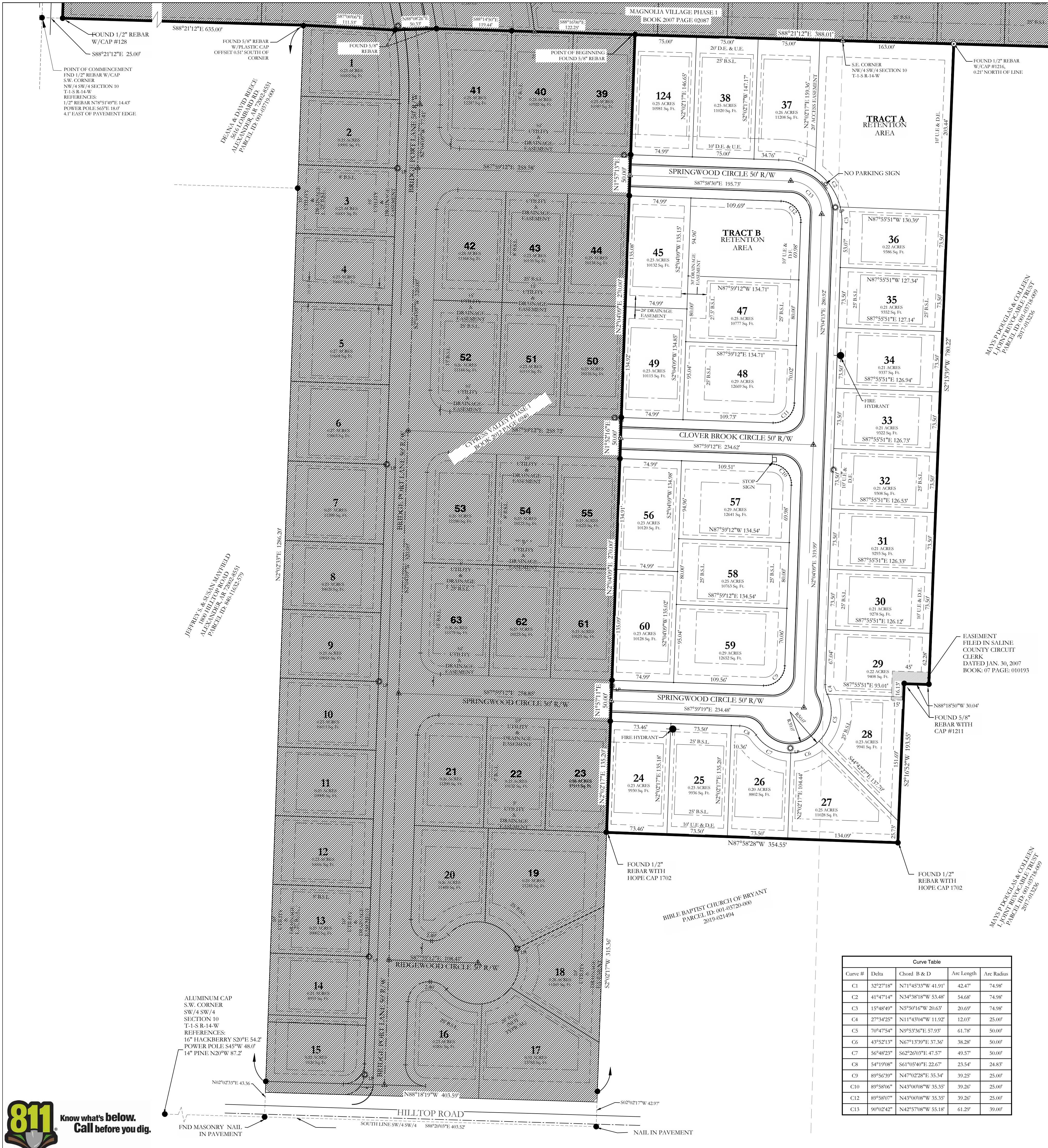
FOR USE AND BENEFIT OF:  
**CYPRESS VALLEY**

**WATER & SEWER ASBUILTS**  
**CYPRESS VALLEY, PHASE 2**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 05/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	21-0421
SHEET:	SCALE: 1" = 50'	
500	01S	14W 0 10 300 62 1762

**WATER LEGEND:**

	DUAL WATER METERS
	SINGLE WATER METER
	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

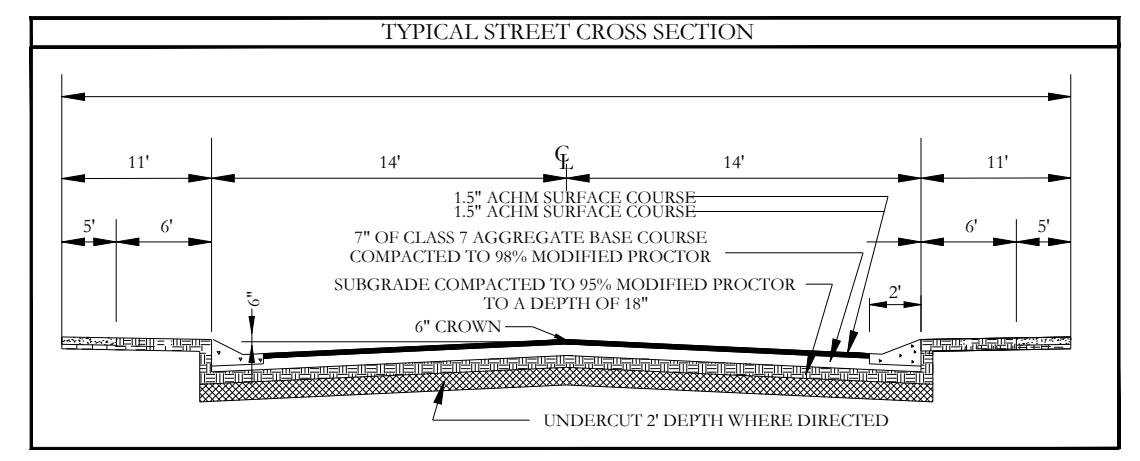
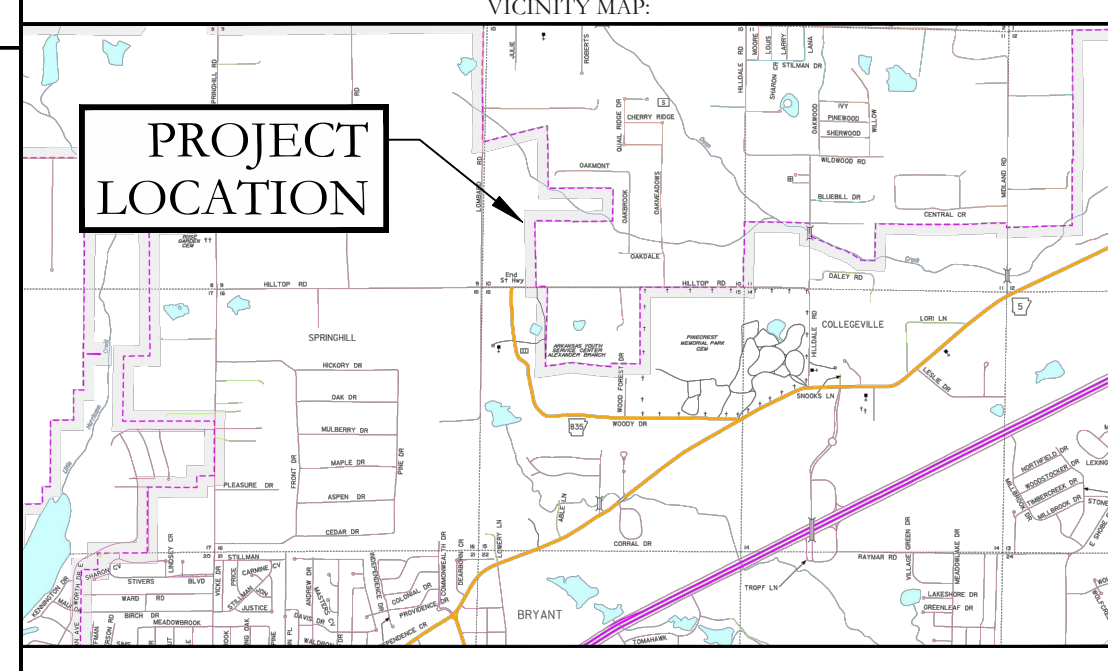


NOTES

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- MAGNOLIA VILLAGE PHASE 1 FINAL PLAT FILED ON FEB. 27, 2007, SALINE COUNTY CIRCUIT CLERK, BOOK 07, PAGE 20887
- WARRANTY DEED, BOOK 10, PAGE 059270 FILED FOR RECORD ON JULY 10, 2010 SALINE COUNTY
- CYPRESS VALLEY PHASE 1 FINAL PLAT FILED ON JANUARY 31, 2012, SALINE COUNTY CIRCUIT CLERK, BOOK 2012, PAGE 6940
- DELTON BROWN SURVEY SIGNED ON JANUARY 23, 2004, FILED FOR RECORD ON MARCH 5, 2004, SALINE COUNTY CIRCUIT CLERK, BOOK 04, PAGE 18723
- NO OTHER DOCUMENTS WERE PROVIDED FOR, NOR ARE REFERENCED ON THIS SURVEY.

- AREAS AS SURVEYED  
 - IN SW/4 SW/4 5.72 ACRES  
 - IN SE/4 SW/4 2.78 ACRES



PART OF THE SE/4 SW/4 OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 14 WEST, IN SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NW/4 SW/4 OF SECTION 10, A FOUND 1/2" REBAR; THENCE S88°21'12"E 25.00 TO THE SOUTHWEST CORNER OF PHASE 1, MAGNOLIA VILLAGE, A FOUND 1/2" REBAR; THENCE AT PLATTED BEARING OF S88°21'12"E ALONG THE SOUTH BOUNDARY OF MAGNOLIA VILLAGE SUBDIVISION 635.00 FEET; THENCE S87°00'06"E 111.53 FEET TO A FOUND 5/8" REBAR; THENCE S88°08'27"E 50.33 FEET TO A FOUND 5/8" REBAR; THENCE S88°14'50"E 119.44 FEET TO A FOUND 5/8" REBAR; THENCE S88°16'00"E 122.25 FEET TO THE POINT OF BEGINNING, A FOUND 5/8" REBAR; THENCE S88°21'12"E 388.01 FEET ALONG SOUTH LINE OF MAGNOLIA VILLAGE PHASE 1 TO A SET 1/2" REBAR AND CAP, THENCE LEAVING THE SOUTH LINE OF MAGNOLIA VILLAGE PHASE 1 S2°13'39"W 780.22 FEET TO A FOUND 5/8" REBAR WITH CAP #1211, THENCE N88°18'50"W 30.04 FEET TO A FOUND #5 REBAR WITH CAP #1702, THENCE S02°16'52"W 193.55 FEET TO A FOUND #5 REBAR WITH CAP #1702, THENCE N87°58'28"W 354.55 FEET TO THE EAST BOUNDARY OF CYPRESS VALLEY PHASE 1; THENCE N02°02'17"E 135.20 FEET ALONG THE EAST BOUNDARY OF CYPRESS VALLEY PHASE 1, CONTINUING ALONG SAID BOUNDARY N01°57'11"E 50.00 FEET; N02°04'09"E 270.00 FEET; N01°52'16"E 50.00 FEET; N02°04'09"E 270.00 FEET; N01°57'13"E 50.00 FEET; N02°02'17"E 146.17 FEET TO THE SOUTH LINE OF MAGNOLIA VILLAGE PHASE 1, A FOUND #4 REBAR WITH HOPE CAP #1702 AND THE POINT OF BEGINNING. CONTAINING AN AREA OF 8.5 ACRES.

NOTE:

1. TRACT A & TRACT B WILL BE UTILIZED AS A DETENTION BASIN, DRAINAGE AND UTILITY EASEMENTS MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.

OWNER: Kennedy Development, LLC  
 Name: Kennedy Development, LLC  
 Address: 1229 Hot Springs Hwy, Benton, AR 72089

DEVELOPER: Kennedy Development, LLC  
 Name: Kennedy Development, LLC  
 Address: 1229 Hot Springs Hwy, Benton, AR 72089

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution: \_\_\_\_\_ Name: \_\_\_\_\_

Source of Title: 2021-010792

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution: \_\_\_\_\_ Name: Jonathan L. Hope  
 Registered Professional Land Surveyor No. 1762  
 Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:

I, Kazi Islam, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

Date of Execution: \_\_\_\_\_ Name: Kazi Islam  
 Registered Professional Engineer, No. 20876  
 Arkansas

CERTIFICATE OF FINAL APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held on \_\_\_\_\_, 20\_\_\_\_. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution: \_\_\_\_\_ Name: Rick Jordan,  
 Bryant Planning Commission

PROPERTY SPECIFICATIONS:	
OWNER: KENNEDY DEVELOPMENT LLC 1229 HOT SPRINGS HWY BENTON, AR 72015	NUMBER OF LOTS: 25 SOURCE OF WATER: CITY OF BRYANT SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC ENERGY SOURCE OF GAS: CENTERPOINT
DEVELOPER: KENNEDY DEVELOPMENT LLC 1229 HOT SPRINGS HWY BENTON, AR 72015	BUILDING SETBACKS: FRONT: 25' OR AS SHOWN REAR: 25' OR AS SHOWN SIDE: 8' OR AS SHOWN
ENGINEERS: HOPE CONSULTING, INC. 129 N. MAIN STREET BENTON, AR 72015	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION: CYPRESS VALLEY PHASE 2 SOURCE OF TITLE: DEED BOOK 2012, PAGE 6972	ZONING: PROPOSED R-2

By affixing my seal and signature, I Jonathan L. Hope, Arkansas PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled by me or under my direct supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Flood Insurance Rate Map, panel # 05125C0240E, dated: 06/05/2020.

FOR USE AND BENEFIT OF:

**KENNEDY DEVELOPMENT, LLC**

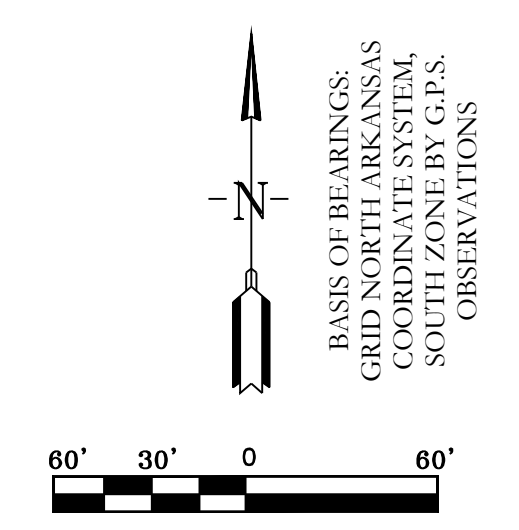
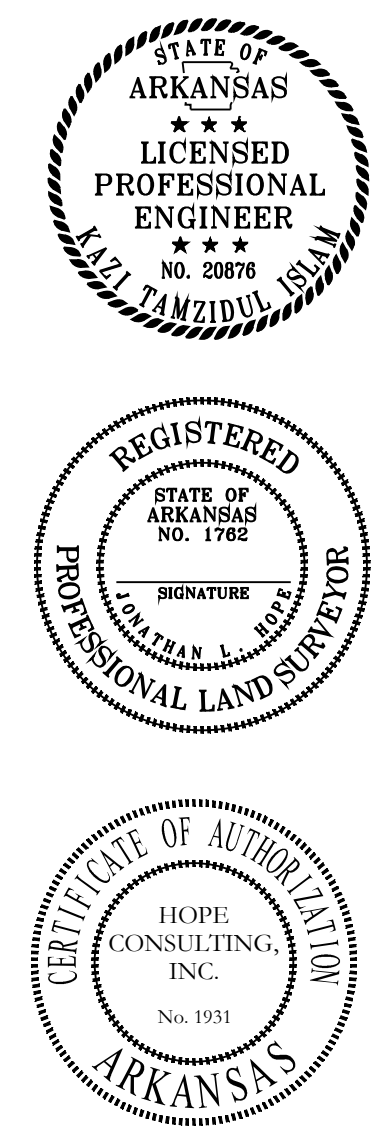
129 N. Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FINAL PLAT  
CYPRESS VALLEY SUBDIVISION PHASE 2  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 05/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	21-0421
SHEET:	SCALE: 1" = 60'	
500 01S 14W 0 10 300	0 10 300	62 1762



Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	32°27'18"	N71°45'33"W 41.91'	42.47'	74.98'
C2	41°47'14"	N34°38'18"W 53.48'	54.68'	74.98'
C3	15°48'49"	N5°50'16"W 20.63'	20.69'	74.98'
C4	27°34'25"	N11°43'04"W 11.92'	12.03'	25.00'
C5	70°47'54"	N0°53'36"E 37.93'	61.78'	50.00'
C6	43°52'13"	N67°13'39"E 37.30'	38.28'	50.00'
C7	56°48'23"	S62°20'03"E 47.57'	49.57'	50.00'
C8	54°19'08"	S61°05'40"E 22.67'	23.54'	24.83'
C9	89°56'39"	N47°02'28"E 35.34'	39.25'	25.00'
C10	89°58'06"	N45°06'08"W 35.35'	39.20'	25.00'
C12	89°58'07"	N45°06'08"W 35.35'	39.20'	25.00'
C13	90°02'42"	N42°57'08"W 55.18'	61.29'	39.00'



**MAINTENANCE  
BOND**

**United States Fire Insurance Company**

Bond No.: 602-200386-9

KNOWN ALL BY THESE PRESENTS: That we Sam Johnson Construction, Inc.,  
as Principal, and United States Fire Insurance Company, a corporation  
organized and existing under the Laws of the State of Delaware, as Surety, are held  
and firmly bound unto City Of Bryant, as Obligee, in the  
total sum of \_\_\_\_\_  
U.S. Dollars (120,197.00) for the payment whereof said Principal and Surety bind  
themselves, jointly and severally, as provided herein.

WHEREAS, the Principal entered into a contract with the Obligee dated 5-9-2023 for  
Cypress Valley Ph2 Bridgeport Road Water/Wastewater  
("Work").

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal  
shall maintain and remedy said Work free from defects in materials and workmanship for a  
period of 2 year(s) commencing on 5-9-2023 (the  
"Maintenance Period"), then this obligation shall be void; otherwise it shall remain in full force  
and effect.

PROVIDED, HOWEVER, that any suit under this bond shall be commenced no later than one  
(1) year from the expiration date of the Maintenance Period; provided, however, that if this  
limitation is prohibited by any law controlling the construction hereof, such limitation shall be  
deemed to be amended so as to be equal to the minimum period of limitation permitted by  
such law, and said period of limitation shall be deemed to have accrued and shall commence  
to run on the expiration date of the Maintenance Period.

SIGNED this 10 day of May, 2023.

Sam Johnson Construction, Inc.  
(Principal)

By: \_\_\_\_\_

United States Fire Insurance Company

By: \_\_\_\_\_

Neil Simpson

, Attorney-in-Fact

**POWER OF ATTORNEY  
UNITED STATES FIRE INSURANCE COMPANY  
PRINCIPAL OFFICE - MORRISTOWN, NEW JERSEY**

07080

**KNOW ALL MEN BY THESE PRESENTS:** That United States Fire Insurance Company, a corporation duly organized and existing under the laws of the state of Delaware, has made, constituted and appointed, and does hereby make, constitute and appoint:

*Neil Simpson, Kathy Richardson*

each, its true and lawful Attorney(s)-In-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver: Any and all bonds and undertakings of surety and other documents that the ordinary course of surety business may require, and to bind United States Fire Insurance Company thereby as fully and to the same extent as if such bonds or undertakings had been duly executed and acknowledged by the regularly elected officers of United States Fire Insurance Company at its principal office, in amounts or penalties not exceeding: **Seven Million, Five Hundred Thousand Dollars (\$7,500,000).**

This Power of Attorney limits the act of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind United States Fire Insurance Company except in the manner and to the extent therein stated.

This Power of Attorney is granted pursuant to Article IV of the By-Laws of United States Fire Insurance Company as now in full force and effect, and consistent with Article III thereof, which Articles provide, in pertinent part:

Article IV, Execution of Instruments - Except as the Board of Directors may authorize by resolution, the Chairman of the Board, President, any Vice-President, any Assistant Vice President, the Secretary, or any Assistant Secretary shall have power on behalf of the Corporation:

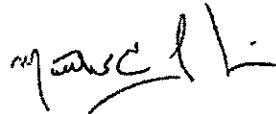
(a) to execute, affix the corporate seal manually or by facsimile to, acknowledge, verify and deliver any contracts, obligations, instruments and documents whatsoever in connection with its business including, without limiting the foregoing, any bonds, guarantees, undertakings, recognizances, powers of attorney or revocations of any powers of attorney, stipulations, policies of insurance, deeds, leases, mortgages, releases, satisfactions and agency agreements;

(b) to appoint, in writing, one or more persons for any or all of the purposes mentioned in the preceding paragraph (a), including affixing the seal of the Corporation.

Article III, Officers, Section 3.11, Facsimile Signatures. The signature of any officer authorized by the Corporation to sign any bonds, guarantees, undertakings, recognizances, stipulations, powers of attorney or revocations of any powers of attorney and policies of insurance issued by the Corporation may be printed, facsimile, lithographed or otherwise produced. In addition, if and as authorized by the Board of Directors, dividend warrants or checks, or other numerous instruments similar to one another in form, may be signed by the facsimile signature or signatures, lithographed or otherwise produced, of such officer or officers of the Corporation as from time to time may be authorized to sign such instruments on behalf of the Corporation. The Corporation may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Corporation, notwithstanding the fact that he may have ceased to be such at the time when such instruments shall be issued.

**IN WITNESS WHEREOF**, United States Fire Insurance Company has caused these presents to be signed and attested by its appropriate officer and its corporate seal hereunto affixed this 28th day of September, 2021.

UNITED STATES FIRE INSURANCE COMPANY



Matthew E. Lubin, President



State of New Jersey )  
County of Morris )

On this 28th day of September, 2021, before me, a Notary public of the State of New Jersey, came the above named officer of United States Fire Insurance Company, to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seal of United States Fire Insurance Company thereto by the authority of his office.

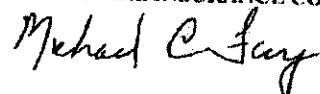


*Melissa H. D'Alessio*  
Melissa H. D'Alessio (Notary Public)

I, the undersigned officer of United States Fire Insurance Company, a Delaware corporation, do hereby certify that the original Power of Attorney of which the foregoing is a full, true and correct copy is still in force and effect and has not been revoked.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the corporate seal of United States Fire Insurance Company on the 7 day of MAY 2023

UNITED STATES FIRE INSURANCE COMPANY



Michael C. Fay, Senior Vice President



**MAINTENANCE  
BOND**

**United States Fire Insurance Company**

Bond No.: 602-200387-8

KNOWN ALL BY THESE PRESENTS: That we Sam Johnson Construction, Inc.,  
as Principal, and United States Fire Insurance Company, a corporation  
organized and existing under the Laws of the State of Delaware, as Surety, are held  
and firmly bound unto City Of Bryant, as Obligee, in the  
total sum of \_\_\_\_\_  
U.S. Dollars (54,250.00) for the payment whereof said Principal and Surety bind  
themselves, jointly and severally, as provided herein.

WHEREAS, the Principal entered into a contract with the Obligee dated 5-9-2023 for  
Cypress Valley Ph2 Bridgeport Road Street Specification Part 2.7  
("Work").

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal  
shall maintain and remedy said Work free from defects in materials and workmanship for a  
period of 1 year(s) commencing on 5-09-2023 (the  
"Maintenance Period"), then this obligation shall be void; otherwise it shall remain in full force  
and effect.

PROVIDED, HOWEVER, that any suit under this bond shall be commenced no later than one  
(1) year from the expiration date of the Maintenance Period; provided, however, that if this  
limitation is prohibited by any law controlling the construction hereof, such limitation shall be  
deemed to be amended so as to be equal to the minimum period of limitation permitted by  
such law, and said period of limitation shall be deemed to have accrued and shall commence  
to run on the expiration date of the Maintenance Period.

SIGNED this 10 day of May, 2023.

Sam Johnson Construction, Inc.  
(Principal)

By: 

United States Fire Insurance Company

By:   
Neil Simpson, Attorney-in-Fact

**POWER OF ATTORNEY  
UNITED STATES FIRE INSURANCE COMPANY  
PRINCIPAL OFFICE - MORRISTOWN, NEW JERSEY**

07080

**KNOW ALL MEN BY THESE PRESENTS:** That United States Fire Insurance Company, a corporation duly organized and existing under the laws of the state of Delaware, has made, constituted and appointed, and does hereby make, constitute and appoint:

*Neil Simpson, Kathy Richardson*

each, its true and lawful Attorney(s)-In-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver: Any and all bonds and undertakings of surety and other documents that the ordinary course of surety business may require, and to bind United States Fire Insurance Company thereby as fully and to the same extent as if such bonds or undertakings had been duly executed and acknowledged by the regularly elected officers of United States Fire Insurance Company at its principal office, in amounts or penalties not exceeding: **Seven Million, Five Hundred Thousand Dollars (\$7,500,000).**

This Power of Attorney limits the act of those named therein to the bonds and undertakings specifically named therein, and they have no authority to bind United States Fire Insurance Company except in the manner and to the extent therein stated.

This Power of Attorney is granted pursuant to Article IV of the By-Laws of United States Fire Insurance Company as now in full force and effect, and consistent with Article III thereof, which Articles provide, in pertinent part:

Article IV, Execution of Instruments - Except as the Board of Directors may authorize by resolution, the Chairman of the Board, President, any Vice-President, any Assistant Vice President, the Secretary, or any Assistant Secretary shall have power on behalf of the Corporation:

- (a) to execute, affix the corporate seal manually or by facsimile to, acknowledge, verify and deliver any contracts, obligations, instruments and documents whatsoever in connection with its business including, without limiting the foregoing, any bonds, guarantees, undertakings, recognizances, powers of attorney or revocations of any powers of attorney, stipulations, policies of insurance, deeds, leases, mortgages, releases, satisfactions and agency agreements;
- (b) to appoint, in writing, one or more persons for any or all of the purposes mentioned in the preceding paragraph (a), including affixing the seal of the Corporation.

Article III, Officers, Section 3.11, Facsimile Signatures. The signature of any officer authorized by the Corporation to sign any bonds, guarantees, undertakings, recognizances, stipulations, powers of attorney or revocations of any powers of attorney and policies of insurance issued by the Corporation may be printed, facsimile, lithographed or otherwise produced. In addition, if and as authorized by the Board of Directors, dividend warrants or checks, or other numerous instruments similar to one another in form, may be signed by the facsimile signature or signatures, lithographed or otherwise produced, of such officer or officers of the Corporation as from time to time may be authorized to sign such instruments on behalf of the Corporation. The Corporation may continue to use for the purposes herein stated the facsimile signature of any person or persons who shall have been such officer or officers of the Corporation, notwithstanding the fact that he may have ceased to be such at the time when such instruments shall be issued.

**IN WITNESS WHEREOF,** United States Fire Insurance Company has caused these presents to be signed and attested by its appropriate officer and its corporate seal hereunto affixed this 28th day of September, 2021.

UNITED STATES FIRE INSURANCE COMPANY



*Matthew E. Lubin*

Matthew E. Lubin, President

State of New Jersey )  
County of Morris )

On this 28th day of September, 2021, before me, a Notary public of the State of New Jersey, came the above named officer of United States Fire Insurance Company, to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seal of United States Fire Insurance Company thereto by the authority of his office.



*Melissa H. D'Alessio*  
Melissa H. D'Alessio (Notary Public)

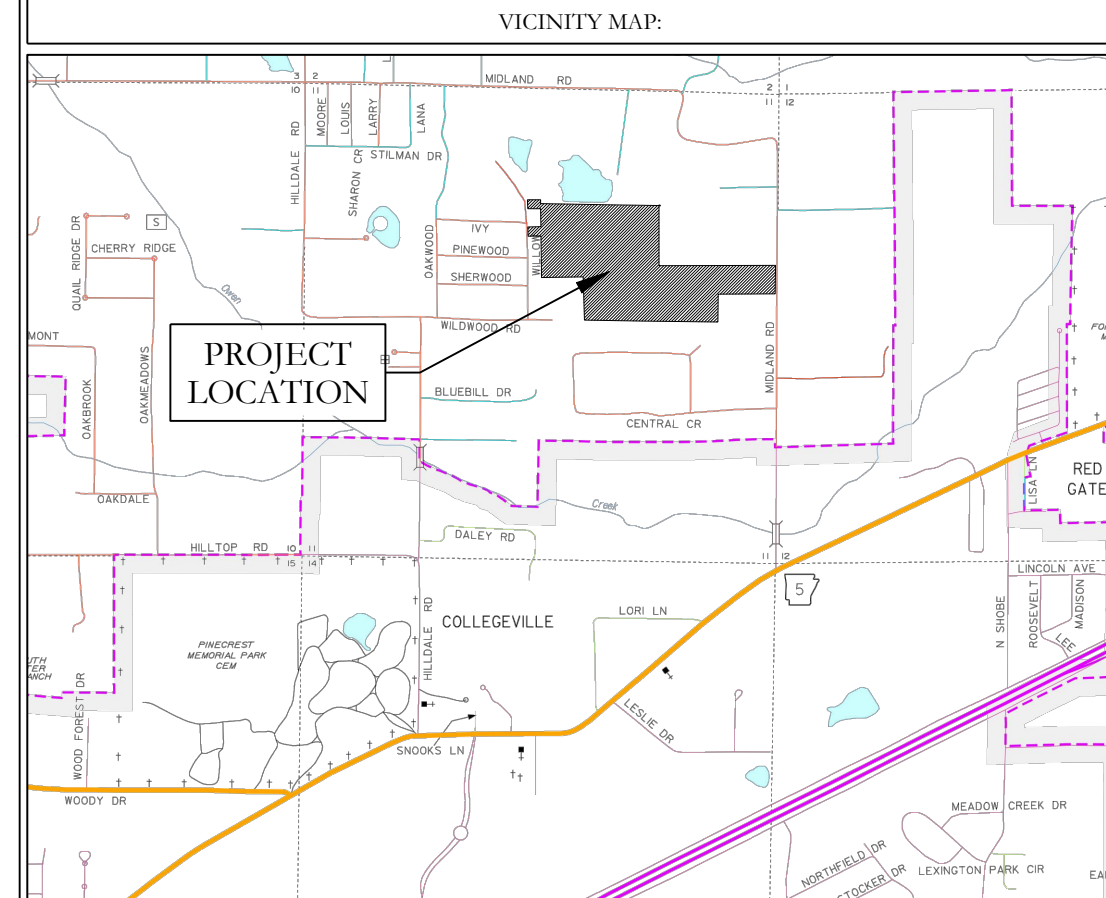
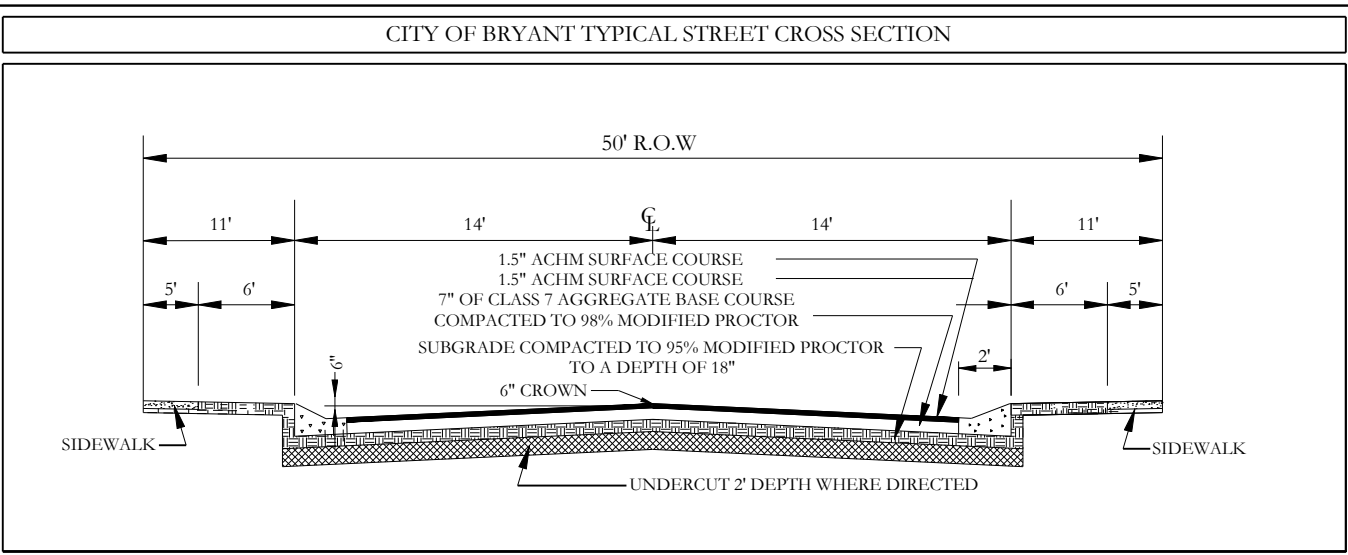
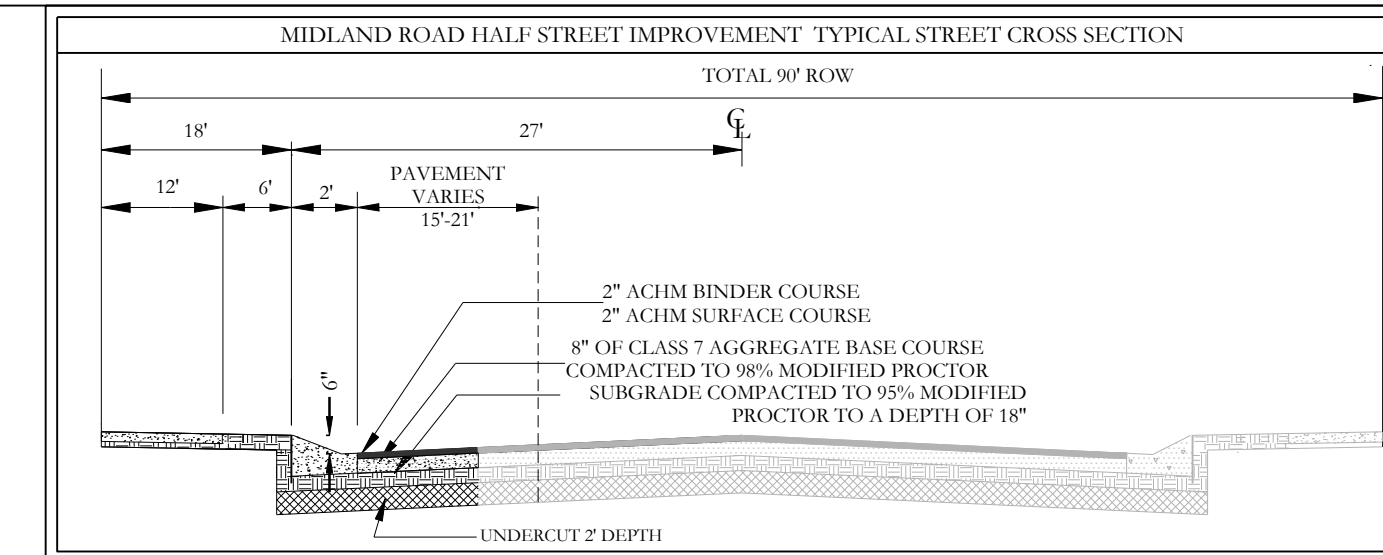
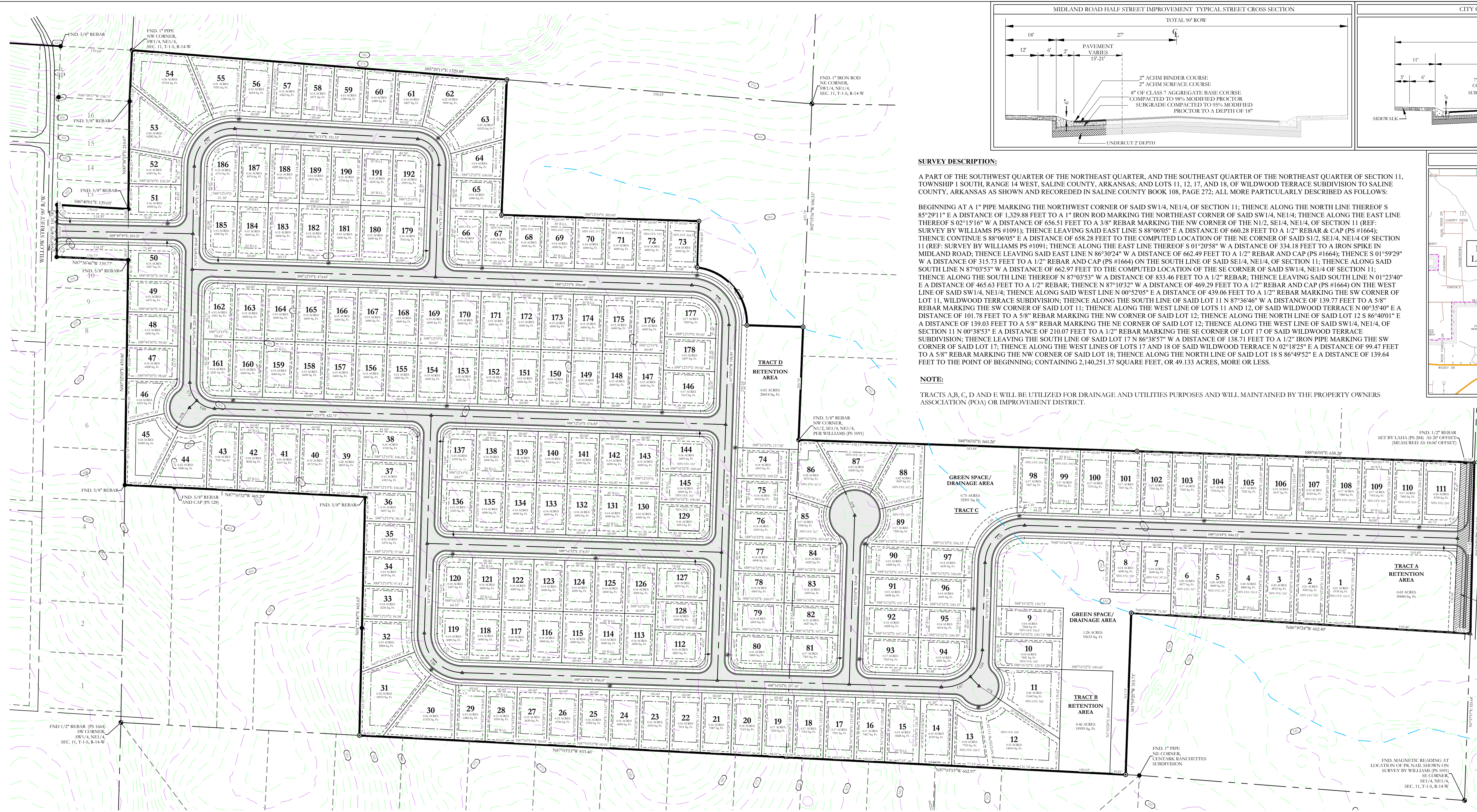
I, the undersigned officer of United States Fire Insurance Company, a Delaware corporation, do hereby certify that the original Power of Attorney of which the foregoing is a full, true and correct copy is still in force and effect and has not been revoked.

**IN WITNESS WHEREOF,** I have hereunto set my hand and affixed the corporate seal of United States Fire Insurance Company on the 7 day of MAY 20 23

UNITED STATES FIRE INSURANCE COMPANY



*Michael C. Fay*  
Michael C. Fay, Senior Vice President



**SURVEY DESCRIPTION:**

A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, AND THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; AND LOTS 11, 12, 17, AND 18, OF WILLOW TERRACE SUBDIVISION TO SALINE COUNTY, ARKANSAS AS SHOWN AND RECORDED IN SALINE COUNTY BOOK 108, PAGE 272; ALL MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1" PIPE MARKING THE NORTHWEST CORNER OF SAID SW1/4, NE1/4, OF SECTION 11, THENCE ALONG THE NORTH LINE THEREOF S 85°29'11" E A DISTANCE OF 1,329.88 FEET TO A 1" IRON ROD MARKING THE NORTHEAST CORNER OF SAID SW1/4, NE1/4; THENCE ALONG THE EAST LINE THEREOF S 02°15'16" W A DISTANCE OF 656.51 FEET TO A 3/8" REBAR MARKING THE NW CORNER OF THE N1/2, SE1/4, NE1/4, OF SECTION 11 (REF: SURVEY BY WILLIAMS PS #1091); THENCE LEAVING SAID EAST LINE S 88°06'05" E A DISTANCE OF 660.28 FEET TO A 1/2" REBAR & CAP (PS #1664); THENCE CONTINUE S 88°06'05" E A DISTANCE OF 658.28 FEET TO THE COMPUTED LOCATION OF THE NE CORNER OF SAID S1/2, SE1/4, NE1/4 OF SECTION 11 (REF: SURVEY BY WILLIAMS PS #1091); THENCE ALONG THE EAST LINE THEREOF S 01°20'58" W A DISTANCE OF 334.18 FEET TO A IRON SPIKE IN MIDLAND ROAD; THENCE LEAVING SAID EAST LINE N 86°39'24" W A DISTANCE OF 662.49 FEET TO A 1/2" REBAR AND CAP (PS #1664); THENCE S 01°59'29" W A DISTANCE OF 315.73 FEET TO A 1/2" REBAR AND CAP (PS #1664) ON THE SOUTH LINE OF SAID SW1/4, NE1/4, OF SECTION 11; THENCE ALONG SAID SOUTH LINE N 87°03'53" W A DISTANCE OF 662.97 FEET TO THE COMPUTED LOCATION OF THE SE CORNER OF SAID SW1/4, NE1/4 OF SECTION 11; THENCE ALONG THE SOUTH LINE THEREOF N 87°03'53" W A DISTANCE OF 833.46 FEET TO A 1/2" REBAR; THENCE LEAVING SAID SOUTH LINE N 01°23'40" E A DISTANCE OF 465.63 FEET TO A 1/2" REBAR; THENCE N 87°10'52" W A DISTANCE OF 469.29 FEET TO A 1/2" REBAR AND CAP (PS #1664) ON THE WEST LINE OF SAID SW1/4, NE1/4; THENCE ALONG SAID WEST LINE N 09°52'05" E A DISTANCE OF 439.06 FEET TO A 1/2" REBAR MARKING THE SW CORNER OF LOT 11, WILLOW TERRACE SUBDIVISION; THENCE ALONG THE SOUTH LINE OF SAID LOT 11 N 87°36'46" W A DISTANCE OF 139.77 FEET TO A 5/8" REBAR MARKING THE SW CORNER OF SAID LOT 11; THENCE ALONG THE WEST LINE OF LOTS 11 AND 12, OF SAID WILLOW TERRACE N 00°35'40" E A DISTANCE OF 101.78 FEET TO A 5/8" REBAR MARKING THE NW CORNER OF SAID LOT 12; THENCE ALONG THE NORTH LINE OF SAID LOT 12 S 86°40'01" E A DISTANCE OF 139.03 FEET TO A 5/8" REBAR MARKING THE NE CORNER OF SAID LOT 12; THENCE ALONG THE WEST LINE OF SAID SW1/4, NE1/4, OF SECTION 11 N 09°38'53" E A DISTANCE OF 210.67 FEET TO A 1/2" REBAR MARKING THE SE CORNER OF LOT 17 OF SAID WILLOW TERRACE SUBDIVISION; THENCE LEAVING THE SOUTH LINE OF SAID LOT 17 N 86°38'57" W A DISTANCE OF 138.71 FEET TO A 1/2" IRON PIPE MARKING THE SW CORNER OF SAID LOT 17; THENCE ALONG THE WEST LINES OF LOTS 17 AND 18 OF SAID WILLOW TERRACE N 02°18'25" E A DISTANCE OF 99.47 FEET TO A 5/8" REBAR MARKING THE NW CORNER OF SAID LOT 18; THENCE ALONG THE NORTH LINE OF SAID LOT 18 S 86°49'52" E A DISTANCE OF 139.64 FEET TO THE POINT OF BEGINNING; CONTAINING 2,140,251.37 SQUARE FEET, OR 49.133 ACRES, MORE OR LESS.

**NOTE:**

TRACTS A, B, C, D AND E WILL BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES AND WILL MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) OR IMPROVEMENT DISTRICT.

Curve Table					Curve Table					Curve Table							
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	36.44	25.00	83.51	N46°31'18"W	33.30	C27	43.88	100.00	25.14	N80°29'25"E	43.53	C52	78.60	50.00	90.07	S43°14'26"E	70.75
C2	78.54	50.00	90.00	S46°43'28"W	70.71	C28	13.22	75.00	10.10	S81°53'47"E	13.20	C53	39.24	25.00	89.93	S46°45'34"W	35.33
C3	15.74	25.00	36.08	S16°19'00"E	15.48	C29	41.41	75.00	31.63	S01°01'20"E	40.88	C54	39.33	25.00	90.14	N43°12'13"W	35.40
C4	3.29	25.00	7.54	S38°07'47"E	3.29	C30	39.26	75.00	30.00	S30°12'28"E	38.82	C55	39.21	25.00	89.86	N46°47'47"E	35.31
C5	65.64	50.00	75.21	S4°17'44"E	61.02	C31	22.26	75.00	17.00	S6°42'27"E	22.18	C56	39.30	25.00	90.07	S43°14'26"E	35.38
C6	42.15	50.00	48.30	S57°27'40"W	40.91	C32	39.27	25.00	90.00	S43°12'19"E	35.36	C57	39.30	25.00	90.07	N43°10'07"W	35.38
C7	46.94	50.00	53.79	N71°29'33"W	45.24	C33	147.27	100.00	84.38	S40°19'16"E	134.32	C58	39.24	25.00	89.93	N46°47'47"E	35.33
C8	16.26	25.00	37.26	N9°20'12"W	15.97	C34	39.33	25.00	90.14	S43°12'13"E	35.40	C59	39.00	25.00	89.38	S43°30'55"E	35.16
C9	53.12	100.00	30.43	N67°06'45"W	52.59	C35	39.21	25.00	89.86	N46°47'47"E	35.31	C60	39.54	25.00	90.62	S46°29'05"W	35.55
C10	54.85	100.00	31.43	N36°19'54"W	54.17	C36	0.94	25.00	2.15	N0°47'36"E	0.94	C61	78.60	50.00	90.07	N43°10'07"W	70.76
C11	38.86	100.00	22.26	N9°20'12"W	38.61	C37	20.09	25.00	46.04	N23°18'05"W	19.55	C62	39.27	25.00	90.00	N46°47'41"E	35.36
C12	39.27	25.00	90.00	N43°12'19"W	35.36	C38	55.98	50.00	64.14	N14°41'58"W	53.10	C63	39.00	25.00	89.38	S43°30'55"E	35.16
C13	19.69	25.00	45.13	S69°13'41"W	19.19	C39	43.73	50.00	50.11	N42°52'47"E	42.35	C64	80.19	50.00	91.89	S47°07'07"W	71.87
C14	54.47	75.00	50.00	S46°43'28"W	106.07	C40	50.36	50.00	57.71	S83°12'24"E	48.26	C65	38.72	25.00	88.73	N42°34'17"W	34.96
C15	65.54	50.00	72.81	S80°10'34"W	59.35	C41	35.14	50.00	40.26	S34°13'06"E	34.42	C66	58.90	75.00	45.00	N24°13'28"E	57.40
C16	43.81	50.00	50.20	N38°18'56"W	42.42	C42	55.98	50.00	64.14	S17°59'09"W	53.10	C67	61.60	75.00	47.06	N70°15'11"E	59.88
C17	54.47	50.00	62.42	N17°59'35"E	51.81	C43	19.96	25.00	45.75	S27°10'54"W	19.44	C68	117.90	75.00	90.07	S43°14'26"E	106.13
C18	19.69	25.00	45.12	N26°38'19"E	19.18	C44	1.06	25.00	2.44	S3°05'13"W	1.06	C69	39.00	50.00	44.69	S65°51'37"E	38.02
C19	39.27	25.00	90.00	N43°12'19"W	35.36	C45	39.33	25.00	90.14	S43°12'13"E	35.40	C70	39.00	50.00	44.69	S21°10'12"E	38.02
C20	39.40	25.00	90.29	S46°01'44"W	35.45	C46	78.54	50.00	90.00	N46°43'28"E	70.71	C71	120.28	75.00	91.89	S47°07'07"W	107.80
C21	39.02	25.00	89.42	S44°06'55"E	35.18	C47	30.06	100.00	17.22	N10°20'12"E	29.95	C72	77.43	50.00	88.73	N42°34'17"W	69.92
C22	39.27	25.00	90.00	N43°12'19"W	35.36	C48	111.48	100.00	63.87	N50°53'08"E	105.80	C73	77.43	50.00	90.07	N43°10'07"W	106.13
C23	15.42	100.00	8.83	N5°35'30"E	15.40	C49	15.54	100.00	8.90	N87°10'23"E	15.52	C247	39.27	25.00	90.00	S46°47'41"W	35.36
C24	50.54	100.00	28.96	N24°29'09"E	50.00	C50	38.91	25.00	89.18	N47°08'03"E	35.10						
C25	30.54	100.00	28.96	N53°26'27"E	50.00	C51	39.21	25.00	89.86	N46°47'47"E	35.31						

**PRELIMINARY PLAT**  
**MIDLAND ROAD ESTATES**  
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

**CERTIFICATIONS:**

**OWNER:** HAVENS DEVELOPMENT, LLC  
 Name: HAVENS DEVELOPMENT, LLC  
 Address: 2615 N. PRICKETT ROAD, SUITE 5 BRYANT, AR 72022

**DEVELOPER:** HAVENS DEVELOPMENT, LLC  
 Name: HAVENS DEVELOPMENT, LLC  
 Address: 2615 N. PRICKETT ROAD, SUITE 5 BRYANT, AR 72022

**CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:**  
 I, Kazi Tamzidul Islam, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date of Execution: \_\_\_\_\_  
 Signature: Kazi Tamzidul Islam, Registered Professional Engineer, No. 20876 Arkansas

**CERTIFICATE OF OWNER:**  
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Source of Title: 2021-009870  
 Date of Execution: \_\_\_\_\_  
 Signature: \_\_\_\_\_

**CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:**  
 I, Corbett R. Shoffner, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on 05/03/2023; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

**CERTIFICATE OF PRELIMINARY PLAT APPROVAL:**  
 All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations.

Date of Execution: \_\_\_\_\_  
 Signature: Jonathan L. Hope, Registered Professional Land Surveyor No. 1762 Arkansas

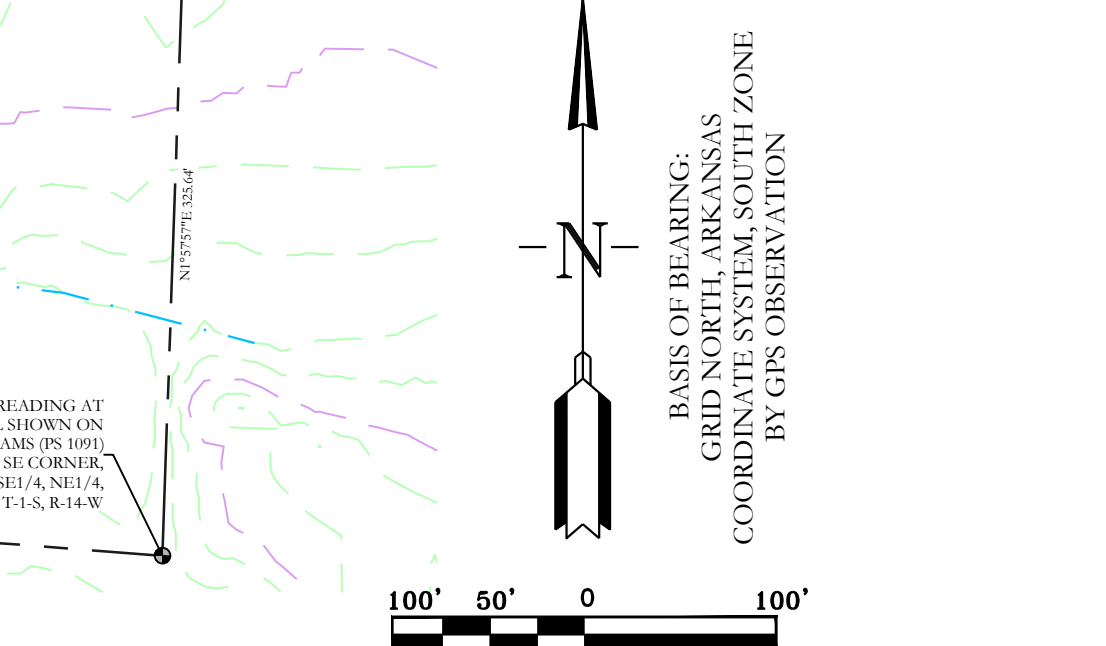
Date of Execution: \_\_\_\_\_  
 Signature: Rick Johnson, Chairman, Bryant Planning Commission



By affixing my seal and signature, I William Cobitt R. Shoffner PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #0125C0365, Dated: 06/05/2020.



**PROPERTY SPECIFICATIONS:**

**OWNER:** HAVENS DEVELOPMENT, LLC  
 2615 N. PRICKETT ROAD, SUITE 5 BRYANT, AR 72022

**DEVELOPER/SUBDIVIDER:** HAVENS DEVELOPMENT, LLC  
 2615 N. PRICKETT ROAD, SUITE 5 BRYANT, AR 72022

**ENGINEERS:** HOPE CONSULTING INC.  
 129 N. MAIN STREET BENTON, AR 72015

**NAME OF SUBDIVISION:** MIDLAND ROAD ESTATES

**ZONING CLASSIFICATION:** PROPOSED R-1S

**SOURCE OF TITLE:** SALINE COUNTY DOCUMENT BOOK PAGE

**MIN. LOT SIZE:** 6,000 SQ. FT.  
**NUMBER OF LOTS:** 192  
**SOURCE OF WATER:** CITY OF BRYANT  
**SOURCE OF SEWER:** CITY OF BRYANT  
**SOURCE OF ELECTRIC:** FIRST ELECTRIC COOP  
**SOURCE OF GAS:** CENTERPOINT ENERGY

**BUILDING SETBACKS:**  
 FRONT - 20' OR AS SHOWN  
 REAR - 20' OR AS SHOWN  
 SIDE - 8' OR AS SHOWN

**EASEMENTS, UTILITY & DRAINAGE (D.E. & U.):**  
 FRONT - 10' OR AS SHOWN  
 REAR - 10' OR AS SHOWN  
 SIDE - 5' OR AS SHOWN

**STREET RIGHT OF WAYS:** 50' OR AS SHOWN  
**STREET WIDTH:** 28' BOC TO BOC  
**LOT CORNERS:** SET 1/2" REBAR WITH CAP

**FOR USE AND BENEFIT OF:**  
**HAVENS DEVELOPMENT, LLC**

**PRELIMINARY PLAT**  
**MIDLAND ROAD ESTATES**  
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

**DATE:** 05/03/2023  
**REVISIONS:** \_\_\_\_\_  
**SHEET:** 500

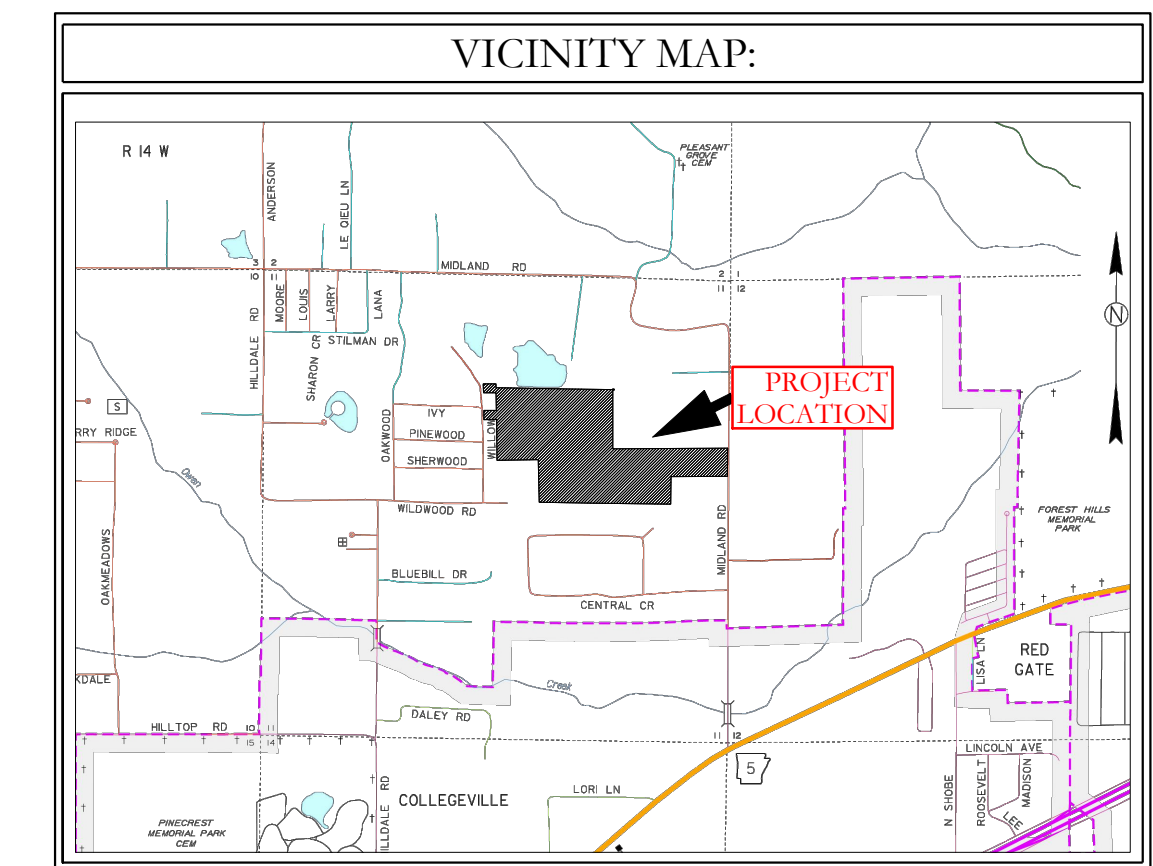
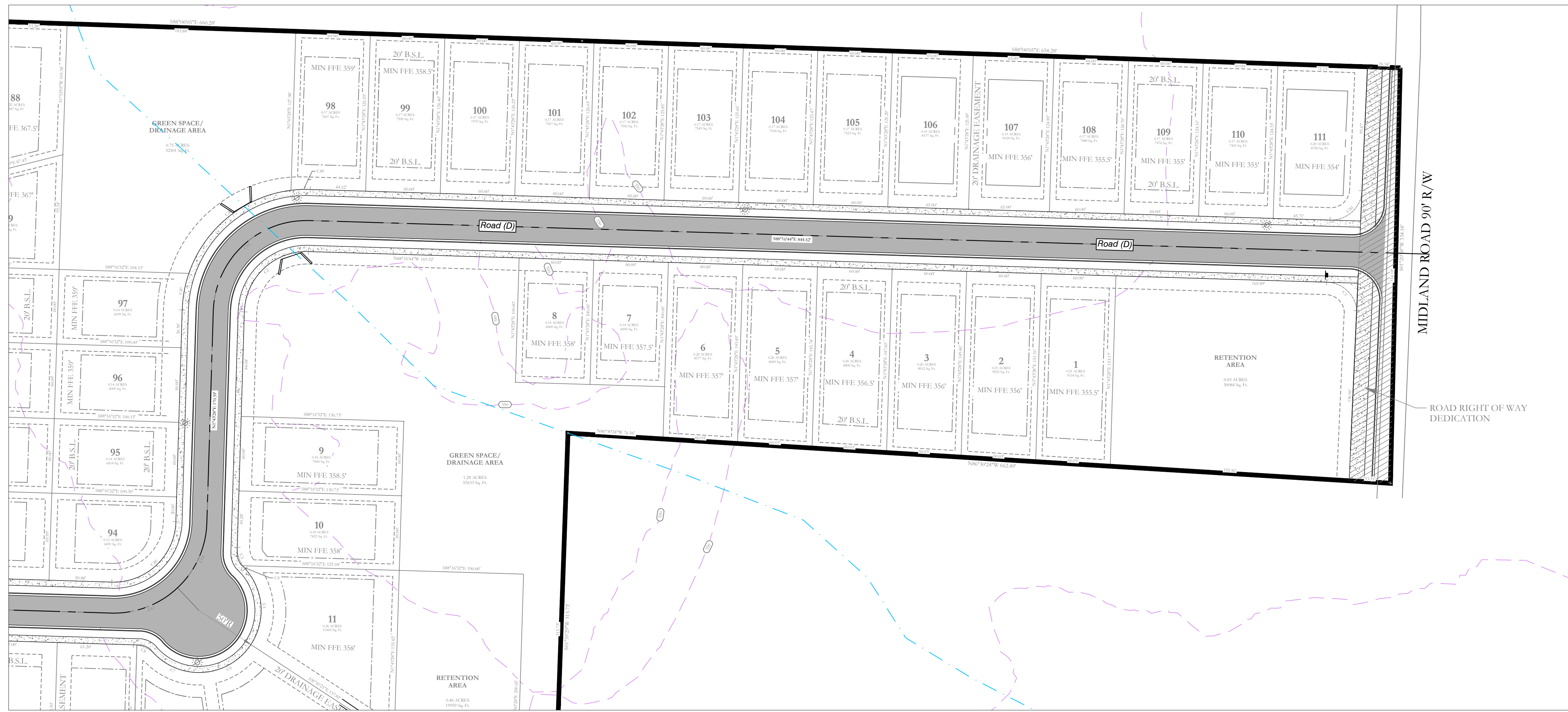
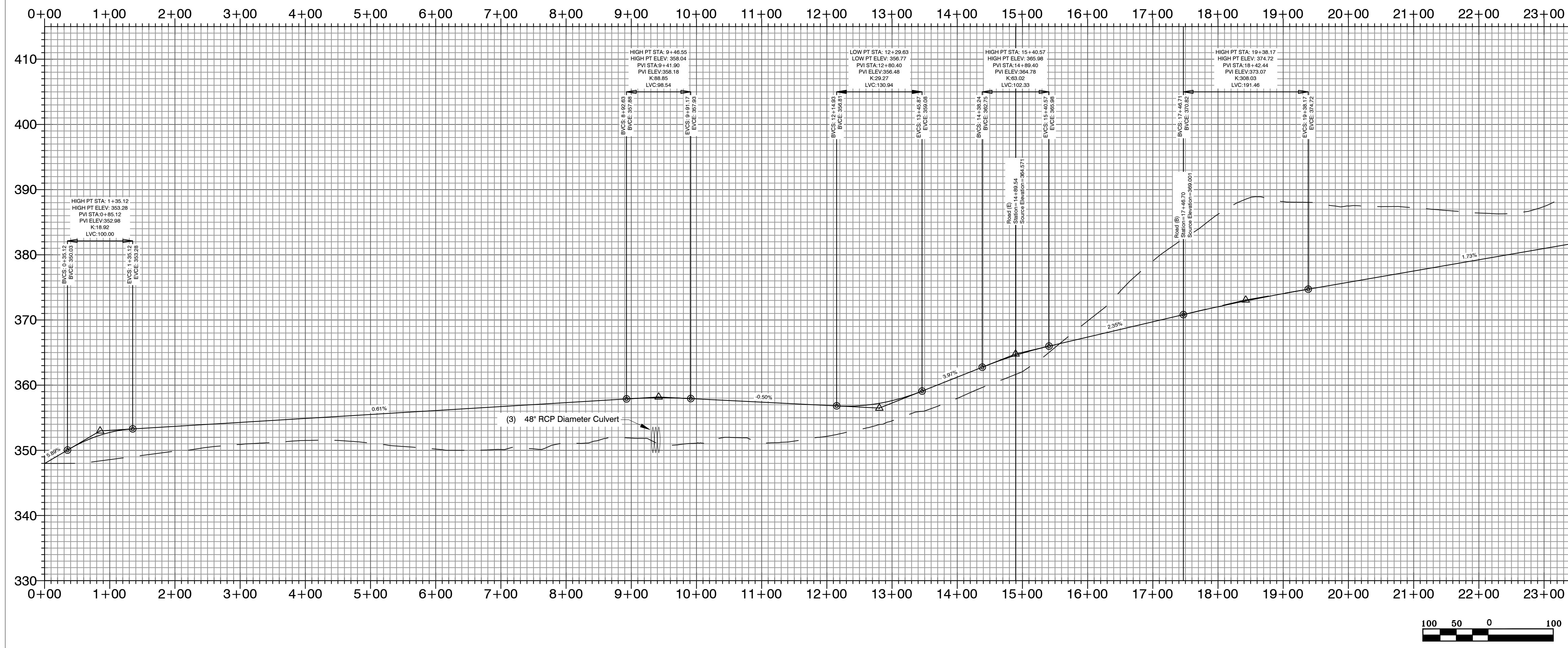
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**DRAWING NUMBER:** 23-0024

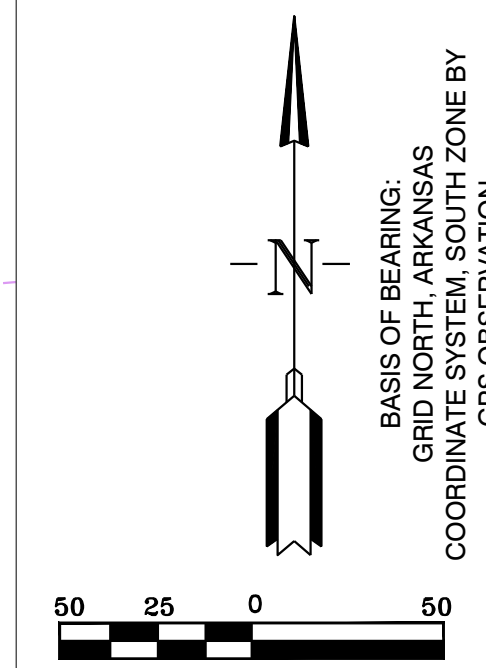




Road (D) PROFILE



MIDLAND ROAD SUBDIVISION  
STREET PLAN & PROFILES



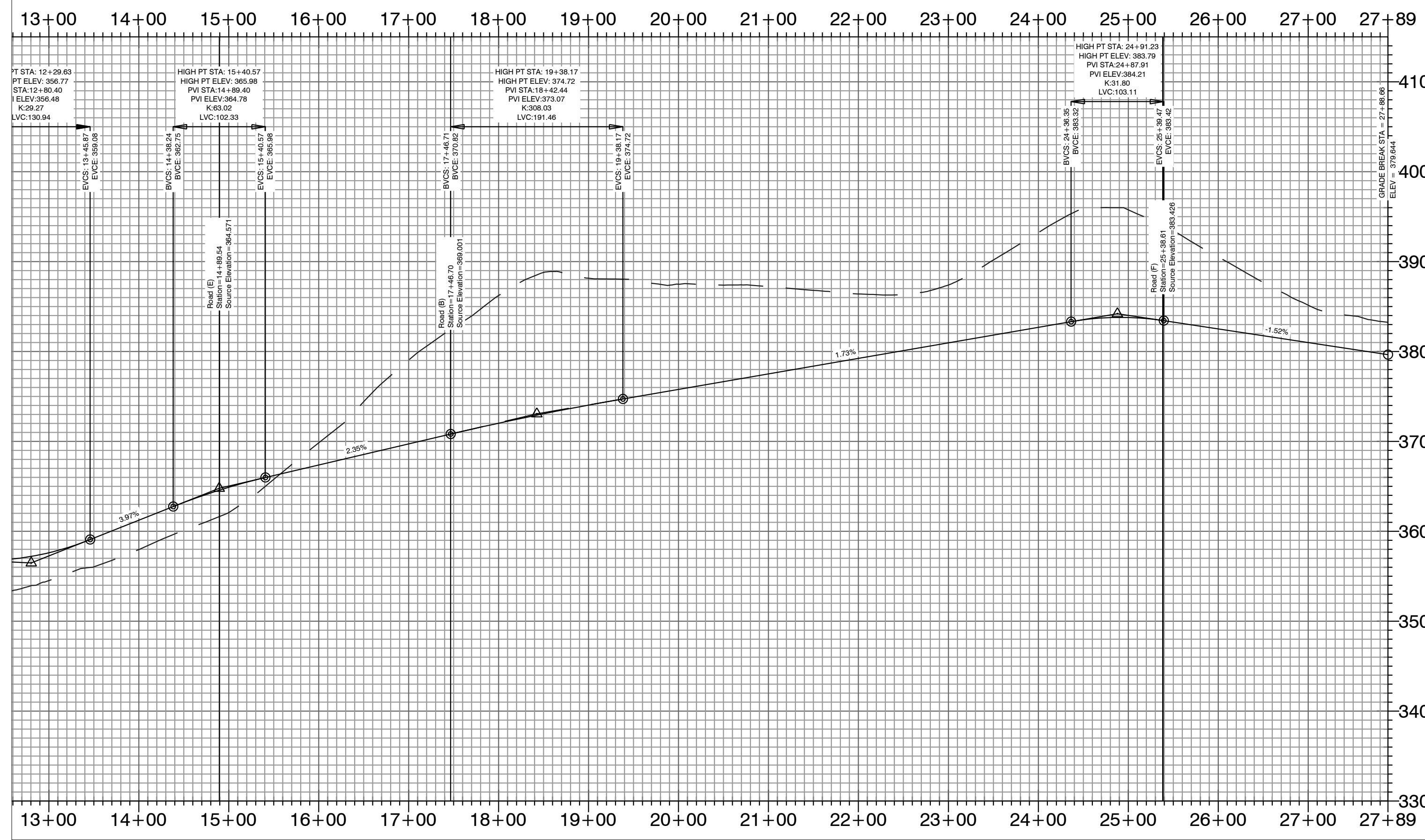
**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

129 North Main Street,  
Benton, Arkansas 72015  
PH. (501) 315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

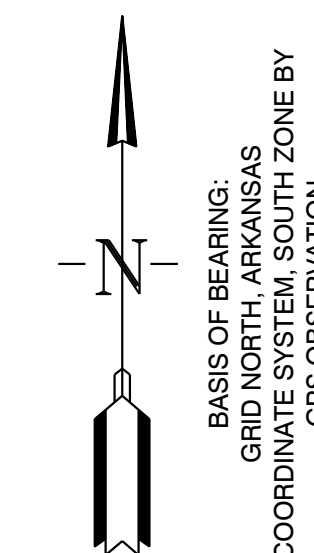
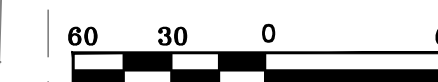
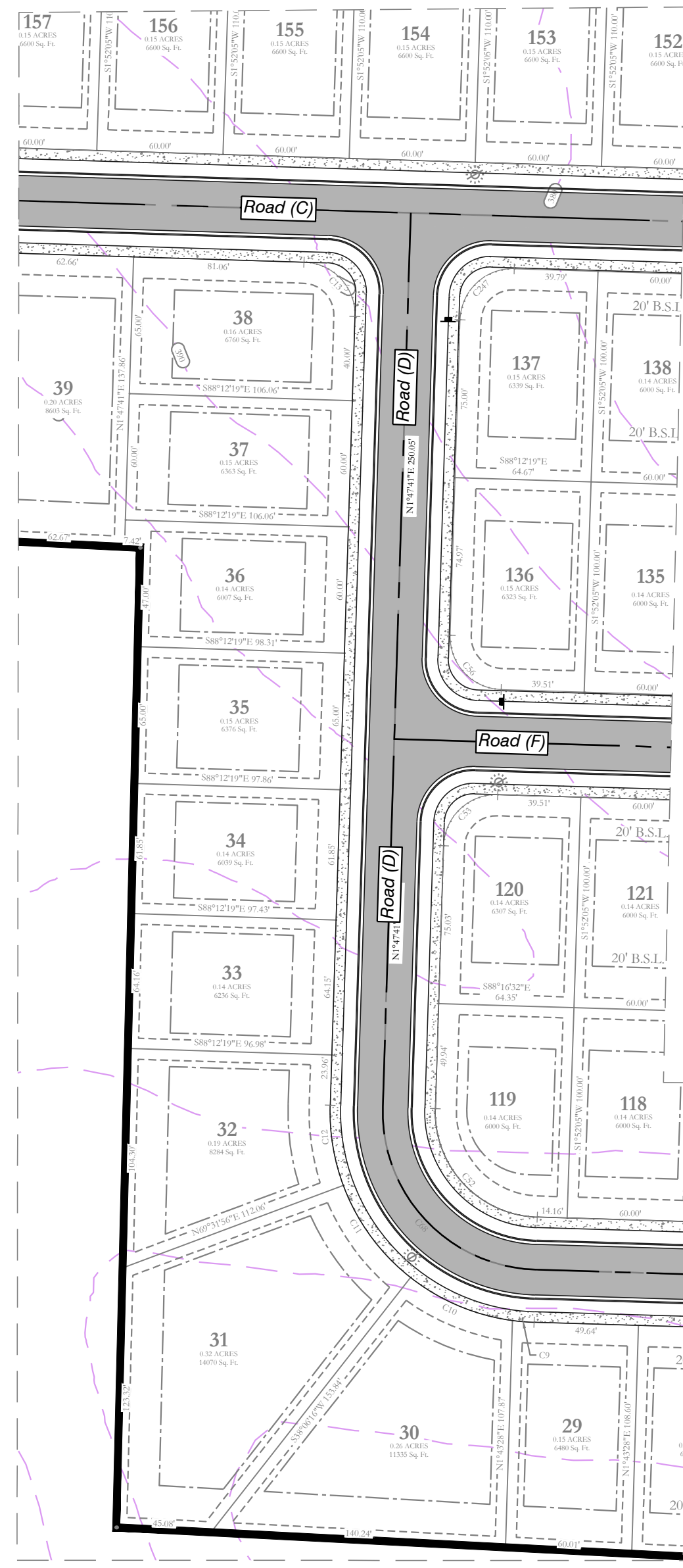
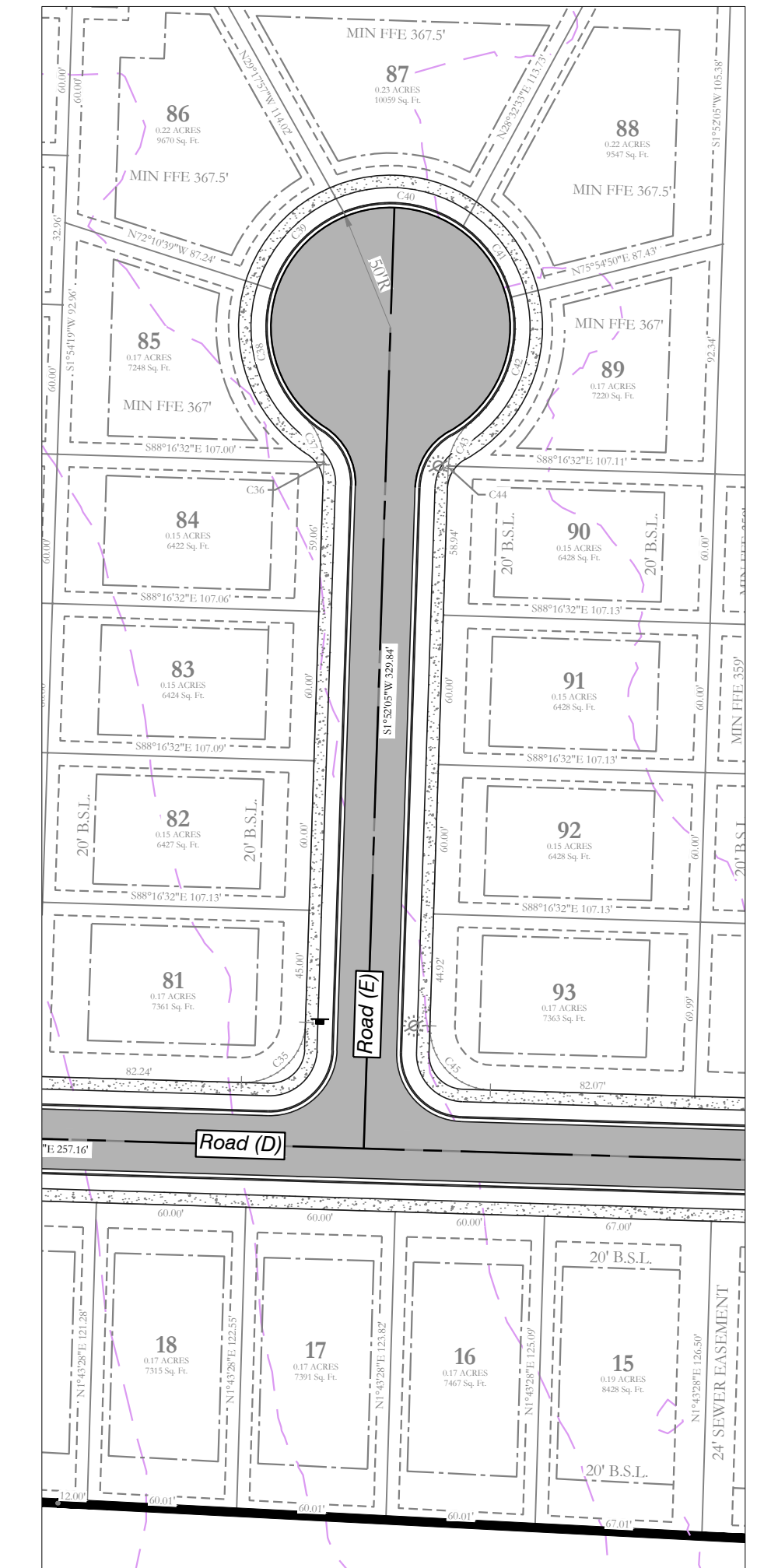
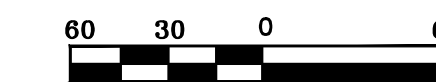
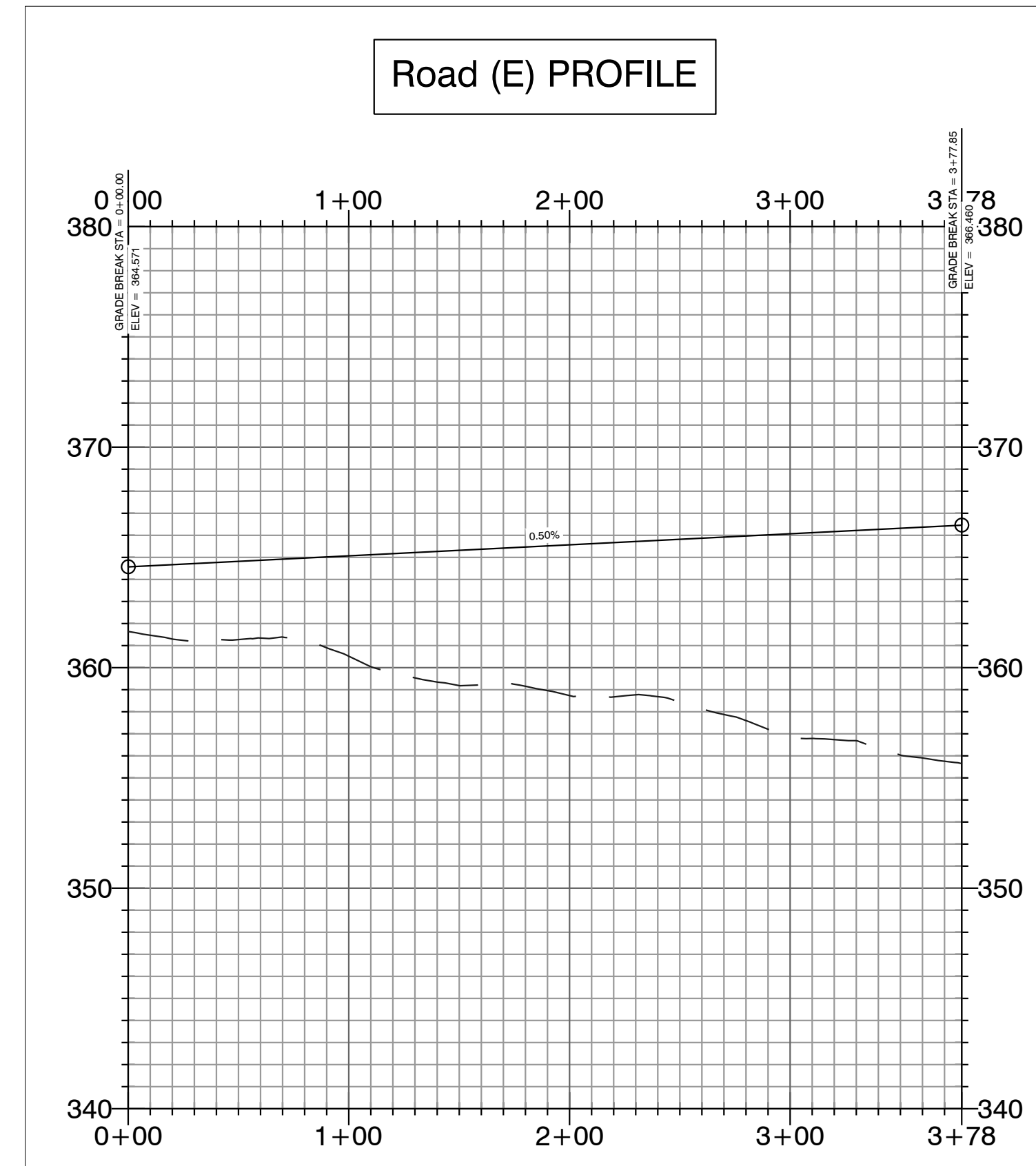
FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
MIDLAND ROAD STREET PLAN AND PROFILES BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	23-0024
SHEET: C-2-0	SCALE:	
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ES:LAND PROJECTS 2004 SUBDIVISIONS 2023 23-0024 HAVEN'S MIDLAND ROAD SUBDIVISION SUTS RAW/CIVIL.DWG 23-0024 CONSTRUCTION PLAN (FINAL DRAFT)/AFTER COMMENTS\XXXXXX.DWG

Road (D) PROFILE



Road (E) PROFILE



MIDLAND ROAD SUBDIVISION  
STREET PLAN & PROFILES

**HOPE CONSULTING** ENGINEERS - SURVEYORS  
129 North Main Street, Benton, Arkansas 72015  
PH. (501) 315-2626 FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**HAVEN'S DEVELOPMENT, LLC**

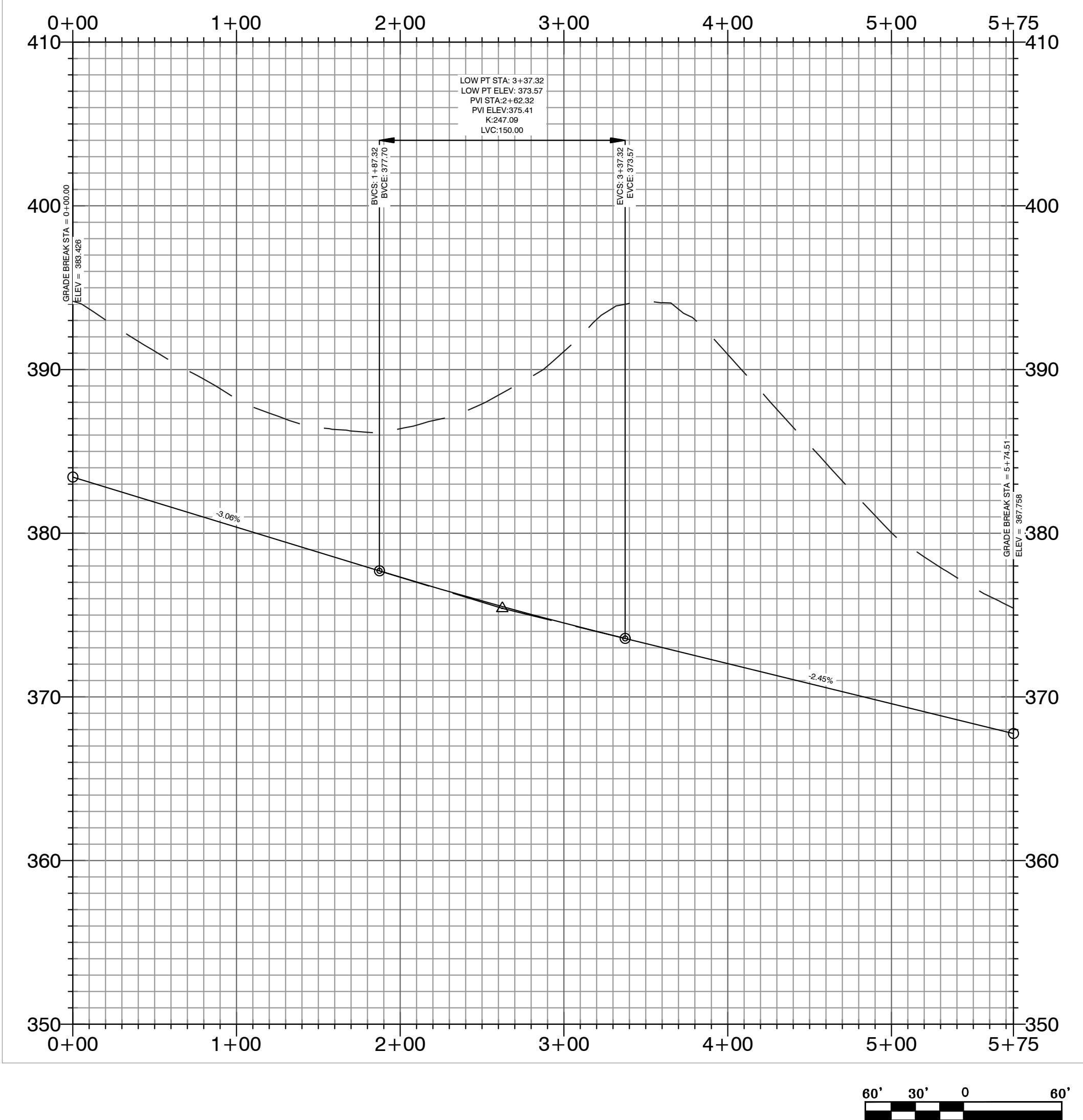
MIDLAND ROAD  
STREET PLAN AND PROFILES  
BRYANT, SALINE COUNTY, ARKANSAS

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REVISIONS:	CHECKED BY:	23-0024
SHEET: C-2.1	SCALE:	
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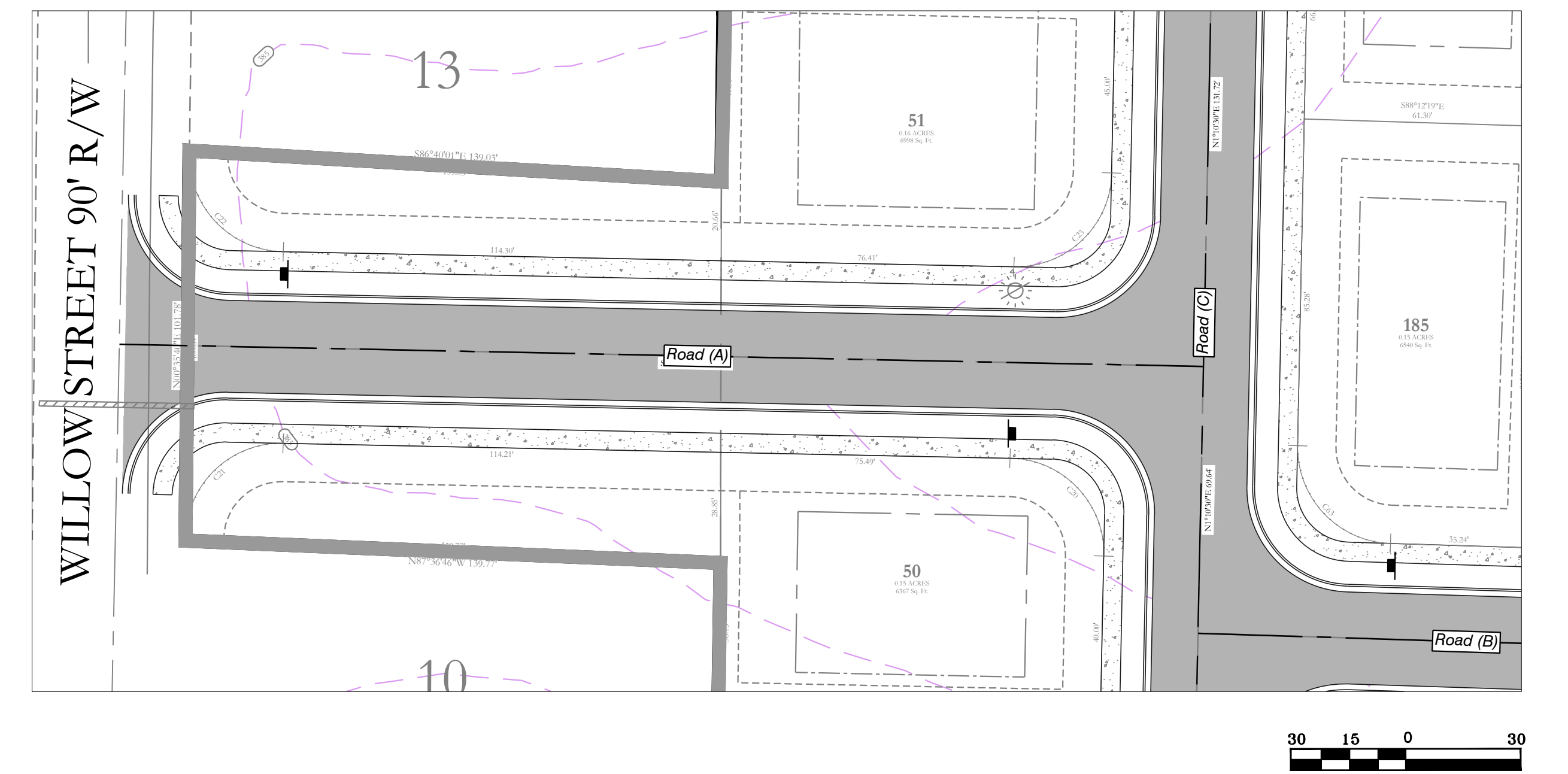
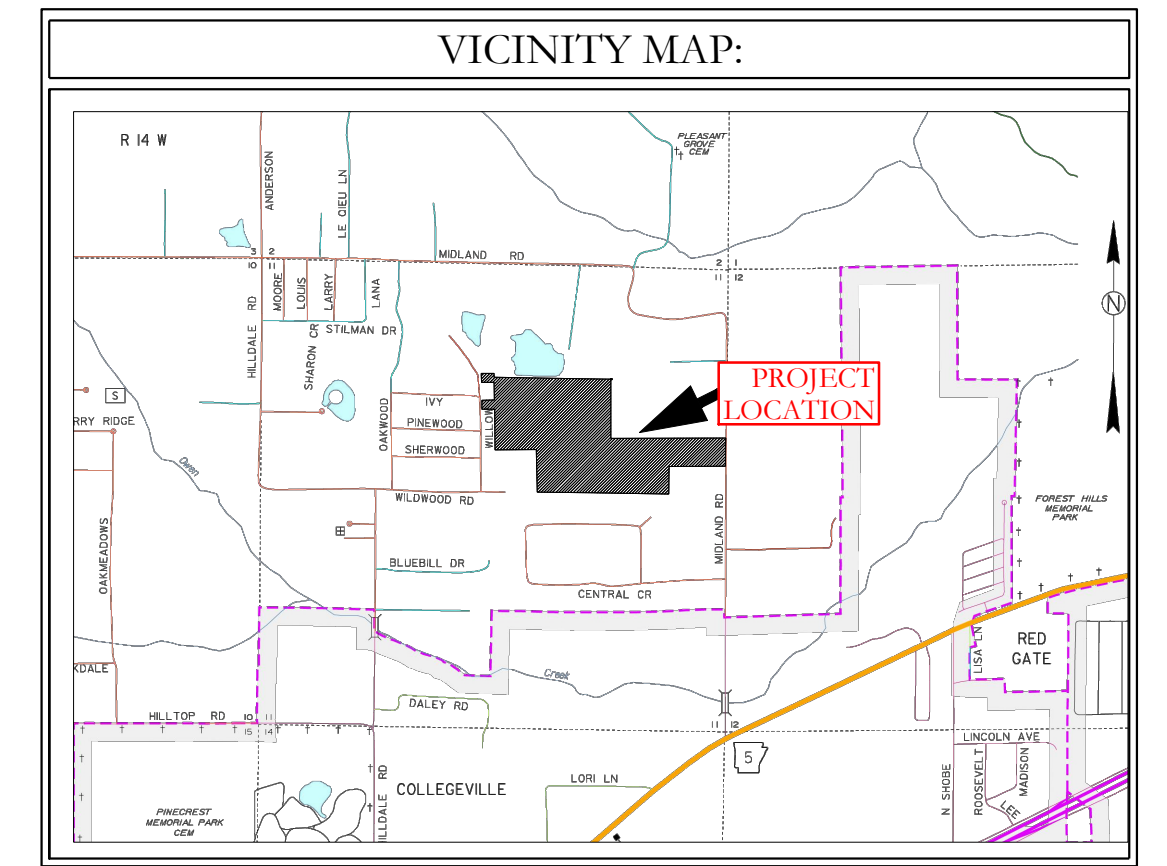
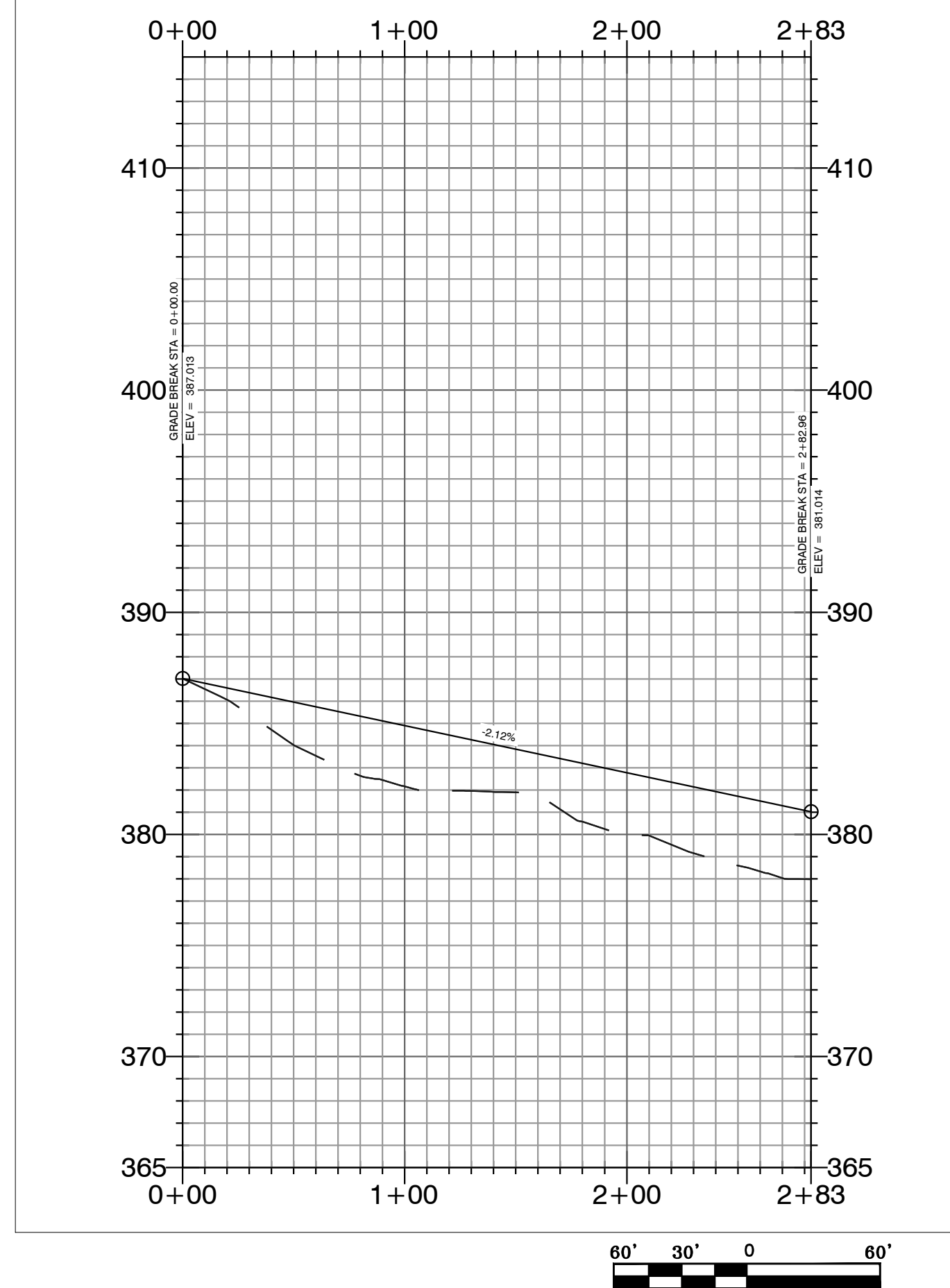
KS LAND PROJECTS 2004 SUBDIVISIONS 23-0024 HAVEN'S MIDLAND ROAD SUBDIVISION SHEETS RAW/CIVIL/DWG/23-0024 CONSTRUCTION PLAN (FINAL DRAFT)/AFTER COMMENTS/XXXXX.DWG



Road (F) PROFILE



Road (A) PROFILE



## MIDLAND ROAD SUBDIVISION STREET PLAN & PROFILES

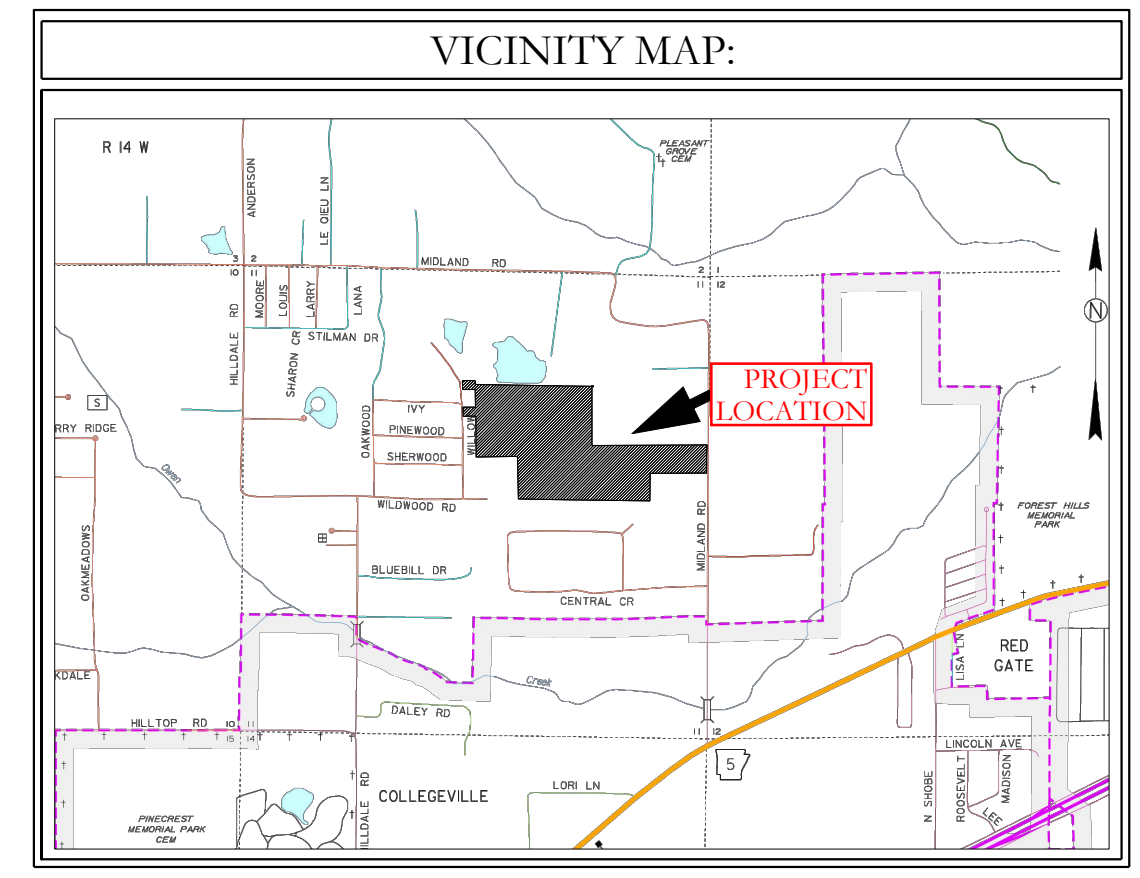
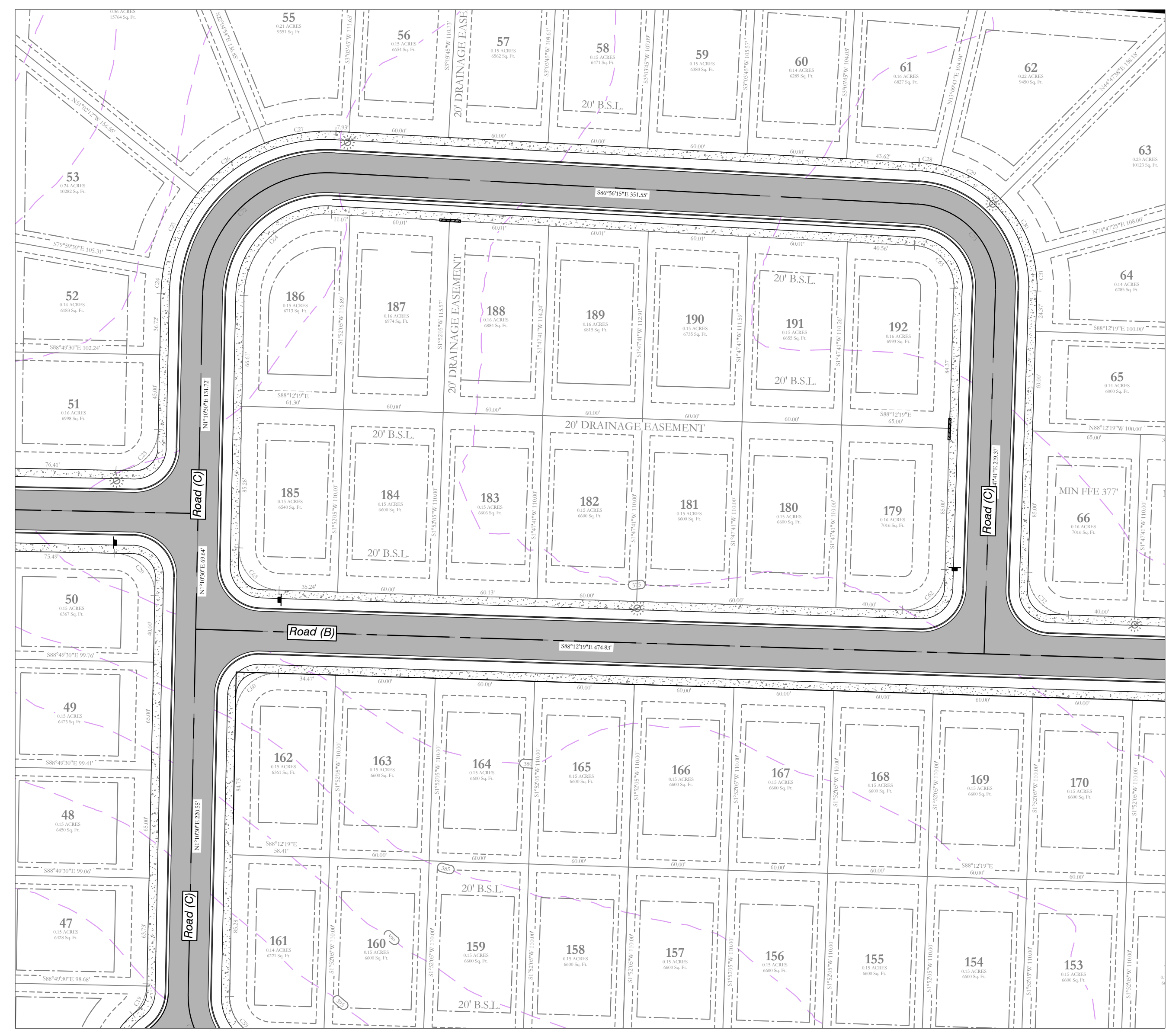
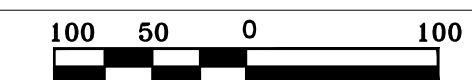
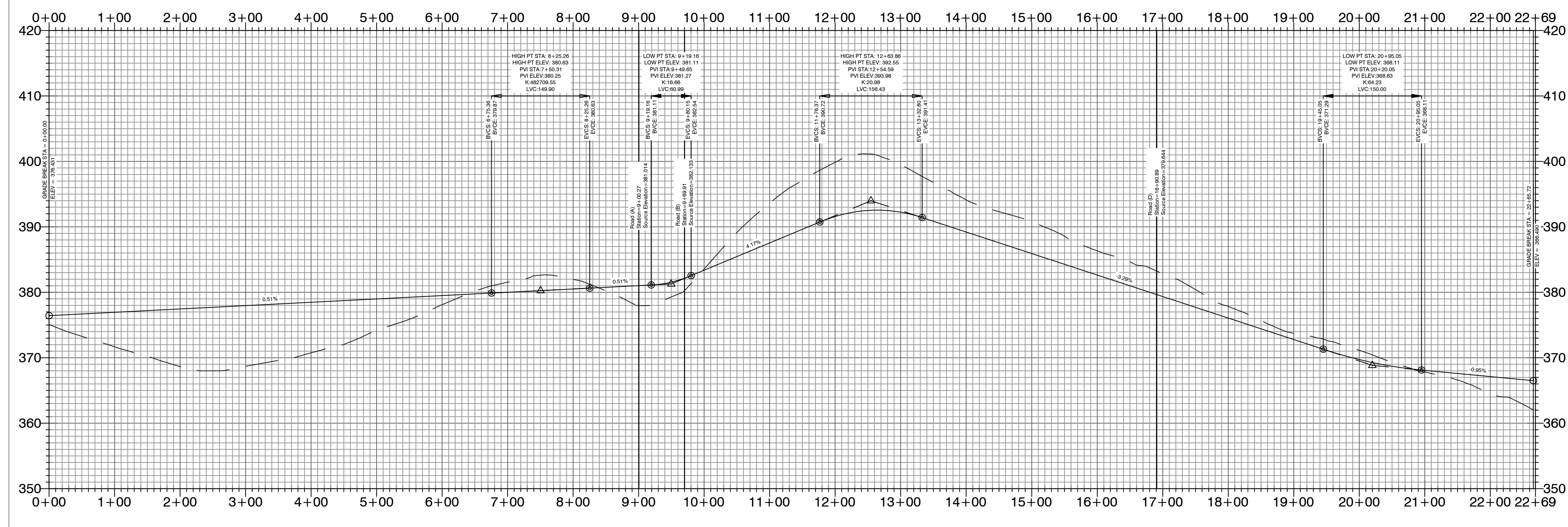
BASIS OF BEARING:  
GRIP WITH AERIALS  
COORDINATE SYSTEM: SOUTH ZONE BY  
GPS OBSERVATION

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

129 North Main Street,  
Benton, Arkansas 72015  
PH. (501) 315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
MIDLAND ROAD STREET PLAN AND PROFILES BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	23-0024
SHEET: C-23	SCALE:	
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0	34	230
62	1807	

**Road (C) PROFILE**

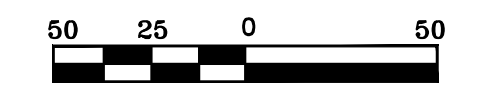


**MIDLAND ROAD SUBDIVISION  
STREET PLAN & PROFILES**

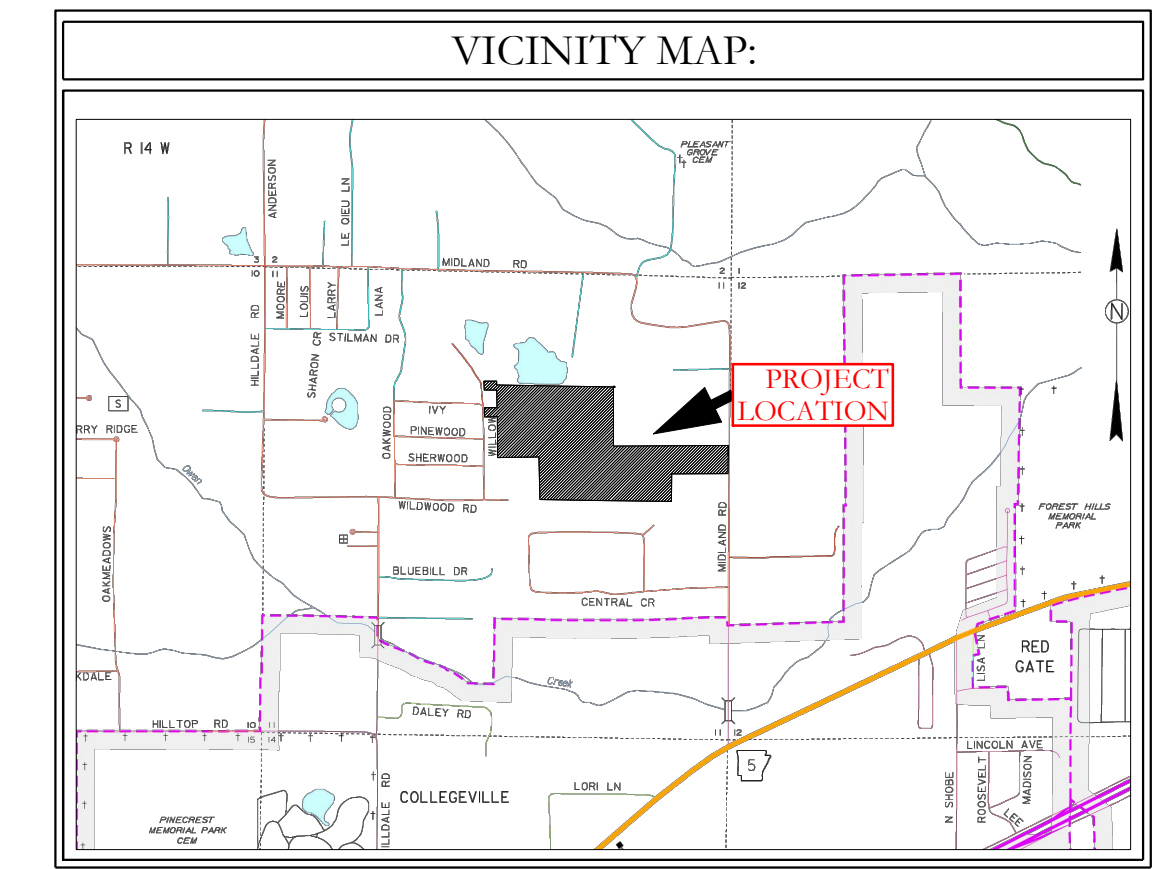
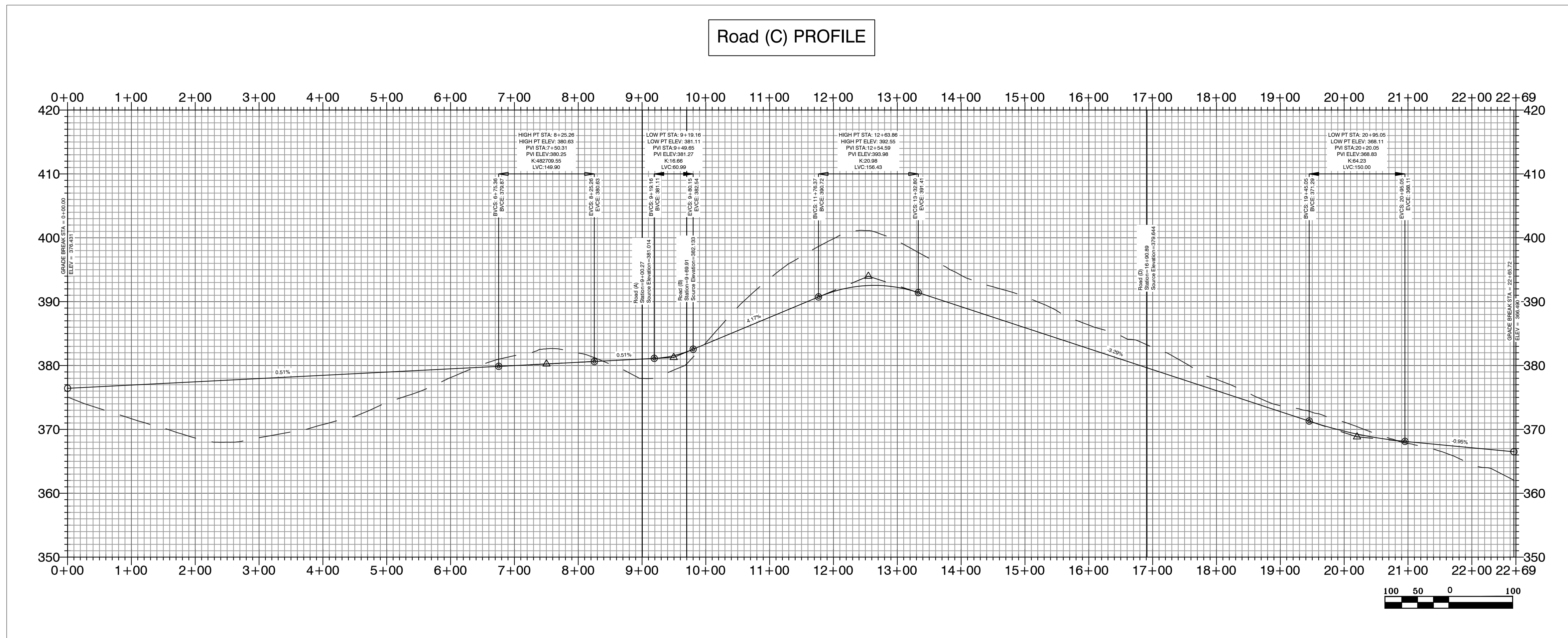
BASIS OF BEARING:  
 GRID NORTH, ARKANSAS  
 COORDINATE SYSTEM, SOUTH ZONE BY  
 GPS OBSERVATION

**HOPE CONSULTING**  
 ENGINEERS - SURVEYORS  
 129 North Main Street,  
 Benton, Arkansas 72015  
 PH. (501)315-2626  
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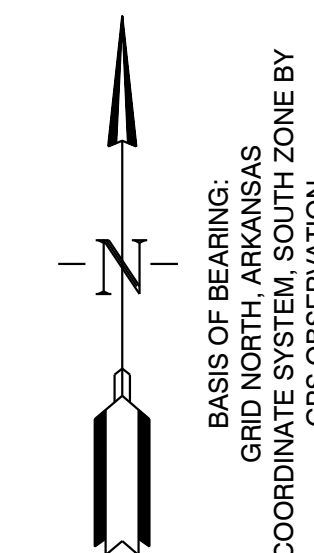
FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>			
<b>MIDLAND ROAD STREET PLAN AND PROFILES</b> BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:		CHECKED BY:	<b>23-0024</b>
SHEET:	C-24	SCALE:	
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K:\LAND PROJECTS\2004 SUBDIVISIONS\2023-23-0024 HAVEN'S MIDLAND ROAD SUBDIVISION\SET\15 RAW\CIVIL.DWG:23-0024 CONSTRUCTION PLAN (FINAL DRAFT/AFTER COMMENTS)XXXXX.DWG



## MIDLAND ROAD SUBDIVISION STREET PLAN & PROFILES

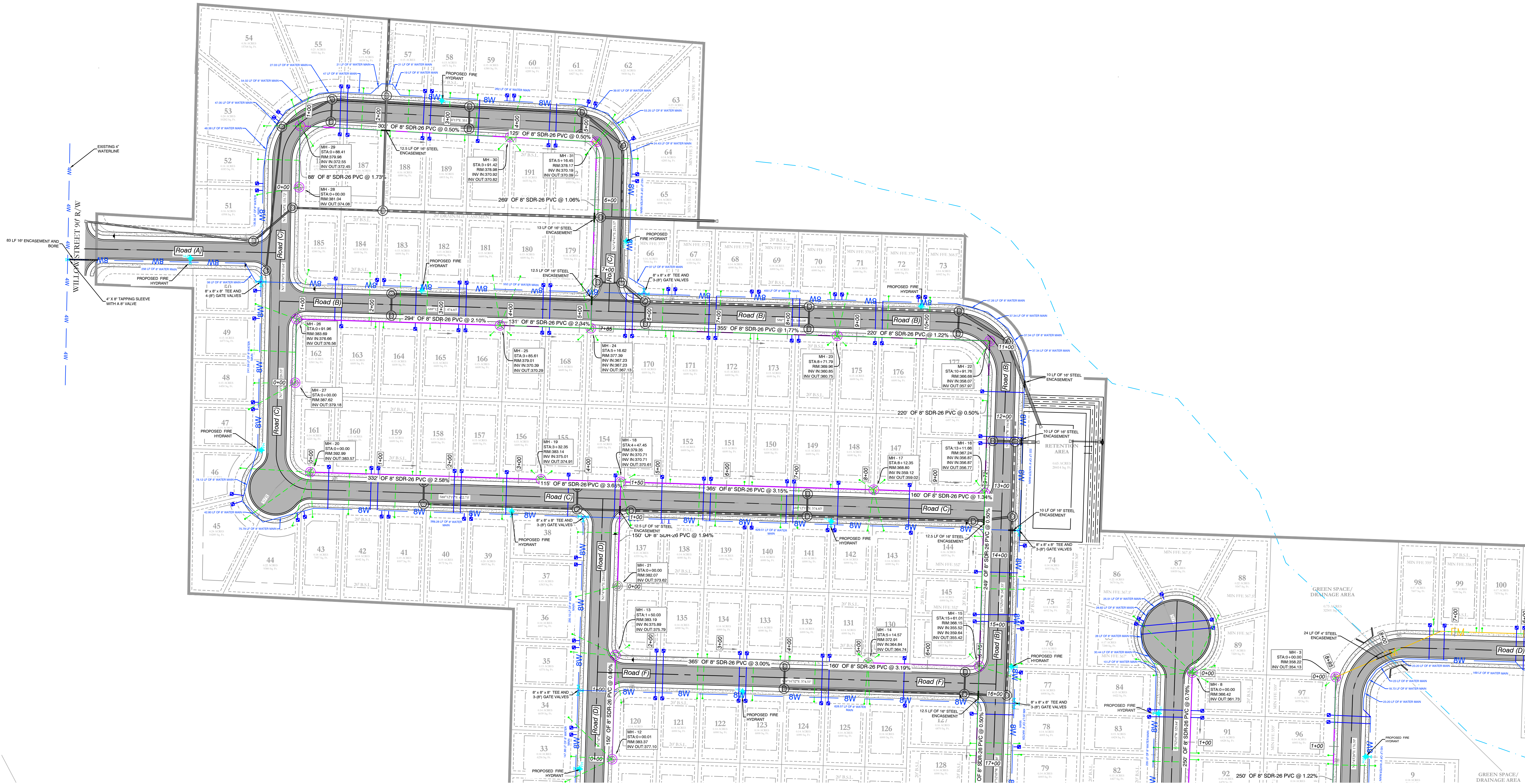


**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

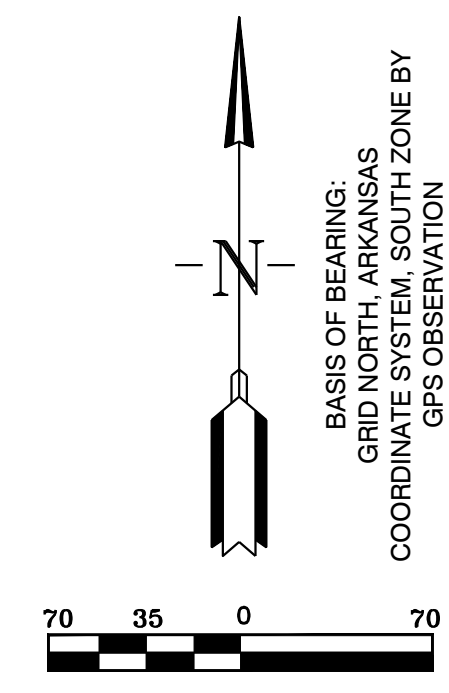
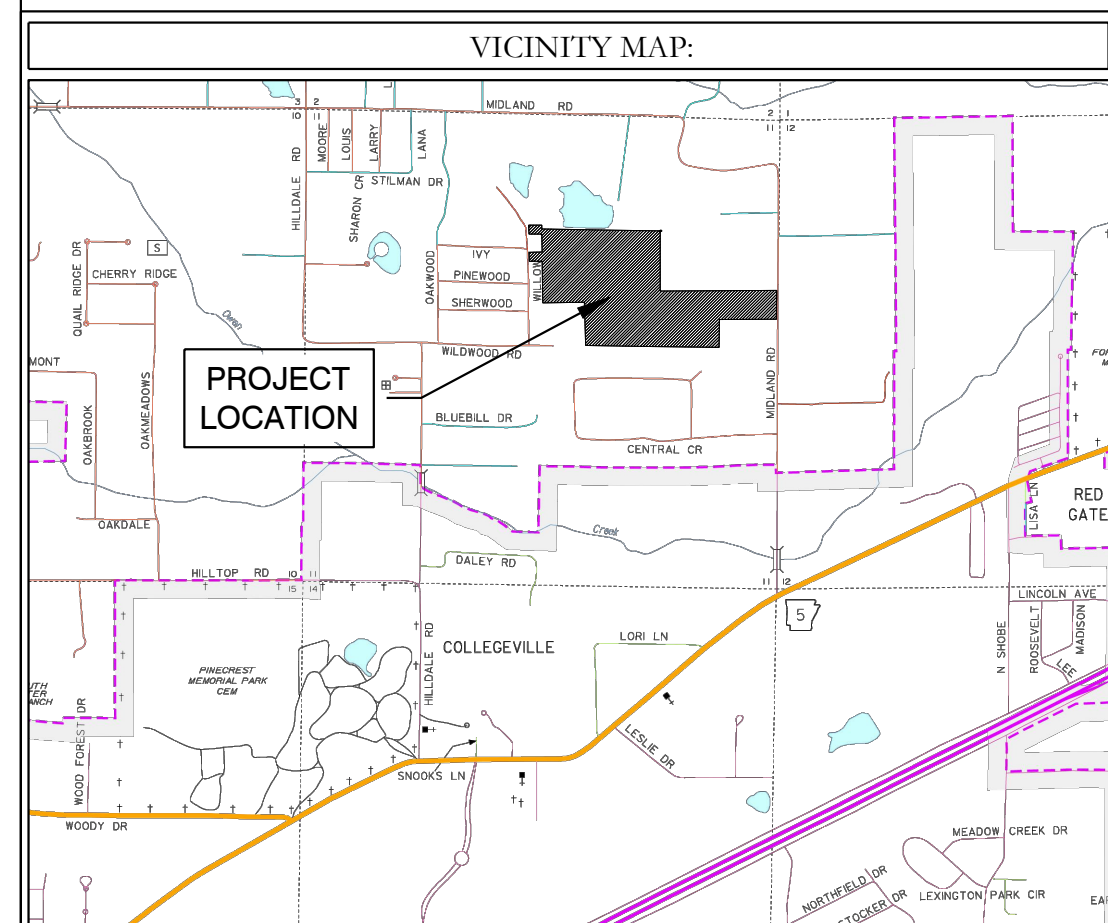
129 North Main Street,  
Benton, Arkansas 72015  
PH. (501) 315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
<b>MIDLAND ROAD STREET PLAN AND PROFILES</b> BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	<b>23-0024</b>
SHEET: C-2.5	SCALE:	
500	01S	15W
0	34	230
62	1807	

KS LAND PROJECTS 2004 SUBDIVISIONS 23-0024 HAVEN'S MIDLAND ROAD SUBDIVISION SUTS R/W/C/UT/DWG/23-0024 CONSTRUCTION PLAN (FINAL DRAFT) AFTER COMMENTS XXXXXX.DWG



# MIDLAND ROAD SUBDIVISION UTILITY PLAN

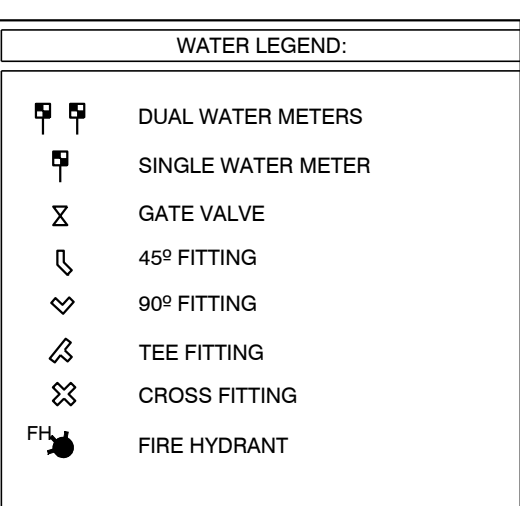
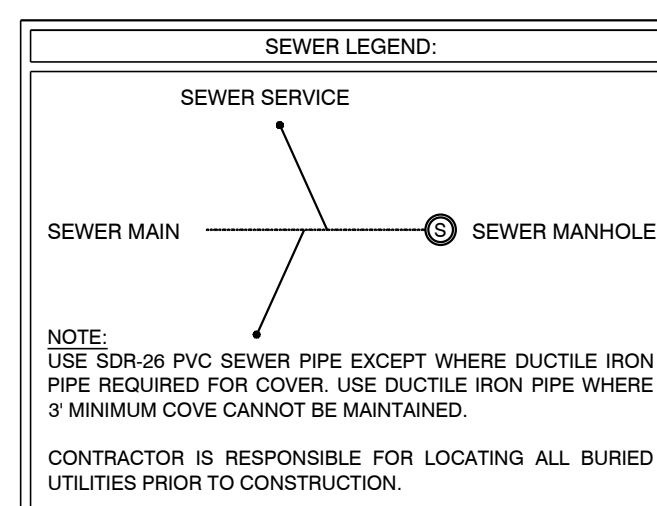


**WATER & SEWER UTILITY NOTES:**

1. ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
2. ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
3. ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION."
4. WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASUREMENT PIPE. THE STEEL ENCASUREMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.
5. EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAT).
6. CASING SPACERS: SHALL BE STAINLESS STEEL, CASCADE MODEL CCS AS MANUFACTURED BY CASCADE WATER MFG. CO., OR APPROVED EQUAL.

