



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: March 02, 2023 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Bryant Schools Admin Building - 1511 N Reynolds Road - New Parking Lot

Minton Engineering - Requesting Site Plan Approval

- [0676-STW-01.pdf](#)
- [0676-PLN-01.pdf](#)
- [0676-LTR-01.pdf](#)

2. Shady Pine Plaza - 2228 Shady Pine Lane

Richardson Engineering - Requesting Recommendation for Site Plan Approval and Setback Variance

- [0666-PLN-03.pdf](#)
- [0666-PLT-02.pdf](#)
- [0666-PLT-01.pdf](#)
- [0666-PLN-02.pdf](#)
- [0666-STW-02.pdf](#)
- [0666-STW-01.pdf](#)
- [0666-LTR-01.pdf](#)
- [0666-PLN-01.pdf](#)

3. Marketplace East Subdivision Phase 1 - Preliminary Plat

GarNat Engineering - Requesting Recommendation for Approval of Preliminary Plat

- [0662-PLN-02.pdf](#)
- [0662-PLT-02.pdf](#)
- [0662-RSP-01.pdf](#)

4. Diamond Estates Subdivision - Preliminary Plat

GarNat Engineering - Requesting Recommendation for Approval of Preliminary Plat

- [0664-RSP-01.pdf](#)
- [0664-PLN-02.pdf](#)
- [0664-PLT-02.pdf](#)

5. Scooter's Coffee - 1816 N Reynolds - Signage

Shawn LaMontia - Requesting Recommendation for Approval of Sign Variance

- [0685-APP-01.pdf](#)

6. Birch Street Replat - Lots 10-14 of Sherwood Forest Subdivision

Hope Consulting - Requesting Recommendation for Approval of Replat

- [0675-PLN-01.pdf](#)

7. 910 N. Reynolds Road - Duplexes

Hope Consulting - Requesting Discussion on Property and Adding of Two Duplexes to Site

- [0679-PLN-01.pdf](#)

8. Coral Ridge Subdivision - Variances - Lots 9, 11, 16, 20, 24

Hope Consulting - Requesting Recommendation for Approval of Variances on Rear Setbacks for lots

- [0684-APP-01.pdf](#)
- [0683-APP-01.pdf](#)
- [0682-APP-01.pdf](#)
- [0681-APP-01.pdf](#)
- [0680-APP-01.pdf](#)

9. Aria Oil C-Store - Hwy 5 and Lowery Ln

Hope Consulting - Requesting Site Plan Approval

- [0670-PLN-02.pdf](#)
- [0670-RSP-01.pdf](#)

Staff Approved

10. Summerwood Sports Gym - 4800 Dallas Dr - Signage

Arkansas Sign and Neon - Requesting Sign Permit Approval - Staff Approved

- [0671-APP-01.pdf](#)

11. Hibbett Sports - 7319 Alcoa Rd - Signage

Lumatech - Requesting Sign Permit Approval - Staff Approved

- [0674-APP-01.pdf](#)

Permit Report

Adjournments

Bryant Admin Parking

Stormwater Management Report

City of Bryant, Saline County, Arkansas

Original Submittal:
February 20, 2023

MINTON ENGINEERING, INC.

300 Northport Dr.
Cabot, AR 72023
501.941.5559 phone
501.941.5557 fax

I. Pre-Development Conditions

This project involves constructing a new parking lot on the west side of an existing building located at 1511 N. Reynolds Road in the city limits of Bryant, Arkansas. This is the old Summerwood Petro office that is being converted into the Bryant Schools Administration office.

The site currently has a detention pond on the west side, but this pond will be removed for the new parking lot. Considering this, the site detention will be designed as though the pre-development condition is undeveloped.

II. Post-Development Conditions

The project proposes to add a new parking lot on the west (back) side of the existing building. Since the existing detention pond is being removed, a new detention pond is proposed at the southwest corner of the site. Approximately 65% of the site will flow through the detention pond and 35% will drain through the northwest corner.

III. Design Considerations

The detention for this project was designed using the rational method. The pre-development flow, post development flow and detention volume were determined by the attached calculations are summarized below. The calculations were compiled using Autodesk Hydraflow, information used is attached to this report.

Summary Table:

Description	Pre-Development	Post-Development	Pond Elevation
2-Year Storm	5.12 cfs	4.95 cfs	426.22
5-Year Storm	5.98 cfs	5.73 cfs	426.32
10-Year Storm	6.62 cfs	6.29 cfs	426.39
25-Year Storm	7.57 cfs	7.12 cfs	426.50
50-Year Storm	8.32 cfs	7.77 cfs	426.59
100-Year Storm	9.07 cfs	8.42 cfs	426.67

IV. Conclusion

Post-development flow will be less than the pre-development flow for the 2-100 year storm events. The pond will detain the 100-yr storm by utilizing a storage volume of 3,820 CF. The pond has an available volume of 7,327 CF and will store the 100-year storm w/ 1' of freeboard available. The outlet structure will utilize a 6" storm pipe.

Please consider this report and let me know if any additional information is required.

Sincerely,



Josh Minton, PE



HYDRAULIC CALCULATIONS

Pre-Development MAP

Note: Consider entire site to be undeveloped since ex. Det. Pond will be removed.



SCALE: 1" = 100'

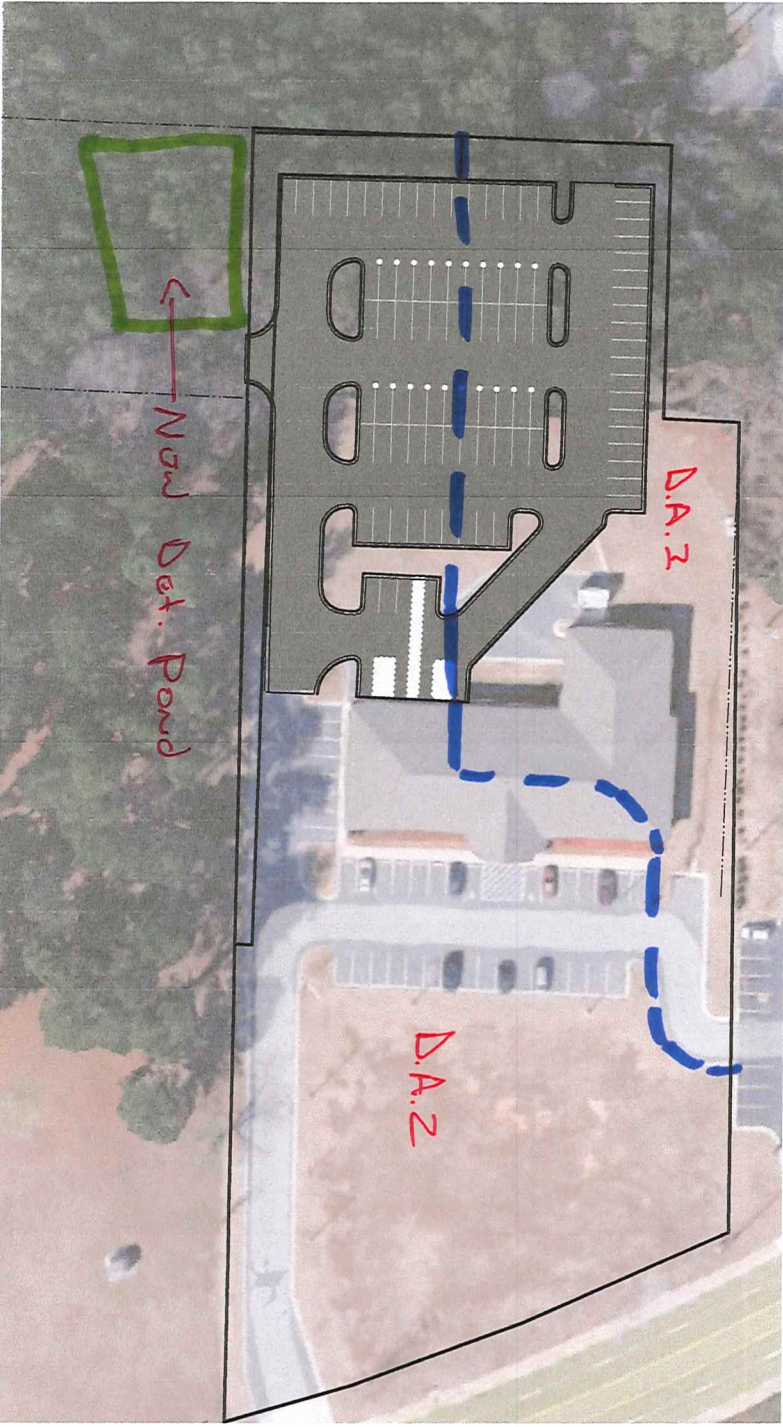
Post Development MAP

D.A. 2

$A_{TOTAL} = 1.2 \text{ AC}$
 $A_{HARD SURF} = 0.7 \text{ AC}$ $C = 0.9$
 $A_{GREEN} = 0.5 \text{ AC}$ $C = 0.25$

D.A. 2

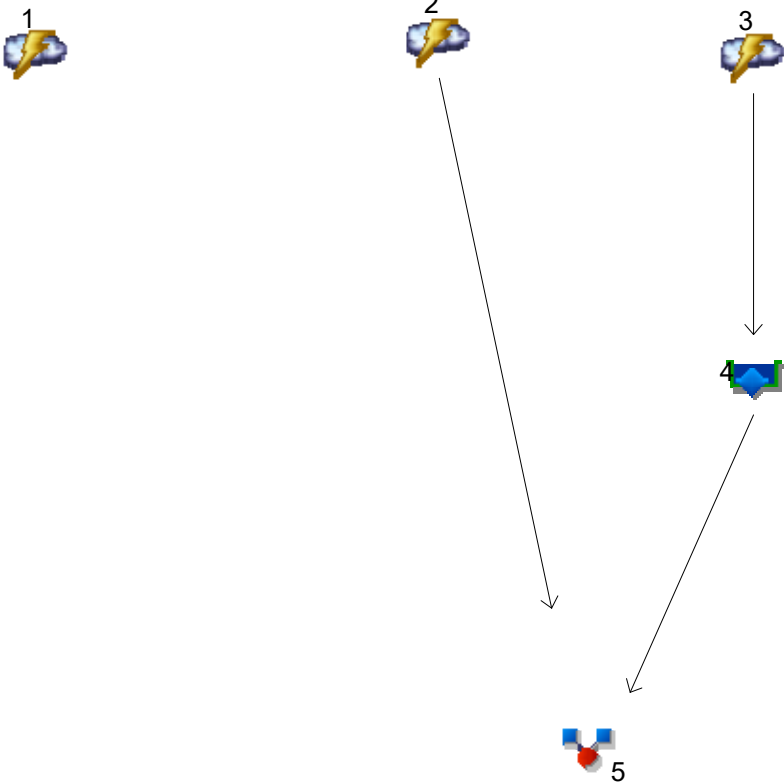
$A_{TOTAL} = 2.4 \text{ AC}$
 $A_{HS} = 1.2 \text{ AC}$ $C = 0.9$
 $A_{GREEN} = 1.2 \text{ AC}$ $C = 0.25$



SCALE: 1"=100'

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

<u>Hyd. Origin</u>	<u>Description</u>
1 Rational	Pre-Development
2 Rational	Post Dev DA 1
3 Rational	Post Dev. DA 2
4 Reservoir	Detention Pond
5 Combine	Total Post Dev

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	5.127	1	5	1,538	-----	-----	-----	Pre-Development	
2	Rational	4.307	1	5	1,292	-----	-----	-----	Post Dev DA 1	
3	Rational	7.930	1	5	2,379	-----	-----	-----	Post Dev. DA 2	
4	Reservoir	0.817	1	9	2,375	3	426.22	2,087	Detention Pond	
5	Combine	4.953	1	5	3,667	2, 4	-----	-----	Total Post Dev	
Bryant Admin Hydrographs.gpw					Return Period: 2 Year			Thursday, 02 / 16 / 2023		

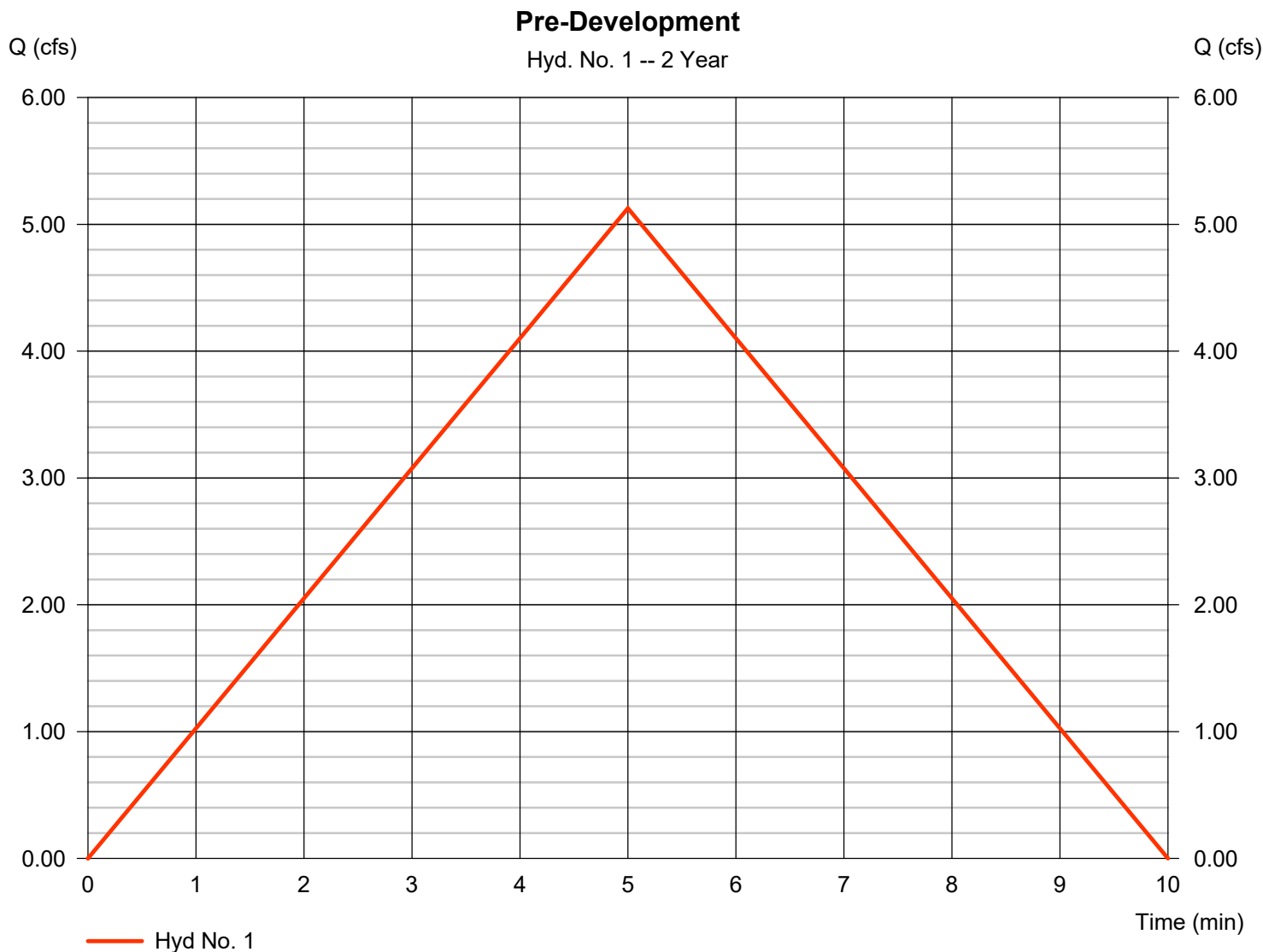
Hydrograph Report

Hyd. No. 1

Pre-Development

Hydrograph type	= Rational	Peak discharge	= 5.127 cfs
Storm frequency	= 2 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,538 cuft
Drainage area	= 3.600 ac	Runoff coeff.	= 0.25*
Intensity	= 5.697 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.900 x 0.25) + (5.200 x 0.90)] / 3.600



Hydrograph Report

Hyd. No. 2

Post Dev DA 1

Hydrograph type	= Rational	Peak discharge	= 4.307 cfs
Storm frequency	= 2 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,292 cuft
Drainage area	= 1.200 ac	Runoff coeff.	= 0.63*
Intensity	= 5.697 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.700 x 0.90) + (0.500 x 0.25)] / 1.200



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

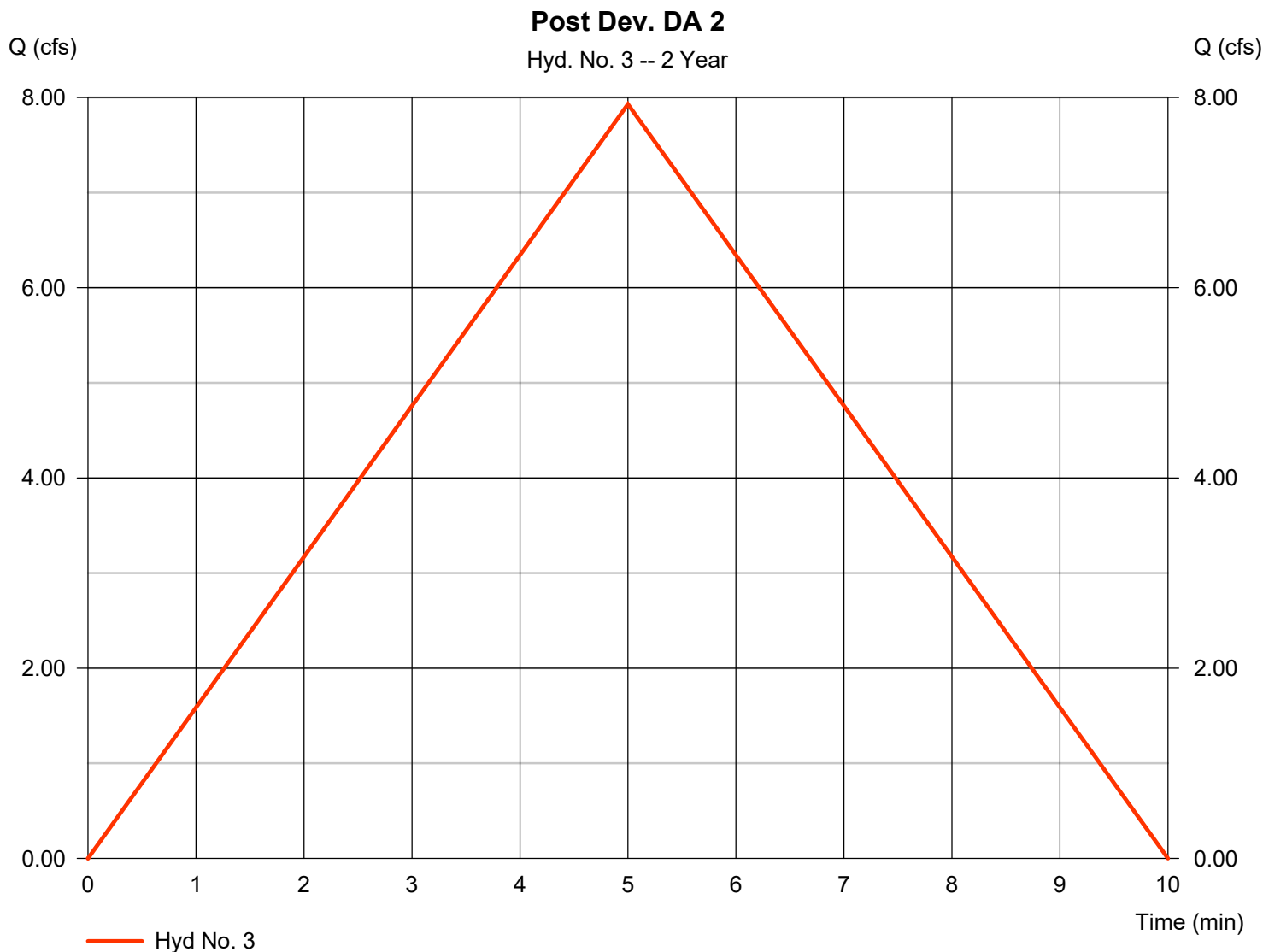
Thursday, 02 / 16 / 2023

Hyd. No. 3

Post Dev. DA 2

Hydrograph type	= Rational	Peak discharge	= 7.930 cfs
Storm frequency	= 2 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,379 cuft
Drainage area	= 2.400 ac	Runoff coeff.	= 0.58*
Intensity	= 5.697 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.200 x 0.90) + (1.200 x 0.25)] / 2.400



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

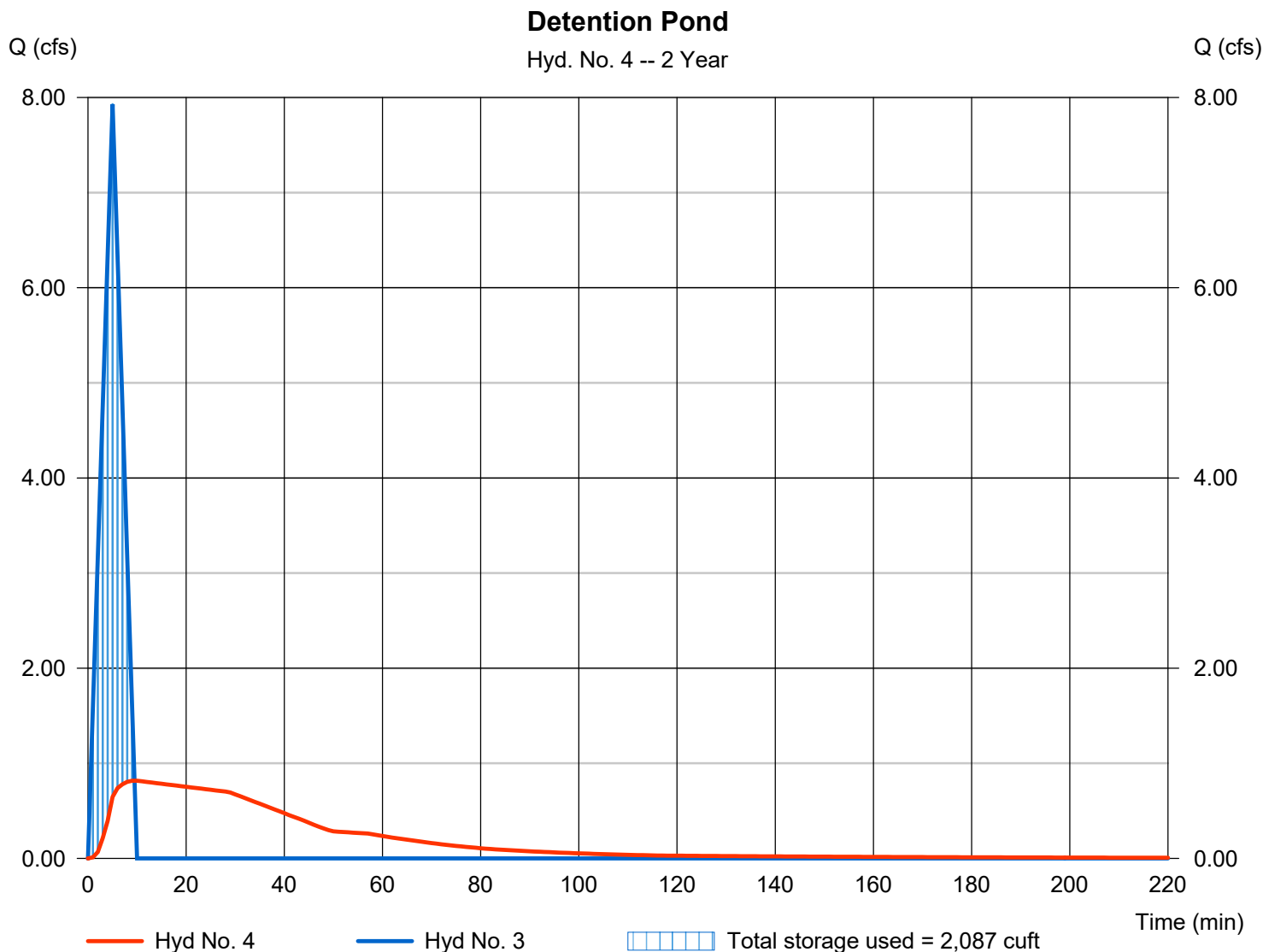
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Hyd. No. 4

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.817 cfs
Storm frequency	= 2 yrs	Time to peak	= 9 min
Time interval	= 1 min	Hyd. volume	= 2,375 cuft
Inflow hyd. No.	= 3 - Post Dev. DA 2	Max. Elevation	= 426.22 ft
Reservoir name	= Det. Pond	Max. Storage	= 2,087 cuft

Storage Indication method used.



Pond No. 1 - Det. Pond

Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 425.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	425.00	00	0	0
1.00	426.00	3,700	1,233	1,233
2.00	427.00	4,000	3,849	5,082
2.50	427.50	5,000	2,245	7,327

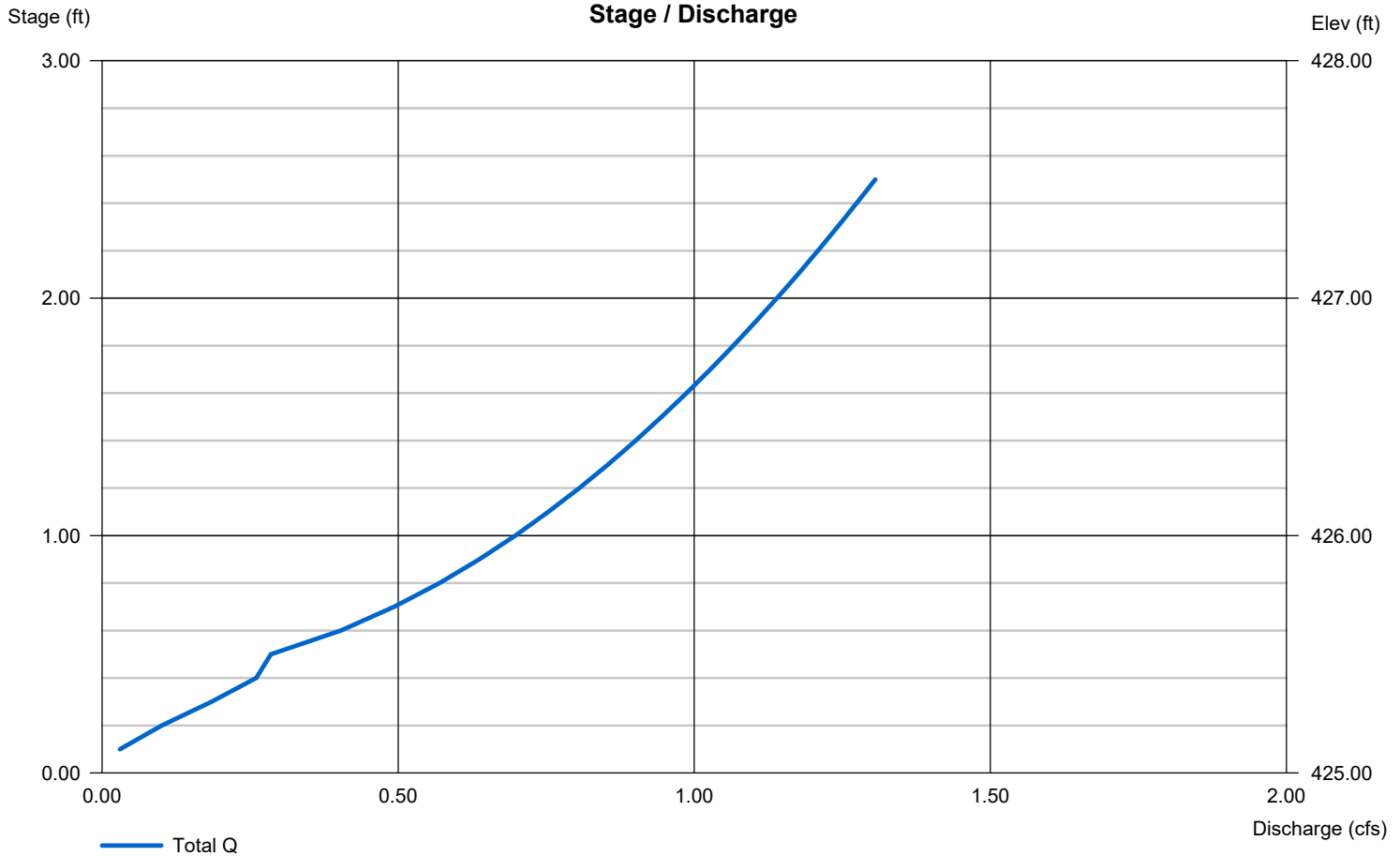
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 6.00	0.00	0.00	0.00
Span (in)	= 6.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 425.00	0.00	0.00	0.00
Length (ft)	= 20.00	0.00	0.00	0.00
Slope (%)	= 0.50	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	Inactive	Inactive	Inactive	Inactive
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Report

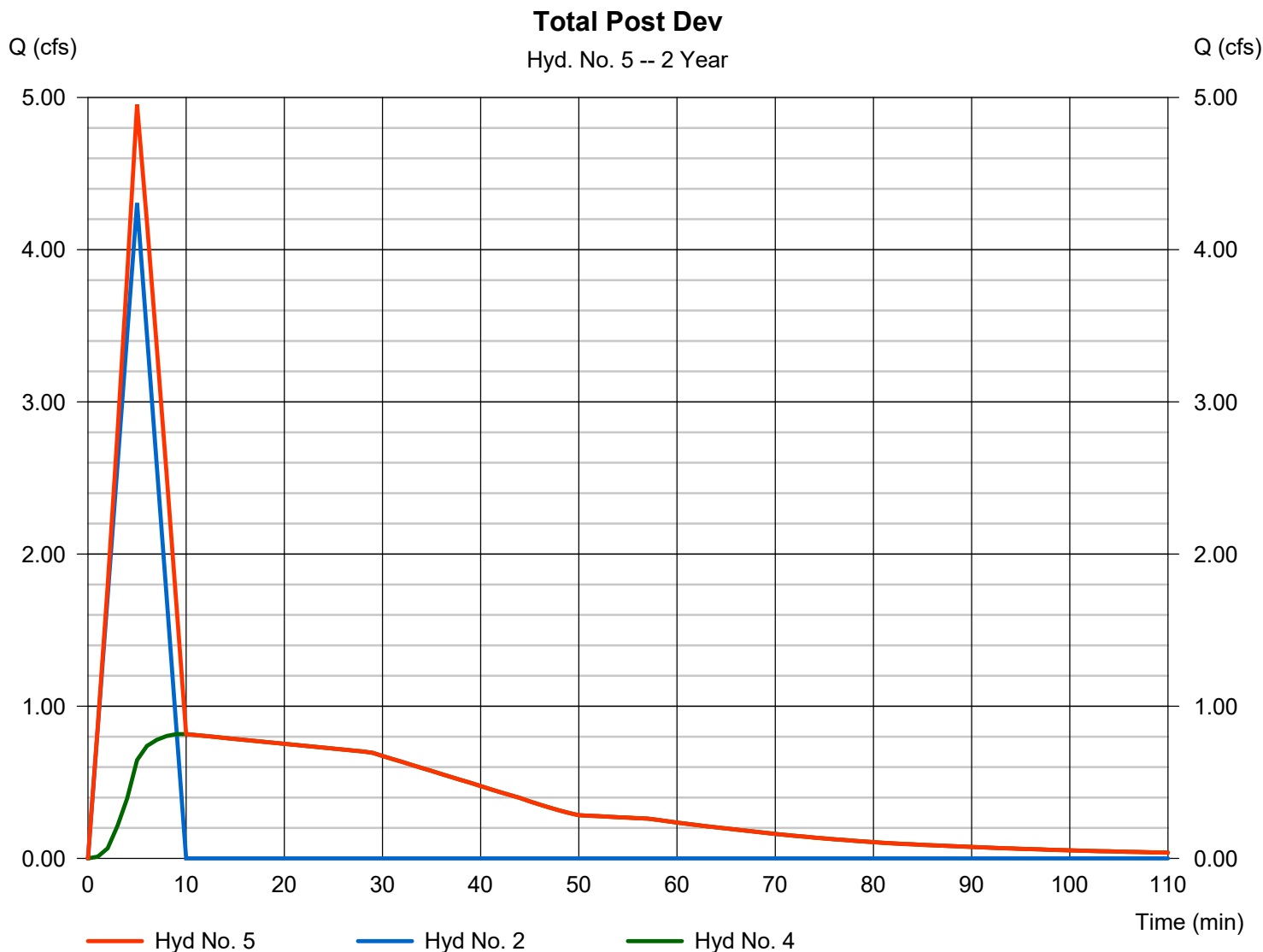
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Hyd. No. 5

Total Post Dev

Hydrograph type	= Combine	Peak discharge	= 4.953 cfs
Storm frequency	= 2 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 3,667 cuft
Inflow hyds.	= 2, 4	Contrib. drain. area	= 1.200 ac



Hydrograph Summary Report

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Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	5.977	1	5	1,793	-----	-----	-----	Pre-Development	
2	Rational	5.021	1	5	1,506	-----	-----	-----	Post Dev DA 1	
3	Rational	9.245	1	5	2,774	-----	-----	-----	Post Dev. DA 2	
4	Reservoir	0.863	1	10	2,769	3	426.32	2,456	Detention Pond	
5	Combine	5.731	1	5	4,276	2, 4	-----	-----	Total Post Dev	
Bryant Admin Hydrographs.gpw					Return Period: 5 Year			Thursday, 02 / 16 / 2023		

Hydrograph Report

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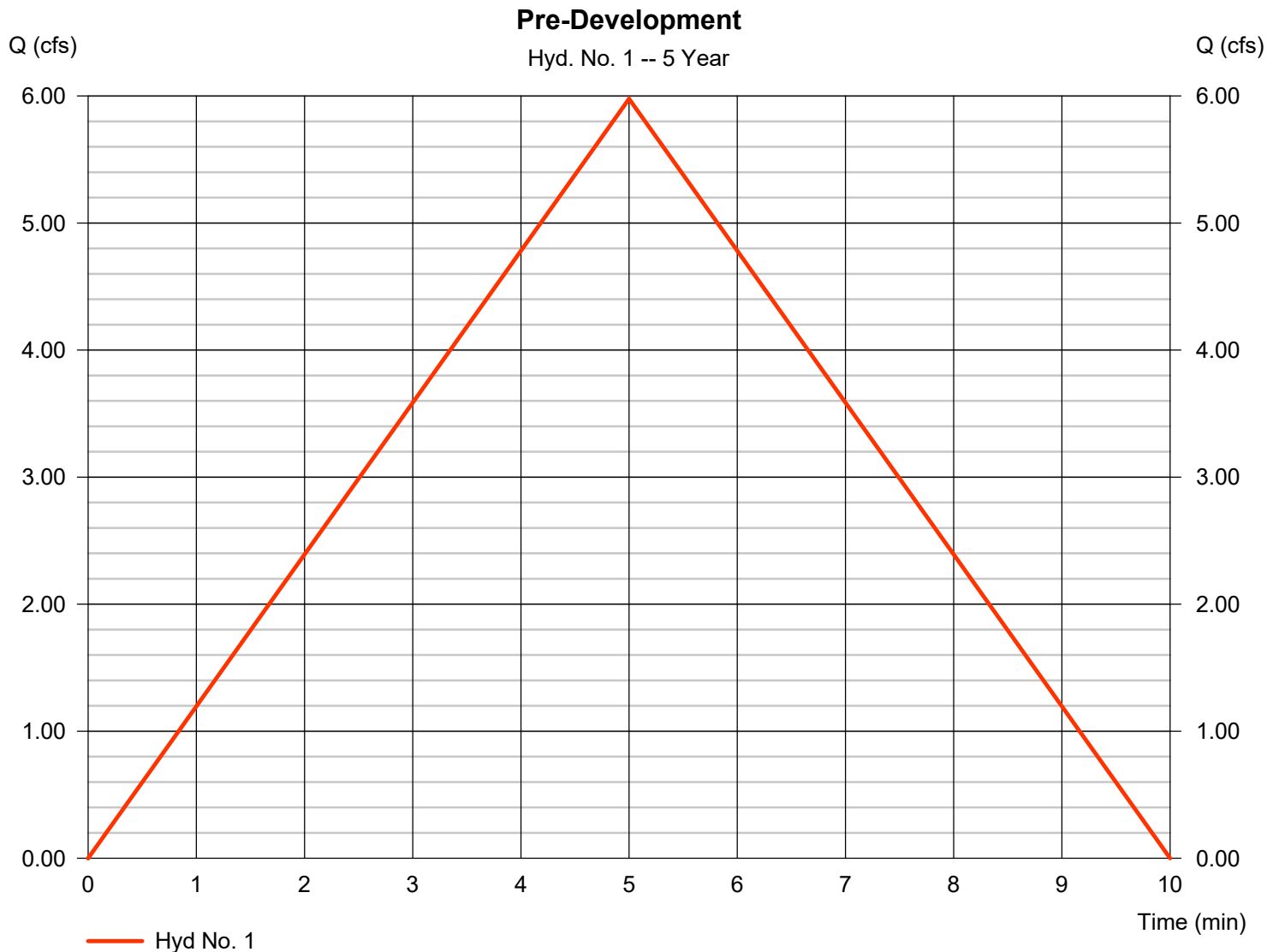
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Hyd. No. 1

Pre-Development

Hydrograph type	= Rational	Peak discharge	= 5.977 cfs
Storm frequency	= 5 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,793 cuft
Drainage area	= 3.600 ac	Runoff coeff.	= 0.25*
Intensity	= 6.642 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.900 x 0.25) + (5.200 x 0.90)] / 3.600



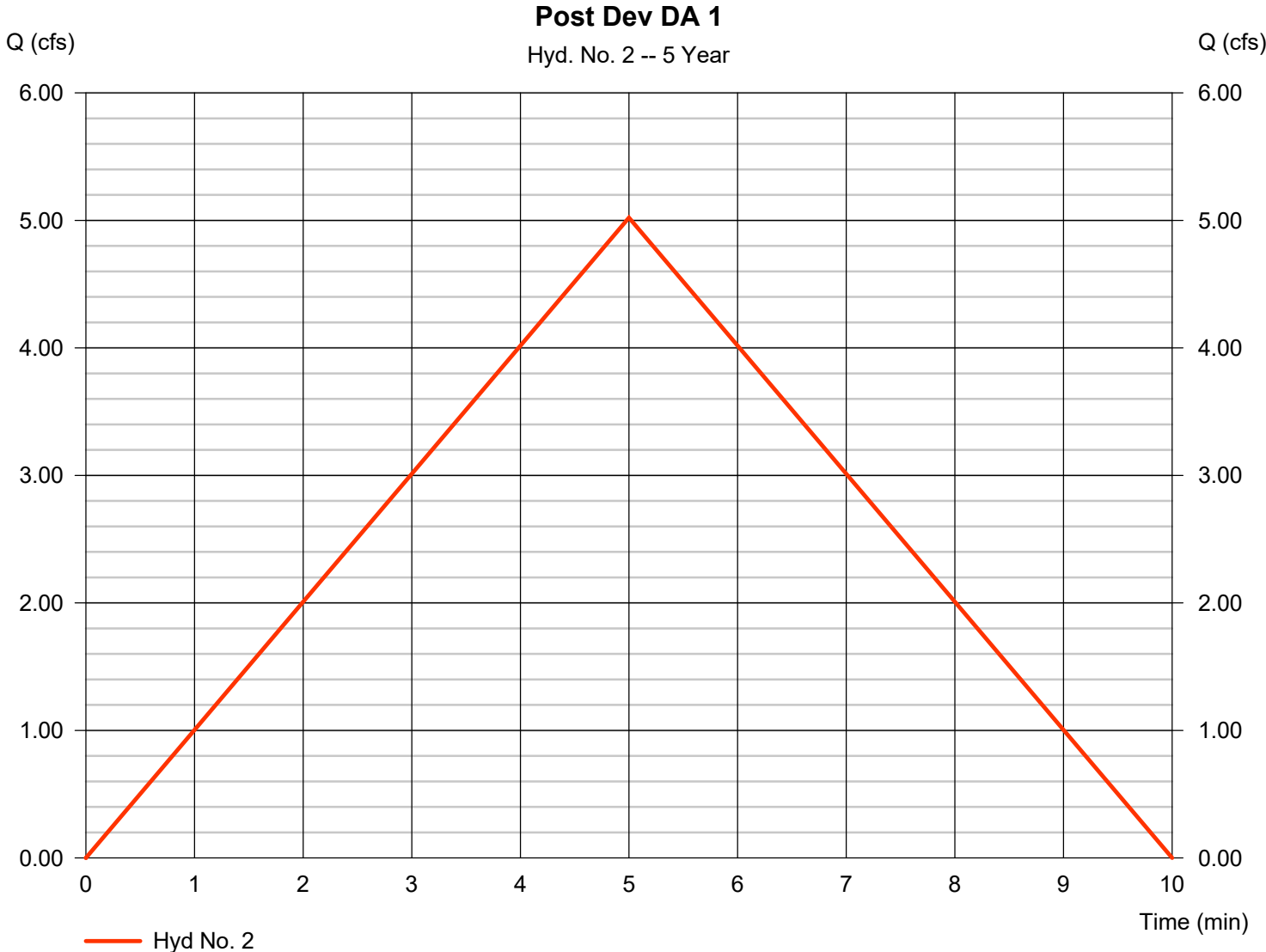
Hydrograph Report

Hyd. No. 2

Post Dev DA 1

Hydrograph type	= Rational	Peak discharge	= 5.021 cfs
Storm frequency	= 5 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,506 cuft
Drainage area	= 1.200 ac	Runoff coeff.	= 0.63*
Intensity	= 6.642 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.700 x 0.90) + (0.500 x 0.25)] / 1.200



Hydrograph Report

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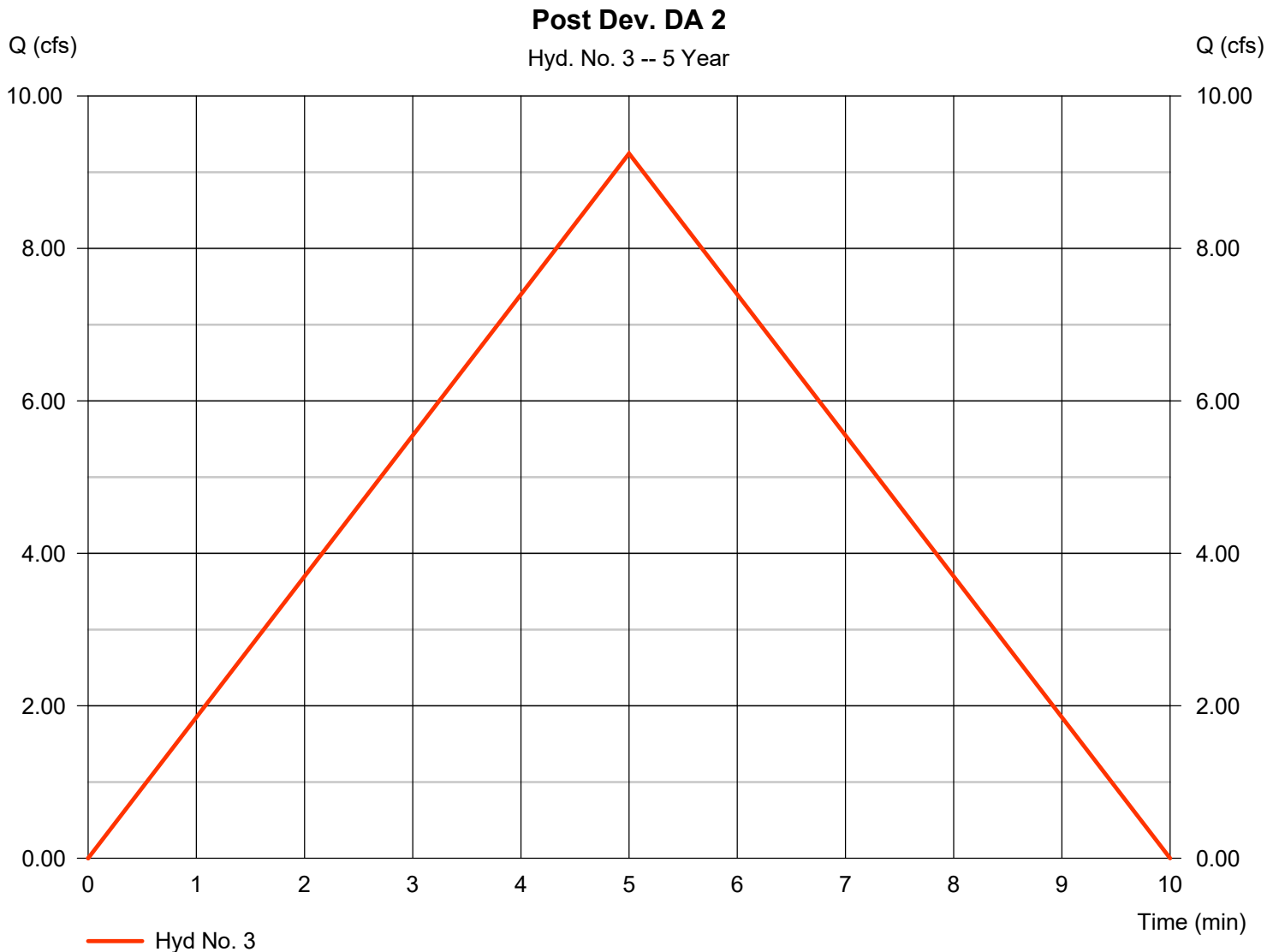
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Hyd. No. 3

Post Dev. DA 2

Hydrograph type	= Rational	Peak discharge	= 9.245 cfs
Storm frequency	= 5 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,774 cuft
Drainage area	= 2.400 ac	Runoff coeff.	= 0.58*
Intensity	= 6.642 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.200 x 0.90) + (1.200 x 0.25)] / 2.400



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

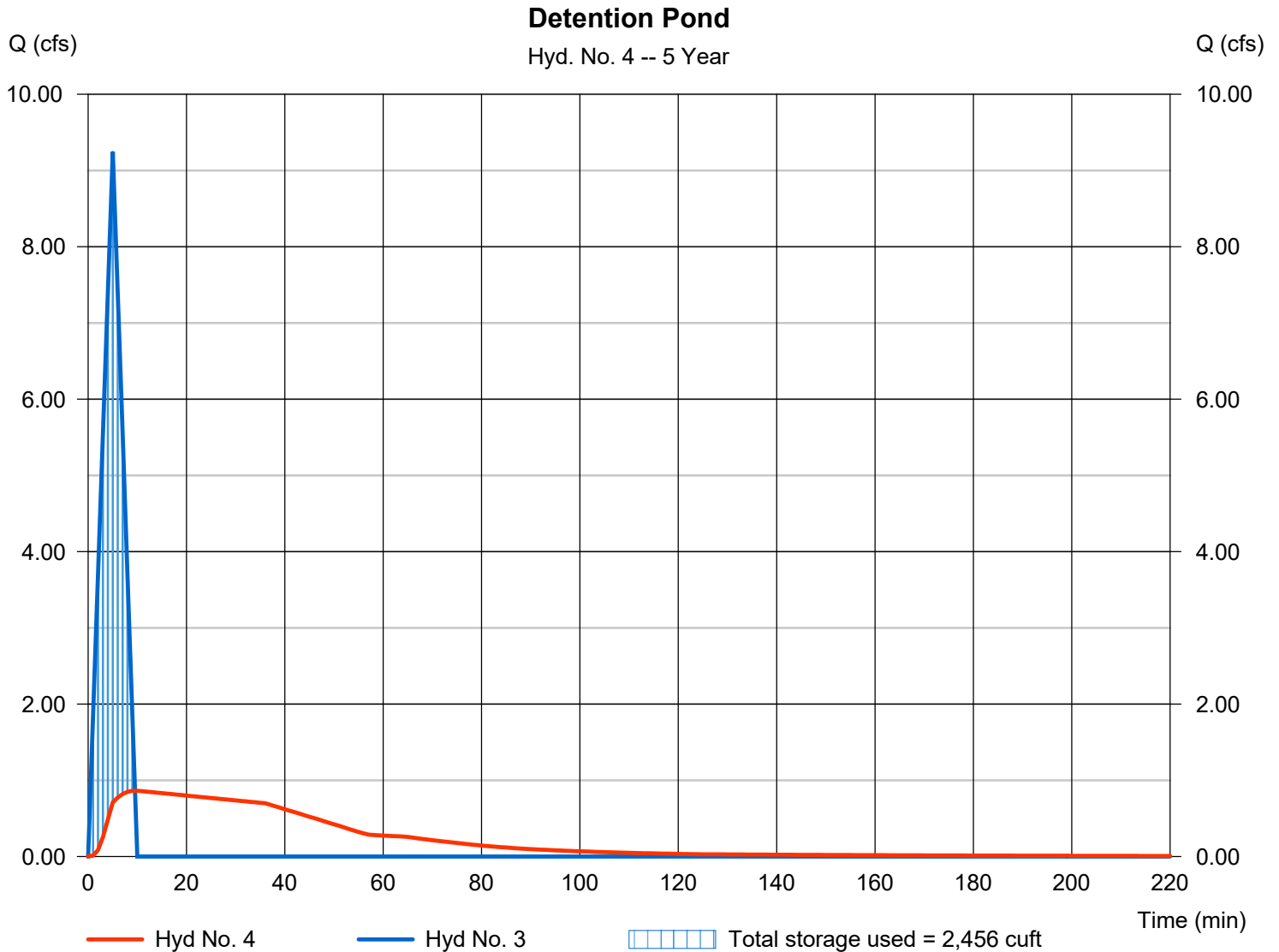
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Hyd. No. 4

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.863 cfs
Storm frequency	= 5 yrs	Time to peak	= 10 min
Time interval	= 1 min	Hyd. volume	= 2,769 cuft
Inflow hyd. No.	= 3 - Post Dev. DA 2	Max. Elevation	= 426.32 ft
Reservoir name	= Det. Pond	Max. Storage	= 2,456 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

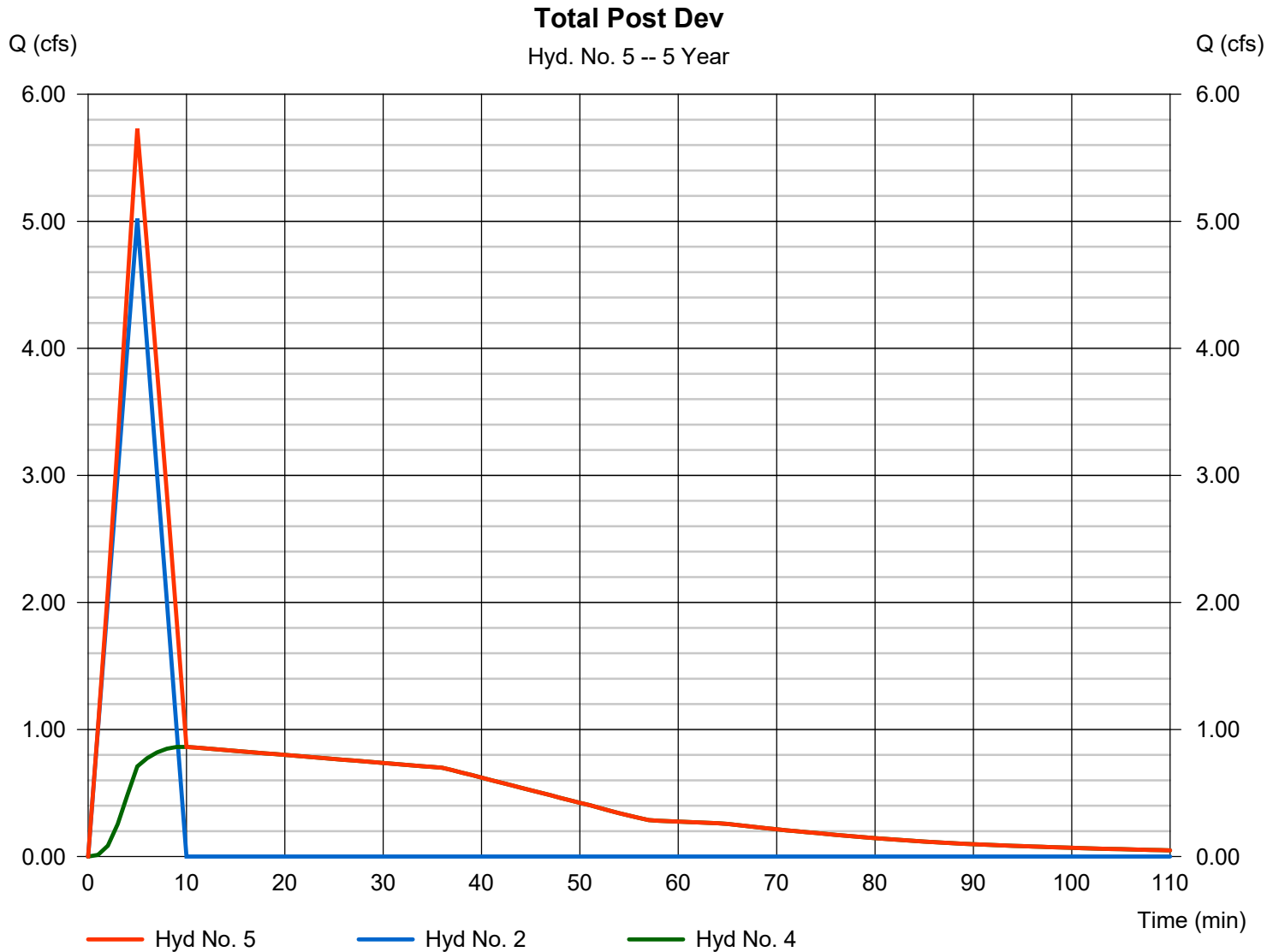
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Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 5 yrs
Time interval = 1 min
Inflow hyds. = 2, 4

Peak discharge = 5.731 cfs
Time to peak = 5 min
Hyd. volume = 4,276 cuft
Contrib. drain. area = 1.200 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	6.616	1	5	1,985	-----	-----	-----	Pre-Development	
2	Rational	5.558	1	5	1,667	-----	-----	-----	Post Dev DA 1	
3	Rational	10.23	1	5	3,070	-----	-----	-----	Post Dev. DA 2	
4	Reservoir	0.897	1	10	3,066	3	426.39	2,738	Detention Pond	
5	Combine	6.288	1	5	4,733	2, 4	-----	-----	Total Post Dev	
Bryant Admin Hydrographs.gpw					Return Period: 10 Year			Thursday, 02 / 16 / 2023		

Hydrograph Report

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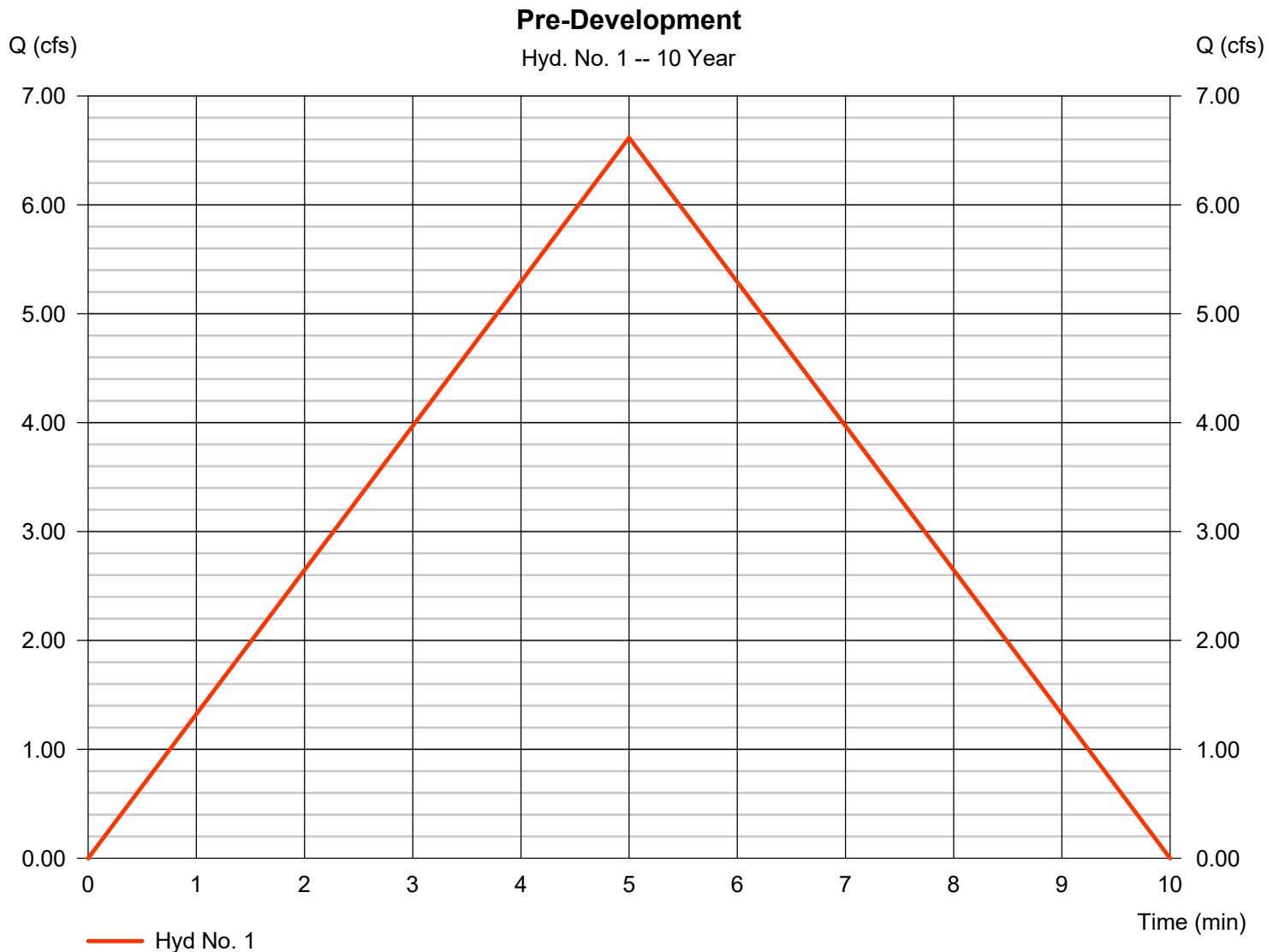
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Hyd. No. 1

Pre-Development

Hydrograph type	= Rational	Peak discharge	= 6.616 cfs
Storm frequency	= 10 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,985 cuft
Drainage area	= 3.600 ac	Runoff coeff.	= 0.25*
Intensity	= 7.351 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.900 x 0.25) + (5.200 x 0.90)] / 3.600



Hydrograph Report

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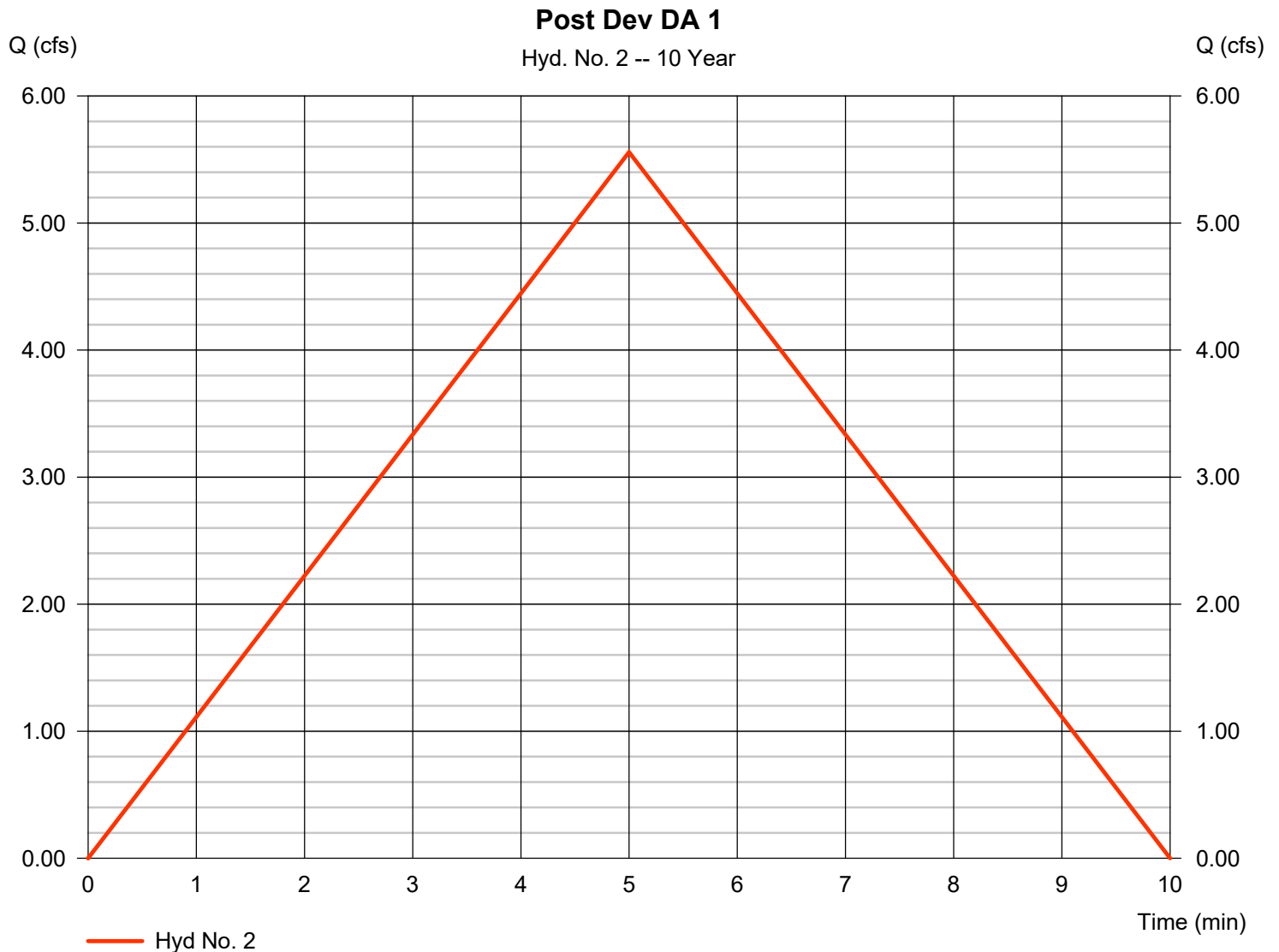
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Hyd. No. 2

Post Dev DA 1

Hydrograph type	= Rational	Peak discharge	= 5.558 cfs
Storm frequency	= 10 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,667 cuft
Drainage area	= 1.200 ac	Runoff coeff.	= 0.63*
Intensity	= 7.351 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.700 x 0.90) + (0.500 x 0.25)] / 1.200



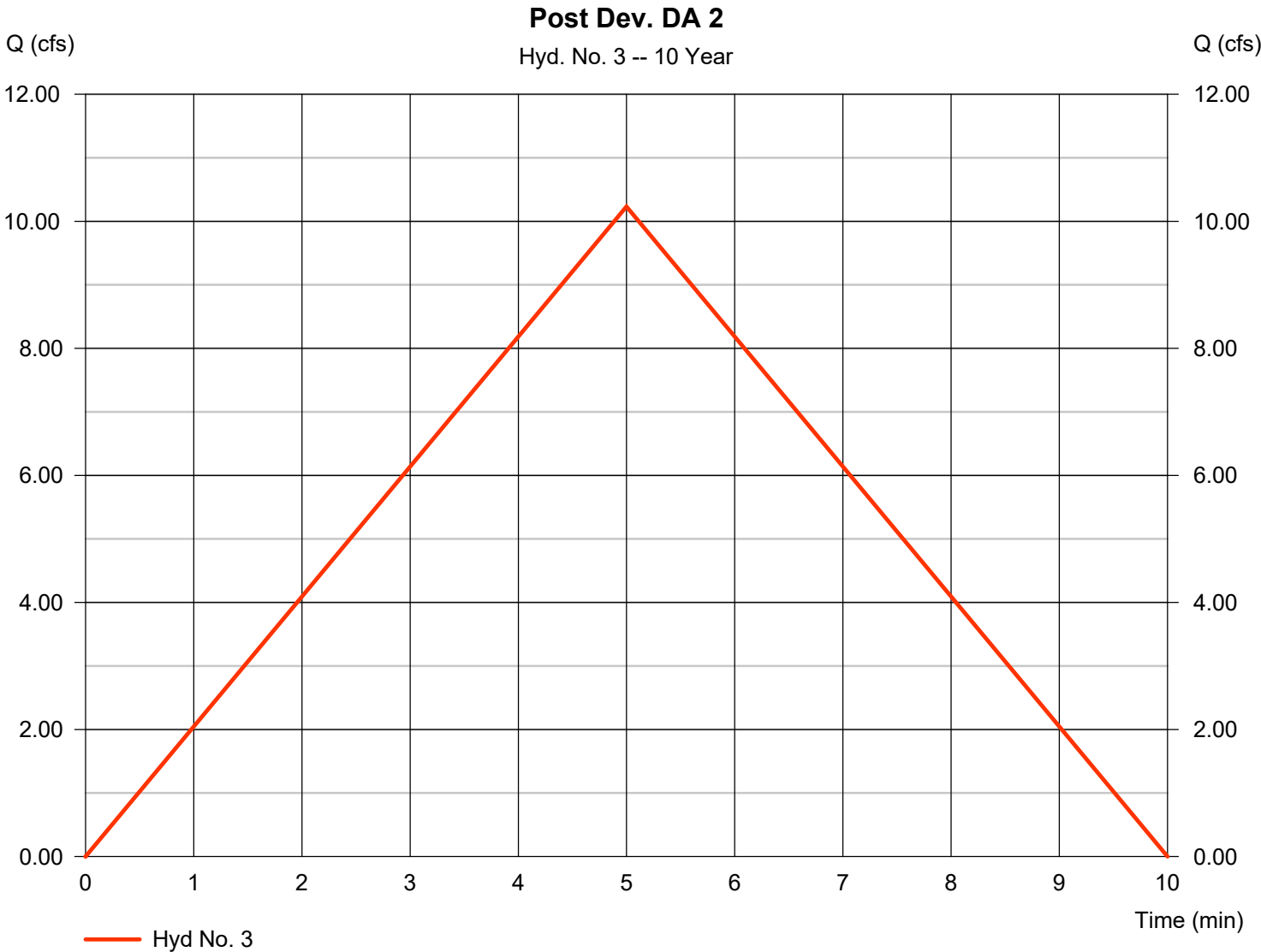
Hydrograph Report

Hyd. No. 3

Post Dev. DA 2

Hydrograph type	= Rational	Peak discharge	= 10.23 cfs
Storm frequency	= 10 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 3,070 cuft
Drainage area	= 2.400 ac	Runoff coeff.	= 0.58*
Intensity	= 7.351 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.200 x 0.90) + (1.200 x 0.25)] / 2.400



Hydrograph Report

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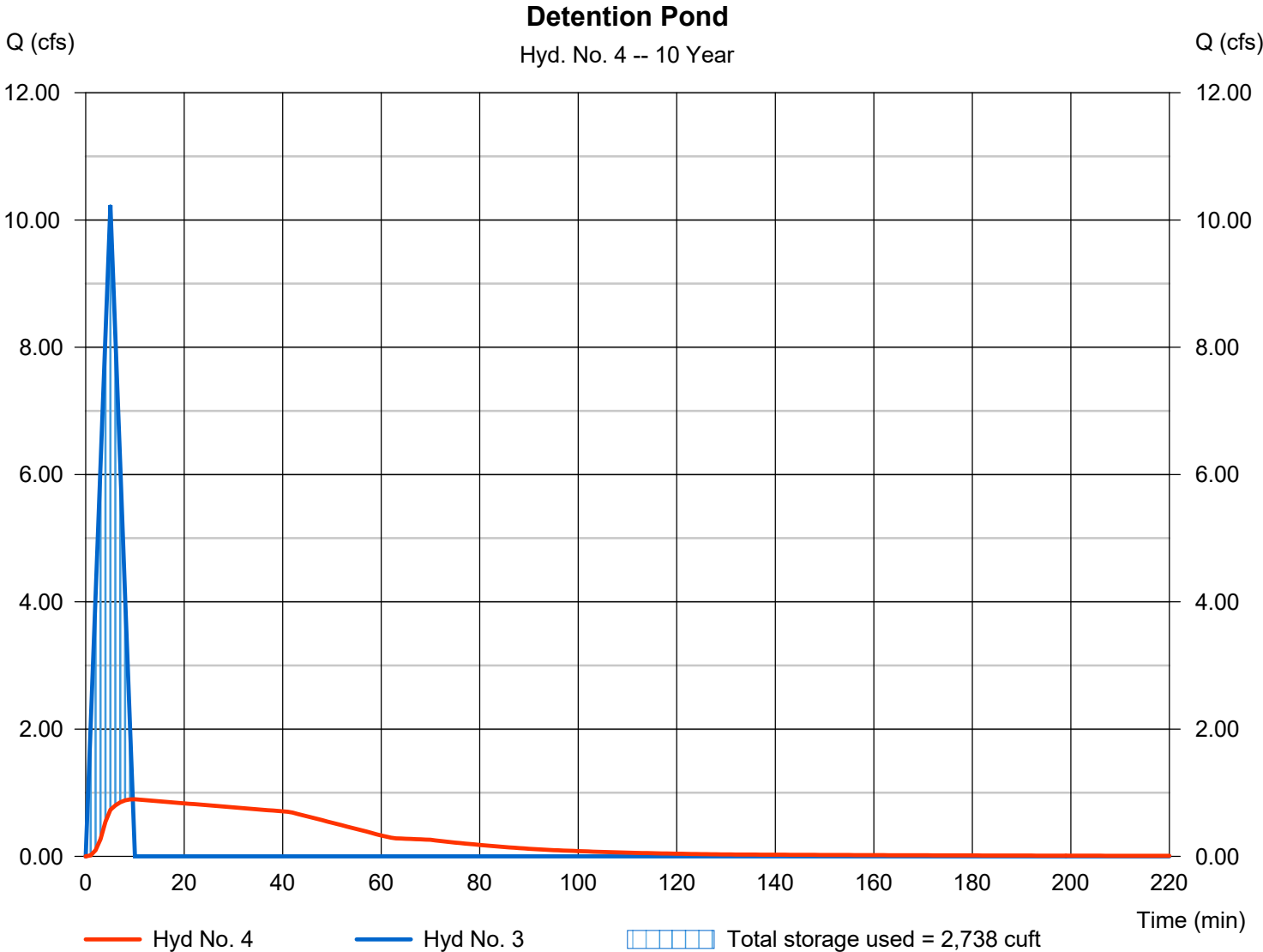
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Hyd. No. 4

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.897 cfs
Storm frequency	= 10 yrs	Time to peak	= 10 min
Time interval	= 1 min	Hyd. volume	= 3,066 cuft
Inflow hyd. No.	= 3 - Post Dev. DA 2	Max. Elevation	= 426.39 ft
Reservoir name	= Det. Pond	Max. Storage	= 2,738 cuft

Storage Indication method used.