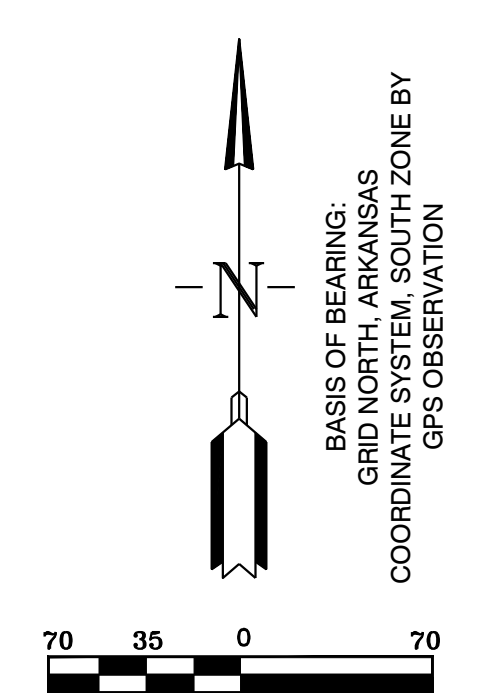
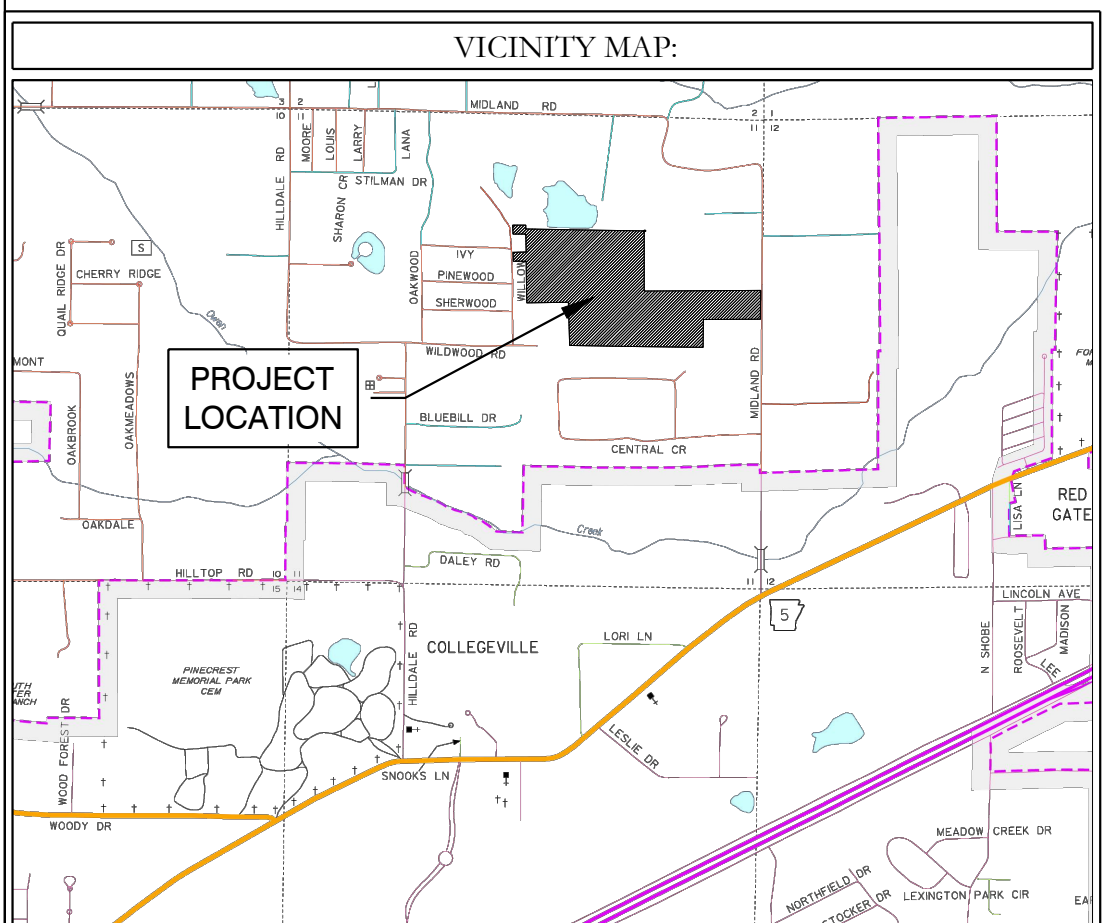
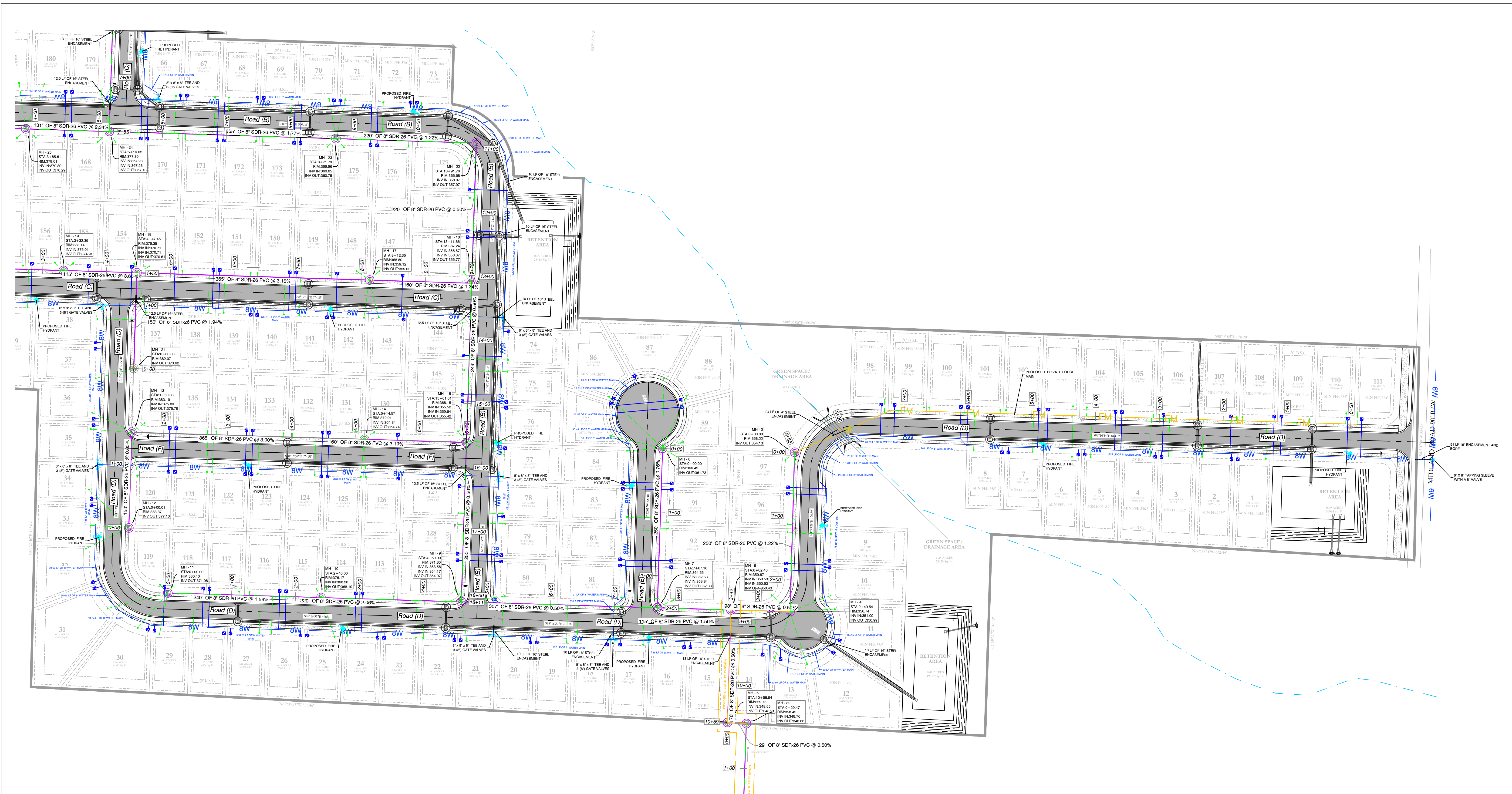
**SEWER CONSTRUCTION NOTES:**

1. ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION."
2. ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.
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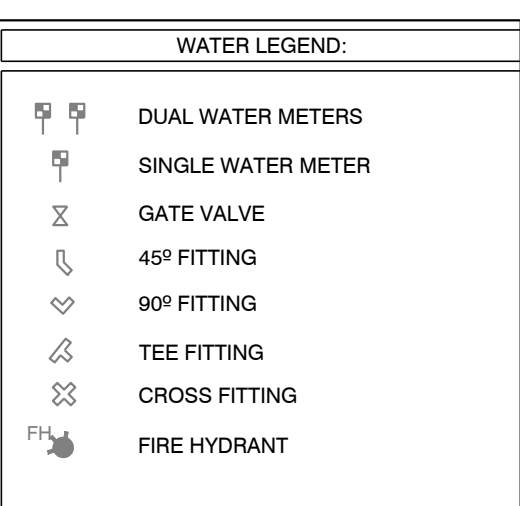
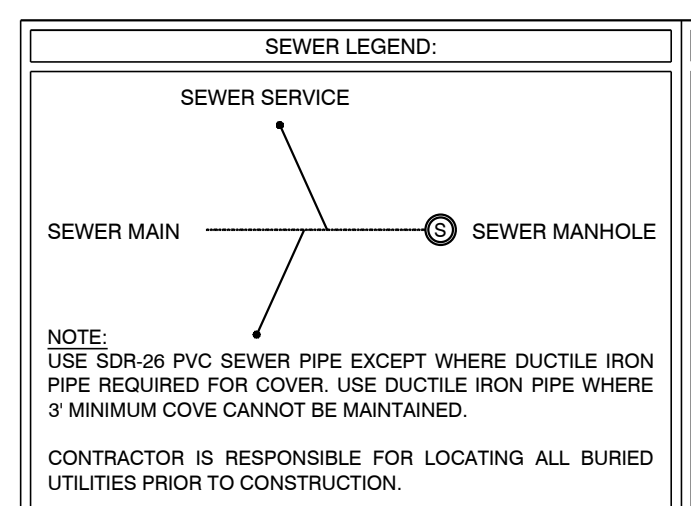
		129 North Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 <a href="http://www.hopeconsulting.com">www.hopeconsulting.com</a>	
		FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>	
<b>UTILITY PLAN          MIDLAND ROAD</b> IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:	
REVISED:	CHECKED BY:	23-0024	
SHEET: C-3.0	SCALE: 1" = 70'		
500	0		





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  5. EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAT).
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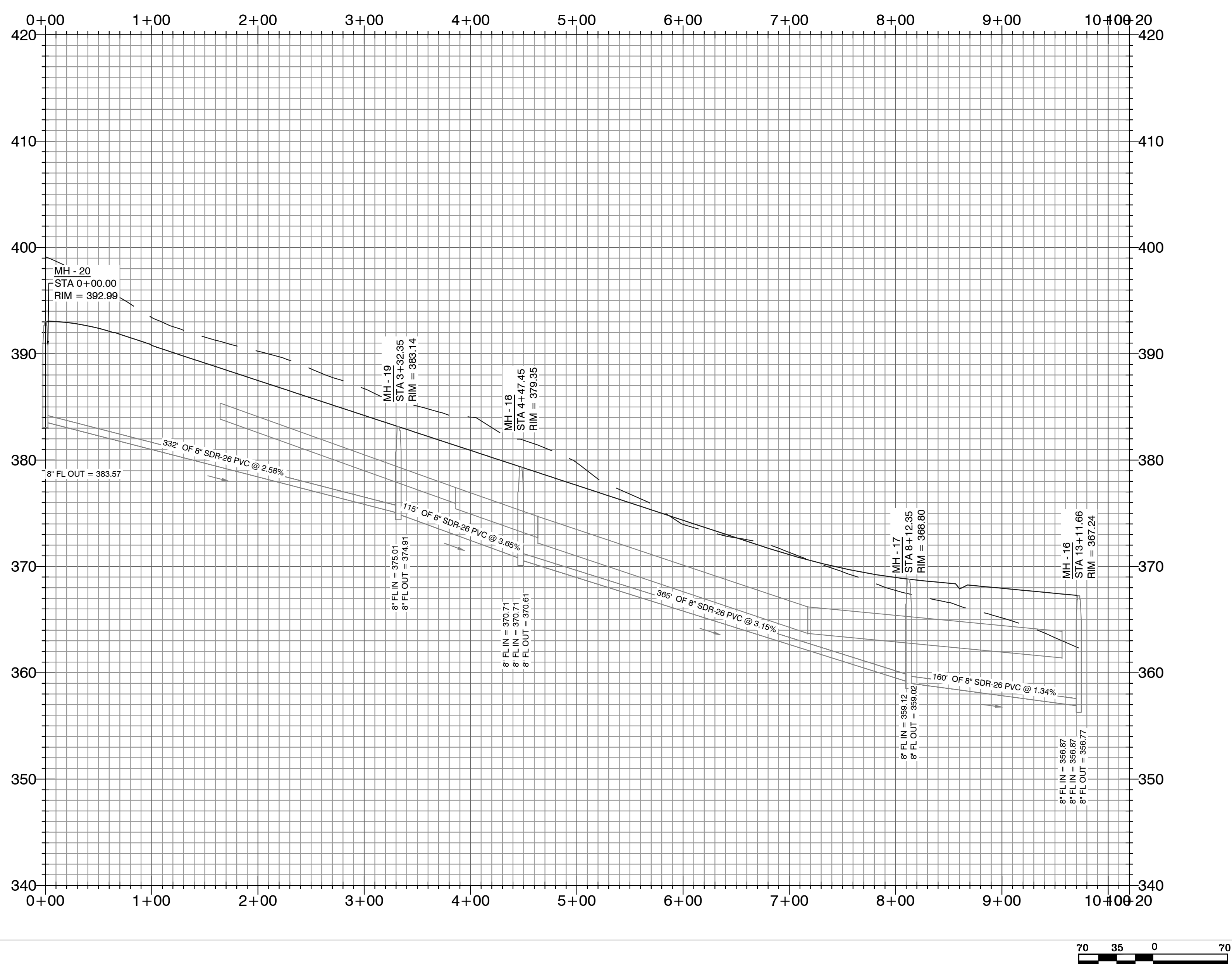
# MIDLAND ROAD SUBDIVISION UTILITY PLAN

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

129 North Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
<b>UTILITY PLAN MIDLAND ROAD</b> IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	23-0024
SHEET: C-3.1	SCALE: 1" = 70'	
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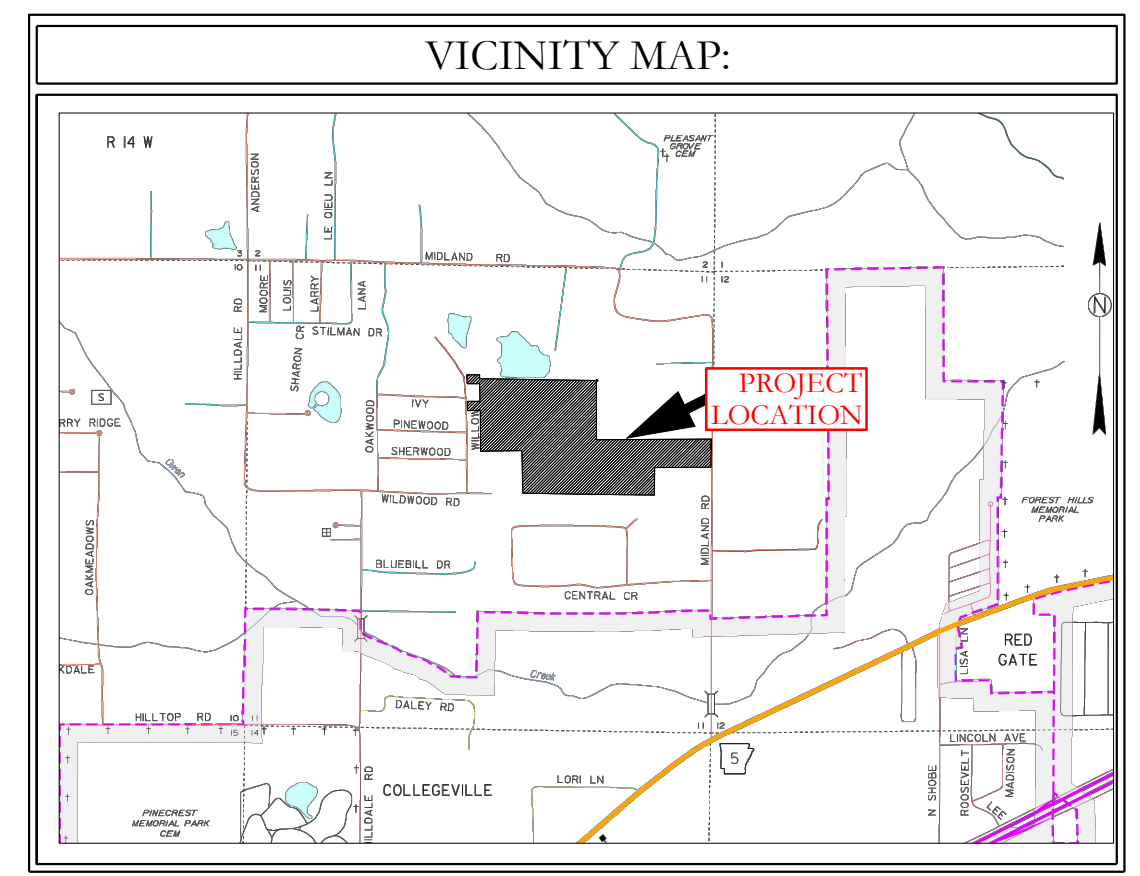
Sanitary-1 PROFILE



Basis of Bearing:  
 GRID NORTH, ARKANSAS  
 COORDINATE SYSTEM, SOUTH ZONE BY  
 GPS OBSERVATION

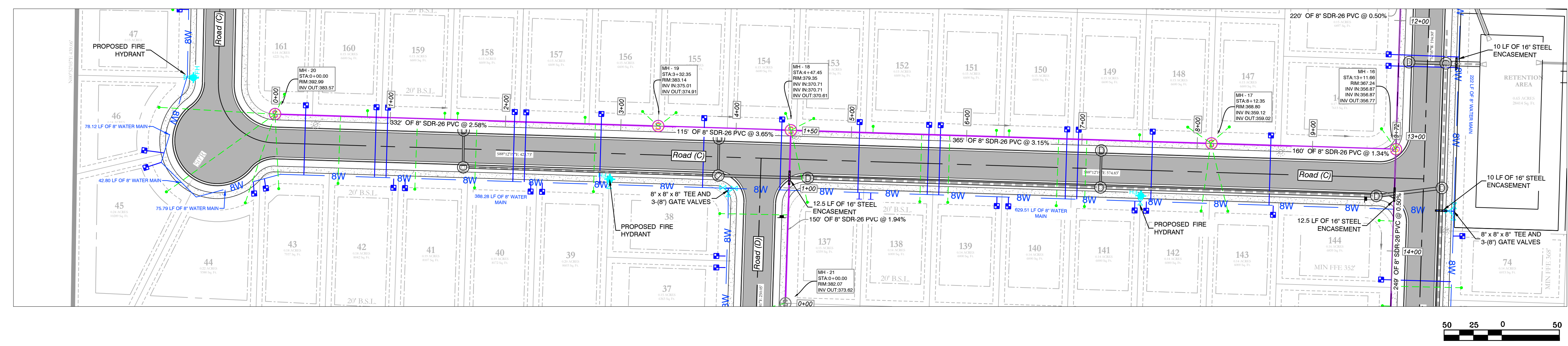
- WATER & SEWER UTILITY NOTES:
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SEWER LEGEND:		WATER LEGEND:	
SEWER SERVICE	SEWER MAIN	DUAL WATER METERS	SINGLE WATER METER
SEWER MANHOLE		GATE VALVE	45° FITTING
		90° FITTING	TEE FITTING
		CROSS FITTING	FIRE HYDRANT

NOTE: USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED.  
 CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.



**HOPE CONSULTING**  
 ENGINEERS - SURVEYORS

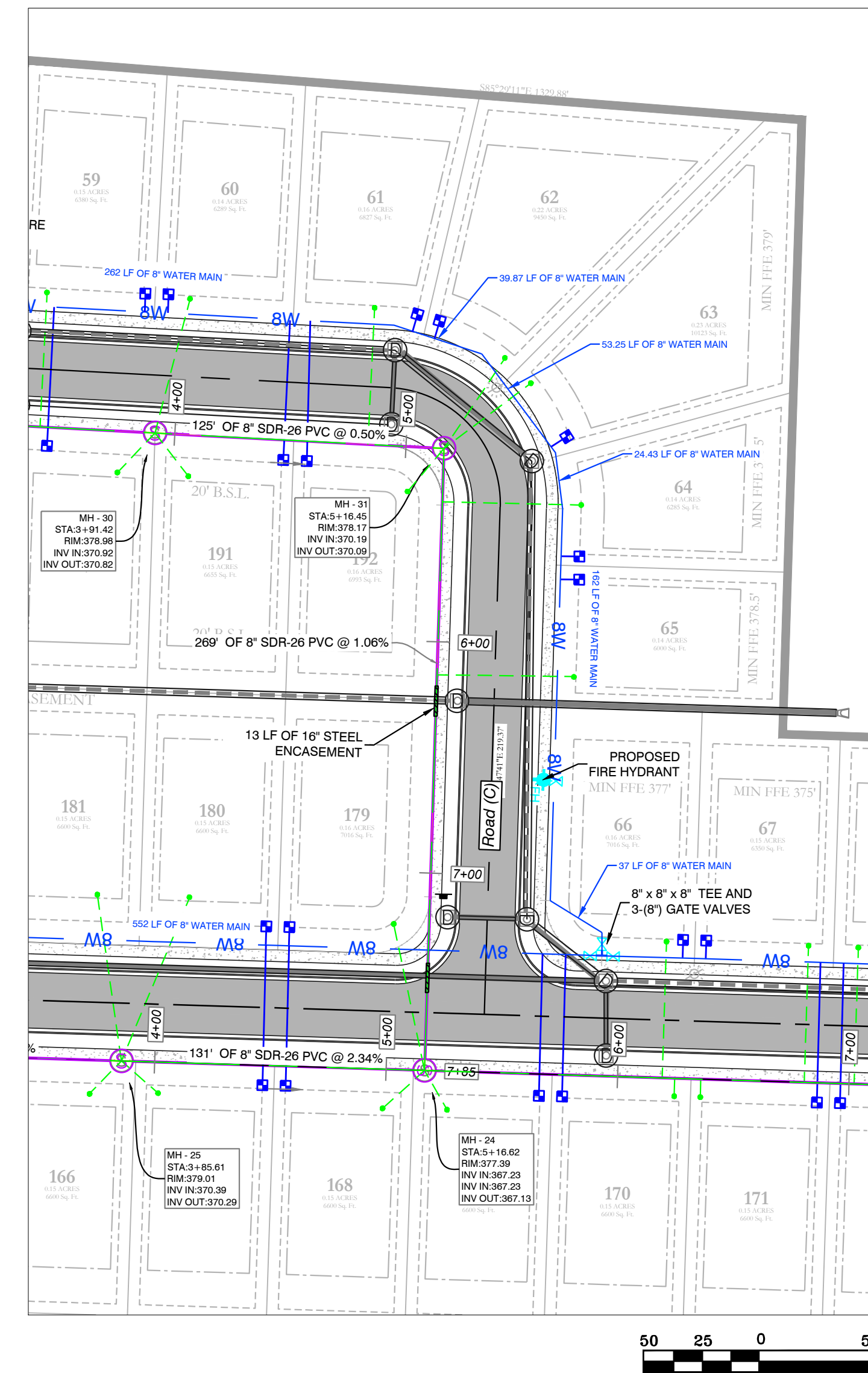
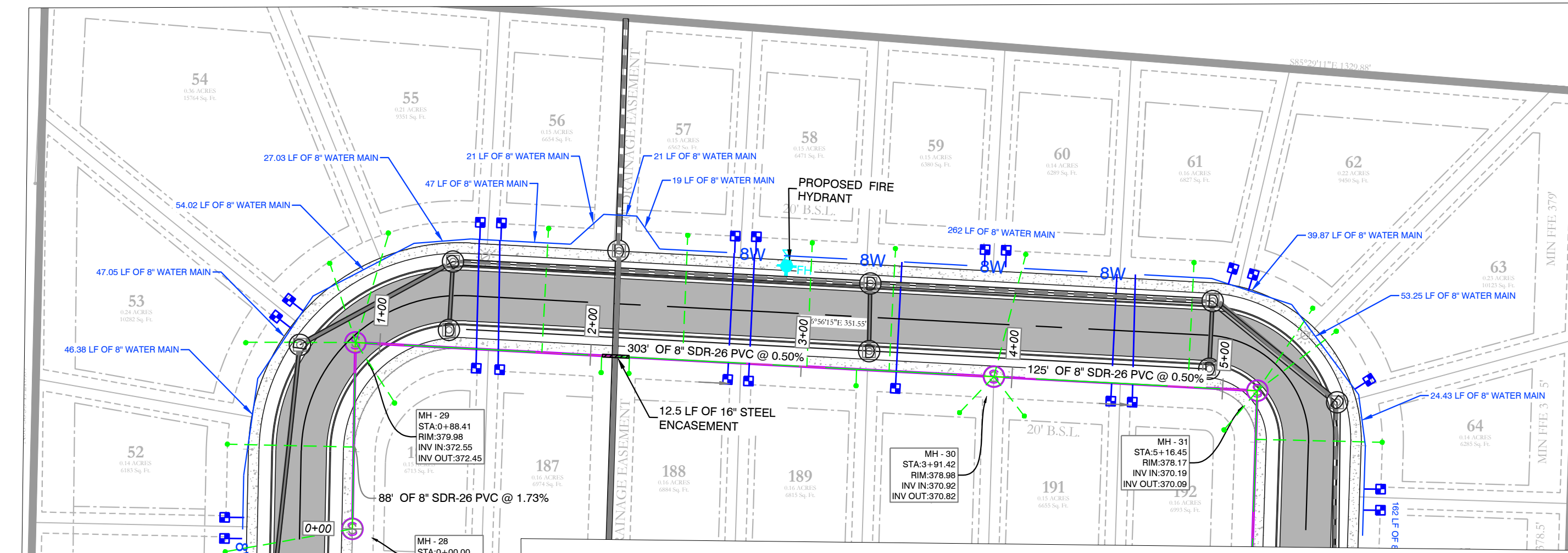
129 North Main Street,  
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 PH. (501)315-2626  
 FAX (501) 315-0024  
 www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
MIDLAND ROAD SEWER PROFILES BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	23-0024
SHEET: C-3.2	SCALE:	
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0	34	230
	62	1807

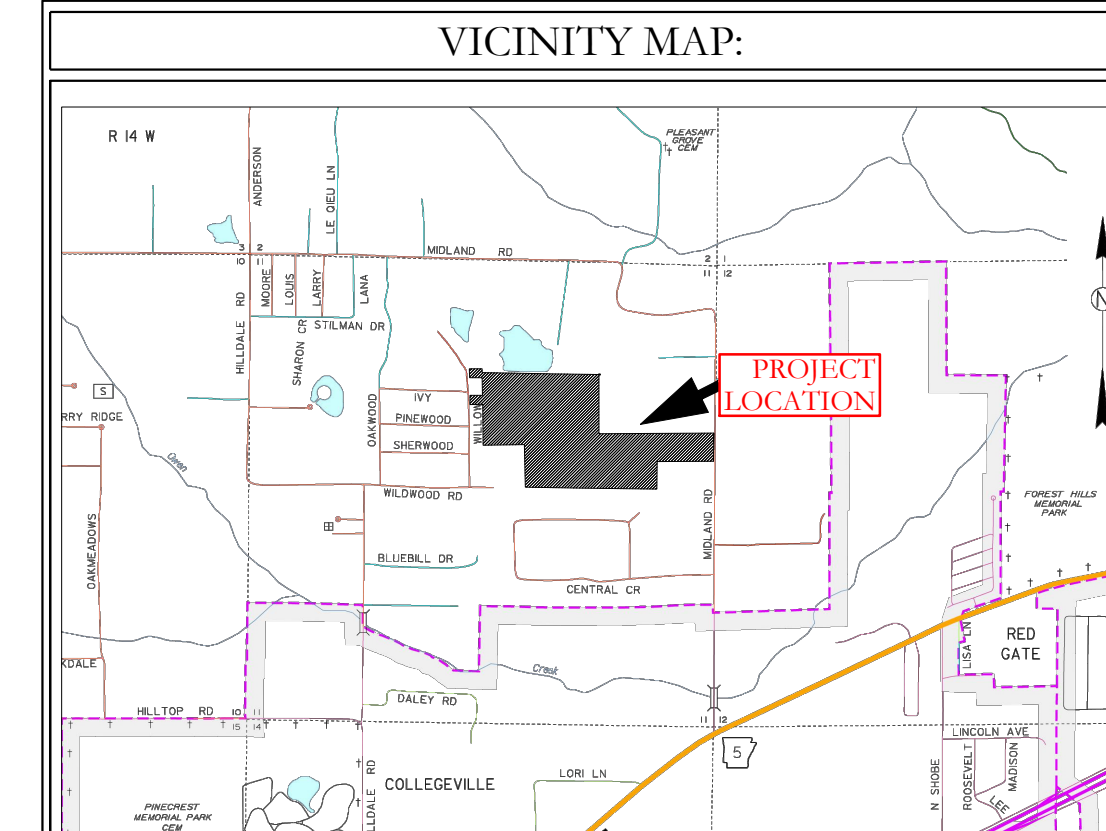
MIDLAND ROAD SUBDIVISION  
 SEWER PLAN & PROFILES

KSLAND PROJECTS 2004 (SUBDIVISIONS) 2625 23-0024 (MIDLAND ROAD AND ROADS SUBDIVISION) S11.TE: RAW (CIVIL) DWG 23-0024 CONSTRUCTION PLAN (FINAL DRAFT), AFTER COMMENTS XXXXXXXX.DWG



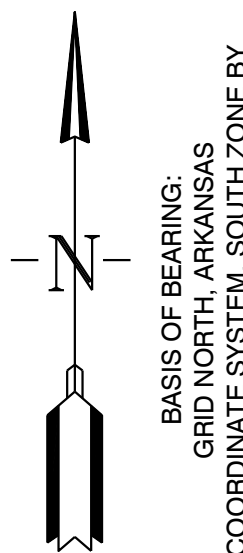


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- Legend:
  - HDPE
  - RCP



SEWER LEGEND:		WATER LEGEND:	
SEWER SERVICE	SEWER MAIN	DUAL WATER METERS	SINGLE WATER METER
SEWER MANHOLE		GATE VALVE	45° FITTING
		90° FITTING	TEE FITTING
		CROSS FITTING	FIRE HYDRANT

NOTE: USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.



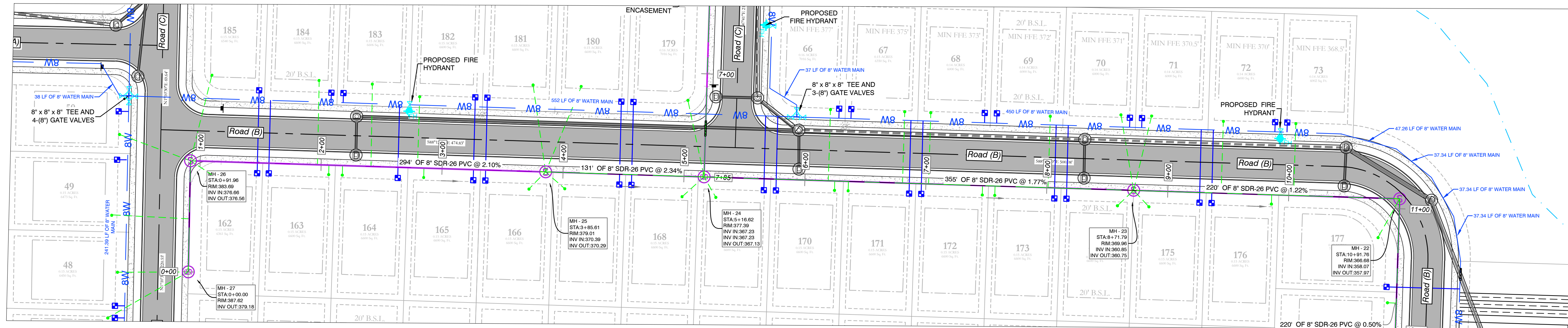
# MIDLAND ROAD SUBDIVISION SEWER PLAN & PROFILES

**HOPE CONSULTING ENGINEERS - SURVEYORS**

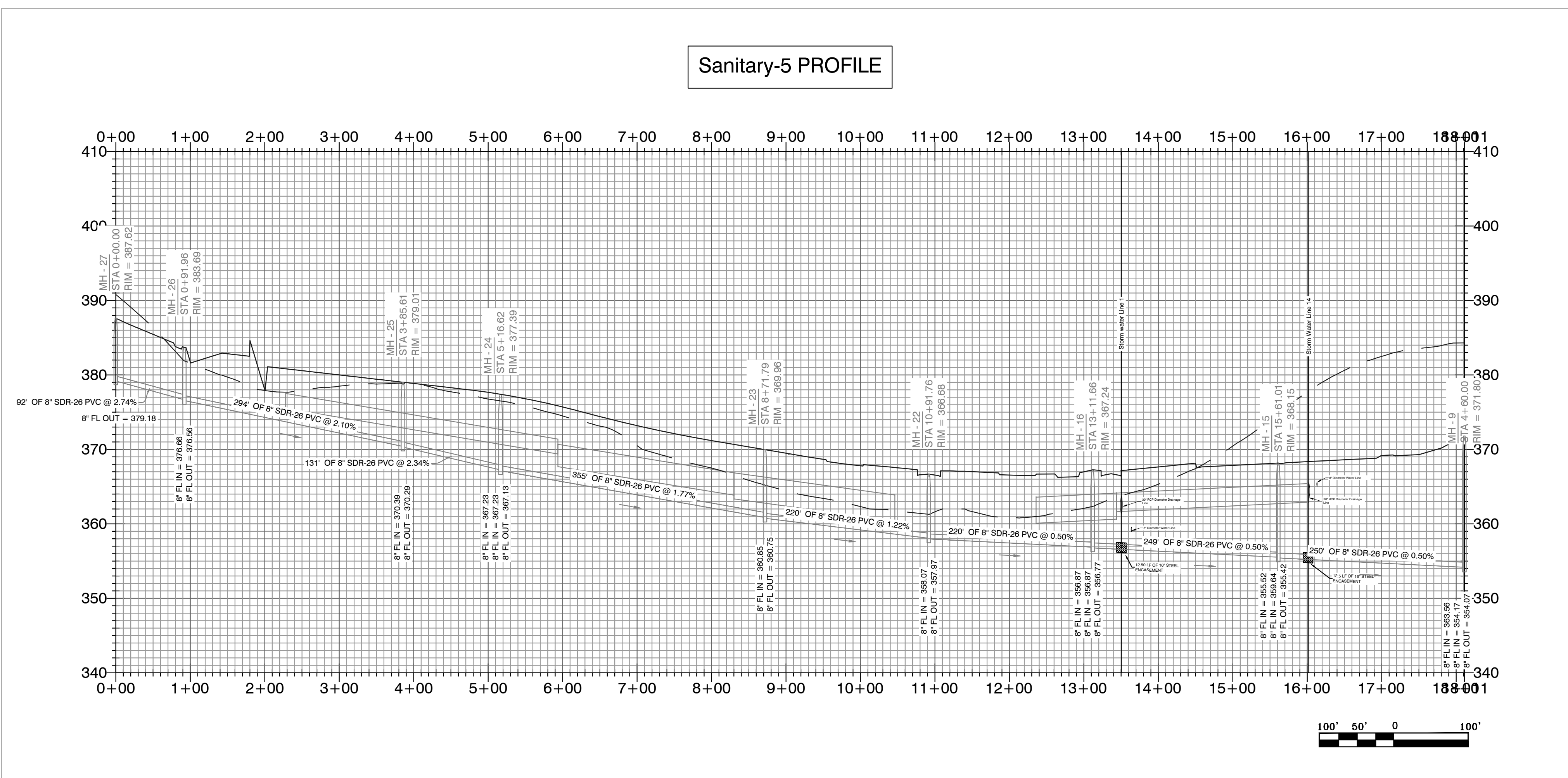
129 North Main Street, Benton, Arkansas 72015  
 PH. (501)315-2626 FAX (501) 315-0024  
 www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
MIDLAND ROAD SEWER PROFILES BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISIONS:	CHECKED BY:	23-0024
SHEET: C-3.4	SCALE:	
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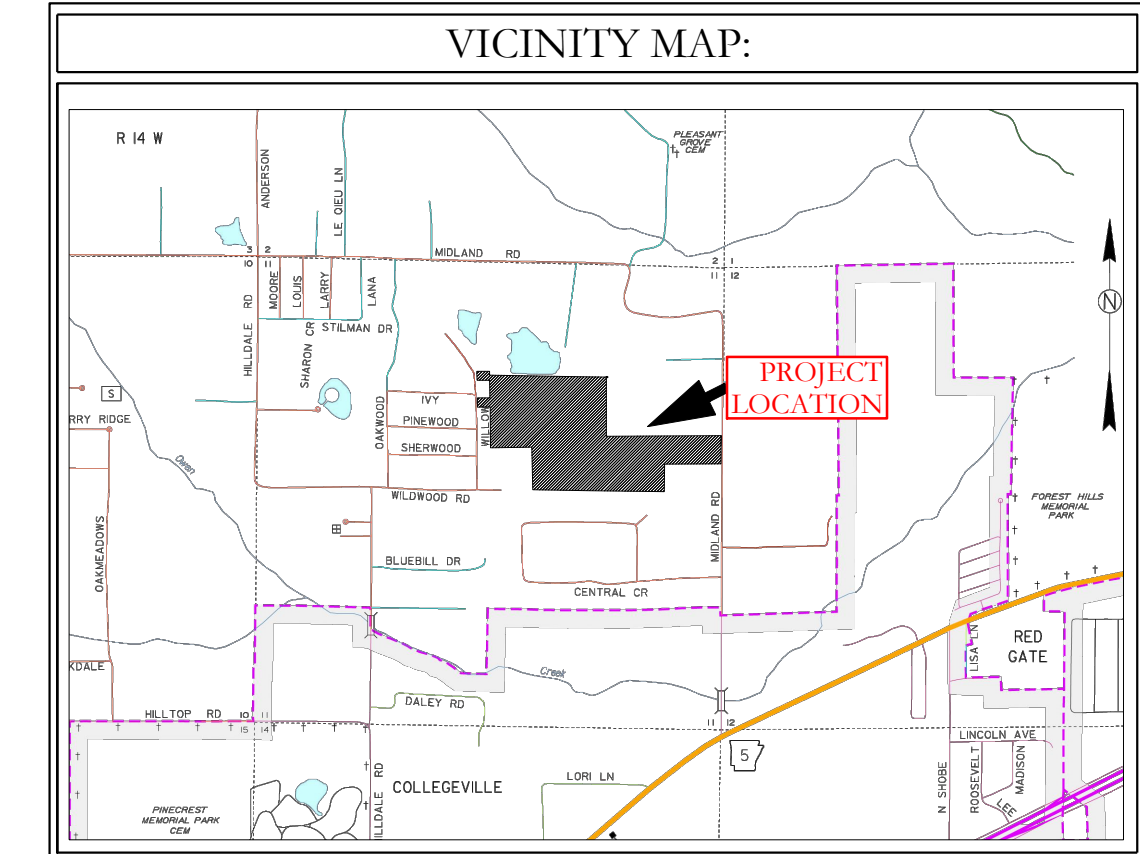
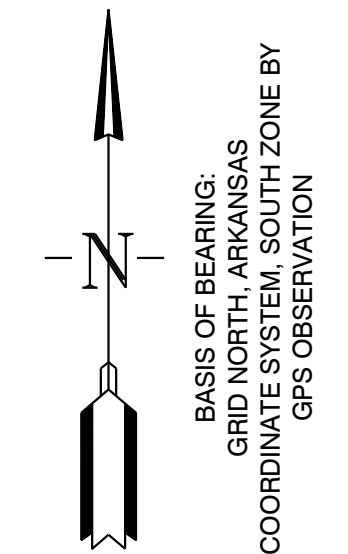
KSLAND PROJECTS 2004 SUBDIVISIONS 2023 23-0024 HAVEN'S DEVELOPMENT AND PROPOSAL SUBDIVISION SITE PLAN (FINAL DRAFT) AFTER COMMENTS XXXXXXXX.DWG



Sanitary-5 PROFILE



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## MIDLAND ROAD SUBDIVISION SEWER PLAN & PROFILES

SEWER LEGEND:		WATER LEGEND:	
	SEWER SERVICE		DUAL WATER METERS
	SEWER MAIN		SINGLE WATER METER
	SEWER MANHOLE		GATE VALVE
			45° FITTING
			90° FITTING
			TEE FITTING
			CROSS FITTING
			FIRE HYDRANT

NOTE: USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3" MINIMUM COVE CANNOT BE MAINTAINED.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

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ENGINEERS - SURVEYORS

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Benton, Arkansas 72015  
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FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>			
<b>MIDLAND ROAD SEWER PROFILES</b> BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 5/9/2023	C.A.D. BY:	DRAWING NUMBER:	
REVISIONS:	CHECKED BY:	<b>23-0024</b>	
SHEET: C-3.5	SCALE:		
500	1S	15W	0 34 230 62 1807

KSLAND PROJECTS 2004 SUBDIVISIONS 2023 23-0024 HAVEN'S DEVELOPMENT AND MIDLAND ROAD SUBDIVISION SUTS: RAW/CV/DLW/GC/23-0024 CONSTRUCTION PLAN (FINAL DRAFT), AFTER COMMENTS XXXXXXXX.DWG



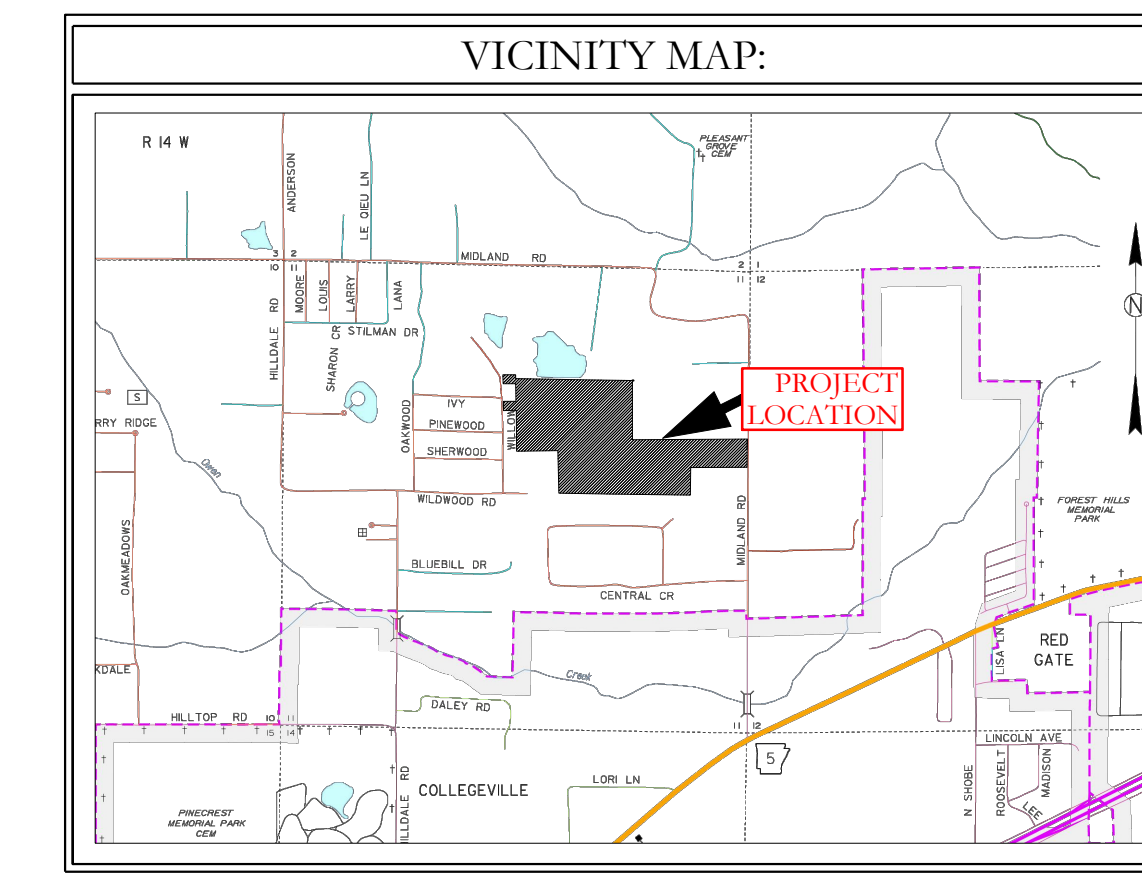
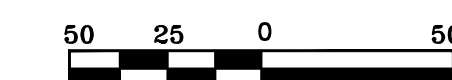
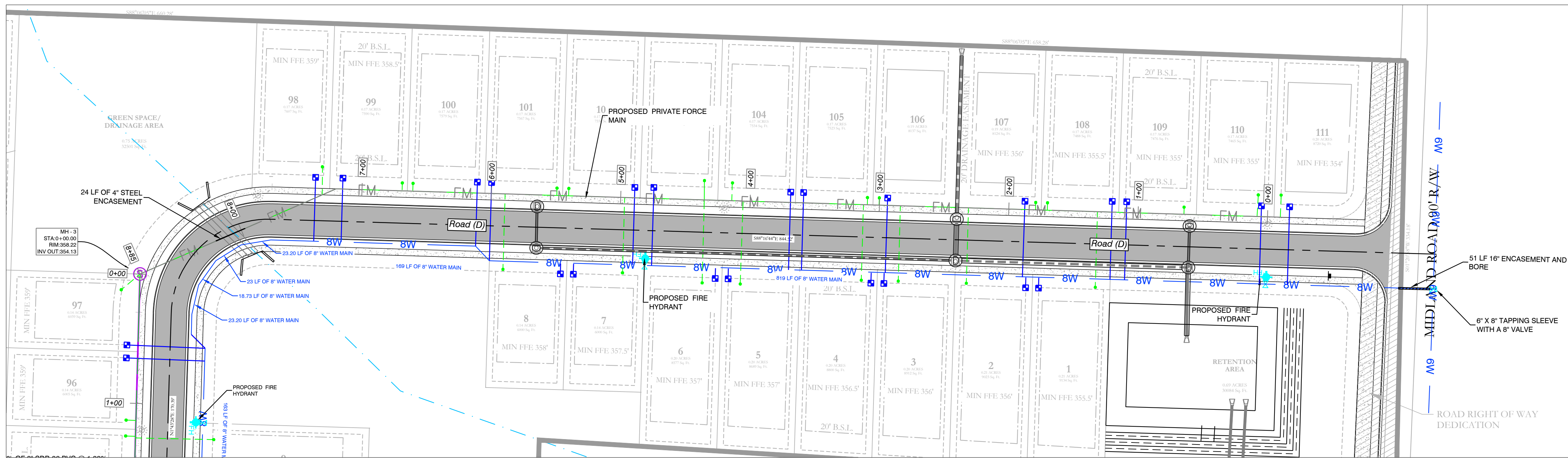


WATER & SEWER UTILITY NOTES:

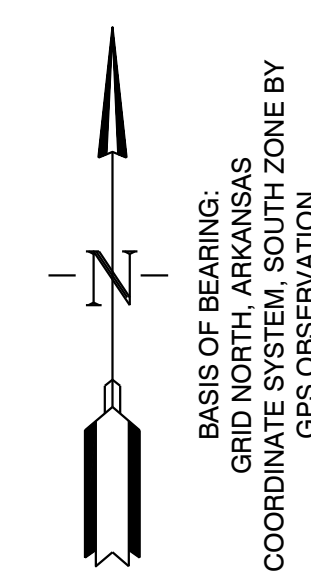
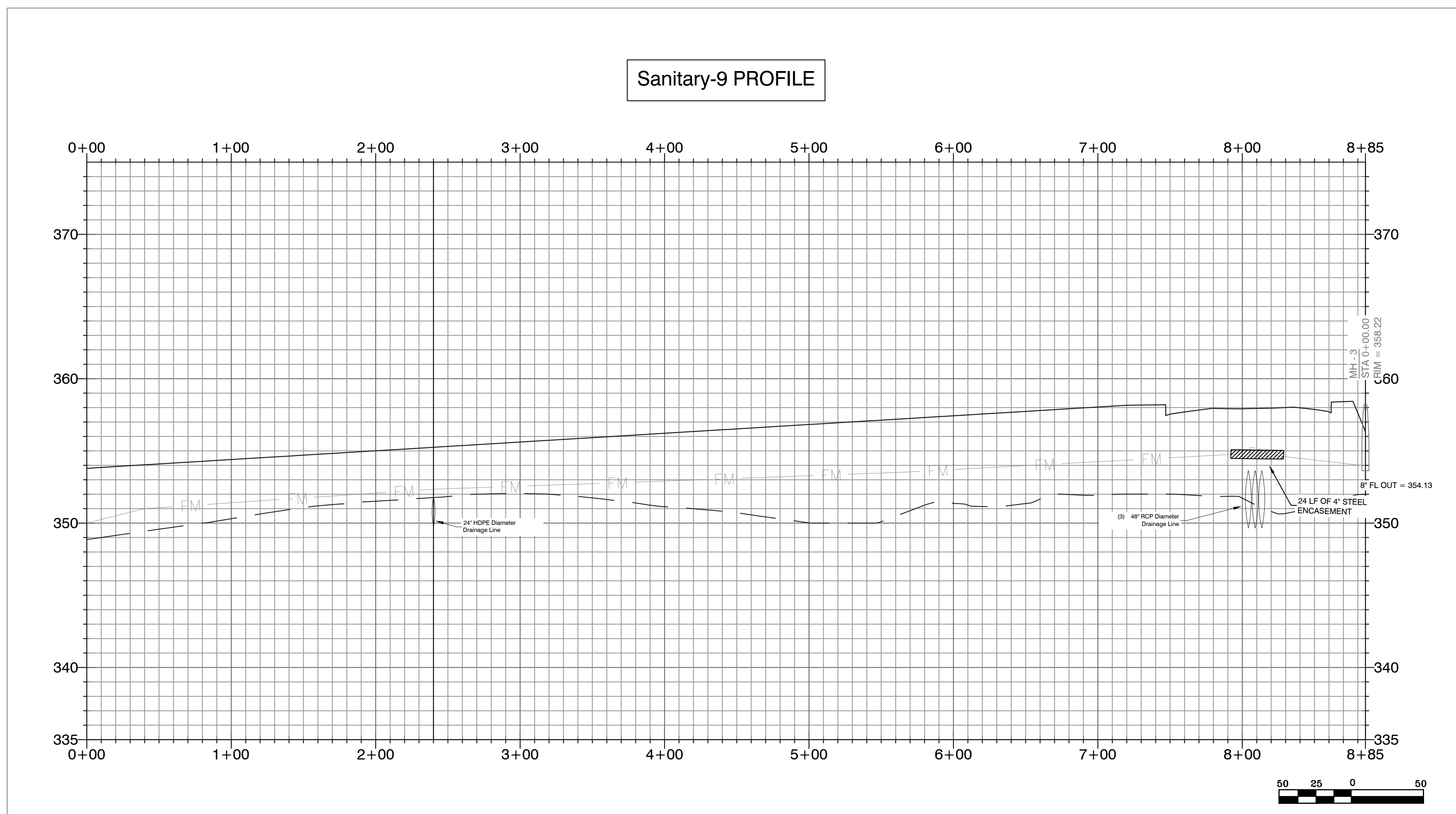
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Sanitary-9 PROFILE



Sanitary-9 Profile Note:  
 1. Sanitary-9 pipe network is operated by 2" SDR-21 pipe force main.

SEWER LEGEND:	WATER LEGEND:
SEWER SERVICE	DUAL WATER METERS
SEWER MAIN	SINGLE WATER METER
SEWER MANHOLE	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

NOTE: USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED.  
 CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

**HOPE CONSULTING**  
 ENGINEERS - SURVEYORS

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FOR USE AND BENEFIT OF:  
**HAVEN'S DEVELOPMENT, LLC**

**MIDLAND ROAD SEWER PROFILES**  
 BRYANT, SALINE COUNTY, ARKANSAS

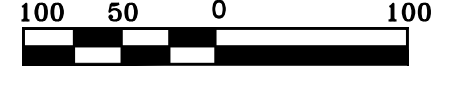
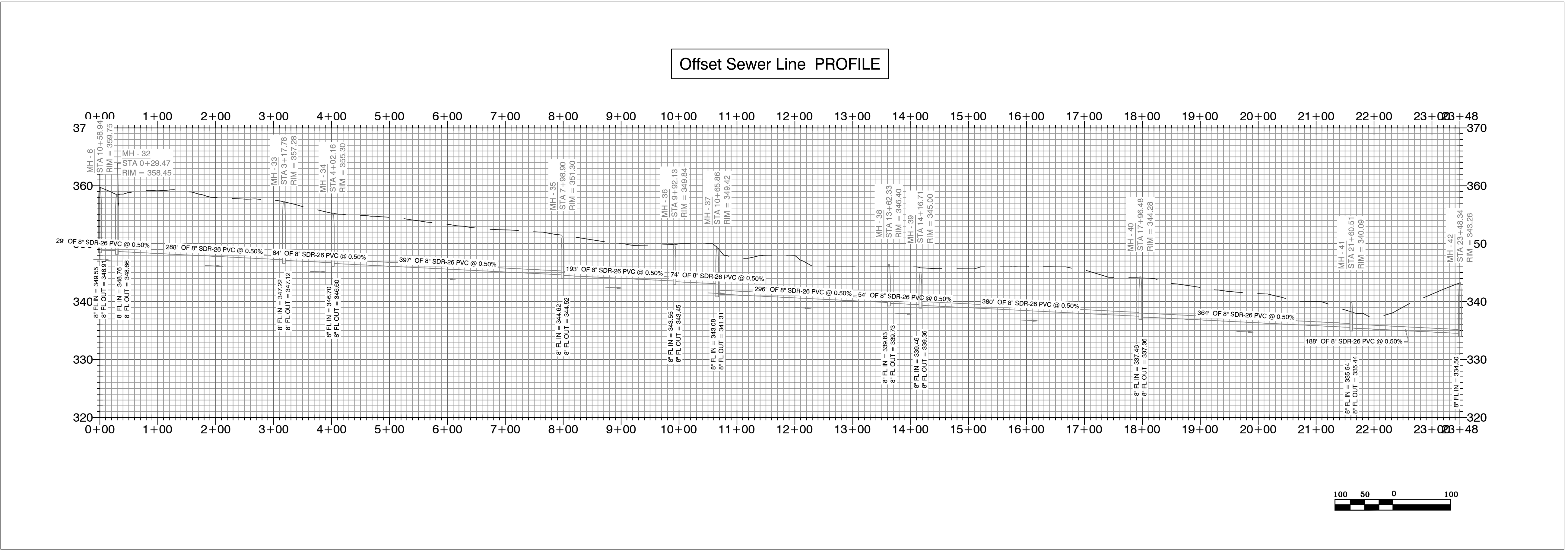
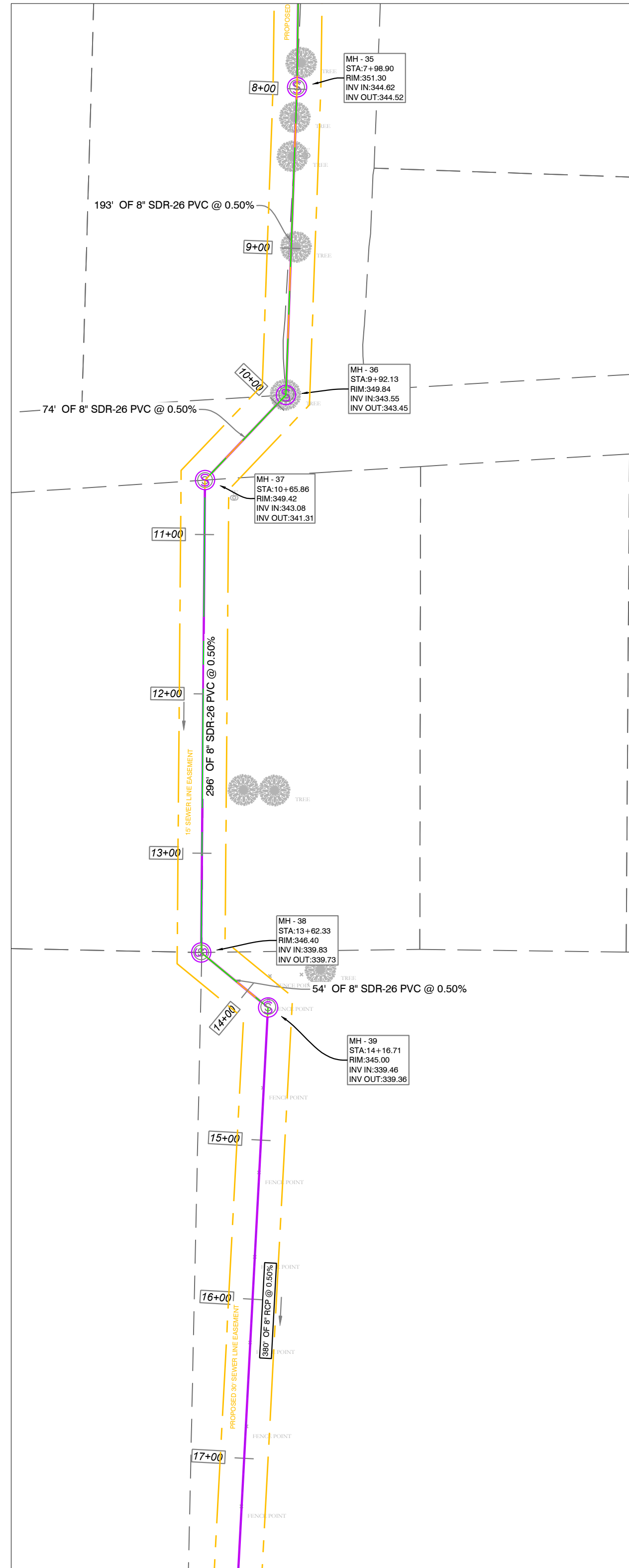
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500	1S	15W
0	34	230
62	1807	

MIDLAND ROAD SUBDIVISION  
 SEWER PLAN & PROFILES

KSLAND PROJECTS 2004 (SUBDIVISIONS) 2023 23-0024 HAVEN'S DEVELOPMENT AND ROAD SUBDIVISION S11715 RAW CIVIL DWG 23-0024 CONSTRUCTION PLAN (FINAL DRAFT), AFTER COMMENTS XXXXXX.DWG

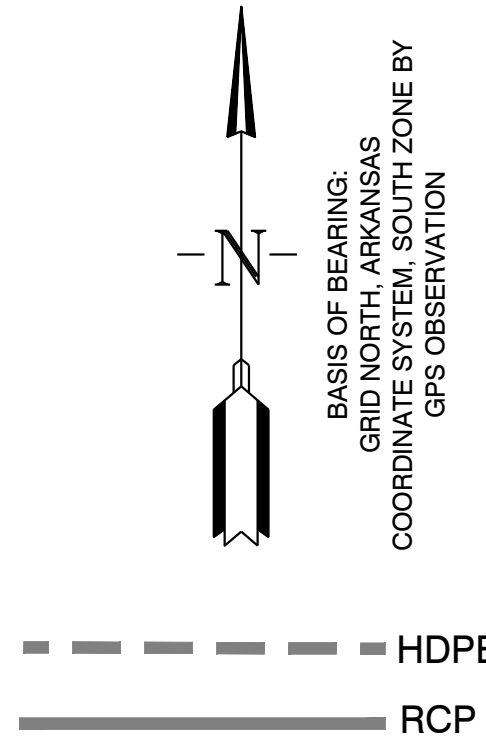
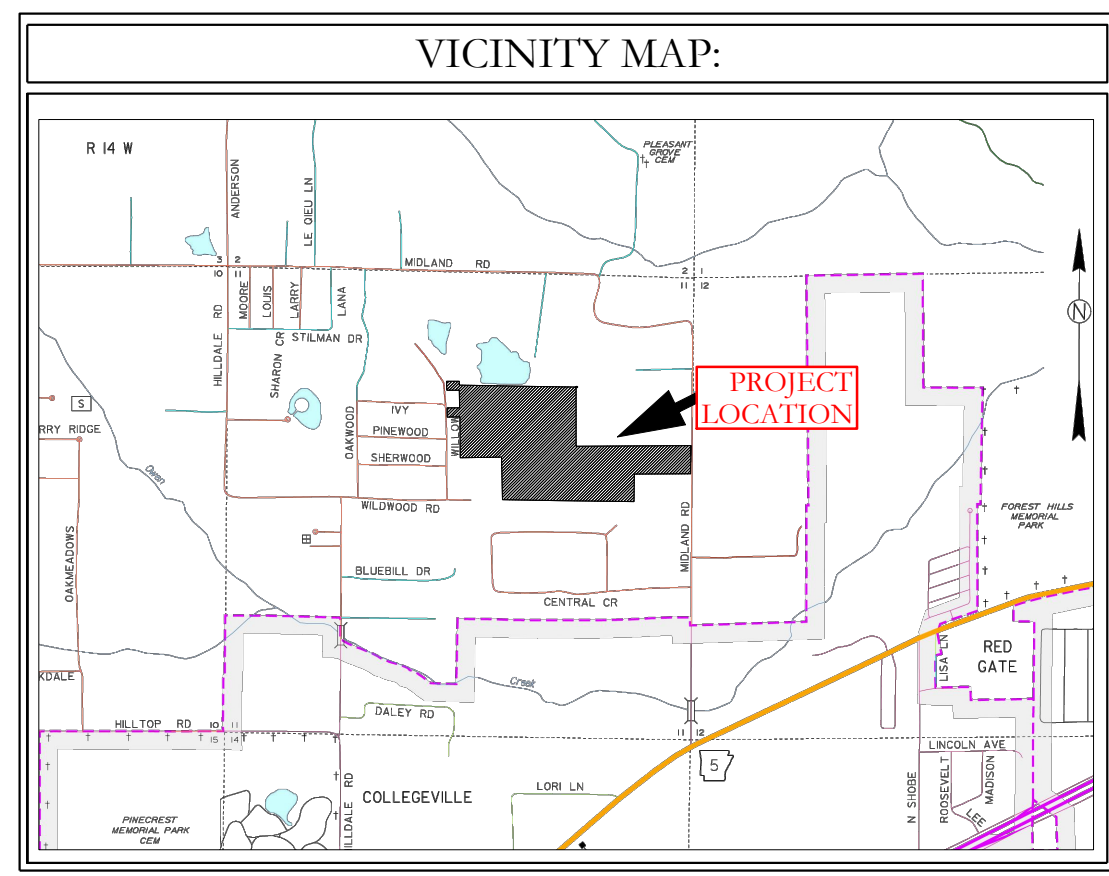






- WATER & SEWER UTILITY NOTES:**
- ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
  - ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
  - ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
  - WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASEMENT PIPE. THE STEEL ENCASEMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.
  - EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAN).
  - CASING SPACERS: SHALL BE STAINLESS STEEL, CASCADE MODEL CCS AS MANUFACTURED BY CASCADE WATER MFG. CO., OR APPROVED EQUAL.

- SEWER CONSTRUCTION NOTES:**
- ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION"
  - ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.
  - CASING SPACERS: SHALL BE STAINLESS STEEL, CASCADE MODEL CCS AS MANUFACTURED BY CASCADE WATER MFG. CO., OR APPROVED EQUAL.



## MIDLAND ROAD SUBDIVISION SEWER PLAN & PROFILES

SEWER LEGEND:	WATER LEGEND:
SEWER SERVICE	DUAL WATER METERS
SEWER MAIN	SINGLE WATER METER
SEWER MANHOLE	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

**NOTE:**  
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED.  
CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

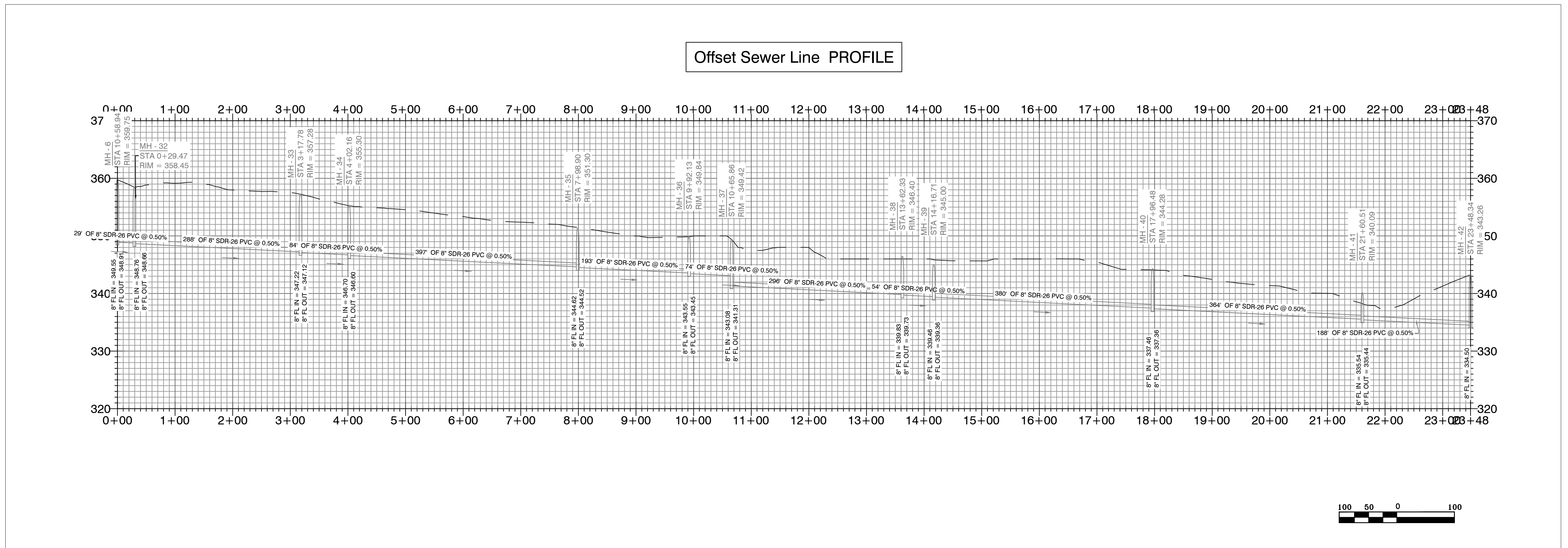
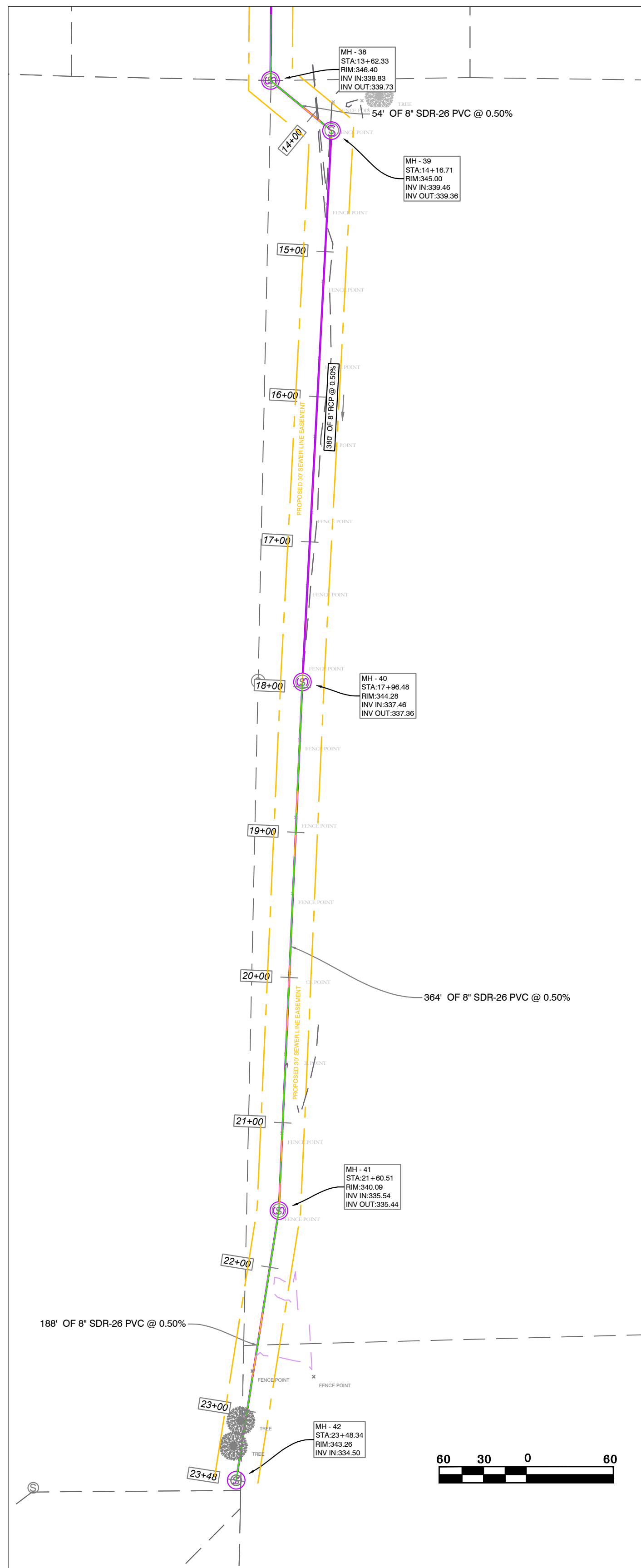
129 North Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**HAVEN'S DEVELOPMENT, LLC**

**MIDLAND ROAD  
SEWER PROFILES**  
BRYANT, SALINE COUNTY, ARKANSAS

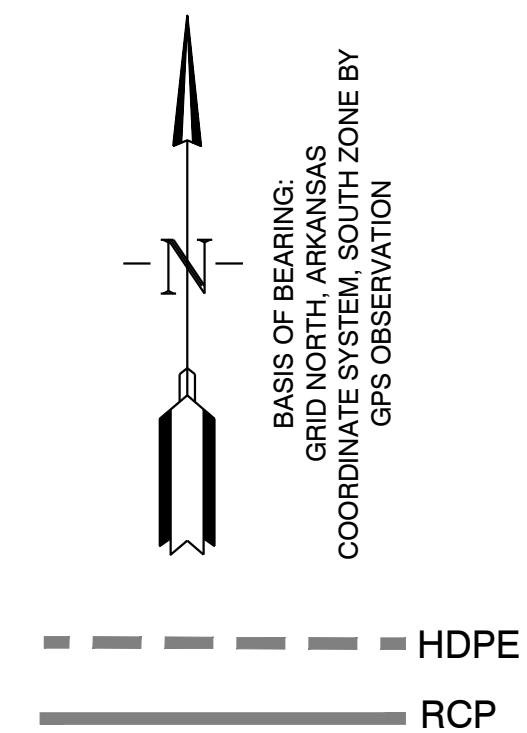
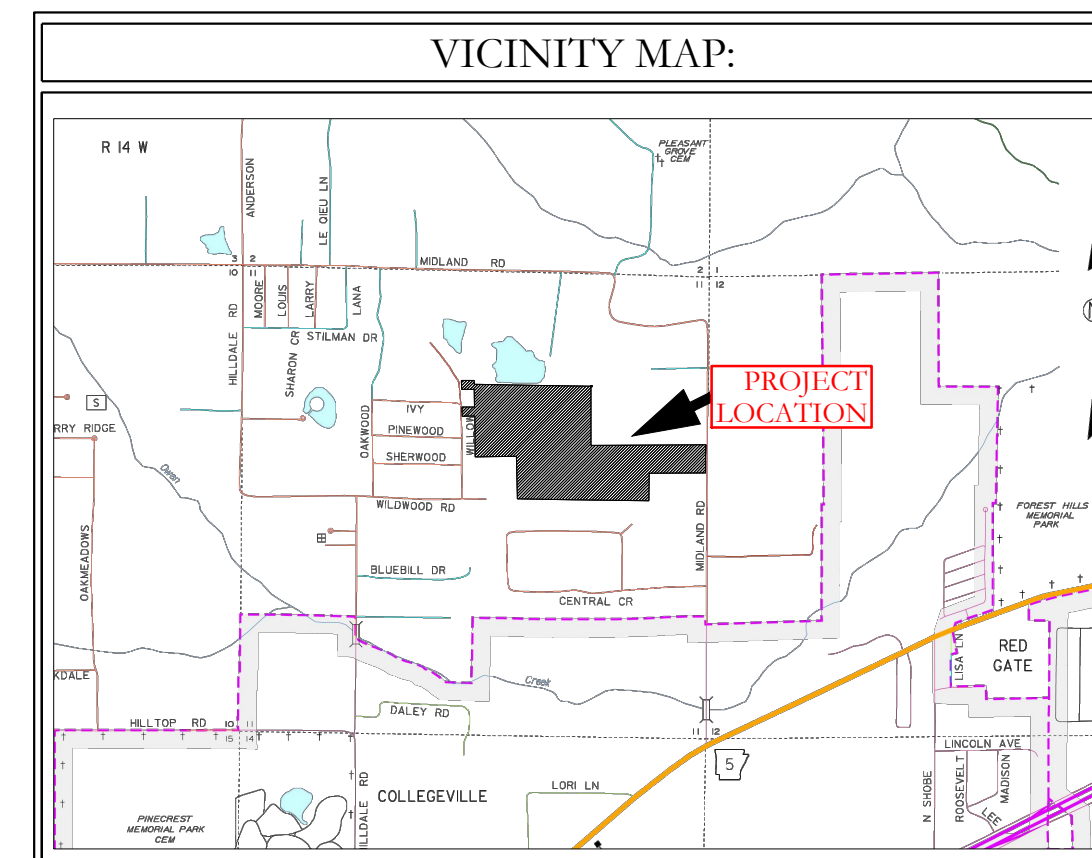
DATE: 5/9/2023	C.A.D. BY:	DRAWING NUMBER:
REVISID:	CHECKED BY:	23-0024
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## MIDLAND ROAD SUBDIVISION SEWER PLAN & PROFILES

SEWER LEGEND:	WATER LEGEND:
SEWER MAIN	DUAL WATER METERS
SEWER SERVICE	SINGLE WATER METER
SEWER MANHOLE	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

NOTE:  
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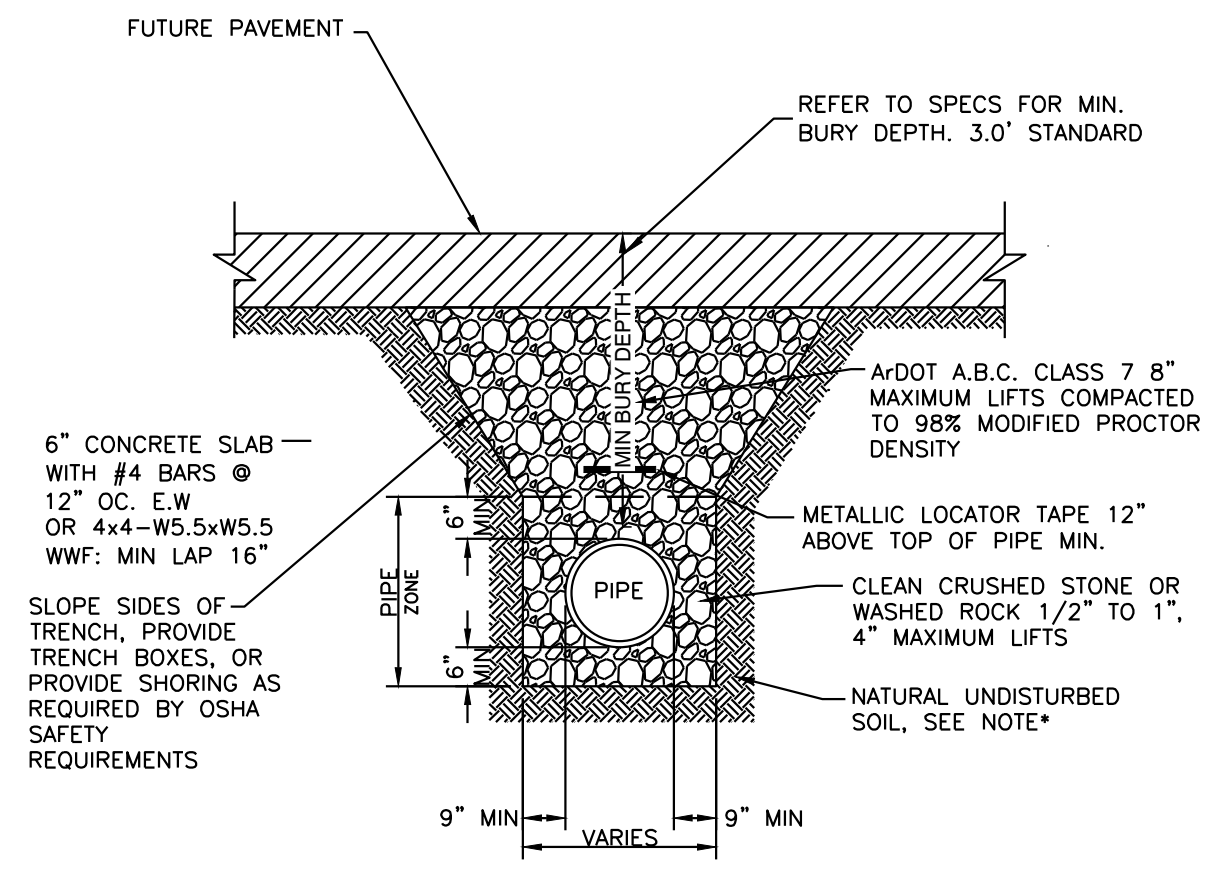
**HOPE CONSULTING**  
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BRYANT, SALINE COUNTY, ARKANSAS

DATE: 5/9/2023	C.A.D. BY:	DRAWING NUMBER:
REVISID:	CHECKED BY:	<b>23-0024</b>
SHEET: C-3.11	SCALE:	
500	1S	15W
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62	1807	



**PVC SEWER TRENCH UNDER FUTURE ASPHALT STREET**  
N.T.S.

REFER TO SPECS FOR MIN. BURY DEPTH, 3.0' STANDARD

6" CONCRETE SLAB WITH #4 BARS @ 12" OC. E.W. OR 4x4-W5.5xW5.5 WWF. MIN LAP 16"

A-DOT A.B.C. CLASS 7 8" MAXIMUM LIFTS COMPACTED TO 98% MODIFIED PROCTOR DENSITY

METALLIC LOCATOR TAPE 12" ABOVE TOP OF PIPE MIN.

CLEAN CRUSHED STONE OR WASHED ROCK 1/2" TO 1", 4" MAXIMUM LIFTS

NATURAL UNDISTURBED SOIL, SEE NOTE\*

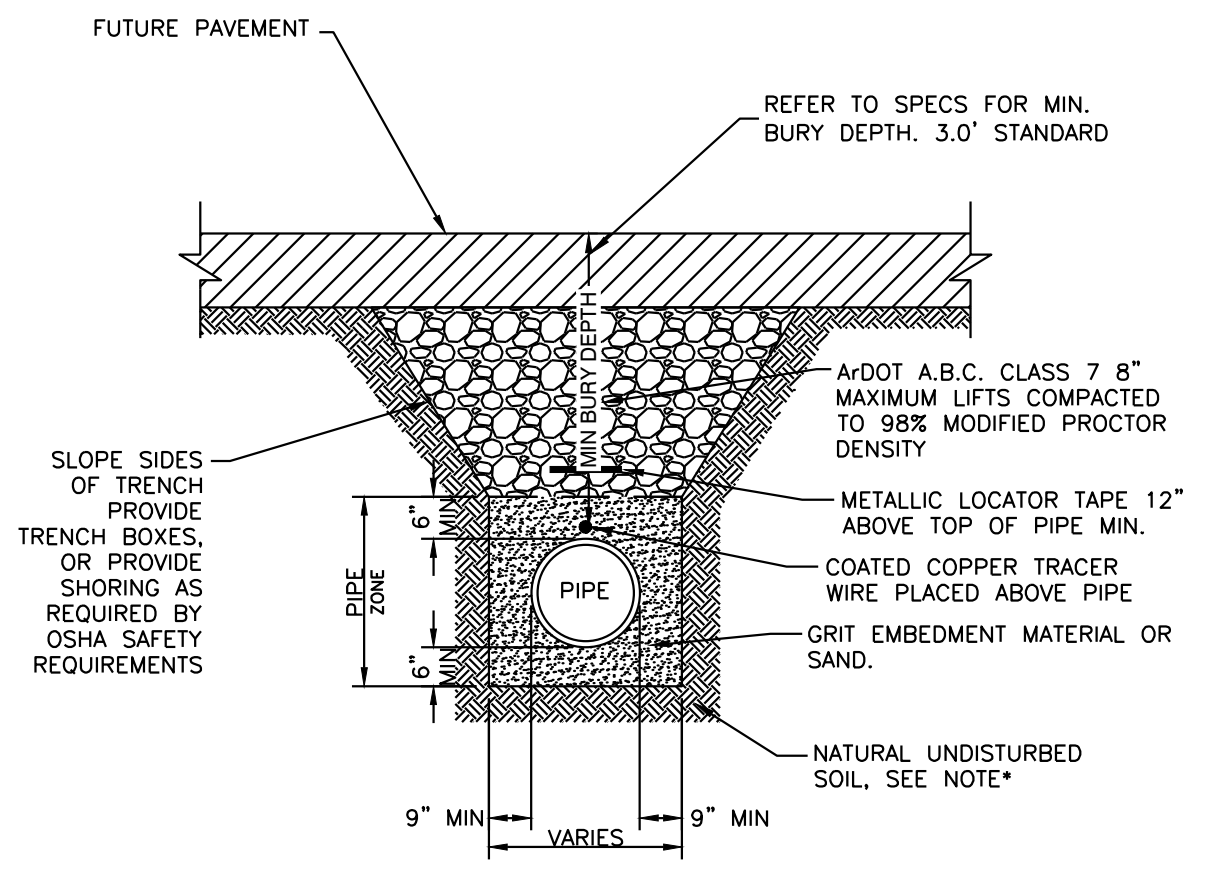
9" MIN VARIES 9" MIN

PIPE ZONE

SLOPE SIDES OF TRENCH, PROVIDE TRENCH BOXES, OR PROVIDE SHORING AS REQUIRED BY OSHA SAFETY REQUIREMENTS

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: \* FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



**PVC WATER LINE TRENCH UNDER FUTURE ASPHALT STREET**  
N.T.S.

REFER TO SPECS FOR MIN. BURY DEPTH, 3.0' STANDARD

6" CONCRETE SLAB WITH #4 BARS @ 12" OC. E.W. OR 4x4-W5.5xW5.5 WWF. MIN LAP 16"

A-DOT A.B.C. CLASS 7 8" MAXIMUM LIFTS COMPACTED TO 98% MODIFIED PROCTOR DENSITY

METALLIC LOCATOR TAPE 12" ABOVE TOP OF PIPE MIN.

COATED COPPER TRACER WIRE PLACED ABOVE PIPE

GRIT EMBEDMENT MATERIAL OR SAND

NATURAL UNDISTURBED SOIL, SEE NOTE\*

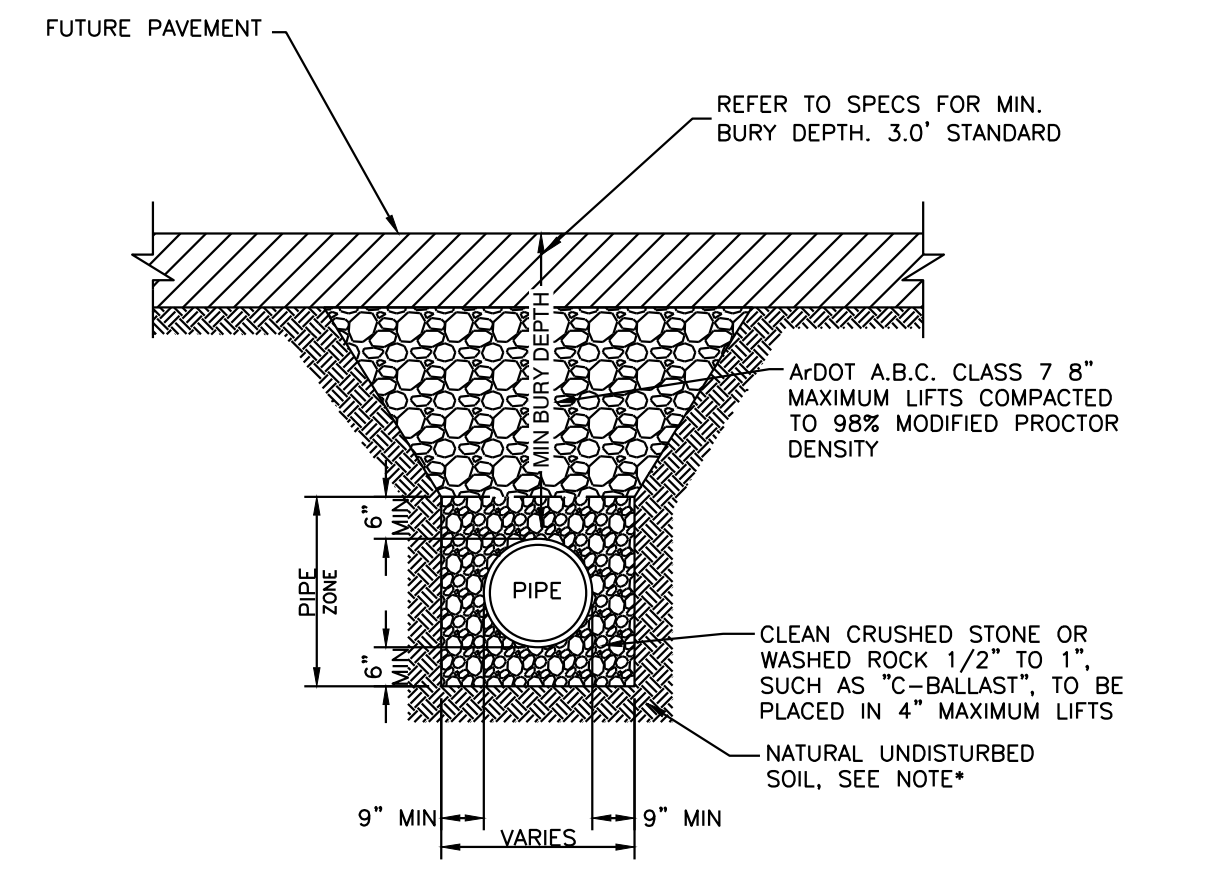
9" MIN VARIES 9" MIN

PIPE ZONE

SLOPE SIDES OF TRENCH, PROVIDE TRENCH BOXES, OR PROVIDE SHORING AS REQUIRED BY OSHA SAFETY REQUIREMENTS

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: \* FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



**DRAINAGE PIPE TRENCH UNDER FUTURE ASPHALT STREET**  
N.T.S.

REFER TO SPECS FOR MIN. BURY DEPTH, 3.0' STANDARD

6" CONCRETE SLAB WITH #4 BARS @ 12" OC. E.W. OR 4x4-W5.5xW5.5 WWF. MIN LAP 16"

A-DOT A.B.C. CLASS 7 8" MAXIMUM LIFTS COMPACTED TO 98% MODIFIED PROCTOR DENSITY

CLEAN CRUSHED STONE OR WASHED ROCK 1/2" TO 1", SUCH AS "C-BALLAST", TO BE PLACED IN 4" MAXIMUM LIFTS

NATURAL UNDISTURBED SOIL, SEE NOTE\*

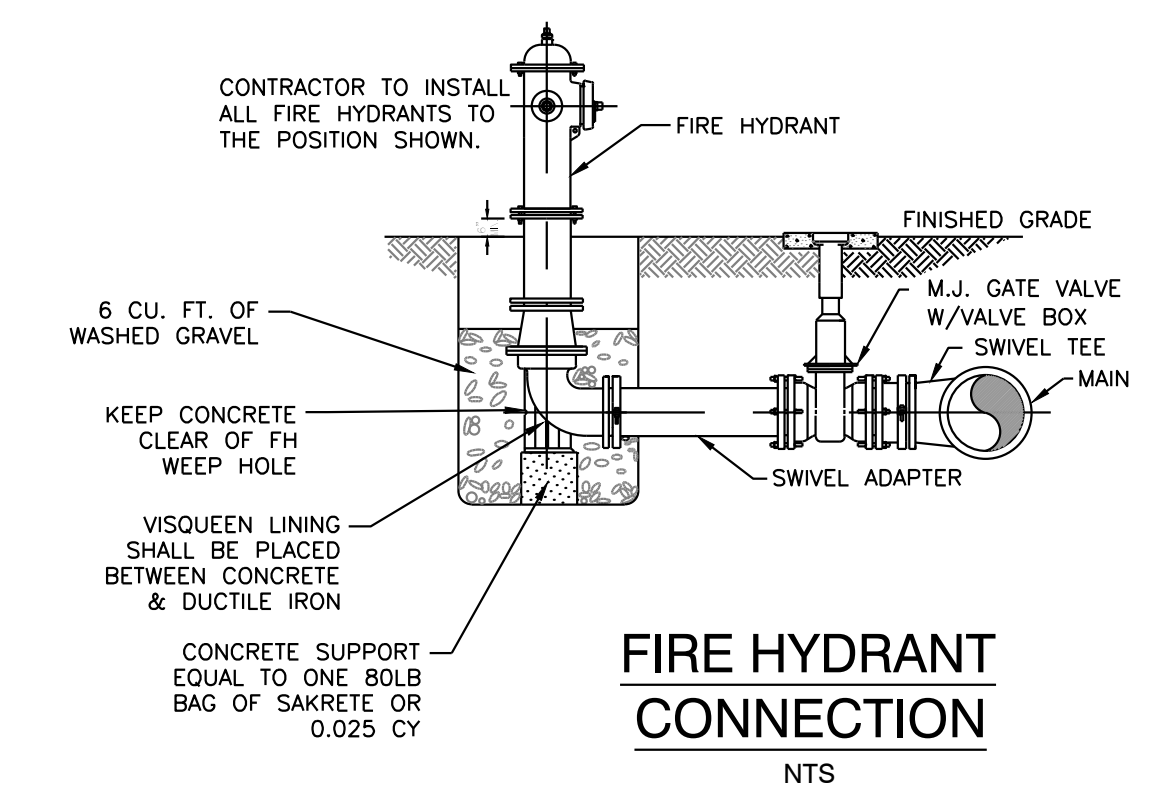
9" MIN VARIES 9" MIN

PIPE ZONE

SLOPE SIDES OF TRENCH, PROVIDE TRENCH BOXES, OR PROVIDE SHORING AS REQUIRED BY OSHA SAFETY REQUIREMENTS

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: \* FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



**FIRE HYDRANT CONNECTION**  
N.T.S.

CONTRACTOR TO INSTALL ALL FIRE HYDRANT TO THE POSITION SHOWN.

6 CU. FT. OF WASHED GRAVEL

KEEP CONCRETE CLEAR OF FIRE WEEP HOLE

VISQUEEN LINING SHALL BE PLACED BETWEEN CONCRETE & DUCTILE IRON

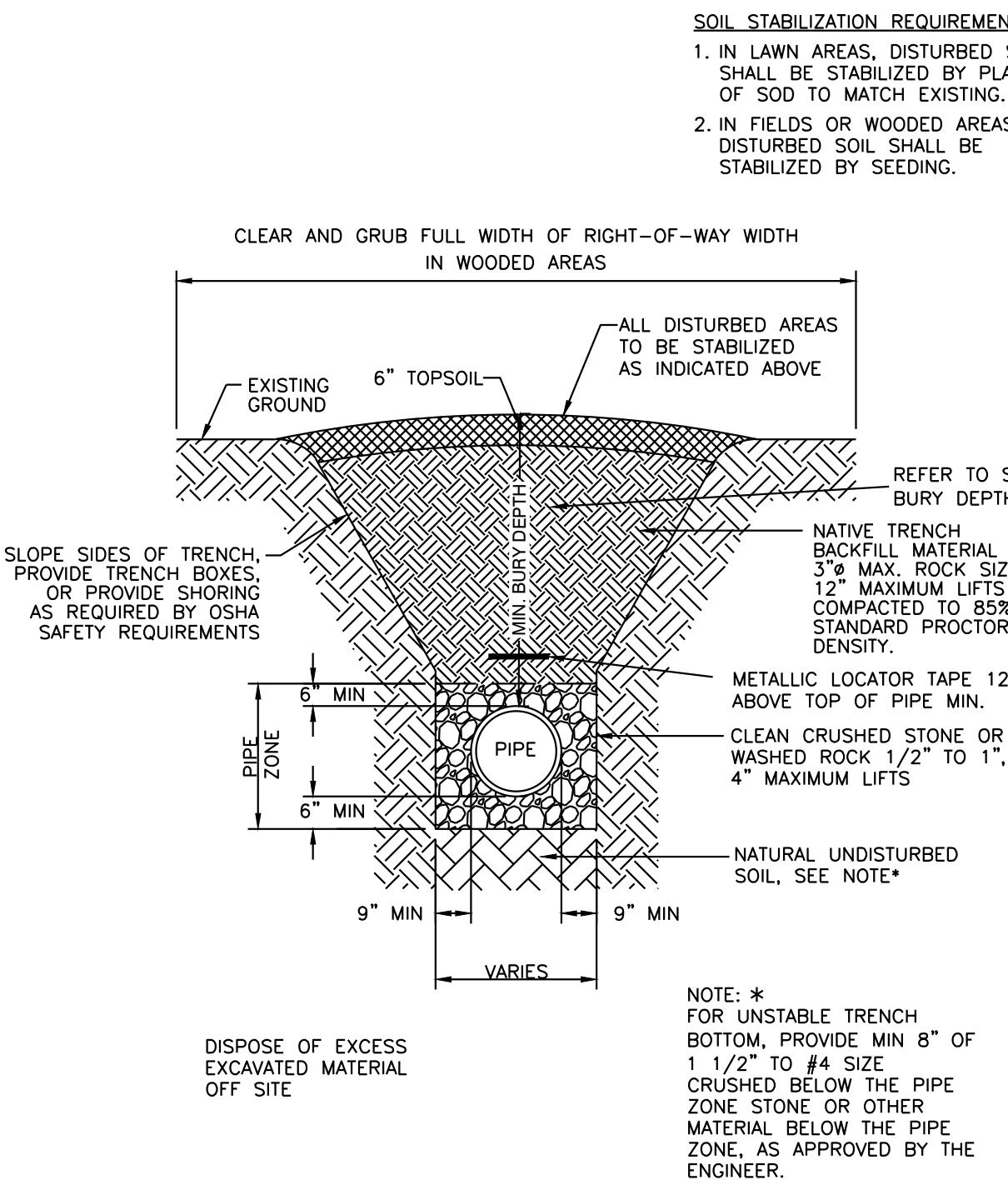
CONCRETE SUPPORT EQUAL TO ONE BOLB BAG OF SAKRETE OR 0.025 CY

M.J. GATE VALVE W/VALVE BOX

SWIVEL TEE

SWIVEL ADAPTER

FINISHED GRADE



**PVC SEWER TRENCH IN UNPAVED AREAS**  
N.T.S.

REFER TO SPECS FOR MIN. BURY DEPTH, 3.0' STANDARD

6" TOPSOIL

NATIVE TRENCH BACKFILL MATERIAL 3" MAX. ROCK SIZE 12" MAXIMUM LIFTS COMPACTED TO 85% STANDARD PROCTOR DENSITY

METALLIC LOCATOR TAPE 12" ABOVE TOP OF PIPE MIN.

CLEAN CRUSHED STONE OR WASHED ROCK 1/2" TO 1", 4" MAXIMUM LIFTS

NATURAL UNDISTURBED SOIL, SEE NOTE\*

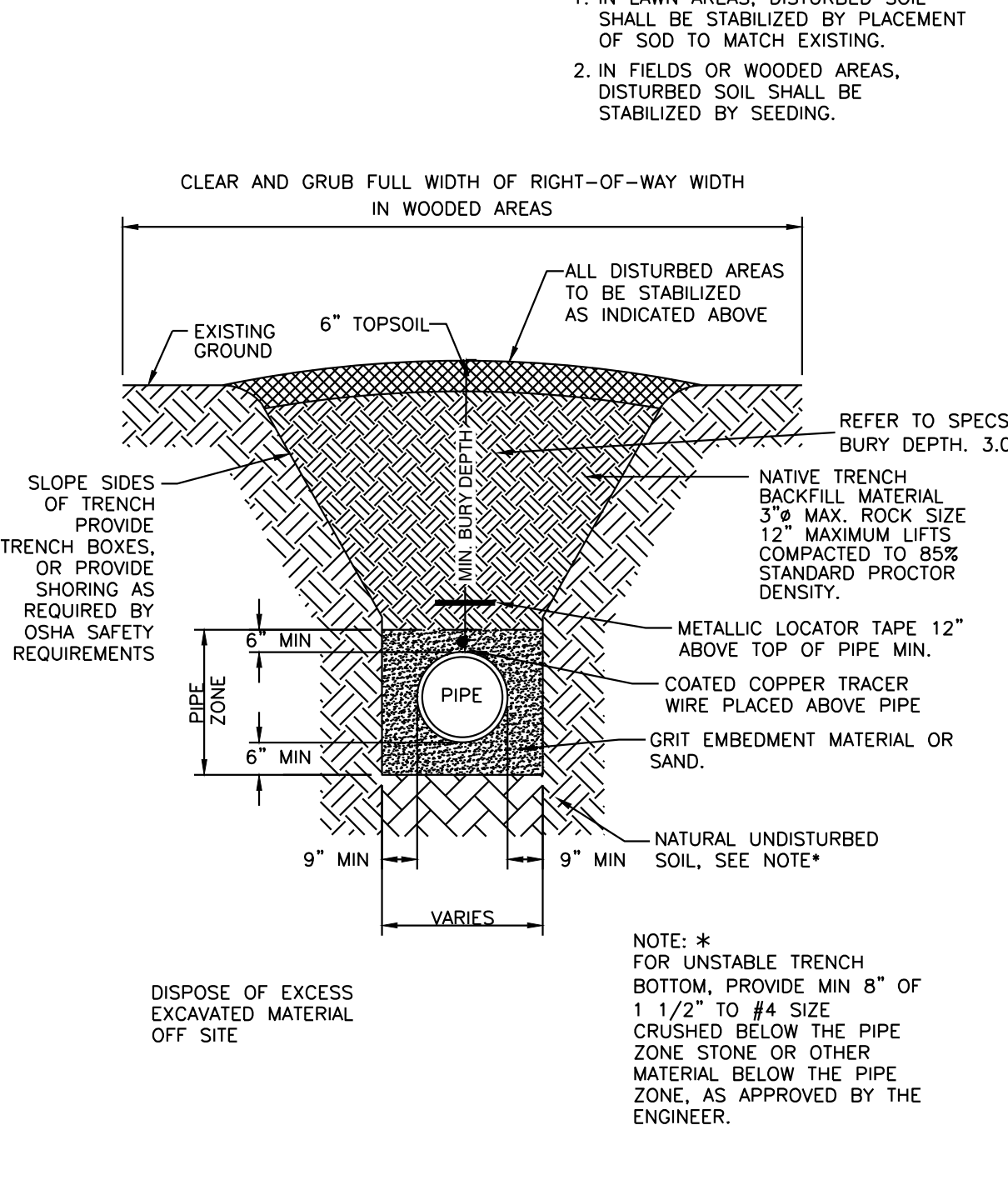
9" MIN VARIES 9" MIN

PIPE ZONE

SLOPE SIDES OF TRENCH, PROVIDE TRENCH BOXES, OR PROVIDE SHORING AS REQUIRED BY OSHA SAFETY REQUIREMENTS

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: \* FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



**PVC WATER LINE TRENCH IN UNPAVED AREAS**  
N.T.S.

REFER TO SPECS FOR MIN. BURY DEPTH, 3.0' STANDARD

6" TOPSOIL

NATIVE TRENCH BACKFILL MATERIAL 3" MAX. ROCK SIZE 12" MAXIMUM LIFTS COMPACTED TO 85% STANDARD PROCTOR DENSITY

METALLIC LOCATOR TAPE 12" ABOVE TOP OF PIPE MIN.

COATED COPPER TRACER WIRE PLACED ABOVE PIPE

GRIT EMBEDMENT MATERIAL OR SAND

NATURAL UNDISTURBED SOIL, SEE NOTE\*

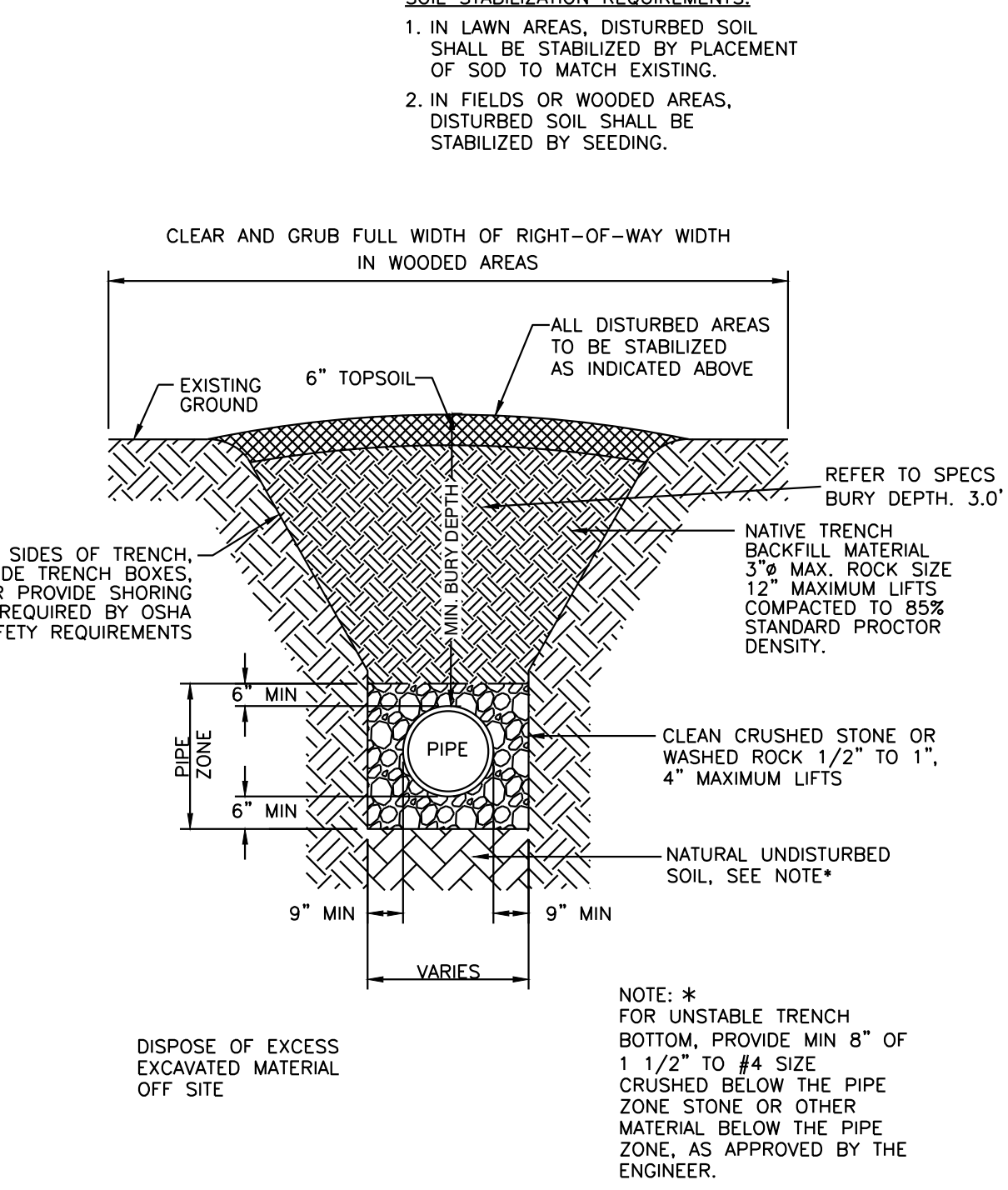
9" MIN VARIES 9" MIN

PIPE ZONE

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DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: \* FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



**DRAINAGE PIPES IN UNPAVED AREAS**  
N.T.S.

REFER TO SPECS FOR MIN. BURY DEPTH, 3.0' STANDARD

6" TOPSOIL

NATIVE TRENCH BACKFILL MATERIAL 3" MAX. ROCK SIZE 12" MAXIMUM LIFTS COMPACTED TO 85% STANDARD PROCTOR DENSITY

CLEAN CRUSHED STONE OR WASHED ROCK 1/2" TO 1", 4" MAXIMUM LIFTS

NATURAL UNDISTURBED SOIL, SEE NOTE\*

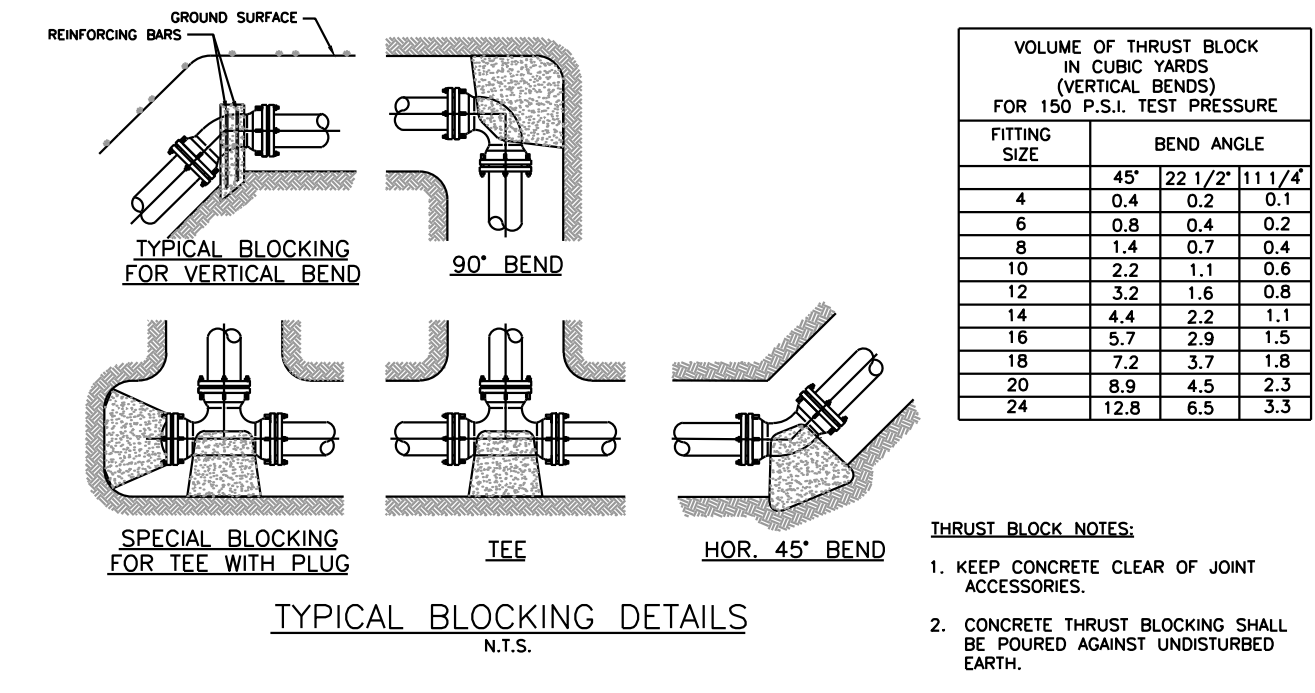
9" MIN VARIES 9" MIN

PIPE ZONE

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DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: \* FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



**TYPICAL BLOCKING DETAILS**  
N.T.S.

**VOLUME OF THRUST BLOCK IN CUBIC YARDS (VERTICAL BENDS) FOR 150 P.S.I. TEST PRESSURE**

FITTING SIZE	BEND ANGLE		
	45°	22 1/2°	11 1/4°
4	0.4	0.2	0.1
6	0.8	0.4	0.2
8	1.4	0.7	0.4
10	2.2	1.1	0.6
12	3.2	1.6	0.8
14	4.4	2.2	1.1
16	5.7	2.9	1.5
18	7.2	3.7	1.8
20	8.9	4.5	2.3
24	12.8	6.5	3.3

**TEE BLOCKING VOLUMES FOR 150 P.S.I. TEST PRESSURE**

FITTING SIZE	TEE PLUGGED CROSS		TEE PLUGGED ON RUN		
	45°	22 1/2°	45°	22 1/2°	11 1/4°
4	1.0	1.4	1.0	1.4	1.0
6	2.1	3.0	2.1	3.0	1.6
8	3.8	5.3	3.8	5.4	2.9
10	5.9	8.4	5.9	8.4	4.6
12	8.5	12.0	8.5	12.0	6.6
14	11.9	16.3	11.5	16.3	8.9
16	15.0	21.3	15.0	21.3	11.6
18	19.0	27.0	19.0	27.0	14.6
20	23.9	33.3	23.9	33.3	18.1
24	34.0	48.0	34.0	48.0	26.2

**VOLUME OF THRUST BLOCK IN CUBIC YARDS (VERTICAL BENDS) FOR 150 P.S.I. TEST PRESSURE**

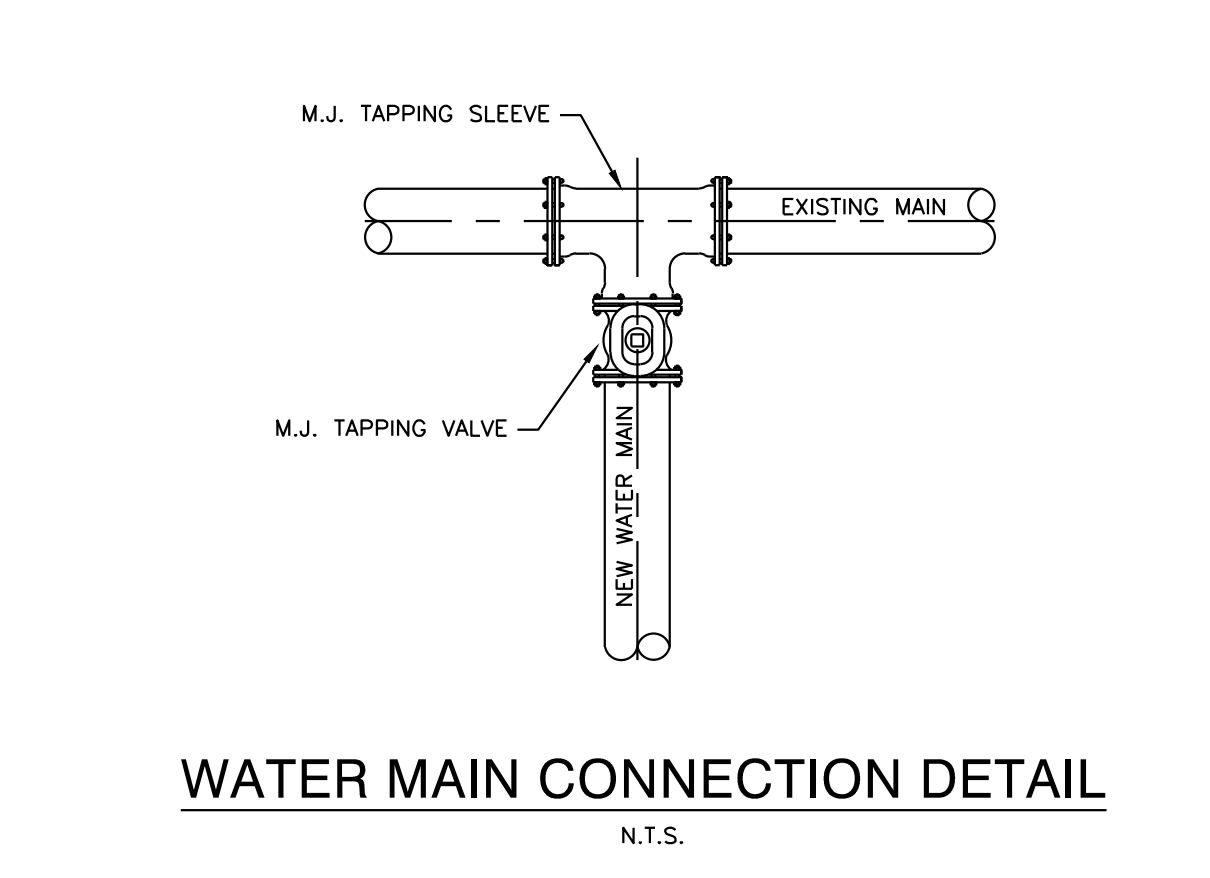
FITTING SIZE	BEND ANGLE		
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6	0.8	0.4	0.2
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16	5.7	2.9	1.5
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**TYPICAL BLOCKING DETAILS**

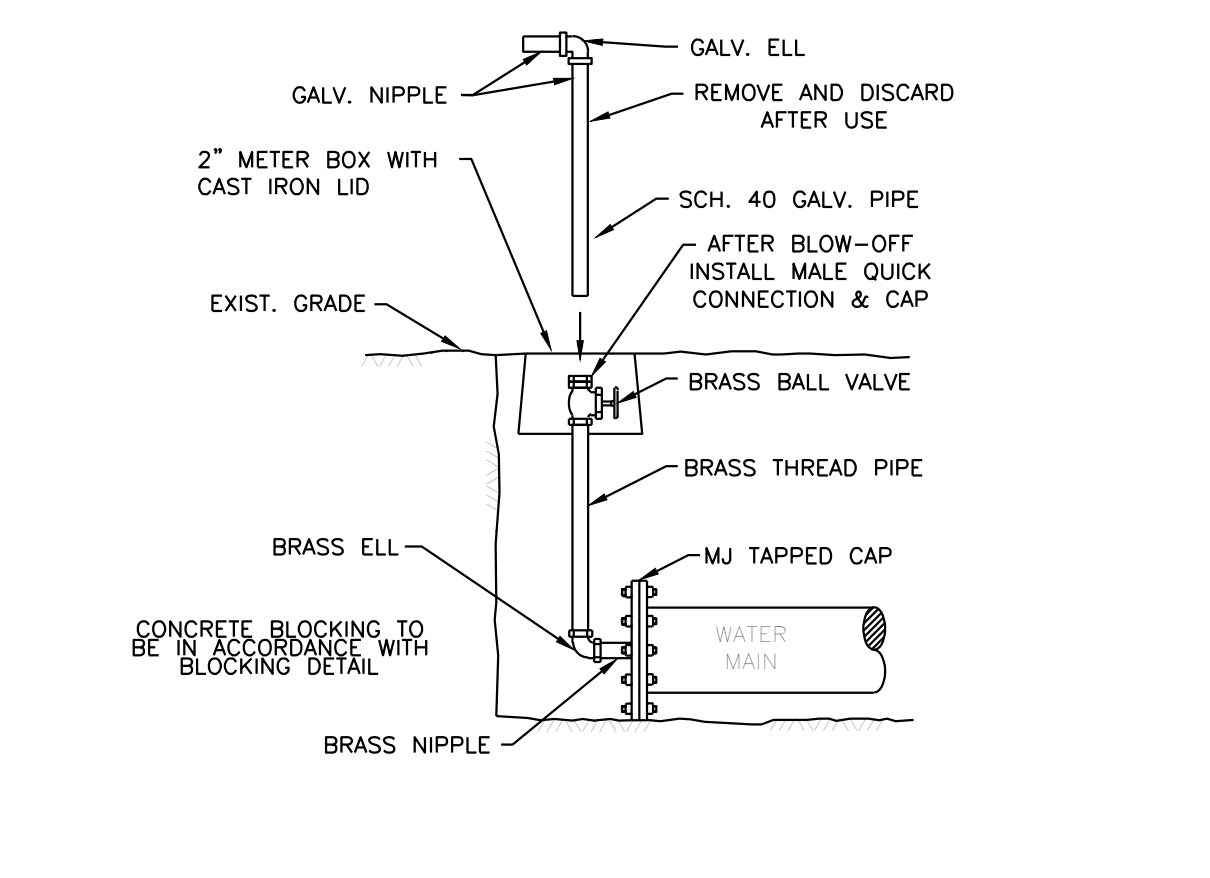
FITTING SIZES	ROD EMBEDMENT	
	12" AND LESS	14" - 24"
#6's	30"	
#8's	36"	

**THRUST BLOCK NOTES:**

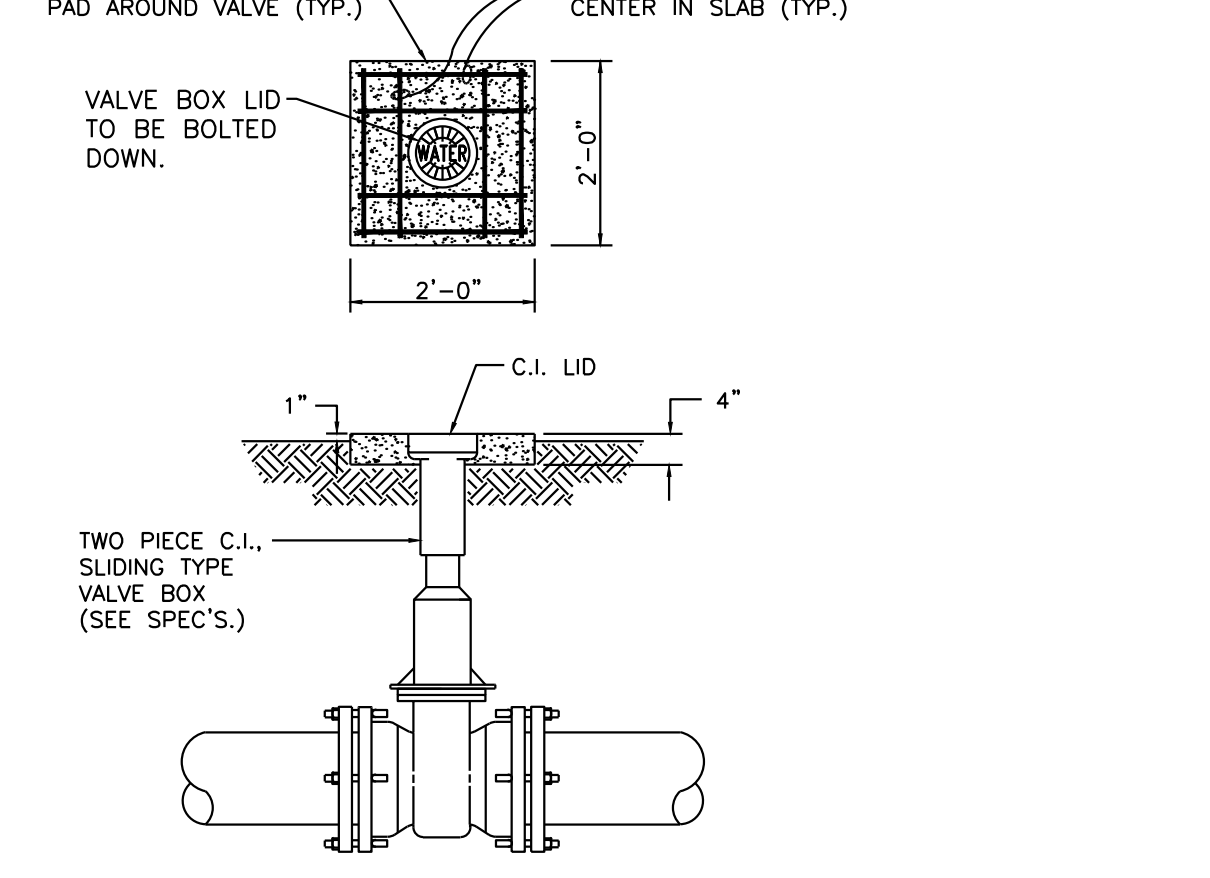
- KEEP CONCRETE CLEAR OF JOINT ACCESSORIES.
- CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
- REQUIRED VOLUMES OF BEARING AREAS AT FITTINGS SHALL BE AS INDICATED IN THE TABLES PROVIDED AND ADJUSTED, IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) STATED IN THE SPECIFICATIONS, AND ALLOWABLE SOIL BEARING STRESS(ES) STATED IN THE SPECIFICATIONS.
- THRUST BLOCK VOLUMES FOR VERTICAL BENDS HAVING UPWARD RESULTANT THRUSTS ARE BASED ON TEST PRESSURE OF 150 PSIG AND THE WEIGHT OF CONCRETE (4,050 LB/CY). TO COMPUTE VOLUMES FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESSURE / 150) x (TABLE VALUE).
- BEARING AREAS FOR HORIZONTAL BEND THRUST BLOCKS ARE BASED ON TEST PRESSURE OF 150 PSIG AND AN ALLOWABLE SOIL BEARING STRESS OF 2,000 LB/SF TO COMPUTE BEARING STRESS(ES). USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE / 150) x (2,000 / SOIL BEARING STRESS) x (TABLE VALUE).
- THRUST BLOCKS FOR VERTICAL BENDS HAVING DOWNWARD RESULTANT THRUST SHALL BE THE SAME AS FOR HORIZONTAL BENDS.
- BEARING AREAS, VOLUMES, AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER THIS STANDARD.
- BEARING AREA OF THRUST BLOCK SHALL NOT BE LESS THAN 1.0 SF.
- THRUST BLOCK VOLUME EXCEEDING 5 CY REQUIRE SPECIAL BLOCKING DETAILS. SEE PLANS.



**WATER MAIN CONNECTION DETAIL**  
N.T.S.



**2" BLOW-OFF RISER**  
N.T.S.



**DETAIL-VALVE BOX**  
N.T.S.

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FOR USE AND BENEFIT OF:  
**HAVEN'S DEVELOPMENT, LLC**

**MIDLAND ROAD TRENCH DETAILS**  
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 5/9/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	23-0024
SHEET: C-40	SCALE:	
500	1S	15W 0 34 230 62 1807

KSLAND PROJECTS 2004 (SUBVISIONS) 2623/23-0024 (MIDLAND ROAD TRENCH DETAILS) (FINAL DRAFT) (AFTER COMMENTS) (XXXXXXXXXX)

**SUBGRADE MATERIAL.**

- A. Subgrade soils shall be all materials used for subgrade including in-situ materials and fill materials.
- B. Subgrades for pavement shall be stabilized by mechanical compaction. Stabilization methods such as fabrics and chemical stabilization may be submitted for approval when supported by engineering data and calculations to substantiate the adequacy of the stabilized procedure.
- C. Subgrade shall be compacted to 95 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture unless otherwise supported by the site specific geotechnical data and approved by City.
- D. Subgrade shall be prepared in such a manner that the base course shall be placed on a firm foundation that is stable and free from soft spots, pumping, dust pockets, wheel ruts, or other defects.
- E. The top 24 inches of the subgrade shall be a material not susceptible to frost action unless modified with cement, lime or another method approved specifically by the City to resist frost action. Soils classified as A-4 and A-5 including sandy silts, fine silty sand or lean clays are highly susceptible to frost action.
- F. In-situ soils meeting the requirements outlined in these specifications may be utilized as subgrade material. In-situ soils used as subgrade shall be scarified to a minimum depth of 8-inches below finish subgrade, recompact and tested as described below. Fill material for subgrade shall be placed in lifts not to exceed 8-inches compacted depth.
- G. Methods and procedures for establishing the total depth of soil replacement and/or modification shall be as specified by the design engineer and geotechnical investigations. The adequacy of in-situ soils and fill materials as pavement subgrade shall be evaluated based upon the soils classification, liquid limit, and plasticity index.
- H. Soils with a liquid limit greater than 40, or a plasticity index greater than 15 shall be undercut and removed from the street section or improved by a design method of stabilization approved by the City.
- I. Quality control testing shall be as specified below.
- J. Undercut 24" of soil below finished street base course. Proof roll to verify stability.
- K. Backfill the undercut subgrade with Class 7 aggregate or soil meeting the requirements of this section and compact in lifts not exceeding 8".

**BASE COURSE**

- A. Base course material shall be crushed stone meeting the requirements of ArDOT Class 7 aggregate base course as specified in the latest edition of ArDOT Standard Specifications.
- B. Base course shall be compacted to 98 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture.

**SURFACE COURSE**

- A. Surface course for flexible pavement designs shall utilize plant mix bituminous base and binder courses conforming to ArDOT Standard Specifications.

**CURB AND GUTTER**

- A. Curb and gutter shall be Portland Cement Concrete with a minimum 28-day compressive strength of 4,000 psi. Concrete shall be air-entrained with a maximum of 4-inch slump.
- B. Compaction requirements under curb and gutter shall conform to the requirements for street subgrade materials. Compaction requirements shall extend to a minimum of 1 foot behind the back of curb and gutter removing all soft spots and replacing with suitable material.
- C. Curb and gutter shall conform to the typical detail within these specifications or ArDOT Standard Roadway Drawing Details for curbing.
- D. Expansion joints shall be made with 1/2-inch preformed expansion joint filler of a non-extruding type. Expansion joints shall be placed at intervals not exceeding 195 feet, intersection radii, driveways, stationary structures, and sidewalks.
- E. Contraction joints shall be sawed or formed at intervals not greater than 20 feet. Depth of saw-cut shall be 1 1/2-inch and have a width of 1/4-inch. Contraction joints shall be sealed in accordance with ArDOT Standard Specifications.
- F. Forms shall be made of metal or wood and shall be properly braced. The minimum length of each section of form used shall be 10 feet. Each section of form shall be uniform and free from undesirable bends or warps. Forms shall be of such cross section and strength and so secured as to resist the pressure of the impact and vibration on any equipment which they support without springing or settlement.
- G. Curb and gutter placed with slip form or extruding equipment will be acceptable providing it complies with all of the above requirements.
- H. After curing, the curb shall be immediately backfilled to within 4 inches of the top curb to eliminate the possibility of washing beneath the curb. The remaining 4 inches shall be topsoil.
- I. Cold weather protection shall meet the requirements of the latest edition of ArDOT Standard Specifications.

**SIDEWALKS**

**General**

- A. Sidewalks shall be Portland Cement Concrete with a minimum 28-day compressive strength of 4,000 psi.
- B. Sidewalks shall be on both sides of streets in line with sidewalks on opposite corners of roads.
- C. All sidewalks including ramps shall meet all current Federal Americans with Disabilities (ADA) design guidelines or requirements.
- D. Traverse slopes shall not exceed 2 percent.
- E. Subgrade under sidewalks shall be compacted to 90 percent modified proctor density minimum.
- F. Sidewalks shall not be placed upon grassy or organic materials.
- G. Sidewalks which extend or link existing sidewalks shall adjoin the existing sidewalks to form a continuous, even pathway.
- H. Utility poles, utility boxes, mailboxes, fire hydrants, and other similar obstructions shall not be located in sidewalks. Sidewalk location may vary at the discretion of the City to avoid such obstacles.

**Minimum thickness and reinforcement**

- A. Sidewalks shall have a minimum thickness of 4 inches.
- B. Sidewalks shall be reinforced, at a minimum, with woven wire fabric reinforcement.

**Contraction and expansion joints**

- A. Contraction joints shall be provided perpendicular to the sidewalk at intervals equal to the sidewalk width.
- B. Expansion joints shall be constructed perpendicular to the sidewalk at intervals equal to five times the sidewalk width. Expansion joints shall be made with 1/2-inch preformed expansion joint filler of a non-extruding type. Expansion joints shall be placed at driveways, drop inlets, and curbs.

**Quality control testing and inspection by the City**

- A. Subgrade and formwork for sidewalks shall be inspected by the City prior to pouring of the sidewalk.
- B. All testing of materials and construction shall be provided and paid for by the Developer/Owner.
- C. All field tests required for a project shall be witnessed by the City, contractor, or their authorized representatives.
- D. All testing shall be accomplished by a testing firm approved by the City and shall be performed under the supervision of a licensed Professional Engineer.
- E. Sampling and testing locations shall be subject to approval by the City.
- F. Density tests on subgrades shall be taken every 300 feet or portion thereof.
- G. The City shall be notified at least one day in advance of the need to inspect subgrade and formwork of sidewalks.

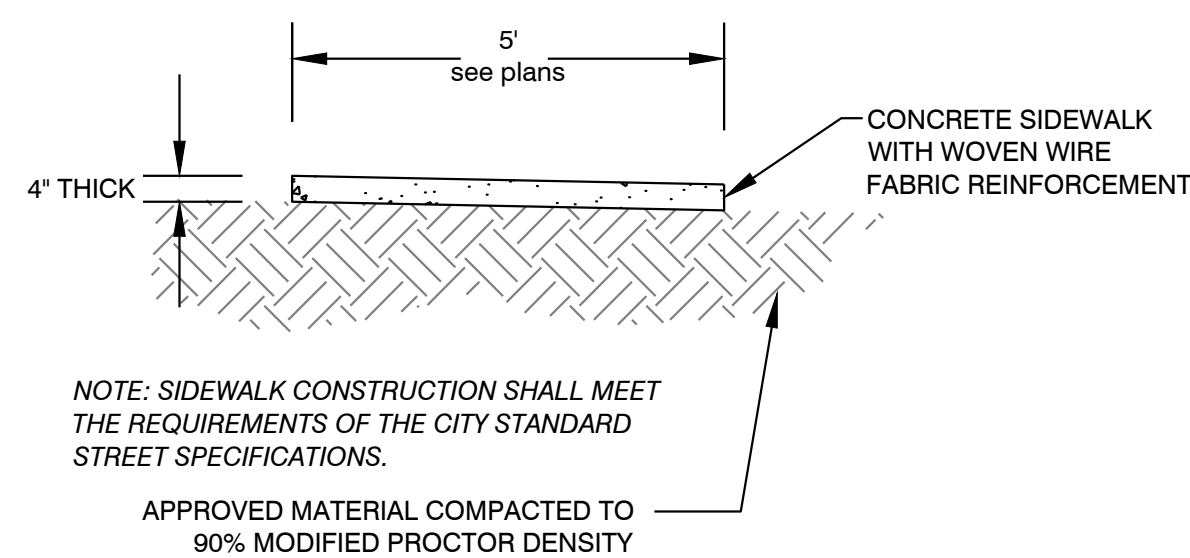
**Subgrade**

- A. Subgrade soils shall be all materials used for subgrade including in-situ materials and fill materials.
- B. Subgrade shall be compacted to 90 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture unless otherwise supported by the site specific geotechnical data and approved by City.
- C. Subgrade shall be prepared in such a manner that the base course shall be placed on a firm foundation that is stable and free from soft spots, pumping, dust pockets, wheel ruts, or other defects.
- D. The top 24 inches of the subgrade shall be a material not susceptible to frost action unless modified with cement, lime or another method approved specifically by the City to resist frost action. Soils classified as A-4 and A-5 including sandy silts, fine silty sand or lean clays are highly susceptible to frost action.

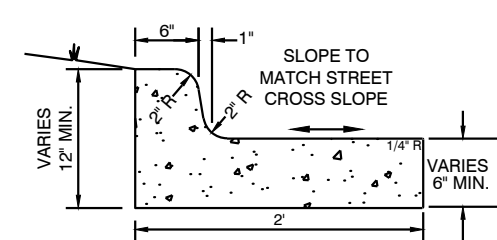
**QUALITY CONTROL TESTING AND INSPECTIONS**

**General**

- A. Materials and construction employed in street improvements shall be subject to inspection and quality control testing. All testing of materials and construction shall be provided and paid for by the Developer/Owner.
- B. The Developer/Owner shall provide for inspections of street improvements during construction. The inspections shall be accomplished under the supervision of the Engineer of Record. The Engineer of Record shall provide certification that all materials and construction conform to the approved plans and specifications and with these minimum street standards.
- C. The Engineer of Record shall furnish inspection whenever a critical construction activity is taking place. This means that a representative of the Engineer of Record must be on-site whenever a critical construction activity is taking place.
- D. All field tests required for a project shall be witnessed by the City, Engineer of Record, contractor, or other authorized representatives.
- E. The City shall be notified at least one day in advance of any test(s). It is the responsibility of the contractor to coordinated the scheduling of all tests with the City.



**Typical Sidewalk Detail**

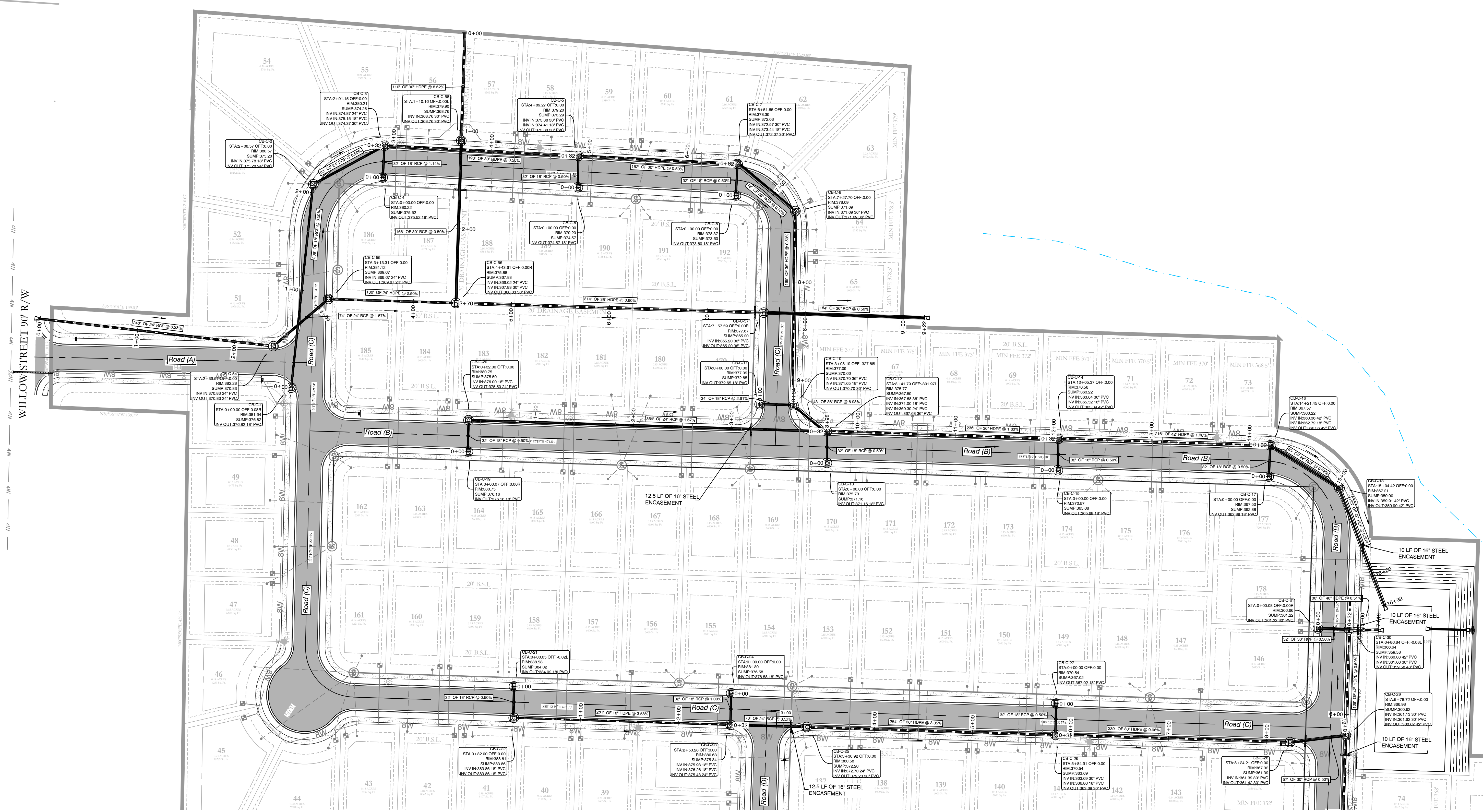


**Typical Curb Details & Notes**  
NOT TO SCALE

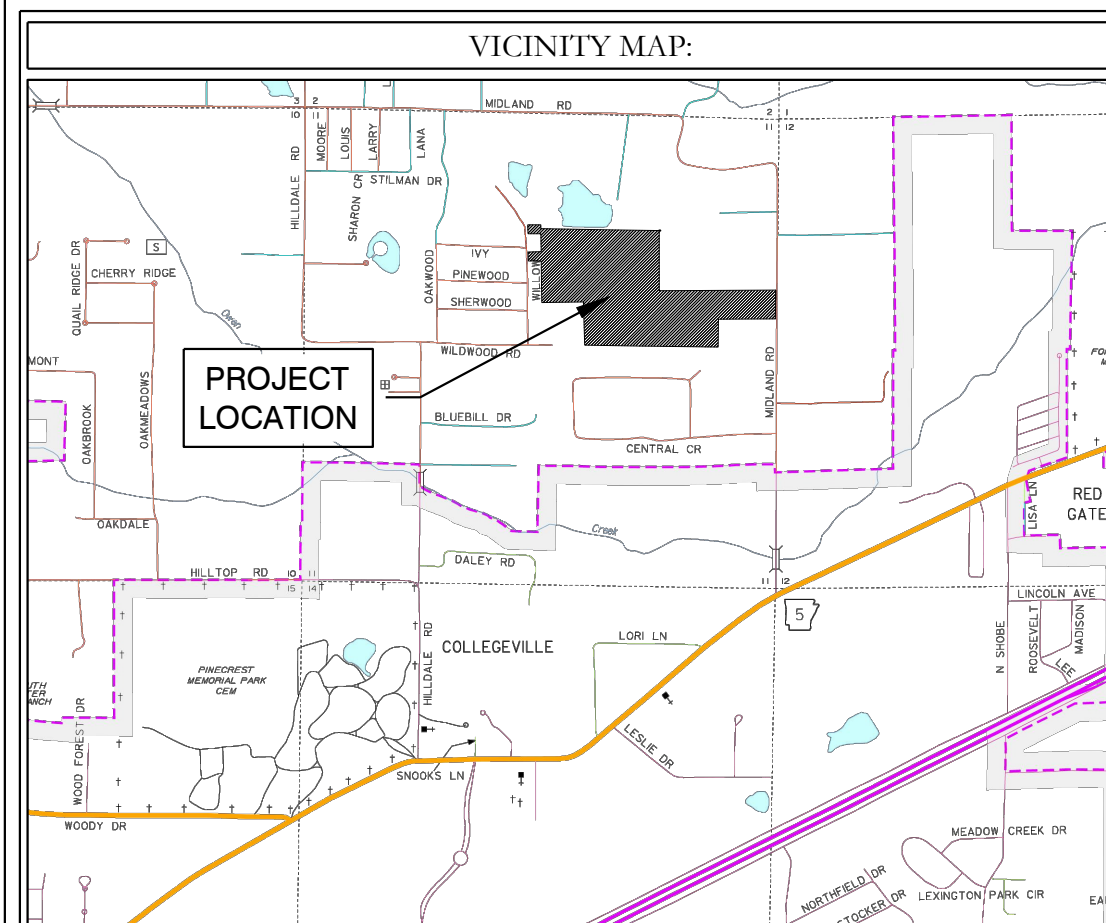
**Typical Curb & Gutter Detail**  
4,000 psi concrete

<b>HOPE CONSULTING</b> ENGINEERS - SURVEYORS		129 North Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>			
<b>MIDLAND ROAD</b> CIVIL SPECS BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	5/9/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:		CHECKED BY:	<b>23-0024</b>
SHEET:	C-5.0	SCALE:	
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K:\LAND PROJECTS 2004\SUBDIVISIONS 2023\23-0024 HAVEN'S MIDLAND ROAD SUBDIVISION SITE PLAN R.F.W./CIVIL\DWG\23-0024 CONSTRUCTION PLAN (FINAL DRAFT) (AFTER COMMENTS) (XXXXXX).DWG



WILLOW STREET 90' R/W



**DRAINAGE NOTES**

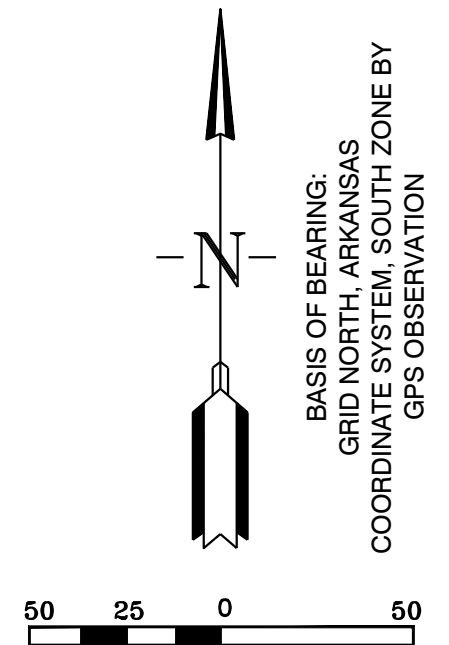
No fences, pools or permanent obstructions may be placed in any access or drainage easements.

Dead Storage of pond will be used as a sediment pond at the time of construction later it will remain as a water feature.

Filter fabric shall be placed under all riprap areas.

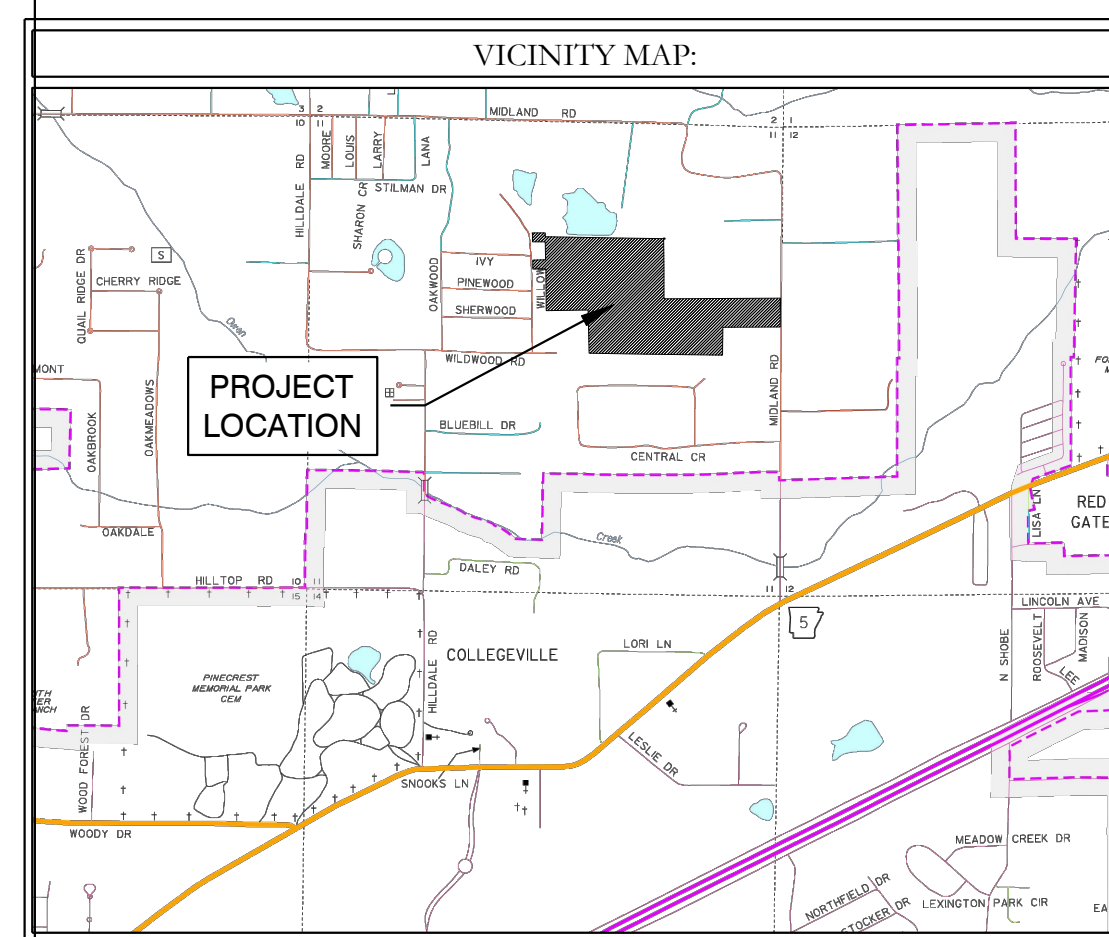
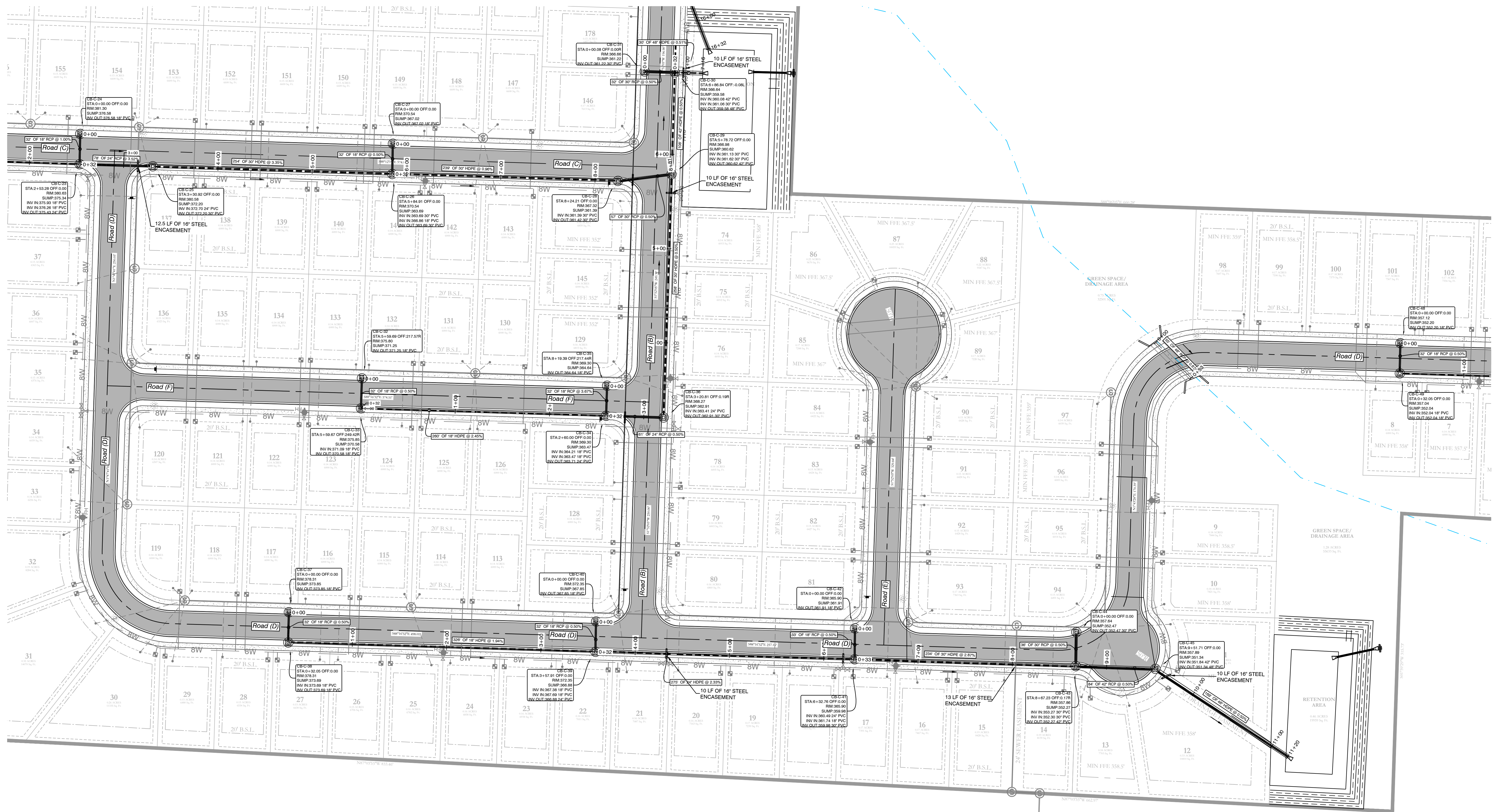
All drainage ditches and swales that are not concreted will be required to be stabilized with solid sod stabilization per the Stormwater Management Manual.