Hydrograph Report

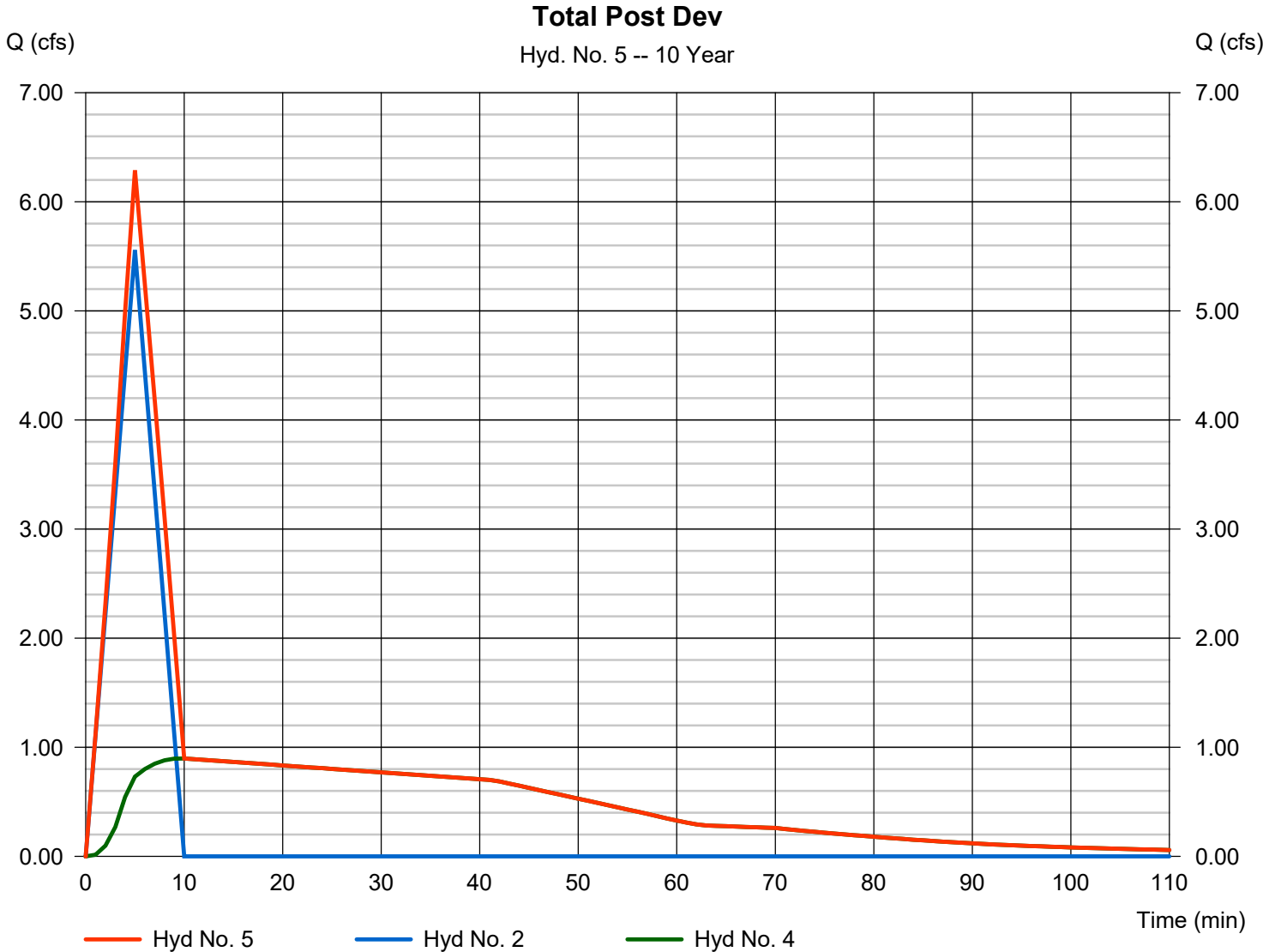
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Thursday, 02 / 16 / 2023

Hyd. No. 5

Total Post Dev

Hydrograph type	= Combine	Peak discharge	= 6.288 cfs
Storm frequency	= 10 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 4,733 cuft
Inflow hyds.	= 2, 4	Contrib. drain. area	= 1.200 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	7.566	1	5	2,270	-----	-----	-----	Pre-Development	
2	Rational	6.355	1	5	1,907	-----	-----	-----	Post Dev DA 1	
3	Rational	11.70	1	5	3,511	-----	-----	-----	Post Dev. DA 2	
4	Reservoir	0.945	1	10	3,506	3	426.50	3,158	Detention Pond	
5	Combine	7.116	1	5	5,413	2, 4	-----	-----	Total Post Dev	
Bryant Admin Hydrographs.gpw					Return Period: 25 Year			Thursday, 02 / 16 / 2023		

Hydrograph Report

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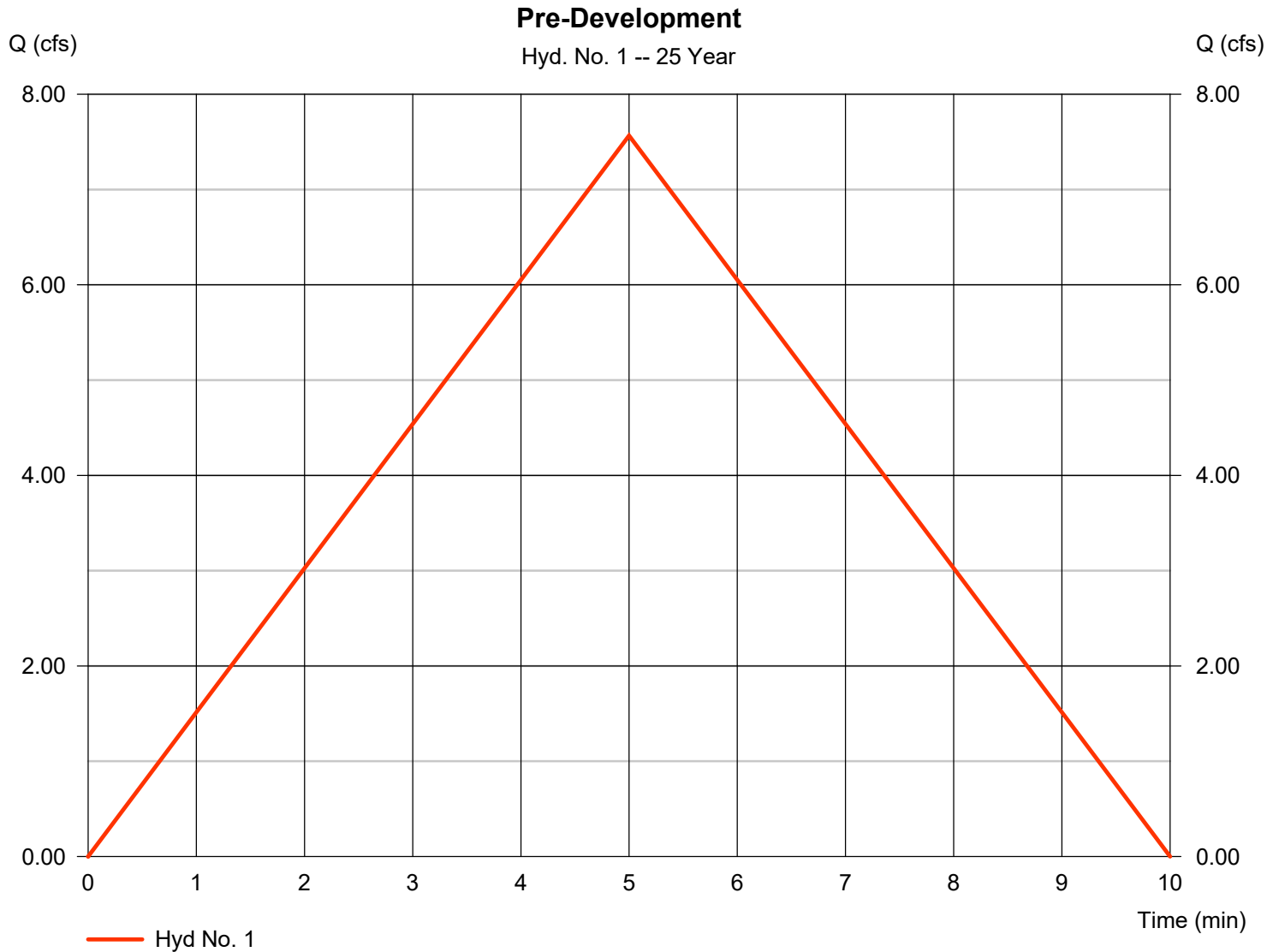
Thursday, 02 / 16 / 2023

Hyd. No. 1

Pre-Development

Hydrograph type	= Rational	Peak discharge	= 7.566 cfs
Storm frequency	= 25 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,270 cuft
Drainage area	= 3.600 ac	Runoff coeff.	= 0.25*
Intensity	= 8.406 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.900 x 0.25) + (5.200 x 0.90)] / 3.600



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

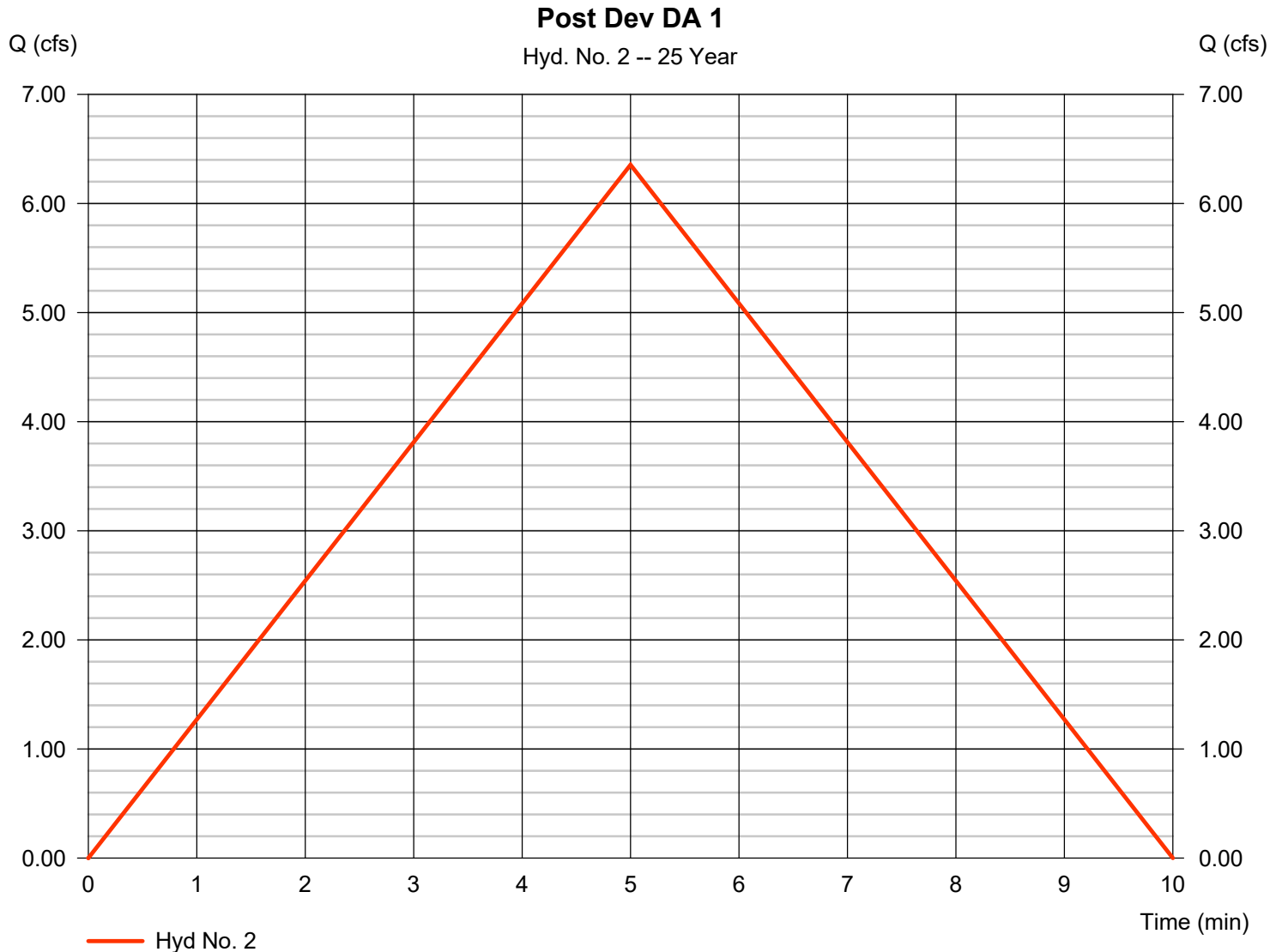
Thursday, 02 / 16 / 2023

Hyd. No. 2

Post Dev DA 1

Hydrograph type	= Rational	Peak discharge	= 6.355 cfs
Storm frequency	= 25 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 1,907 cuft
Drainage area	= 1.200 ac	Runoff coeff.	= 0.63*
Intensity	= 8.406 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.700 x 0.90) + (0.500 x 0.25)] / 1.200



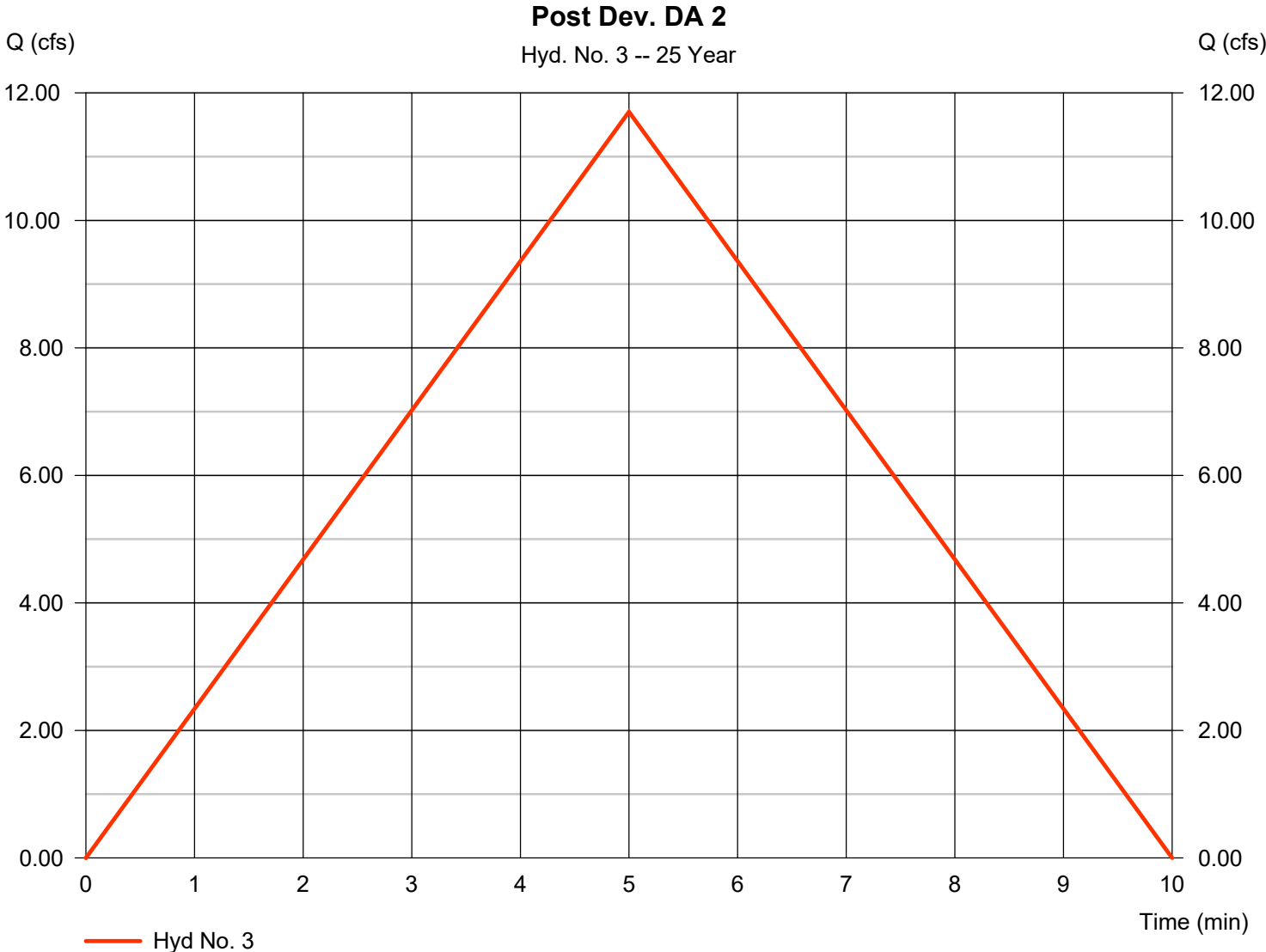
Hydrograph Report

Hyd. No. 3

Post Dev. DA 2

Hydrograph type	= Rational	Peak discharge	= 11.70 cfs
Storm frequency	= 25 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 3,511 cuft
Drainage area	= 2.400 ac	Runoff coeff.	= 0.58*
Intensity	= 8.406 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.200 x 0.90) + (1.200 x 0.25)] / 2.400



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

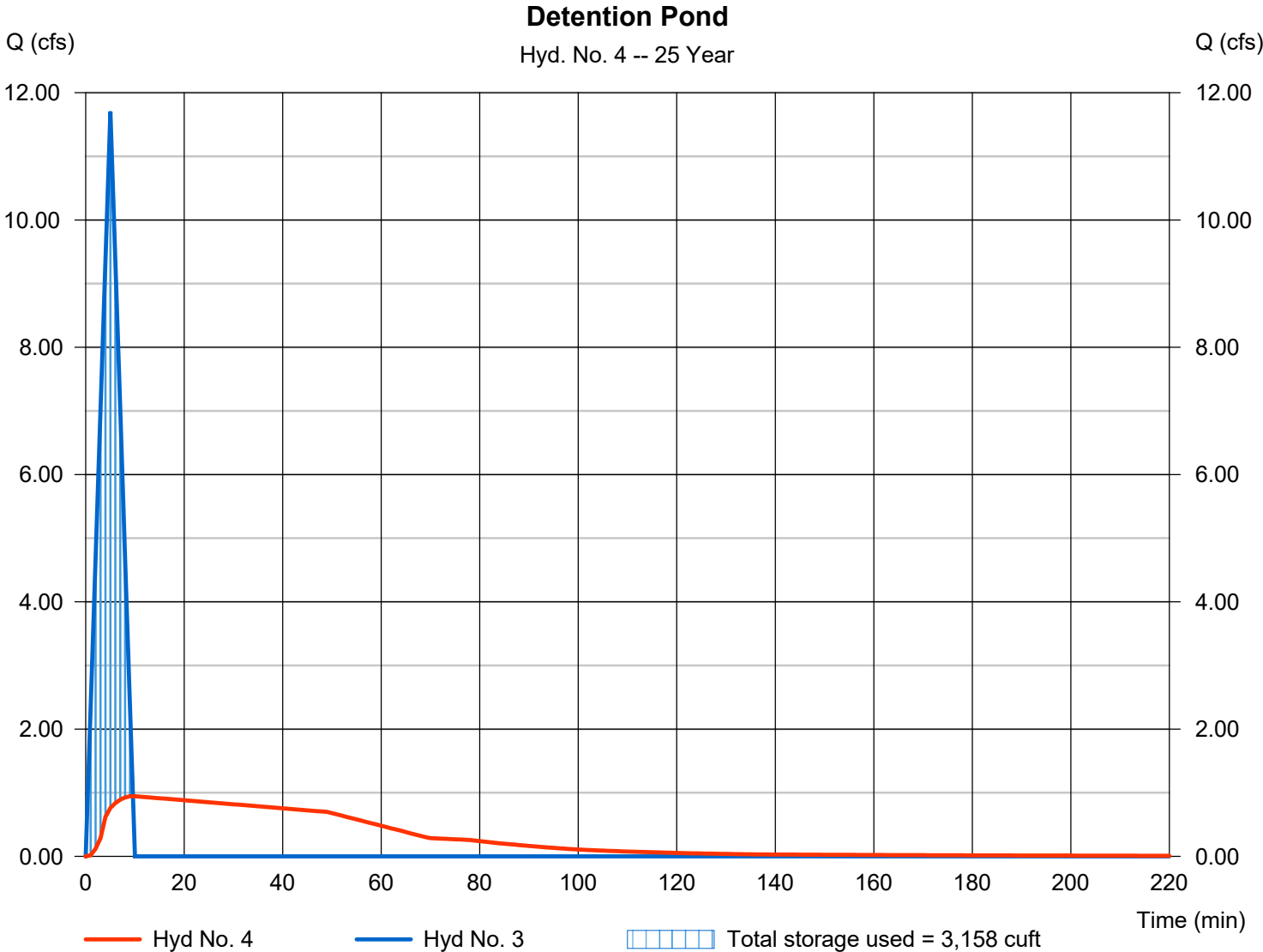
Thursday, 02 / 16 / 2023

Hyd. No. 4

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.945 cfs
Storm frequency	= 25 yrs	Time to peak	= 10 min
Time interval	= 1 min	Hyd. volume	= 3,506 cuft
Inflow hyd. No.	= 3 - Post Dev. DA 2	Max. Elevation	= 426.50 ft
Reservoir name	= Det. Pond	Max. Storage	= 3,158 cuft

Storage Indication method used.



Hydrograph Report

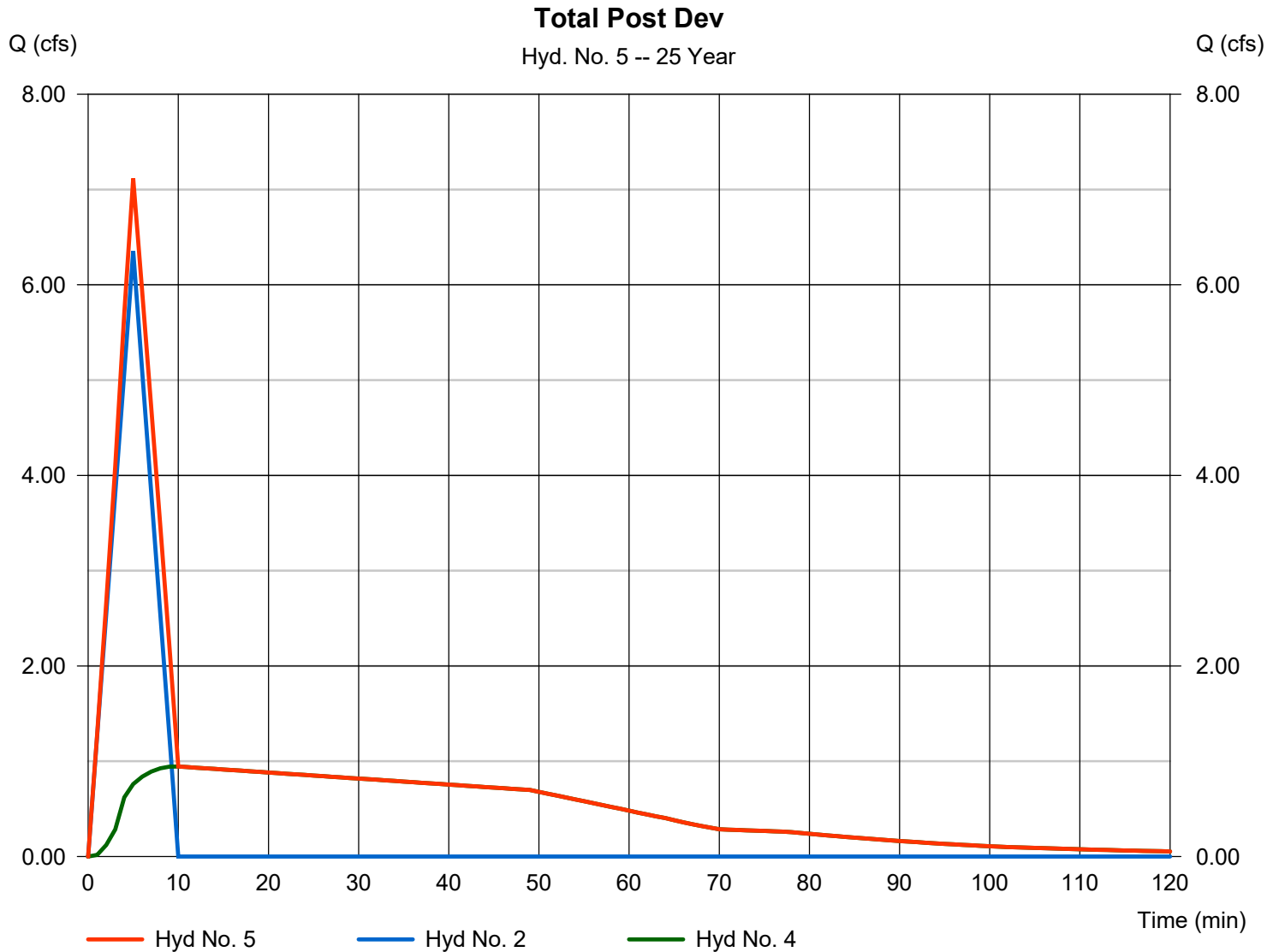
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Thursday, 02 / 16 / 2023

Hyd. No. 5

Total Post Dev

Hydrograph type	= Combine	Peak discharge	= 7.116 cfs
Storm frequency	= 25 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 5,413 cuft
Inflow hyds.	= 2, 4	Contrib. drain. area	= 1.200 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	8.316	1	5	2,495	-----	-----	-----	Pre-Development	
2	Rational	6.985	1	5	2,096	-----	-----	-----	Post Dev DA 1	
3	Rational	12.86	1	5	3,859	-----	-----	-----	Post Dev. DA 2	
4	Reservoir	0.981	1	10	3,854	3	426.59	3,488	Detention Pond	
5	Combine	7.769	1	5	5,950	2, 4	-----	-----	Total Post Dev	
Bryant Admin Hydrographs.gpw					Return Period: 50 Year			Thursday, 02 / 16 / 2023		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Thursday, 02 / 16 / 2023

Hyd. No. 1

Pre-Development

Hydrograph type	= Rational	Peak discharge	= 8.316 cfs
Storm frequency	= 50 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,495 cuft
Drainage area	= 3.600 ac	Runoff coeff.	= 0.25*
Intensity	= 9.240 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.900 x 0.25) + (5.200 x 0.90)] / 3.600



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

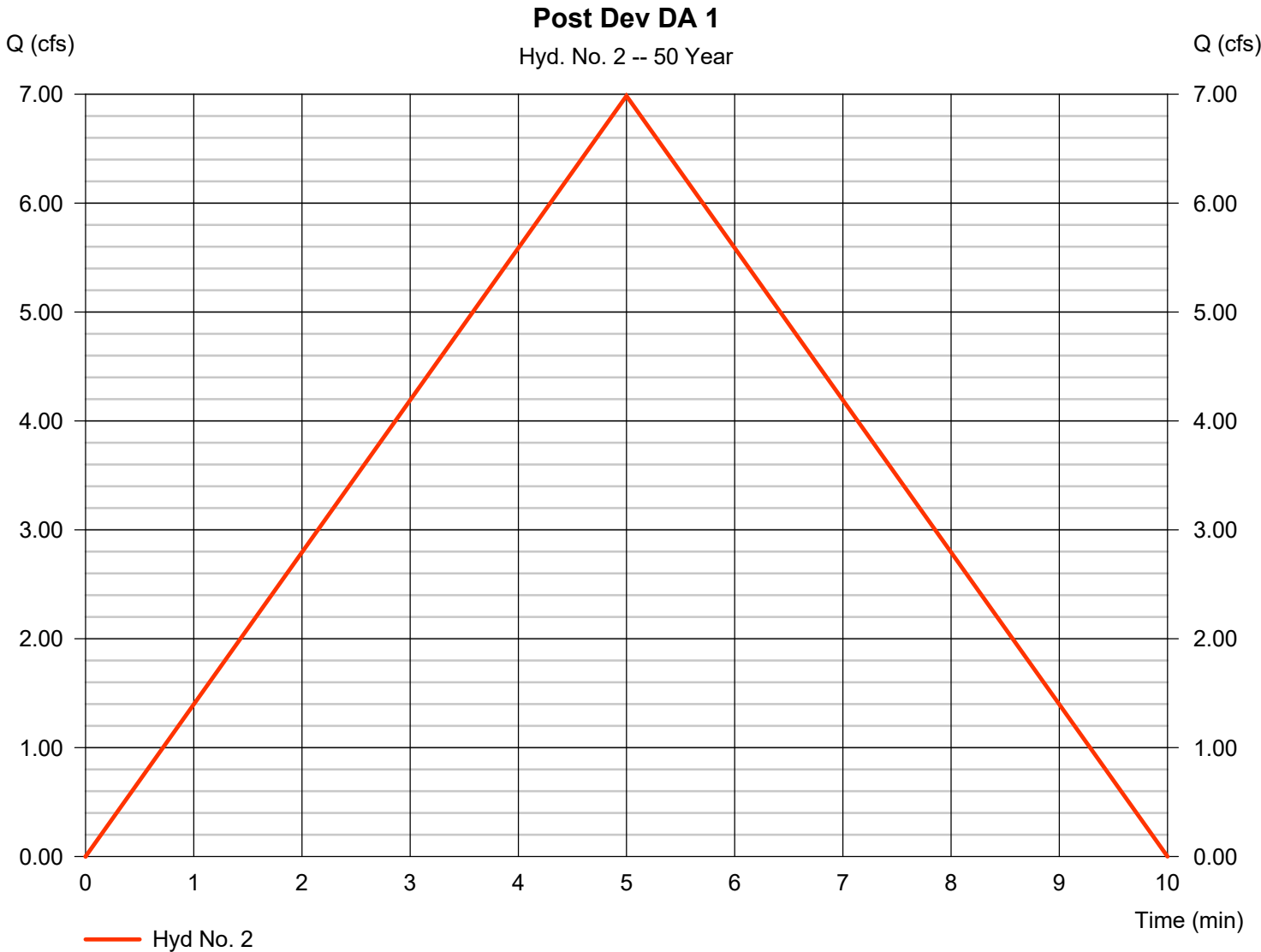
Thursday, 02 / 16 / 2023

Hyd. No. 2

Post Dev DA 1

Hydrograph type	= Rational	Peak discharge	= 6.985 cfs
Storm frequency	= 50 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,096 cuft
Drainage area	= 1.200 ac	Runoff coeff.	= 0.63*
Intensity	= 9.240 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.700 x 0.90) + (0.500 x 0.25)] / 1.200



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

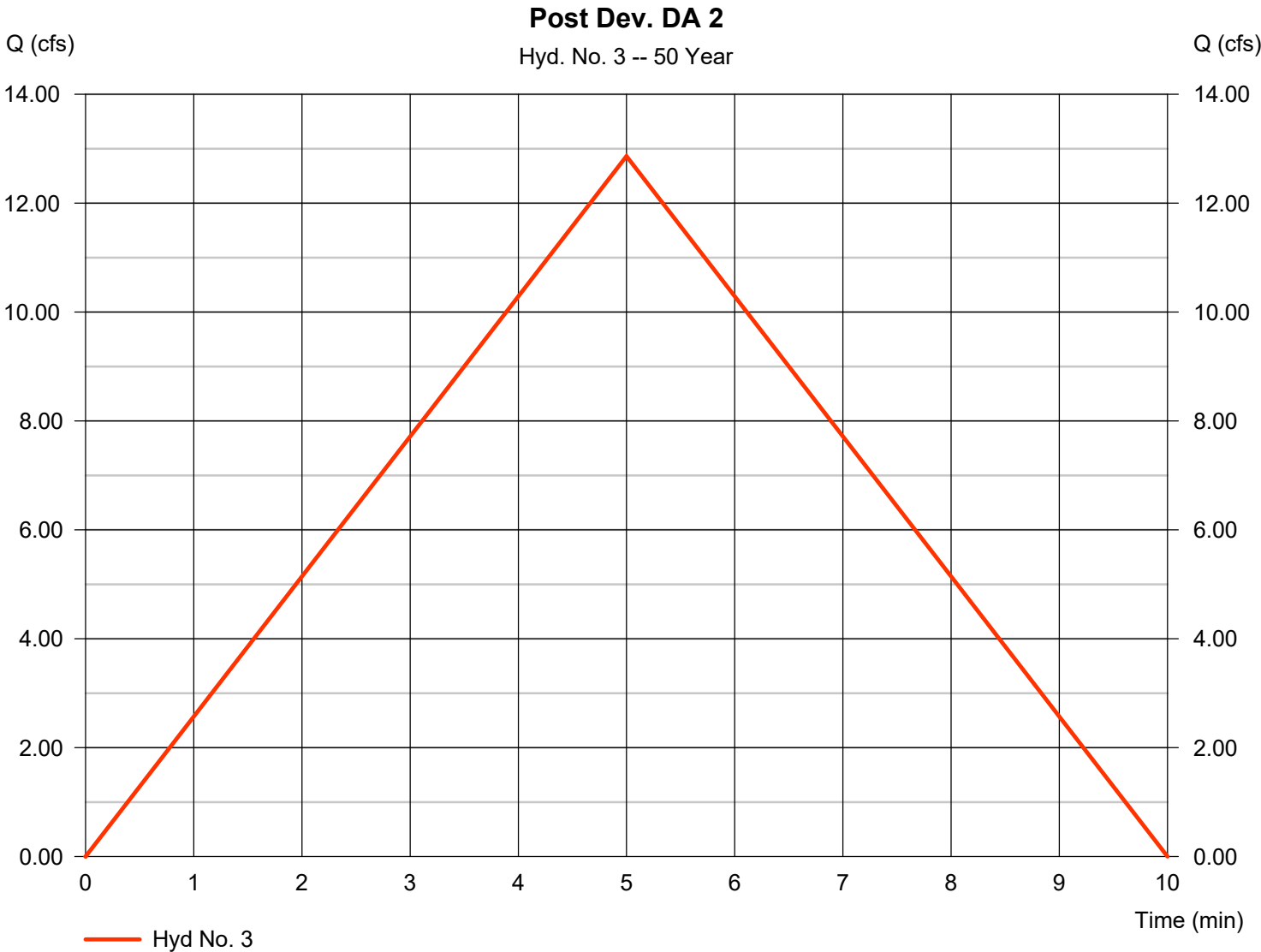
Thursday, 02 / 16 / 2023

Hyd. No. 3

Post Dev. DA 2

Hydrograph type	= Rational	Peak discharge	= 12.86 cfs
Storm frequency	= 50 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 3,859 cuft
Drainage area	= 2.400 ac	Runoff coeff.	= 0.58*
Intensity	= 9.240 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.200 x 0.90) + (1.200 x 0.25)] / 2.400



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

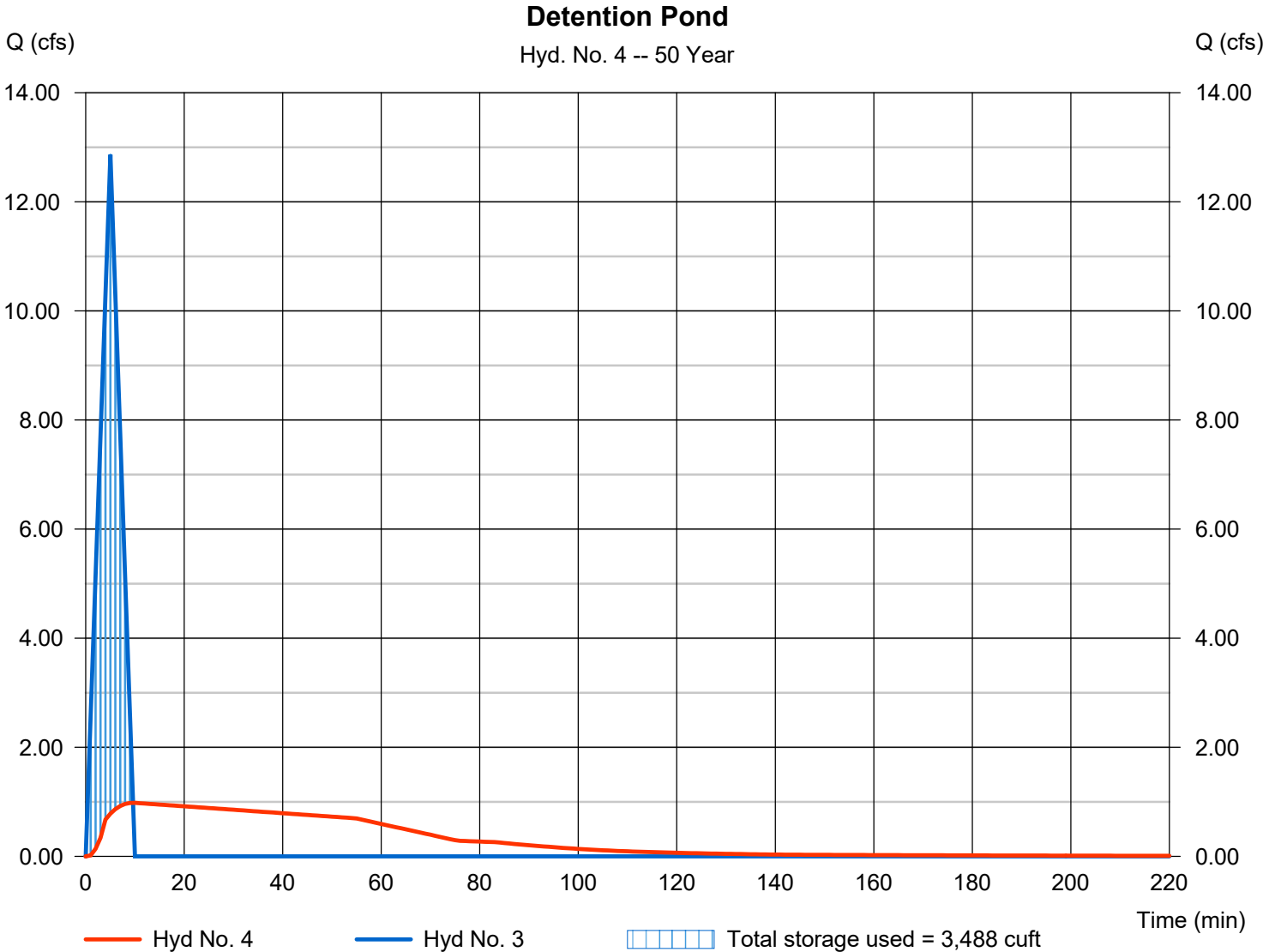
Thursday, 02 / 16 / 2023

Hyd. No. 4

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.981 cfs
Storm frequency	= 50 yrs	Time to peak	= 10 min
Time interval	= 1 min	Hyd. volume	= 3,854 cuft
Inflow hyd. No.	= 3 - Post Dev. DA 2	Max. Elevation	= 426.59 ft
Reservoir name	= Det. Pond	Max. Storage	= 3,488 cuft

Storage Indication method used.



Hydrograph Report

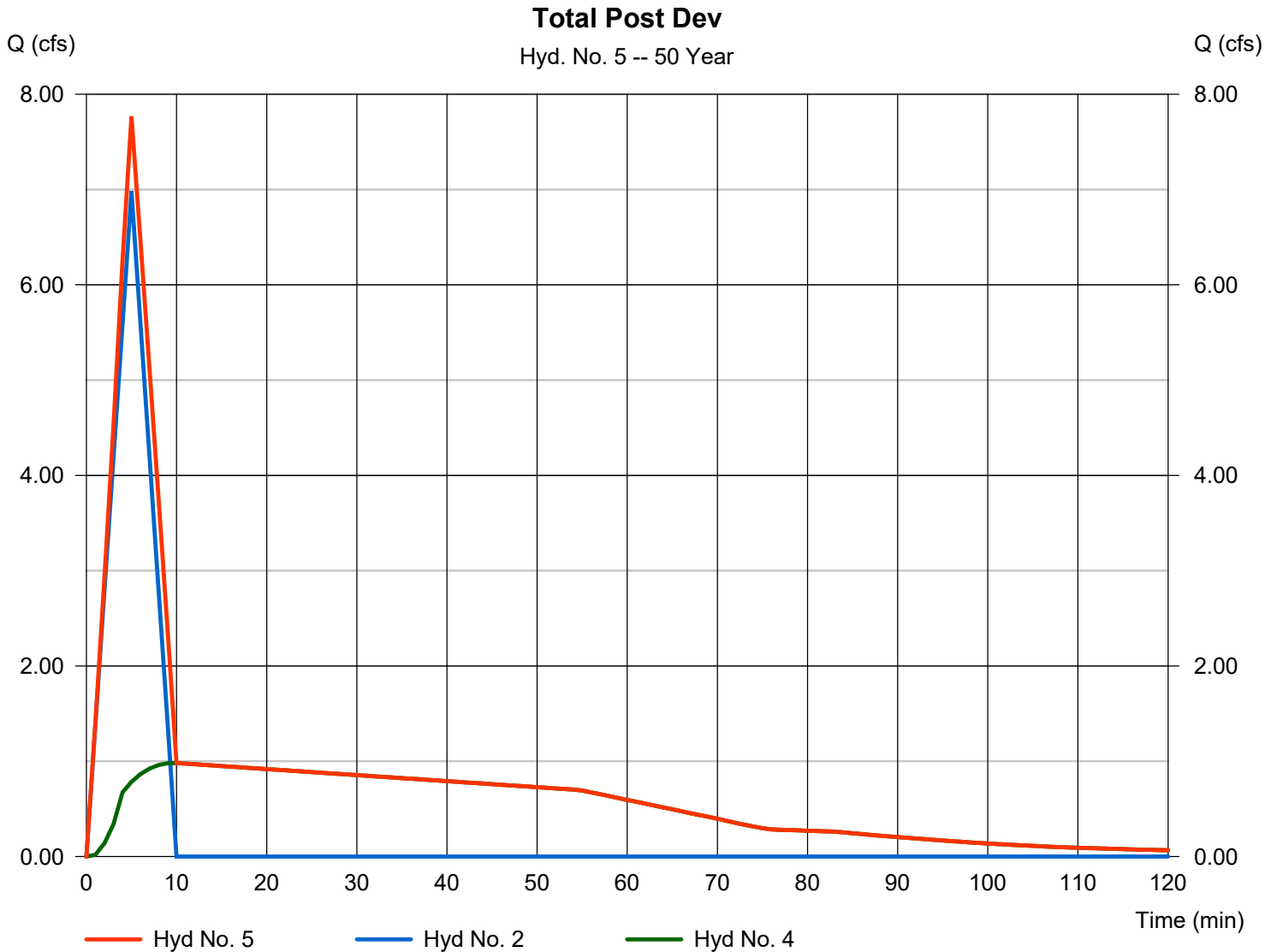
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Thursday, 02 / 16 / 2023

Hyd. No. 5

Total Post Dev

Hydrograph type	= Combine	Peak discharge	= 7.769 cfs
Storm frequency	= 50 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 5,950 cuft
Inflow hyds.	= 2, 4	Contrib. drain. area	= 1.200 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	9.068	1	5	2,720	-----	-----	-----	Pre-Development	
2	Rational	7.617	1	5	2,285	-----	-----	-----	Post Dev DA 1	
3	Rational	14.02	1	5	4,207	-----	-----	-----	Post Dev. DA 2	
4	Reservoir	1.016	1	10	4,203	3	426.67	3,820	Detention Pond	
5	Combine	8.423	1	5	6,488	2, 4	-----	-----	Total Post Dev	
Bryant Admin Hydrographs.gpw					Return Period: 100 Year			Thursday, 02 / 16 / 2023		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

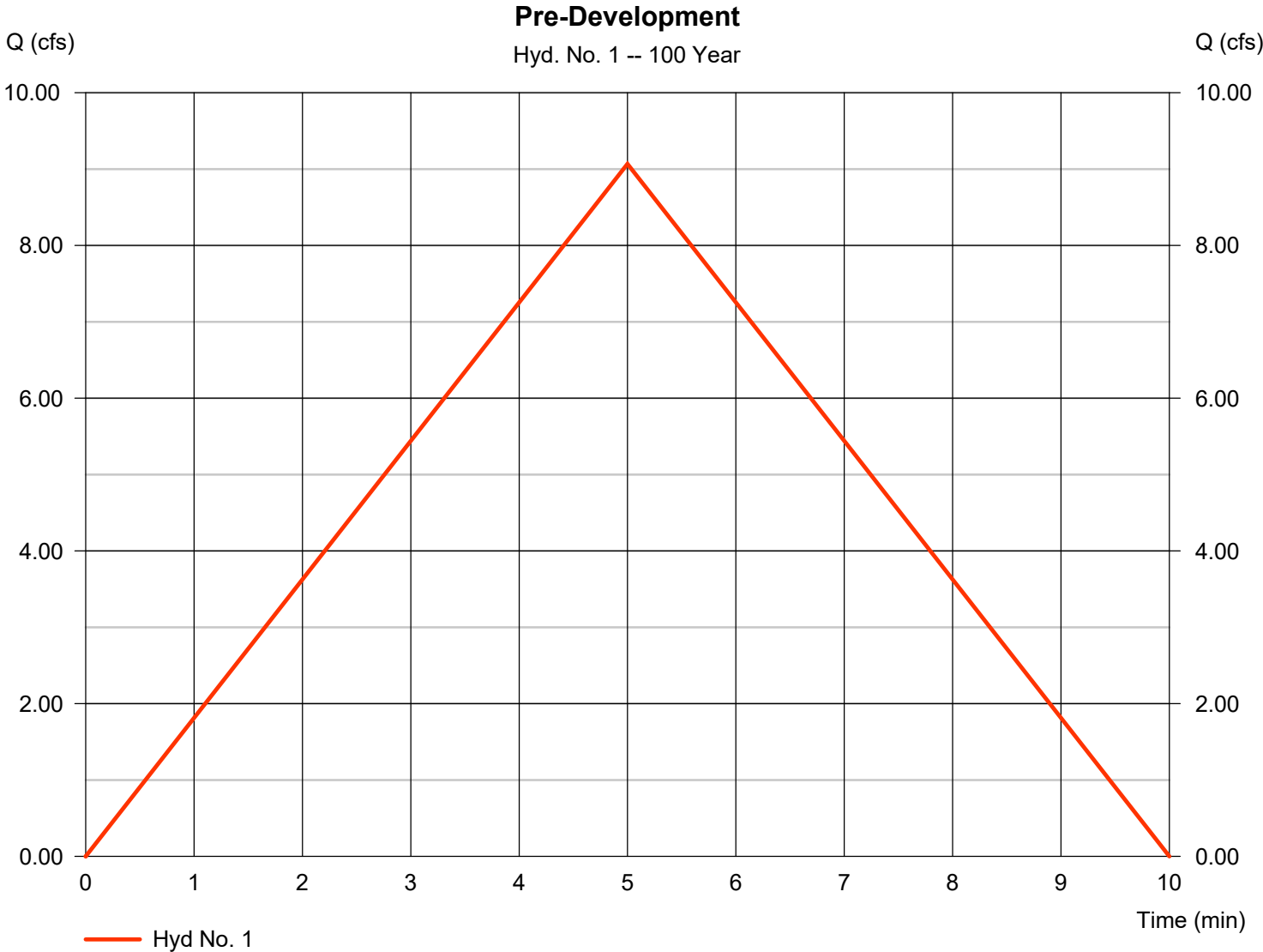
Thursday, 02 / 16 / 2023

Hyd. No. 1

Pre-Development

Hydrograph type	= Rational	Peak discharge	= 9.068 cfs
Storm frequency	= 100 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,720 cuft
Drainage area	= 3.600 ac	Runoff coeff.	= 0.25*
Intensity	= 10.075 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.900 x 0.25) + (5.200 x 0.90)] / 3.600



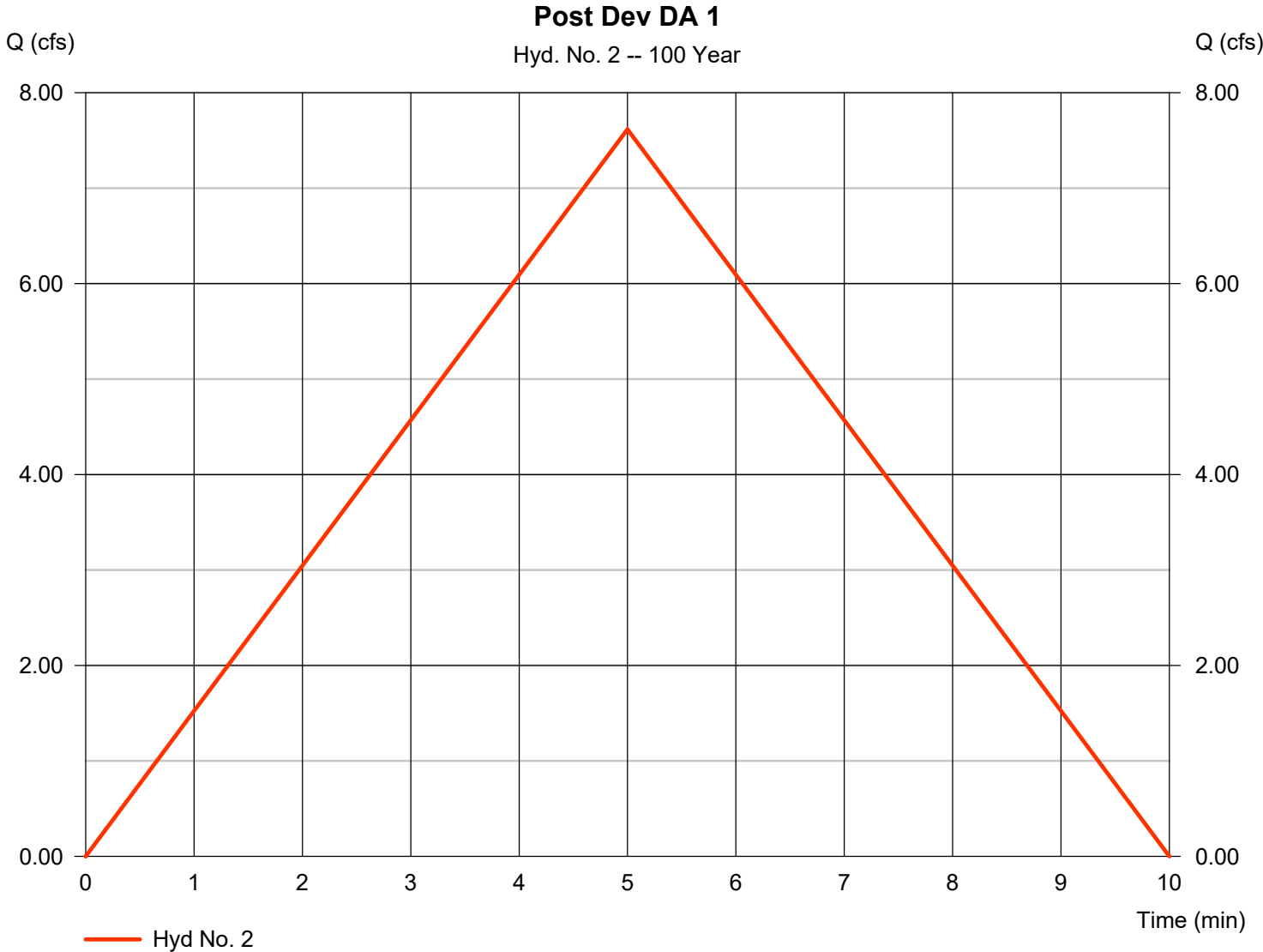
Hydrograph Report

Hyd. No. 2

Post Dev DA 1

Hydrograph type	= Rational	Peak discharge	= 7.617 cfs
Storm frequency	= 100 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 2,285 cuft
Drainage area	= 1.200 ac	Runoff coeff.	= 0.63*
Intensity	= 10.075 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(0.700 x 0.90) + (0.500 x 0.25)] / 1.200



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

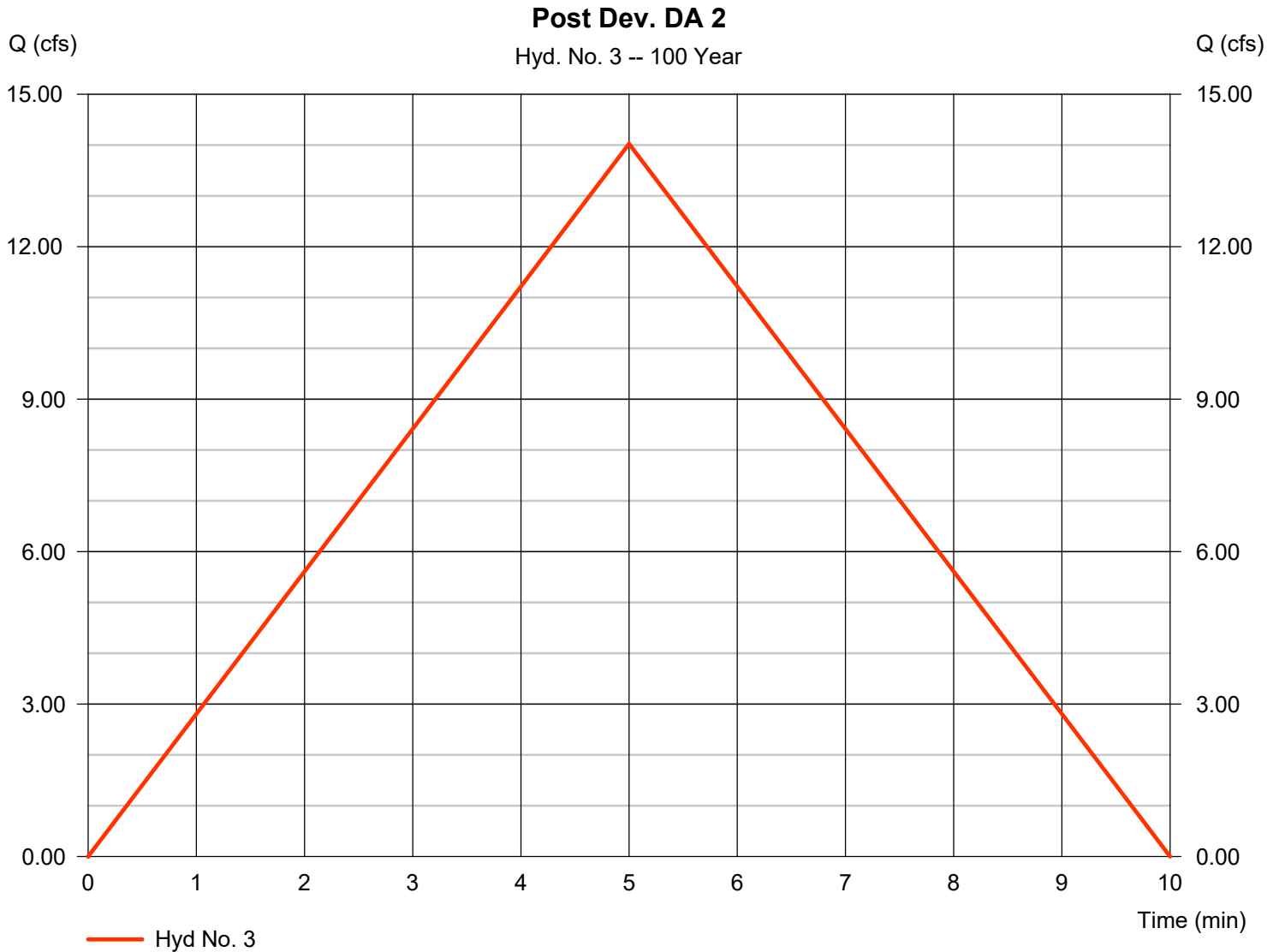
Thursday, 02 / 16 / 2023

Hyd. No. 3

Post Dev. DA 2

Hydrograph type	= Rational	Peak discharge	= 14.02 cfs
Storm frequency	= 100 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 4,207 cuft
Drainage area	= 2.400 ac	Runoff coeff.	= 0.58*
Intensity	= 10.075 in/hr	Tc by User	= 5.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(1.200 x 0.90) + (1.200 x 0.25)] / 2.400



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

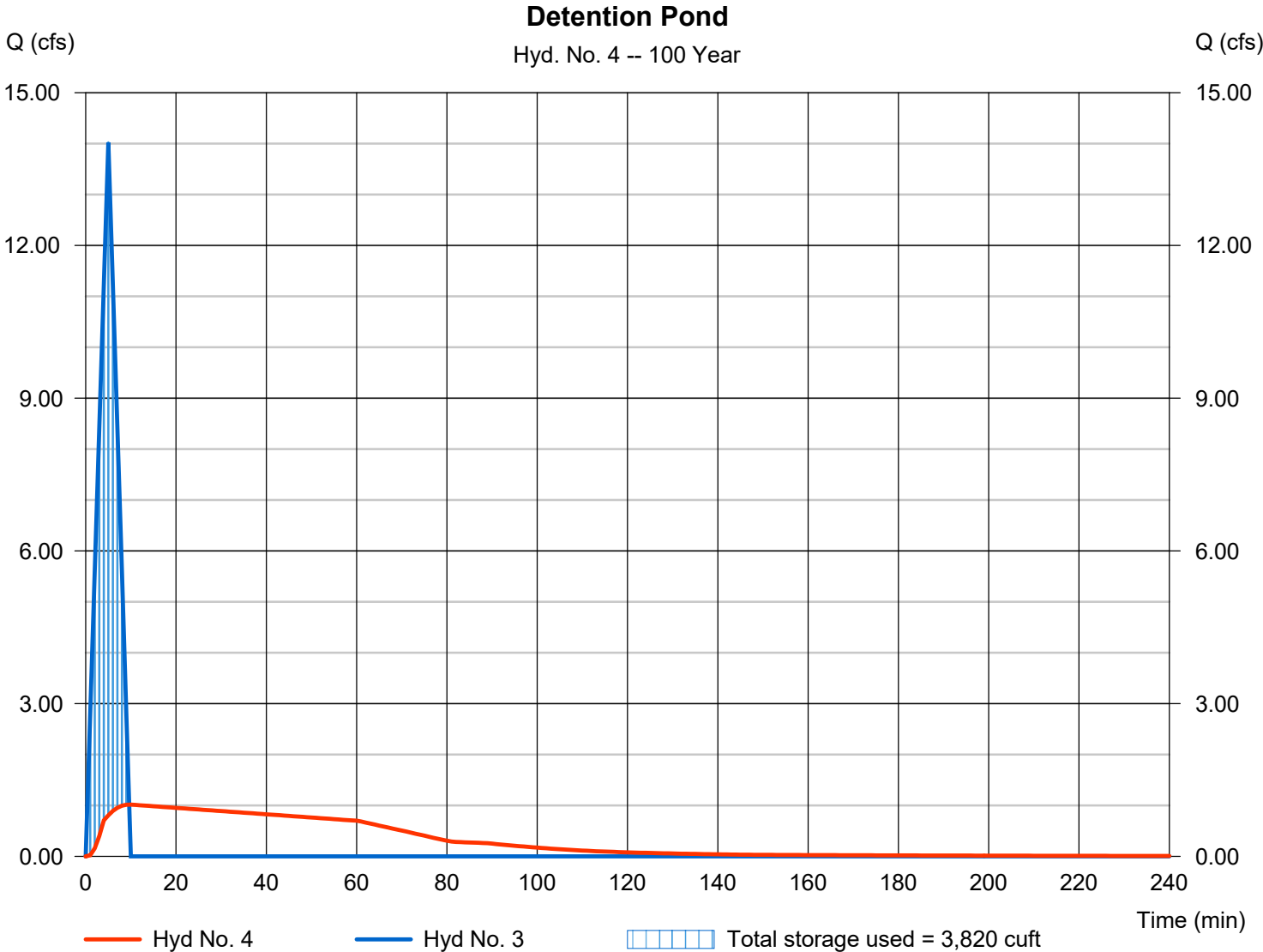
Thursday, 02 / 16 / 2023

Hyd. No. 4

Detention Pond

Hydrograph type	= Reservoir	Peak discharge	= 1.016 cfs
Storm frequency	= 100 yrs	Time to peak	= 10 min
Time interval	= 1 min	Hyd. volume	= 4,203 cuft
Inflow hyd. No.	= 3 - Post Dev. DA 2	Max. Elevation	= 426.67 ft
Reservoir name	= Det. Pond	Max. Storage	= 3,820 cuft

Storage Indication method used.



Hydrograph Report

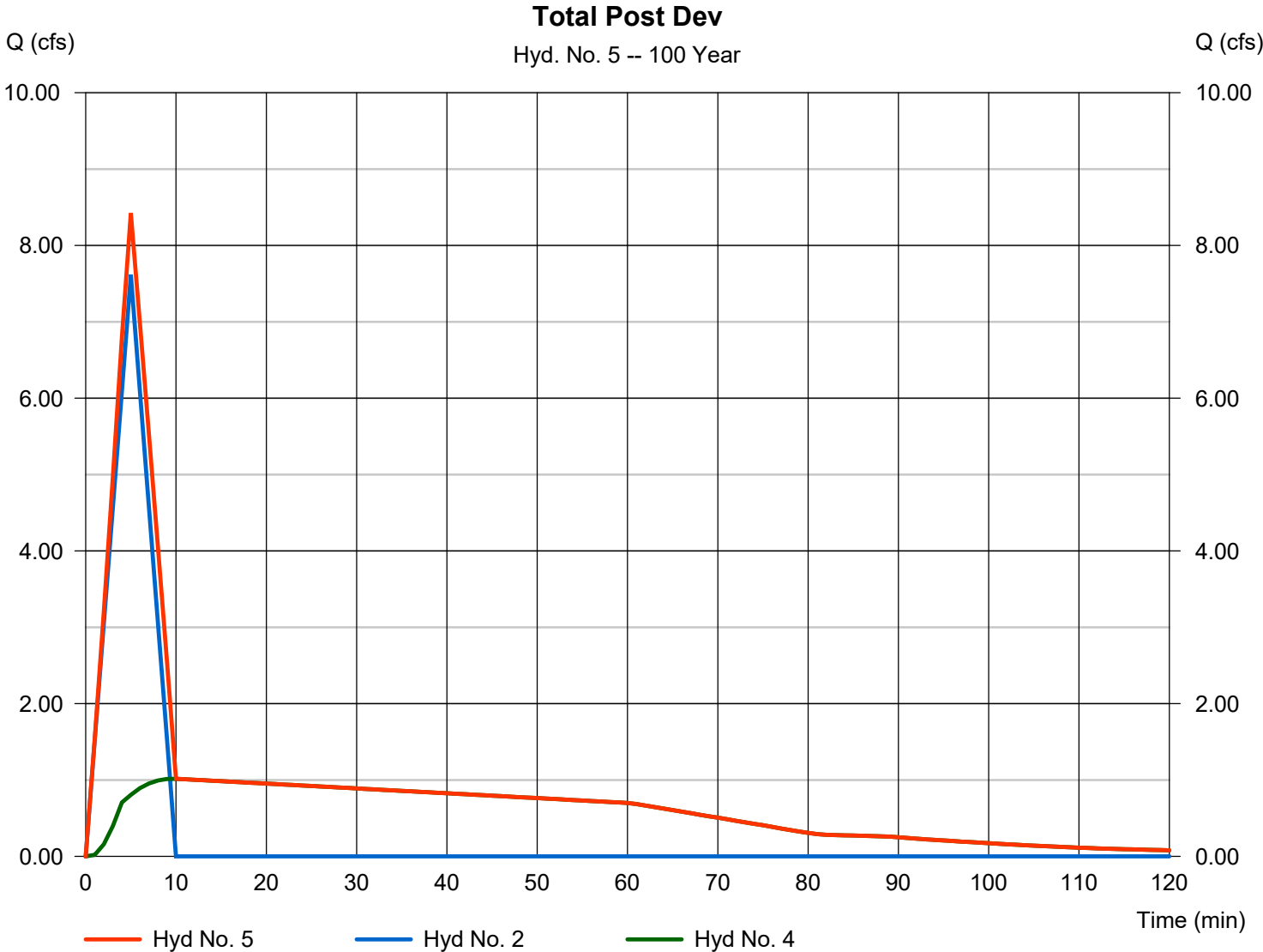
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Thursday, 02 / 16 / 2023

Hyd. No. 5

Total Post Dev

Hydrograph type	= Combine	Peak discharge	= 8.423 cfs
Storm frequency	= 100 yrs	Time to peak	= 5 min
Time interval	= 1 min	Hyd. volume	= 6,488 cuft
Inflow hyds.	= 2, 4	Contrib. drain. area	= 1.200 ac



BRYANT ADMIN RENOVATION

BRYANT SCHOOL DISTRICT
1511 NORTH REYNOLDS ROAD BRYANT, AR
72022



PROJECT INFORMATION

DRAWINGS AND PROJECT MANUAL APPROVED AND IDENTIFIED AS PARTS OF THE OFFICIAL CONTRACT DOCUMENT

OWNER: BRYANT SCHOOL DISTRICT
FACILITY: BRYANT ADMIN RENOVATION
LOCATION: 1511 NORTH REYNOLDS ROAD BRYANT, AR 72022

CONTRACTOR: _____
ADDRESS: _____
BY: _____
DATE: _____

ARCHITECT: LEWIS, ELLIOTT, MCMORRAN, VADEN,
RAGSDALE, & WOODWARD INCORPORATED
ADDRESS: 11225 HURON LANE, SUITE 104
LITTLE ROCK, ARKANSAS 72211
BY: _____
DATE: _____

PROJECT NUMBER: 23001
DRAWINGS AND PROJECT MANUAL DATED: 02-02-2023

DESIGN DATA

GENERAL CODES:
INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION

SEISMIC:
SEISMIC RISK CATEGORY 2021 IBC
SEISMIC DESIGN CATEGORY

ACCESSIBILITY STANDARDS
ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 EDITION

OCCUPANCY CLASSIFICATION:
BUSINESS IBC 305

BUILDING CONSTRUCTION TYPE:
V-B-UNSPRINKLED IBC TABLE 601

ALLOWABLE BUILDING HEIGHT AND AREA:
GROUP B - TYPE VB 2 STORY/40 FT TALL/9,000 SQ. FT. PER FLOOR
FRONTAGE INCREASE +6,750 SF PER FLOOR

TOTAL BUILDING SQUARE FOOTAGE:
TOTAL SQUARE FOOTAGE 10,433 SQ. FT.
RENOVATION SQUARE FOOTAGE 4,486 SQ. FT.

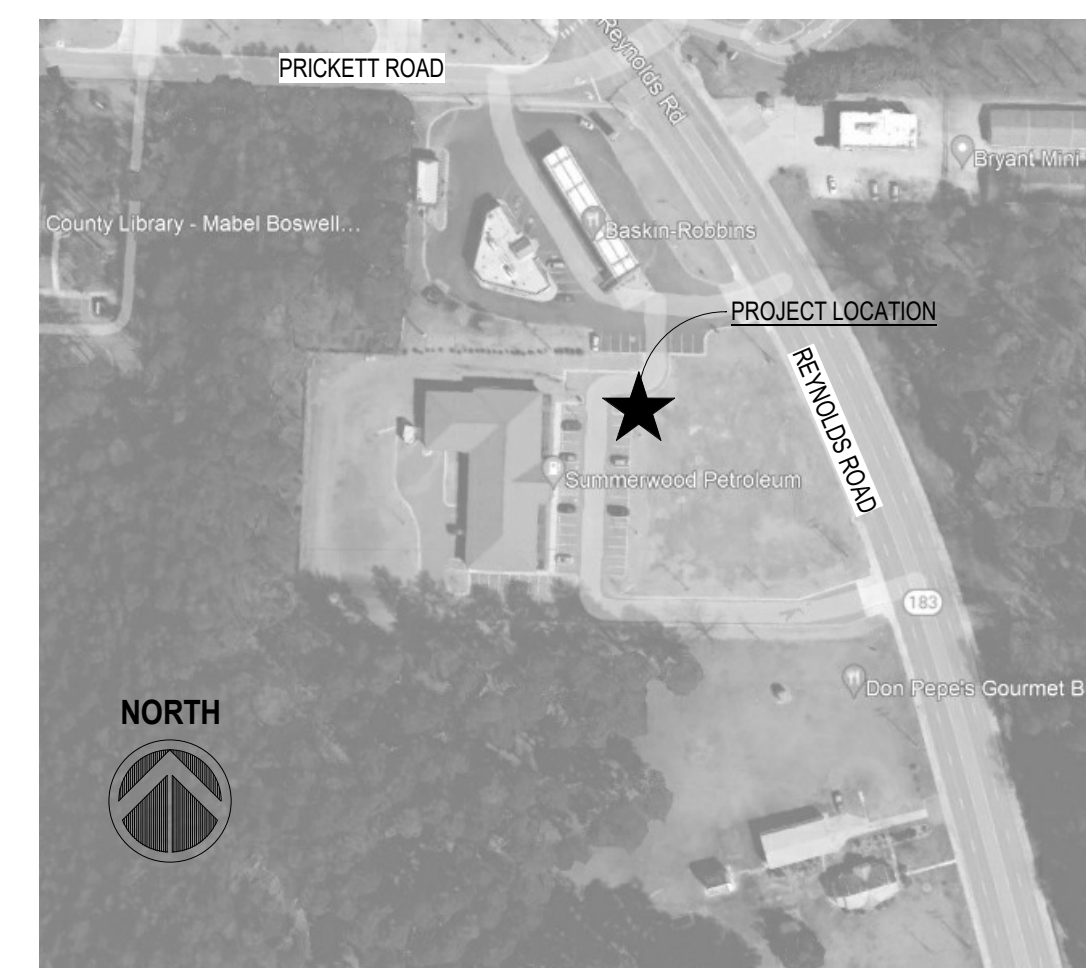
FIRE PROTECTION
PORTABLE FIRE EXTINGUISHERS NFPA 10

CERTIFICATION STATEMENT:
I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE "ARKANSAS FIRE PREVENTION CODE" FOR THE STATE OF ARKANSAS.

LEWIS, ELLIOTT, MCMORRAN, VADEN, RAGSDALE, & WOODWARD, INCORPORATED

[Signature] 2.7.23

VICINITY MAP



INDEX OF DRAWINGS

T1.1 TITLE SHEET

ARCHITECTURAL

- A0.1 SITE PLAN
- A2.0 DEMO PLAN
- A2.1 FLOOR PLAN
- A3.1 BUILDING ELEVATIONS
- A4.1 BUILDING SECTIONS
- A5.1 WALL SECTIONS
- A6.1 REFLECTED CEILING PLAN
- A7.1 ROOF PLAN
- A8.1 DOOR & WINDOW SCHEDULES/DETAILS
- A9.1 FINISH SCHEDULE & MILLWORK ELEV./DETAILS

STRUCTURAL

- S1.1 PARTIAL FOUNDATION & ROOF FRAMING PLANS, STRUCTURAL NOTES
- S2.1 STRUCTURAL DETAILS
- S2.2 STRUCTURAL DETAILS

PLUMBING

- P1.1 FLOOR PLAN - PLUMBING
- P1.2 PLUMBING DETAILS AND SCHEDULES

MECHANICAL

- M1.1 FLOOR PLAN - HVAC
- M2.1 SCHEDULES
- M3.1 DETAILS

ELECTRICAL

- E0.1 SITE PLAN - ELECTRICAL
- E1.0 DEMOLITION PLAN - ELECTRICAL
- E2.1 FLOOR PLAN - LIGHTING
- E3.1 FLOOR PLAN - POWER & SYSTEMS
- E4.1 ELECTRICAL SCHEDULES, DETAILS, AND RISERS
- E5.1 ELECTRICAL LEGENDS, DETAILS, AND NOTES

MATERIAL LEGEND

- MASONRY (PLAN)
- METAL STUD FRAMING (PLAN)
- GYPSUM PANELS
- WOOD BLOCKING CONTINUOUS (SECTION)
- WOOD BLOCKING AS NEEDED (SECTION)
- WOOD FINISHED FACE OR SOLID WOOD
- WOOD PLYWOOD (SECTION)
- CONCRETE (SECTION)
- RIGID INSULATION (SECTION)
- BATT INSULATION (SECTION)
- FILL MATERIAL (SECTION)
- REPLACED SOIL (SECTION)

SYMBOL LEGEND

- DOOR MARK, SEE DOOR SCHEDULE
- CASEWORK ELEVATION MARK
- WINDOW / STOREFRONT FRAME MARK
- CLASSROOM** → ROOM NAME
- ROOM NUMBER
- ROOM CEILING HEIGHT
- CEILING FINISH
- DETAIL / SECTION NUMBER
- SHEET NUMBER

ABBREVIATIONS

- AFF ABOVE FINISH FLOOR
- AT ALUMINUM THRESHOLD
- CEJC CEILING EXPANSION JOINT COVER
- CJ CONTROL JOINT
- CLG CEILING
- CONC CONCRETE
- CONT CONTINUOUS
- DTL DETAIL
- FD FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET
- FEJ FLOOR EXPANSION JOINT
- FLR FLOOR
- GB GRAB BAR
- MECH MECHANICAL
- NHO NORMALLY HELD OPEN
- NTS NOT TO SCALE
- OPG OPENING
- REQ REQUIRED
- SHT SHEET
- SIM SIMILAR
- STO STORAGE
- TYP TYPICAL
- WEJC WALL EXPANSION JOINT COVER

ELLIOTT • MCMORRAN • VADEN
RAGSDALE • WOODWARD • INCORPORATED
501 223 9302 • WWW.LEWVFW.COM

LEWIS
ARCHITECTS
ENGINEERS

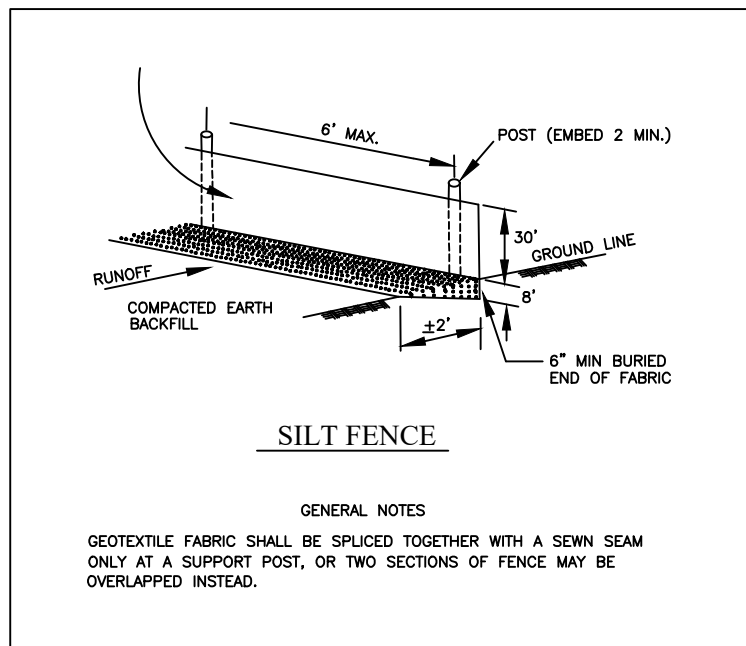
BRYANT ADMIN RENOVATION
BRYANT SCHOOL DISTRICT
1511 NORTH REYNOLDS ROAD
BRYANT, AR 72022



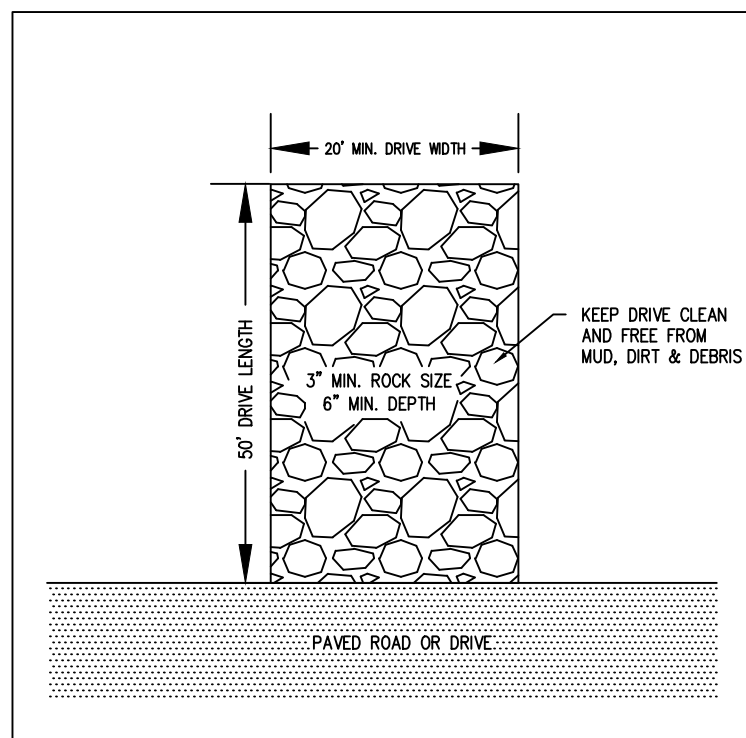
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PROJECT NO: 23001
DRAWN BY: Author
REVISION:

T1.1

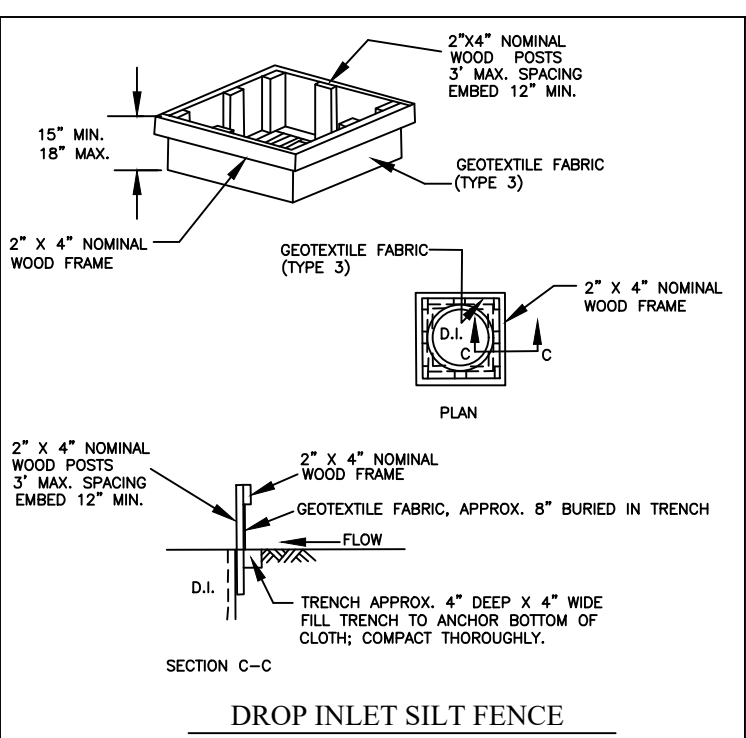
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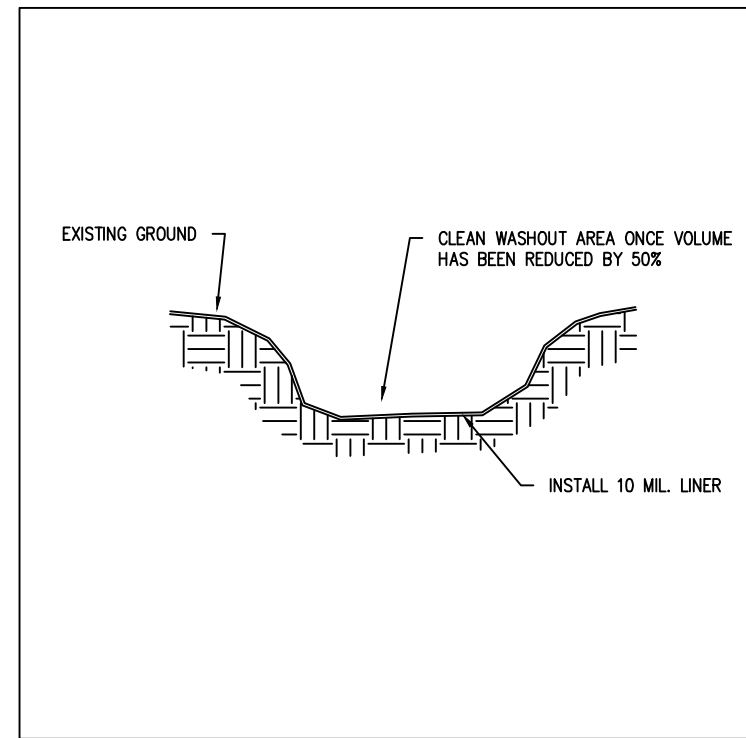
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C1.0 **SILT FENCE DETAIL**
SCALE: N.T.S.