Any new drainage ditches or swales, new or that have been disturbed during construction are required to have solid sod stabilization per Section 500.7.2 of the Stormwater management Manual. (This is required to be show in detail on the plans).



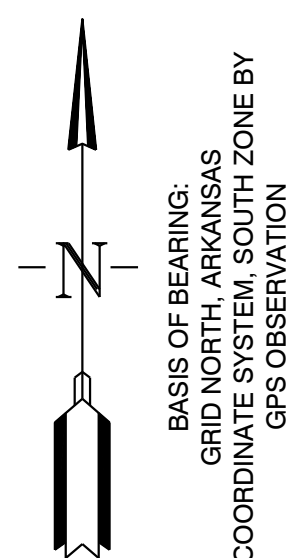
# MIDLAND ROAD SUBDIVISION DRAINAGE PLAN

		129 North Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 <a href="http://www.hopeconsulting.com">www.hopeconsulting.com</a>
FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
<b>MIDLAND ROAD DRAINAGE PLAN</b> IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023 REVISED: SHEET: C-6.0 500	C.A.D. BY: CHECKED BY: SCALE: 1" = 50' 0	DRAWING NUMBER: <b>23-0024</b>



**DRAINAGE NOTES**

- No fences, pools or permanent obstructions may be placed in any access or drainage easements.
- Dead Storage of pond will be used as a sediment pond at the time of construction later it will remain as a water feature.
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# MIDLAND ROAD SUBDIVISION DRAINAGE PLAN

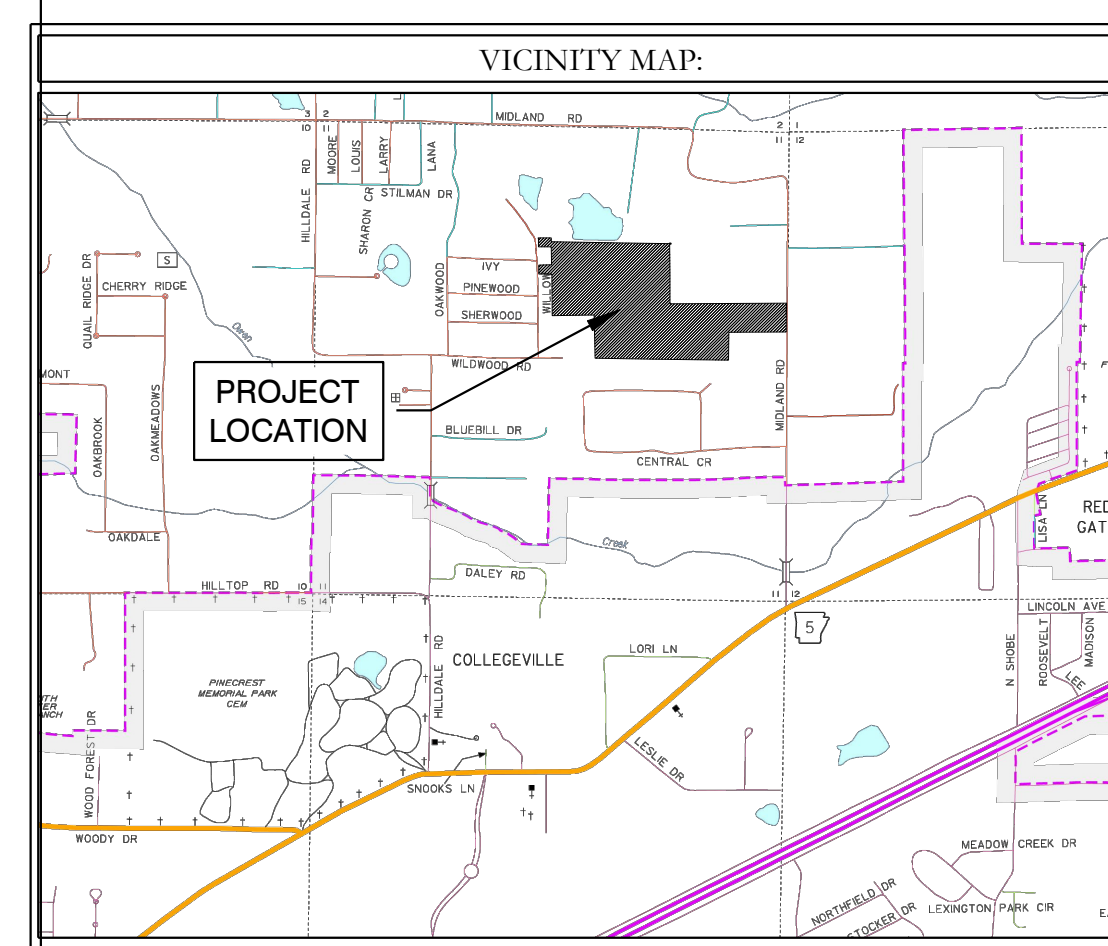
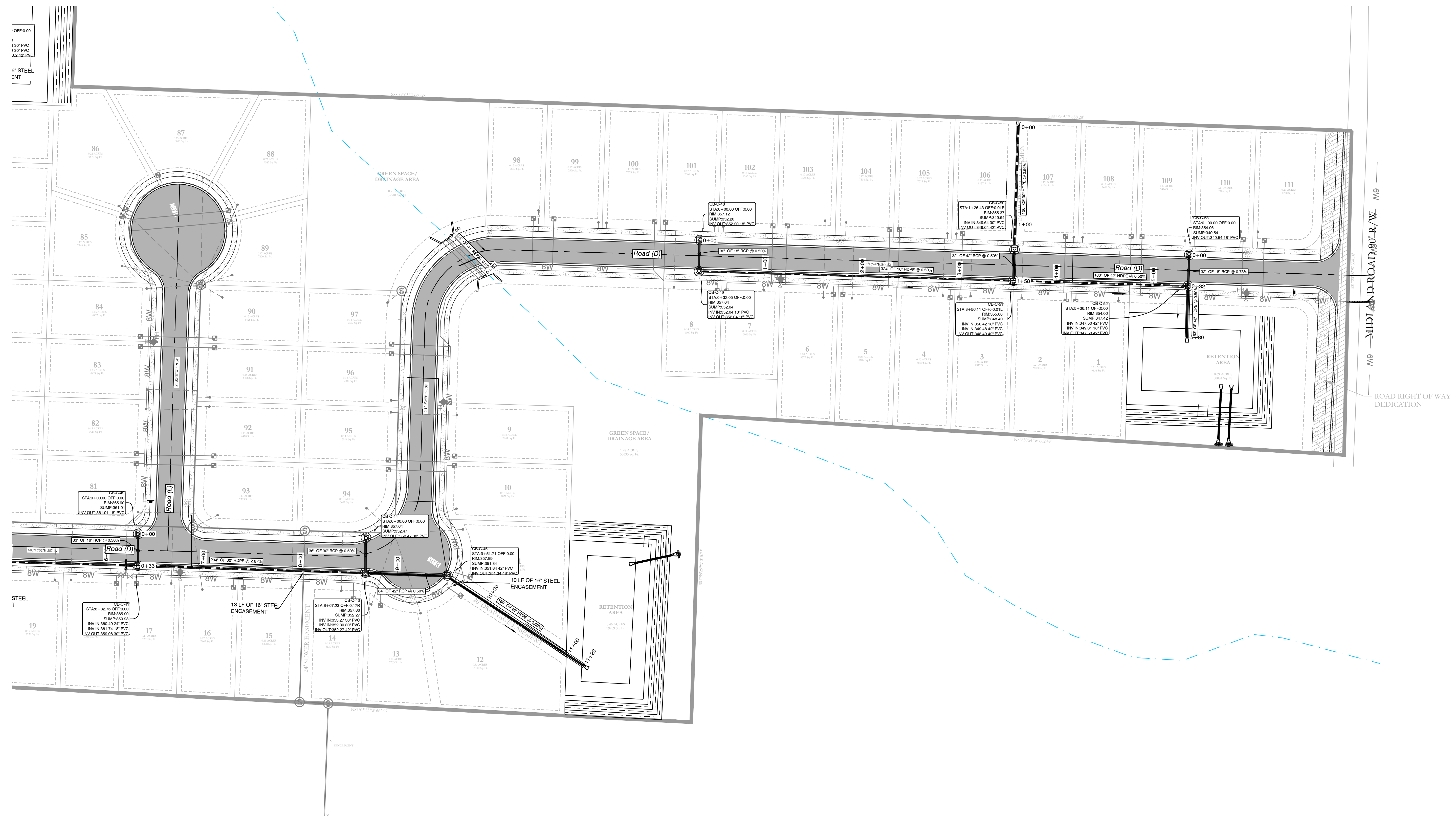
**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

129 North Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**HAVEN'S DEVELOPMENT, LLC**

**MIDLAND ROAD  
DRAINAGE PLAN**  
IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 5/3/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	23-0024
SHEET: C-6.1	SCALE: 1" = 50'	
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**DRAINAGE NOTES**

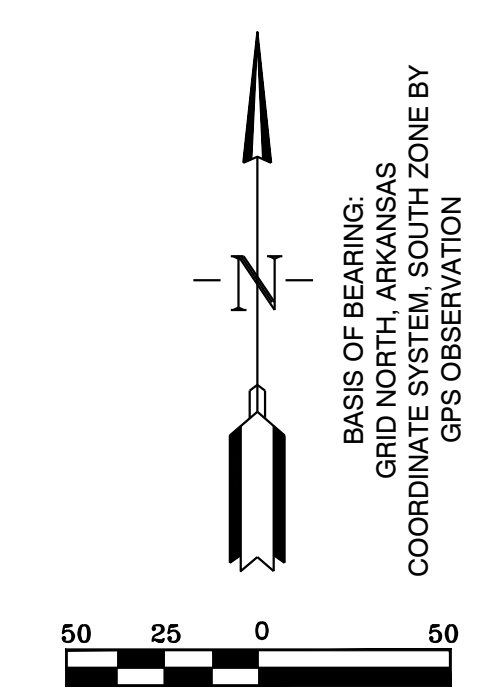
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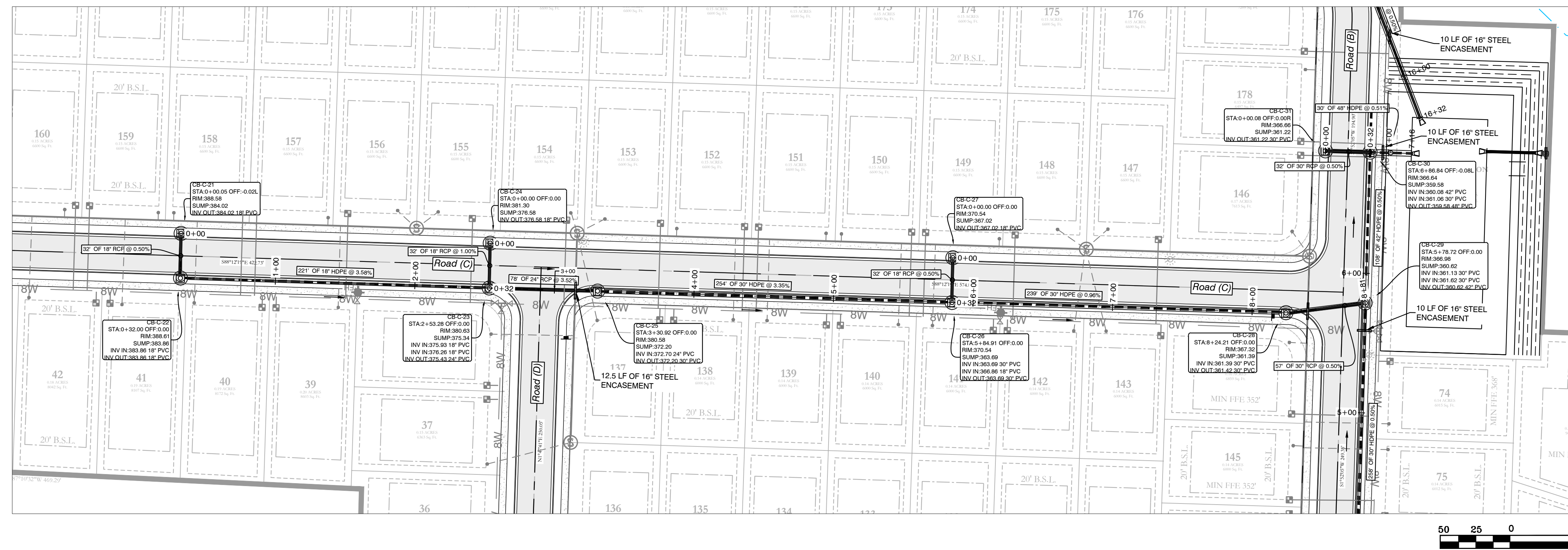
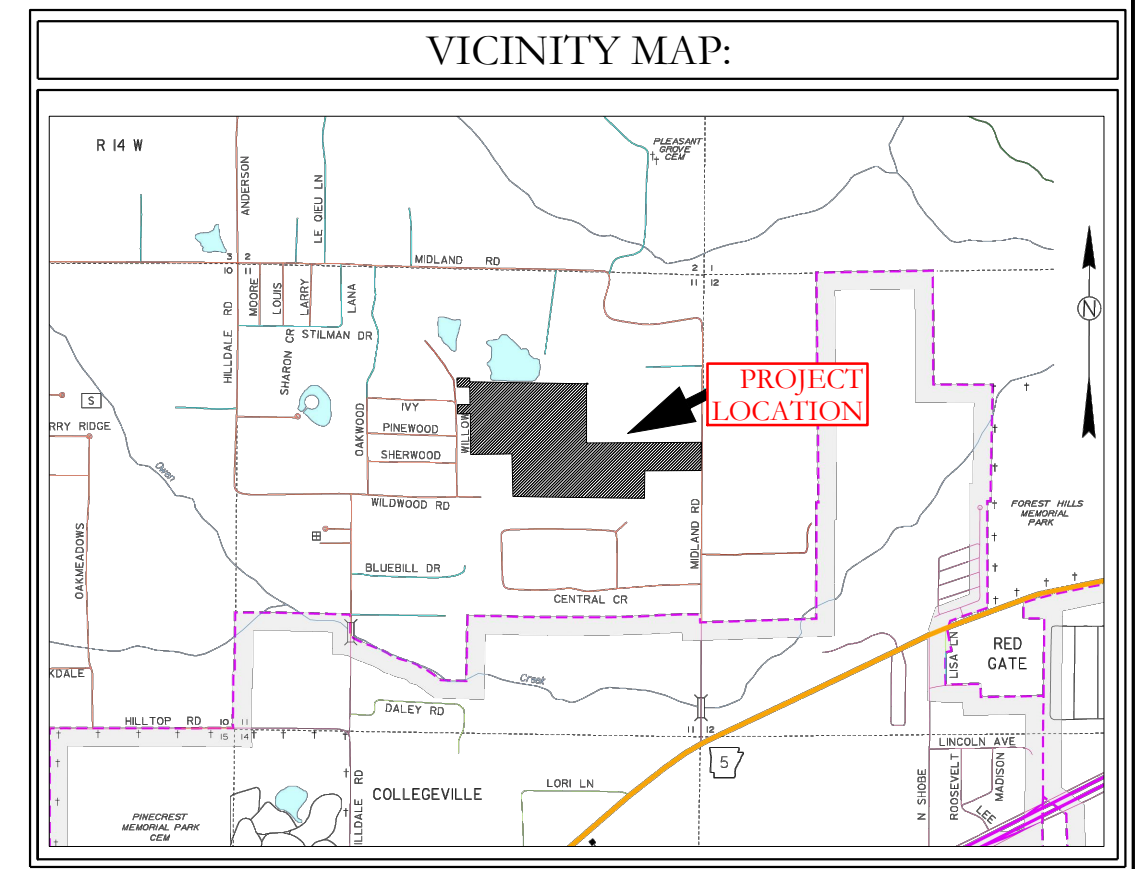
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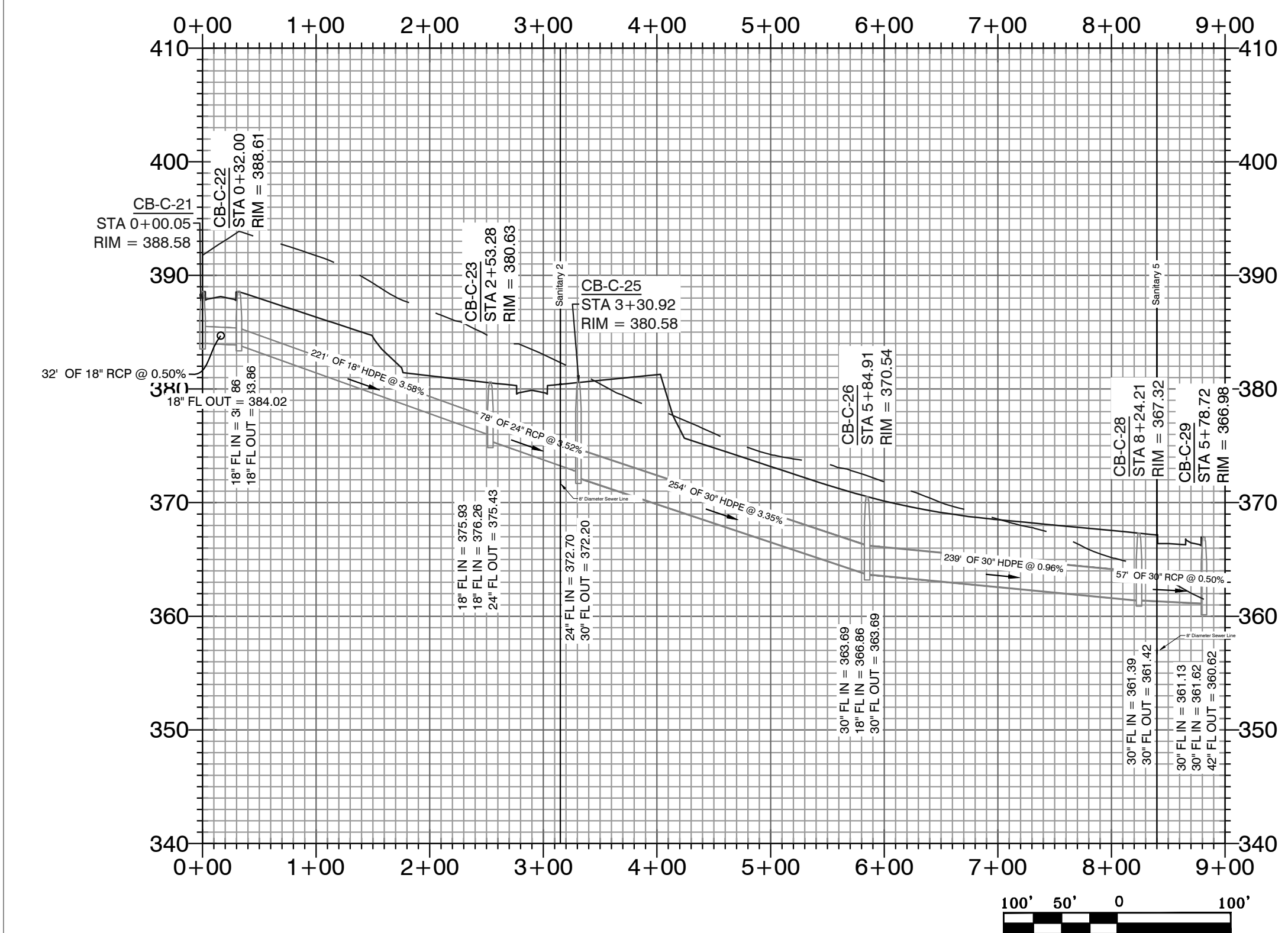
## MIDLAND ROAD SUBDIVISION DRAINAGE PLAN

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FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
<b>MIDLAND ROAD DRAINAGE PLAN</b> IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	23-0024
SHEET: C-6.2	SCALE: 1" = 50'	
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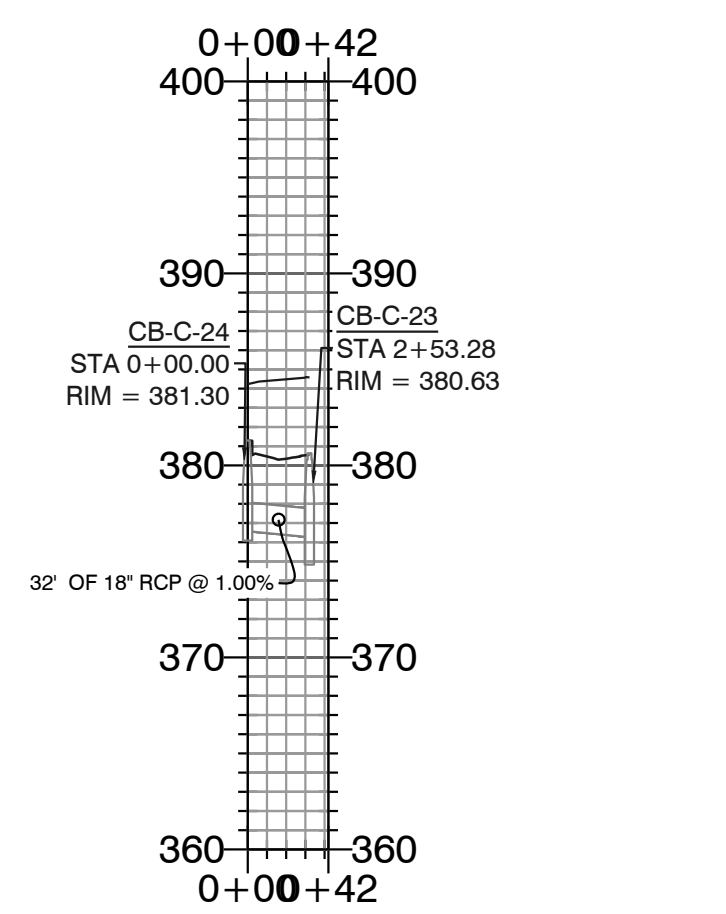




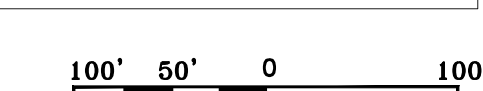
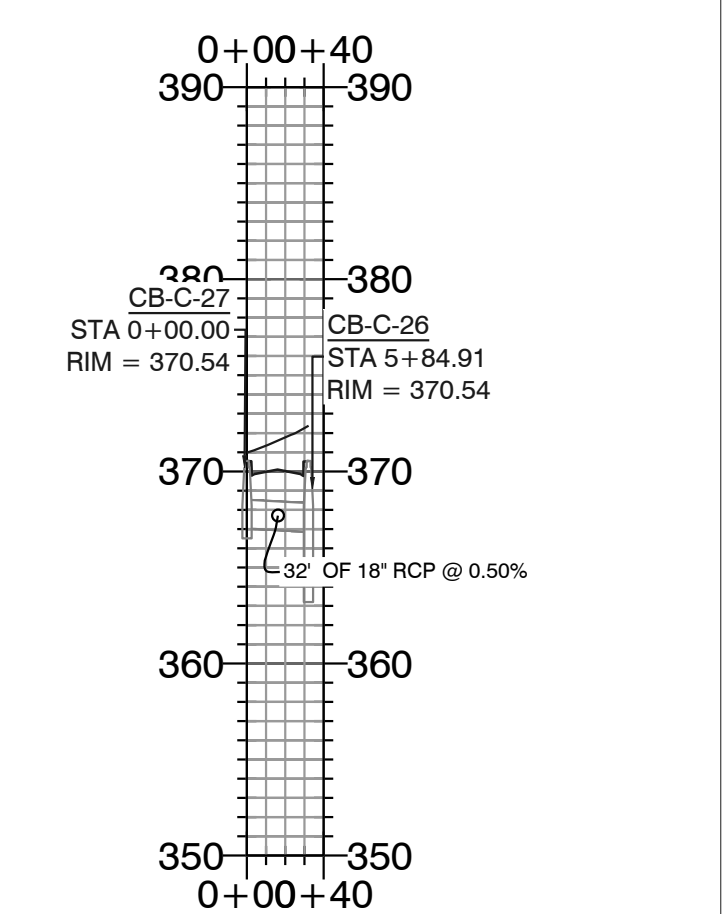
Storm Water Line 1 PROFILE



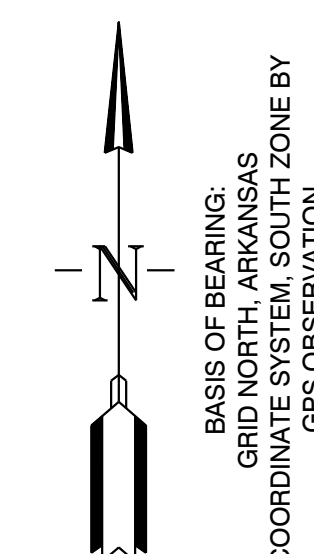
Storm Water Line 2 PROFILE



Storm Water Line 3 PROFILE



--- HDPE  
 — RCP

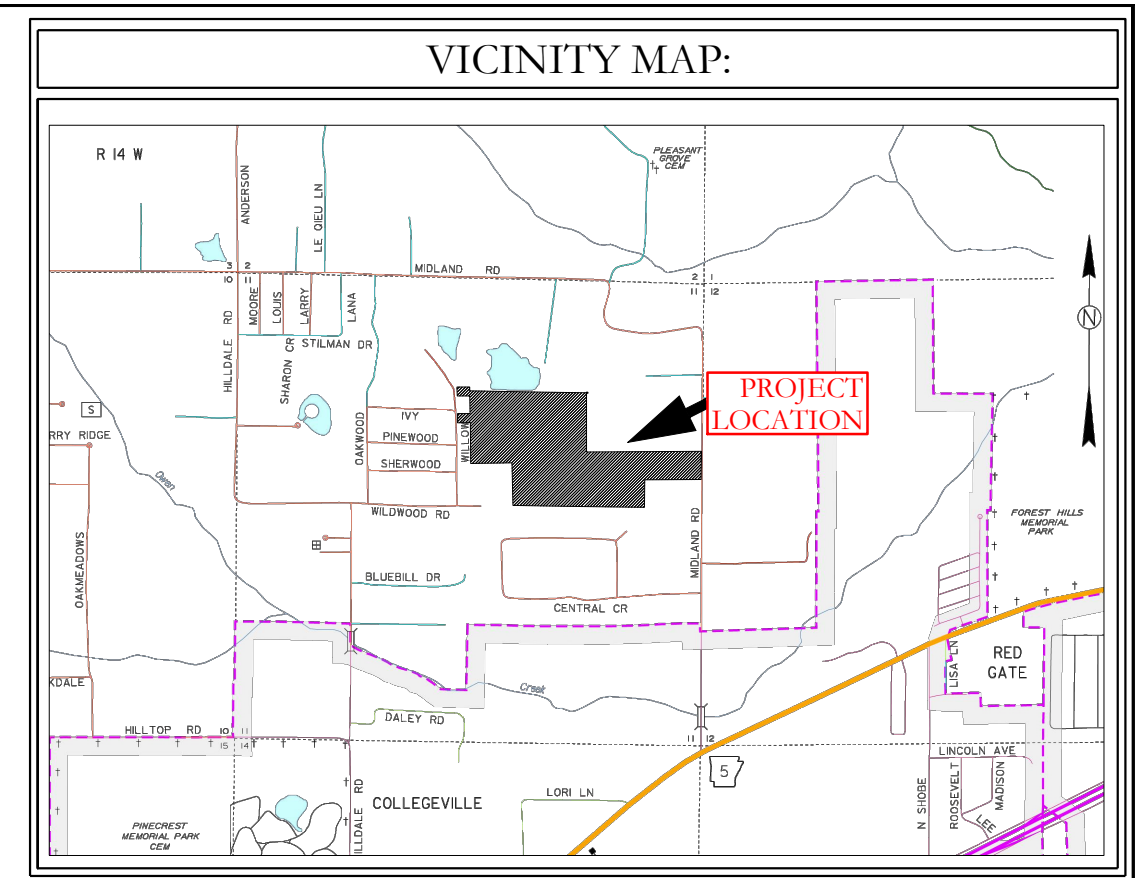
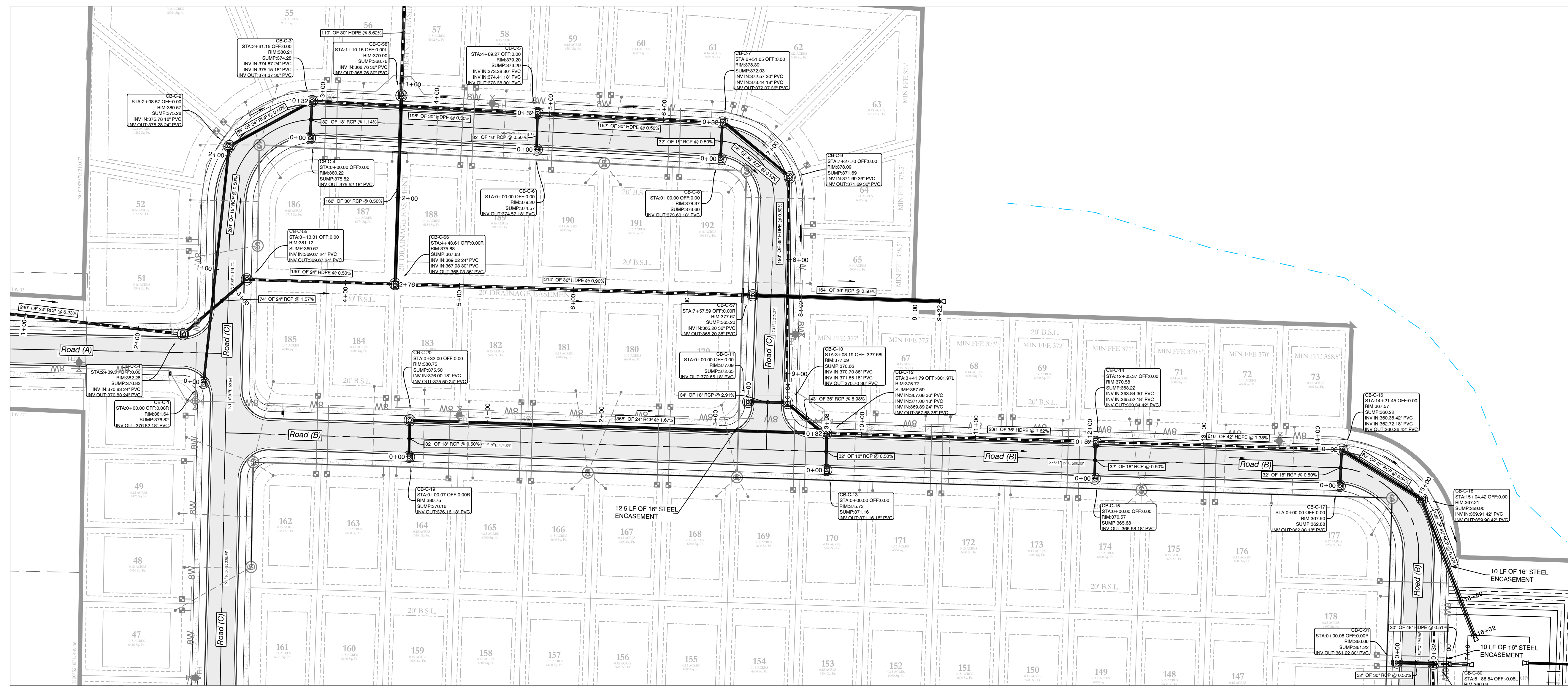


BASIS OF BEARING:  
 GRID NORTH, ARKANSAS  
 COORDINATE SYSTEM, SOUTH ZONE BY  
 GPS OBSERVATION

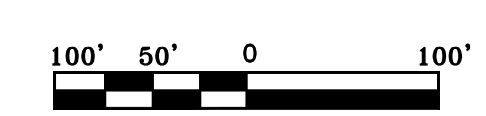
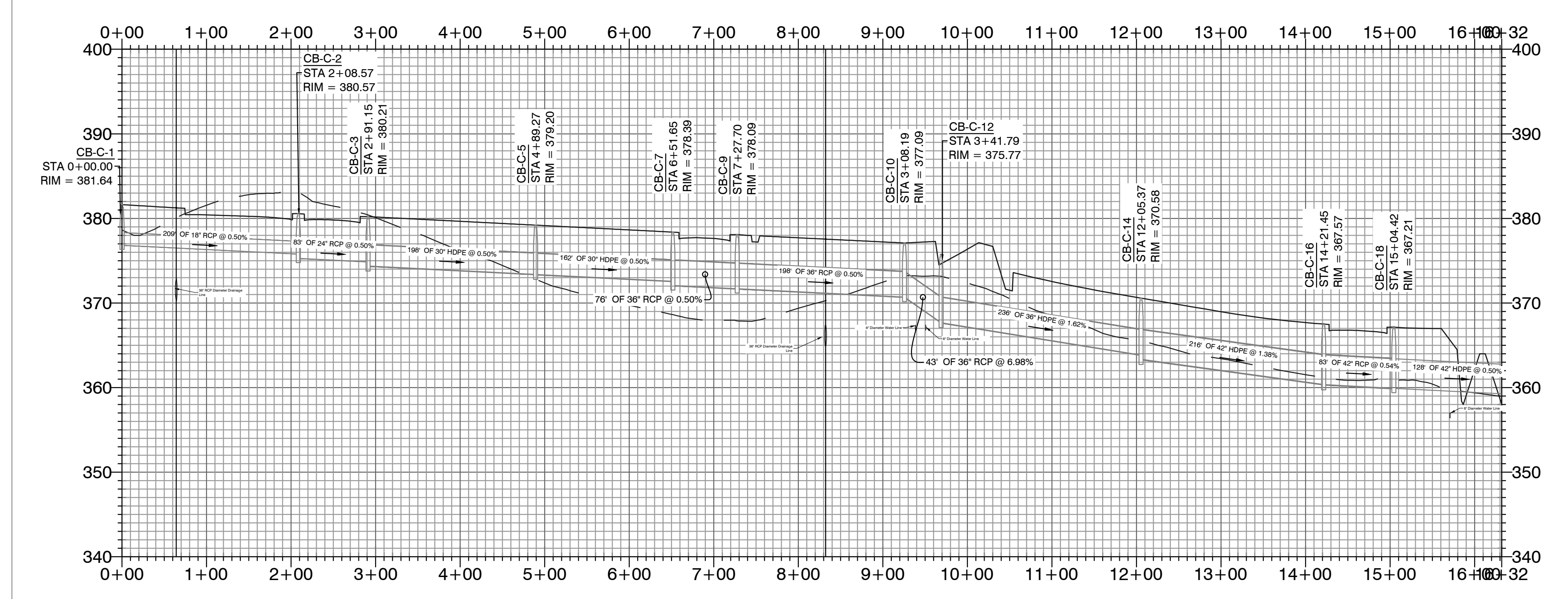
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 Benton, Arkansas 72015  
 PH. (501) 315-2626  
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 www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
DRAINAGE PROFILES MIDLAND ROAD BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY: xxxx	DRAWING NUMBER:
REVISED:	CHECKED BY:	23-0024
SHEET: C-6.3	SCALE: as shown	

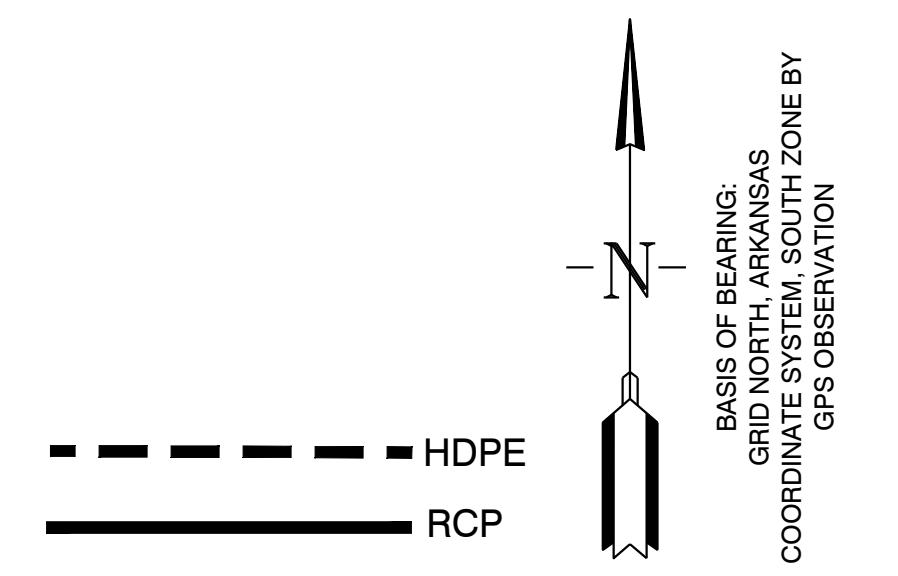
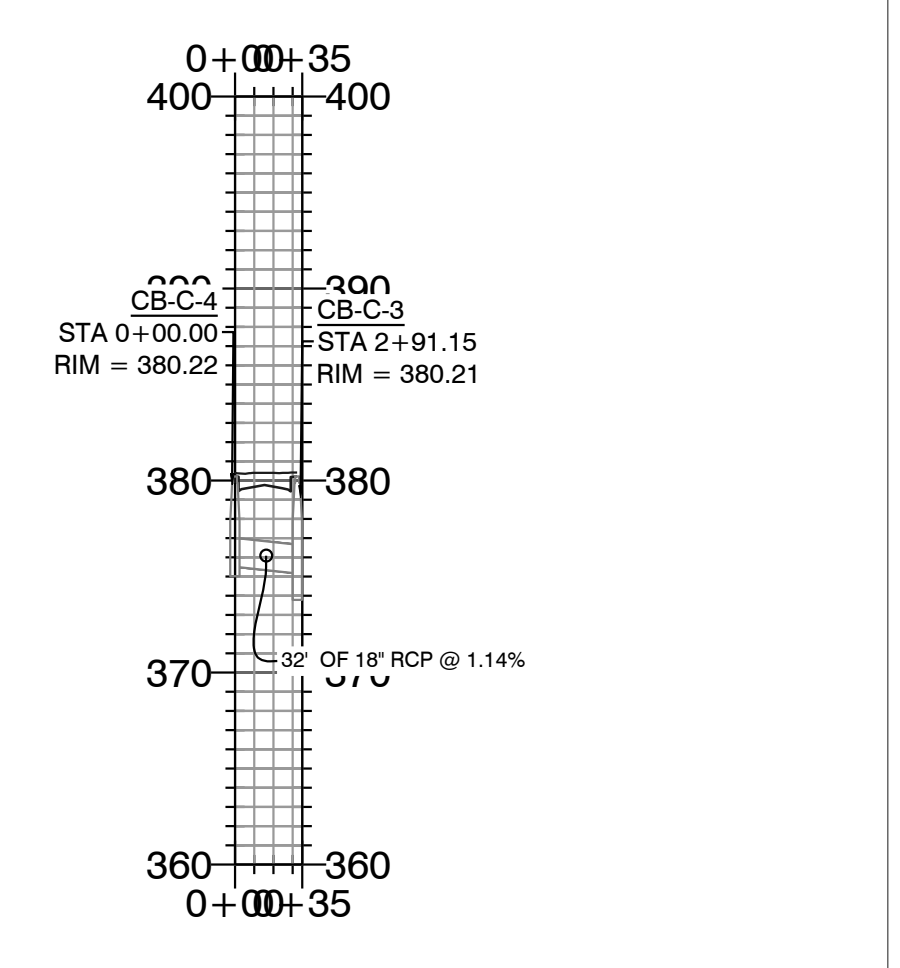
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Storm Water Line 6 PROFILE



Storm Water Line 7 PROFILE

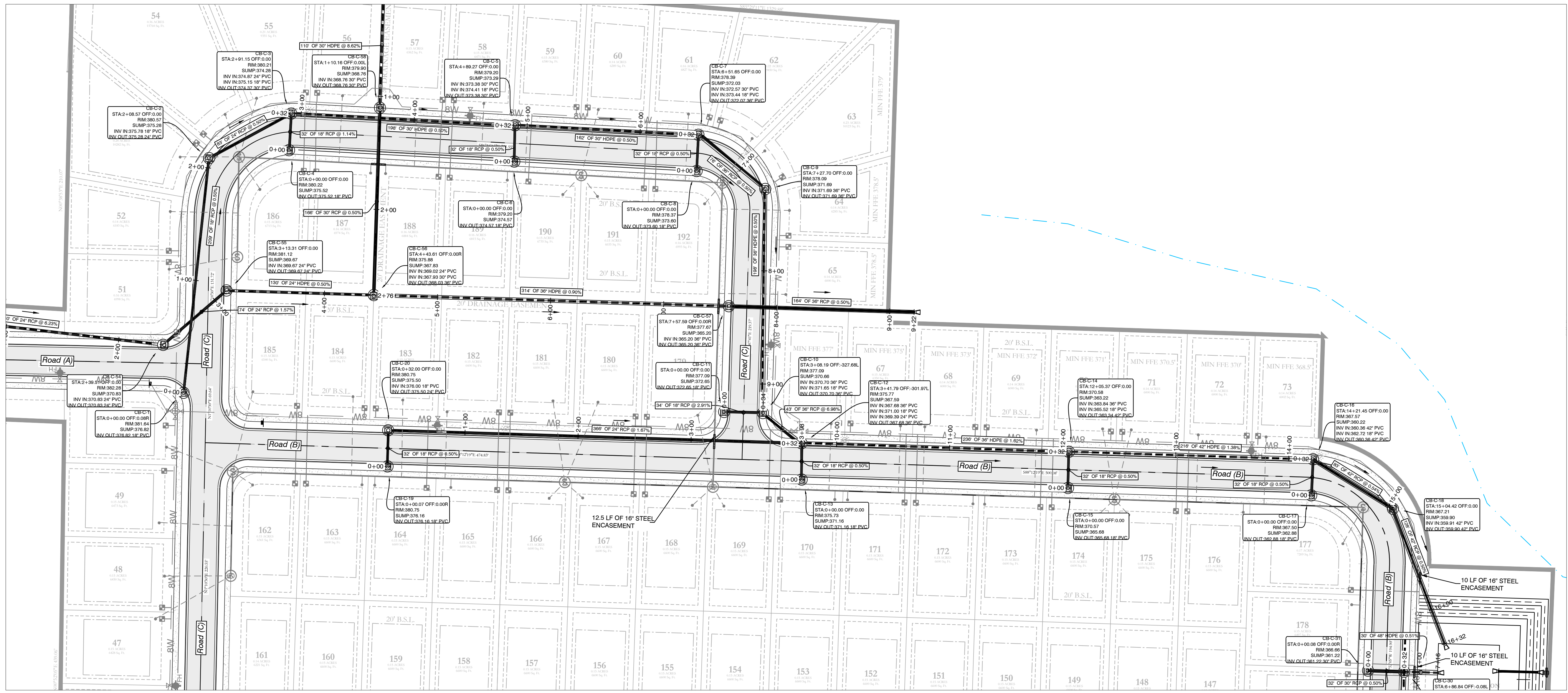
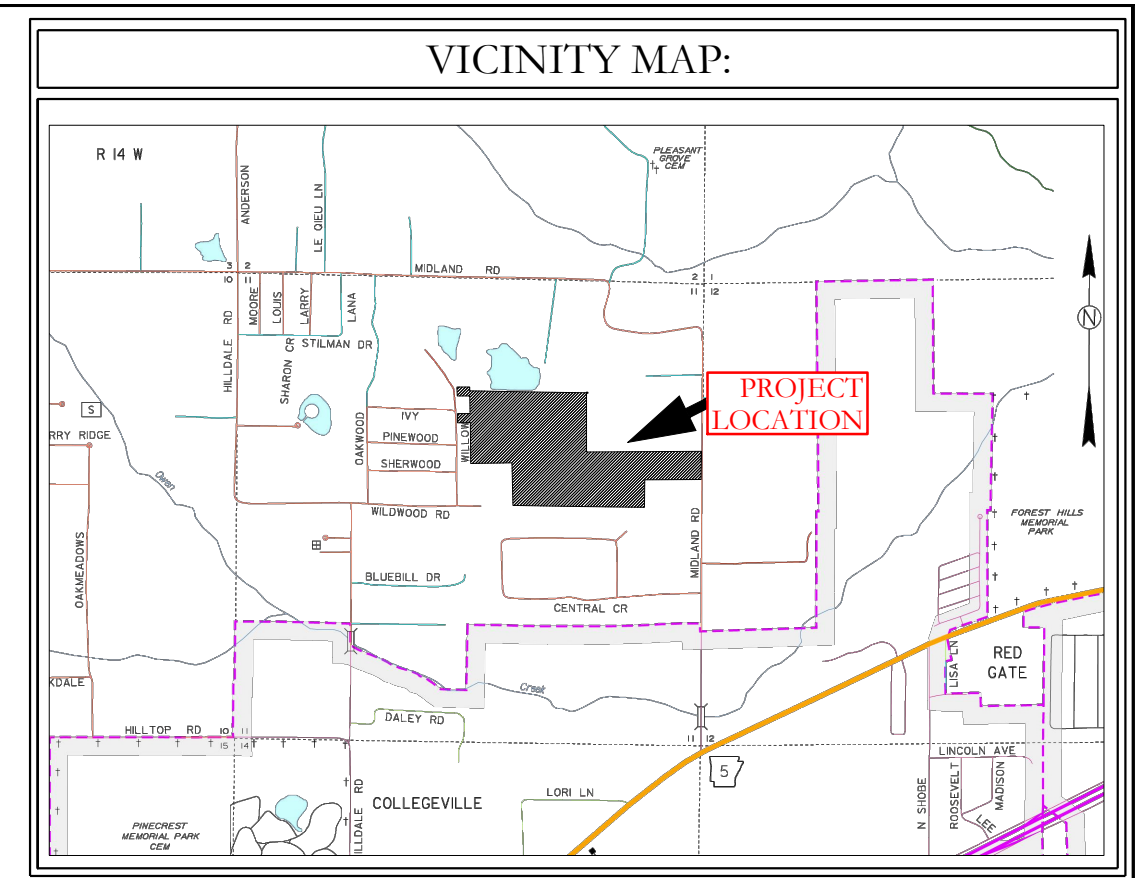


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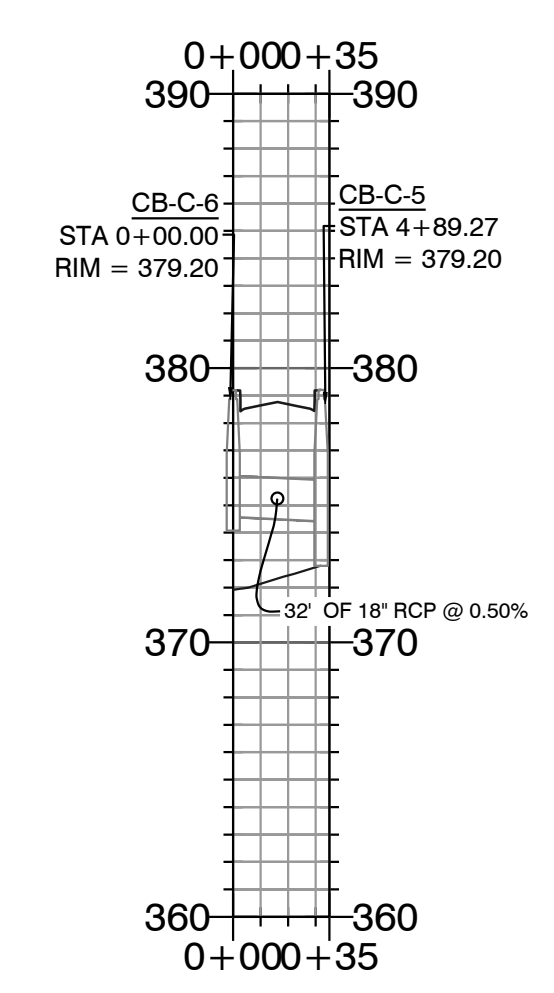
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FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
DRAINAGE PROFILES MIDLAND ROAD BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY: xxxx	DRAWING NUMBER:
REVISED:	CHECKED BY:	23-0024
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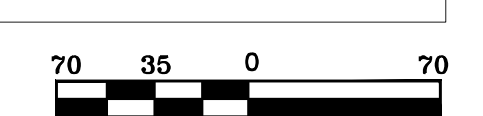
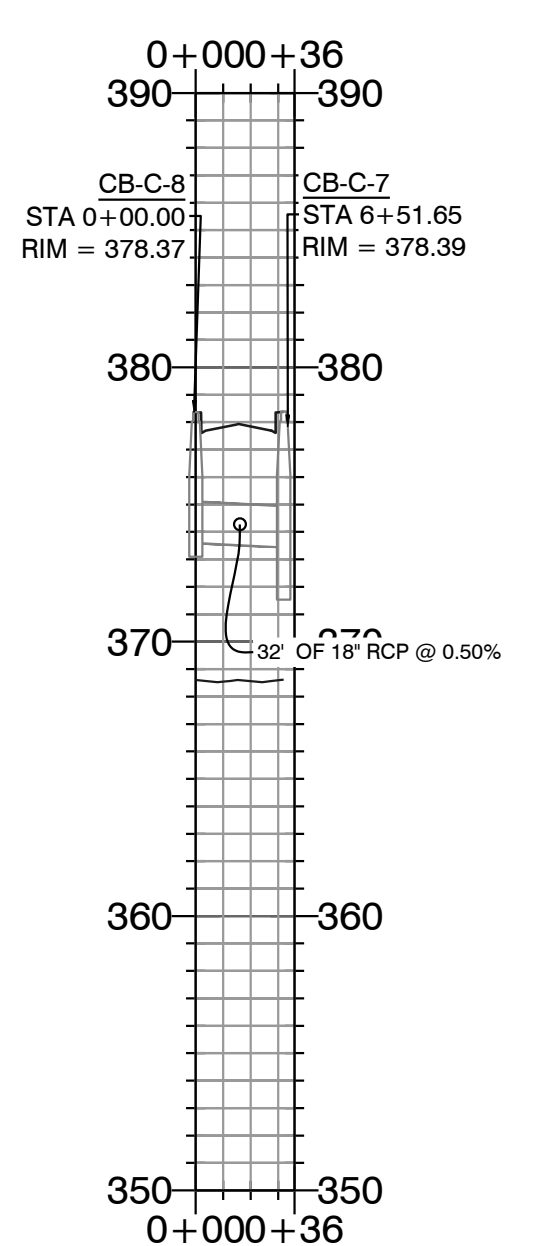
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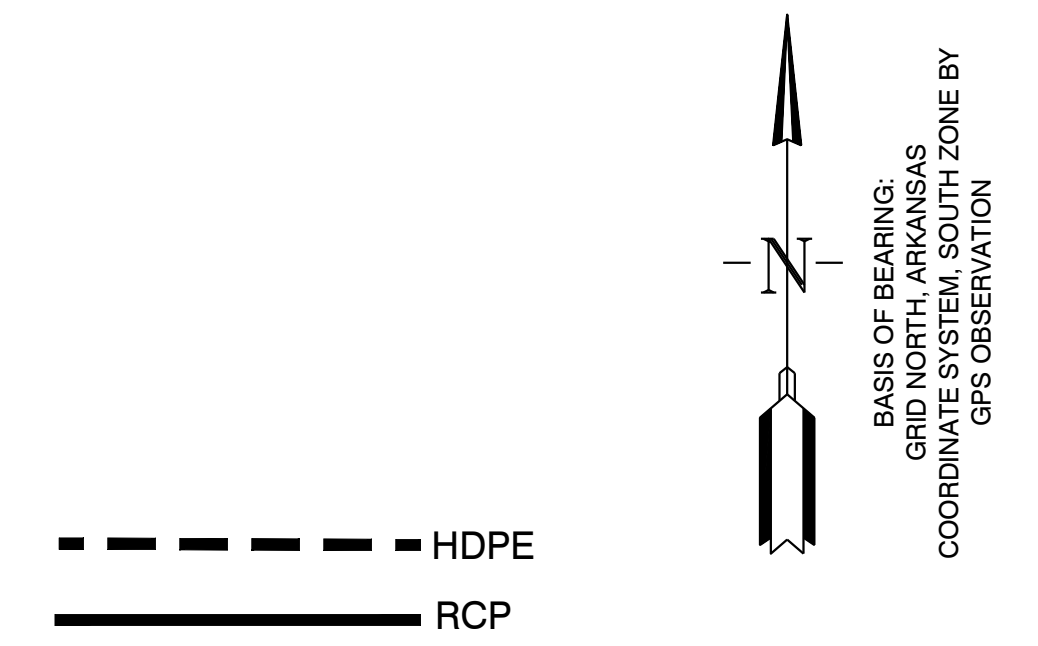
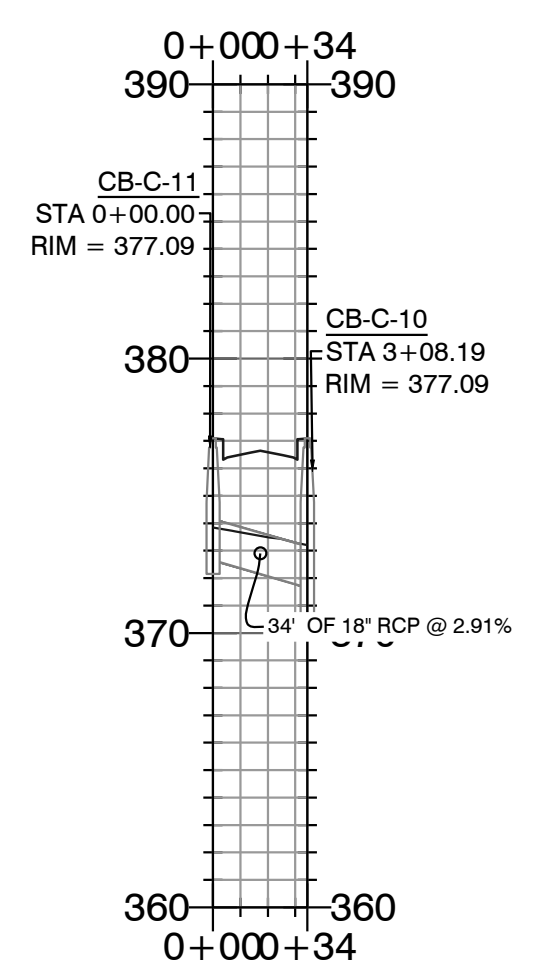
Storm Water Line 8 PROFILE



Storm Water Line 9 PROFILE



Storm Water Line 10 PROFILE

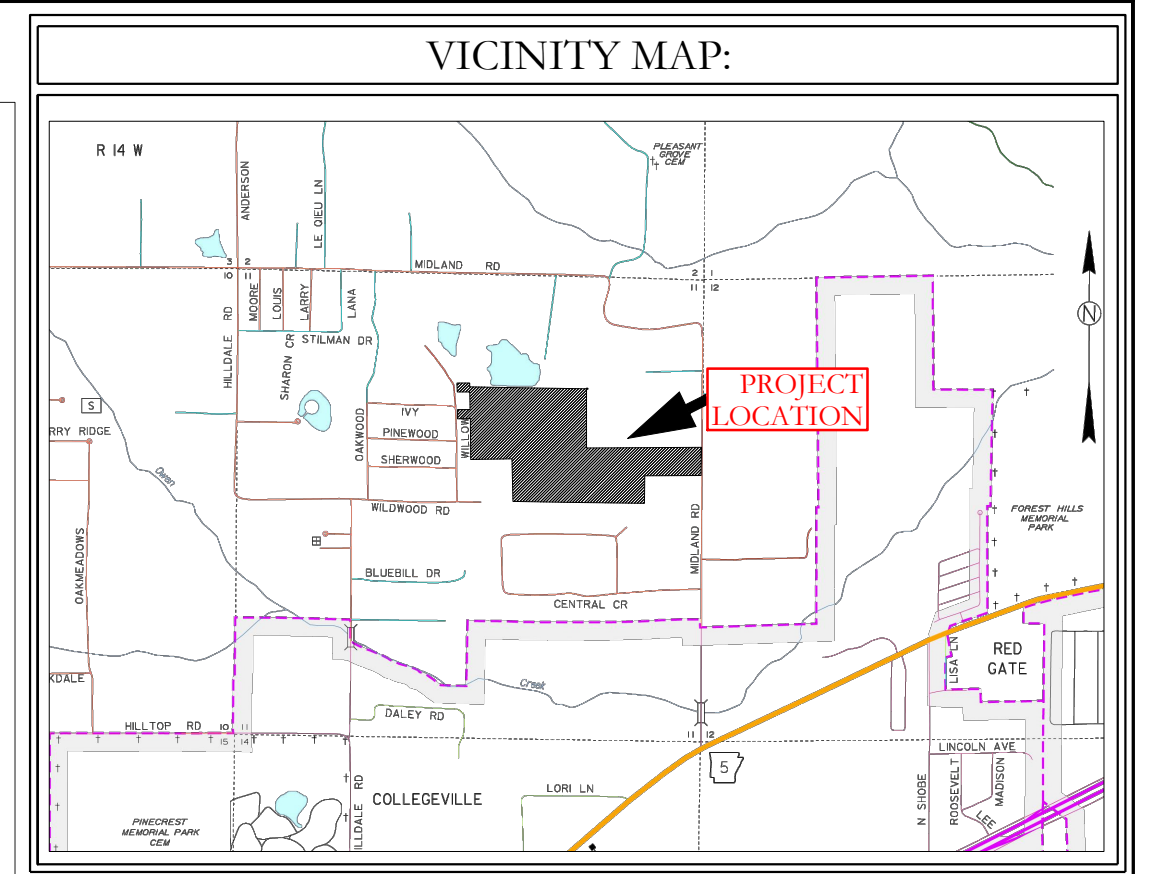
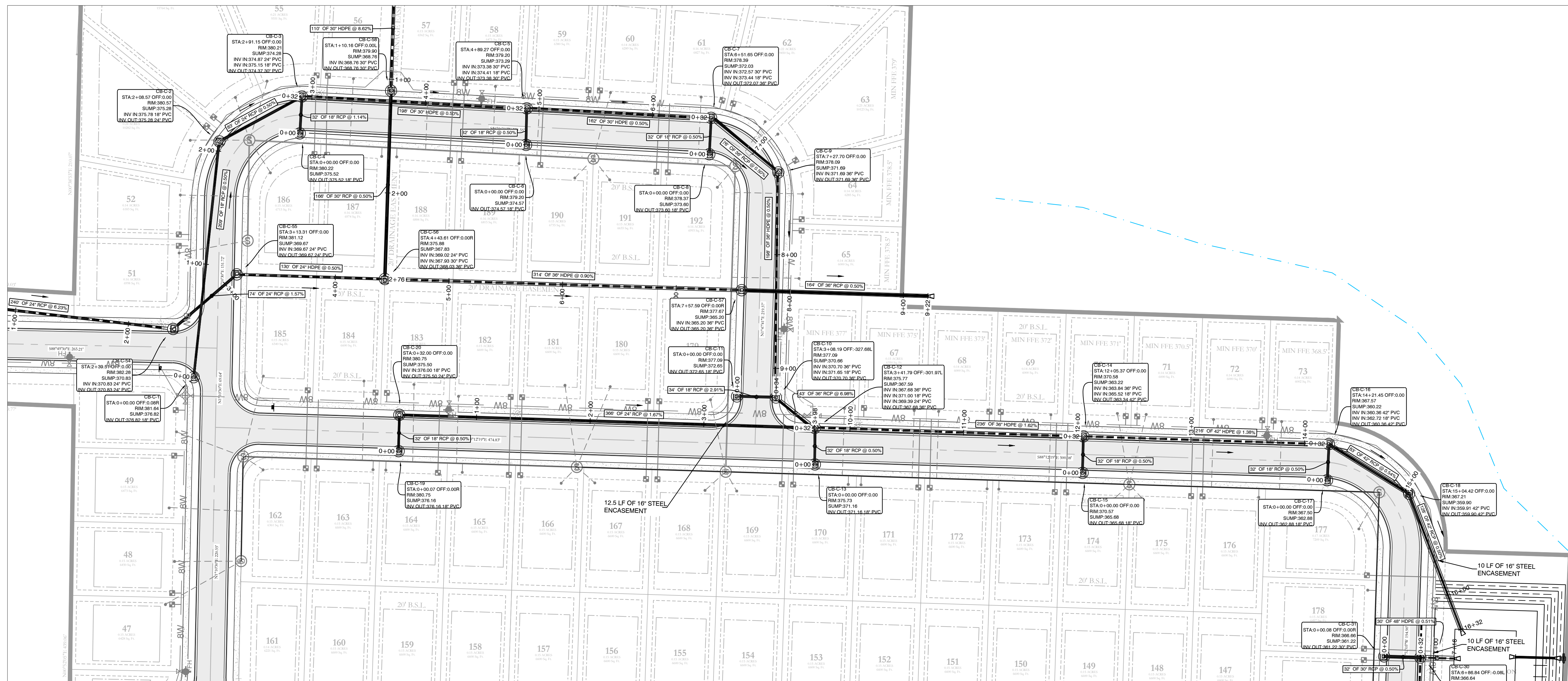


**HOPE CONSULTING**  
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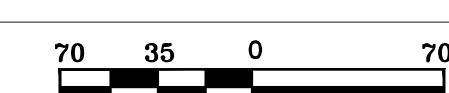
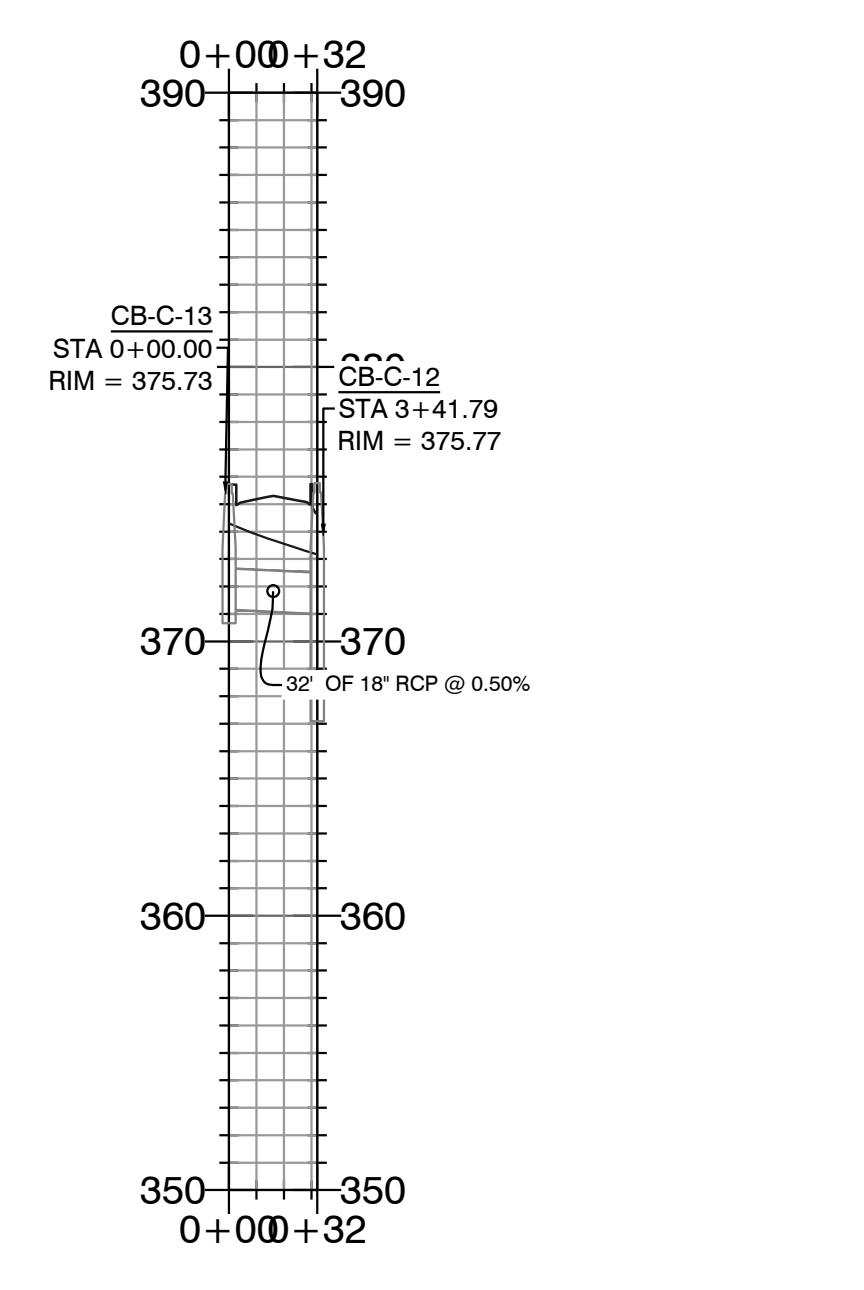
129 North Main Street,  
Benton, Arkansas 72015  
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www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT, LLC</b>		
DRAINAGE PROFILES MIDLAND ROAD BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY: xxxx	DRAWING NUMBER: 23-0024
REVISED:	CHECKED BY:	
SHEET: C-6.5	SCALE: as shown	

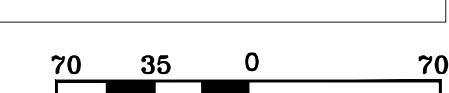
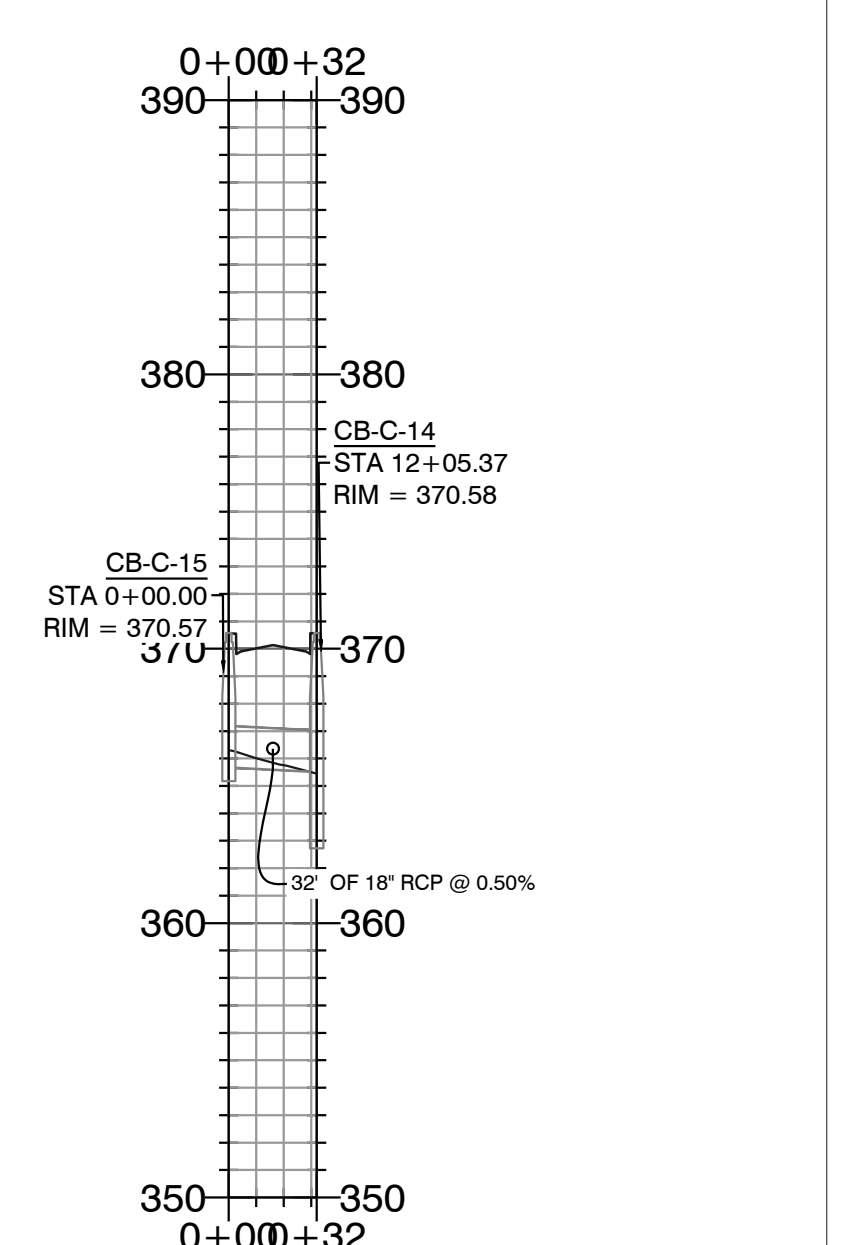
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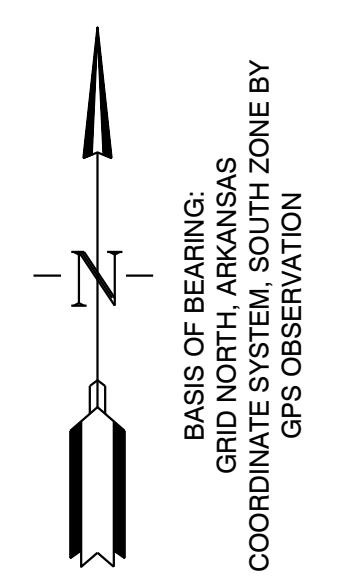
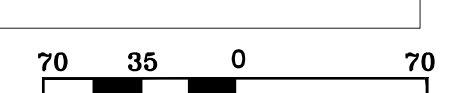
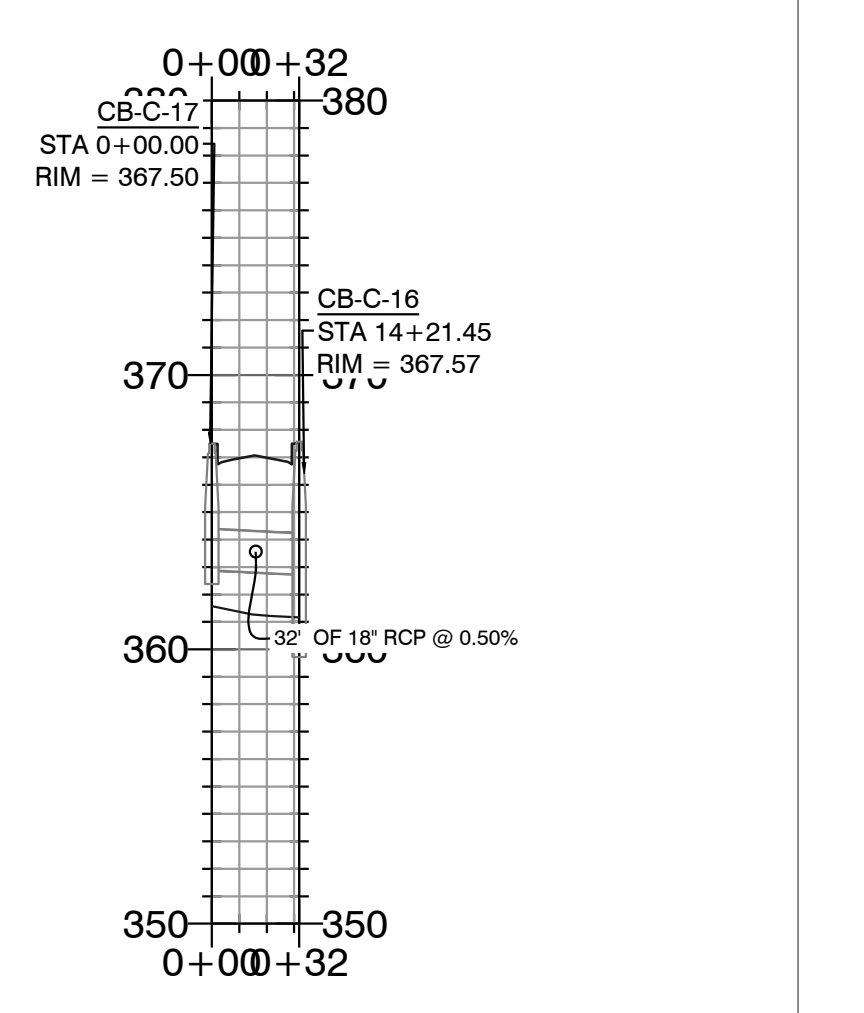
Storm Water Line 11 PROFILE



Storm Water Line 12 PROFILE



Storm Water Line 13 PROFILE

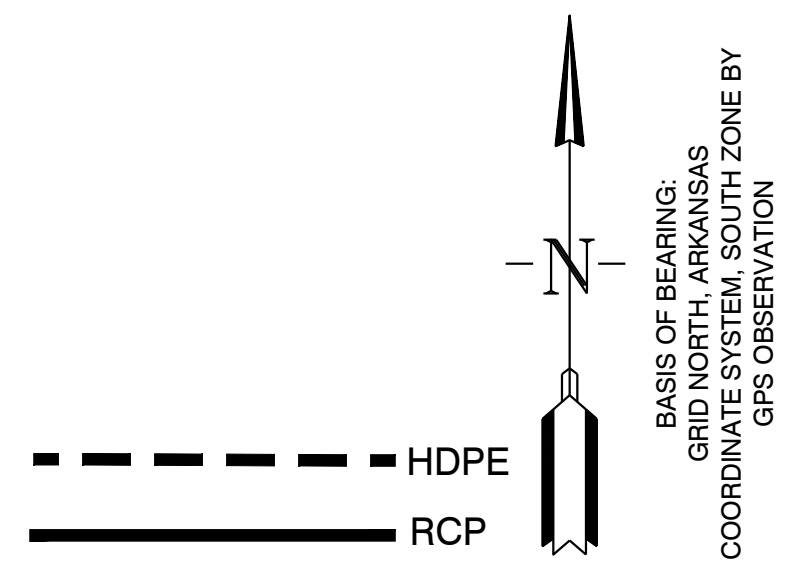
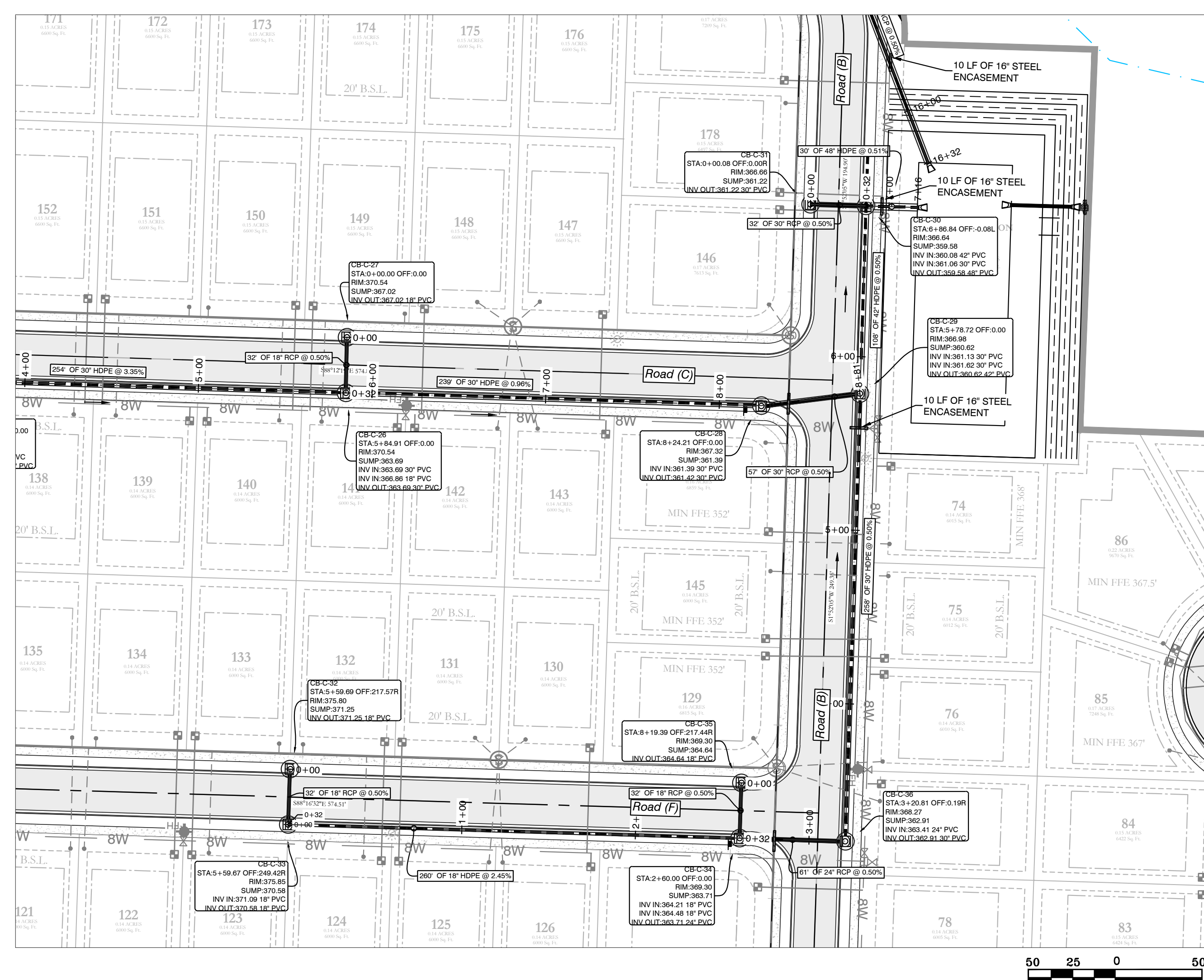
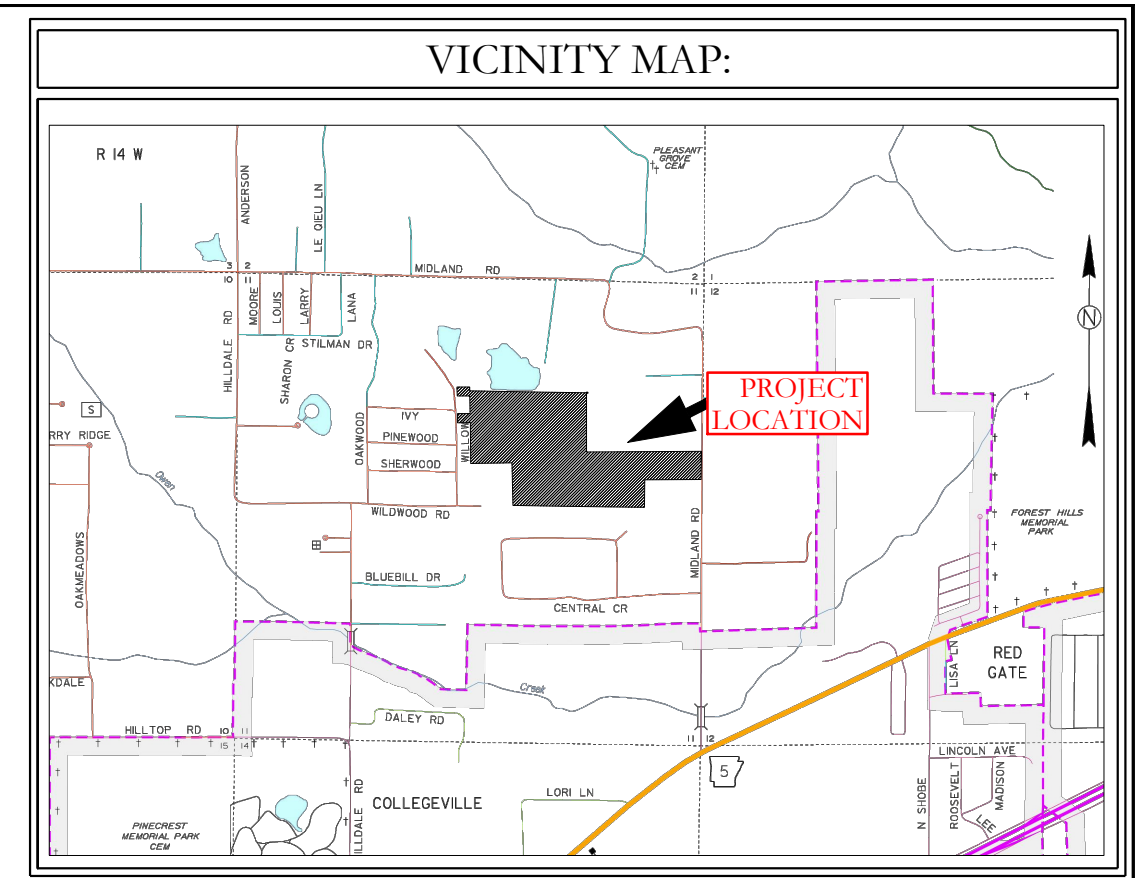


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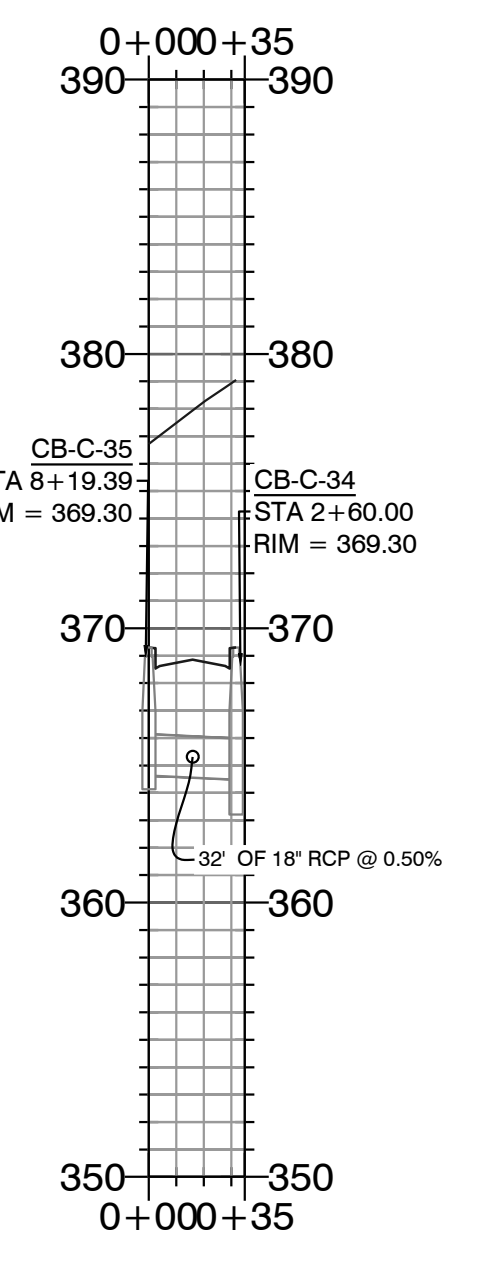
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Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
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FOR USE AND BENEFIT OF: <b>HAVEN'S DEVELOPMENT LLC</b>		
DRAINAGE PROFILES MIDLAND ROAD BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 5/10/2023	C.A.D. BY: xxxx	DRAWING NUMBER:
REVISED:	CHECKED BY:	23-0024
SHEET: C-6.6	SCALE: as shown	

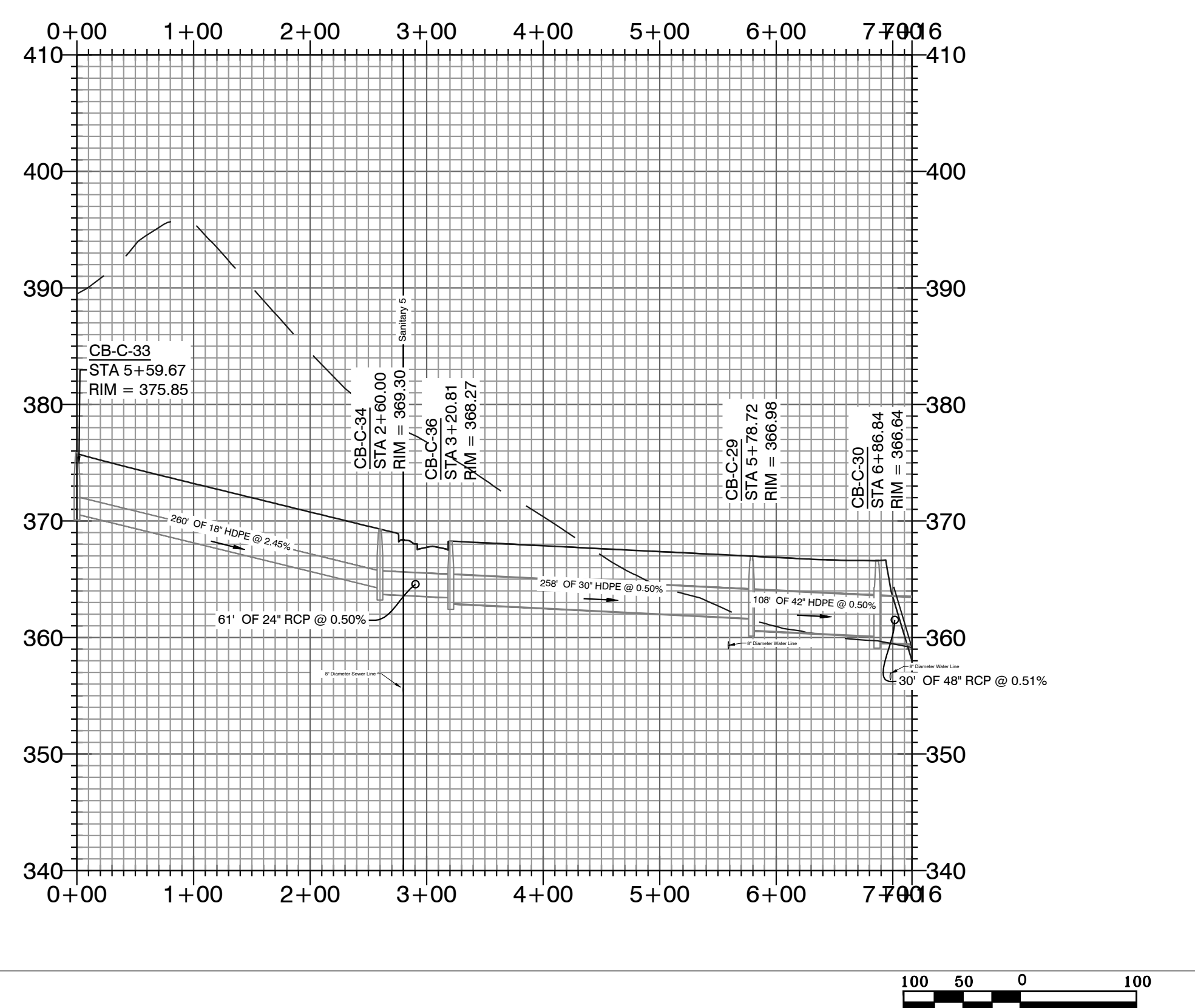
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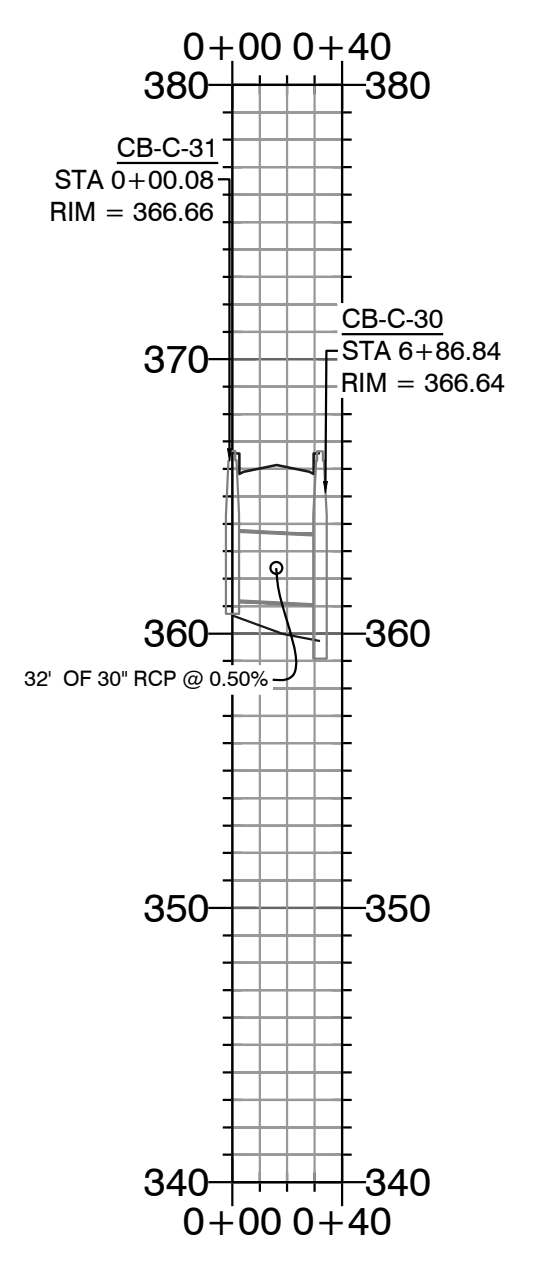
Storm Water Line 29 PROFILE



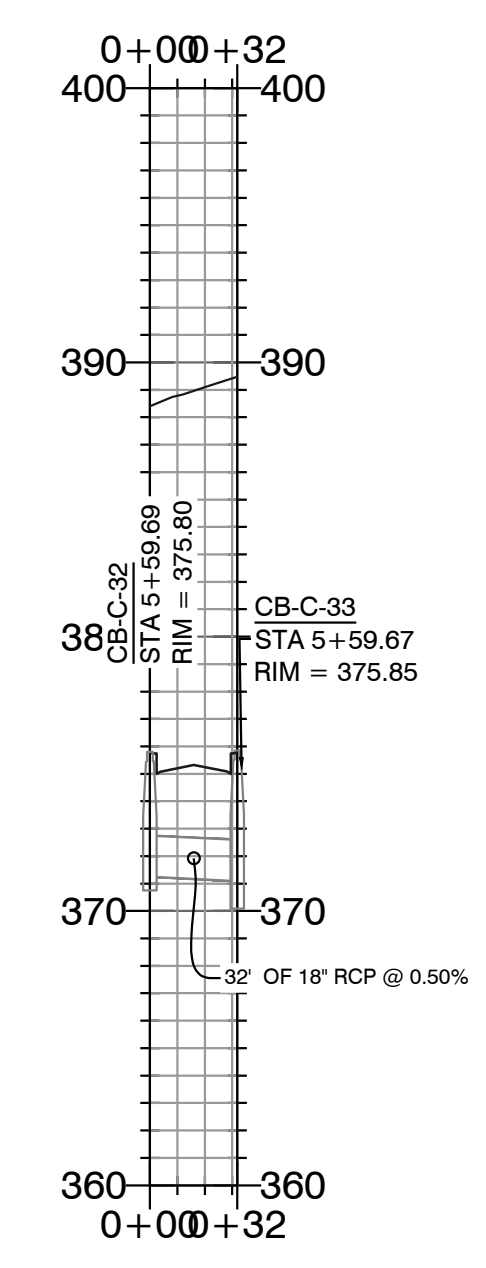
Storm Water Line 14 PROFILE



Storm Water Line 15 PROFILE



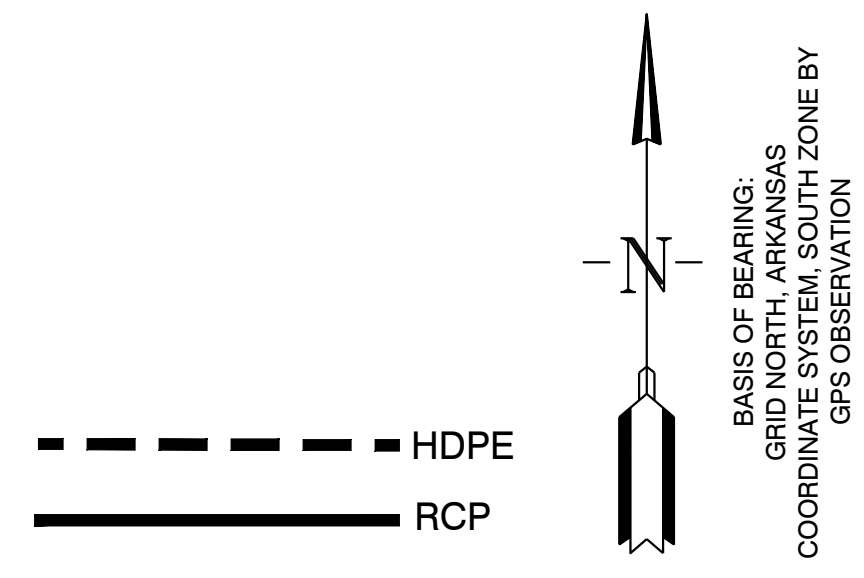
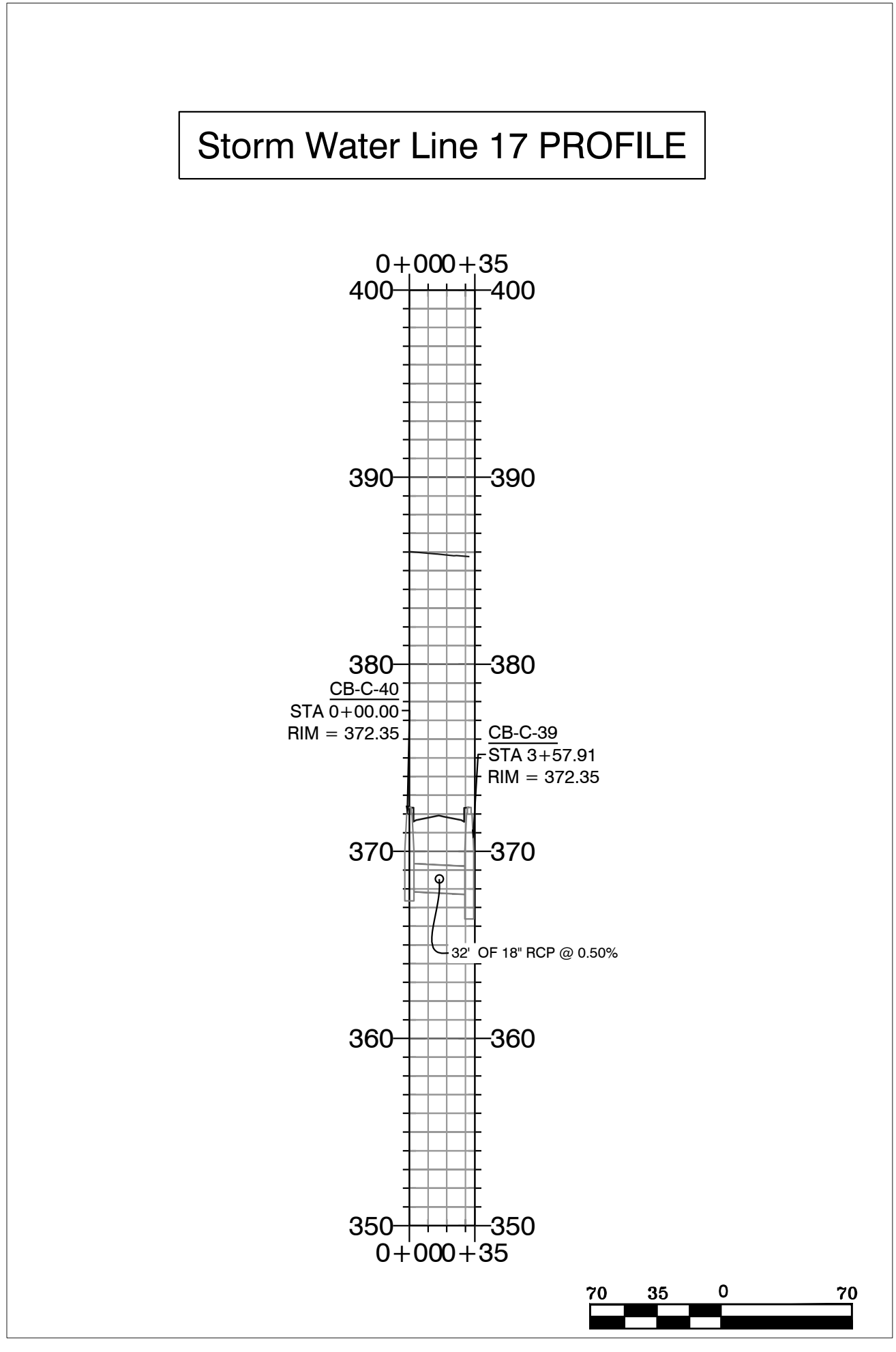
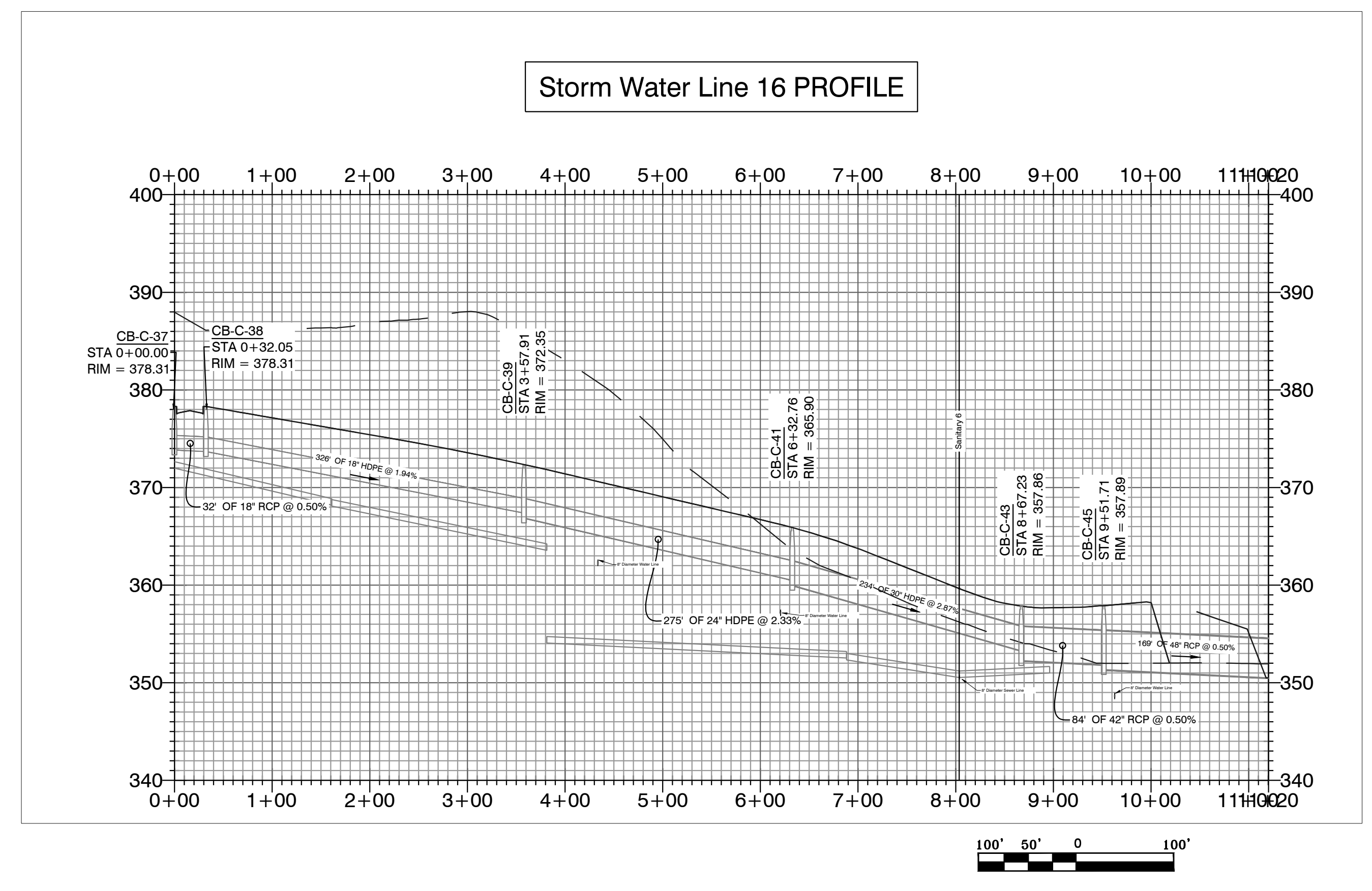
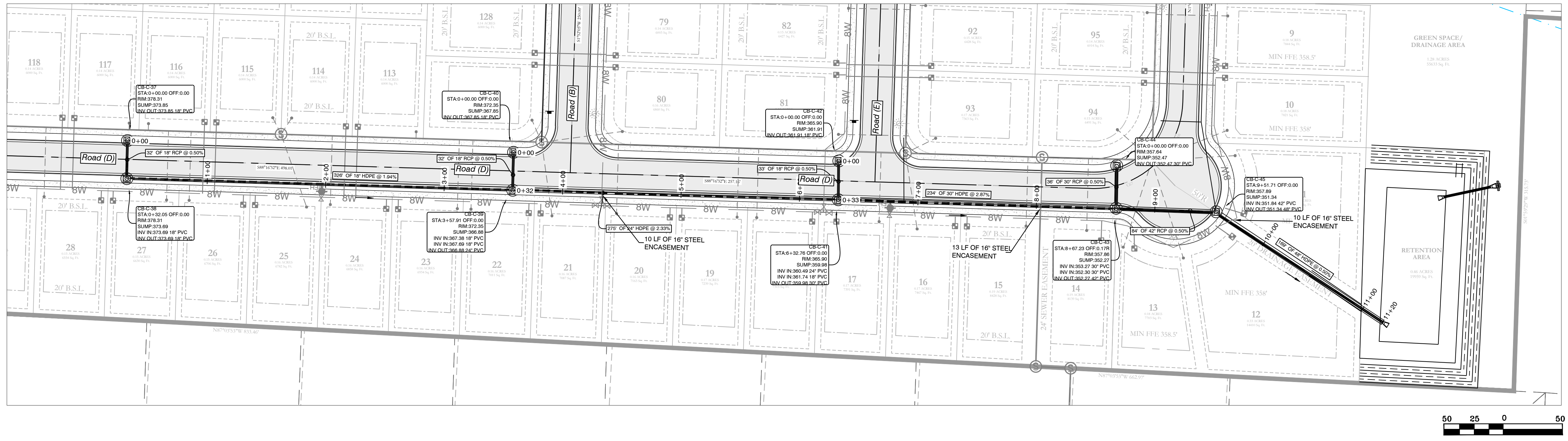
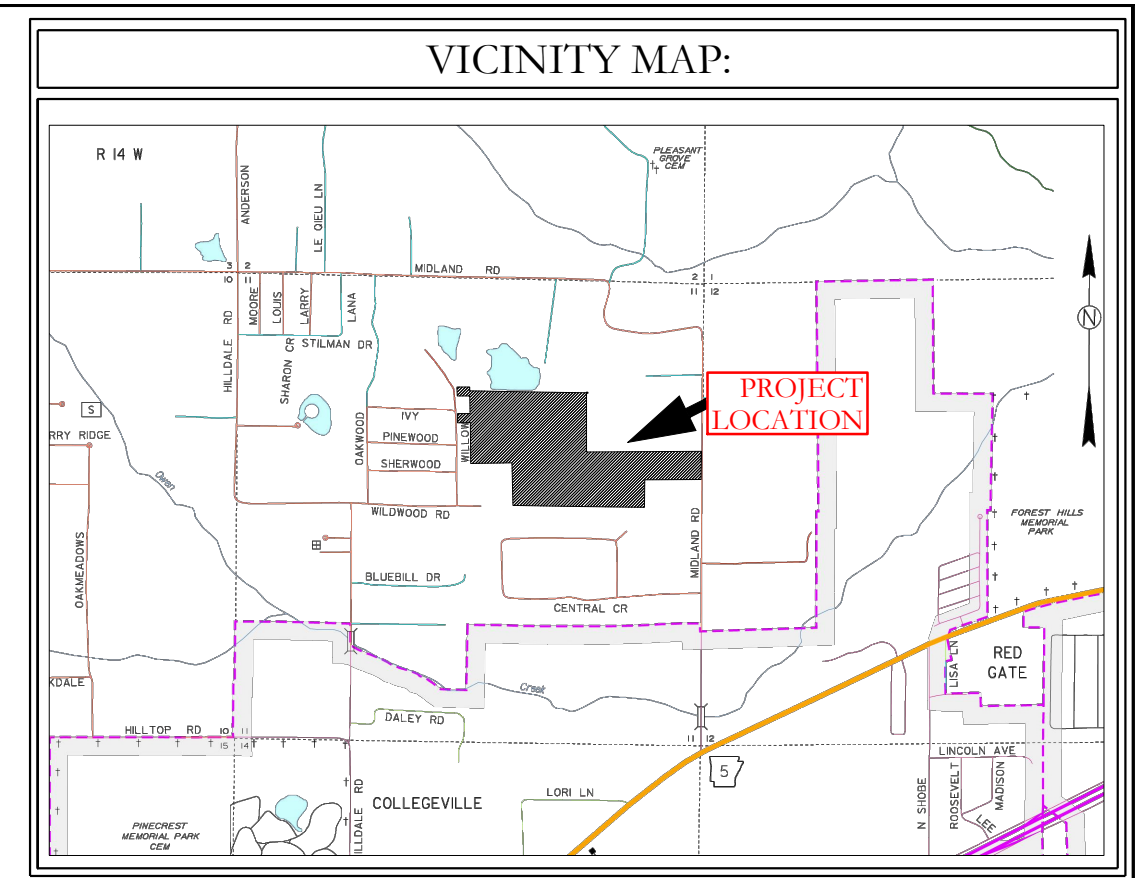
Storm Water Line 27 PROFILE



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SHEET: C-6.7	SCALE: as shown	

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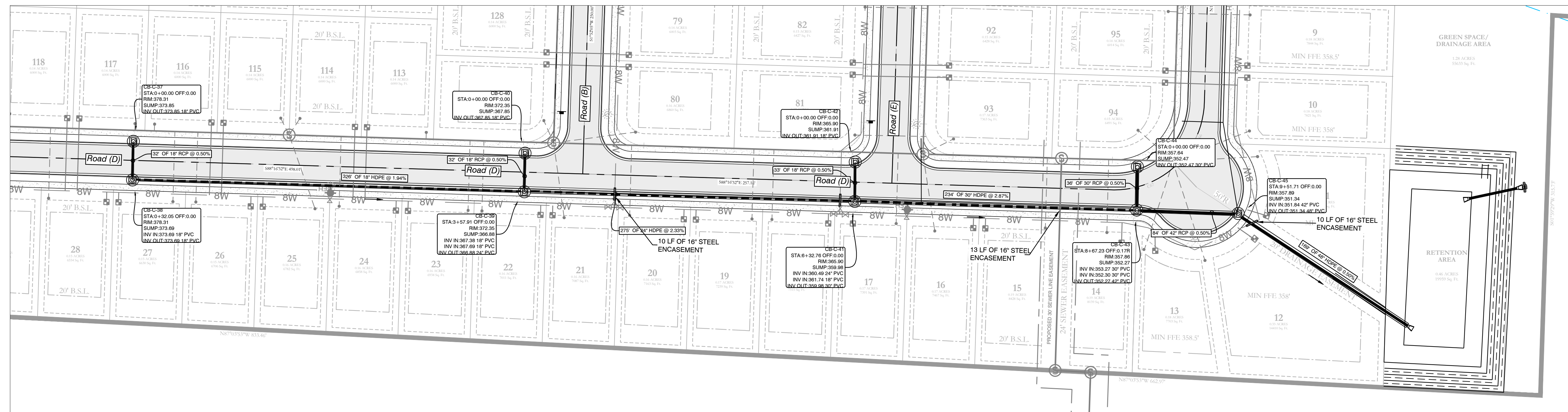
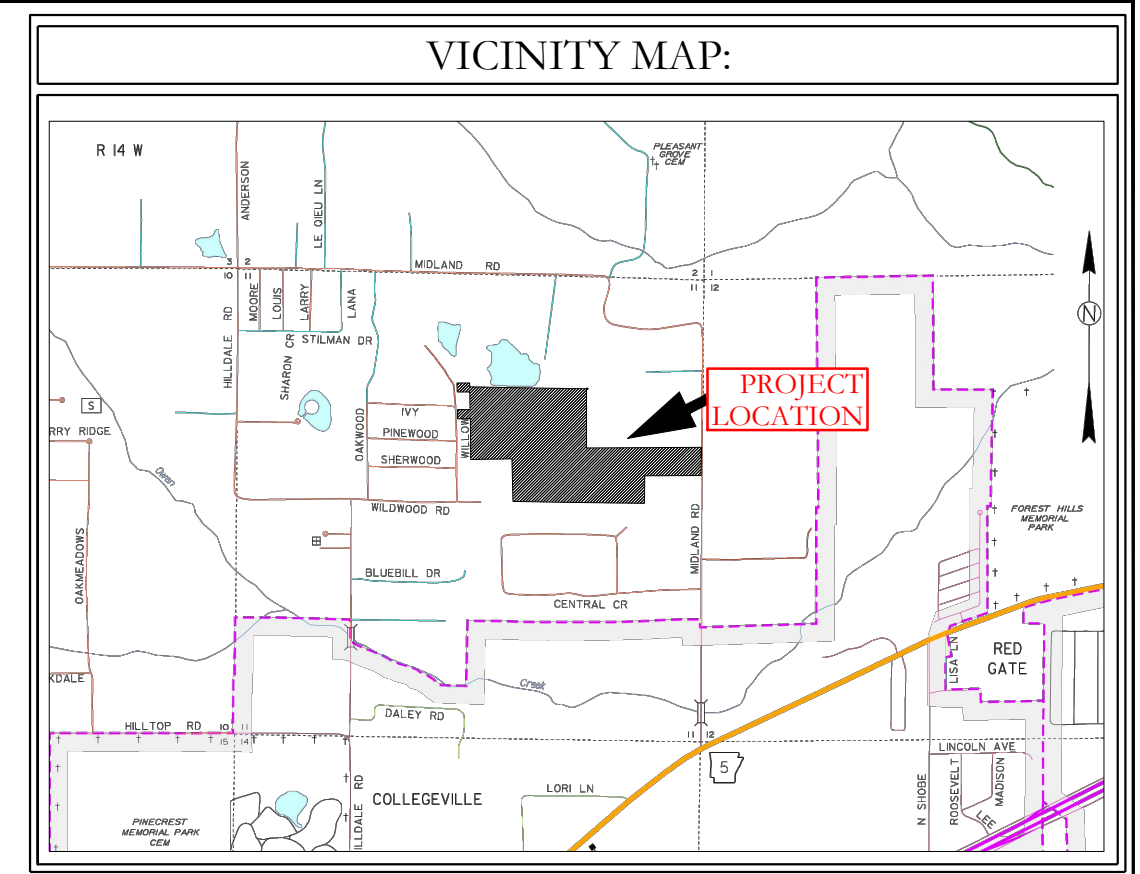


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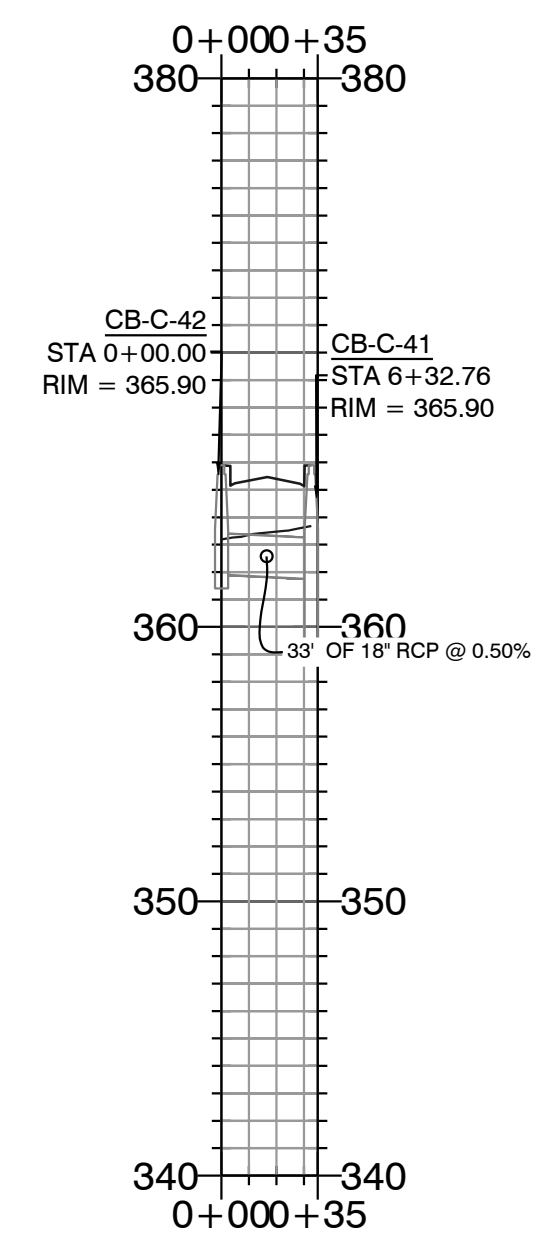
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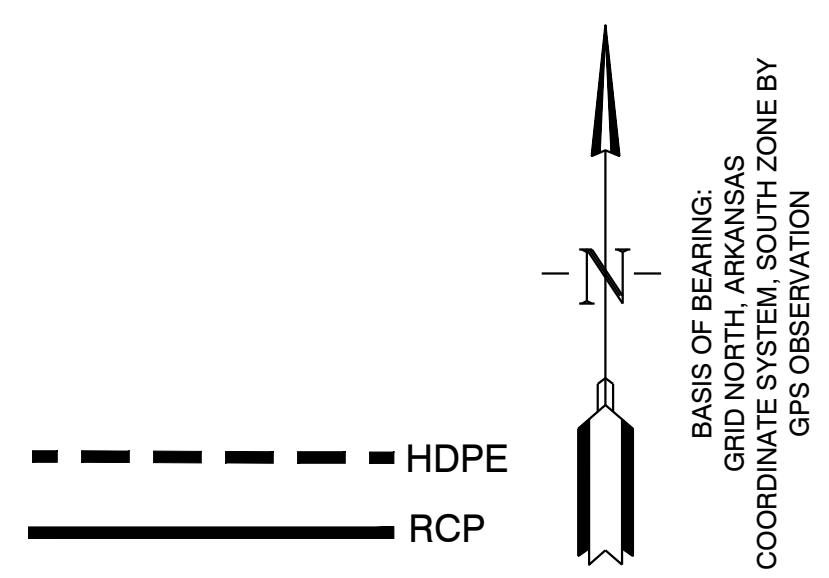
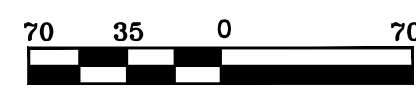
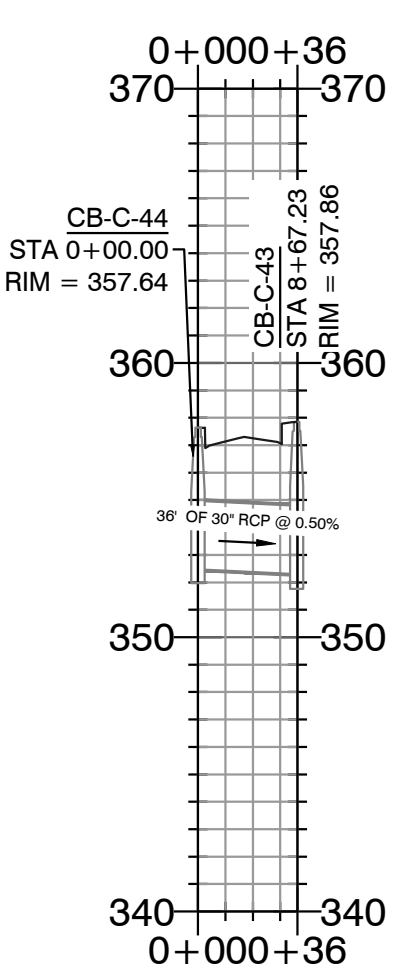
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Storm Water Line 18 PROFILE



Storm Water Line 19 PROFILE

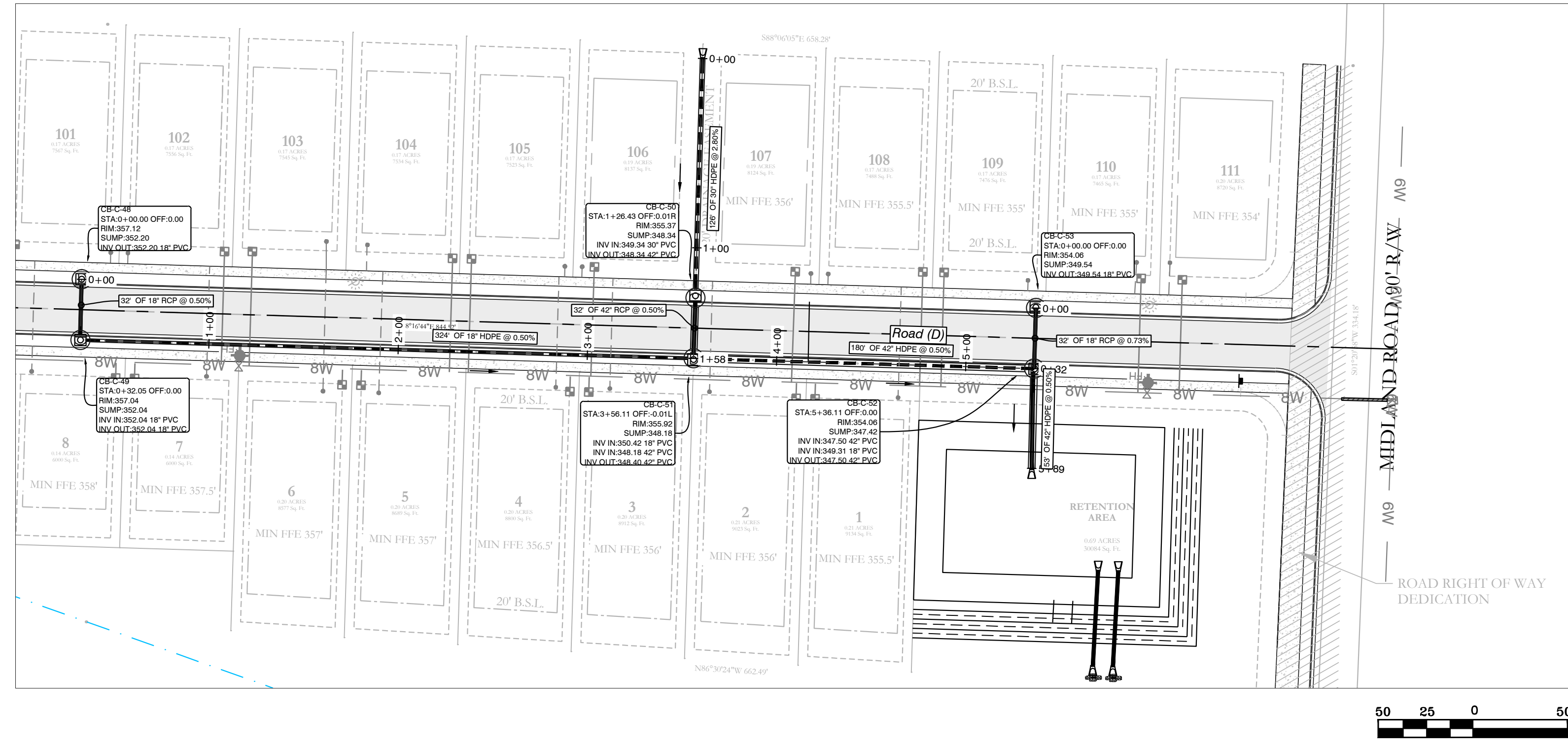
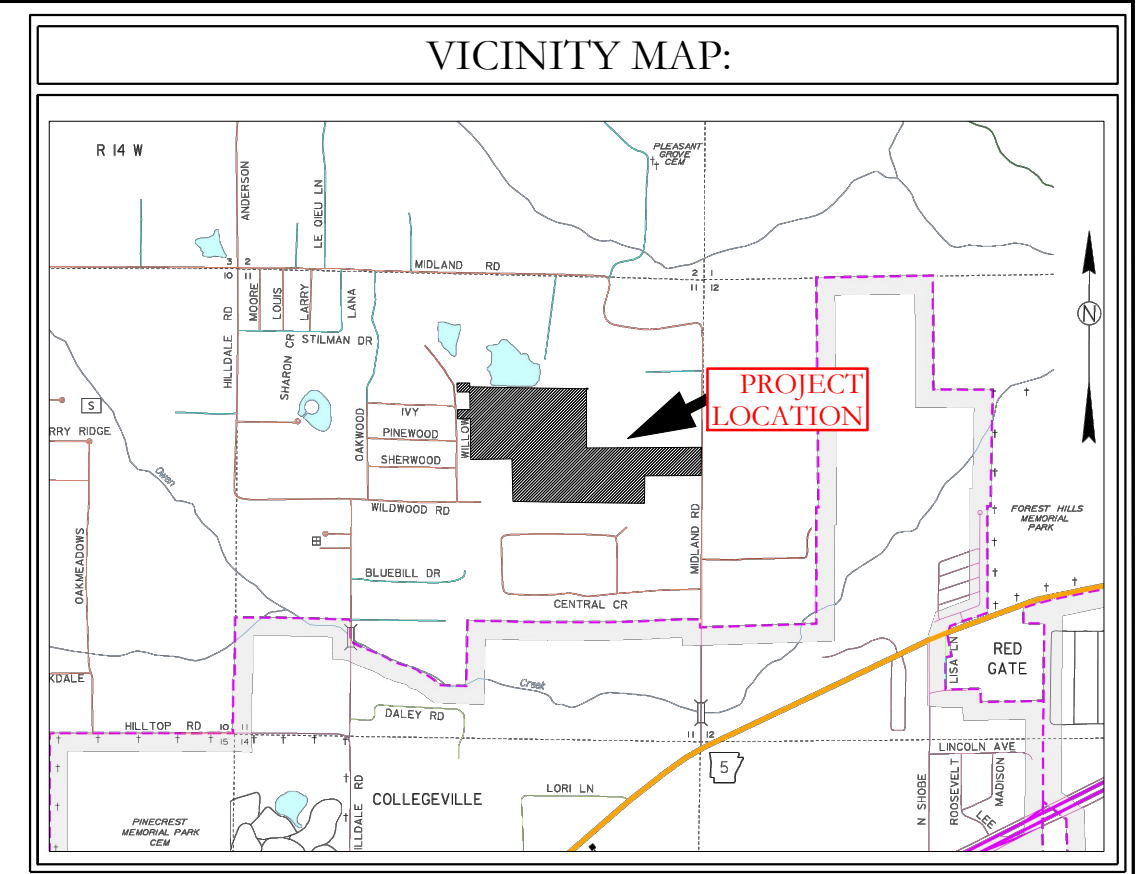


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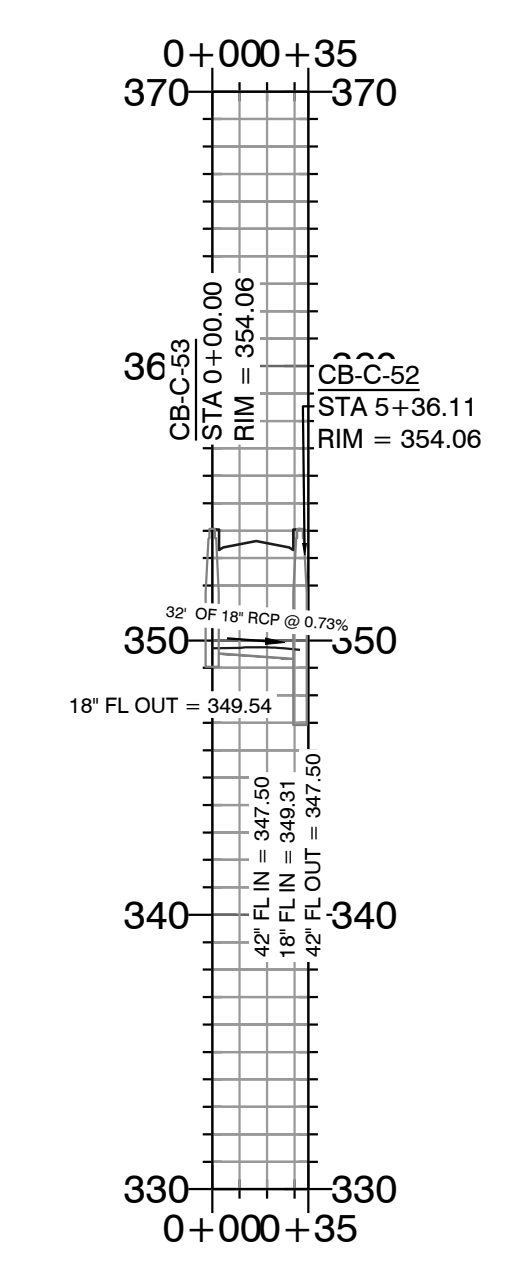
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REVISIONS:	CHECKED BY:	23-0024
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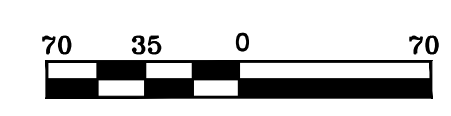
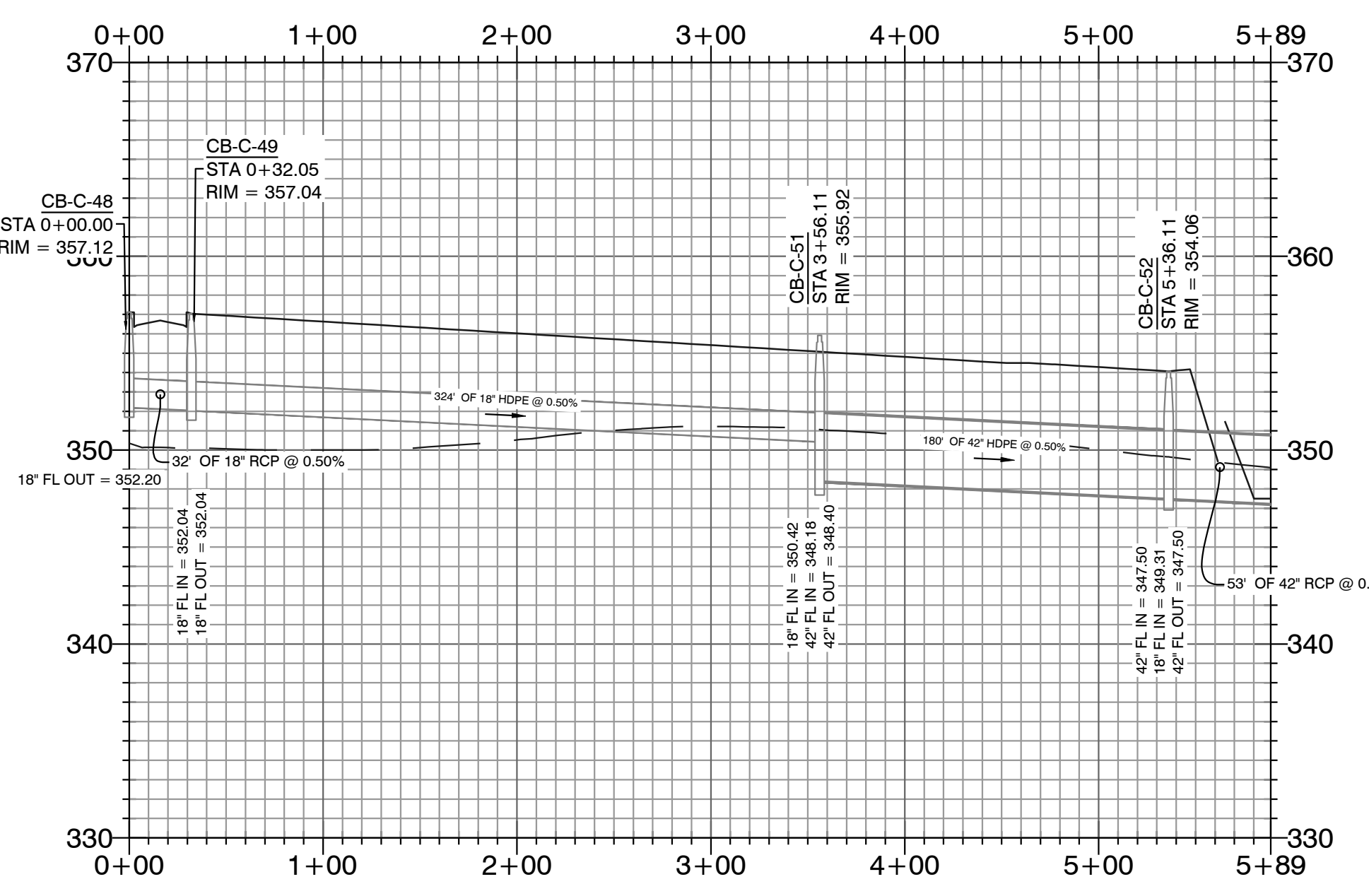
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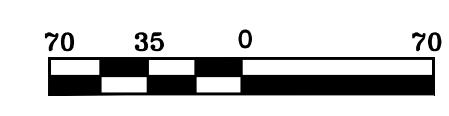
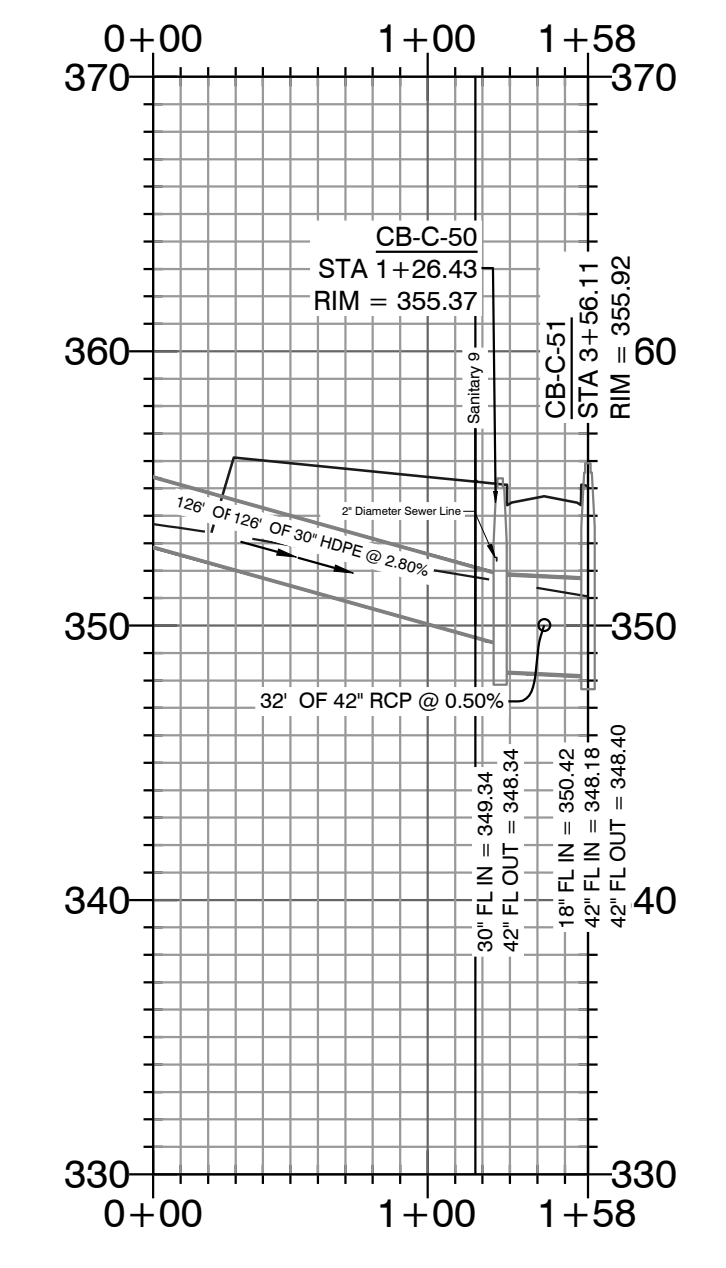
Storm Water Line 26 PROFILE



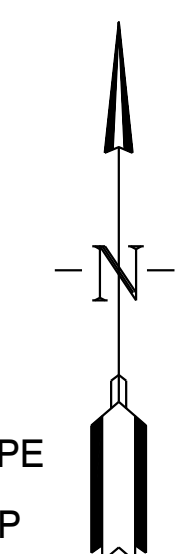
Storm Water Line 24 PROFILE



Storm Water Line 25 PROFILE



--- HDPE  
 ——— RCP



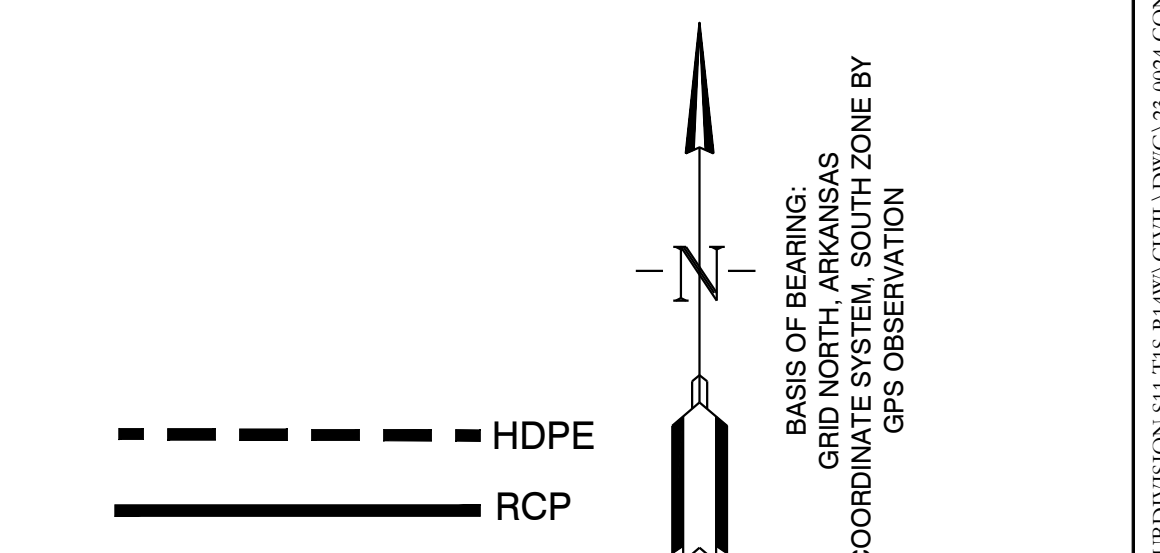
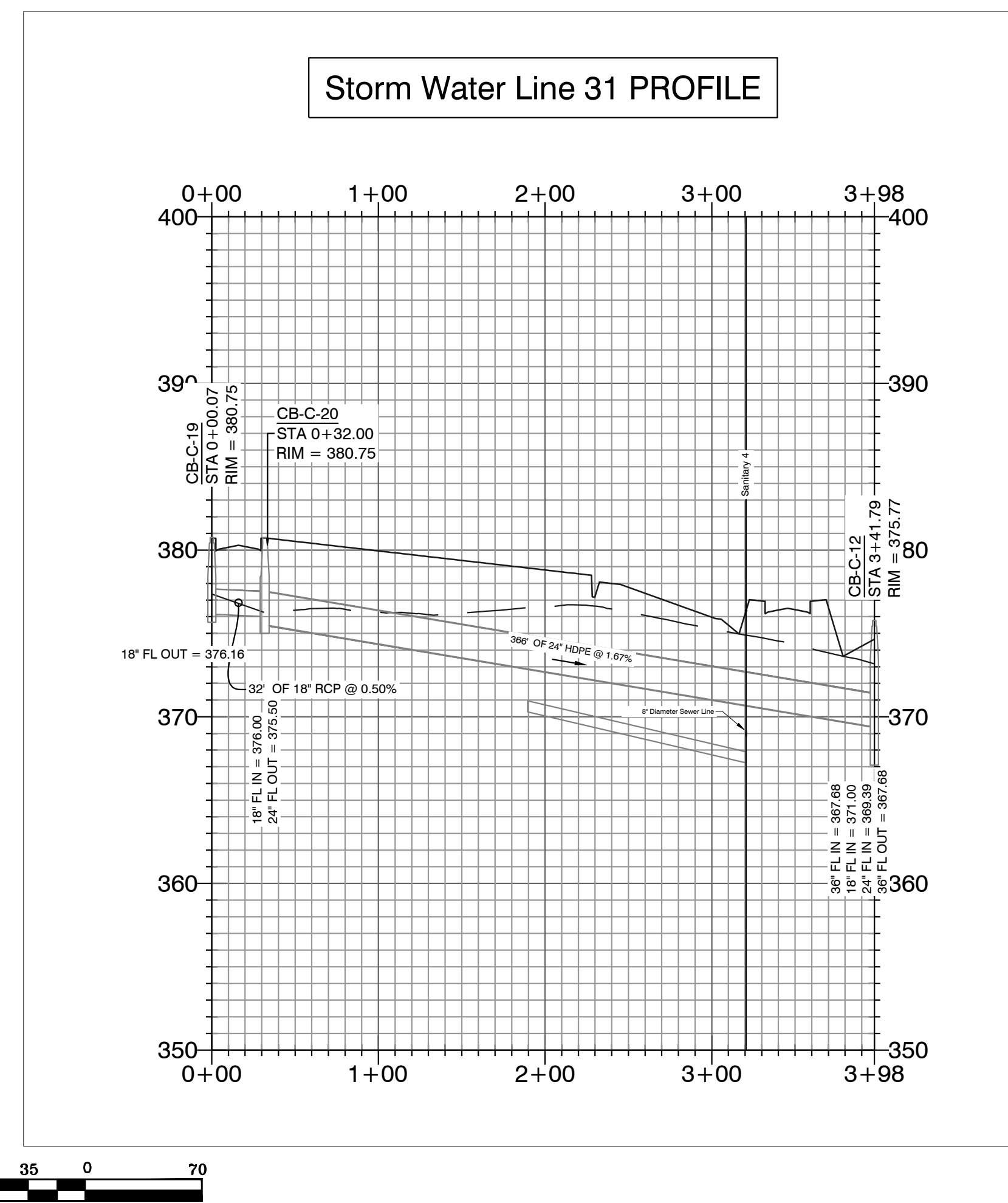
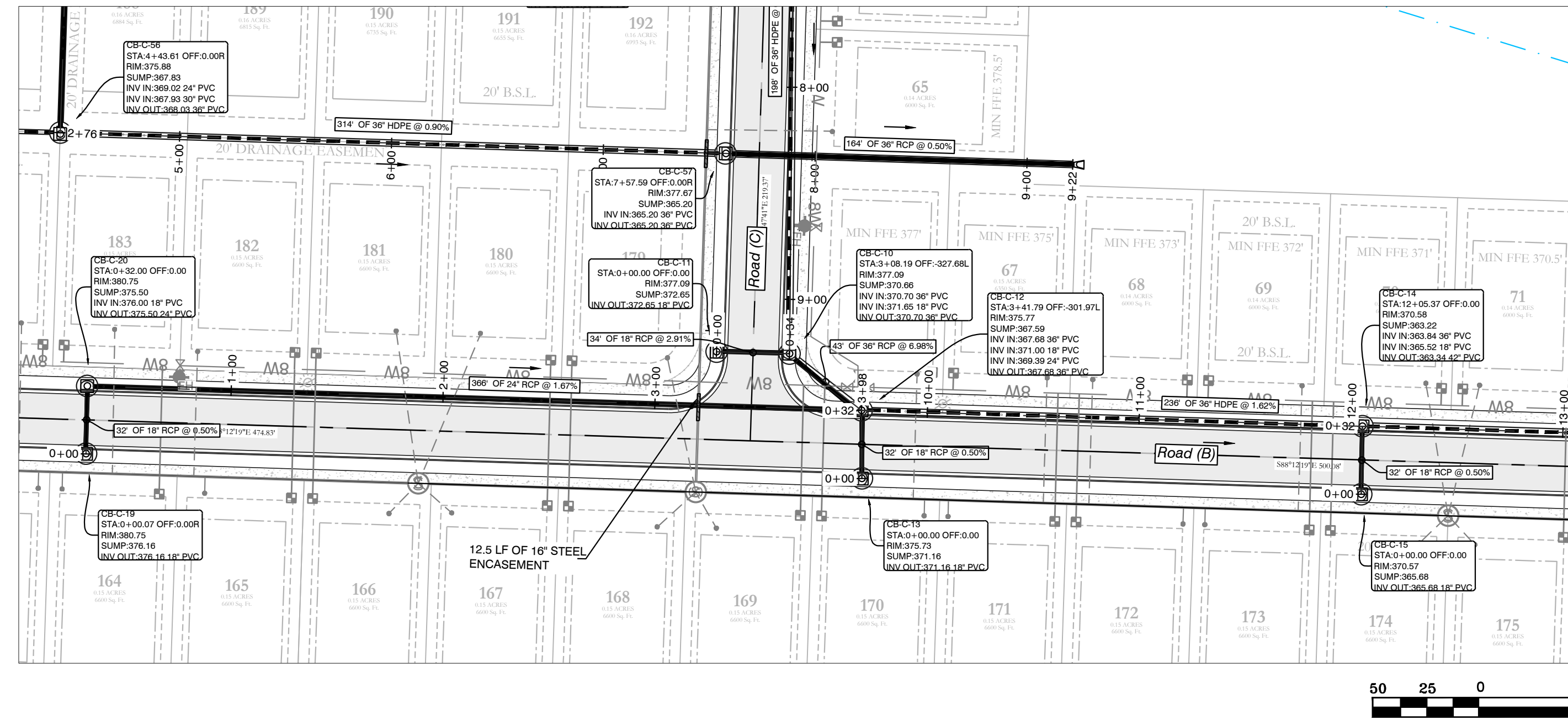
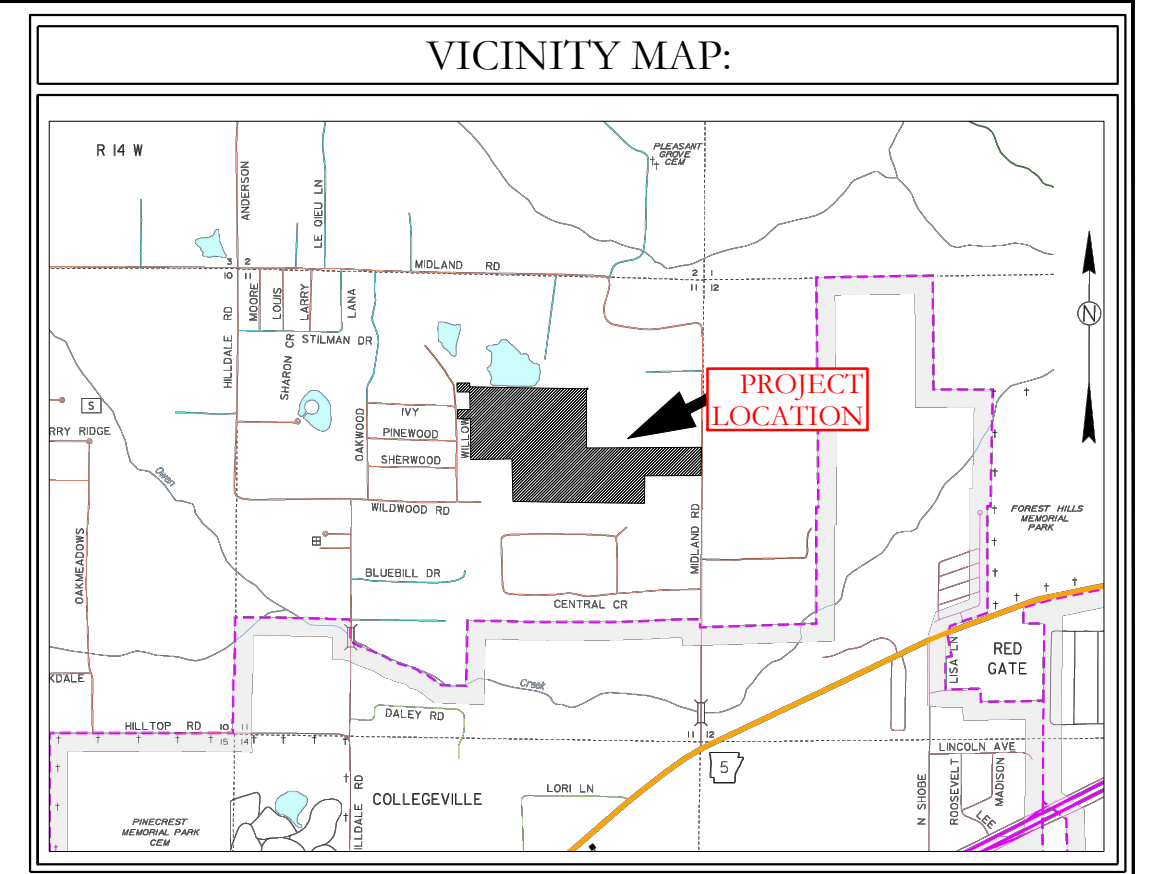
BASIS OF BEARING:  
 GRID NORTH, ARKANSAS  
 COORDINATE SYSTEM, SOUTH ZONE BY  
 GPS OBSERVATION

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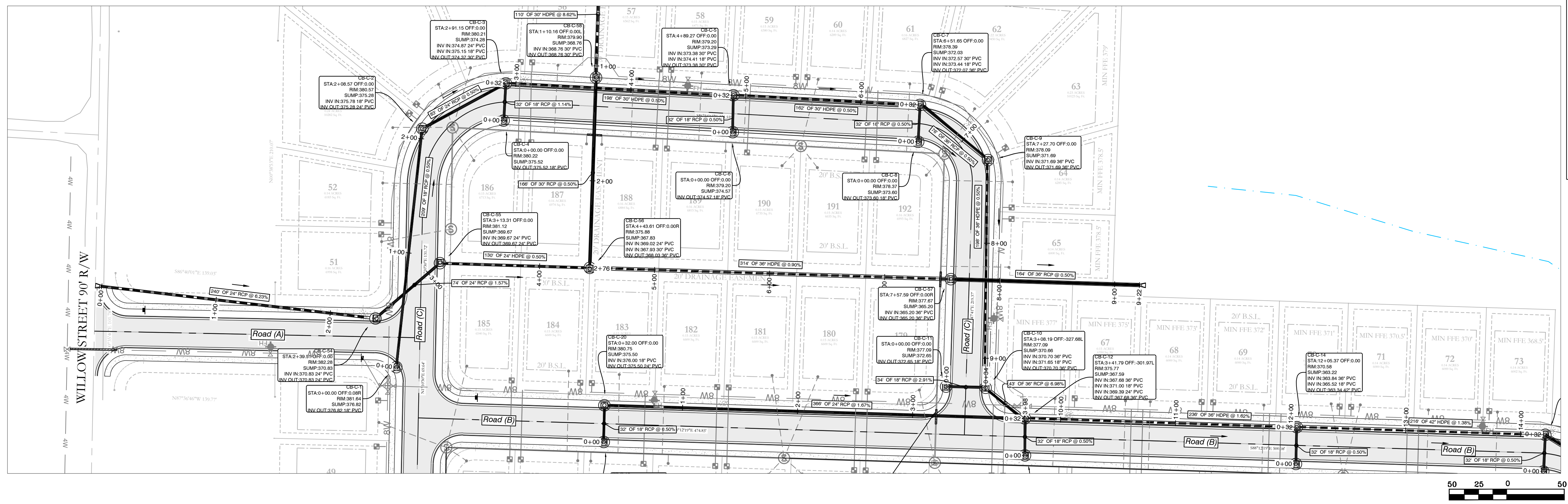
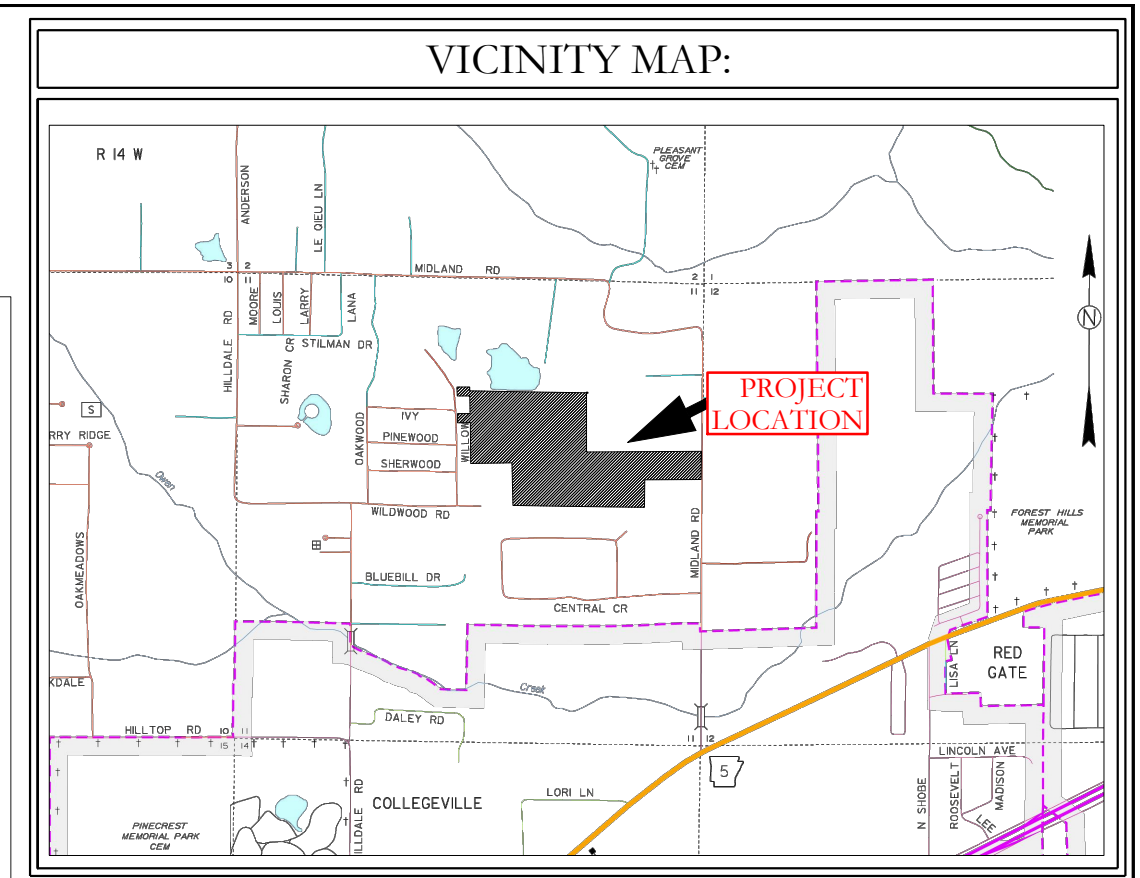
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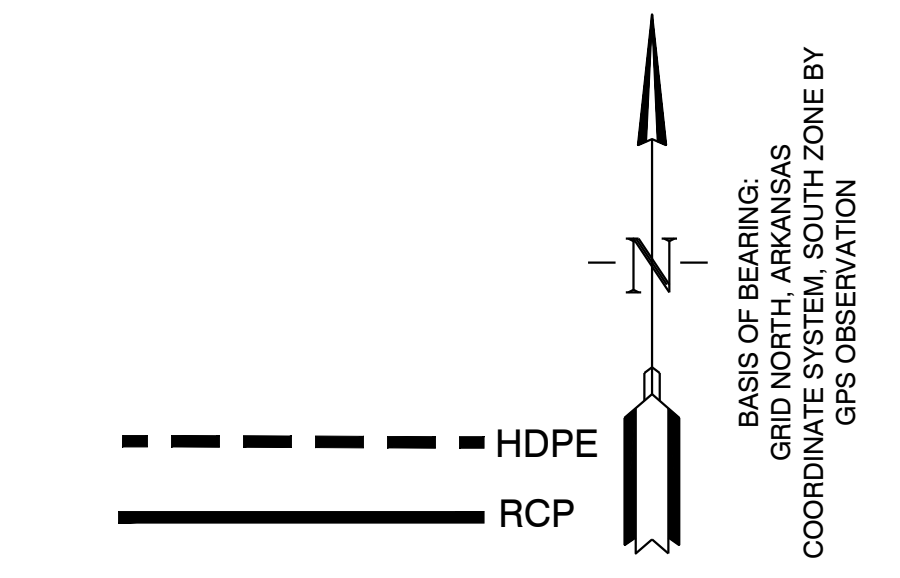
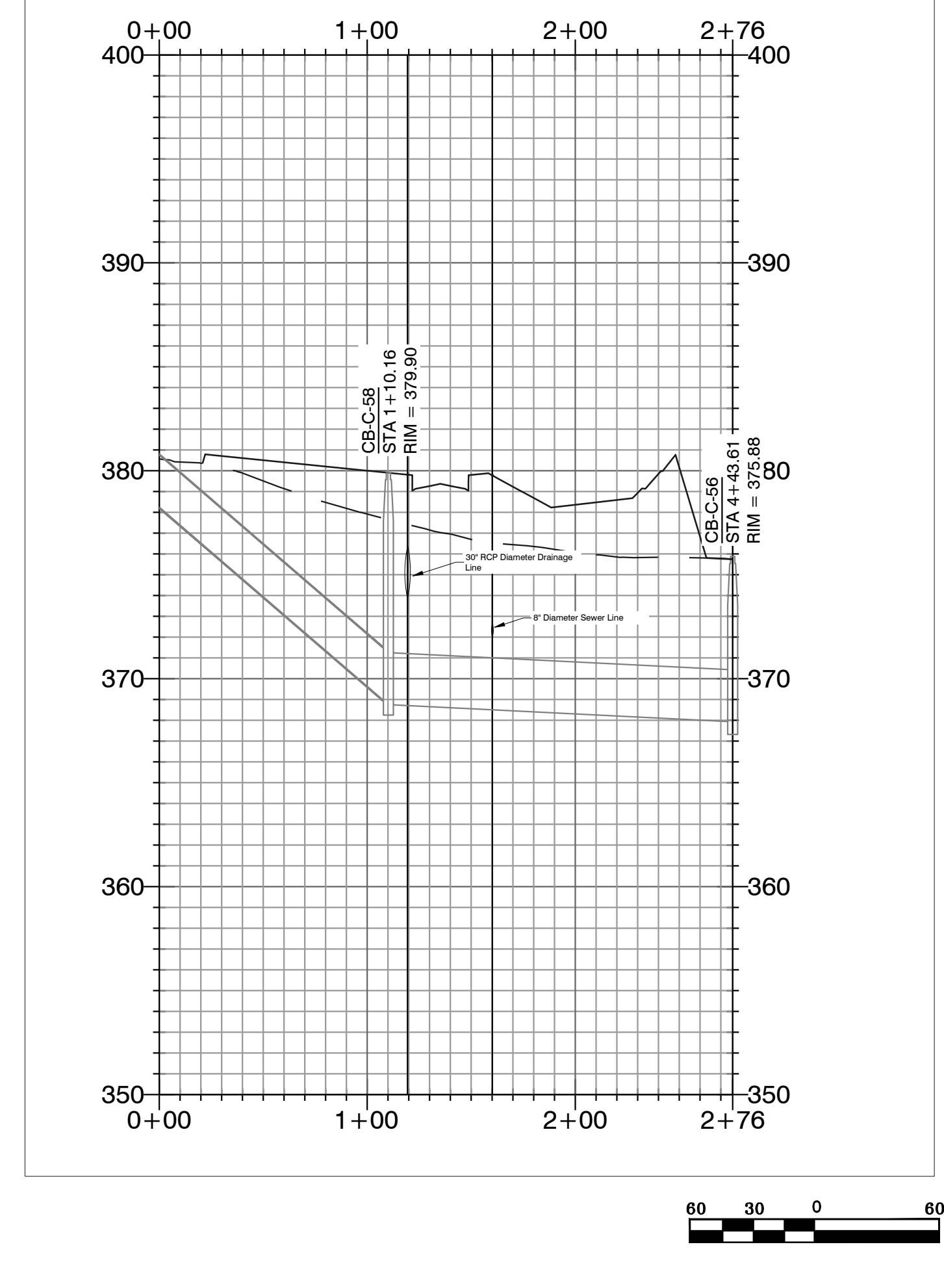
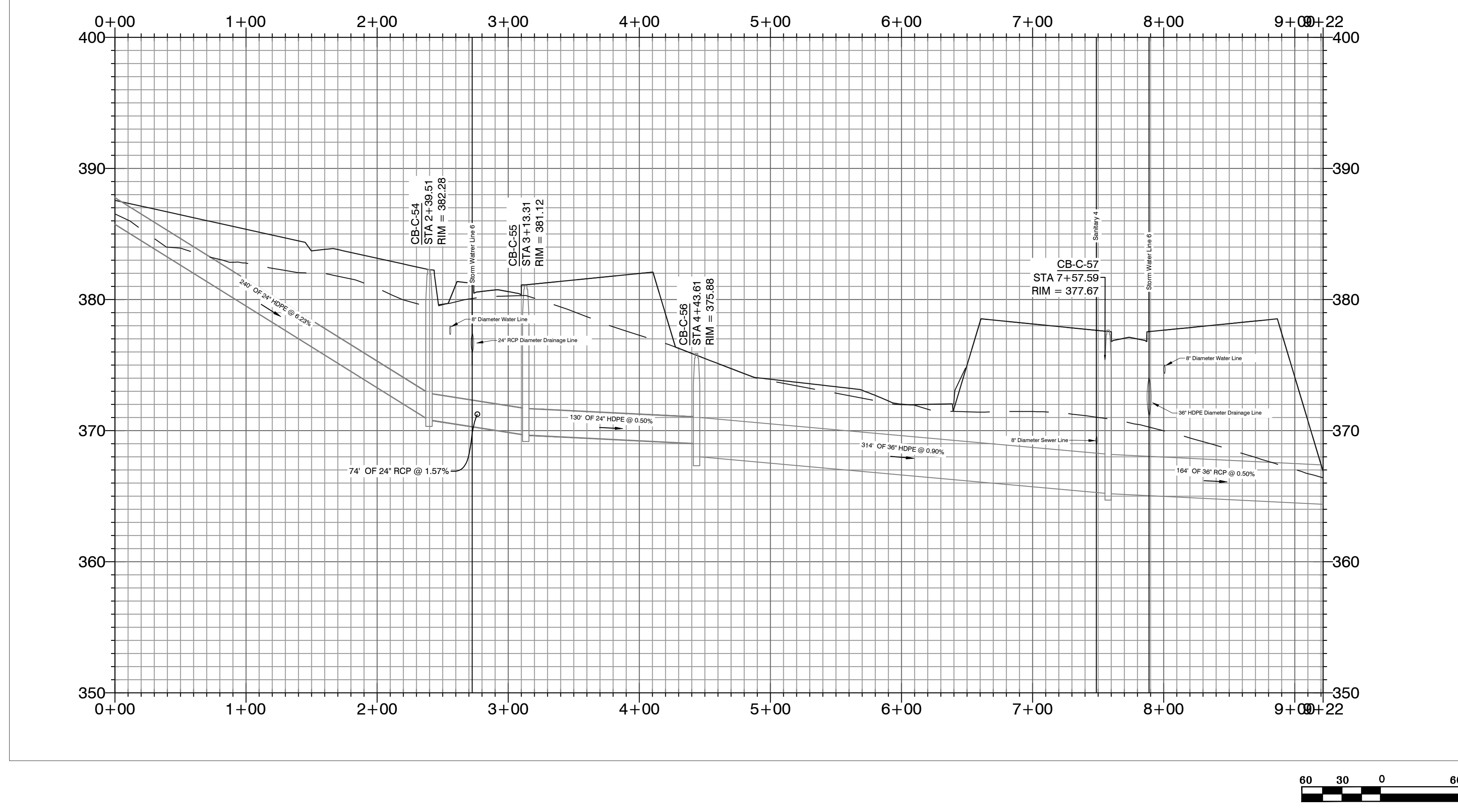
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External Discharge (Storm Water) PROFILE

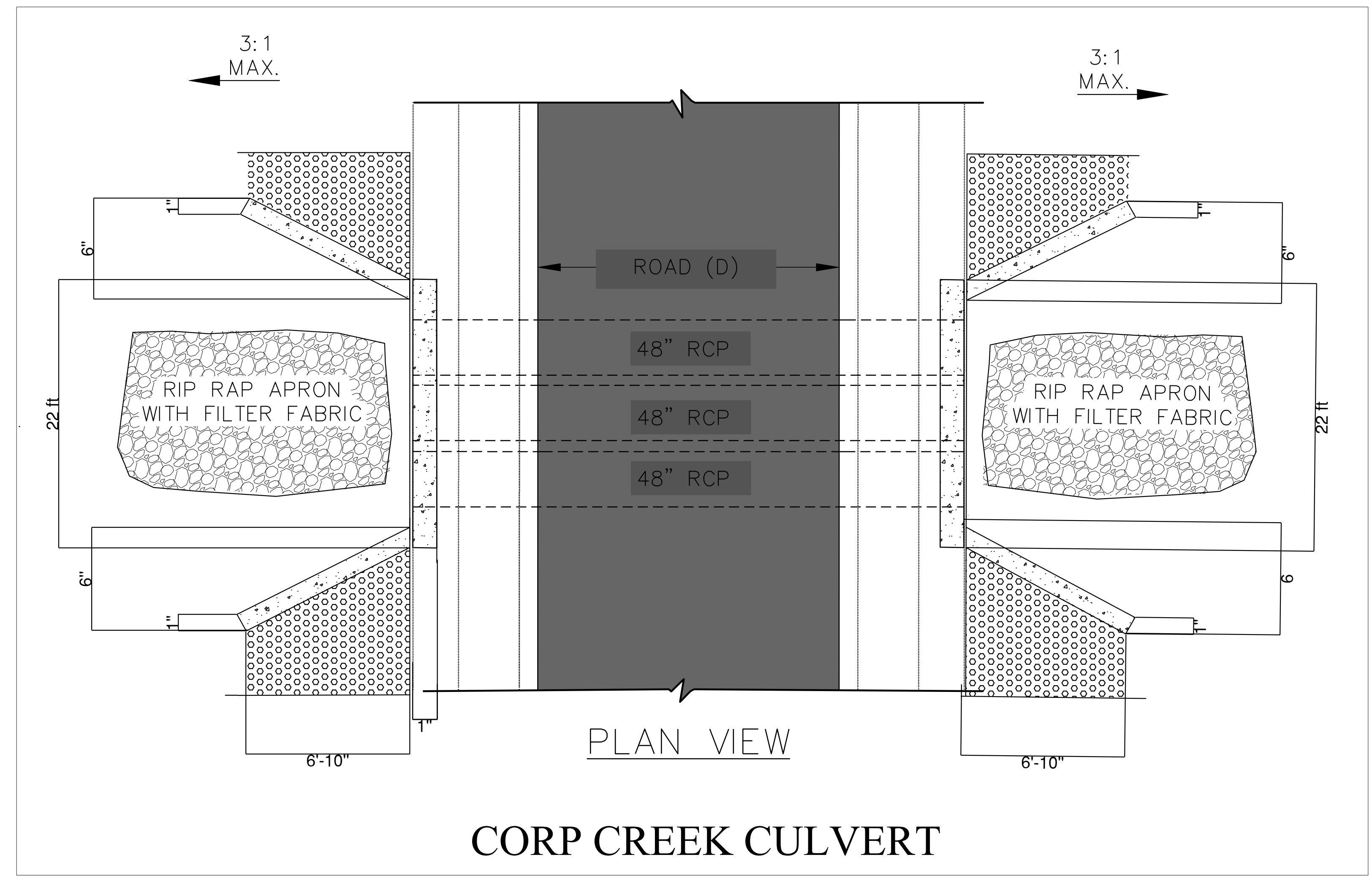
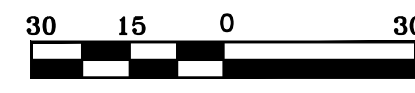
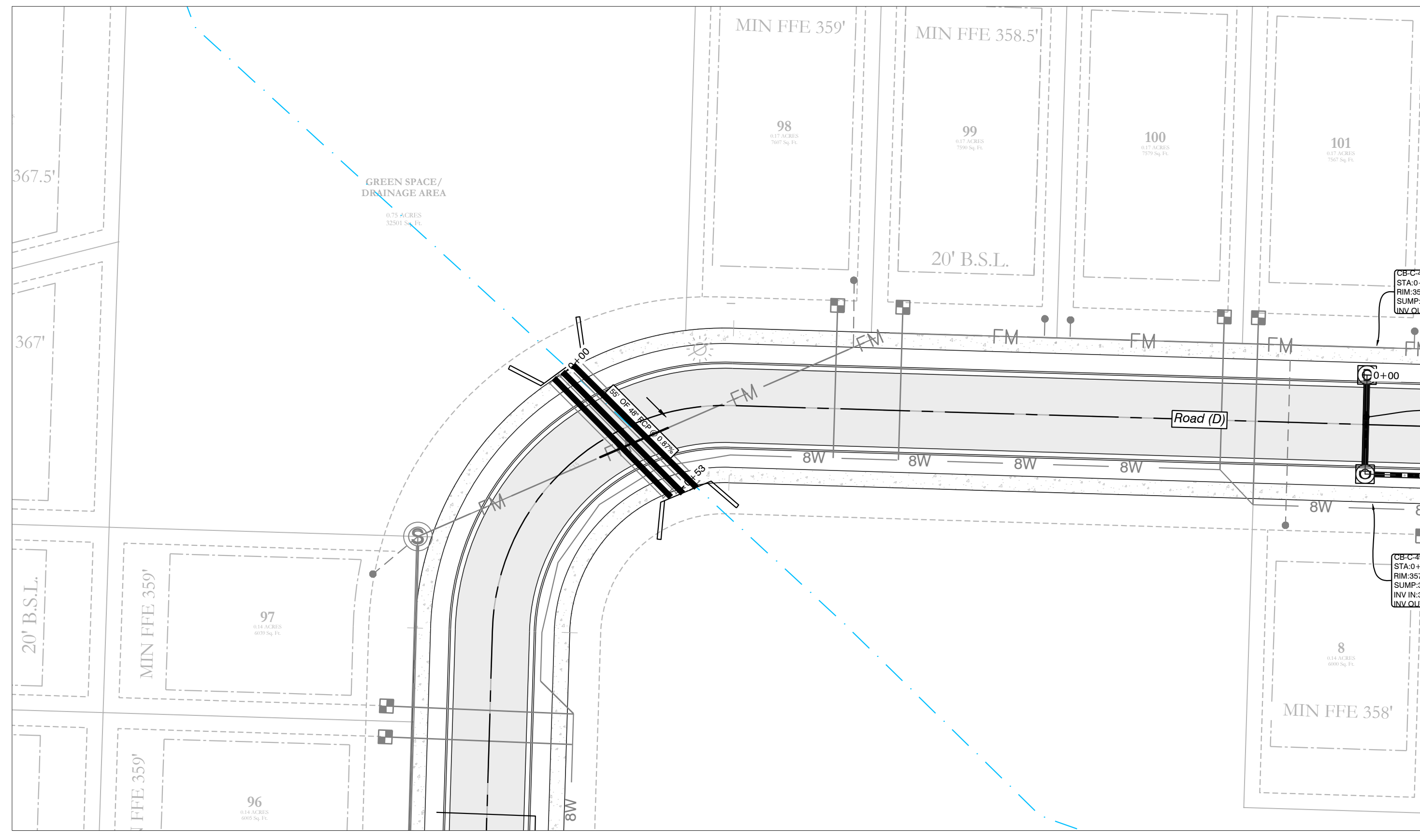
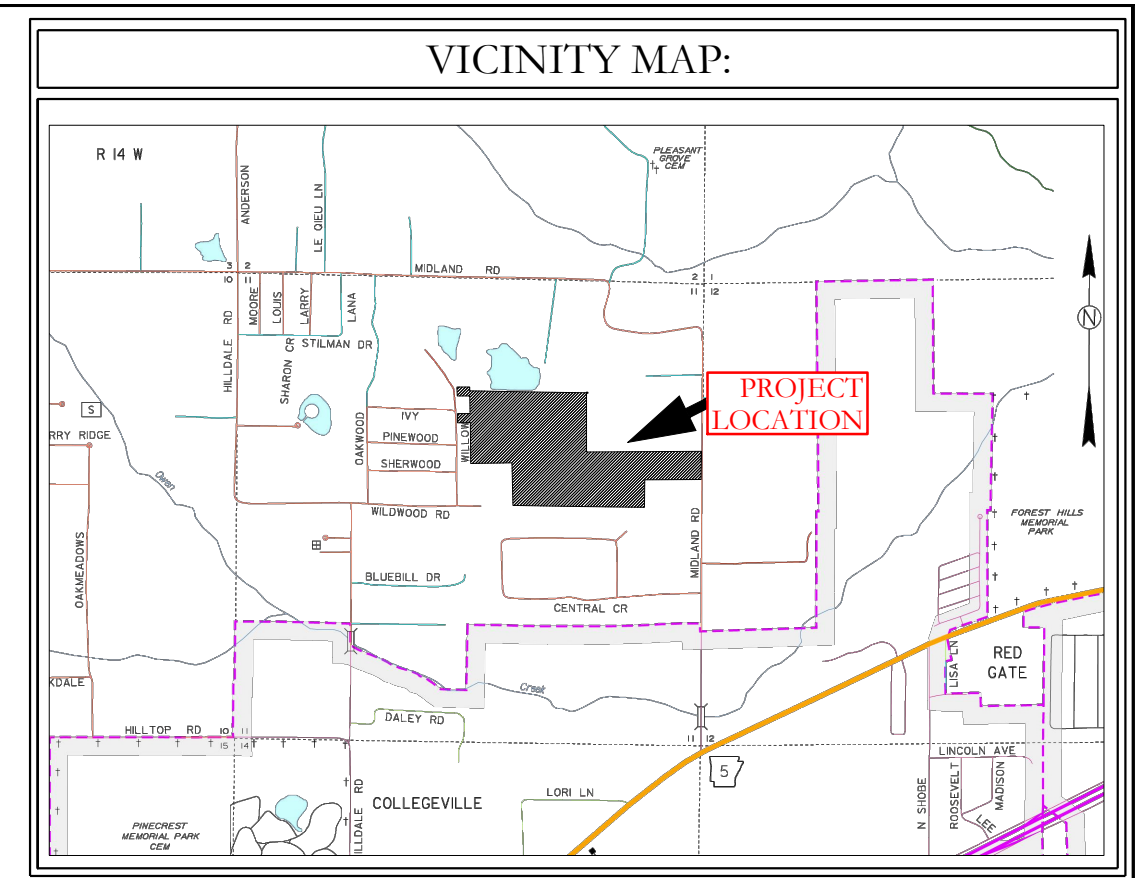
External Discharge (Storm Water) #2 PROFILE



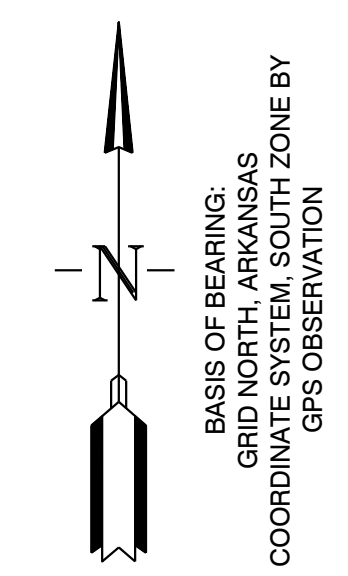
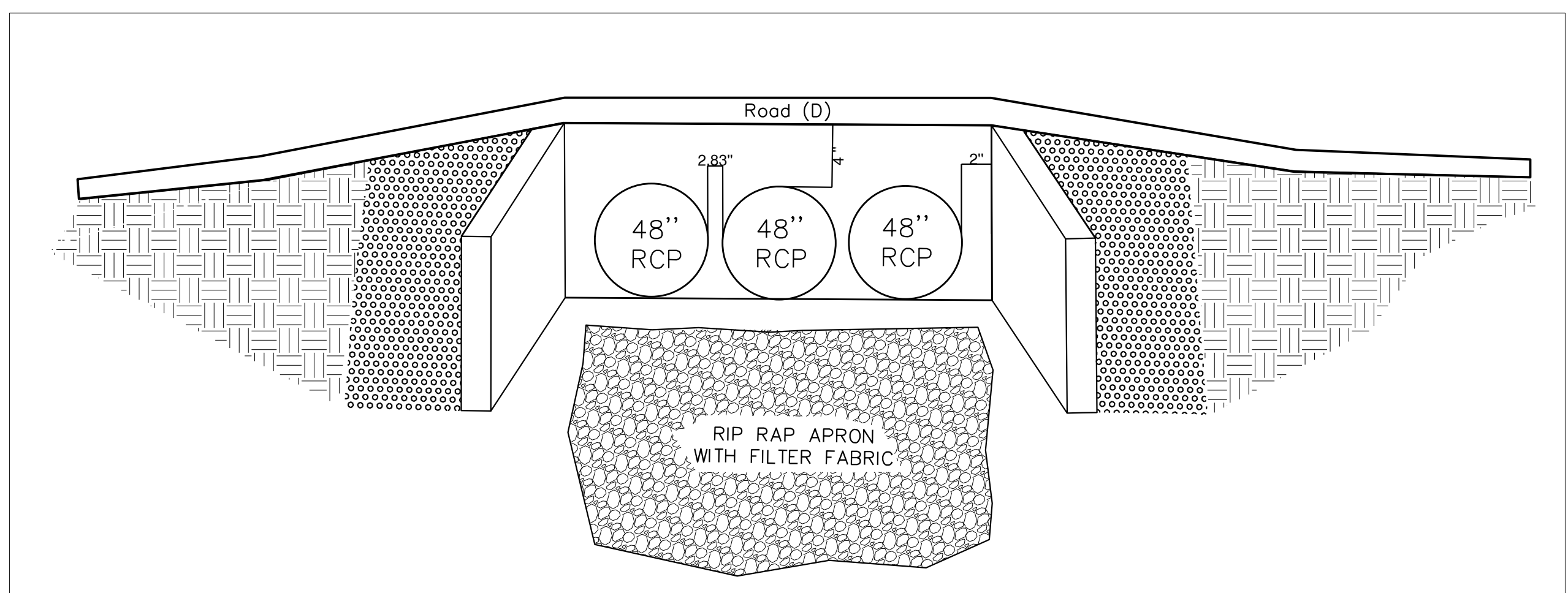
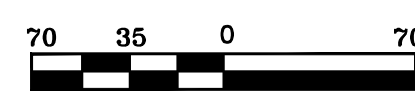
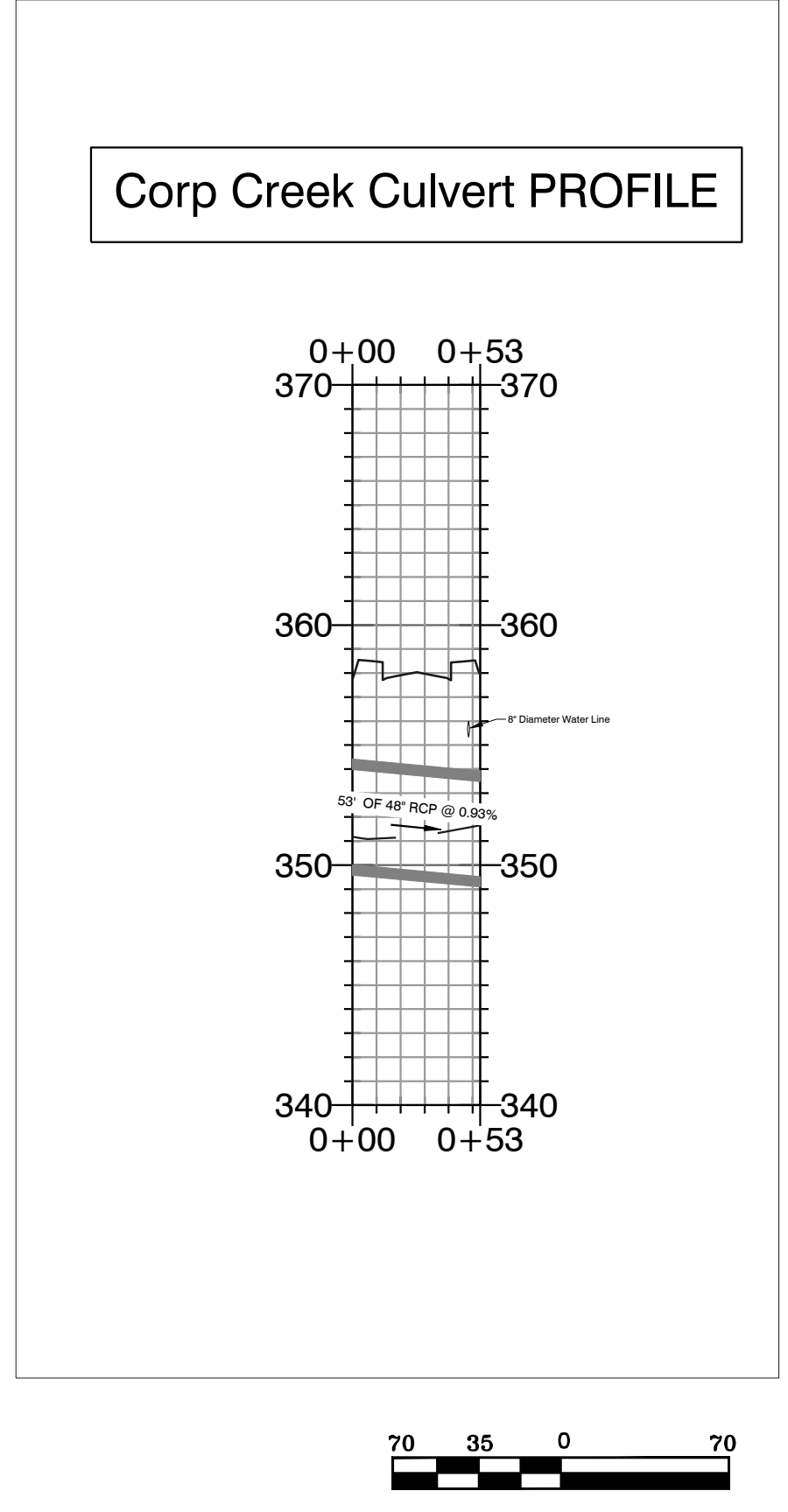
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DATE: 5/10/2023	C.A.D. BY: xxxx	DRAWING NUMBER:
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CORP CREEK CULVERT



**DRAINAGE NOTES**

No fences, pools or permanent obstructions may be placed in any access or drainage easements.

Dead Storage of pond will be used as a sediment pond at the time of construction later it will remain as a water feature.

Filter fabric shall be placed under all riprap areas.

All drainage ditches and swales that are not concreted will be required to be stabilized with solid sod stabilization per the Stormwater Management Manual.

Any new drainage ditches or swales, new or that have been disturbed during construction are required to have solid sod stabilization per Section 500.7.2 of the Stormwater management Manual. (This is required to be show in detail on the plans).

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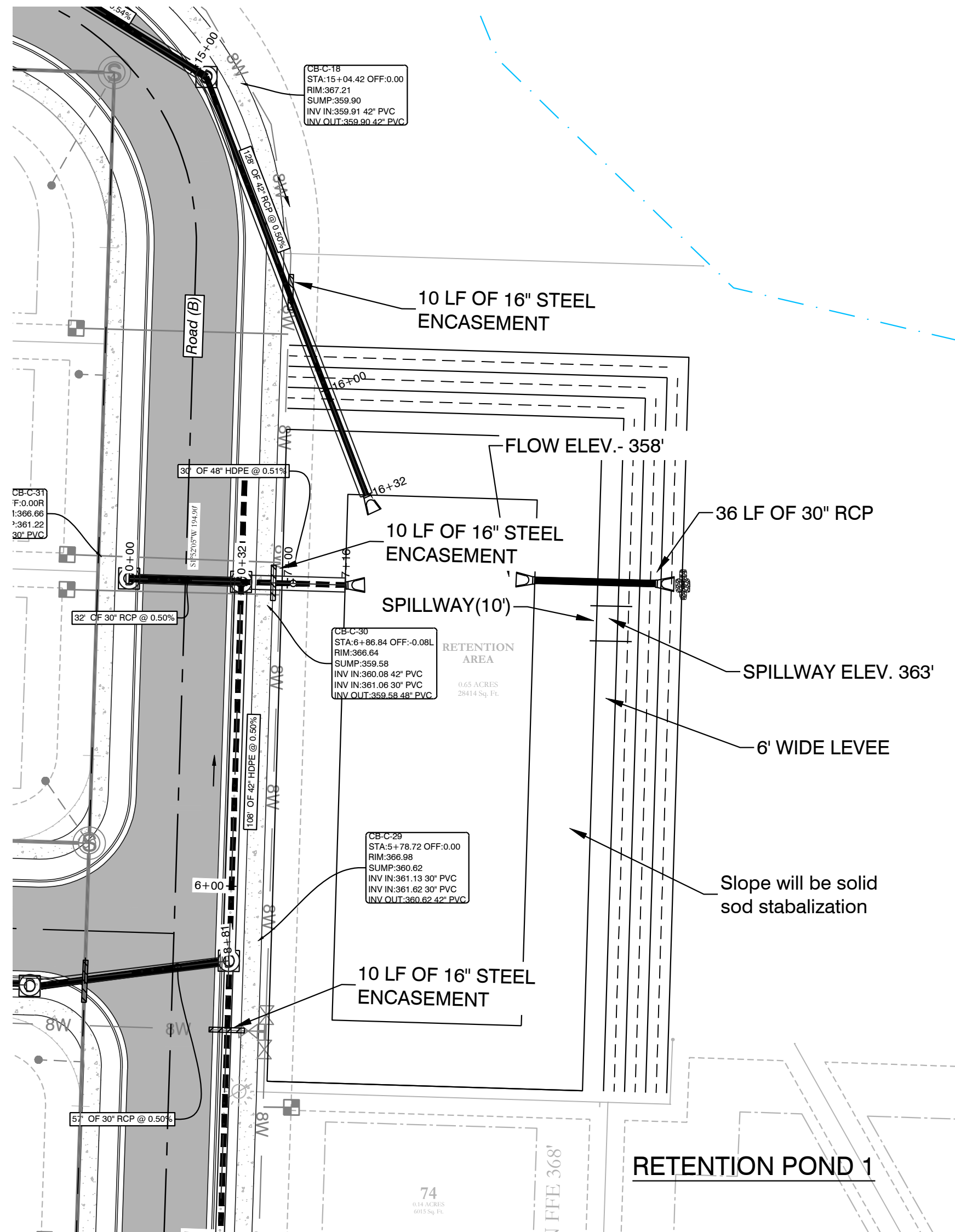
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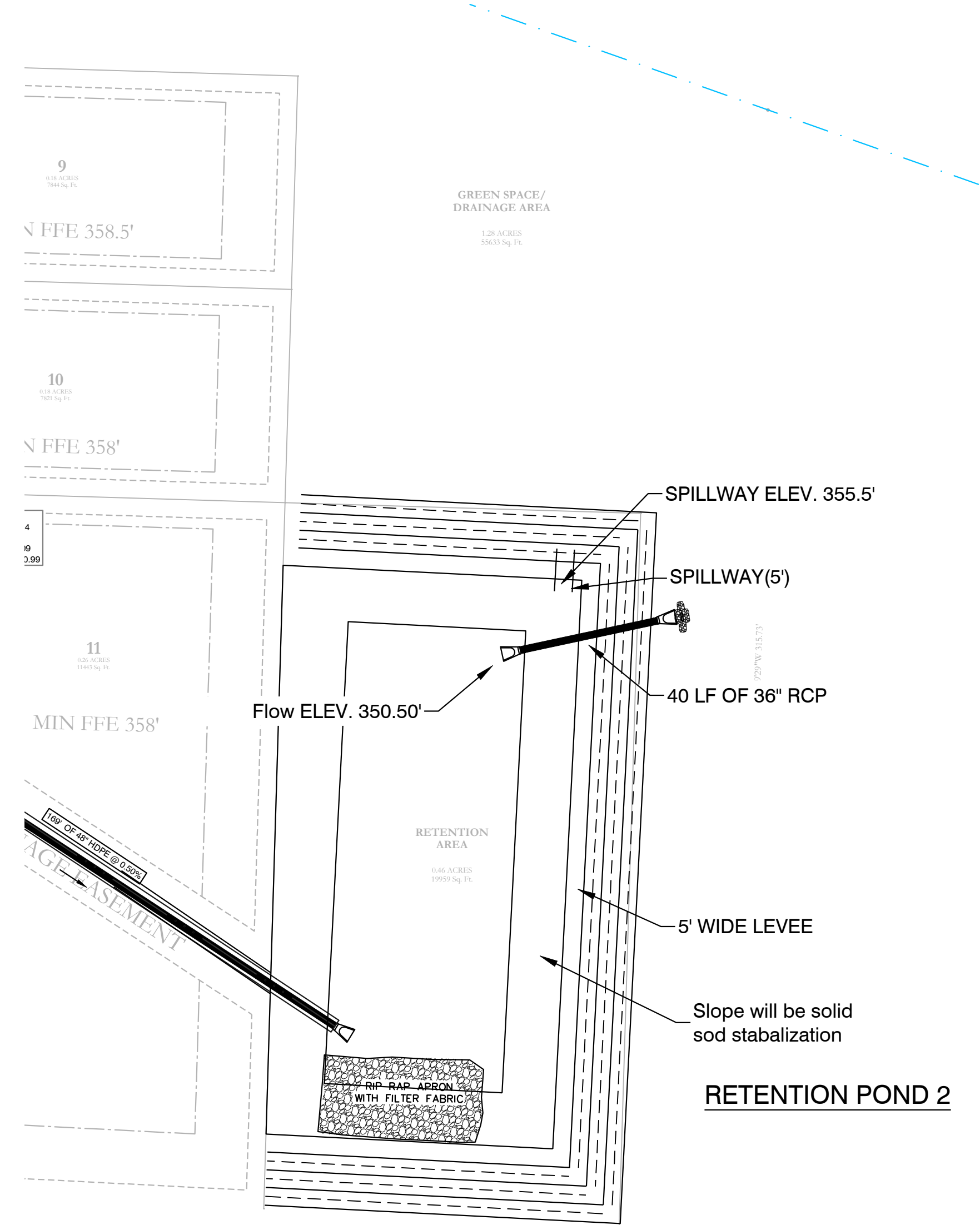
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 MIDLAND ROAD  
 BRYANT, SALINE COUNTY, ARKANSAS

DATE: 5/10/2023	C.A.D. BY: xxxx	DRAWING NUMBER:
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SHEET: C-6.13	SCALE: as shown	

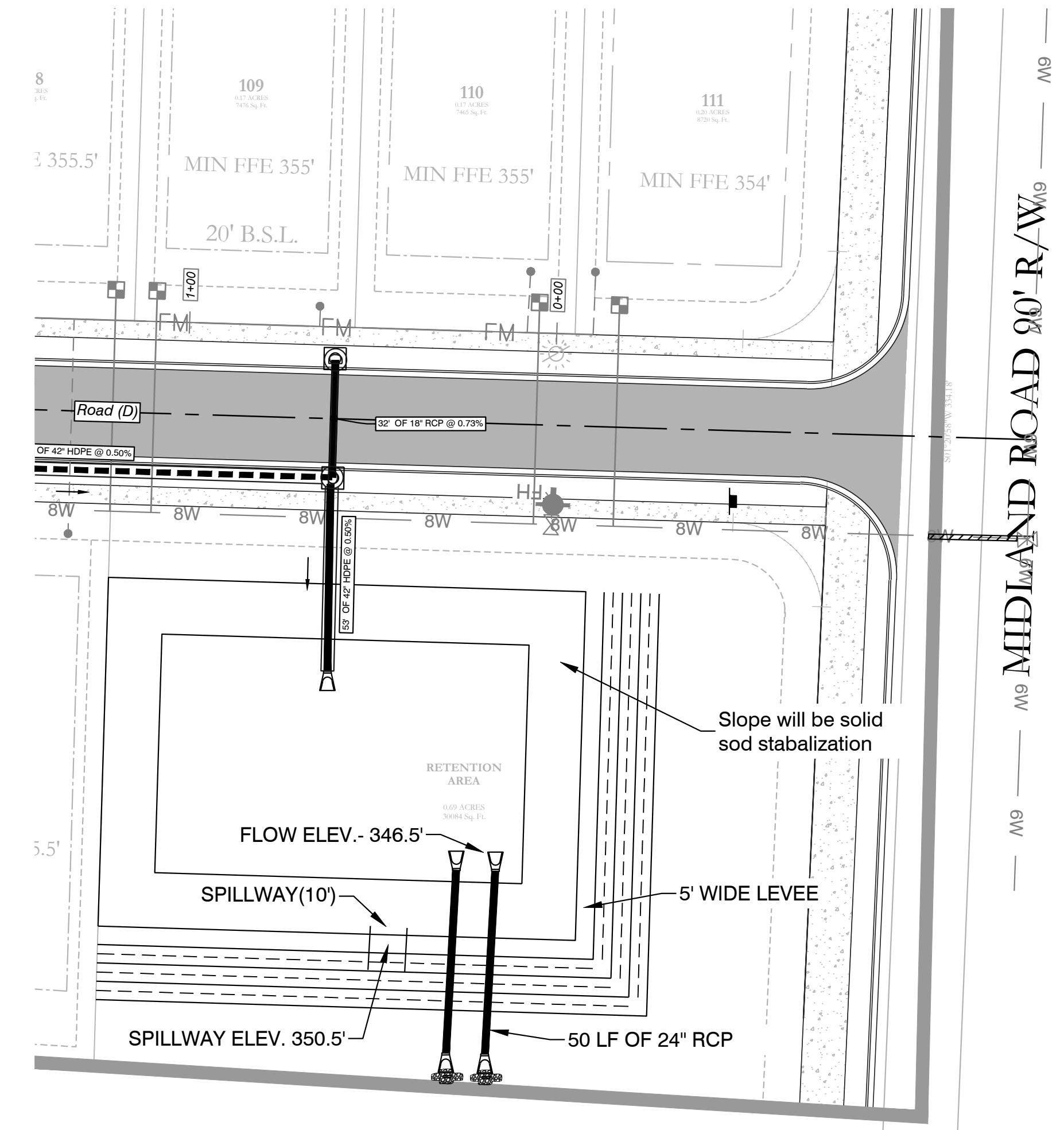
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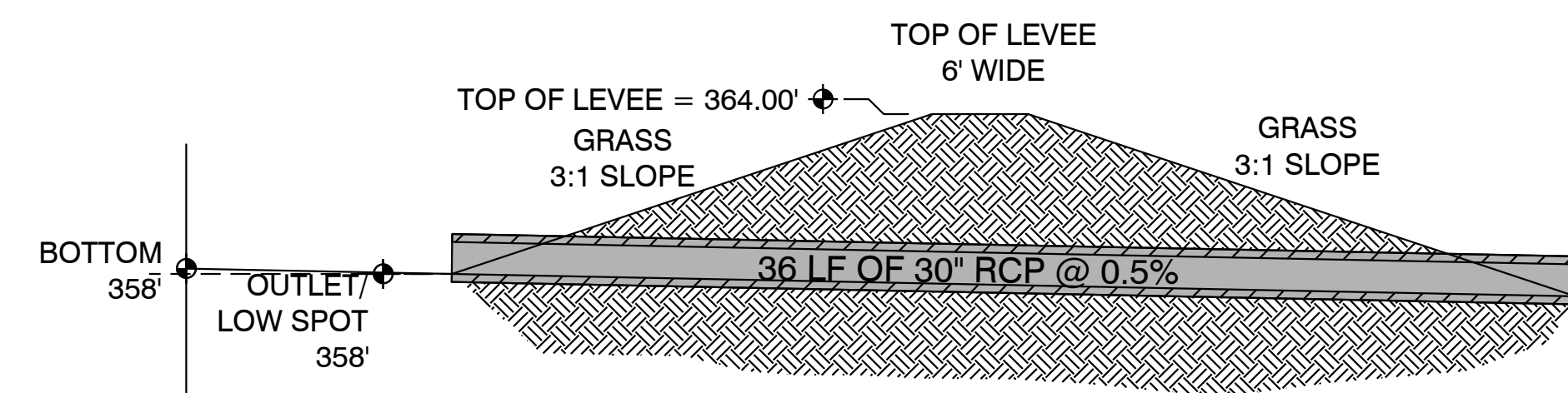
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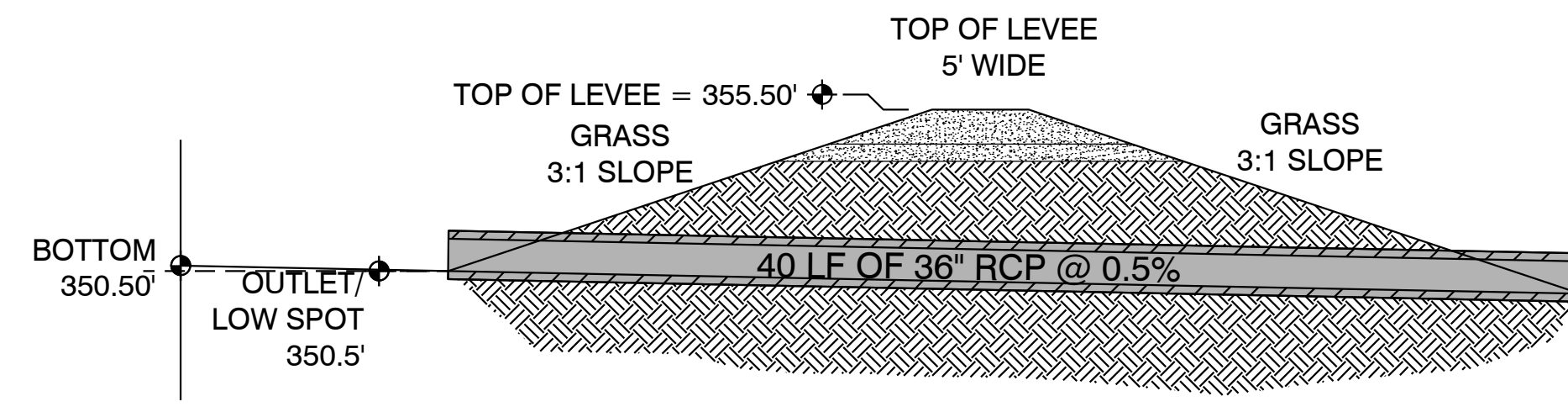
RETENTION POND 2



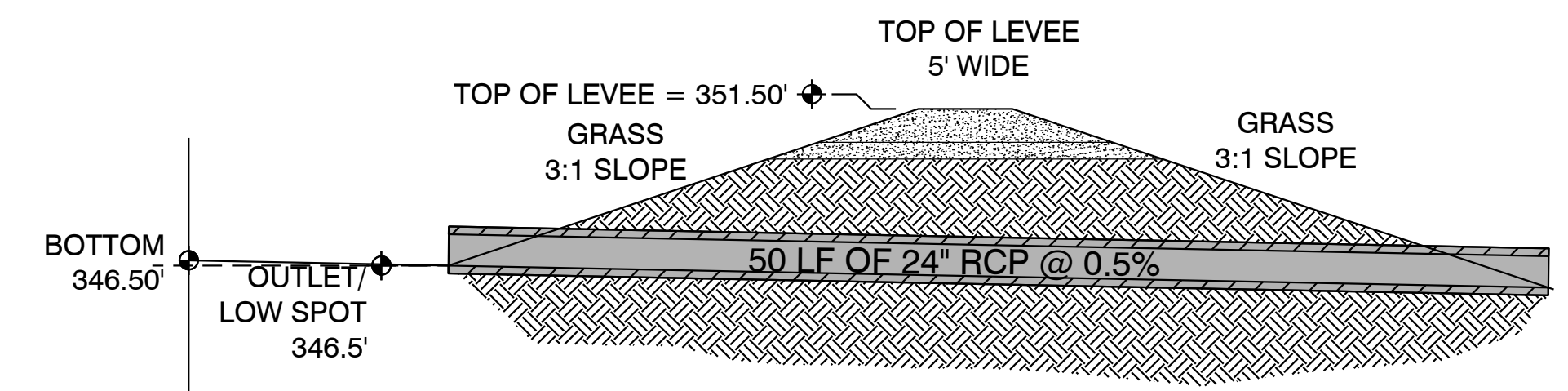
RETENTION POND 3



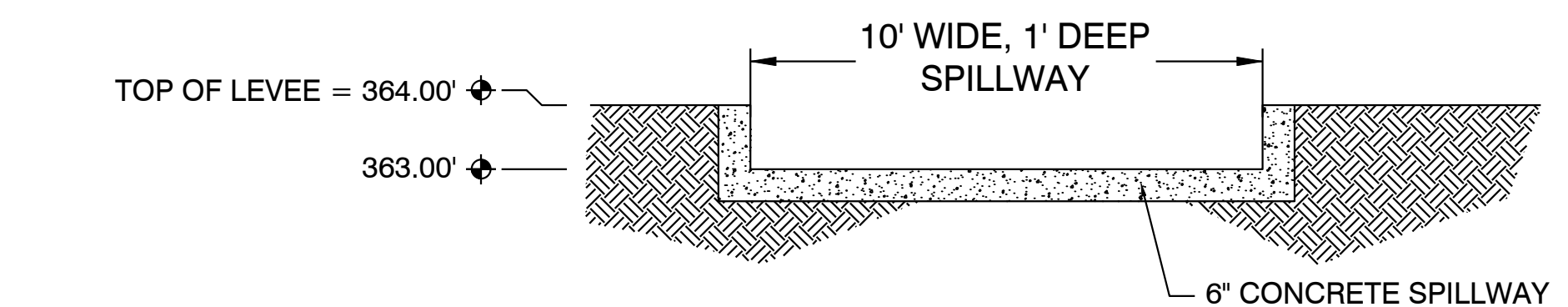
OUTLET PROFILE  
NTS



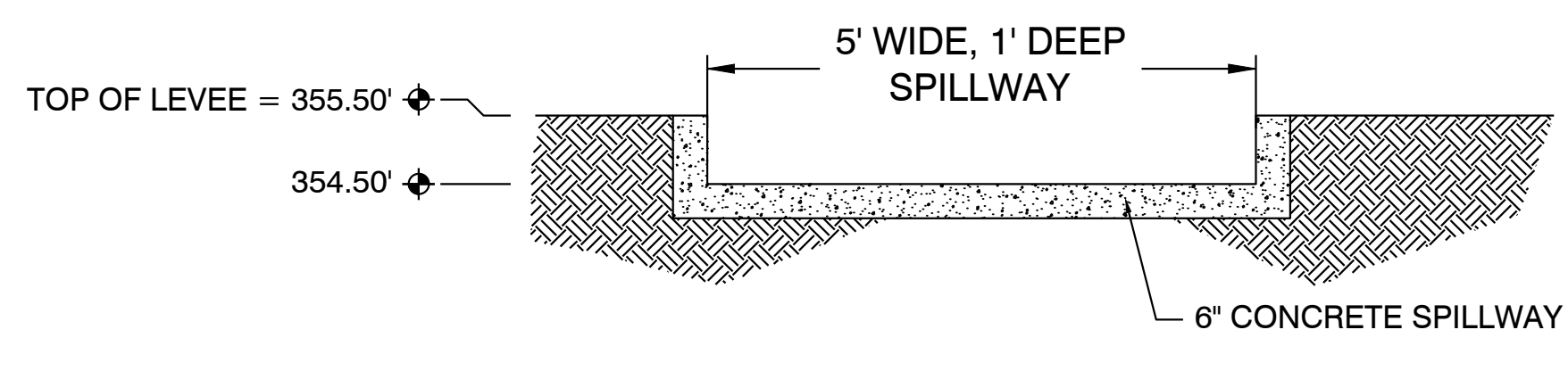
OUTLET SECTION  
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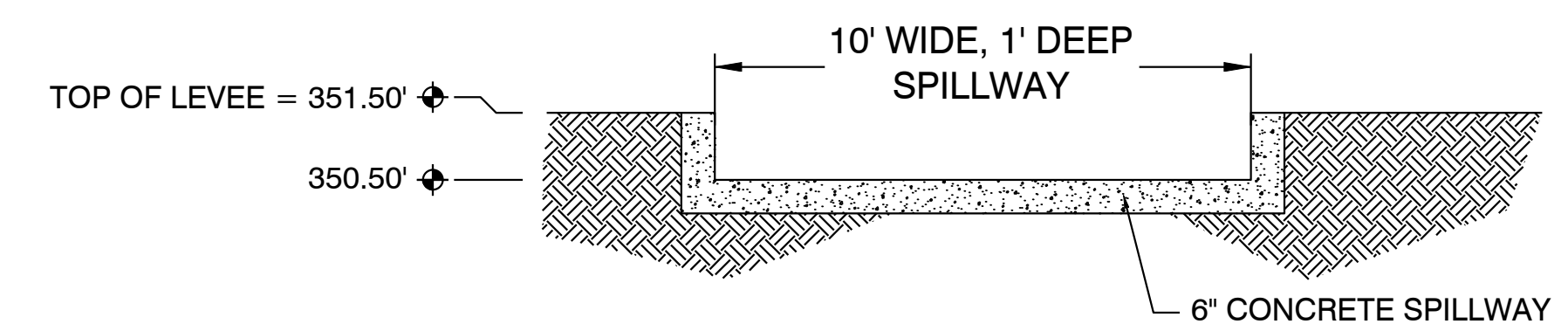
OUTLET SECTION  
NTS



SPILLWAY END VIEW  
NTS



SPILLWAY END VIEW  
NTS



SPILLWAY END VIEW  
NTS

DETENTION POND MAINTENANCE PLAN

**Background**  
There will be three retention ponds in this project. The retention ponds are located at the NW Corner, SW Corner, and SE Corner of the subject property. It is designed to temporarily detain stormwater to meet water quantity criteria before discharging off the property.

**Routine Maintenance**  
The property owners association will maintain the drainage encasements. Routine maintenance will include but not be limited to:  
-Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.

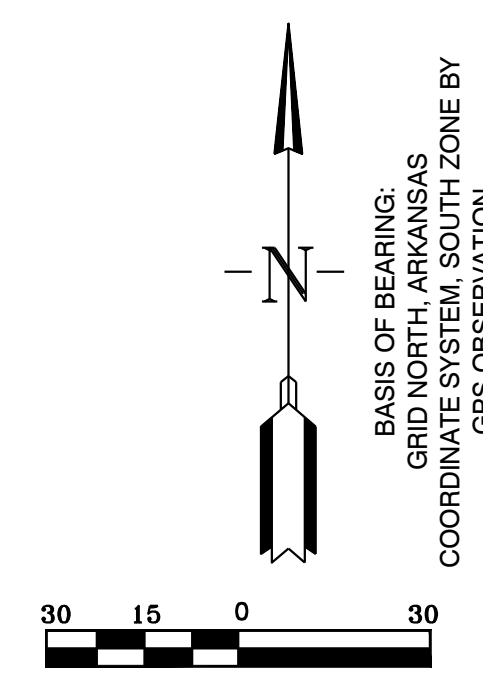
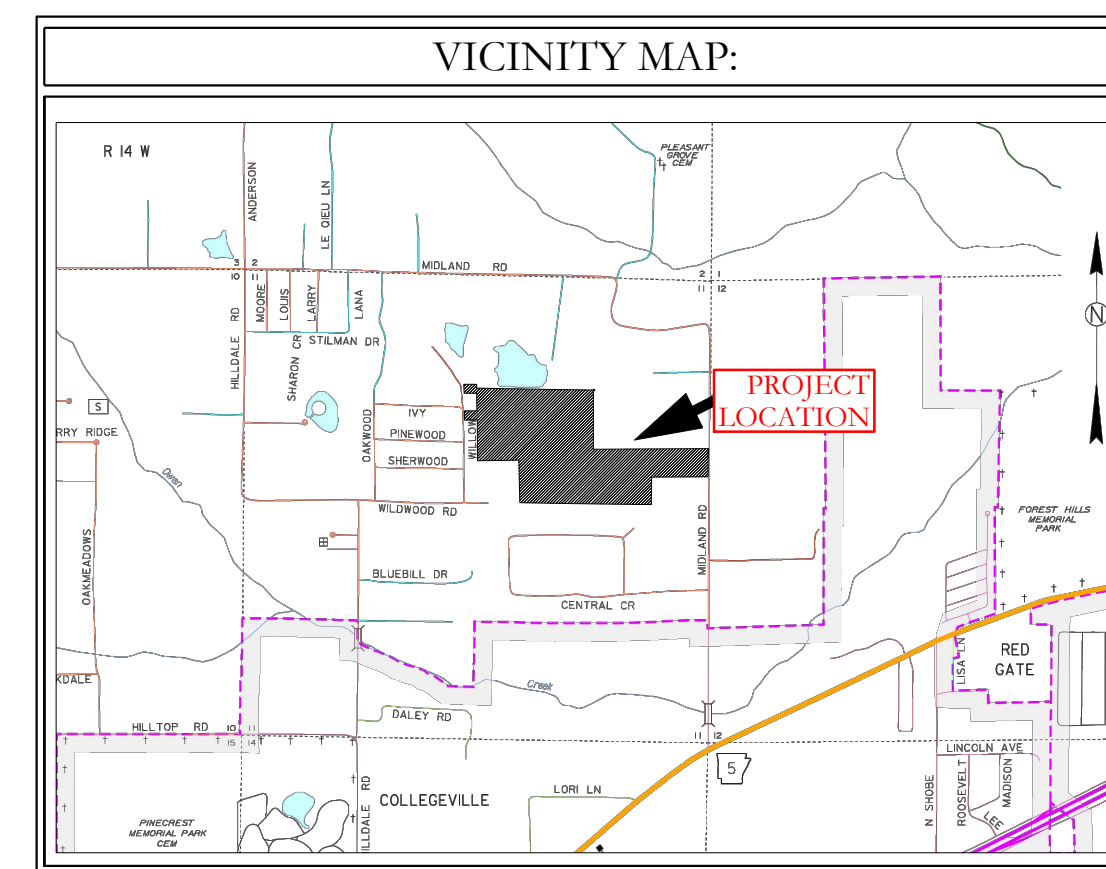
-The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.

-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.

-Inspect the pond and outlet pipe for non-routine maintenance need.

**Periodic or Non-Routine Maintenance**  
The routine inspection of the pond area and discharge pipe will identify needed repairs and non-routine maintenance. These items may include but not be limited to:

- Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.
- Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.
- Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
- Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.



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**HAVEN'S DEVELOPMENT, LLC**

**MIDLAND ROAD RETENTION PLAN**  
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 5/9/2023	C.A.D. BY:	DRAWING NUMBER:
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SHEET: C-6.14	SCALE:	

## **Comment Responses for Midland Road Estates Subdivision**

### **Public Works**

**Comment no.1-** Site will require ADEQ Large Scale Development permit.

Response- ADEQ Large Scale Development permit has been provided with the submission.

**Comment no.2-** Site will require a short-term activity authorization from ADEQ.

Response- Short term authorization has been requested.

**Comment no.3-** Site will require a Stormwater Detention Maintenance Plan. **PROVIDED**

**Comment no.4-** Developer will be required to submit signed and notarized Stormwater Infrastructure Warranty Bond SOP per Ordinance 2019-32.

Response- Stormwater Infrastructure Warranty Bond SOP has been submitted.

**Comment no.5-** Provide documentation that the pond on-site is not a federally protected wetland.

Response- Comment has been addressed.

**Comment no.6-** Describe management of water from site to the North (pond)

Response- Drainage system network has been provided. (See Drainage Plan & Profiles)

**Comment no.7-** Provide design drawing for road crossing Corp creek. **PROVIDED**

**Comment no.8-** Provide proper easements for drainage pipes between lots.

Response- Proper easements between the lots have been provided.

**Comment no.9-** Discuss placement of spillways on detention/retention ponds plan shows detail for how spillways are to be built but not placement on the ponds.

**PROVIDED**

**Comment no.10-** Provide an entire Corp creek drawing that crosses development on plan drawings. Corp creek ends at a certain point on the drawings. **PROVIDED**

**Comment no.11-** Discuss possible encasement needs for utilities at Corp creek crossing Road D.

Response- Encasement for sanitary 9 crossing Corp Creek has been provided. (See C-3.8 Sewer Plan & Profiles)

**Comment no.12-** Discuss drainage at rear of lots

Response- Drainage systems at rear of lots have been provided. See (Drainage Plan & Profile).

**Comment no.13-** Sediment ponds will be required during construction due to development exceeding 10 acres. If development is phased a SWPP will be required for each phase: 2019-31 Stormwater Management Manual Section 1100, 1102 Control of Erosion 1102.1 and 1102.2.

Response-Retention Pond will be used as sediment pond at the time of construction.

**Comment no.14-** Erosion control plan will need to be updated to show use of silt fencing.

Response- Erosion control has been updated.

**Comment no.15-** Erosion control plan will need to be updated to show use of silt fencing on interior of subdivision

Response- Silt fences haven provided within property line.

**Comment no.16-** Plans will need to be updated to show that retention ponds, top banks and portions of slopes that will not be covered by water shall be solid sod stabilization. (Seeding is not allowed)

Response- Solid Sod Stabilization has been provided in each retention pond. (See C-6.14 Retention)

**Comment no.17-** Provide Geotech report for Midland Rd. per Bryant Minimum Street Specs. Existing street may require reconstruction to centerline. **PROVIDED**

**Comment no.18-** Is lot 8 affected by the Corp creek

Response- Lot 8 has been resized to keep distance from the Corp creek. See (C-1.0).

**Comment no.19-** Discuss access to lot 193 and road maintenance.

Response- The comment has been addressed.

**Comment no.20-** Discuss improvement district

Response- Improvement district has been discussed.

**Comment no.21-** Inflow at the south detention basin will cause erosion.

Response- Rip Rap Filter Fabric has been provided to avoid erosion in pond #2. (See C-6.14 Retention)

**Comment no.22-** Wetland delineation study will be required for site

Response- The developer and engineer are being careful to stay away from jurisdictional stream by leaving substantial amount of buffer zone.

**Engineering**

**Comment no.1-** Provide Utility plans, drainage plans and drainage calculations.  
**PROVIDED**

**Comment no.2-** Discuss Sanitary Sewer Impact of Subdivision on Trunk line to Lift Station 25. **NOT PROVIDED**

Response-

**Comment no.3-** Discuss Sanitary Sewer routing through adjacent neighborhoods (Wildwood Terrace and Centark Ranchette).

Response- Sanitary sewer routing has been provided.

**Comment no.4-** Discuss access management to existing street (Willow). **PROVIDED**

**Comment no.5-** Show 30' dedicated gravity sewer easement between lots 13 and 14 and entire length line per section 1200-7-1.08. **30' easement not shown on plans from MH 5 - MH 43.**

Response- Dedicated sewer easement has been provided.

**Comment no.6-** Proposed 2" Force Main and 11 grinder pumps to remain private. **2" Force main is shown private on plans. Also, to include grinder pump stations which are not shown private on plans.**

Response- Proposed 2" Main and 22 grinder pumps have been provided to remain private. See (C-3.8)

**Comment no.7-** Provide Finish Floor Elevations (to be 1 foot above nearest street back of curb grade) on lots (Preliminary Plat) around drainage and detention areas. Lots 1,2,3,4,5,6,7,8,9,10,11,12,63,64,65,66,67,68,69,70,71,72,73,74,86,88,89,96,97,98,109,110, & 111.

Response- Minimum Finish Floor Elevations have been provided in the mentioned lots. See (Preliminary Plat).

**Comment no.8-** Detention Basins adjacent to lots will require security fences.

Response- Security fences have been provided between retention basins and adjacent lots. See (C-6.16 Retention).

**Comment no.9-** Provide details of 48" RCP street crossing for drainage area. To include stream stabilization, Headwalls, FES, subgrade, etc.

Response- Details have been provided. (See C-6.13).

## Planning

**Comment no.1-** Annexation Procedures

Response- We will follow standard procedures.

**Comment no.2-** Discuss Master Transportation Plan Road – Collector. **If Variation from plan, Developer must request in form of letter a modification from the code on the master street plan to be voted on by the Planning Commission and it must also go before council.**

Response- Master Transportation Plan Road has been considered.

**Comment no.3-** Is lot 119 6,000 SF? Lots 33-35, 47-49, 185, Are under 6,000SF.

**CORRECTED**

**Comment no.4-** Lot 193 and Rear entrance are located within an existing subdivision, Wildwood Terrace. **I thought previously we discussed that lot 193 would have to be taken off this plat?**

Response- Lot 193 has been reviewed and discussed with title company.

**Comment no.5-** Street Cross Section is incorrect - 5ft sidewalk, 7 ft greenspace is typical local street. – **NOT SHOWN**

Response- Comment has been addressed.

**Comment no.6-** C-5.0 shows sidewalk width “4ft or 5ft” in width. City specs are 5ft. -**SHOWN**

**Comment no.7-** Review Fees Need to be paid.

Response-

## Fire

**Comment no.1-** None.



# Bryant Planning Commission

## Subdivision Checklist

BENJAMIN GROVE -  
PHASE 4  
Instructions

Approved by  
Bryant Planning Commission  
07/14/2003 Revised 6/18/2007

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

### Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

### Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

### Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

# City of Bryant Subdivision Checklist

Subdivision/Project Name BENJAMIN GROVE PHASE 4  
Contact Person VERNON WILLIAMS Phone (501) 408-4650  
Mailing Address 3825 MT CARMEL ROAD, BRYANT, AR  
72022

## I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning R-1.5
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

## II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

## III. PRELIMINARY PLAT ATTACHMENTS

**(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)**

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. **Two (2) IBM compatible diskettes or CDR's** with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

BENJAMIN GROVE - 4 PHASE 4  
Name of Subdivision

*George P. Worden*  
Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

*[Signature]*  
Owner Signature

*Vernon J. Williams*  
Engineer Signature

CITY USE

Preliminary Plat Approved \_\_\_\_\_

Planning Commission Date \_\_\_\_\_

Final Plat Approved \_\_\_\_\_

Planning Commission Date \_\_\_\_\_

Proof of Recording - County \_\_\_\_\_

County Clerk \_\_\_\_\_

Date \_\_\_\_\_

# GNE

3825 Mt Carmel Rd.  
Bryant, AR 72022

**GarNat Engineering, LLC**

P.O. Box 116  
Benton, AR 72018

April 25, 2023

Truett Smith  
Planning & Community Development  
210 S.W. 3rd Street  
Bryant, AR 72022

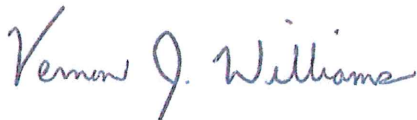
Re: Final Plat Certification  
Benjamin Grove Subdivision Phase 4

Dear Mr. Smith:

Please allow this letter to serve as the certification for the referenced project required by Paragraph 15.12.05.a of the City of Bryant Subdivision Regulations. To that end, we certify that all improvements and installation to the subdivision required for its approval under the terms of the City of Bryant Subdivision Rules and Regulations have been made, added, or installed. Furthermore, these improvements were constructed in accordance with the approved plans and specifications.

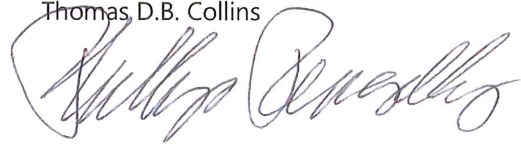
If you have questions or need any additional information, please do not hesitate to contact us.

Sincerely,  
GarNat Engineering, LLC



Vernon J. Williams, P.E., President

Thomas D.B. Collins



Phillip Pengelly

# GNE

3825 Mt Carmel Rd.  
Bryant, AR 72022

**GarNat Engineering, LLC**

P.O. Box 116  
Benton, AR 72018

April 25, 2023

Mr. Truett Smith  
Bryant Planning Coordinator / Planning Commission Secretary  
210 SW 3rd Street  
Bryant, AR 72022

Re: Final Plat – Benjamin Grove Subdivision, Phase 4

Dear Mr. Smith:

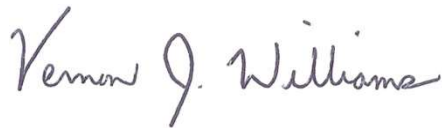
Please allow this letter and following list of enclosures to serve as my application for approval of the referenced final plat. It is my desire that this matter be included on the agenda for your May 2023 City of Bryant Planning Commission meeting. The developer for the project is Thomas D.B. Collins LTD, 39 Walnut Valley Drive, Little Rock, Arkansas 72211, [owencreek@comcast.net](mailto:owencreek@comcast.net), (501) 680-0970.

## List of Enclosures

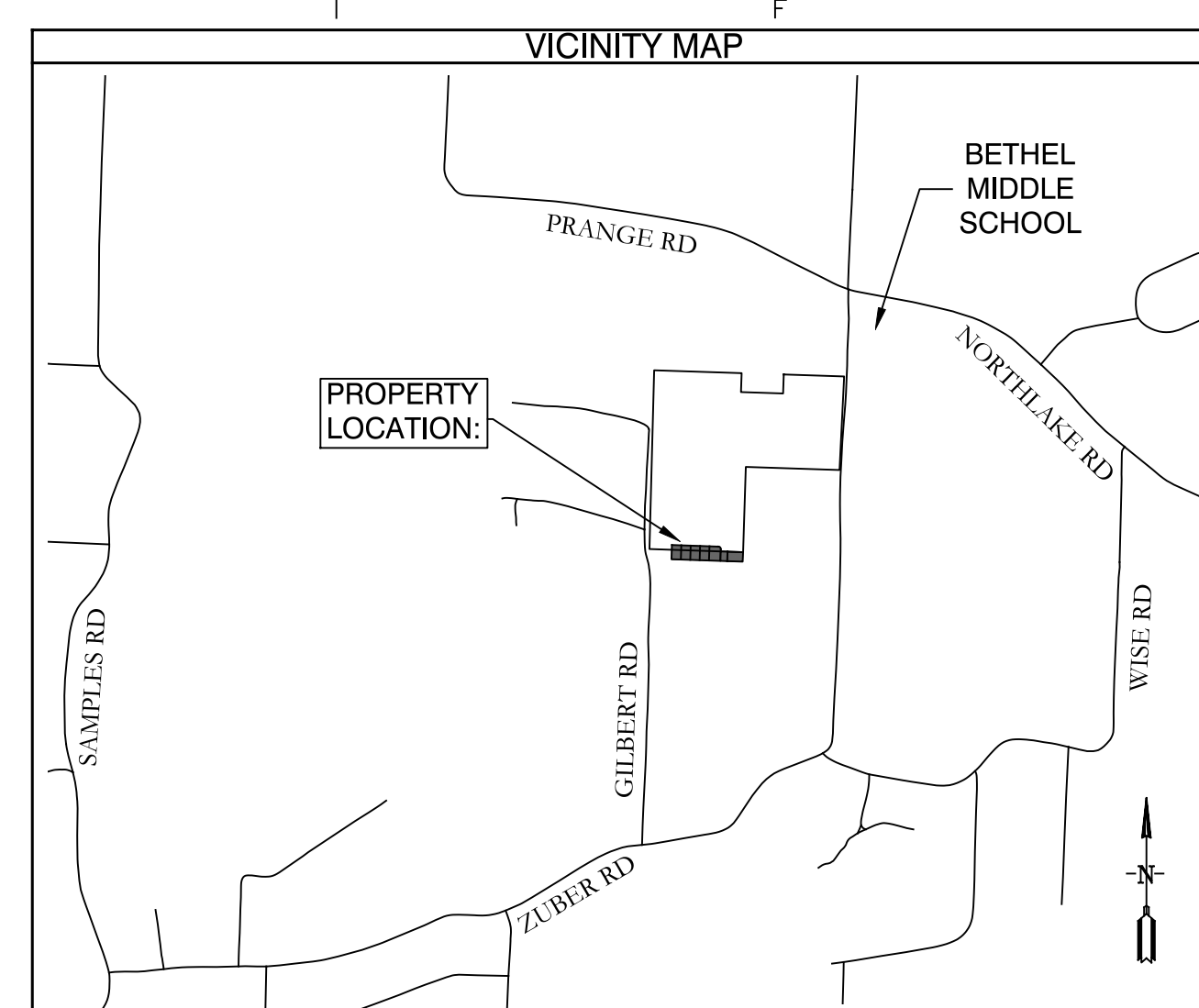
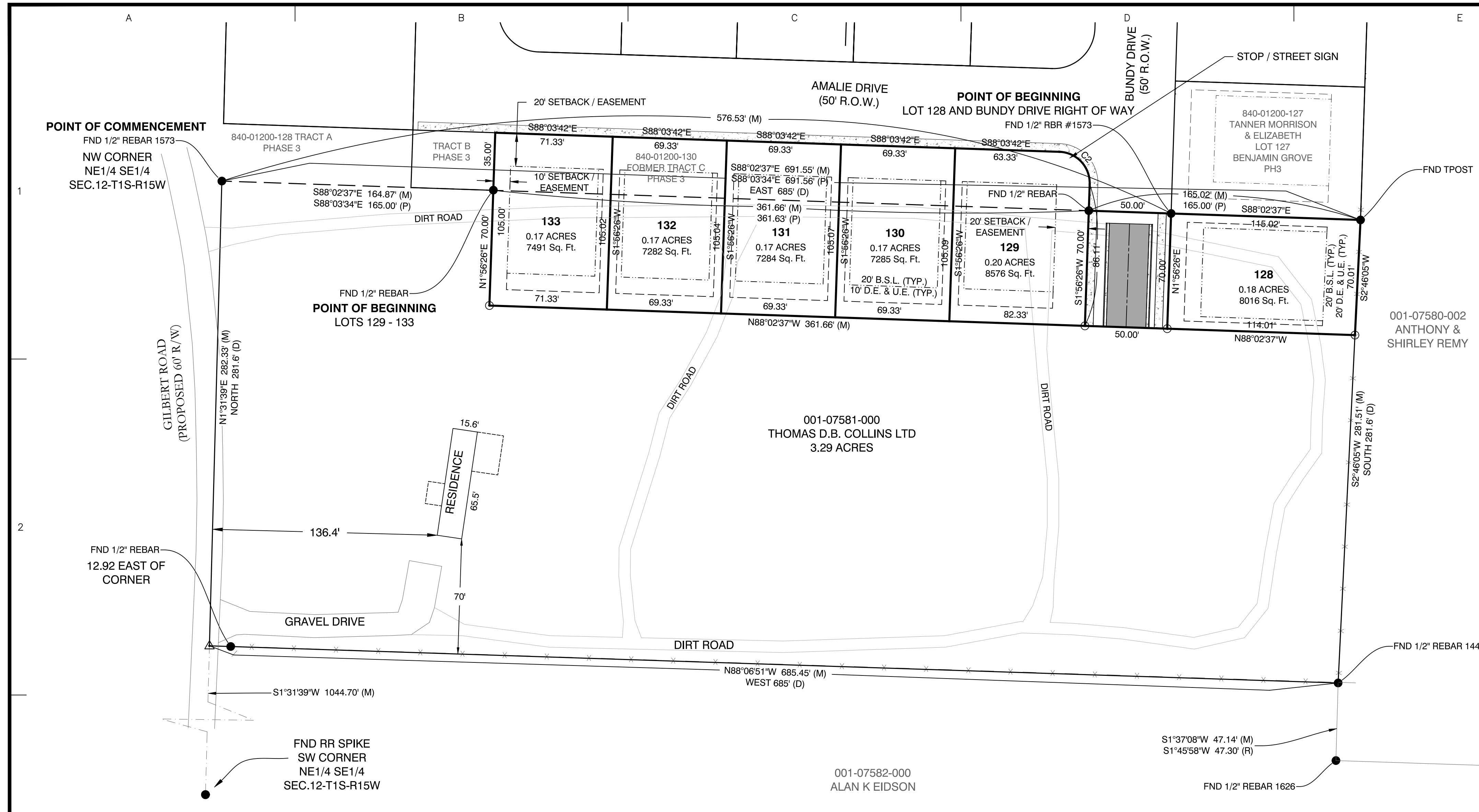
- 8 copies of the Final Plat
- Bryant Subdivision Checklist
- Review fees of \$31.00
- Certification letter signed by developer and professional engineer

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,  
GarNat Engineering, LLC



Vernon J. Williams, P.E., President



**SUBDIVISION DESCRIPTIONS (AS SURVEYED):**

**LOTS 129 - 133**  
 TRACT C OF THE BENJAMIN GROVE SUBDIVISION, PHASE 3, REPLAT; AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 164.87 FEET TO A FOUND 1/2" REBAR LOCATED AT THE SOUTHWEST CORNER OF TRACT C OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE **POINT OF BEGINNING**; THENCE CONTINUING S 88°02'37" E, ALONG THE SAID NORTH LINE, A DISTANCE OF 361.66 FEET TO A FOUND 1/2" REBAR LOCATED AT THE SOUTHEAST CORNER OF TRACT C AND ON THE WEST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3; THENCE S 1°56'26" W, LEAVING THE SAID NORTH LINE AND ALONG THE SAID WEST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W LEAVING SAID WEST RIGHT OF WAY, FOR A DISTANCE OF 361.66 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 1°56'26" E, FOR A DISTANCE OF 70.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING A TOTAL OF 0.87 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RIGHT OF WAY RECORD.

**LOT 128**  
 PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 576.53 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF LOT 127 AND ON THE EAST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE **POINT OF BEGINNING**; THENCE CONTINUING S 88°02'37" E, ALONG THE SAID NORTH LINE, A DISTANCE OF 115.02 FEET TO A FOUND T POST LOCATED AT THE SOUTHEAST CORNER OF LOT 127 OF BENJAMIN GROVE SUBDIVISION, PHASE 3; THENCE S 2°46'05" W, LEAVING THE SAID NORTH LINE, A DISTANCE OF 70.01 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W A DISTANCE OF 114.01 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST RIGHT OF WAY OF BUNDY DRIVE; THENCE N 1°56'26" E, ALONG SAID EAST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.18 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RIGHT OF WAY RECORD.

**BUNDY DRIVE RIGHT OF WAY**  
 PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 576.53 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF LOT 127 AND ON THE EAST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE **POINT OF BEGINNING**; THENCE LEAVING SAID NORTH LINE, S 1°56'26" W, ALONG THE SAID EAST RIGHT OF WAY OF BUNDY DRIVE, A DISTANCE OF 70.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W, LEAVING SAID EAST RIGHT OF WAY, A DISTANCE OF 50.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE WEST RIGHT OF WAY OF BUNDY DRIVE; THENCE N 1°56'26" E, ALONG SAID WEST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO A FOUND 1/2" REBAR; THENCE S 88°02'37" E FOR A DISTANCE OF 50.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.08 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD.

**PLAT CERTIFICATES:**

**OWNER:** Thomas D.B. Collins LTD  
**DEVELOPER:** Thomas D.B. Collins LTD  
**CERTIFICATE OF RECORDING:**

**Name:** Thomas D.B. Collins LTD  
**Address:** 39 Walnut Valley Drive, Little Rock, AR 72211

**CERTIFICATE OF OWNER:**  
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

**CERTIFICATE OF SURVEYING ACCURACY:**  
 I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on May 11, 2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

**CERTIFICATE OF ENGINEERING ACCURACY:**  
 I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

**CERTIFICATE OF FINAL PLAT APPROVAL:**  
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held May 8, 2023. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Approval of the final plat shall become null and void unless said plat is filed for record within one hundred twenty (120) days from the date of execution of this certificate.

**PROPERTY SPECIFICATIONS:**

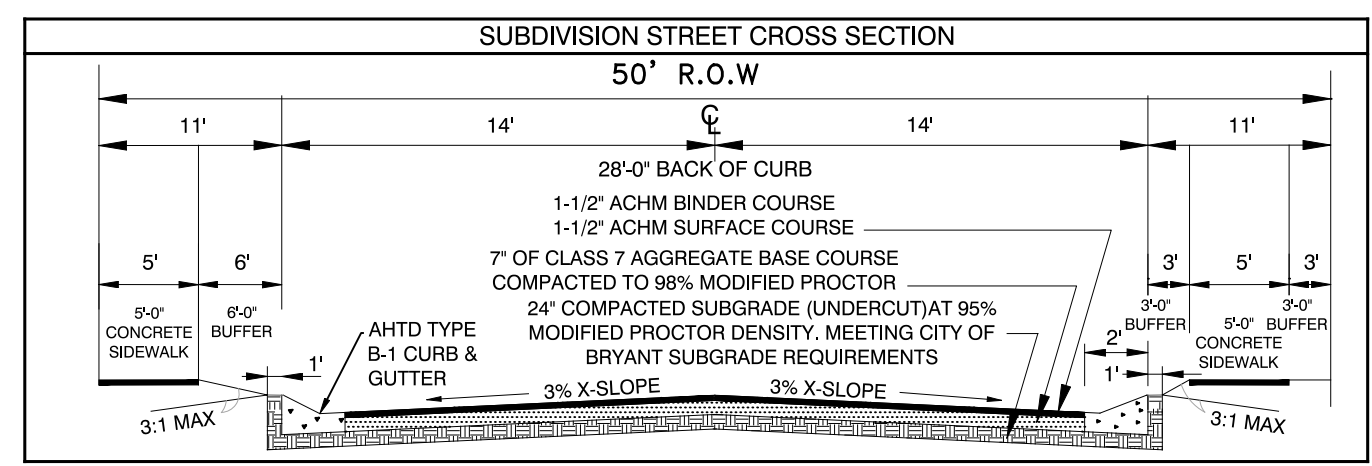
ZONING CLASSIFICATION: R-1.5  
 MIN. LOT SIZE: 7,281 S.F.  
 NUMBER OF LOTS: 6  
 SOURCE OF WATER: SALEM WATER  
 SOURCE OF SEWER: CITY OF BRYANT

**BUILDING SETBACKS:**  
 FRONT - 20' OR AS SHOWN  
 REAR - 20' OR AS SHOWN  
 SIDE - 8' OR AS SHOWN

**EASEMENTS, UTILITY & DRAINAGE (D.E. & U.E.):**  
 FRONT - 10' OR AS SHOWN  
 REAR - 10' OR AS SHOWN  
 SIDE - 5' OR AS SHOWN

**STREET RIGHT OF WAYS: 50' OR AS SHOWN**  
 STREET WIDTH: 28' BOC TO BOC  
 LOT CORNERS: SET #4 REBAR WITH CAP

TRACT A WILL BE OWNED & MAINTAINED BY PROPERTY OWNERS ASSOCIATION AND TRACT B WILL BE OWNED & MAINTAINED BY CITY OF BRYANT.



**Curve Table**

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	29.85	19.00	90°01'08"	S43° 04' 09"E	26.87

**GENERAL NOTES:**

- ALL STREETS & DRAINAGE TO MEET CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
- ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF CITY OF BRYANT STANDARD SPECIFICATIONS PER PART 4.9

**DOCUMENTS USED:**

- REPLAT OF BENJAMIN GROVE PHASE 3
- NEIGHBORING SURVEY BY HOPE 6/5/20
- BOOK 310 PAGE 361 W BRADSHAW TO MILLSAP
- PREVIOUS SURVEY BY GARNAT ENGINEERING 5/11/22

**BASIS OF BEARINGS:**

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' "ONLINE POSITIONING USER SERVICE" (OPUS).

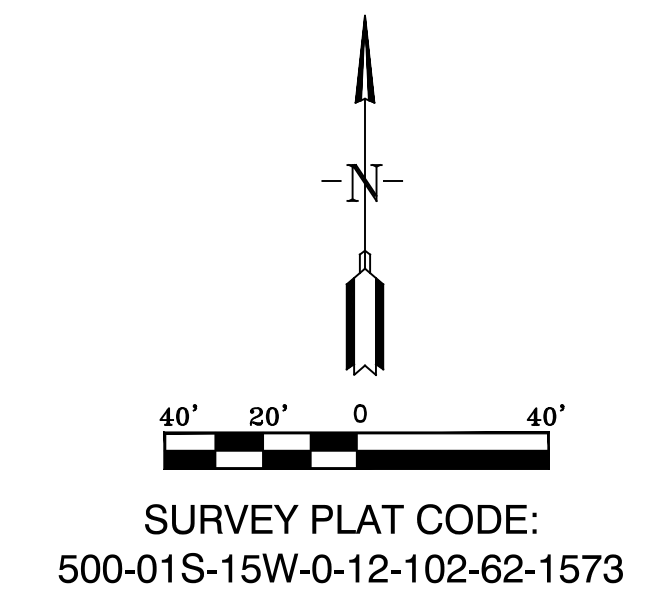
**CERTIFICATIONS:**

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON MAY 11, 2022.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0225E EFFECTIVE DATE JUNE 05, 2020.

**FINAL PLAT**  
**BENJAMIN GROVE SUBDIVISION, PHASE 4**  
**CITY OF BRYANT**  
**SALINE COUNTY, ARKANSAS**



**SURVEY LEGEND**

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



**BY**

**REVISION**

**DATE**

Designing our client's success  
**GarNat Engineering, LLC**  
 3825 Mt. Carmel Road  
 Bryant, AR 72022  
 P.O. Box 116  
 Benton, AR 72018  
 Ph. (501) 408-4650  
 garnatengineering@gmail.com

**BENJAMIN GROVE SUBDIVISION, PHASE 4**  
**FOR: THOMAS D.B. COLLINS LTD**  
**CITY OF BRYANT**  
**SALINE COUNTY, ARKANSAS**

**PROFESSIONAL ENGINEER**  
 STATE OF ARKANSAS  
 NO. 1573  
 SIGNATURE  
 GEORGE P. WOODEN

**CONTENTS:**

**FINAL PLAT**

PROJECT NO:  
16025

DATE:  
APR. 26, 2023

SHEET NO:  
V1.0

# GNE

3825 Mt Carmel Rd.  
Bryant, AR 72022

**GarNat Engineering, LLC**

P.O. Box 116  
Benton, AR 72018

May 10, 2023

Mr. Truett Smith  
Bryant Planning Coordinator/Planning Commission Secretary  
210 SW 3<sup>rd</sup> Street  
Bryant, AR 72022

Re: Final Plat – Market Place II Subdivision Phase 3 Lots 17 through 22

Dear Mr. Smith:

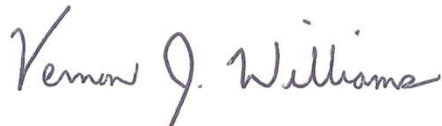
Please allow this letter and following list of enclosures to serve as my application for approval of the referenced final plat. It is my desire that this matter be included on the agenda for your June 12, 2023 City of Bryant Planning Commission meeting. The developer for the project is Bryant Realty Company, LLC, 422 North Main Street, Benton, Arkansas 72015 [bferg620@gmail.com](mailto:bferg620@gmail.com) (501) 840-2282.

## List of Enclosures

- Final Plat
- Subdivision Plans
- Bryant Subdivision Checklist

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,  
GarNat Engineering, LLC



Vernon J. Williams, P.E., President



CONSTRUCTION PLANS FOR  
**BRYANT REALTY COMPANY, LLC**  
**MARKET PLACE CENTER II**  
**PHASE 3**  
**BRYANT, ARKANSAS**

DRAWING INDEX:

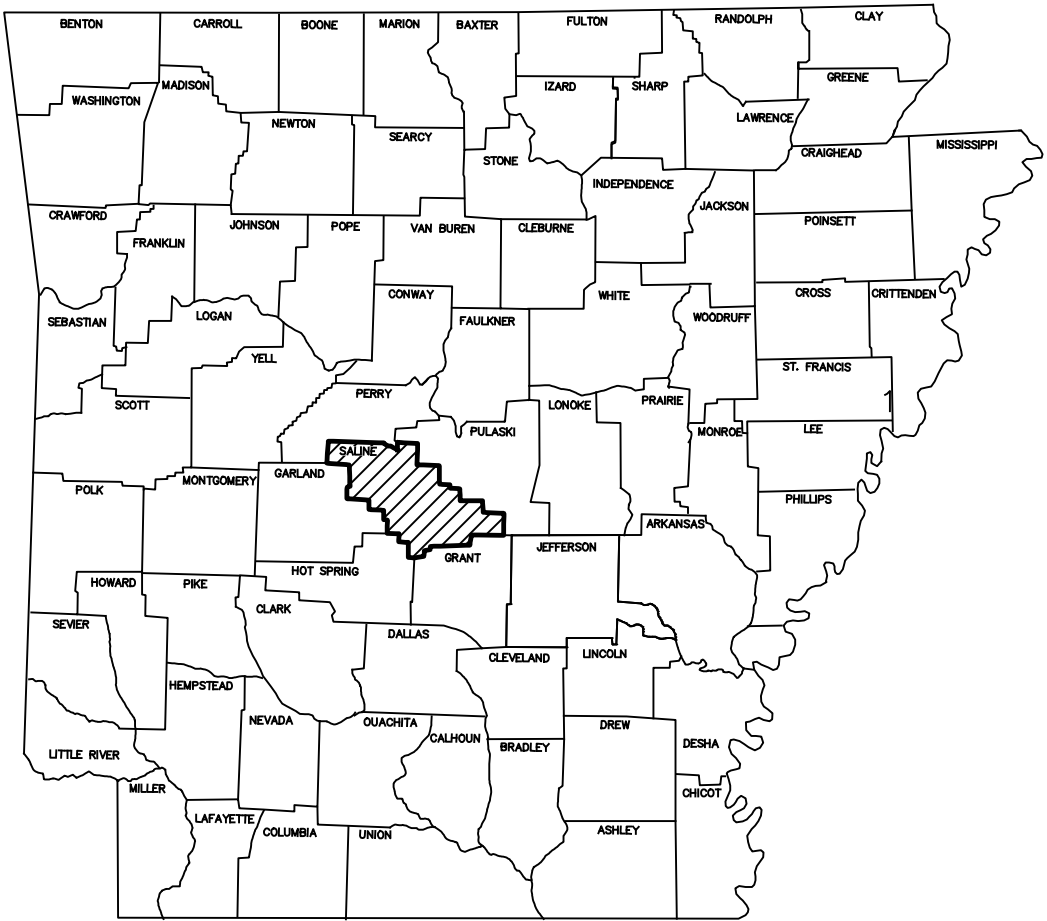
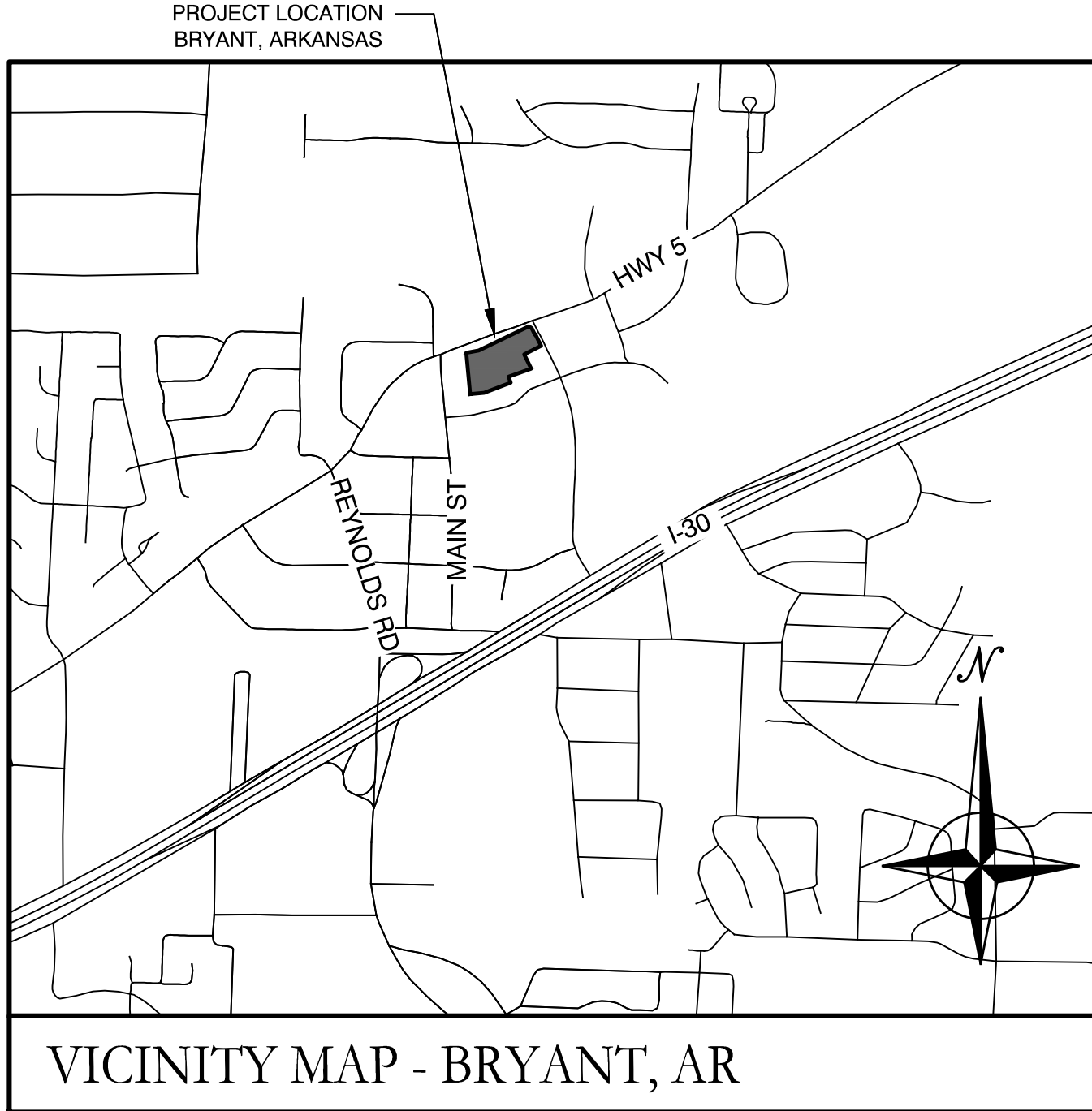
V1.0	FINAL PLAT
C2.0	WATER LINE PLAN

Prepared by:

**GarNat Engineering, LLC**

P.O. Box 116	3825 Mt Carmel Road
Benton, AR 72018	Bryant, AR 72022
Ph (501) 408-4650	<a href="http://www.garnatengineering.com">www.garnatengineering.com</a>

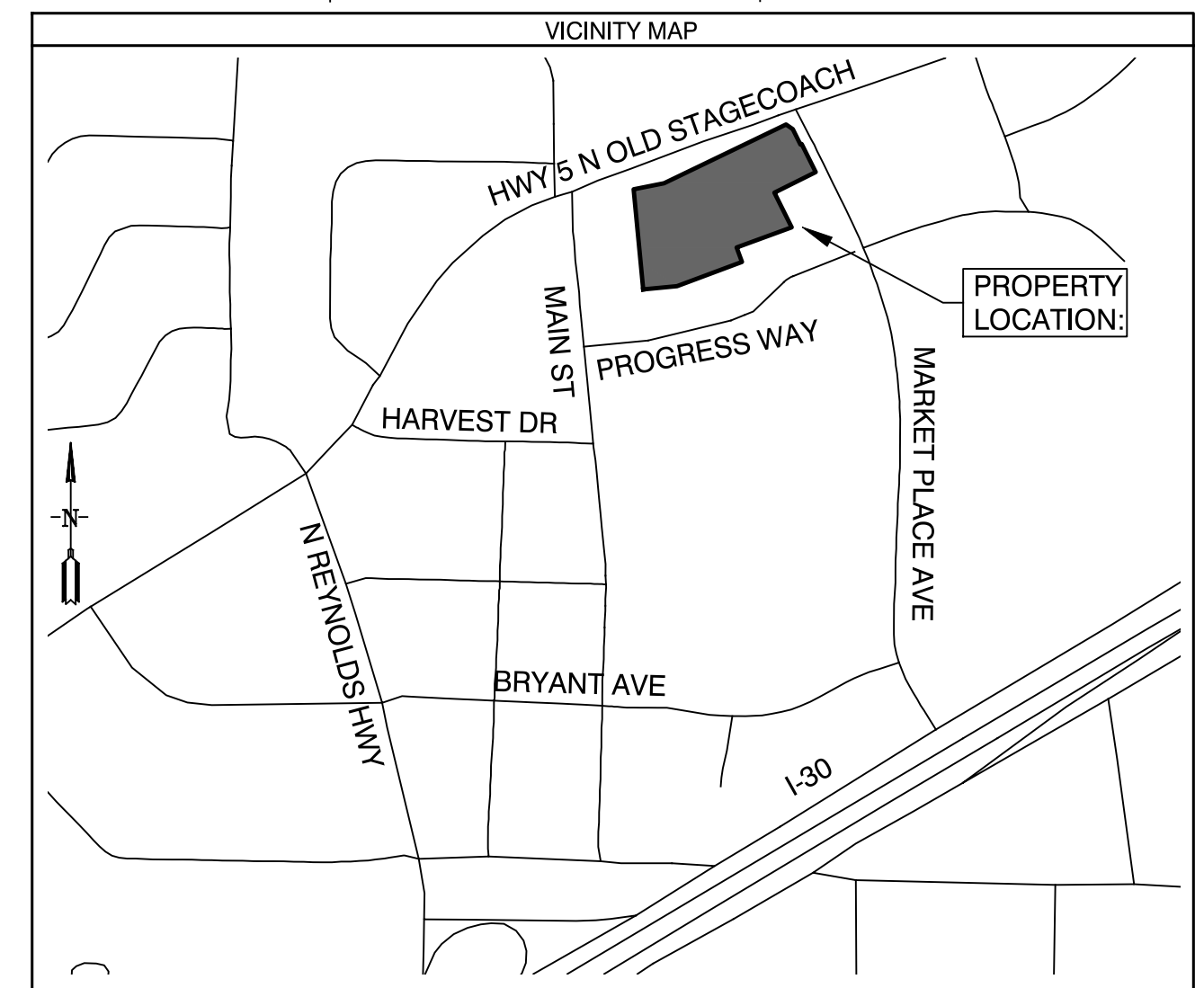
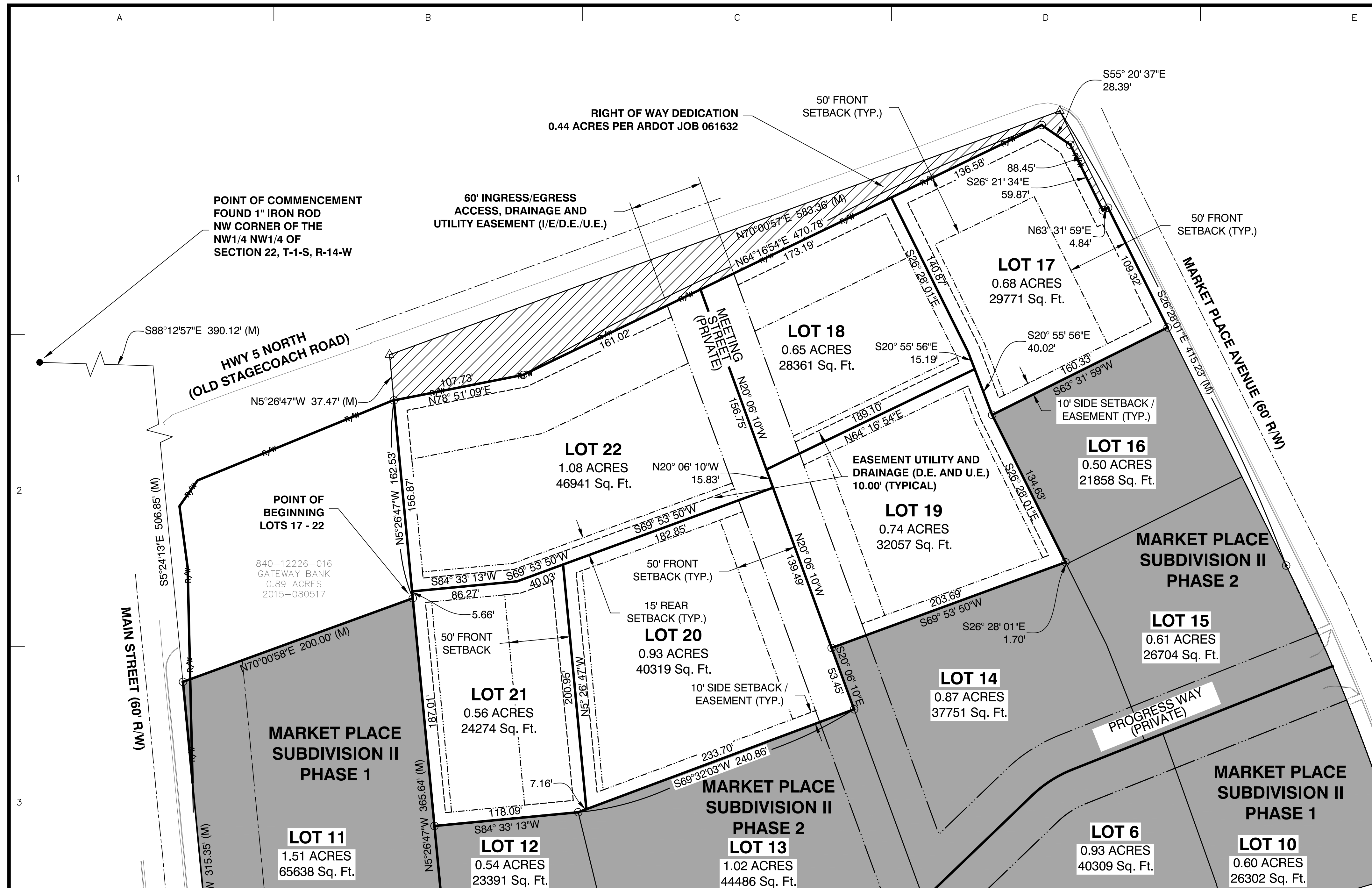
*Designing our client's success*



ARKANSAS



05-09-2023



**SUBDIVISION DESCRIPTION:**  
 LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW1/4 NW1/4), OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS:

LOTS 17 - 22:  
**COMMENCING** AT A FOUND 1" IRON ROD LOCATED AT THE NORTHWEST CORNER OF THE SAID NW1/4 NW1/4 OF SECTION 22, T-1-S, R-14-W; THENCE S 88°12'57" E, ALONG THE NORTH LINE THEREOF FOR A DISTANCE OF 390.12 FEET TO A POINT; THENCE S 5°24'13" E, ALONG THE EAST RIGHT OF WAY LINE OF MAIN STREET A DISTANCE OF 506.85 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF GATEWAY BANK PROPERTY DEED BOOK 2015 PAGE 080517; THENCE N 70°00'58" E, LEAVING SAID RIGHT OF WAY AND ALONG SOUTH LINE OF SAID GATEWAY BANK PROPERTY FOR A DISTANCE OF 200.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 FOR THE **POINT OF BEGINNING**; THENCE N 5°26'47" W ALONG EAST LINE OF SAID GATEWAY BANK PROPERTY FOR A DISTANCE OF 162.53 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE SOUTHERLY PROPOSED RIGHT OF WAY OF HIGHWAY 5 ARDOT JOB 061632; THENCE N 78°51'09" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 107.73 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 64°16'54" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 470.78 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 55°20'37" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 28.39 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 26°21'34" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 59.87 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 63°31'59" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 4.84 FEET TO A SET 1/2" REBAR WITH CAP LOCATED ON THE EXISTING WESTERLY RIGHT OF WAY OF MARKET PLACE AVENUE; THENCE S 26°28'01" E ALONG SAID EXISTING WESTERLY RIGHT OF WAY FOR A DISTANCE OF 108.32 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHEAST CORNER OF LOT 16 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 63°31'59" W ALONG SAID NORTHERLY LINE OF LOT 16 FOR A DISTANCE OF 160.33 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF SAID LOT 16; THENCE S 26°28'01" E ALONG WESTERLY LINE OF SAID LOT 16 FOR A DISTANCE OF 134.63 FEET TO A SET 1/2" REBAR LOCATED AT THE INTERSECTION OF THE SOUTHWEST CORNER OF SAID LOT 16 AND THE NORTHEAST CORNER OF LOT 14 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 69°53'50" W ALONG SAID NORTHERLY LINE OF LOT 14 FOR A DISTANCE OF 203.69 FEET TO A POINT LOCATED AT THE NORTHWEST CORNER OF SAID LOT 14 AND THE CENTER OF MEETING STREET (PRIVATE STREET); THENCE S 20°06'10" E ALONG CENTER OF SAID MEETING STREET FOR A DISTANCE OF 53.45 FEET TO A POINT LOCATED AT THE NORTHEAST CORNER OF LOT 13 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 69°32'03" W ALONG THE NORTHERLY LINE OF SAID LOT 13 FOR A DISTANCE OF 240.86 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE INTERSECTION OF THE NORTHWEST CORNER OF SAID LOT 13 AND THE NORTHEAST CORNER OF LOT 12 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 84°33'13" W ALONG THE NORTHERLY LINE OF SAID LOT 12 FOR A DISTANCE OF 118.09 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF LOT 12 AND ON THE EASTERLY LINE OF LOT 11 OF MARKET PLACE SUBDIVISION II, PHASE 1; THENCE N 5°26'47" W ALONG EASTERLY LINE OF SAID LOT 11 FOR A DISTANCE OF 187.01 FEET TO THE **POINT OF BEGINNING**, CONTAINING 4.63 ACRES, MORE OR LESS.

**DOCUMENTS USED:**

- FINAL PLAT MARKET PLACE II SUBDIVISION, PHASE 1 BY GARNAT ENGINEERING DATED 10/14/2019
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 4/2/2007 KERRY LANE PLS #1141
- FINAL PLAT MARKET PLACE II SUBDIVISION, PHASE 2 BY GARNAT ENGINEERING DATED 11/14/2022
- DEED BOOK 2016 PAGE 016810
- DEED BOOK 1997 PAGE 20341
- DEED BOOK 2008 PAGE 82137
- DEED BOOK 2000 PAGE 27385
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- DEED BOOK 2015 PAGE 080517
- DEED BOOK 2018 PAGE 000713
- FINAL PLAT OF MARKET PLACE SUBDIVISION SURVEYED BY GARNAT ENGINEERING, LLC DATED 6/4/2019 GEORGE WOODEN PLS #1573

**BASIS OF BEARINGS:**

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

**CERTIFICATIONS:**

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON SEPTEMBER 11, 2019.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.

**OWNER:**  
 Name: Bryant Realty Company, LLC  
 Address: 422 North Main Street, Benton, AR 72015

**DEVELOPER:**  
 Name: Bryant Realty Company, LLC  
 Address: 422 North Main Street, Benton, AR 72015

**CERTIFICATE OF OWNER:**  
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 Fred Briner, Agent  
 Bryant Realty Company, LLC

Source of Title: SALINE COUNTY, ARKANSAS  
 Saline County Document# 1997-20341

**CERTIFICATE OF ENGINEERING ACCURACY:**  
 I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 Vernon J. Williams  
 Registered Professional Engineer  
 No. 9551, Arkansas

**CERTIFICATE OF RECORDING:**

**CERTIFICATE OF SURVEYING ACCURACY:**  
 I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 George P. Wooden  
 Registered Land Surveyor  
 No. 1573, Arkansas

**CERTIFICATE OF FINAL PLAT APPROVAL:**  
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
 Rick Johnson, Chairman  
 Bryant Planning Commission

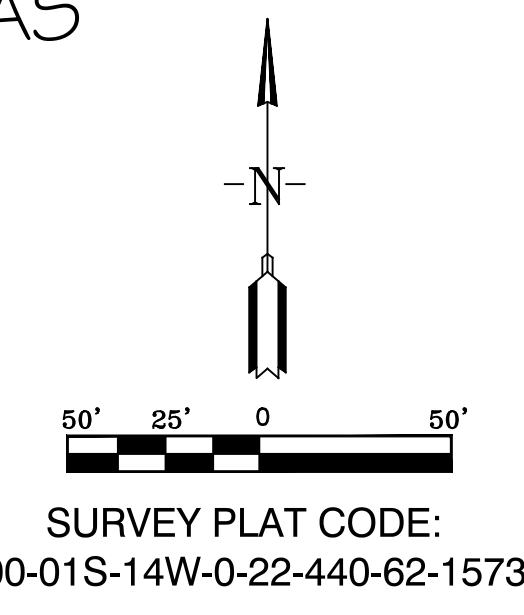


PROPERTY SPECIFICATIONS:	
ZONING CLASSIFICATION:	C-2
MIN. LOT SIZE:	20,000 S.F.
NUMBER OF LOTS:	6
SOURCE OF WATER:	CITY OF BRYANT
SOURCE OF SEWER:	CITY OF BRYANT
BUILDING SETBACKS (SB):	
FRONT -	50'
REAR -	15'
SIDE -	10'
EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)	FRONT, SIDE AND REAR - 10' OR AS SHOWN
INGRESS/EGRESS (I/E)	
LOT CORNERS:	SET #4 REBAR WITH CAP

## FINAL PLAT MARKET PLACE II SUBDIVISION PHASE 3 LOTS 17 THROUGH 22 CITY OF BRYANT SALINE COUNTY, ARKANSAS



SURVEY LEGEND	
△	Computed point
●	Found monument
⊙	Set #4 RB/Plas. Cap or Mag Nail with Shiner
(M)	Measured
(R)	Record
(P)	Platted



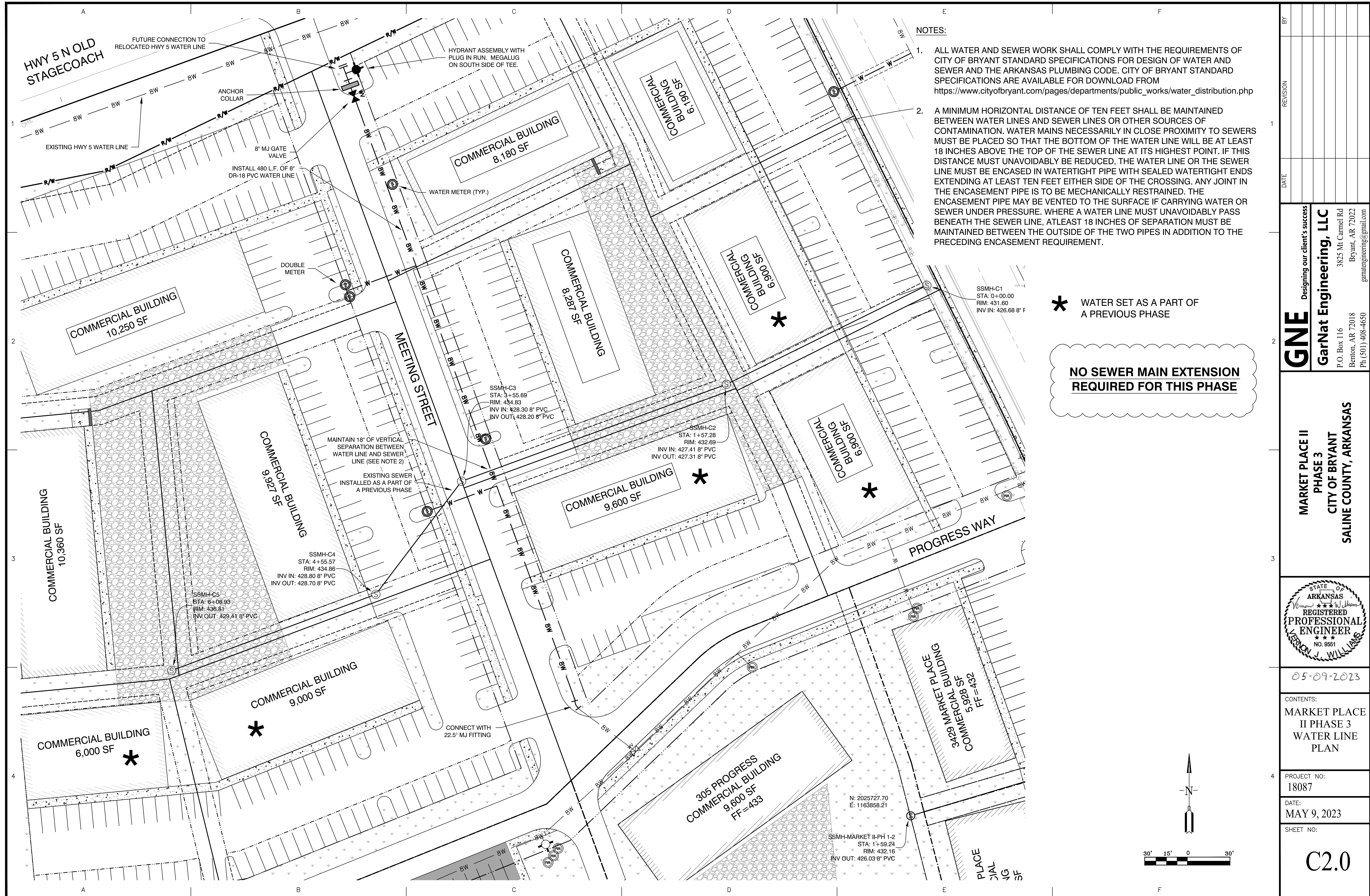
BY	REVISION	DATE

Designing our client's success  
**GarNat Engineering, LLC**  
 3825 Mt Carmel Road  
 Bryant, AR 72022  
 P.O. Box 116  
 Benton, AR 72018  
 Phone: (501) 408-4650  
 garnatengr.com@gmail.com

**BRYANT REALTY COMPANY, LLC**  
**MARKET PLACE II PHASE 3**  
**CITY OF BRYANT**  
**SALINE COUNTY, ARKANSAS**

REGISTERED PROFESSIONAL SURVEYOR  
 STATE OF ARKANSAS  
 NO. 1573  
 SIGNATURE  
 GEORGE P. WOODEN

CONTENTS:	
FINAL PLAT	
LOTS 17 - 22	
PHASE 3	
PROJECT NO: 18087	
DATE: MAY 9, 2023	
SHEET NO: V1.0	



- NOTES:**
1. ALL WATER AND SEWER WORK SHALL COMPLY WITH THE REQUIREMENTS OF CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN OF WATER AND SEWER AND THE ARKANSAS PLUMBING CODE. CITY OF BRYANT STANDARD SPECIFICATIONS ARE AVAILABLE FOR DOWNLOAD FROM [https://www.cityofbryant.com/pages/departments/public\\_works/water\\_distribution.php](https://www.cityofbryant.com/pages/departments/public_works/water_distribution.php)
  2. A MINIMUM HORIZONTAL DISTANCE OF TEN FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, ATLEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT.