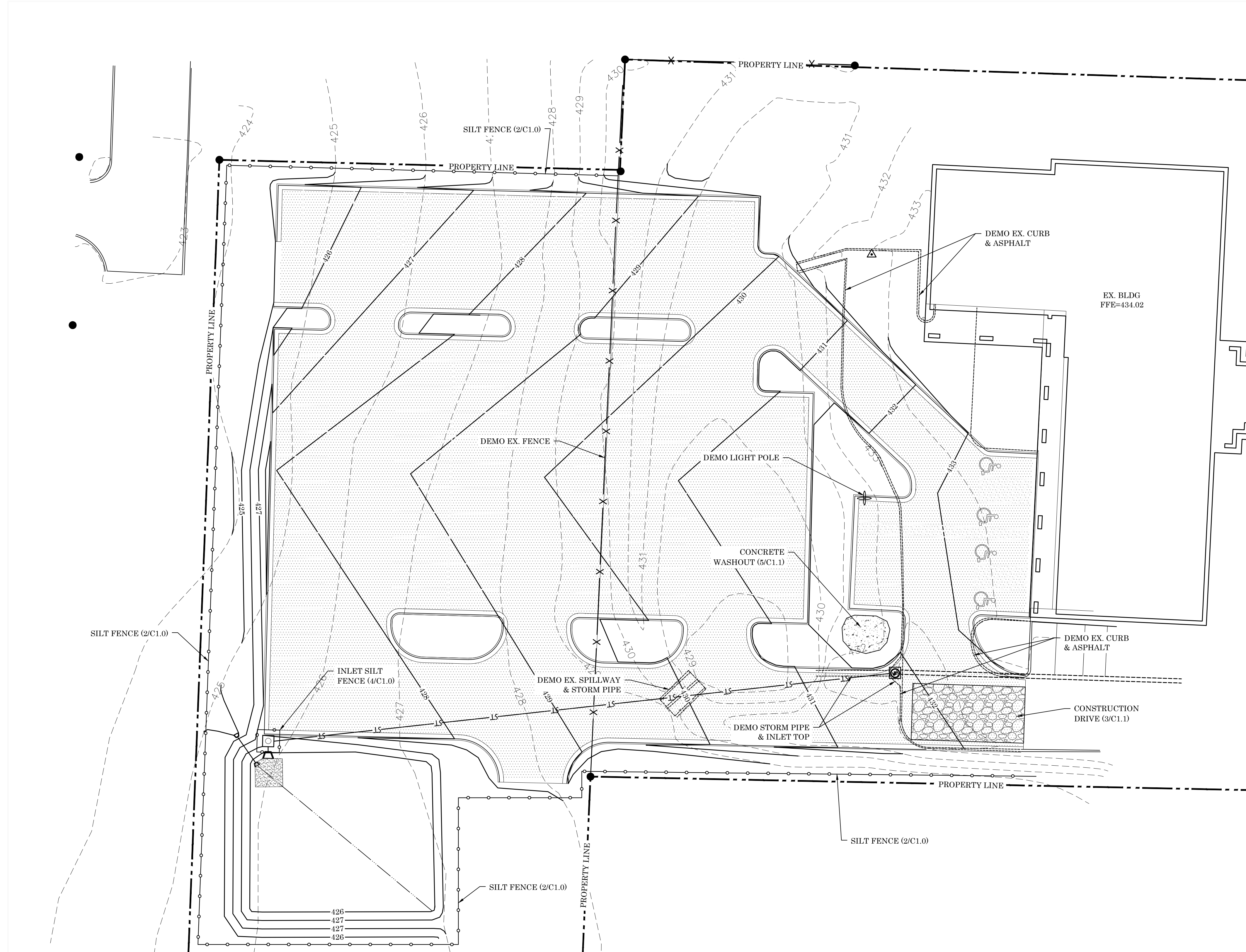
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C1.0 **CONSTRUCTION DRIVE DETAIL**
SCALE: N.T.S.



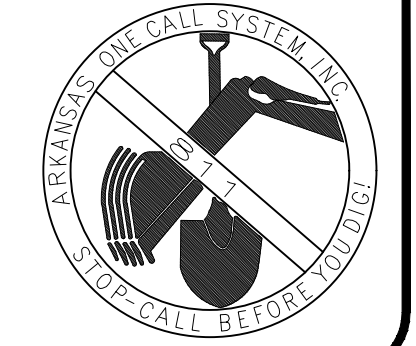
4
C1.0 **INLET SILT FENCE DETAIL**
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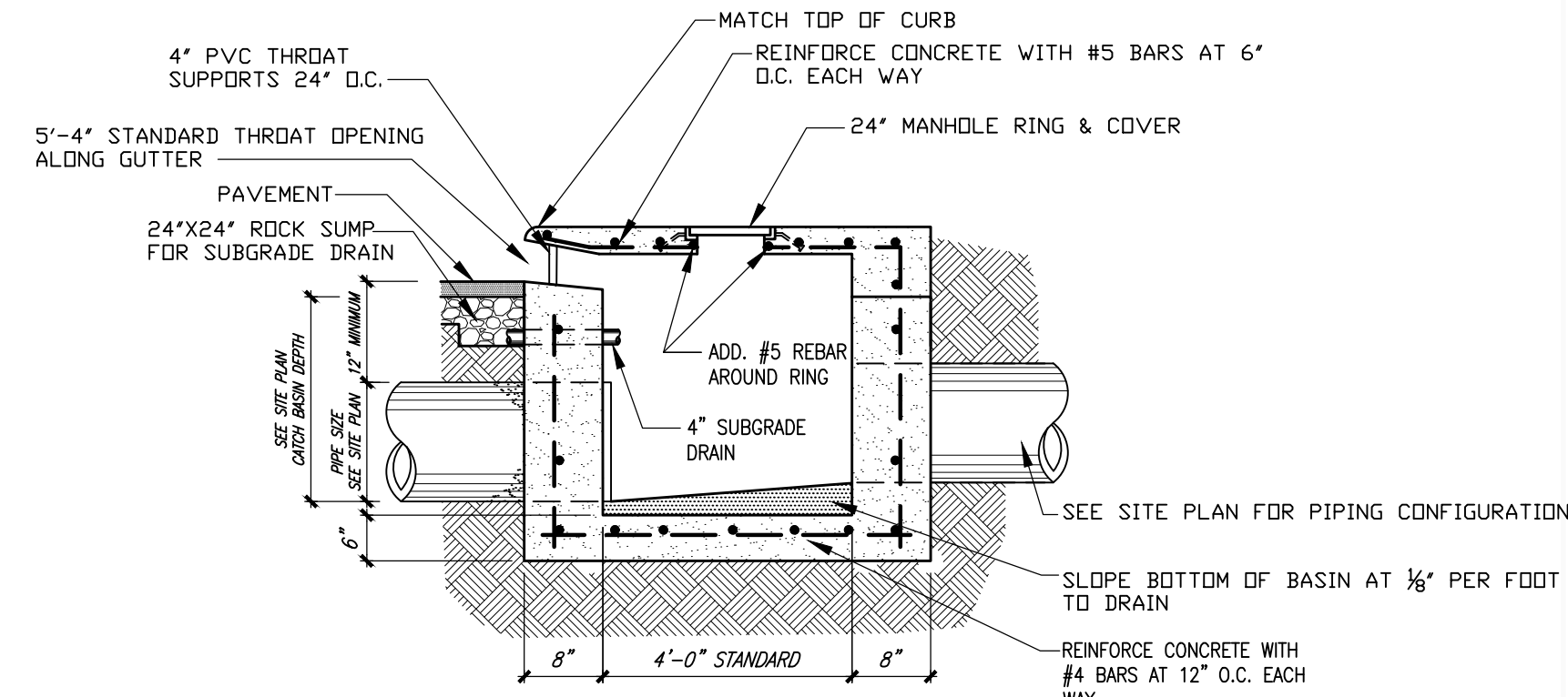


5
C1.0 **CONCRETE WASHOUT DETAIL**
SCALE: N.T.S.

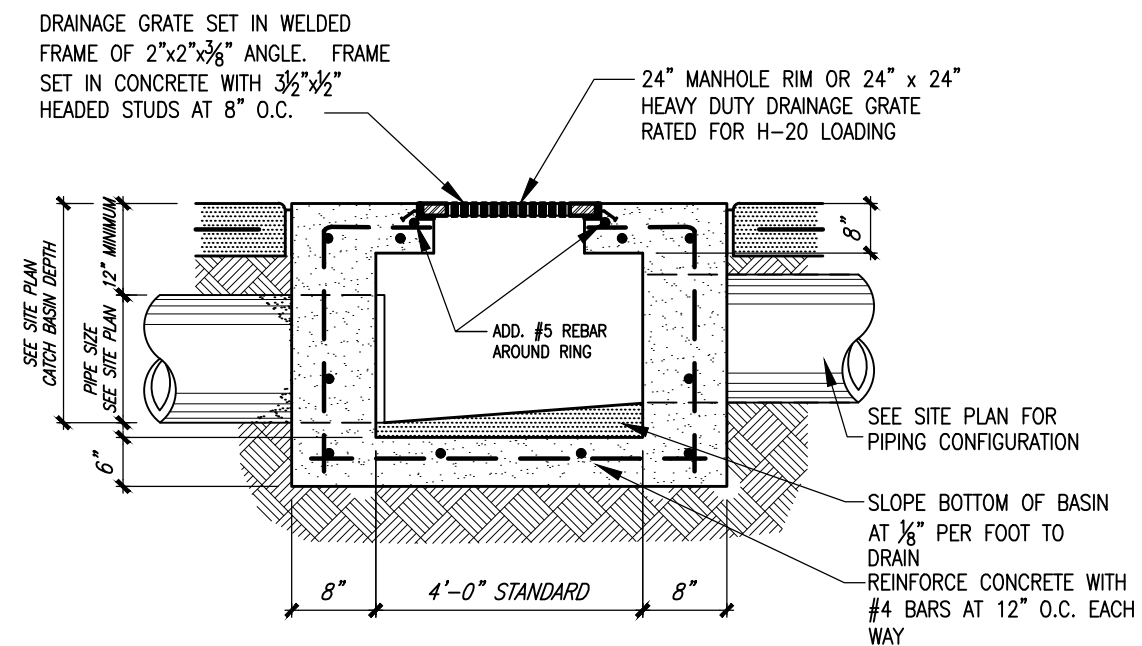


- GENERAL EROSION CONTROL NOTES:**
1. THE CONTRACTOR WILL PRODUCE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT MEETS THE REQUIREMENTS SET FORTH BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY & THE CITY OF BENTON.
 2. THE CONTRACTOR WILL FILL OUT INSPECTION REPORTS AND LOG RAINFALL DATA AS REQUIRED BY THE SWPPP.
 3. THE CONTRACTOR WILL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING DIRTWORK ACTIVITIES ON THIS SITE.
 4. THE CONTRACTOR WILL IMMEDIATELY CLEAN UP ANY SEDIMENT THAT LEAVES THIS SITE.
 5. THE CONTRACTOR WILL RE-ESTABLISH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SWPPP.
 6. THE CONTRACTOR WILL REMOVE ALL EROSION CONTROL MEASURES ONCE THE SITE HAS BEEN RE-ESTABLISHED.

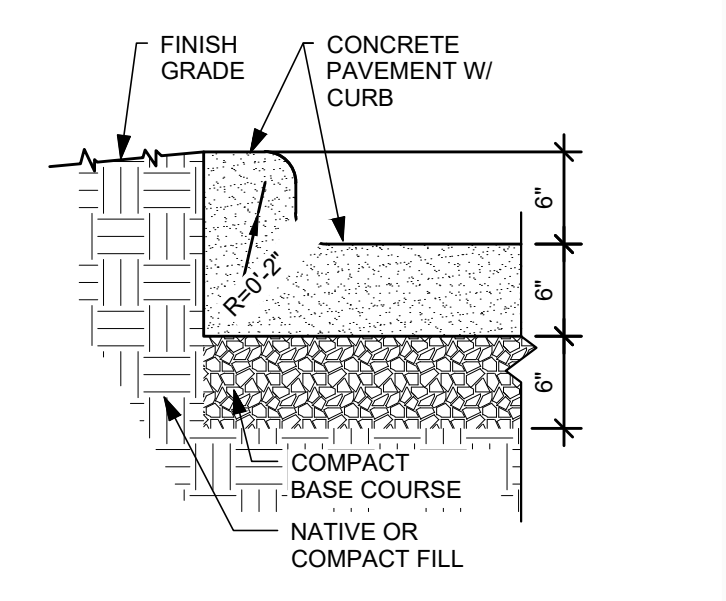




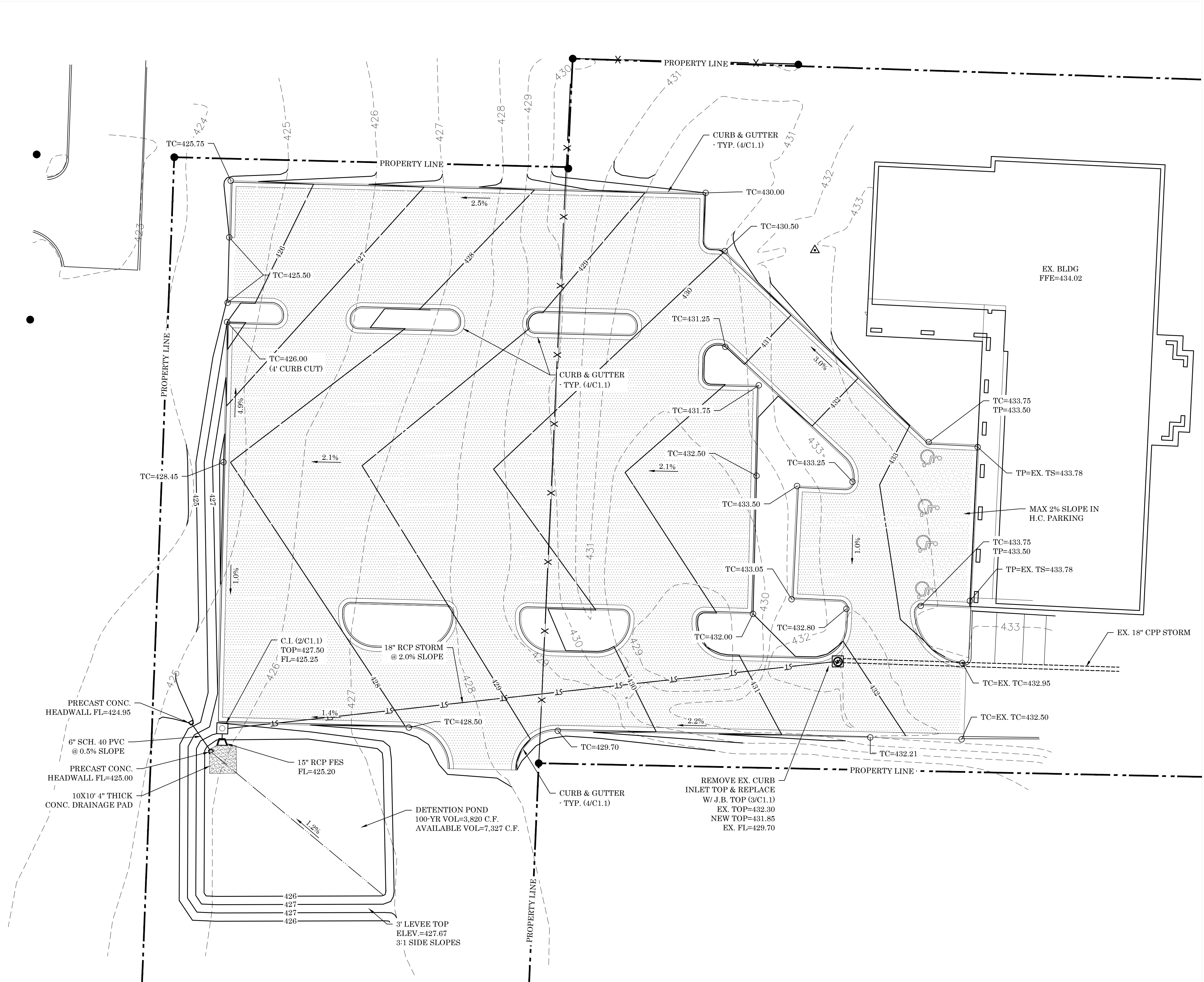
2 STORM DRAINAGE CURB INLET (C.I.) DETAIL
C.I.1 NOT TO SCALE



3 STORM DRAINAGE JUNCTION BOX (J.B.) DETAIL
C.I.1 NOT TO SCALE



4 CURB & GUTTER DETAIL
C.I.1 NOT TO SCALE



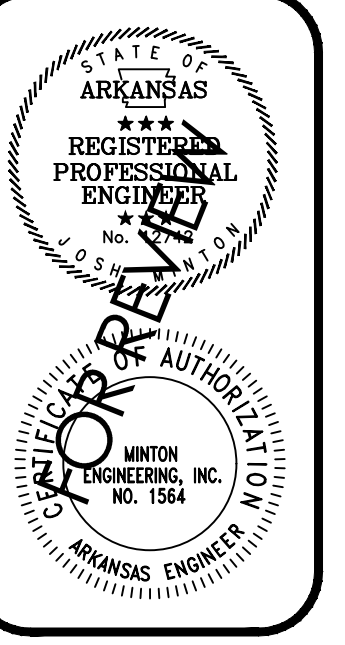
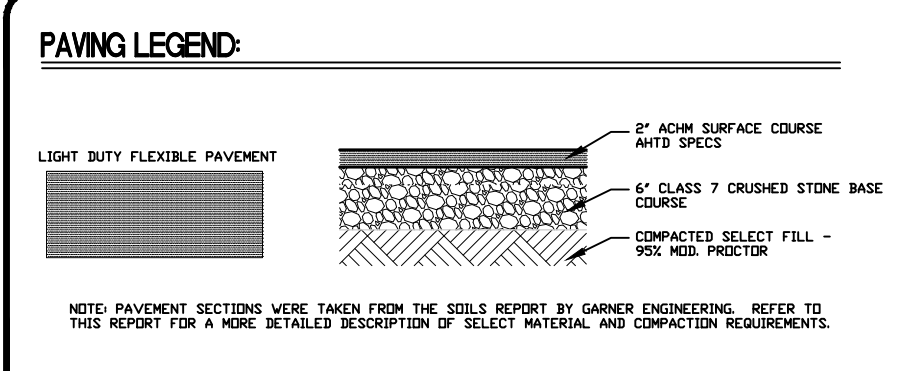
1 SITE GRADING & STORM DRAINAGE PLAN
SCALE: 1" = 20'
0 20 40

GENERAL SITE GRADING NOTES

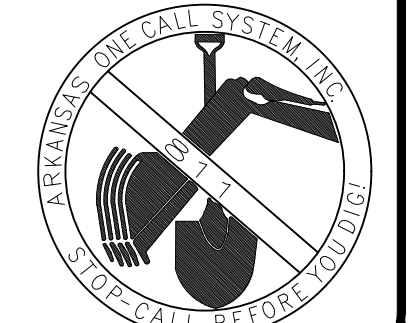
- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
- CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY DEMOLITION OR NEW CONSTRUCTION WORK COMMENCES.
- ALL WORK SHALL CONFORM TO LOCAL & STATE CODES, ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
- FIELD VERIFY EXACT LOCATION OF ALL EXISTING TREES, EXIST TREES NOT IN CONSTRUCTION AREA TO BE PROTECTED WITH 2x4 WOOD PLANKS CONT. IN LINE WITH DRIP EDGE OF TREE, SECURED TOGETHER & FLAGGED WITH ORANGE TAPE, HEAVY EQUIPMENT TO WORK AS FAR AS POSSIBLE FROM EXIST TREES TO PREVENT DAMAGE TO FEEDER ROOTS, CONTRACTOR WILL BE REQUIRED TO COMPENSATE OWNER FOR ANY EXISTING TREES WHICH ARE DAMAGED OR DIE DUE TO CONSTRUCTION WORK.
- THE GENERAL CONTRACTOR SHALL HAVE THE GEOTECHNICAL ENGINEER EMPLOYED TO OBSERVE SITE WORK MEET WITH THE GEOTECHNICAL ENGINEER THAT PROVIDED THE SOIL'S REPORT. THIS MEETING SHOULD OCCUR AT OR BEFORE THE PRE-CONSTRUCTION MEETING TO INSURE THE AMOUNT OF UNDERCUT THAT MAY BE REQUIRED FOR THE PROJECT. RECOMMENDATIONS BY GEO-TECHNICAL ENGINEER SHALL NOT BE IMPLEMENTED INTO WORK WITHOUT AUTHORIZATION FROM OWNER & ARCHITECT. NOTIFY ARCHITECT IMMEDIATELY IF UNDESIRABLE SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE CONTRACTOR WILL REFERENCE THE GEOTECHNICAL REPORT FOR A MORE DETAILED DESCRIPTION OF EARTHWORK AND COMPACTION REQUIREMENTS.
- SEQUENCE OF DIRTWORK ACTIVITIES (REFERENCE GEOTECH REPORT):
1) THE SITE WILL BE CLEARED OF ALL TREES NECESSARY FOR SITE CONSTRUCTION. SEE CLEARING LIMITS.
2) THE TOP 1' OF SOIL WILL BE STRIPPED UNDER ALL STRUCTURAL ELEMENTS (BUILDINGS, PARKING & DRIVE AREAS). THIS MATERIAL CAN BE USED ON SITE AS UNDESIRABLE FILL (GREEN SPACES).
3) SITE GEOTECH REPORT FOR UNDERCUT RECOMMENDATIONS. SELECT FILL WILL BE PLACED TO 10' OUTSIDE BUILDING, 5' OUTSIDE THE CURB FOR DRIVES AND PARKING.
4) PROOF ROLL ALL SUBGRADE PRIOR TO PLACING FILL, REMOVE AND REPLACE WITH COMPACTED SELECT FILL AS DIRECTED BY GEOTECH.
5) SELECT FILL WILL BE PLACED IN LOTS OF 4" LIFTS AND COMPACTED TO 98% MOISTURE PROCTOR WITHIN 2% OPTIMUM MOISTURE CONTENT. SEE GEOTECH REPORT FOR SELECT FILL REQUIREMENTS, ON-SITE MATERIAL BELOW THE 1' OF STRIPPING MAY BE USED FOR SELECT FILL, VERIFY WITH GEOTECH.
- ALL HANDICAP PARKING AND ACCESSIBLE ROUTES SHALL MEET ADA REQUIREMENTS. MAXIMUM CROSS-SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 2.0% AND THE MAXIMUM RUNNING SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 5.0% WITHOUT HANDRAILS AND LANDING AREAS. 5% WITH HANDRAILS AND LANDING AREAS. HANDICAP PARKING AREAS SHALL NOT SLOPE MORE THAN 2.0% IN ANY DIRECTION. EACH HANDICAP PARKING SPOT SHALL HAVE A SIGN. THE CONTRACTOR WILL REFER TO THE "CODE OF FEDERAL REGULATIONS" 28 CFR PART 36 "ADA STANDARDS FOR ACCESSIBLE DESIGN" FOR A MORE DETAILED DESCRIPTION OF SIGNAGES.

SITE LEGEND:

---	EX. CONTOUR LINE
---	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
V	EX. WATER LINE
T	EX. TREE
PR	PR. CONTOUR
V	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
△	PR. WATERLINE BLOCKING
PR	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TT	TOP OF TRACK
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FL. LINE
C.G.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED



DATE: FEB 20, 2023
PROJECT NO: 23001
DRAWN BY: JM
REVISION:





300 North Port Drive
Cabot, AR 72023
(501) 941-5559

February 16, 2023

Mr. Truett Smith
City of Bryant - Planning
210 S.W. 3rd St.
Bryant, AR 72022

Re: Site Plan, Bryant Schools Administration Parking, Bryant, AR

Mr. Smith:

This project involves the renovation and parking addition to 1511 N. Reynolds Road, the old Summerwood Petroleum office that is being converted to the new Bryant Schools Administration Office. The existing building footprint and parking in front will remain the same. The only site change is adding additional parking at the back (west) of the building.

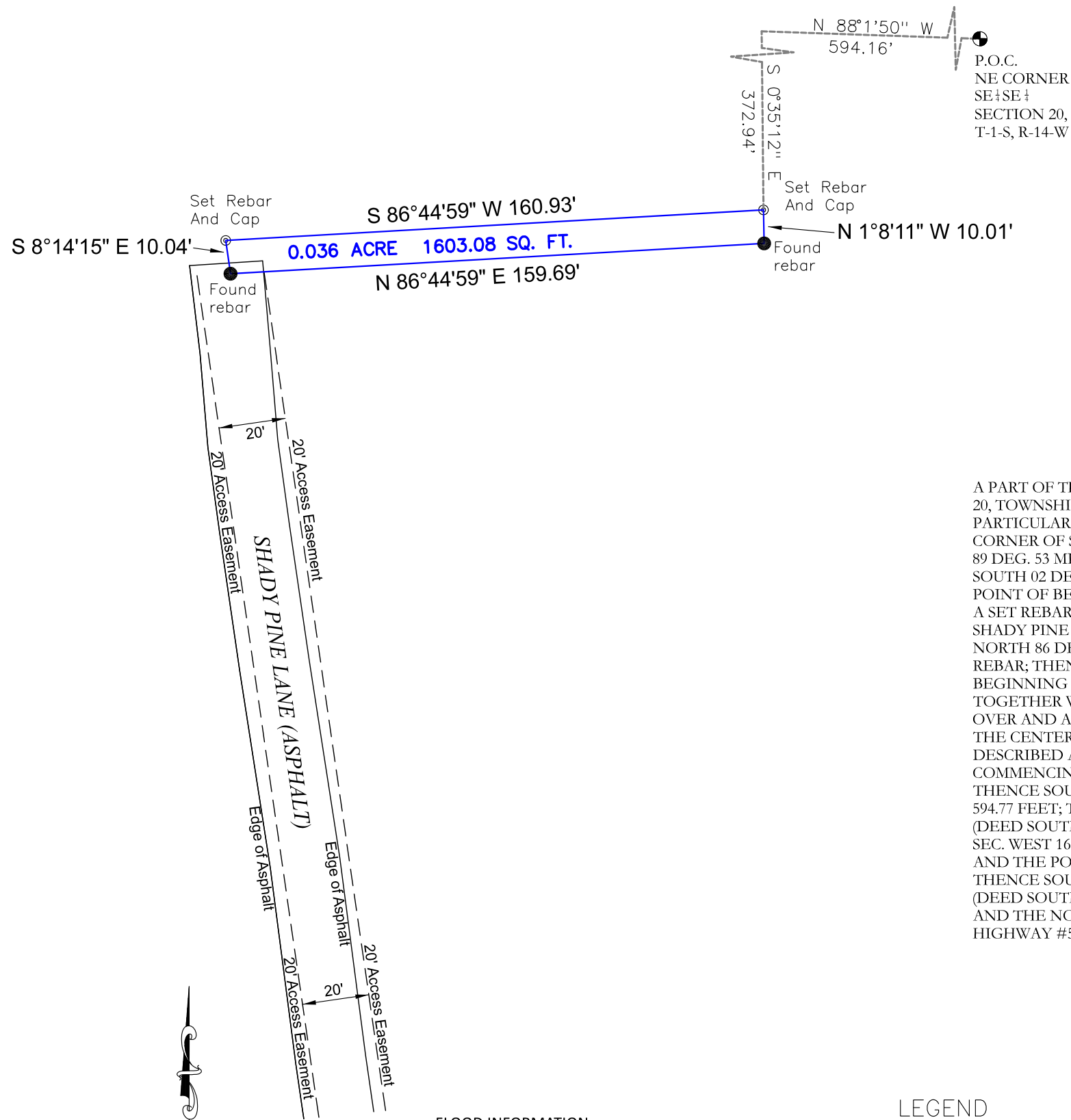
Please place this item on the agenda for the next DRC meeting. Contact me if you need any additional information to accompany this submittal.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Josh Minton', is written over the word 'Sincerely,'.

Josh Minton, PE
Project Engineer

Cc: John McMorran, AIA – Lewis Architects



SURVEY DESCRIPTION

A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER OF SOUTHEAST QUARTER; THENCE SOUTH 89 DEG. 53 MIN. WEST ALONG THE NORTH LINE THEREOF FOR 594.77 FEET; THENCE SOUTH 02 DEG. 54 MIN. 40 SEC. EAST 372.94 FEET TO A SET REBAR AND CAP AND THE POINT OF BEGINNING; THENCE SOUTH 86 DEG. 44 MIN. 59 SEC. WEST 160.93 FEET TO A SET REBAR AND CAP; THENCE SOUTH 08 DEG. 14 MIN. 15 SEC. EAST ALONG SHADY PINE LANE 10.04 FEET TO A FOUND REBAR IN SHADY PINE LANE; THENCE NORTH 86 DEG. 44 MIN. 59 SEC. EAST LEAVING SAID ROADWAY 159.69 FEET TO A REBAR; THENCE NORTH 01 DEG. 08 MIN. 11 SEC. EAST 10.01 FEET TO THE POINT OF BEGINNING CONTAINING 0.036 ACRE MORE OR LESS. TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED ROADWAY, BEING 20 FEET WIDE, THE CENTERLINE OF SAID 20 FOOT EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SAID SE 1/4 OF SE 1/4; THENCE SOUTH 89 DEG. 53 MIN. WEST ALONG THE NORTH LINE THEREOF FOR 594.77 FEET; THENCE SOUTH 02 DEG. 54 MIN. 40 SEC. EAST 383.12 FEET TO A REBAR (DEED SOUTH 02 DEG. 53 MIN. EAST 382.99 FEET); THENCE SOUTH 84 DEG. 44 MIN. 54 SEC. WEST 160.06 FEET TO A REBAR (DEED SOUTH 84 DEG. 46 MIN. WEST 160.17 FEET) AND THE POINT OF BEGINNING AND CENTERLINE OF SAID 20 FOOT EASEMENT; THENCE SOUTH 10 DEG. 06 MIN. 52 SEC. EAST ALONG SAID CENTERLINE 509.74 FEET (DEED SOUTH 10 DEG. 14 MIN. EAST 509.74 FEET) TO THE END OF SAID EASEMENT AND THE NORTH RIGHT OF WAY LINE OF ARKANSAS HIGHWAY #5.

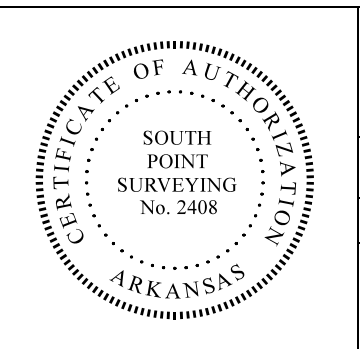
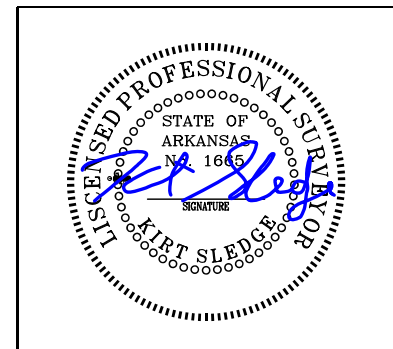
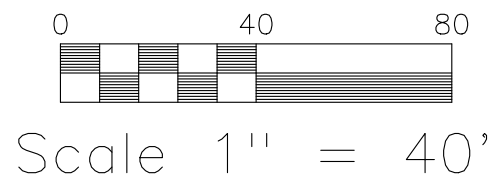
FLOOD INFORMATION


ACCORDING TO FEMA MAP NUMBER 05125C0360E, DATED JUNE 5, 2020, THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.

BASIS OF BEARING
GPS OBSERVATION IN ARKANSAS STATE PLANE SOUTH

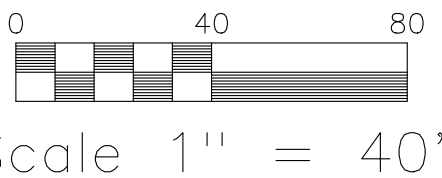
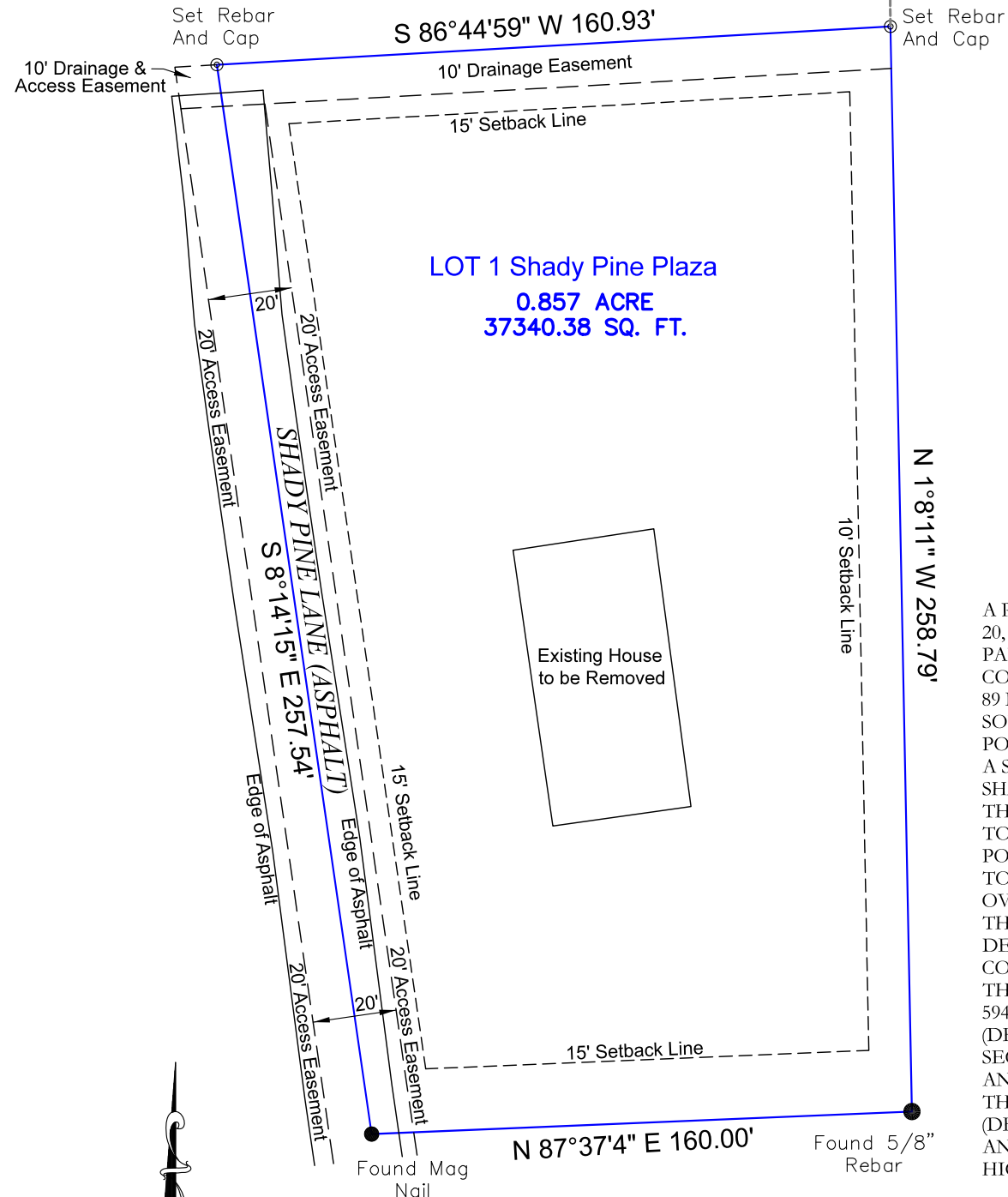
LEGEND

- FOUND MONUMENT
- ⊙ SET #4 REBAR W/CAP
- △ COMPUTED POSITION
- ⊕ FORTY CORNER
- BOUNDARY
- EXISTING FENCE LINE
- - - SECTION LINE
- ↗ SCALE BREAK



 SOUTH POINT SURVEYING, PLLC P.O. Box 400 Sheridan, AR 72150 southpointsurveying@yahoo.com 501-285-5958 501-837-2342			
Drawing: LOT1SHADYPINEPLAZA	Date: 02/20/23	Page: 1 OF 1	Drawn by: MO
SHADY PINE PLAZA			
SHADY PINE LANE BRYANT, ARKANSAS			

SHADY PINE PLAZA FINAL PLAT



FLOOD INFORMATION

ACCORDING TO FEMA MAP NUMBER 05125C0360E, DATED JUNE 5, 2020, THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.

BASIS OF BEARING
GPS OBSERVATION IN ARKANSAS STATE PLANE SOUTH

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SURVEY DESCRIPTION

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P.O.C.
NE CORNER
SE 1/4 SE 1/4
SECTION 20,
T-1-S, R-14-W

Vicinity Map
Not to Scale

CERTIFICATE OF SURVEYING ACCURACY

I, Kirt Sledge, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on February 20, 2023; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Name _____ Date of Execution _____
Registered Land Surveyor No. _____, Arkansas

CERTIFICATE OF OWNER

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted, and subdivided, and do hereby lay off, plat, and subdivide said real estate in accordance with the within plat.

Date of Execution _____ Name _____
Address _____

Source of Title _____ D. R. _____ Page _____

CERTIFICATE OF RECORDING

This document, number _____, filed for record _____,
2023, in Plat Book _____, Page _____.

Name (Clerk) _____

For Bill of Assurance, see Deed Record: Book _____, Page _____.

CERTIFICATE OF ENGINEERING ACCURACY

I, _____, hereby certify that this plat correctly represents a survey and plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

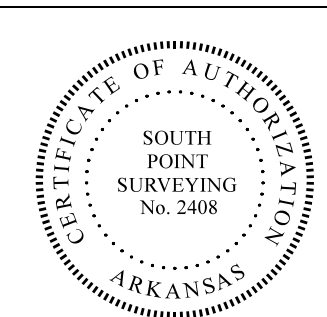
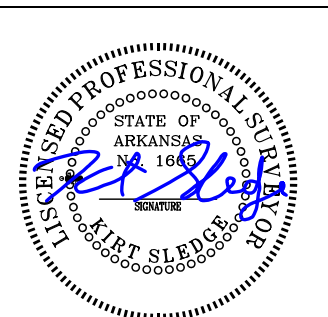
Name _____ Date of Execution _____
Registered Professional Engineer No. _____, Arkansas


CERTIFICATE OF FINAL APPROVAL

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held on _____, 2023. All of the document is hereby accepted and this certificate executed under the authority of said rules and regulations.

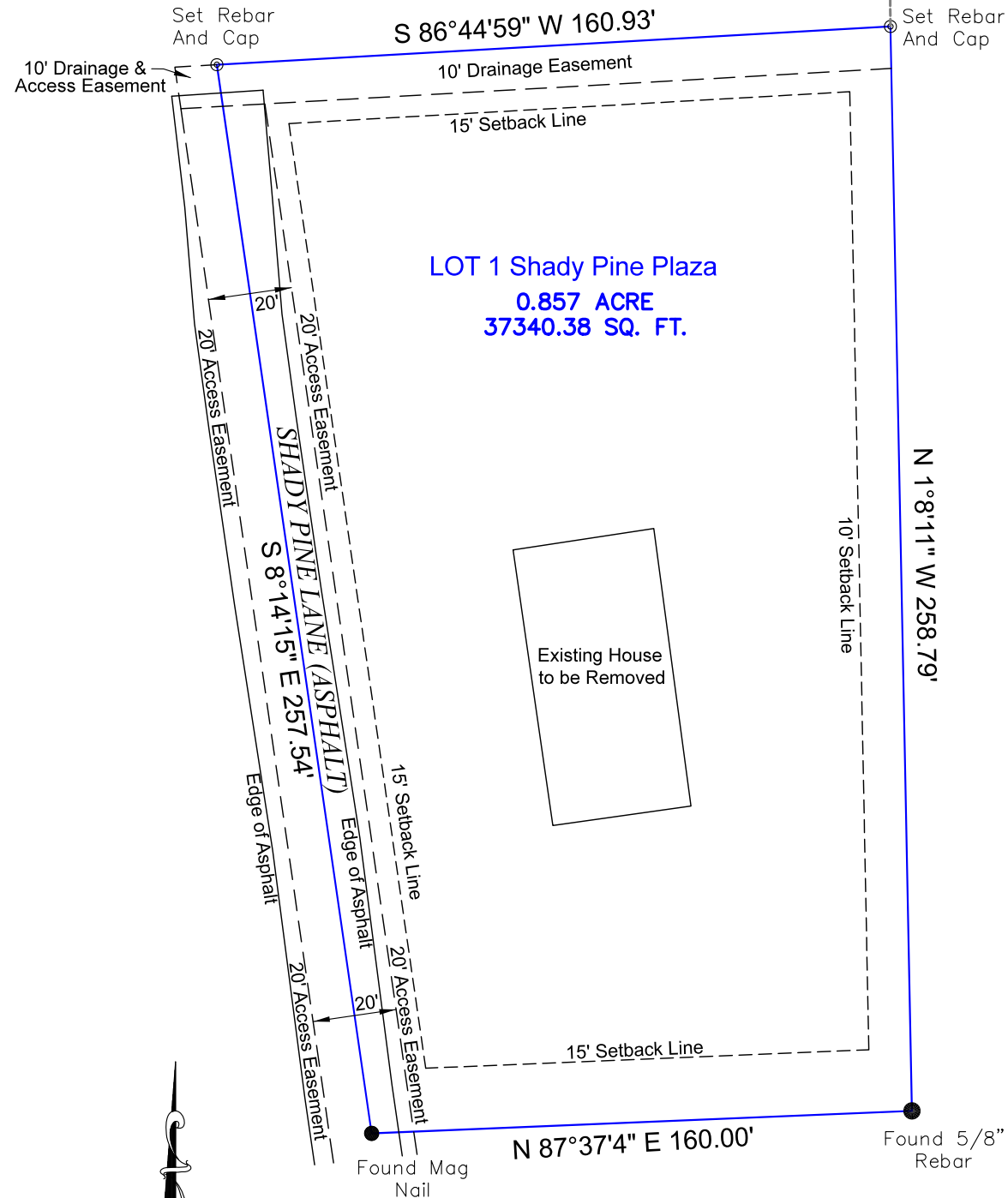
Signature of Bryant Planning Commission _____ Date of Execution _____

Approval of the final plat shall become null and void unless said plat is filed for record within one hundred and twenty (120) days from the date of execution of this certificate.



 SOUTH POINT SURVEYING, PLLC P.O. Box 400 Sheridan, AR 72150 southpointsurveying@yahoo.com 501-285-5958 501-837-2342			
Drawing: LOT1SHADYPINEPLAZA	Date: 02/20/23	Page: 1 OF 1	Drawn by: MO
SHADY PINE PLAZA			
SHADY PINE LANE BRYANT, ARKANSAS			

SHADY PINE PLAZA PRELIMINARY PLAT



N 88°1'50" W
594.16'
P.O.C.
NE CORNER
SE 1/4 SE 1/4
SECTION 20,
T-1-S, R-14-W

PRELIMINARY SURVEYING ACCURACY

I, Kirt Sledge, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on February 20, 2023; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Name _____ Date of Execution _____
Registered Land Surveyor No. _____, Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL

All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

This Certificate shall expire _____.

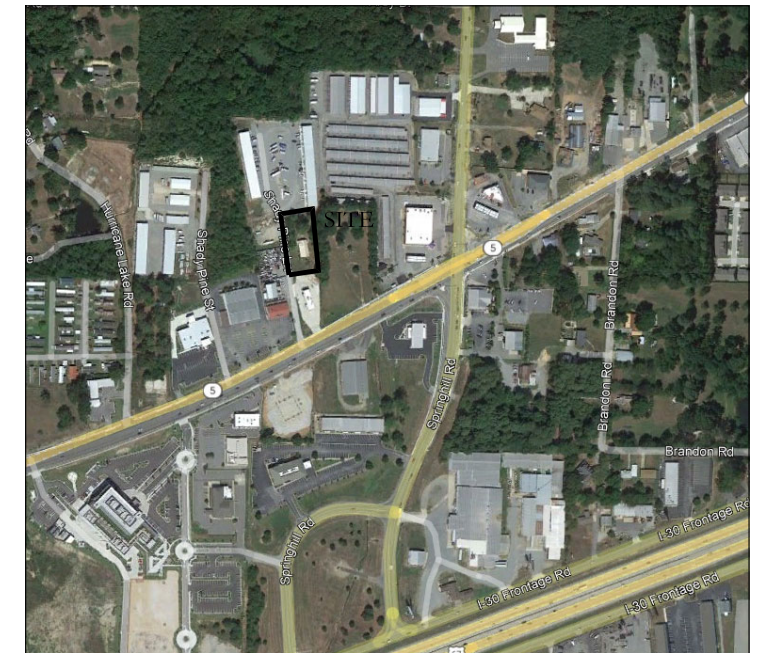
Signature of Bryant Planning Commission _____ Date of Execution _____

FLOOD INFORMATION

ACCORDING TO FEMA MAP NUMBER 05125C0360E,
DATED JUNE 5, 2020,
THIS PROPERTY IS NOT LOCATED IN A FLOOD
HAZARD AREA.

SURVEY DESCRIPTION

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TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED ROADWAY, BEING 20 FEET WIDE, THE CENTERLINE OF SAID 20 FOOT EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SAID SE 1/4 OF SE 1/4; THENCE SOUTH 89 DEG. 53 MIN. WEST ALONG THE NORTH LINE THEREOF FOR 594.77 FEET; THENCE SOUTH 02 DEG. 54 MIN. 40 SEC. EAST 383.12 FEET TO A REBAR (DEED SOUTH 02 DEG. 53 MIN. EAST 382.99 FEET); THENCE SOUTH 84 DEG. 44 MIN. 54 SEC. WEST 160.06 FEET TO A REBAR (DEED SOUTH 84 DEG. 46 MIN. WEST 160.17 FEET) AND THE POINT OF BEGINNING AND CENTERLINE OF SAID 20 FOOT EASEMENT; THENCE SOUTH 10 DEG. 06 MIN. 52 SEC. EAST ALONG SAID CENTERLINE 509.74 FEET (DEED SOUTH 10 DEG. 14 MIN. EAST 509.74 FEET) TO THE END OF SAID EASEMENT AND THE NORTH RIGHT OF WAY LINE OF ARKANSAS HIGHWAY #5.

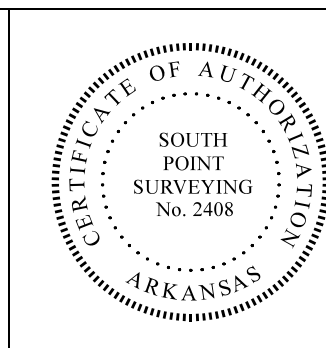
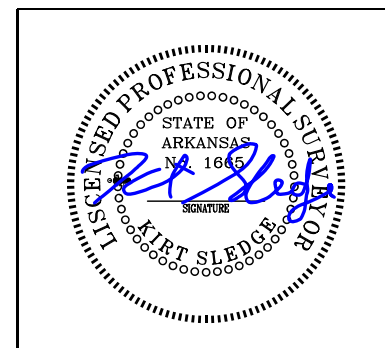


Vicinity Map
Not to Scale

LEGEND

- FOUND MONUMENT
- ⊙ SET #4 REBAR W/CAP
- △ COMPUTED POSITION
- ⊕ FORTY CORNER
- BOUNDARY
- - - EXISTING FENCE LINE
- - - SECTION LINE
- ↗ SCALE BREAK

BASIS OF BEARING
GPS OBSERVATION IN
ARKANSAS STATE PLANE SOUTH



SOUTH POINT SURVEYING, PLLC
P.O. Box 400 Sheridan, AR 72150
southpointsurveying@yahoo.com
501-285-5958 501-837-2342

Drawing: LOT1SHADYPINEPLAZA	Date: 02/20/23	Page: 1 OF 1	Drawn by: MO
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SHADY PINE PLAZA

SHADY PINE LANE
BRYANT, ARKANSAS

0 40 80
Scale 1" = 40'

DETAILED PLANS:

SHADY PINE PLAZA

PART OF THE SE $\frac{1}{4}$ OF THE
SE $\frac{1}{4}$, SECTION 20, T-1-S, R-14-W
SALINE COUNTY, ARKANSAS

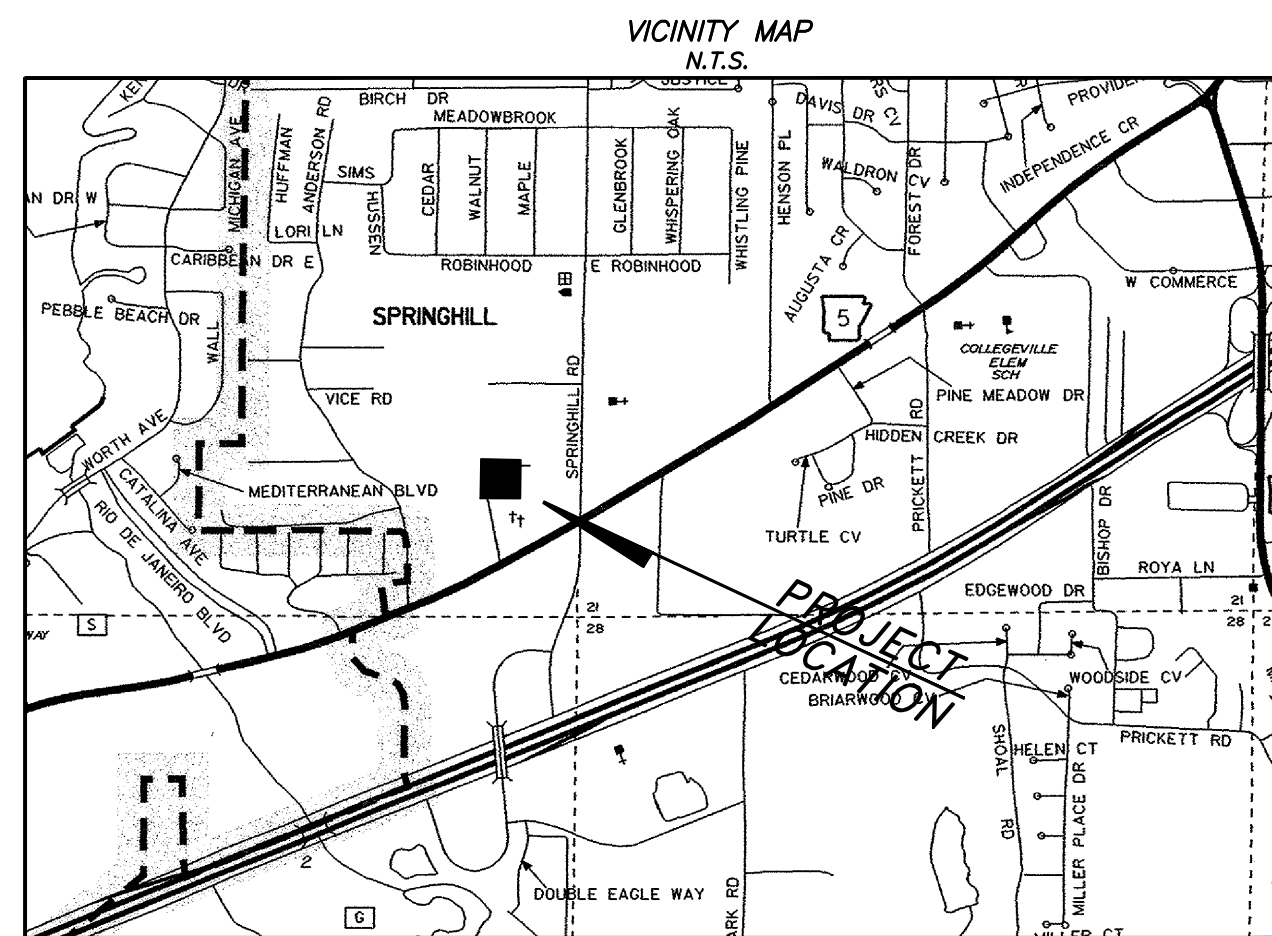
02/22/2023

PREPARED FOR:

ALAN SCHRADER
P.O. BOX 824
BRYANT, AR 72089

PRE-CONSTRUCTION COPY -

PLANS FOR BIDDING PURPOSES.
QUANTITIES TO BE VERIFIED PRIOR
TO CONSTRUCTION. CONTRACTOR
TO VERIFY GRADES WITH ENGINEER
PRIOR TO CONSTRUCTION.



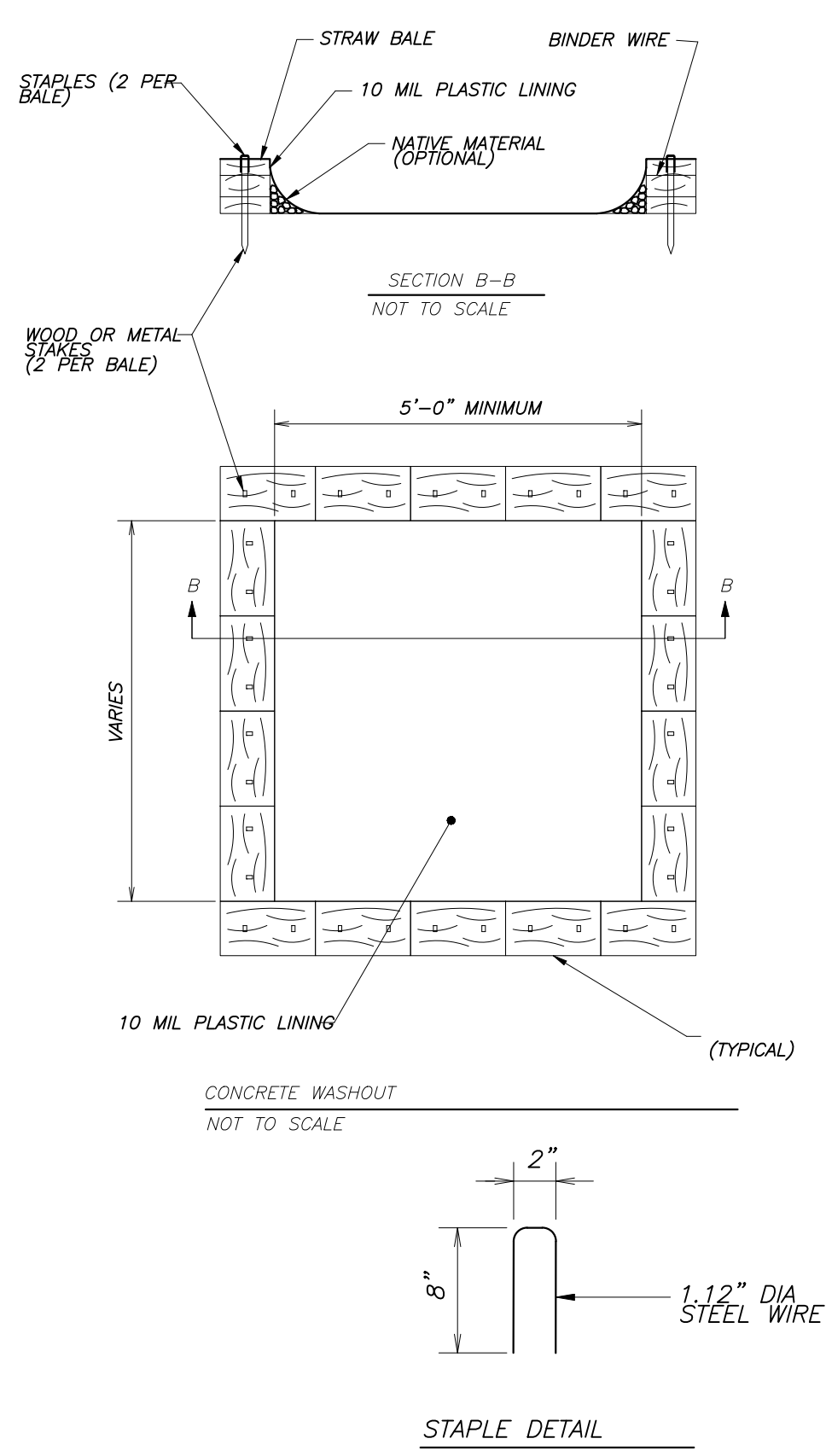
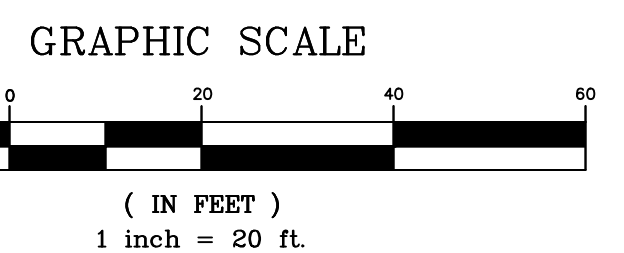
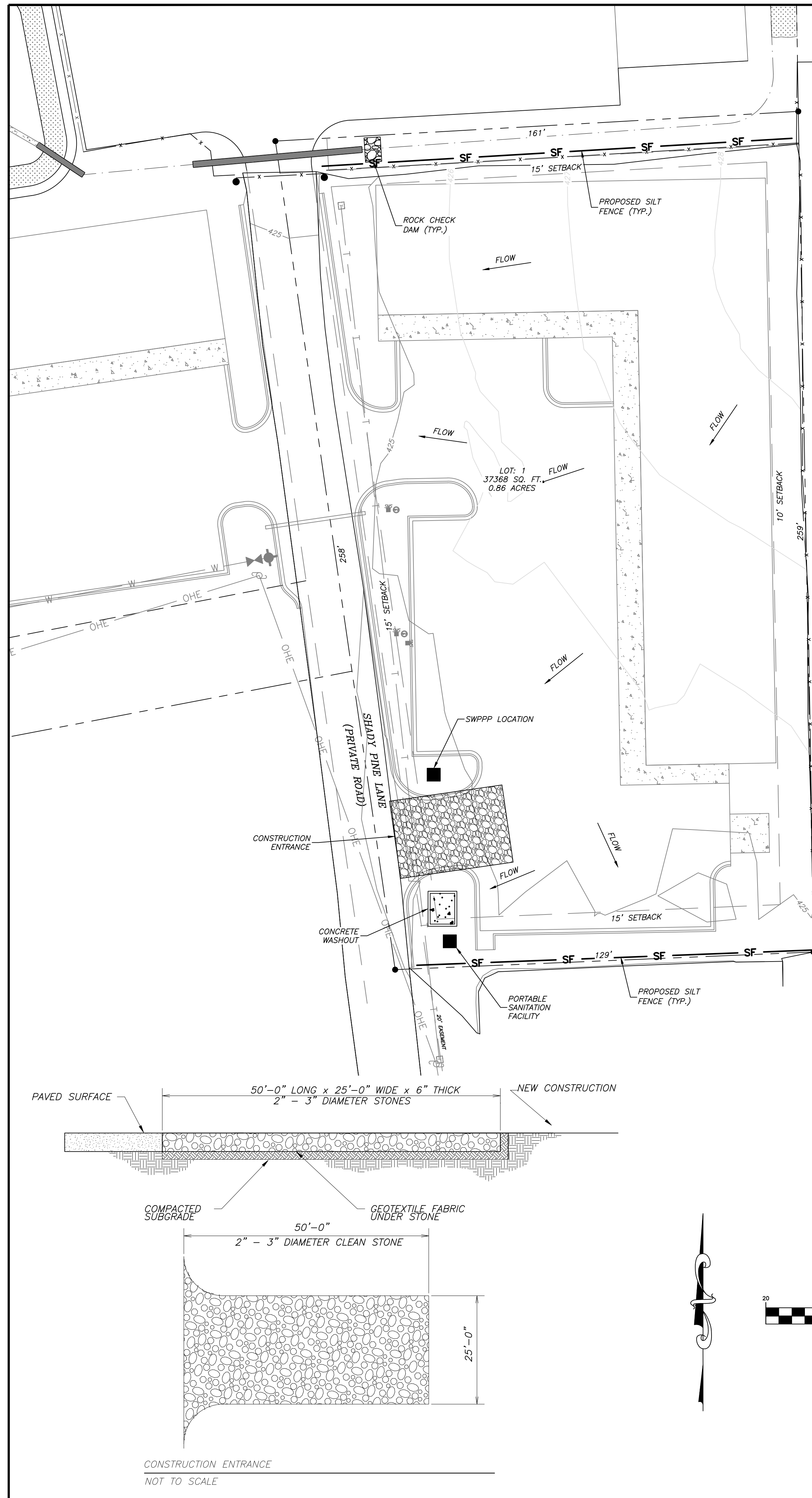
Prepared By:



325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

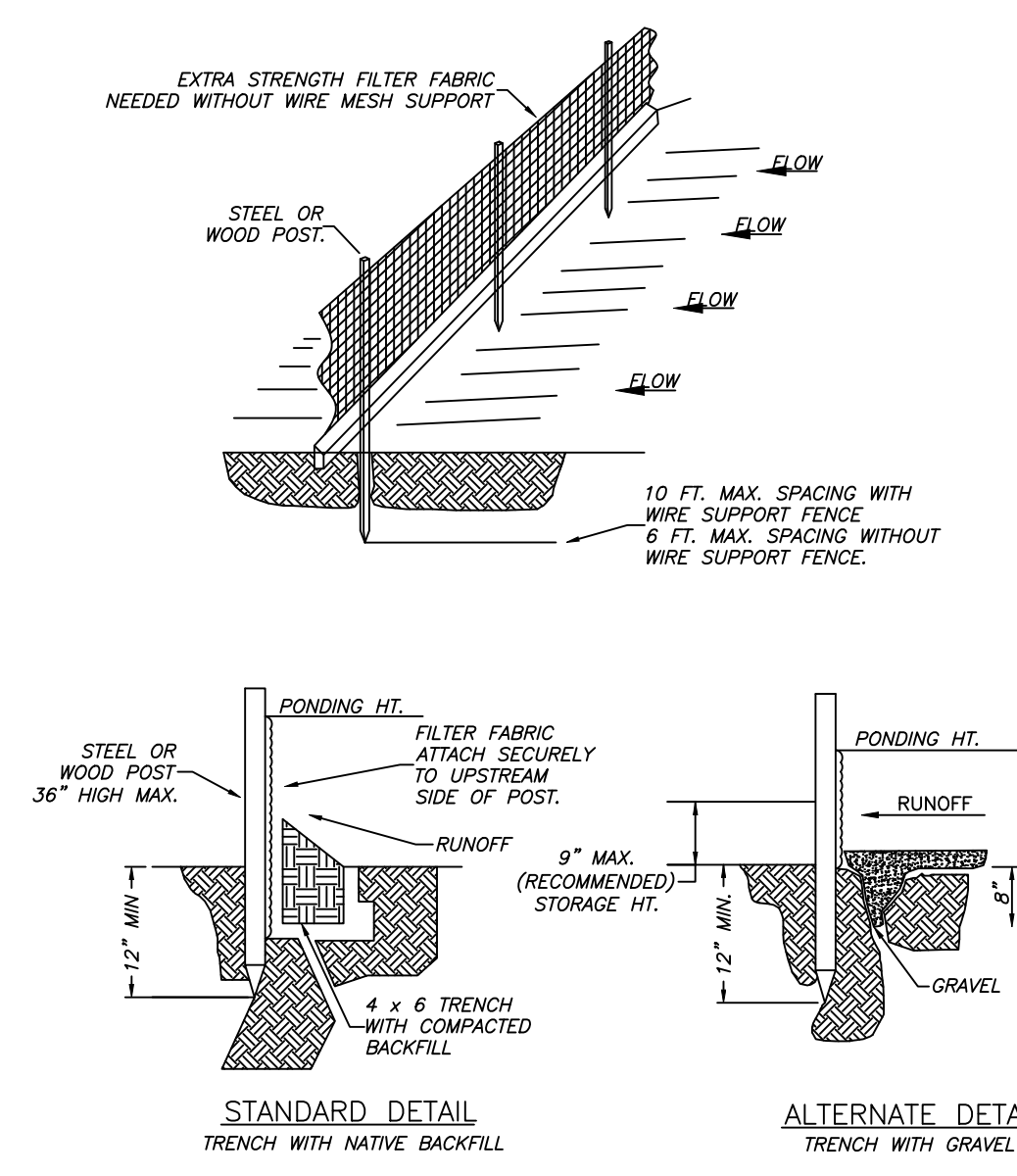


INDEX OF SHEETS	
Cover Sheet	1
Erosion Control Plan	2
Demo Plan	3
Site Plan	4
Site Dimensional Plan	5
Grading Plan	6
Utility Plan	7
Landscaping Plan	8
Misc. Details	9-11

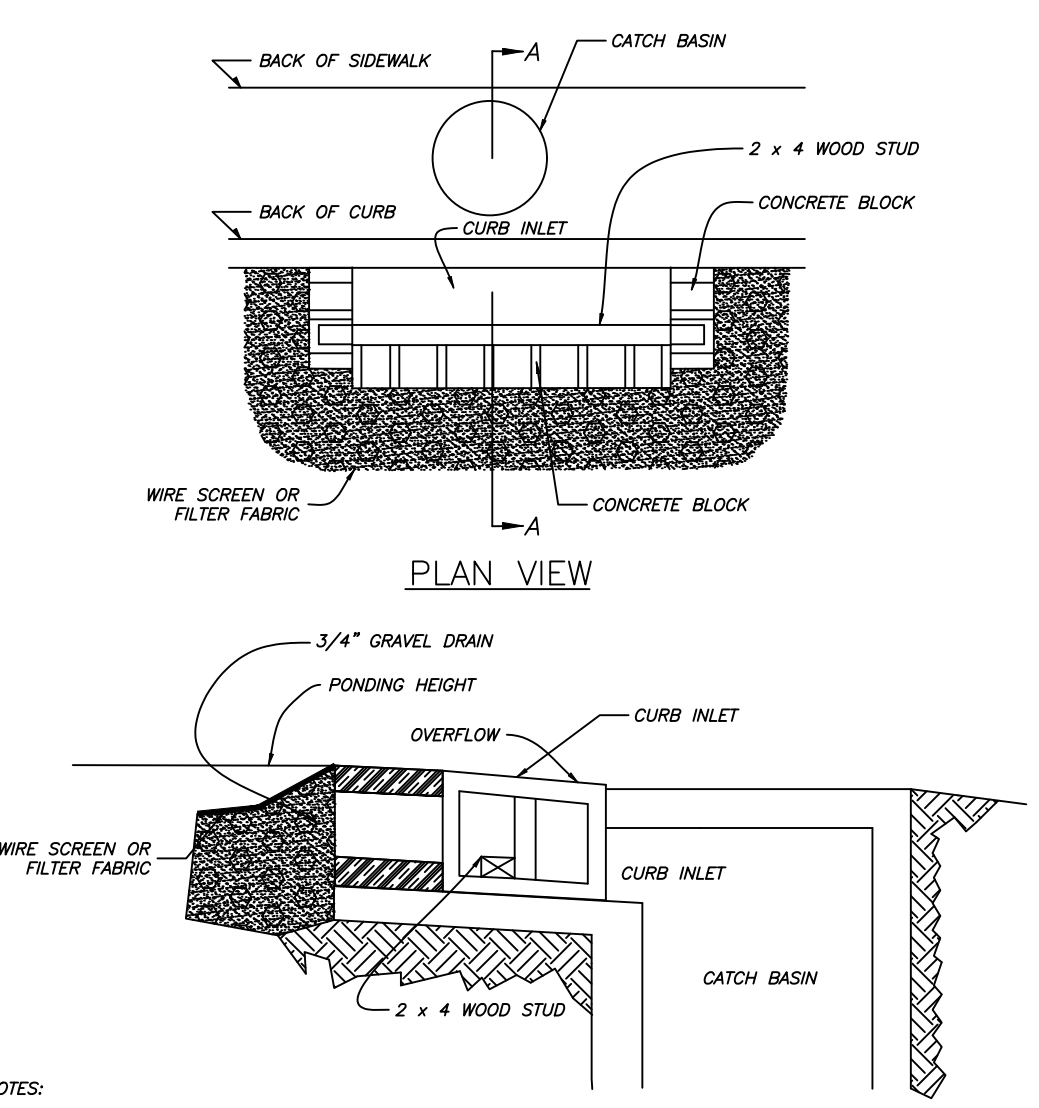


- SWPPP NOTES:
- 1.) DEVELOPMENT SHALL ADHERE TO CITY OF BRYANT AND ADEQ STORMWATER REQUIREMENTS.
 - 2.) SEDIMENT BARRIERS SHALL BE CONSTRUCTED AT EACH INLET UNTIL GRADING IS COMPLETE AND TOP SOIL IS STABILIZED.
 - 3.) A SILT FENCE AND STRAW BALE DIKE SHALL BE PLACED AT POTENTIAL LOCATIONS OF HEAVY EROSION.
 - 4.) TEMPORARY STRAW BALE DIKES ARE TO BE CONSTRUCTED NOT TO POND WATER ON ADJACENT PROPERTY.
 - 5.) ROCK DIKE CHECK DAMS TO BE CONSTRUCTED TO MEET ADEQ REQUIREMENTS WHEN USED IN LIEU OF STRAW BALE DIKES.
 - 6.) ALL TEMPORARY EROSION CONTROLS SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE AND PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
 - 7.) ONE OF THE FOLLOWING GROUND COVER METHODS SHALL BE USED AT AREAS OF CLEARING OTHER THAN FUTURE PAVEMENT SURFACES: STRAW OR HAW-LOOSE 2.0 TONS/ACRE STRAW OR HAW-TIED, ANCHORED, OR TACKED 1.5 TONS/ACRE
 - 8.) SOIL EXPOSED FOR MORE THAN 14 DAYS WITH NO CONSTRUCTION ACTIVITY SHALL BE SEED OR REEMITTED.
 - 9.) CONSTRUCTION ENTRANCES/EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF MUD ON TO PUBLIC RIGHT-OF-WAY.
 - 10.) ADDITIONAL EROSION CONTROL MEASURES TO BE EMPLOYED WHERE NECESSARY BY SITE CONDITIONS.
 - 11.) CONTRACTOR SHALL USE "BEST MANAGEMENT PRACTICES" (BMP'S) WHEN IMPLEMENTING AND MAINTAINING SEDIMENT AND RUN-OFF CONTROLS.

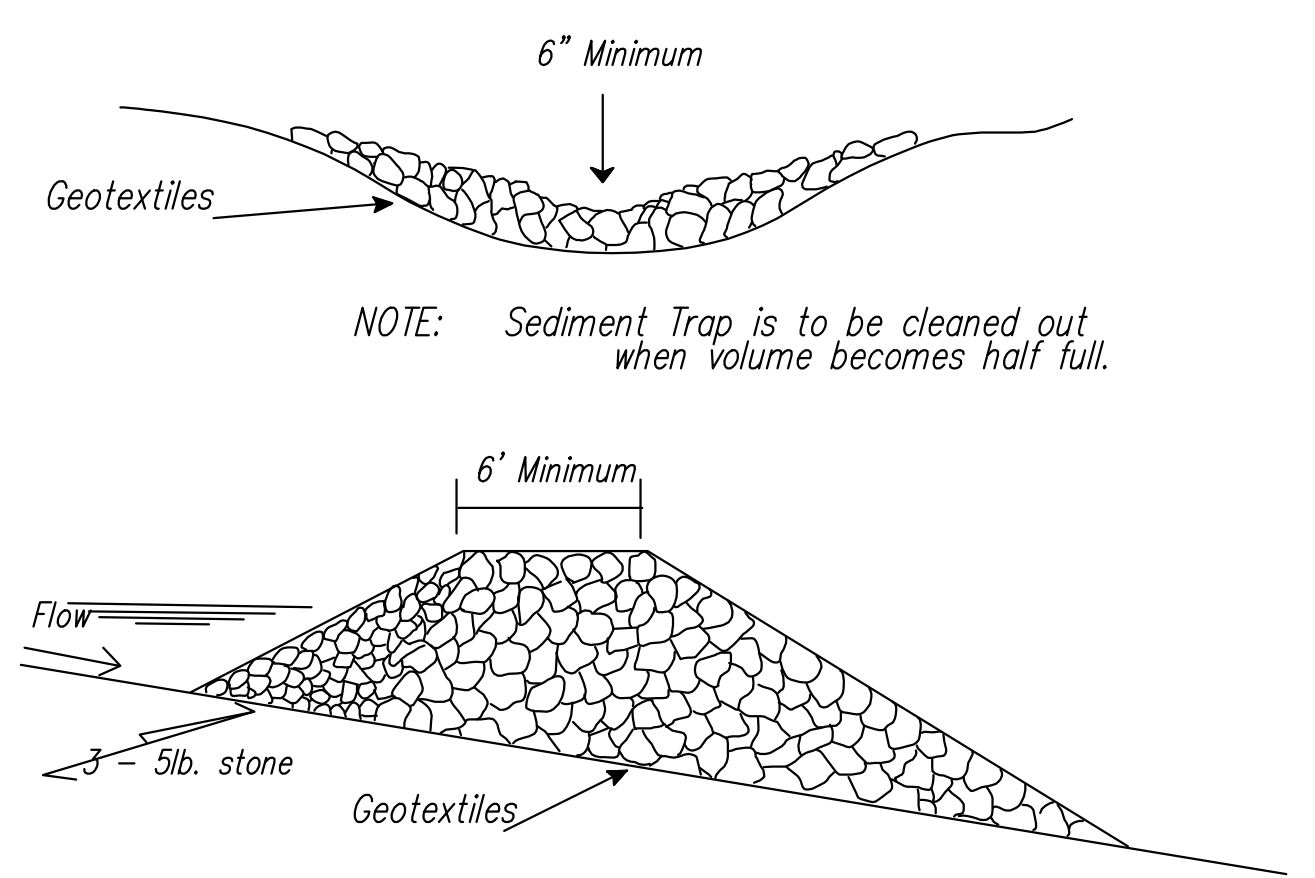
- GENERAL EROSION CONTROL NOTES
1. THE LOCATION OF KNOWN SURFACE & SUBSURFACE STRUCTURES, PIPE, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING THEMSELVES AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
 2. ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC. THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
 3. EROSION CONTROL DEVICES SHALL BE INSTALLED AS THE PROJECT PROGRESSES AND AREAS ARE DISTURBED.
 4. THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
 5. ALL INLETS ON AND ADJACENT TO THE SITE SHALL BE PROTECTED FROM SEDIMENT.
 6. STORM WATER CONTROLS SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25 INCHES OR GREATER
 7. ALL EROSION CONTROL DEVICES ARE TO BE MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE DURATION OF THIS PROJECT AND UNTIL PERMANENT VEGETATION IS ESTABLISHED. ALL SEDIMENT TRAPS ARE TO BE CLEANED AS REQUIRED.
 8. ALL DISTURBED AREAS LEFT IDLE FOR A PERIOD OF 14 DAYS OR LONGER ARE TO RECEIVE TEMPORARY VEGETATION AND MULCHED.
 9. REMOVE EROSION CONTROL DEVICES AFTER PERMANENT VEGETATION IS ESTABLISHED.
 10. DEVELOPMENT SHALL ADHERE TO CITY OF BENTON AND ADEQ STORM WATER REQUIREMENTS.
 11. ADDITIONAL EROSION CONTROL MEASURES TO BE EMPLOYED WHERE NECESSARY BY SITE CONDITIONS.
 12. CONTRACTOR TO COMPLY WITH ALL OSHA SAFETY REQUIREMENTS.