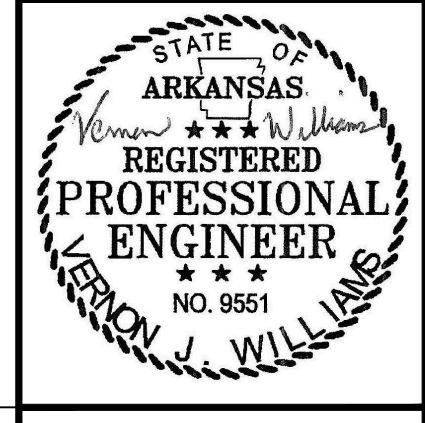
**\*** WATER SET AS A PART OF A PREVIOUS PHASE

**NO SEWER MAIN EXTENSION REQUIRED FOR THIS PHASE**

BY	REVISION	DATE

**GNE** Designing our client's success  
**GarNat Engineering, LLC**  
 P.O. Box 116  
 Benton, AR 72018  
 Ph: (501) 408-4650  
 3825 Mt Carmel Rd  
 Bryant, AR 72022  
 gnatengineering@gmail.com

**MARKET PLACE II  
 PHASE 3  
 CITY OF BRYANT  
 SALINE COUNTY, ARKANSAS**



05-09-2023

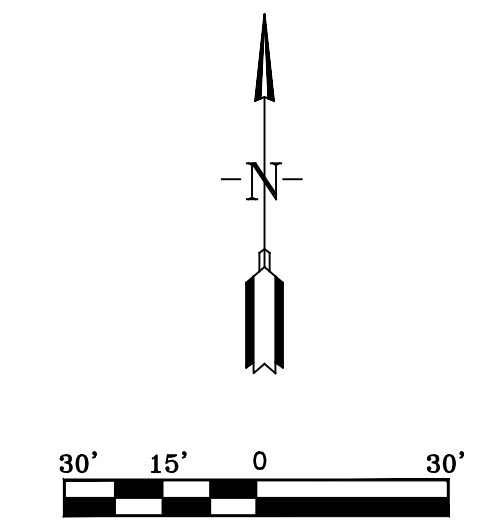
CONTENTS:  
**MARKET PLACE II PHASE 3 WATER LINE PLAN**

PROJECT NO:  
 18087

DATE:  
 MAY 9, 2023

SHEET NO:

**C2.0**



# Bryant Planning Commission

## Subdivision Checklist

MARKET PLACE II  
PHASE 3

Approved by  
Bryant Planning Commission  
07/14/2003 Revised 6/18/2007

### Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

#### Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

#### Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

#### Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

## City of Bryant Subdivision Checklist

Subdivision/Project Name MARKET PLACE II SUBDIVISION  
PHASE 3 LOTS 17 THROUGH 22

Contact Person VERNON WILLIAMS Phone (501) 408-4650

Mailing Address 3825 MT CARMEL ROAD, BRYANT, AR  
72022

### I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning C-2
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

## II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
  - 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

## III. PRELIMINARY PLAT ATTACHMENTS

**(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)**

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

MARKET PLACE II  
 PHASE 3  
 \_\_\_\_\_  
 Name of Subdivision

*George Worden*  
 \_\_\_\_\_  
 Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

*[Signature]*  
 \_\_\_\_\_  
 Owner Signature

*Vernon J Williams*  
 \_\_\_\_\_  
 Engineer Signature

---

CITY USE

Preliminary Plat Approved \_\_\_\_\_

Planning Commission Date \_\_\_\_\_

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Final Plat Approved \_\_\_\_\_

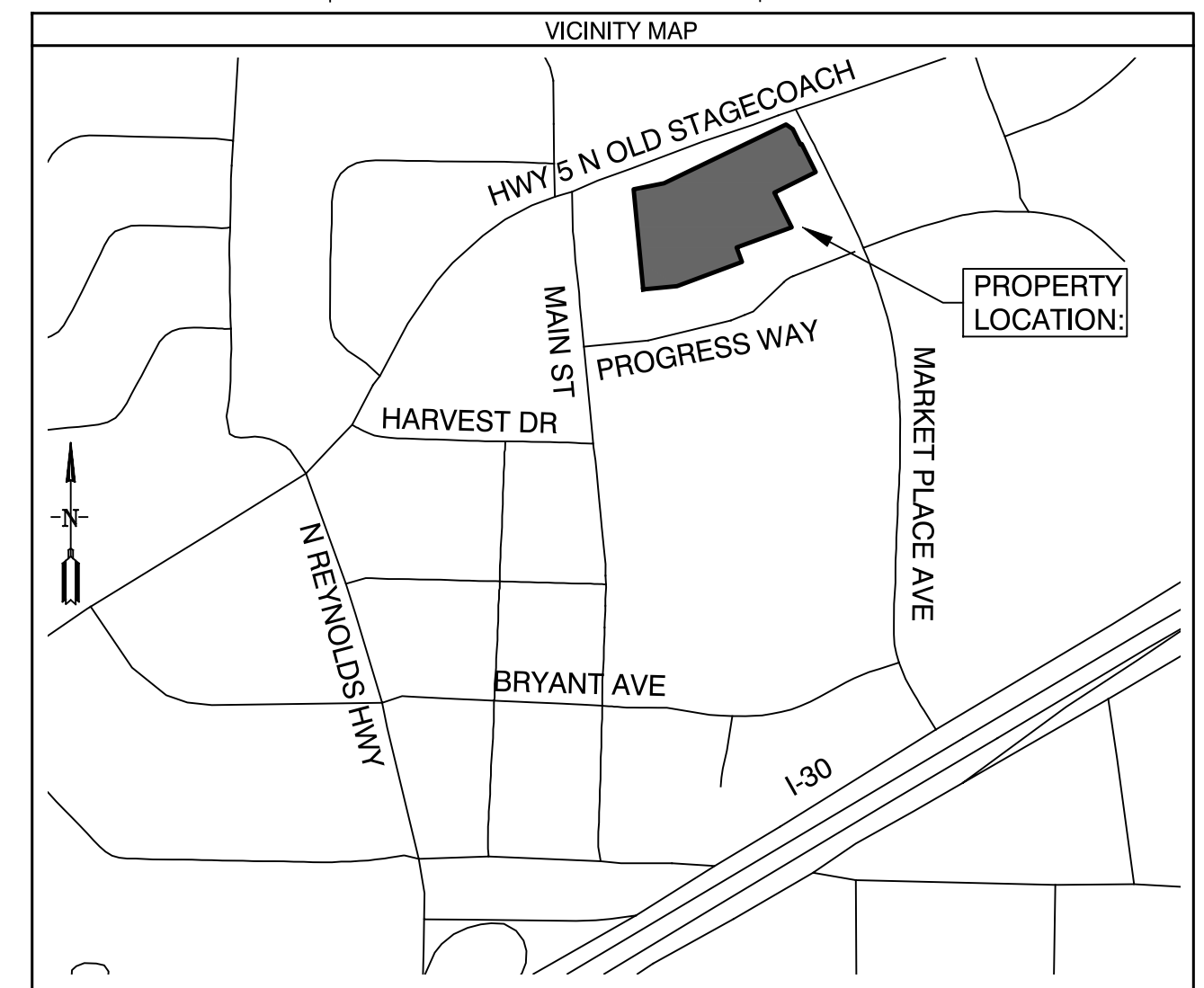
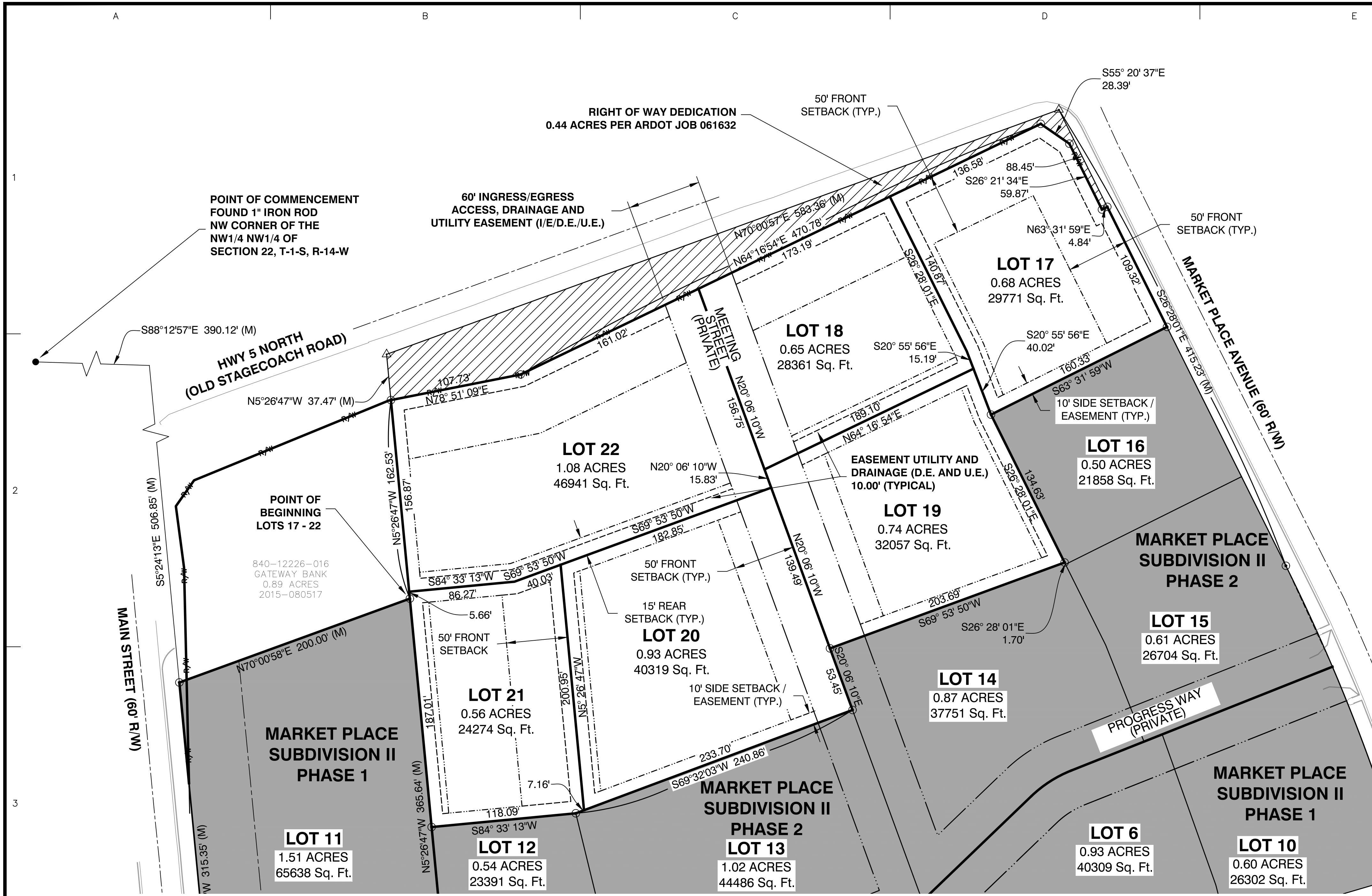
Planning Commission Date \_\_\_\_\_

---

Proof of Recording - County \_\_\_\_\_

County Clerk \_\_\_\_\_

Date \_\_\_\_\_



**SUBDIVISION DESCRIPTION:**  
 LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW1/4 NW1/4), OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS:

LOTS 17 - 22:  
**COMMENCING** AT A FOUND 1" IRON ROD LOCATED AT THE NORTHWEST CORNER OF THE SAID NW1/4 NW1/4 OF SECTION 22, T-1-S, R-14-W; THENCE S 88°12'57" E, ALONG THE NORTH LINE THEREOF FOR A DISTANCE OF 390.12 FEET TO A POINT; THENCE S 5°24'13" E, ALONG THE EAST RIGHT OF WAY LINE OF MAIN STREET A DISTANCE OF 506.85 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF GATEWAY BANK PROPERTY DEED BOOK 2015 PAGE 080517; THENCE N 70°00'58" E, LEAVING SAID RIGHT OF WAY AND ALONG SOUTH LINE OF SAID GATEWAY BANK PROPERTY FOR A DISTANCE OF 200.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 FOR THE **POINT OF BEGINNING**; THENCE N 5°26'47" W ALONG EAST LINE OF SAID GATEWAY BANK PROPERTY FOR A DISTANCE OF 162.53 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE SOUTHERLY PROPOSED RIGHT OF WAY OF HIGHWAY 5 ARDOT JOB 061632; THENCE N 78°51'09" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 107.73 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 64°16'54" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 470.78 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 55°20'37" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 28.39 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 26°21'34" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 59.87 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 63°31'59" E CONTINUING ALONG SAID SOUTHERLY PROPOSED RIGHT OF WAY FOR A DISTANCE OF 4.84 FEET TO A SET 1/2" REBAR WITH CAP LOCATED ON THE EXISTING WESTERLY RIGHT OF WAY OF MARKET PLACE AVENUE; THENCE S 26°28'01" E ALONG SAID EXISTING WESTERLY RIGHT OF WAY FOR A DISTANCE OF 108.32 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHEAST CORNER OF LOT 16 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 63°31'59" W ALONG SAID NORTHERLY LINE OF LOT 16 FOR A DISTANCE OF 160.33 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF SAID LOT 16; THENCE S 26°28'01" E ALONG WESTERLY LINE OF SAID LOT 16 FOR A DISTANCE OF 134.63 FEET TO A SET 1/2" REBAR LOCATED AT THE INTERSECTION OF THE SOUTHWEST CORNER OF SAID LOT 16 AND THE NORTHEAST CORNER OF LOT 14 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 69°53'50" W ALONG SAID NORTHERLY LINE OF LOT 14 FOR A DISTANCE OF 203.69 FEET TO A POINT LOCATED AT THE NORTHWEST CORNER OF SAID LOT 14 AND THE CENTER OF MEETING STREET (PRIVATE STREET); THENCE S 20°06'10" E ALONG CENTER OF SAID MEETING STREET FOR A DISTANCE OF 53.45 FEET TO A POINT LOCATED AT THE NORTHEAST CORNER OF LOT 13 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 69°32'03" W ALONG THE NORTHERLY LINE OF SAID LOT 13 FOR A DISTANCE OF 240.86 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE INTERSECTION OF THE NORTHWEST CORNER OF SAID LOT 13 AND THE NORTHEAST CORNER OF LOT 12 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 84°33'13" W ALONG THE NORTHERLY LINE OF SAID LOT 12 FOR A DISTANCE OF 118.09 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF LOT 12 AND ON THE EASTERLY LINE OF LOT 11 OF MARKET PLACE SUBDIVISION II, PHASE 1; THENCE N 5°26'47" W ALONG EASTERLY LINE OF SAID LOT 11 FOR A DISTANCE OF 187.01 FEET TO THE **POINT OF BEGINNING**, CONTAINING 4.63 ACRES, MORE OR LESS.

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- FINAL PLAT OF MARKET PLACE SUBDIVISION SURVEYED BY GARNAT ENGINEERING, LLC DATED 6/4/2019 GEORGE WOODEN PLS #1573

**BASIS OF BEARINGS:**

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

**CERTIFICATIONS:**

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON SEPTEMBER 11, 2019.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.

BY	
REVISION	
DATE	

Designing our client's success  
**GarNat Engineering, LLC**  
 3825 Mt Carmel Road  
 Bryant, AR 72022  
 P.O. Box 116  
 Benton, AR 72018  
 gamatenginc@gmail.com  
 Ph: (501) 408-4650

**BRYANT REALTY COMPANY, LLC**  
**MARKET PLACE II PHASE 3**  
**CITY OF BRYANT**  
**SALINE COUNTY, ARKANSAS**

REGISTERED PROFESSIONAL SURVEYOR  
 STATE OF ARKANSAS  
 NO. 1573  
 SIGNATURE  
 GEORGE P. WOODEN

CONTENTS:  
**FINAL PLAT**  
**LOTS 17 - 22**  
**PHASE 3**

PROJECT NO:  
**18087**

DATE:  
**MAY 9, 2023**

SHEET NO:  
**V1.0**

**OWNER:** Bryant Realty Company, LLC  
**DEVELOPER:** Bryant Realty Company, LLC  
**Address:** 422 North Main Street, Benton, AR 72015

**CERTIFICATE OF OWNER:**  
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: \_\_\_\_\_ Signed: Fred Briner, Agent, Bryant Realty Company, LLC

Source of Title: SALINE COUNTY, ARKANSAS  
 Saline County Document# 1997-20341

**CERTIFICATE OF ENGINEERING ACCURACY:**  
 I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: \_\_\_\_\_ Signed: Vernon J. Williams, Registered Professional Engineer, No. 9551, Arkansas

**FINAL PLAT**  
**MARKET PLACE II SUBDIVISION**  
**PHASE 3**  
**LOTS 17 THROUGH 22**  
**CITY OF BRYANT**  
**SALINE COUNTY, ARKANSAS**

**CERTIFICATE OF RECORDING:**  
 I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: \_\_\_\_\_ Signed: George P. Wooden, Registered Land Surveyor, No. 1573, Arkansas

**CERTIFICATE OF SURVEYING ACCURACY:**  
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: \_\_\_\_\_ Signed: Rick Johnson, Chairman, Bryant Planning Commission

**PROPERTY SPECIFICATIONS:**  
 ZONING CLASSIFICATION: C-2  
 MIN. LOT SIZE: 20,000 S.F.  
 NUMBER OF LOTS: 6  
 SOURCE OF WATER: CITY OF BRYANT  
 SOURCE OF SEWER: CITY OF BRYANT  
 BUILDING SETBACKS (SB):  
 FRONT - 50'  
 REAR - 15'  
 SIDE - 10'  
 EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)  
 FRONT, SIDE AND REAR - 10' OR AS SHOWN  
 INGRESS/EGRESS (I/E)  
 LOT CORNERS: SET #4 REBAR WITH CAP

**SURVEY LEGEND**  
 ▲ - Computed point  
 ● - Found monument  
 ⊙ - Set #4 RB/Plas. Cap or Mag Nail with Shiner  
 (M) - Measured  
 (R) - Record  
 (P) - Platted

**STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER**  
 VERNON J. WILLIAMS  
 NO. 9551

**SURVEY PLAT CODE:**  
 500-01S-14W-0-22-440-62-1573

\\Projects\2023 Projects\18087 Final Engng - Market Place Subdiv II Phase 3 - Final Plat - 18087 - 050523.dwg



# SITE DEVELOPMENT PLANS

# MURPHY USA #6672

# WALMART SUPERCENTER #3230

## 403 BRYANT AVE.

## BRYANT, AR

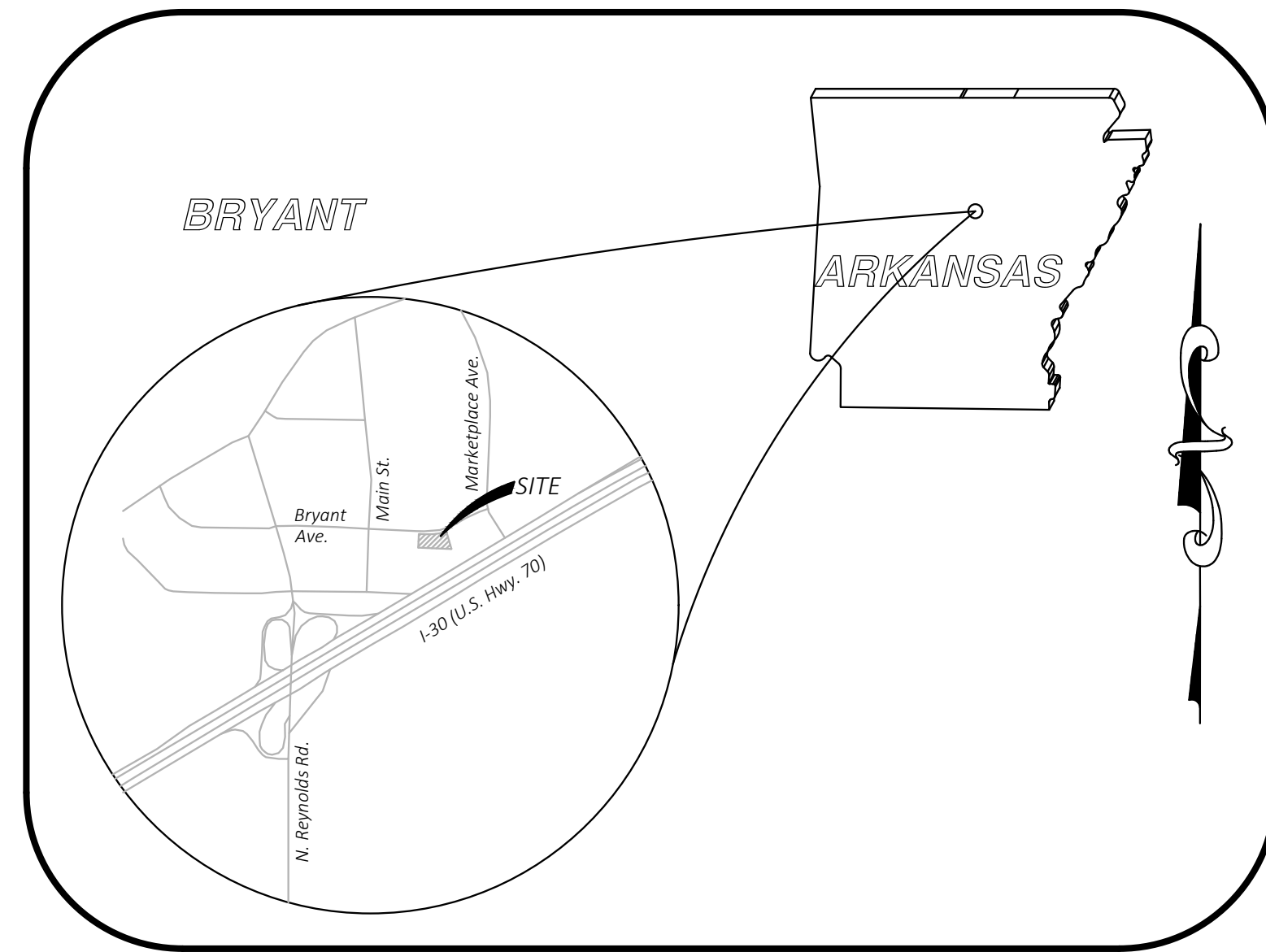


CEI ENGINEERING ASSOCIATES, INC.  
3108 SW REGENCY PKWY  
BENTONVILLE, AR 72712  
PHONE: (479) 273-9472  
FAX: (479) 273-0844

MURPHY OIL U.S.A. INC.  
422 N WASHINGTON AVE.  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

### GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. **WARRANTY/DISCLAIMER:** THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- E. **SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- F. ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- G. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- H. CONSTRUCTION AND INSTALLATION OF 1400 SF BUILDING, ALL UTILITY ENTRANCES AND (1) 25,000 GALLON & (1) 26,000 GALLON UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- I. CONTRACTOR IS NOT TO START WORK UNTIL MURPHY OIL USA HAS RECEIVED WRITTEN AUTHORIZATION FROM WAL-MART AND WAL-MART STORE MANAGER HAS BEEN CONSULTED FOR SCHEDULING AND COORDINATION.
- J. THE GENERAL CONTRACTOR TO FIELD COORDINATE THE CANOPY SIGN LOCATION WITH MURPHY'S CONSTRUCTION SUPERVISOR.
- K. STAGE II VAPOR RECOVERY SYSTEM IS NOT REQUIRED.



**Vicinity Map**  
NOT TO SCALE  
Latitude: 35°59'28"  
Longitude: 95°47'52"

### PLAN INDEX:

- C-0 COVER SHEET
- C-2 SURVEY
- C-4 SITE PLAN
- C-5 GRADING PLAN
- C-7 UTILITY PLAN
- LP-1 LANDSCAPE PLAN
- D-1 DRAINAGE PLAN

### NOTICE TO CONTRACTOR:

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- E. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FOR THE ISSUING AUTHORITY.
- F. IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING OF THE SURVEY WITH THE CIVIL CONSULTANT PRIOR TO DEADLINE FOR OBTAINING THE C.O. AND AFTER NECESSARY COMPLETED WORK TO BE SHOWN ON SURVEY.

### WETLANDS NOTES:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

### FLOOD CERTIFICATION:

BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY, THIS PROPERTY IS DETERMINED TO BE LOCATED WITHIN ZONE "X", OR AREAS OUTSIDE THE 0.2% ANNUAL CHANCE 100-YR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE MAP FOR SALINE COUNTY, ARKANSAS. MAP NUMBER: 051250380E MAP REVISED: JUNE 5, 2020

### NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED THROUGH MURPHY'S CONSTRUCTION WEBSITE (HTTPS://MURPHYUSA.PROJECTMATES.COM) INCLUDING Q&A, RFIs, BID SUBMISSION, CHANGE ORDER REQUESTS, ETC. ONCE AWARDED THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S PROJECT MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

### CEI CONTACT:

CEI ENGINEERING ASSOCIATES, INC.  
3108 SW REGENCY PARKWAY, SUITE 2  
BENTONVILLE, AR 72712  
CONTACT: CHARLES "CHIP" ASHLEY  
479-273-9472

### CLIENT CONTACT:

MURPHY OIL USA, INC  
200 E. PEACH STREET  
EL DORADO, AR 71730  
CONTACT: BASSAM ZIADA  
870-677-0481



**Know what's below.  
Call before you dig.**

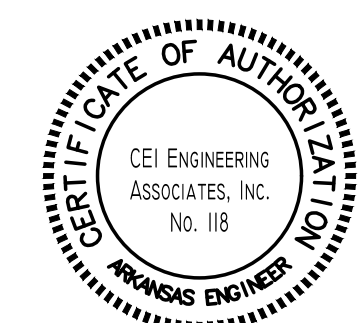


BASED ON A SURVEY BY:  
CEI ENGINEERING ASSOCIATES INC.,  
3108 SW REGENCY PARKWAY, SUITE 2  
BENTONVILLE, AR 72712  
PHONE: (479)273-9472  
DATE: 04/11/2023

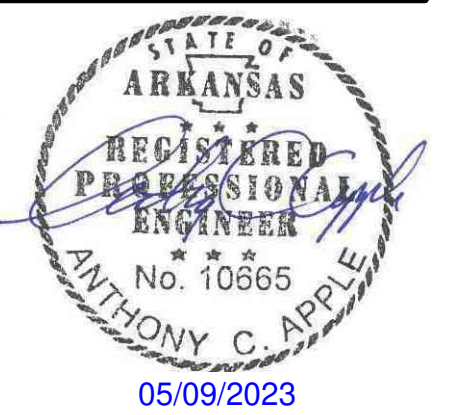
REVISION	DATE	DESCRIPTION

### RESOURCE LIST:

- |                                                                                                                                                       |                                                                                                                                                                                                                                                                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>PLANNING AND ZONING</b><br>CITY OF BRYANT<br>210 SW 3RD ST.<br>BRYANT, AR 72022<br>501-943-0309<br>CONTACT: TRUETT SMITH                           | <b>HEALTH DEPARTMENT</b><br>COUNTY AND CITY HEALTH DISTRICT<br>4815 W MARRHAM ST. SLOT 46<br>BRYANT, AR<br>501-537-9735<br>CONTACT: KHARIANA HOBBS                                                                                                                       |
| <b>FIRE PREVENTION</b><br>CITY OF BRYANT FIRE DEPARTMENT<br>312 ROYAL LANE<br>BRYANT, AR 72022<br>THAMMOND@CITYOFBRYANT.COM<br>CONTACT: TOMMY HAMMOND | <b>WALMART</b><br>WALMART SUPERCENTER STORE #3230<br>403 BRYANT AVE<br>BRYANT, AR<br>STORE MANAGER:<br>BUILDING/CANOPY MANUFACTURER<br>FREY MOSS STRUCTURES<br>1801 ROCKDALE INDUSTRIAL BLVD.<br>CONYERS, GA 30012<br>770-483-7543, EXT 151<br>CONTACT: JENIFFER GOODMAN |
| <b>BUILDING</b><br>CITY OF BRYANT<br>210 SW 3RD ST.<br>BRYANT, AR 72022<br>501-943-0309<br>CONTACT: DOUG SMITH                                        | <b>BUILDING/CANOPY DESIGN</b><br>GREENBERG FARROW<br>3 EXECUTIVE DRIVE, SUITE 510<br>SOMERSET, NJ 08873<br>732-537-0832<br>CONTACT: CHRIS CERBO                                                                                                                          |
| <b>ELECTRIC</b><br>ENERGY<br>4171 ESSEN LANE<br>BATON ROUGE, LA 70809<br>CONTACT: LANCE SIMPSON,<br>LSIMPSON@ENERGY.COM                               | <b>GEOTECHNICAL</b><br>UNITED CONSULTING<br>625 HOLCOMB BRIDGE ROAD<br>NORCROSS, GA 30071<br>770-209-0029<br>CONTACT: MEHDI MOAZZAMI                                                                                                                                     |
| <b>WATER</b><br>CITY OF BRYANT<br>210 SW 3RD ST.<br>BRYANT, AR 72022<br>CONTACT: TROY ELLIS                                                           | <b>TANK AND PRODUCT PIPING</b><br>GALLOWAY<br>6162 S. WILLOW DRIVE, SUITE 320<br>GREENWOOD VILLAGE, CO 80111<br>303-770-8884<br>CONTACT: DAVE JONES                                                                                                                      |
| <b>SEWER</b><br>CITY OF BRYANT<br>210 SW 3RD ST.<br>BRYANT, AR 72022<br>501-943-0468 EXT. 453<br>CONTACT: TROY ELLIS                                  |                                                                                                                                                                                                                                                                          |
| <b>TELEPHONE</b><br>SUMMIT<br>800-992-7552                                                                                                            |                                                                                                                                                                                                                                                                          |



MURPHY USA #6672  
WALMART SUPERCENTER #3230  
403 BRYANT AVE.  
BRYANT, AR



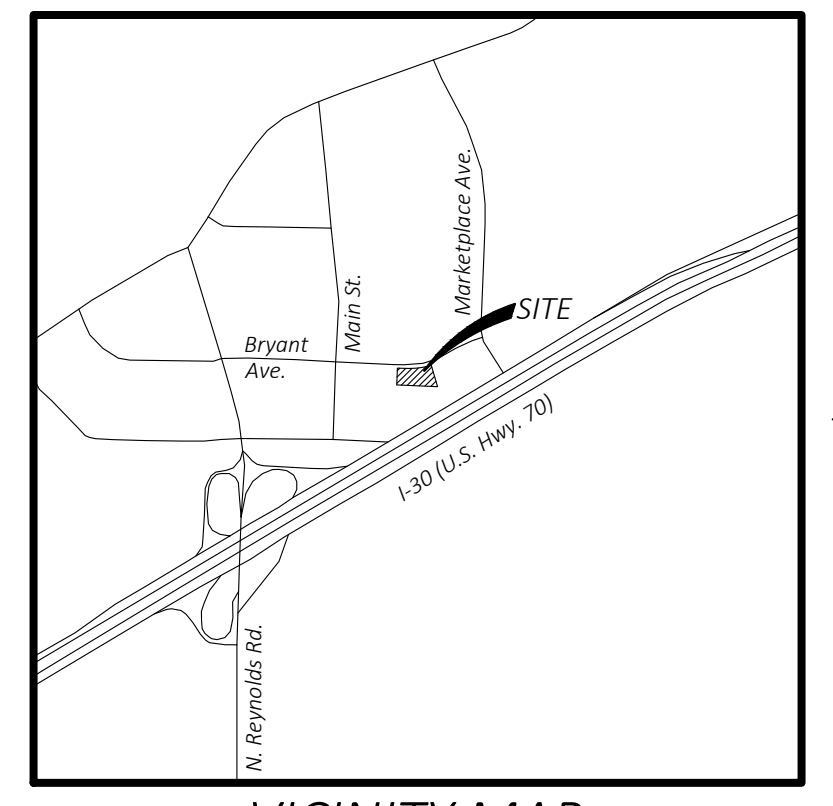
PROFESSIONAL OF RECORD	POR
PROJECT MANAGER	CRM
DESIGNER	ASM
CEI PROJECT NUMBER	33155
DATE	5/9/2023
REVISION	REV-0

### COVER SHEET

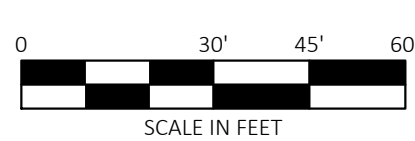
SHEET TITLE  
SHEET NUMBER

# C-0

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND SURVEYING • PLANNING  
BENTONVILLE | DALLAS | FRESNO | HOUSTON | JACKSONVILLE | MINNEAPOLIS | PHILADELPHIA | PHOENIX

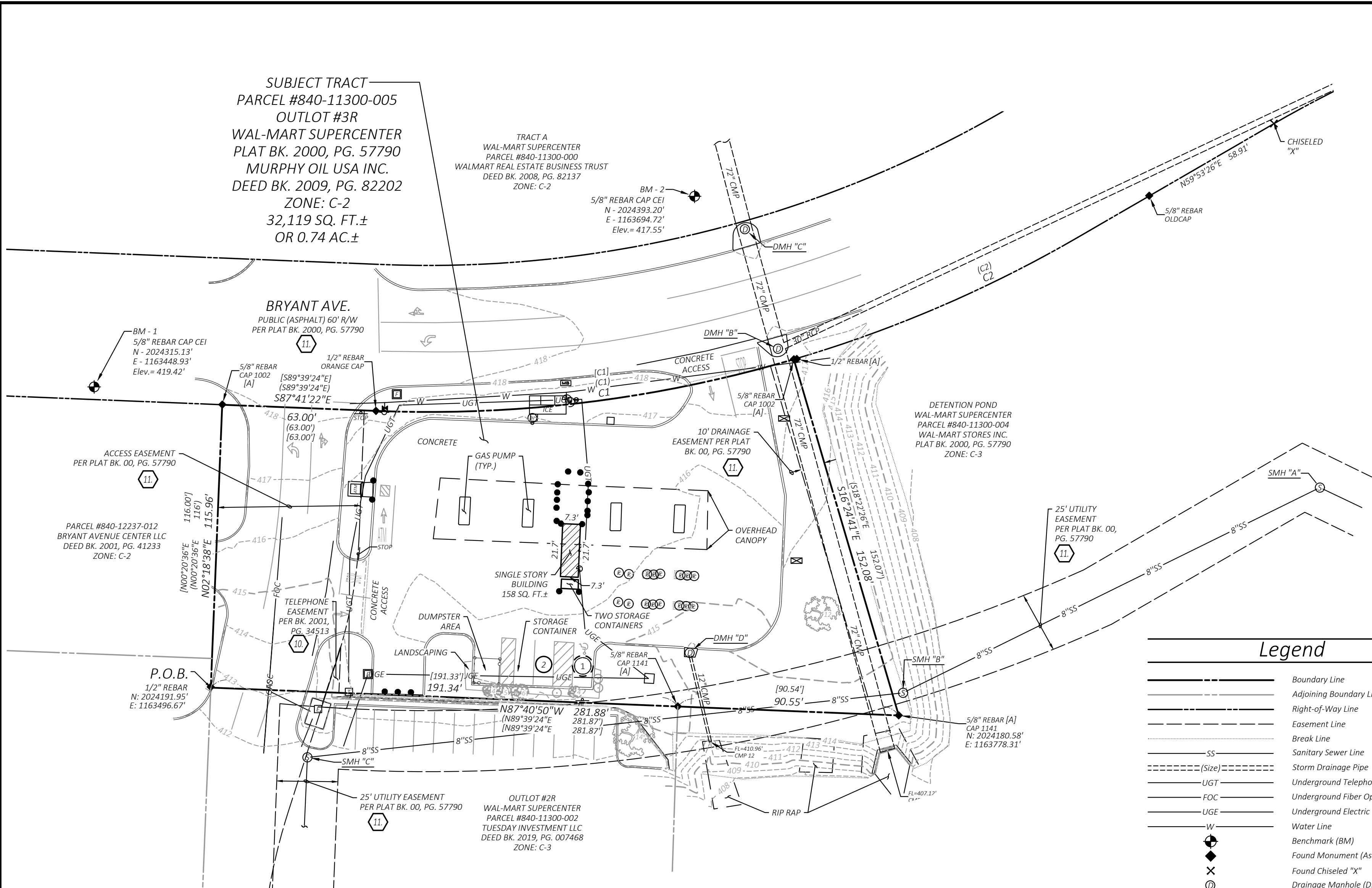


VICINITY MAP  
NOT TO SCALE  
Latitude: 34°37'20"N  
Longitude: 92°29'39"W



**Owner**  
Parcel #840-11300-005  
Murphy Oil USA Inc. #6801  
P.O. Box 7300  
El Dorado, AR, 71730

**Surveyors:**  
CEI Engineering Associates, Inc.  
3108 SW Regency Parkway  
Bentonville, AR 72712  
Phone: (479) 273-9472  
Fax: (479) 271-0536  
Surveyor James Barnett, PLS #1666



**Legend**

- Boundary Line
- - - Adjoining Boundary Line
- - - Right-of-Way Line
- - - Easement Line
- - - Break Line
- - - Sanitary Sewer Line
- - - Storm Drainage Pipe
- - - UGT Underground Telephone Line
- - - FOC Underground Fiber Optic Line
- - - UGE Underground Electric Line
- - - Water Line
- Benchmark (BM)
- Found Monument (As Noted)
- Found Chiseled "X"
- Drainage Manhole (DMH)
- Sewer Manhole (SMH)
- Fire Hydrant
- Air / Vacuum Machine
- Automated Teller Machine
- Tree (Deciduous)
- Bush
- Sewer Clean Out
- Guy Wire / Anchor
- Electric Meter
- Fuel Storage Cap
- Bollard / Guard Post
- Handicap Parking (ADA)
- Ice Machine
- Irrigation Box
- Light Pole (1 Lamp)
- Electric Riser
- Telephone Riser
- Mail Box
- Traffic Sign (Type of Sign)
- Electric Vault
- Fiber Optic Vault
- Water Valve
- Water Meter
- Water Valve in Standpipe
- Corrugated Metal Pipe
- Reinforced Concrete Pipe
- Right-of-Way
- Record Bearing & Distance per Deed Bk. 2009, Pg. 57790
- Record Bearing & Distance per an ALTA/ACSM Survey by Sand Creek Engineering, Performed by C. Ed Gray, RPLS #1002 and Doc. Bk. 09, Pg. 082202
- Record Monument per an ALTA/ACSM Survey by Sand Creek Engineering, Performed by C. Ed Gray, RPLS #1002
- Parking Space
- ADA Parking Space

Title Commitment provided by: Stewart Title Guaranty Company, File No. 4070093, Countersigned by Stewart Title of Arkansas Commitment Date: December 3, 2007.

Exceptions	Effect on Survey
1. Rights or claims of parties in possession not shown by the public records.	Not survey related
2. Easements, or claims of easements, not shown by the public records.	None presented to Surveyor
3. Encroachments, overlaps, boundary line disputes, or other matters, that would be disclosed by an accurate survey and inspection of the premises.	None presented to Surveyor
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.	Not survey related
EXCEPTIONS 1, 2, 3 AND 4 ARE HEREBY DELETED FROM SAID POLICY.	
5. Taxes for the years 2007 and thereafter, which are not yet due and payable.	Not survey related
6. Right of Way permit to City of Bryant, Arkansas, filed 1/20/93 in Book 143 page 545.	Lies within bounds of previously dedicated right-of-way
7. Terms, provisions, conditions, covenants, restrictions, easements, charges, assessments and liens, as contained in document no. 199533087 and amendment to Restrictive Covenants recorded as document no. 200025315; document no. 199631080 and re-recorded as document no. 199631403 and amendment to Restrictive Covenants recorded as document no. 200025306, but omitting any covenant, condition, or restriction, if any, based on race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that the covenant, condition, or restriction (a) is exempt under Title 42 of the United States Code, or (b) relates to handicap, but does not discriminate against handicapped persons.	Blanket in Nature Unable to Graphically Depict
8. Easement with Covenants Restrictions Affecting Land recorded December 3, 2007, as Instrument no. 07-127023, by and between Wal-Mart Stores, Inc., and Murphy Oil USA, Inc.	Blanket in Nature Unable to Graphically Depict
9. Declaration of Environmental Release recorded December 3, 2007, as Instrument Number 07-127043, by and between Wal-Mart Stores, Inc., and Murphy Oil USA, Inc. ...	Blanket in Nature Unable to Graphically Depict
10. All matters as shown on survey by Sand Creek Engineering and Landscape Architecture, Project No. 07052, filed 6/21/07, dated October 2, 2007, last revised 10/2/07.	As shown hereon
11. 25' Utility easement across the Southeast side of subject property; 10' drainage Easement and easement for ingress and egress shown on Plat filed in Book 00 page 57790.	As shown hereon

The land referred to in this Commitment is described as follows:  
 Tract 1: All of Outlot 3R of the replat of Outlots 2 & 3 and the detention pond of the plat of Wal-Mart Super Center in Bryant, Arkansas, as shown on the above said replat and recorded in Plat Book 00 at page 57790 in the office of the Circuit Clerk and recorder of Saline County, Arkansas and also being described as follows:  
 Beginning at the SW corner of the above said Outlot 3R being a Chiseled "X" on concrete; thence N 00° 20' 36" E, along the West line of the above said Outlot 3R, 116.00 feet to set 5/8" rebar w/cap (PLS No. 1 002, at the NW corner of the above said Outlot 3R, also being located on the Southernly right of way of Bryant Avenue; thence S 89° 39' 24" E along the North line of the above said Outlot 3R and along the Southernly right of way line of Bryant Avenue, 63.00 feet to a found 5/8" rebar w/cap; thence along the arc of a curve to the left on the North line of the above said Outlot 3R and the Southernly right of way line of Bryant Avenue, 173.13 feet (said curve having a Radius of 530.01 feet and a Delta of 18° 42' 59") and a chord bearing and distance of N 80° 59' 07" E. to a set 5/8" rebar w/cap (PLS No. 1 002), at the NE corner of the above said Outlot 3R; thence S 18° 22' 26" E, along the East line of the above said Outlot 3R, 152.07 feet to a found 5/8" Rebar w/cap (PLS No. 1141) at the SE corner of the above said Outlot 3R; thence N 89° 39' 24" W, along the South line of the above said Outlot 3R, 281.87 feet to the point of beginning.  
 Tract 2: Beneficial easements in favor of Murphy Oil USA, Inc. set forth in Easements with Covenants and Restrictions affecting land recorded December 3, 2007, as Instrument Number 07-127023.  
 Tract 3: Beneficial easements shown on Replat of Out Lots 2 and 3 and Detention Pond of the Plat of Wal-Mart Supercenter recorded in Plat Book 00 at Page 57790.  
 The Vesting Deed provided from the Title Commitment File No. 4070093 is recorded in Doc. Bk. 07, Pg. 127017. The surveyor discovered the current Vesting Deed is recorded in Doc. Bk. 09, Pg. 82202. The description is verbatim in both deeds.

- GENERAL NOTES:**
- This survey does not purport to be a proposed tract split or replat, or any other subdivision plat as may be defined by city, county, or state law. The land owner is encouraged to check with the local planning/development authorities for proper platting procedures before proceeding with the development.
  - This plat represents an ALTA/NSPS Land Title Survey of the lot recorded in Deed Book 2009, Page 82202 in the public records of Saline County, Arkansas.
  - Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied to the surveyor.
  - Declaration is made to the original purchaser of the survey and those listed in the certification for the use of this transaction only and is not transferable to any additional or subsequent owners.
  - Basis of Bearings: All bearings and distances shown hereon are grid based on Arkansas State Plane Coordinate System, NAD83, South Zone, as established by a static observation processed through Trimble RTX.
  - Basis of Elevation: All elevations shown hereon are based on NAVD83, as established by a Static observation processed through Trimble RTX.
  - This survey is valid only if the drawing includes the seal and signature of the surveyor.
  - This survey meets the current Arkansas Standards of Practice for Property Boundary Surveys and Plats.
  - Subsurface and environmental conditions were not examined nor considered a part of this survey.
  - No attempt has been made as a part of this boundary survey to obtain or shown data concerning existence, size, depth, condition, capacity, or location of any utility or facilities.
  - Underground utilities were located by visible above ground markings as marked by utility locators and shown hereon as located by CEI Engineering Associates, Inc. survey field crews. All utility locations shown hereon are approximate. All utilities may not have been marked/located by the appropriate locators. No excavation has taken place as of this date to determine the exact location of existing underground utilities shown on this survey.
  - The contractor is advised to contract the 811 One-Call Center before any construction begins, depending on the state there is a possibility of a severe penalty for not making this call. Not all utility companies are members of the One-Call Systems. Therefore the contractor is advised to contract all non-members as well as the One-Call System.
  - The contractor must determine that proposed structures are clear of all boundary lines, easements, and meet building setback requirements before construction begins.

- NOTES REGARDING TABLE "A" ITEMS:**
- Item 2: An address of Front Gate Drive, Bryant, Arkansas was disclosed in documents, or observed while conducting the fieldwork.
  - Item 3: By scaled map location and graphical plotting only. This property is located in unshaded Zone "X" which are areas determined to be outside the 0.2% annual chance floodplain determined by the National Flood Insurance Program, Flood Insurance Rate Map for Saline County, Arkansas. Map Number: 05125C0380E. Map Revised: June 5, 2020
  - Item 6: No current zoning report or letter regarding zoning classification was provided to the Surveyor, the following information was obtained from the City of Bryant GIS map. This property is zoned C-2 (Highway Commercial District HCD). Building setbacks for zone C-2 are as follows:  
 Lots along Class I - Class IV roadways:  
 Front: 50 Feet  
 Side: 25 Feet  
 Rear: 15 Feet  
 Rear (abutting residential): 55 Feet (25 Feet Corner Lot)  
 Lots along Class V - Class VI roadways:  
 Front: 0 Feet  
 Side: 0 Feet  
 Side (abutting residential): 25% of lot dimension  
 Rear: 15 Feet  
 Rear (abutting residential): 55 Feet (25 Feet Corner Lot)

- Item 7: A single building exist on the surveyed property.
- Item 9: Clearly identifiable striping, or constructed parking was observed.
- Item 16: No observable evidence of current earth moving work, building construction or building additions were found in the process of conducting the field work.
- Item 17: The surveyor was not aware of any changes in street Right-of-Way, and no observed evidence of street or sidewalk construction or repairs were found.

**DRAINAGE STRUCTURES**

STRUCTURE	RIM	INVERT	INVERT	INVERT
DMH "A"	415.56	[NE] 411.06	[SW] 410.76	
DMH "B"	417.88	[NE] 409.08	[NW] 408.13	[S] 408.03
DMH "C"	417.73	[NW] 408.38	[SE] 408.26	
DMH "D"	414.81	[SE] 411.76		

**SANITARY SEWER STRUCTURES**

STRUCTURE	RIM	INVERT	INVERT
SMH "A"	414.84	[SE] 400.96	[SW] 400.84
SMH "B"	414.78	[NE] 400.43	[SW] 400.28
SMH "C"	411.59	[E] 399.29	[S] 399.21

**Property Curve Table**

Curve #	Radius	Length	Delta	Chord Bearing	Chord Distance
C1	530.01'	173.13'	18°42'59"	N82°57'13"E	172.37'
C2	530.00'	126.84'	13°42'44"	S66°44'46"W	126.54'

**Record Curve Table**

Curve #	Radius	Length	Delta	Chord Bearing	Chord Distance
(C1)	530.00'	173.14'	18°43'02"	N80°59'05"E	172.37'
[C1]	530.01'	173.13'	18°42'59"	N80°59'07"E	172.37'
(C2)	530.00'	126.84'	13°42'44"	N64°16'34"E	104.16'

**Parking Count**

Regular Spaces	2
ADA Spaces	3
Total Spaces	5

**Benchmark Information**

Benchmark #1: A 5/8" rebar with cap CEI set northwest of the subject area, 175' northwest of a sewer manhole found south of the subject area, and 119' northwest of a fire hydrant found east of said access drive.  
 Northing: 2024315.13' Easting: 1163448.93' Elevation: 419.42'

Benchmark #2: A 5/8" rebar with cap CEI set north of the subject area, 25' northwest of a drainage manhole found north of Bryant Ave. and 71' northwest of a drainage manhole found south of Bryant Ave.  
 Northing: 2024393.20' Easting: 1163694.72' Elevation: 417.55'

**SURVEYOR'S CERTIFICATION TO:**  
 Murphy Oil USA, Inc.  
 Stewart Title Guaranty Company  
 Stewart Title of Arkansas

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7a, 8, 9, 10, 11b, 13, 16, 17, and 19 of Table A thereof. The field work was completed on March 30, 2023.

James Barnett, Arkansas PLS #1666 Date of Plat or Map: \_\_\_\_\_

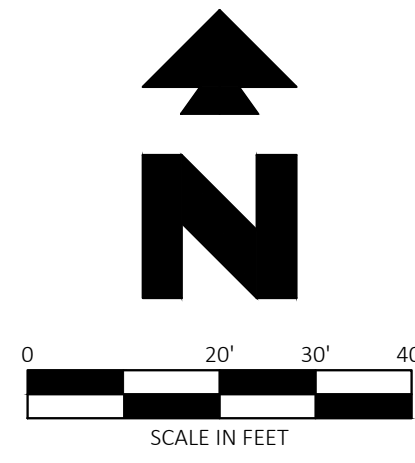


PROFESSIONAL OF RECORD: JKB  
 DESIGNER: WAP  
 FIELD WORK: KTC  
 CEI PROJECT NUMBER: 33155  
 DATE: 4/11/2023  
 REVISION: REV-0

DRAWING LOCATION: S:\32000\315\DRAWINGS\SURVEY\WORKING\315\ALTA.DWG - SAVED BY: WPIERSON



Know what's below.  
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**SITE BENCHMARK**  
Benchmark #1: A 5/8" rebar with cap CEI set northwest of the subject area, 175' northwest of a sewer manhole found south of the subject area, and 119' northwest of a fire hydrant found east of said access drive.  
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NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

**ZONING:**  
C-2 (HIGHWAY COMMERCIAL)

**BUILDING SETBACKS:**

	REQUIRED	PROVIDED
FRONT (STREETS):	0'	0'
SIDE:	0'	0'
REAR:	15'	15'

CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A ARKANSAS REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN.

CONTRACTOR TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)

SEE SHEET C-4.1 FOR BUILDING ROOF AND CANOPY DRAINAGE

**EXISTING LEGEND**

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X'W	WATER
---	RIGHT OF WAY LINE	5-10-11-50.5	TREE INFO
---	STORM DRAIN		S = DIAMETER OF TRUNK IN FEET
X'G	GAS		10 = HEIGHT OF TREE IN FEET
OHE	OVERHEAD ELECTRIC		11 = CANOPY DIAMETER IN FEET
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		50.5 = ELEVATION AT BASE OF TREE

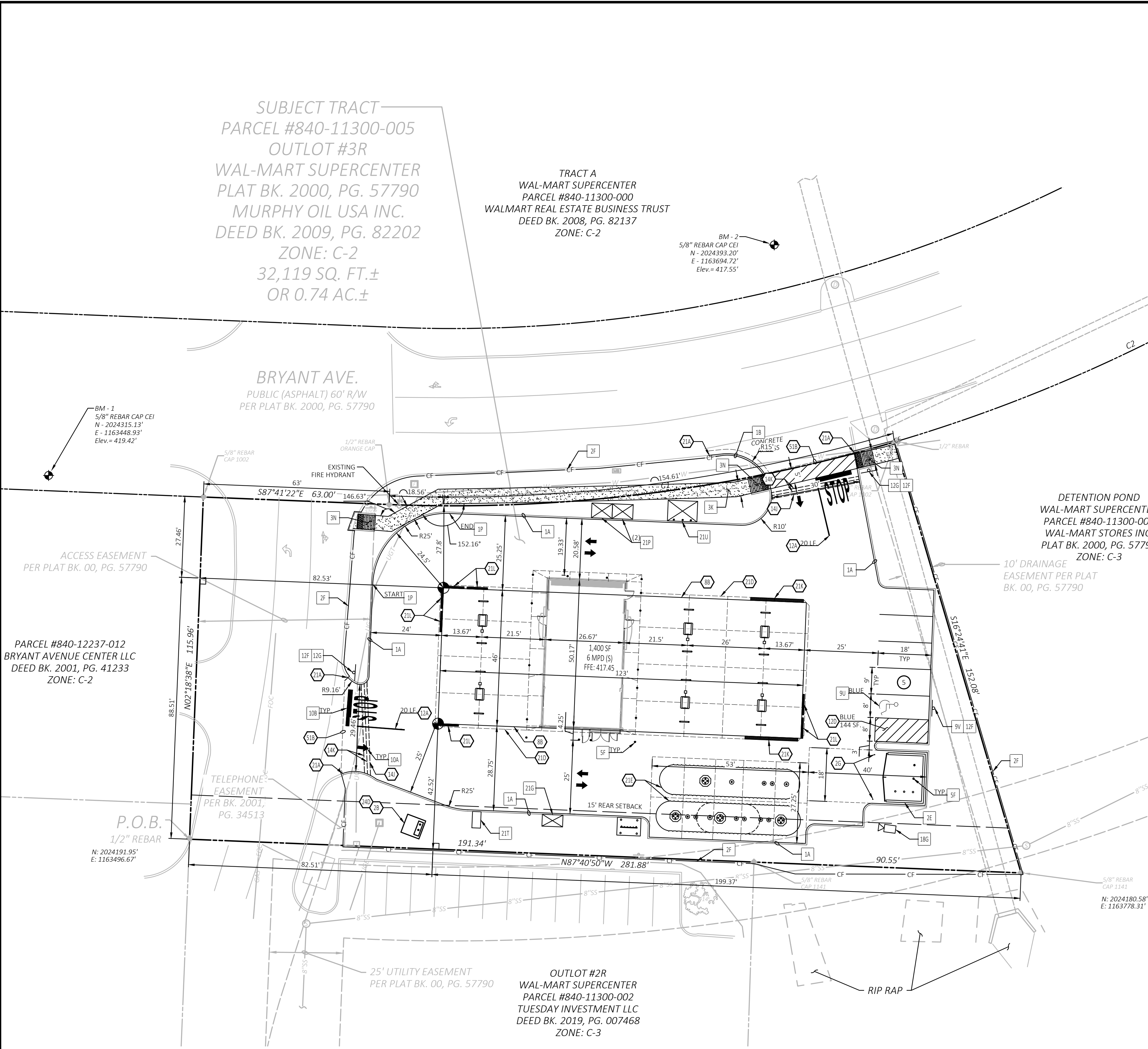
**PROPOSED LEGEND**

---	PROPERTY LINE/RIGHT OF WAY LINE
---	CONCRETE CURB AND GUTTER. SEE DETAIL 01A
●	BUILDING CONTROL POINT
---	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RETURN RADII SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HERON: ALL CURB AND GUTTER ADJACENT TO EXISTING PAVING SHALL BE INSTALLED PER SHEET C-8  
PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.  
SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
  - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY ALSO BE NECESSARY.
  - ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
  - CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
  - CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, AND LOW FLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGES OCCUR THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
  - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWING IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
  - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
  - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 01A.

- SITE DETAILS**
- 1A TYPE A CONCRETE CURB AND GUTTER
  - 1B TYPE B CONCRETE INTEGRAL CURB AND GUTTER
  - 1P RAISED CURB AND GUTTER
  - 2E DUMPSTER ENCLOSURE
  - 2F CONSTRUCTION FENCE
  - 3K CONCRETE SIDEWALK
  - 3N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
  - 5F GUARD POST (SINGLE)
  - 9U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
  - 9V ACCESSIBLE / VAN PARKING SIGN MOUNTED IN BOLLARD
  - 10A TRAFFIC FLOW ARROW (TYP.)
  - 10B STOP BAR (TYP.)
  - 12F SIGN BASE
  - 12G STOP SIGN
  - 13A SITE LIGHT POLE (SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS)
  - 18G CONSTRUCTION CAMERA COORDINATE WITH MUSA PM FOR LOCATION
  - 21G AIR VACUUM UNIT WITH 4"x7" CONCRETE SLAB
  - 21P 5"x7" ICE UNIT. SEE NUMBER INDICATED AT SYMBOL.
  - 21T MAILBOX (CONTRACTOR SHALL COORDINATE WITH MURPHY PM POSTMASTER PRIOR TO INSTALLATION)
  - 21U CONCRETE PAD FOR PROPANE RACK.

- SITE NOTES**
- TRANSFORMER PAD
  - DRILL (2) 3/4" X 5/8" DIA. HOLES (1) EACH FOR OPEN POSITION & CLOSED POSITION OF GATES. TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
  - OVERHEAD CANOPY (TYP. PER ARCH. PLANS).
  - 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
  - 4 INCH WIDE PAINTED STRIPE, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
  - GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
  - GC TO INSTALL (2) 4" PVC SLEEVE FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
  - TAPER CURB TO MATCH EXISTING CURB.
  - EDGE OF CONCRETE SLAB (PER TANK AND PIPING PLANS).
  - UNDERGROUND STORAGE TANKS (1) 25,000 GAL.-REGULAR, (1) 8,000 GAL.-PREMIUM, (1) 10,000 GAL.-DIESEL, (1) 8,000 GAL.-E-O.
  - MURPHY USA ID SIGN PER APPROVED ELEVATION.
  - PRICE SIGN PER APPROVED ELEVATION.
  - PROPOSED ELECTRIC TRANSFORMER
  - LIMITS OF SAWCUT AND PAVEMENT REMOVAL.



**SUBJECT TRACT**  
PARCEL #840-11300-005  
OUTLOT #3R  
WAL-MART SUPERCENTER  
PLAT BK. 2000, PG. 57790  
MURPHY OIL USA INC.  
DEED BK. 2009, PG. 82202  
ZONE: C-2  
32,119 SQ. FT.±  
OR 0.74 AC.±

**TRACT A**  
WAL-MART SUPERCENTER  
PARCEL #840-11300-000  
WALMART REAL ESTATE BUSINESS TRUST  
DEED BK. 2008, PG. 82137  
ZONE: C-2

**DETENTION POND**  
WAL-MART SUPERCENTER  
PARCEL #840-11300-00  
WAL-MART STORES INC.  
PLAT BK. 2000, PG. 57790  
ZONE: C-3

PARCEL #840-12237-012  
BRYANT AVENUE CENTER LLC  
DEED BK. 2001, PG. 41233  
ZONE: C-2

**OUTLOT #2R**  
WAL-MART SUPERCENTER  
PARCEL #840-11300-002  
TUESDAY INVESTMENT LLC  
DEED BK. 2019, PG. 007468  
ZONE: C-3

**PARKING INFORMATION MURPHY OIL**

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:				
		RATIO	SPACES			
MURPHY OIL	1,400	1/300 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
STALL DIMENSIONS:			4		1	5
9' X 18'		PROVIDED:				
		RATIO	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
		1/300 S.F.	4		1	5
NO. OF FUEL ISLANDS: 8			NO. OF VEHICLE FUELING POINTS: 16			

**PRE-CONSTRUCTION IMPERVIOUS SITE RATIO (ISR)**

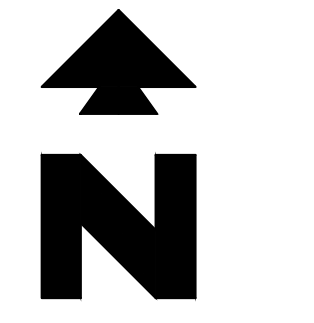
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	22,754	71%
GREEN SPACE	9,368	29%
GROSS SITE	32,122	100%

**POST-CONSTRUCTION IMPERVIOUS SITE RATIO (ISR)**

AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	24,564	78%
GREEN SPACE	6,996	22%
GROSS SITE	32,122	100%



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ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.

ALL STORM DRAINAGE SHALL HAVE "NO DUMPING DRAINS TO STREAM" LOCATED ON UDS/GRATES.

SEE SHEET C-5.1 FOR BUILDING ROOF AND CANOPY DRAINAGE

**EXISTING LEGEND**

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE	5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
---	STORM DRAIN		
X'G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

**PROPOSED LEGEND**

---	PROPERTY LINE/RIGHT OF WAY LINE	x XX.XX	SPOT ELEVATIONS: TC = TOP OF CURB G = GUTTER FEE = FINISH FLOOR ELEVATION FG = FINISH GRADE
---	CONTOUR ELEVATIONS		
---	GRADE BREAK		
---	FLOWLINE		
---	STORM DRAIN		

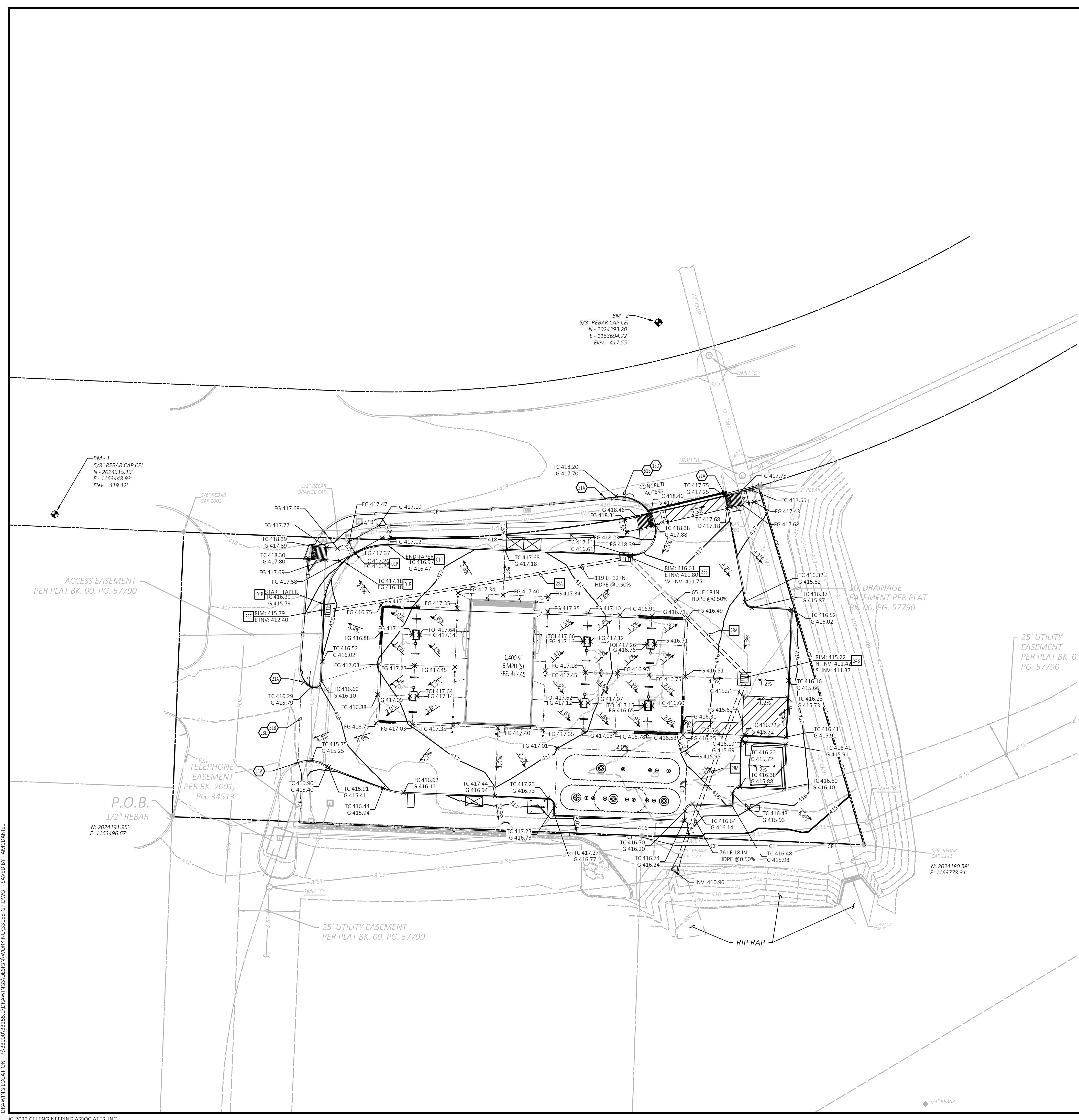
- GENERAL GRADING NOTES**
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN, OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE STABILIZED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  - REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
  - ALL HDPE PIPE IN SANDY OR HIGHLY EROSION, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F427. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WE IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
  - ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATIONS FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. HANDBOOK, LATEST EDITION.
  - IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
  - STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 (WATERTIGHT) UNLESS OTHERWISE INDICATED.
  - CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE TYPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS.
  - CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDLING OF WATER, ESPECIALLY IN PEDESTRIAN WALKWAYS. UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.
  - CONTRACTOR SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION AFTER BUILDING SET AND NOTIFY ENGINEER AND PM WITHIN 48 HOURS OF ANY DISCREPANCY.
  - PIPE JOINTS SHALL BE WRAPPED WITH GEOTEXTILE FABRIC (LAPPED 18").
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF THE CONSTRUCTION TRAILER AND FENCING SHALL NOT AFFECT THE WAL-MART TRAFFIC FLOW.
  - CONTRACTOR TO FIELD VERIFY ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES AND ADJACENT PAVEMENT CONSTRUCTED BY WAL-MART PRIOR TO STARTING CONSTRUCTION.
  - CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ENTERING THE WAL-MART PARKING AREA AND ENSURE THAT THE PARKING AREA IS KEPT CLEAN.

**GRADING DETAILS**

01P	RAISED CURB & GUTTER
23E	COMBINATION INLET
24B	AREA INLET
28A	STORM SEWER TRENCH & BEDDING

**GRADING NOTES**

18D	MATCH EXISTING PAVEMENT ELEVATIONS.
21A	TAPER CURB TO MATCH EXISTING CURB
51B	LIMITS OF SAWCUT AND PAVEMENT REMOVAL.



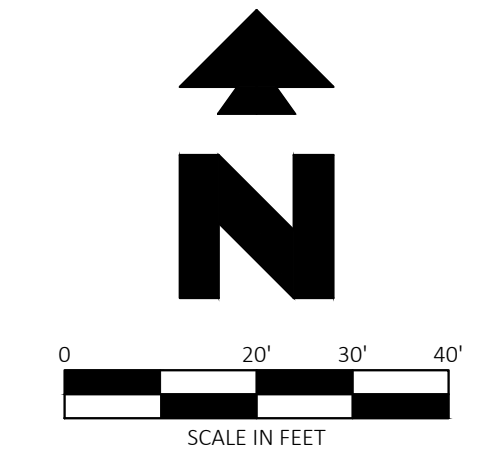
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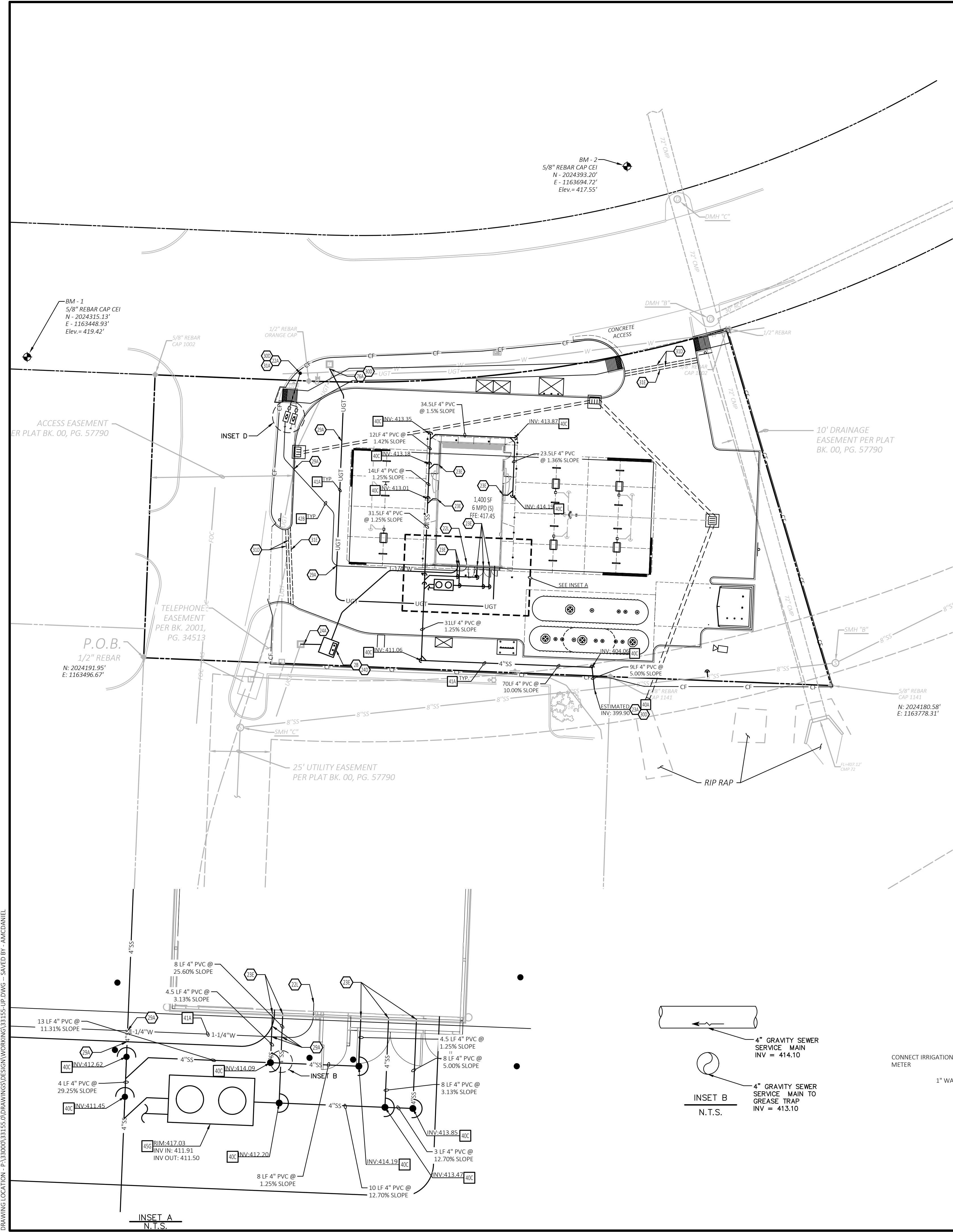
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**811**  
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**UTILITY INSTALLATION RESPONSIBILITIES**

ELECTRIC RESPONSIBILITIES			
CONDUIT / TENCH	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
PRIMARY/SECONDARY			
TRANSFORMER PAD	X		
CT CABINET	X		
EASEMENTS (TRANSFORMER)			X
EASEMENTS (SECONDARY LINE)			X

TELEPHONE RESPONSIBILITIES			
CONDUIT / TENCH	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
PULL STRINGS	X		

WATER RESPONSIBILITIES			
TAP	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
DOMESTIC METER	X		
DOMESTIC BFP	X		
IRRIGATION METER	X		
IRRIGATION BFP	X		
HYDRANT			X
EASEMENTS			X

SANITARY SEWER RESPONSIBILITIES			
TAP	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
EASEMENTS	X		

**EXISTING LEGEND**

- e EAST OR ELECTRIC
- n NORTH
- oh OVERHEAD
- s SOUTH OR SEWER
- t TELEPHONE
- ug UNDERGROUND
- w WEST OR WATER
- PROPERTY LINE
- - - - - RIGHT OF WAY LINE
- - - - - STORM DRAIN
- X" G GAS
- OHE OVERHEAD ELECTRIC
- OHE&T OVERHEAD ELECTRIC AND TELEPHONE
- OHT OVERHEAD TELEPHONE
- OHTV OVERHEAD TV
- X"SS SANITARY SEWER
- UGE UNDERGROUND ELECTRIC
- UGE&T UNDERGROUND ELECTRIC AND TELEPHONE
- UGT UNDERGROUND TELEPHONE
- UGTV UNDERGROUND TELEPHONE
- X"W WATER
- 5-10-11-50.5 TREE INFO
- .5 = DIAMETER OF TRUNK IN FEET
- 10 = HEIGHT OF TREE IN FEET
- 11 = CANOPY DIAMETER IN FEET
- 50.5 = ELEVATION AT BASE OF TREE

**PROPOSED LEGEND**

- - - - - PROPERTY LINE/RIGHT OF WAY LINE
- - - - - STORM DRAIN
- X" G GAS SERVICE
- UGE UNDERGROUND ELECTRIC SERVICE
- UGE&T UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
- UGT UNDERGROUND TELEPHONE SERVICE
- OHE OVERHEAD ELECTRIC SERVICE
- OHE&T OVERHEAD ELECTRIC AND TELEPHONE SERVICE
- OHT OVERHEAD TELEPHONE SERVICE
- X"SS SANITARY SEWER SERVICE
- X"W WATER SERVICE
- X" FM SANITARY SEWER FORCE MAIN
- FDC FIRE DEPARTMENT CONNECTION
- ⚡ POST INDICATOR VALVE

**GENERAL UTILITY NOTES**

- A. ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC MEETING ASTM D1785 & D2665 SPECIFICATIONS AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF-STD. 61, WITH 36" MIN. COVER.
- B. ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, PROVIDE 36" MINIMUM COVER.
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- G. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

**UTILITY DETAILS**

- 40A SANITARY SEWER SERVICE CONNECTION TO EXISTING SEWER MAIN
- 40C SANITARY SEWER CLEAN-OUT
- 41A TRENCH DETAIL
- 42B SANITARY SEWER & WATER TRENCHING AND BEDDING
- 45G 1,000 GALLON GREASE INTERCEPTOR AND SAMPLING WELL

**UTILITY NOTES**

- 2B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS)
- 22A POINT OF CONNECTION - WATER SERVICE, CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR EXACT LOCATION AND CONNECT TO EXISTING SERVICE.
- 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- 23A POINT OF CONNECTION - SANITARY SEWER SERVICE.
- 23C SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- 24A POINT OF CONNECTION - UNDERGROUND ELECTRIC SERVICE. (PER ELECTRIC COMPANY REQUIREMENTS)
- 24D PROPOSED ELECTRIC TRANSFORMER
- 29A MAINTAIN MIN 18" VERTICAL SEPARATION.
- 30D VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY.
- 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED.
- 31D INSTALL (2) PVC SCH. 40 (D2665) SLEEVES 30" BELOW FINAL GRADE UNDER DRIVEWAY. EXTEND SLEEVES 2' BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF EACH SLEEVE WITH CARPED VERTICAL PVC PIPE 12" ABOVE GRADE. DO NOT ALLOW SOIL OR WATER TO ENTER SLEEVES DURING OR AFTER CONSTRUCTION.
- 31E INSTALL (1) PVC SCH. 40 (D2665) SLEEVES 30" BELOW FINAL GRADE UNDER DRIVEWAY FOR IRRIGATION LINE. EXTEND SLEEVES 2' BEYOND BACK OF PROPOSED CURB OR EDGE OF PAVEMENT. STAKE BOTH ENDS OF EACH SLEEVE WITH CARPED VERTICAL PVC PIPE 12" ABOVE GRADE. DO NOT ALLOW SOIL OR WATER TO ENTER SLEEVES DURING OR AFTER CONSTRUCTION.
- 76A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE

**UTILITY FEE SCHEDULE**

FEES TO BE PAID BY MURPHY:

WATER & SEWR:	
\$50.00	STORMWATER
832.5	IRRIGATION METER
1,665.00	DOMESTIC METER
2,997.5	TOTAL

STORM: NO FEES  
ELECTRIC: NO FEES

ALL UTILITY FEES TO BE PAID BY OWNER AND ARE NOT REQUIRED TO BE INCLUDED IN BID.

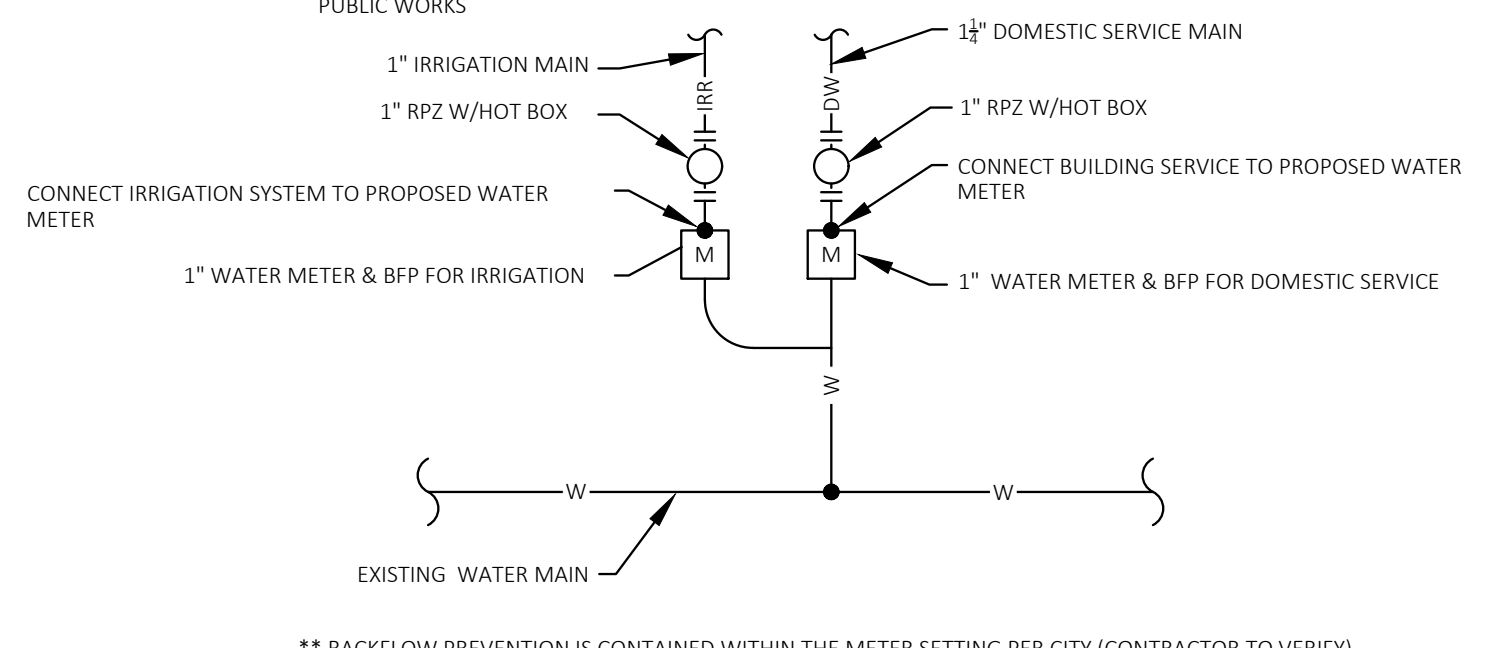
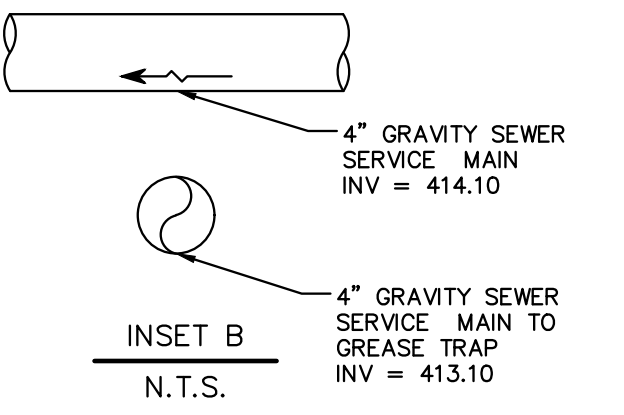
**UTILITY CONTACTS**

**ELECTRIC:**  
ENERGY  
4171 ESSEN LANE  
BATON ROUGE, LA 70809  
CONTACT: LANCE SIMPSON  
LSMPS@ENERGY.COM

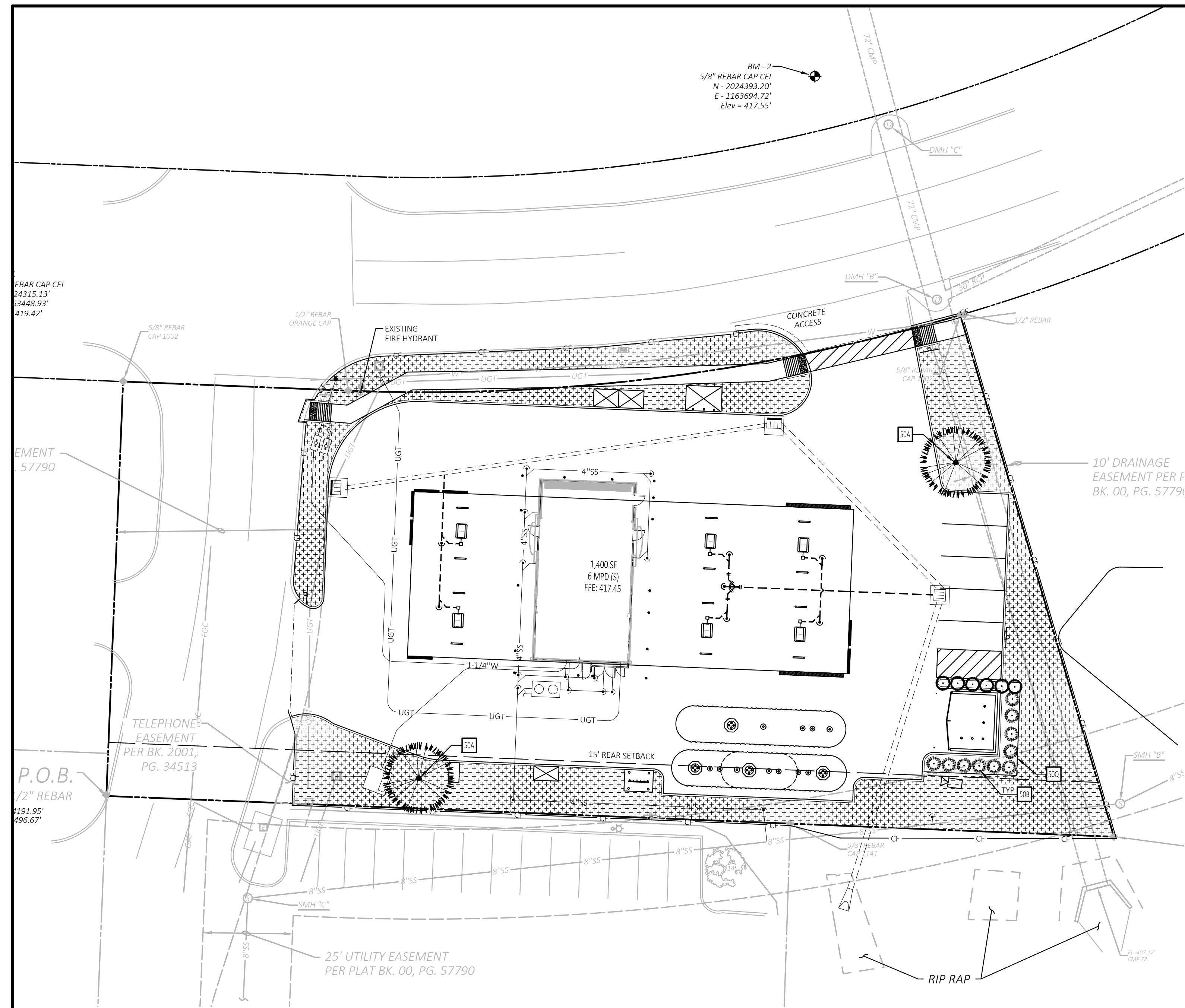
**HEALTH DEPARTMENT:**  
RETAIL FOOD PROGRAM  
4835 W MARKHAM ST. SLOT 46  
LITTLE ROCK, AR 72205  
501-661-2572  
CONTACT: KHARIANA HOBBS

**WATER:**  
CITY OF BRYANT  
210 SW 3RD ST.  
BRYANT, AR 72022  
501-943-0468 EXT. 453  
CONTACT: TROY ELLIS,  
PUBLIC WORKS

**SEWER:**  
CITY OF BRYANT  
210 SE 3RD ST.  
BRYANT, AR 72022  
501-943-0468 EXT. 453  
CONTACT: TROY ELLIS,  
PUBLIC WORKS



\*\* BACKFLOW PREVENTION IS CONTAINED WITHIN THE METER SETTING PER CITY (CONTRACTOR TO VERIFY)

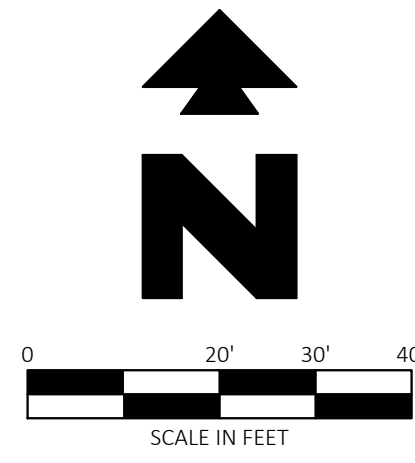


**SITE BENCHMARK**

Benchmark #1: A 5/8" rebar with cap CEI set northwest of the subject area, 175' northwest of a sewer manhole found south of the subject area, and 119' northwest of a fire hydrant found east of said access drive.  
 Northing: 2024315.13' Easting: 1163448.93' Elevation: 419.42'

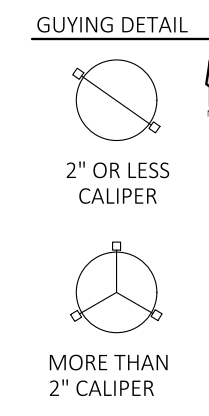
Benchmark #2: A 5/8" rebar with cap CEI set north of the subject area, 25' northwest of a drainage manhole found north of Bryant Ave. and 71' northwest of a drainage manhole found south of Bryant Ave.  
 Northing: 2024393.20' Easting: 1163694.72' Elevation: 417.55'

NOTE: SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



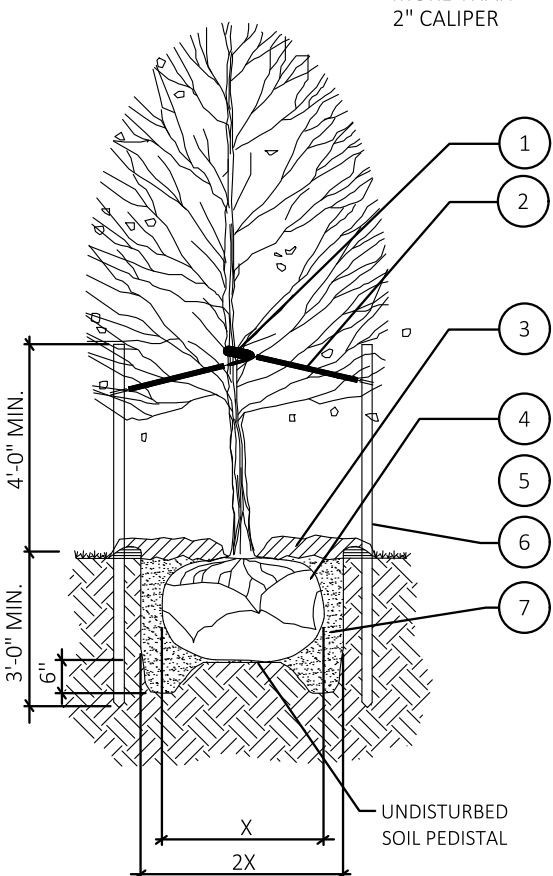
**811**

Know what's below.  
Call before you dig.



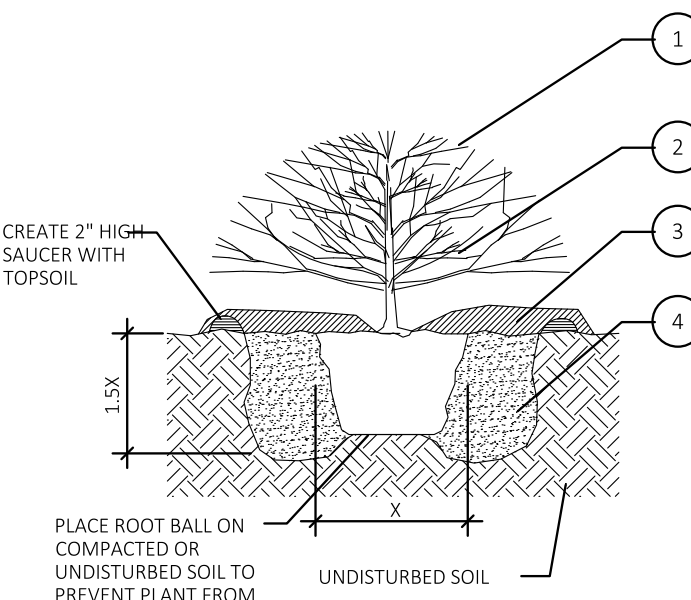
**DECIDUOUS TREE PLANTING LEGEND**

SYMBOL	DESCRIPTION
1	TREE STRAP LOOP AT FIRST BRANCH, USE RUBBER HOSE OR APPROVED EQUAL TO PREVENT DAMAGE TO TREE.
2	1/2 GAUGE GALVANIZED WIRE & 1 1/2" PVC PIPE
3	4" ORGANIC MULCH PER SPECIFICATIONS. DO NOT PLACE MULCH AGAINST TREE TRUNK.
4	REMOVE WIRE BASKET AND REMOVE BURLAP & ROPE FROM TOP 1/3 OF ROOT BALL.
5	TREE SAUCER (FORMED BY MIN. 4" THICK MULCH).
6	8" METAL TEE STAKE. KEEP STAKE PLUMB AND SECURE OUTSIDE OF TREE PIT.
7	PREPARED BACKFILL - TAMP TO PREVENT SETTLEMENT. SOAK BACK FILL AFTER PLANTING.



- PLANTING NOTES**
- RETAIN NATURAL SHAPE. DO NOT SHEAR OR CUT CENTRAL LEADER. TREES WITH CENTRAL LEADERS ARE NOT ACCEPTED IF LEADER IS DAMAGED OR REMOVED.
  - PRUNE ALL DAMAGED TWIGGS AFTER PLANTING.
  - WRAP TREES TO FIRST BRANCH IF PLANTED IN FALL. DO NOT WRAP IF PLANTED IN SPRING.
  - TREES TO BE INSTALLED SO TOP OF ROOT BALLS LEVEL WITH ADJACENT GRADE. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS MAINTAINED AT NURSERY.
  - PLACE TREE BALL ON FIRM UNDISTURBED SOIL.
  - IF POSSIBLE MARK TREE TRUNK ON THE NORTHERN SIDE AT THE NURSERY AND PLANT TREE WITH MARK FACING NORTH.
  - TOPSOIL USED SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.

**TREE PLANTING DETAIL**  
N.T.S.



**SHRUB PLANTING LEGEND**

SYMBOL	DESCRIPTION
1	PRUNE BROKEN AND DAMAGED TWIGGS AFTER PLANTING. DO NOT PRUNE OR DAMAGE CENTRAL LEADER.
2	PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER AND PLANT LABEL PRIOR TO PLACING BACKFILL.
3	3"-4" OF MULCH AS SPECIFIED. DO NOT PLACE MULCH DIRECTLY AGAINST STEMS.
4	PREPARED BACKFILL AND FERTILIZE PER SPECIFICATIONS. TAMP AND SOAK BACKFILL AFTER PLANTING. MAINTAIN AFTER PLANTING PER SPECIFICATIONS.

- PLANTING NOTES**
- HOLE DIAMETER SHOULD BE AT LEAST TWICE THE DIAMETER OF THE SHRUB ROOT BALL. SHRUB CROWN SHOULD BE PLACED SLIGHTLY HIGHER (1"-2") ABOVE THE SURROUNDING FINISHED GRADE.
  - SCORE ROOTBALL BY CUTTING 1/8"-1/4" VERTICAL GROVES 3" APART.
  - SPACE PLANTS PER PLANTING PLAN.

**CONTAINER SHRUB PLANTING DETAIL**  
N.T.S.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	CAL.
	2	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / SKYLINE HONEY LOCUST	B&B	50A	12' MIN HT	3.00" CAL.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	
	6	ILEX CRENATA 'HELLER' / HELER JAPANESE HOLLY	5 GAL	50B		
	10	JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER	5 GAL	50B		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE			
	6,394 SF	CYNODON DACTYLON / BERMUDAGRASS	SOD			

**LANDSCAPE REQUIREMENTS:**  
1 TREE PER 0.5 ACRES  
SITE AREA = 0.74 ACRES ( 2 TREES REQUIRED)

**EXISTING LEGEND**

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UG&T	UNDERGROUND ELECTRIC AND TELEPHONE
---	PROPERTY LINE	UGT	UNDERGROUND TELEPHONE
---	RIGHT OF WAY LINE	UGTV	UNDERGROUND TV
---	STORM DRAIN	X'W	WATER
X'G	GAS	5-10-11 50.5	TREE INFO 5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

**PROPOSED**

---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	STORM DRAIN
---	BERMUDA GRASS SOD
○	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

- GENERAL NOTES**
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
  - NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
  - ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-Z60.1-1986)
  - ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN SHALL BE SHOWN AS FOLLOWS:  
 GRASS SEED MIX: 40% PERENNIAL RYE  
 40% TURF-TY FESCUE 0.5 LB PER 100 S.F.  
 20% BERMUDA GRASS  
 AGRICULTURAL LIME 2 LB PER 1000 S.F.  
 FERTILIZER 10-10-10 2 LB PER 1000 S.F.  
 DRY STRAW OR HAY 2"-3" DEPTH
  - ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS AND IS SUBJECT TO WAL-MART APPROVAL.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SOODED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE MURPHY STATION WILL NOT DROP WAL-MART'S GREEN SPACE BELOW CITY REQUIREMENTS.
  - CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
  - CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
  - ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
  - ALL PERMANENT TURF AREAS SHALL BE SOD.
  - FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
  - SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED AREAS.
  - SINGLE PROCESSED NON-CYPRESS HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
  - ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.
  - ALL TREES SHALL BE PLANTED PER DETAIL 50A.

**LANDSCAPE NOTES**

○	LANDSCAPE NOTES
ID	GRASS AREA
□	LANDSCAPE DETAILS
50A	TREE PLANTING (TYP.)
50B	SHRUB PLANTING (TYP.)
500	LANDSCAPE EDGE (TYP.)



CEI ENGINEERING ASSOCIATES, INC.  
3108 SW REGENCY PKWY  
BENTONVILLE, AR 72712  
PHONE: (479) 273-9472  
FAX: (479) 273-0844

MURPHY OIL U.S.A. INC.  
422 N WASHINGTON AVE.  
P.O. BOX 7000  
EL DORADO, AR 71730-7000

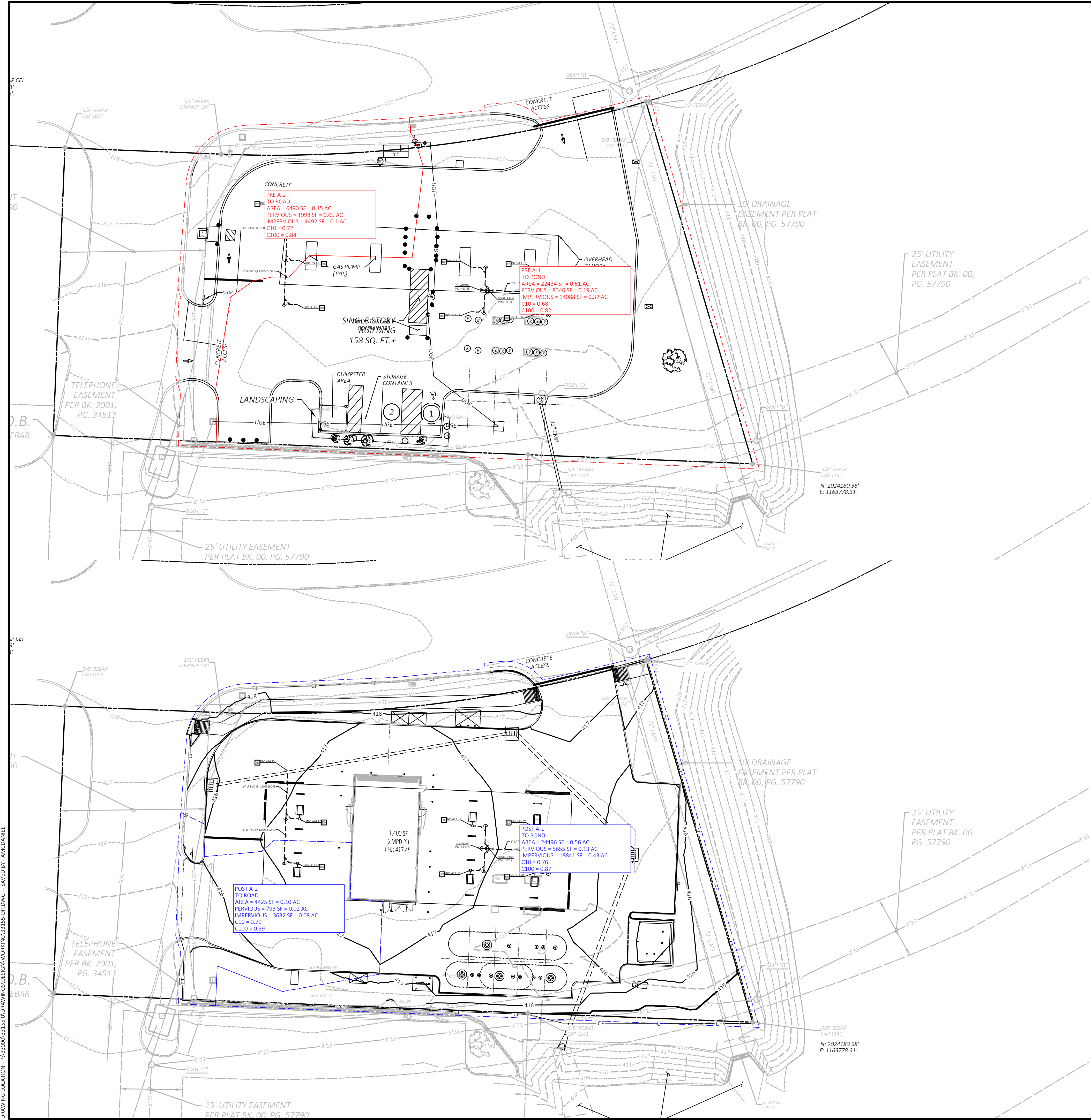
MURPHY USA #6672  
WALMART SUPERCENTER #3230  
403 BRYANT AVE.  
BRYANT, AR



5/09/2023

PROFESSIONAL OF RECORD	POR
PROJECT MANAGER	CRM
DESIGNER	ASM
CEI PROJECT NUMBER	33155
DATE	5/9/2023
REVISION	REV-0

LANDSCAPE PLAN  
SHEET TITLE  
SHEET NUMBER  
**LP-1**

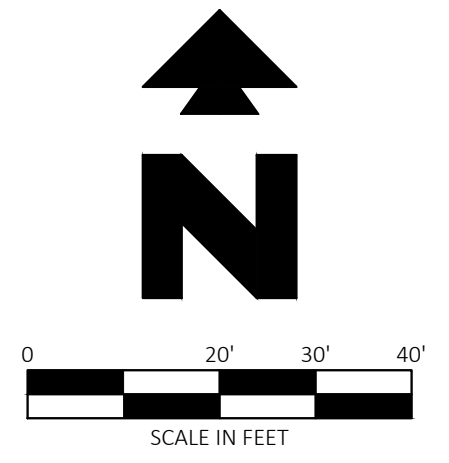


**SITE BENCHMARK**

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**811**

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 Call before you dig.



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 3108 SW REGENCY PKWY  
 BENTONVILLE, AR 72712  
 PHONE: (479) 273-8472  
 FAX: (479) 273-0844

**EXISTING LEGEND**

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
sh	SOUTH OR SEWER	X'SS	SANITARY SEWER
t	TELEPHONE	UGE	UNDERGROUND ELECTRIC
ue	UNDERGROUND	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
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---	RIGHT OF WAY LINE	X'W	WATER
---	STORM DRAIN	-5-10-11-50.5	TREE INFO
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OHE	OVERHEAD ELECTRIC	10	= HEIGHT OF TREE IN FEET
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE	11	= CANOPY DIAMETER IN FEET
		50.5	= ELEVATION AT BASE OF TREE

**PROPOSED LEGEND**

---	PROPERTY LINE/RIGHT OF WAY LINE	x XX.XX	SPOT ELEVATIONS:
---	CONTOUR ELEVATIONS		TC = TOP OF CURB
---	GRADE BREAK		G = GUTTER
---	FLOWLINE		FFE = FINISH FLOOR ELEVATION
---	STORM DRAIN		FG = FINISH GRADE

**DRAINAGE CALCULATIONS**

**10 YEAR PEAK FLOWRATES (CFS)**

PRE A-1 (TO POND)	2.63
PRE A-2 (TO ROAD)	0.82
POST A-1 (TO POND)	3.23
POST A-2 (TO ROAD)	0.60

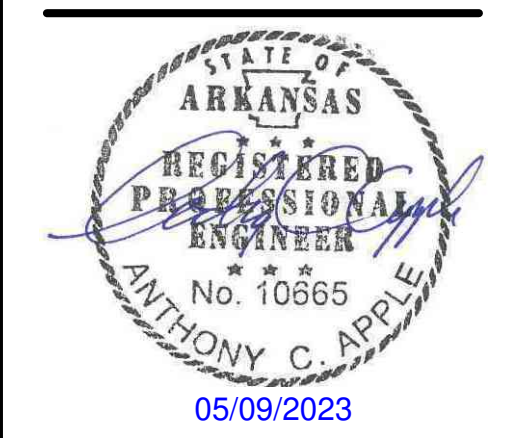
**100 YEAR PEAK FLOWRATES (CFS)**

PRE A-1 (TO POND)	4.18
PRE A-2 (TO ROAD)	1.26
POST A-1 (TO POND)	4.87
POST A-2 (TO ROAD)	0.89

MURPHY OIL U.S.A. INC.  
 422 N WASHINGTON AVE.  
 P.O. BOX 7000  
 EL DORADO, AR 71730-7000

**MURPHY USA**

MURPHY USA #6672  
 WALMART SUPERCENTER #3230  
 403 BRYANT AVE.  
 BRYANT, AR

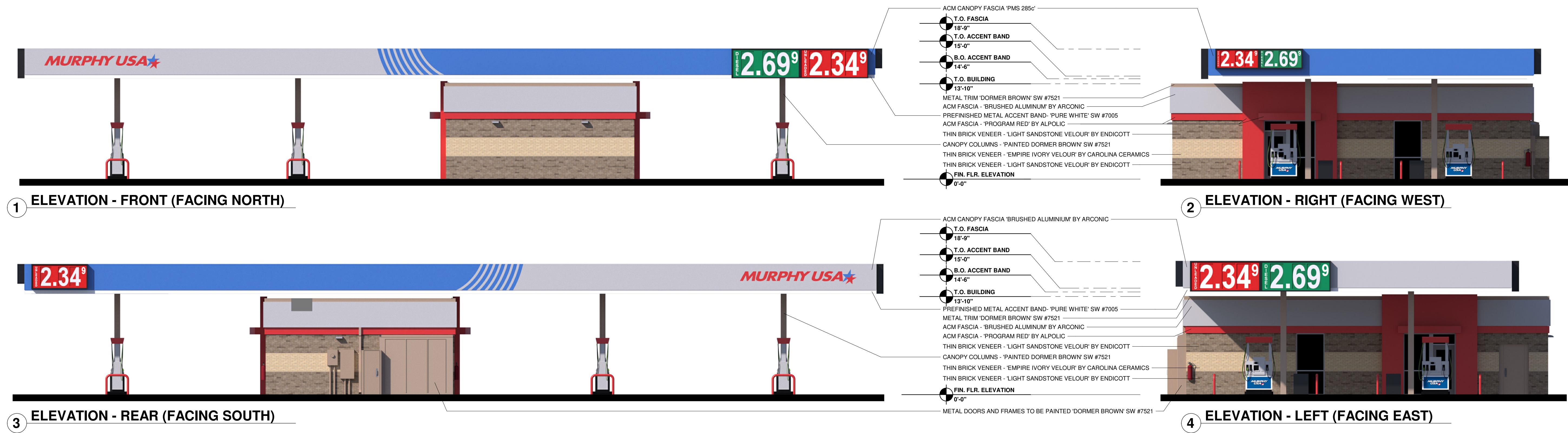


PROFESSIONAL OF RECORD	POR
PROJECT MANAGER	CRM
DESIGNER	ASM
CEI PROJECT NUMBER	33155
DATE	5/9/2023
REVISION	REV-0

DRAINAGE MAP  
 SHEET TITLE

**D-1**

DRAWING LOCATION: P:\33000\33155\DRAWINGS\DESIGN\WORKING\33155-DP-DWG - SAVED BY: AMCDANIEL



**5 TRASH ENCLOSURE**

**SIGNAGE COLOR CHART**

BUILDING - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS

MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED
	WHITE	EASTMAN WHITE

CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR

UNLEADED	RED	3M 3632-73
	WHITE	3M 3632-20
DIESEL	DIGIT	RED/WHITE
	CABINET	BLACK
	GREEN	3M 3632-26
	WHITE	3M 3632-20
DIESEL	DIGIT	GREEN/WHITE
	CABINET	BLACK

CANOPY SIGNS :	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY USA CANOPY LOGO SIGN	2			33.54	67.08
LARGE CANOPY PRICE SIGN (UNL/DSL)	4	51.25"	118.00"	42.00	168.00
MEDIUM CANOPY PRICE SIGN (UNL)	1	43.13"	97.00"	29.05	29.05
SMALL CANOPY PRICE SIGN (UNL/DSL)	2	34.13"	74.00"	17.54	35.08
<b>CANOPY SIGNS TOTAL SIGNAGE :</b>					<b>299.21 S.F.</b>
<b>TOTAL SIGN AREA :</b>					<b>299.21 S.F.</b>



BRYANT, AR (403 BRYANT AVENUE)  
WM #3230  
APRIL 28, 2023





*Civil Engineering, Landscape Architecture,  
Survey, Planning & Program Management*

3030 LBJ Freeway, Suite 100  
Dallas, TX 75234  
Office: 972.488.3737  
Toll-free: 1.877.488.3737  
ceieng.com

May 8, 2023

City of Bryant  
Planning Department  
210 SW 3<sup>rd</sup> Street  
Bryant, AR 72022  
501-943-0309

**Re: Murphy Oil USA**

City of Bryant Planning Department,

On behalf of Murphy USA, CEI Engineering Associates, Inc. is pleased to present a new Murphy raise and rebuild project in the City of Bryant located at 403 Bryant Avenue.

The property is zoned C2 and has area of 0.74 +/- Acres. The existing kiosk and canopy on site will be removed and new structures will be built instead. The new kiosk will have floor area of 1,400 SF and the proposed canopy will have 6 MPDs or 12 fueling position.

The overall layout will remain the same and the drainage pattern on site will be preserved.

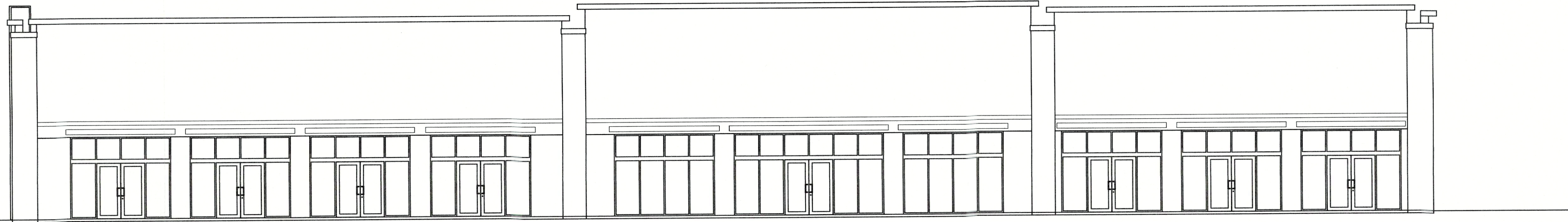
The impervious area on site will increase by approximately 2,200 SF.

The existing utility stubs will be reused where possible.

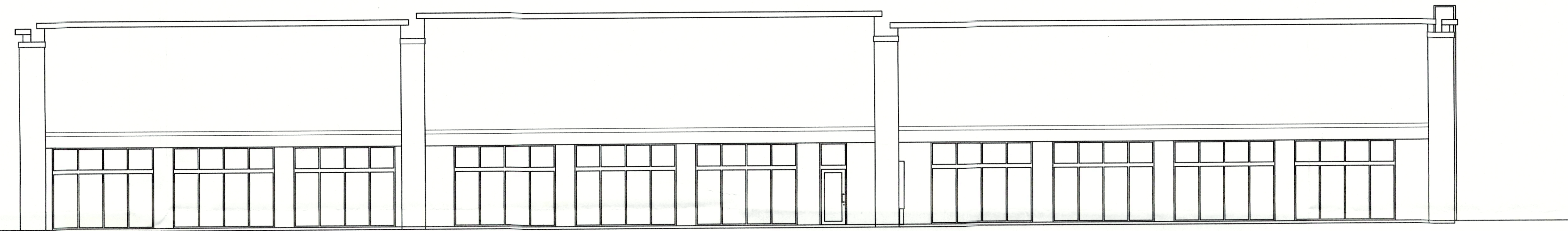
Respectfully Submitted,

*Rado Nedkov*

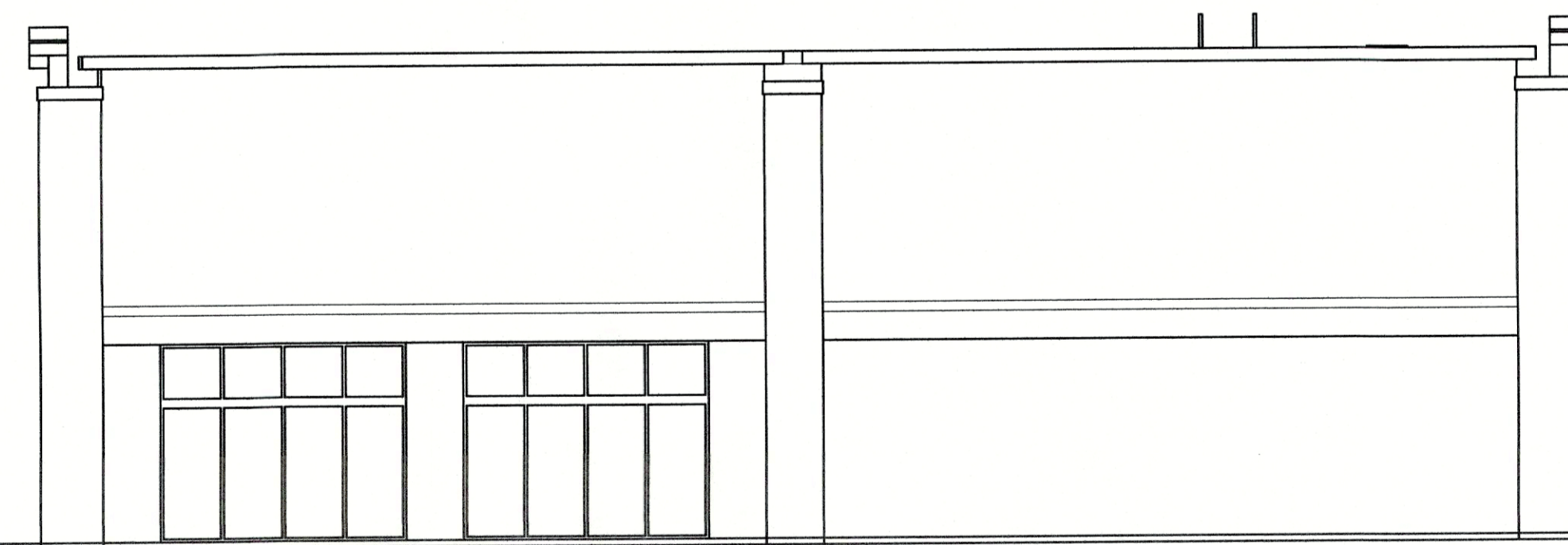
Rado Nedkov, RLA, ASLA, CID  
Program Manager  
Ph: (610) 329.5772  
rnedkov@ceieng.com  
**CEI Engineering Associates, Inc.**



Front, West Elevation



Back, East Elevation



Side, South Elevation



Side, North Elevation

Stormwater Pollution Prevention Plan (SWPPP) for Construction Activity  
for Small Construction Sites

National Pollutant Discharge Elimination System (NPDES)  
General Permit # ARR150000

Prepared for:

Anchor Realty

Date:

May 9, 2023

Prepared by:

Bond Consulting Engineers, Inc.

Project Name and Location: Reynolds Centre Commercial Expansion

Property Parcel Number (Optional): 840-12104-003

Operator Name and Address: Anchor Realty Investments, LLC  
102 Country Club Parkway  
Maumelle, AR 72113

**A. Site Description**

- a. Project description, intended use after NOI is filed: The site will be the home of a new commercial building in an existing development.
- b. Sequence of major activities which disturb soils:
  - a. Installation of erosion control measures
  - b. Clear and grub underbrush
  - c. Mass earth work
  - d. Install storm drainage infrastructure
  - e. Grade area to drain
  - f. Periodically remove accumulated sediment from around silt fences and other areas
  - g. Obtain vegetation around completed structures
  - h. Stabilization of disturbed soils
  - i. Removal of erosion control measures, as needed
- c. Total Area: 1.06 ac                      Disturbed Area: 1.06 ac

**B. Responsible Parties**

*Be sure to assign all SWPPP related activities to an individual or position; even if the specific individual is not yet known (i.e. contractor has not been chosen).*

Individual/Company	Phone Number	Service Provided for SWPPP (i.e., Inspector, SWPPP revisions, Stabilization Activities, BMP Maintenance, etc.)
Erosion Control Contractor	n/a	All SWPPP Services

**C. Receiving Waters**

- a. The following waterbody (or waterbodies) receives stormwater from this construction site: An unnamed tributary of Crooked Creek; thence into Crooked Creek; thence into Fourche Creek; thence into the Arkansas River.
- b. Is the project located within the jurisdiction of an MS4?  Yes  No

- i. If yes, Name of MS4: City of Bryant
- c. Ultimate Receiving Water:
- |                                                    |                                            |
|----------------------------------------------------|--------------------------------------------|
| <input type="checkbox"/> Red River                 | <input type="checkbox"/> White River       |
| <input type="checkbox"/> Ouachita River            | <input type="checkbox"/> St. Francis River |
| <input checked="" type="checkbox"/> Arkansas River | <input type="checkbox"/> Mississippi River |

D. Site Map Requirements (Attach Site Map):

- a. Pre-construction topographic view;
- b. Direction of stormwater flow (i.e., use arrows to show which direction stormwater will flow) and approximate slopes anticipated after grading activities;
- c. Delineate on the site map areas of soil disturbance and areas that will not be disturbed under the coverage of this permit;
- d. Location of major structural and nonstructural controls identified in the plan;
- e. Location of main construction entrance and exit;
- f. Location where stabilization practices are expected to occur;
- g. Locations of off-site materials, waste, borrow area, or equipment storage area;
- h. Location of areas used for concrete wash-out;
- i. Location of all surface water bodies (including wetlands) with associated natural buffer boundary lines. Identify floodplain and floodway boundaries, if available;
- j. Locations where stormwater is discharged to a surface water and/or municipal separate storm sewer system if applicable,
- k. Locations where stormwater is discharged off-site (should be continuously updated);
- l. Areas where final stabilization has been accomplished and no further construction phase permit requirements apply;
- m. A legend that identifies any erosion and sediment control measure symbols/labels used in the site map and/or detail sheet; and
- n. Locations of any storm drain inlets on the site and in the immediate vicinity of the site.

E. Stormwater Controls

- a. Initial Site Stabilization, Erosion and Sediment Controls, and Best Management Practices:
  - i. Initial Site Stabilization: 1.06 acres of area will be disturbed over the duration of the project. Construction of streets, water, sanitary sewer, gas, electric, phone, and cable shall be the areas initially disturbed.

- ii. Erosion and Sediment Controls: Silt fencing around the site, concrete washout areas, and construction entrances will be installed before construction begins.
- iii. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the operator will replace or modify the control for site situations: Yes No  
If No, explain: \_\_\_\_\_  
\_\_\_\_\_
- iv. Off-site accumulations of sediment will be removed at a frequency sufficient to minimize off-site impacts: Yes No  
If No, explain: \_\_\_\_\_  
\_\_\_\_\_
- v. Sediment will be removed from sediment traps or sedimentation ponds when design capacity has been reduced by 50%: Yes No  
If No, explain: \_\_\_\_\_  
\_\_\_\_\_
- vi. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges: Yes No  
If No, explain: \_\_\_\_\_  
\_\_\_\_\_
- vii. Off-site material storage areas used solely by the permitted project are being covered by this SWPPP: Yes No  
If Yes, explain additional BMPs implemented at off-site material storage area: \_\_\_\_\_  
\_\_\_\_\_

b. Stabilization Practices

- i. Description and Schedule: During construction of streets, utilities, sidewalks, and buildings, surrounding vegetation will be disturbed as required. After streets and utilities are installed, the areas that will no longer be disturbed will be seeded and BMP's installed until vegetation growth.
- ii. Are buffer areas required? Yes No  
If Yes, are buffer areas being used? Yes No  
If No, explain why not: \_\_\_\_\_  
\_\_\_\_\_  
If Yes, describe natural buffer areas: \_\_\_\_\_  
\_\_\_\_\_

- iii. A record of the dates when grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated shall be included with the plan.

Yes  No

If No, explain: \_\_\_\_\_

- iv. Deadlines for stabilization:

1. Stabilization procedures will be initiated 14 days after construction activity temporarily ceases on a portion of the site.
2. Stabilization procedures will be initiated immediately in portions of the site where construction activities have permanently ceased.

- c. Structural Practices

- i. Describe any structural practices to divert flows from exposed soils, store flows, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site: Silt fence barriers are being used around all exposed areas of the site that may be adversely affected by errant water flows.

- ii. Describe Velocity Dissipation Devices: No areas of the site are expected to have high velocity flow, however the silt fences will be placed in such a way to retard any flows that may occur.

- iii. Sediment Basins:

Are 10 or more acres draining to a common point?  Yes  No

Is a sediment basin included in the project?  Yes  No

If Yes, what is the designed capacity for the storage?

3600 cubic feet per acre = : \_\_\_\_\_

or

10 year, 24 hour storm = : \_\_\_\_\_

Other criteria were used to design basin: \_\_\_\_\_

If No, explain why no sedimentation basin was included and describe required natural buffer areas and other controls implemented instead: The site is an existing incomplete commercial development. The entirety of the site is planned for use either for buildings, roads or parking. The silt fencing will be sufficient to control any stormwater flows coming from the site.

- F. Other Controls

- a. Solid materials, including building materials, shall be prevented from being discharged to Waters of the State:  Yes  No

b. Off-site vehicle tracking of sediments and the generation of dust shall be minimized through the use of:

A stabilized construction entrance and exit

Vehicle tire washing

Other controls, describe: \_\_\_\_\_

c. Temporary Sanitary Facilities: Portable toilets will be available and shall be located away from any anticipated storm water flow. The contractor is responsible for regular cleaning of the portable toilets. All waste will be disposed of in proper waste

d. Concrete Waste Area Provided:

Yes

No. Concrete is used on the site, but no concrete washout is provided.

Explain why: \_\_\_\_\_

N/A, no concrete will be used with this project

e. Fuel Storage Areas, Hazardous Waste Storage, and Truck Wash Areas: No fuel storage or hazardous materials are anticipated on this project. However, no contaminants from fuel storage, hazardous materials, and truck washing shall be discharged to waters of the State. If truck washing occurs, then the water must be collected and contained and pumped out as required by a licensed operator for this type of operation.

#### G. Non-Stormwater Discharges

a. The following allowable non-stormwater discharges comingled with stormwater are present or anticipated at the site:

Fire-fighting activities;

Fire hydrant flushings;

Water used to wash vehicles (where detergents or other chemicals are not used) or control dust in accordance with Part II.A.4.H.2;

Potable water sources including uncontaminated waterline flushings;

Landscape Irrigation;

Routine external building wash down which does not use detergents or other chemicals;

Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled materials have been removed) and where detergents or other chemicals are not used;

Uncontaminated air conditioning, compressor condensate (See Part I.B.12.C of the permit);,

Uncontaminated springs, excavation dewatering and groundwater (See Part I.B.13.C of the permit);

Foundation or footing drains where flows are not contaminated with process materials such as solvents (See Part I.B.13.C of the permit);



- b. Describe any controls associated with non-stormwater discharges present at the site: The controls already in use on the site will be sufficient to contain any non-stormwater discharges on the site.

H. Applicable State or Local Programs: The SWPPP will be updated as necessary to reflect any revisions to applicable federal, state, or local requirements that affect the stormwater controls implemented at the site. Yes No

I. Inspections

a. Inspection frequency:

Every 7 calendar days

or

At least once every 14 calendar days and within 24 hours of the end of a storm even 0.25 inches or greater (a rain gauge must be maintained on-site)

b. Inspections:

Completed inspection forms will be kept with the SWPPP.

ADEQ's inspection form will be used (See Appendix B)

or

A form other than ADEQ's inspection form will be used and is attached (See inspection form requirements Part II.A.4.L.2)

c. Inspection records will be retained as part of the SWPPP for at least 3 years from the date of termination.

d. It is understood that the following sections describe waivers of site inspection requirements. All applicable documentation requirements will be followed in accordance with the referenced sections.

- i. Winter Conditions (Part II.A.4.L.4)
- ii. Adverse Weather Conditions (Part II.A.4.L.5)

J. Maintenance:

The following procedures to maintain vegetation, erosion and sediment control measures and other protective measures in good, effective operating condition will be followed: The site erosion control measures will be checked periodically by site personnel and by the inspector during his visits. Any measures deemed deficient will be identified and appropriate repairs will be initiated.

Any necessary repairs will be completed, when practicable, before the next storm event, but not to exceed a period of 3 business days of discovery, or as otherwise directed by state or local officials.

K. Employee Training:

The following is a description of the training plan for personnel (including contractors and subcontractors) on this project: All job foremen and inspectors will be taught how to recognize deficiencies and failures in the erosion control structures. They will be taught how to maintain any erosion control measures in place on the site, and will be instructed in how to lead workmen in maintaining and repairing said structures. They will be instructed to immediately contact job supervisors for consultation if there are any problems with the erosion control measures.

**\*\*Note**, Formal training classes given by Universities or other third-party organizations are not required, but recommended for qualified trainers; the permittee is responsible for the content of the training being adequate for personnel to implement the requirements of the permit.

Certification

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**ARR150000 Inspection Form**

Appendix A

Inspector Name: \_\_\_\_\_

Date of Inspection: \_\_\_\_\_

Inspector Title: \_\_\_\_\_

Date of Rainfall: \_\_\_\_\_

Duration of Rainfall: \_\_\_\_\_

Days Since Last Rain Event: \_\_\_\_\_ days

Rainfall Since Last Rain Event: \_\_\_\_\_ inches

Description of any Discharges During Inspection: \_\_\_\_\_

Location of Discharges of Sediment/Other Pollutant (specify pollutant & location): \_\_\_\_\_

Locations in Need of Additional BMPs: \_\_\_\_\_

**Information on Location of Construction Activities**

Location	Activity Begin Date	Activity Occurring Now (y/n)?	Activity Ceased Date	Stabilization Initiated Date	Stabilization Complete Date

**Information on BMPs in Need of Maintenance**

Location	In Working Order?	Maintenance Scheduled Date	Maintenance Completed Date	Maintenance to be Performed By

Changes required to the SWPPP: \_\_\_\_\_

Reasons for changes: \_\_\_\_\_

SWPPP changes completed (date): \_\_\_\_\_

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

# BMP Consideration Checklist

The BMPs listed here should be considered for every project. Those BMPs that are not included in the SWPPP should be checked as "Not Used" with a brief statement describing why it is not being used.

**Note: Appendix B and C do not have to be submitted with the SWPPP. These attachments are for use during the development of the SWPPP.**

EROSION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
EC-1 Scheduling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-2 Preservation of Existing Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-3 Hydraulic Mulch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-4 Hydroseeding	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-5 Soil Binders	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-6 Straw Mulch	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-7 Geotextiles & Mats	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-8 Wood Mulching	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-9 Earth Dikes & Drainage Swales	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-10 Velocity Dissipation Devices	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-11 Slope Drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EC-12 Stream bank Stabilization	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SEDIMENT CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
SE-1 Silt Fence	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-2 Sediment Basin	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-3 Sediment Trap	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-4 Check Dam	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-5 Fiber Rolls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-6 Gravel Bag Berm	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-7 Street Sweeping and Vacuuming	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-8 Sand Bag Barrier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-9 Straw Bale Barrier	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-10 Storm Drain Inlet Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
SE-11 Chemical Treatment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WIND EROSION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
WE-1 Wind Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

# BMP Consideration Checklist

TRACKING CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
TR-1 Stabilized Construction Entrance/Exit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TR-2 Stabilized Construction Roadway	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TR-3 Entrance/Outlet Tire Wash	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NON-STORM WATER MANAGEMENT BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
NS-1 Water Conservation Practices	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-2 Dewatering Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-3 Paving and Grinding Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-4 Temporary Stream Crossing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-5 Clear Water Diversion	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-6 Illicit Connection/ Discharge	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-7 Potable Water/Irrigation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-8 Vehicle and Equipment Cleaning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-9 Vehicle and Equipment Fueling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-10 Vehicle and Equipment Maintenance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-11 Pile Driving Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-12 Concrete Curing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-13 Concrete Finishing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-14 Material and Equipment Use Over Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-15 Demolition Adjacent to Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
NS-16 Temporary Batch Plants	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs				
BMP	BMP Considered for project	BMP Used	BMP Not Used	If not used, state reason
WM-1 Material Delivery and Storage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-2 Material Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-3 Stockpile Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-4 Spill Prevention and Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-5 Solid Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-6 Hazardous Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-7 Contaminated Soil Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-8 Concrete Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-9 Sanitary/Septic Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WM-10 Liquid Waste Management	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

# SWPPP Completion Checklist

Yes = Complete

No = Incomplete/Deficient

N/A = Not applicable to project

Yes	No	N/A	A. A site description, including:	Permit Section
			1. Project description, intended use after NOT	Part II.A.4.A.1
			2. Sequence of major activities	Part II.A.4.A.2
			3. Total & disturbed acreage	Part II.A.4.A.3
			<b>B. Responsible Parties: All parties dealing with the SWPPP and the areas they are responsible for on-site.</b>	Part II.A.4.B
			<b>C. Receiving Water.</b>	Part II.A.4.C
			-MS4 Name	Part II.A.4.C
			-Ultimate Receiving Water	Part II.A.4.C
			<b>D.Site Map --- See End of Evaluation Form</b>	Part II.A.4.F
			<b>E. Description of Controls:</b>	
			1. Erosion and sediment controls, including:	
			a. Initial site stabilization	Part II.A.4.G.1.a
			b. Erosion and sediment controls	Part II.A.4.G.1.b
			c. Replacement of inadequate controls	Part II.A.4.G.1.c
			d. Removal of off-site accumulations	Part II.A.4.G.1.d
			e. Maintenance of sediment traps/basins @ 50% capacity	Part II.A.4.G.1.e
			f. Litter, construction debris and chemicals properly handled	Part II.A.4.G.1.f
			g. Off-site storage areas and controls	Part II.A.4.G.1.g
			2. Stabilization practices:	
			a. Description and schedule for stabilization	Part II.A.4.G.2.a
			b. Description of buffer areas	Part II.A.4.G.2.b
			c. Records of stabilization	Part II.A.4.G.2.c
			d. Deadlines for stabilization	Part II.A.4.G.2.d
			3. Structural Practices:	
			-Describe structural practices to divert flows, store flows, or otherwise limit runoff	Part II.A.4.G.3
			a. Sediment basins	Part II.A.4.G.3.a.1
			-Are more than 10 acres draining to a common point? If so, are sediment basins included?	Part II.A.4.G.3.a.1
			-Sediment basin dimensions and capacity description and calculations	Part II.A.4.G.3.a.1
			-If a basin wasn't practicable, are other controls sufficient?	Part II.A.4.G.3.a.1
			b. Velocity dissipation devices concentrated flow from 2 or more acres	Part II.A.4.G.3.b
			<b>F. Other controls including:</b>	
			1. Solid waste control measures	Part II.A.4.H.1
			2. Vehicle off-site tracking controls	Part II.A.4.H.2
			3. Compliance with sanitary waste disposal	Part II.A.4.H.4
			4. Does the site have a concrete washout area controls?	Part II.A.4.H.5
			5. Does the site have fuel storage areas, hazardous waste storage and/or truck wash areas controls?	Part II.A.4.H.6
			<b>G. Identification of allowable non-storm water discharges</b>	Part II.A.4.I
			-Appropriate controls for dewatering, if present	Part I.B.12.C
			<b>H. State or local requirements incorporated into the plan.</b>	Part II.A.4.K

# SWPPP Completion Checklist

Yes = Complete

No = Incomplete/Deficient

N/A = Not applicable to project

Yes	No	N/A	I. Inspections	Permit Section
			1. Inspection frequency listed?	Part II.A.4.L.1
			2. Inspection form	Part II.A.4.L.2
			Ours.	
If not ours, does it contain the following items:				
			a. Inspector name and title	Part II.A.4.L.2.a
			b. Date of inspection.	Part II.A.4.L.2.b
			c. Amount of rainfall and days since last rain event (14 day only)	Part II.A.4.L.2.c
			d. Approx beginning and duration of storm event	Part II.A.4.L.2.d
			e. Description of any discharges during inspection	Part II.A.4.L.2.e
			f. Locations of discharges of sediment/other pollutants	Part II.A.4.L.2.f
			g. BMPs in need of maintenance	Part II.A.4.L.2.g
			h. BMPs in working order, if maintenance needed (scheduled and completed)	Part II.A.4.L.2.h
			i. Locations that are in need of additional controls	Part II.A.4.L.2.i
			j. Location and dates when major construction activities begin, occur or cease	Part II.A.4.L.2.j
			k. Signature of responsible/eognizant official	Part II.A.4.L.2.k
			3. Inspection Records	Part II.A.4.L.3
			4. Winter Conditions	Part II.A.4.L.4
			5. Adverse Weather Conditions	Part II.A.4.L.5
			<b>J. Maintenance Procedures</b>	Part II.A.4.M
			<b>K. Employee Training</b>	Part II.A.4.N
			<b>Signed Plan Certification</b>	Part II.A.7. and Part II.B.10
<b>D. Site Map showing:</b>				
			1. Pre-construction topographic view	Part II.A.4.F.1
			2. Drainage flow	Part II.A.4.F.2
			3. Approximate slopes after grading activities	Part II.A.4.F.2
			4. Areas of soil disturbance and areas not disturbed	Part II.A.4.F.3
			5. Location of major structural and non-structural controls.	Part II.A.4.F.4
			6. Location of main construction entrance and exit.	Part II.A.4.F.5
			7. Areas where stabilization practices are expected to occur.	Part II.A.4.F.6
			8. Locations of off-site materials, waste, borrow area or storage area.	Part II.A.4.F.7
			9. Locations of areas used for concrete wash-out.	Part II.A.4.F.8
			10. Locations of surface waters on site.	Part II.A.4.F.9
			11. Locations where water is discharged to a surface water or MS4.	Part II.A.4.F.10
			12. Storm water discharge locations.	Part II.A.4.F.11
			13. Areas where final stabilization has been accomplished.	Part II.A.4.F.12



2601 T.P. White Drive  
Jacksonville, AR 72076

TEL 501.982.1538  
FAX 501.982.1530

[www.bondce.com](http://www.bondce.com)

May 9, 2023

Mr. Truett Smith, Director  
Community Development  
210 S.W. 3<sup>rd</sup> Street  
Bryant, AR 72022

**RE: Site Plan – Reynolds Centre Commercial Expansion, Bryant, Arkansas**

Dear Mr. Smith:

We have attached 12 copies of the site plan and proposed elevations for the new building in the Reynolds Centre development. We have also attached 2 full sets of civil design plans and the storm water pollution prevention plan. As you know this is the last building of a larger development. Our client plans to use much of the existing site as is and disturb as little as necessary.

The landscape area for this building is relatively small and confined to parking islands and the southern border of the proposed building in this undeveloped section.

Most utilities already existing for the proposed area, but a sewer extension is planned to the existing sewer line on the West side of the property. The site is graded for surface stormwater flow. Since all site conditions are existing there is no additional detention planned.

Please feel free to call me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tommy Bond', with a large, stylized flourish at the end.

Tommy Bond P.E.

cc: Anchor Realty  
BCE # 9922



# Bryant Planning Commission

## SMALL SCALE DEVELOPMENT COMMERCIAL BUILDING CHECKLIST

CITY OF BRYANT  
210 SW 3<sup>RD</sup> STREET  
BRYANT, AR 72022  
501-943-0309

**PC MEETING DATE:** THURSDAY OF EACH WEEK  
**TIME:** 9:00 A.M.  
**PLACE:** ADMINISTRATION CONFERENCE ROOM-BRYANT OFFICE COMPLEX  
**AGENDA DEADLINE:** 5:00 P.M. FRIDAY PRIOR TO SCHEDULED MEETING DATE

### REQUIREMENTS FOR SUBMISSION

1. COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
2. ADA/ABA FORM COMPLETED
3. TWO FULL SETS OF BUILDING PLANS
4. 12 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
  - A. VICINITY MAP
  - B. LEGAL DESCRIPTION
  - C. LANDSCAPING PLAN
5. 12 FOLDED COPIES OF FLOOR PLAN
6. 12 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
7. A CD IN .PDF FORMAT
8. COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
9. 2 COPIES OF STORMWATER DETENTION PLAN
10. \$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

**ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.**

NOTE: WHEN MAKING CHANGES TO AN APPROVED SITE PLAN, A REVISED SITE PLAN MUST BE SUBMITTED TO THE BRYANT PLANNING COMMISSION FOR APPROVAL. THIS MUST BE DONE PRIOR TO IMPLEMENTATION. FAILURE TO COMPLY WILL RESULT IN PENALTIES/FINES BEING IMPOSED IN ACCORDANCE WITH CITY ORDINANCES.

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

  
\_\_\_\_\_  
SIGNATURE

May 9, 2023  
DATE

# City of Bryant Commercial Building Checklist

Name of Development REYNOLDS CENTRE COMMERCIAL EXPANSION  
Site Location PARCEL # 840-12104-003 Current zoning C-2  
Owner ANCHOR REALTY INVESTMENTS LLC Phone 501-701-0977

## I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- ▲ 1. Name of Development
- ▲ 2. Current zoning
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan
- ▲ 5. Date of preparation of the plan
- ▲ 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 7. Legal description of the property with exact boundary lines
- ▲ 8. North arrow & Scale
- ▲ 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway
- ▲ 10. Lot area in square feet
- ▲ 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34")
- ▲ 12. Existing streams, drainage channels, and other bodies of water
- ▲ 13. Drainage easements for stormwater run-off and detention shown & labeled
- ▲ 14. Location and name of existing streets
- ▲ 15. Show source of water supply
- ▲ 16. Show location of waste water connection to municipal system & sanitary sewer layout
- ▲ 17. Fire Hydrant placement
- ▲ 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets
- ▲ 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan
- ▲ 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated.
- ▲ 21. Location, massing and pattern of existing vegetation to be retained
- ▲ 22. Existing structures on the site
- ▲ 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc.
- ▲ 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context.
- ▲ 25. Any variance approvals

II ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan		
Proposed improvement is within building line setbacks Front _____ft. Side _____ft. CNR Side _____ft. Back _____ft.		
Parking requirements can be satisfied Floor Space _____sq.ft. divided by 300 = _____ (no. of parking spaces required)		
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)		
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation		
Will there be a dumpster located on the site?		
Will there be a construction site office?		
Have you made "One Call"?		
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines		
Design complies with Arkansas Plumbing Code and National Electric Code requirements		
Foundation and structure meet earthquake requirements for Zone 1.		
Structure meets Arkansas Energy Code for specified use.		
Complies with Arkansas Fire Prevention Code		
Complies with International Code Council regulations		
Will a Site Clearance Permit be required? (City Ordinance 2002-03)		
Are you granted any variances by the Board of Adjustment? If you have been granted a variance please explain in detail:		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Spacing will be 40' between trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree must be a minimum 3" in diameter at the base and 12' + tall	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing trees meeting the minimum size can be counted to meet above criteria	<input type="checkbox"/>	<input checked="" type="checkbox"/>
No trees can be planted within 30 feet of a property corner or driveway	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Shrubs along street right-of-way lines cannot exceed 30 inches in height	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS**

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
<b>1. C-1 Zoning - Neighborhood Commercial</b>		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 <b>2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183</b>		
Front Yard: not less than 50 feet from front property line	✓	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	✓	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	✓	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	✓	_____
Parking: one space per each 300 sq. ft. of occupied space	✓	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	✓	_____
 <b>3. C-2 Zoning - Lots fronting along roadways designated as interior local.</b>		
Front Yard: none required	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____

**V. SITE PLAN ATTACHMENTS**

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 26. Letter to Planning Commission stating your request
- ▲ 27. Completed Checklist
- ▲ 28. Completed ADA/ABA Form
- ▲ 29. Two full sets of Building Plans
- ▲ 30. 20 copies of Site Plan (folded to no larger than 8 1/2 X 14 size) that includes vicinity map and landscaping plan (minimum size 17" X 34" paper)
- ▲ 31. 20 copies of Landscaping Plan (folded to no larger than 8 1/2 X 14 size)
- ▲ 32. 20 copies of building floor plan (folded to no larger than 8 1/2 X 14 size)
- ▲ 33. Copy of Stormwater Detention approval
- ▲ 34. Copy of ADEQ Stormwater Pollution Prevention Plan for property containing one acre or larger.
- ▲ 35. IBM compatible diskette or CD with data in PDF format.
- ▲ 36. Receipt for \$250.00 for Stormwater Detention and Drainage Plan review

I CERTIFY that the design of \_\_\_\_\_  
 complies with the above regulations, laws and codes.

in the City of Bryant, Arkansas

*Bryan Roney*  
 \_\_\_\_\_  
 Owner

*A.R. B. D.*  
 \_\_\_\_\_  
 Engineer/Architect

7301 River Pointe Drive  
 \_\_\_\_\_

501-782-2334  
 \_\_\_\_\_

Mailing Address

Phone #

North Little Rock, AR 72113  
 \_\_\_\_\_

May 7, 2023  
 \_\_\_\_\_

City

Date

**CITY USE**

Action Taken:

Special Conditions:

Permit Issued:	Date: _____	Sq.Ft.: _____	Amount \$: _____
----------------	-------------	---------------	------------------

Construction Completed Certified For Occupancy:	Date: _____
	Inspector: _____

Permit No. \_\_\_\_\_

## BUILDING PERMIT

### ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board  
1331 F Street, NW, Suite 1000  
Washington, DC 20004-1111  
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)  
(800) 872-2253 (v) (800) 993-2822 (TTY)  
email: [info@access-board.gov](mailto:info@access-board.gov)

Signature of Contractor or Authorized Agent *Bryan Rooney* Date 5/9/23

Signature of Owner (if owner-builder) \_\_\_\_\_ Date \_\_\_\_\_

Application of Permit Approved: \_\_\_\_\_ Date \_\_\_\_\_  
Commission - Chairman

# CORPORATE CENTER DR.

## NOTES

SURVEY BEARINGS ARE BASED ON GRID NORTH AR STATE PLANE SOUTH ZONE AS DETERMINED BY GPS

THE BEARINGS SHOWN ON THIS PLAT ARE ASSUMED AND ARE TO BE USED TO DEFINE THE GENERAL DIRECTION AND TRUE ANGLES AT INTERSECTION OF PROPERTY AND LAND LINES.

TRACT IS SUBJECT TO EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AND PLANNING AND ZONING REGULATIONS OF RECORD, IF ANY, AND IS SUBJECT TO SUCH FACTS AS AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

NO STATEMENT IS MADE AS TO THE EXISTENCE OR LOCATION, EXCEPT WHERE SHOWN OF ANY PROPERTY CORNER MONUMENTS.

NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MEASUREMENTS PRIOR TO BEGINNING CONSTRUCTION. (IF APPLICABLE).

SURVEY VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR IN RED, PRESENT ON IT.

UTILITIES NOT FIELD VERIFIED. NO OTHER STATEMENT IS MADE AS TO UTILITY EXISTENCE OR LOCATION.

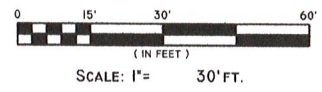
I CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, CORNER MONUMENTS HAVE BEEN ESTABLISHED IN ACCORDANCE WITH EXISTING MONUMENTATION IN THE AREA AND IMPROVEMENTS IF ANY ARE AS SHOWN HEREON.

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

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**BASIS OF BEARING:**  
NAD-83 GRID NORTH  
ARSP SOUTH ZONE.



NE CORNER  
NW1/4 SW1/4 SECTION 13  
AS SHOWN ON SURVEY BY  
GEORGE P. WOODEN DATED  
10-31-2020 AND ON  
SURVEY BY JAMES A.  
RASBURY DATED  
11-8-2021

FOUND 1/2"  
REBAR NE  
CORNER LOT  
15 LEXINGTON  
PARK PH 2

PROPERTY DESCRIPTION AS RECORDED, INSTRUMENT  
2022-003860:

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 13, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID NW1/4 OF SW1/4; THENCE SOUTH 05 DEGREES 37 MINUTES 55 SECONDS WEST, 392.45 FEET TO THE NORTHEAST CORNER OF LOT 15, LEXINGTON PARK, PHASE II, AN ADDITION TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS; THENCE SOUTH 67 DEGREES 00 MINUTES 56 SECONDS WEST ALONG THE NORTH LINE OF SAID LEXINGTON PARK, PHASE II, 406.18 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 67 DEGREES 00 MINUTES 56 SECONDS WEST, ALONG SAID NORTH LINE, A DISTANCE OF 95.98 FEET; THENCE NORTH 23 DEGREES 58 MINUTES 27 SECONDS WEST, A DISTANCE OF 185.45 FEET TO THE SOUTH LINE OF CORPORATE CENTER DRIVE STREET; THENCE NORTH 67 DEGREES 01 MINUTES 22 SECONDS EAST, ALONG SAID SOUTH LINE A DISTANCE OF 99.19 FEET; THENCE SOUTH 22 DEGREES 59 MINUTES 04 SECONDS EAST, A DISTANCE OF 185.41 FEET TO THE POINT OF BEGINNING.



**PART OF  
NW1/4-SW1/4  
SECTION 13  
0.42 ACRES ±**

FOUND 1/2"  
REBAR  
(P.S.1506)

FOUND 1/2"  
REBAR  
(P.S.1506)  
P.O.B.

FOUND 1/2"  
REBAR  
(P.S.1506)

FOUND 1/2"  
REBAR

FOUND 1/2"  
REBAR  
(P.S.1506)

N65°08'44"E 99.26' MEAS.  
(N67°01'22"E 99.19' DEED)

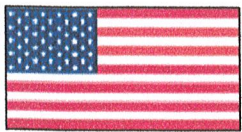
N65°05'46"E 98.02'

N23°54'47"W 184.70' MEAS.  
(N23°58'27"W 185.45' DEED)

S24°56'25"E 185.50' MEAS.  
(S22°59'04"E 185.41' DEED)

S65°38'42"W 96.13' MEAS.  
(S67°00'56"W 95.98' DEED)

S65°03'10"W 406.00' MEAS.  
(S67°00'56"W 406.18' DEED)

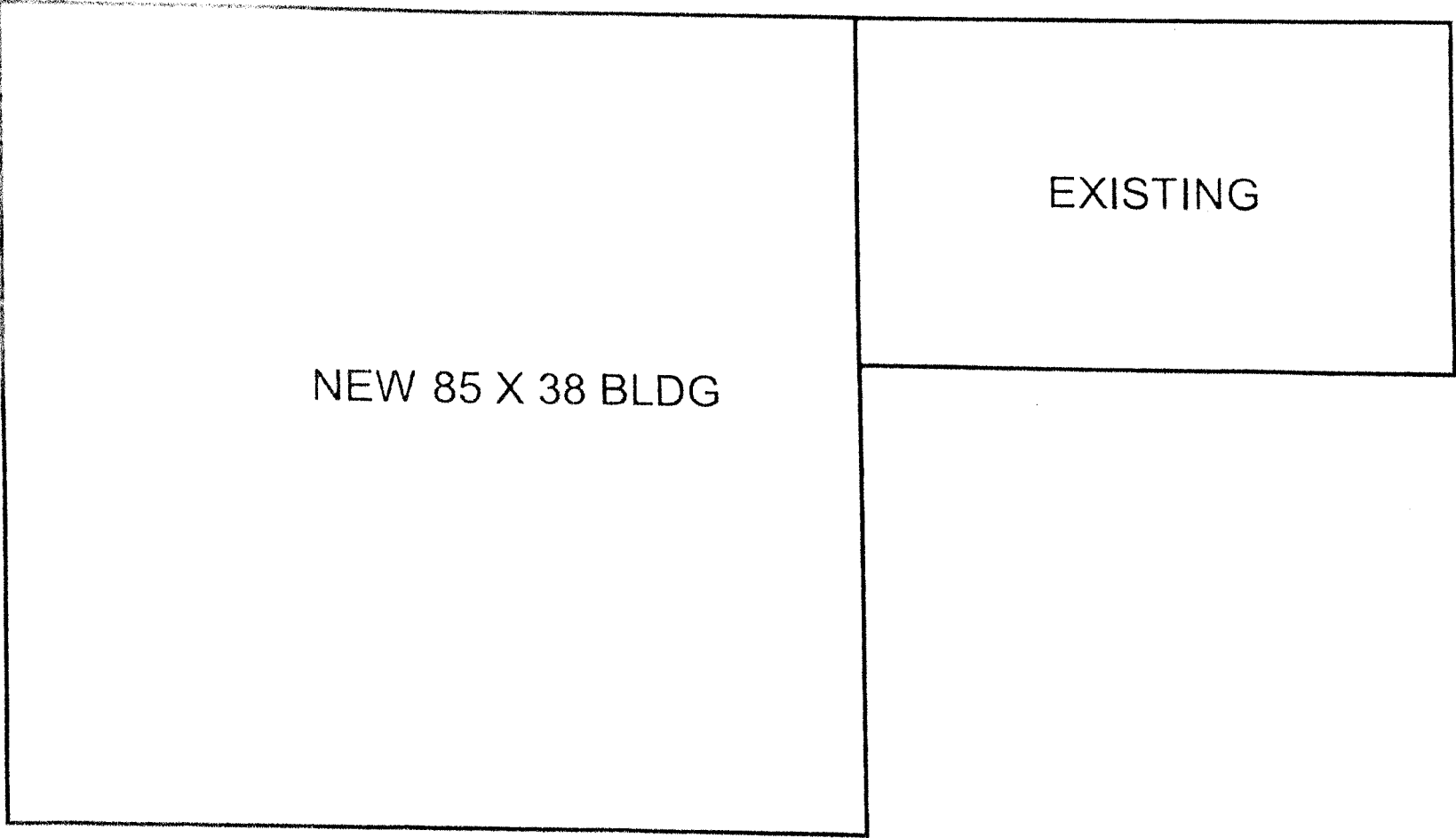


DATE: 04-05-2023  
SCALE: 1" = 30'  
DRAWN BY: MSF  
CHECKED BY: MSF  
FILE NAME: SECTION 13



**ARKANSAS SURVEYING & CONSULTING**  
1926 SALEM ROAD  
BENTON, ARKANSAS 72019  
TELE. OFFICE (501) 794-4500  
CLARENDON ARKANSAS, 72029  
TELE OFFICE (870) 747-1761

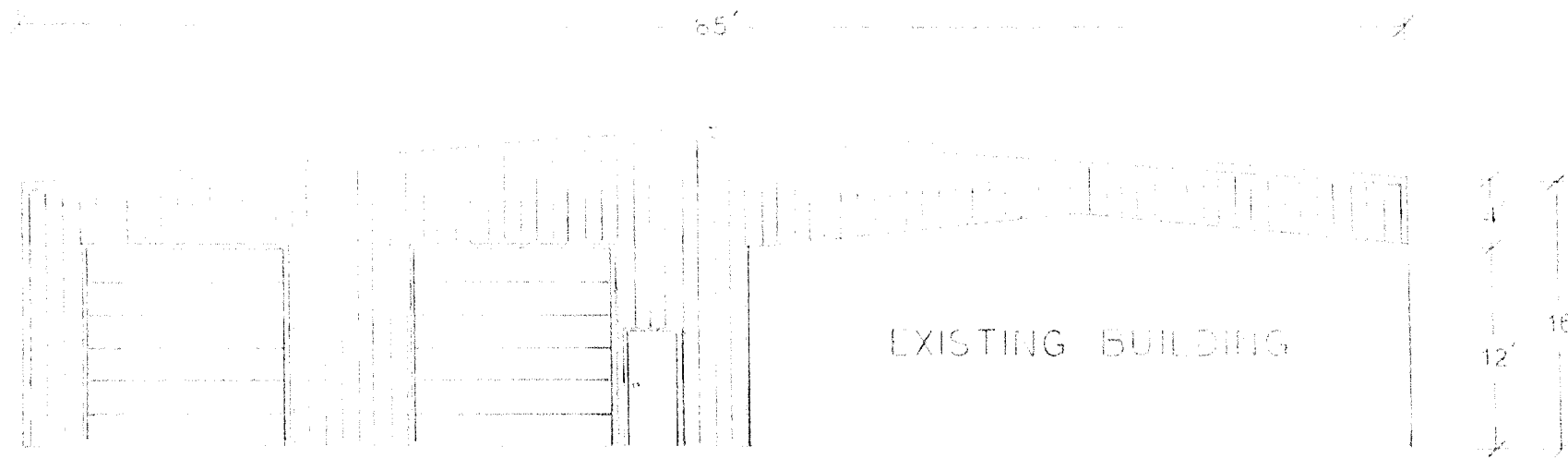
ARKANSAS SERVICE ONE HVAC INC.  
3015 CORPORATE CENTER DRIVE  
PROPERTY SURVEY  
500-01S-14W-0-13-240-62-1467



NEW 85 X 38 BLDG

EXISTING



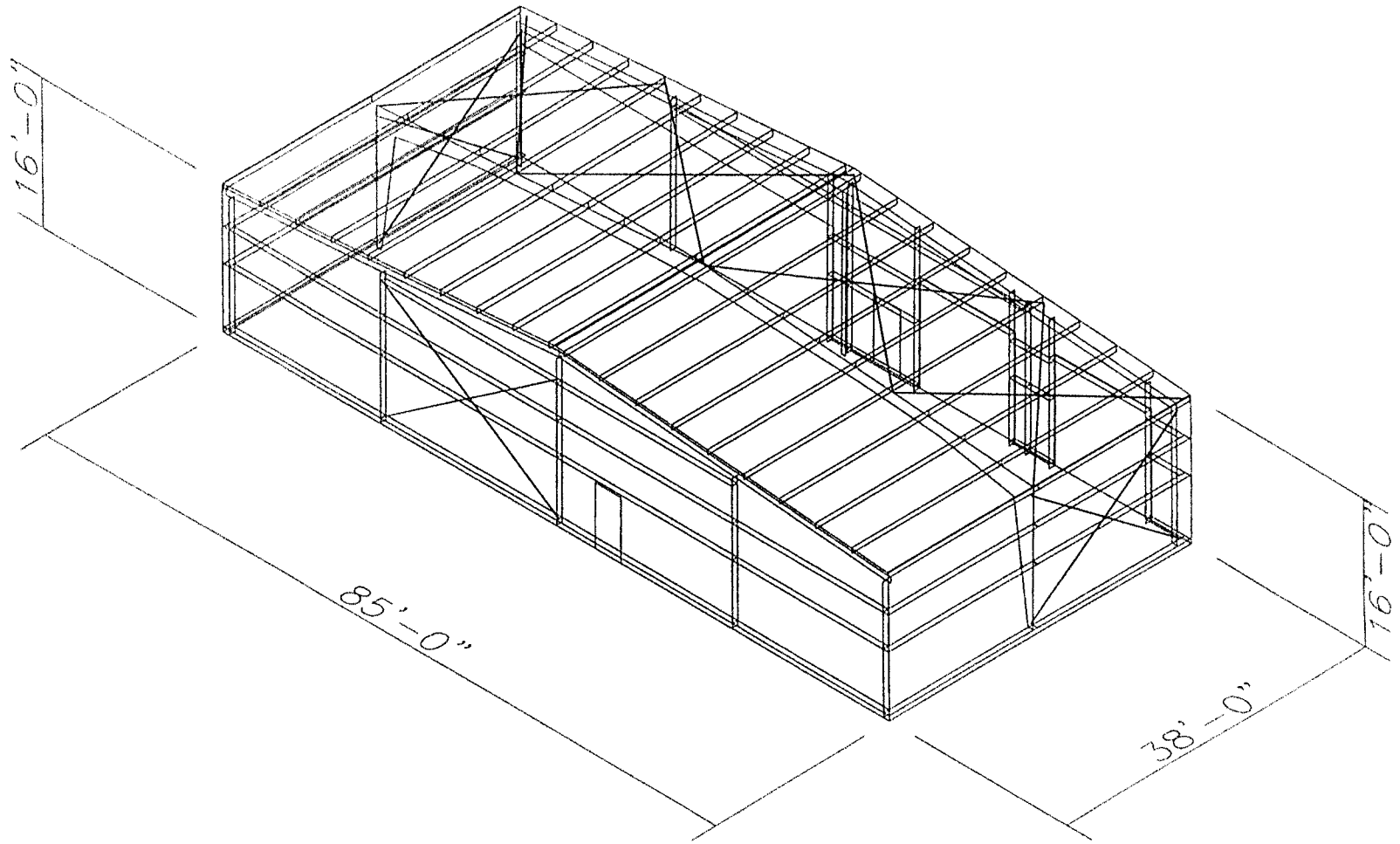


ASO HVAC

3015 CORPORATE CENTRE DR.  
 BRYANT, ARKANSAS 72022

PROPERTY OF  
 B & S ENTERPRISES  
 P.O. BOX 17543  
 N. LITTLE ROCK, AR 72117

SCALE: 1/4" = 1'





**To: City of Bryant**

**From: Mark Emmerling, Arkansas Service One HVAC**

**Date: 4/10/ 2023**

**RE: Request To Add 80x40 Building to 3015 Corporate Center Dr Bryant Ar 72022**

---

Arkansas Service One HVAC would like to add an Additional 80x40 building to the rear of existing 40x60 building. The building function will be for warehouse and storage. We would like to request your approval to proceed with the project. Currently we use the outside perimeter of existing building for storage and have occurred theft and vandalism.

Thank you for your consideration in this matter. If you need additional information, please contact me at [memmerling@asohvac.com](mailto:memmerling@asohvac.com) or (501) 690-4822.

24341 Hwy. 10 East  
Ola, Ar 72853  
Office Phone 479-489-3298  
Fax 479-489-5679  
[www.a1fireworks.com](http://www.a1fireworks.com)



**Officers:**  
Mike Gongola ~ CEO  
Joan Rey ~ Office Manager  
Tanner Pemberton ~ Warehouse Manager

April 20, 2023

Dear City of Bryant,

We here at A-1 Fireworks would like to request a temporary business license for the dates of June 20, 2023 through July 10, 2023 please.

1. Enclosed you will find:
2. Completed Application and Checklist.
3. Check for the \$25.00 application fee.
4. Copy of the Certificate of Insurance for \$1,000,000.00.
5. Eight (8) copies of the Site Plan.

When the 20 x 50 tent is erected, exits will be provided per every 100 ft. and will be labeled with proper exit signs.

No Smoking signs will be posted at all entrance / exits. In addition smoking will not be permitted within 50 ft. of the firework tent / canopy.

2 ABC fire extinguishers, with a 2A rating or greater will provided and the travel distance between the extinguishers will be less than 75 ft. and will be clearly marked, and not placed higher than 3 ft. off the ground.

There will be no generator or combustion power sources within 25 ft. of the tent / canopy.

We will have the Bryant Fire Department / Fire Marshal's office conduct an inspection once the tent is erected and ready for business, yet prior to any sales made.

If there are any questions or concerns please feel free to call me at (479) 747-9304.

Sincerely,

Joan Rey

Office Manager

A-1 Fireworks



City of Bryant, Arkansas  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943



## Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at [www.cityofbryant.com](http://www.cityofbryant.com) under the Community Development tab.

Date: April 21, 2023

**Business Information:**

Name A-1 Fireworks  
 Federal Tax Employer ID Number 26-1711923  
 Arkansas State Sales Tax Number 00318073-5LS  
 Location of Proposed Temporary Business 25612 I-30, Bryant, AR, 72022

**Business Owner:**

Name Michael Gorgola  
 Address 24341 State Hwy 10 East  
01A, AR, 72853  
 Phone 479-489-3298  
 Email mike.gorgola65@gmail.com

**Contact Person:**

Name Joan Rey  
 Address 24341 State Hwy 10 East  
01A, AR, 72853  
 Phone 479-747-9304  
 Email joanrey@A1Fireworks.com

**Checklist for Submission**

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.  
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- ✓ Eight (8) copies of a **Site Plan**:
  - ✓ Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
  - ✓ Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
  - ✓ Show parking spaces dedicated by the owner of the property for use by the temporary business.
- ✓ Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits  
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- ✓ No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- ✓ 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- ✓ Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- ✓ Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

**READ CAREFULLY BEFORE SIGNING**

I Mike Bongola, do hereby certify that all information contained within this application is true and correct. I further certify that I agree too and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature Phil Gal



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/19/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Britton Gallagher One Cleveland Center, Floor 30 1375 East 9th Street Cleveland OH 44114	<b>CONTACT NAME:</b> PHONE (A/C, No., Ext): 216-658-7100	FAX (A/C, No): 216-658-7101	
	<b>E-MAIL ADDRESS:</b>		
<b>INSURED</b> Winco Fireworks International LLC 12521 15th Street Grandview MO 64030	<b>INSURER(S) AFFORDING COVERAGE</b>		
	<b>INSURER A:</b> Everest Indemnity Insurance Co.		<b>NAIC #</b> 10851
	<b>INSURER B:</b>		
	<b>INSURER C:</b>		
	<b>INSURER D:</b>		
	<b>INSURER E:</b>		
<b>INSURER F:</b>			

**COVERAGES**

CERTIFICATE NUMBER: 473636523

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<b>GENERAL LIABILITY</b>			S18ML02067-221	12/31/2022	12/31/2023	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$
	GEN'L AGGREGATE LIMIT APPLIES PER:						PERSONAL & ADV INJURY	\$ 1,000,000
	<input type="checkbox"/> POLICY	<input type="checkbox"/> PRO-JECT	<input checked="" type="checkbox"/> LOC				GENERAL AGGREGATE	\$ 2,000,000
	<b>AUTOMOBILE LIABILITY</b>						PRODUCTS - COMP/OP AGG	\$ 2,000,000
	<input type="checkbox"/> ANY AUTO							\$
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS					COMBINED SINGLE LIMIT (Ea accident)	\$
	<input type="checkbox"/> HIRED AUTOS	<input type="checkbox"/> NON-OWNED AUTOS					BODILY INJURY (Per person)	\$
	8166972217						BODILY INJURY (Per accident)	\$
	<b>UMBRELLA LIAB</b>						PROPERTY DAMAGE (Per accident)	\$
	<input type="checkbox"/> OCCUR							\$
	<b>EXCESS LIAB</b>						EACH OCCURRENCE	\$
	<input type="checkbox"/> CLAIMS-MADE						AGGREGATE	\$
	DED	RETENTION \$						\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>						WC STATU-TORY LIMITS	OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y / <input type="checkbox"/> N	N/A				E.L. EACH ACCIDENT	\$
	if yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

\*\*For premise liability – this certificate reflects coverage for the dates and location noted below only.\*\*

\*\*For product liability – this certificate reflects coverage for product purchased from the above referenced named insured only\*\*

Additional Insured extension of coverage is provided by above referenced General Liability policy where required by written agreement.

Dates of Coverage for 4th of July Season: 06/20/23 through 07/10/23

Dates of Coverage for Christmas/New Year Season: 12/10/23 through 12/31/23

Location: 25612 I-30 Bryant, AR 72022

See Attached...

**CERTIFICATE HOLDER****CANCELLATION**

A-1 Fireworks  
24341 Highway 10 East  
Ola AR 72853

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2010 ACORD CORPORATION. All rights reserved.

AGENCY CUSTOMER ID: \_\_\_\_\_

LOC #: \_\_\_\_\_



## ADDITIONAL REMARKS SCHEDULE

Page 1 of 1

AGENCY Britton Gallagher		NAMED INSURED Winco Fireworks International LLC 12521 15th Street Grandview MO 64030	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

### ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,  
FORM NUMBER: 25 FORM TITLE: CERTIFICATE OF LIABILITY INSURANCE

Operator: Carrie Simmons  
Landowner: Dion Simpson  
Additional Insured: Dion Simpson; A-1 Fireworks; Carrie Simmons



DEC 2023 w/ INSURANCE

# A-1 FIREWORKS

## COMMERCIAL LEASE

This lease is made between Dion Simpson  
(Lessor Name)

Of 25550 I-30 Bryant AR 72022  
(Mailing Address)

Herein called Lessor, and A-1 Fireworks of **24341 Hwy 10 East, Ola, Arkansas 72853**, herein called Lessee.

Lessee hereby offers to lease from Lessor the premises situated in Or near the **City of** Bryant  
**County of** Saline  
**State of:** Arkansas

**Described as:** 25612 I-30 Bryant AR  
72022

(Physical Location Address)

- Term and Rent:** Lessor demises the above premises as well As allowing use of power pole for a term of 45 days per year, Commencing June 1st, and terminating on July 15th for the Selling season of June 20<sup>th</sup> to July 5<sup>th</sup> 2023 or sooner and/or For a term of 31 days per year commencing December 15<sup>th</sup> 2023 and terminating January 15<sup>th</sup> 2024 as provided herein At the annual rental of;

\$ 3,000.00 Payable, 100% at the time lease is signed and Returned.

4-19-23  
CK# 5317  
\$3,000.00  
100%

DS [Signature]  
Initial Initial

1. All rental payments shall be made to Lessor, at the address Specified on front page.
- 2: **Use.** Lessee shall use and occupy the premises for Retail Sales of Fireworks. The premises shall be used for no Other purpose. Lessor represents that the premises may Lawfully be used for such purpose. Lessee may, at the Lessee's Expense, erect tents, utility poles, signs, banners, Balloons, Pendants, flags and other such paraphernalia as Deemed useful to aid in the selling of fireworks. All such Paraphernalia remains the property of the Lessee and will be Removed at the end of the lease agreement.
- 3: **Care and Maintenance of Premises:** Lessee acknowledges That the premises are in good order and repair, unless Otherwise indicated herein. Lessee shall, at his own Expense and at all times, maintain the premises in good Condition and shall surrender the same, at termination Hereof, in as good condition as received, normal wear and Tear excepted.
- 4: **Ordinances and Statutes:** Lessee shall comply with all Statutes, ordinances and requirements of all municipal State and federal authorities now in force, or which may Hereafter be in force, pertaining to the premises, Occasioned by or affecting the use thereof by Lessee.
- 5: **Assignment and Subletting:** Lessee shall not assign this Lease or sublet any portion of the premises without prior Written consent of the Lessor, which shall not be Unreasonably withheld. Any such assignment or Subletting without consent shall be void and, at the option Of the Lessor, may terminate this lease.

6: **Notices:** Any notice, which either party may or is Required to give shall be given by mailing the same, Postage prepaid, to Lessee or Lessor at The address specified on front page, or at such other places As may be designated by the parties from time to time.

7: **Heirs, Assigns, and Successors:** This lease is binding Upon and inures to the benefit of the heirs, assigns and Successors in interest to the parties.

8. **Waiver of Liability:** This agreement releases Dien Simpson From all liability relating to injuries or damages that may occur During the lease of property for the retail sales of fireworks. By Signing this agreement, I agree to hold Dien Simpson entirely free From any liability, including financial responsibility for injuries or Damages incurred, regardless of whether injuries are caused by Negligence.

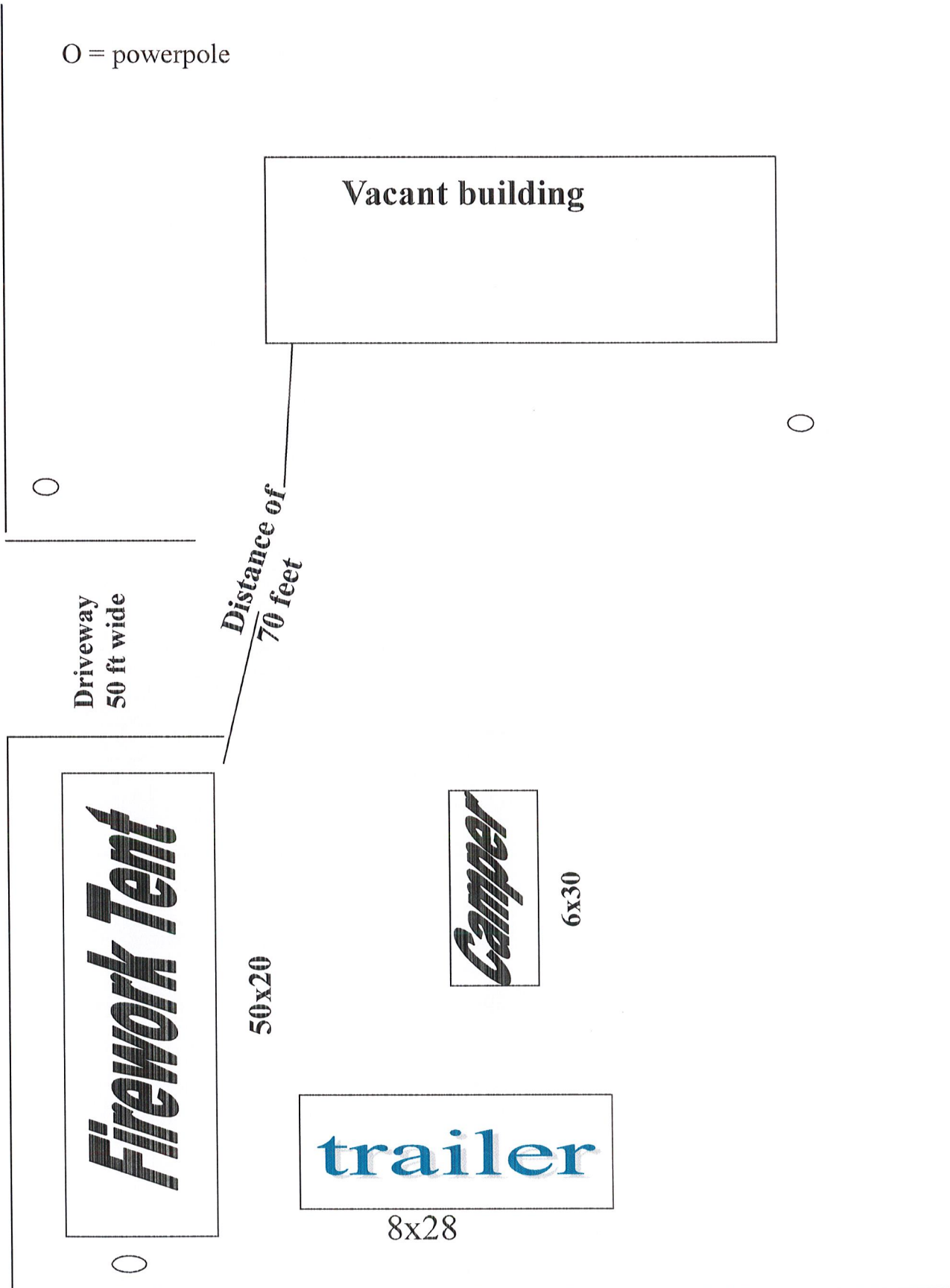
9: **Entire Agreement:** The foregoing constitutes the entire Agreement between the parties and may be modified only By a writing signed by both parties. The following exhibits, If any, have been made a part of this Lease before the Parties' execution hereof:

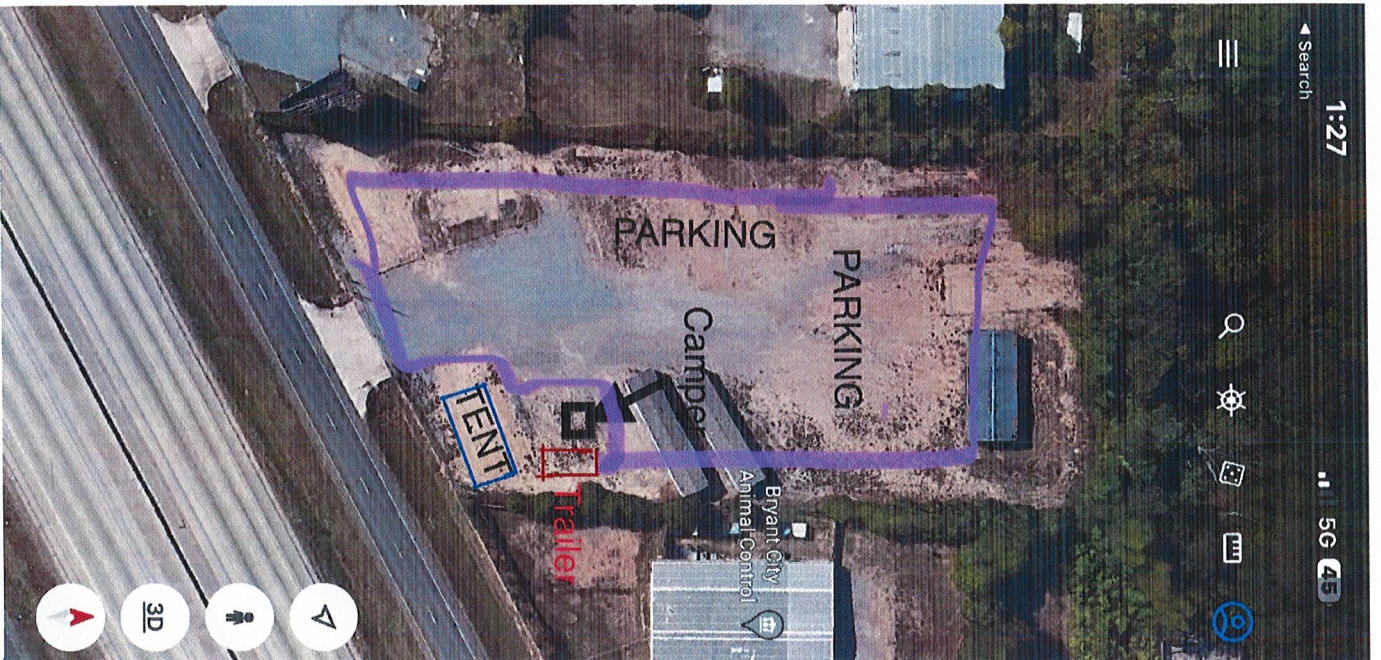
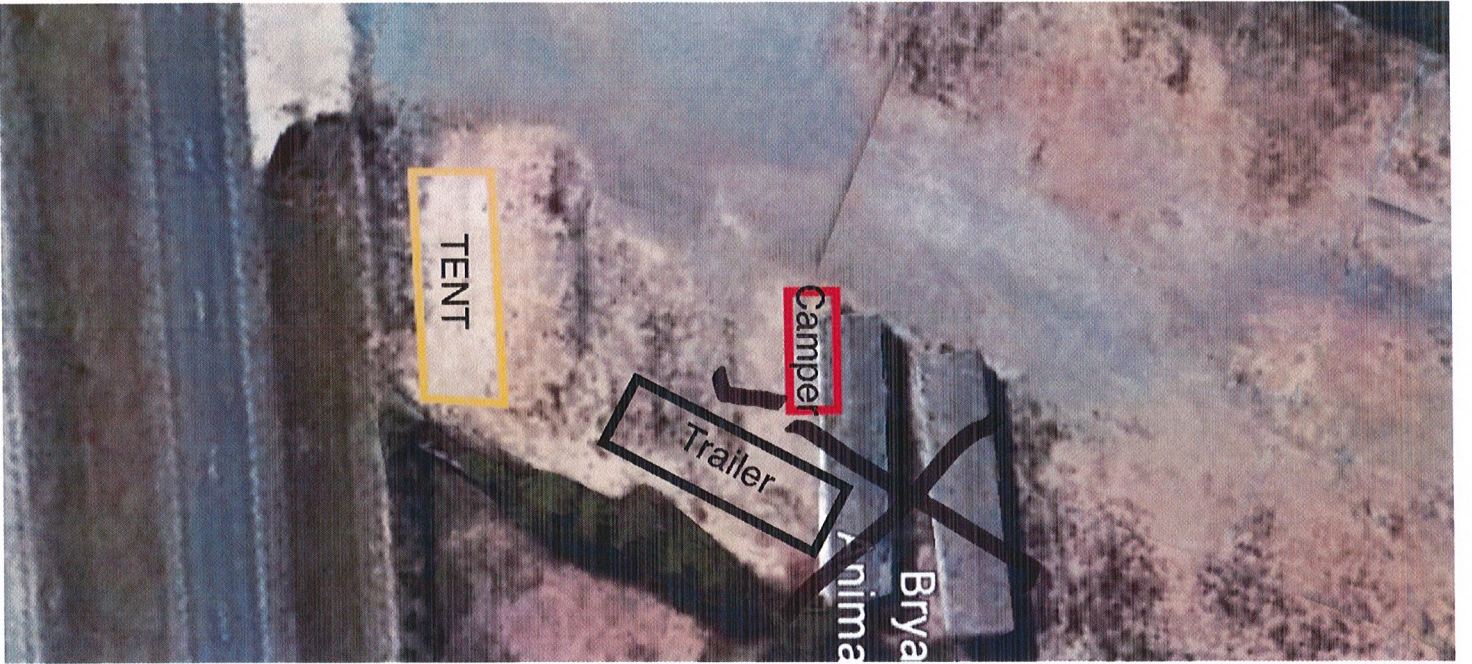
Signed this 19 day of April year 2023.

By: Dien Simpson (Lessor)

By: Jan Bey (Lessee)

O = powerpole







City of Bryant, Arkansas  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943



## Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at [www.cityofbryant.com](http://www.cityofbryant.com) under the Community Development tab.

Date: 4-2023

### Business Information:

Name Meramec Specialty Co. d.b.a. FireworksCity  
 Federal Tax Employer ID Number 43-0762804  
 Arkansas State Sales Tax Number 035048-18-001  
 Location of Proposed Temporary Business 6905 Hwy 5N., Bryant, AR. 72072

### Business Owner:

Name Mark Loyd/Kevin Bailey  
 Address P.O. Box 1150  
West Memphis, AR. 72303  
 Phone 870. 735. 1753  
 Email K.baileyar@aol.com  
Kristi.Loyd@aol.com

### Contact Person:

Name Kevin Bailey  
 Address 5505 Chesterfield Cove  
Bartlett, TN. 38134  
 Phone (901) 409. 1884  
 Email Kbaileyar@aol.com

### Checklist for Submission

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.  
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
  - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
  - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
  - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits  
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

**READ CAREFULLY BEFORE SIGNING**

I, KEVIN A. BAILEY, do hereby certify that all information contained within this application is true and correct. I further certify that I agree to and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature \_\_\_\_\_

*Kevin A. Bailey*

AN ORDINANCE TO LIMIT THE SALE AND DISCHARGE OF FIREWORKS WITHIN THE CITY OF BRYANT, AND FOR OTHER PURPOSES.

WHEREAS, it is the desire of the City of Bryant to maintain the safety and peace of the city.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Bryant, Arkansas, that:

Section 1: The term "fireworks" means and includes any combustible or explosive composition or any substance, combination of substances, or article prepared for the purpose of producing a visible or audible effect by combustion, explosion deflagration, or detonation and includes, but is not limited to, sky rockets, roman candles, daygo bombs, blank cartridges, toy cannons, toy canes, or toy guns in which explosives other than toy paper caps are used, the type of balloons which require fire underneath to propel them, firecrackers, torpedoes, sparklers, or other fireworks of like construction, any fireworks containing any explosive or flammable compound, or any tablet or other device containing any explosive substance. This definition includes items which contain even small amounts of silver fulminate, potassium nitrate, ammonium perchlorate, or other chemical or pyrotechnical composition intended to produce a pyrotechnic event or effect, even if not classified as a "hazardous material" under federal regulation.

Section 2: **Regulations**

- A. No individual, firm, partnership, corporation, or association shall possess for sale, sell, or offer for sale at retail, or discharge within the city limits, any fireworks, as defined herein, except as specifically provided in this chapter.
- B. No parent, guardian, or custodian of any child under the age of majority shall knowingly permit or consent to the possession or discharge of fireworks by any child under the age of majority without proper supervision. Possession or discharge by any child under the age of majority within the city limits shall be *prima facie* evidence of the knowing permission or consent of such parent, guardian, or custodian.
- C. No fireworks may be discharged within the boundaries of or within three hundred (300) feet of any public park owned or maintained by the City without a public display permit except as otherwise provided in this chapter. No fireworks may be discharged upon any public street, alley, road, or right-of-way, except as otherwise provided in this chapter. No fireworks may be discharged within 1000 feet of any



hospital, nursing, or assisted living facility. No fireworks may be discharged under or upon a motor vehicle, whether moving or not, or within 300 feet of any gas station; gas, oil, or propane storage facility; or other area which is highly flammable by nature.

D. Subject to the limitations contained in this chapter, fireworks, as listed below, may be discharged within the city limits only on private property of the owner, or with the owner's permission when such discharge is in a safe and sane manner, and limited to the 4th of July holiday only:

1. Between 12:00 p.m. and 10:00 p.m. July 3rd;
2. Between 12:00 p.m. and 10:00 p.m. July 4th; and
3. Between 12:00 p.m. and 10:00 p.m. July 5th;

And for the New Year's Day holiday only from 12:00 p.m. and 10:00 p.m. December 31st and 12:00 p.m. and 10:00 p.m. January 1st. As used in this part, "safe and sane manner" refers to actions which do not endanger life, limb or property of those in the area of the discharge. Nothing in allowing the discharge of fireworks within the city limits relieves the individual, firm, partnership, corporation, or association of its responsibility for any injury or damage caused to individuals or property by the discharge of the fireworks. Any discharge, with or without a permit, is at the individual, firm, partnership, corporation or association's own risk, and is not sanctioned by this ordinance.

E. When, in the opinion of the Fire Chief, drought or other conditions exist which, when coupled with the discharge of fireworks, would pose a hazard to persons or property, the Fire Chief shall issue a ban on the discharge of all fireworks until such time as the condition causing the ban ceases to exist.

F. Any individual, firm, partnership, corporation, or association discharging fireworks under this ordinance shall, upon such discharge, be responsible for clean-up of the discharge site, including disposal of all discharged fireworks, all non-discharged or "dud" fireworks, and the associated debris from the discharged fireworks in a safe manner.

G. The safe and sane discharge of fireworks in accordance with the provisions of this chapter shall not be deemed a violation of Ordinance 2005-05, otherwise known as the 'Noise Ordinance.'

**Section 3: Public Display Permitted When**

- A. Public display is permitted when performed in accordance with the Rules and Regulations of the Bryant Planning Commission and the State Fire Marshall. The most recent Rules & Regulations are hereby adopted by reference.

Section 4: The sale or display for sale of fireworks shall be unlawful within the City unless the appropriate firework permit is obtained from the City through the Planning Commission.

**Section 5: Enforcement**

- A. The Police Department, Fire Department and Code Enforcement Officers shall enforce the rules and regulations of this chapter.
- B. Any code enforcement officer, police officer or firefighter may, in the enforcement of this chapter, seize, impound, remove, or cause to be removed, at the expense of the owner, all stocks of fireworks offered for sale, sold, or in the possession of any individual, firm, partnership, corporation, or association in violation of this chapter. Notice of the seizure and the reasons for the seizure shall be reported to the Police Chief within 48 hours of the seizure.
- C. Fireworks seized under this section may be disposed of in a safe and proper manner by the Police Department ten days after seizure.
- D. Appeal of any seizure shall be filed with the Police Chief in writing within five working days of the seizure. The decision of the Police Chief on the appeal shall be final.

**Section 6: Violation – Penalty**

Any individual, firm, partnership, corporation, or association violating the provisions of this chapter shall be guilty of a misdemeanor and, upon conviction, shall be punished by a fine of not less than \$100 or more than \$500 for a first offense, a fine of not less than \$200 or more than \$500 for a second offense, and a fine of not less than \$300 or more than \$500 for a third or subsequent offense. Each day of a violation constitutes a separate offense. In the case of a violation by a firm, partnership, corporation, or association, the manager or members of the partnership or responsible officers or agents shall be deemed to be *prima facie* responsible, individually, and subject to the penalty as provided.

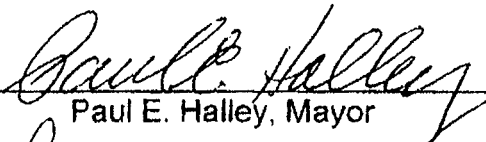
Any damages caused or injuries sustained as a result of any violation of this chapter shall be ordered paid as restitution as a part of any conviction for any violation.

The court may order the reimbursement of costs of enforcement, investigation, fire suppression services, and overtime related to a violation upon conviction.

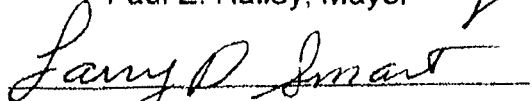
Section 7: Any previous ordinances in conflict herewith are hereby repealed.

Section 8: This ordinance shall take effect and be in full force from and after its passage.

PASSED AND APPROVED by the Bryant City Council on the day of ~~September~~ 25, 2006.

  
Paul E. Halley, Mayor

ATTEST:

  
Acting Mayor for this Meeting

CLERK:

  
Brenda Cockerham, City Clerk

**DRAYTON INSURANCE BROKERS, INC.**

2500 CENTER POINT ROAD, SUITE 301  
BIRMINGHAM, ALABAMA 35215  
PHONE: (205) 854-5806  
FAX: (205) 854-5899

POST OFFICE BOX 94067  
BIRMINGHAM, ALABAMA 35220  
EMAIL: dib@draytonins.com

**CERTIFICATE OF INSURANCE**

NO. 340203

We certify that insurance is afforded as stated below. This Certificate does not affirmatively or negatively amend, extend or alter the coverage afforded by the insurance policy and the insurance afforded is subject to all the terms, exclusions and conditions of the policy.

<b>INSURER</b>	Admiral Insurance Company	<b>POLICY NO.</b> CA000018967-10
<b>NAMED INSURED</b>	Atomic Fireworks Inc. of Arkansas Atomic Fireworks Inc. of Missouri Meramec Specialty Company P.O. Box 305 Arnold, Missouri 63010	T.E.A. Enterprises, Inc. Pacific Specialty Company West Alton Properties, Inc ATLG, LLC
<b>POLICY TERM</b>	March 1, 2023 to March 1, 2024; Both Days 12:01 A.M. Standard Time	
<b>COVERAGE</b>	Premises-Operations Liability:	<input checked="" type="checkbox"/> Occurrence Basis <input type="checkbox"/> Claims Made Basis
<b>LIMIT OF LIABILITY</b>	\$1,000,000 each occurrence, \$10,000,000 general aggregate The limit of liability shall not be increased by the inclusion of more than one insured or additional insured.	

**INSURED OPERATIONS** The sale of consumer fireworks (1.4G) and related products at the **Insured location**, during the **period of operation**.

It is certified that, for the period of operation stated below and when named below as such, this policy includes as **Additional Insureds** 1) the operator(s), sponsor(s), promoter(s), organizer(s), of the **Insured Premises** used principally for the retail sale of consumer fireworks supplied by the Named Insureds and/or 2) the owner(s), manager(s), tenant(s), mortgagee(s) (including other entities having similar interests), of the property on which the **Insured Premises** is located and/or 3) the licensing authority issuing a permit or license for the operation of the **Insured Premises** and/or 4) any entity for which the Named Insured is required, by written contract, to provide insurance such as is afforded by the terms of this policy.

**NAME(S) OF  
ADDITIONAL INSURED(S)**

Pinnacle Improvements, LLC- Property Owner  
Meramec Specialty Company-Stand Owner and Operator  
Stand Manager and Sub-Operator  
Licensing Authorities-State of Ar., City of Bryant

**ADDRESS OF  
INSURED PREMISES** An area measuring approximately 150' x 150' whose physical address is 6139 Hwy 5 N. in  
Bryant, Arkansas. #127B

**PERIOD OF OPERATION** March 1, 2023 through February 28, 2024

It is certified that this policy requires a 30 day mutual notice of cancellation between the Insurer and the Named Insured. In the event of such cancellation we will endeavor to mail 10 days written notice to the Additional Insured(s), whose name and address is shown hereon, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer and/or the undersigned.

**DRAYTON INSURANCE BROKERS, INC.**

  
A.J. STRINGER, PRESIDENT

**March 1, 2023**  
DATE OF ISSUE



# Western Surety Company

## CONTINUATION CERTIFICATE

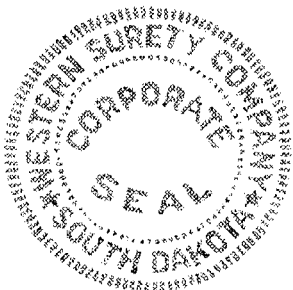
Western Surety Company hereby continues in force Bond No. 15146913 briefly described as TEMPORARY BUSINESS PERMIT CITY OF BRYANT, ARKANSAS  
 \_\_\_\_\_,  
 for MERAMEC SPECIALTY COMPANY  
 \_\_\_\_\_, as Principal,  
 in the sum of \$ ONE THOUSAND AND NO/100 Dollars, for the term beginning May 20, 2023, and ending May 20, 2024, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 5th day of April, 2023.

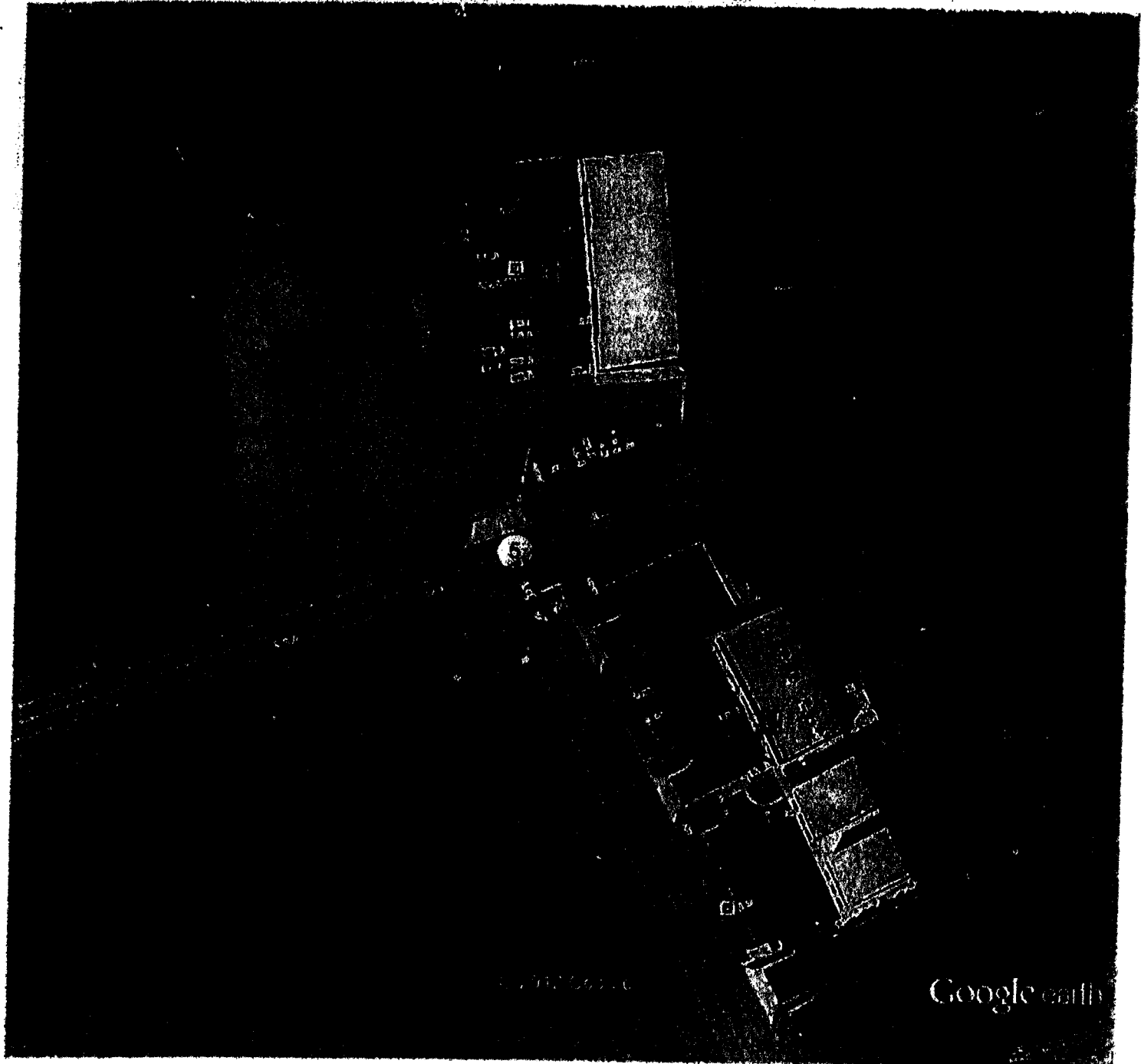
WESTERN SURETY COMPANY

By Paul T. Bruhat  
 Paul T. Bruhat, Vice President



**THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.**

6905 HWY. 5 N



Google earth



OUTDOOR MANAGEMENT DISPLAYS  
P.O. BOX 91  
ALEXANDER, AR 72002  
Telephone 501.847.1000

August 25, 2022

Bryant Planning Commission:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks on my property during the period of June 15, 2023 through July 10, 2023. The physical address of the property is 6905 Highway 5 in Bryant, Arkansas.

Sincerely,

OUTDOOR MANAGEMENT DISPLAYS



Billy Smith

August 4, 2022

City of Bryant Planning Commission:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks on my property during the period of June 15, 2023 through July 10, 2023. The physical address of the property is 6905 Highway 5 in Bryant, Arkansas.

Sincerely,

PINNACLE IMPROVEMENTS, LLC

A handwritten signature in black ink that reads "Rick Jones". The signature is written in a cursive style with a large, looped "R" and "J".

Rick Jones



*State of Arkansas*  
ARKANSAS SALES AND USE TAX PERMIT

MERAMEC SPECIALITY CO

DATE ISSUED:

P.O. BOX 1150

PERMIT NUMBER: 035048-18-00i

WEST MEMPHIS AR 72301

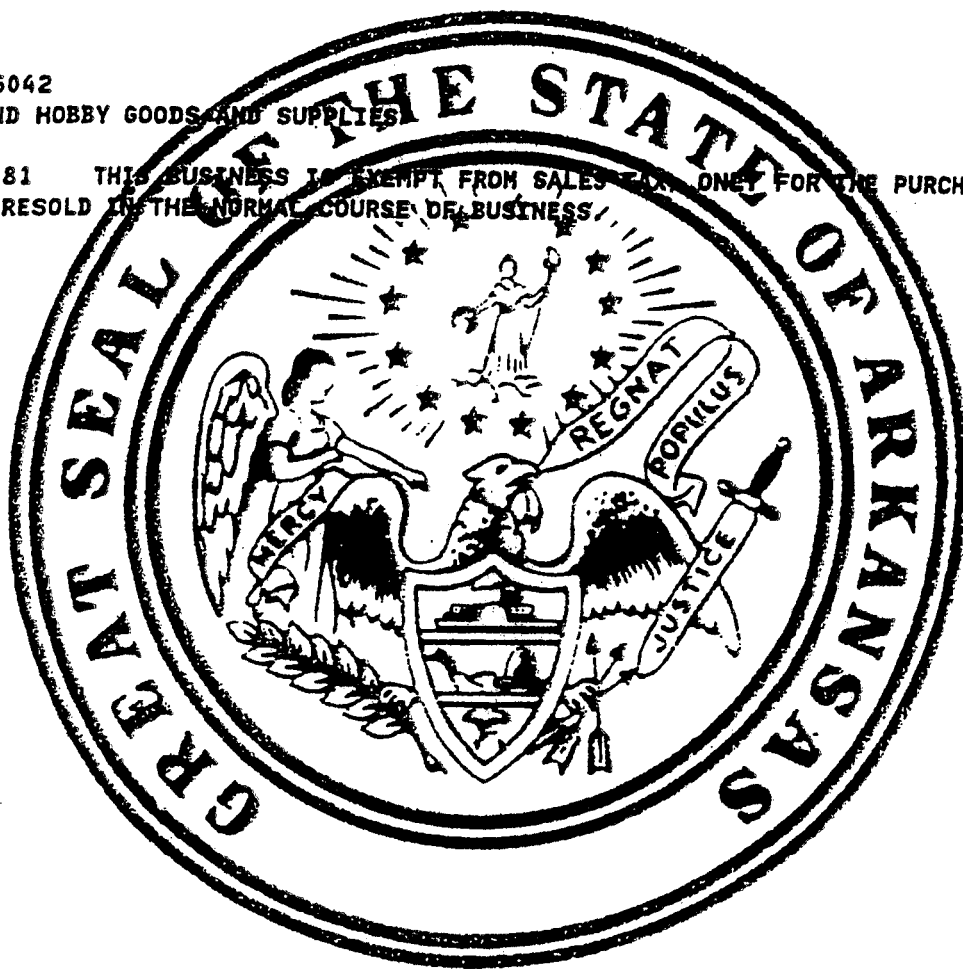
DLN:

DATE OPENED: 01/01/1965

SIC: 5042

TOYS AND HOBBY GOODS AND SUPPLIES

EXEMPTION: 81 THIS BUSINESS IS EXEMPT FROM SALES TAX ONLY FOR THE PURCHASES OF  
GOODS TO BE RESOLD IN THE NORMAL COURSE OF BUSINESS.



THIS PERMIT IS VALID UNTIL IT IS CANCELED AND SURRENDERED BY THE PERMIT HOLDER OR REVOKED BY THE COMMISSIONER OF REVENUES.

THIS PERMIT MUST BE SURRENDERED IF BUSINESS IS SOLD, DISCONTINUED OR LOCATION CHANGED.

WHEN THIS PERMIT IS SURRENDERED FOR ANY OF THE ABOVE REASONS, YOU MUST REPORT AND PAY ANY SALES OR USE TAX PLUS ANY PENALTIES OR INTEREST THAT IS OWED BY THIS BUSINESS. FAILURE TO PAY THESE TAXES WILL RESULT IN A LIEN BEING PLACED AGAINST THE STOCK AND FIXTURES OF THIS BUSINESS AND THE SAME IS ENFORCEABLE AGAINST PURCHASERS AND THIRD PARTIES.



# Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.  
3001 PROGRESS STREET  
DOVER, OHIO 44622

Date manufactured

06/02/10

140.01

This is to certify that the materials described below are flame-retardant and inherently nonflammable.  
FOR RIVER CITY TEXTS AND AWNING INC

CITY PINE BLUFF ADDRESS 3008 EVA DRIVE

STATE AR 71602

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

\* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

- NFPA-701 (Large Scale)
- CANULC-S108

MIL-C-45008

FMVSS-302

A-A-55308

SNYDER MANUFACTURING INC. BY Michael J. Gutz

STYLE PRV 13102 WITE 61" HI GLOSS

TITLE Supervisor, Quality Control

CONTROL NO. 18629

SNYDER B-ORDER NO. 216670

CUSTOMER ORDER NO. RAY

DATE PROCESSED 06/02/10

YARDS OR QUANTITY 375

DATE CERTIFIED 06/04/10

6-70-4-007-10



# Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

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SNYDER MANUFACTURING, INC.  
3001 PROGRESS STREET  
DOVER, OHIO 44622

Date manufactured

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- NFPA-701 (Large Scale)
- CANULC-S108

MIL-C-45008

FMVSS-302

A-A-55308

SNYDER MANUFACTURING INC. BY Michael J. Gutz

STYLE PRV 13102 WITE 61" HI GLOSS

TITLE Supervisor, Quality Control

CONTROL NO. 18664

SNYDER B-ORDER NO. 216670

CUSTOMER ORDER NO. RAY

DATE PROCESSED 06/02/10

YARDS OR QUANTITY 375

DATE CERTIFIED 06/04/10



# Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY  
SNYDER MANUFACTURING, INC.  
3001 PROGRESS STREET  
DOVER, OHIO 44622

Date manufactured  
02/07/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC

CITY PINE BLUFF

ADDRESS 3006 EVA DRIVE

STATE AR 71602

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

\* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Scale)

CANULC-S100

MIL-C-43006

FMVSS-302

A-A-55306

SNYDER MANUFACTURING INC. By *Michael B. Smith*  
PRV 13100 DARK BLUE 61" HI-GLOSS

TITLE Supervisor, Quality Control

CONTROL NO. 18347

SNYDER S-ORDER NO. 215565

CUSTOMER ORDER NO. VRL RAY

YARDS OR QUANTITY 73

DATE PROCESSED 02/07/11

DATE CERTIFIED 02/22/11



# Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY  
SNYDER MANUFACTURING, INC.  
3001 PROGRESS STREET  
DOVER, OHIO 44622

Date manufactured  
01/06/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC

CITY PINE BLUFF

ADDRESS 3006 EVA DRIVE

STATE AR 71602

The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

\* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Scale)

CANULC-S100

MIL-C-43006

FMVSS-302

A-A-55306

SNYDER MANUFACTURING INC. By *Michael B. Smith*  
PRV 13100 WHITE 61" HI GLOSS

TITLE Supervisor, Quality Control

CONTROL NO. 19254

SNYDER S-ORDER NO. 220003

CUSTOMER ORDER NO. RAY

YARDS OR QUANTITY 300

DATE PROCESSED 01/06/11

DATE CERTIFIED 01/21/11



**ARKANSAS STATE POLICE**  
 REGULATORY and BUILDING OPERATIONS DIVISION  
**FIRE MARSHAL'S OFFICE**

**0385**

**RETAIL FIREWORKS LICENSE - FEE \$25.00**

*LICENSE EXPIRES January 6, 2024*

This is to certify that the person named below is licensed to act as a RETAILER of FIREWORKS under the provision of Act 224 of 1961, as amended, State of Arkansas.

Name of Person Applying Kristi Loyd Telephone #: (810) 735-1753  
 Address of Person Applying 381 Front Street, West Memphis 72301  
Street City Zip  
 Name of Organization Meramec Specialty Co.  
 Address of the Stand Location 639 Hwy 5N, Bryant 72022  
Street City Zip

This license is issued to the person named above for use in making retail sales of PERMISSIBLE FIREWORKS from June 20 through July 10 and December 10 through January 5.

This license is not transferable and must be DISPLAYED AT ALL TIMES.

Vendor: Atomic of Arkansas Date Issued: 4-13-2023  
 License #: 801  
 Telephone #: (810) 735-1753  
 Major Michael Moyer #148  
 Major Michael Moyer  
 State Fire Marshal  
 Telephone (501) 618-8624

NOTICE: This license may be revoked by the State Fire Marshal or his deputies for violation of any of the provisions of the above referred to law.

127



8525 DISTRIBUTION DR.  
LITTLE ROCK, AR 72209  
501-562-3942 P  
501-562-6651 F



[lora@arkansassign.com](mailto:lora@arkansassign.com)

May 5, 2023

City of Bryant, AR  
210 SW 3rd St, Bryant, AR 72022  
501-943-0301  
[cleonard@cityofbryant.com](mailto:cleonard@cityofbryant.com)

RE: S & S STORAGE  
905 N. REYNOLDS RD.

S & S Storage is requesting a Variance for their monument tower sign for their new storage property. Due to their location they would like to have their variance request considered to allow for a 25' tall monument tower.

The location of their monument tower sign is 12-15' lower from the grade of Reynolds Rd. to the grade of their sign location.

The design of their sign enables them to have their name and services without having to have them be too wide in order for them to stay clear of the exiting power lines.

They would like for you to consider this request due to this hardship.

Thank you for your consideration on behalf of our client S & S Storage.

Lora A. Rand  
VP

attachments: artwork, site plans, site picture

LANDLORD APPROVAL

**ARKANSAS SIGN & NEON**  
8525 DISTRIBUTION DR.  
LITTLE ROCK, AR 72269  
501.562.2942 (P)  
501.562.5551 (F)  
arksign.com

REPRESENTATIVE: KEVIN HONEA

DATE/DWG: 02/24/2023 - DWG#

DESIGNER: LORA RAND

ALL SMALL GRAPHIC AND GRAPHIC ELEMENTS ARE REPRESENTED BY THIS DRAWING EXCEPT FOR ADDITIONAL TRADEMARKS AND LOGOS BY AND THE PROPERTY OF ARKANSAS SIGN & NEON. USE OF THIS DOCUMENT IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION BY ARKANSAS SIGN & NEON. ALL RIGHTS ARE RESERVED. THIS DRAWING IS THE PROPERTY OF ARKANSAS SIGN & NEON. THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

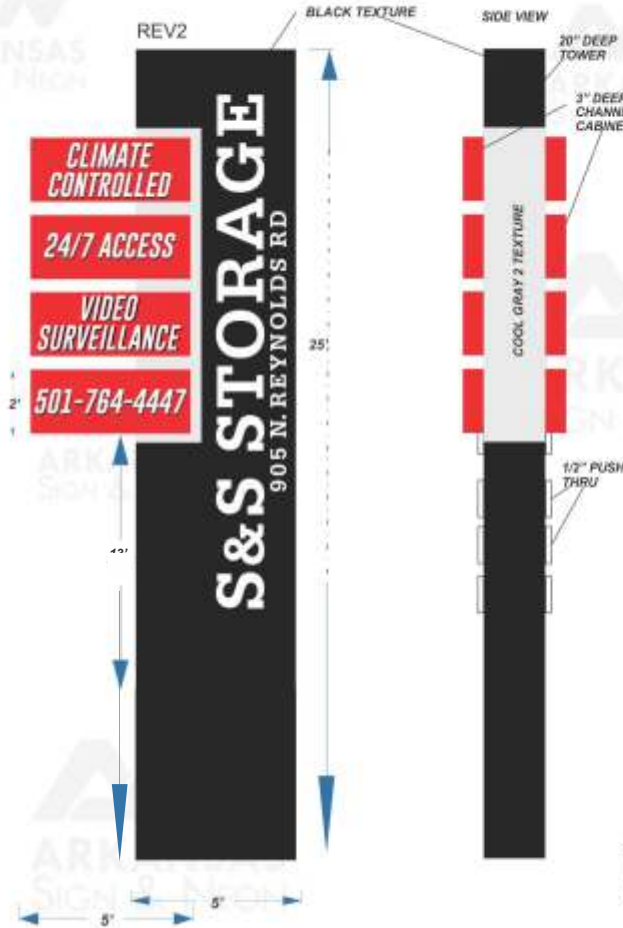
CLIENT: S & S STORAGE  
LOCATION: 905 N. REYNOLDS RD

DATE:

CUSTOMERS IS RESPONSIBLE TO OBTAIN ANY/ALL LANDLORD APPROVALS IF APPLICABLE



SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

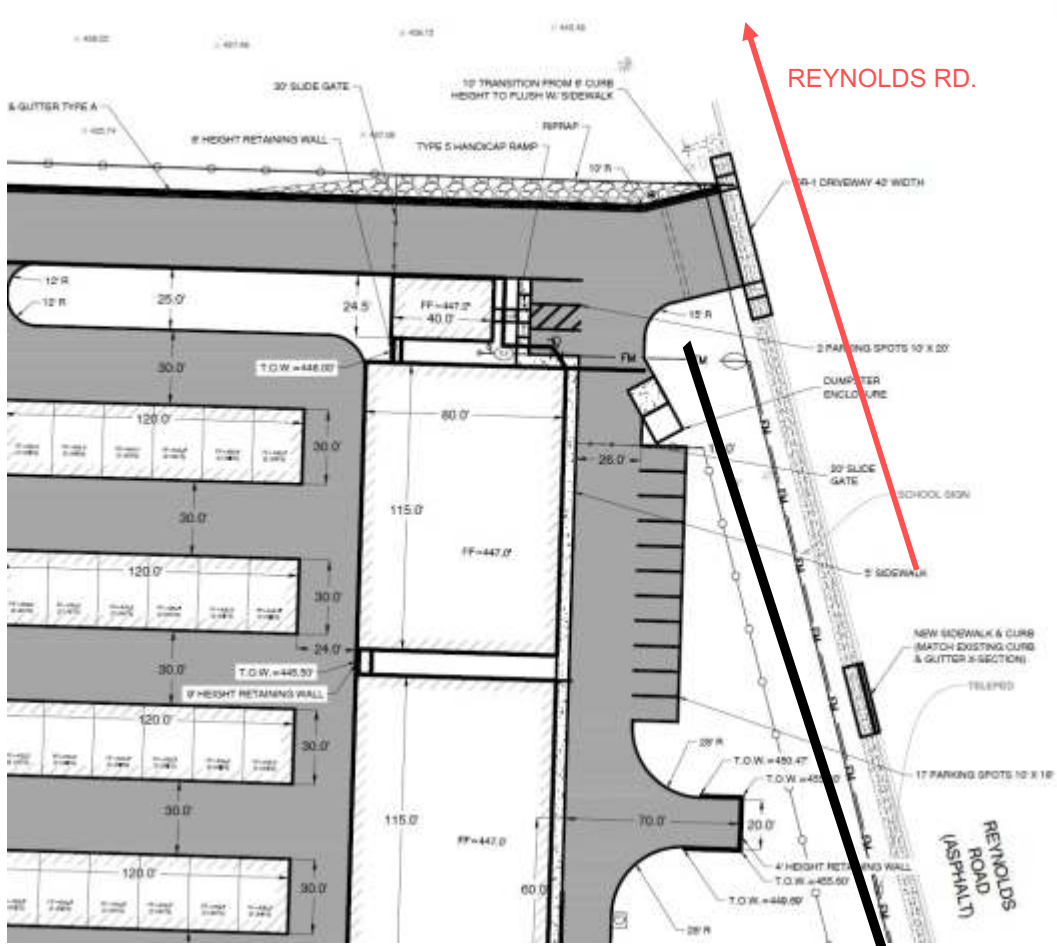


NOTE- WILL NEED SITE PLAN FOR PERMITTING- ART FOR VIEWING ONLY



SPECS:  
(1) DOUBLE-FACED MONUMENT TOWER ID SIGN PAINTED TEXTURE BLACK & COOL GRAY 2C CHANNEL CABINETS TO BE RED RETURNS, RED TRIMCAP, W/ VINYL GRAPHICS, LED ILLUMINATED TOWER TO HAVE 1/2" WHITE PUSH-THRU ACRYLIC

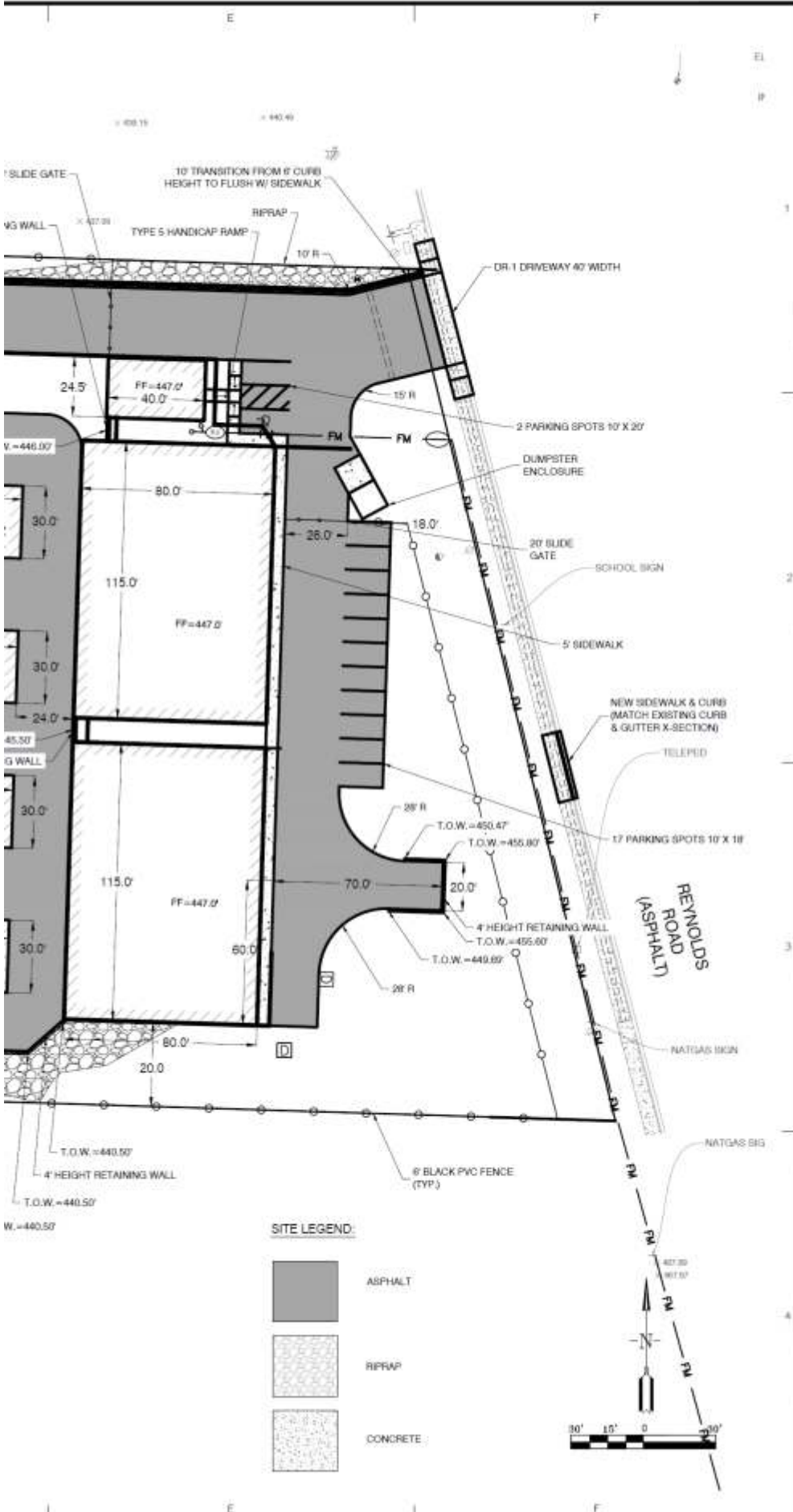
NOTE: ANY NEEDED WALL REPAIRS ARE NOT ASH RESPONSIBILITY. ANY VIEWS SHOWING REPAIRS ARE FOR VIEWING ONLY.



REYNOLDS RD.

DATE	REVISION
1-11-23	UPDATED DRAWING & PRINT SP
<b>Designing our client's success</b>	
<b>GarNat Engineering, LLC</b>	
P.O. Box 116 Bryant, AR 72023 Ph: (501) 401-4650 garnatengineering@gmail.com	
<b>REYNOLDS ROAD STORAGE</b> <b>STANLEY SMITH</b> <b>BRYANT, ARKANSAS</b>	





REV	REVISED	DATE	DESCRIPTION
1	UPDATED GRADING & FRONT STORAGE	9-30-21	
2			
3			
4			

<b>GNE</b> Designing our client's success <b>GarNat Engineering, LLC</b> 3825 Mt Carmel Rd Bryant, AR 72022 P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 garnatengineering@gmail.com	<b>REYNOLDS ROAD STORAGE</b> <b>STANLEY SMITH</b> <b>BRYANT, ARKANSAS</b>
CONTENTS: <b>EAST SITE PLAN</b>	DATE: <b>MAY 2021</b>
PROJECT NO: <b>21026</b>	SHEET NO: <b>6</b>





**City of Bryant, Arkansas**  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 04/12/2023

### Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON  
Address 8525 DISTRIBUTION DR  
City, State, Zip LITTLE ROCK AR 72209  
Phone 501.562.3942  
Email Address lora@arkansassign.com

### Property Owner

Name S & S STORAGE  
Address 905 N. REYNOLDS RD  
City, State, Zip BRYANT AR  
Phone 501-767-6100  
Email Address SSKARLEE@HOTMAIL.COM

### GENERAL INFORMATION

Name of Business S & S STORAGE  
905 N. REYNOLDS RD, BRYANT AR  
Address/Location of sign \_\_\_\_\_  
Zoning Classification \_\_\_\_\_

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MONUMENT	25' X 7.5'	187.5	25	0	
B						
C						
E						
F						
G						

# LANDLORD APPROVAL



ARKANSAS SIGN & NEON  
8525 DISTRIBUTION DR.  
LITTLE ROCK, AR 72209  
501.562.3942 (P)  
501.562.6651 (F)  
arkansasign.com

REPRESENTATIVE: KEVIN HONEA

DATE/DWG: 02/24/2023 - DWG1

DESIGNER: LORA RAND

ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING (EXCEPT FOR REGISTERED TRADEMARKS) ARE OWNED BY AND ARE THE PROPERTY OF ARKANSAS SIGN & NEON. USE OF THIS DOCUMENT IS PROHIBITED UNLESS WRITTEN AUTHORIZATION IS OTHERWISE GIVEN. DELIVERY TIMES VARY PER SCOPE OF WORK. TYPICAL DELIVERY TIME FROM ACCEPTANCE AND PERMITTING ARE 4-8 WEEKS. OUR GOALS IS TO DELIVER IN A TIMELY MANNER BARRING UNFORSEEN CIRCUMSTANCES.

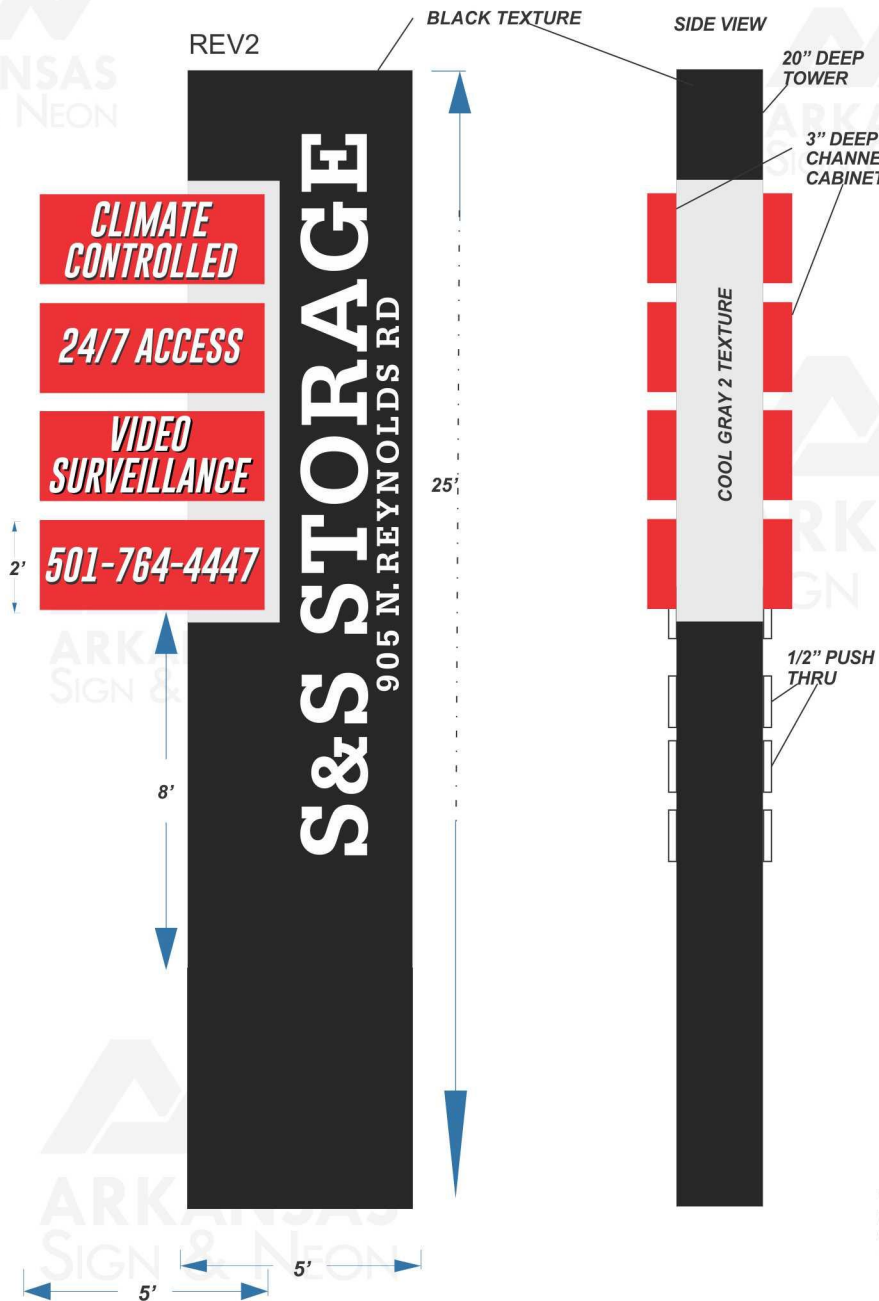
CLIENT: S & S STORAGE  
LOCATION: 905 N. REYNOLDS RD

DATE:

CUSTOMERS IS RESPONSIBLE TO OBTAIN ANY/ALL LANDLORD APPROVALS IF APPLICABLE.



SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION



NOTE- WILL NEED SITE PLAN FOR PERMITTING- ART FOR VIEWING ONLY



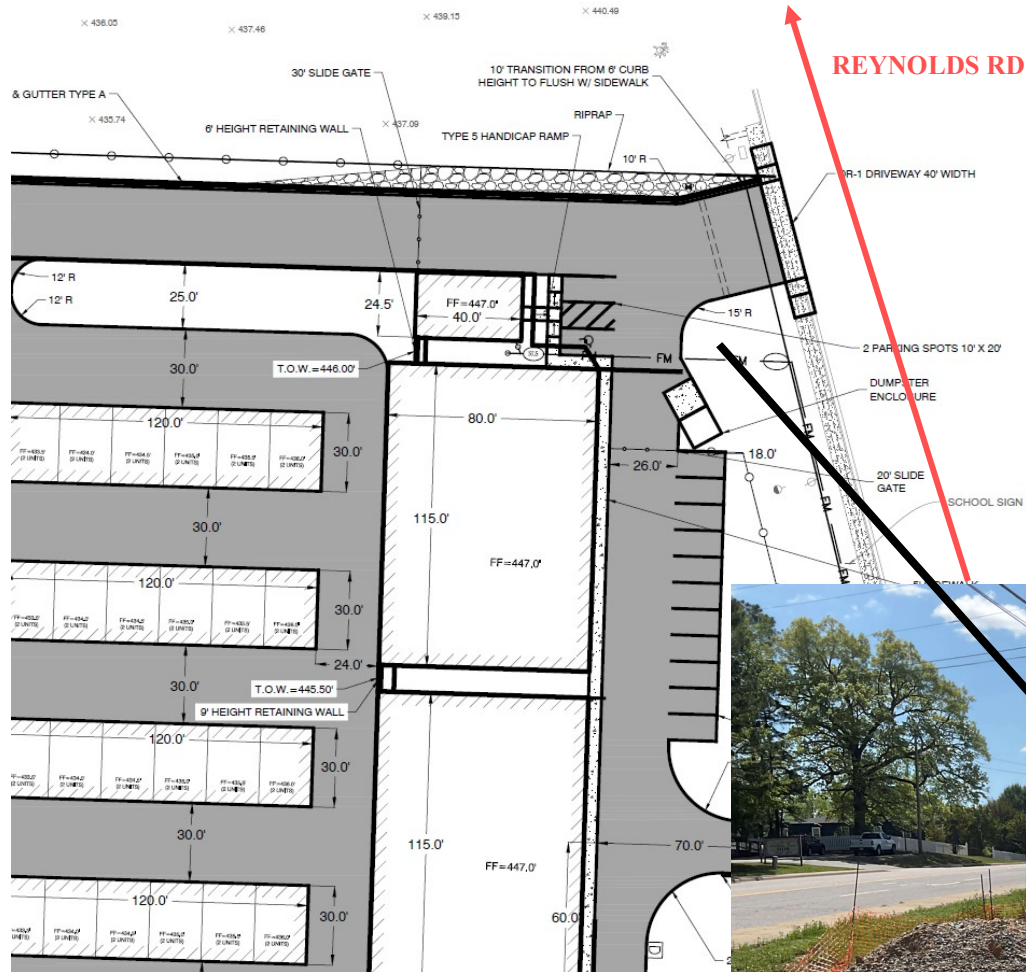
L.E.D. ILLUMINATION



### SPECS:

(1) DOUBLE-FACED MONUMENT TOWER ID SIGN PAINTED TEXTURE BLACK & COOL GRAY 2C CHANNEL CABINETS TO BE RED RETURNS, RED TRIMCAP, W/ VINYL GRAPHICS, LED ILLUMINATED TOWER TO HAVE 1/2" WHITE PUSH-THRU ACRYLIC

NOTE: ANY NEEDED WALL REPAIRS ARE NOT ASN RESPONSIBILITY. ANY VIEWS SHOWING REPAIRS ARE FOR VIEWING ONLY.

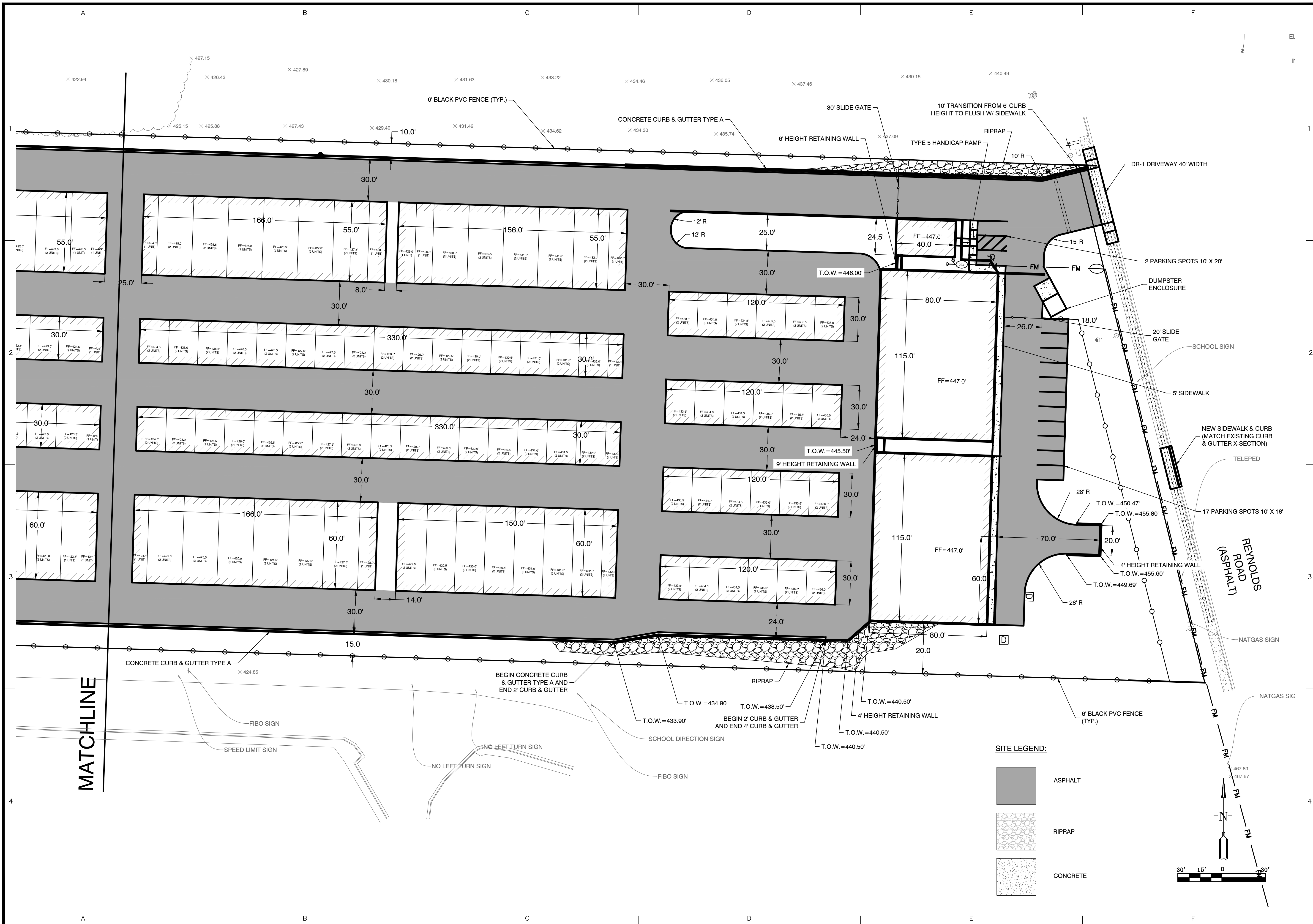


REVISION	DATE	DESCRIPTION
1	9-30-21	UPDATED GRADING & FRONT ST.
2		

**GNE** Designing our client's success  
**GarNat Engineering, LLC**  
 P.O. Box 116  
 Benton, AR 72022  
 Ph (501) 408-4650  
 garnatengineering@gmail.com

**S & S STORAGE**  
**905 N. REYNOLDS RD**  
**BRYANT AR**





BY	EL
REVISION	IF
1	1
2	2
3	3
4	4
DATE	9-30-21
UPDATED GRADING & FRONT STORAGE TM	
<p>Designing our client's success</p> <p><b>GarNat Engineering, LLC</b></p> <p>3825 Mt. Carmel Rd Bryant, AR 72018 Ph: (501) 408-4650 garnatengineering@gmail.com</p>	
<p><b>REYNOLDS ROAD STORAGE</b></p> <p><b>STANLEY SMITH</b></p> <p><b>BRYANT, ARKANSAS</b></p>	
<p>STATE OF ARKANSAS</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>NO. 9551</p> <p>LEWIS J. WILLIAMS</p>	
5-21-2021	
CONTENTS:	
EAST SITE PLAN	
PROJECT NO: 21026	
DATE: MAY 2021	
SHEET NO: 6	

A:\Projects\2021 Projects\21026 Reynolds Road Storage Bryant\21026 Reynolds Road Storage Design\21026



8525 DISTRIBUTION DR.  
LITTLE ROCK, AR 72209  
501-562-3942 P  
501-562-6651 F



UL Listed

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**IMPORTANT NOTICE TO OWNER, LANDLORD OR REGISTERED AGENT FOR INSTALLATION LOCATION**

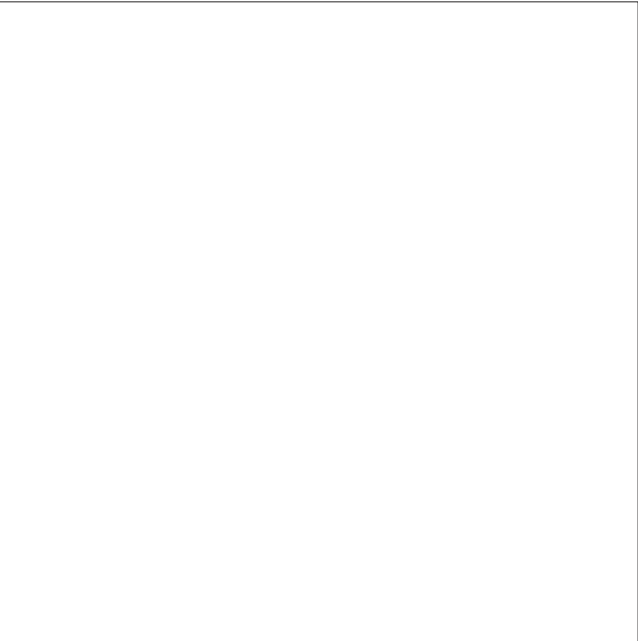
I UNDERSTAND THAT EACH PERSON, SUBCONTRACTOR OR ANY ONE ASSOCIATED WITH OR SUPPLYING LABOR, SERVICES OR MATERIALS IS ENTITLED TO A LIEN AGAINST THE PROPERTY IF NOT PAID IN FULL FOR THE LABOR, SERVICES AND/OR MATERIALS USED TO IMPROVE, CONSTRUCT OR INSURE OR EXAMINE TITLE TO THE PROPERTY EVEN THOUGH THE FULL CONTRACT PRICE MAY HAVE BEEN PAID TO THE CONTRACTOR. I KNOW THAT IT IS ADVISABLE TO, AND I MAY, REQUIRE THE CONTRACTOR TO FURNISH TO ME A TRUE AND CORRECT FULL LIST OF ALL SUPPLIERS AND SERVICE PROVIDERS UNDER THE CONTRACT AND I MAY CHECK WITH THEM TO DETERMINE IF ALL MATERIALS, LABOR AND SERVICES FURNISHED FOR THE PROPERTY HAVE BEEN PAID FOR.

I MAY ALSO REQUIRE THE CONTRACTOR TO PRESENT LIEN WAIVERS BY ALL SUPPLIERS STATING THAT THEY HAVE BEEN PAID IN FULL UNDER THEIR CONTRACTS BEFORE I PAY THE CONTRACTOR IN FULL. IF A SUPPLIER OR OTHER SERVICE PROVIDER HAS NOT BEEN PAID, I MAY PAY THE SUPPLIER OR OTHER SERVICE PROVIDER AND CONTRACTOR WITH A CHECK MADE PAYABLE TO THEM JOINTLY.

*BY SIGNING BELOW, I CERTIFY THAT I AM THE OWNER OR REGISTERED AGENT OR AUTHORIZED AGENT OF THE PROPERTY AT THE ADDRESS BELOW AND BY SIGNING THIS I ALSO AUTHORIZE THE BUSINESS OWNER AND ARKANSAS SIGN & NEON TO INSTALL SIGNAGE AS PER THE PROVIDED ARTWORK AND IN ACCORDANCE WITH THE LAWS OF THE MUNICIPALITY.*

905 N. REYNOLDS RD      BRYANT AR      501-767-6100      SSKARLEE@HOTMAIL.COM

SIGNED: *Karee Smith* \_\_\_\_\_ PROPERTY OWNER/REGISTERED AGENT  
DATE: 3/27/23



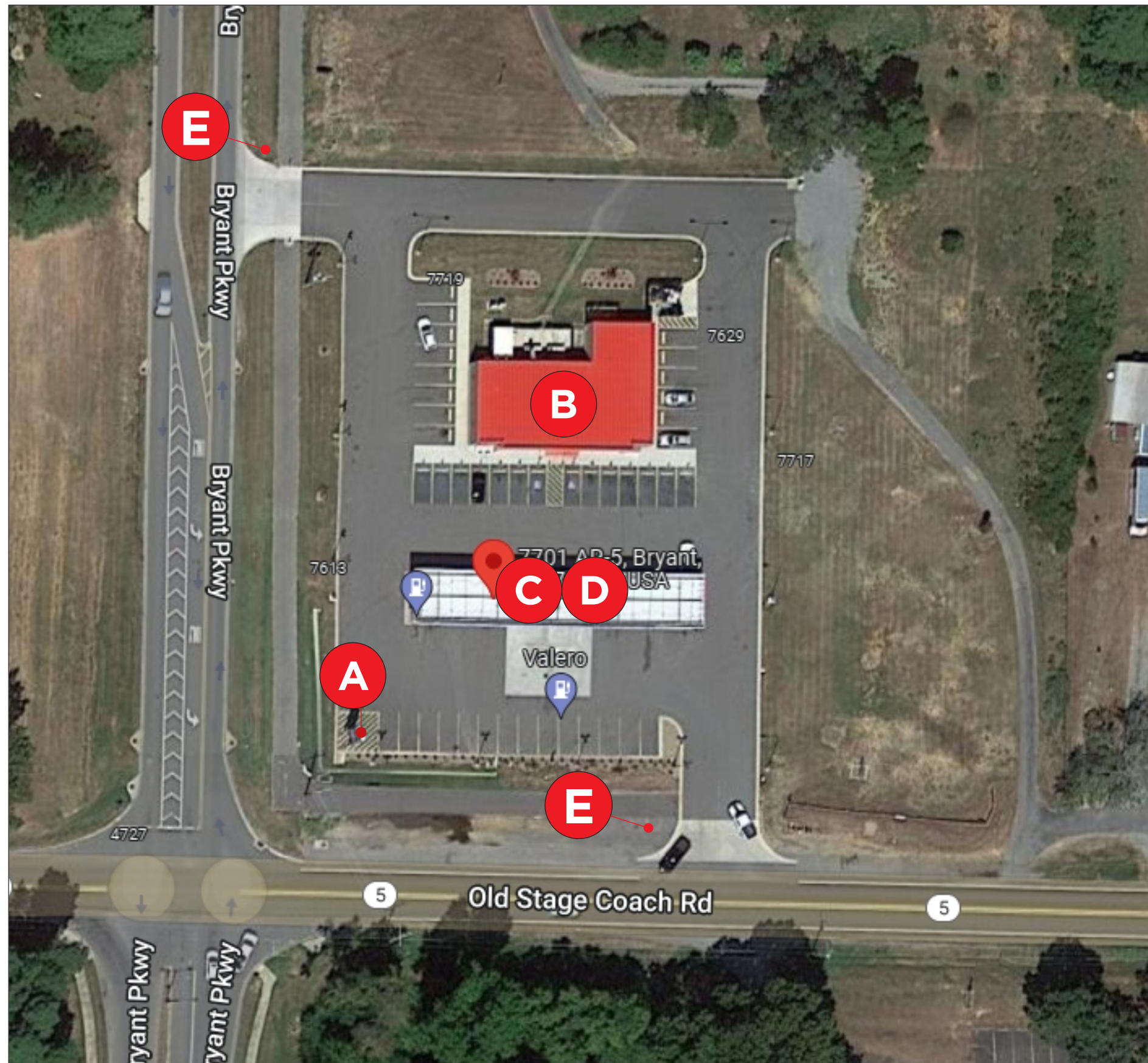
7701 AR-5  
BRYANT, AR 72022

**SITE# 150**  
VALERO / BIG RED TO CIRCLE K

DATE: 04/27/2023 (ZL/BS)  
CK\_150\_7701\_AR-5\_BRYANT\_AR\_G

# SCOPE OF WORK

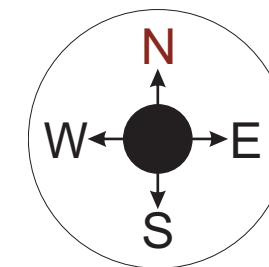
<p><b>A</b></p> <p><b>MID</b></p>	<ul style="list-style-type: none"> <li>Reface Valero cabinet to new Circle K ID panel</li> <li>Reface existing pricer to new Unleaded, 4" toggle / Diesel w/ 21" Red/Green Able LEDs per CK specs</li> <li>Reface existing Big Red cabinet to new Fresh Food panel</li> <li>Remove existing EMC and Install new EMC</li> <li>Install LED retrofit lighting in all existing cabinets</li> <li>Repaint existing cabinet, retainers, &amp; poles to Circle K specs.</li> </ul>
<p><b>B</b></p> <p><b>BUILDING</b></p>	<ul style="list-style-type: none"> <li>Remove existing Big Red sign</li> <li>Install new CK building sign</li> </ul>
<p><b>C</b></p> <p><b>CANOPY</b></p>	<ul style="list-style-type: none"> <li>Install (2) new illuminated fuel brand canopy ID signs</li> <li>Install new illuminated fuel brand canopy fascia on 3 sides &amp; non illuminated on 1 side</li> <li>Install white backer ACM on top side of fascia to optimal height</li> <li>Paint canopy poles to fuel brand specifications</li> <li>Paint bollards to fuel brand specifications</li> <li>Paint light poles to fuel brand specifications</li> </ul>
<p><b>D</b></p> <p><b>DISPENSERS &amp; FORECOURT</b></p>	<ul style="list-style-type: none"> <li>Reimage dispensers to fuel brand specifications</li> <li>Replace trash cans to fuel brand specifications</li> <li>Paint columns &amp; islands to fuel brand specifications</li> <li>Paint bollards to fuel brand specifications</li> <li>Install pump flags to fuel brand specifications</li> <li>Paint light poles to Circle K specifications</li> </ul>
<p><b>E</b></p> <p><b>DIRECTIONAL</b></p>	<ul style="list-style-type: none"> <li>Directional signs to be installed at drive way entries</li> </ul>



**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729



# Site Overview



# SCOPE OF WORK

A

MID

- Reface Valero cabinet to new Circle K ID panel
- Reface existing pricer to new Unleaded, 4" toggle / Diesel w/ 21" Red/Green Able LEDs per CK specs
- Reface existing Big Red cabinet to new Fresh Food panel
- Remove existing EMC and Install new EMC
- Install LED retrofit lighting in all existing cabinets
- Repaint existing cabinet, retainers, & poles to Circle K specs.

PRODUCT COPY:  
WHITE COPY ON OPAQUE BACKGROUND

4 1/2" Unleaded  
4 1/2" Diesel

## VENTS AND FANS TO MATCH LED MANUFACTURER'S SPECIFICATIONS

4" WHITE ABLE ALTERNATOR LED's OPTIONS:

EASY PAY  
CREDIT

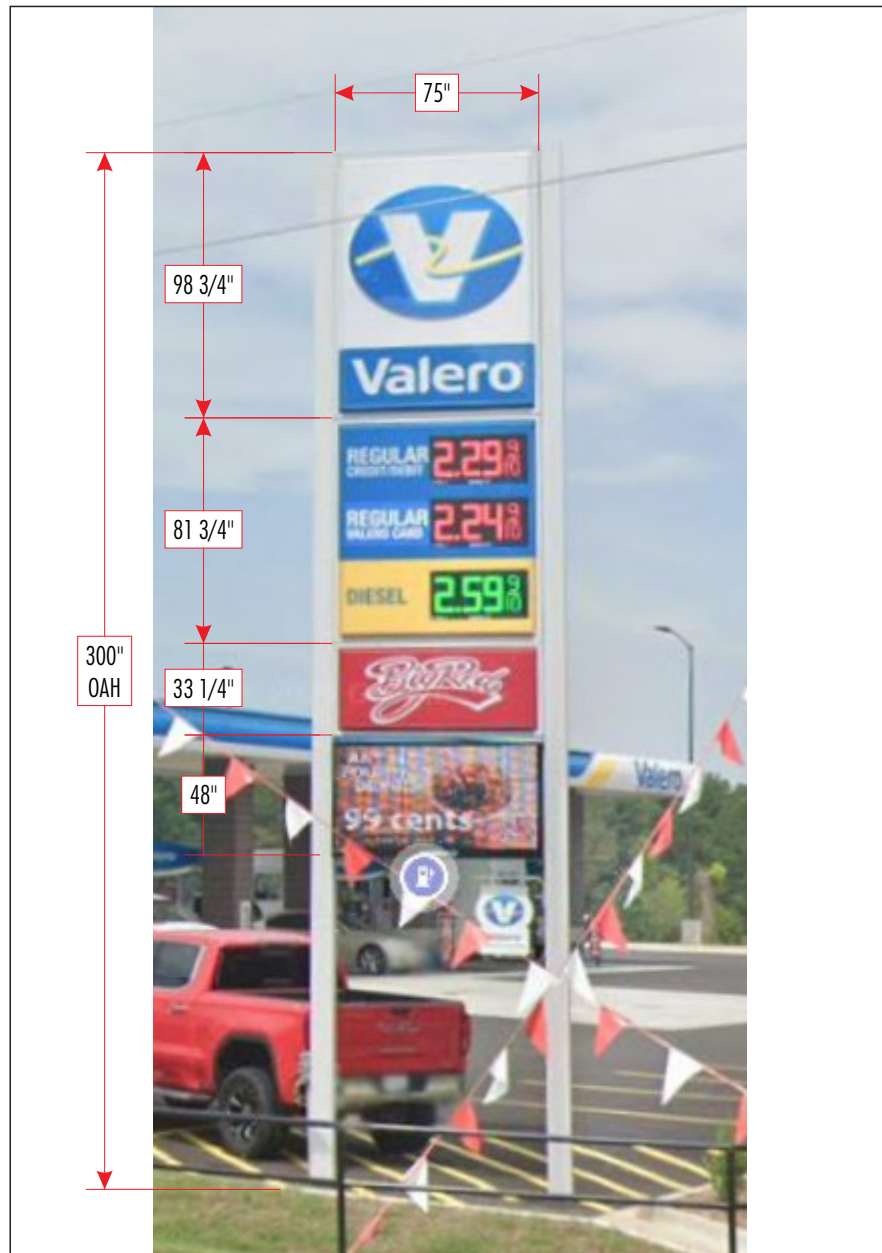
ALL ALTERNATE MESSAGES  
MUST BE PROGRAMED PRIOR TO SHIPPING  
AND INSTALLER-CONFIRMED UPON INSTALL

EXISTING

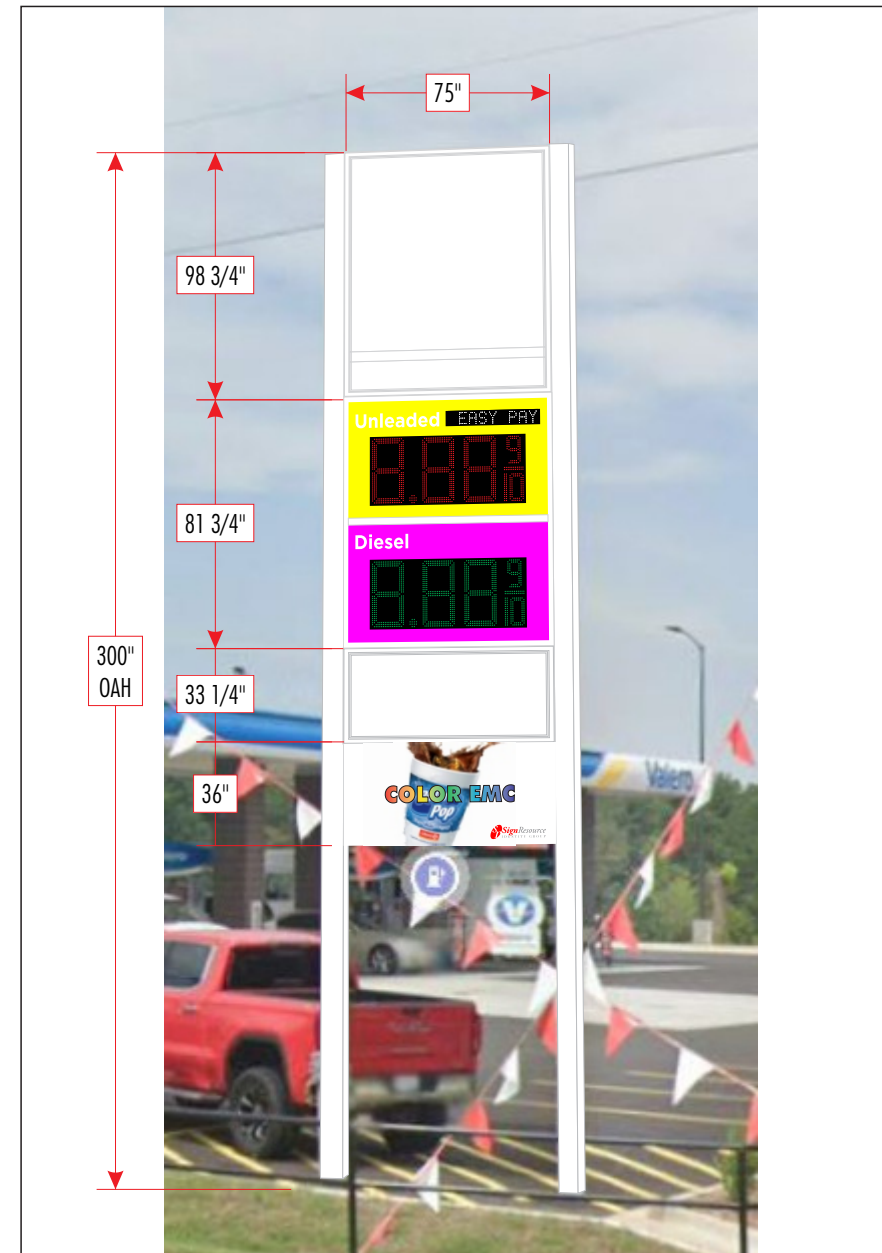
136.32 Sq.Ft

PROPOSED

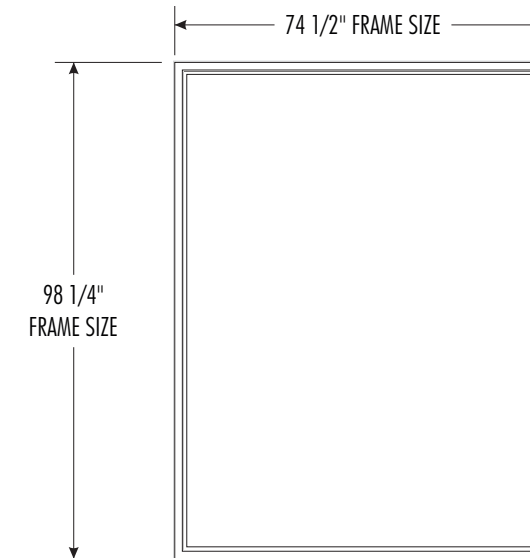
130.07 Sq.Ft



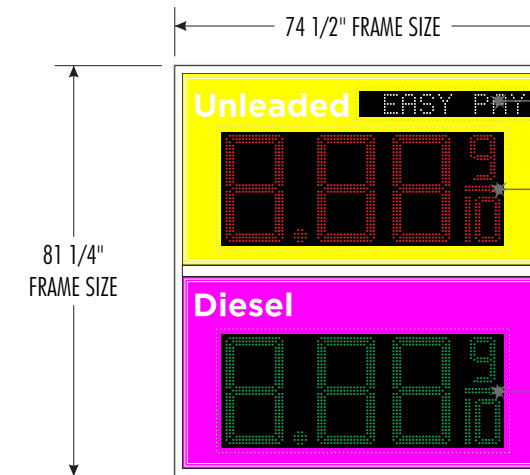
EXISTING LED's SIZES: 12"  
(subject to confirmation)



PROPOSED LED's SIZES: NEW 21" RED/GREEN  
AND 4" TOGGLE ABLE 7-SEG. LED's



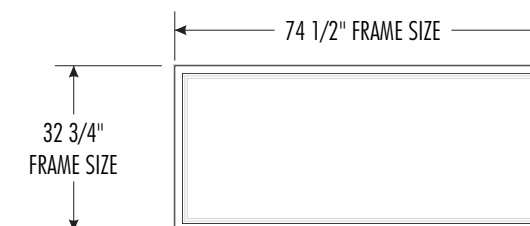
PANEL REFACE ONLY



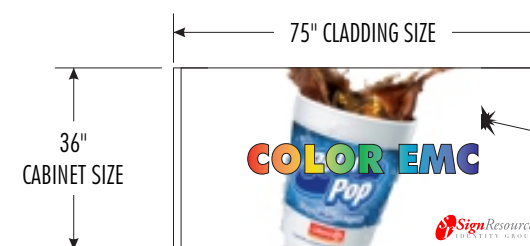
CLEAR WINDOW  
4" WHITE ABLE ALTERNATOR LED's  
WINDOW SIZE: 5" x 33 7/8"  
1AB04ALTW\_9D

CLEAR WINDOW  
21" RED ABLE 7 SEGMENT LED's  
WINDOW SIZE: 22 1/2" x 56"

PANEL REFACE ONLY



PANEL REFACE ONLY



APPROX: 36" X 72" VIEWING AREA  
ELECTRONIC MESSAGE CENTER  
SR PART # 1AB10306EMC-CS

NEW EMC

SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING

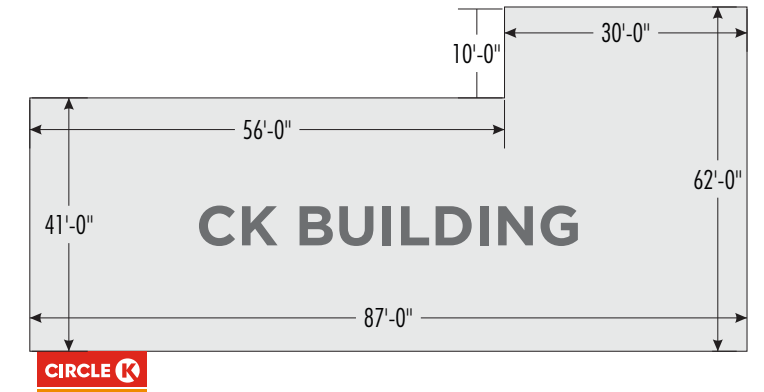
SCALE = 1:38

Main I.D.

# SCOPE OF WORK

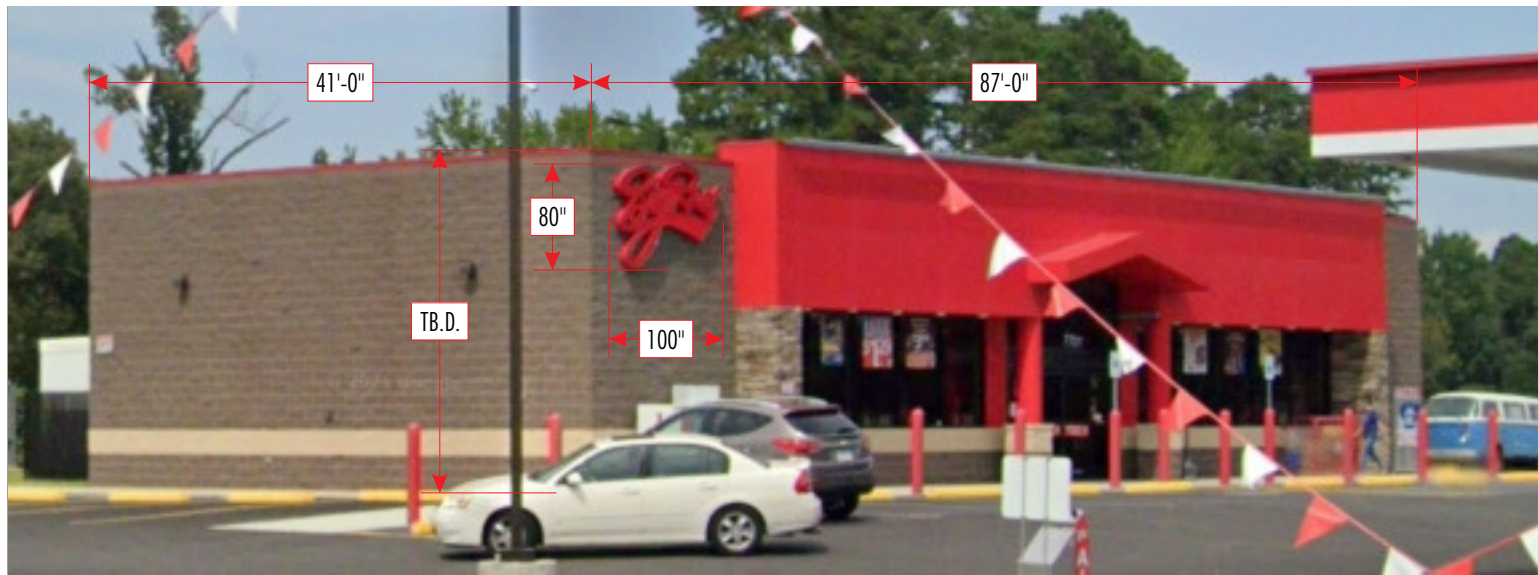
**B**  
**BUILDING**

Remove existing Big Red sign  
Install new CK building sign



**EXISTING**

**55.55 Sq.Ft**

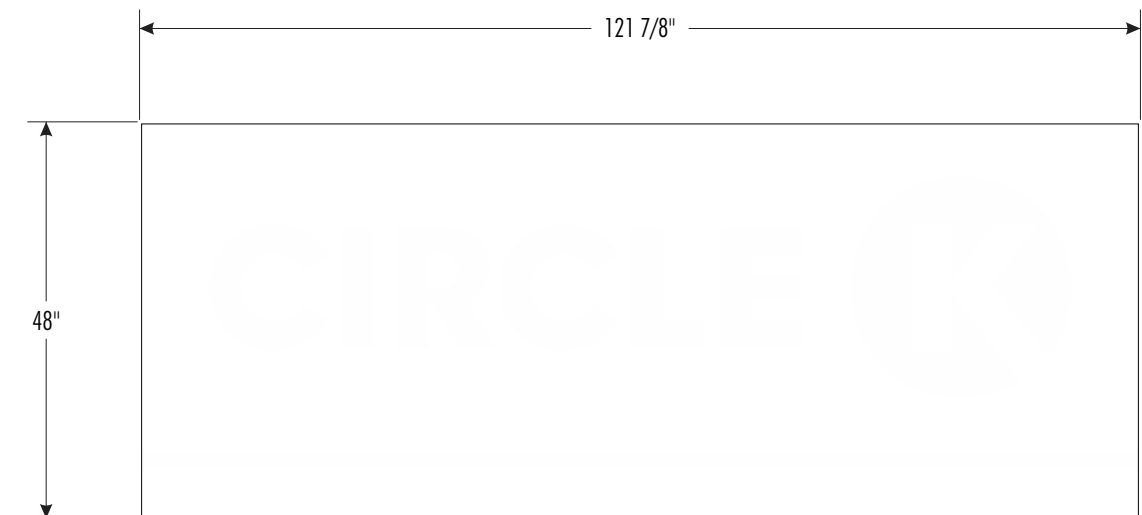


**PROPOSED**

**40.63 Sq.Ft**



(subject to confirmation)



NEW CABINET

**Building**

SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING

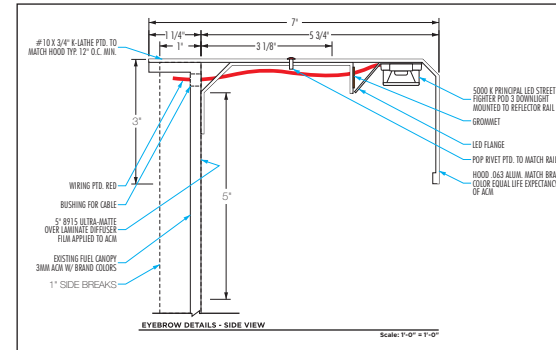
**SCALE = NTS**

# SCOPE OF WORK

## CANOPY

- Install (2) new illuminated fuel brand canopy ID signs
- Install new illuminated fuel brand canopy fascia on 3 sides & non illuminated on 1 side
- Install white backer ACM on top side of fascia to optimal height
- Paint canopy poles to fuel brand specifications
- Paint bollards to fuel brand specifications
- Paint light poles to fuel brand specifications

# EYEBROW DETAILS



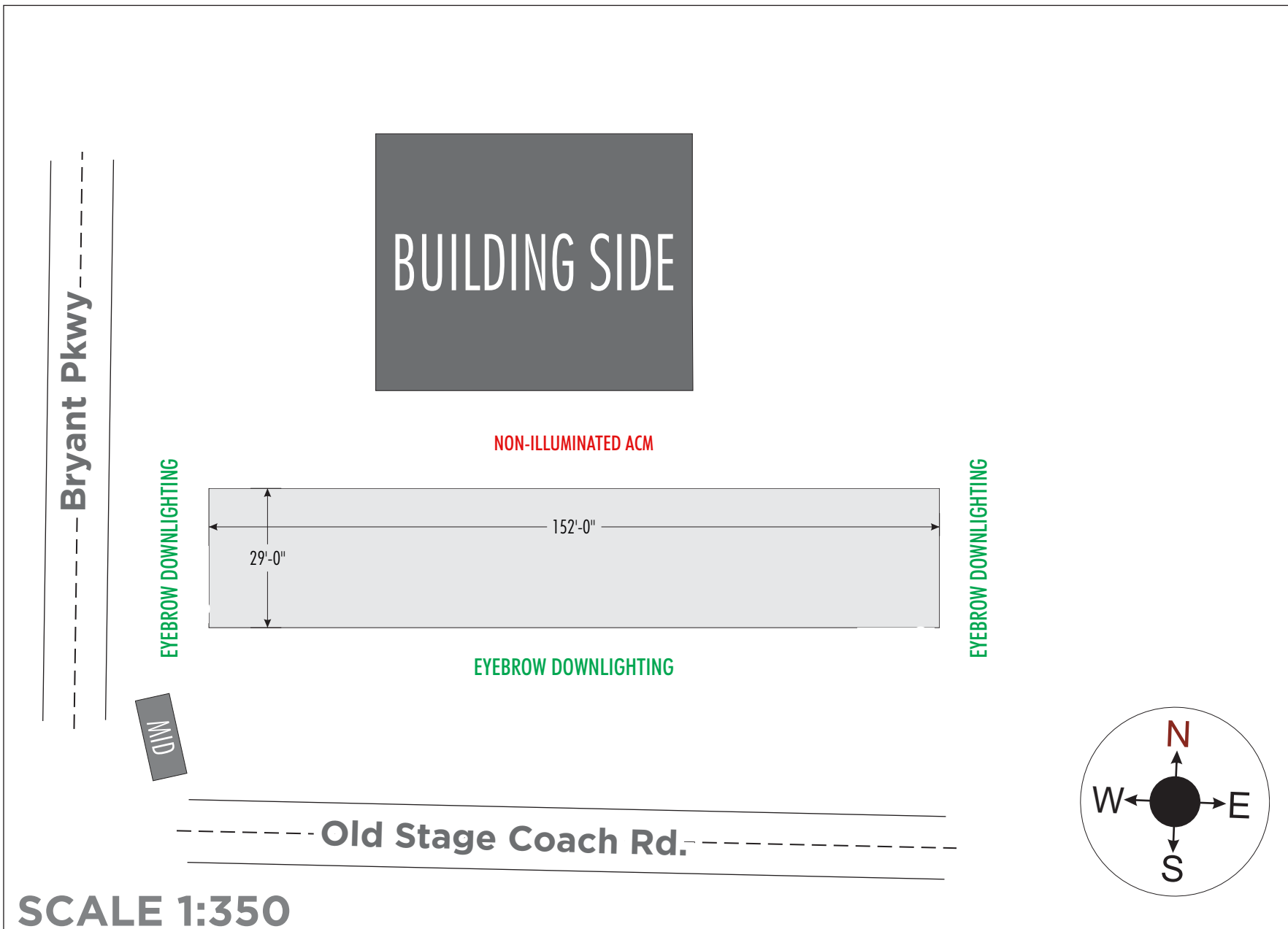
# EXISTING



# SITE OVERVIEW

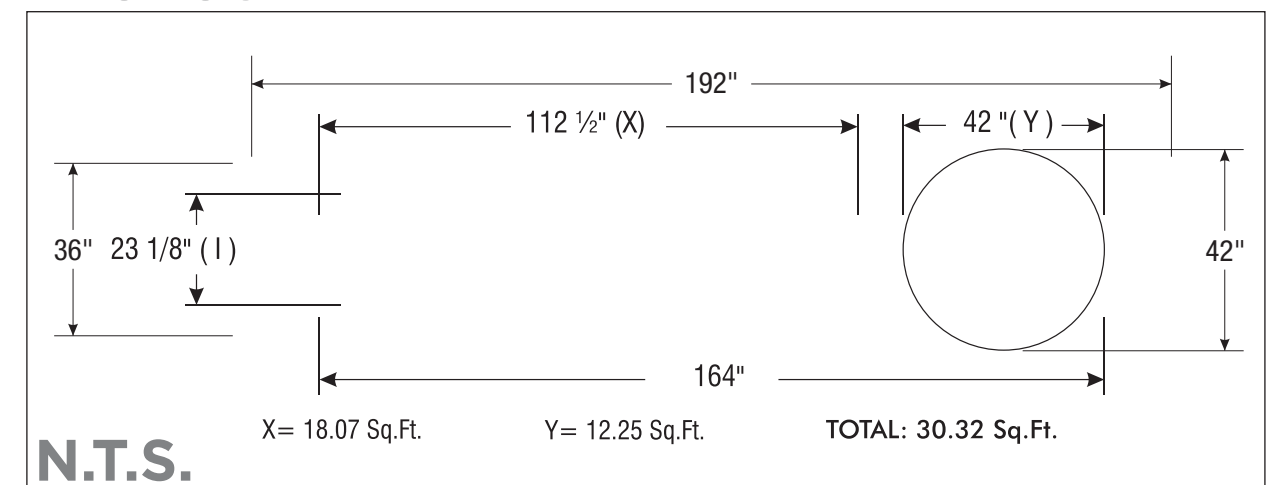
36"

# HEIGHT OF ACM



# PROPOSED

3'-6" x 16'-0" CK ID - 56 Sq.Ft.



SCALE 1:350

## SCOPE OF WORK

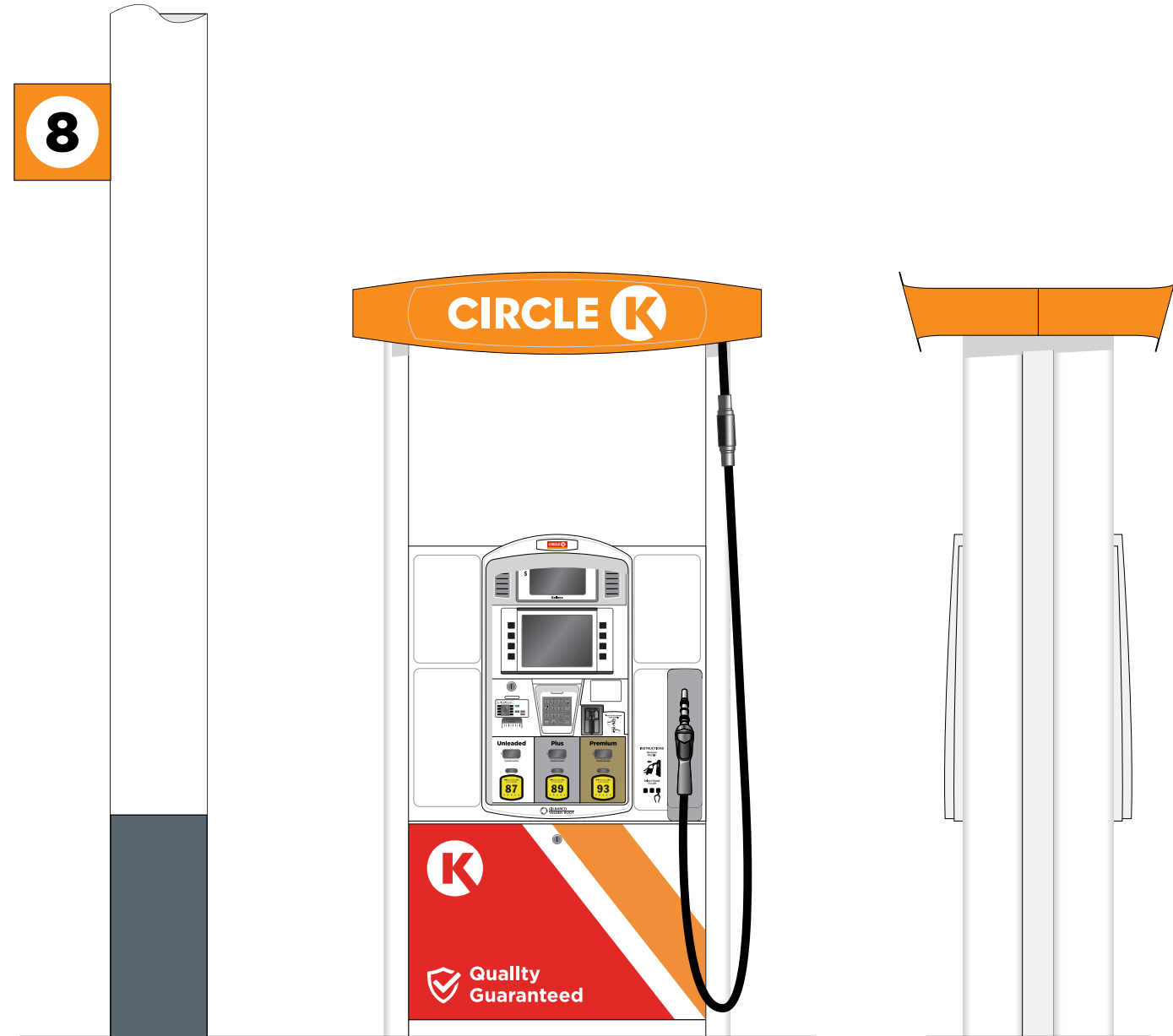
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



## PROPOSED



## SCOPE OF WORK

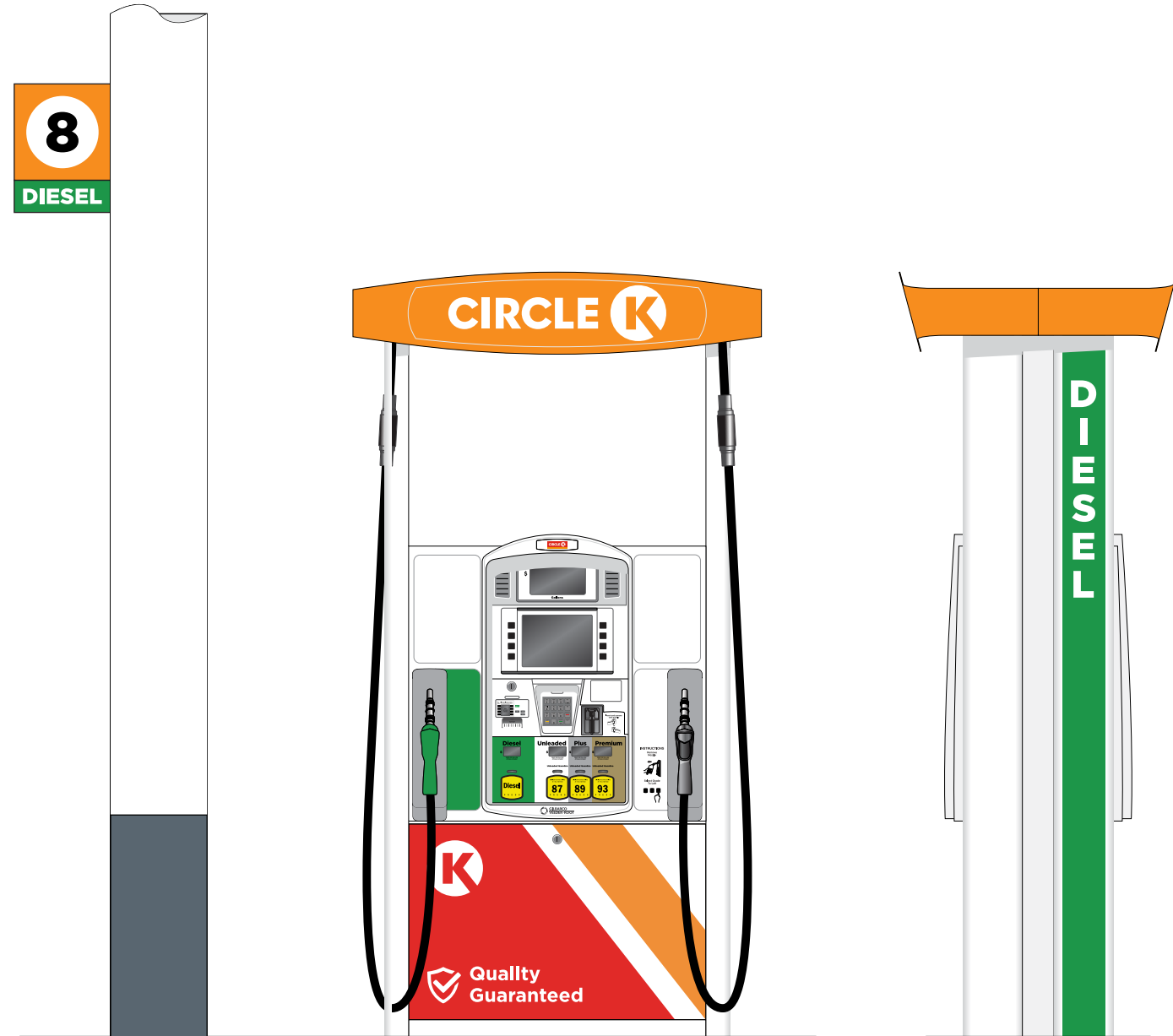
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



## PROPOSED



## SCOPE OF WORK

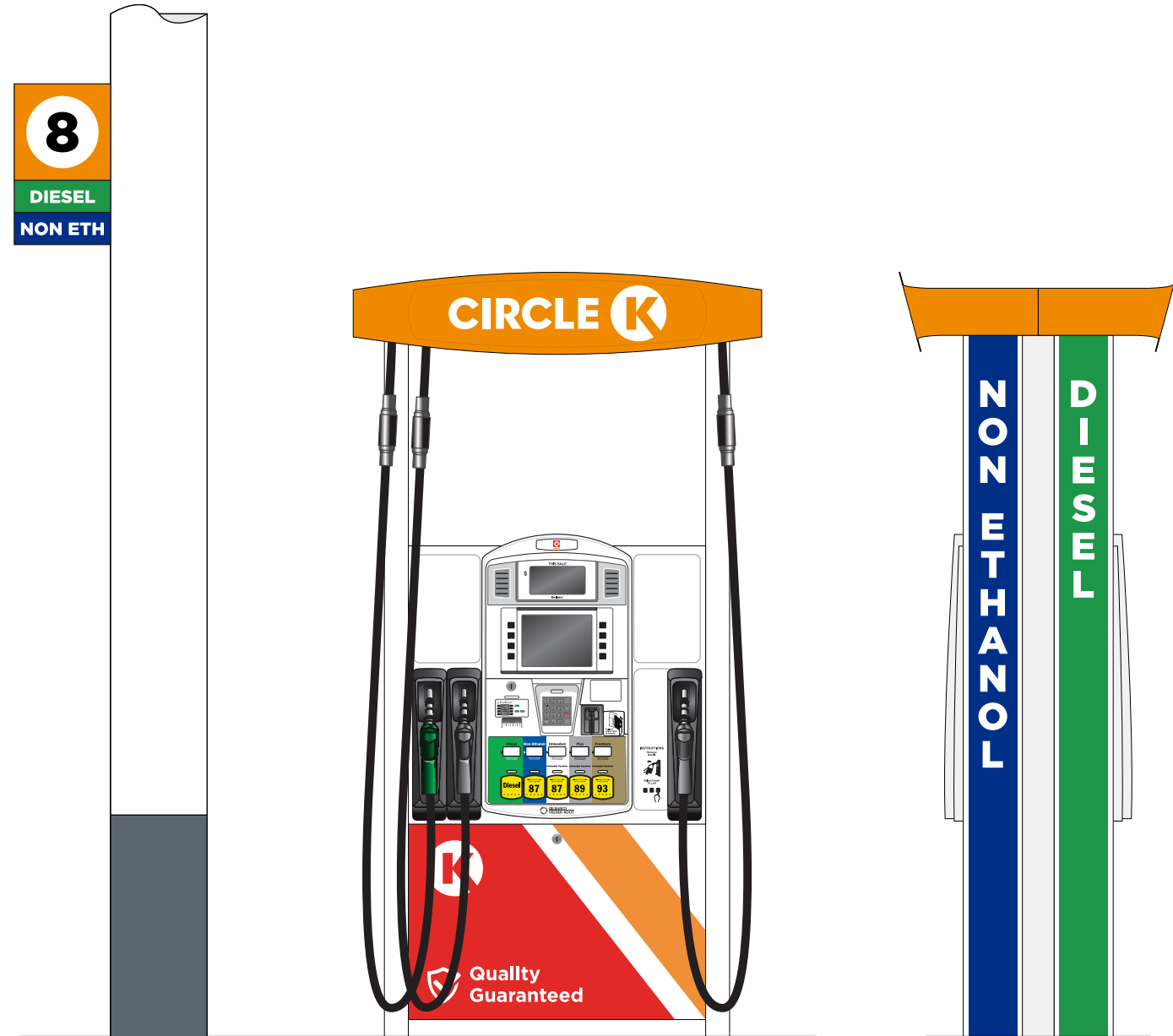
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



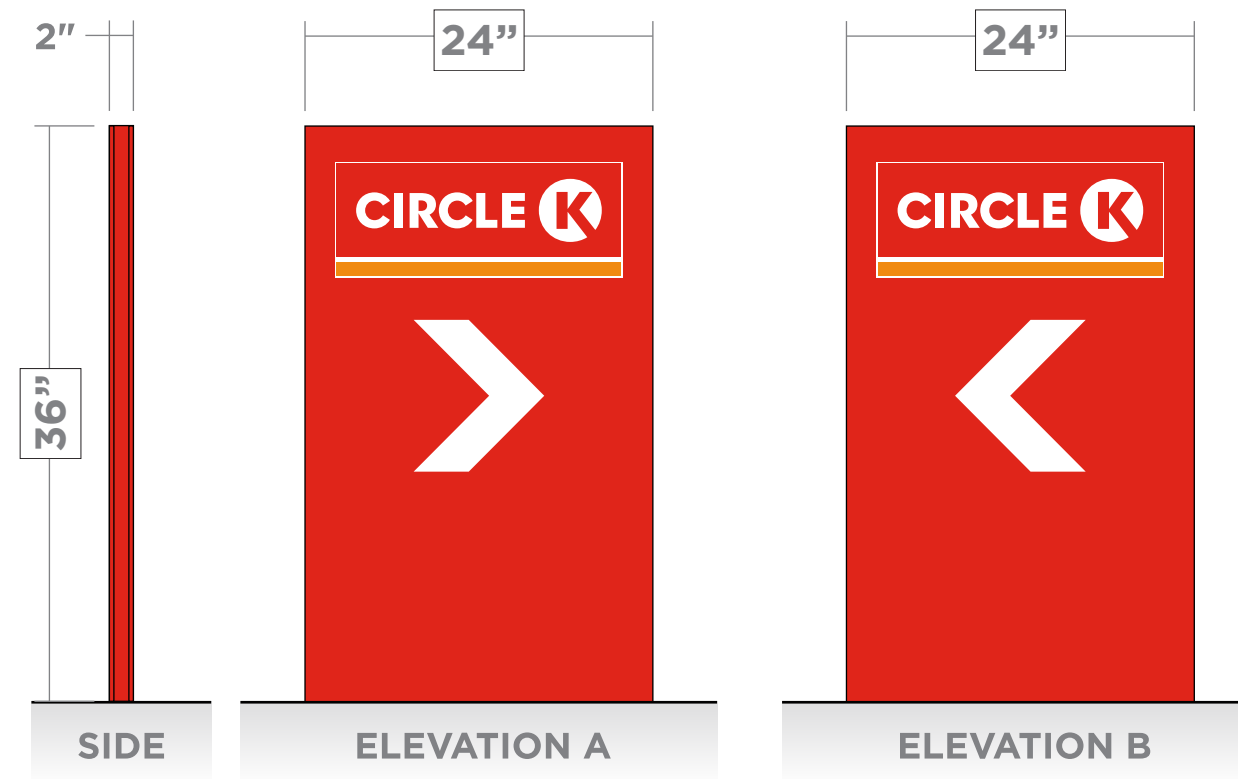
## PROPOSED



# SCOPE OF WORK

Directional signs to be installed at drive way entries

**E**  
**DIRECTIONAL**

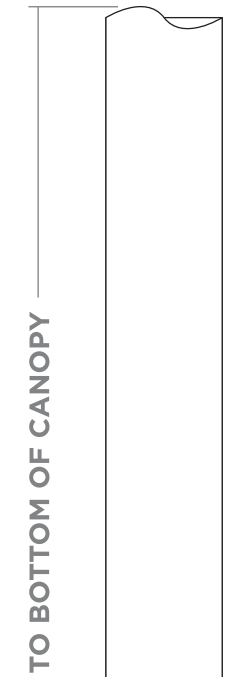
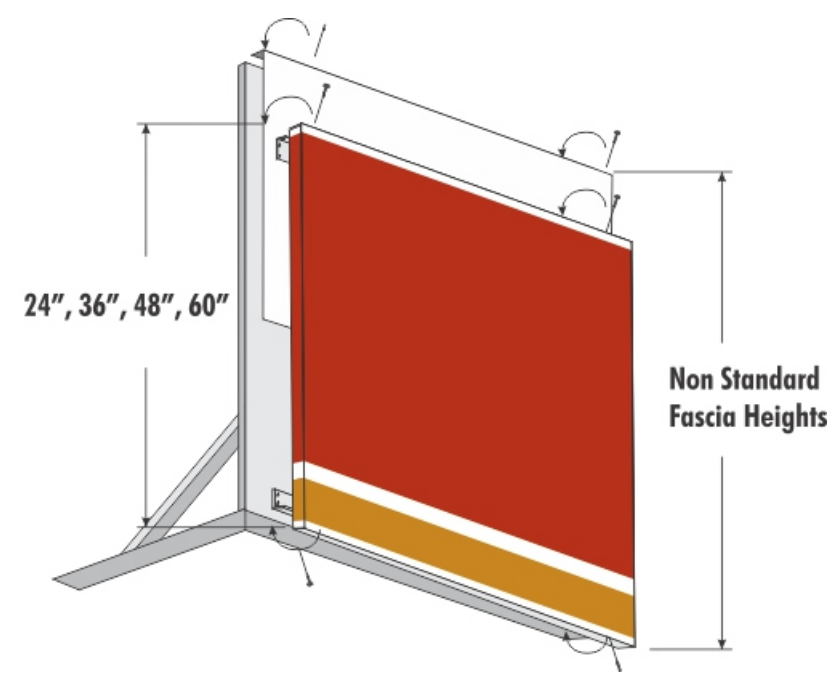
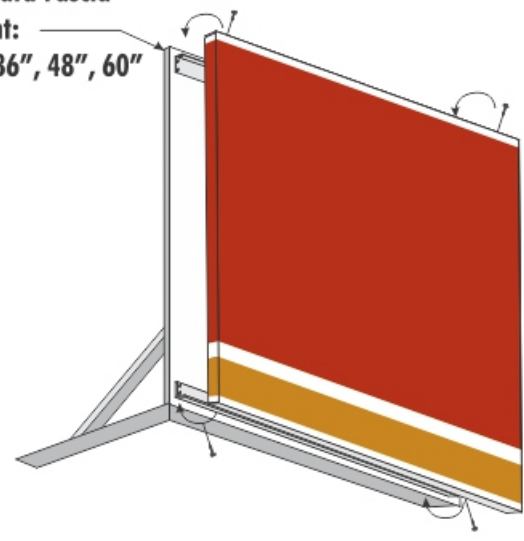


## Circle K:

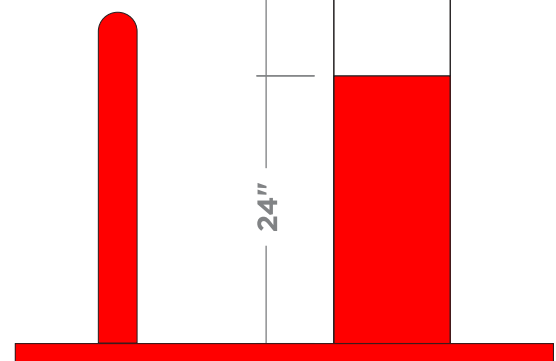
Sample	Description	Applied to
	Primary Red - PMS 485 3M - 3630-2553	Building Sign Fascia Car Wash
	Primary Orange - PMS 144 3M - 3630-3534	Building Sign Fascia Column Flags
	Safety Red Sherwin Williams - SW 4081	Building Bollards
	Grays Harbor Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	White	Building Sign Fascia Light Posts
	Green - PMS 355 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	Blue - PMS 287 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	Egret White Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	Neutral Ground Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	Nuthatch Sherwin Williams - SW 6088	Buildings 30" to grade



Standard Fascia Height:  
24", 36", 48", 60"

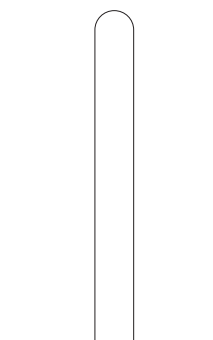


24"

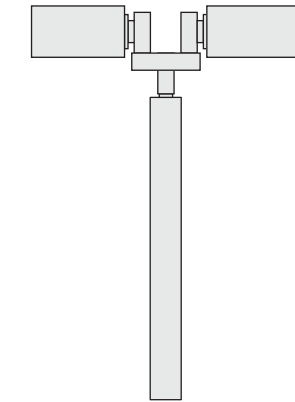


DISPENSER BOLLARDS

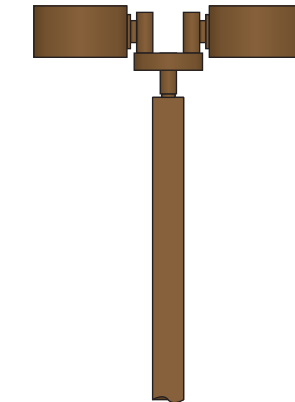
CANOPY COLUMNS



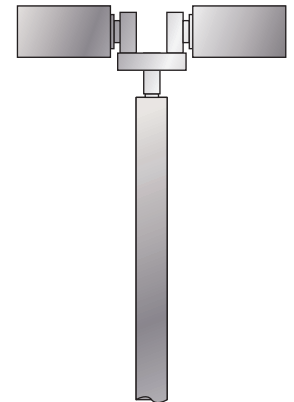
STOREFRONT BOLLARDS



LIGHT POLES



LIGHT POLES



# Circle K Paint Specifications



1611 North Reynolds Road  
Bryant, AR 72022

**SITE# 130**

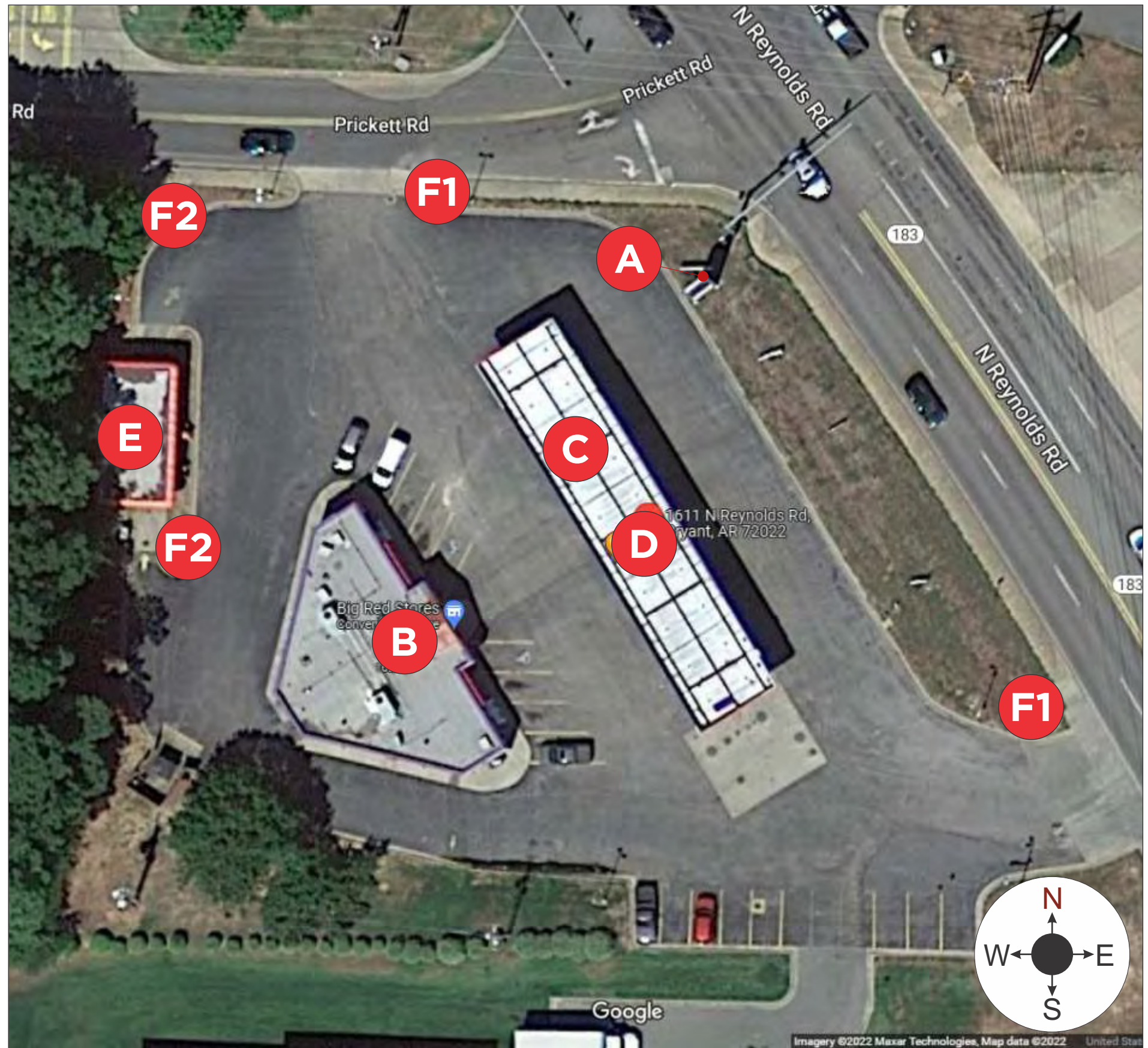
**VALERO/BIG RED TO CIRCLE K**

DATE: 05/12/2023 (OM)

CK\_130\_NORTH\_REYNOLDS\_ROAD\_BRYANT\_AR\_F

# SCOPE OF WORK

<p><b>A</b></p> <p><b>MID</b></p>	<ul style="list-style-type: none"> <li>• Reface Valero to CK</li> <li>• Reface pricer cabinet to Unleaded / Diesel</li> <li>• Reface Big Red to Amenity panel</li> <li>• Baskin Robbins to remain</li> <li>• Replace letter board with EMC sign</li> <li>• Install New 24" ABL LEDs and 4" Toggle</li> <li>• Install LED retrofit lighting in all existing cabinets</li> <li>• Repaint existing cabinet, retainers, and poles to fuel brand specifications</li> <li>• Repaint existing cabinet, retainers, &amp; poles to Circle K specs.</li> </ul>
<p><b>B</b></p> <p><b>BUILDING</b></p>	<ul style="list-style-type: none"> <li>• Remove Big Red signs</li> <li>• Install new CK shop sign center at the peak of the Building</li> <li>• Reface Big Red sign under the Baskin Robbins sign to FreshFood</li> </ul>
<p><b>C</b></p> <p><b>CANOPY</b></p>	<ul style="list-style-type: none"> <li>• Install (2) new illuminated fuel brand canopy ID sign</li> <li>• Install new Non illuminated ACM</li> <li>• Install illuminated eyebrow lighting</li> <li>• Paint canopy poles to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Paint light poles to fuel brand specifications</li> </ul>
<p><b>D</b></p> <p><b>DISPENSERS &amp; FORECOURT</b></p>	<ul style="list-style-type: none"> <li>• Reimage dispensers to fuel brand specifications</li> <li>• Replace trash cans to fuel brand specifications</li> <li>• Paint columns &amp; islands to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Install pump flags to fuel brand specifications</li> <li>• Paint light poles to Circle K specifications</li> </ul>
<p><b>E</b></p> <p><b>CAR WASH</b></p>	<ul style="list-style-type: none"> <li>• Remove Awning</li> <li>• Install new Tri color ACM around Carwash</li> </ul>
<p><b>F</b></p> <p><b>DIRECTIONAL</b></p>	<ul style="list-style-type: none"> <li>• Directional signs to be installed at drive way entries</li> </ul>



**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
 ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

# Site Overview

# SCOPE OF WORK

A

MID

- Reface Valero to CK
- Reface pricer cabinet to Unleaded / Diesel
- Reface Big Red to Car Wash
- Baskin Robbins to remain
- Replace letter board with EMC sign
- Install New 24" ABLE LEDs and 4" Toggle
- Install LED retrofit lighting in all existing cabinets
- Repaint existing cabinet, retainers, and poles to fuel brand specifications
- Repaint existing cabinet, retainers, & poles to Circle K specs.