SILT FENCE

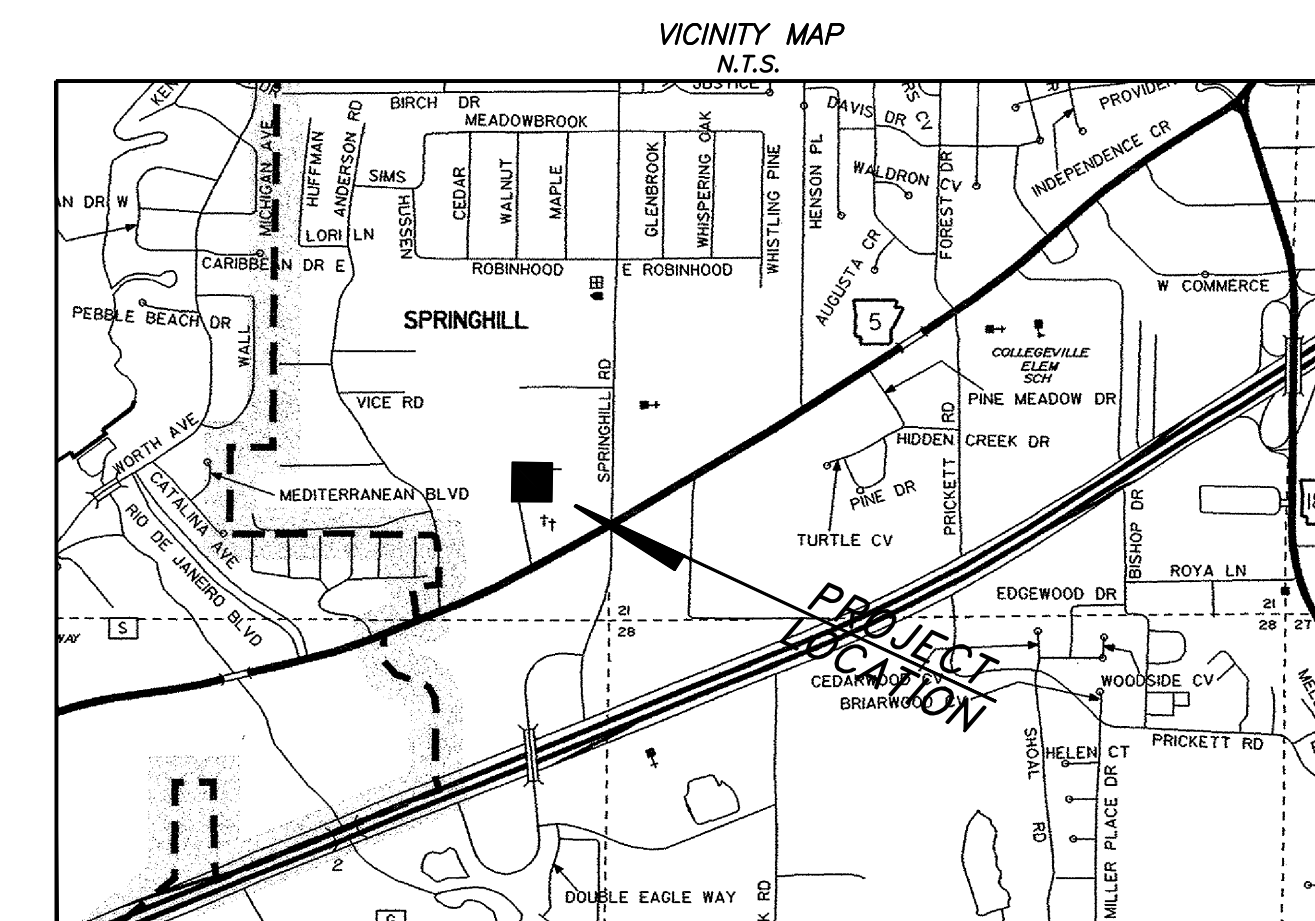


CURB INLET SEDIMENT BARRIER



ROCK DAM

- NOTES:
1. FOR USE IN SMALL CHANNELS WITH DRAINAGE AREAS OF 50 ACRES OR LESS.
 2. MUST BE USED IN CONJUNCTION WITH OTHER APPROPRIATE SEDIMENT CONTROL MEASURES.
 3. USE BELOW CULVERT INSTALLATIONS, DAM CONSTRUCTION, OR ANY PROJECT THAT MAY INVOLVE GRADING ACTIVITY DIRECTLY IN A STREAM.
 4. NOT INTENDED TO SUBSTANTIALLY IMPOUND WATER.
 5. USE AT THE UPSTREAM END OF PONDS OR LAKES.
 6. EDGES SHOULD NOT BE HIGHER THAN THE CHANNEL BANKS.
 7. CENTER SHOULD BE AT LEAST 6 INCHES LOWER THAN THE OUTER EDGES OF THE DAM AT THE CHANNEL BANKS.
 8. HEIGHT SHOULD NOT EXCEED ELEVATION OF UPSTREAM PROPERTY LINE.
 9. SIDE SLOPES SHOULD BE 2:1 OR FLATTER.
 10. TOP WIDTH SHOULD BE GREATER THAN 6 FEET.
 11. EXTENDS COMPLETELY ACROSS THE CHANNEL AND SECURELY INTO BOTH CHANNEL BANKS
 12. REQUIRES PERIODIC INSPECTION AND MAINTENANCE.
 13. SEDIMENT REMOVED WHEN IT REACHES ONE-HALF OF THE ORIGINAL DAM HEIGHT



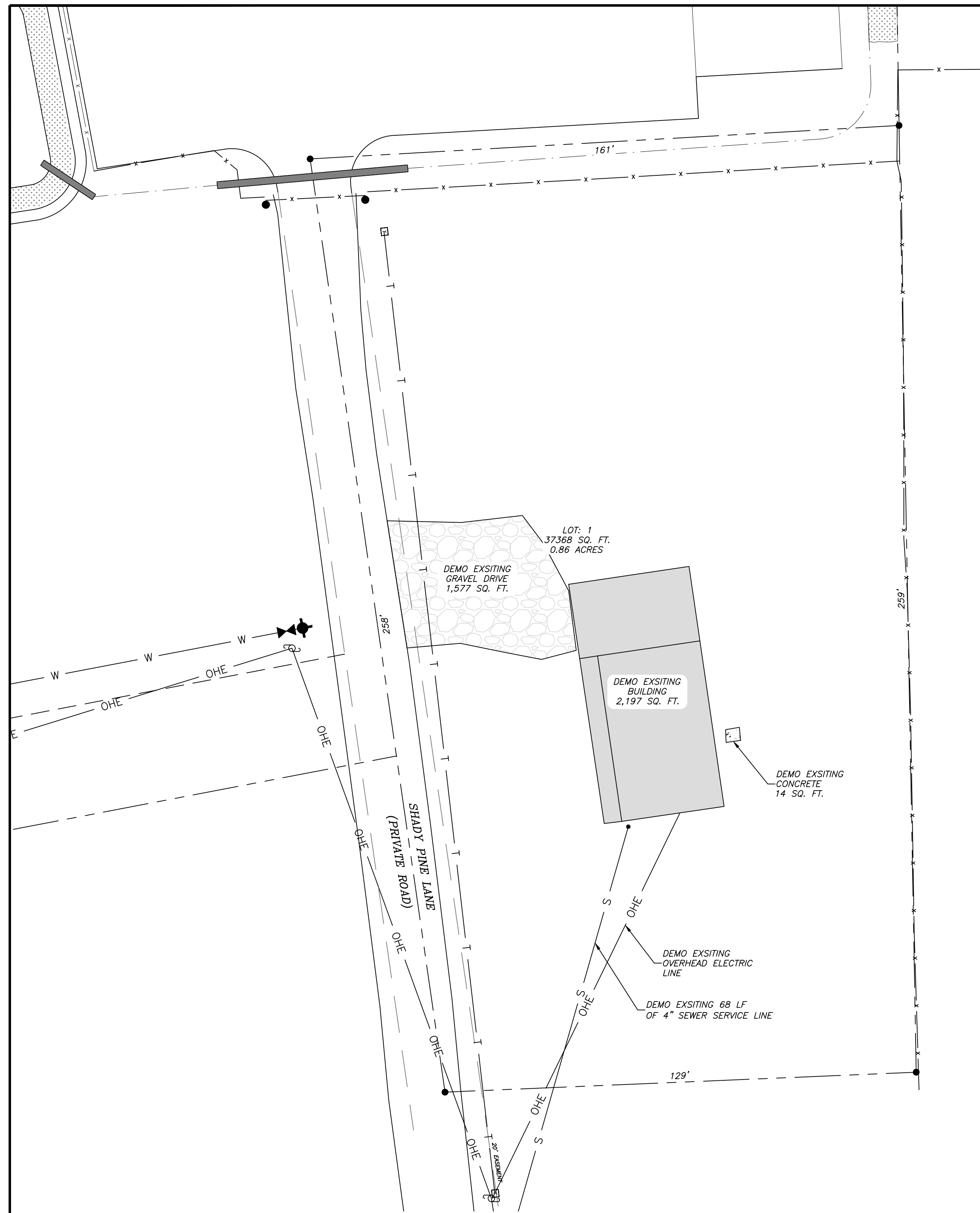
RICHARDSON ENGINEERING
 Planning • Engineering • Development Consulting
 325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

Professional Engineer
 Richardson
 No. 2519
 ARKANSAS

EROSION CONTROL/SWPPP SITE PLAN
 SHADY PINE PLAZA
 PART OF THE SE 1/4 OF THE
 SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

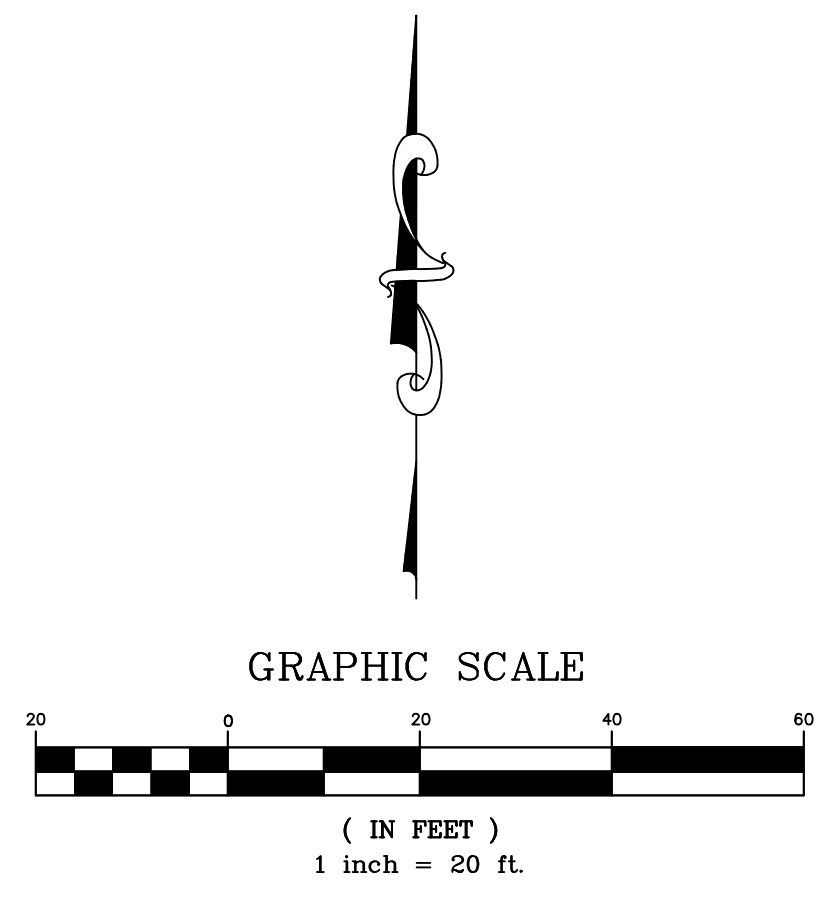
PROJECT NO.: 023-006
 Date: 02/22/2023
 Scale: 1" = 20'
 Sheet: 2 of 11



GENERAL CONSTRUCTION NOTES

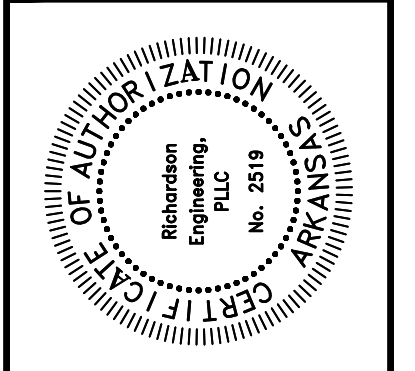
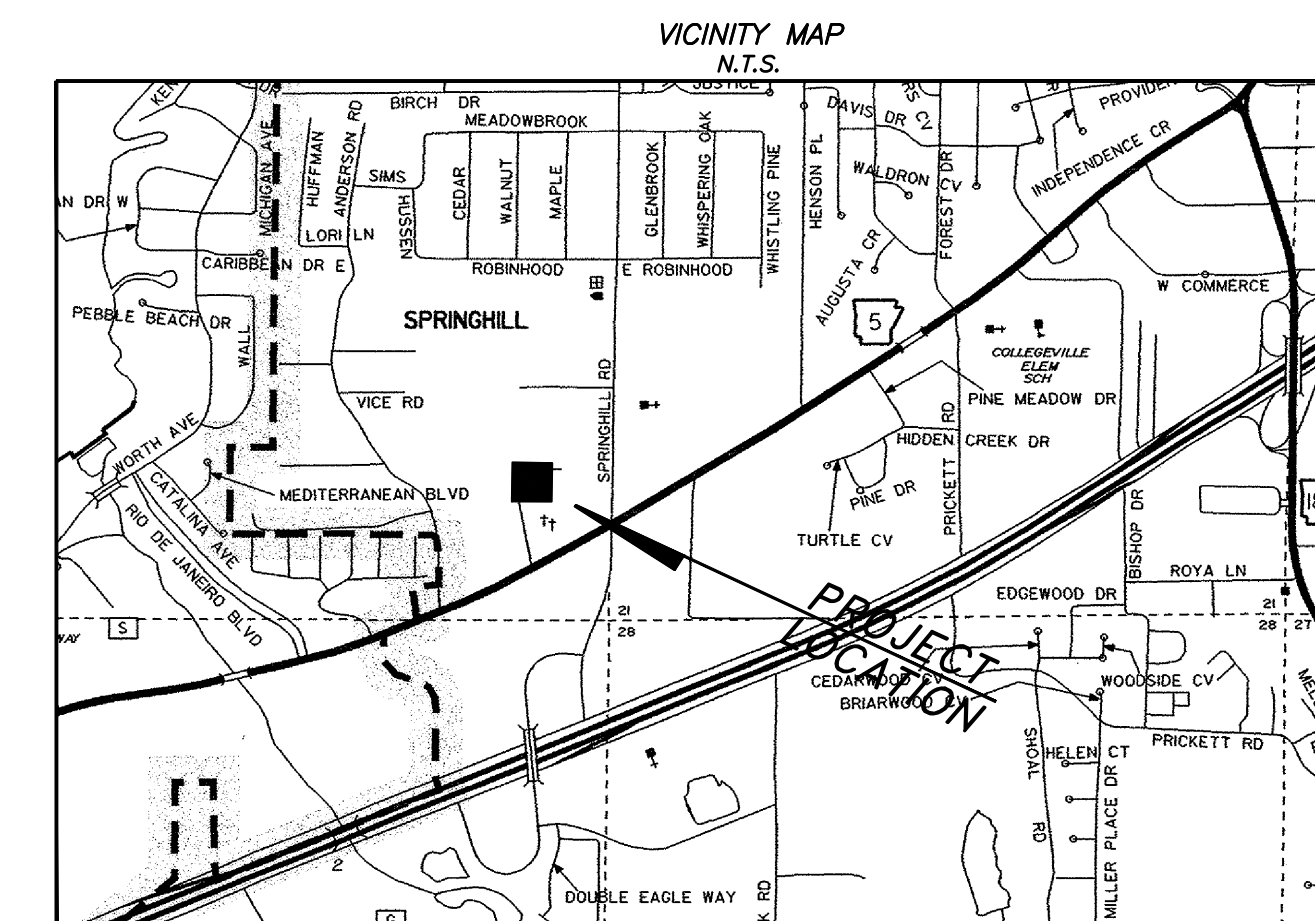
- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- C. ALL SITE AND UTILITY IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE BRYANT WATER STANDARD SPECIFICATIONS.
- D. THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, SERVICE CONNECTIONS, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- F. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- G. CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY BRYANT WATER. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
- H. FIBER OPTIC CABLE ON AND/OR ADJACENT TO THIS SITE WERE NOT LOCATED BY THE SURVEY AND ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY FIBER OPTIC CABLES ASSOCIATED WITH THIS SITE AND TAKE ALL NECESSARY AND REQUIRED PRECAUTIONS TO PROTECT ANY EXISTING FIBER OPTIC CABLES. CONTRACTORS SHALL COORDINATE ALL EFFORTS WITH OWNER OF FIBER OPTIC CABLES OR THEIR DESIGNATED REPRESENTATIVE.
- I. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.
- J. CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS FOR EXCAVATION AND TRENCH SAFETY.
- K. THE LOCATION OF KNOWN SURFACE & SUBSURFACE STRUCTURES, PIPE, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING THEMSELVES AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.

DEMO NOTES:
1) QUANTITATIVE AREAS ARE APPROXIMATE, TO BE VERIFIED BY THE DEMOLITION CONTRACTOR.



Legend

—	Property Boundary
- - - - -	Surveyed lines
— T — T —	Telephone
— X — X —	Road Center line
— X — X —	Wire / Chainlink Fence
— S — S —	Sanitary Sewer
— W — W —	Water Line
.....	Wooded area limits
— OHE — OHE —	Overhead Powerline
☒	Water Box
⊗	822.00 TO TOP OF CURB ELEVATION
⊙	Sanitary Sewer Manhole
⊗	822.00 CU CURB CUTTER ELEVATION
⊕	Storm Sewer Manhole
⊗	822.00 TP TOP OF PAVEMENT ELEVATION
⊞	Telephone Pedestal
⊗	822.00 FG FINISH GRADE
●	Guy Wire
○	Computed Corner
●	Found Monument (Labeled)
☀	Proposed light pole
~~~~~	PROPOSED CONTOUR
~~~~~	EXISTING CONTOUR

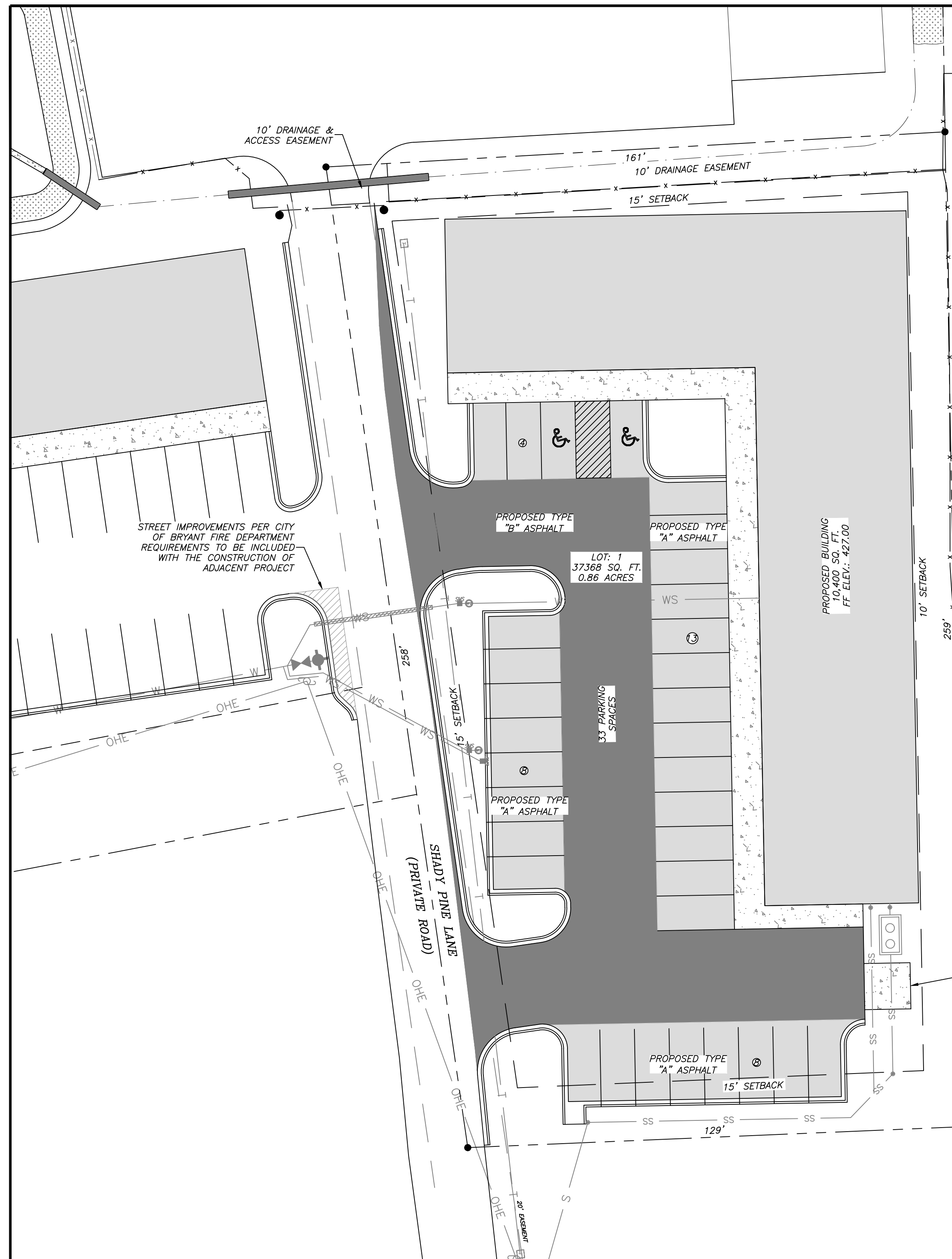


DEMO PLAN
SHADY PINE
PLAZA
PART OF THE SE 1/4 OF THE
SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
ALAN SCHRADER
P.O. BOX 824
BRYANT, AR 72089

Revisions	No.	Date

PROJECT NO.: 023-006
Scale: 1" = 20'
Date: 02/22/2023
Sheet: 3 of 11



UTILITIES:

SANITARY SEWER:
 BRYANT SEWER
 1019 S.W. 2ND STREET
 BRYANT, AR 72022
 (501) 943-0469

WATER:
 BRYANT WATER
 1017 S.W. 2ND STREET
 BRYANT, AR 72022
 (501) 943-0469

ELECTRIC:
 ENTERGY
 SIMMONS TOWER
 425 WEST CAPITOL AVE.
 1827 DALE AVENUE
 LITTLE ROCK, AR 72201
 (800) 368-3749

NATURAL GAS:
 SUMMIT UTILITIES
 400 WEST CAPITOL #600
 LITTLE ROCK, ARKANSAS
 (888) 498-0409

VARIANCES REQUESTED:

- *REAR SETBACK FROM 25' TO 15'.
- *EAST SIDE SETBACK FROM 15' TO 10'.

BY GRAPHIC PLOTTING ONLY
 THE DESCRIBED PROPERTY
 DOES NOT LIE WITHIN A FLOOD
 PRONE AREA.

SOURCE: FIRM
 PANEL NO.: 05119C0434G
 DATE: JUNE 5, 2020

ENGINEER
 RICHARDSON ENGINEERING, PLLC
 ADDRESS: 325 W. SOUTH ST.
 BENTON, AR. 72015
 PHONE NO. (501) 315-7225
 PROJECT REPRESENTATIVE:
 ERIC RICHARDSON, P.E.

SURVEYOR
 SOUTH POINT SURVEYING, PLLC.
 P.O. BOX 400
 SHERIDAN, AR 72150
 (501) 285-5958
 (501) 837-2342

DEVELOPER
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

SITE NOTES

- PROJECT SITE AREA 0.82 ACRES (35,783.8 SQUARE FEET)
- PROJECT PROVIDES 33 PARKING SPACES WITH 2 HANDICAP VAN ACCESSIBLE SPACES.
- CURRENT ZONING C-2
- PROPOSED USE: RETAIL
- PROPOSED LOCATIONS OF TRAFFIC CONTROL MARKERS ARE APPROXIMATE. ACTUAL LOCATION AND INSTALLATION MUST MEET MUTCD AND BRYANT ROAD DEPT. SPECS.
- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AHTD SPECIFICATIONS, AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE & BASE. TEST TO BE CONDUCTED AS PER GEOTECHNICAL ENGINEERS SPECS.
- CONTRACTOR TO INCLUDE IN BID THE COST OF MATERIAL AND INSTALLATION OF STREET SIGNS & TRAFFIC CONTROL SIGNS.
- ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- CONTRACTOR TO ADHERE TO CURRENT OSHA EXCAVATION & TRENCH SAFETY REGULATIONS.
- THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- THIS PROJECT IS NOT IN THE 100 YEAR FLOOD HAZARD AREA. REFERENCE FIRM MAP 05125C0360E EFFECTIVE 06/5/2020

PROPERTY DESCRIPTION AS SURVEYED

A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

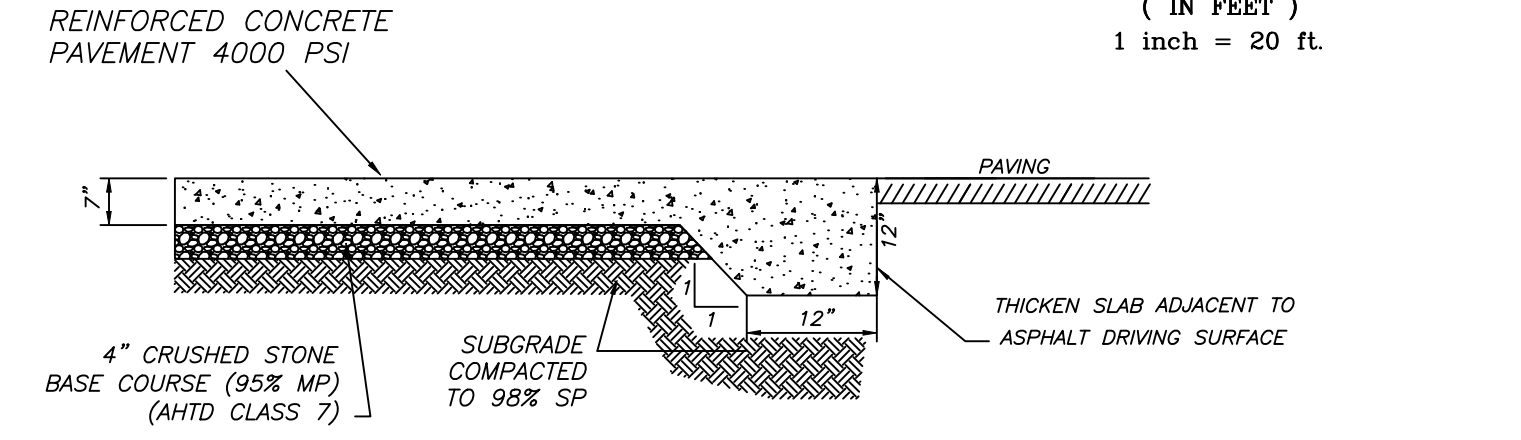
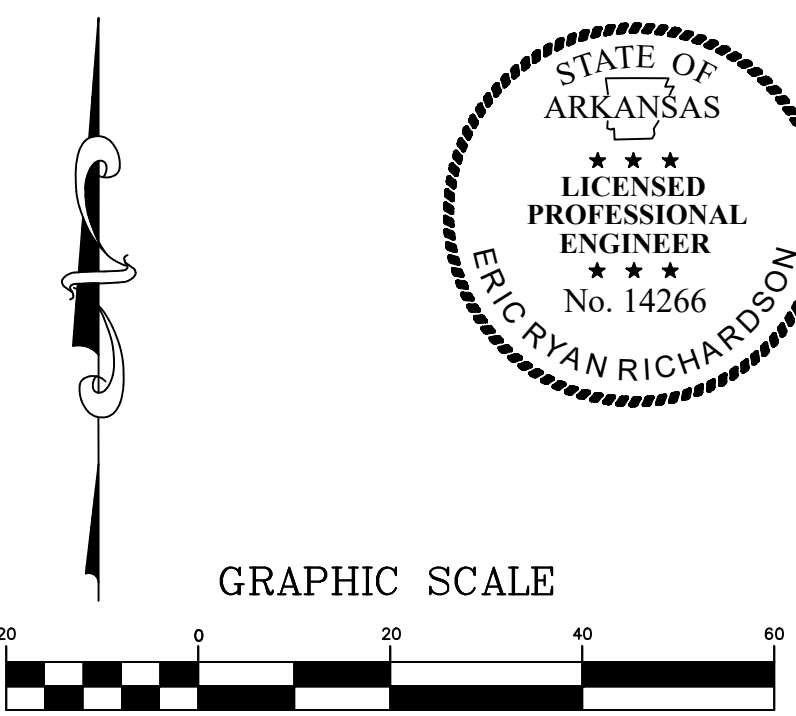
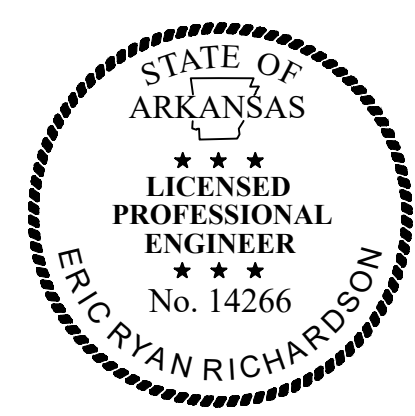
COMMENCE AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER OF SOUTHEAST QUARTER; THENCE SOUTH 89 DEG. 53 MIN. WEST ALONG THE NORTH LINE THEREOF FOR 594.77 FEET; THENCE SOUTH 02 DEG. 54 MIN. 40 SEC. EAST 372.94 FEET TO A SET REBAR AND CAP AND THE POINT OF BEGINNING; THENCE SOUTH 86 DEG. 44 MIN. 59 SEC. WEST 160.93 FEET TO A SET REBAR AND CAP; THENCE SOUTH 08 DEG. 14 MIN. 15 SEC. EAST ALONG THE CENTERLINE OF SHADY PINE LANE 257.54 FEET TO A FOUND MAG NAIL IN SHADY PINE LANE; THENCE NORTH 87 DEG. 37 MIN. 04 SEC. EAST LEAVING SAID ROADWAY 160.00 FEET TO A REBAR; THENCE NORTH 01 DEG. 08 MIN. 11 SEC. EAST 258.79 FEET TO THE POINT OF BEGINNING CONTAINING 0.857 ACRE MORE OR LESS.

TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED ROADWAY, BEING 20 FEET WIDE, THE CENTERLINE OF SAID 20 FOOT EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SAID SE 1/4 OF SE 1/4; THENCE SOUTH 89 DEG. 53 MIN. WEST ALONG THE NORTH LINE THEREOF FOR 594.77 FEET; THENCE SOUTH 02 DEG. 54 MIN. 40 SEC. EAST 383.12 FEET TO A REBAR (DEED SOUTH 02 DEG. 53 MIN. EAST 382.99 FEET); THENCE SOUTH 84 DEG. 44 MIN. 54 SEC. WEST 160.06 FEET TO A REBAR (DEED SOUTH 84 DEG. 46 MIN. WEST 160.17 FEET) AND THE POINT OF BEGINNING AND CENTERLINE OF SAID 20 FOOT EASEMENT; THENCE SOUTH 10 DEG. 06 MIN. 52 SEC. EAST ALONG SAID CENTERLINE 509.74 FEET (DEED SOUTH 10 DEG. 14 MIN. EAST 509.74 FEET) TO THE END OF SAID EASEMENT AND THE NORTH RIGHT OF WAY LINE OF ARKANSAS HIGHWAY #5.

SITE COVERAGE DATA

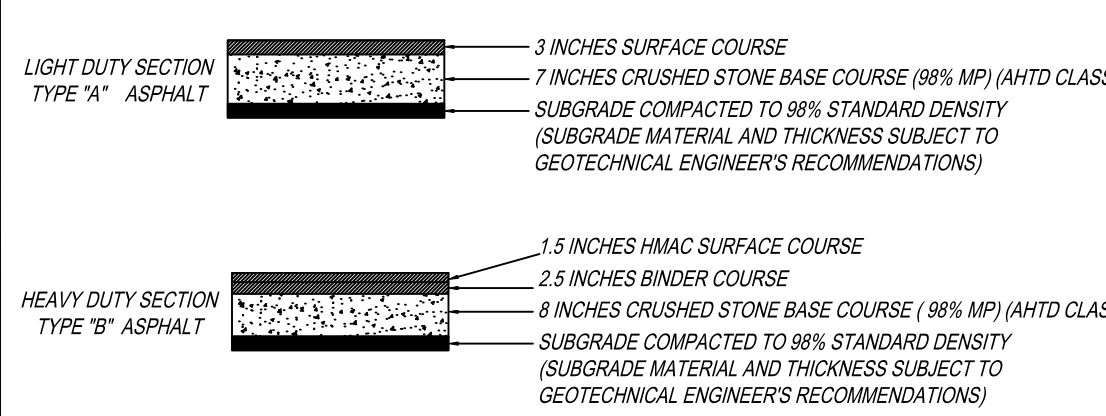
TOTAL AREA	37368 SQ. FT.	100.00%
EXISTING CONDITIONS		
ORIGINAL BUILDINGS	2198 SQ. FT.	5.88%
ORIGINAL PAVEMENT	3263 SQ. FT.	8.73%
ORIGINAL GRASS & PERVIOUS	31907 SQ. FT.	85.39%
PROPOSED IMPROVEMENTS		
DESIGN ASPHALT	14295 SQ. FT.	38.25%
DESIGN BUILDINGS	10400 SQ. FT.	27.83%
DESIGN CONCRETE	2933 SQ. FT.	7.85%
PROJECT DESIGN TOTALS		
TOTAL IMPERVIOUS	27628 SQ. FT.	73.93%
TOTAL PERVIOUS	9740 SQ. FT.	26.07%



DUMPSTER CONCRETE SECTION
 NTS

* PAVEMENT SECTION & REINFORCEMENT AS PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

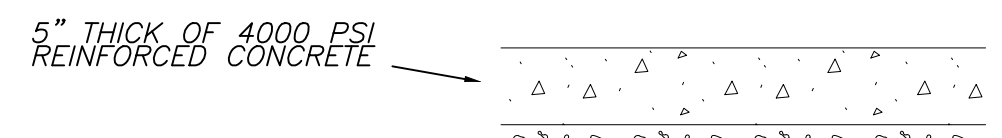
PAVEMENT SECTION



* PAVEMENT SECTION SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

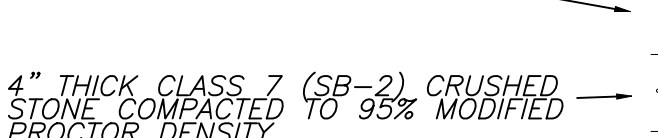


TYPICAL CURB & GUTTER DETAIL
 N.T.S.



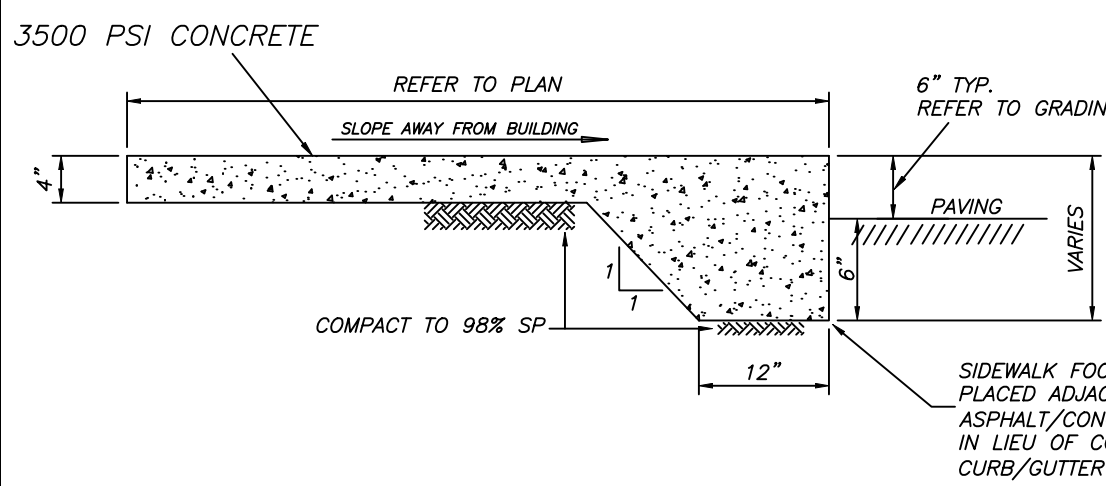
**5\"/>
 REINFORCED CONCRETE**

* CONCRETE PAVEMENT AND REINFORCEMENT TO BE VERIFIED PER ACI 330R-08-SPB AND SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

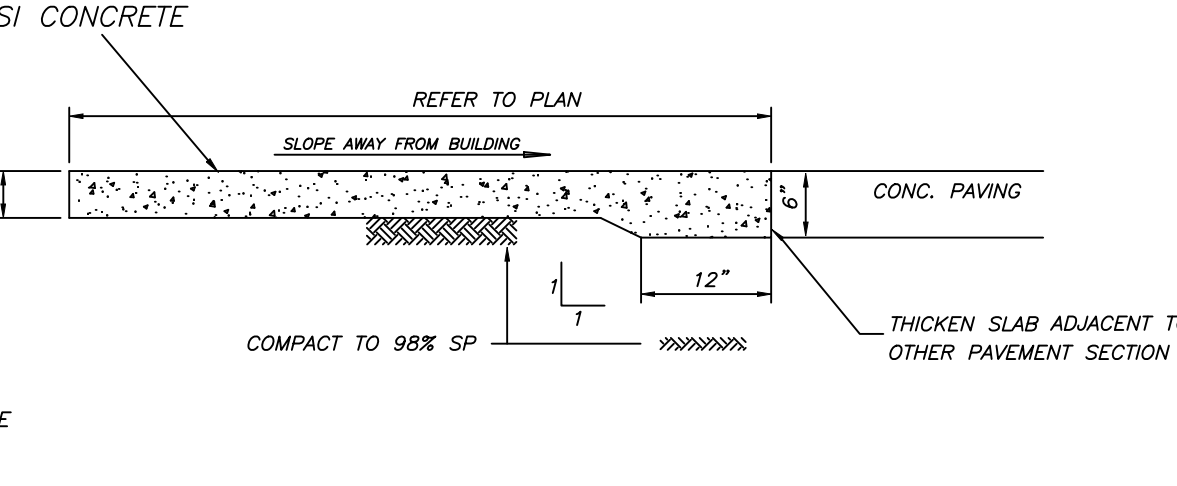


**7\"/>
 REINFORCED CONCRETE**

* CONCRETE PAVEMENT AND REINFORCEMENT TO BE VERIFIED PER ACI 330R-08-SPB AND SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



CONC. SIDEWALK - TYPE 'A'
 NTS



CONC. SIDEWALK - TYPE 'B'
 NTS



LIGHT DUTY CONCRETE PAVEMENT SECTION (OPTIONAL)
 NTS



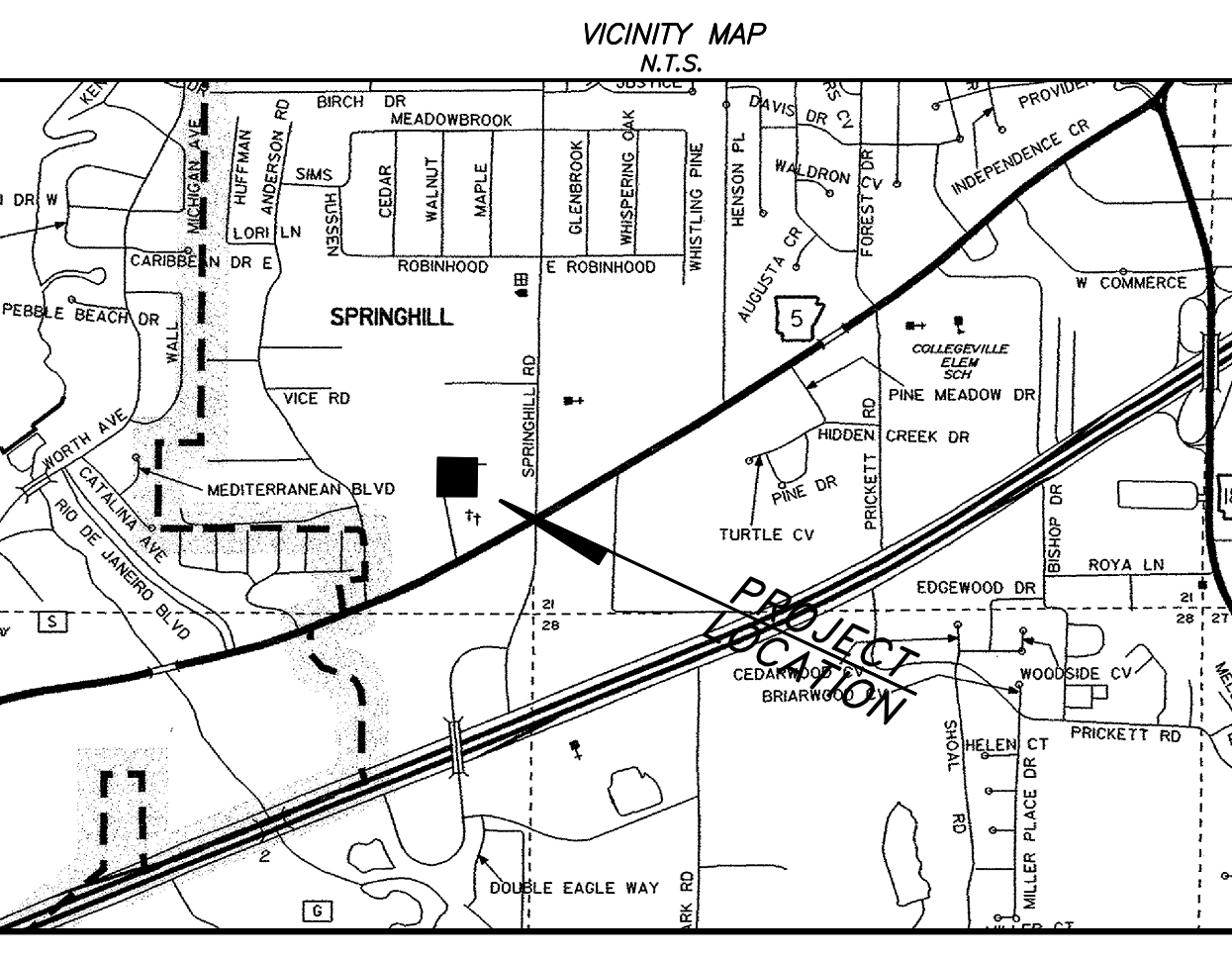
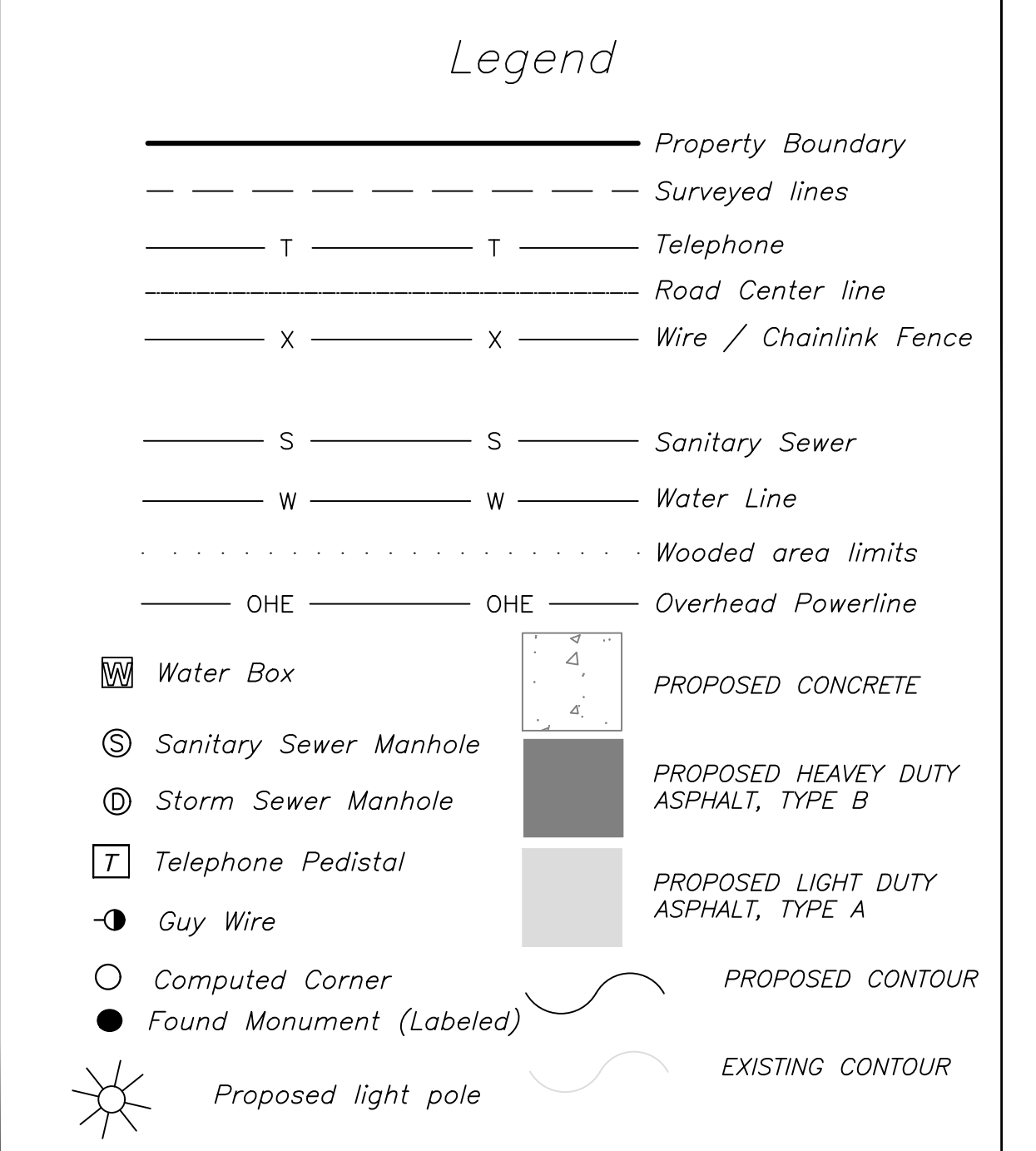
HEAVY DUTY CONCRETE PAVEMENT SECTION (OPTIONAL)
 NTS

GENERAL NOTES:

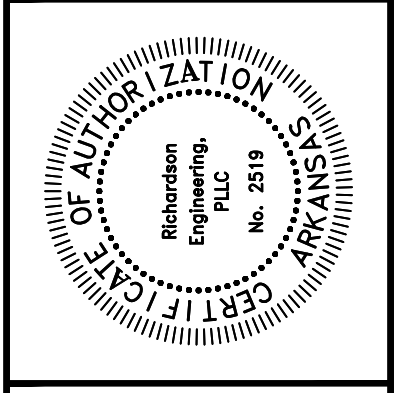
- SURVEYING PROVIDED BY SOUTH POINT SURVEYING, PLLC.
- BUILDING LINES TO BE AS NOTED ON SITE PLAN.
- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
- ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
- CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.

SITE PLAN NOTES:

- REFER TO LANDSCAPING PLAN FOR REQUIREMENTS /LIGHTING PLAN TO BE VERIFIED W/OWNER. REVISIONS TO PLAN TO BE SUBMITTED TO CITY.
- UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED BY OTHERS.
- THERE ARE NO EROSION PROBLEMS ON THE SITE OR KNOWN EROSION PROBLEMS WITHIN 300' DOWNSTREAM. THERE IS NO SURFACE EVIDENCE OF EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRING WATER IMPOUNDMENTS, AND UNDERGROUND STRUCTURES WITHIN THE PROJECT.
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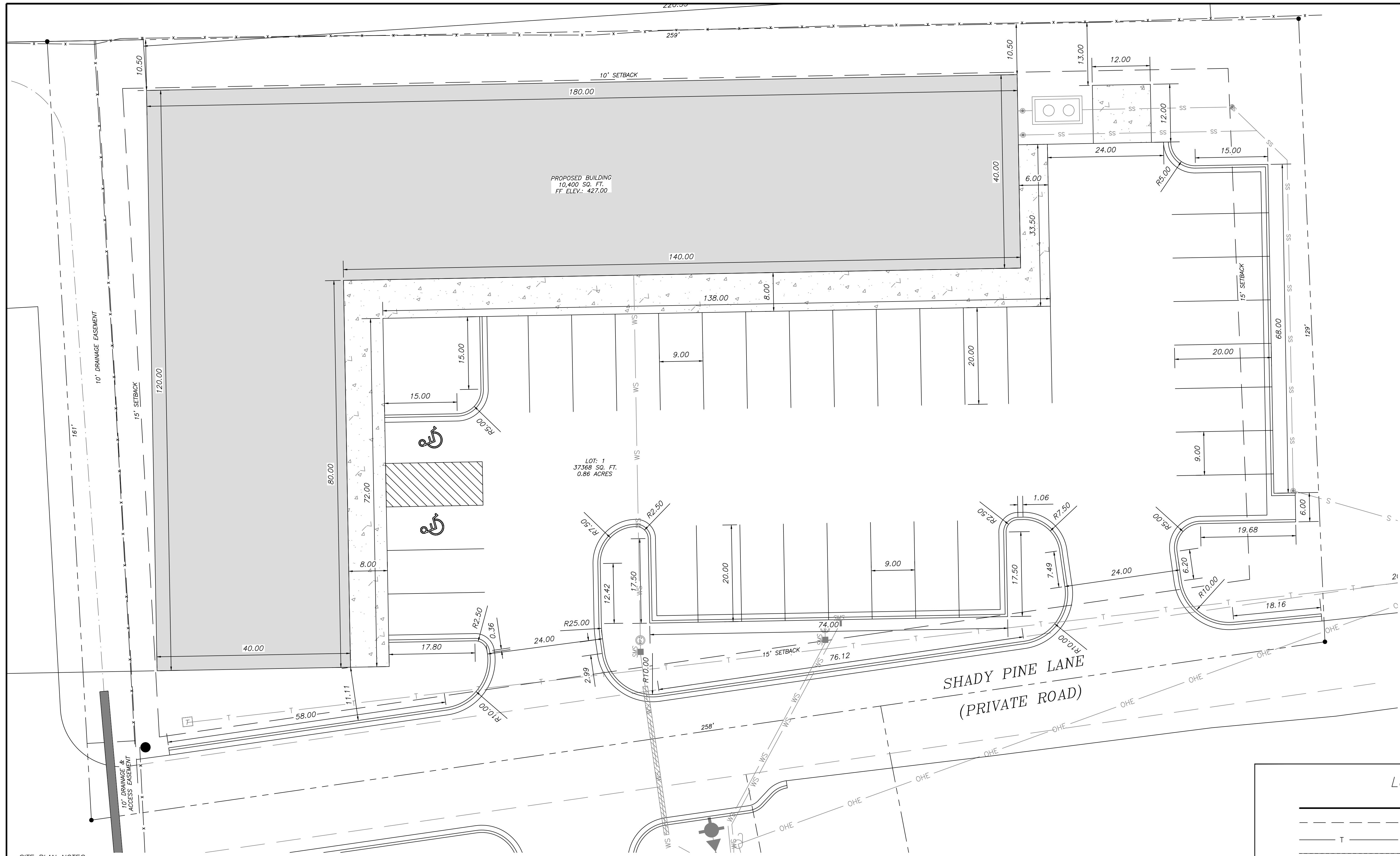
RICHARDSON ENGINEERING
 Planning • Engineering • Development Consulting
 325 W. SOUTH STREET, BENTON, AR 72015 (501) 315-7225



SITE PLAN
 SHADY PINE
 PLAZA
 PART OF THE SE 1/4 OF THE
 SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

PROJECT NO.: 023-006	Date: 02/22/2023	Scale: 1" = 20'	Sheet: 4 of 11
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VARIANCES REQUESTED:
 *REAR SETBACK FROM 25' TO 15';
 *EAST SIDE SETBACK FROM 15' TO 10'.

BY GRAPHIC PLOTTING ONLY
 THE DESCRIBED PROPERTY
 DOES NOT LIE WITHIN A FLOOD
 PRONE AREA.
 SOURCE: FIRM
 PANEL NO.: 05119C0434G
 DATE: JUNE 5, 2020

ENGINEER
 RICHARDSON ENGINEERING, PLLC
 ADDRESS: 325 W. SOUTH ST.
 BENTON, AR 72015
 PHONE NO. (501) 315-7225
 PROJECT REPRESENTATIVE:
 ERIC RICHARDSON, P.E.

SURVEYOR
 SOUTH POINT SURVEYING, PLLC.
 P.O. BOX 400
 SHERIDAN, AR 72150
 (501) 285-5958
 (501) 837-2342

DEVELOPER
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

UTILITIES:

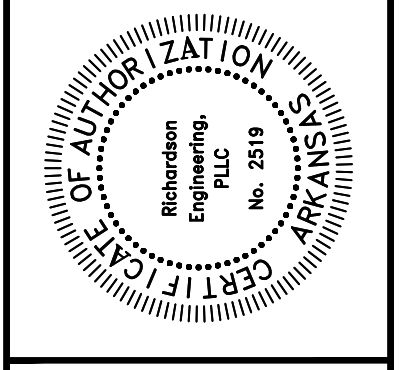
SANITARY SEWER:
 BRYANT SEWER
 1019 S.W. 2ND STREET
 BRYANT, AR 72022
 (501) 943-0469

WATER:
 BRYANT WATER
 1017 S.W. 2ND STREET
 BRYANT, AR 72022
 (501) 943-0469

ELECTRIC:
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 425 WEST CAPITOL AVE.
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 LITTLE ROCK, AR 72201
 (800) 368-3749

NATURAL GAS:
 SUMMIT UTILITIES
 400 WEST CAPITOL #600
 LITTLE ROCK, ARKANSAS
 (888) 498-0409

RICHARDSON ENGINEERING
 Planning • Engineering • Development Consulting
 325 W. SOUTH STREET, BENTON, AR 72015 (501) 315-7225



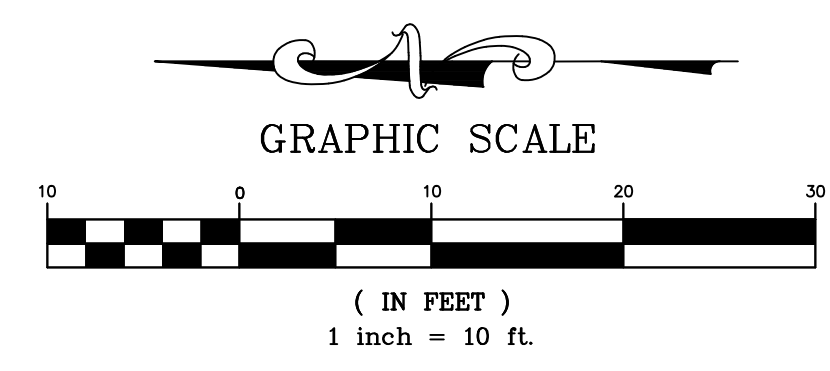
SITE DIMENSIONAL PLAN
 SHADY PINE
 PLAZA
 PART OF THE SE 1/4 OF THE
 SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

- SITE PLAN NOTES:**
- REFER TO LANDSCAPING PLAN FOR REQUIREMENTS /LIGHTING PLAN TO BE VERIFIED W/OWNER. REVISIONS TO PLAN TO BE SUBMITTED TO CITY.
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- SITE NOTES**
- PROJECT SITE AREA 0.82 ACRES (35,783.8 SQUARE FEET)
 - PROJECT PROVIDES 33 PARKING SPACES WITH 2 HANDICAP VAN ACCESSIBLE SPACES.
 - CURRENT ZONING C-2
 - PROPOSED USE: RETAIL
 - PROPOSED LOCATIONS OF TRAFFIC CONTROL MARKERS ARE APPROXIMATE. ACTUAL LOCATION AND INSTALLATION MUST MEET MUTCD AND BRYANT ROAD DEPT. SPECS.
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 - ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
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 - THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
 - THIS PROJECT IS NOT IN THE 100 YEAR FLOOD HAZARD AREA. REFERENCE FIRM MAP 05125C0360E EFFECTIVE 06/5/2020

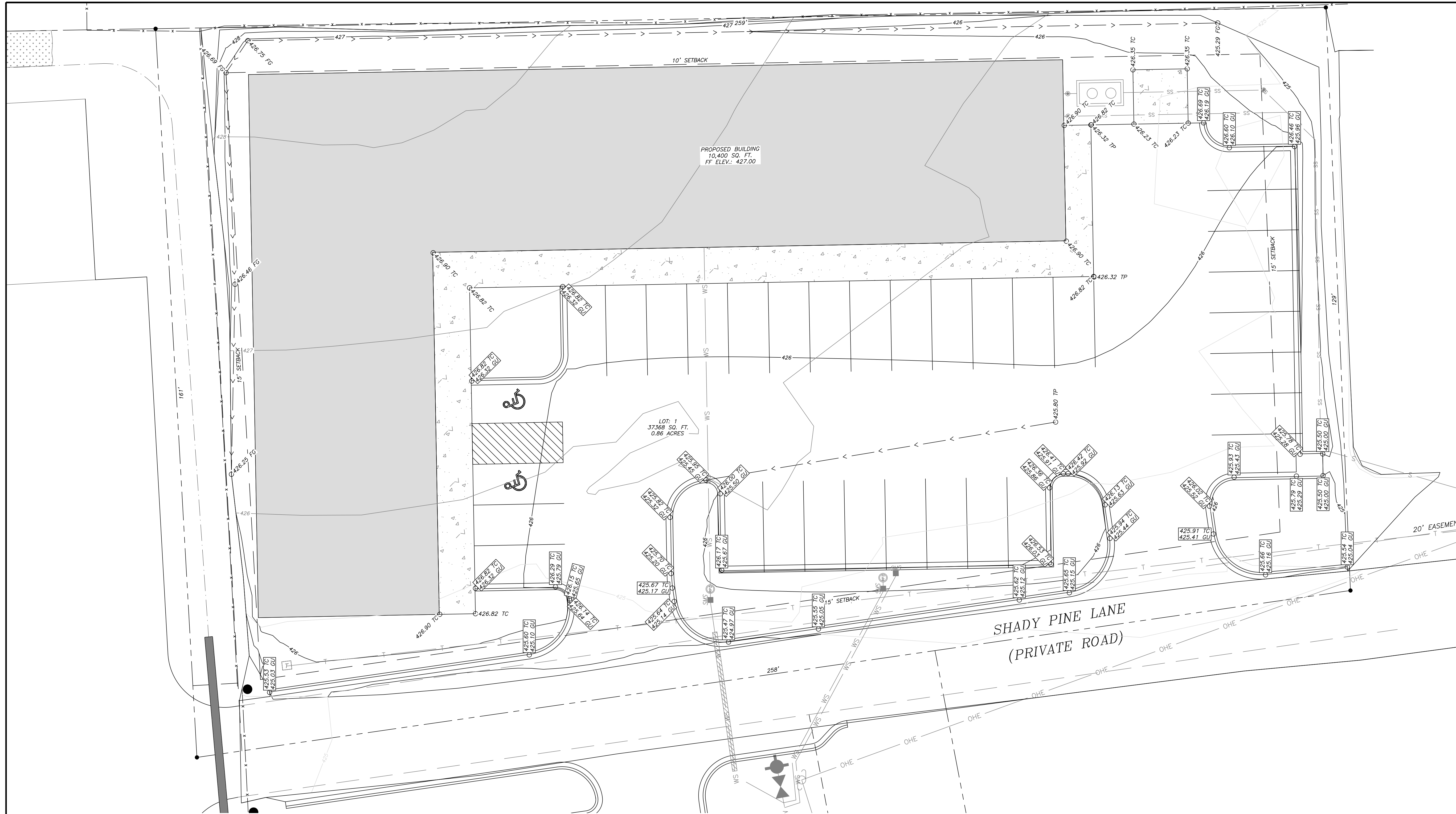
- GENERAL NOTES:**
- SURVEYING PROVIDED BY SOUTH POINT SURVEYING, PLLC.
 - BUILDING LINES TO BE AS NOTED ON SITE PLAN.
 - PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
 - ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
 - CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
 - ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
 - CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
 - THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.



Legend

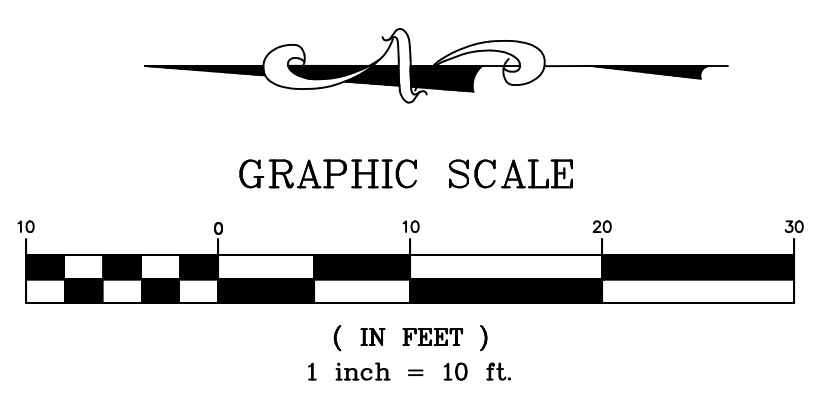
—	Property Boundary	—	Sanitary Sewer
- - -	Surveyed lines	—	Water Line
T	Telephone	Wooded area limits
— T —	Road Center line	— OHE —	Overhead Powerline
x	Wire / Chainlink Fence	WB	Water Box
S	Sanitary Sewer	SM	Sanitary Sewer Manhole
W	Water Line	DSM	Storm Sewer Manhole
.....	Wooded area limits	T	Telephone Pedestal
— OHE —	Overhead Powerline	GW	Guy Wire
WB	Water Box	CC	Computed Corner
SM	Sanitary Sewer Manhole	FM	Found Monument (Labeled)
DSM	Storm Sewer Manhole	PL	Proposed light pole
T	Telephone Pedestal	PC	PROPOSED CONTOUR
GW	Guy Wire	EC	EXISTING CONTOUR
CC	Computed Corner		
FM	Found Monument (Labeled)		
PL	Proposed light pole		

PROJECT NO.: 023-006	Date: 02/22/2023	Scale: 1" = 10'	Sheet: 5 of 11
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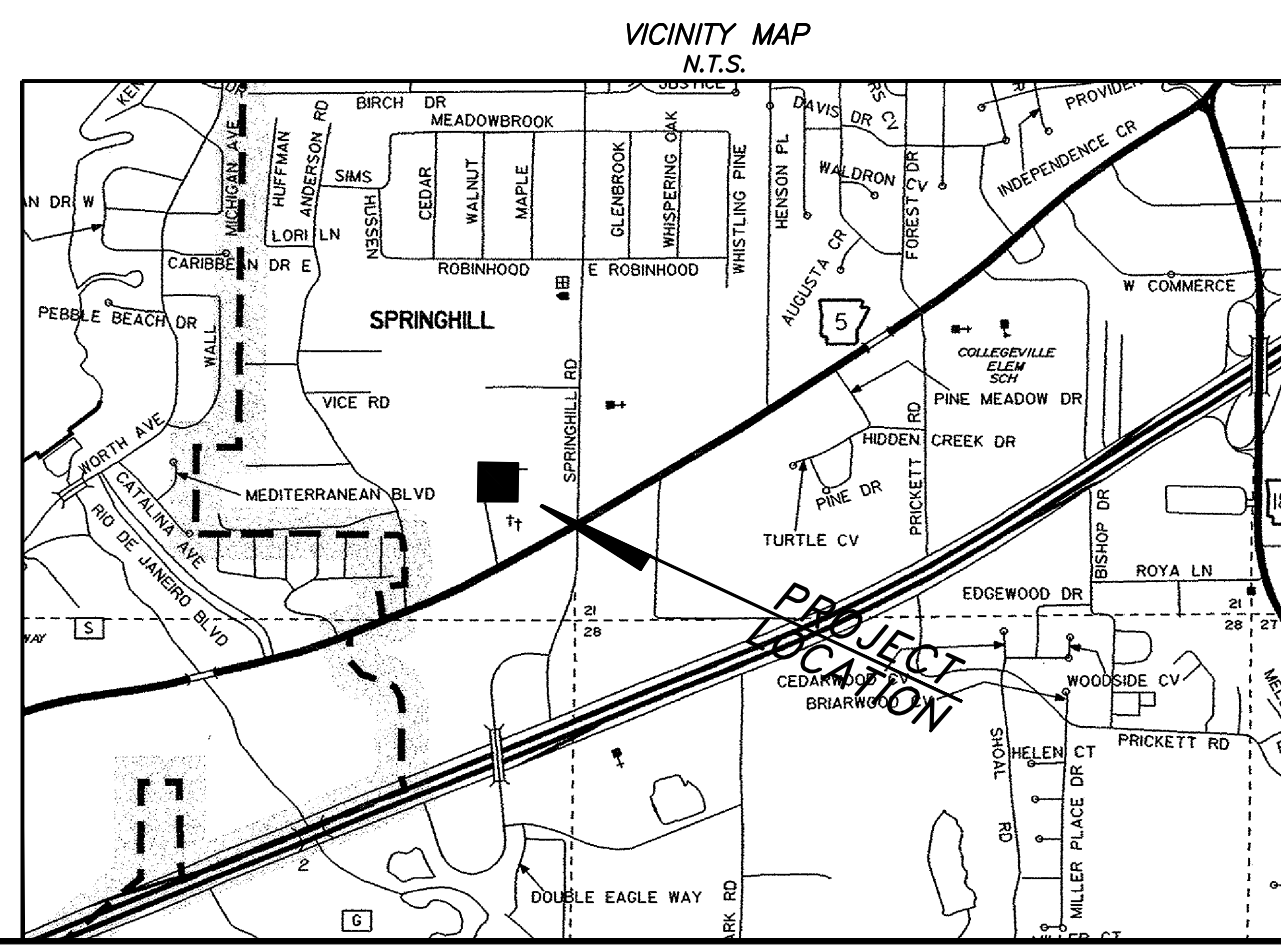


GENERAL CONSTRUCTION NOTES

- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- C. ALL WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE CITY OF BRYANT SEWER STANDARD SPECIFICATIONS AND BRYANT WATER STANDARD SPECIFICATIONS.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF ALL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- F. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- G. CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY BRYANT WATER. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
- H. FIBER OPTIC CABLE ON AND/OR ADJACENT TO THIS SITE WERE NOT LOCATED BY THE SURVEY AND ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY FIBER OPTIC CABLES ASSOCIATED WITH THIS SITE AND TAKE ALL NECESSARY AND REQUIRED PRECAUTIONS TO PROTECT ANY EXISTING FIBER OPTIC CABLES. CONTRACTORS SHALL COORDINATE ALL EFFORTS WITH OWNER OF FIBER OPTIC CABLES OR THEIR DESIGNATED REPRESENTATIVE.
- I. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.



- GENERAL NOTES:**
- 1.) SURVEYING PROVIDED BY SOUTH POINT SURVEYING, PLLC.
 - 2.) BUILDING LINES TO BE AS NOTED ON SITE PLAN.
 - 3.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
 - 4.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
 - 5.) CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
 - 6.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
 - 7.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
 - 8.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.



**RICHARDSON
ENGINEERING**
Planning • Engineering • Development Consulting

325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

GRADING PLAN
SHADY PINE
PLAZA
PART OF THE SE 1/4 OF THE
SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:

Date:

Revisions:

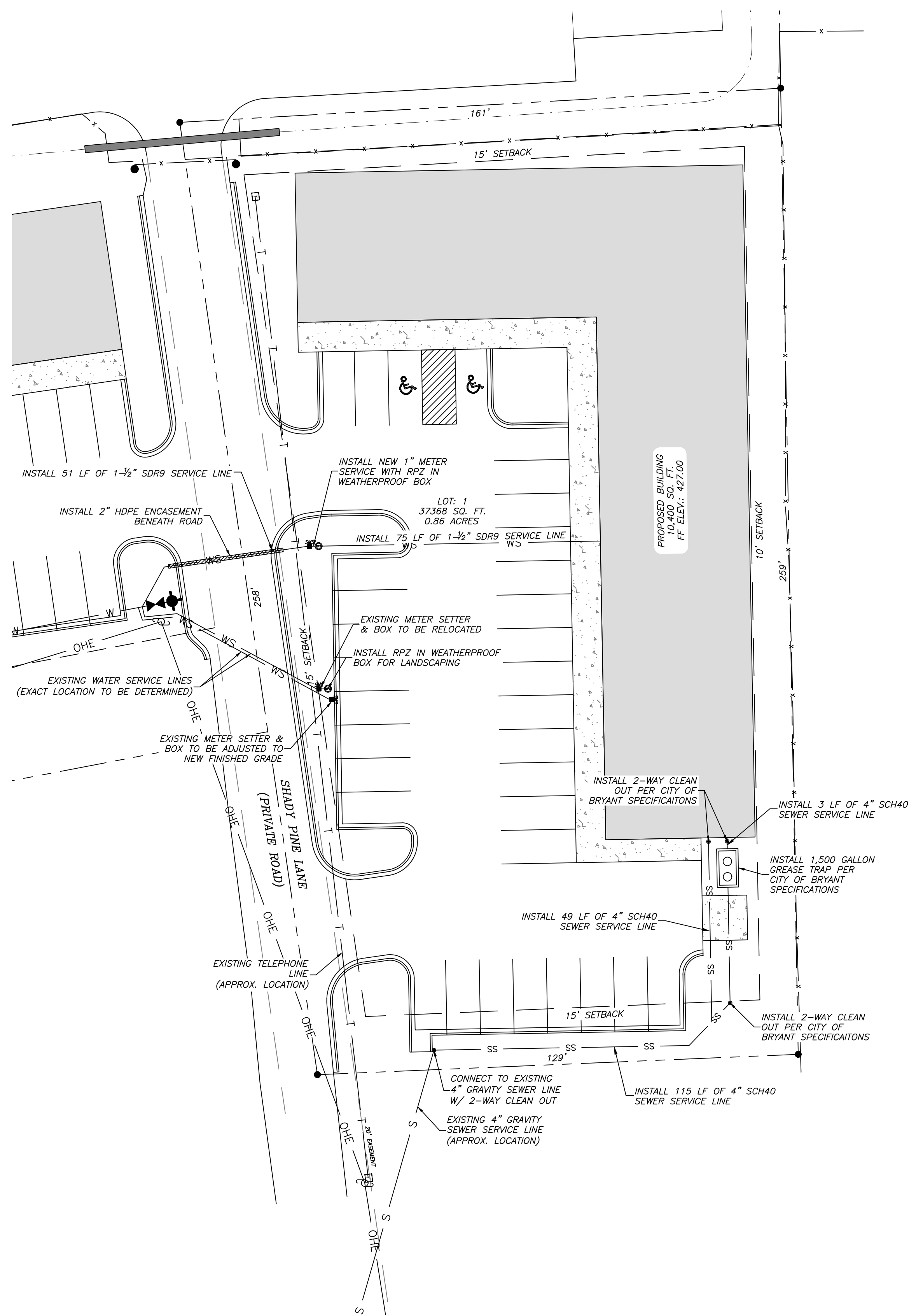
ALAN SCHRADER
P.O. BOX 824
BRYANT, AR 72089

PROJECT NO.: 023-006

Scale: 1" = 10'

Sheet: 6 of 11

Date: 02/22/2023



GENERAL NOTES:

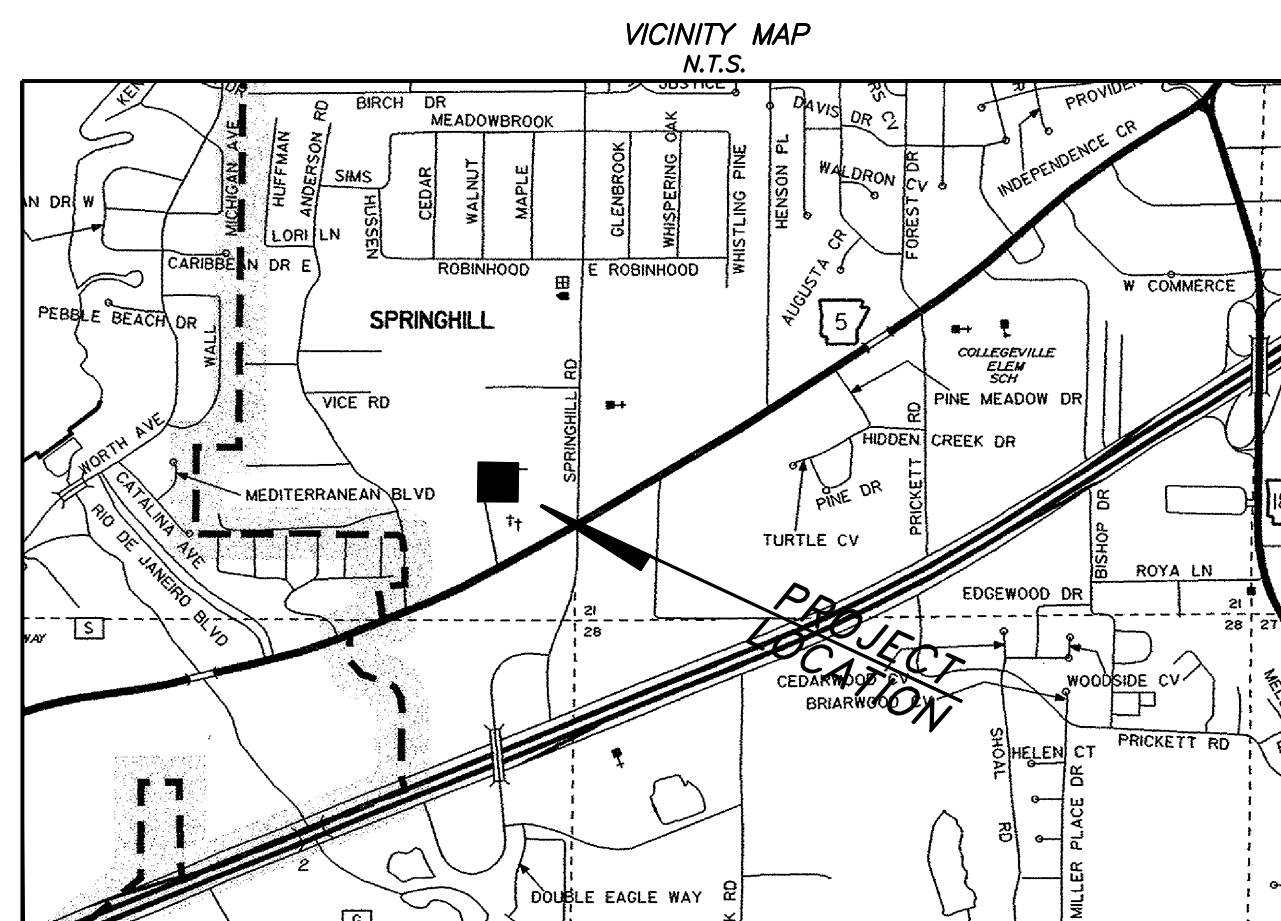
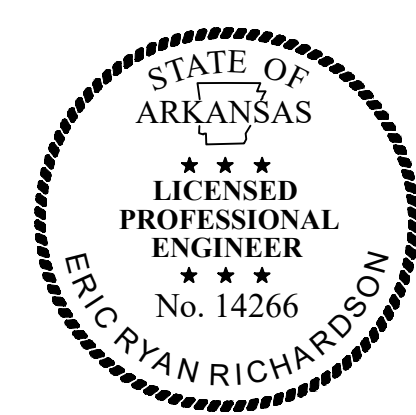
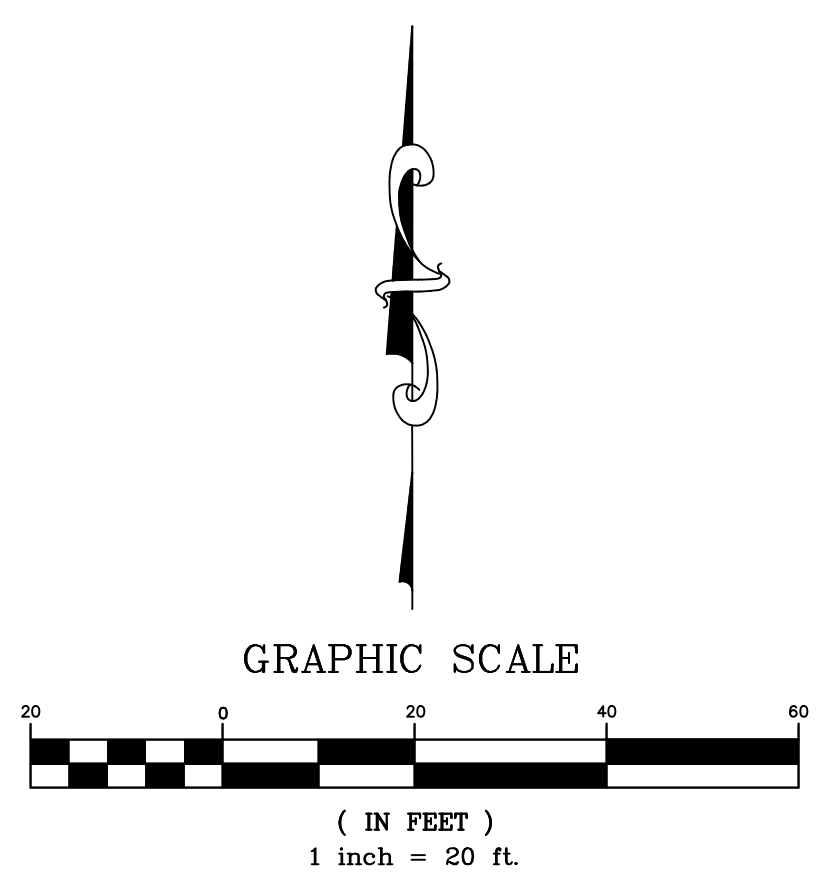
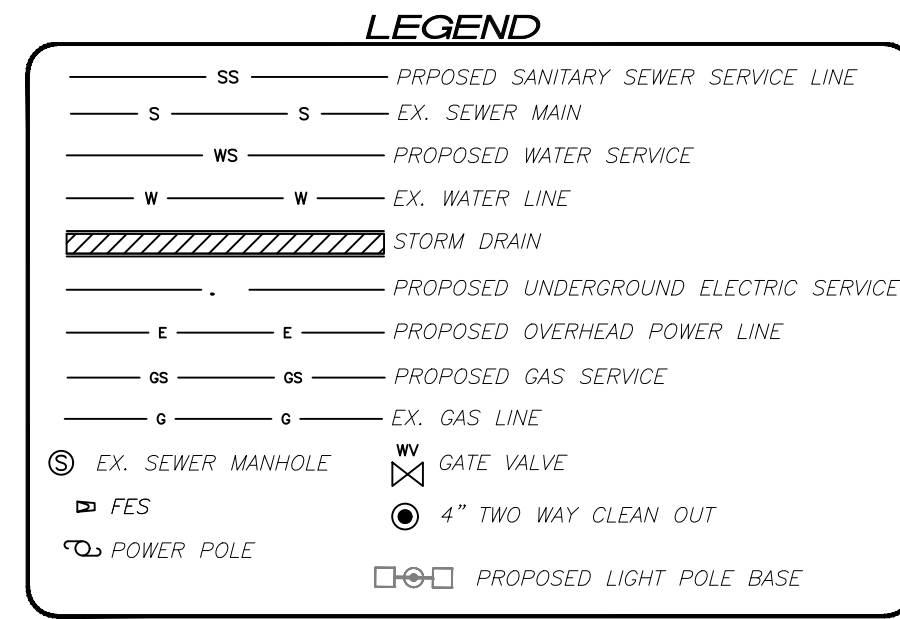
- 1.) ALL CONSTRUCTION AND MATERIALS TO MEET OR EXCEED CITY OF BRYANT SPECIFICATIONS.
- 2.) ALL SEWER GRAVITY MAINS SHALL BE SDR-26 PVC, UNLESS OTHERWISE SHOWN ON PLAN.
- 3.) ALL WATER MAINS SHALL BE DUCTILE IRON PIPE UNLESS OTHERWISE SHOWN ON PLAN.
- 4.) ATTENTION IS CALLED TO WATER, SEWER, AND STREET LAYOUT FOR ADDITIONAL INFORMATION.
- 5.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 6.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- 7.) MINIMUM HORIZONTAL SEPARATION BETWEEN WATERLINES AND SEWERLINES SHALL BE 10'.
- 8.) MINIMUM VERTICAL SEPARATION BETWEEN WATERLINES AND SEWERLINES SHALL BE 18" (WATER ON TOP).
- 9.) CONTRACTOR TO ADHERE TO CURRENT OSHA EXCAVATION & TRENCH SAFETY REGULATIONS.
- 10.) BACKFILL MATERIAL FOR STREET CROSSINGS SHALL BE ACCORDING TO BRYANT STREET DEPT SPECS AND COMPACTED TO 98% M.P. UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER AND UTILITY OWNER.
- 11.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- 12.) CITY OF BRYANT MASTER SPECIFICATIONS APPLY AND ARE AVAILABLE AT WWW.CITYOFBRYANT.COM. ALL CITY OF BRYANT SPECIFICATIONS APPLY.

SEWER NOTES:

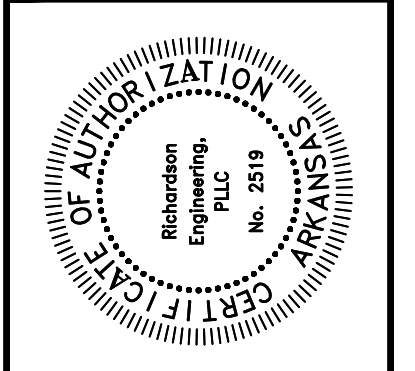
- 1.) ALL CONSTRUCTION AND MATERIALS TO MEET OR EXCEED BRYANT SEWER SPECIFICATIONS.
- 2.) ALL SERVICE LINES SHALL BE 4" SDR-21 OR SCH 40 PVC OR AS SPECIFIED ON THE DESIGN DRAWINGS.
- 3.) CONTRACTOR TO VERIFY METHOD OF CONNECTION WITH THE UTILITY OWNER PRIOR TO CONSTRUCTION.
- 4.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 5.) CONTRACTOR TO ADHERE TO CURRENT OSHA EXCAVATION & TRENCH SAFETY REGULATIONS.
- 6.) BACKFILL FOR ALL DISTURBED (EXCAVATED) AREAS SHALL BE IN ACCORDANCE WITH BRYANT SEWER STANDARD SPECS.
- 7.) A 2-WAY CLEANOUT WITH BACKFLOW PREVENTER SHALL BE INSTALLED WITHIN 5 FEET OF THE BUILDING DIRECTIONALLY. THE CLEANOUT MUST SWEEP AWAY FROM THE VALVE TO PREVENT DAMAGE TO THE BACKFLOW PREVENTER.

WATER NOTES:

- 1.) ALL CONSTRUCTION AND MATERIALS TO MEET OR EXCEED BRYANT WATER SPECIFICATIONS.
- 2.) ALL SERVICE LINES AND METER SETTINGS SHALL BE AS PER BRYANT WATER SPECS.
- 3.) 14ga BLUE COATED COPPER TRACING WIRE TO BE INSTALLED WITH ALL WATERLINES (MAINS & SERVICES).
- 4.) ALL FITTINGS SHALL BE DUCTILE IRON M.J. (WHERE AVAILABLE).
- 5.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 6.) MINIMUM HORIZONTAL SEPARATION BETWEEN WATERLINES & SEWERLINES SHALL BE 10'.
- 7.) MINIMUM VERTICAL SEPARATION BETWEEN WATERLINE & SEWERLINES SHALL BE 18" (WATER ON TOP).
- 8.) CONTRACTOR SHALL ADHERE TO CURRENT OSHA REGULATIONS FOR EXCAVATION & TRENCH SAFETY.
- 9.) STREET CROSSINGS TO MEET CITY OF BRYANT STREET DEPT SPECIFICATIONS.
- 10.) CONTRACTOR TO ADHERE TO AWWA SPECS FOR BLOCKING AND ANCHORING.
- 11.) ON-SITE FIRE HYDRANTS SHALL BE PER CITY OF BRYANT SPECIFICATIONS.



RICHARDSON ENGINEERING
 Planning • Engineering • Development Consulting
 325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

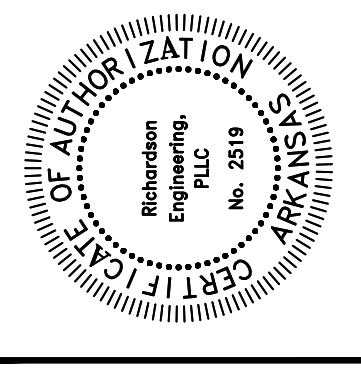
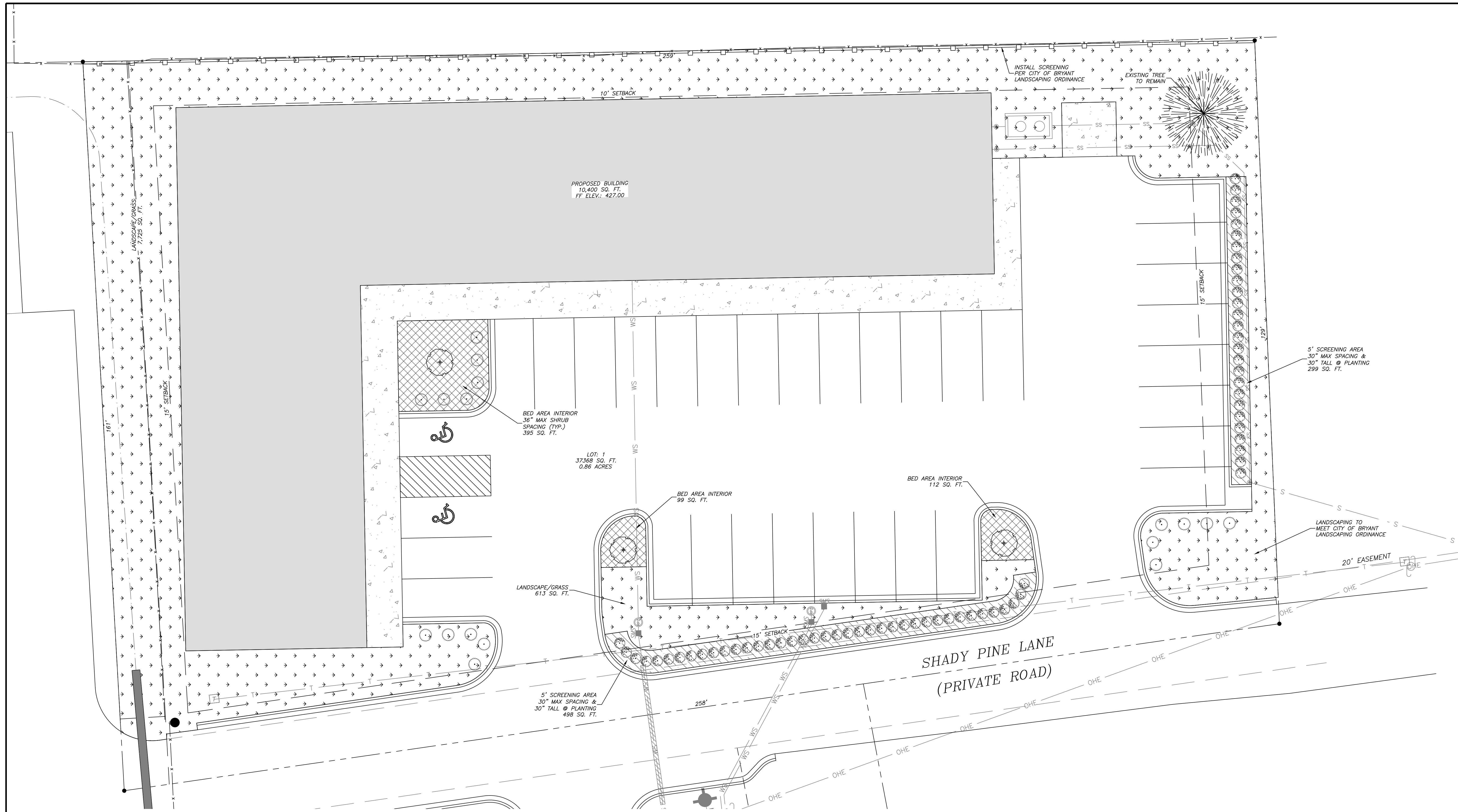


UTILITY PLAN
 SHADY PINE
 PLAZA
 PART OF THE SE 1/4 OF THE
 SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

Revisions	No.	Date

PROJECT NO.: 023-006
 Date: 02/22/2023
 Scale: 1" = 20'
 Sheet: 7 of 11



Date	
Revisions	
PROJECT NO.: 023-006	
Date: 02/21/2023	
Scale: 1" = 10'	
Sheet: 8 of 11	

- GENERAL NOTES:**
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ENGINEER
 RICHARDSON ENGINEERING, PLLC
 ADDRESS: 325 W. SOUTH ST.
 BENTON, AR 72015
 PHONE NO. (501) 315-7225
 PROJECT REPRESENTATIVE:
 ERIC RICHARDSON, P.E.

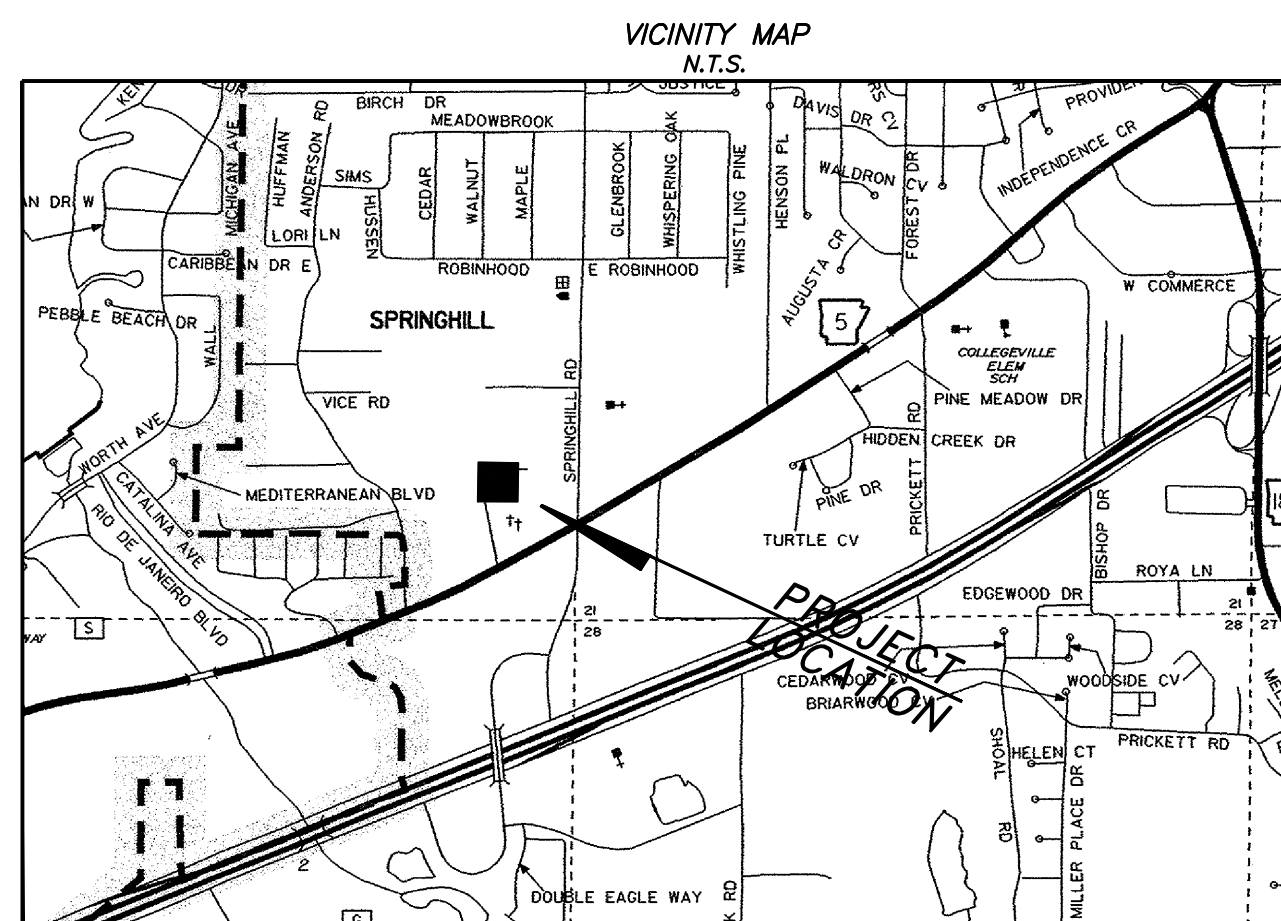
SURVEYOR
 SOUTH POINT SURVEYING, PLLC.
 P.O. BOX 400
 SHERIDAN, AR 72150
 (501) 285-5958
 (501) 837-2342

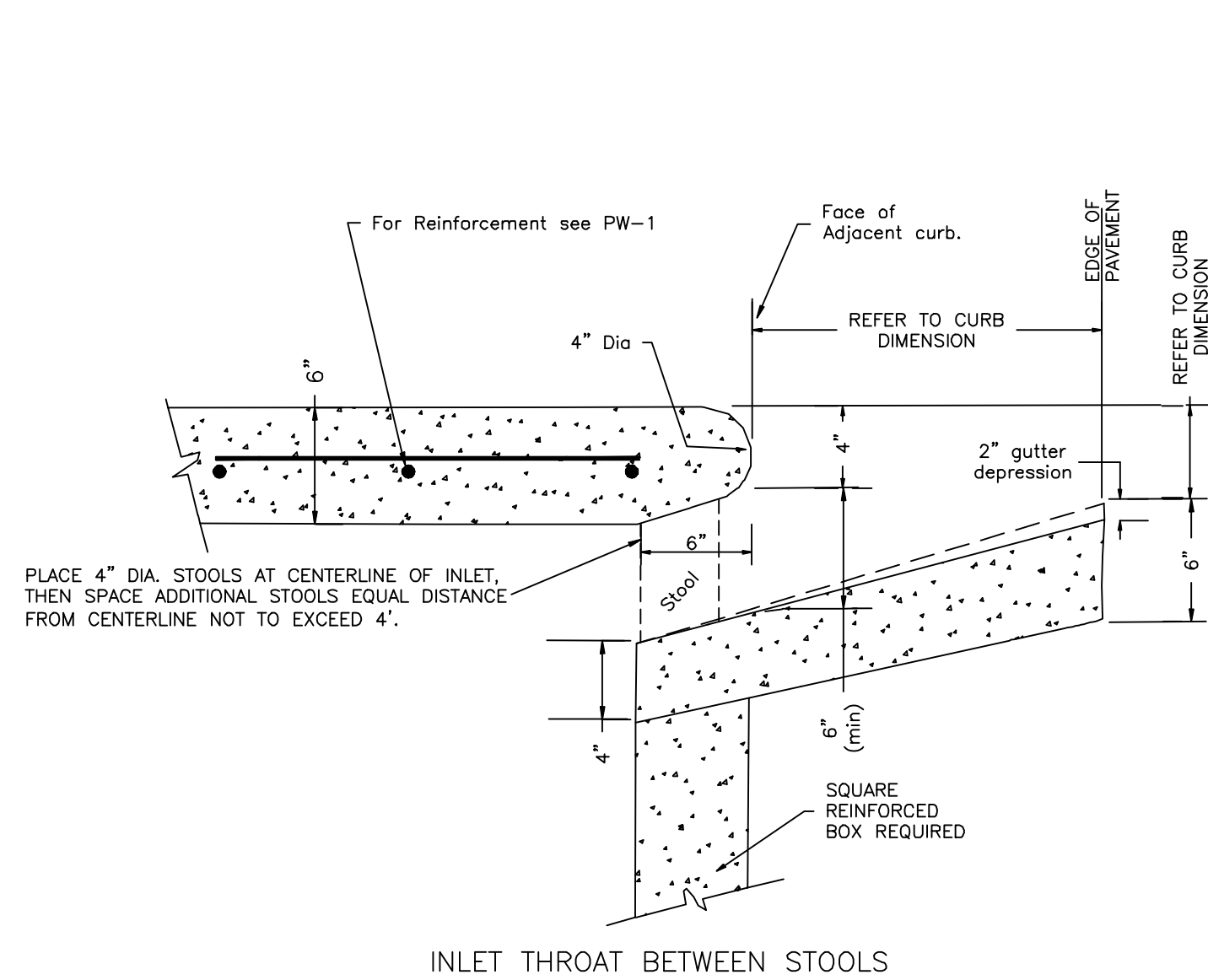
DEVELOPER
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

- LANDSCAPE NOTES:**
- LANDSCAPING SHALL MEET CITY OF BRYANT LANDSCAPING REQUIREMENTS.
 - SPACING FOR SHRUBS IN BEDS AS NOTED.
 - ALL SHRUB MATERIAL MUST BE EIGHTEEN (18) INCHES IN HEIGHT AT INSTALLATION.
 - ALL TREES MUST BE A MINIMUM OF 3" CALIPER AT THE BASE AND 12' TALL AT THE TIME OF INSTALLATION.
 - AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL NEW LANDSCAPE AREAS. THIS SYSTEM WILL PROVIDE 100% COVERAGE FOR LANDSCAPED AREAS.
 - SHRUBS USED FOR SCREENING SHALL BE EVERGREEN IN NATURE AND BE AT LEAST 30 INCHES TALL AT THE TIME OF PLANTING. SPACING SHALL BE CLOSE ENOUGH SO AS TO CREATE A SEAMLESS ROW OF HEDGING.
 - NO PLANTING WITHIN 5' OF A FIRE HYDRANT.
 - SPACING SHALL BE 40" BETWEEN TREES.
 - NO TREES SHALL BE PLANTED WITHIN 30 FEET OF A PROPERTY CORNER OR DRIVEWAY.
 - SHRUBS ALONG STREET RIGHT-OF-WAY LINES SHALL NOT EXCEED 30" IN HEIGHT.

	ILEX OPACA - AMERICAN HOLLY (OR APPROVED EQUIVALENT)		PROPOSED BERMUDA GRASS IN SOD AREA
	BUSUS SEMPERVIRENS - BOXWOOD (OR APPROVED EQUIVALENT)		PROPOSED MULCH/BED AREA / INTERIOR LANDSCAPING
	NANDINA DOMESTICA - NANDINA DWARF ROTUNDA HOLLY (OR APPROVED EQUIVALENT)		PROPOSED BUFFER AREAS
	ILEX SPECIES - EVERGREEN HOLLY (OR APPROVED EQUIVALENT)		

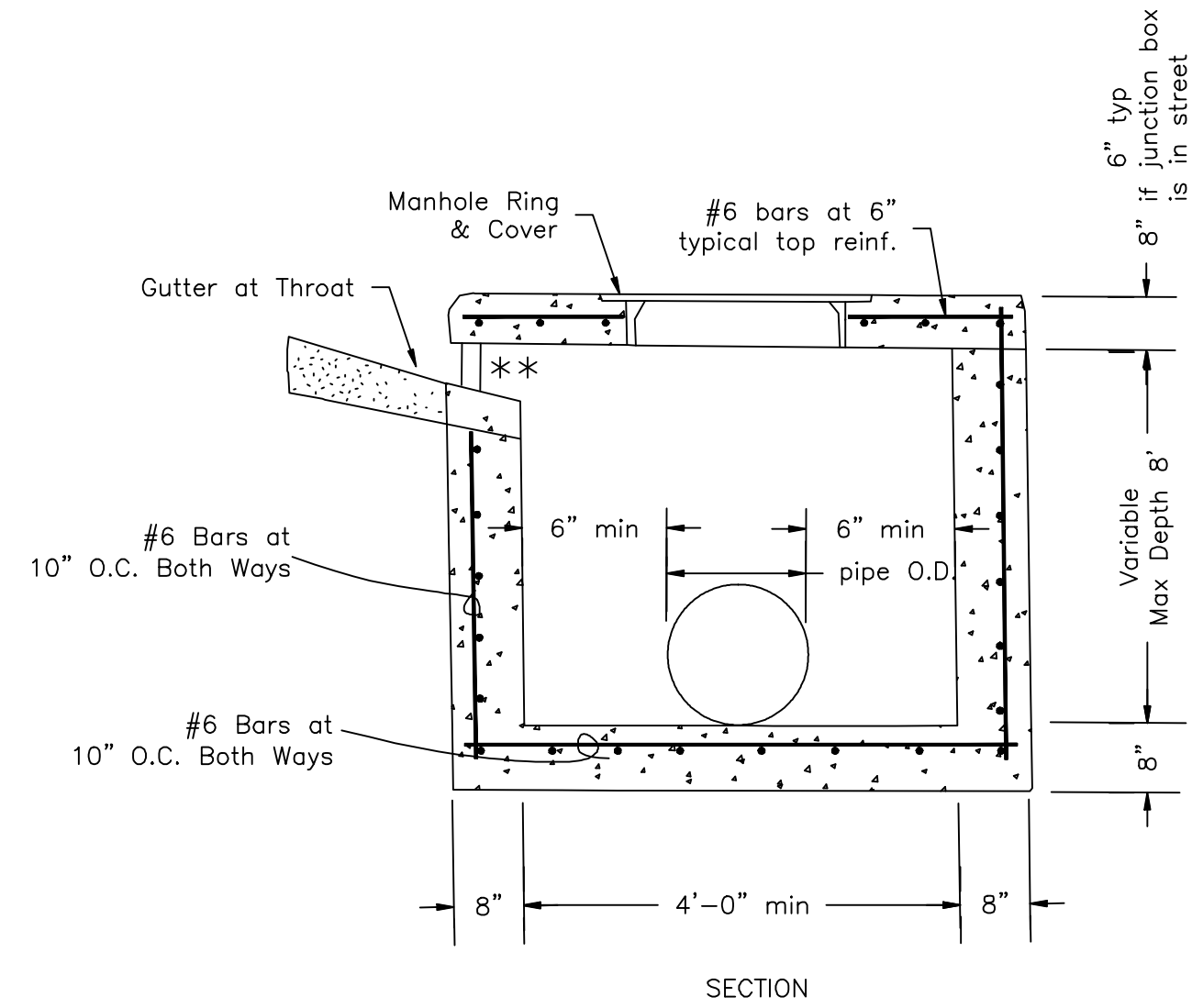
GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft.





INLET THROAT BETWEEN STOOLS

NOTE: This detail is not to be used for inlets in curb radius. See PW-10 for detail of inlet top in curb radius.

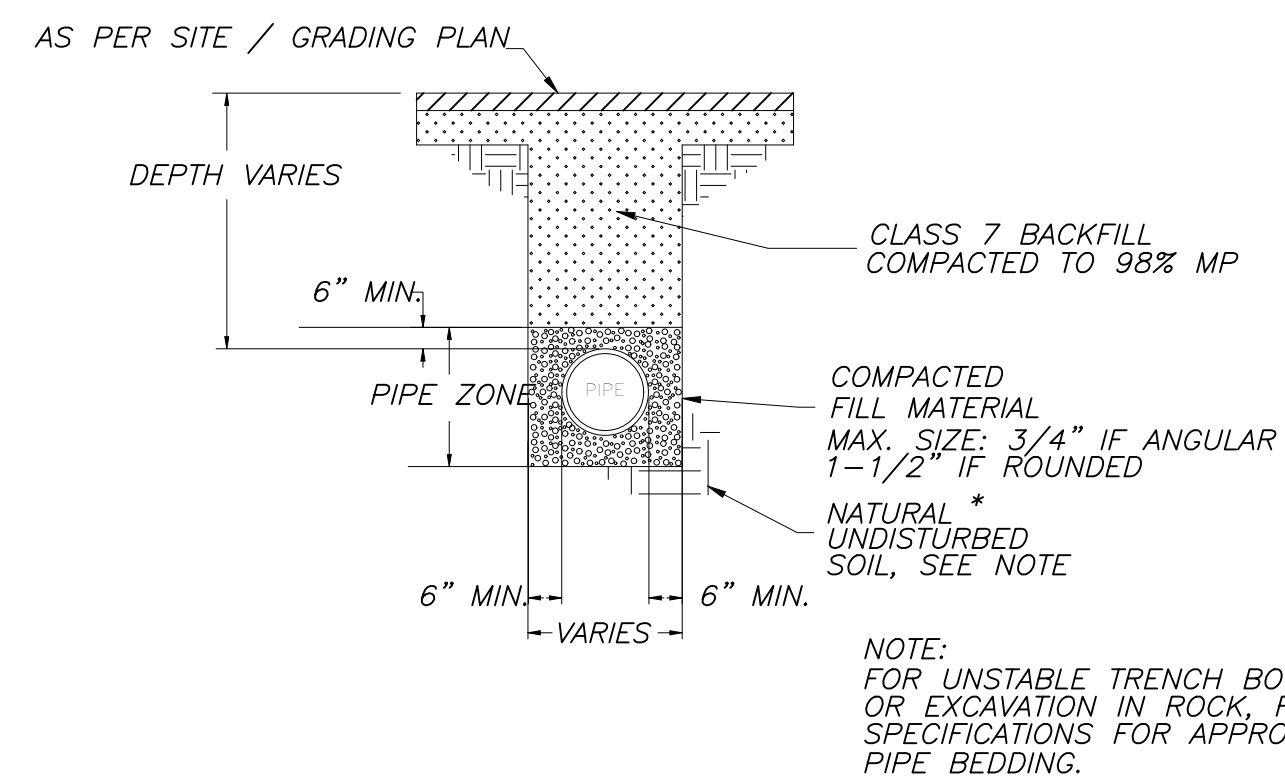


SECTION

- NOTES
1. Rings and Covers see PW-13.
 2. Refer to PW-12 detail for steps.
- ** Depression Detail see PW-3.

THROAT OPENING (NOT IN RADIUS)

NOT TO SCALE

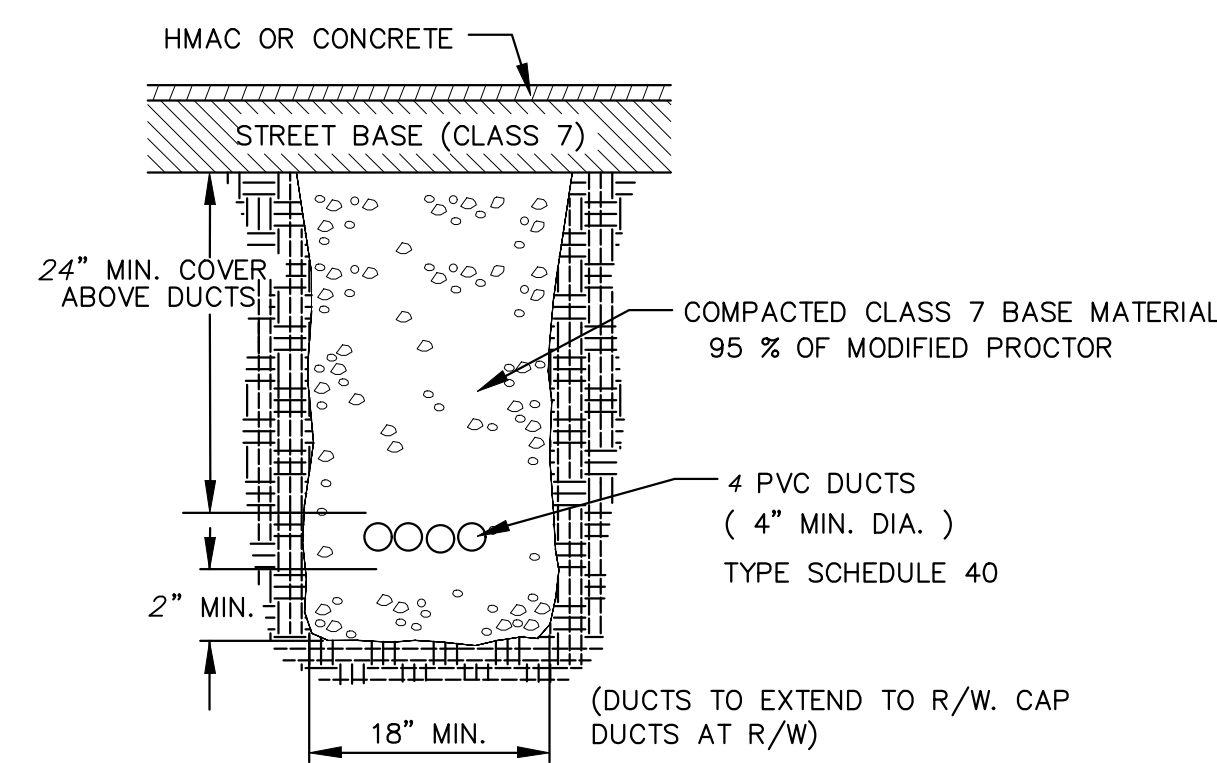


STORM DRAINAGE PIPE TRENCH (UNDER ASPHALT)
NTS

REFER TO CITY OF BRYANT, ARKANSAS PUBLIC WORKS STREET AND DRAINAGE STANDARD DETAILS FOR ADDITIONAL DETAILS AND INFORMATION.

JUNCTION BOX/CURB INLET (REINFORCED CONCRETE)

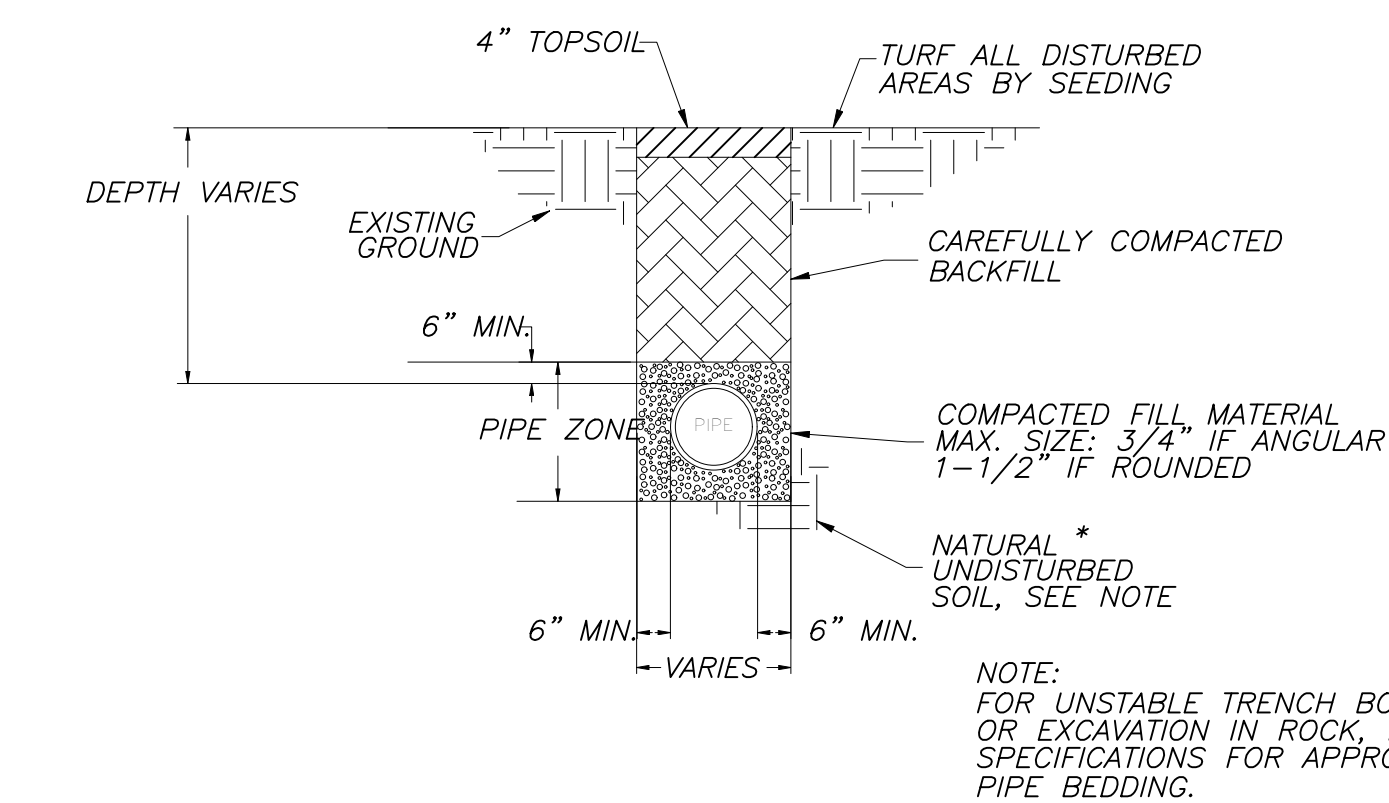
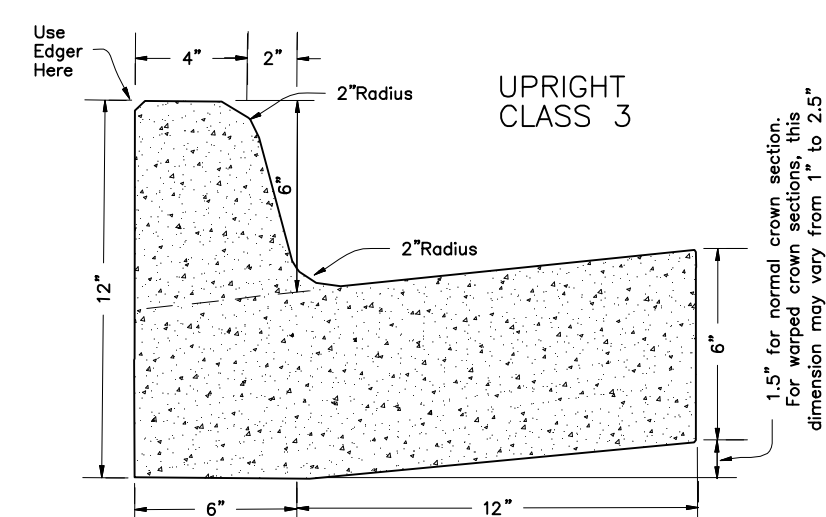
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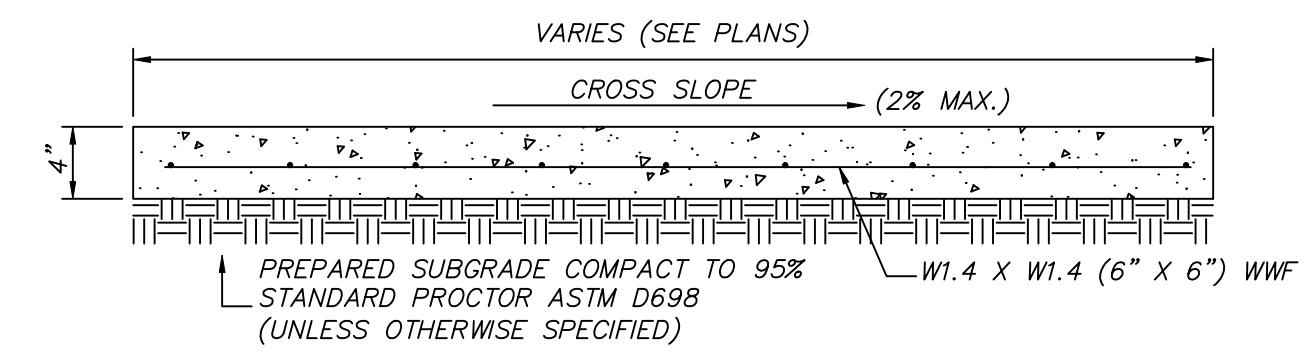
TYPICAL SECTION
4-4" UTILITY DUCTS

NOT TO SCALE

TYPICAL PARKING CURB SECTION



STORM DRAINAGE PIPE TRENCH (UNPAVED AREA)
NTS



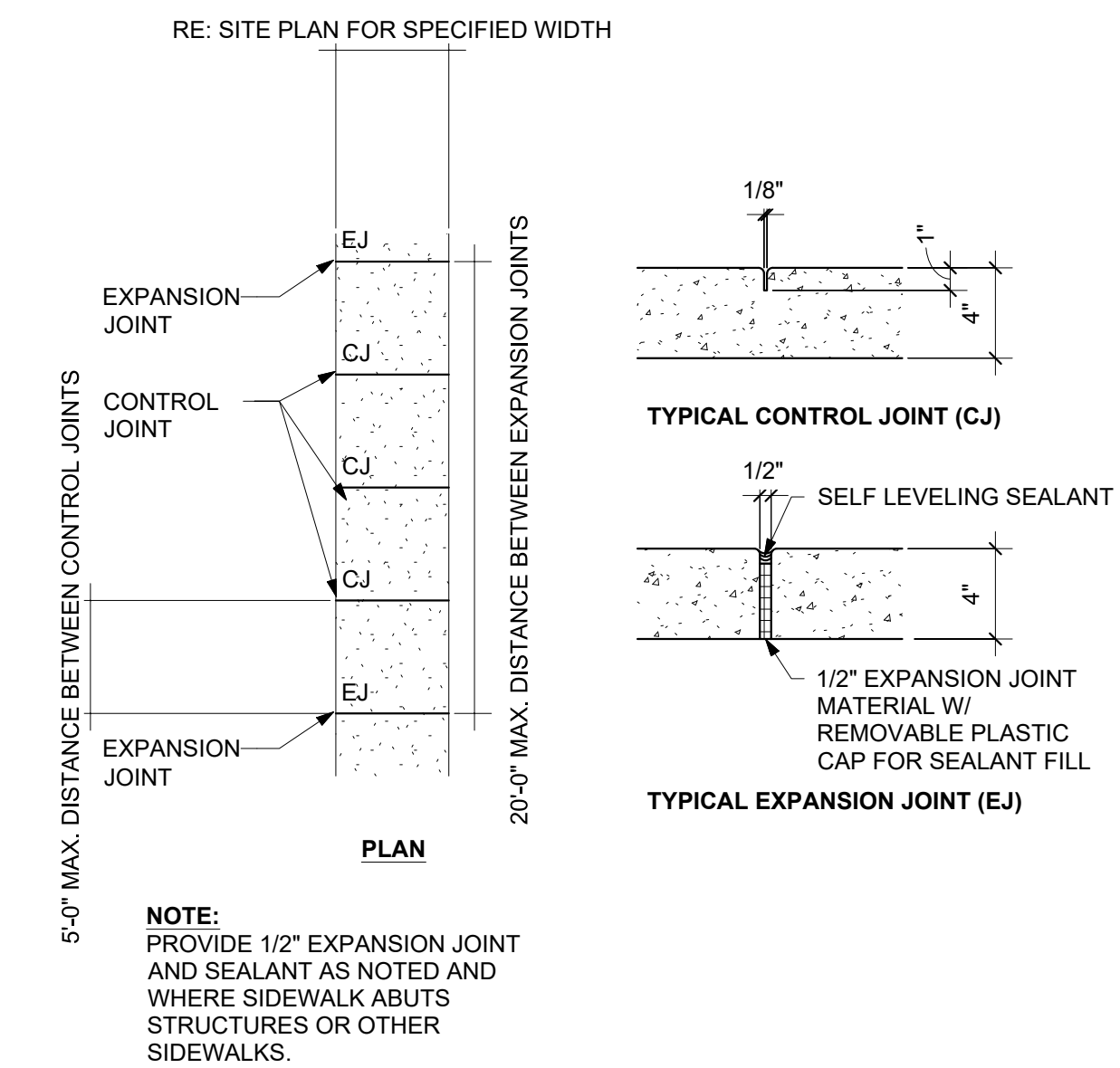
CONCRETE SIDEWALK SPECIFICATIONS

NTS

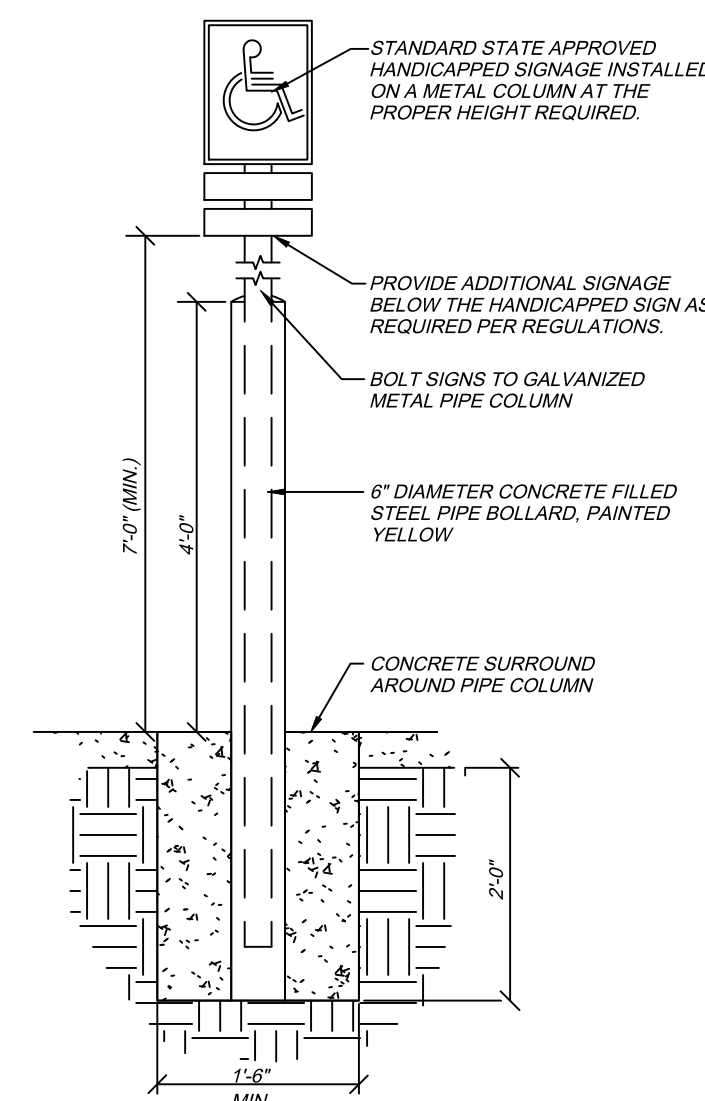
- NOTES:
1. PORTLAND CEMENT CONCRETE 3000 PSI. MIN.
 2. USE W1.4 X W1.4 (6" X 6") WWF SHEET REINFORCEMENT. CUT 1/2 THE WIRES AT CONTROL JOINTS.
 3. CONCRETE TO CONTAIN 3-5% AIR ENTRAINMENT.
 4. FINISH TO BE BROOM FINISH.
 5. DETECTABLE WARNING DEVICES TO BE INSTALLED AT RAMPS PER ADA REQUIREMENTS.
 6. MAX CROSS SLOPE 2%. MAX LONGITUDINAL SLOPE 1:12.
 7. CONTROL JOINTS PER CONC. WALK CONTROL JOINT DETAIL.

CONC. WALK/CONCRETE SWALE CONTROL JOINT DETAILS

NTS

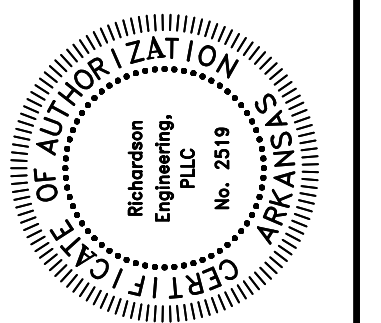
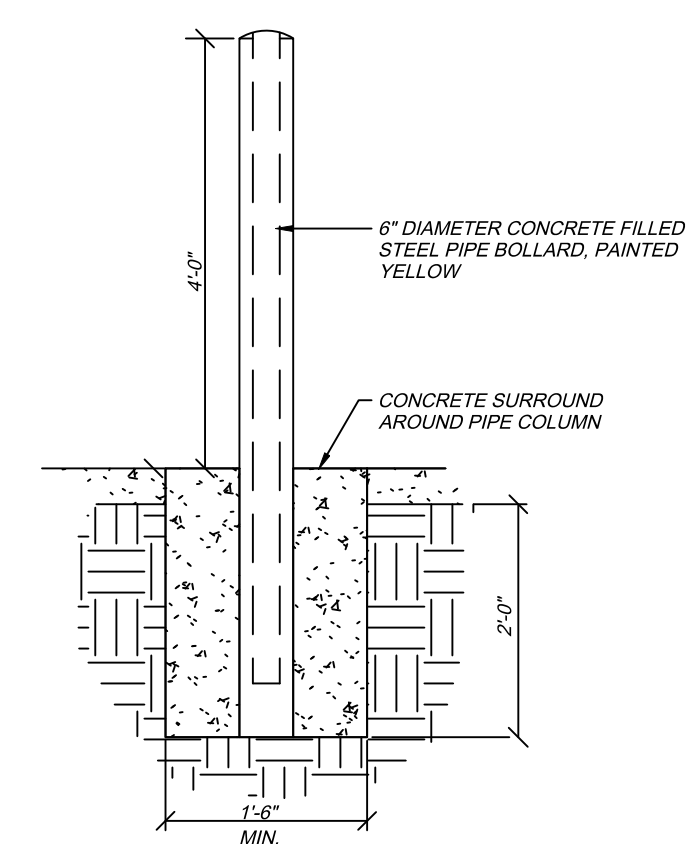


NOTE: PROVIDE 1/2" EXPANSION JOINT AND SEALANT AS NOTED AND WHERE SIDEWALK ABUTS STRUCTURES OR OTHER SIDEWALKS.



HANDICAP SIGN DETAIL

BOLLARD DETAIL



MISCELLANEOUS DETAILS
SHADY PINE PLAZA
PART OF THE SE 1/4 OF THE
SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
ALAN SCHRADER
P.O. BOX 824
BRYANT, AR 72089

Project No.:

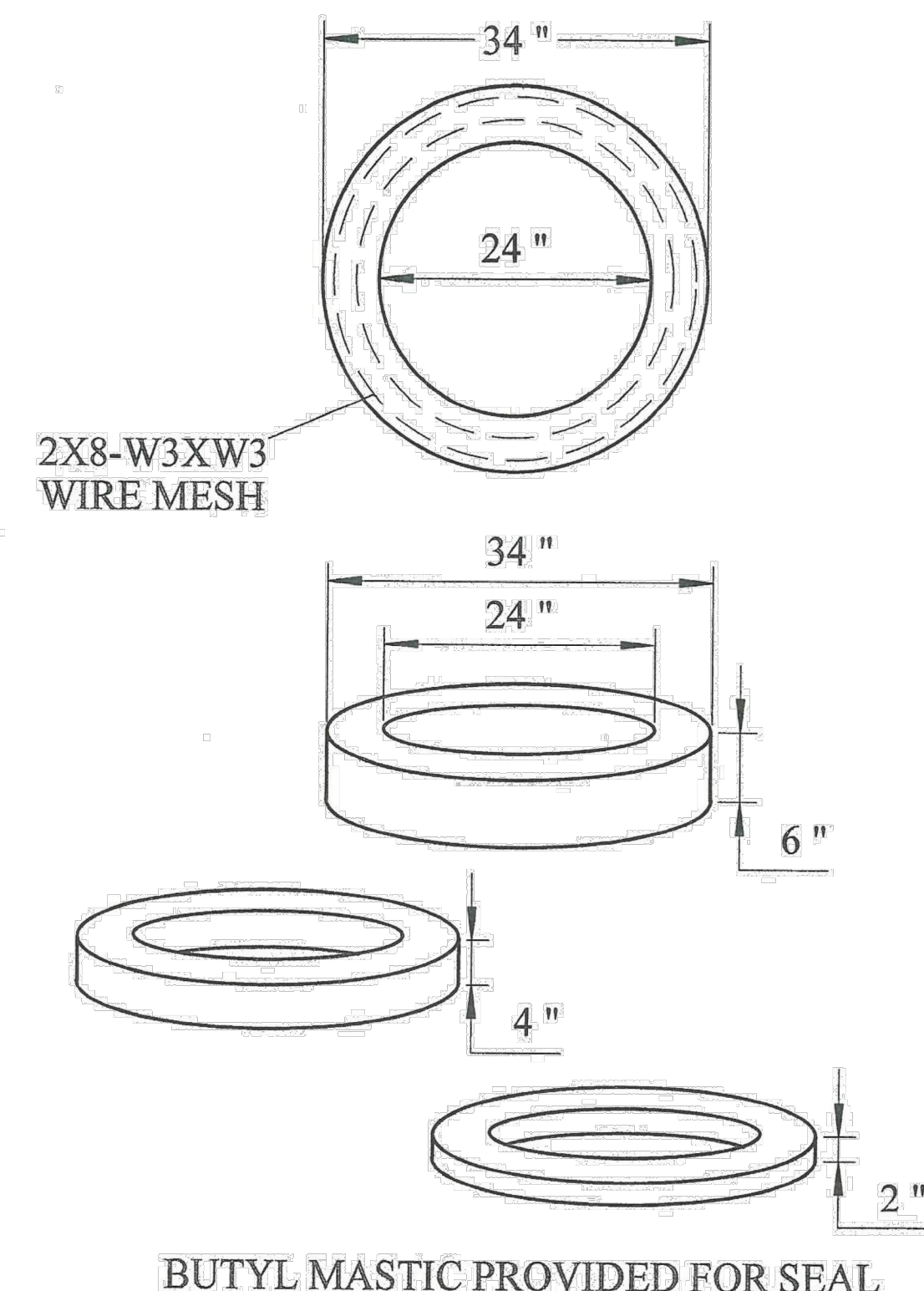
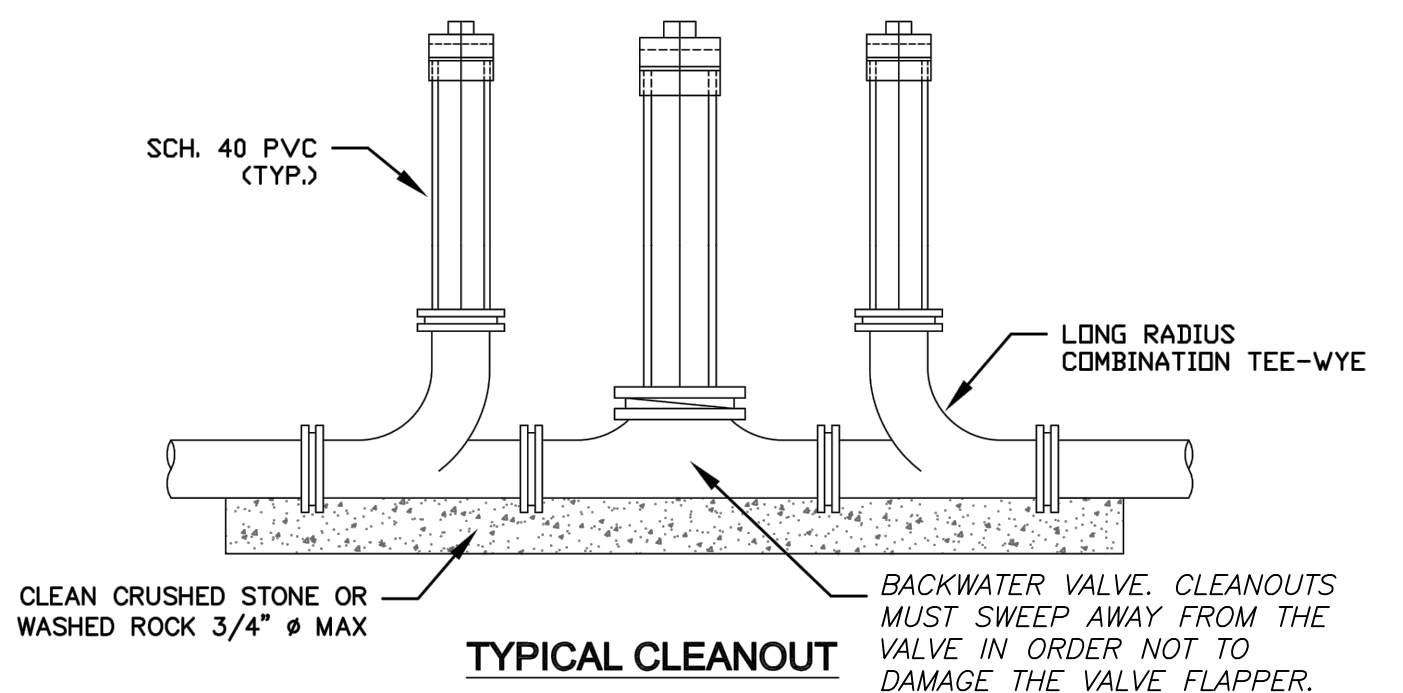
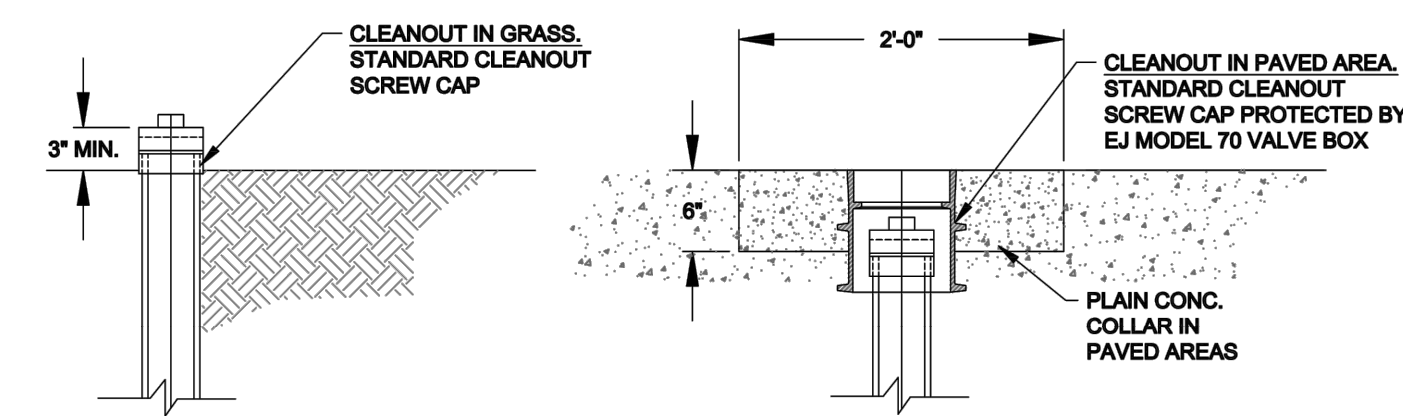
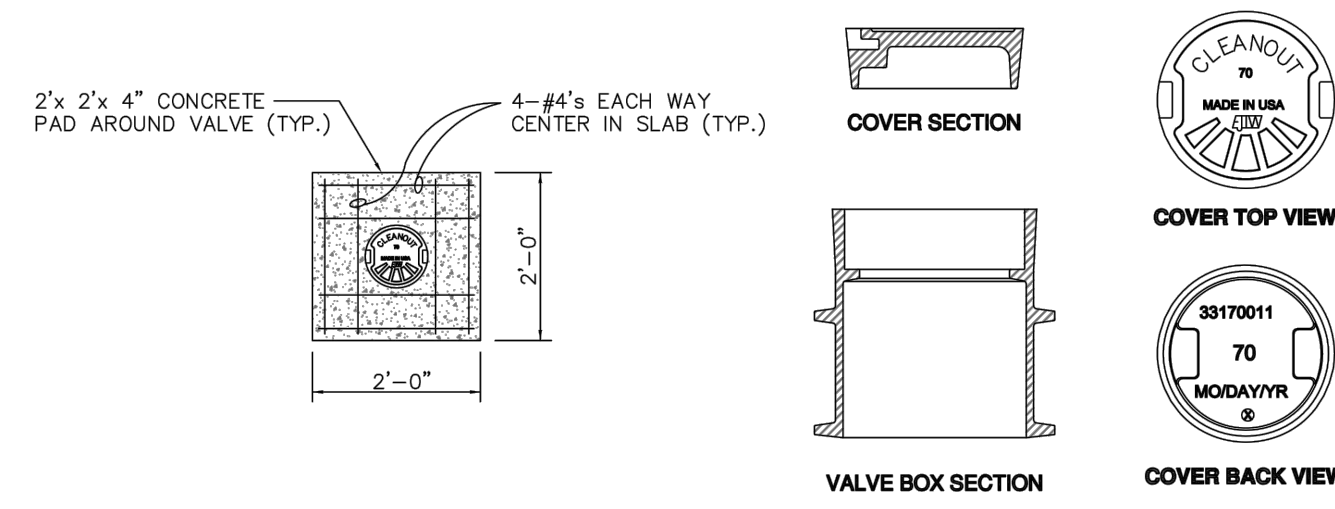
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Revisions:

No.:

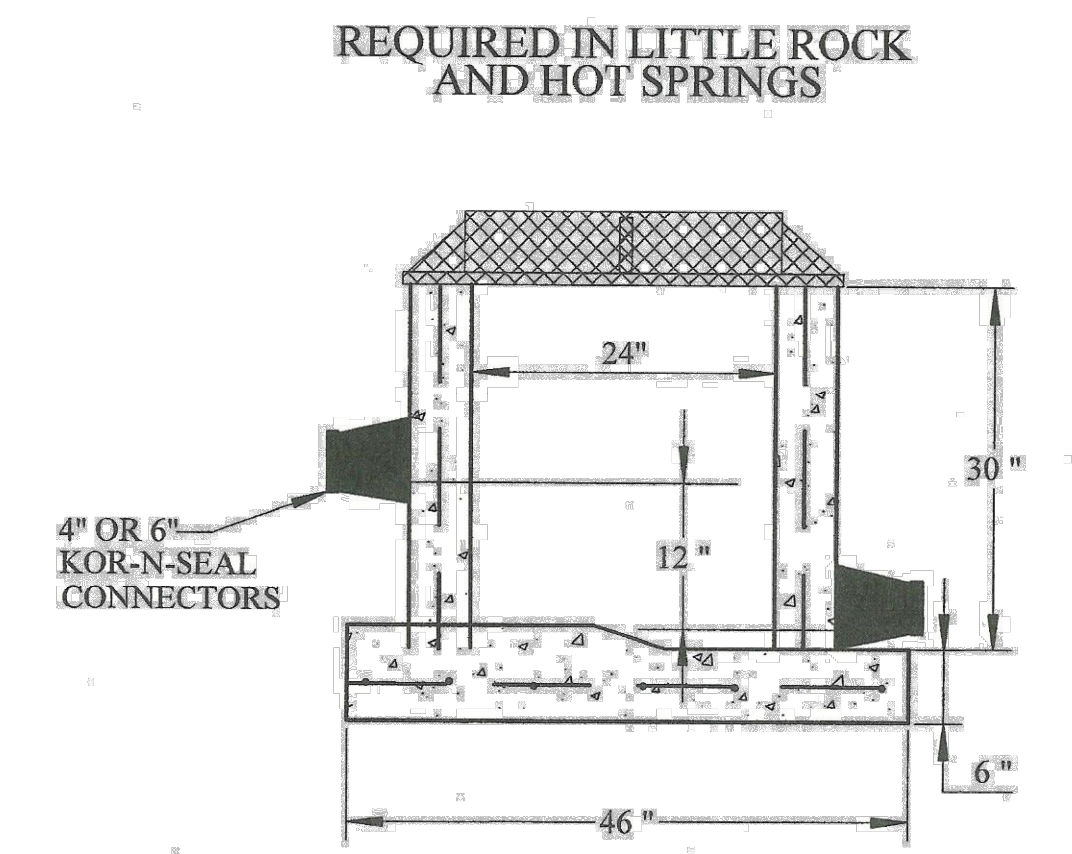
PROJECT NO.: 023-006
Date: 02/22/2023
Scale: N.T.S.

Sheet: 9 of 11



GREASE TRAP LID GRADE RINGS
AS PER PETERSON CONCRETE CO., LITTLE ROCK, AR OR APPROVED EQUAL.

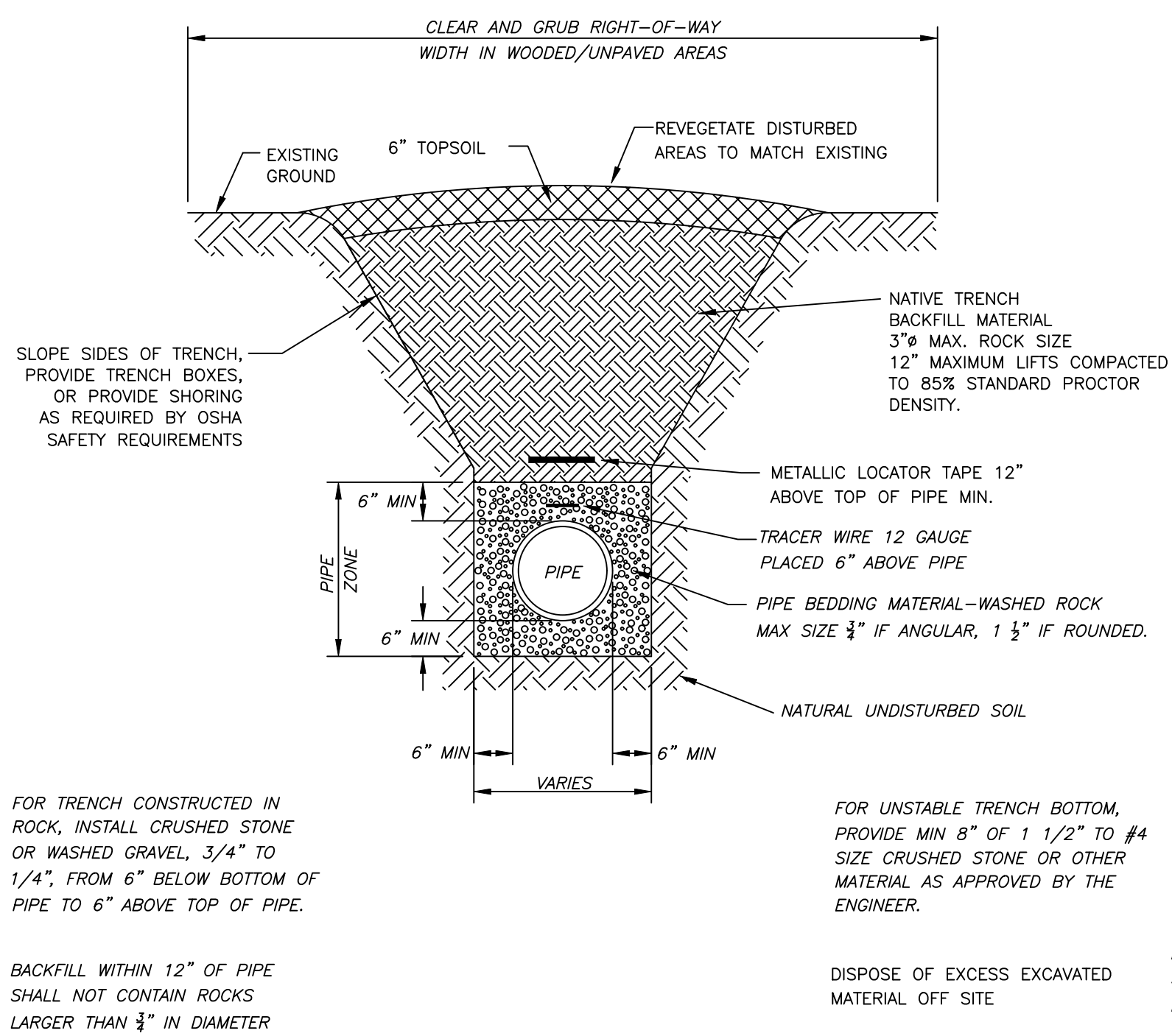
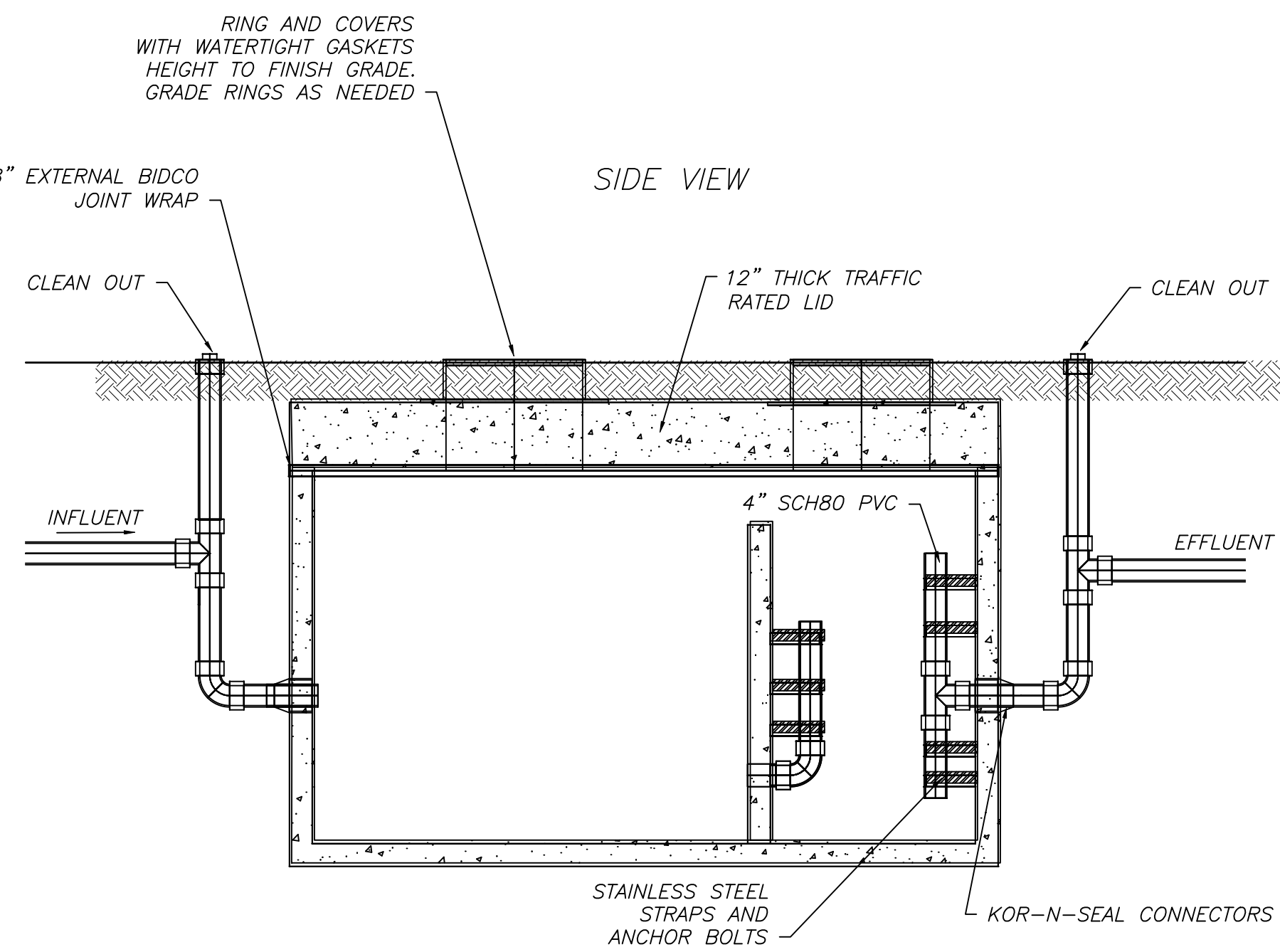
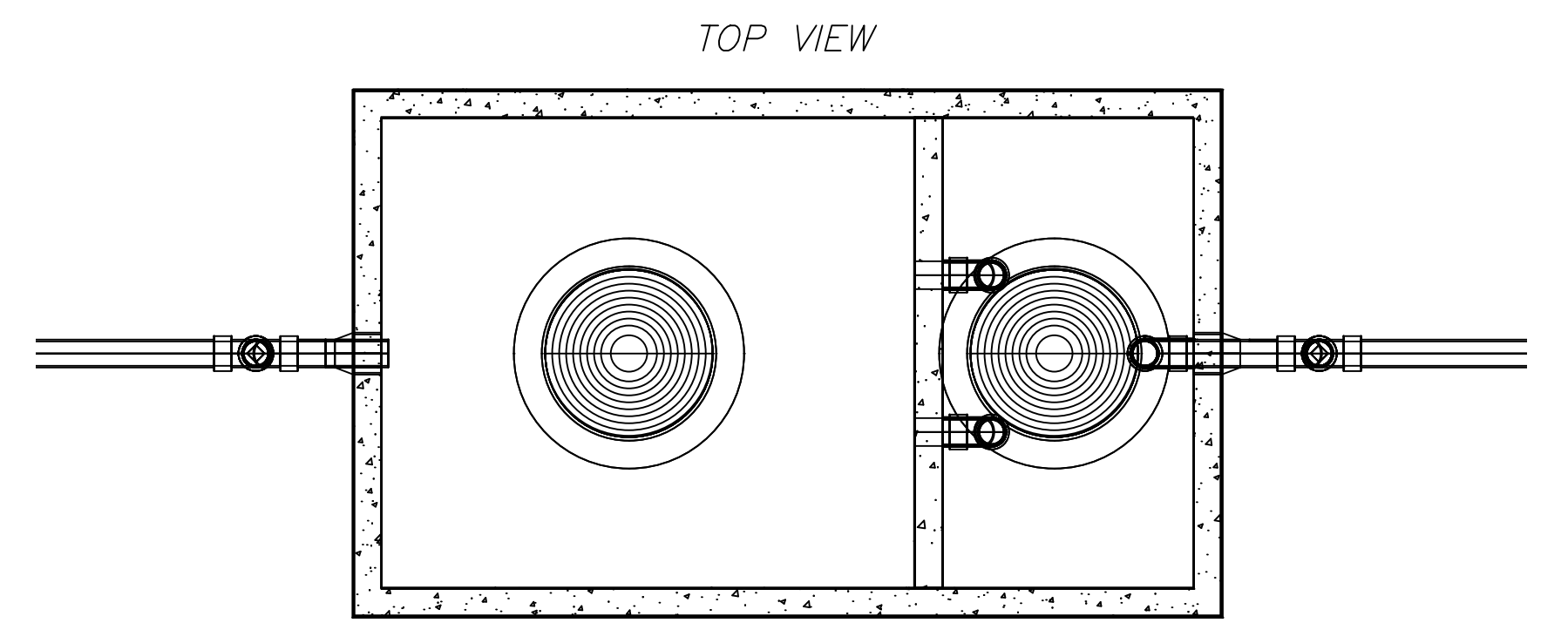
CONCRETE - 4500 PSI @ 28 DAYS
REINFORCEMENT - 3X8 W3/2.5 WELDED
REINFORCING FABRIC AND #3 REBAR ON
8" CENTERS IN BOTTOM



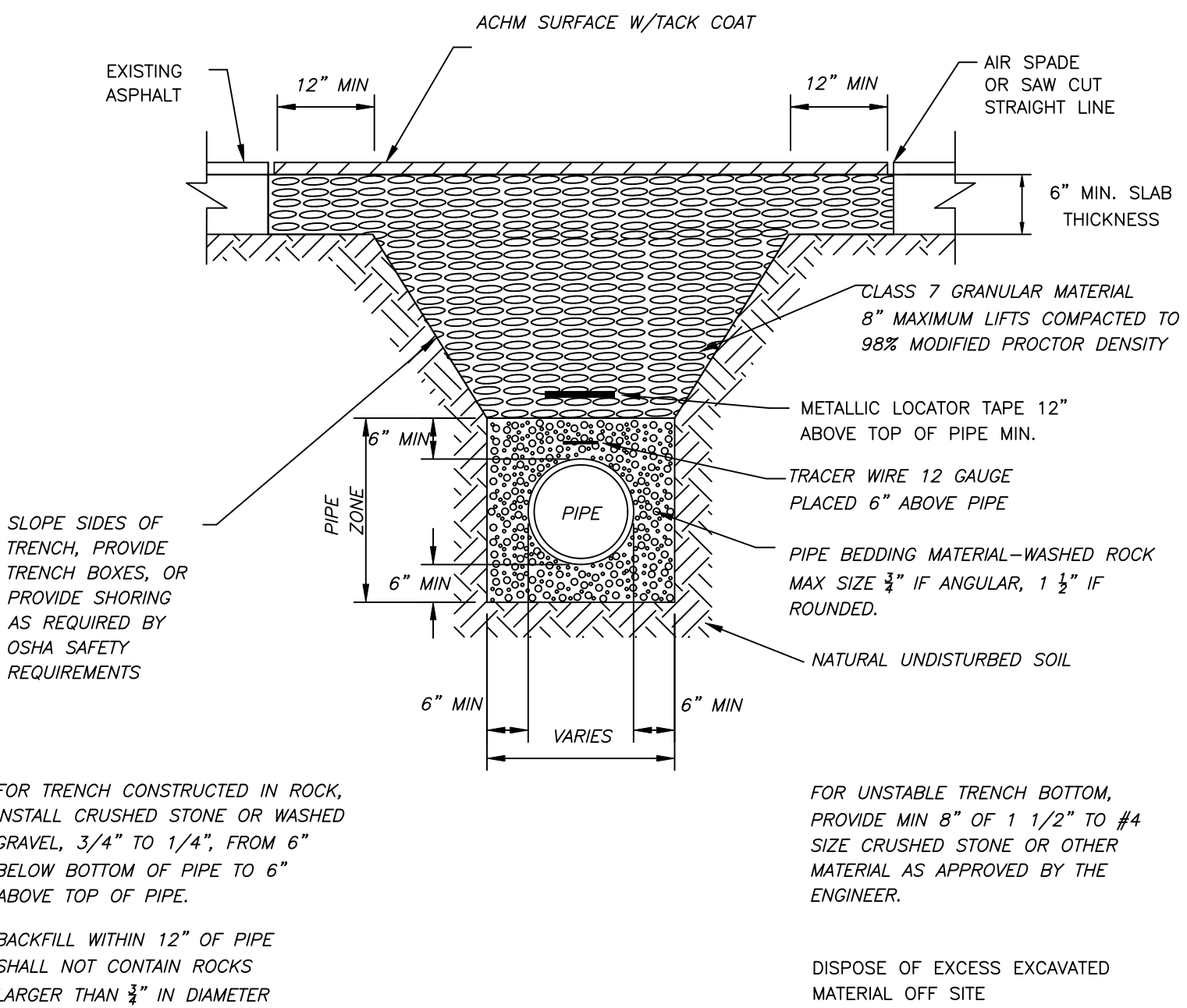
SAMPLE PORT (IF REQUIRED BY CITY OF BRYANT)
AS PER PETERSON CONCRETE CO., LITTLE ROCK, AR OR APPROVED EQUAL.