PRODUCT COPY:  
WHITE COPY ON OPAQUE BACKGROUND

6" Unleaded  
6" Diesel

**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

**NOTE: NEED A SURVEY TO CONFIRM MEASUREMENTS**

4" WHITE ABLE ALTERNATOR LEDS OPTIONS:

EASY PAY  
CREDIT

ALL ALTERNATE MESSAGES MUST BE PROGRAMED PRIOR TO SHIPPING AND INSTALLER-CONFIRMED UPON INSTALL

EXISTING 164.91 Sq.Ft

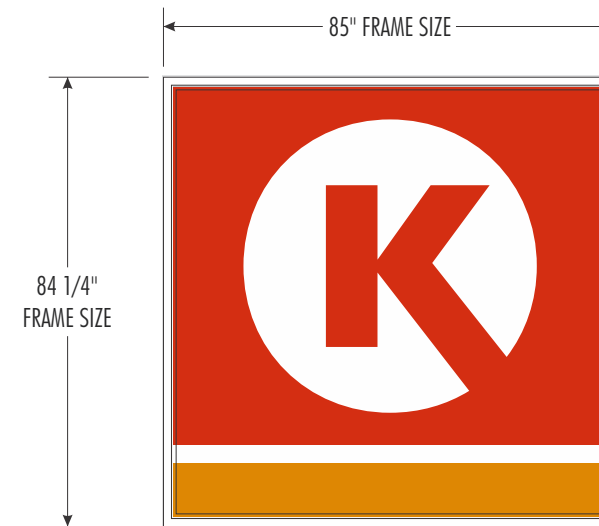
PROPOSED 164.91 Sq.Ft



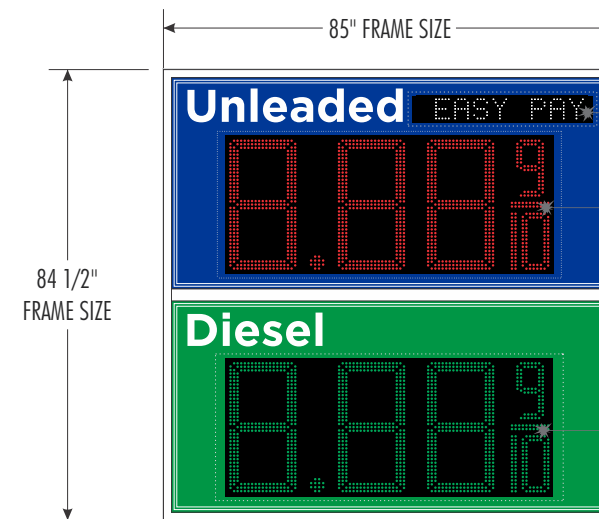
EXISTING LEDS SIZES: UNSPECIFIED SIZE AND BRAND  
(subject to confirmation)



PROPOSED LEDS SIZES: NEW 24" RED/GREEN ABLE 7-SEG. LEDS  
SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING



PANEL REFACE ONLY



PANEL REFACE ONLY



PANEL REFACE ONLY

CLEAR WINDOW  
4" WHITE ABLE ALTERNATOR LEDS  
WINDOW SIZE: 5" x 33 7/8"  
TAB04ALTW\_9D  
CLEAR WINDOW  
24" RED ABLE 7-SEGMENT LED'S  
WINDOW SIZE: 26" x 61 1/2"

CLEAR WINDOW  
24" GREEN ABLE 7-SEGMENT LED'S  
WINDOW SIZE: 26" x 61 1/2"



NEW EMC

APPROX: 48" X 84" VIEWING AREA  
ELECTRONIC MESSAGE CENTER  
SR PART # TAB10407EMC-CS

## SCOPE OF WORK

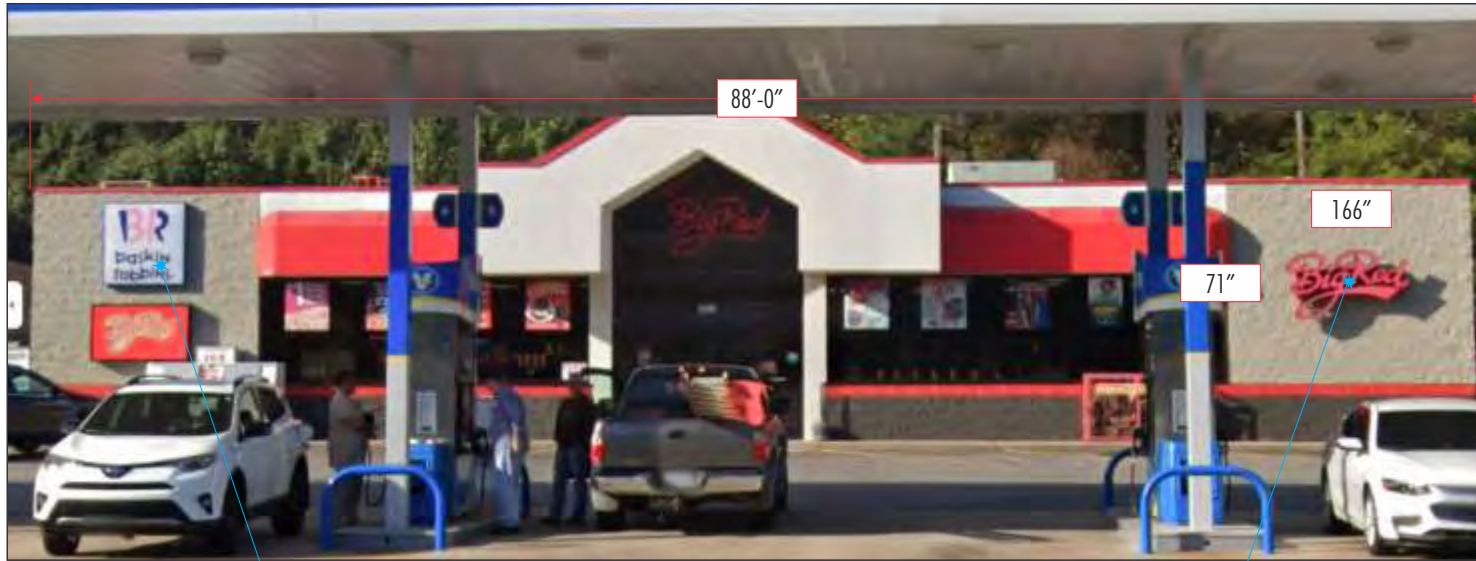
B

### BUILDING

- Remove Big Red signs
- Install new CK shop sign center at the peak of the Building
- Reface Big Red sign under the Baskin Robbins sign to FreshFood

### EXISTING

**163.69** Sq.Ft



### PROPOSED

**63.33** Sq.Ft



# Building

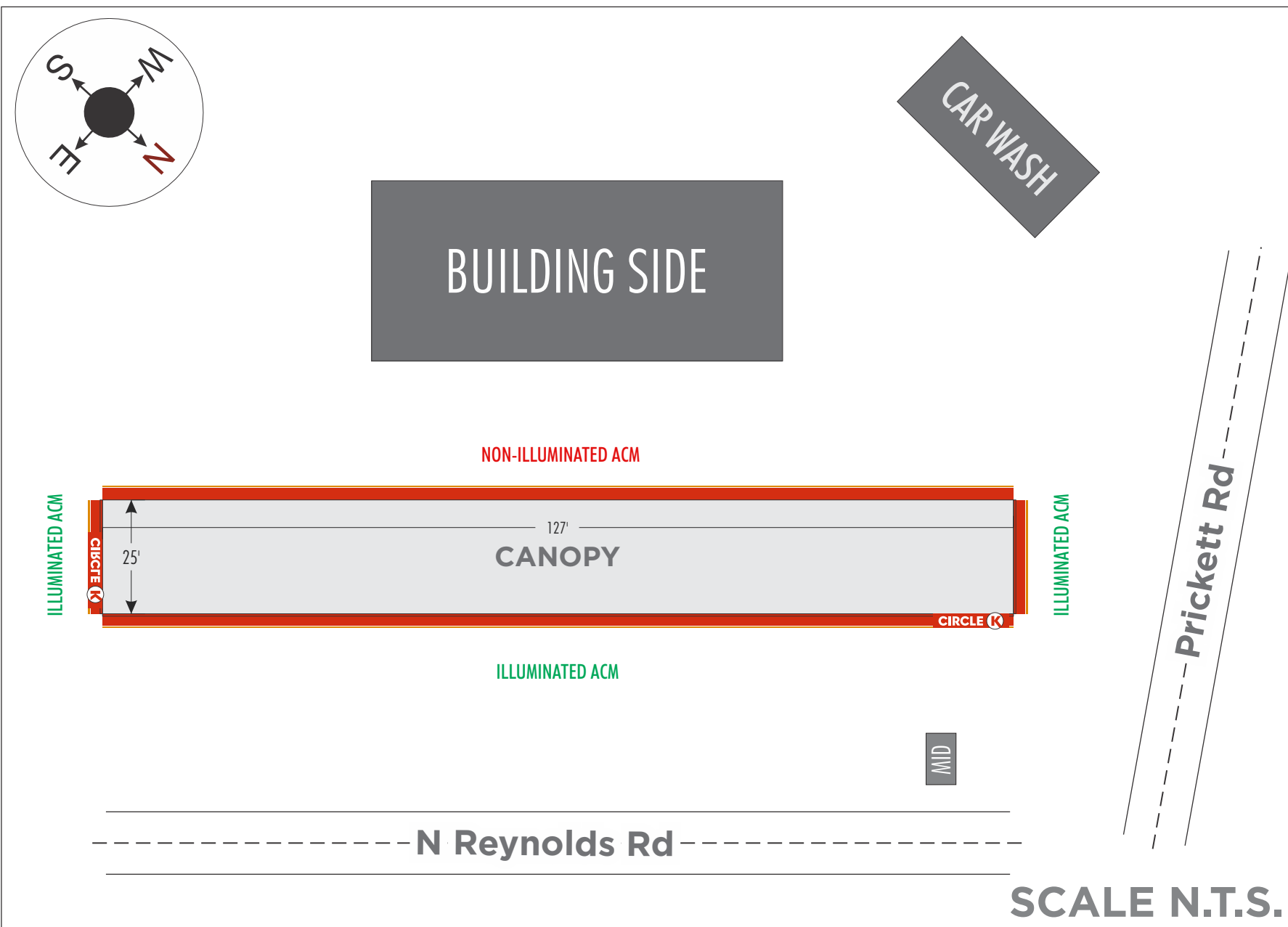
# SCOPE OF WORK

## CANOPY

- Install (2) new illuminated fuel brand canopy ID sign
- Install new Non illuminated ACM
- Install illuminated eyebrow lighting
- Paint canopy poles to fuel brand specifications
- Paint bollards to fuel brand specifications
- Paint light poles to fuel brand specifications

## SITE OVERVIEW

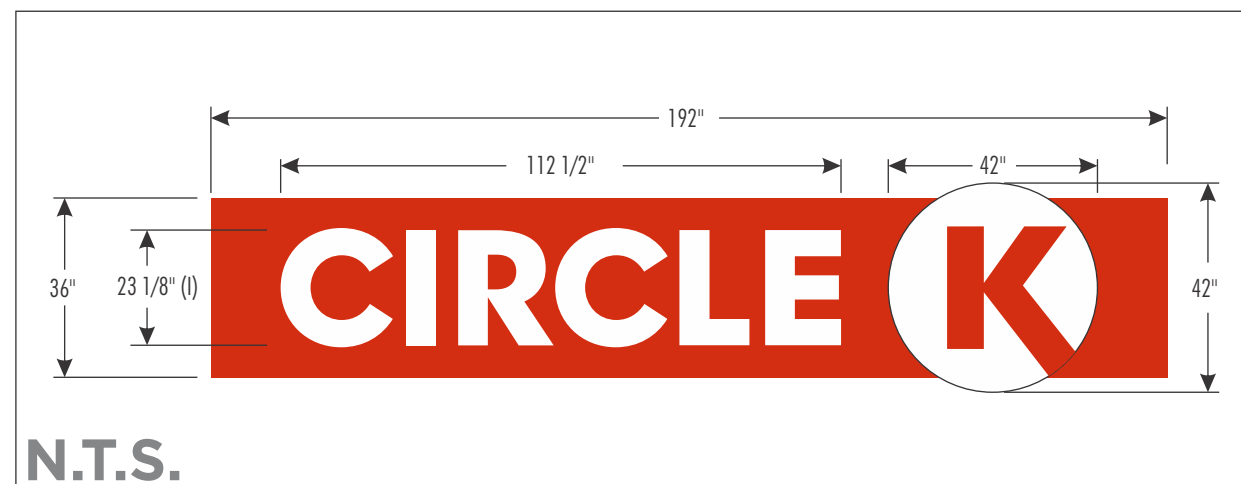
**36"** HEIGHT OF ACM



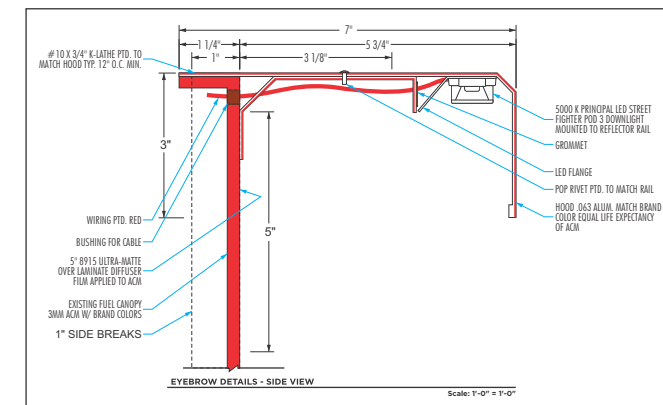
## EXISTING



## PROPOSED



## EYEBROW DETAILS



## SCOPE OF WORK

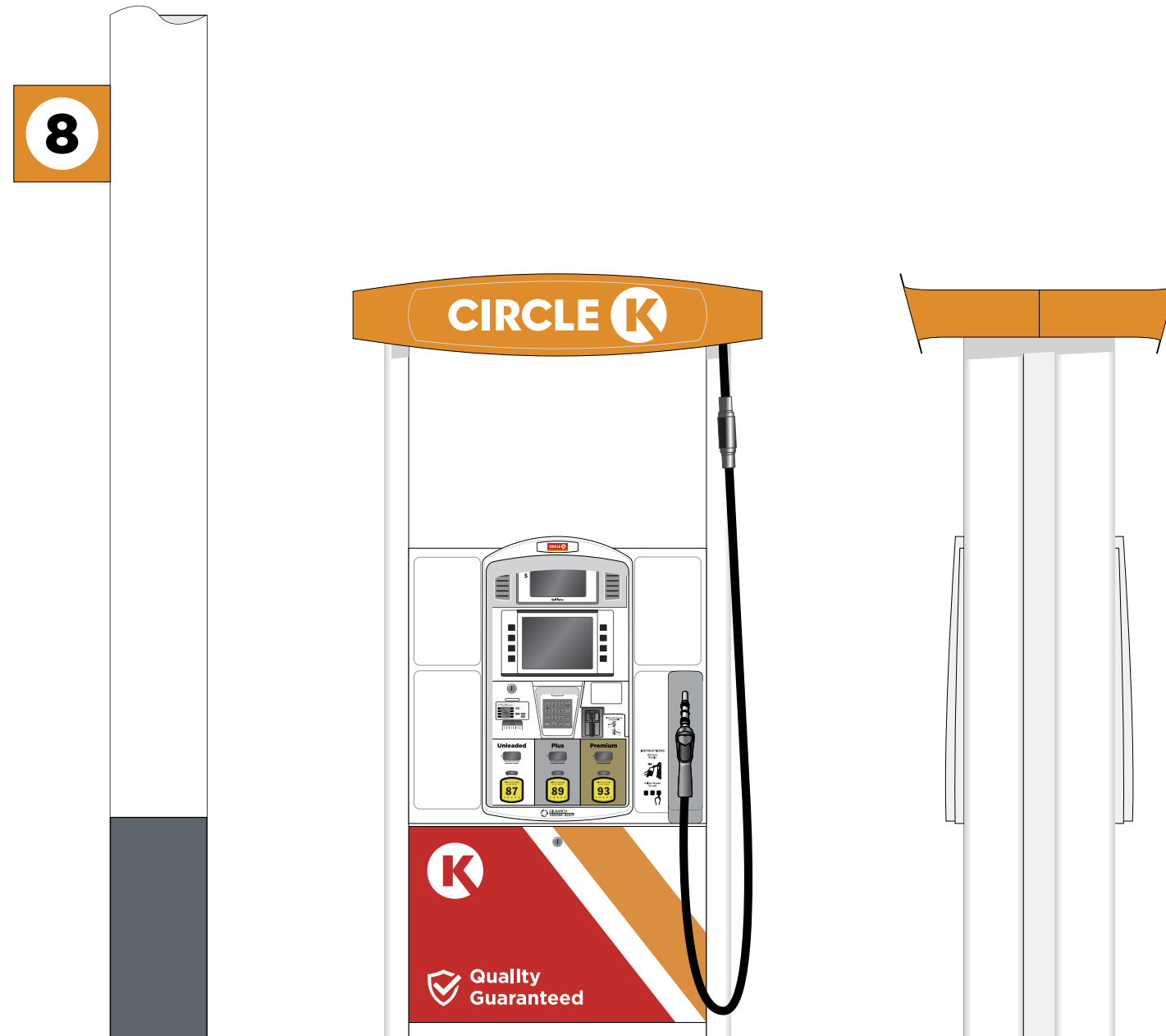
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



## PROPOSED



## SCOPE OF WORK

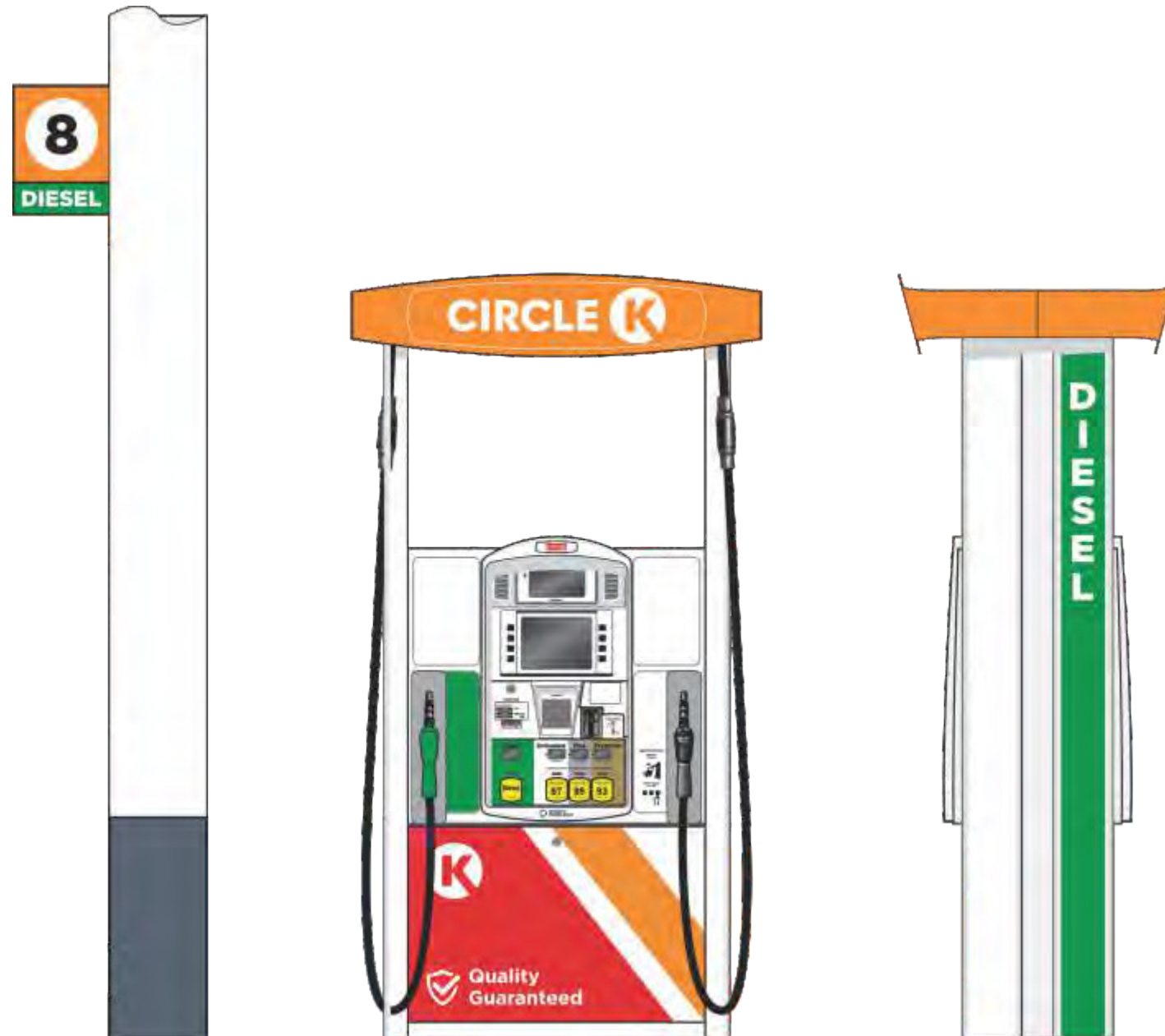
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

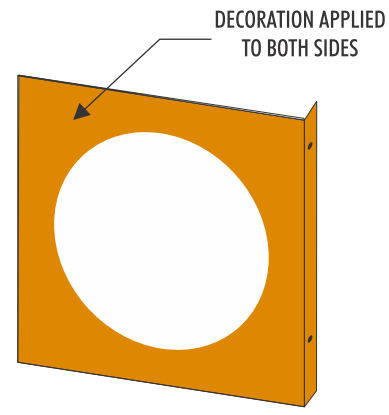
## EXISTING



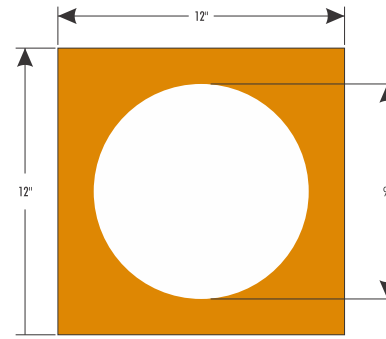
## PROPOSED



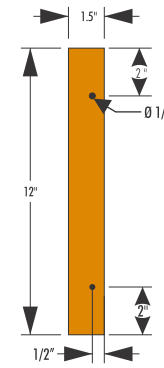




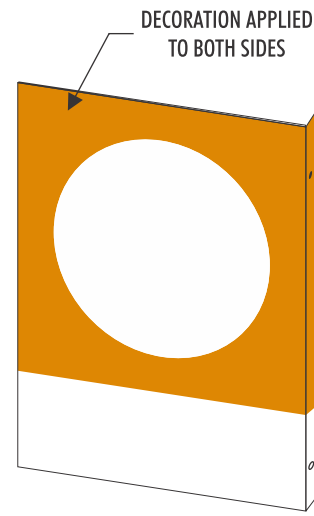
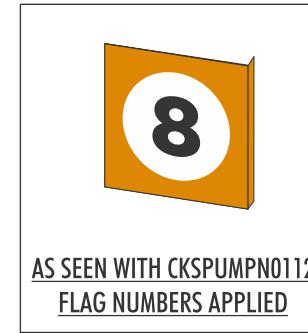
ISOMETRIC VIEW FRONT  
WITH SCREENED DECORATION



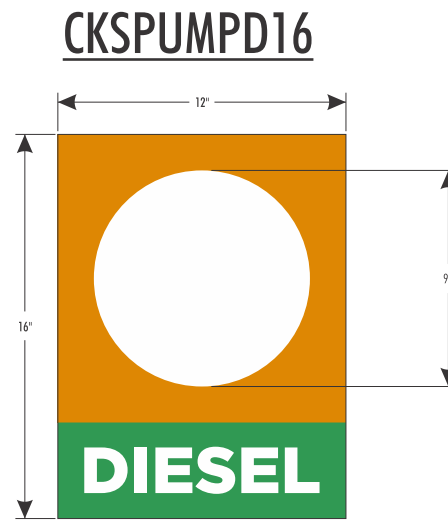
FRONT VIEW



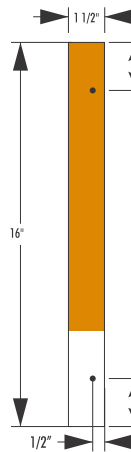
RIGHT VIEW



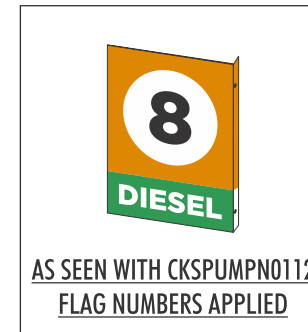
ISOMETRIC VIEW FRONT  
WITH SCREENED DECORATION



FRONT VIEW



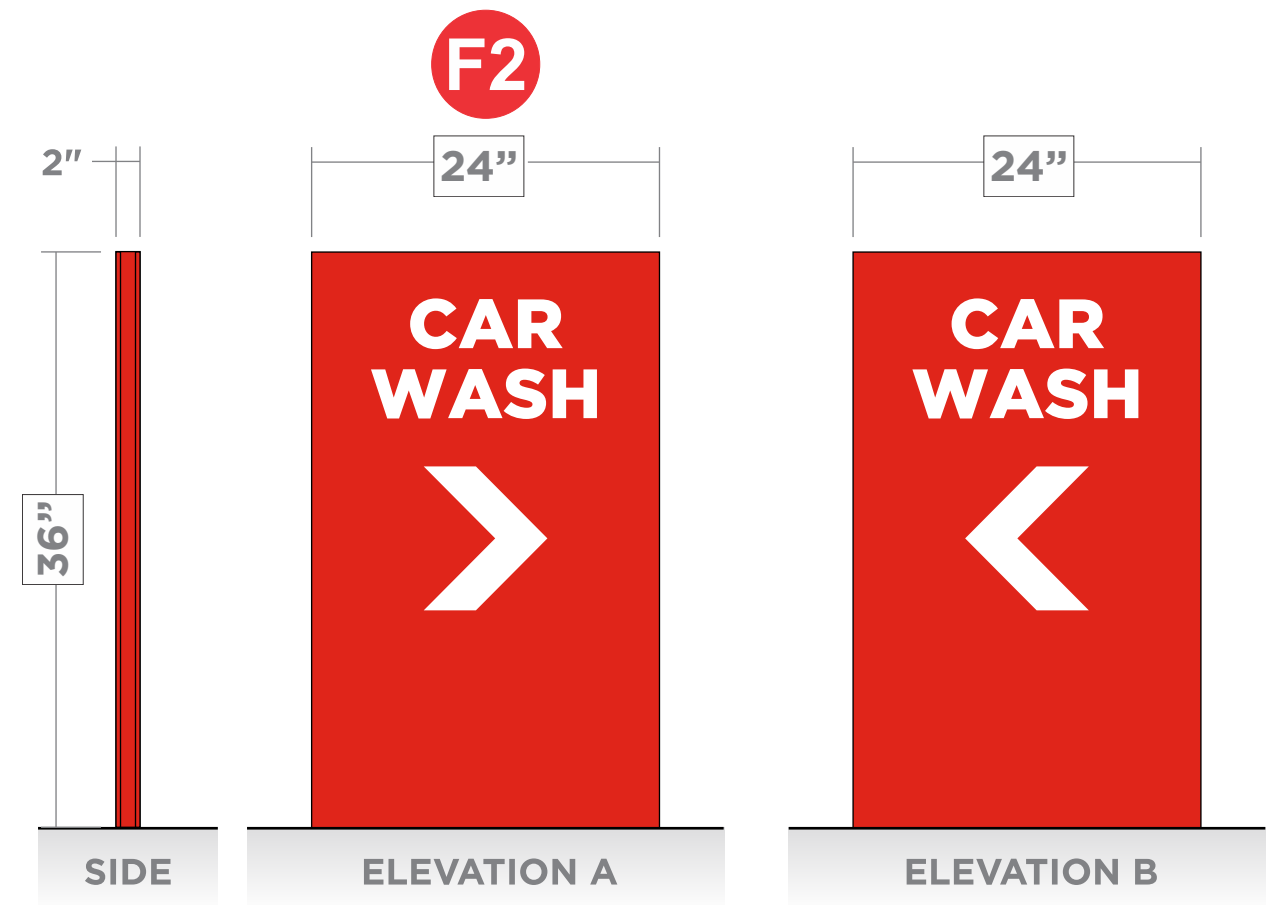
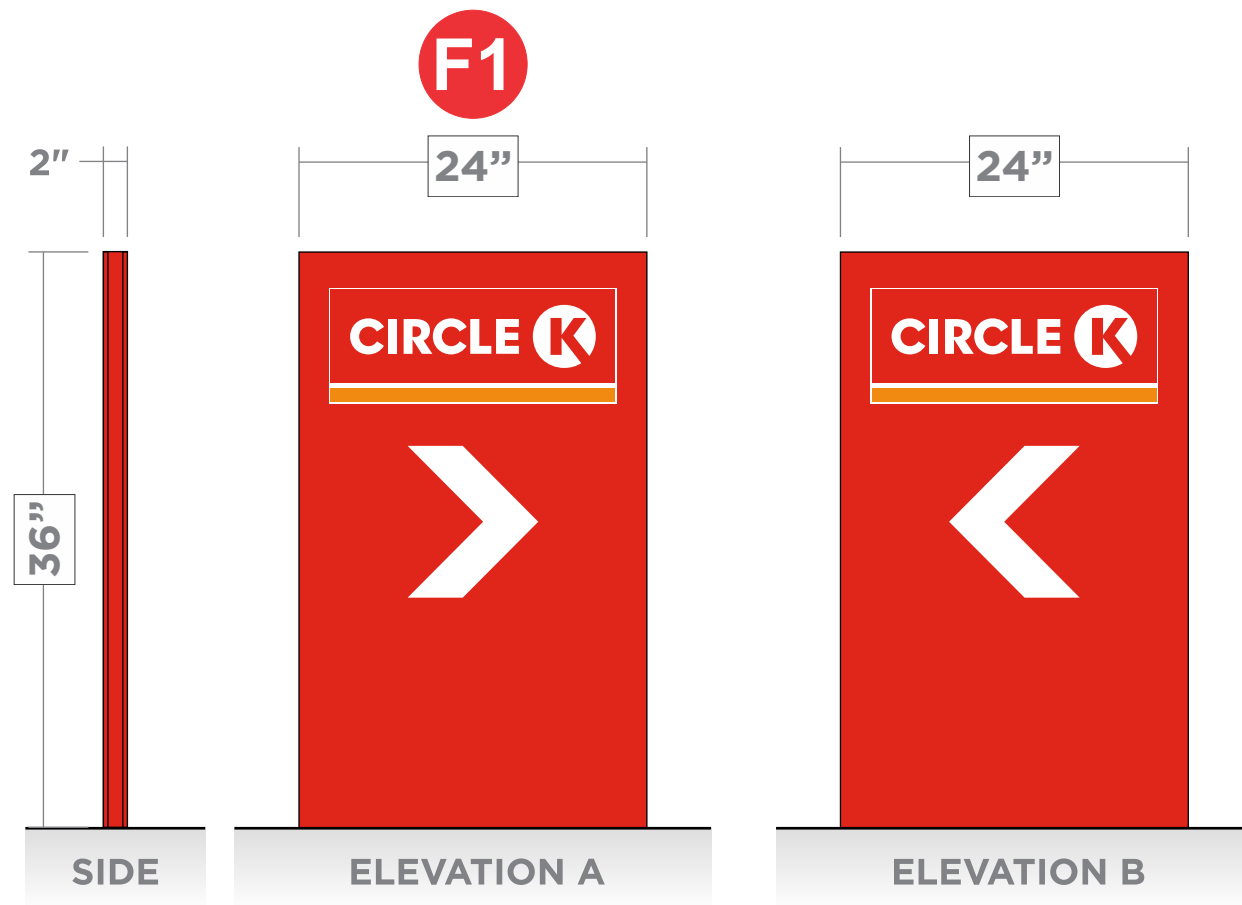
RIGHT VIEW



# SCOPE OF WORK

F  
DIRECTIONAL

• Directional signs to be installed at drive way entries



# SCOPE OF WORK

- Remove Awning
- Install new Tri color ACM around Carwash

## CAR WASH

### EXISTING

0 Sq.Ft



### PROPOSED

23.25 Sq.Ft

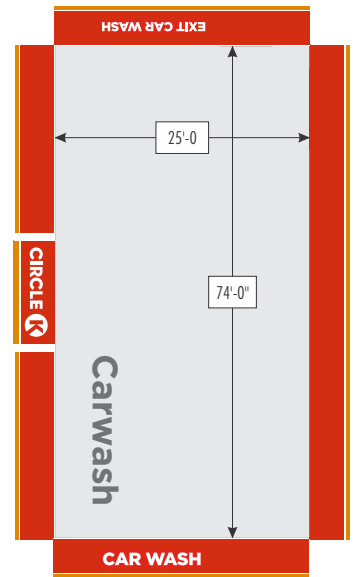


(subject to confirmation)

# Car Wash




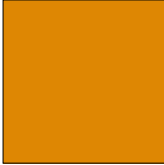
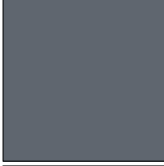




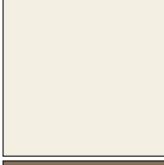

FRONT VIEW



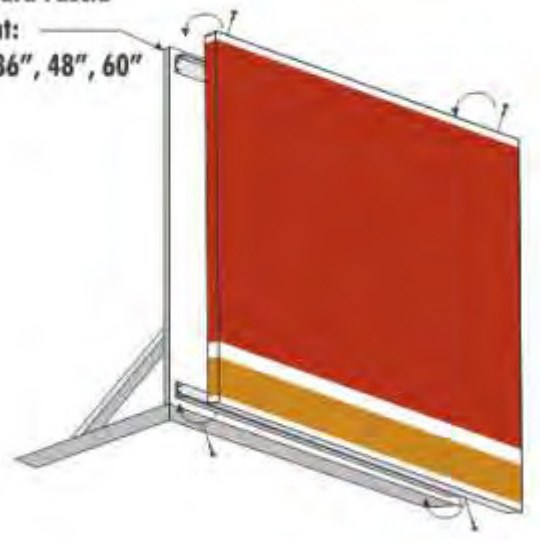
SIDE VIEW



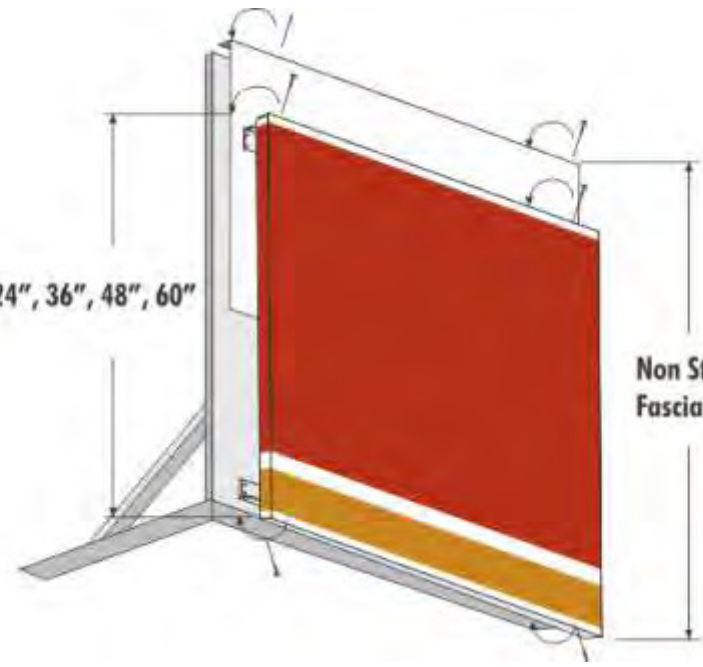
## Circle K:

Sample	Description	Applied to
	<b>Primary Red - PMS 485</b> 3M - 3630-2553	Building Sign Fascia Car Wash
	<b>Primary Orange - PMS 144</b> 3M - 3630-3534	Building Sign Fascia Column Flags
	<b>Safety Red</b> Sherwin Williams - SW 4081	Building Bollards
	<b>Grays Harbor</b> Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	<b>White</b>	Building Sign Fascia Light Posts
	<b>Green - PMS 355</b> 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	<b>Blue - PMS 287</b> 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	<b>Egret White</b> Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	<b>Neutral Ground</b> Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	<b>Nuthatch</b> Sherwin Williams - SW 6088	Buildings 30" to grade

Standard Fascia  
Height:  
24", 36", 48", 60"



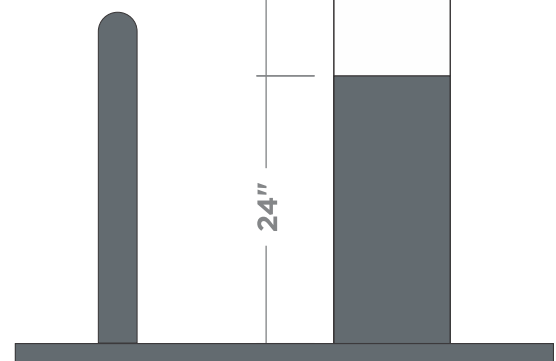
24", 36", 48", 60"



Non Standard  
Fascia Heights

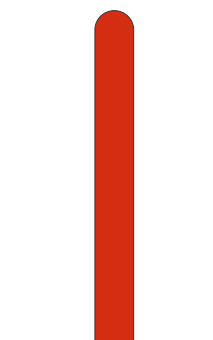
TO BOTTOM OF CANOPY

24"



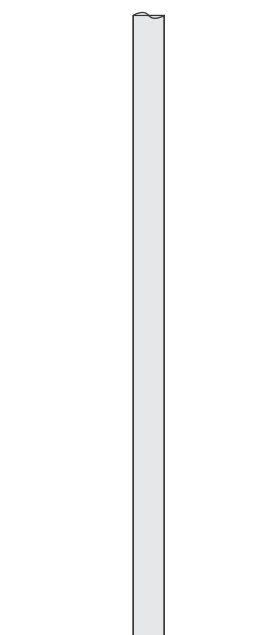
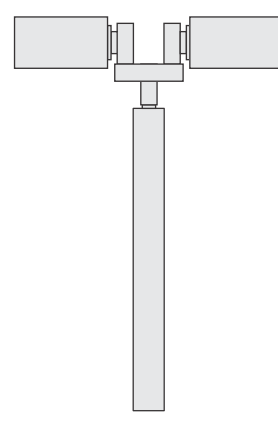
DISPENSER  
BOLLARDS

CANOPY  
COLUMNS



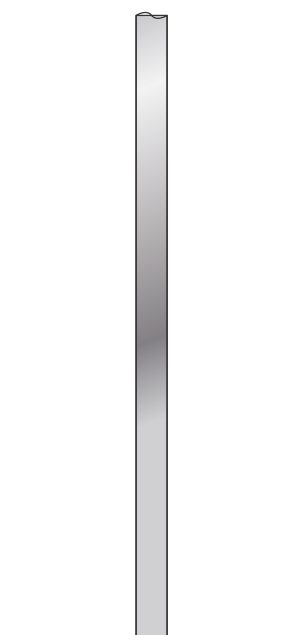
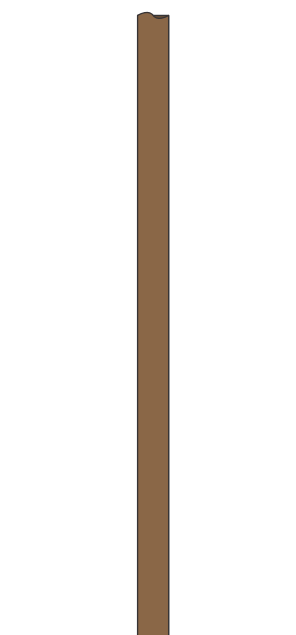
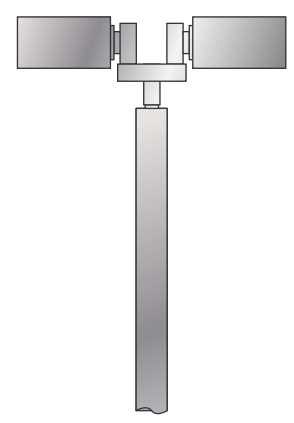
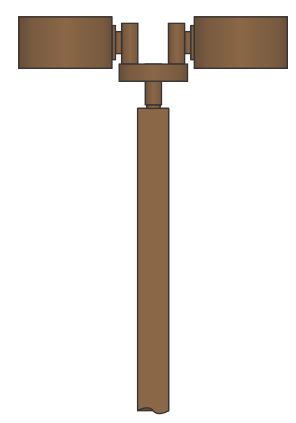
STOREFRONT  
BOLLARDS

**PREFERRED**  
RAL9016 Shell  
Warm White



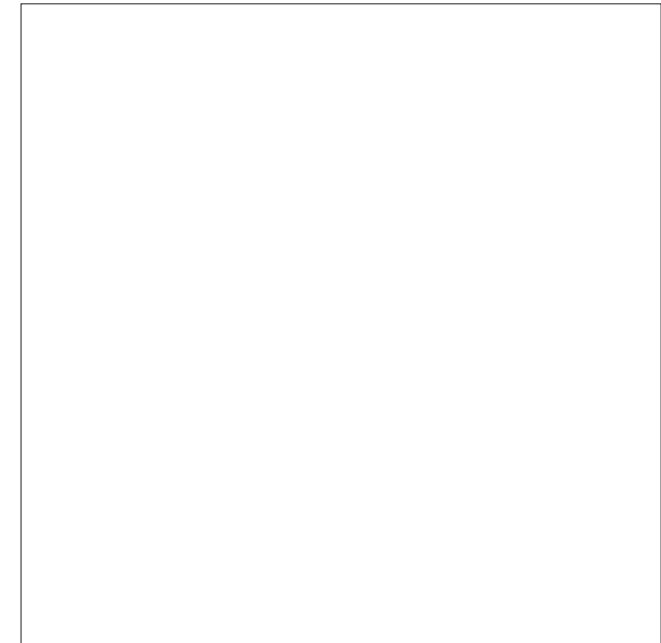
LIGHT  
POLES

**APPROVED EXCEPTIONS**  
Only for existing light poles that  
are duranodic bronze or silver



LIGHT  
POLES

# Circle K Paint Specifications



2400 Springhill Road  
Bryant, AR 72022

**SITE# 128**

Valero/Big Red to Circle K

DATE: 04/04/2023\_(JAME/OC)(OC)  
CK\_128\_2400\_SPRINGHILL RD\_BRYANT\_AR\_H

# SCOPE OF WORK

<p>A</p> <p>MID</p>	<ul style="list-style-type: none"> <li>• Reface Valero to Circle K</li> <li>• Reface pricer cabinet to new Unleaded pricer faces, install new 24" Able LEDs and 4" toggle</li> <li>• Reface Big Red to Car Wash panel</li> <li>• Remove existing message board and install new EMC</li> <li>• Install LED retrofit lighting in all existing cabinets</li> <li>• Repaint existing cabinet, retainers, and poles to fuel brand specifications</li> </ul>
<p>B</p> <p>BUILDING</p>	<ul style="list-style-type: none"> <li>• Change Big Red channel letters to CK shop sign above center of the entrance</li> <li>• Remove Big Red sign from the corner of the building</li> <li>• All other existing faces to remain</li> </ul>
<p>C</p> <p>CANOPY</p>	<ul style="list-style-type: none"> <li>• Install (2) new illuminated fuel brand canopy ID signs</li> <li>• Install new non illuminated tri color ACM</li> <li>• Install Eyebrow down lighting on canopy fascia</li> <li>• Paint canopy poles to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Paint light poles to fuel brand specifications</li> </ul>
<p>D</p> <p>DISPENSERS &amp; FORECOURT</p>	<ul style="list-style-type: none"> <li>• Reimage dispensers to fuel brand specifications</li> <li>• Replace trash cans to fuel brand specifications</li> <li>• Paint columns &amp; islands to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Install pump flags to fuel brand specifications</li> <li>• Paint light poles to Circle K specifications</li> </ul>
<p>E</p> <p>CAR WASH</p>	<ul style="list-style-type: none"> <li>• Tear down existing awning</li> <li>• Show "Car Wash" with tri color</li> <li>• Show "exit car wash" with tri color</li> <li>• Reimage Car Wash to fuel brand specifications</li> </ul>
<p>F</p> <p>DIRECTIONAL</p>	<ul style="list-style-type: none"> <li>• Directional signs to be installed at drive way entries</li> </ul>



**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

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ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

## Site Overview

# SCOPE OF WORK

A

MID

- Reface Valero to Circle K
- Reface pricer cabinet to new Unleaded pricer faces, install new 24" Able LEDs and 4" toggle
- Reface Big Red to Car Wash panel
- Remove existing message board and install new EMC
- Install LED retrofit lighting in all existing cabinets
- Repaint existing cabinet, retainers, and poles to fuel brand specifications

## PRODUCT COPY:

WHITE COPY ON OPAQUE BACKGROUND

6" Unleaded

EXISTING

179.46 Sq.Ft

PROPOSED

179.46 Sq.Ft



EXISTING LEDs SIZES: 17 1/2" RED UNSPECIFIED BRAND

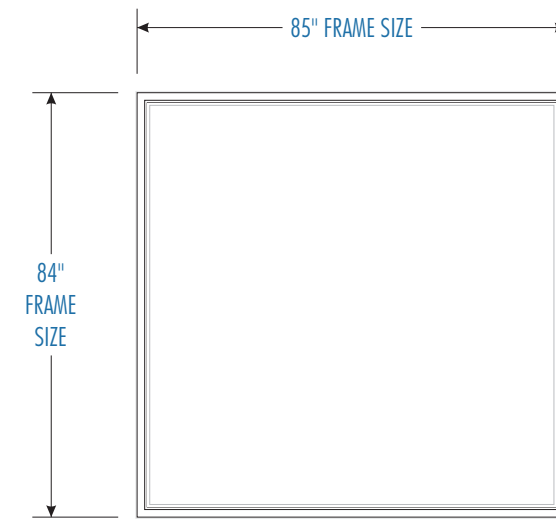
REMOVE THIS CABINET



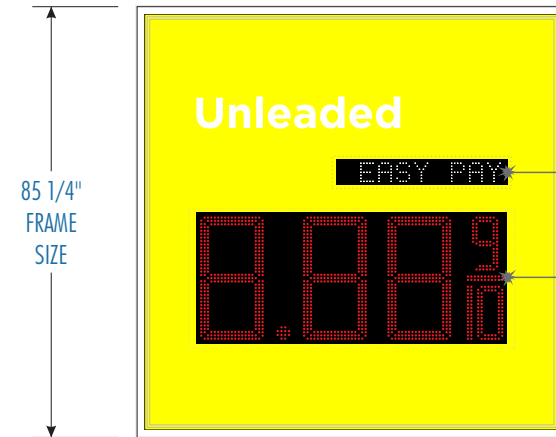
PROPOSED LEDs SIZES: NEW 24" RED ABLE 7-SEG. LEDs

TO REMAIN AS IS

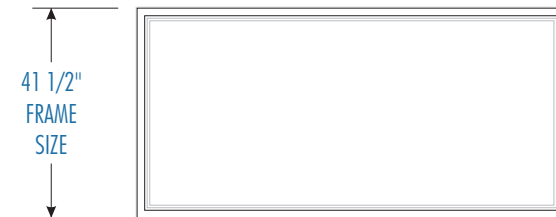
NEW EMC



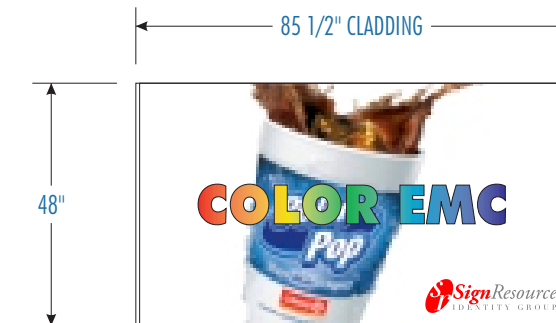
PANEL REFACE ONLY



PANEL REFACE ONLY



PANEL REFACE ONLY



NEW EMC

4" WHITE ABLE ALTERNATOR LEDs OPTIONS:

EASY PAY

CREDIT

ALL ALTERNATE MESSAGES MUST BE PROGRAMED PRIOR TO SHIPPING AND INSTALLER-CONFIRMED UPON INSTALL

CLEAR WINDOW  
4" WHITE ABLE ALTERNATOR LEDs  
WINDOW SIZE: 5" x 33 7/8"  
1AB04ALTW\_9D

CLEAR WINDOW  
24" RED ABLE 7 SEGMENT LED'S  
WINDOW SIZE: 26" x 61.5"

VENTS AND FANS TO MATCH LED MANUFACTURER'S SPECIFICATIONS

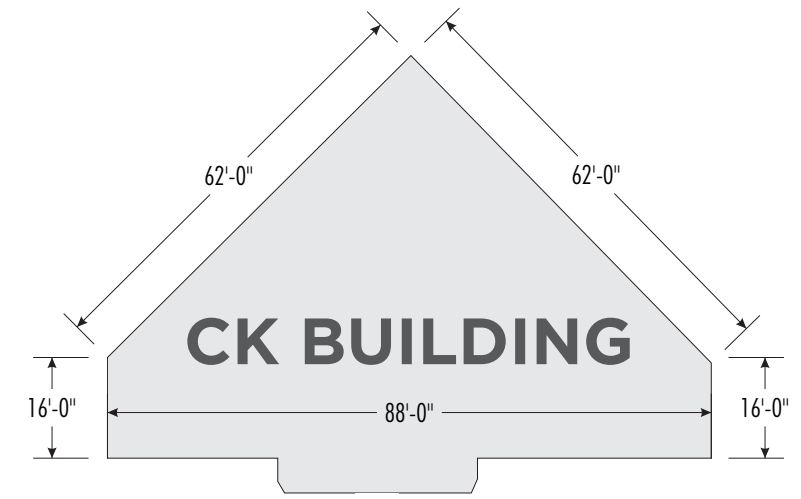


## SCOPE OF WORK

B

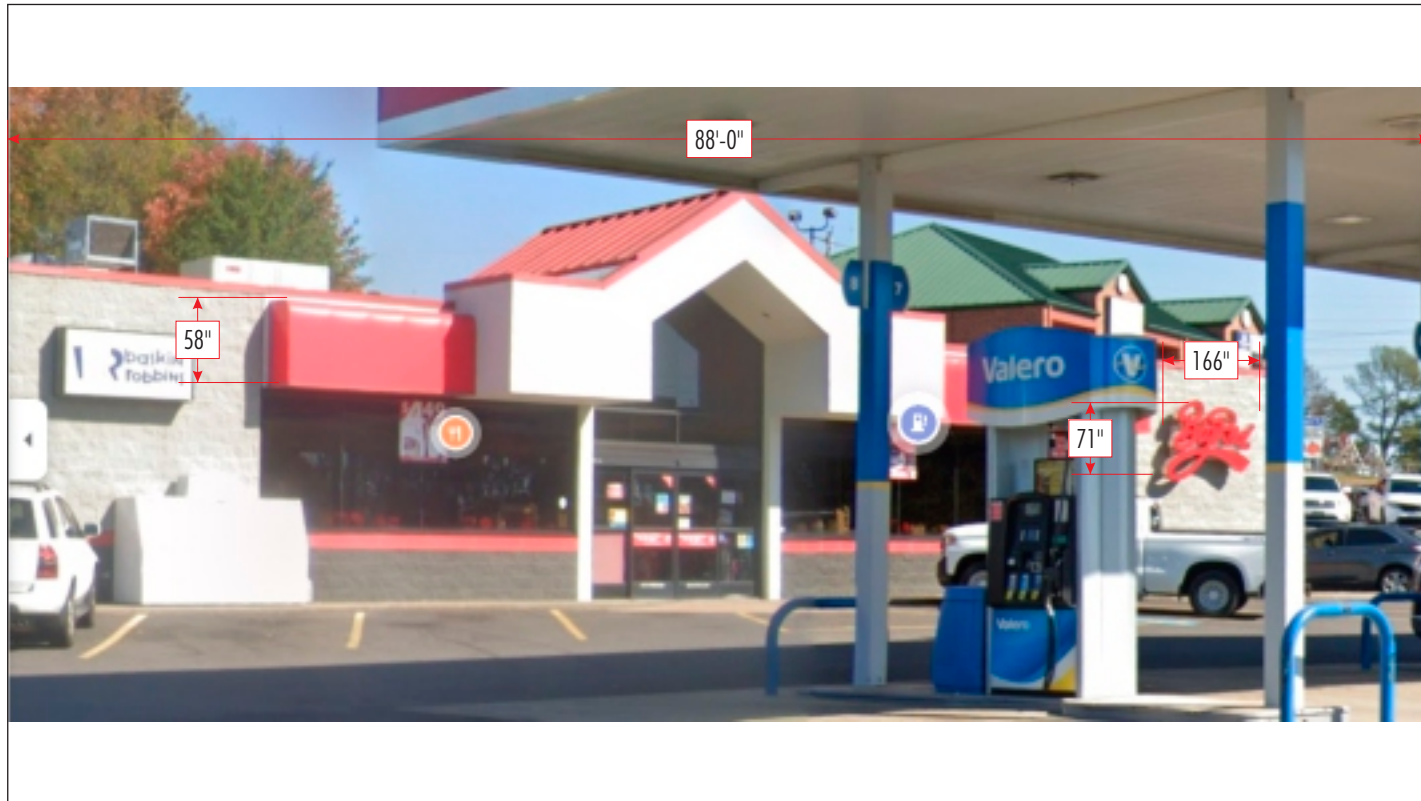
### BUILDING

- Change Big Red channel letters to CK shop sign above center of the entrance
- Remove Big Red sign from the corner of the building
- All other existing faces to remain



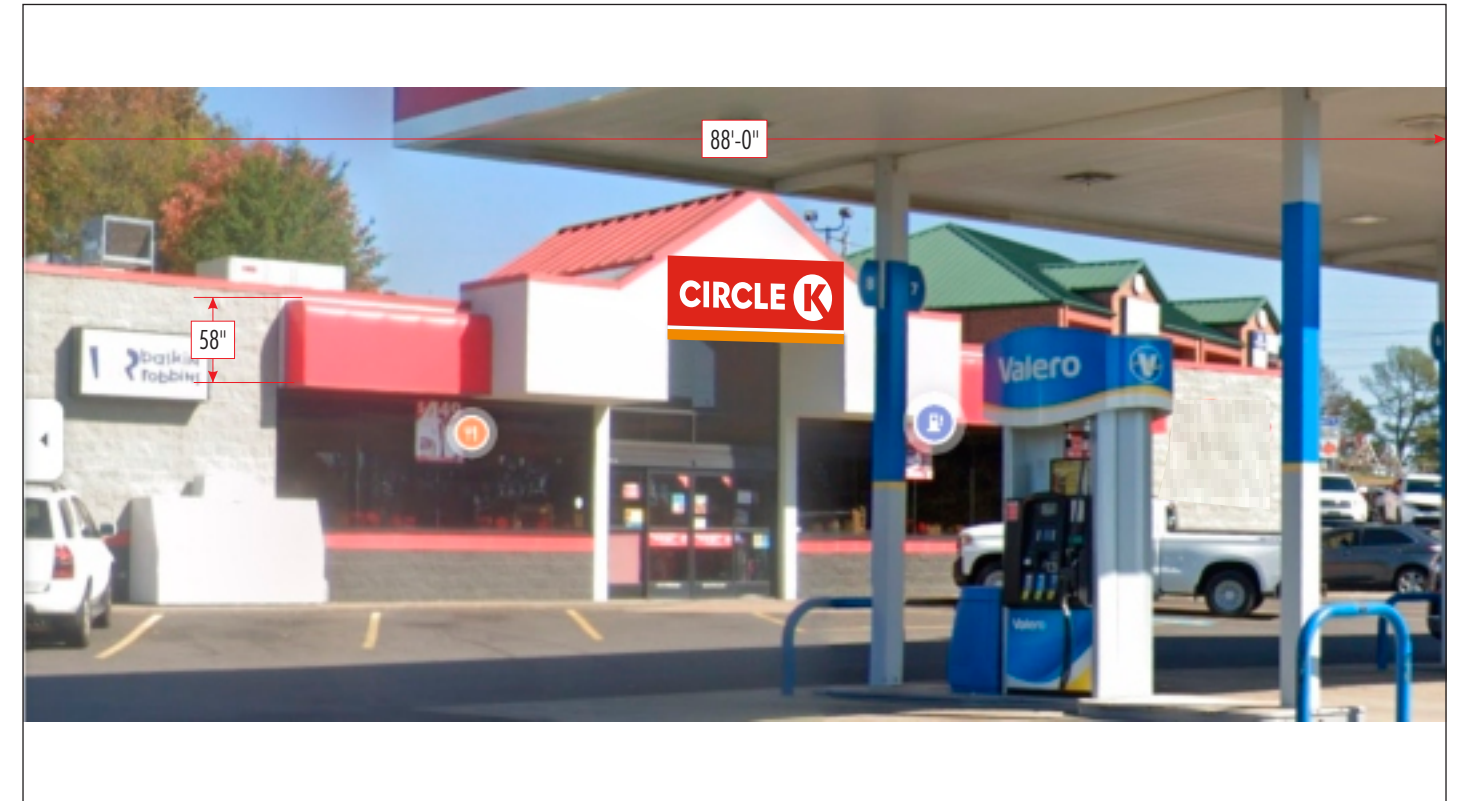
## EXISTING

81.85 Sq.Ft



## PROPOSED

63.33 Sq.Ft

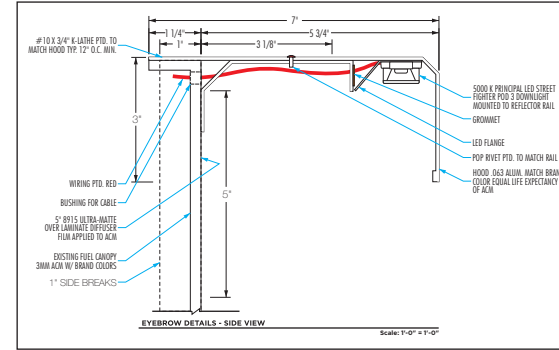


# SCOPE OF WORK

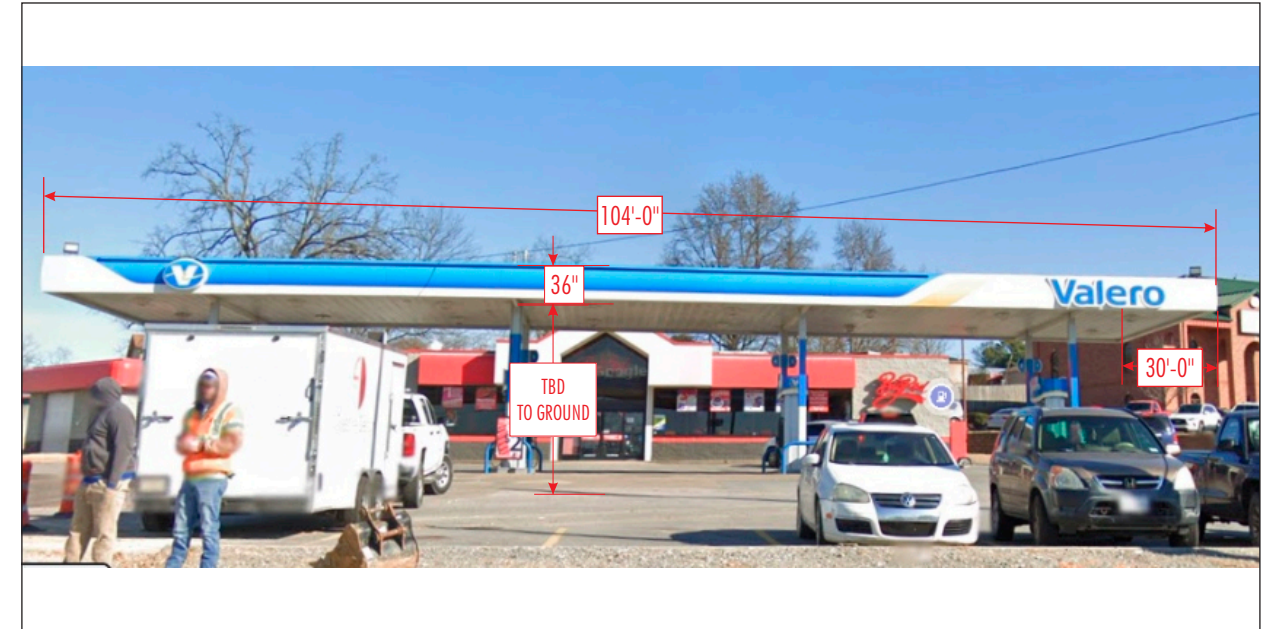
- Install (2) new illuminated fuel brand canopy ID signs
- Install new non illuminated tri color ACM
- Install Eyebrow down lighting on canopy fascia
- Paint canopy poles to fuel brand specifications
- Paint bollards to fuel brand specifications
- Paint light poles to fuel brand specifications

## CANOPY

# EYEBROW DETAILS



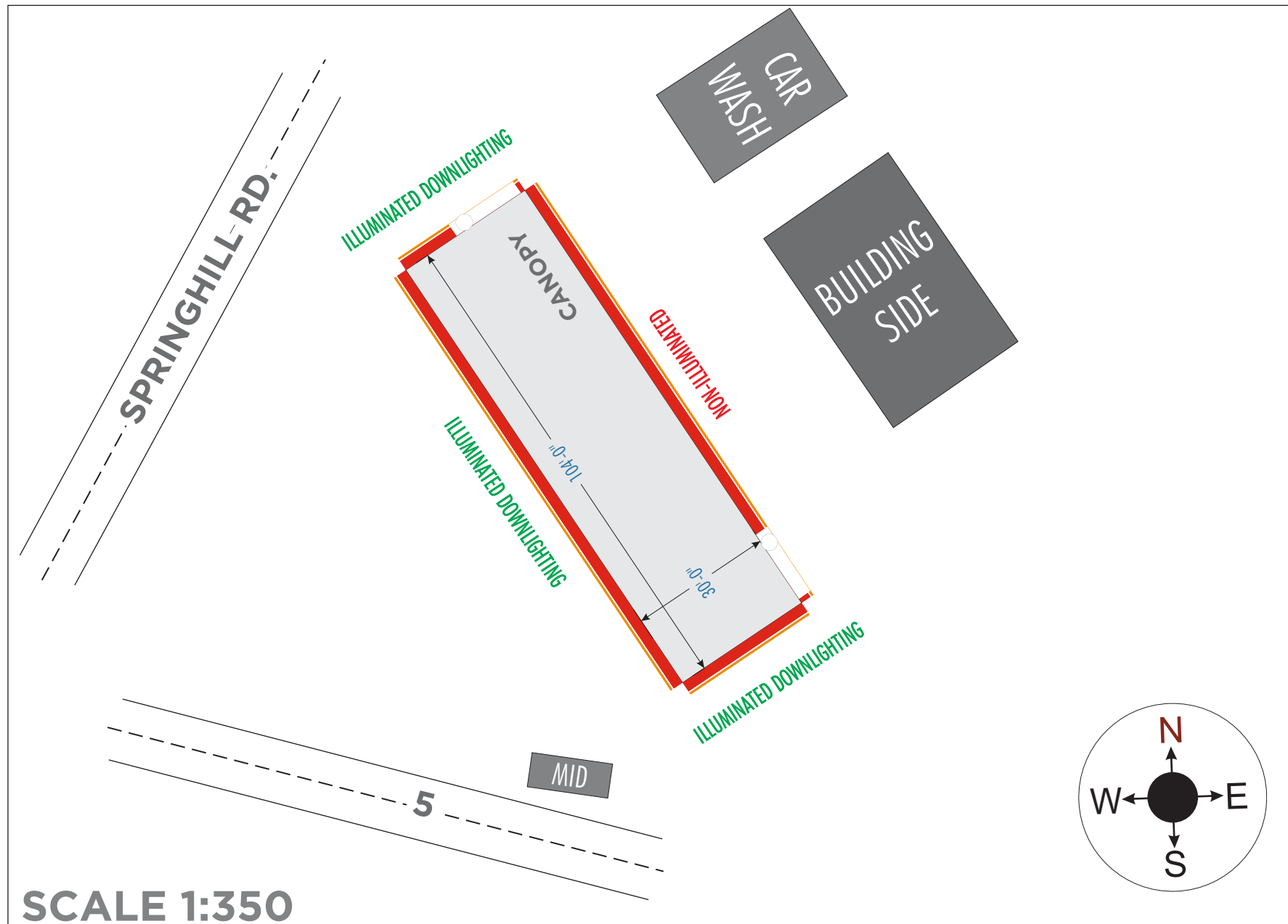
# EXISTING



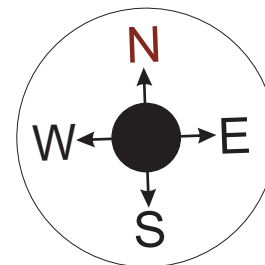
# SITE OVERVIEW

36"

HEIGHT OF ACM

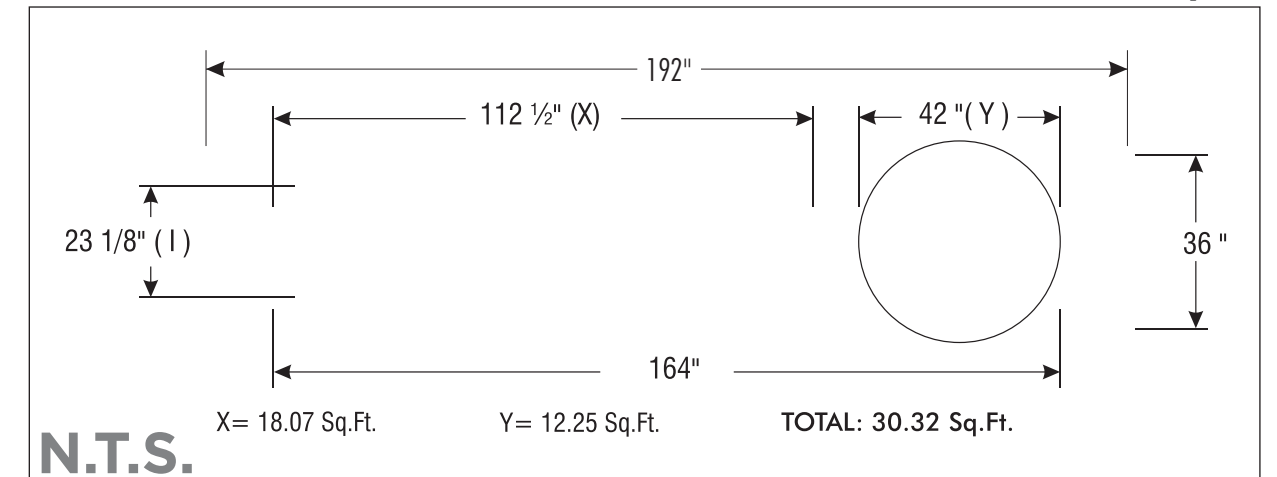


SCALE 1:350



# PROPOSED

3'x16' CK ID - 48.00 Sq.Ft.



## SCOPE OF WORK

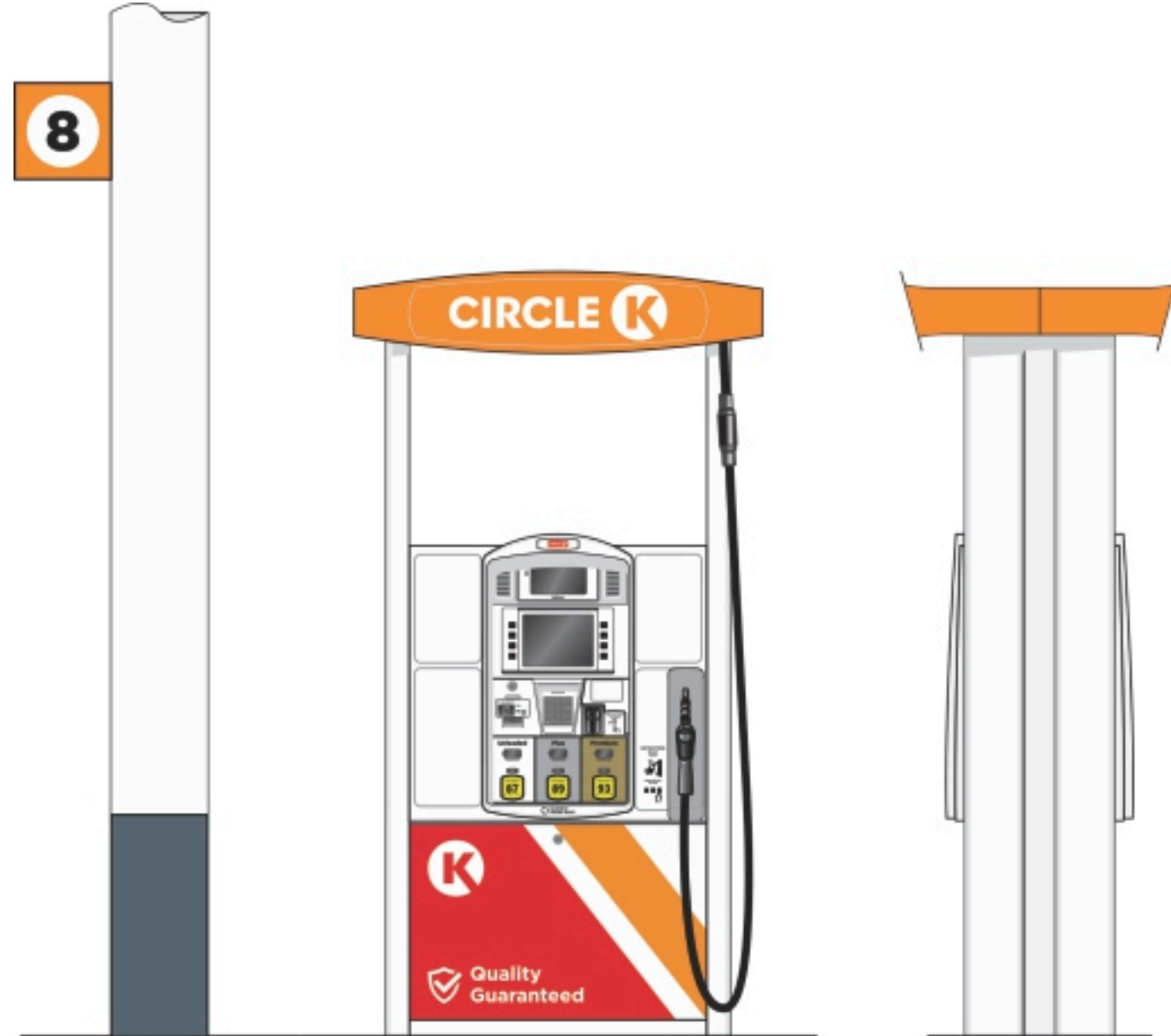
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



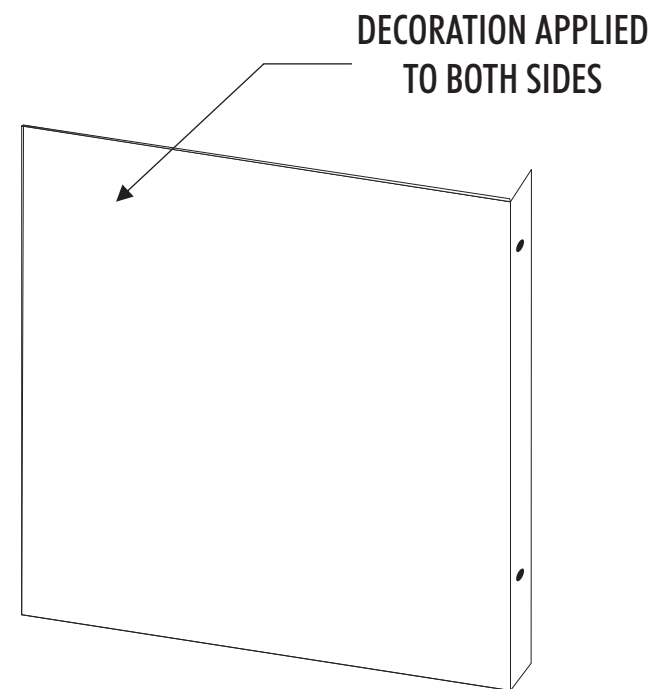
## PROPOSED



## SCOPE OF WORK

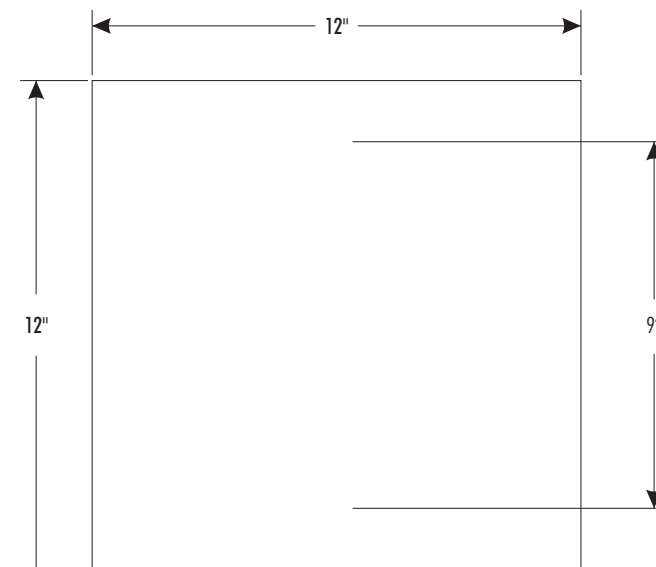
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

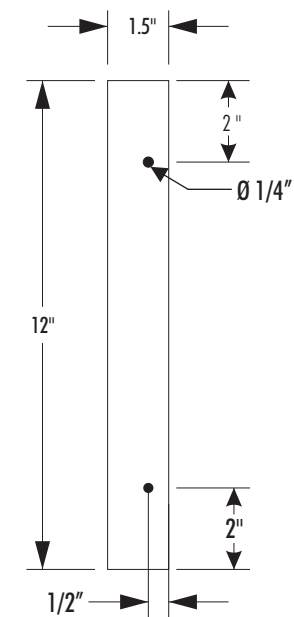


ISOMETRIC VIEW FRONT  
WITH SCREENED DECORATION

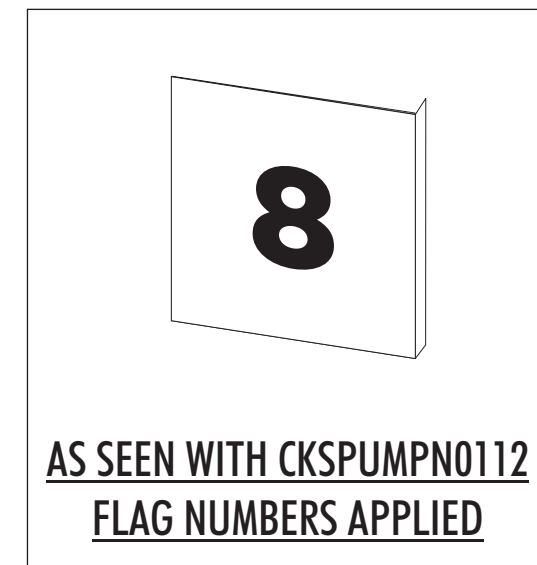
### CKSPUMP12



FRONT VIEW



RIGHT VIEW



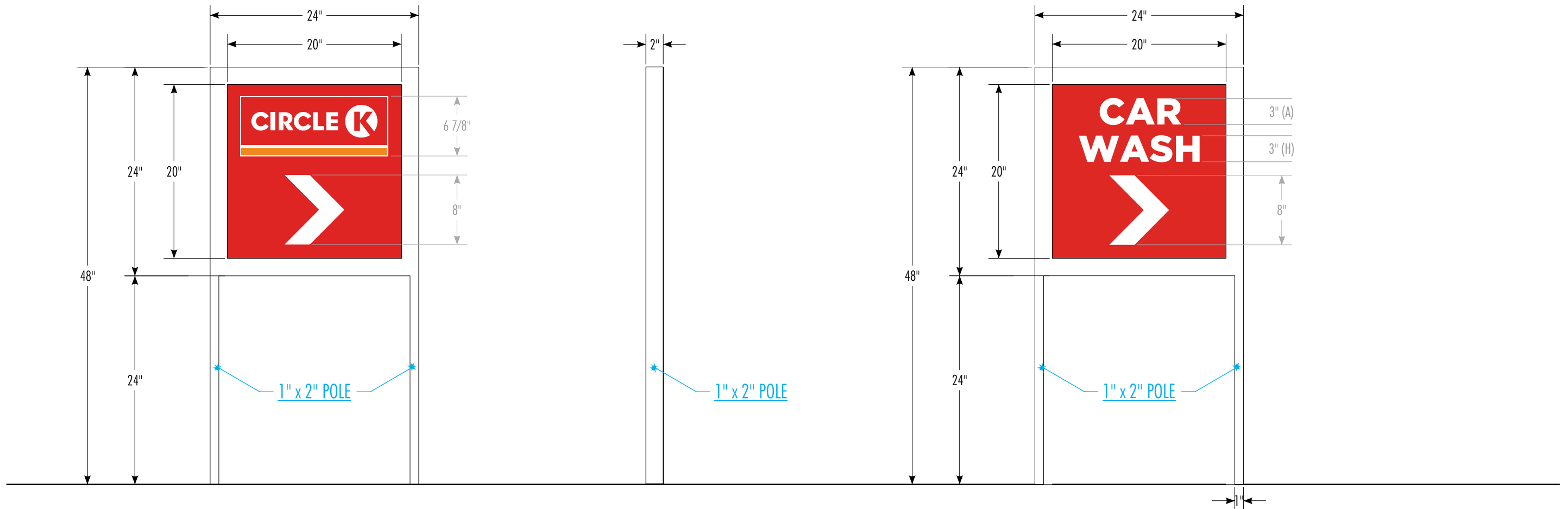
# SCOPE OF WORK

• Directional signs to be installed at drive way entries

F  
DIRECTIONAL

F1

F2

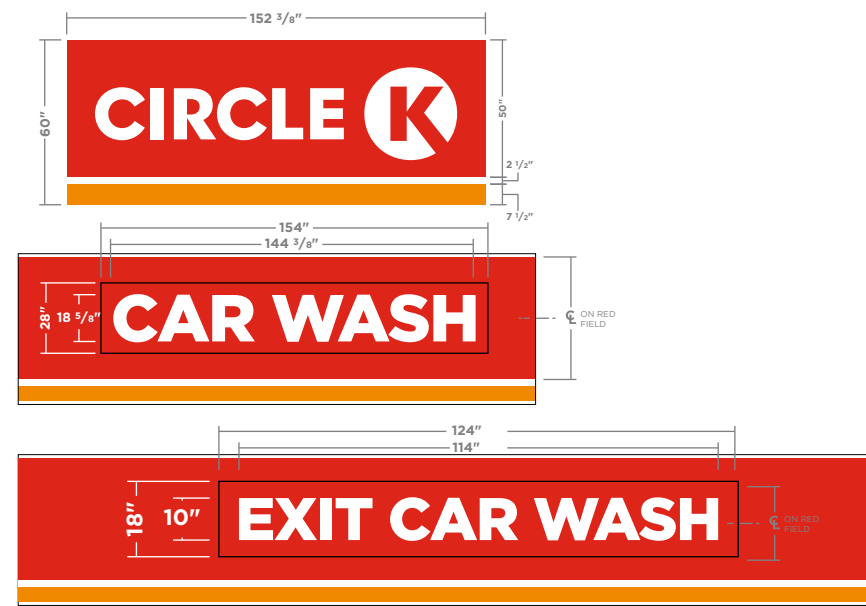


FRONT VIEW

# SCOPE OF WORK

## E CAR WASH

- Tear down existing awning
- Show "Car Wash" with tri color
- Show "exit car wash" with tri color
- Reimage Car Wash to fuel brand specifications



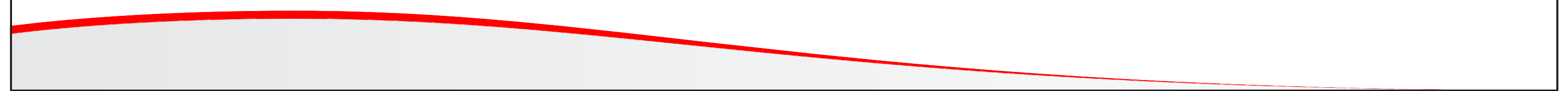
## EXISTING

TBD Sq.Ft



## PROPOSED

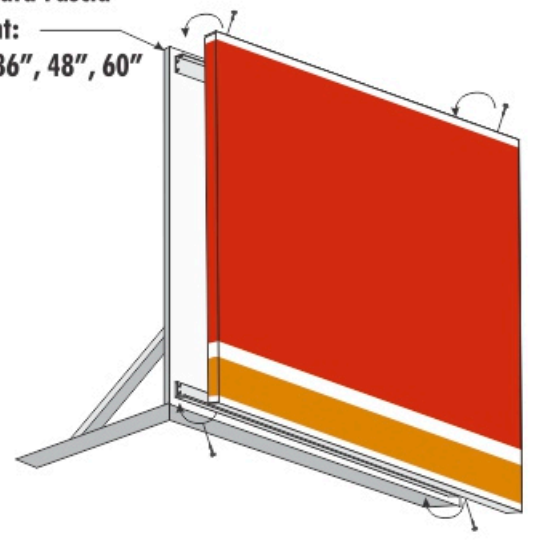
TBD Sq.Ft



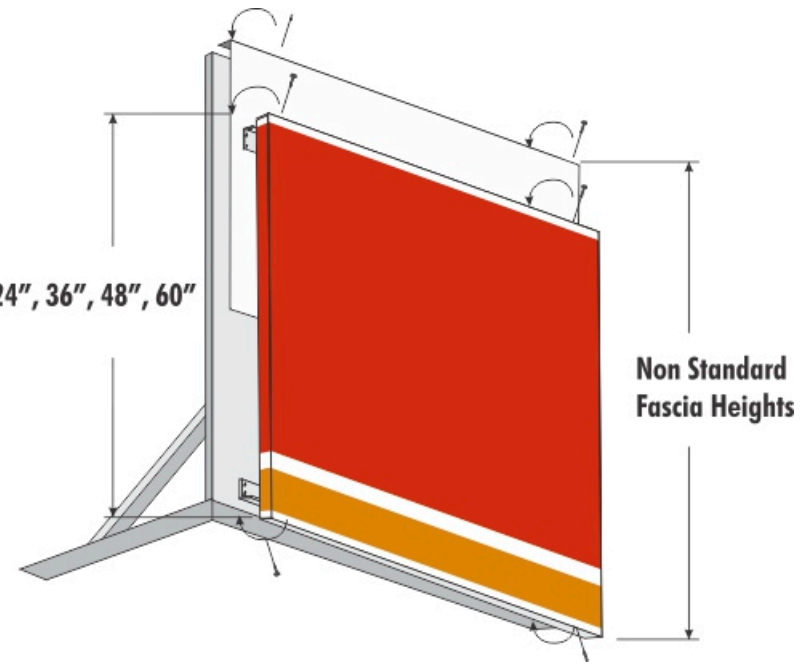
## Circle K:

Sample	Description	Applied to
	Primary Red - PMS 485 3M - 3630-2553	Building Sign Fascia Car Wash
	Primary Orange - PMS 144 3M - 3630-3534	Building Sign Fascia Column Flags
	Safety Red Sherwin Williams - SW 4081	Building Bollards
	Grays Harbor Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	White	Building Sign Fascia Light Posts
	Green - PMS 355 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	Blue - PMS 287 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	Egret White Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	Neutral Ground Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	Nuthatch Sherwin Williams - SW 6088	Buildings 30" to grade

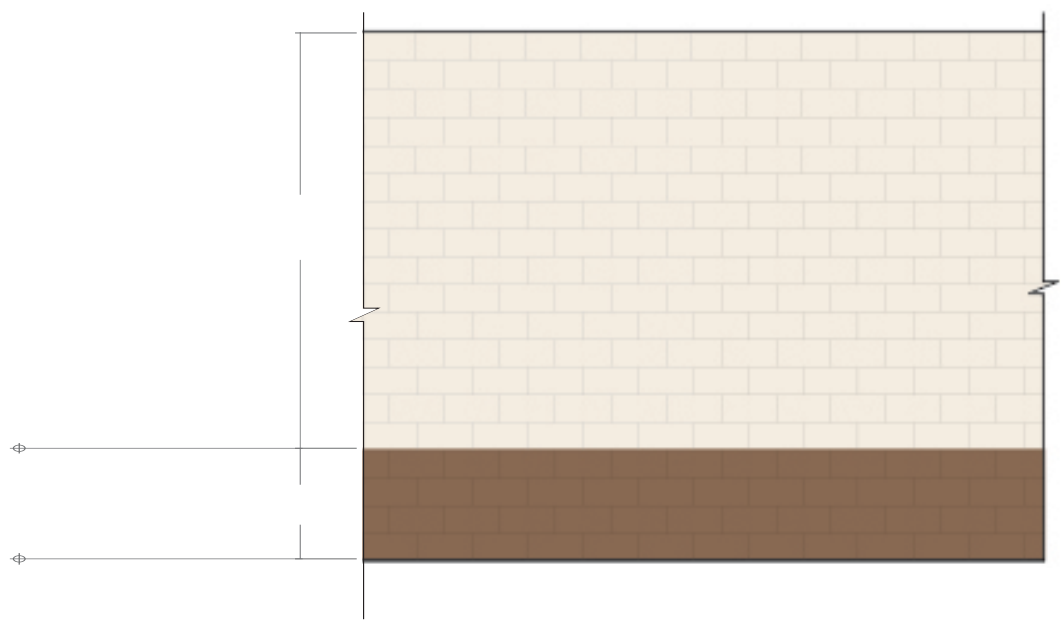
Standard Fascia Height:  
24", 36", 48", 60"



24", 36", 48", 60"

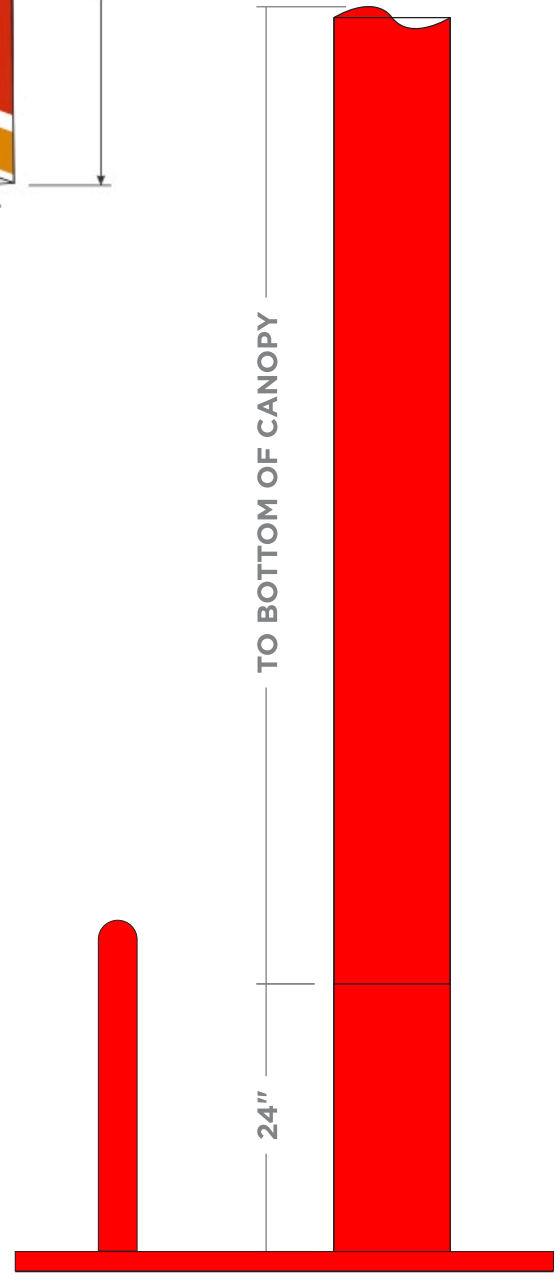


Non Standard Fascia Heights



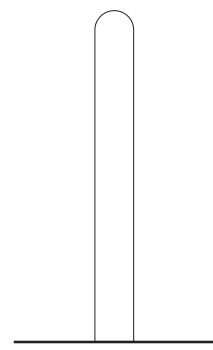
TO BOTTOM OF CANOPY

24"

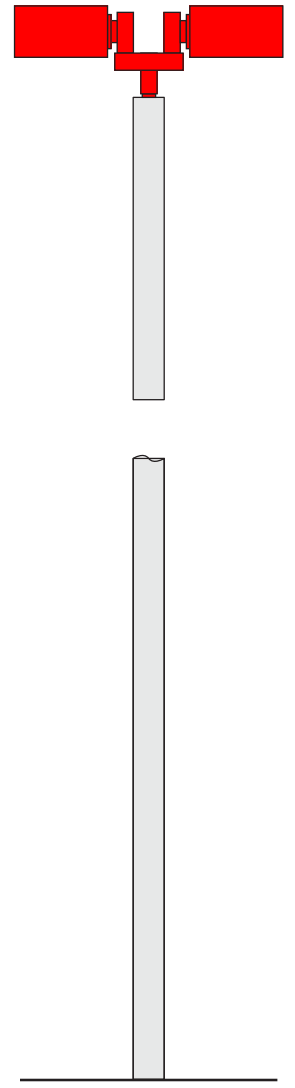


DISPENSER BOLLARDS

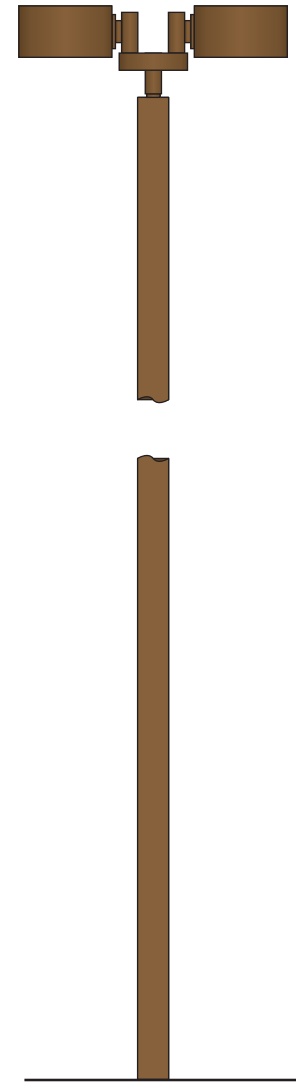
CANOPY COLUMNS



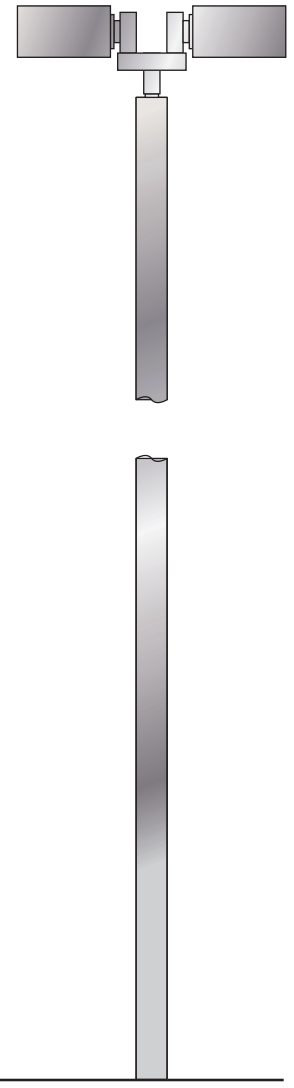
STOREFRONT BOLLARDS



LIGHT POLES



LIGHT POLES



# Circle K Paint Specifications





**City of Bryant, Arkansas**  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 05/05/2023

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

### Sign Co. or Sign Owner

Name Branded Image Group  
Address 227 E Emory Road  
City, State, Zip Powell, TN 37849  
Phone 865-328-6108  
Email Address rsmith@brandedimagegroup.com

### Property Owner

Name Circle K  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Phone \_\_\_\_\_  
Email Address \_\_\_\_\_

### GENERAL INFORMATION

Name of Business Circle K  
Address/Location of sign 1611 N Reynolds Rd, Bryant AR 72022  
Zoning Classification C2

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

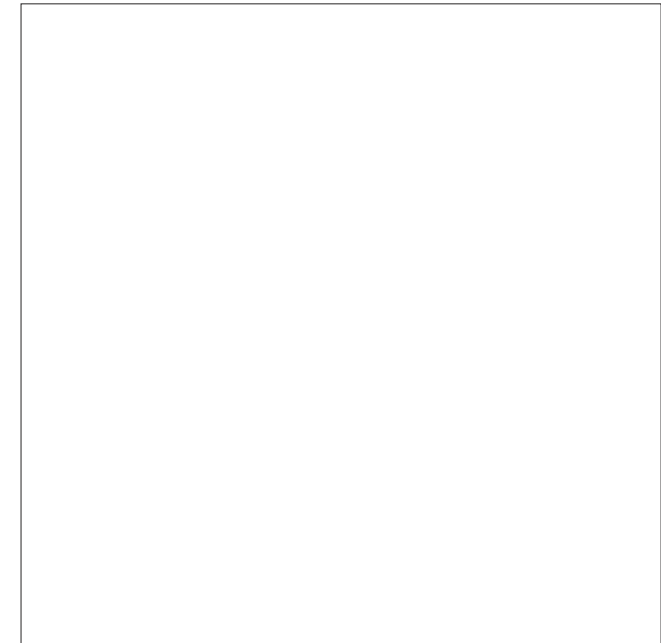
### READ CAREFULLY BEFORE SIGNING

I Robin Smith, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MID POLE	260'h 85 1/2w	164.91			
B	Building	60h 152 3/8h	63.33			
C	Canopy	36h 192w				
E	Directionals	48h 29w				
F						
G						



1611 North Reynolds Road  
Bryant, AR 72022

**SITE# 130**

**VALERO/BIG RED TO CIRCLE K**

DATE: 04/24/2023 (VB/OC)(OC)

[CK\\_130\\_NORTH\\_REYNOLDS\\_ROAD\\_BRYANT\\_AR\\_E](#)



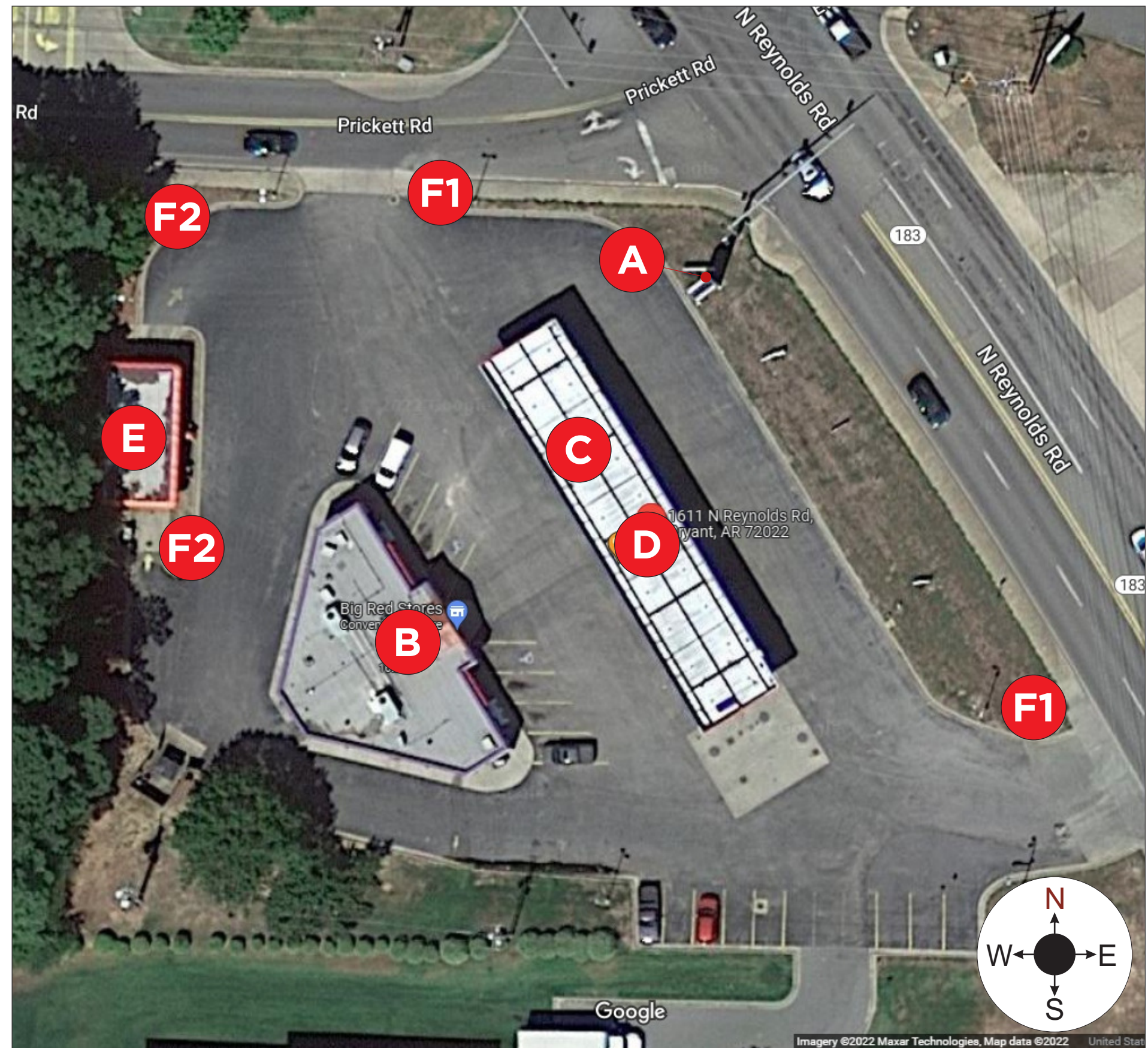
Los Angeles • Knoxville

800-423-4283

[www.SignResource.com](http://www.SignResource.com)

# SCOPE OF WORK

<p><b>A</b></p> <p><b>MID</b></p>	<ul style="list-style-type: none"> <li>• Reface Valero to CK</li> <li>• Reface pricer cabinet to Unleaded / Diesel</li> <li>• Reface Big Red to Amenity panel</li> <li>• Baskin Robbins to remain</li> <li>• Replace letter board with EMC sign</li> <li>• Install New 24" ABL LEDs and 4" Toggle</li> <li>• Install LED retrofit lighting in all existing cabinets</li> <li>• Repaint existing cabinet, retainers, and poles to fuel brand specifications</li> <li>• Repaint existing cabinet, retainers, &amp; poles to Circle K specs.</li> </ul>
<p><b>B</b></p> <p><b>BUILDING</b></p>	<ul style="list-style-type: none"> <li>• Remove Big Red signs</li> <li>• Install new CK shop sign center at the peak of the Building</li> <li>• Reface Big Red sign under the Baskin Robbins sign to FreshFood</li> </ul>
<p><b>C</b></p> <p><b>CANOPY</b></p>	<ul style="list-style-type: none"> <li>• Install (2) new illuminated fuel brand canopy ID sign</li> <li>• Install new Non illuminated ACM</li> <li>• Install illuminated eyebrow lighting</li> <li>• Paint canopy poles to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Paint light poles to fuel brand specifications</li> </ul>
<p><b>D</b></p> <p><b>DISPENSERS &amp; FORECOURT</b></p>	<ul style="list-style-type: none"> <li>• Reimage dispensers to fuel brand specifications</li> <li>• Replace trash cans to fuel brand specifications</li> <li>• Paint columns &amp; islands to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Install pump flags to fuel brand specifications</li> <li>• Paint light poles to Circle K specifications</li> </ul>
<p><b>E</b></p> <p><b>CAR WASH</b></p>	<ul style="list-style-type: none"> <li>• Remove Awning</li> <li>• Install new Tri color ACM around Carwash</li> </ul>
<p><b>F</b></p> <p><b>DIRECTIONAL</b></p>	<ul style="list-style-type: none"> <li>• Directional signs to be installed at drive way entries</li> </ul>



**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
 ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

# Site Overview

# SCOPE OF WORK

A

MID

- Reface Valero to CK
- Reface pricer cabinet to Unleaded / Diesel
- Reface Big Red to Car Wash
- Baskin Robbins to remain
- Replace letter board with EMC sign
- Install New 24" ABLE LEDs and 4" Toggle
- Install LED retrofit lighting in all existing cabinets
- Repaint existing cabinet, retainers, and poles to fuel brand specifications
- Repaint existing cabinet, retainers, & poles to Circle K specs.

PRODUCT COPY:  
WHITE COPY ON OPAQUE BACKGROUND

6" Unleaded  
6" Diesel

**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

**NOTE: NEED A SURVEY TO CONFIRM MEASUREMENTS**

4" WHITE ABLE ALTERNATOR LED's OPTIONS:

EASY PAY  
CREDIT

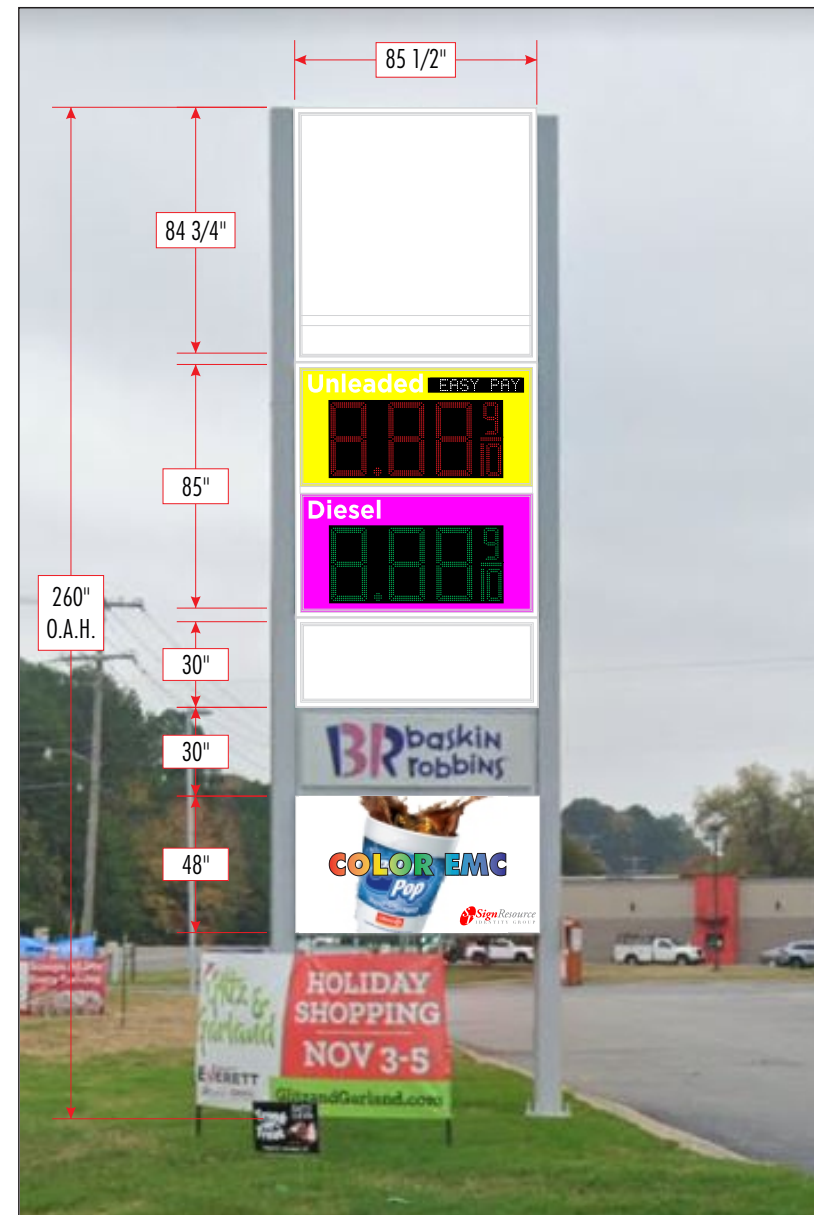
ALL ALTERNATE MESSAGES MUST BE PROGRAMED PRIOR TO SHIPPING AND INSTALLER-CONFIRMED UPON INSTALL

EXISTING 164.91 Sq.Ft

PROPOSED 164.91 Sq.Ft

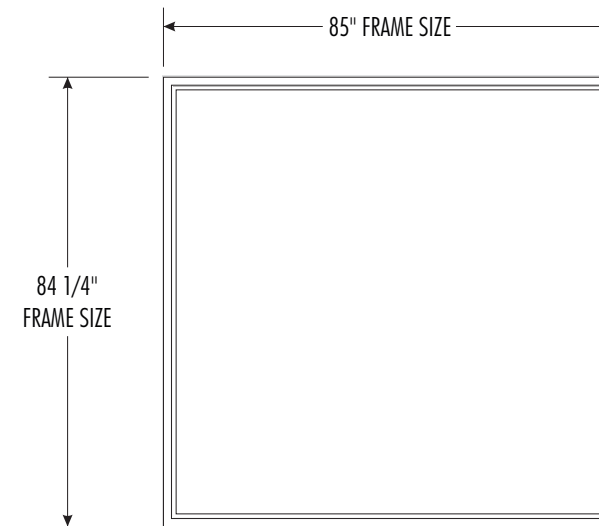


EXISTING LED's SIZES: UNSPECIFIED SIZE AND BRAND  
(subject to confirmation)

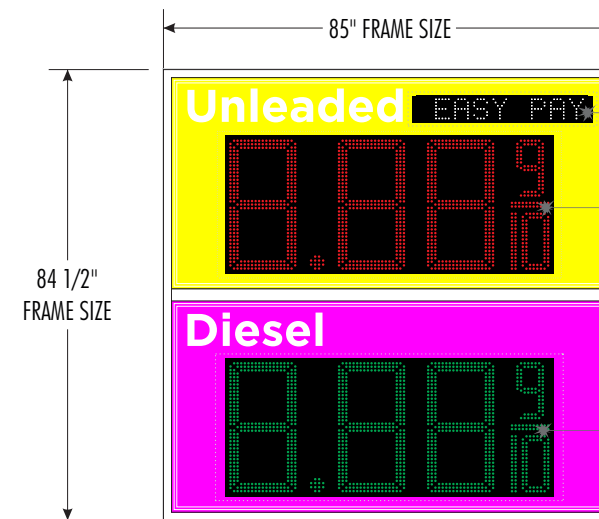


PROPOSED LED's SIZES: NEW 24" RED/GREEN ABLE 7-SEG. LED's

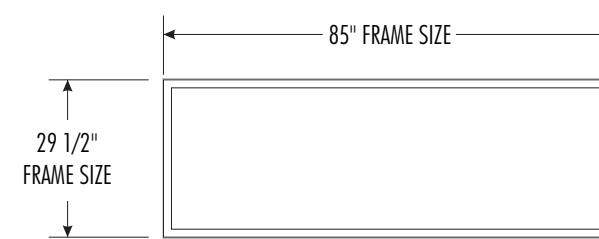
SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING



PANEL REFACE ONLY



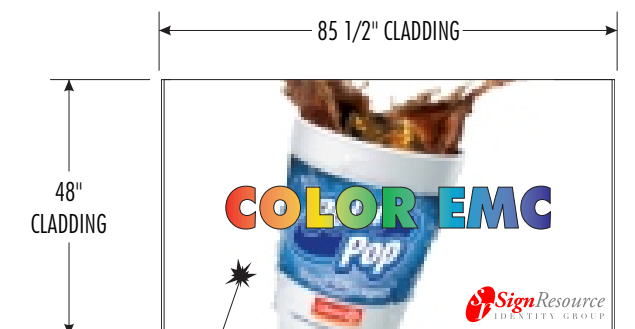
PANEL REFACE ONLY



PANEL REFACE ONLY

CLEAR WINDOW  
4" WHITE ABLE ALTERNATOR LED's  
WINDOW SIZE: 5" x 33 7/8"  
TAB04ALTW\_9D  
CLEAR WINDOW  
24" RED ABLE 7-SEGMENT LED's  
WINDOW SIZE: 26" x 61 1/2"

CLEAR WINDOW  
24" GREEN ABLE 7-SEGMENT LED's  
WINDOW SIZE: 26" x 61 1/2"



NEW EMC

APPROX: 48" X 84" VIEWING AREA  
ELECTRONIC MESSAGE CENTER  
SR PART # TAB10407EMC-CS

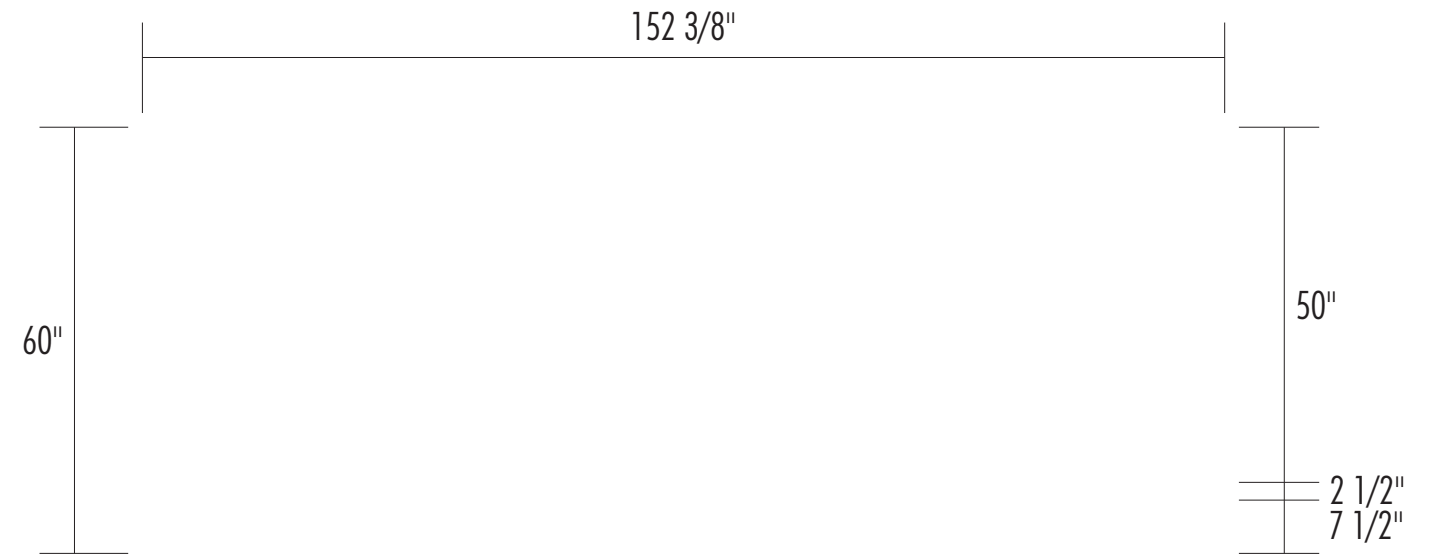
# SCOPE OF WORK

## B BUILDING

- Remove Big Red signs
- Install new CK shop sign center at the peak of the Building
- Reface Big Red sign under the Baskin Robbins sign to FreshFood

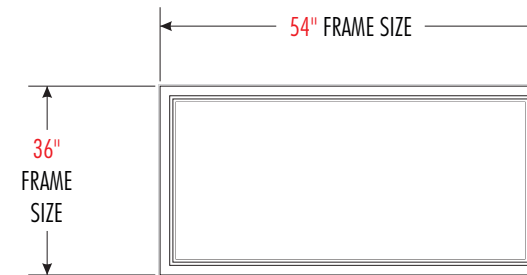
## EXISTING

**163.69** Sq.Ft



## PROPOSED

**63.33** Sq.Ft



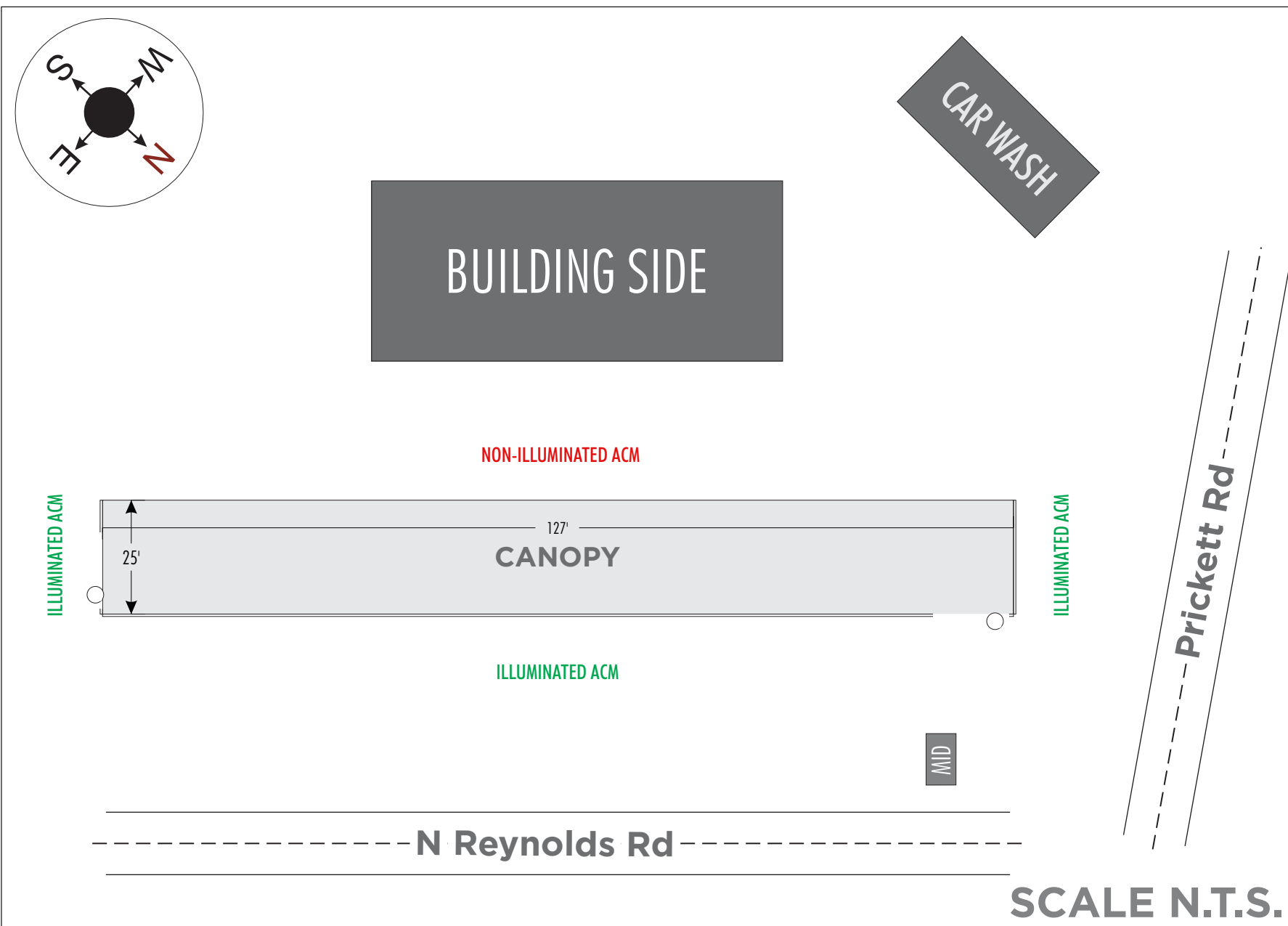
# SCOPE OF WORK

## CANOPY

- Install (2) new illuminated fuel brand canopy ID sign
- Install new Non illuminated ACM
- Install illuminated eyebrow lighting
- Paint canopy poles to fuel brand specifications
- Paint bollards to fuel brand specifications
- Paint light poles to fuel brand specifications

## SITE OVERVIEW

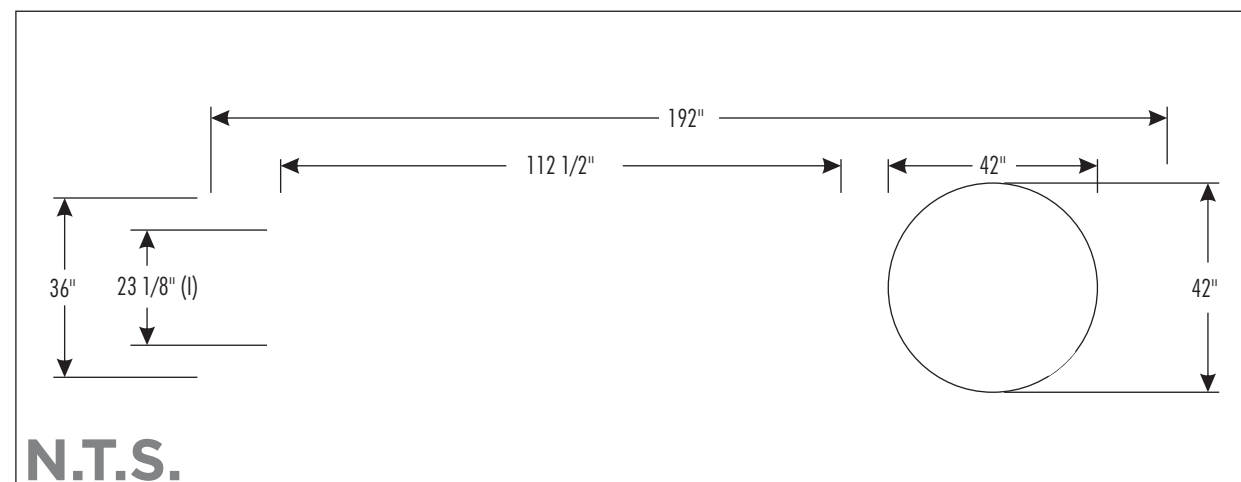
**36"** HEIGHT OF ACM



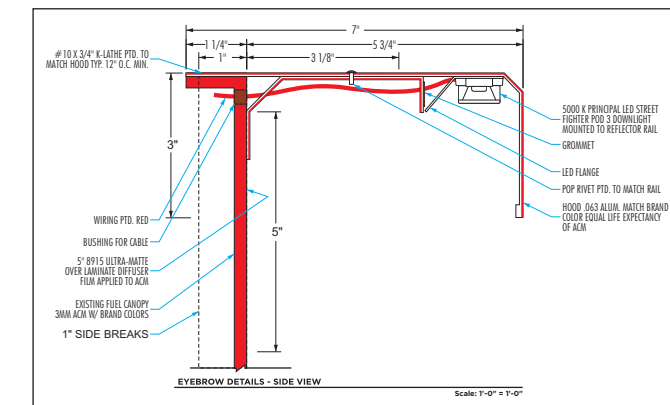
## EXISTING



## PROPOSED



## EYEBROW DETAILS



## SCOPE OF WORK

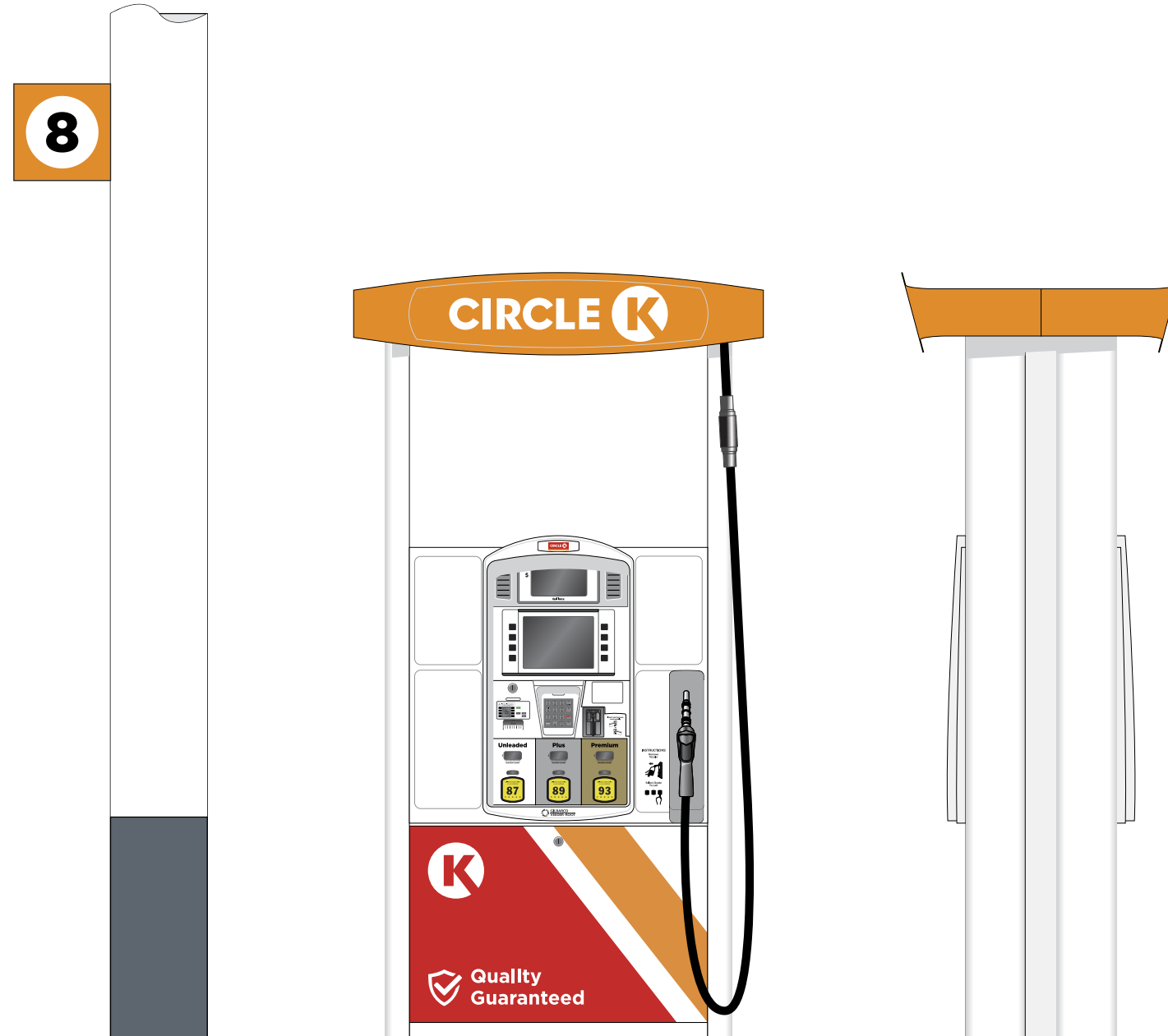
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



## PROPOSED



## Dispensers & Forecourt



## SCOPE OF WORK

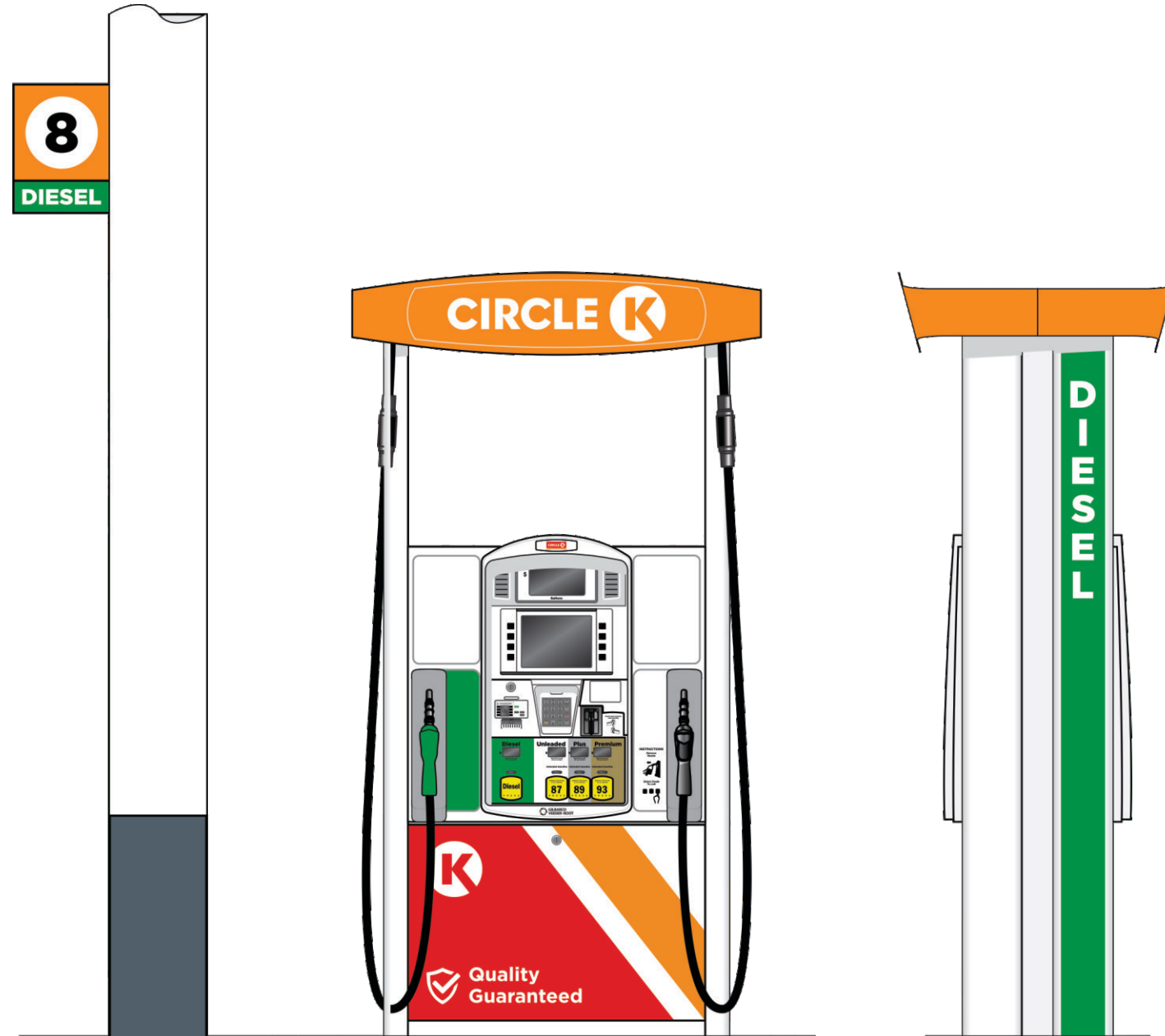
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