PRECAST AS PER PETERSON CONCRETE CO., LITTLE ROCK, AR
CONCRETE REINFORCEMENT
4500 PSI CONCRETE @ 28 DAYS
TOP AND BOTTOM - 6X6X10 WIRE MESH, #4 REBAR ON 20" CENTERS
SIDES - #4 REBAR ON 20" CENTERS, #12 TWISTED CABLE
LOADING RINGS & COVERS
250-24 HEAVY DUTY CAST IRON

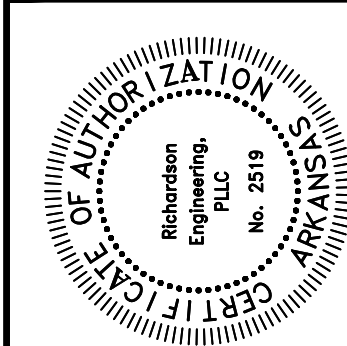
1500 GALLON GREASE TRAP
124 1/2" LONG X 75 1/2" WIDE X 76" TALL
WITH A 12" TRAFFIC RATED LID



**SEWER MAIN TRENCH
IN UNPAVED AREAS**
N.T.S.



**SEWER MAIN TRENCH
UNDER ASPHALT**
N.T.S.



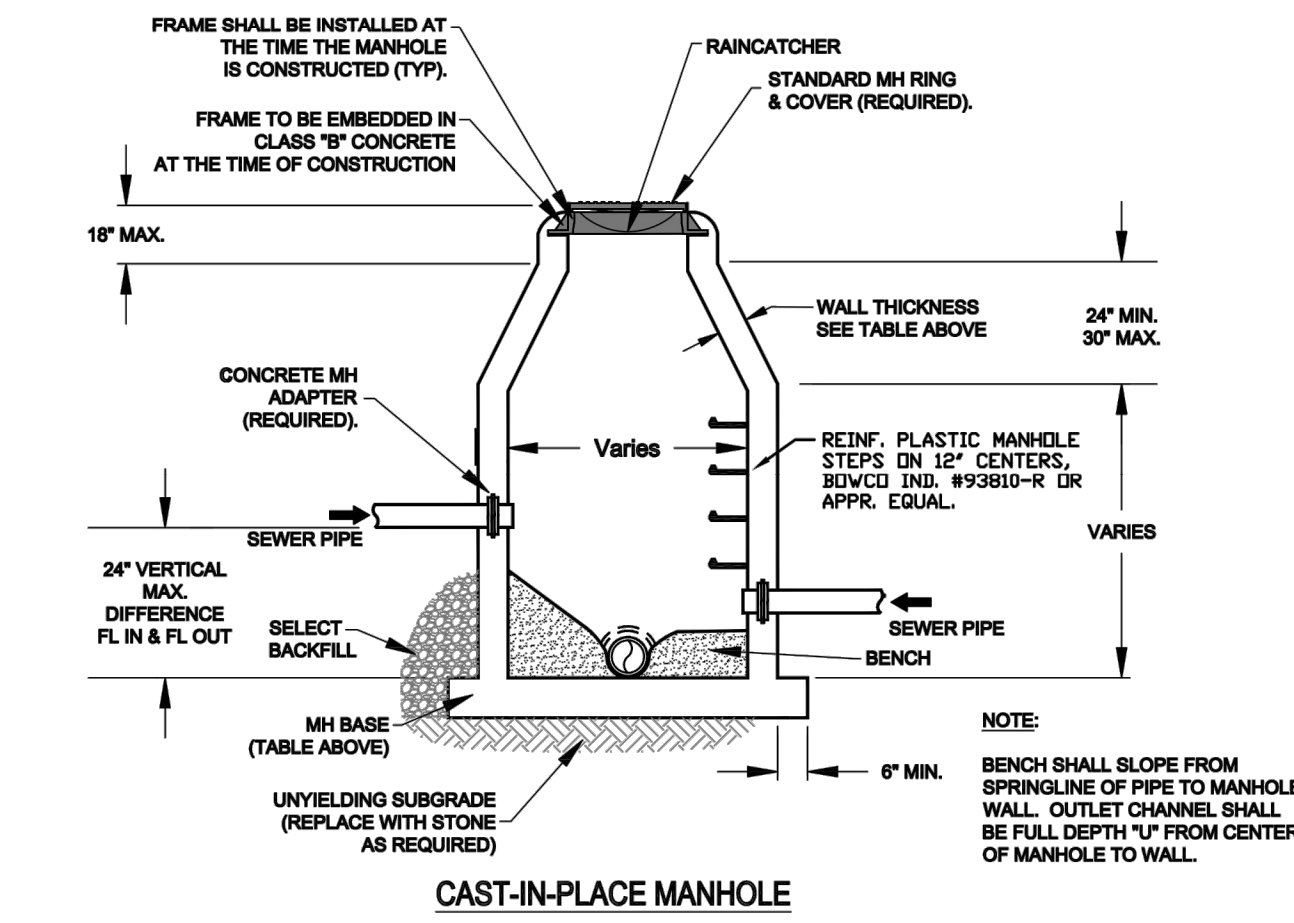
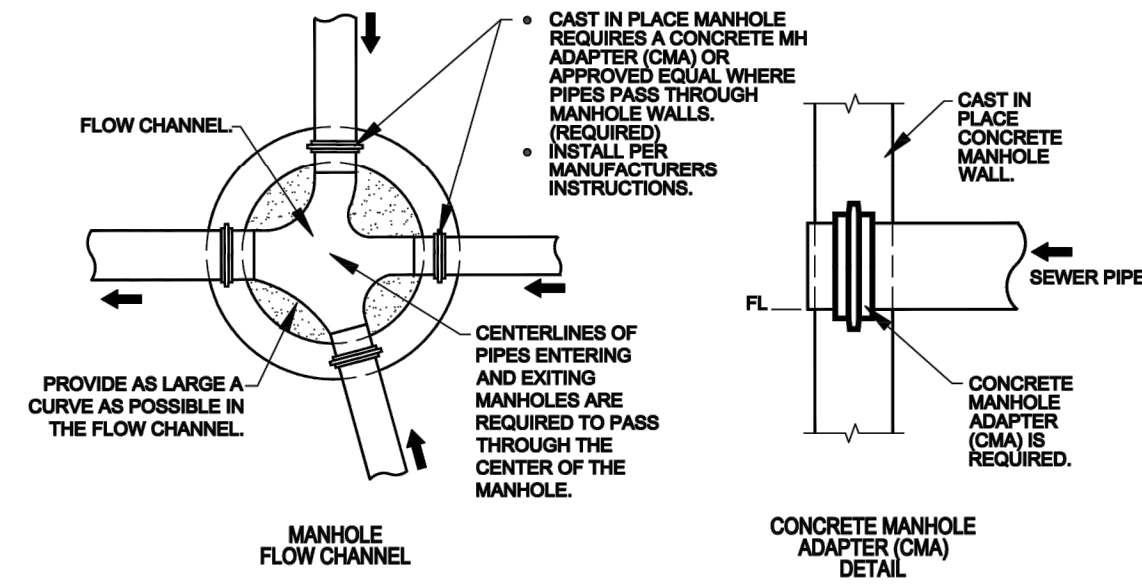
MISCELLANEOUS DETAILS
SHADY PINE PLAZA
PART OF THE SE 1/4 OF THE
SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
ALAN SCHRADER
P.O. BOX 824
BRYANT, AR 72089

PROJECT NO.:	023-006
DATE:	02/22/2023
SCALE:	N.T.S.
SHEET:	10 of 11

Inside Diameter of Manhole	Minimum Wall Thickness	Base Thickness	Minimum Ring & Cover Size
4" DIA	6"	6"	24" (< or Equal to 24" Pipes)
5" DIA	6"	6"	36" (> 24" Pipes)
6" DIA	8"	12"	

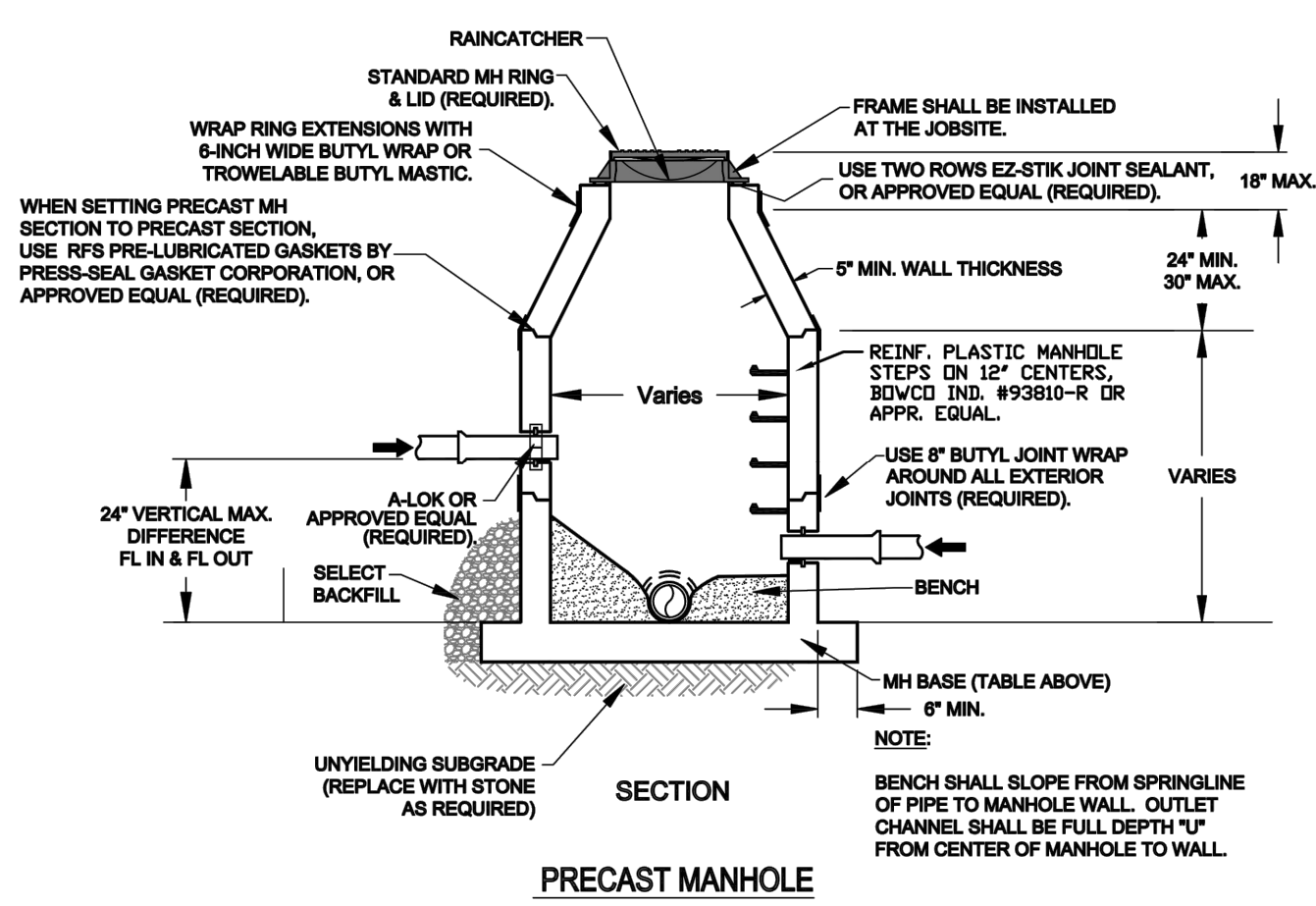
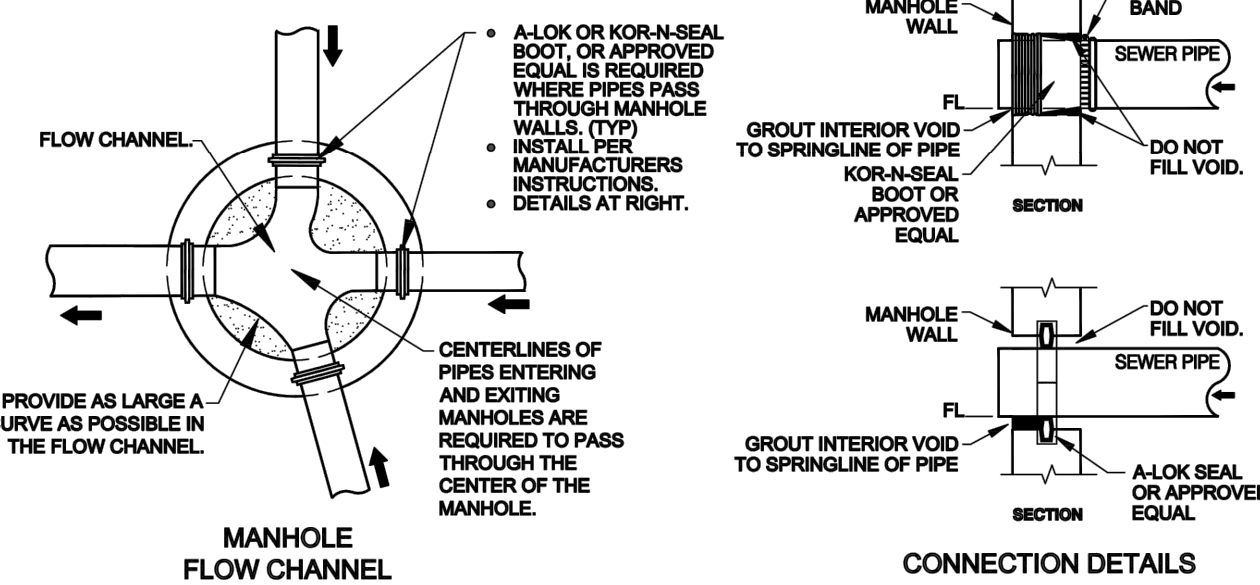
MANHOLE INFORMATION TABLE



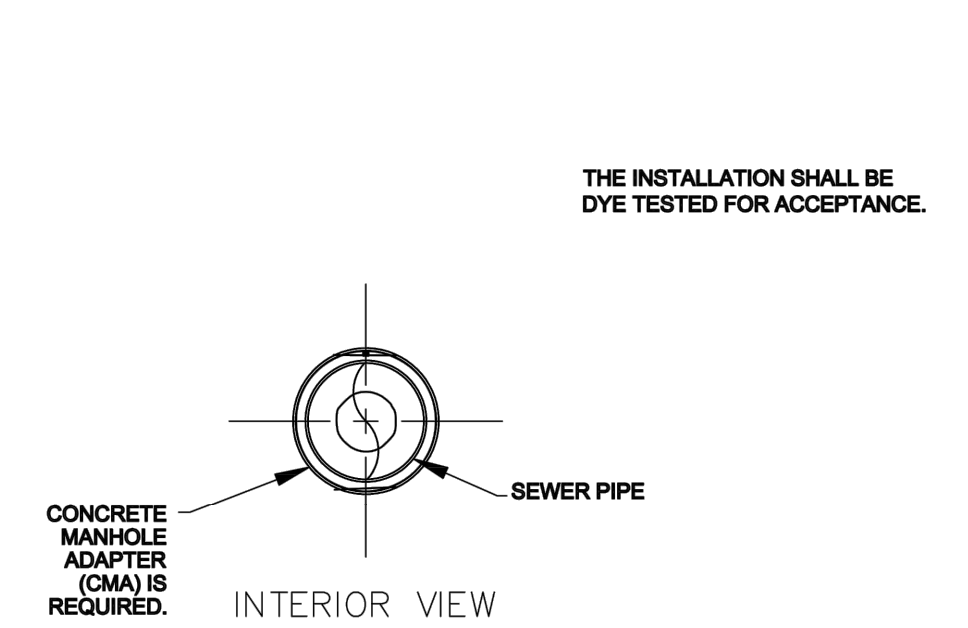
CAST-IN-PLACE MANHOLE

Inside Diameter of Manhole	Minimum Wall Thickness	Base Thickness	Minimum Ring & Cover Size
4" DIA	5"	6"	24" (< or Equal to 24" Pipes)
5" DIA	7"	8"	36" (> 24" Pipes)
6" DIA	7"	8"	

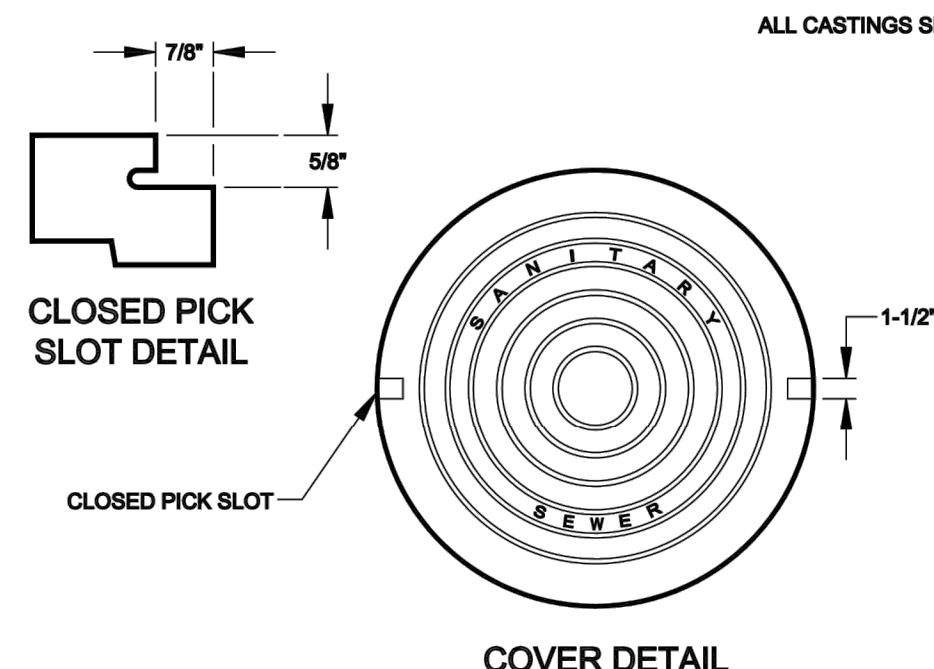
MANHOLE INFORMATION TABLE



PRECAST MANHOLE

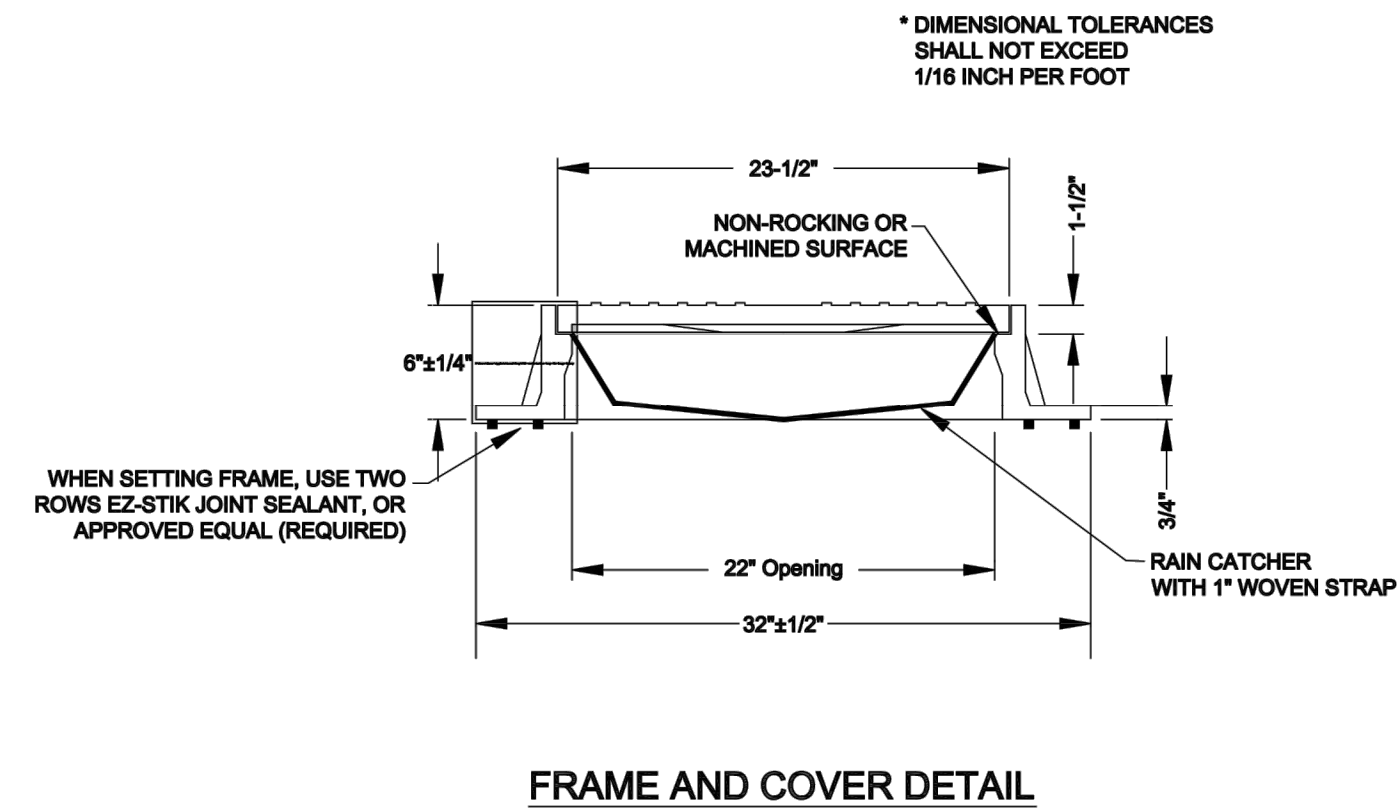


MANHOLE CORING DETAILS

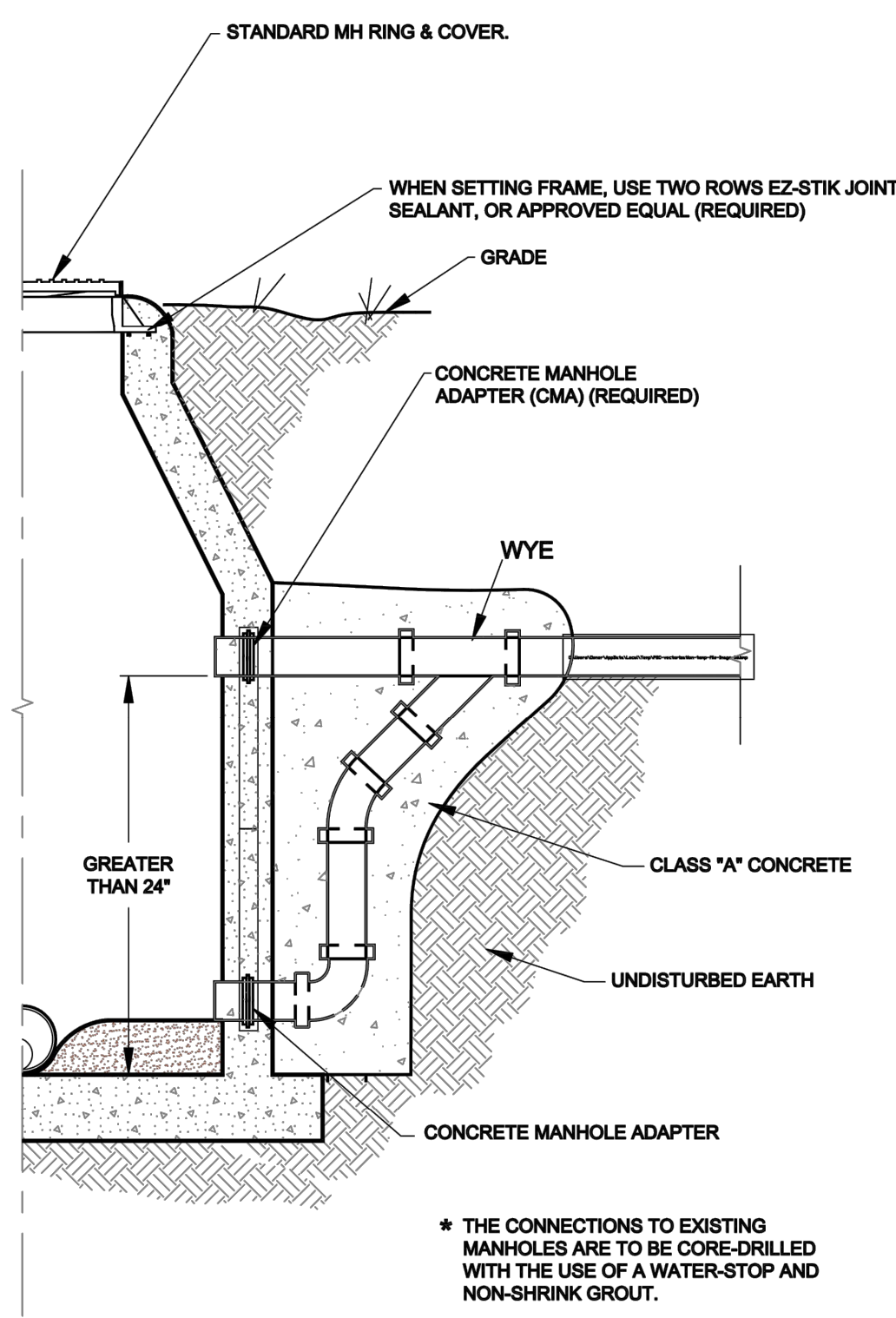


1. MINIMUM WEIGHT OF RING: 100 POUNDS
2. MINIMUM WEIGHT OF COVER: 110 POUNDS
3. COVERS ARE FURNISHED WITH TWO CLOSED PICK SLOTS.
4. CASTINGS SHALL BE "MADE IN USA"

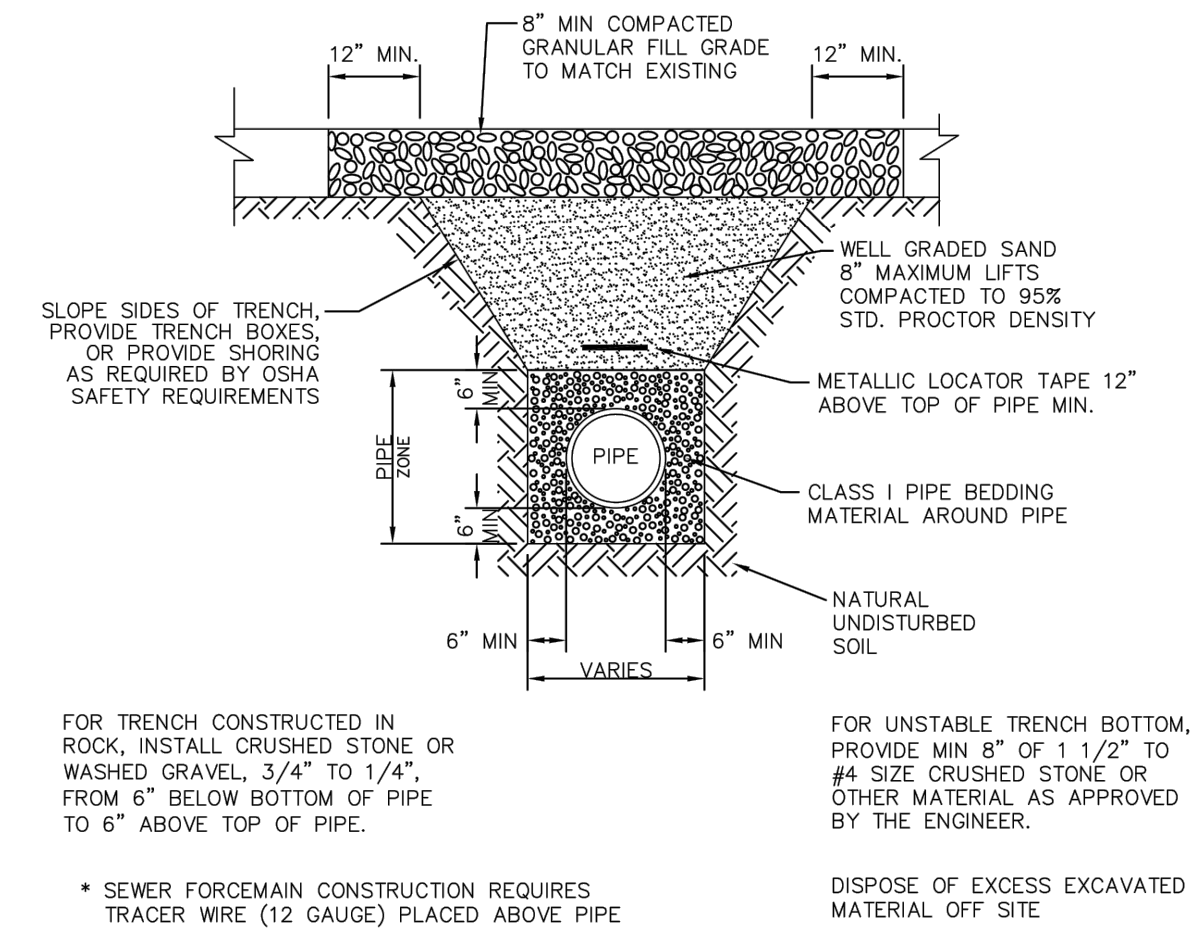
* DIMENSIONAL TOLERANCES SHALL NOT EXCEED 1/16 INCH PER FOOT



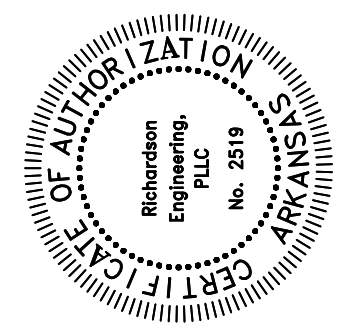
FRAME AND COVER DETAIL



DROP MANHOLE



SEWER MAIN TRENCH IN GRAVEL SHOULDER OR DRIVEWAY
N.T.S.



MISCELLANEOUS DETAILS
 SHADY PINE PLAZA

PART OF THE SE 1/4 OF THE
 SECTION 20, T-1-S, R-14-W

Prepared For:
 ALAN SCHRADER
 P.O. BOX 824
 BRYANT, AR 72089

Date	Revisions

Stormwater Pollution Prevention Plan (SWPPP) for Construction Activity
for Small Construction Sites

National Pollutant Discharge Elimination System (NPDES)
General Permit # ARR150000

Prepared for:

Shady Pine Plaza
Alan Schrader
P.O. Box 824
Bryant, AR 72089

Date:

February 2023

Prepared by:

Richardson Engineering, PLLC.
325 West South Street
Benton, AR 72015

Project Name and Location: Shady Pine Plaza, Shady Pine Lane, Bryant Arkansas

Property Parcel Number (Optional): _____

Operator Name and Address: Alan Schrader, P.O. Box 824, Bryant, AR 72089

A. Site Description

a. Project description, intended use after NOI is filed: Proposed Commercial Building

b. Sequence of major activities which disturb soils: Install silt fencing, establish subgrade elevations, parking facilities, curb/gutter, utilities, and landscaping. Monitor disturbed areas while vegetation and stabilization are taking place.

c. Total Area¹: 0.86 AC Disturbed Area²: 0.86 AC

B. Responsible Parties

Be sure to assign all SWPPP related activities to an individual or position; even if the specific individual is not yet known (i.e. contractor has not been chosen).

Individual/Company	Phone Number	Service Provided for SWPPP (i.e., Inspector, SWPPP revisions, Stabilization Activities, BMP Maintenance, etc.)
Alan Schrader	501-317-0446	Owner
Richardson Engineering	501-315-7225	Inspections/Report
Contractor - TBD	TBD	Install BMP's/Inspections/Report

C. Receiving Waters

a. The following waterbody (or waterbodies) receives stormwater from this construction site: Property drains to a drainage swale, thence to McNeil Creek, thence to the Saline River.

b. Is the project located within the jurisdiction of an MS4? Yes No

i. If yes, Name of MS4: City of Bryant

c. Ultimate Receiving Water:

- | | |
|--|--|
| <input type="checkbox"/> Red River | <input type="checkbox"/> White River |
| <input checked="" type="checkbox"/> Ouachita River | <input type="checkbox"/> St. Francis River |
| <input type="checkbox"/> Arkansas River | <input type="checkbox"/> Mississippi River |

D. Site Map Requirements (Attach Site Map):

- a. Pre-construction topographic view;
- b. Direction of stormwater flow (i.e., use arrows to show which direction stormwater will flow) and approximate slopes anticipated after grading activities;
- c. Delineate on the site map areas of soil disturbance and areas that will not be disturbed under the coverage of this permit;
- d. Location of major structural and nonstructural controls identified in the plan;
- e. Location of main construction entrance and exit;
- f. Location where stabilization practices are expected to occur;
- g. Locations of off-site materials, waste, borrow area, or equipment storage area;
- h. Location of areas used for concrete wash-out;
- i. Location of all surface water bodies (including wetlands) with associated natural buffer boundary lines. Identify floodplain and floodway boundaries, if available;
- j. Locations where stormwater is discharged to a surface water and/or municipal separate storm sewer system if applicable,
- k. Locations where stormwater is discharged off-site (should be continuously updated);
- l. Areas where final stabilization has been accomplished and no further construction phase permit requirements apply;
- m. A legend that identifies any erosion and sediment control measure symbols/labels used in the site map and/or detail sheet; and
- n. Locations of any storm drain inlets on the site and in the immediate vicinity of the site.

E. Stormwater Controls

- a. Initial Site Stabilization, Erosion and Sediment Controls, and Best Management Practices:
 - i. Initial Site Stabilization: Subgrade to be established. Silt fence to be installed to prevent sedimentation and runoff. Drainage to be installed. Utilities to be trenched and covered immediately. Vegetation to be established and soil stabilization closely monitored. After vegetation is established and site is stabilized, NOT to be submitted for approval.
 - ii. Erosion and Sediment Controls: Construction Entrance/Exit, Silt Fence, curb inlet sediment barriers seeing, additional efforts to stabilize disturbed areas where needed, i.e. filter socks, straw wattles, erosion control matting.
 - iii. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the operator will replace or modify the control for site situations: Yes No

If No, explain: _____

- iv. Off-site accumulations of sediment will be removed at a frequency sufficient to minimize off-site impacts: Yes No

If No, explain: _____

- v. Sediment will be removed from sediment traps or sedimentation ponds when design capacity has been reduced by 50%: Yes No

If No, explain: _____

- vi. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges: Yes No

If No, explain: _____

- vii. Off-site material storage areas used solely by the permitted project are being covered by this SWPPP: Yes No

If Yes, explain additional BMPs implemented at off-site material storage area: No off-site material storage area's are needed for this project.

b. Stabilization Practices

- i. Description and Schedule: Constructed Construction Entrance/Exit, erect Silt Fence, place curb inlet sediment barriers, and plant trees and seed.

- ii. Are buffer areas required? Yes No

If Yes, are buffer areas being used? Yes No

If Yes, describe natural buffer areas: _____

If No, explain why not: There are not named or unnamed streams on-site.

- iii. A record of the dates when grading activities occur, when construction activities temporarily or permanently cease on a portion of the site, and when stabilization measures are initiated shall be included with the plan.

Yes No

If No, explain: _____

iv. Deadlines for stabilization:

1. Stabilization procedures will be initiated 14 days after construction activity temporarily ceases on a portion of the site.
2. Stabilization procedures will be initiated immediately in portions of the site where construction activities have permanently ceased.

c. Structural Practices

- i. Describe any structural practices to divert flows from exposed soils, store flows, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site: _____

- ii. Describe Velocity Dissipation Devices: Site fence and inlet sediment barriers.

iii. Sediment Basins:

Are 10 or more acres draining to a common point? Yes No

Is a sediment basin included in the project? Yes No

If Yes, what is the designed capacity for the storage?

3600 cubic feet per acre = : _____

or

10 year, 24 hour storm = : _____

Other criteria were used to design basin: _____

If No, explain why no sedimentation basin was included and describe required natural buffer areas and other controls implemented instead: Due to the size of the project and a small drainage basin, a sediment basin was not needed for this project.

F. Other Controls

- a. Solid materials, including building materials, shall be prevented from being discharged to Waters of the State: Yes No

- b. Off-site vehicle tracking of sediments and the generation of dust shall be minimized through the use of:

A stabilized construction entrance and exit

Vehicle tire washing

Other controls, describe: _____

- c. Temporary Sanitary Facilities: On-site, portable facility

d. Concrete Waste Area Provided:

Yes

No. Concrete is used on the site, but no concrete washout is provided.

Explain why: _____

N/A, no concrete will be used with this project

e. Fuel Storage Areas, Hazardous Waste Storage, and Truck Wash Areas: _____

G. Non-Stormwater Discharges

a. The following allowable non-stormwater discharges comingled with stormwater are present or anticipated at the site:

Fire-fighting activities;

Fire hydrant flushings;

Water used to wash vehicles (where detergents or other chemicals are not used) or control dust in accordance with Part II.A.4.H.2;

Potable water sources including uncontaminated waterline flushings;

Landscape Irrigation;

Routine external building wash down which does not use detergents or other chemicals;

Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled materials have been removed) and where detergents or other chemicals are not used;

Uncontaminated air conditioning, compressor condensate (See Part I.B.13.C of the permit);

Uncontaminated springs, excavation dewatering and groundwater (See Part I.B.13.C of the permit);

Foundation or footing drains where flows are not contaminated with process materials such as solvents (See Part I.B.13.C of the permit);

b. Describe any controls associated with non-stormwater discharges present at the site: _____

H. Applicable State or Local Programs: The SWPPP will be updated as necessary to reflect any revisions to applicable federal, state, or local requirements that affect the stormwater controls implemented at the site. Yes No

I. Inspections

a. Inspection frequency:

Every 7 calendar days

or

At least once every 14 calendar days and within 24 hours of the end of a storm even 0.25 inches or greater (a rain gauge must be maintained on-site)

b. Inspections:

Completed inspection forms will be kept with the SWPPP.

ADEQ's inspection form will be used (See Appendix B)

or

A form other than ADEQ's inspection form will be used and is attached
(See inspection form requirements Part II.A.4.L.2)

c. Inspection records will be retained as part of the SWPPP for at least 3 years from the date of termination.

d. It is understood that the following sections describe waivers of site inspection requirements. All applicable documentation requirements will be followed in accordance with the referenced sections.

i. Winter Conditions (Part II.A.4.L.4)

ii. Adverse Weather Conditions (Part II.A.4.L.5)

J. Maintenance:

The following procedures to maintain vegetation, erosion and sediment control measures and other protective measures in good, effective operating condition will be followed: The SWPPP to be followed, control measures inspected and repaired as required.

Any necessary repairs will be completed, when practicable, before the next storm event, but not to exceed a period of 3 business days of discovery, or as otherwise directed by state or local officials.


K. Employee Training:

The following is a description of the training plan for personnel (including contractors and subcontractors) on this project: Contractors and Subcontractors for this project to be informed of the SWPPP, as well as procedures for the installation and inspection of erosion control measures, and performing inspections thereof.

**Note, Formal training classes given by Universities or other third-party organizations are not required, but recommended for qualified trainers; the permittee is responsible for the content of the training being adequate for personnel to implement the requirements of the permit.

Certification

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: 

Title: Owen / Dewey

Date: 02/27/2023

ARR150000 Inspection Form

Appendix B

Inspector Name: _____

Date of Inspection: _____

Inspector Title: _____

Date of Rainfall: _____

Duration of Rainfall: _____

Days Since Last Rain Event: _____ days

Rainfall Since Last Rain Event: _____ inches

Description of any Discharges During Inspection: _____

Location of Discharges of Sediment/Other Pollutant (specify pollutant & location): _____

Locations in Need of Additional BMPs: _____

Information on Location of Construction Activities

Location	Activity Begin Date	Activity Occuring Now (y/n)?	Activity Ceased Date	Stabilization Initiated Date	Stabilization Complete Date

Information on BMPs in Need of Maintenance

Location	In Working Order?	Maintenance Scheduled Date	Maintenance Completed Date	Maintenance to be Performed By

Changes required to the SWPPP: _____

Reasons for changes: _____

SWPPP changes completed (date): _____

"I certify under penalty of law that this document and all attachments such as Inspection Form were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Responsible or Cognizant Official: _____ Date: _____

Title: _____

SITE WITH AUTOMATIC COVERAGE (LESS THAN 5 ACRES) CONSTRUCTION SITE NOTICE

FOR THE
Arkansas Department of Environmental Quality (ADEQ)
Storm Water Program
NPDES GENERAL PERMIT NO. ARR150000

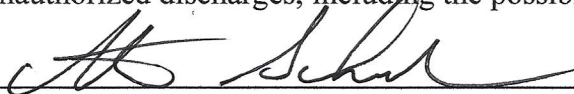
The following information is posted in compliance with **Part I.B.8.A** of the ADEQ General Permit Number **ARR150000** for discharges of stormwater runoff from sites with automatic coverage. Additional information regarding the ADEQ stormwater program may be found on the internet at:

www.adeg.state.ar.us/water/branch_npdes/stormwater

Permit Number	ARR150000
Contact Name: Phone Number:	<u>Alan Schrader</u> <u>501-317-0446</u>
Project Description (Name, Location, etc.): Start Date: End Date: Total Acres:	<u>Shady Pine Plaza, Shady Pine Lane, Bryant AR</u> <u>04-01-2023</u> <u>TBD</u> <u>0.86 Acres</u>
Location of Stormwater Pollution Prevention Plan:	<u>Onsite SWPPP Mailbox</u>

For Construction Sites Authorized under **Part I.B.6.A** (Automatic Coverage) the following certification must be completed:

I Alan Schrader (Typed or Printed Name of Person Completing this Certification) certify under penalty of law that I have read and understand the eligibility requirements for claiming an authorization under Part I.B.2. of the ADEQ General Permit Number ARR150000. A stormwater pollution prevention plan has been developed and implemented according to the requirements contained in Part II.A.2.B & D of the permit. I am aware there are significant penalties for providing false information or for conducted unauthorized discharges, including the possibility of fine and imprisonment for knowing violations.


Signature and Title

02/22/2023
Date

February 20, 2023

City of Bryant
Attn: Mr. Rick Johnson, Chairman Board of Zoning Adjustment
210 SW 3rd Street
Bryant, AR 72022

Re: Letter of Request for Site Plan Approval for Shady Pine Plaza, Bryant, Arkansas

Dear Mr. Johnson:

Please accept this letter as a request for approval of the Site Plan for Shady Pine Plaza, located in Bryant, Arkansas.

Developer's Information:

Alan Schrader
Schrader Homes
P.O. Box 824
Bryant, AR 72089
clientservices@schraderhomes.com
(501) 847-1940

Engineer's Information:
Eric Richardson, P.E.
Richardson Engineering, PLLC
P.O. Box 192
Benton AR, 72018
Eric@Richardson-engrs.com
(501) 315-7225

Sincerely,



Alan Schrader

Bryant Planning Commission

LARGE SCALE DEVELOPMENT COMMERCIAL BUILDING CHECKLIST

CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022
501-943-0309

PC MEETING DATE: SECOND MONDAY OF EACH MONTH
TIME: 6:00 P.M.
PLACE: COURTROOM - BRYANT OFFICE COMPLEX
AGENDA DEADLINE: 5:00 P.M. THREE WEEKS PRIOR TO THE REGULARLY SCHEDULED MEETING DATE

REQUIREMENTS FOR SUBMISSION

LETTER TO PLANNING COMMISSION STATING YOUR REQUEST
COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
ADA/ABA FORM COMPLETED
TWO FULL SETS OF BUILDING PLANS
20 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
VICINITY MAP - LEGAL DESCRIPTION - LANDSCAPING PLAN
20 FOLDED COPIES OF FLOOR PLAN
20 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
AN IBM COMPATIBLE DISKETTE IN PDF FORMAT
COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
COPY OF STORMWATER DETENTION APPROVAL BY ENGINEER
\$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.

NOTE: WHEN MAKING CHANGES TO AN APPROVED SITE PLAN, A REVISED SITE PLAN MUST BE SUBMITTED TO THE BRYANT PLANNING COMMISSION FOR APPROVAL. THIS MUST BE DONE PRIOR TO IMPLEMENTATION. FAILURE TO COMPLY WILL RESULT IN PENALTIES/FINES BEING IMPOSED IN ACCORDANCE WITH CITY ORDINANCES.

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.


SIGNATURE

02/22/2023

DATE

City of Bryant Commercial Building Checklist

Name of Development SHADY PINE PLAZA
Site Location SHADY PINE LANE Current zoning C-2
Owner ALAN SCHRADER Phone 501-317-0446

I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- ✓ 1. Name of Development
- ✓ 2. Current zoning
- ✓ 3. Name and Address of owner of Record
- ✓ 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan
- ✓ 5. Date of preparation of the plan
- ✓ 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ✓ 7. Legal description of the property with exact boundary lines
- ✓ 8. North arrow & Scale
- ✓ 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway
- ✓ 10. Lot area in square feet
- ✓ 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34")
- ✓ 12. Existing streams, drainage channels, and other bodies of water
- ✓ 13. Drainage easements for stormwater run-off and detention shown & labeled
- ✓ 14. Location and name of existing streets
- ✓ 15. Show source of water supply
- ✓ 16. Show location of waste water connection to municipal system & sanitary sewer layout
- ✓ 17. Fire Hydrant placement
- ✓ 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets
- ✓ 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan
- ✓ 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated.
- ✓ 21. Location, massing and pattern of existing vegetation to be retained
- ✓ 22. Existing structures on the site
- ✓ 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc.
- ▲ 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context.
- TBD ▲ 25. Any variance approvals

II. ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan	✓	
Proposed improvement is within building line setbacks Front <u>15</u> ft. Side <u>15</u> ft. ^{EAST} CNR Side <u>10</u> ft. Back <u>15</u> ft.	✓	
Parking requirements can be satisfied Floor Space <u>10,400</u> sq.ft. divided by 300 = <u>34.7</u> (no. of parking spaces required)		✓
	∴ NOTE: 33 PARKING SPACES SUPPLIED	
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)	✓	
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation	✓	
Will there be a dumpster located on the site?	✓	
Will there be a construction site office?		✓
Have you made "One Call"?		✓
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines	✓	
Design complies with Arkansas Plumbing Code and National Electric Code requirements	✓	
Foundation and structure meet earthquake requirements for Zone 1.	✓	
Structure meets Arkansas Energy Code for specified use.	✓	
Complies with Arkansas Fire Prevention Code	✓	
Complies with International Code Council regulations	✓	
Will a Site Clearance Permit be required? (City Ordinance 2002-03)	✓	
Are you granted any variances by the Board of Adjustment?	TBD	
If you have been granted a variance please explain in detail: <u>WE WILL BE SEEKING A</u>		
<u>VARIANCE FOR THE SIDE + REAR BUILDING SETBACK.</u>		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant	✓	___
Spacing will be 40' between trees	✓	___
Tree must be a minimum 3" in diameter at the base and 12' + tall	✓	___
Existing trees meeting the minimum size can be counted to meet above criteria	✓	___
No trees can be planted within 30 feet of a property corner or driveway	✓	___
Shrubs along street right-of-way lines cannot exceed 30 inches in height	✓	___

IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
1. C-1 Zoning - Neighborhood Commercial		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183		
Front Yard: not less than 50 feet from front property line	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 3. C-2 Zoning - Lots fronting along roadways designated as interior local.		
Front Yard: none required	_____ ✓	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	_____ ✓	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____ ✓	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	_____ ✓	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____ ✓
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____ ✓	_____

NOTE: PER THE ODD, A TOTAL OF 34.7, OR 35, IS REQUIRED. A TOTAL OF 33 SPACES HAS BEEN PROVIDED ON SITE. THERE IS ALSO ADDITIONAL SPACES ACROSS THE STREET THAT CAN BE USED AS OVERFLOW.

V. SITE PLAN ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ✓ 26. Letter to Planning Commission stating your request
- ✓ 27. Completed Checklist
- ✓ 28. Completed ADA/ABA Form
- NA 29. Two full sets of Building Plans
- ✓ 30. 20 copies of Site Plan (folded to no larger than 8 1/2 X 14 size) that includes vicinity map and landscaping plan (minimum size 17" X 34" paper)
- ✓ 31. 20 copies of Landscaping Plan (folded to no larger than 8 1/2 X 14 size)
- ✓ 32. 20 copies of building floor plan (folded to no larger than 8 1/2 X 14 size)
- NA 33. Copy of Stormwater Detention approval (NO DETENTION. PROJECT IS LESS THAN 1 ACRE.)
- ✓ 34. Copy of ADEQ Stormwater Pollution Prevention Plan for property containing one acre or larger.
- ✓ 35. IBM compatible diskette or CD with data in PDF format.
- ✓ 36. Receipt for \$250.00 for Stormwater Detention and Drainage Plan review

I CERTIFY that the design of SHADY PINE PLAZA in the City of Bryant, Arkansas complies with the above regulations, laws and codes.



Owner



Engineer/Architect

P.O. BOX 824

Mailing Address

501-317-0446

Phone #

BRYANT, ARKANSAS 72089

City

02/22/2023

Date

CITY USE

Action Taken:

Special Conditions:

Permit Issued:	Date _____	Sq.Ft. _____	Amount \$ _____
----------------	------------	--------------	-----------------

Construction Completed Certified For Occupancy:	Date: _____
	Inspector: _____

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor
or Authorized Agent



Date 02/22/2023

Signature of Owner
(if owner-builder)



Date 02/22/2023

Application of Permit Approved: _____

Date _____

Commission - Chairman

Bryant Water & Sewer Department

GREASE TRAP STANDARDS

The City of Bryant requires all commercial buildings comply with plumbing codes found in the Arkansas State Plumbing Code, Latest Edition. All new construction, remodeling, and modifications must conform to these plumbing standards for places of public accommodation and commercial facilities. These guidelines contain general design standards for construction and site elements relating to plumbing.

As of 7/27/04, the Bryant Sewer & Water Commission requires stringent specification standards for commercial or public businesses that involve any food preparation on the premise. The new standard requires calculations, and associated data to be submitted to the Bryant Water Utilities General Manager concurrent with the proposed building plumbing plans along with a grease trap calculation form. Building Permits will not be issued until this form has been received and approved by the Bryant Water Utilities General Manager.

All new buildings or strip centers containing sections designated for commercial enterprise are encouraged to provide a stub-out for a separate waste line for future grease interceptor installation. The owner of a new strip center shall consider suitable physical property space and sewer gradient that will be conducive for the installation of an exterior, in-ground grease interceptor(s) for any flex space contained within the strip center. Physical Property Restrictions and sewer gradient shall not be a defense for failure to install an exterior, in-ground grease interceptor.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the City of Bryant Water & Sewer Department. I further understand that copies of the Grease Interceptor Design and Structural Criteria regulations will be available from the Bryant Water/Wastewater Plant (501-847-8083) during business hours.

Project Name SHADY PINE PLAZA

Signature of Contractor or Authorized Agent  Date 02/22/2023

Signature of Owner (if owner-builder)  Date 02/22/2023

Calculations Approved: _____ Date _____
Bryant Water Utilities General Manager

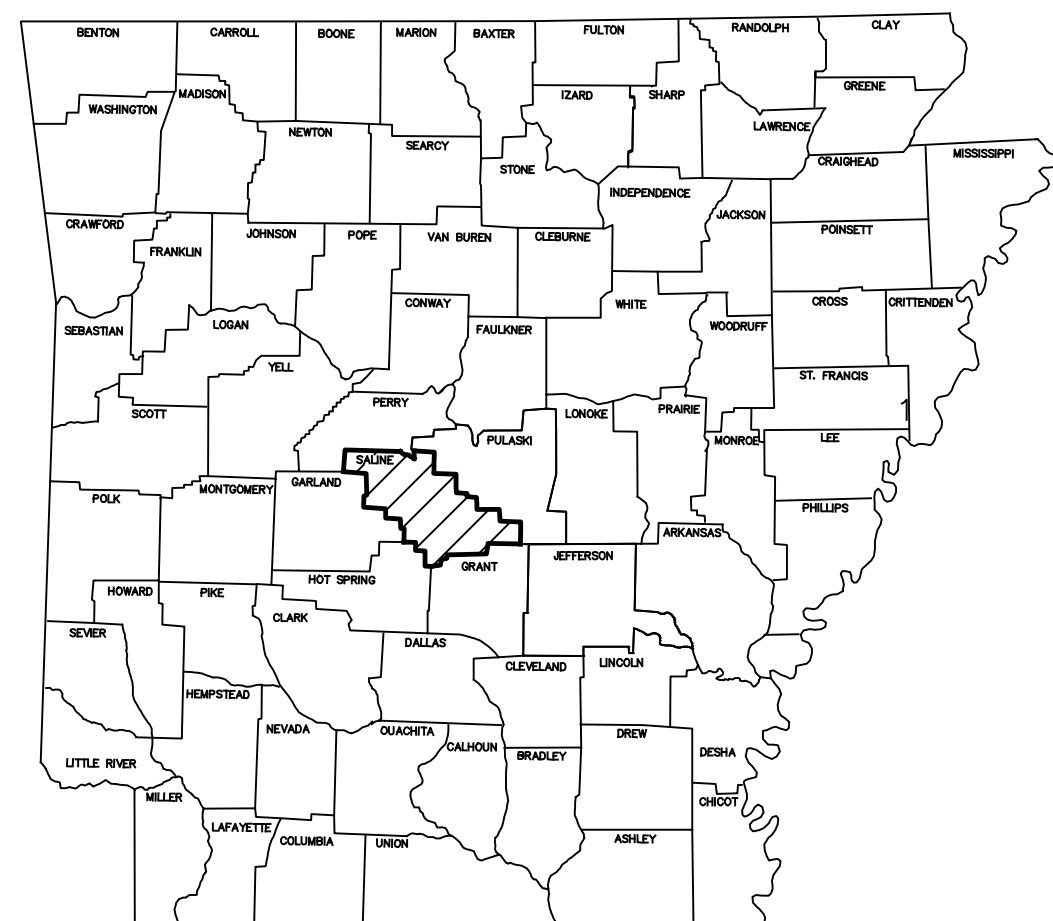
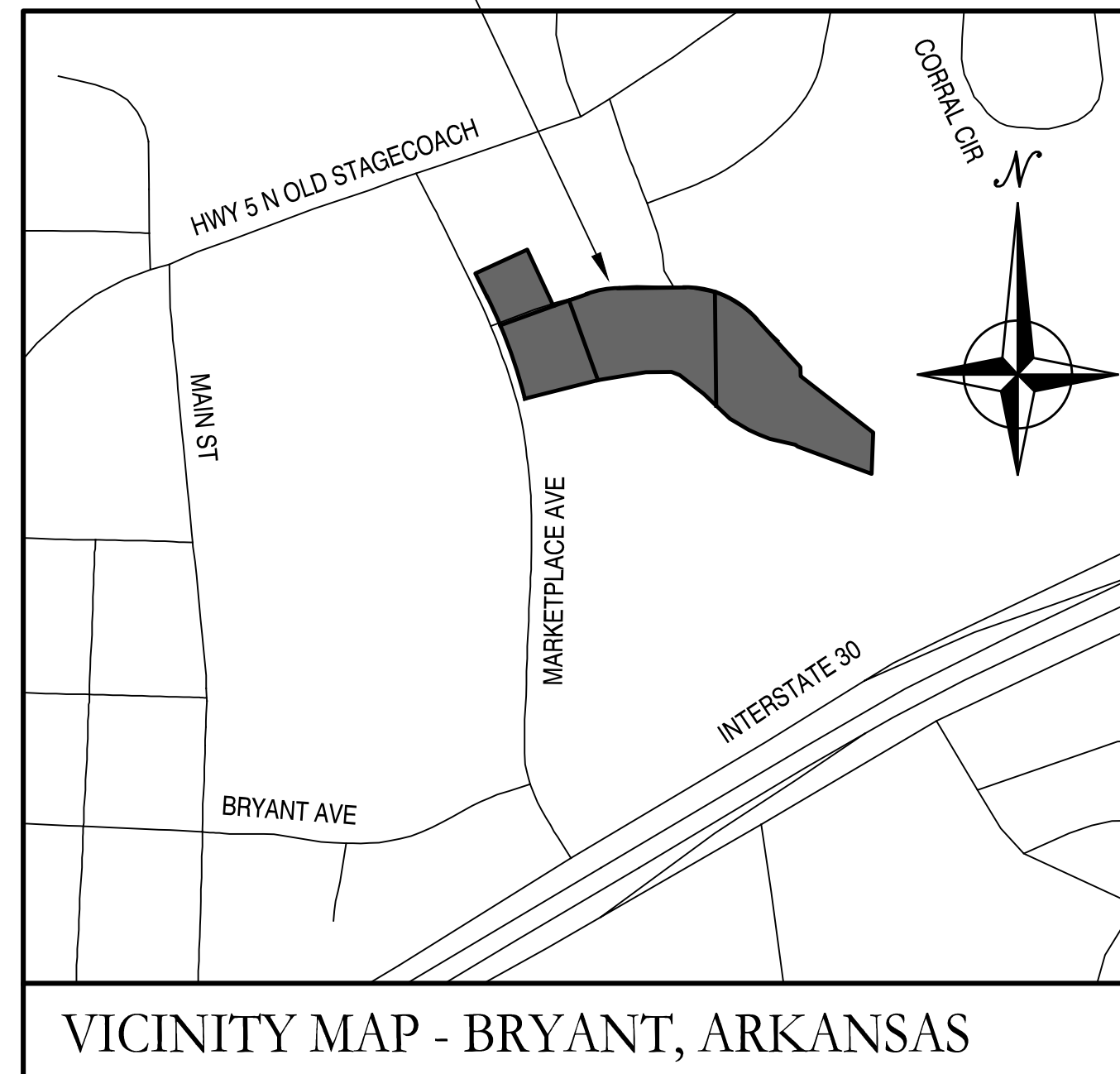
CONSTRUCTION PLANS FOR

MARKETPLACE EAST SUBDIVISION

PHASE 1

BRYANT, ARKANSAS

PROJECT LOCATION



ARKANSAS

Prepared by:
GarNat Engineering, LLC

Designing our client's success
www.garnatengineering.com

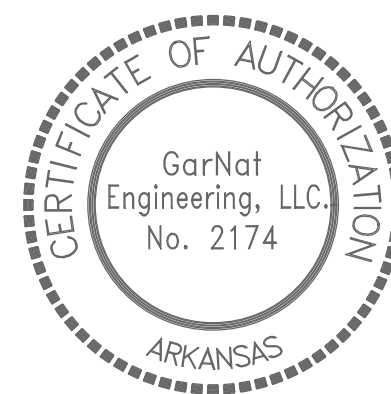
P.O. Box 116
 Benton, AR 72018
 Ph (501) 408-4650

3825 Mt Carmel Road
 Bryant, AR 72022
 Fx (888) 900-3068

REVISED PER CITY OF BRYANT 02/21/2023

DRAWING INDEX:

G1.0	GENERAL NOTES
V1.0	PRELIMINARY PLAT
C2.0	GRAVITY SEWER MAIN A PLAN AND PROFILE
C3.0	GRAVITY SEWER MAIN B PLAN AND PROFILE
C4.0	PROGRESS WAY PLAN AND PROFILE
C5.0	WATER PLAN
C6.0	EROSION CONTROL PLAN



A	B	C	D	E	F																		
<p>1. SAFETY</p> <p>1.1. JOBSITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>1.2. THIS RESPONSIBILITY COVERS THEIR OWN WORK FORCE, ALL SUBCONTRACTORS, VISITING PERSONNEL, OFFICIALS, AND THE GENERAL PUBLIC WHICH MAY HAVE ACCESS TO THE JOBSITE.</p> <p>1.3. THE CONTRACTOR SHALL EXERCISE COMPLETE CONTROL OVER WHO HAS ACCESS TO THE JOBSITE TO ENSURE JOBSITE SAFETY.</p> <p>1.4. THE CONTRACTOR SHALL CONFORM TO ALL SECURITY AND SAFETY REQUIREMENTS OF THE OWNER.</p> <p>1.5. ANY SAFETY OR OTHER TRAINING REQUIRED BY THE OWNER FOR THE WORK FORCE MUST BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.</p>		<p>7. STRUCTURES</p> <p>7.1. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT IN TO INVERT OUT.</p> <p>7.2. BEDDING FOR STORM STRUCTURES SHALL CONSIST OF A MINIMUM OF 6-INCHES OF COMPACTED #57 STONE ON TOP OF COMPACTED SUBGRADE.</p> <p>7.3. AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SCARIFIED TO MINIMUM DEPTH OF 0'-8" AND COMPACTED TO MINIMUM OF 95% OPTIMUM DENSITY. ANY AREAS THAT FAIL COMPACTION ARE TO BE STABILIZED AS DIRECTED BY THE ENGINEER.</p>		<p>12. ENVIRONMENTAL</p> <p>12.1. THE CONTRACTOR IS TO MEET ALL ENVIRONMENTAL REQUIREMENTS OF THE OWNER AND ANY REGULATORY AGENCY HAVING AUTHORITY OVER THIS SITE.</p> <p>12.2. THE CONTRACTOR IS TO UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) FOR CONTROL OF EROSION DURING ALL CONSTRUCTION PHASES OF THIS PROJECT.</p> <p>12.3. MINIMUM BMP'S REQUIRED FOR THE PROJECT ARE LISTED ON SHEET THESE PLANS. CONTRACTOR SHALL PROVIDE THESE BMP'S AND ANY OTHERS REQUIRED FOR THE PROJECT.</p> <p>12.4. IF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE CONSTRUCTION PHASE OF THIS PROJECT, THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS FOR EROSION CONTROL INCLUDED IN THE SWPPP DOCUMENTS.</p>	<table border="1"> <tr> <td>BY</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>REVISION</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>DATE</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	BY						REVISION						DATE					
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DATE																							
<p>2. PERMITS</p> <p>2.1. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AS REQUIRED BY REGULATING AUTHORITIES OR BY THE OWNER. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE TERMS AND CONDITIONS ASSOCIATED WITH EACH REQUIRED PERMIT, AS WELL AS ADHERING TO THE RULES AND REGULATIONS OF EACH REGULATING AUTHORITY</p>		<p>8. PRIOR TO PLACING FILL IN LOW AREAS, SUCH AS PREVIOUSLY EXISTING CREEKS, PONDS, OR LAKES, PERFORM FOLLOWING PROCEDURES:</p> <p>8.1. DRAIN WATER OUT BY GRAVITY WITH DITCH HAVING FLOW LINE LOWER THAN LOWEST ELEVATION IN LOW AREA. IF DRAINAGE CANNOT BE PERFORMED BY GRAVITY DITCH, USE ADEQUATE PUMP TO OBTAIN THE SAME RESULTS.</p> <p>8.2. AFTER DRAINAGE OF LOW AREA IS COMPLETE, REMOVE MULCH, MUD DEBRIS, AND OTHER UNSUITABLE MATERIAL BY USING ACCEPTABLE EQUIPMENT AND METHODS THAT WILL KEEP NATURAL SOILS UNDERLYING LOW AREA DRY AND UNDISTURBED.</p>		<p>12.5. CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF ACCUMULATED TRASH AND DEBRIS. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING MEASURES TO AVOID TRACKING OF MUD, DIRT, ROCKS, AND DEBRIS ONTO AREAS OUTSIDE THE PROJECT AREA. CONTRACTOR SHALL CLEAN PAVEMENTS WHEN NECESSARY OR AS OTHERWISE DIRECTED, AND SHALL CONTROL DUST BY SWEEPING AND WATERING AS NEEDED. DE-TRACKING MAY BE REQUIRED AT ALL ENTRANCES.</p>	<p>13. FINAL SITE CONDITIONS</p> <p>13.1. ALL DISTURBED AREAS NOT RECEIVING PAVEMENT OR LANDSCAPING SHALL HAVE VEGETATION ESTABLISHED AT TIME OF FINAL INSPECTION.</p> <p>13.2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPE 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.</p> <p>13.3. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.</p> <p>13.4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS</p> <p>13.5. UPON PARTIAL OR FINAL COMPLETION OF GRADING WORK, SPREAD TOPSOIL, SEED, FERTILIZER, AND MULCH IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE STORM WATER POLLUTION PREVENTION PLAN.</p>																		
<p>3. CONTRACT DOCUMENTS</p> <p>3.1. ALL WORK SHALL CONFORM TO THE PLANS, THESE NOTES, AND SPECIFICATIONS IN ALL RESPECTS AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.</p>		<p>9. UTILITIES</p> <p>9.1. AN ATTEMPT HAS BEEN MADE TO APPROXIMATELY LOCATE UTILITIES ON THE DRAWINGS.</p> <p>9.2. UTILITIES SHOWN ON THE DRAWINGS WERE LOCATED BY VISUAL OBSERVATION, AND BY TRANSCRIBING FROM RECORD MAPS AND PLANS.</p> <p>9.3. NO EXCAVATIONS WERE MADE TO CONFIRM SUB-SURFACE UTILITIES. NEITHER THE SURVEYOR NOR PROJECT ENGINEER GUARANTEES THAT ALL UTILITIES HAVE BEEN SHOWN, OR THAT THOSE SHOWN ARE FULLY ACCURATE.</p>																					
<p>4. INDEMNITY</p> <p>4.1. BY ACCEPTING THE CONTRACT FOR THIS WORK, THE CONTRACTOR, AT THEIR OWN EXPENSE AND RISK, HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER, GARNAT ENGINEERING, THEIR OFFICERS, AGENTS, EMPLOYEES, CONSULTANTS, AND REPRESENTATIVES FOR DAMAGE TO THE PROPERTY OR INJURY TO, OR DEATH, OF ANY PERSONS, FROM ANY AND ALL CLAIMS, DEMANDS, ACTIONS OF ANY KIND WHATSOEVER ARISING OUT OF AND IN CONNECTION WITH THE AGREEMENT OR PROSECUTION OF WORK UNDER IT, WHETHER SUCH CLAIMS, DEMANDS, ACTIONS, OR LIABILITY ARE CAUSED BY THE CONTRACTOR, ITS AGENTS, EMPLOYEES, SUBCONTRACTORS, PRODUCTS INSTALLED ON THE PROJECT OR CAUSED BY ANY OTHER PARTY.</p>		<p>9.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS AND/OR RELOCATION OF EXISTING UTILITIES THAT ARE DAMAGED AS A RESULT OF WORK OF THIS PROJECT.</p> <p>9.5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROPERLY DISCONNECTING, ABANDONING, RELOCATING, AND/OR ADJUSTING ALL AFFECTED UTILITIES WITHIN THE PROJECT AREA.</p> <p>9.6. ALL UTILITY WORK SHALL BE COORDINATED AND EXECUTED IN ACCORDANCE WITH THE OWNER AND/OR GOVERNING UTILITY COMPANY CODES, SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.</p> <p>9.7. DESIGN AND ALIGNMENT OF UNDERGROUND TELEPHONE, TV CABLE, GAS AND ELECTRIC SERVICES SHALL BE PROVIDED BY THE INDIVIDUAL UTILITIES AND ARE NOT NECESSARILY SHOWN WITH THESE PLANS. CONTRACTOR SHALL PROVIDE CONDUITS SIZED TO ACCOMMODATE UTILITY ROUTING WITH PULL STRINGS WHERE NECESSARY.</p> <p>9.8. CONTRACTOR TO PROVIDE ALL NECESSARY APPURTENANCES NECESSARY FOR COMPLETE UTILITY SERVICES WHICH ARE NOT PROVIDED BY THE UTILITY COMPANY.</p>																					
<p>5. CONSTRUCTION PROCEDURES, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS UNLESS OTHERWISE MODIFIED ON THE DRAWINGS OR IN THESE NOTES OR SPECIFICATIONS.</p> <p>5.1. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION - ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT</p> <p>5.2. INTERNATIONAL BUILDING CODE</p> <p>5.3. ACI 315 MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES</p> <p>5.4. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING STEEL.</p>		<p>10. DISPOSAL OF DEBRIS, WASTE OR SPOIL</p> <p>10.1. BURNING OF DEBRIS AND WASTE IS NOT ALLOWED. CONTRACTOR MAY BE REQUIRED TO PROPERLY HAUL AWAY AND DISPOSE OF ANY WASTE MATERIAL REMOVED FROM THE SITE.</p> <p>10.2. ANY WASTE OR SPOIL MATERIAL WHICH IS EXCAVATED FROM THE JOB SITE IS TO BE DISPOSED OF AS DIRECTED BY THE ENGINEER OR OWNER.</p> <p>10.3. REMOVAL AND DISPOSAL OF EXCAVATED WASTE MATERIAL IS CONSIDERED SUBSIDIARY TO ALL OTHER ITEMS IN THE PROJECT, AND WILL NOT BE PAID FOR SEPARATELY.</p> <p>10.4. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIAL REMOVED FROM THIS SITE.</p> <p>10.5. CONTRACTOR SHALL REMOVE FROM SITE AND DISPOSE OF MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN OPINION OF THE ENGINEER, IS UNSUITABLE OR UNDESIRABLE FOR BACKFILLING OR SUBGRADE PURPOSES. DISPOSE OF IN A MANNER SATISFACTORY TO ENGINEER. BACKFILL UNDERCUT AREAS WITH LAYERS OF SUITABLE MATERIAL AND COMPACT AS SPECIFIED HEREIN.</p>																					
<p>6. SITE</p> <p>6.1. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.</p> <p>6.2. CONTRACTOR IS NOT TO PERFORM WORK BEYOND THE DESIGNATED WORK LIMITS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNER.</p> <p>6.3. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.</p> <p>6.4. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL ITEMS, SHOWN TO BE REMOVED OR RELOCATED AND NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE REQUIRED TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.</p> <p>6.5. CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED MANHOLES, VALVE BOXES, ETC. TO FINISH GRADE, WHERE REQUIRED.</p>		<p>11. SUBSTITUTIONS</p> <p>11.1. SUBSTITUTIONS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT ENGINEER.</p>																					

Designing our client's success

GNE

GarNat Engineering, LLC

3825 Mt Carmel Road
Bryant, AR 72022
gmatengineering@gmail.com

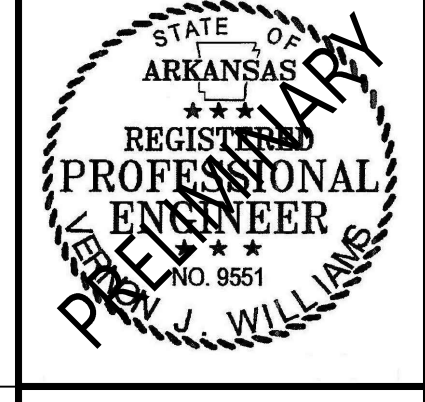
P.O. Box 116
Benton, AR 72018
Ph. (501) 408-4650

MARKETPLACE EAST PHASE 1

BRYANT REALTY COMPANY, LLC

CITY OF BRYANT

SALINE COUNTY, ARKANSAS



CONTENTS:

GENERAL NOTES

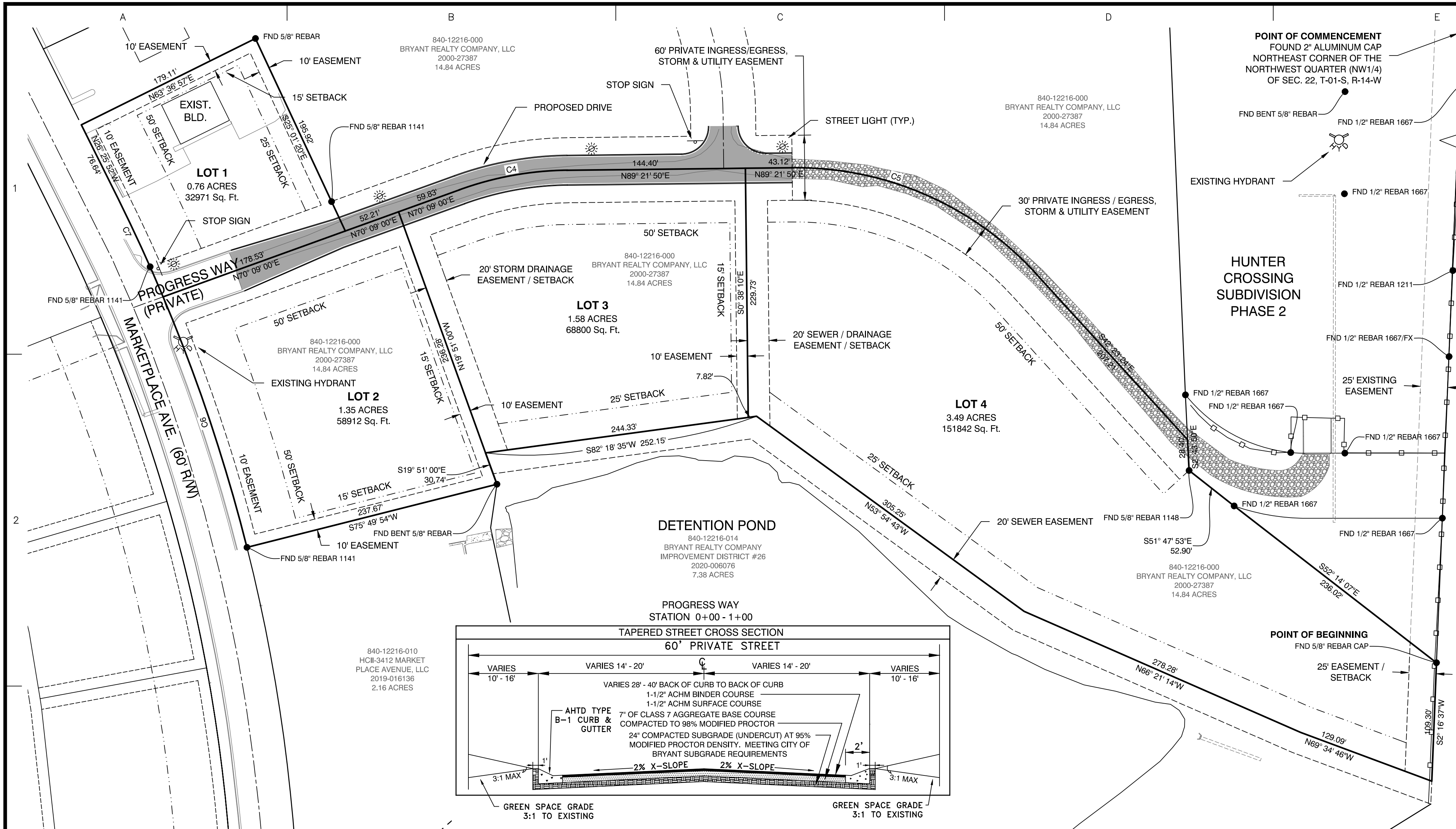
PROJECT NO:
20022

DATE:
FEB. 8, 2023

SHEET NO:

G1.0

A:\Projects\2023\Projects\2023\Bart_Ferguson - John Dandrea - 1_south_inlet - Bryant City - City\Drawings\GMA\2022\Bart_Ferguson_Markplace East_Subdivsion - GENERAL NOTES.dwg



PLAT CERTIFICATES:

OWNER:
Name: Bryant Realty Company, LLC
Address: 422 North Main Street, Benton, Arkansas 72015

DEVELOPER:
Name: Bryant Realty Company, LLC
Address: 422 North Main Street, Benton, Arkansas 72015

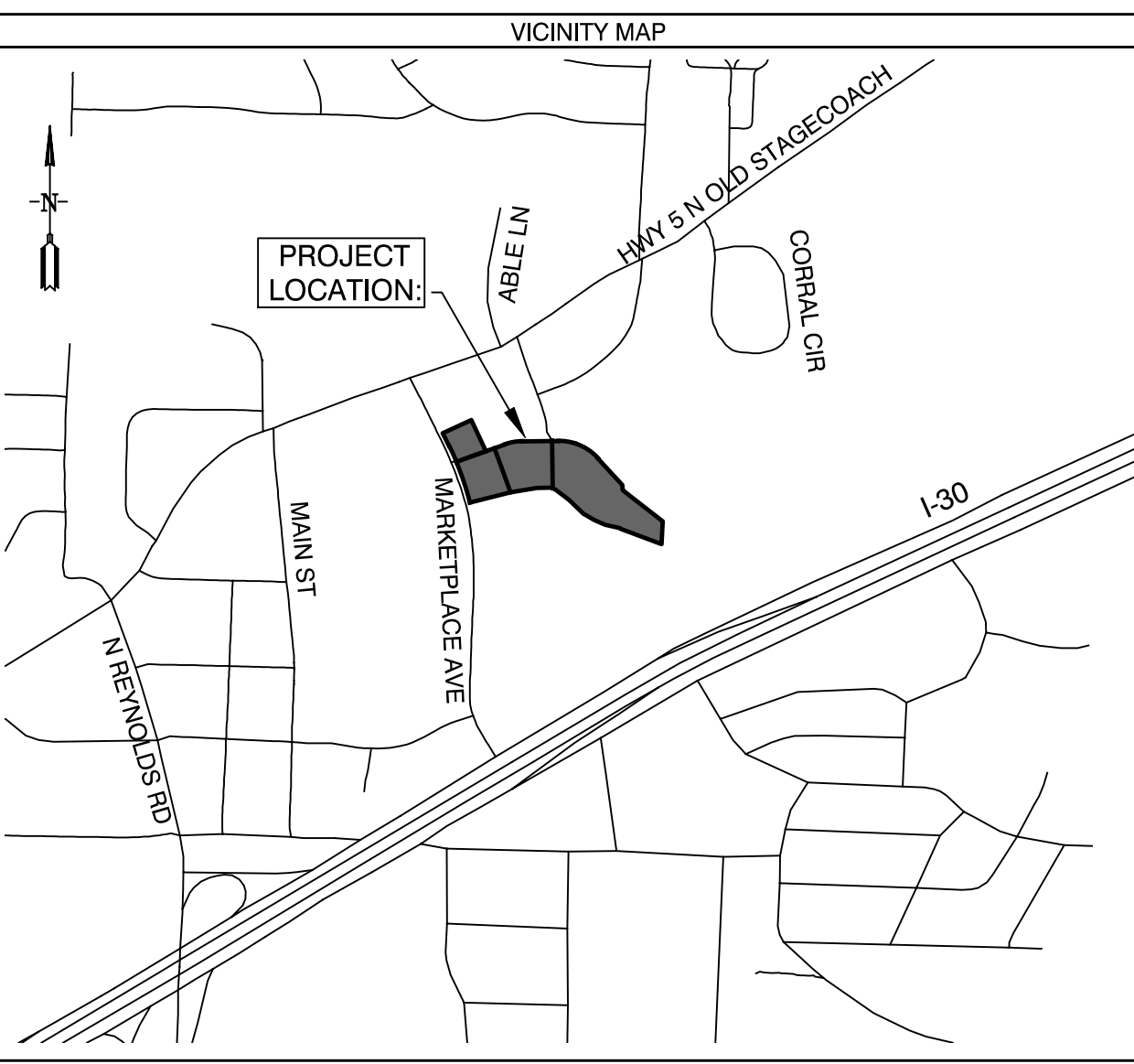
CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.
Date: _____ Signed: _____
Name: Fred Briner
Address: 422 North Main Street, Benton, Arkansas 72015

Source of Title Saline County: Deed Book 2000, Page 27387

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.
Date: _____ Signed: _____
Name: Vernon J. Williams
Address: 9551, Arkansas
Registered Professional Engineer
No. 9551, Arkansas

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.
Date: _____ Signed: _____
Name: George P. Wooden
Address: 1573, Arkansas
Registered Land Surveyor
No. 1573, Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:
All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations.
Date: _____ Signed: _____
Name: Rick Johnson, Chairman
Address: Bryant Planning Commission

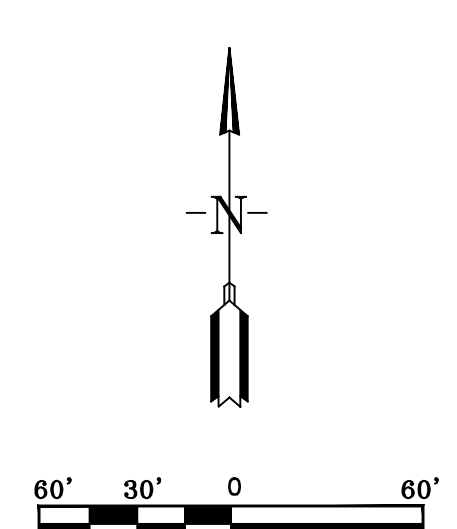


SUBDIVISION DESCRIPTION:

LOCATED IN THE EAST HALF OF THE NORTHWEST QUARTER (E1/2 NW1/4), OF SECTION 22, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 2" ALUMINUM CAP LOCATED AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 22, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SAID POINT ALSO BEING ON THE EAST LINE OF HUNTER CROSSING SUBDIVISION; THENCE S 2°19'11" W, ALONG THE EAST LINE OF SAID NW1/4 AND SAID SUBDIVISION FOR A DISTANCE OF 740.62 FEET TO A FOUND 5/8" REBAR WITH CAP LOCATED AT THE SOUTHEAST CORNER OF SAID SUBDIVISION FOR THE POINT OF BEGINNING; THENCE S 2°16'37" W, LEAVING SAID SUBDIVISION AND CONTINUING ALONG SAID EAST LINE OF THE NW1/4 FOR A DISTANCE OF 109.30 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE NORTH LINE OF A SEWER EASEMENT; THENCE N 89°24'46" W, LEAVING SAID EAST LINE AND ALONG SAID NORTH LINE OF SEWER EASEMENT, A DISTANCE OF 129.09 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 68°21'14" W, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 278.28 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 53°54'43" W, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 305.25 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 82°18'35" W, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 252.15 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 19°51'00" E, LEAVING SAID NORTH LINE OF SEWER EASEMENT, A DISTANCE OF 30.74 FEET TO A FOUND BENT 5/8" REBAR; THENCE S 75°49'54" W FOR A DISTANCE OF 237.67 FEET TO A FOUND 5/8" REBAR WITH CAP #1141 LOCATED ON THE EAST RIGHT OF WAY OF MARKET PLACE AVENUE; THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 1596.45 FEET AND A LENGTH OF 342.77 FEET, WHOSE CHORD BEARS N 20°16'30" W - 342.11 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 28°25'52" W, CONTINUING ALONG SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 76.64 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 63°36'57" E, LEAVING SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 179.11 FEET TO A FOUND 5/8" REBAR; THENCE S 25°01'20" E FOR A DISTANCE OF 195.92 FEET TO A POINT THAT IS LOCATED AT THE CENTERLINE OF PROGRESS WAY (PRIVATE STREET); THENCE ALONG SAID CENTERLINE THE FOLLOWING COURSES: THENCE N 70°09'00" E - 112.04 FEET, THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 300.00 FEET AND A LENGTH OF 101.27 FEET, WHOSE CHORD BEARS N 79°41'39" E - 100.79 FEET, THENCE N 89°21'50" E - 207.50 FEET, THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 300.00 FEET AND A LENGTH OF 252.62 FEET, WHOSE CHORD BEARS S 66°30'47" E - 245.22 FEET, THENCE S 42°23'24" E - 207.21 FEET TO A POINT LOCATED ON THE WEST LINE OF HUNTER CROSSING SUBDIVISION PHASE 2; THENCE S 2°43'50" E, LEAVING SAID CENTERLINE OF AND ALONG THE WEST LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 28.40 FEET TO A FOUND 5/8" REBAR WITH CAP #1148 LOCATED AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE S 51°47'53" E, ALONG SAID SOUTH LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 52.90 FEET TO A FOUND 1/2" REBAR WITH CAP #1667; THENCE S 52°14'07" E, CONTINUING ALONG SAID SOUTH LINE FOR A DISTANCE OF 238.02 FEET TO THE POINT OF BEGINNING, CONTAINING 7.18 ACRES MORE OR LESS.

PRELIMINARY PLAT - MARKETPLACE EAST PHASE 1
CITY OF BRYANT
SALINE COUNTY, ARKANSAS



DOCUMENTS USED:

- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 9/11/2015 KERRY LANE PLS #1141
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 1/27/2009 KERRY LANE PLS #1141
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 4/21/2022 KERRY LANE PLS #1141
- WARRANTY DEED 2020 PAGE 006076 BRYANT REALTY COMPANY, LLC TO BRYANT REALTY COMPANY IMPROVEMENT DISTRICT NO. 26
- SPECIAL WARRANTY DEED 2000 PAGE 27387 HIGHWAY 5 INVESTMENTS, LLC TO BRYANT REALTY COMPANY, LLC
- WARRANTY DEED 2019 PAGE 004456 FRED E. BRINER TO FRED BRINER PROPERTIES, LLC
- SPECIAL WARRANTY DEED 2019 PAGE 016136 FERGUSON-BRINER, LLC TO HCII-3412 MARKET PLACE AVENUE, LLC
- WARRANTY DEED 2000 PAGE 27385 HIGHTOWER TO HIGHWAY 5 INVESTMENTS, LLC
- REVISED FINAL PLAT OF HUNTER CROSSING SUBDIVISION PHASE 1
- REVISED FINAL PLAT OF HUNTER CROSSING SUBDIVISION PHASE 2

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON JANUARY 10, 2023.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.



PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: C-2
SOURCE OF WATER: CITY OF BRYANT
SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS (SB):
FRONT - 5'0"
REAR - 25'
SIDE INTERIOR - 15'
SIDE EXTERIOR - 15'

EASEMENTS, UTILITY & DRAINAGE (D.E. & U.E.)
FRONT, SIDE AND REAR - 10' OR AS SHOWN
INGRESS/EGRESS (I/E)
LOT CORNERS: SET #4 REBAR WITH CAP

NOTES: ALL LOTS WILL HAVE SIDEWALKS. THESE WILL BE ADDED WHEN EACH SITE PLAN IS SUBMITTED FOR APPROVAL AT PLANNING COMMISSION.

SURVEY LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap or Mag Nail with Shiner
- (M) - Measured
- (R) - Record
- (P) - Platted

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C4	101.27'	300.00'	19°20'26"	N79° 41' 39"E	100.79'
C5	252.62'	300.00'	48°14'46"	S66° 30' 47"E	245.22'
C6	243.80'	1596.45'	8°44'58"	N18° 29' 44"W	243.56'
C7	98.97'	1596.45'	3°33'07"	N24° 39' 30"W	98.95'

BY: GPW

REVISION: REVISED PER CITY OF BRYANT

DATE: 02-21-23

DESIGNING OUR CLIENT'S SUCCESS
GarNat Engineering, LLC
3825 Mt Carmel Road
Bryant, AR 72022
garnatengineering@gmail.com

MARKETPLACE EAST PHASE 1
BRYANT REALTY COMPANY, LLC
CITY OF BRYANT
SALINE COUNTY, ARKANSAS

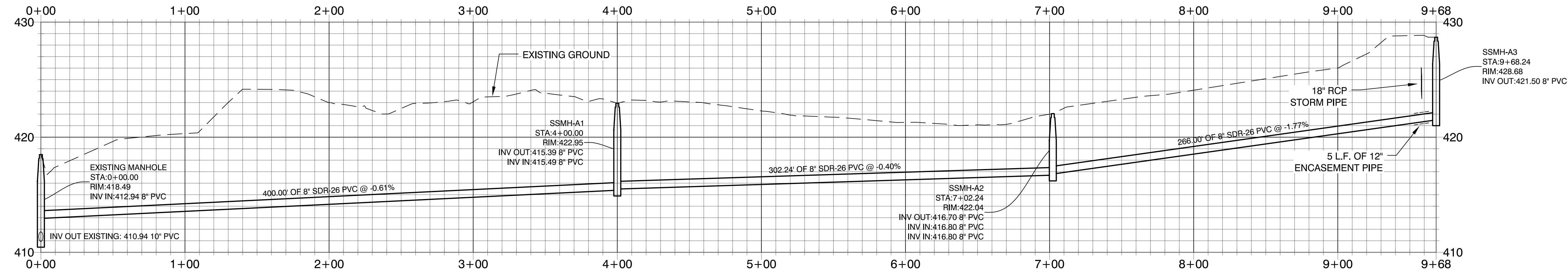
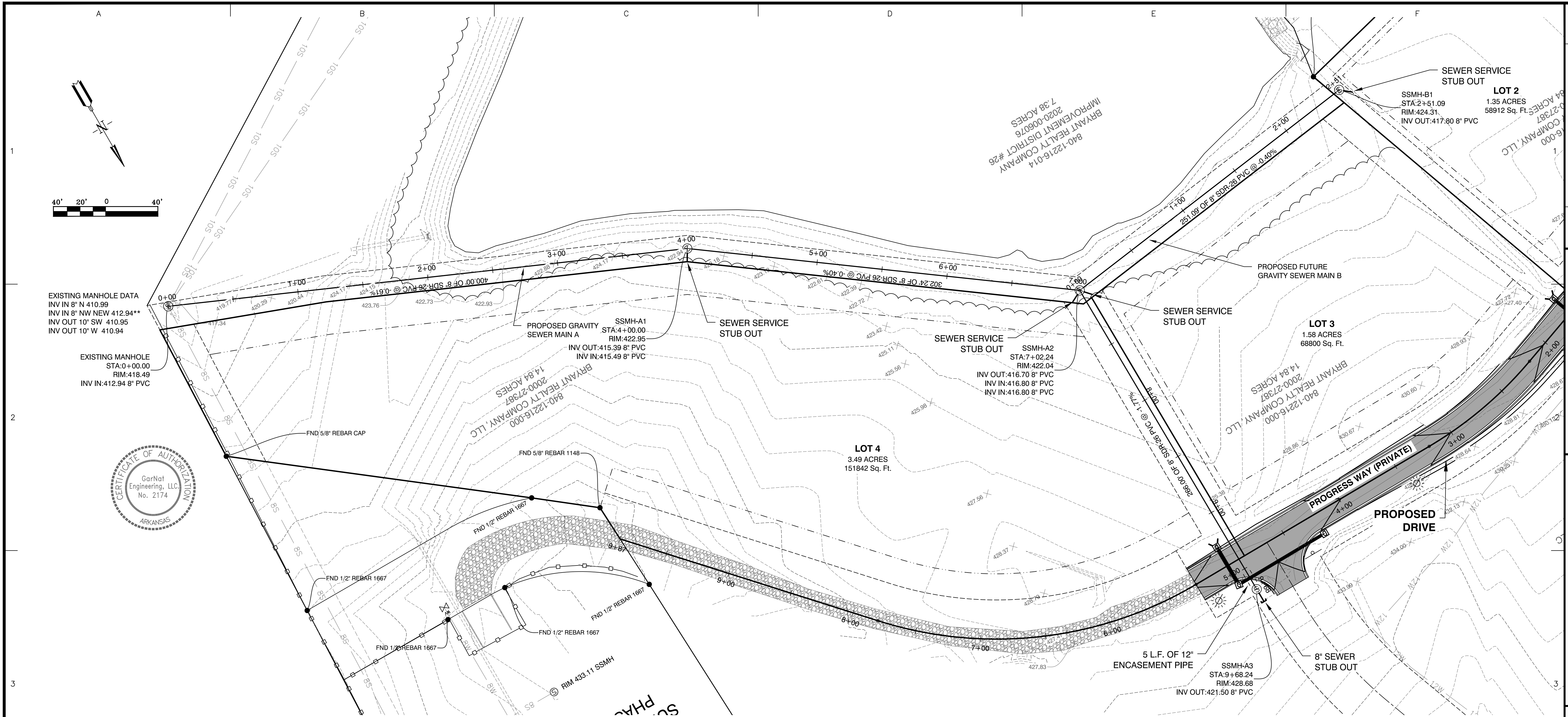
REGISTERED PROFESSIONAL ENGINEER
STATE OF ARKANSAS
NO. 1573
GEORGE P. WOODEN

CONTENTS:
PRELIMINARY PLAT

PROJECT NO:
20022

DATE:
FEB. 8, 2023

SHEET NO:
V1.0



GRAVITY SEWER PROFILE MAIN A

SCALE: H 1" = 40'
 V 1" = 5'

REVISION	DATE	BY	GPW
1	02-21-23		
2			
3			
4			
5			
6			
7			

Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650
 garnatengineering@gmail.com

MARKETPLACE EAST PHASE 1
BRYANT REALTY COMPANY, LLC
CITY OF BRYANT
SALINE COUNTY, ARKANSAS



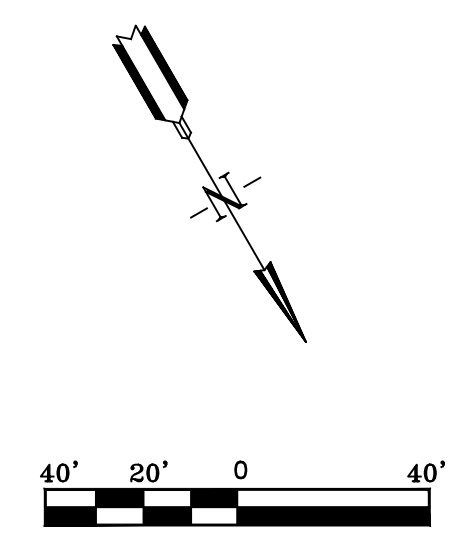
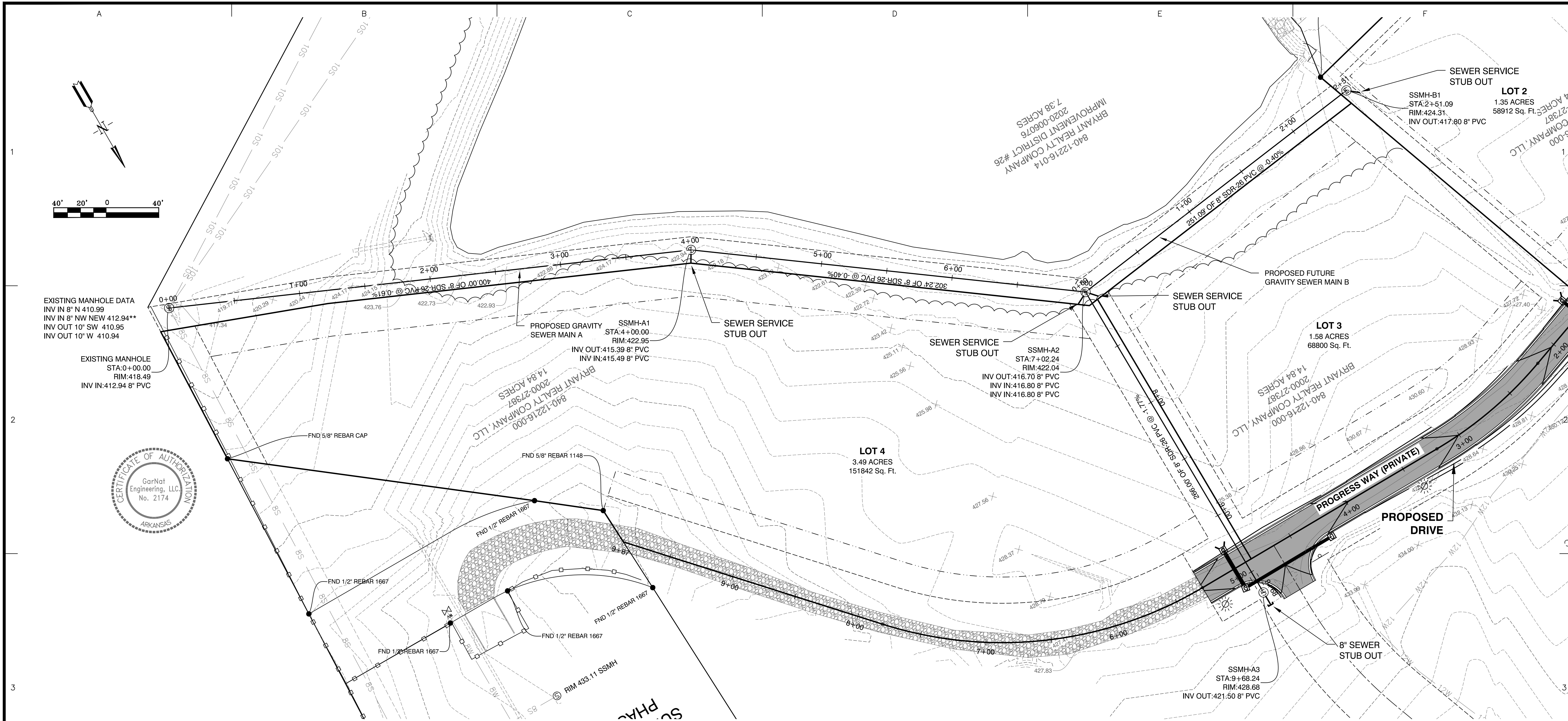
CONTENTS:
GRAVITY SEWER MAIN A
PLAN & PROFILE

PROJECT NO:
20022

DATE:
FEB. 8, 2023

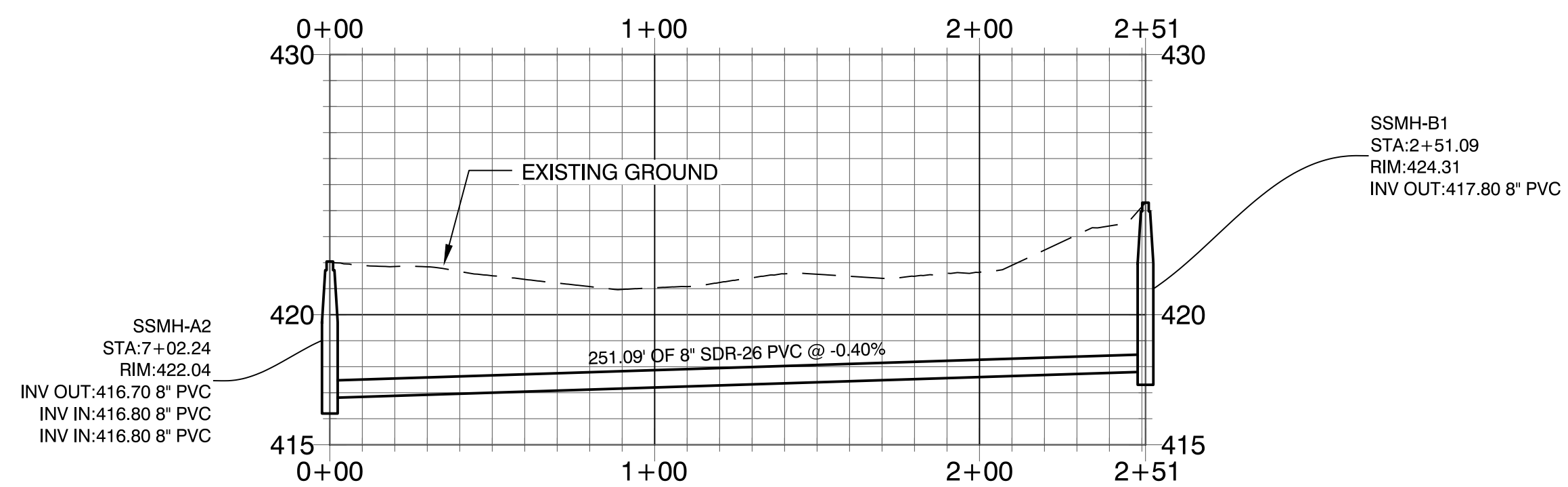
SHEET NO:
C2.0

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 Date: 2/8/2023 10:54:54 AM
 User: Bert.Ferguson



EXISTING MANHOLE DATA
 INV IN 8" N 410.99
 INV IN 8" NW NEW 412.94**
 INV OUT 10" SW 410.95
 INV OUT 10" W 410.94

EXISTING MANHOLE
 STA:0+00.00
 RIM:418.49
 INV IN:412.94 8" PVC



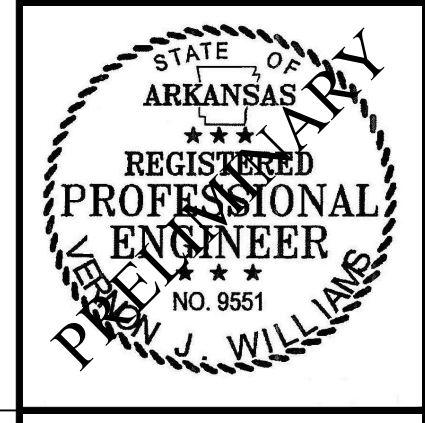
GRAVITY SEWER PROFILE MAIN B

SCALE: H 1" = 40'
 V 1" = 5'

REVISION	DATE	BY	GPW
1	02-21-23		
2			
3			
4			
5			
6			
7			

Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650
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MARKETPLACE EAST PHASE 1
BRYANT REALTY COMPANY, LLC
CITY OF BRYANT
SALINE COUNTY, ARKANSAS



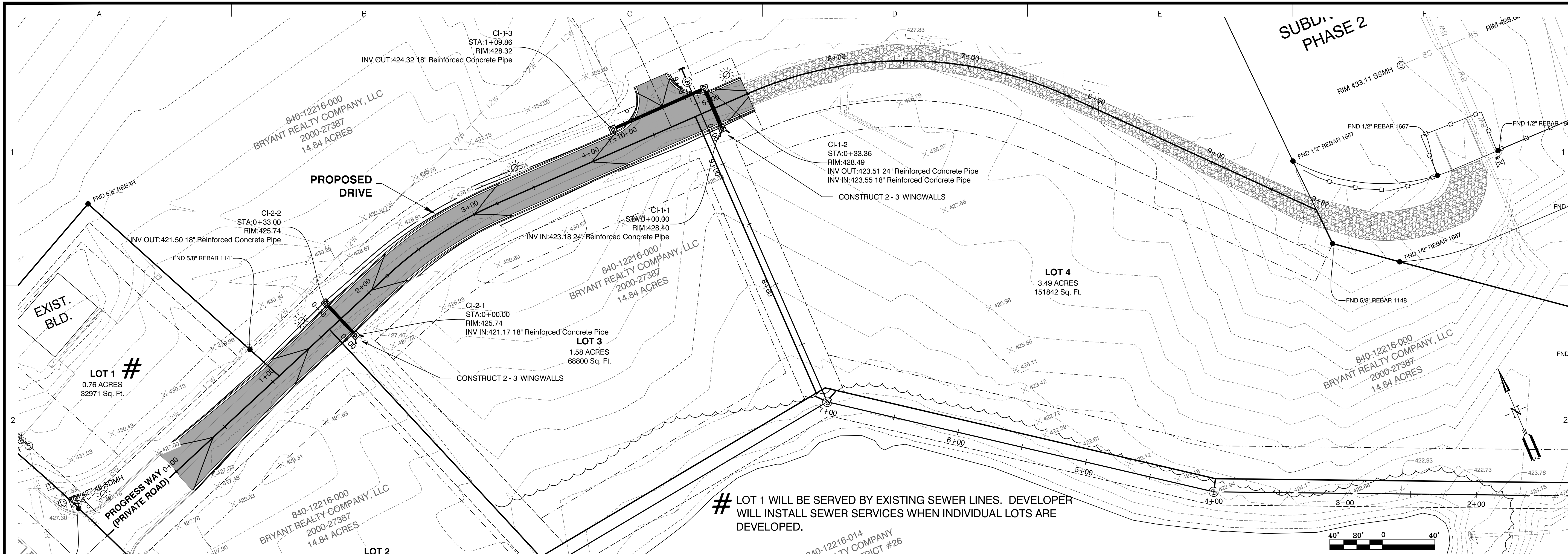
CONTENTS:
 GRAVITY SEWER MAIN B
 PLAN &
 PROFILE

PROJECT NO:
 20022

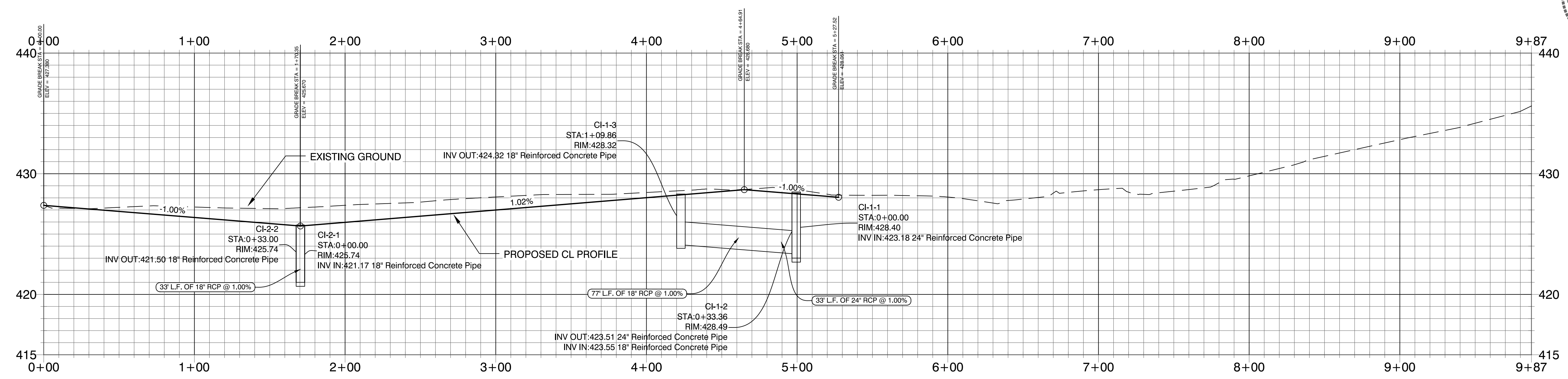
DATE:
 FEB. 8, 2023

SHEET NO:
C3.0

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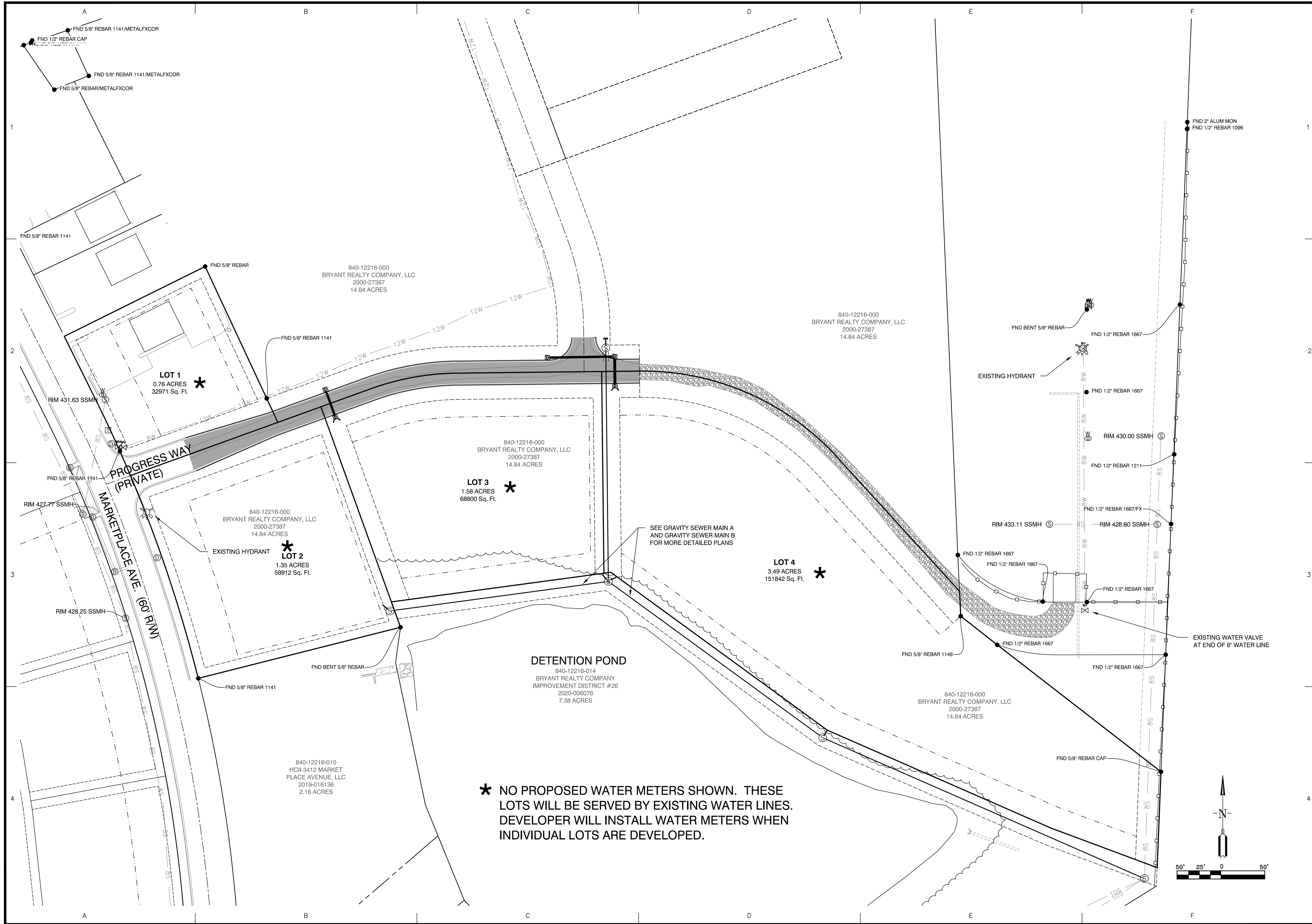
LOT 1 WILL BE SERVED BY EXISTING SEWER LINES. DEVELOPER WILL INSTALL SEWER SERVICES WHEN INDIVIDUAL LOTS ARE DEVELOPED.



PROGRESS WAY PROFILE

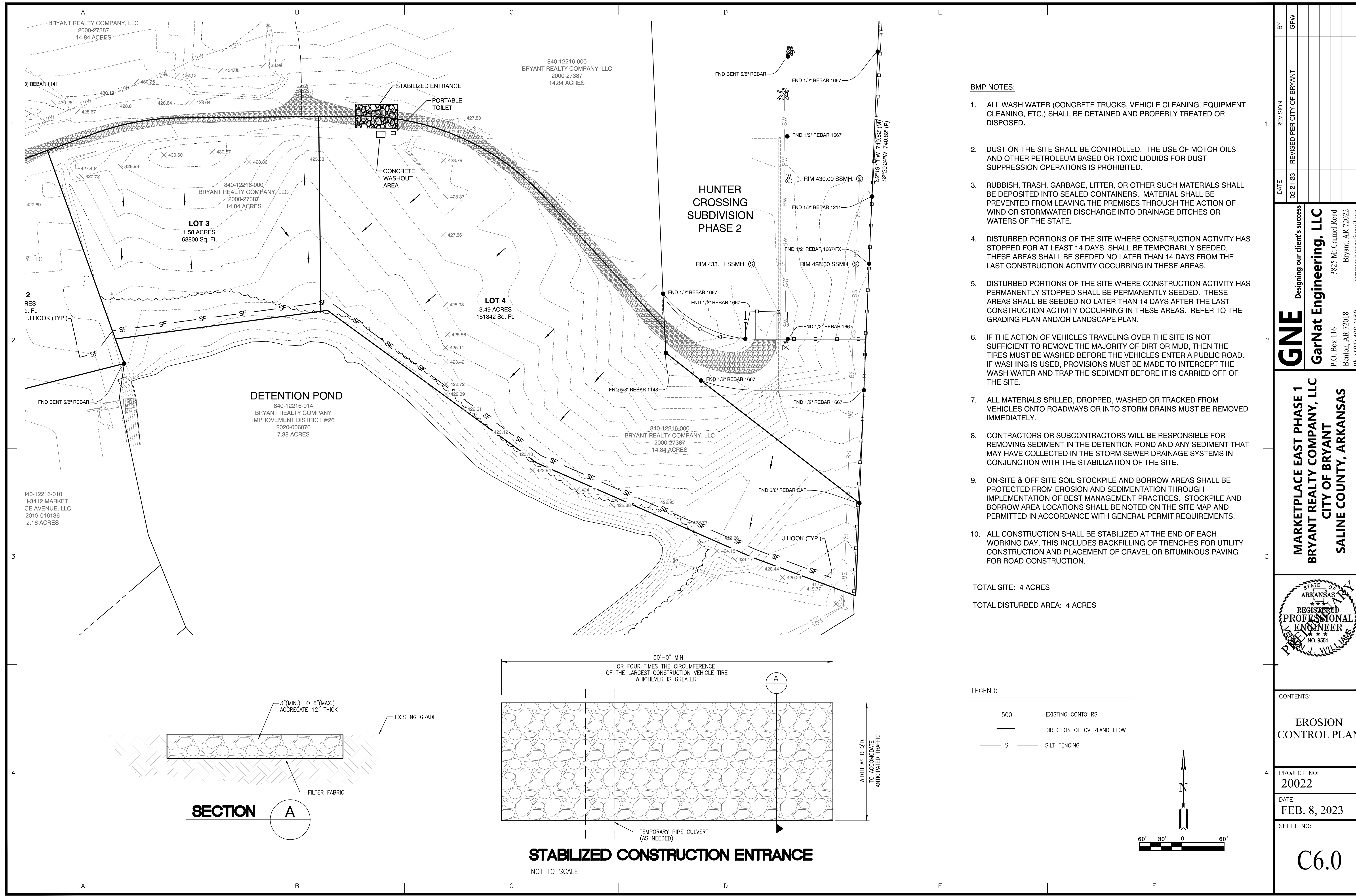
SCALE: H 1" = 40'
V 1" = 5'

BY:	GPW
REVISION:	REVISED PER CITY OF BRYANT
DATE:	02-21-23
<p>Designing our client's success</p> <p>GarNat Engineering, LLC</p> <p>P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650</p> <p>3825 Mt Carmel Road Bryant, AR 72022 garnatengineering@gmail.com</p>	
<p>MARKETPLACE EAST PHASE 1</p> <p>BRYANT REALTY COMPANY, LLC</p> <p>CITY OF BRYANT</p> <p>SALINE COUNTY, ARKANSAS</p>	
<p>STATE OF ARKANSAS</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>NO. 9551</p> <p>DAVID L. WILLIAMS</p>	
<p>CONTENTS:</p> <p>PROGRESS WAY</p> <p>PLAN & PROFILE</p>	
<p>PROJECT NO:</p> <p>20022</p>	
<p>DATE:</p> <p>FEB. 8, 2023</p>	
<p>SHEET NO:</p> <p>C4.0</p>	



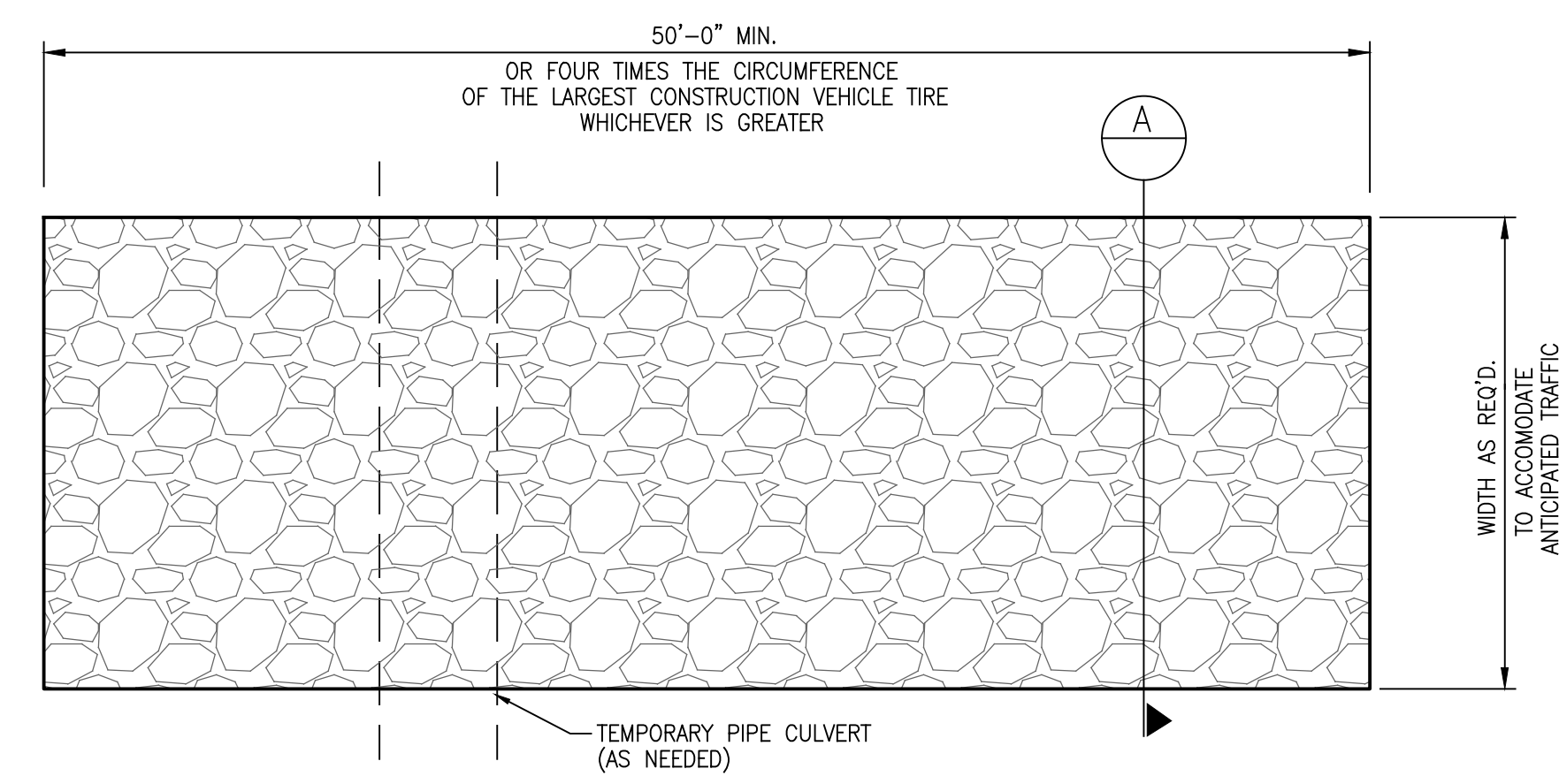
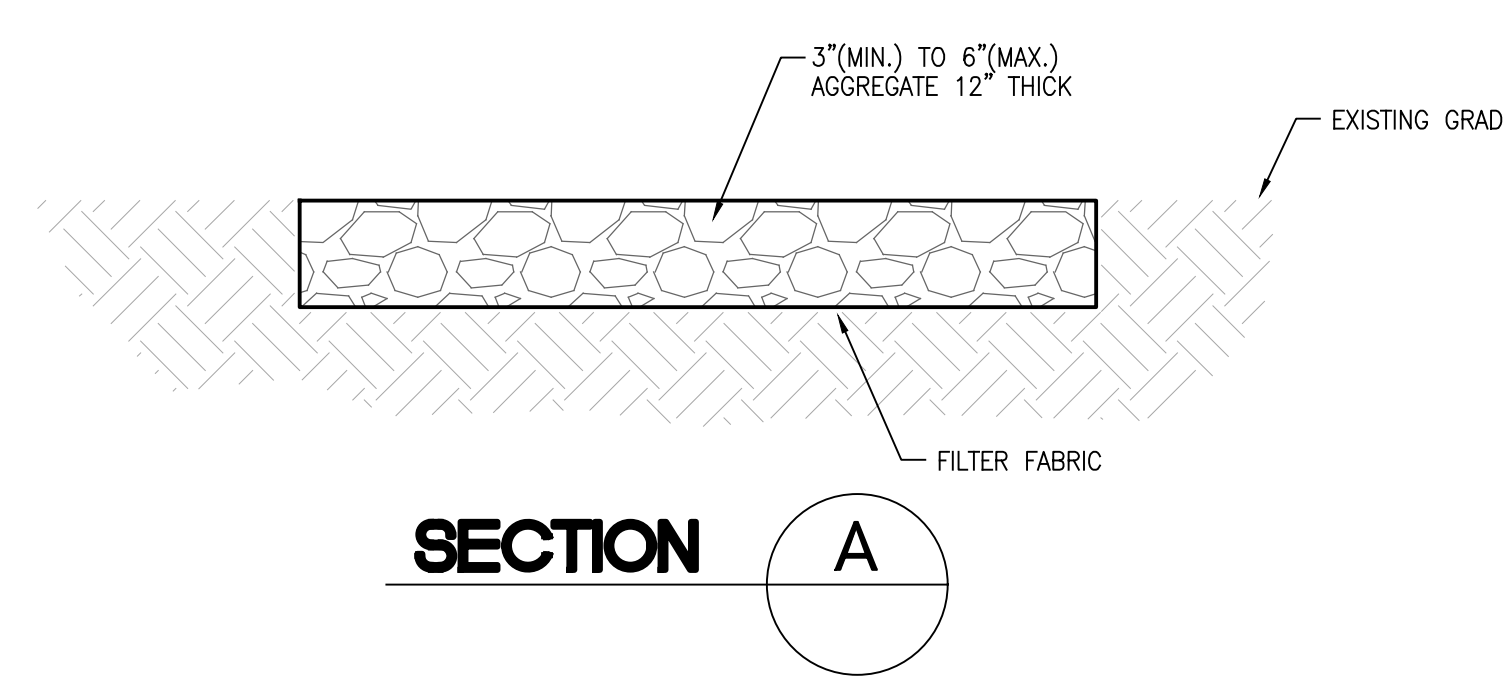
BY:	GPW
REVISION:	REVISED PER CITY OF BRYANT
DATE:	02-21-23
<p>Designing our client's success</p> <p>GarNat Engineering, LLC 3825 Mt Carmel Road Bryant, AR 72022 garnatengineering@gmail.com</p>	
<p>MARKETPLACE EAST PHASE 1 BRYANT REALTY COMPANY, LLC CITY OF BRYANT SALINE COUNTY, ARKANSAS</p>	
<p>STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER NO. 9551 P. WILLIAMS</p>	
<p>CONTENTS:</p> <p>WATER PLAN</p>	
<p>PROJECT NO: 20022</p>	
<p>DATE: FEB. 8, 2023</p>	
<p>SHEET NO: C5.0</p>	

A:\Projects\2023\Projects\2023_Bart_Ferguson - Marketplace East Subdivision\Drawings\2023_Bart_Ferguson_Marketplace East Subdivision Phase 1-C5-2023.dwg



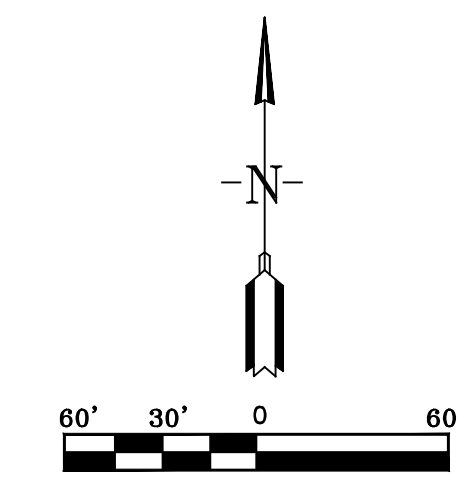
- BMP NOTES:**
1. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
 2. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 3. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIAL SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 4. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
 5. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
 6. IF THE ACTION OF VEHICLES TRAVELING OVER THE SITE IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF OF THE SITE.
 7. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 8. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
 9. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
 10. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

TOTAL SITE: 4 ACRES
 TOTAL DISTURBED AREA: 4 ACRES

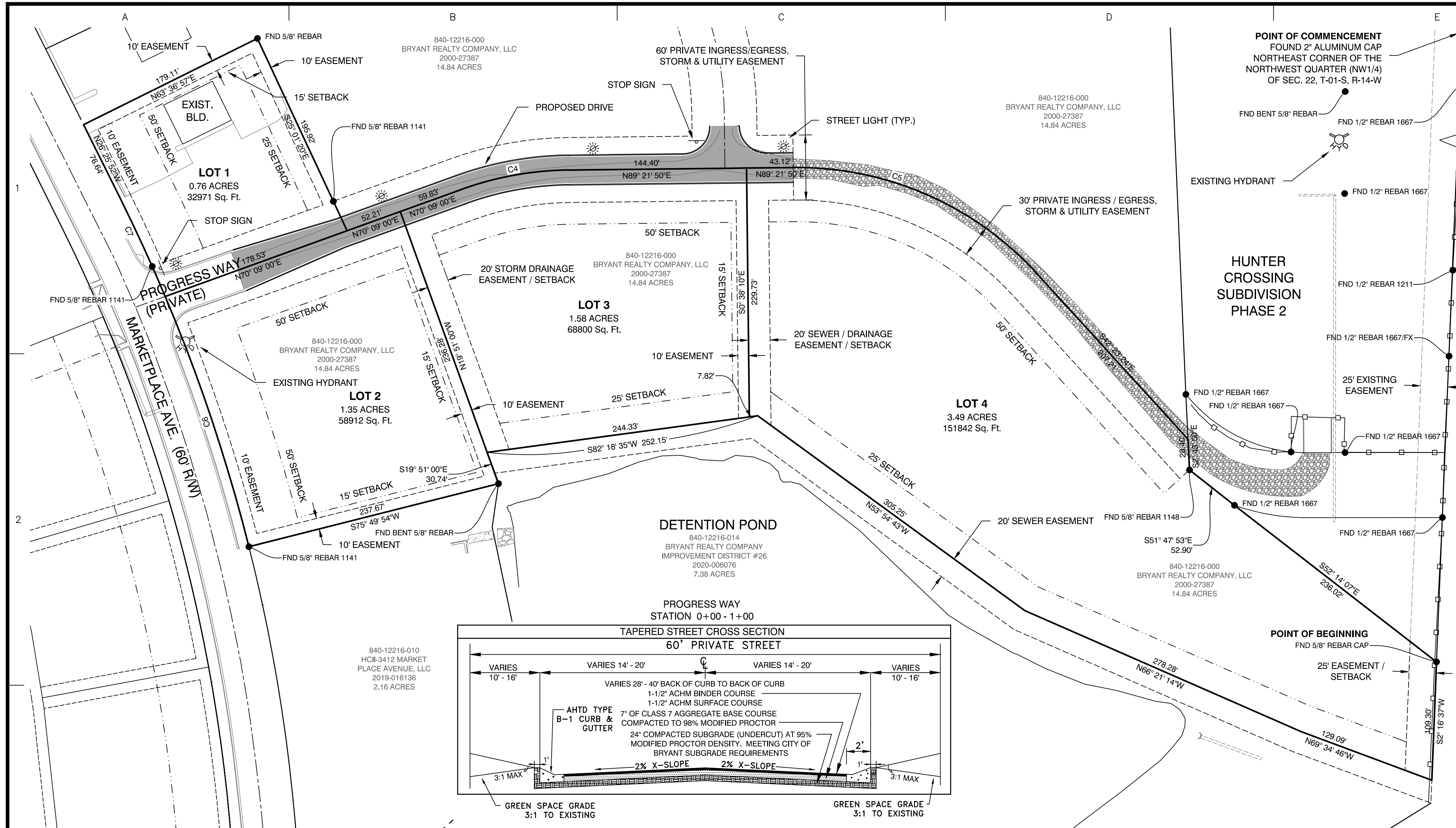


STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

- LEGEND:**
- 500 — EXISTING CONTOURS
 - > DIRECTION OF OVERLAND FLOW
 - SF — SILT FENCING



BY:	GPW
REVISION:	REVISED PER CITY OF BRYANT
DATE:	02-21-23
<p>Designing our client's success</p> <p>GNE GarNat Engineering, LLC</p> <p>3825 Mt Carmel Road Bryant, AR 72022 garnatengineering@gmail.com</p>	
<p>MARKETPLACE EAST PHASE 1</p> <p>BRYANT REALTY COMPANY, LLC</p> <p>CITY OF BRYANT</p> <p>SALINE COUNTY, ARKANSAS</p>	
<p>STATE OF ARKANSAS</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>NO. 9551</p> <p>WILLIAMS</p>	
<p>CONTENTS:</p> <p>EROSION CONTROL PLAN</p>	
<p>PROJECT NO: 20022</p>	
<p>DATE: FEB. 8, 2023</p>	
<p>SHEET NO: C6.0</p>	



PLAT CERTIFICATES:

OWNER: Name: Bryant Realty Company, LLC, Address: 422 North Main Street, Benton, Arkansas 72015

DEVELOPER: Name: Bryant Realty Company, LLC, Address: 422 North Main Street, Benton, Arkansas 72015

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____
Name: Fred Briner
Address: 422 North Main Street, Benton, Arkansas 72015

Source of Title Saline County: Deed Book 2000, Page 27387

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

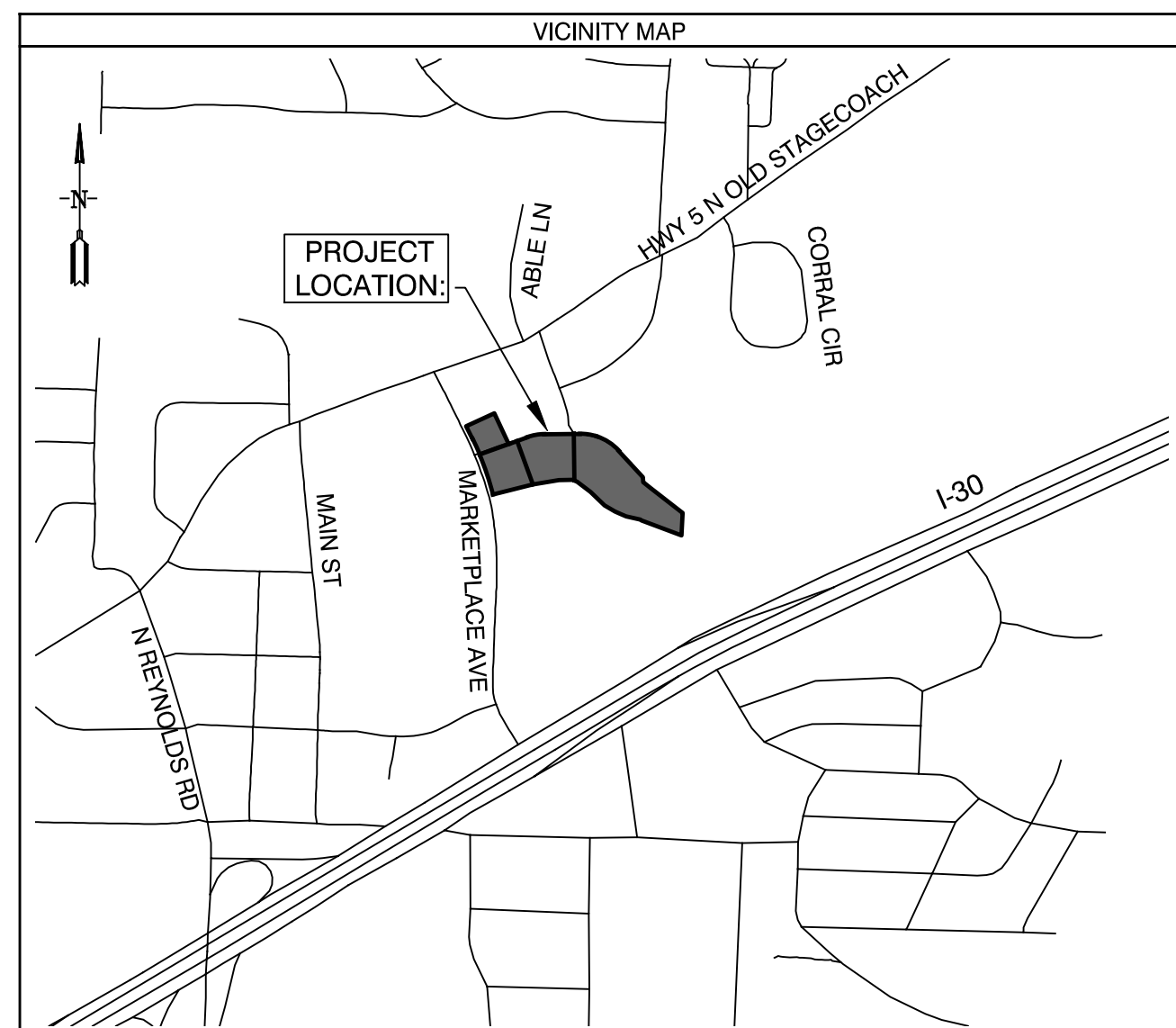
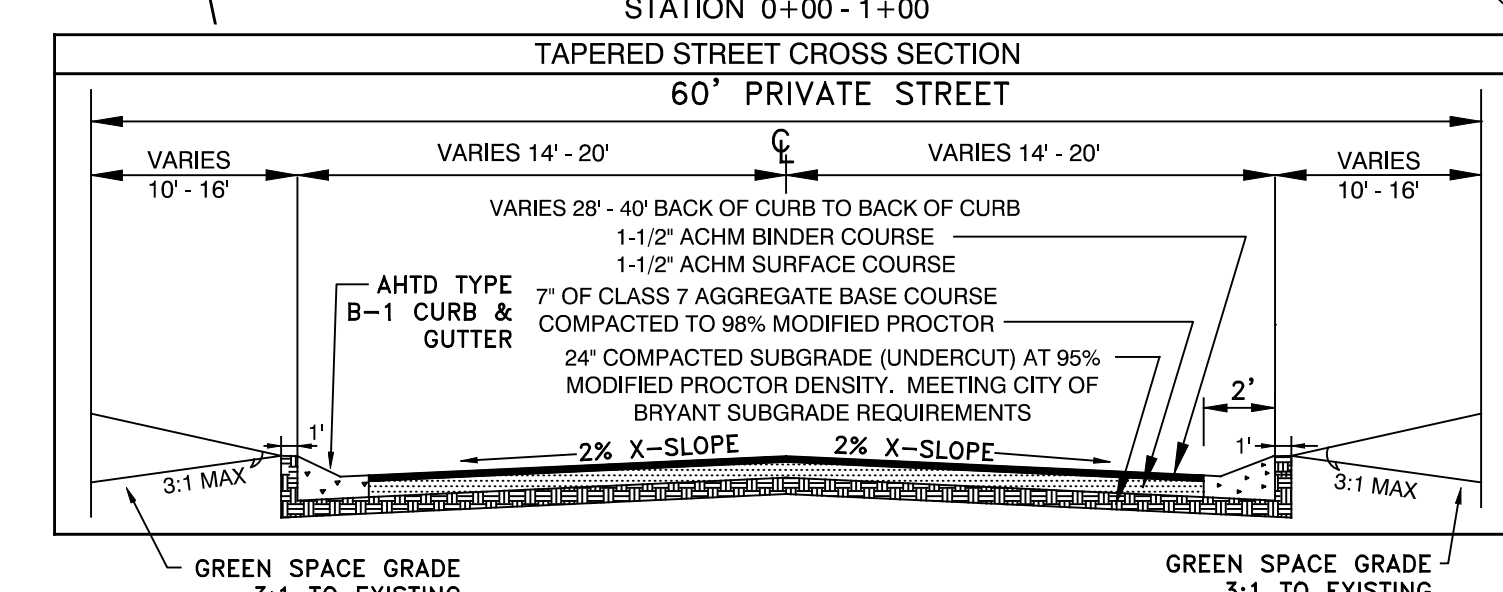
Date: _____ Signed: _____
Name: Vernon J. Williams
Address: 9551, Arkansas
Registered Professional Engineer No. 9551, Arkansas

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: _____ Signed: _____
Name: George P. Wooden
Address: 1573, Arkansas
Registered Land Surveyor No. 1573, Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:
All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations.

Date: _____ Signed: _____
Name: Rick Johnson, Chairman
Address: Bryant Planning Commission

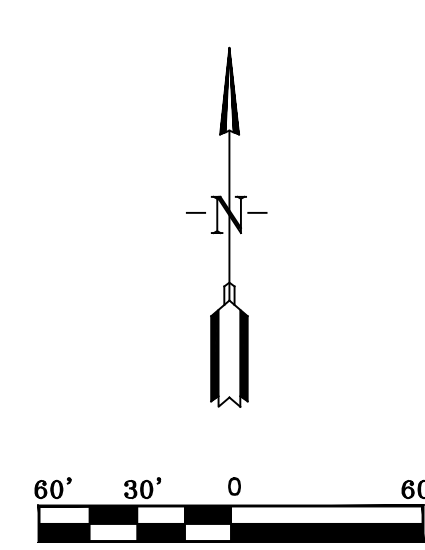


SUBDIVISION DESCRIPTION:

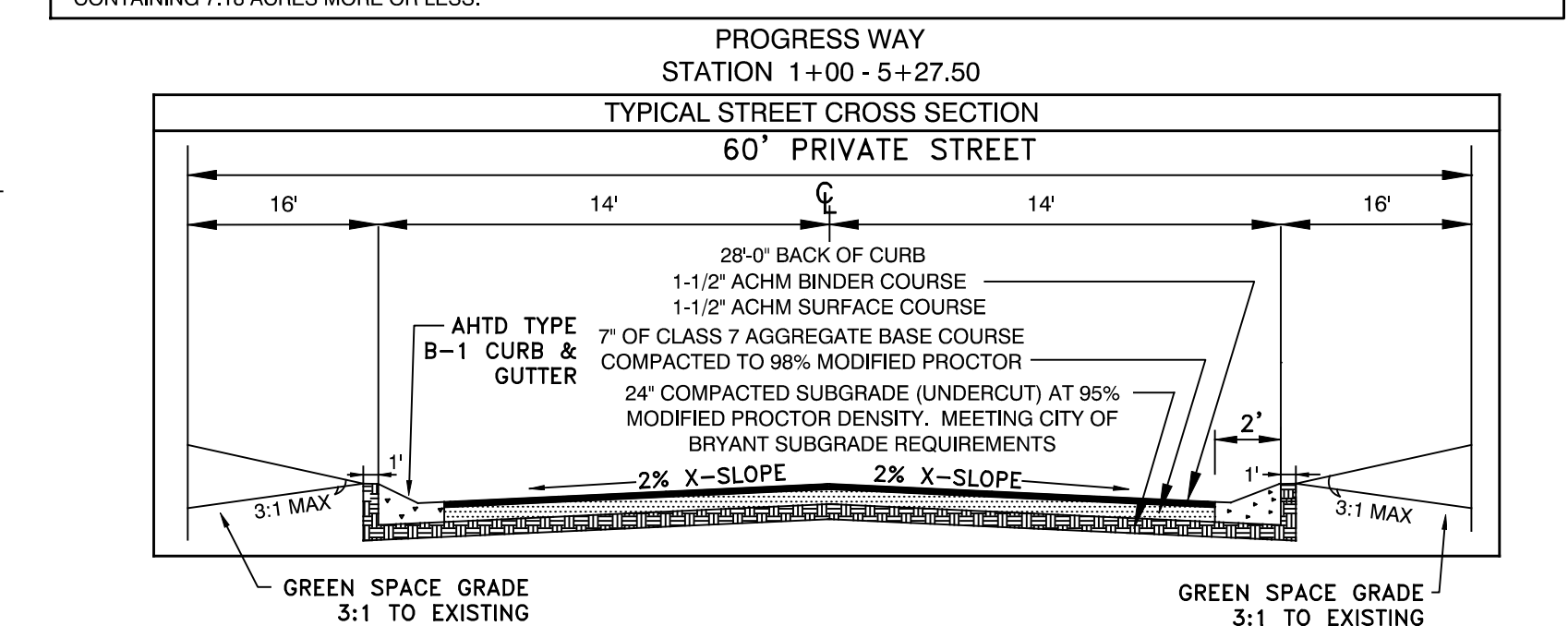
LOCATED IN THE EAST HALF OF THE NORTHWEST QUARTER (E1/2 NW1/4), OF SECTION 22, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 2" ALUMINUM CAP LOCATED AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 22, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SAID POINT ALSO BEING ON THE EAST LINE OF HUNTER CROSSING SUBDIVISION; THENCE S 2°19'11" W, ALONG THE EAST LINE OF SAID NW1/4 AND SAID SUBDIVISION FOR A DISTANCE OF 740.62 FEET TO A FOUND 5/8" REBAR WITH CAP LOCATED AT THE SOUTHEAST CORNER OF SAID SUBDIVISION FOR THE POINT OF BEGINNING; THENCE S 2°16'37" W, LEAVING SAID SUBDIVISION AND CONTINUING ALONG SAID EAST LINE OF THE NW1/4 FOR A DISTANCE OF 109.30 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE NORTH LINE OF A SEWER EASEMENT; THENCE N 89°24'46" W, LEAVING SAID EAST LINE AND ALONG SAID NORTH LINE OF SEWER EASEMENT, A DISTANCE OF 129.09 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 68°21'14" W, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 278.28 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 53°54'43" W, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 305.25 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 82°18'35" W, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 252.15 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE S 19°51'00" E, LEAVING SAID NORTH LINE OF SEWER EASEMENT, A DISTANCE OF 30.74 FEET TO A FOUND BENT 5/8" REBAR; THENCE S 75°49'54" W FOR A DISTANCE OF 237.67 FEET TO A FOUND 5/8" REBAR WITH CAP #1141 LOCATED ON THE EAST RIGHT OF WAY OF MARKET PLACE AVENUE; THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 1596.45 FEET AND A LENGTH OF 342.77 FEET, WHOSE CHORD BEARS N 20°16'30" W - 342.11 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 28°25'52" W, CONTINUING ALONG SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 76.64 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 63°36'57" E, LEAVING SAID EAST RIGHT OF WAY, FOR A DISTANCE OF 179.11 FEET TO A FOUND 5/8" REBAR; THENCE S 25°01'20" E FOR A DISTANCE OF 195.92 FEET TO A POINT THAT IS LOCATED AT THE CENTERLINE OF PROGRESS WAY (PRIVATE STREET); THENCE ALONG SAID CENTERLINE THE FOLLOWING COURSES: THENCE N 70°09'00" E - 112.04 FEET, THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 300.00 FEET AND A LENGTH OF 101.27 FEET, WHOSE CHORD BEARS N 79°41'39" E - 100.79 FEET, THENCE N 89°21'50" E - 207.50 FEET, THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 300.00 FEET AND A LENGTH OF 252.62 FEET, WHOSE CHORD BEARS S 66°30'47" E - 245.22 FEET, THENCE S 42°23'24" E - 207.21 FEET TO A POINT LOCATED ON THE WEST LINE OF HUNTER CROSSING SUBDIVISION PHASE 2; THENCE S 2°43'50" E, LEAVING SAID CENTERLINE OF AND ALONG THE WEST LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 28.40 FEET TO A FOUND 5/8" REBAR WITH CAP #1148 LOCATED AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE S 51°47'53" E, ALONG SAID SOUTH LINE OF SAID SUBDIVISION, FOR A DISTANCE OF 52.90 FEET TO A FOUND 1/2" REBAR WITH CAP #1667; THENCE S 52°14'07" E, CONTINUING ALONG SAID SOUTH LINE FOR A DISTANCE OF 238.02 FEET TO THE POINT OF BEGINNING, CONTAINING 7.18 ACRES MORE OR LESS.

PRELIMINARY PLAT - MARKETPLACE EAST PHASE 1
CITY OF BRYANT
SALINE COUNTY, ARKANSAS



- DOCUMENTS USED:**
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 9/11/2015 KERRY LANE PLS #1141
 - SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 1/27/2009 KERRY LANE PLS #1141
 - SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 4/21/2022 KERRY LANE PLS #1141
 - WARRANTY DEED 2020 PAGE 006076 BRYANT REALTY COMPANY, LLC TO BRYANT REALTY COMPANY IMPROVEMENT DISTRICT NO. 26
 - SPECIAL WARRANTY DEED 2000 PAGE 27387 HIGHWAY 5 INVESTMENTS, LLC TO BRYANT REALTY COMPANY, LLC
 - WARRANTY DEED 2019 PAGE 004456 FRED E. BRINER TO FRED BRINER PROPERTIES, LLC
 - SPECIAL WARRANTY DEED 2019 PAGE 016136 FERGUSON-BRINER, LLC TO HCII-3412 MARKET PLACE AVENUE, LLC
 - WARRANTY DEED 2000 PAGE 27385 HIGHTOWER TO HIGHWAY 5 INVESTMENTS, LLC
 - REVISED FINAL PLAT OF HUNTER CROSSING SUBDIVISION PHASE 1
 - REVISED FINAL PLAT OF HUNTER CROSSING SUBDIVISION PHASE 2



BASIS OF BEARINGS:
BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:
BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON JANUARY 10, 2023.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.

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SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS (SB):
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REAR - 25'
SIDE INTERIOR - 15'
SIDE EXTERIOR - 15'

EASEMENTS, UTILITY & DRAINAGE (D.E. & U.E.)
FRONT, SIDE AND REAR - 10' OR AS SHOWN
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LOT CORNERS: SET #4 REBAR WITH CAP

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- - Found monument
- - Set #4 RB/Plas. Cap or Mag Nail with Shiner
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SURVEY PLAT CODE:
500-01S-14W-0-22-400-62-1573

BY: GPW

REVISION: 1

DATE: 02-21-23

REVISED PER CITY OF BRYANT

DESIGNING OUR CLIENT'S SUCCESS

GarNat Engineering, LLC
3825 Mt Carmel Road
Bryant, AR 72022
garnatengineering@gmail.com

MARKETPLACE EAST PHASE 1
BRYANT REALTY COMPANY, LLC
CITY OF BRYANT
SALINE COUNTY, ARKANSAS

REGISTERED PROFESSIONAL ENGINEER
STATE OF ARKANSAS
NO. 9551
Vernon J. Williams

CONTENTS:

PRELIMINARY PLAT

PROJECT NO: 20022

DATE: FEB. 8, 2023

SHEET NO: V1.0

3e Creekside Addition Lots 83, 84, & Tract C Replat

Public Works

- L Verify floodplain statistics with Engineering Department/ FP Manager

Engineering

1. Verify Lot 83R FFE is 333.8 is 3 feet above the FIRM of BFE.
- 2, Verify Lot 84R FFE is 333.5 is 3 feet above the FIRM of BEE.
3. What is the purpose of Tract CR? Does it require a FFE?

Planning

1. Replat fees will need to be paid. Should show up on the Plan file in the Tyler System.

Fire

1. None

4. Marketplace East Subdivision Phase 1 - Prelim Plat

Public Works

1. Site will be required to obtain an ADEQ Small Scale Development Permit. **Will Comply.**
2. Erosion Control Plan will be required to be submitted to the City of Bryant. **New ECP included.**

Engineering

1. Show fire protection for development per section 100-7-1.22.A of the Bryant water and wastewater specifications. **Discussed in meeting. Will happen with future development of lots.**
2. Show dedicated 20' easement on gravity sewer per 1200-7-1.08.2. of the Bryant water and wastewater specifications. **Plans updated.**
3. Indicate pending sewer services will be core drilled and booted in manholes. **N/A All manholes are new and service stubs will be constructed with manholes.**

Planning

1. Is the street going to be public or private? Is this an emergency access road for Hunter's Crossing? **Roads will be private.**
2. Street is indicated as a collector on the MTP. 60 ft ingress/egress easement is shown on the plat so the ROW should be 60ft. Sidewalks not shown on street Cross section/plat. **Discussed at DRC. Believe it was determined this isn't accurate.**
3. If a private road, road should be requested to be removed from the transportation plan. **Pending**

4. C-2 setbacks are: Front - 15' Min, Side Exterior - 15' Min, Side Interior - 15', Rear - 25' **Plans updated.**
5. Preliminary Plat review fees will need to be paid. **Will comply.**

Fire

1. Provide fire hydrant locations on plans, **Existing hydrant at intersection of Marketplace and Progress shown. As discussed at DRC future hydrants added as lots are developed and proposed construction is better understood.**
2. If road deadends and is longer than 150' in length a turn around shall be provided for fire dept. access. Refer to 2012 Arkansas Fire Prevention Code Appendix D. **Road has been shortened. Should have ample turn around space when church is developed.**

5, Diamond Estates Subdivision Phase 1 - Preliminary Plat

Public Works

1. Site will be required to obtain an ADEQ Large Scale Development Permit.
2. Discuss site detention and possibilities.
3. Discuss 118' ADS as outflow.
4. Discuss and better define lighting pole plans on Sheet 8.
5. Discuss Sheet 4 entrance connection to existing CMP.
6. Site will exceed 10 Acres and will require a sedimentation pond per ordinance and ADEQ requirements.

Engineering

1. Water service connections shall be made on 12" or smaller water mains per section 1100-2-1.06.A of the Bryant specifications.
2. Water mains shall be 8" C900. All water and sewer to comply with city of Bryant water and sewer specifications latest edition.
3. Existing 16" water main to maintain 3' of cover.
4. As-builds on 16" water main show to have 6", 8" and 10" valves in place for future development.
5. Lift station shall comply with section 1200-6-B. 1-5. (20-year OM).
6. Lift station site shall have minimum dimensions of see section 3500-2-1.02 A-E for all other requirements.

Fire

- L Provide fire hydrant locations on plans,
- 2 if road deadends and is longer than 150' in length a turn around shall be provided for fire dept. access Refer to 2012 Arkansas Fire Prevention Code Appendix D.

5, Diamond Estates Subdivision Phase 1 - Preliminary Plat

Public Works

1. Site will be required to obtain an ADEQ Large Scale Development Permit.
Will comply
2. Discuss site detention and possibilities.
Pending
3. Discuss 118' ADS as outflow.
See response 2
4. Discuss and better define lighting pole plans on Sheet 8.
Light pole notes added to preliminary plat
5. Discuss Sheet 4 entrance connection to existing CMP.
Updated to RCP pipe
6. Site will exceed 10 Acres and will require a sedimentation pond per ordinance and ADEQ requirements.
We do not plan on having 10 acres of disturbed area that drains to a single point. I don't believe a silt trap is required. Disturbed areas per phase added to erosion control plan.