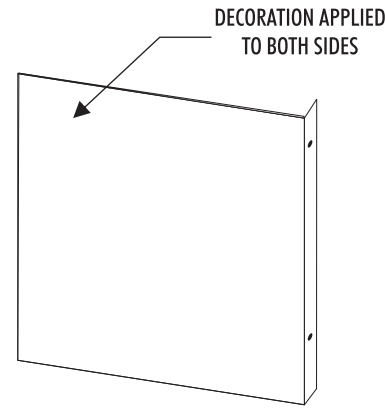
## EXISTING



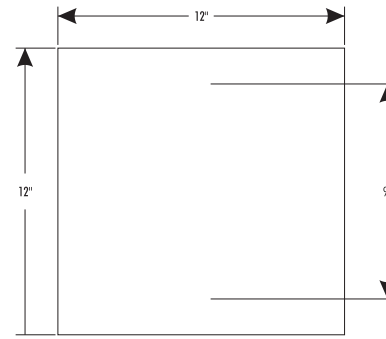
## PROPOSED



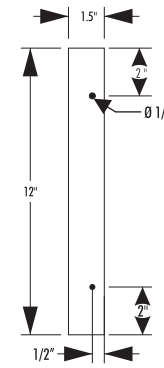
# Dispensers & Forecourt



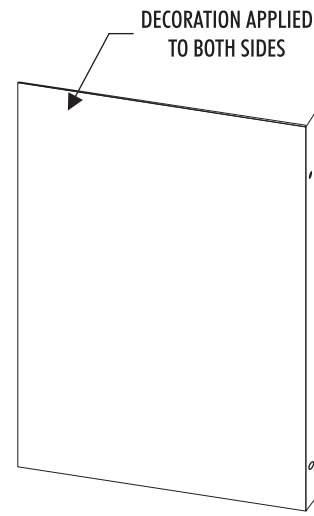
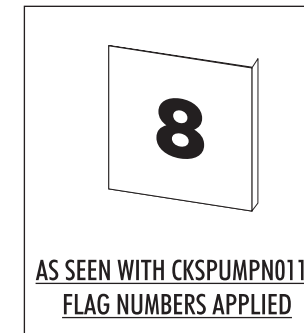
ISOMETRIC VIEW FRONT WITH SCREENED DECORATION



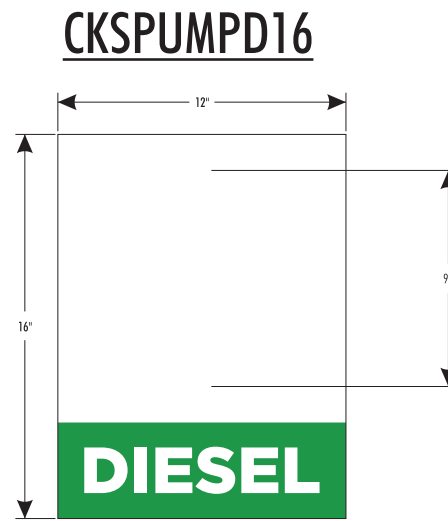
FRONT VIEW



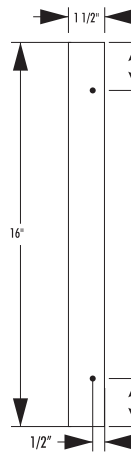
RIGHT VIEW



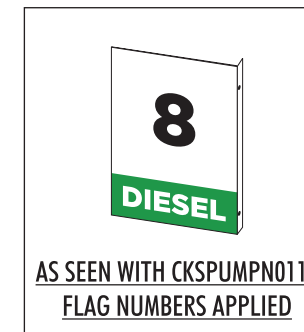
ISOMETRIC VIEW FRONT WITH SCREENED DECORATION



FRONT VIEW



RIGHT VIEW

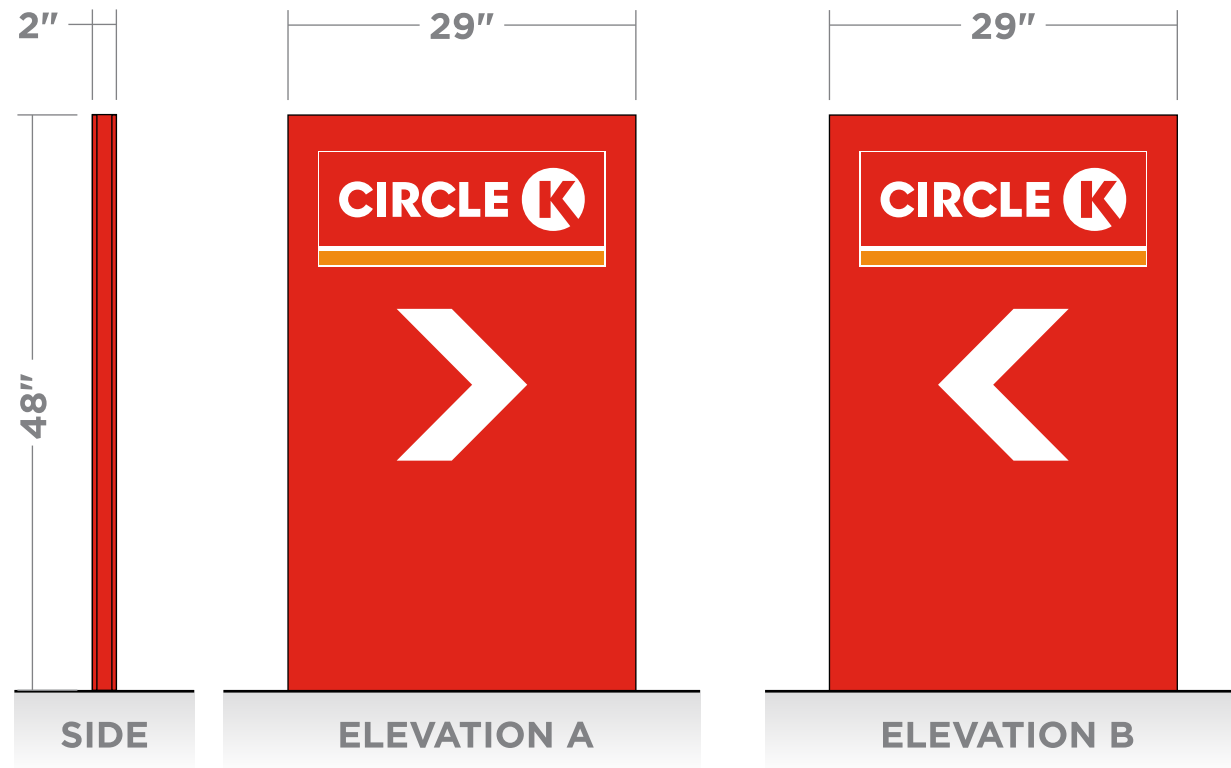


# SCOPE OF WORK

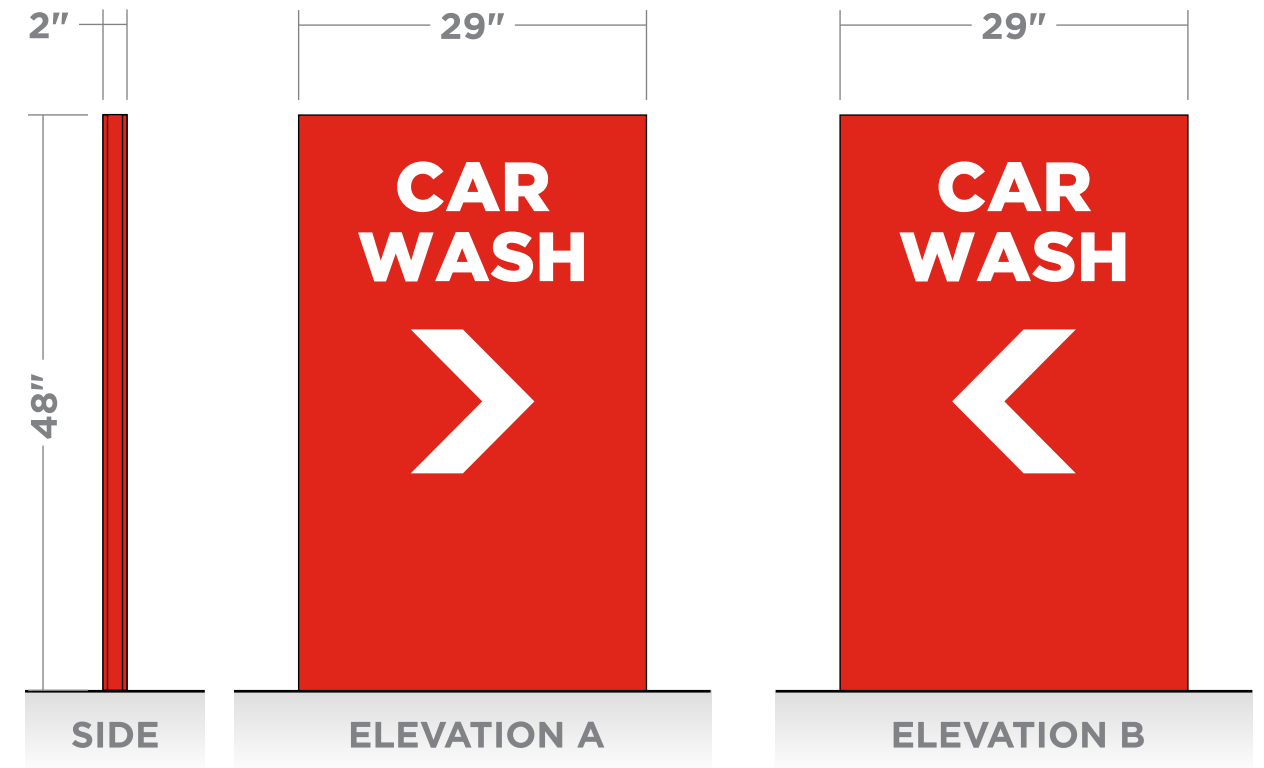
F  
**DIRECTIONAL**

• Directional signs to be installed at drive way entries

**F1**



**F2**



# SCOPE OF WORK

- Remove Awning
- Install new Tri color ACM around Carwash

## CAR WASH

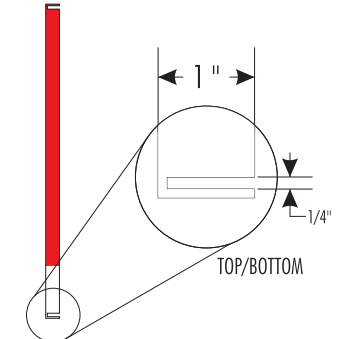
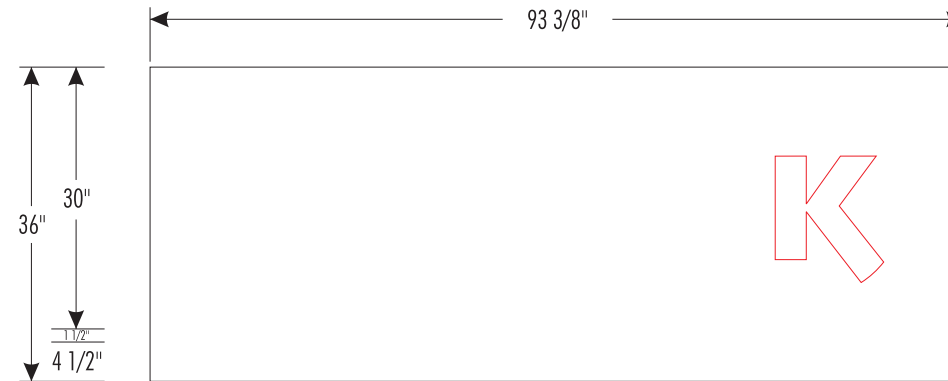
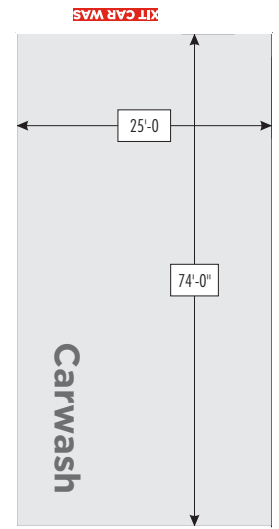
### EXISTING

**0** Sq.Ft



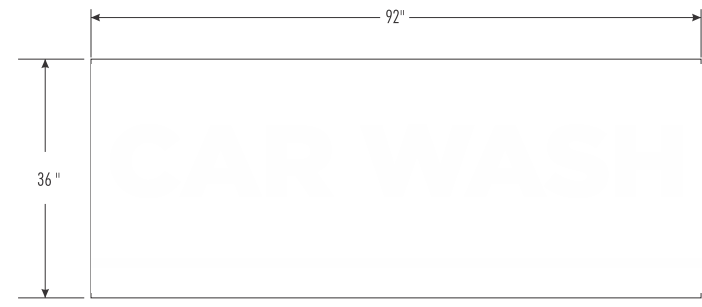
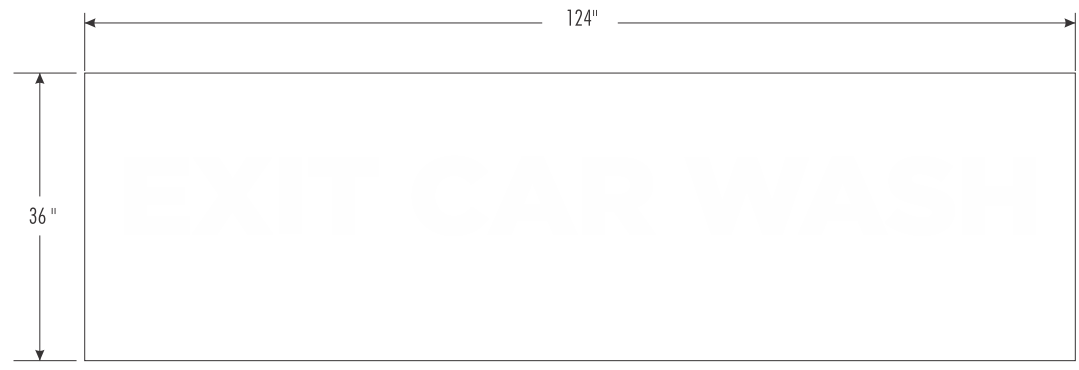
### PROPOSED

**23.25** Sq.Ft



**FRONT VIEW**

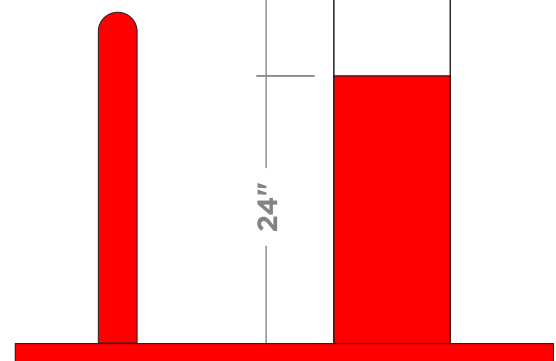
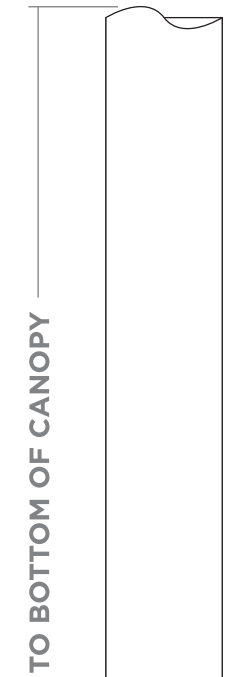
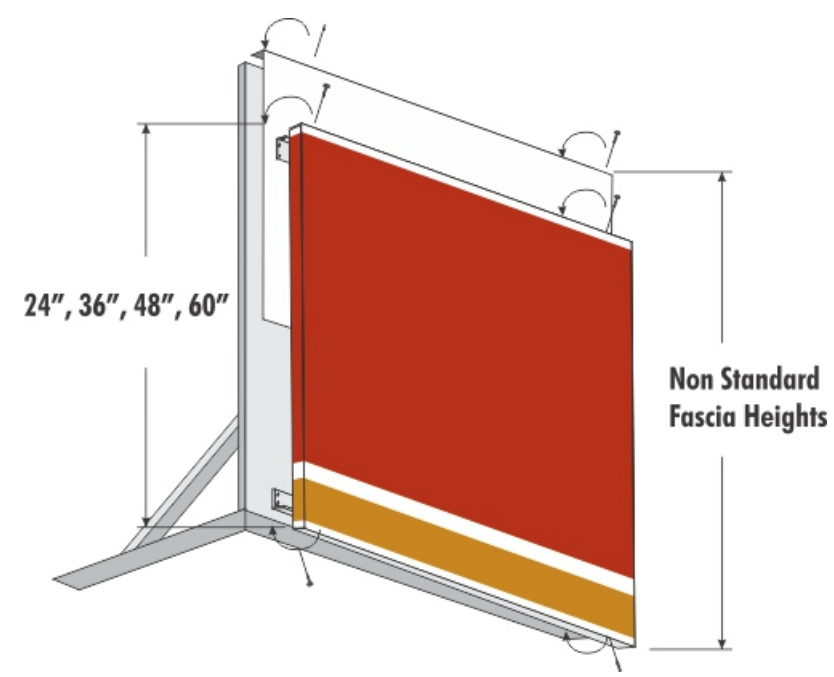
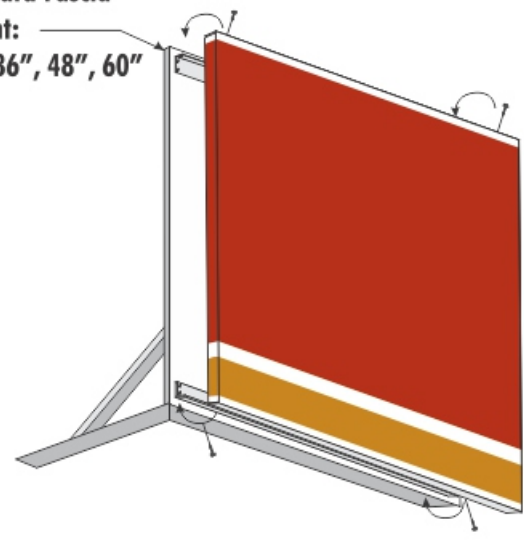
**SIDE VIEW**



## Circle K:

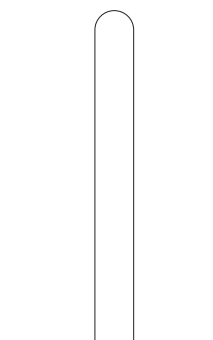
Sample	Description	Applied to
	Primary Red - PMS 485 3M - 3630-2553	Building Sign Fascia Car Wash
	Primary Orange - PMS 144 3M - 3630-3534	Building Sign Fascia Column Flags
	Safety Red Sherwin Williams - SW 4081	Building Bollards
	Grays Harbor Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	White	Building Sign Fascia Light Posts
	Green - PMS 355 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	Blue - PMS 287 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	Egret White Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	Neutral Ground Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	Nuthatch Sherwin Williams - SW 6088	Buildings 30" to grade

Standard Fascia  
Height:  
24", 36", 48", 60"

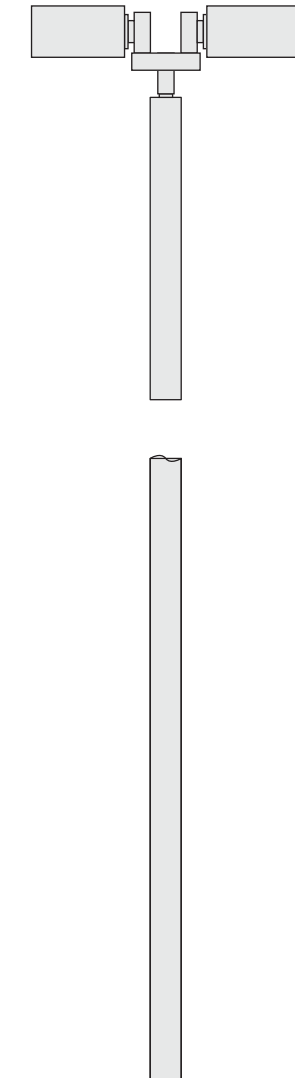


DISPENSER  
BOLLARDS

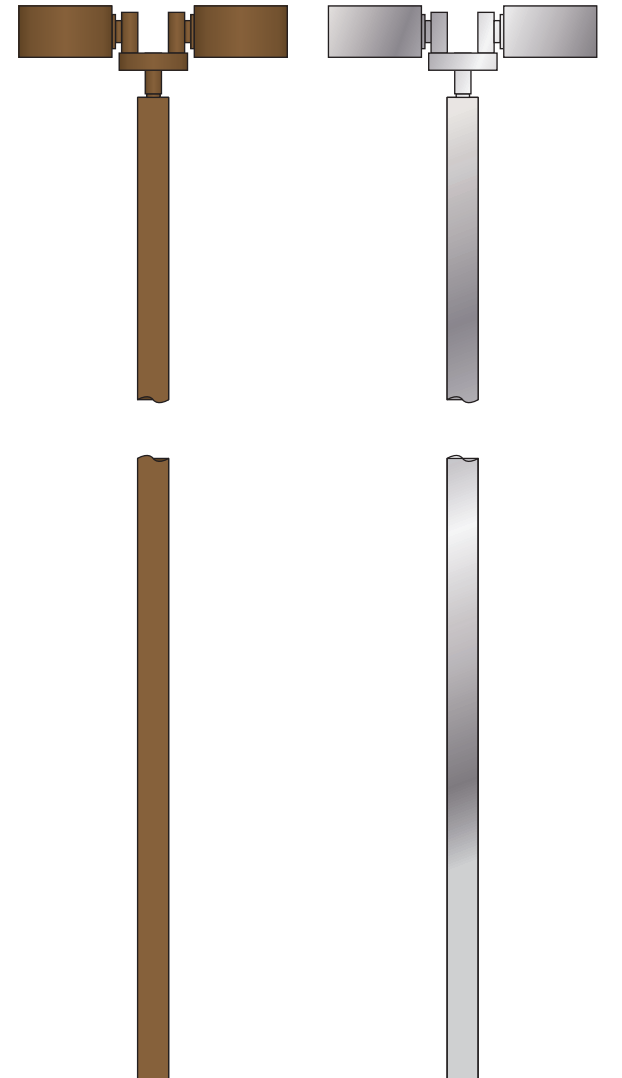
CANOPY  
COLUMNS



STOREFRONT  
BOLLARDS



LIGHT  
POLES



LIGHT  
POLES

# Circle K Paint Specifications



**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 05/05/2023

### Sign Co. or Sign Owner

Name Branded Image Group  
 Address 227 E Emory Road  
 City, State, Zip Powell, TN 37849  
 Phone 865-328-6108  
 Email Address rsmith@brandedimagegroup.com

### Property Owner

Name Circle K  
 Address \_\_\_\_\_  
 City, State, Zip \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email Address \_\_\_\_\_

### GENERAL INFORMATION

Name of Business Circle K  
 Address/Location of sign 7701 Hwy 5 N, Bryant AR 72022  
 Zoning Classification C2

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

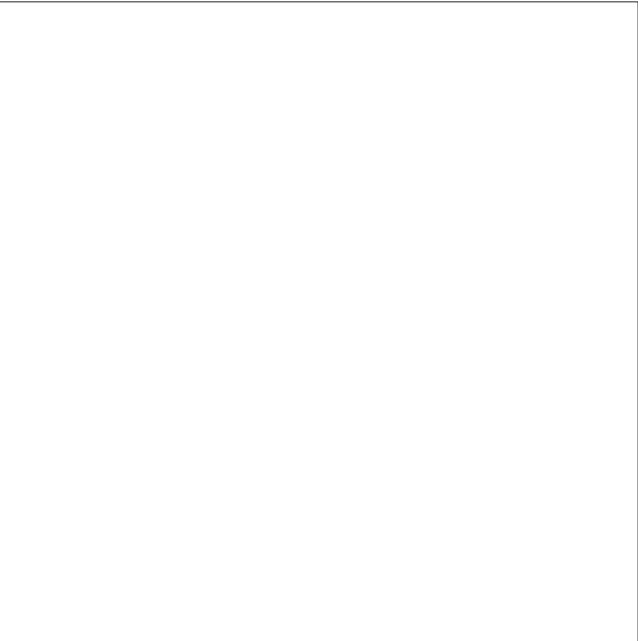
I Robin Smith, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MID POLE	300'H 75'W	130.07			
B	Building	36 1/2h 91 3/8w	22.84			
C	Canopy	3'-6"x16'-0'	56			
E	Directionals	48hx 29w				
F						
G						





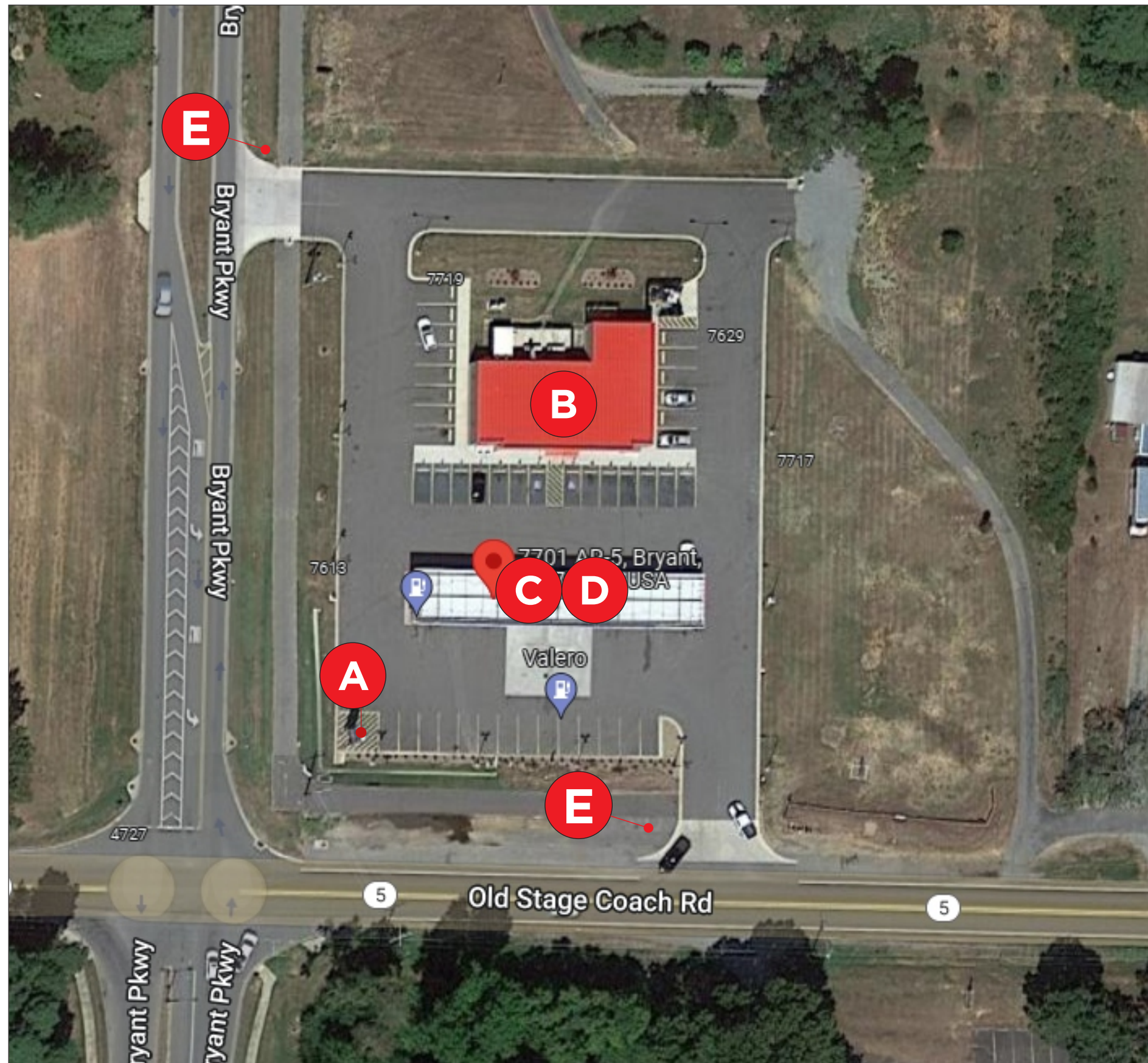
7701 AR-5  
BRYANT, AR 72022

**SITE# 150**  
VALERO / BIG RED TO CIRCLE K

DATE: 04/27/2023 (ZL/OC)(BS)(OC)  
CK\_150\_7701\_AR-5\_BRYANT\_AR\_D

# SCOPE OF WORK

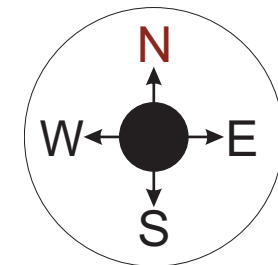
<p><b>A</b></p> <p><b>MID</b></p>	<ul style="list-style-type: none"> <li>• Reface Valero cabinet to new Circle K ID panel</li> <li>• Reface existing pricer to new Unleaded, 4" toggle / Diesel w/ 21" Red/Green Able LEDs per CK specs</li> <li>• Reface existing Big Red cabinet to new Fresh Food panel</li> <li>• Remove existing EMC and Install new EMC</li> <li>• Install LED retrofit lighting in all existing cabinets</li> <li>• Repaint existing cabinet, retainers, &amp; poles to Circle K specs.</li> </ul>
<p><b>B</b></p> <p><b>BUILDING</b></p>	<ul style="list-style-type: none"> <li>• Remove existing Big Red sign</li> <li>• Install new CK building sign</li> </ul>
<p><b>C</b></p> <p><b>CANOPY</b></p>	<ul style="list-style-type: none"> <li>• Install (2) new illuminated fuel brand canopy ID signs</li> <li>• Install new illuminated fuel brand canopy fascia on 3 sides &amp; non illuminated on 1 side</li> <li>• Install white backer ACM on top side of fascia to optimal height</li> <li>• Paint canopy poles to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Paint light poles to fuel brand specifications</li> </ul>
<p><b>D</b></p> <p><b>DISPENSERS &amp; FORECOURT</b></p>	<ul style="list-style-type: none"> <li>• Reimage dispensers to fuel brand specifications</li> <li>• Replace trash cans to fuel brand specifications</li> <li>• Paint columns &amp; islands to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Install pump flags to fuel brand specifications</li> <li>• Paint light poles to Circle K specifications</li> </ul>
<p><b>E</b></p> <p><b>DIRECTIONAL</b></p>	<ul style="list-style-type: none"> <li>• Directional signs to be installed at drive way entries</li> </ul>



**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
 ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729



# Site Overview

# SCOPE OF WORK

A

MID

- Reface Valero cabinet to new Circle K ID panel
- Reface existing pricer to new Unleaded, 4" toggle / Diesel w/ 21" Red/Green Able LEDs per CK specs
- Reface existing Big Red cabinet to new Fresh Food panel
- Remove existing EMC and Install new EMC
- Install LED retrofit lighting in all existing cabinets
- Repaint existing cabinet, retainers, & poles to Circle K specs.

PRODUCT COPY:  
WHITE COPY ON OPAQUE BACKGROUND

4 1/2" Unleaded  
4 1/2" Diesel

## VENTS AND FANS TO MATCH LED MANUFACTURER'S SPECIFICATIONS

4" WHITE ABLE ALTERNATOR LED's OPTIONS:

EASY PAY  
CREDIT

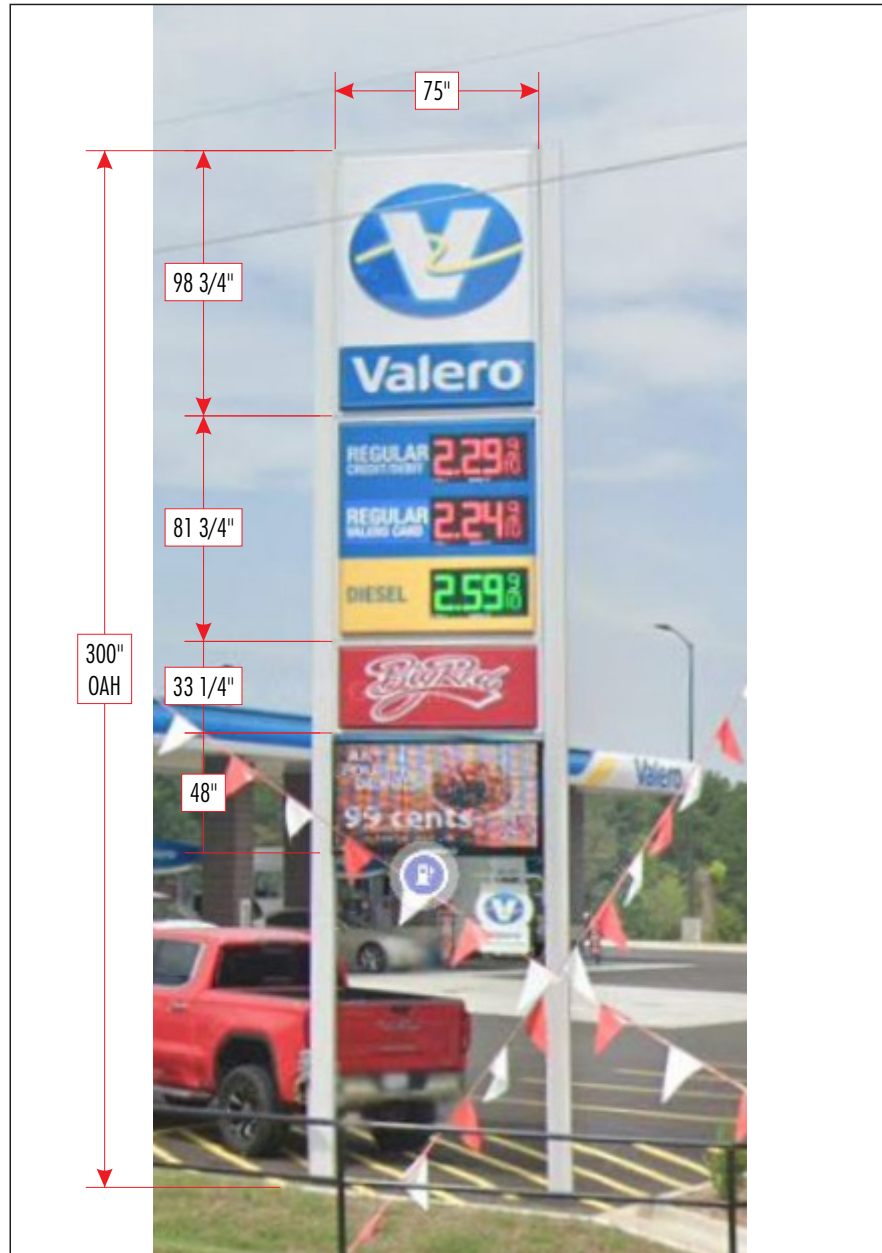
ALL ALTERNATE MESSAGES  
MUST BE PROGRAMED PRIOR TO SHIPPING  
AND INSTALLER-CONFIRMED UPON INSTALL

EXISTING

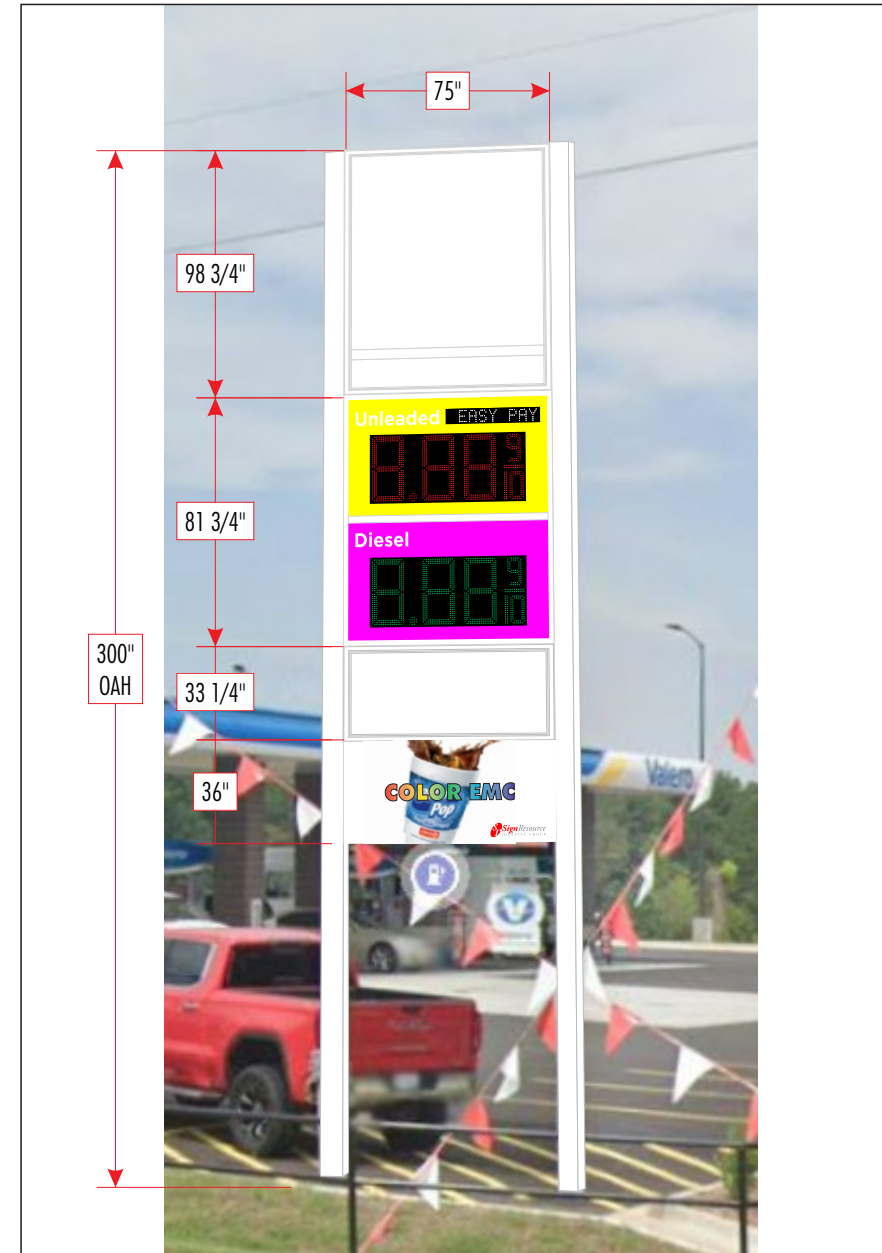
136.32 Sq.Ft

PROPOSED

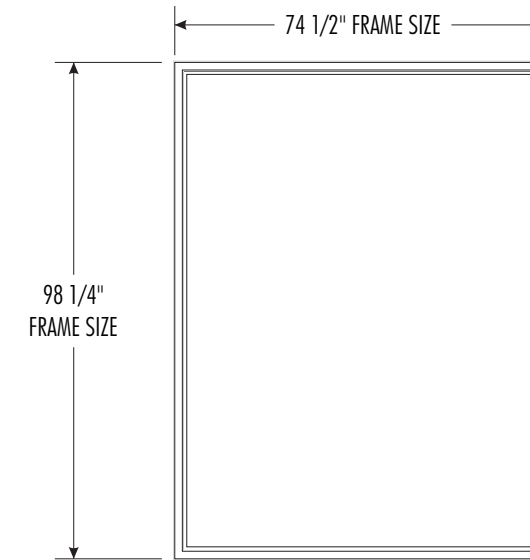
130.07 Sq.Ft



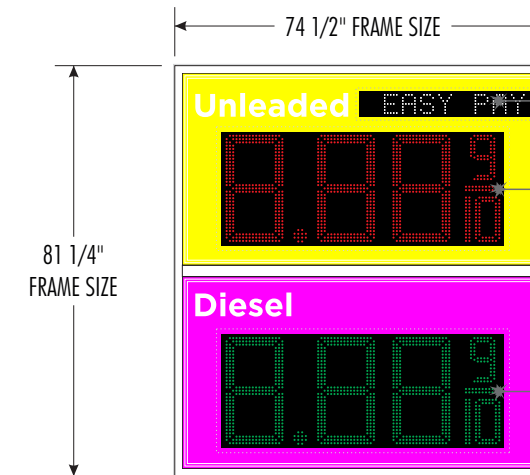
EXISTING LED's SIZES: 12"  
(subject to confirmation)



PROPOSED LED's SIZES: NEW 21" RED/GREEN  
AND 4" TOGGLE ABLE 7-SEG. LED's



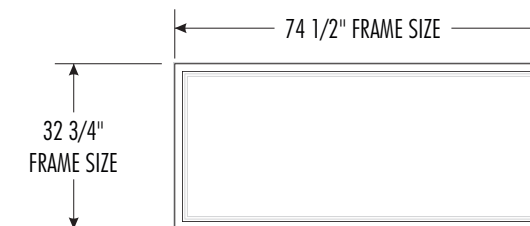
PANEL REFACE ONLY



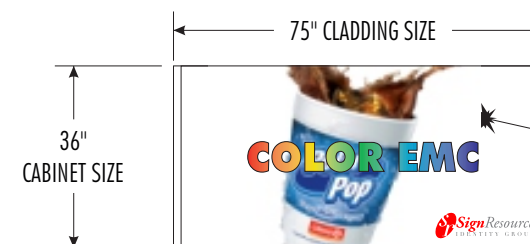
CLEAR WINDOW  
4" WHITE ABLE ALTERNATOR LED's  
WINDOW SIZE: 5" x 33 7/8"  
1AB04ALTW\_9D

CLEAR WINDOW  
21" RED ABLE 7 SEGMENT LED's  
WINDOW SIZE: 22 1/2" x 56"

PANEL REFACE ONLY



PANEL REFACE ONLY



APPROX: 36" X 72" VIEWING AREA  
ELECTRONIC MESSAGE CENTER  
SR PART # 1AB10306EMC-CS

NEW EMC

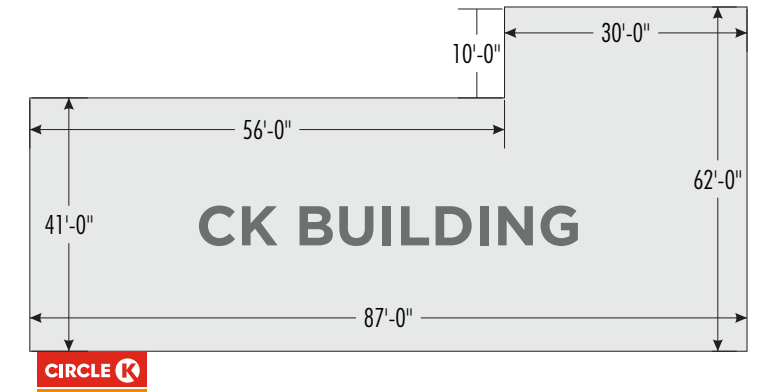
SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING

SCALE = 1:38

# SCOPE OF WORK

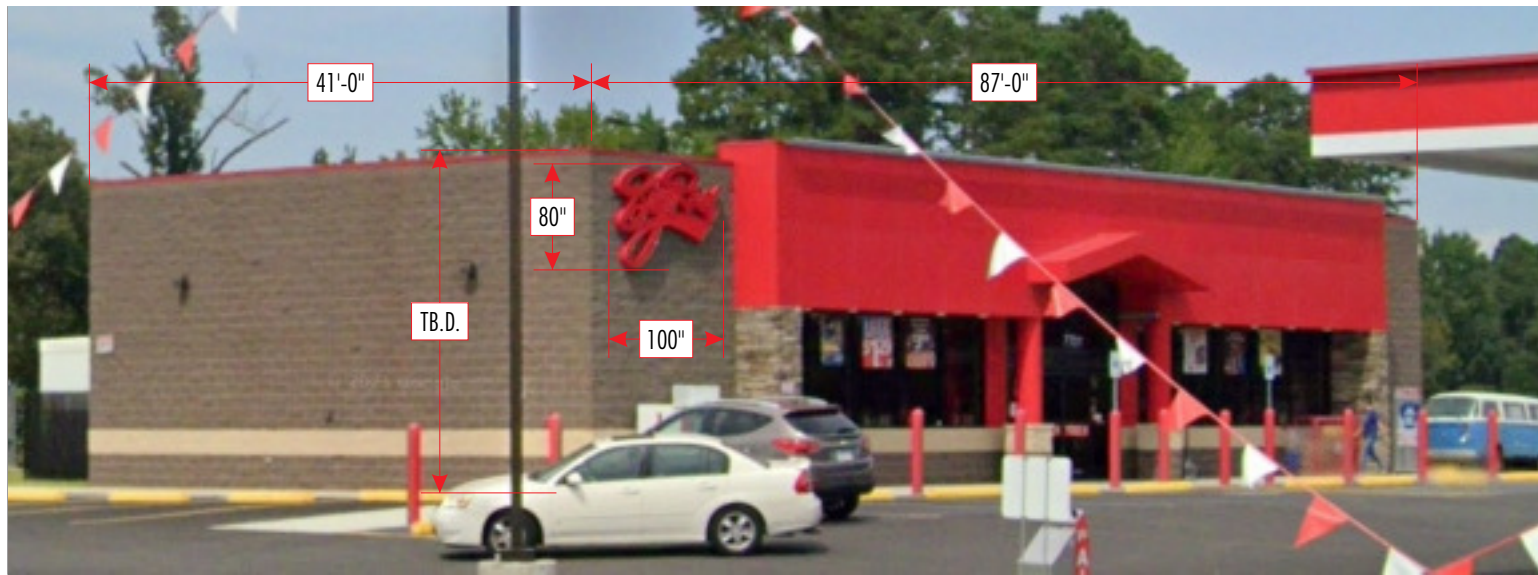
## B BUILDING

- Remove existing Big Red sign
- Install new CK building sign



## EXISTING

55.55 Sq.Ft

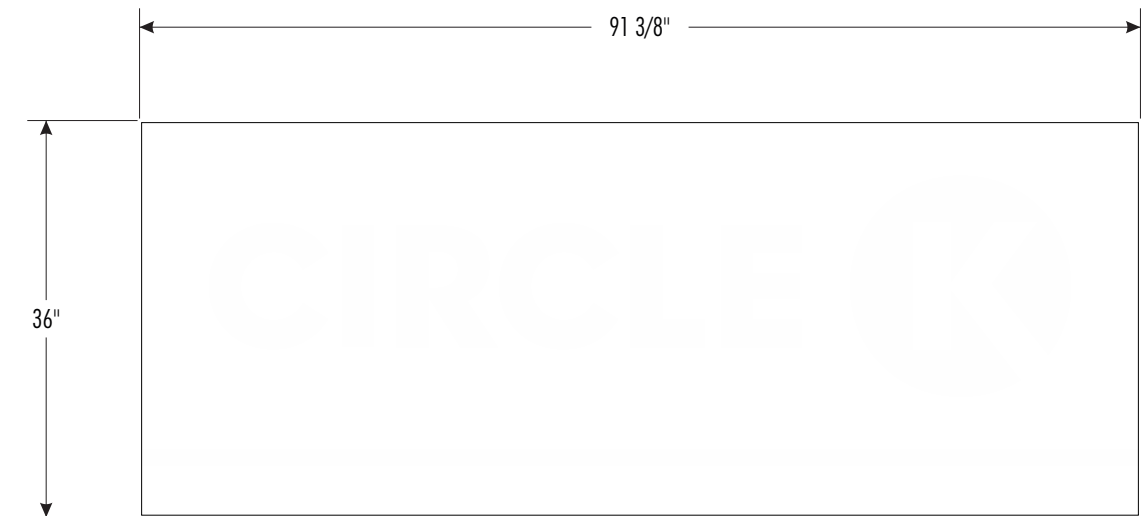


## PROPOSED

22.84 Sq.Ft



(subject to confirmation)



NEW CABINET

# Building

SIZES SUBJECT TO FINAL FIELD CONFIRMATION PRIOR TO MANUFACTURING

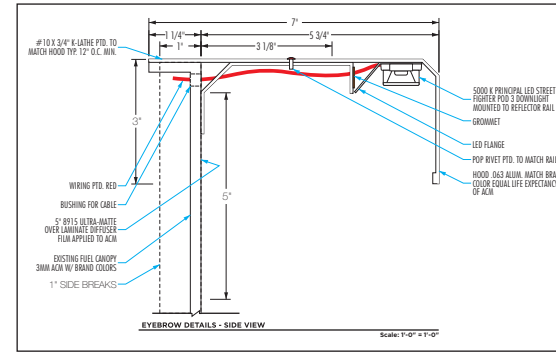
SCALE = NTS

# SCOPE OF WORK

## CANOPY

- Install (2) new illuminated fuel brand canopy ID signs
- Install new illuminated fuel brand canopy fascia on 3 sides & non illuminated on 1 side
- Install white backer ACM on top side of fascia to optimal height
- Paint canopy poles to fuel brand specifications
- Paint bollards to fuel brand specifications
- Paint light poles to fuel brand specifications

# EYEBROW DETAILS



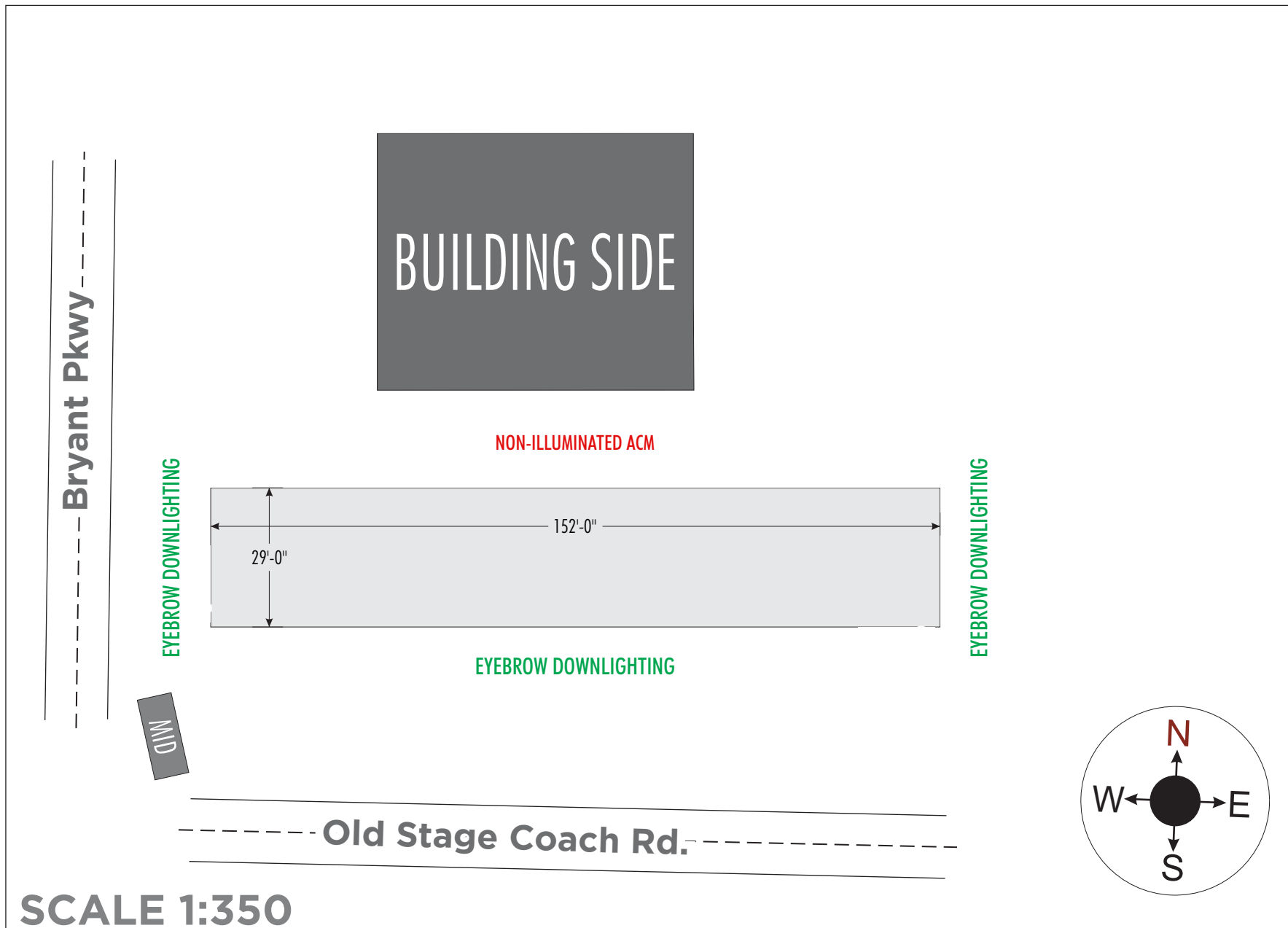
# EXISTING



# SITE OVERVIEW

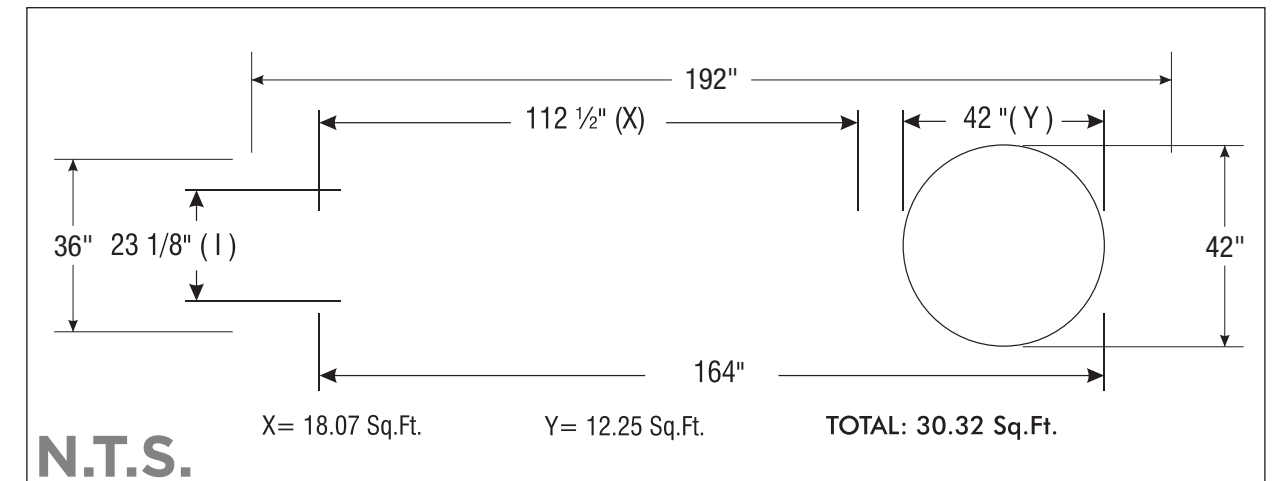
**36"**

# HEIGHT OF ACM



# PROPOSED

**3'-6" x 16'-0" CK ID - 56 Sq.Ft.**



## SCOPE OF WORK

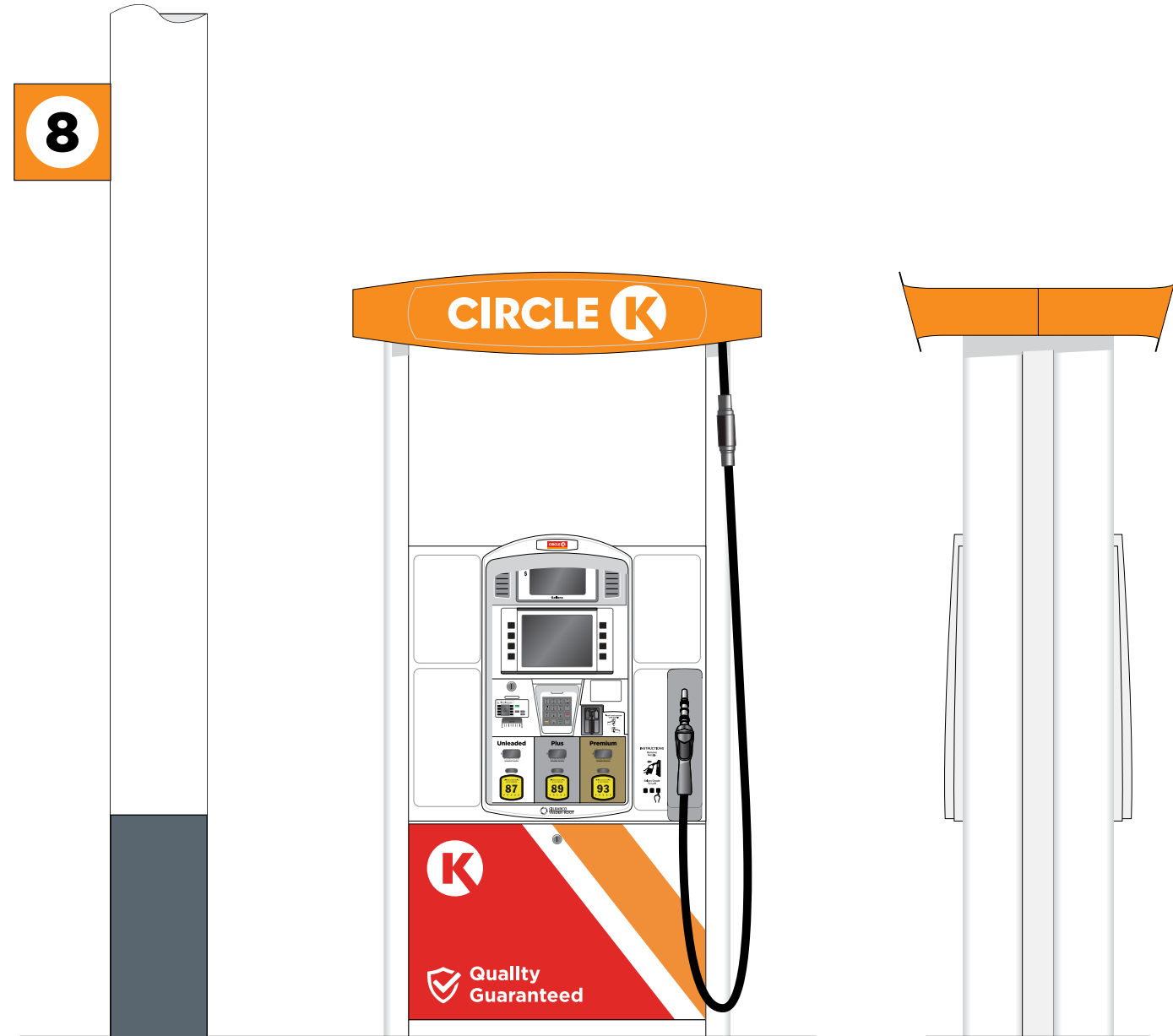
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



## PROPOSED



## SCOPE OF WORK

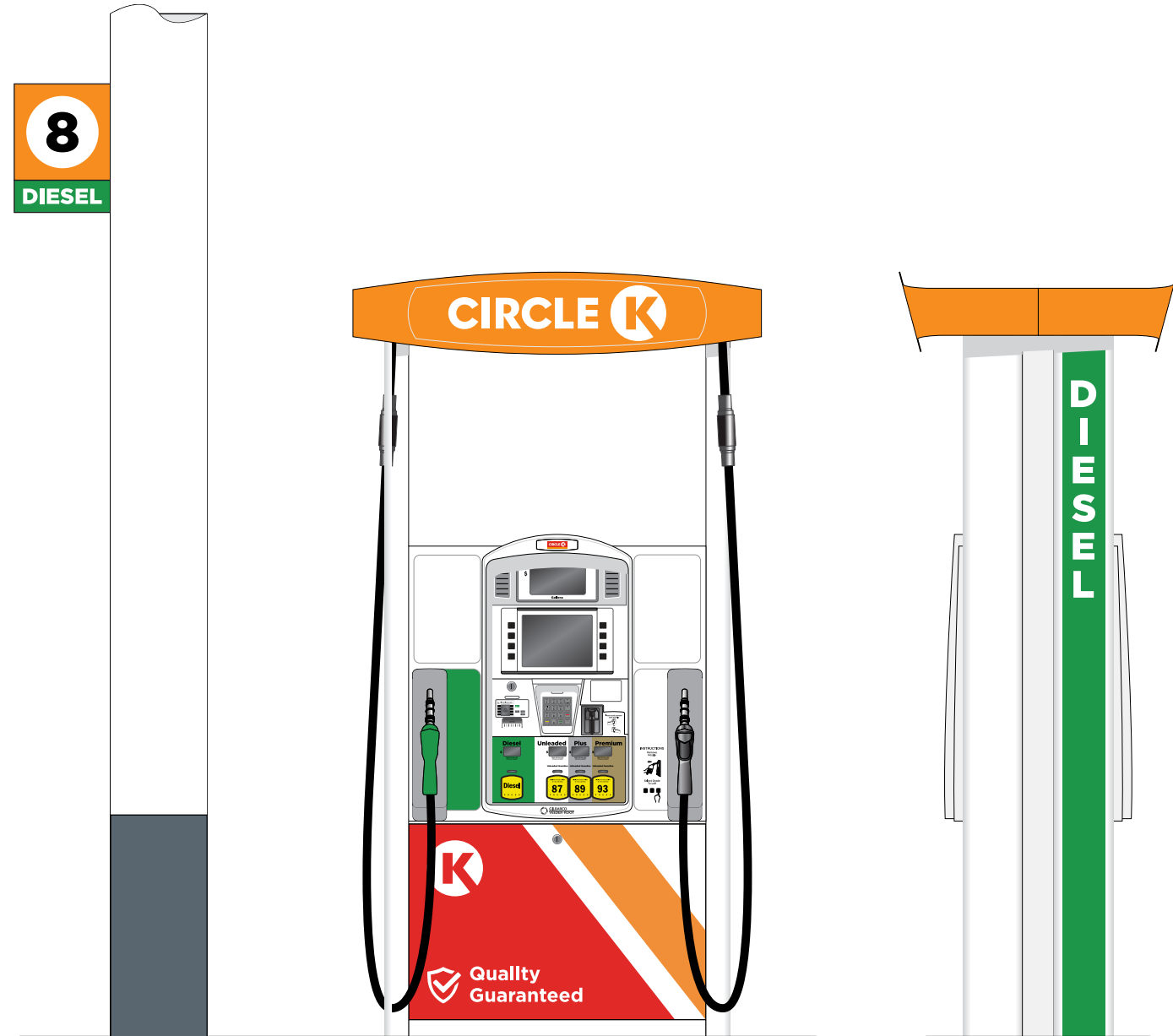
### <sup>D</sup> DISPENSERS & FORECOURT

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- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



## PROPOSED



## SCOPE OF WORK

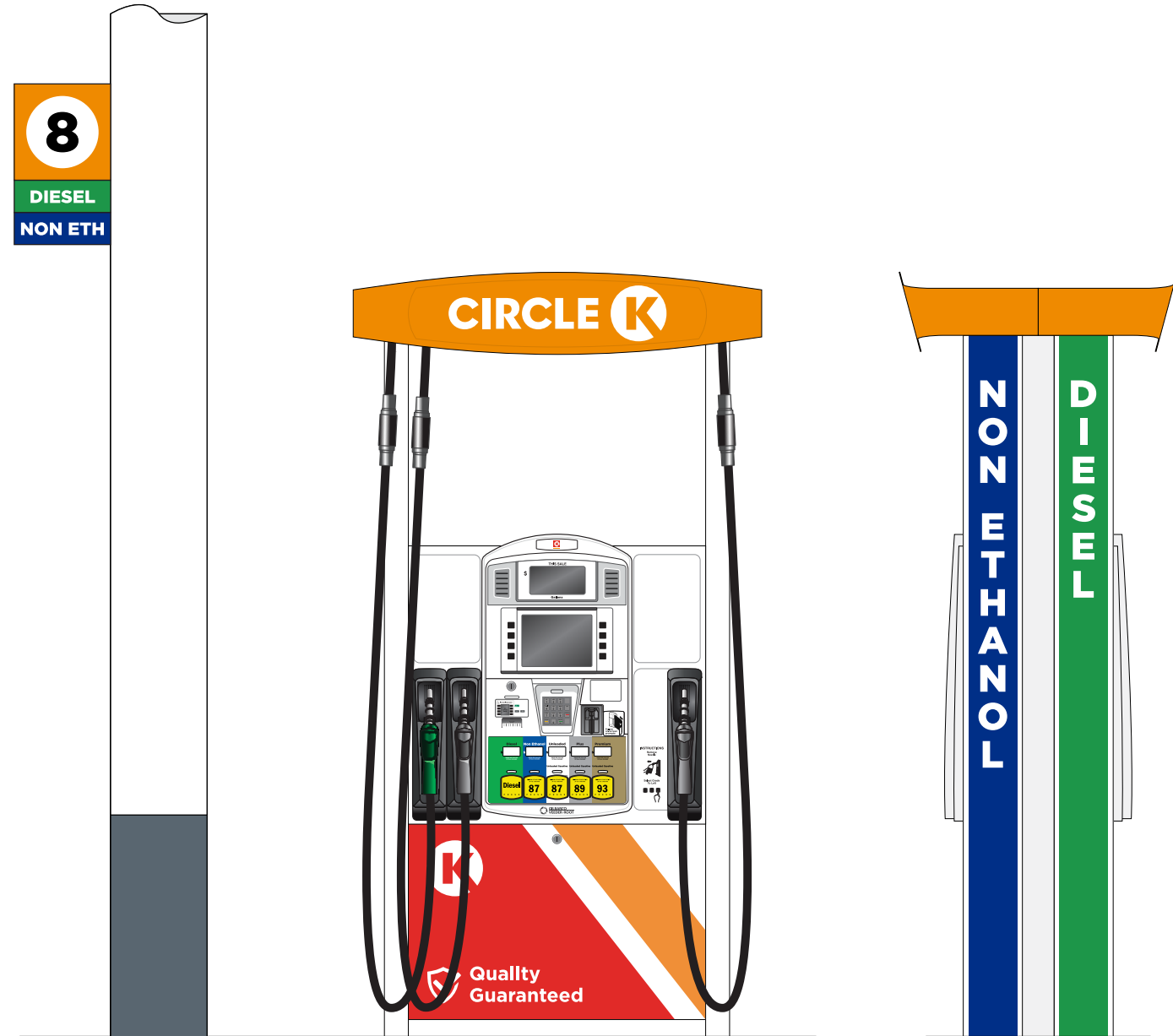
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
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## EXISTING



## PROPOSED



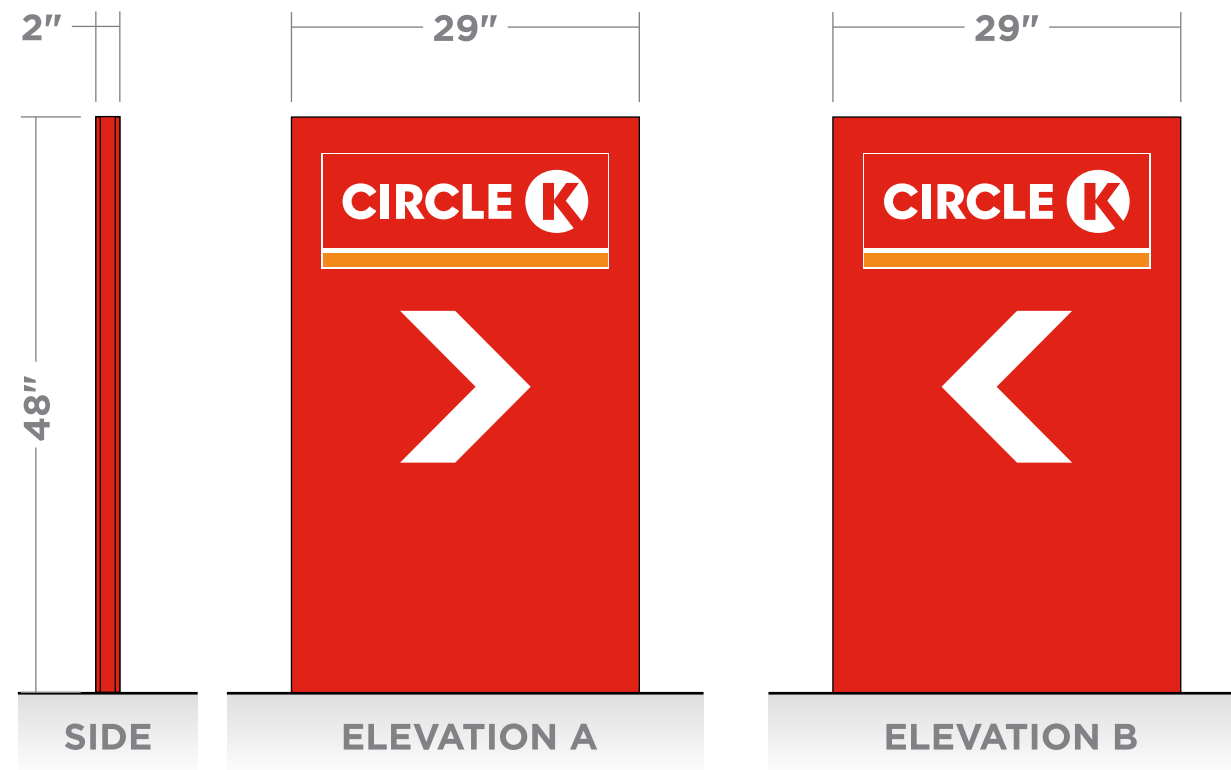


# SCOPE OF WORK

E

## DIRECTIONAL

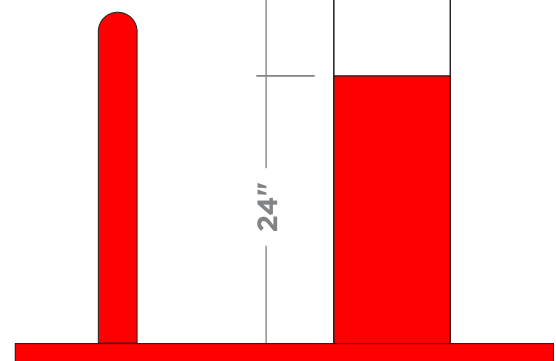
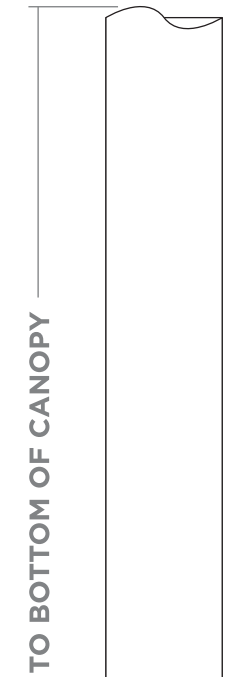
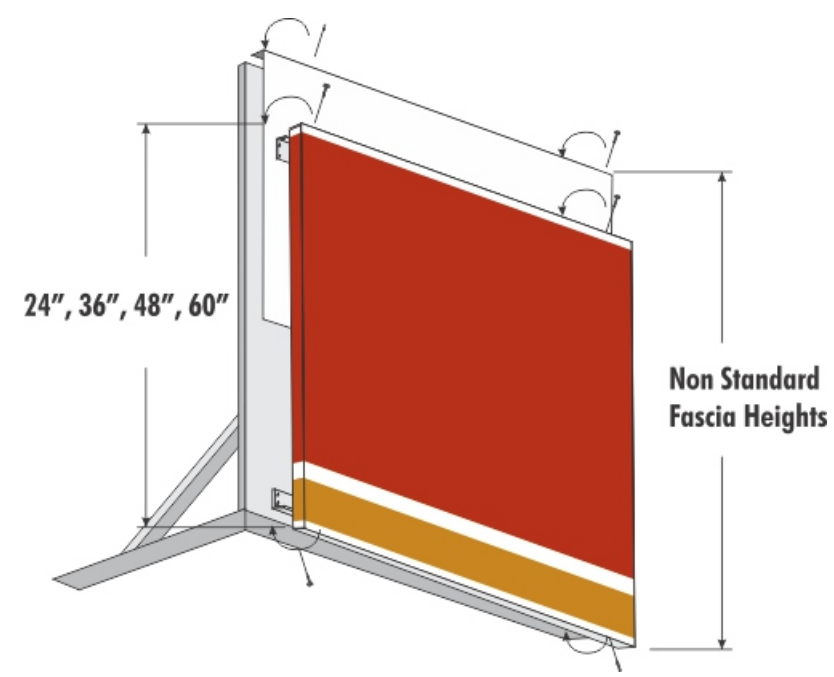
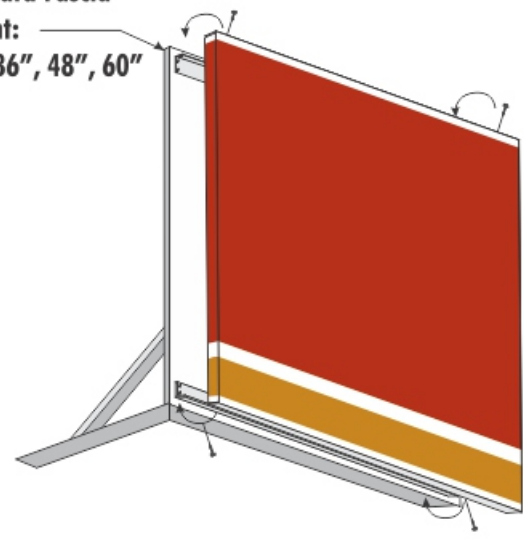
- Directional signs to be installed at drive way entries



## Circle K:

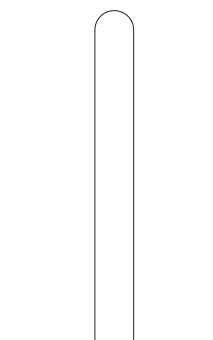
Sample	Description	Applied to
	Primary Red - PMS 485 3M - 3630-2553	Building Sign Fascia Car Wash
	Primary Orange - PMS 144 3M - 3630-3534	Building Sign Fascia Column Flags
	Safety Red Sherwin Williams - SW 4081	Building Bollards
	Grays Harbor Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	White	Building Sign Fascia Light Posts
	Green - PMS 355 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	Blue - PMS 287 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	Egret White Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	Neutral Ground Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	Nuthatch Sherwin Williams - SW 6088	Buildings 30" to grade

Standard Fascia Height:  
24", 36", 48", 60"

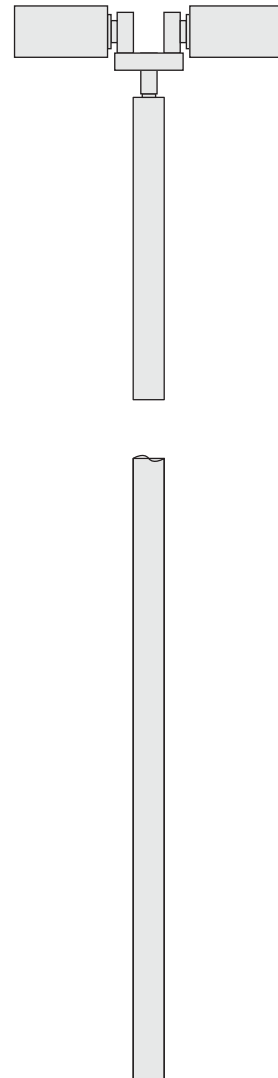


DISPENSER BOLLARDS

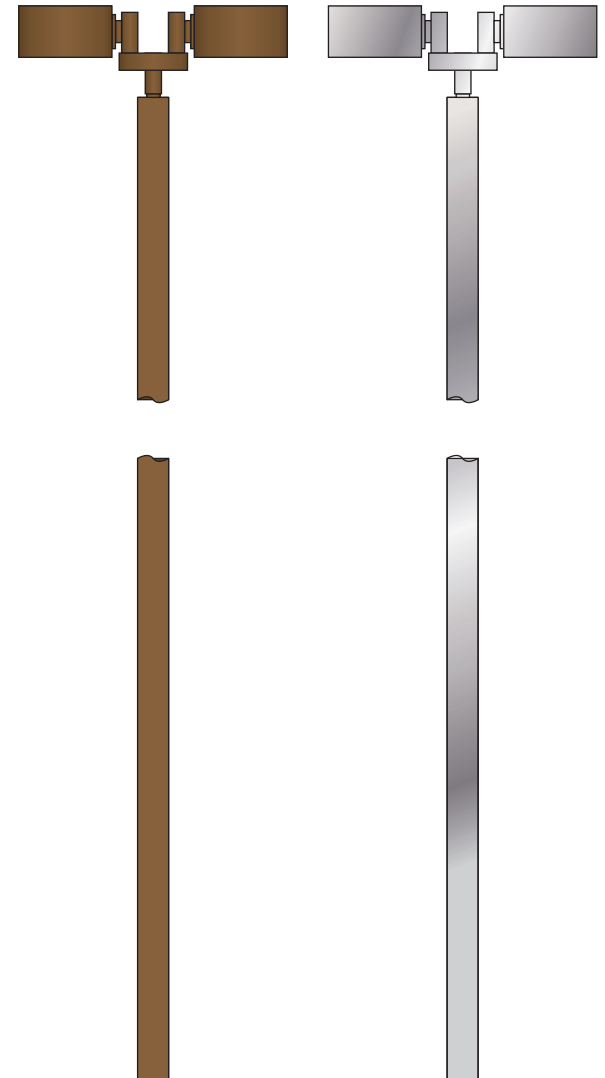
CANOPY COLUMNS



STOREFRONT BOLLARDS



LIGHT POLES



LIGHT POLES

# Circle K Paint Specifications



**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 05/05/2023

### Sign Co. or Sign Owner

Name Branded Image Group  
 Address 227 E Emory Road  
 City, State, Zip Powell TN 37849  
 Phone 865-328-6108  
 Email Address rsmith@brandedimagegroup.com

### Property Owner

Name Circle K  
 Address \_\_\_\_\_  
 City, State, Zip \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email Address \_\_\_\_\_

### GENERAL INFORMATION

Name of Business Circle K Store #2709963  
 Address/Location of sign 2400 Springhill Road, Bryant AR 72022  
 Zoning Classification C2

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

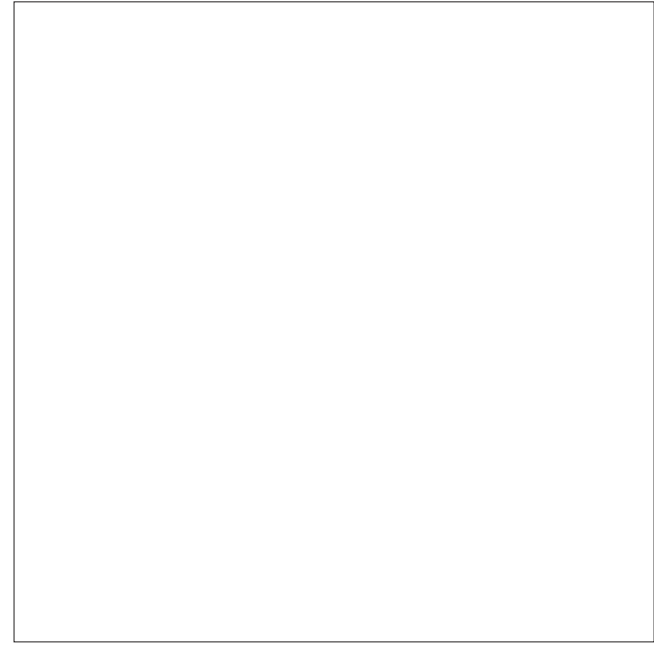
### READ CAREFULLY BEFORE SIGNING

I, Robin Smith- Branded Image Group, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Pole- MID	260' H 85 1/2W	179.46			
B	Building	60'H 152- 3/8W	63.88			
C	Canopy	3x16	48			
E	Car Wash	60h 152w	TBD			
F	Directionals	48h 29w				
G						



2400 Springhill Road  
Bryant, AR 72022  
**SITE# 128**  
Valero/Big Red to Circle K

DATE: 04/04/2023\_(JAME/OC)(OC)  
CK\_128\_2400\_SPRINGHILL RD\_BRYANT\_AR\_H

# SCOPE OF WORK

<p>A</p> <p>MID</p>	<ul style="list-style-type: none"> <li>• Reface Valero to Circle K</li> <li>• Reface pricer cabinet to new Unleaded pricer faces, install new 24" Able LEDs and 4" toggle</li> <li>• Reface Big Red to Car Wash panel</li> <li>• Remove existing message board and install new EMC</li> <li>• Install LED retrofit lighting in all existing cabinets</li> <li>• Repaint existing cabinet, retainers, and poles to fuel brand specifications</li> </ul>
<p>B</p> <p>BUILDING</p>	<ul style="list-style-type: none"> <li>• Change Big Red channel letters to CK shop sign above center of the entrance</li> <li>• Remove Big Red sign from the corner of the building</li> <li>• All other existing faces to remain</li> </ul>
<p>C</p> <p>CANOPY</p>	<ul style="list-style-type: none"> <li>• Install (2) new illuminated fuel brand canopy ID signs</li> <li>• Install new non illuminated tri color ACM</li> <li>• Install Eyebrow down lighting on canopy fascia</li> <li>• Paint canopy poles to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Paint light poles to fuel brand specifications</li> </ul>
<p>D</p> <p>DISPENSERS &amp; FORECOURT</p>	<ul style="list-style-type: none"> <li>• Reimage dispensers to fuel brand specifications</li> <li>• Replace trash cans to fuel brand specifications</li> <li>• Paint columns &amp; islands to fuel brand specifications</li> <li>• Paint bollards to fuel brand specifications</li> <li>• Install pump flags to fuel brand specifications</li> <li>• Paint light poles to Circle K specifications</li> </ul>
<p>E</p> <p>CAR WASH</p>	<ul style="list-style-type: none"> <li>• Tear down existing awning</li> <li>• Show "Car Wash" with tri color</li> <li>• Show "exit car wash" with tri color</li> <li>• Reimage Car Wash to fuel brand specifications</li> </ul>
<p>F</p> <p>DIRECTIONAL</p>	<ul style="list-style-type: none"> <li>• Directional signs to be installed at drive way entries</li> </ul>



**SRE APPROVED SURVEY REQUIRED PRIOR TO MANUFACTURING.**

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 – UL FILE #E46729

## Site Overview

# SCOPE OF WORK

A

MID

- Reface Valero to Circle K
- Reface pricer cabinet to new Unleaded pricer faces, install new 24" Able LEDs and 4" toggle
- Reface Big Red to Car Wash panel
- Remove existing message board and install new EMC
- Install LED retrofit lighting in all existing cabinets
- Repaint existing cabinet, retainers, and poles to fuel brand specifications

## PRODUCT COPY:

WHITE COPY ON OPAQUE BACKGROUND

6" Unleaded

EXISTING

179.46 Sq.Ft

PROPOSED

179.46 Sq.Ft



EXISTING LEDs SIZES: 17 1/2" RED UNSPECIFIED BRAND

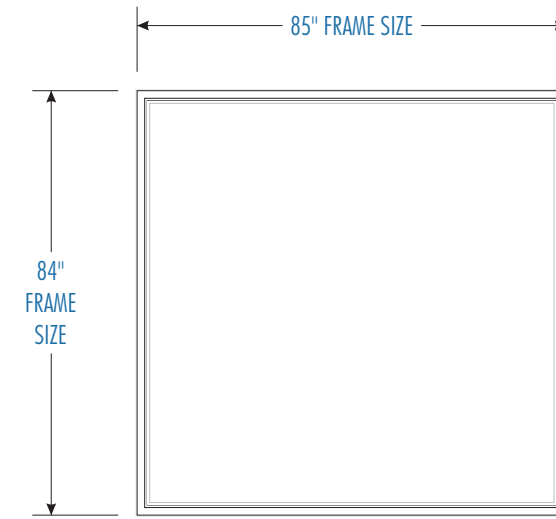
REMOVE THIS CABINET



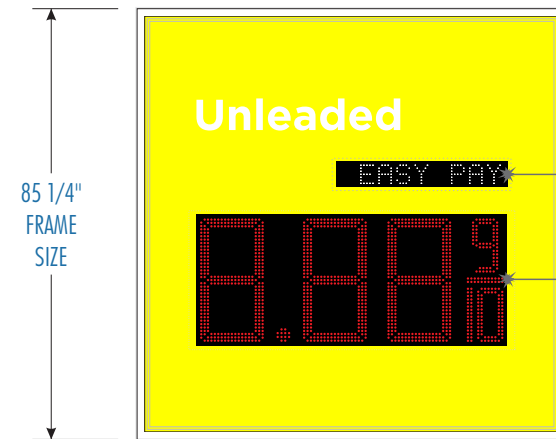
PROPOSED LEDs SIZES: NEW 24" RED ABLE 7-SEG. LEDs

TO REMAIN AS IS

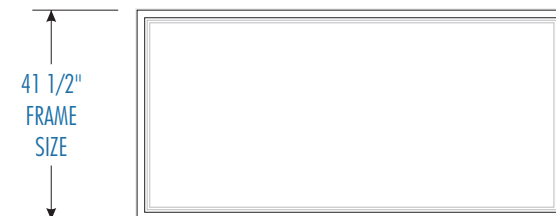
NEW EMC



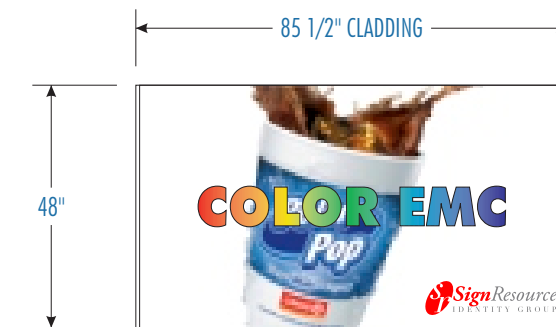
PANEL REFACE ONLY



PANEL REFACE ONLY



PANEL REFACE ONLY



NEW EMC

4" WHITE ABLE ALTERNATOR LEDs OPTIONS:

EASY PAY

CREDIT

ALL ALTERNATE MESSAGES MUST BE PROGRAMED PRIOR TO SHIPPING AND INSTALLER-CONFIRMED UPON INSTALL

CLEAR WINDOW  
4" WHITE ABLE ALTERNATOR LEDs  
WINDOW SIZE: 5" x 33 7/8"  
1AB04ALTW\_9D

CLEAR WINDOW  
24" RED ABLE 7 SEGMENT LED'S  
WINDOW SIZE: 26" x 61.5"

VENTS AND FANS TO MATCH LED MANUFACTURER'S SPECIFICATIONS

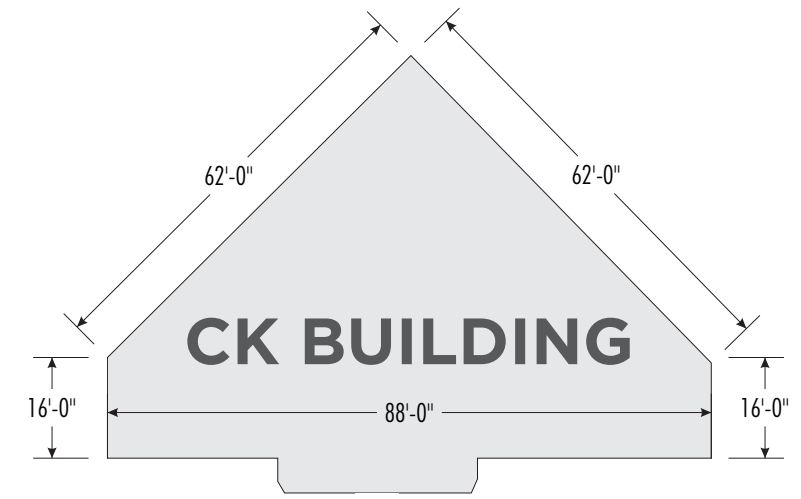


## SCOPE OF WORK

B

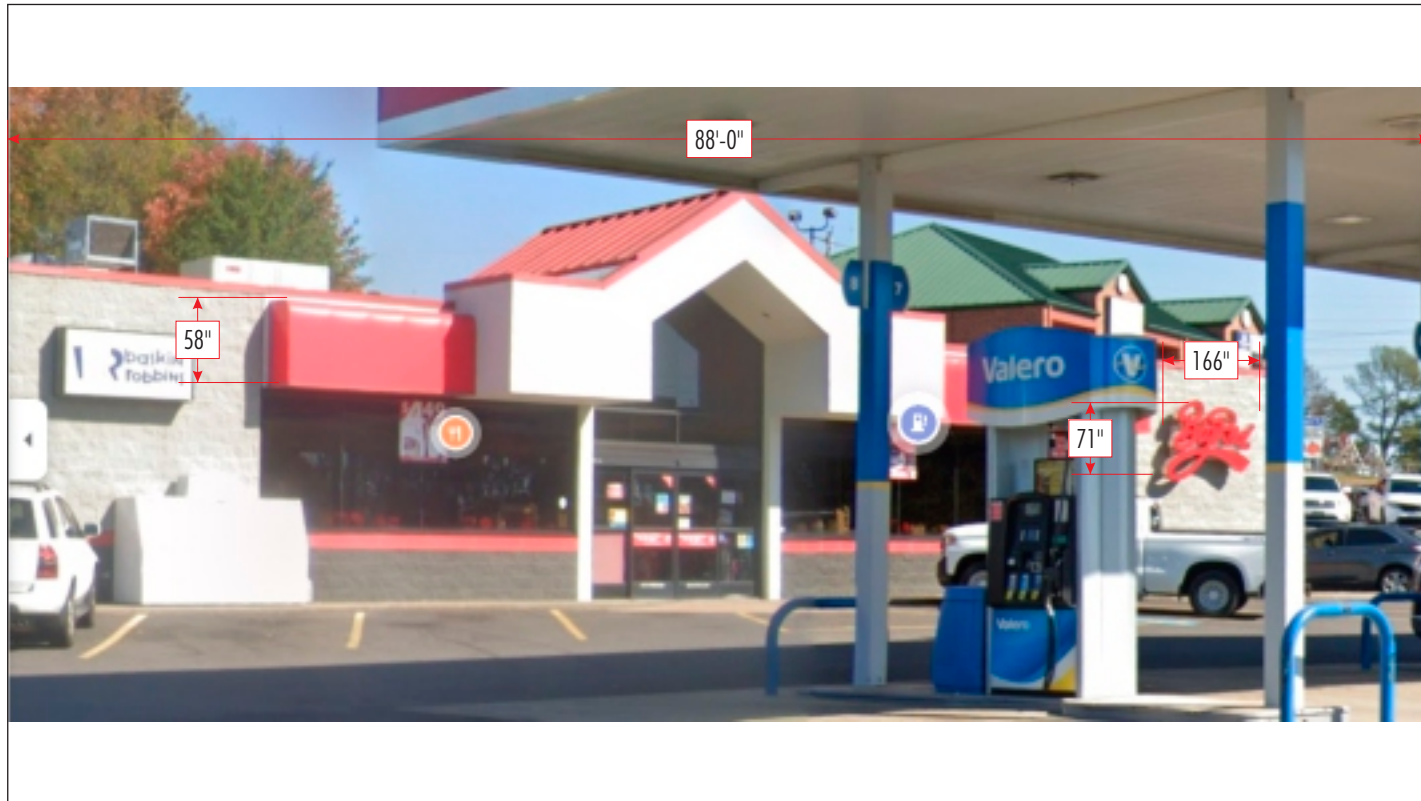
### BUILDING

- Change Big Red channel letters to CK shop sign above center of the entrance
- Remove Big Red sign from the corner of the building
- All other existing faces to remain



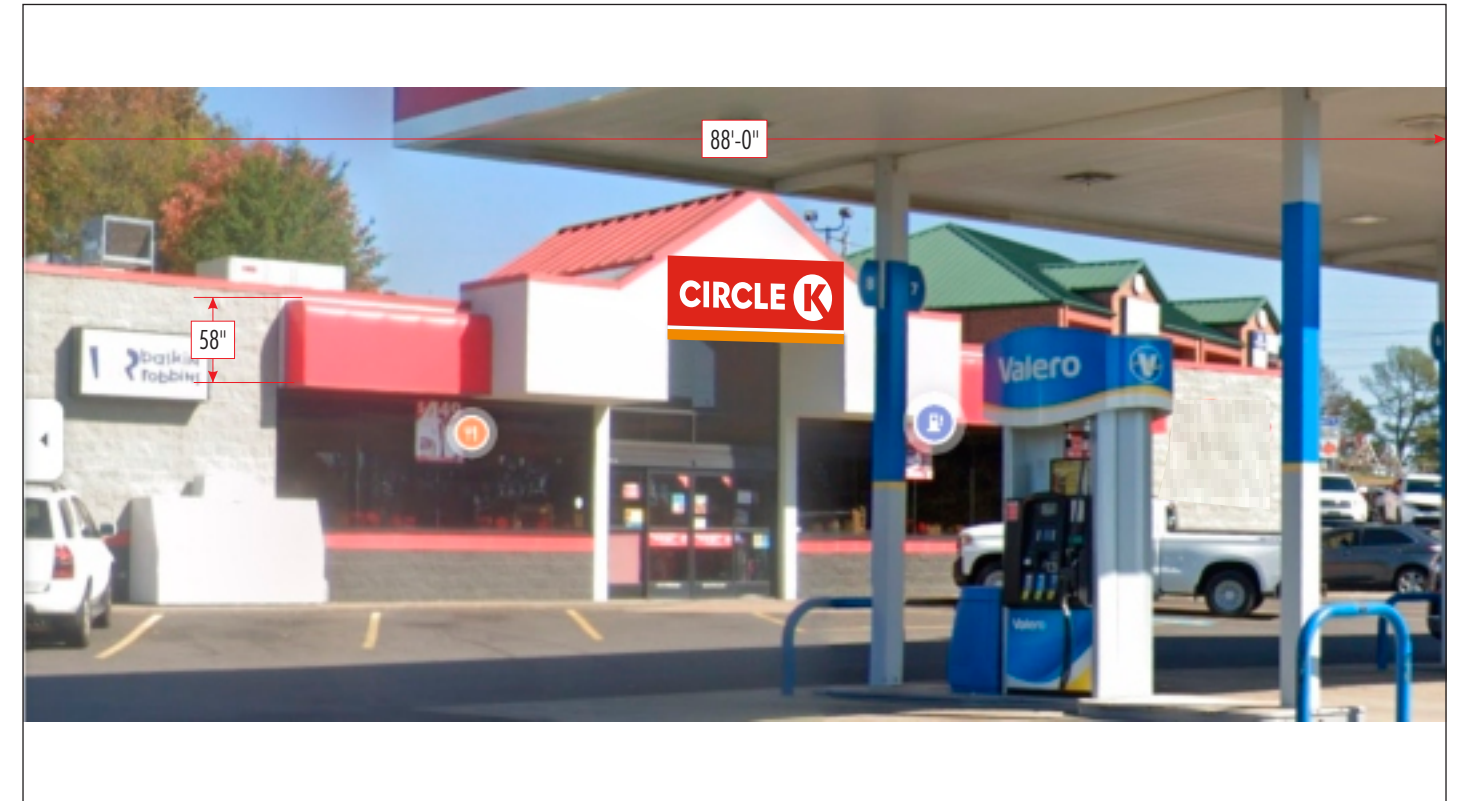
## EXISTING

81.85 Sq.Ft



## PROPOSED

63.33 Sq.Ft

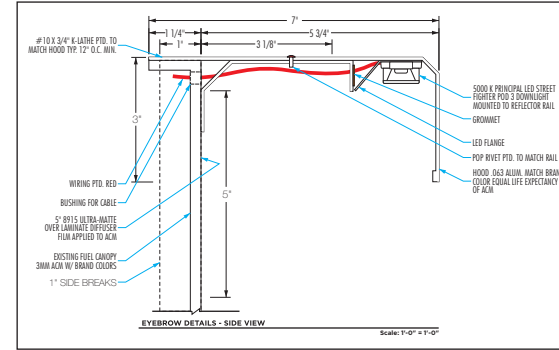


# SCOPE OF WORK

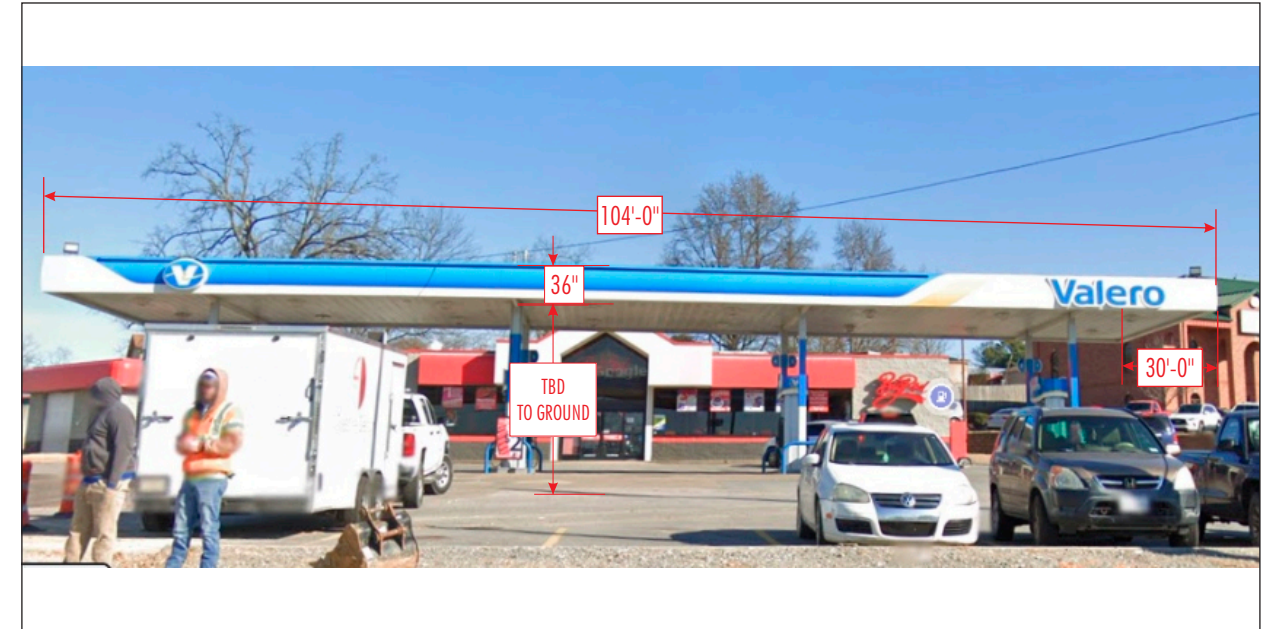
- Install (2) new illuminated fuel brand canopy ID signs
- Install new non illuminated tri color ACM
- Install Eyebrow down lighting on canopy fascia
- Paint canopy poles to fuel brand specifications
- Paint bollards to fuel brand specifications
- Paint light poles to fuel brand specifications

## CANOPY

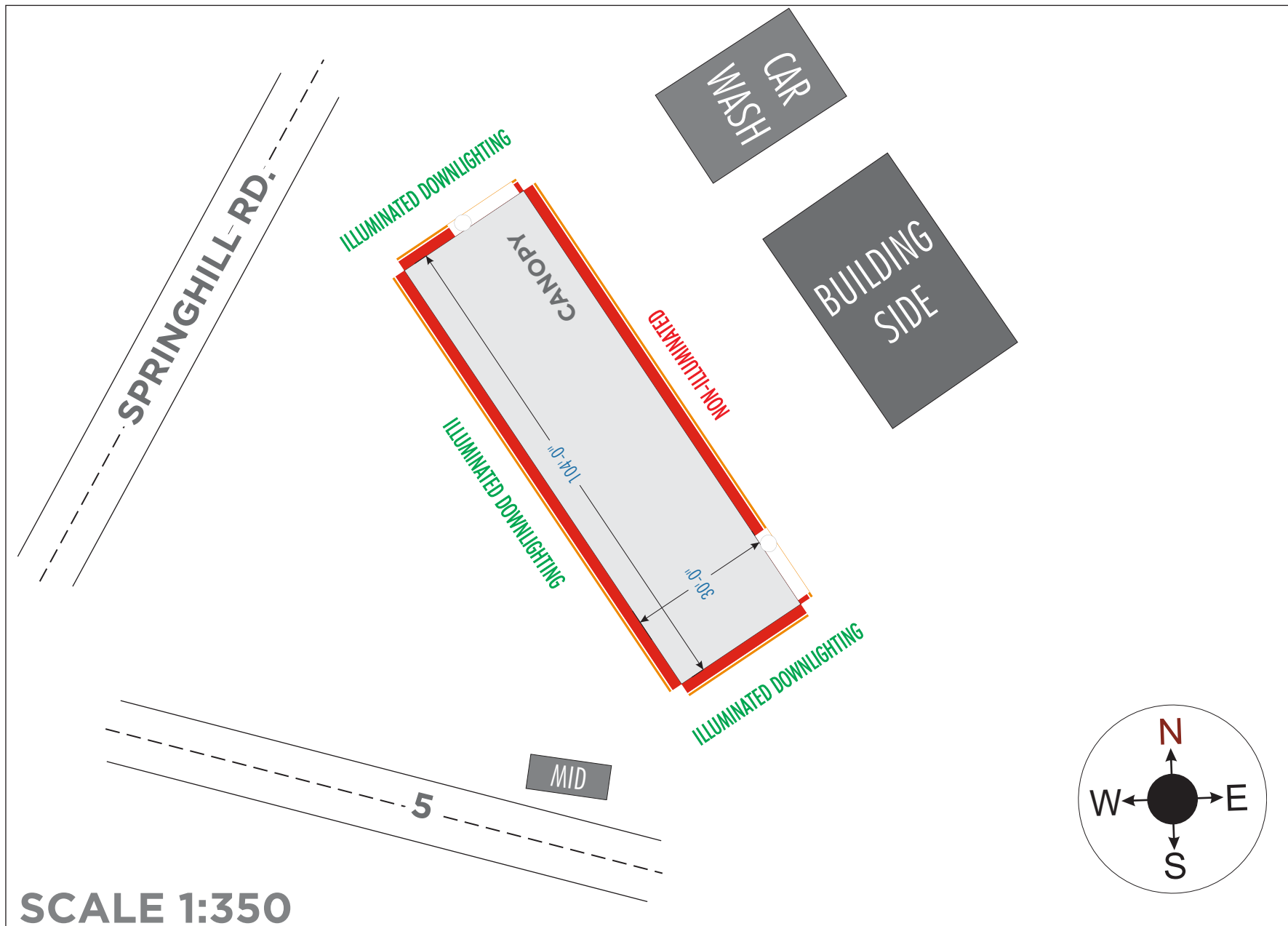
# EYEBROW DETAILS



# EXISTING



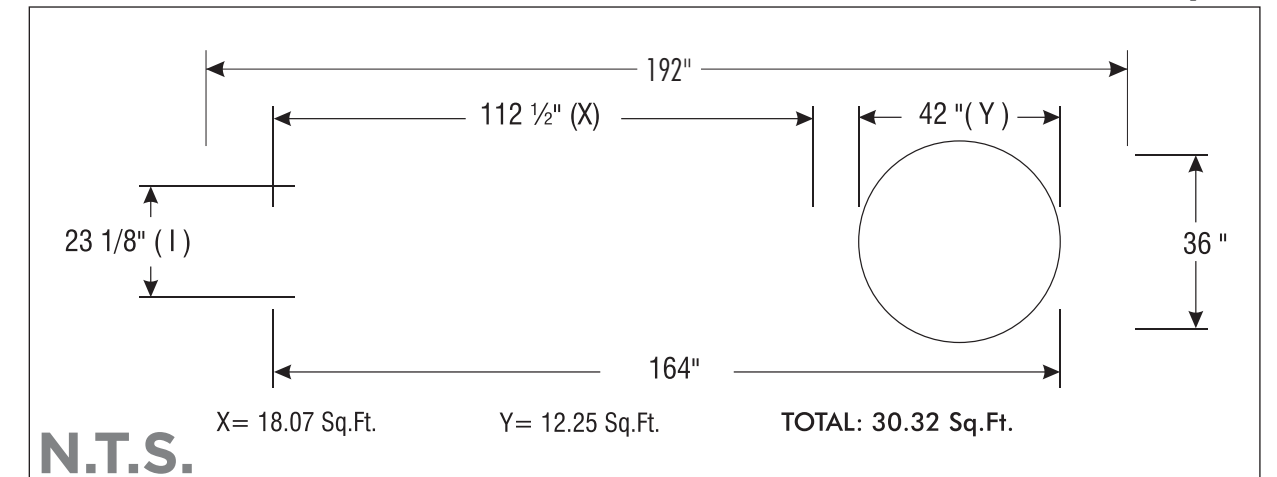
# SITE OVERVIEW



**36" HEIGHT OF ACM**

# PROPOSED

3'x16' CK ID - 48.00 Sq.Ft.



SCALE 1:350

## SCOPE OF WORK

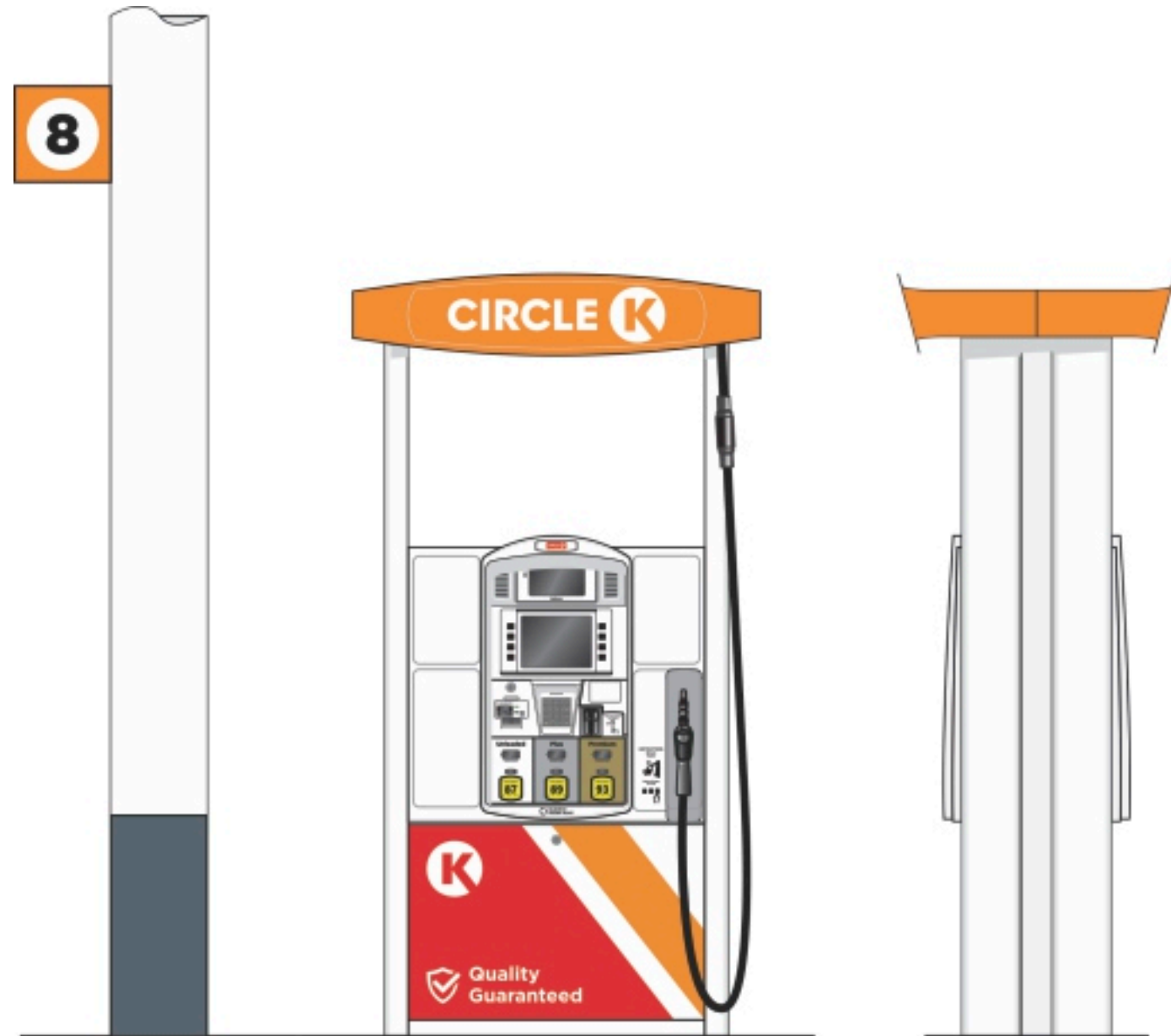
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

## EXISTING



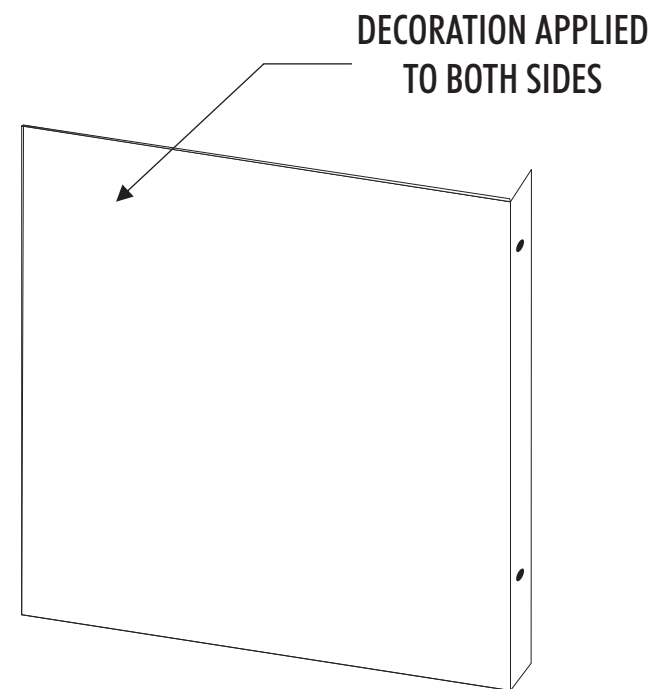
## PROPOSED



## SCOPE OF WORK

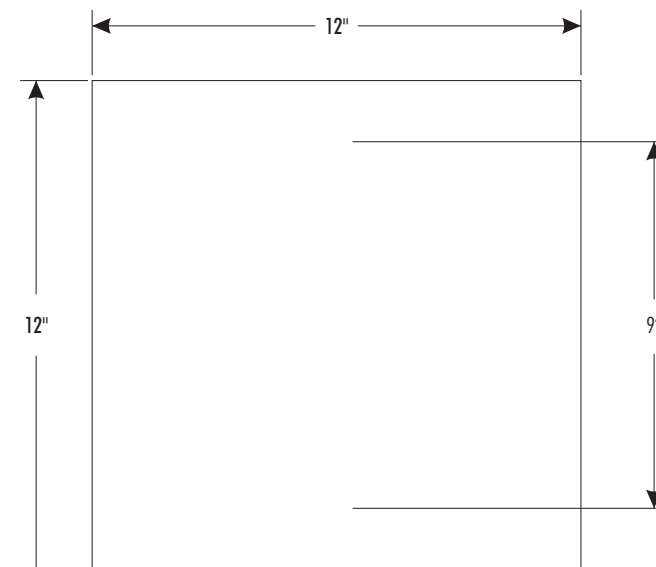
### <sup>D</sup> DISPENSERS & FORECOURT

- Reimage dispensers to fuel brand specifications
- Replace trash cans to fuel brand specifications
- Paint columns & islands to fuel brand specifications
- Paint bollards to fuel brand specifications
- Install pump flags to fuel brand specifications
- Paint light poles to Circle K specifications

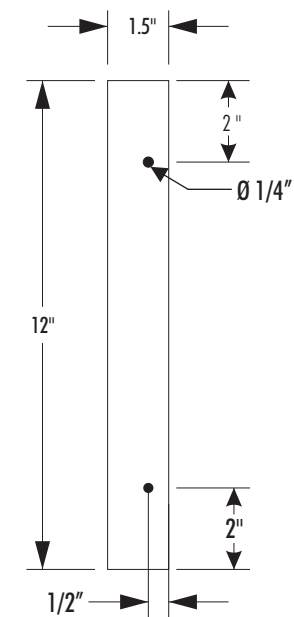


ISOMETRIC VIEW FRONT  
WITH SCREENED DECORATION

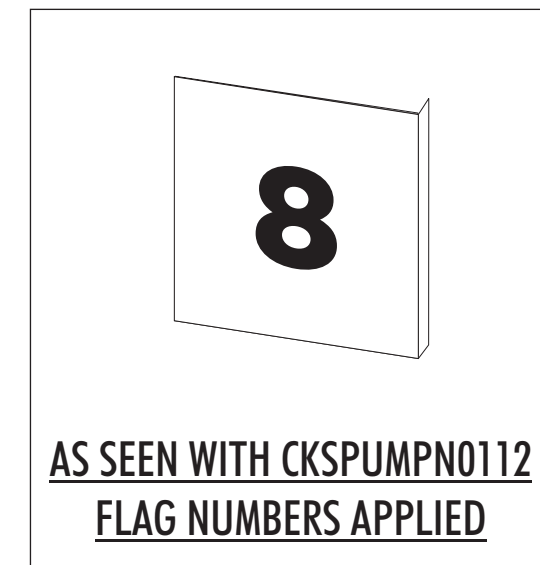
## CKSPUMP12



FRONT VIEW



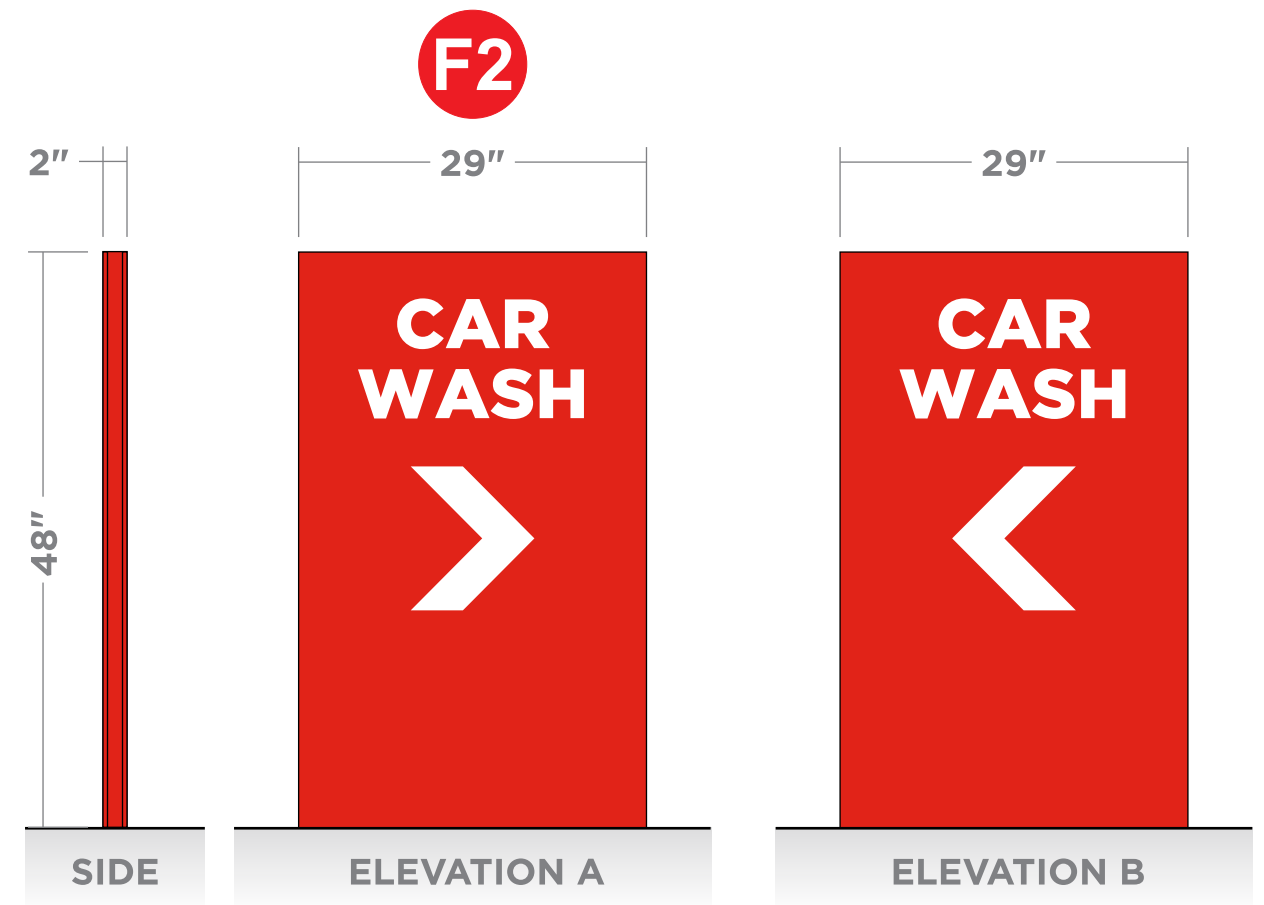
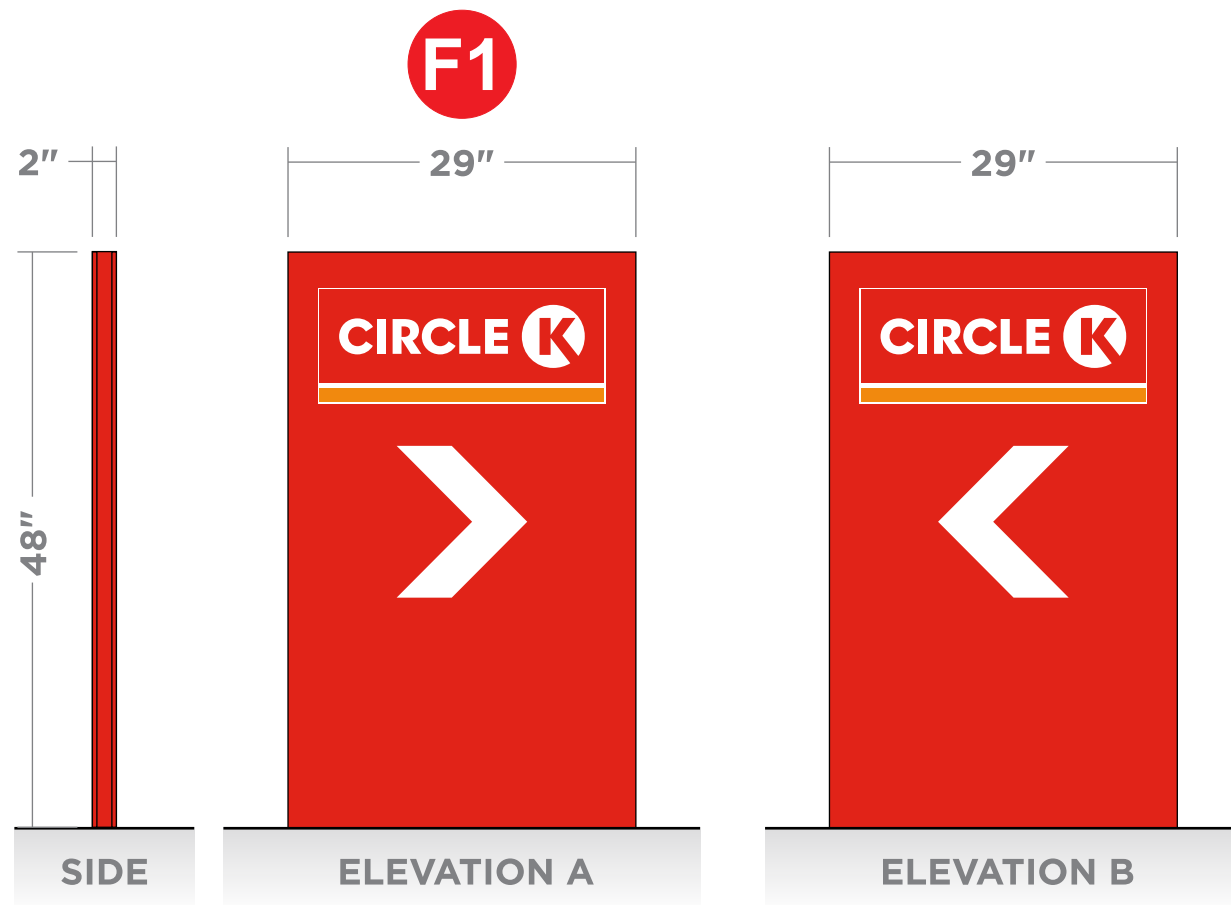
RIGHT VIEW



# SCOPE OF WORK

F  
DIRECTIONAL

• Directional signs to be installed at drive way entries

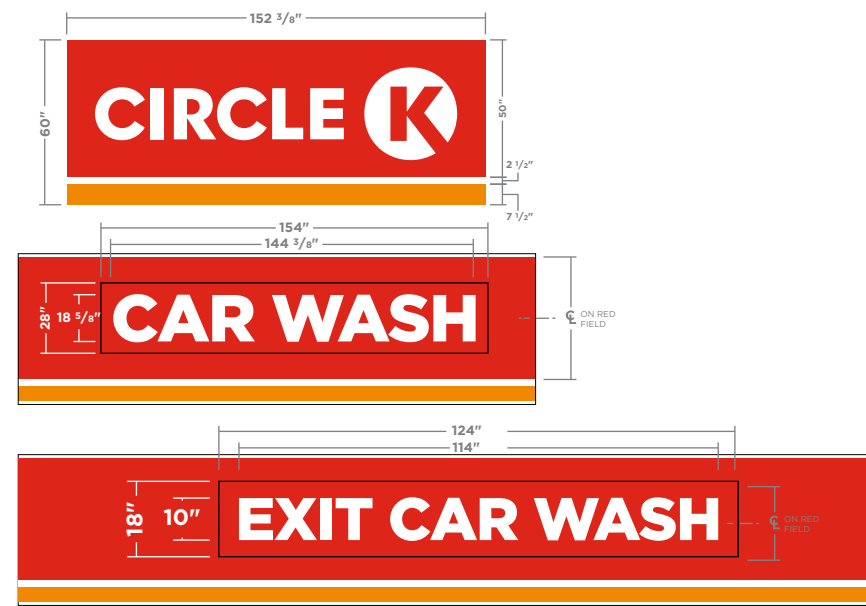


## SCOPE OF WORK

E

### CAR WASH

- Tear down existing awning
- Show "Car Wash" with tri color
- Show "exit car wash" with tri color
- Reimage Car Wash to fuel brand specifications



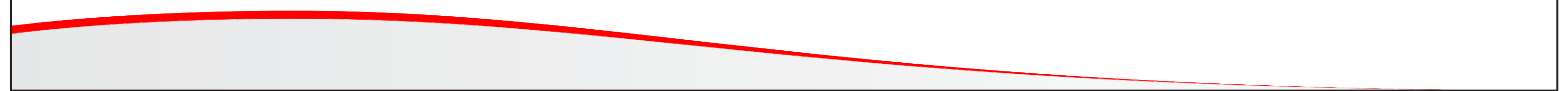
## EXISTING

TBD Sq.Ft



## PROPOSED

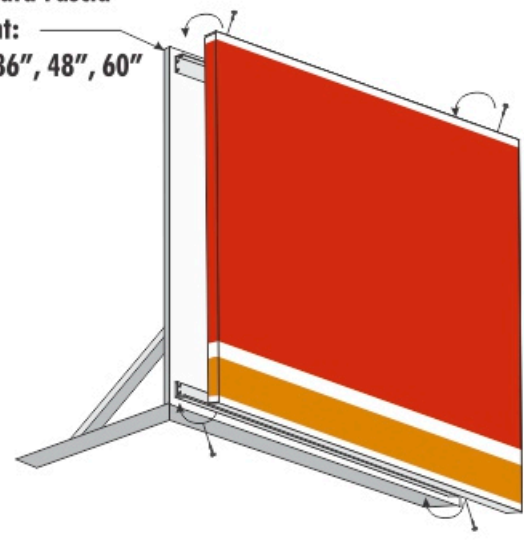
TBD Sq.Ft



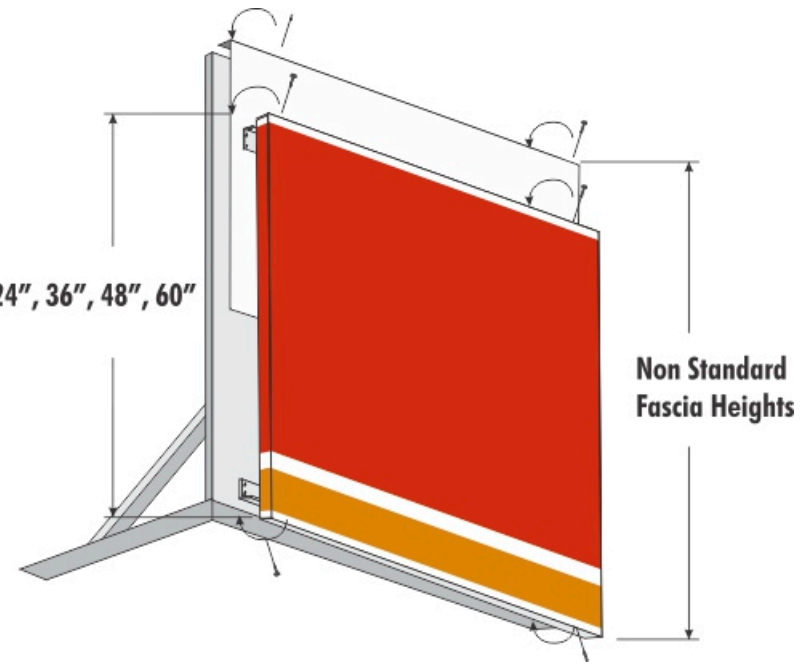
## Circle K:

Sample	Description	Applied to
	Primary Red - PMS 485 3M - 3630-2553	Building Sign Fascia Car Wash
	Primary Orange - PMS 144 3M - 3630-3534	Building Sign Fascia Column Flags
	Safety Red Sherwin Williams - SW 4081	Building Bollards
	Grays Harbor Sherwin Williams - SW 6236	Canopy Island Base Canopy Bollards High Rise Poles
	White	Building Sign Fascia Light Posts
	Green - PMS 355 3M - 3630-156 "Vivid Green" Vinyl	Diesel Door Skin CK Pricer (Diesel)
	Blue - PMS 287 3M - 3630-157 "Sultan Blue" Vinyl	CK Pricer (Unleaded)
	Egret White Sherwin Williams - SW 7570	Buildings 30" above grade to top of fascia
	Neutral Ground Sherwin Williams - SW 7568	Buildings 30" above grade to top of fascia
	Nuthatch Sherwin Williams - SW 6088	Buildings 30" to grade

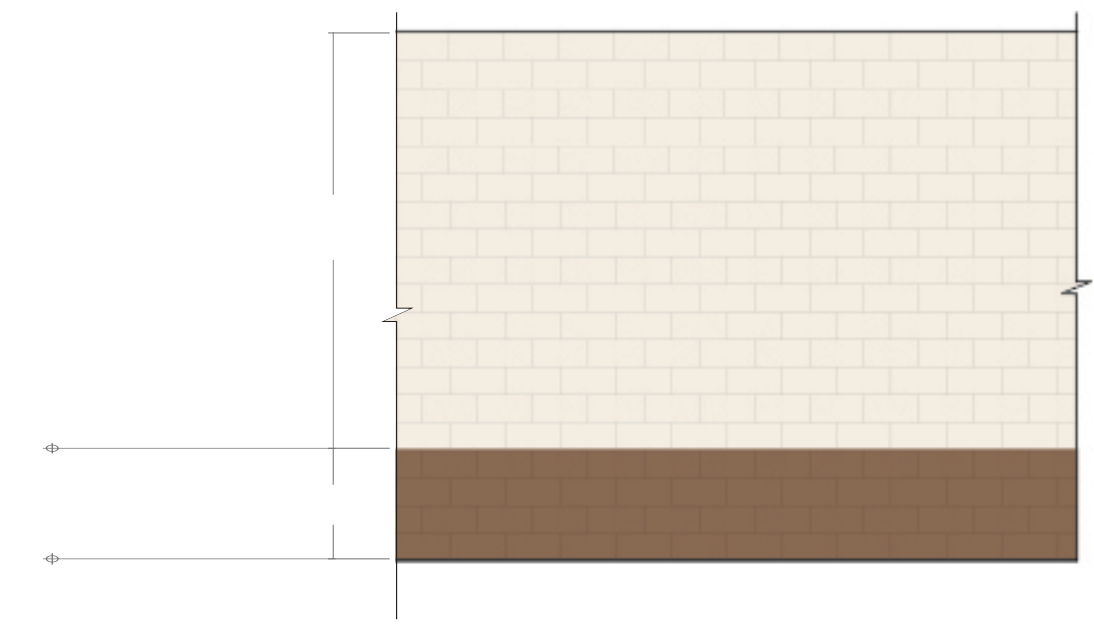
Standard Fascia Height:  
24", 36", 48", 60"



24", 36", 48", 60"

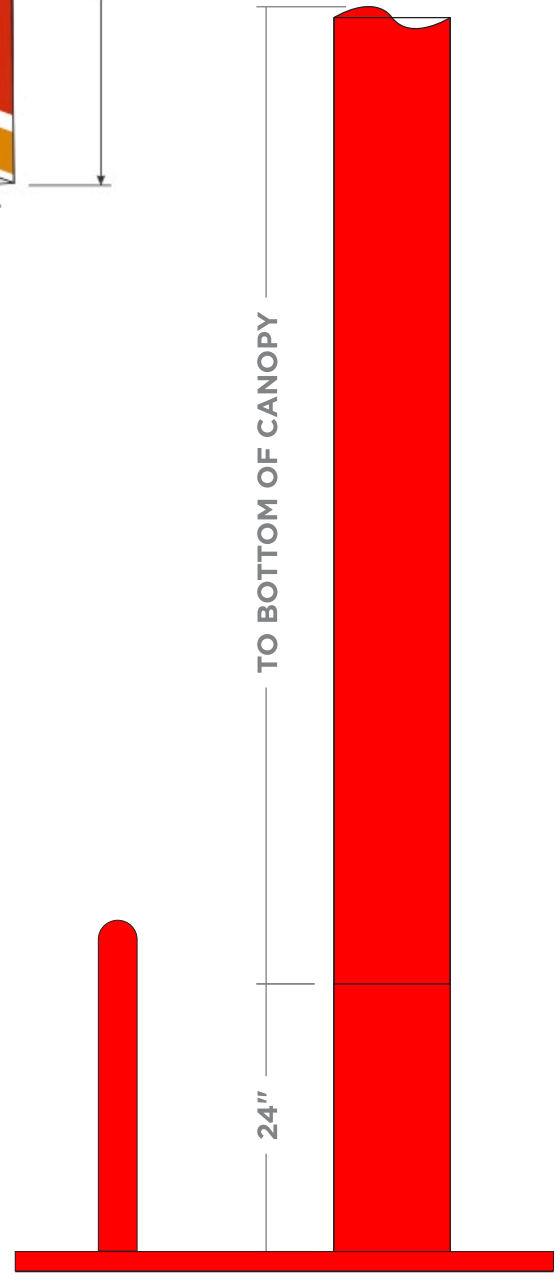


Non Standard Fascia Heights



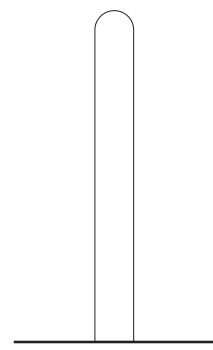
TO BOTTOM OF CANOPY

24"

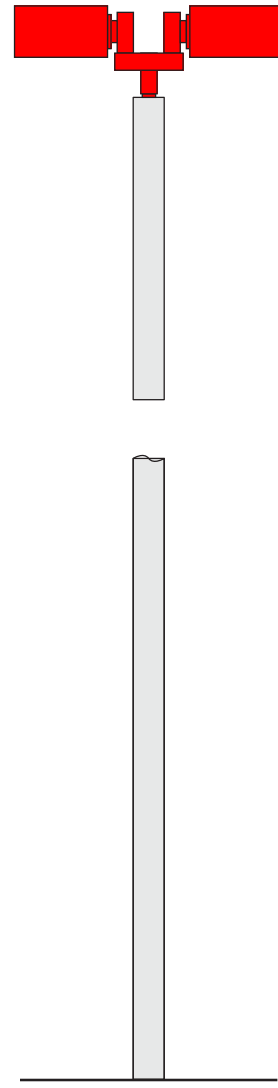


DISPENSER BOLLARDS

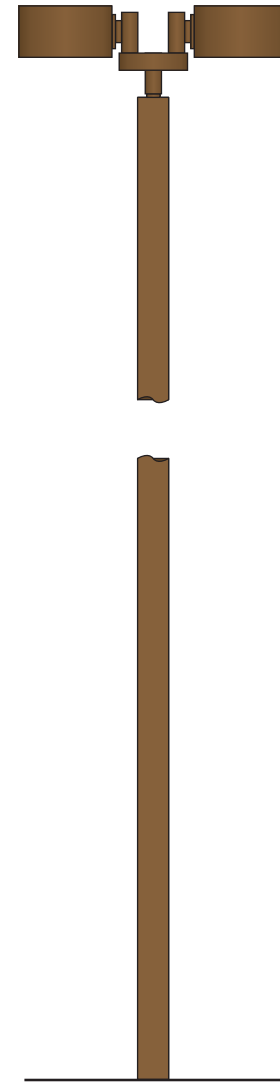
CANOPY COLUMNS



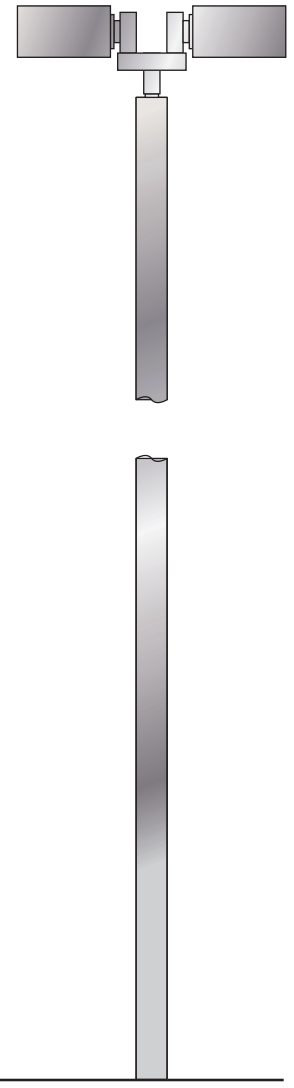
STOREFRONT BOLLARDS



LIGHT POLES



LIGHT POLES



# Circle K Paint Specifications





**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.  
 The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 4 17 23

### Sign Co. or Sign Owner

Name Aero Signs LLC  
 Address 3308 Pike Ave  
 City, State, Zip North Little Rock, AR  
 Phone 5012464952  
 Email Address sales@aero-signs.com

### Property Owner

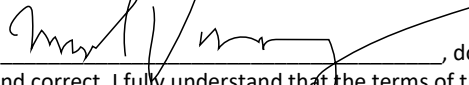
Name HL Investments c/o Moses Tucker Partners  
 Address 612 Office Park Drive  
 City, State, Zip Bryant Ar 72022  
 Phone (501) 376-6555  
 Email Address info@mosestucker.com

### GENERAL INFORMATION

Name of Business La Monarca  
 Address/Location of sign 612 Office Park Drive  
 Zoning Classification \_\_\_\_\_

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

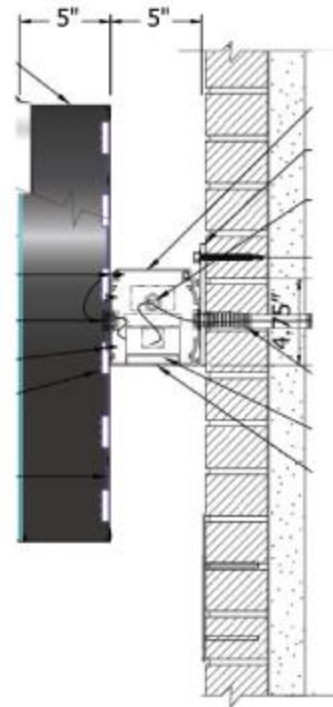
### READ CAREFULLY BEFORE SIGNING

I , do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall sign	36"X108"	27'	12'	15'	
B						
C						
E						
F						
G						



RACEWAY MOUNTED FACE LIT CHANNEL LETTERS

**AERO SIGNS**

Quality Sign Solutions

3308 pike ave  
North Little Rock  
AR 72118  
501-246-4952

JOB NUMBER	SALES PERSON	DESIGNER	PAGE	DESCRIPTION
33049	Mike v	Mike v	1 OF 1	Channel lettering on race way Size: 3' x 108" Square Footage: 27
LA MONARCA 611 OFFICE PARK DR BRYANT, ARKANSAS				

Please examine all proofs carefully for the accuracy of information presented, as well as spelling, punctuation, numbers, graphics, colors, and general layout. **Any errors may result in reprint charges. "Approved with changes" is not valid for production.** Normal production cycle will begin from the date final approval is received.

View proof for 60" x 48" 3mm dibond



View proof for 60" x 48" 3mm dibond