Engineering

1. Water service connections shall be made on 12" or smaller water mains per section 1100-2-1.06.A of the Bryant specifications.
Pending
2. Water mains shall be 8" C900. All water and sewer to comply with city of Bryant water and sewer specifications latest edition.
Plans updated
3. Existing 16" water main to maintain 3' of cover.

Will comply. Road construction over water line already comply.

4. As-builds on 16" water main show to have 6", 8" and 10" valves in place for future development.

Shown on utility plan.

5. Lift station shall comply with section 1200-6-B. 1-5. (20-year OM).

Will comply

6. Lift station site shall have minimum dimensions of see section 3500-2-1.02 A-E for all other requirements.

Pending

7. Lift station shall be equipped with pump control system per section 3500-1-1.01. F (SCADA).

Will comply

8. Sheet 10 shows install 12"x 6" tapping sleeve and valve. Existing and proposed are 3".

This was a typo error. It is corrected.

9. All valves and ductile iron at lift station shall be epoxy coated inside and out per section 3500-2-K, L.

Will comply

10. Show street names per section 3-3.4. B of the Bryant street specifications.

Added to plat

11. Street lights shall be required on all city streets per section 4-4-4.11-A, B and C.

Street light clarified on utility plan and noted on preliminary.

12. Plat with colored floodway and floodplain shown. Include BFE. No Construction is allowed within the floodway.

Plat updated.

Planning

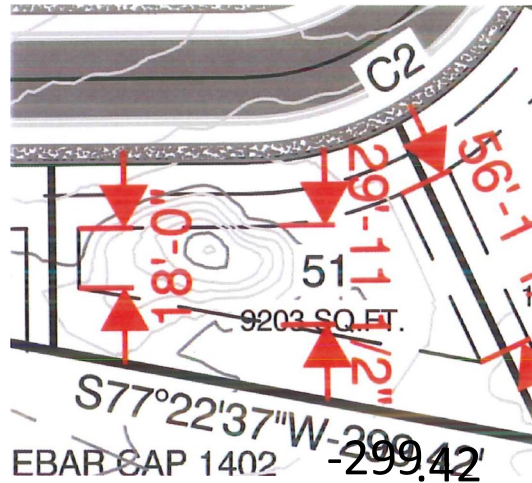
1. Sidewalk extends down to Highway 5 ROW on both entrances.

Plat updated

2. What is the purpose of Tract A?

This tract is reserved for future commercial use.

3. Is lot 51 buildable?



Custom small house will be constructed for possible sales office to be slod later.

4. Maximum length for cul-de-sac is 550ft

Requesting variance for being 50'+/- to long.

Fire

1. Relocate fire hydrant from lot 43 to lot 39 or lot 47.

Fire hydrant relocated and updated utility plan.

6. Indian Springs Baptist Church Signage

Public Works

Engineering

Planning

1. Signage meets the Code as far as sign square footage and type. Location of signs will just need to stay out of any water/sewer easements.

Fire

1. None

7. Wendy's - Remodel Public Works

Engineering

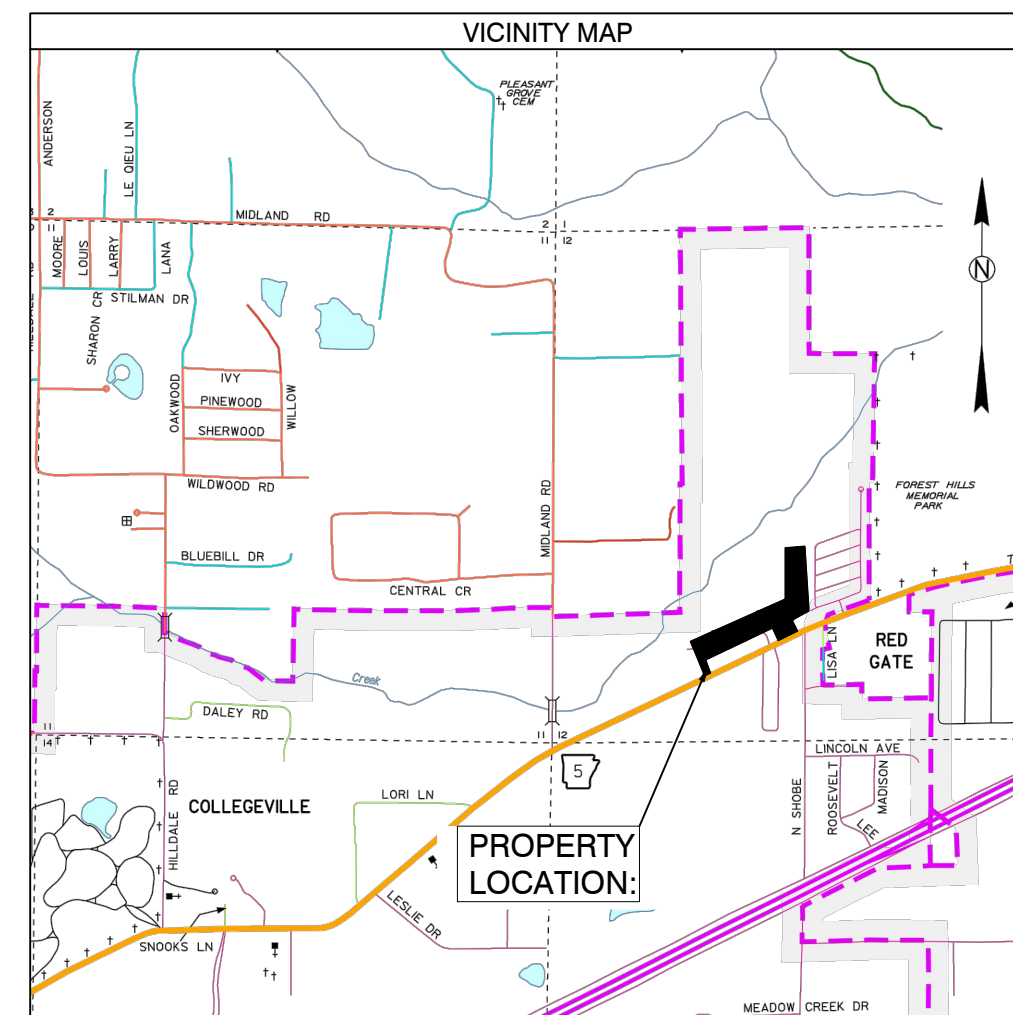
DIAMOND ESTATES SUBDIVISION BRYANT, ARKANSAS

Prepared by:
GarNat Engineering, LLC

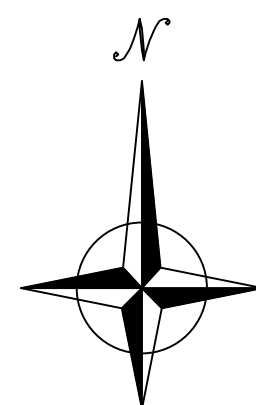
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P.O. Box 116
Benton, AR 72018
Ph (501) 408-4650

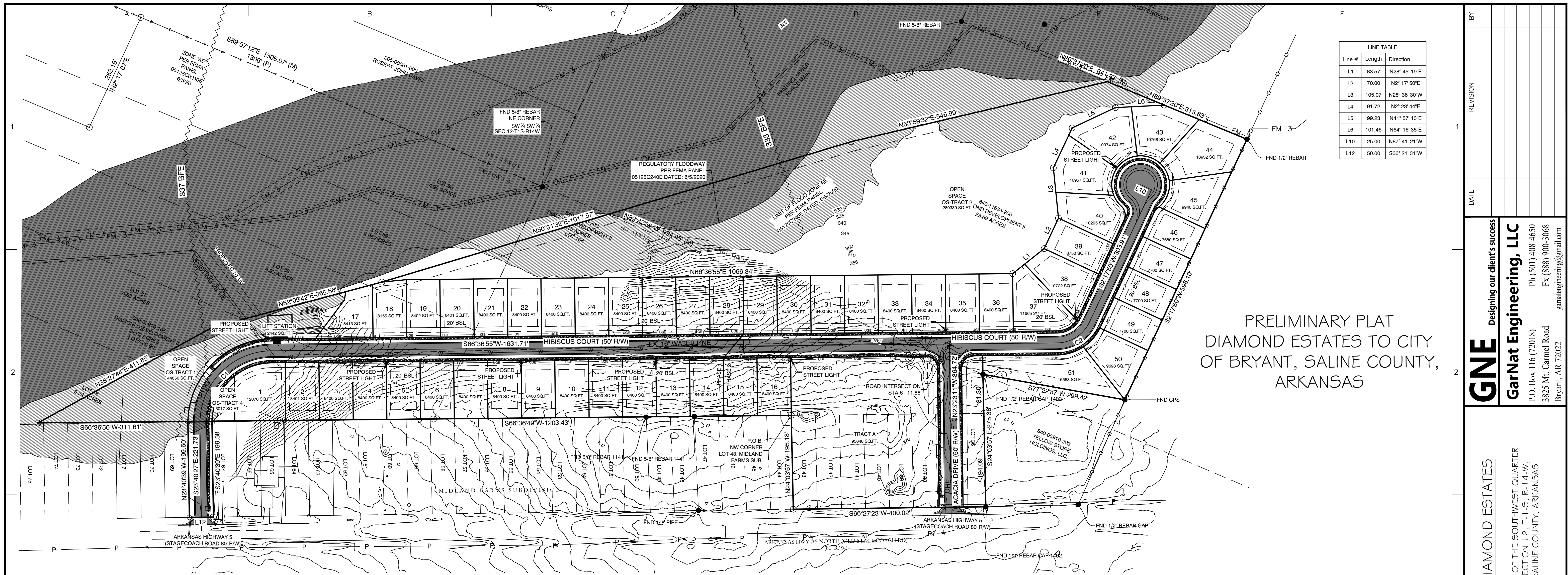
3825 Mt Carmel Road
Bryant, AR 72022
Fx (888) 900-3068



ARKANSAS



- 1 PRELIMINARY PLAT OVERALL
- 2 PRELIMINARY PLAT WEST HALF
- 3 PRELIMINARY PLAT EAST HALF
- 4 DRAINAGE PLAN
- 5-7 ROAD PROFILES
- 8 OVERALL SEWER & WATER PLANS
- 9-10 SEWER PLAN PROFILES
- 11 LIFT STATION PLAN & PROFILE
- 12 LIFT STATION DETAILS
13. EROSION CONTROL PLAN



Line #	Length	Direction
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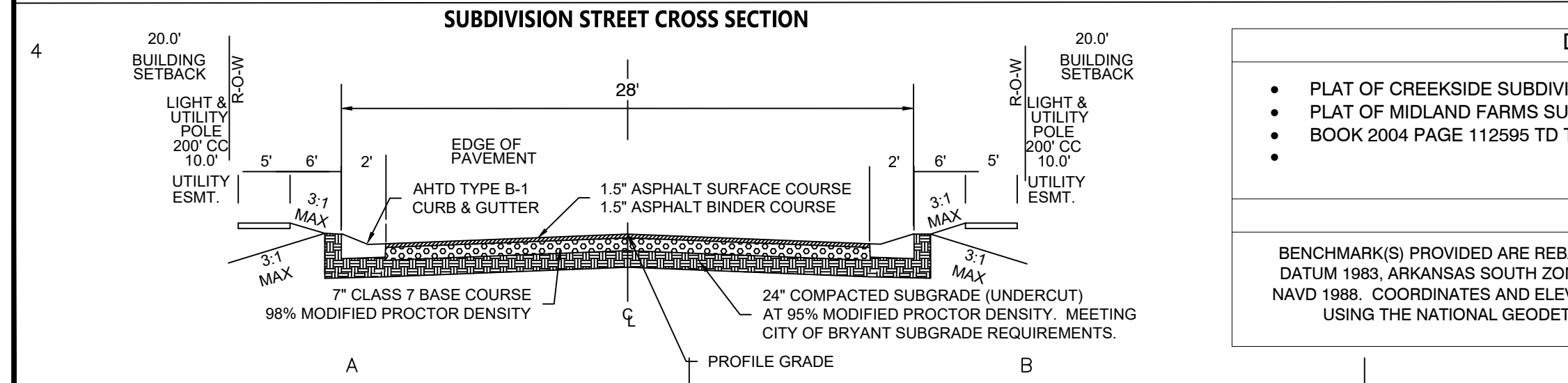
PRELIMINARY PLAT
DIAMOND ESTATES TO CITY
OF BRYANT, SALINE COUNTY,
ARKANSAS

PLAT CERTIFICATES:

OWNER: Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210
DEVELOPER: Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210
CERTIFICATE OF RECORDING:

CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.
 Date: _____ Signed: _____ DIAMOND DEVELOPMENT II
 Source of Title: SALINE COUNTY, ARKANSAS
 Saline County Document# 2004-112595 & 2022-027151

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY: I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.
 Date: _____ Signed: _____ Vernon J. Williams, Registered Professional Engineer No. 9551, Arkansas

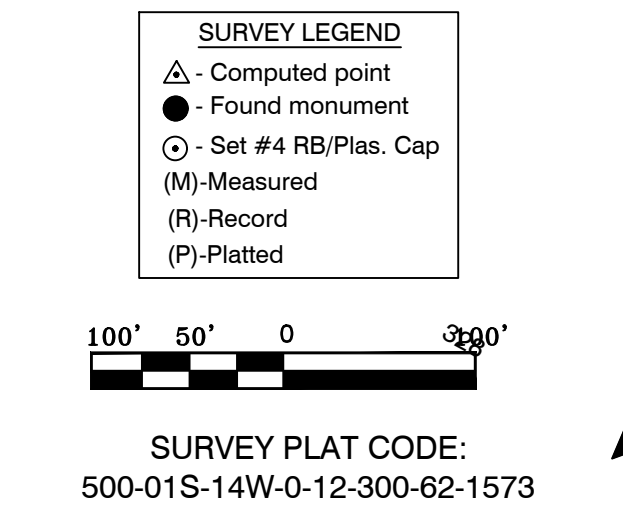


PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1 (EXCEPT TRACT 1 = C-2)
 MIN. LOT SIZE: 7699 S.F.
 MAX. LOT SIZE: 16191 S.F.
 NUMBER OF LOTS: 51
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
 SOURCE OF SEWER: CITY OF BRYANT
 BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN
 EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN
 STREET RIGHT OF WAY: 50' OR AS SHOWN
 STREET WIDTH: 28' 500' TO 800'
 LOT CORNERS: SET #4 REBAR WITH CAP

ROAD CURVE TABLE

Curve #	Radius	ARC	CHORD	CHORD BEARING
C1	150.48	237.13	S21° 28' 13.90"W	S21° 28' 14"W
C2	75.00	84.19	S34° 27' 22.26"W	S34° 27' 22"W



DOCUMENTS USED:

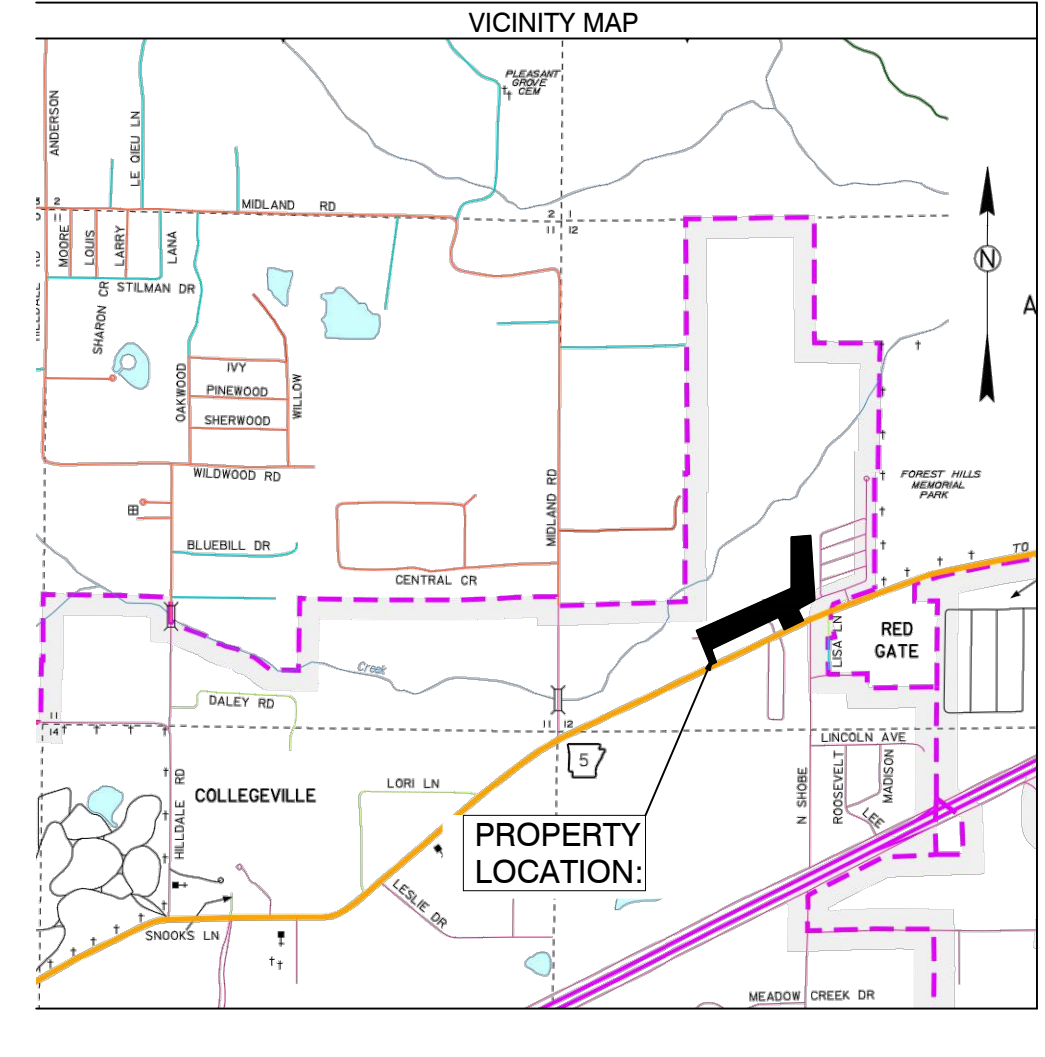
- PLAT OF CREEKSIDE SUBDIVISION
- PLAT OF MIDLAND FARMS SUBDIVISION
- BOOK 2004 PAGE 112595 TD THORP TO DIAMOND DEVELOPMENT II

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

PROPERTY DESCRIPTION:

LOCATED IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST AND PART OF LOTS 36, 37, 38, 39, 40, 41, 42, 43, 68, 86, 87, 88, 89, 90 AND 108 MIDLAND FARMS SUBDIVISION, CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF LOT 43 MIDLAND FARMS SUBDIVISION, SALINE COUNTY, ARKANSAS; THENCE S 66°36'49" W A DISTANCE OF 1203.43 FEET TO THE NORTHEAST CORNER OF LOT 68 OF SAID MIDLAND FARMS SUBDIVISION; THENCE S 23°40'39" E ALONG THE EAST LINE OF SAID LOT 68 A DISTANCE OF 199.38 FEET TO THE NORTH RIGHT OF WAY OF ARKANSAS HIGHWAY 5; THENCE S 66°21'31" W ALONG SAID NORTH RIGHT OF WAY A DISTANCE OF 50.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 68; THENCE N 23°40'39" W ALONG THE WEST LINE OF SAID LOT 68 A DISTANCE OF 199.60 FEET TO THE NORTHWEST CORNER OF SAID LOT 68; THENCE S 66°36'50" W A DISTANCE OF 311.61 FEET; THENCE N 38°27'44" E A DISTANCE OF 411.85 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 52°09'42" E A DISTANCE OF 365.56 FEET TO A SET 1/2" REBAR WITH CAP #1573; N 50°31'32" E A DISTANCE OF 1017.57 FEET; THENCE N 53°50'32" E A DISTANCE OF 548.99 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE1/4 NE1/4 SW1/4) OF SAID SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST; THENCE N 89°37'20" E, ALONG SAID SOUTH LINE, A DISTANCE OF 313.83 FEET TO A FOUND 1/2" REBAR AT THE SOUTHEAST CORNER OF THE SAID NE1/4 NE1/4 SW1/4 OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST; THENCE S 21°75'0" W FOR A DISTANCE OF 598.10 FEET TO A FOUND COTTON PICKER SPINDLE (CPS) AT THE NORTHEAST CORNER OF LOT 1, DOLLAR GENERAL ADDITION TO THE CITY OF BRYANT, PLAT RECORDED IN BOOK 2010 PAGE 93434; THENCE S 77°22'37" W, ALONG SAID LOT 1 NORTH LINE, 299.42 FEET TO A FOUND 1/2" REBAR WITH CAP #1402 AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE S 24°03'57" E, ALONG SAID LOT 1 WEST LINE, 275.38 FEET TO A FOUND 1/2" REBAR WITH CAP #1402 AT THE SOUTHWEST CORNER OF SAID LOT 1 AND THE NORTHERLY RIGHT OF WAY OF ARKANSAS HIGHWAY 5 (STAGECOACH ROAD); THENCE S 66°27'23" W, ALONG SAID NORTHERLY RIGHT OF WAY, 400.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 24°03'57" W, LEAVING SAID RIGHT OF WAY, 195.18 FEET TO THE POINT OF BEGINNING, CONTAINING 24.07 ACRES, MORE OR LESS. SUBJECT TO THE RIGHT OF WAY OF ARKANSAS HIGHWAY 5 NORTH AND ANY EASEMENTS OF RECORD.



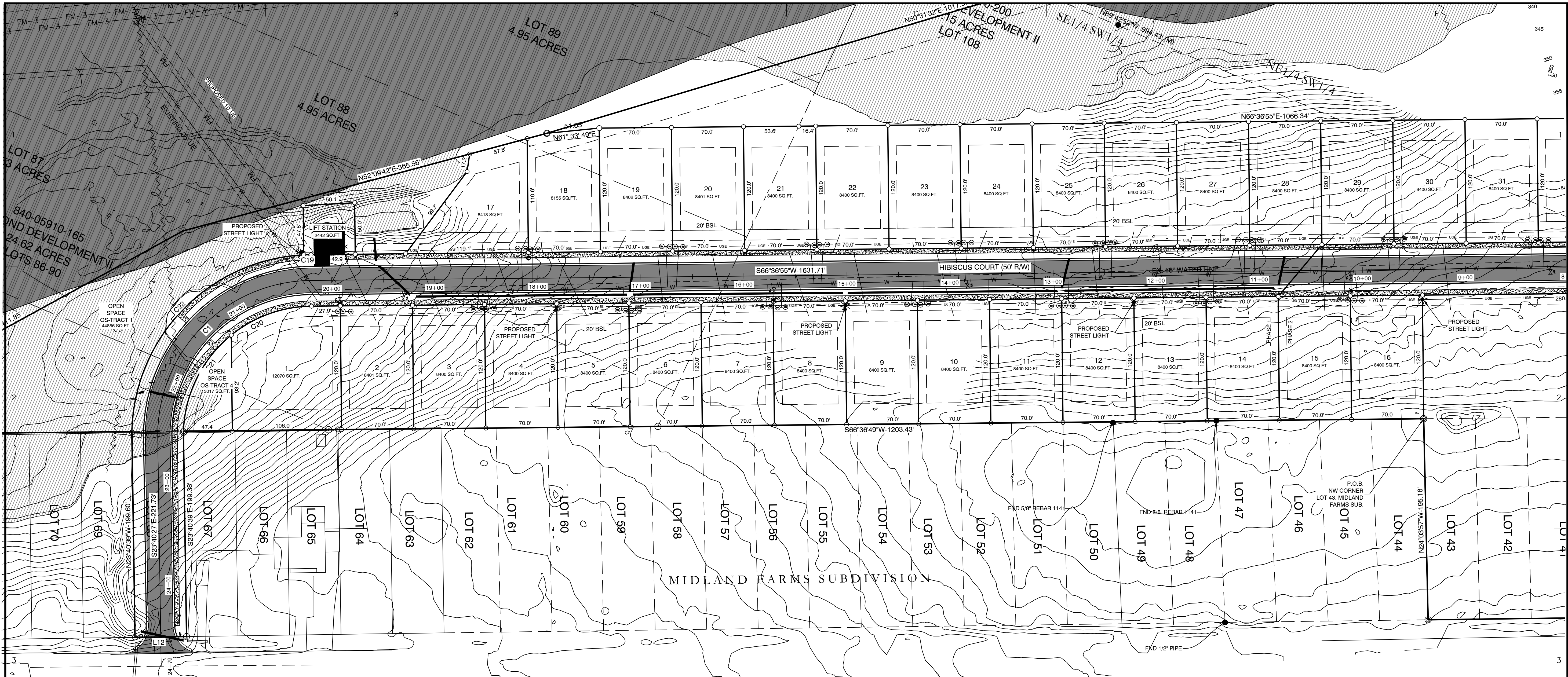
BY: _____
 REVISION: _____
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 Bryant, AR 72022 gnatengineering@gmail.com

DIAMOND ESTATES
 PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 NO. 9551
 VERNON J. WILLIAMS

2-21-2023
 CONTENTS:
 PRELIMINARY PLAT OVERALL
 PROJECT NO: 21206
 DATE: FEB 2023
 SHEET NO: 1



PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1 (EXCEPT TRACT 1 = C-2)
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 NUMBER OF LOTS: 51
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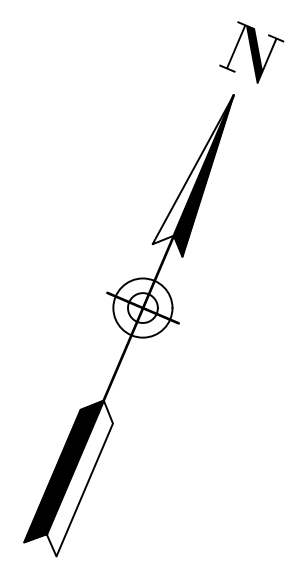
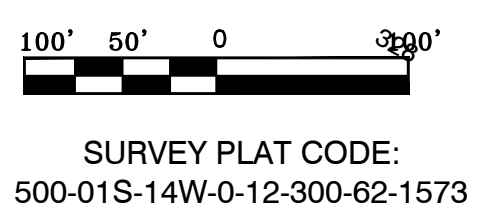
BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
 STREET WIDTH: 28' BOC TO BOC
 LOT CORNERS: SET #4 REBAR WITH CAP

SURVEY LEGEND

- - Computed point
- - Found monument
- ⊙ - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



LINE TABLE

Line #	Length	Direction
L1	83.57	N28° 45' 19"E
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C6	52.99	100.00	S18° 29' 32"W	52.37
C7	1.77	100.00	S2° 48' 17"W	1.77
C8	12.25	25.00	S16° 20' 00"W	12.13
C9	12.25	25.00	S16° 20' 00"W	12.13
C10	61.27	60.00	S1° 36' 57"E	367.71
C11	41.90	60.00	S50° 52' 26"E	41.05
C12	51.00	60.00	N84° 46' 11"E	49.48
C13	50.98	60.00	N36° 04' 45"E	49.46
C14	58.78	60.00	N16° 19' 32"W	56.46
C15	27.44	60.00	N57° 29' 40"W	364.02
C16	31.81	25.00	N34° 09' 02"W	29.70
C17	6.81	50.00	N6° 11' 51"E	6.80
C18	49.32	50.00	N38° 21' 21"E	47.34
C19	7.13	175.63	S65° 25' 52"W	340.57
C20	84.27	125.70	S47° 22' 03"W	82.70
C21	108.07	125.70	S3° 31' 58"W	104.77
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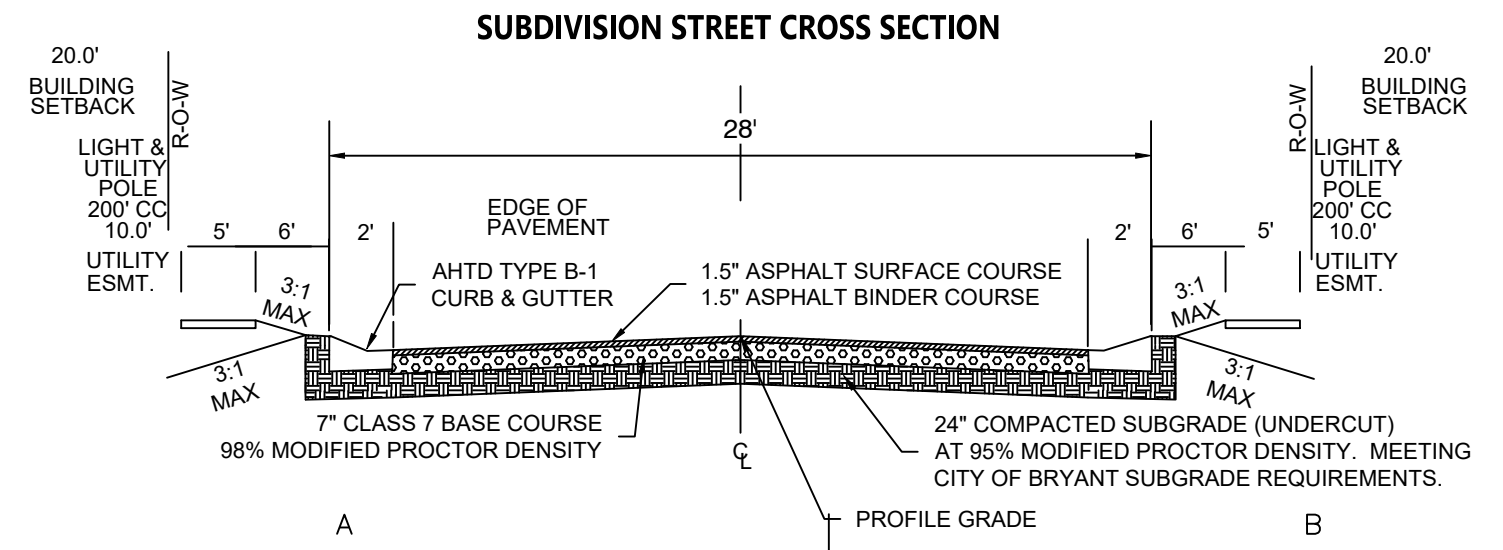
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BY: _____
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DIAMOND ESTATES

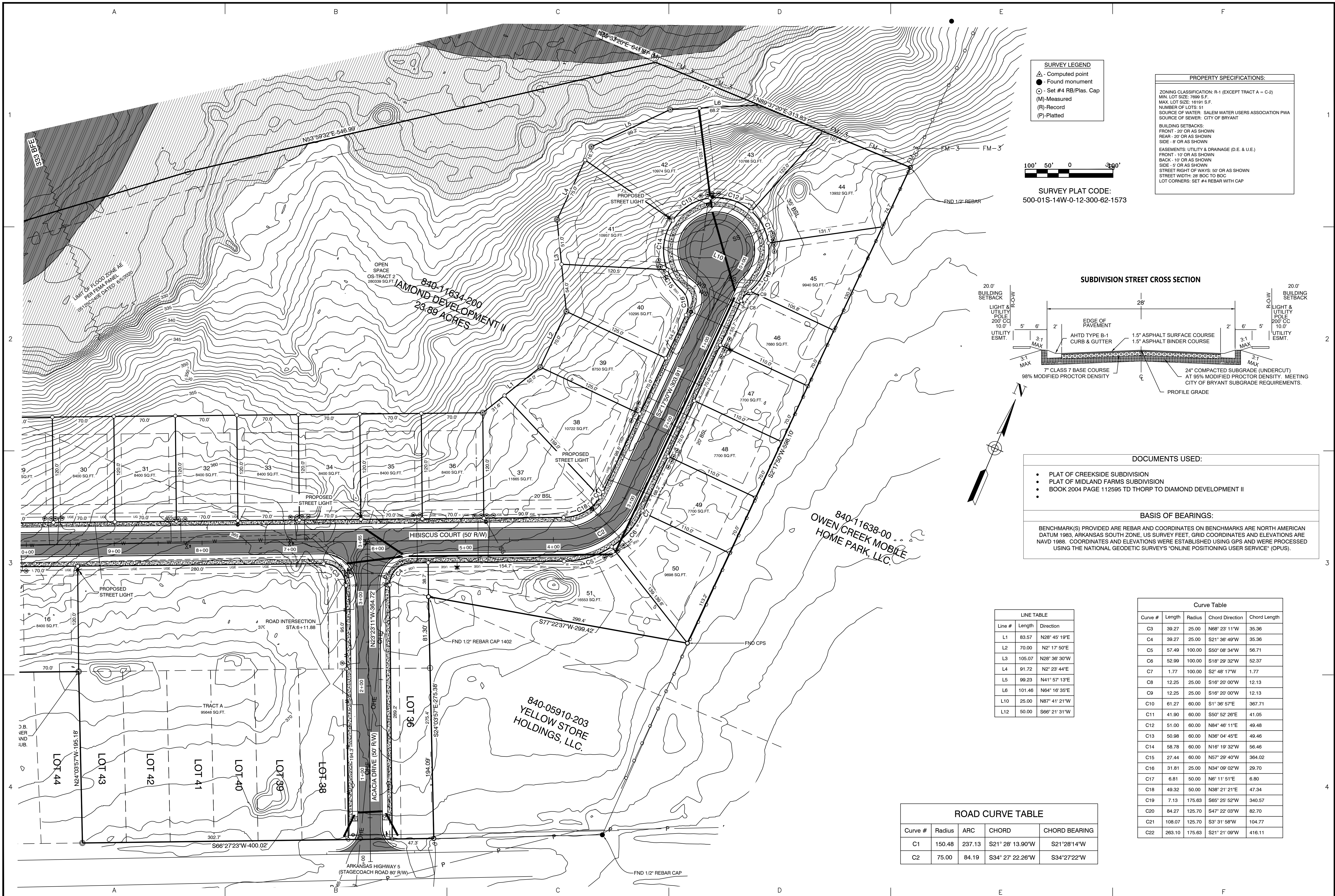
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2-21-2023

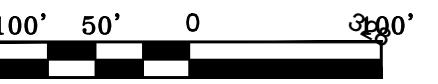
PRELIMINARY PLAT SOUTH HALF DIMENSIONS

PROJECT NO: 21206
 DATE: FEB 2023
 SHEET NO:



SURVEY LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



SURVEY PLAT CODE:
500-01S-14W-0-12-300-62-1573

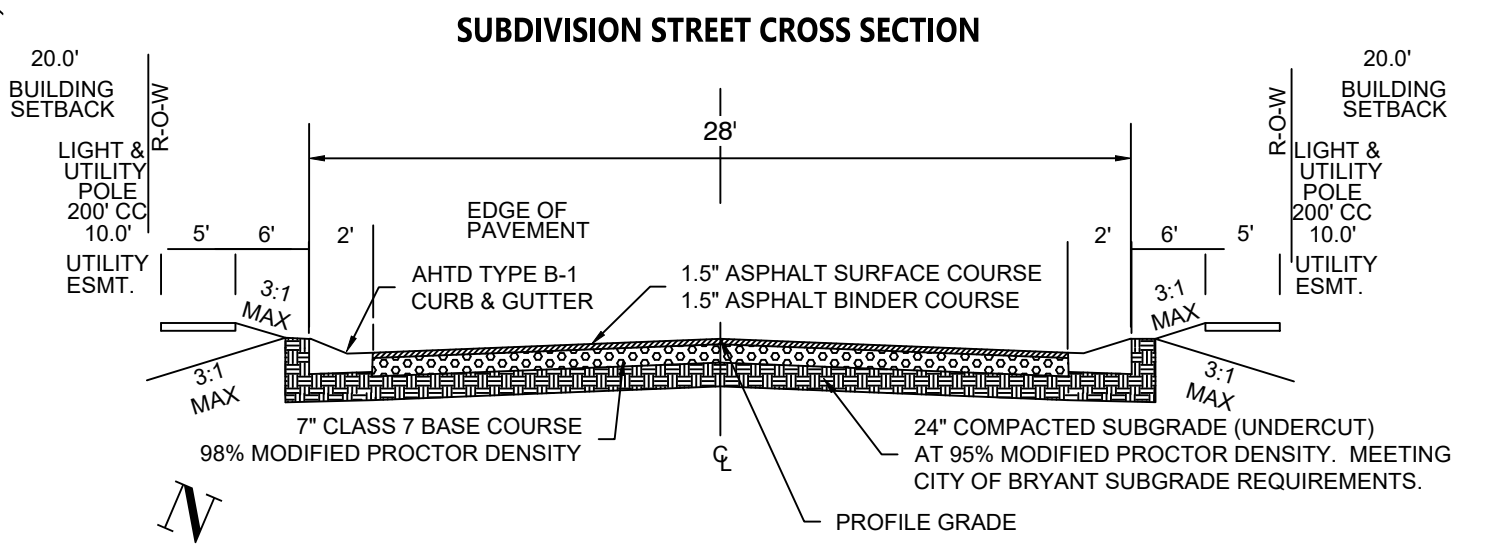
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C9	12.25	25.00	S16° 20' 00"W	12.13
C10	61.27	60.00	S1° 36' 57"E	367.71
C11	41.90	60.00	S50° 52' 26"E	41.05
C12	51.00	60.00	N84° 46' 11"E	49.48
C13	50.98	60.00	N36° 04' 45"E	49.46
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DIAMOND ESTATES

PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 NO. 9561
 VERRON J. WILLIAMS

2-21-2023

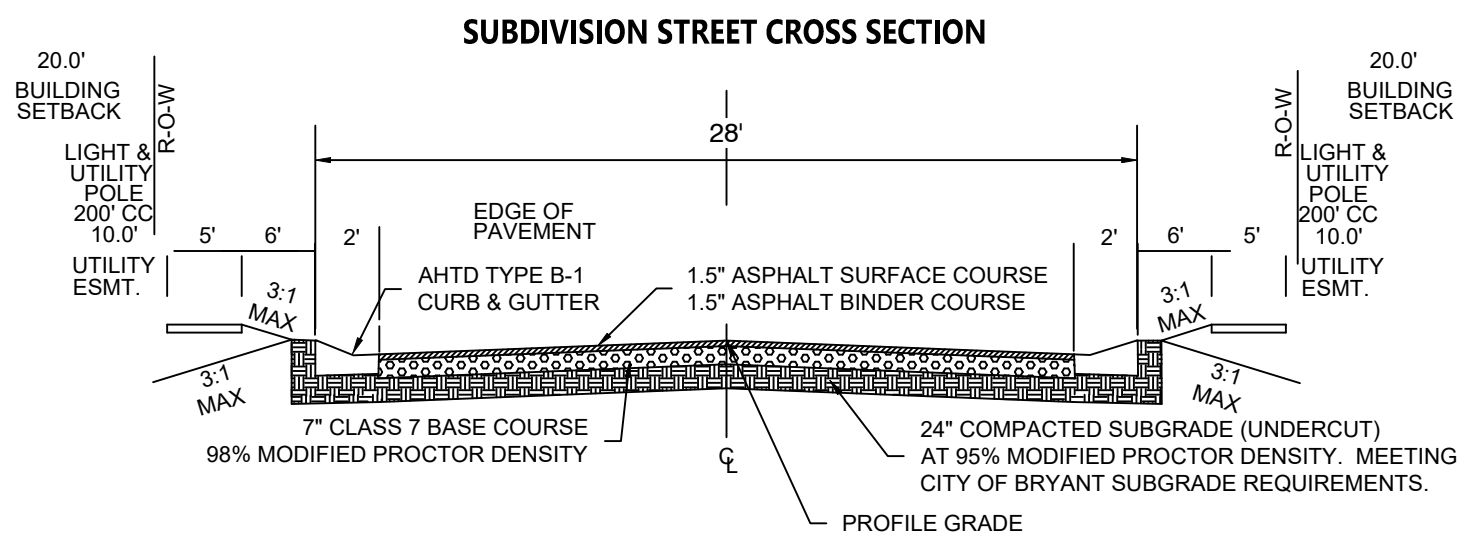
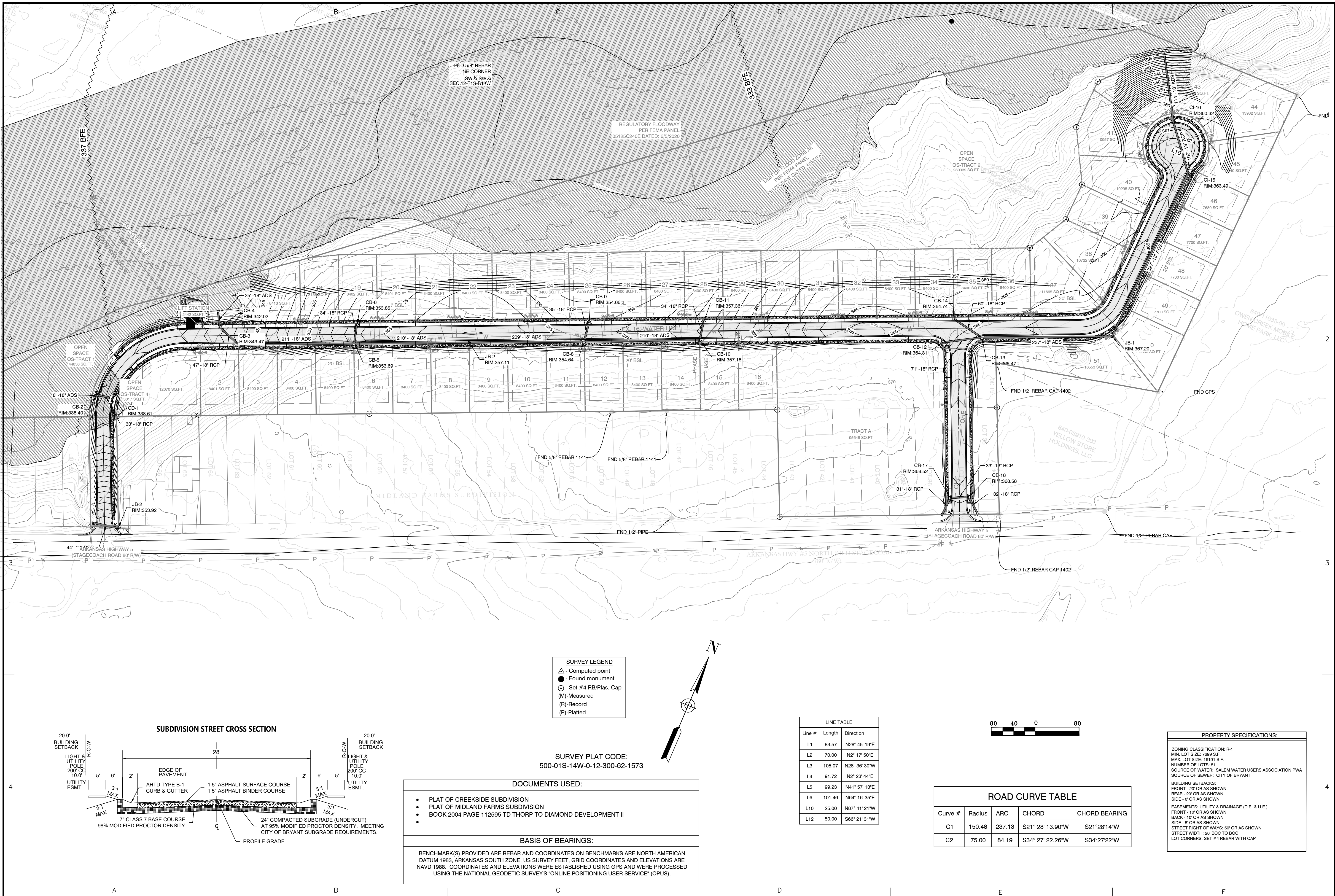
CONTENTS:

PRELIMINARY PLAT NORTH HALF DIMENSIONS

PROJECT NO: 21206

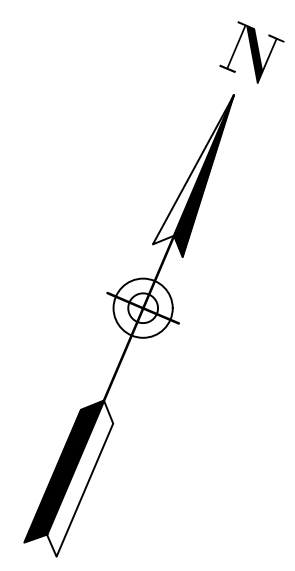
DATE: FEB 2023

SHEET NO: **3**



SURVEY LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



SURVEY PLAT CODE:
500-01S-14W-0-12-300-62-1573

- DOCUMENTS USED:**
- PLAT OF CREEKSIDE SUBDIVISION
 - PLAT OF MIDLAND FARMS SUBDIVISION
 - BOOK 2004 PAGE 112595 TD THORP TO DIAMOND DEVELOPMENT II

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' "ONLINE POSITIONING USER SERVICE" (OPUS).

LINE TABLE

Line #	Length	Direction
L1	83.57	N28° 45' 19"E
L2	70.00	N2° 17' 50"E
L3	105.07	N28° 36' 30"W
L4	91.72	N2° 23' 44"E
L5	99.23	N41° 57' 13"E
L6	101.46	N64° 16' 35"E
L10	25.00	N87° 41' 21"W
L12	50.00	S66° 21' 31"W

ROAD CURVE TABLE

Curve #	Radius	ARC	CHORD	CHORD BEARING
C1	150.48	237.13	S21° 28' 13.90"W	S21° 28' 14"W
C2	75.00	84.19	S34° 27' 22.26"W	S34° 27' 22"W



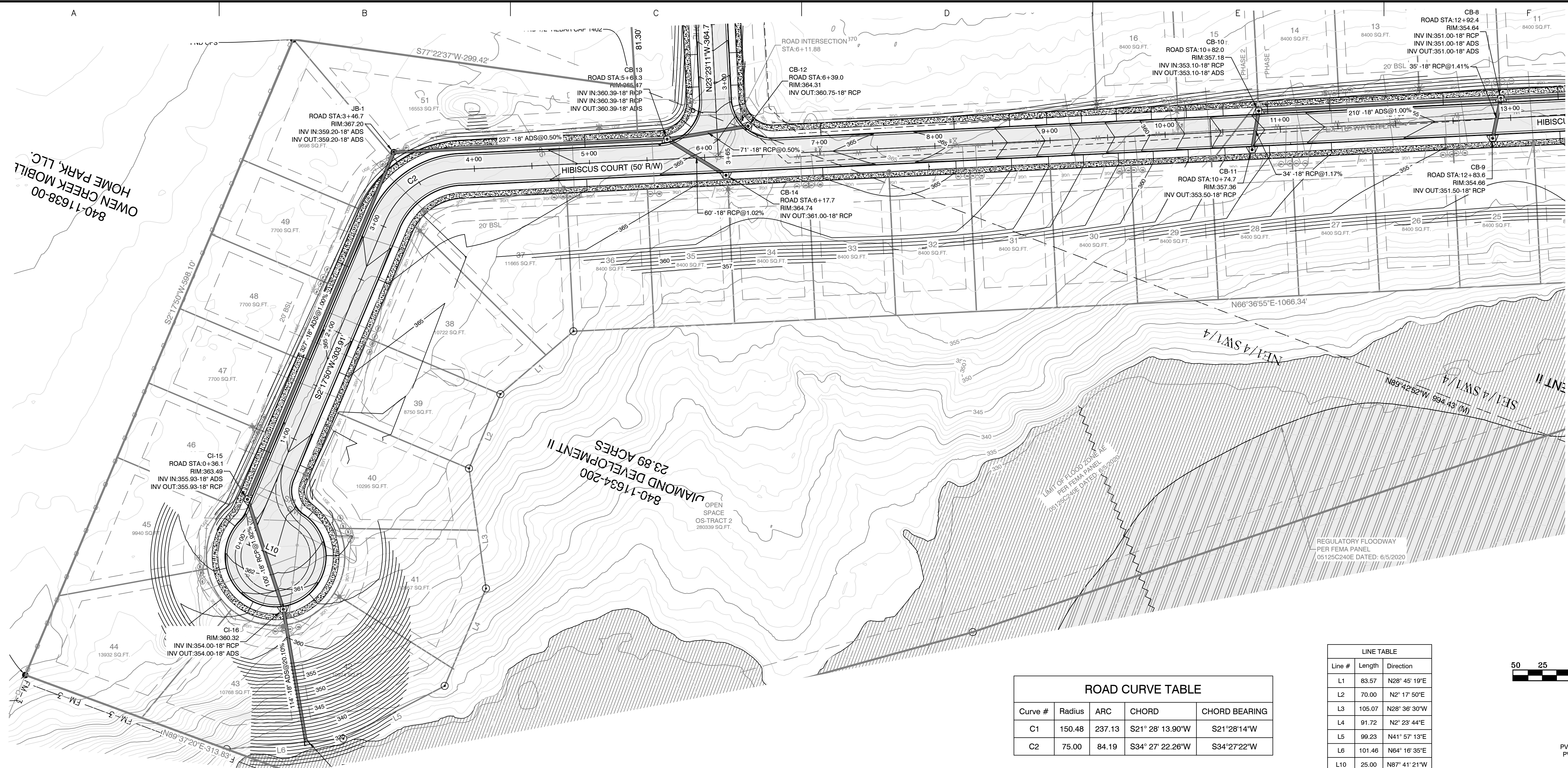
PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1
MIN. LOT SIZE: 7699 S.F.
MAX. LOT SIZE: 16191 S.F.
NUMBER OF LOTS: 51
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
BACK - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN
STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 28' BOC TO BOC
LOT CORNERS: SET #4 REBAR WITH CAP

BY	
REVISION	
DATE	
<p>GNE Designing our client's success</p> <p>GarNat Engineering, LLC P.O. Box 116 (72018) Ph (501) 408-4650 3925 Mt. Carmel Road Fx (888) 900-3068 Bryant, AR 72022 gamateengineering@gmail.com</p>	
<p>DIAMOND ESTATES</p> <p>PART OF THE SOUTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS</p>	
<p>STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER NO. 9551 J. WILLIAMS</p>	
<p>2-21-2023</p>	
<p>CONTENTS:</p> <p>OVERALL DRAINAGE PLAN</p>	
<p>PROJECT NO: 21206</p>	
<p>DATE: FEB 2023</p>	
<p>SHEET NO: 4</p>	



ROAD CURVE TABLE

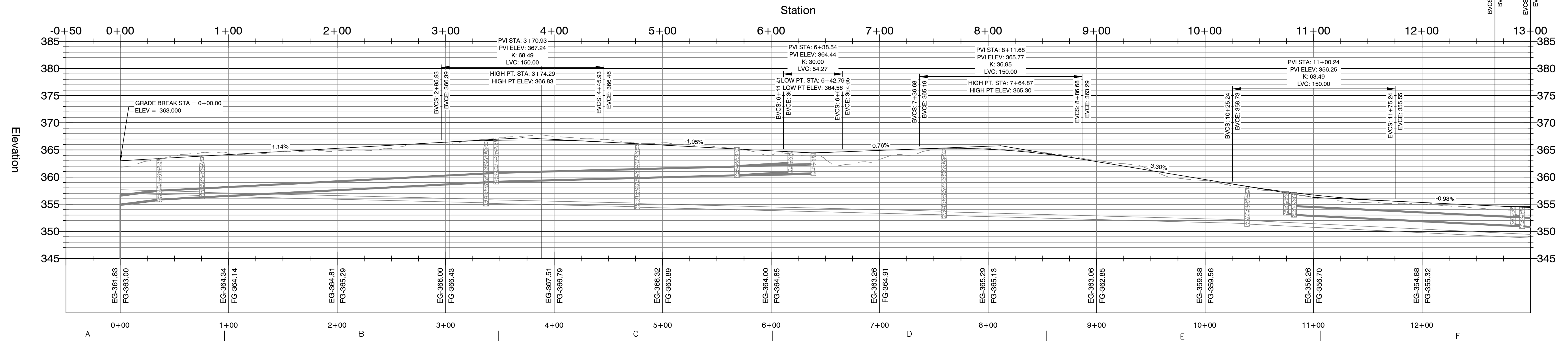
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HIBISCUS COURT PROFILE



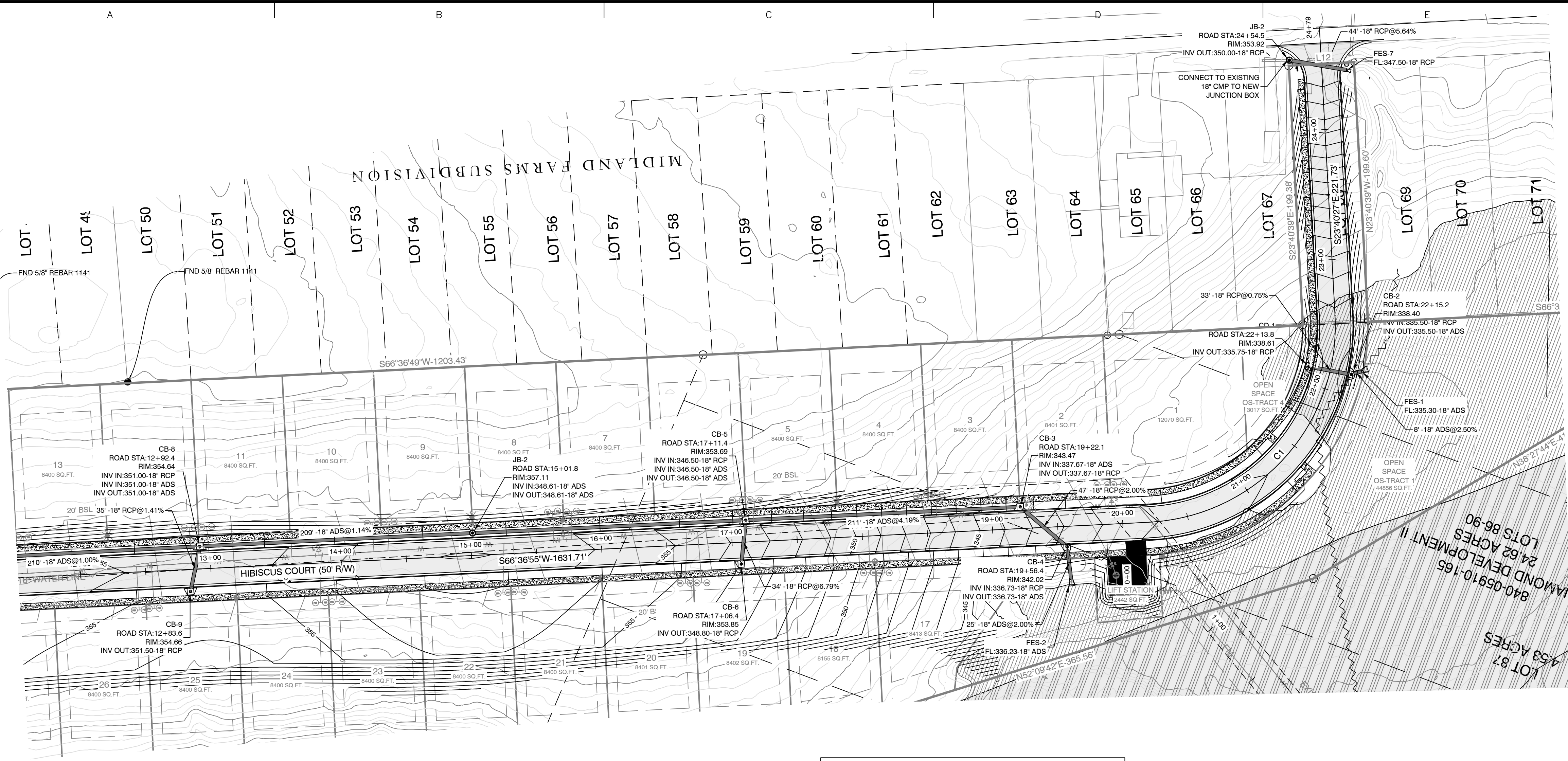
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 Bryant, AR 72022 gnatengineering@gmail.com

DIAMOND ESTATES
 PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 NO. 9551
 JERRY J. WILLIAMS

2-21-2023
 CONTENTS:
 HIBISCUS COURT
 PLAN & PROFILE
 0+00-13+00

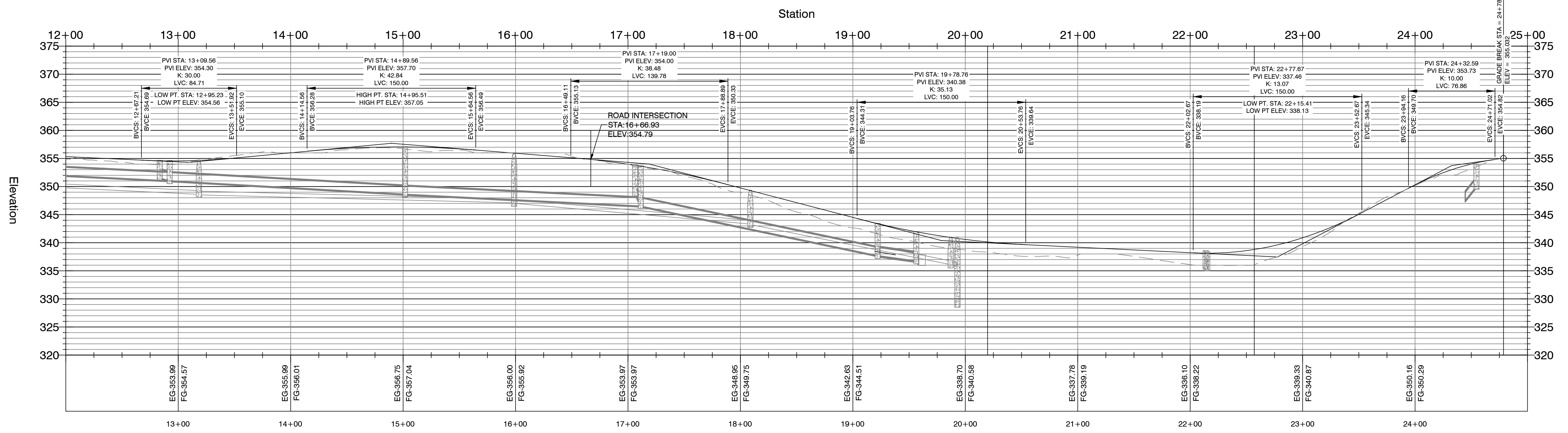
PROJECT NO:
21206
 DATE:
FEB 2023
 SHEET NO:
5



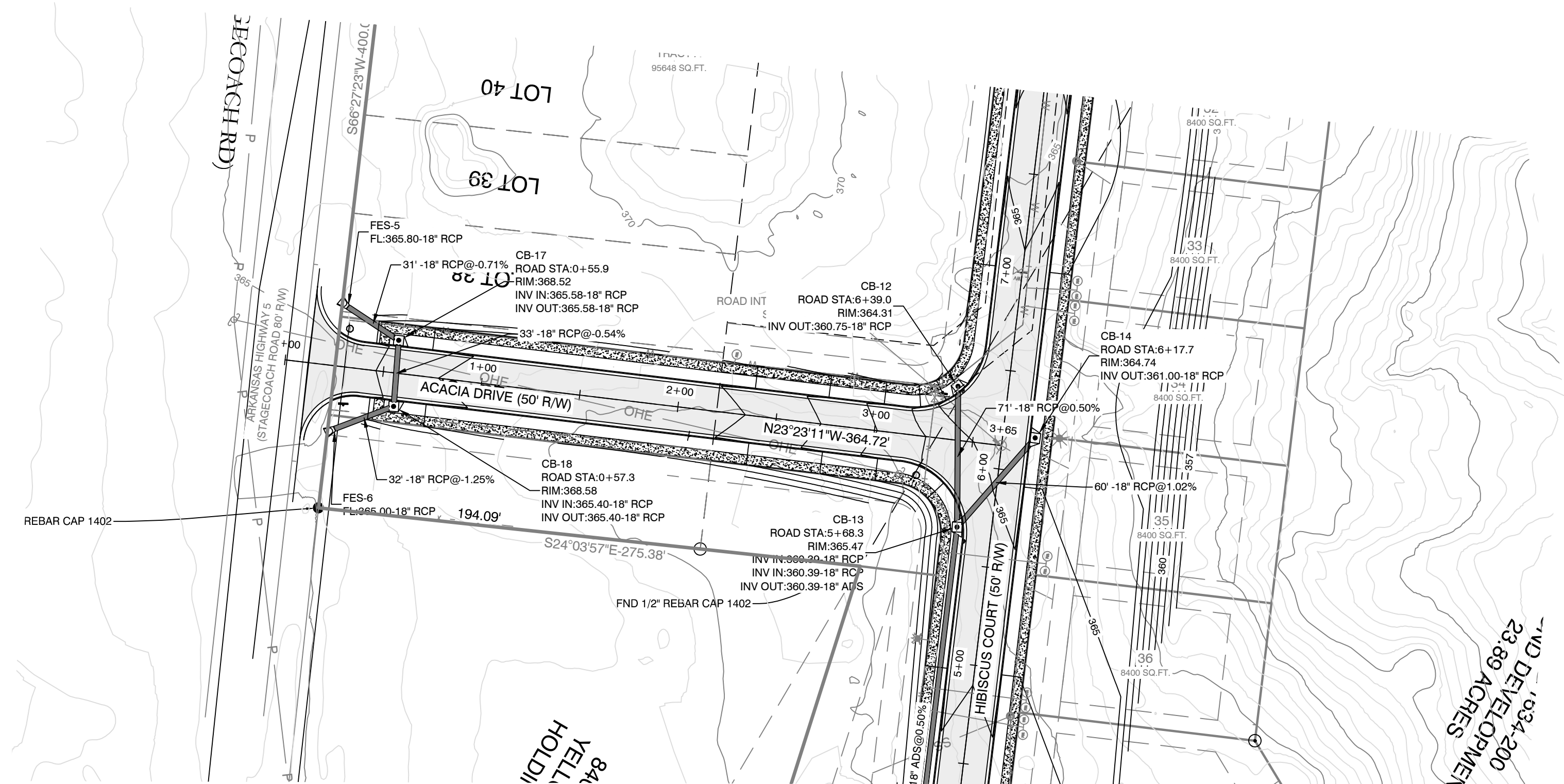
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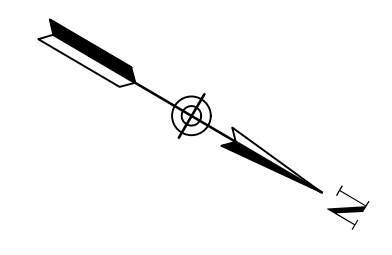
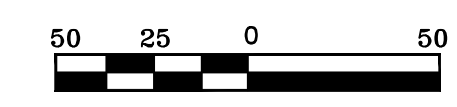
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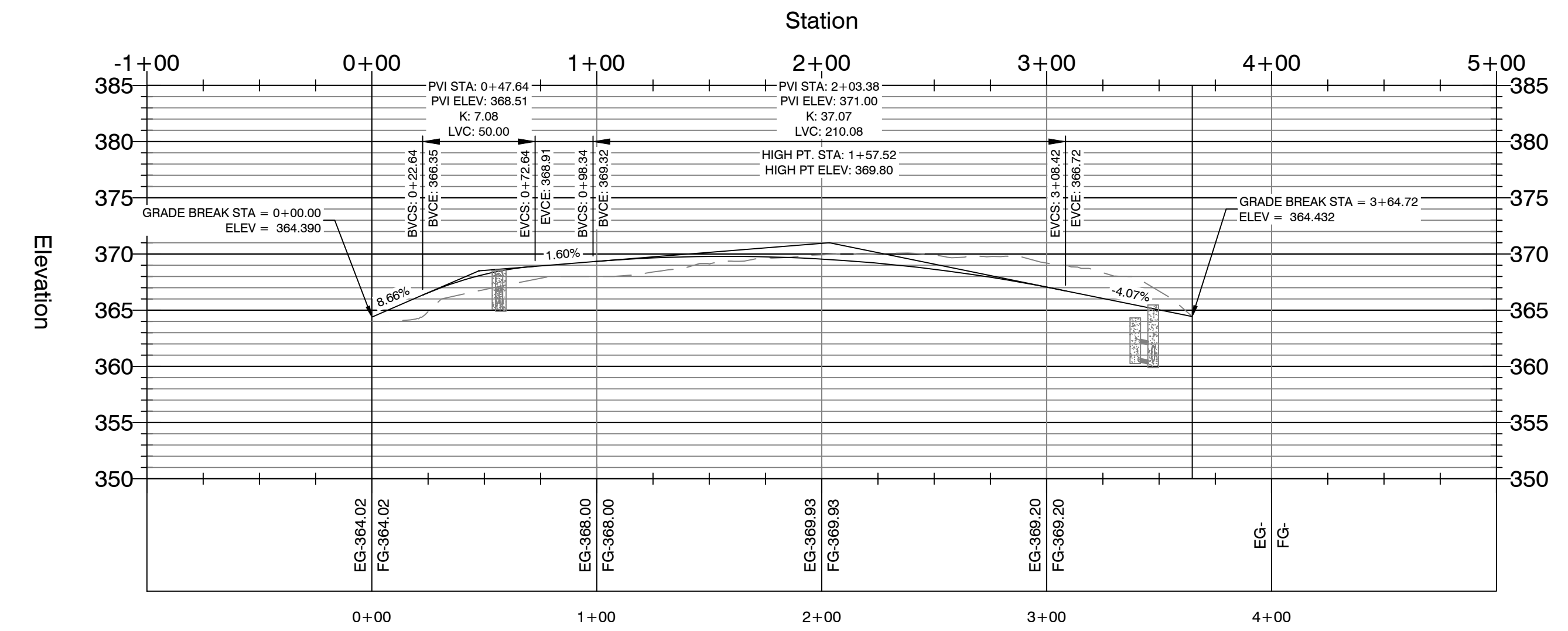
BY	
REVISION	
DATE	
GarNat Engineering, LLC P.O. Box 116 (72018) Ph (501) 408-4650 3925 Mt. Carmel Road Fx (888) 900-3068 Bryant, AR 72022 gnatengineering@gmail.com	
DIAMOND ESTATES PART OF THE SOUTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS	
2-21-2023	
CONTENTS: HIBISCUS COURT PLAN & PROFILE 0+00-13+00	
PROJECT NO: 21206	
DATE: FEB 2023	
SHEET NO: <div style="font-size: 2em; font-weight: bold; text-align: center;">6</div>	



Line #	Length	Direction
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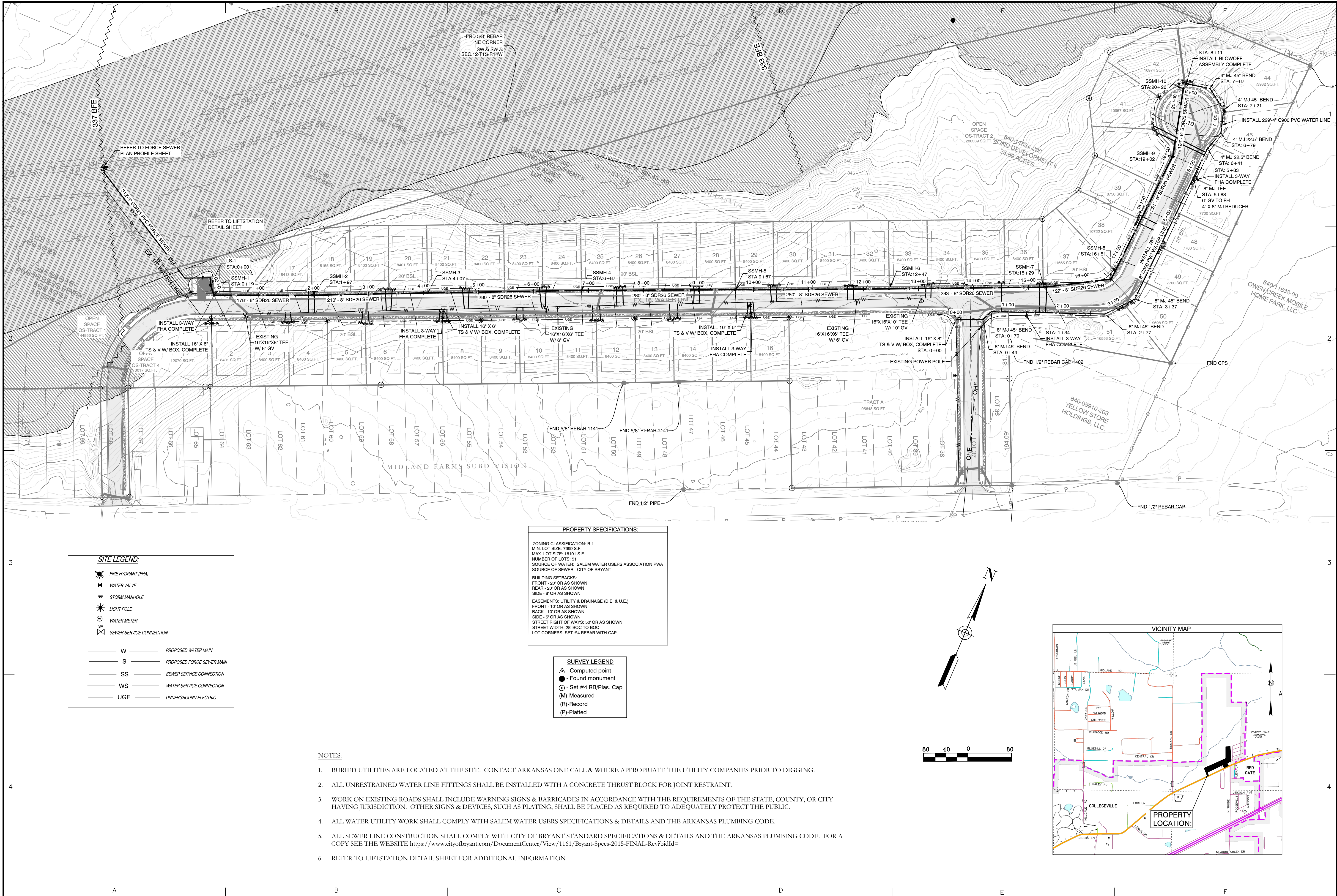


ACACIA DRIVE PROFILE



Curve #	Radius	ARC	CHORD	CHORD BEARING
C1	150.48	237.13	S21° 28' 13.90\"W	S21° 28' 14\"W
C2	75.00	84.19	S34° 27' 22.26\"W	S34° 27' 22\"W

DATE		REVISION		BY	
GarNat Engineering, LLC P.O. Box 116 (72018) Ph (501) 408-4650 3825 Mt. Carmel Road Fx (888) 900-3068 Bryant, AR 72022 gamateengineering@gmail.com					
DIAMOND ESTATES PART OF THE SOUTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS					
2-21-2023					
CONTENTS: ACACIA DR. PLAN & PROFILE					
PROJECT NO: 21206					
DATE: FEB 2023					
SHEET NO: 7					



BY _____

REVISION _____

DATE _____

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DIAMOND ESTATES

PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS



2-21-2023

CONTENTS:

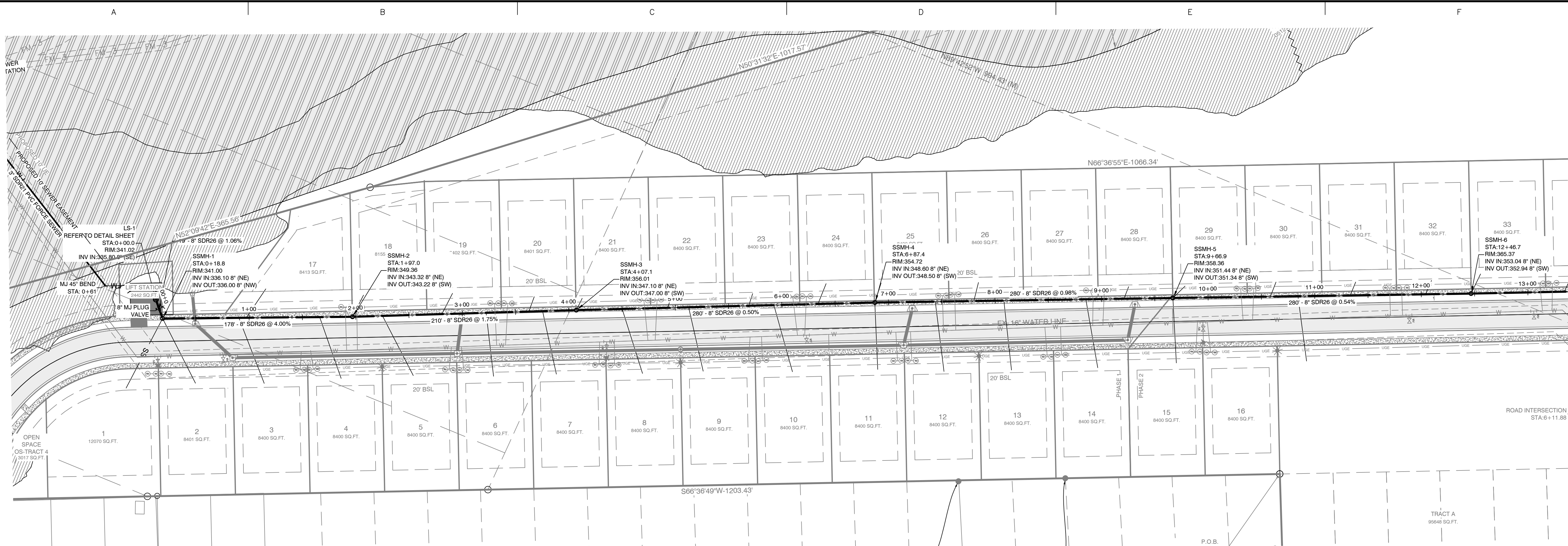
UTILITY PLAN OVERALL

PROJECT NO:
21206

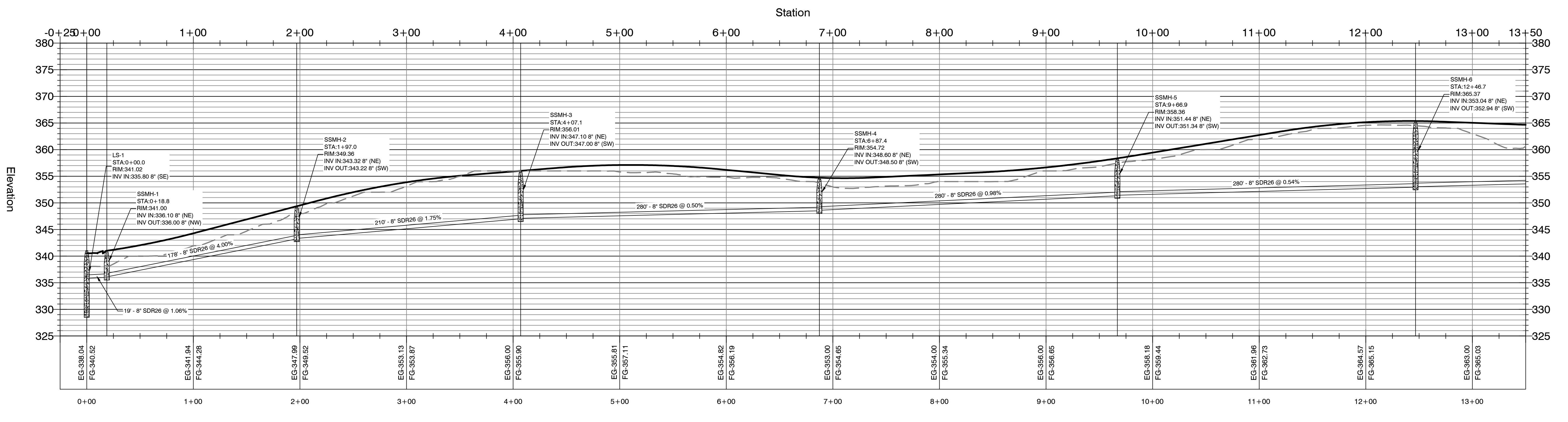
DATE:
FEB 2023

SHEET NO:

8



SEWERMAIN-1 PROFILE



BY	REVISION	DATE

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DIAMOND ESTATES
 PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS



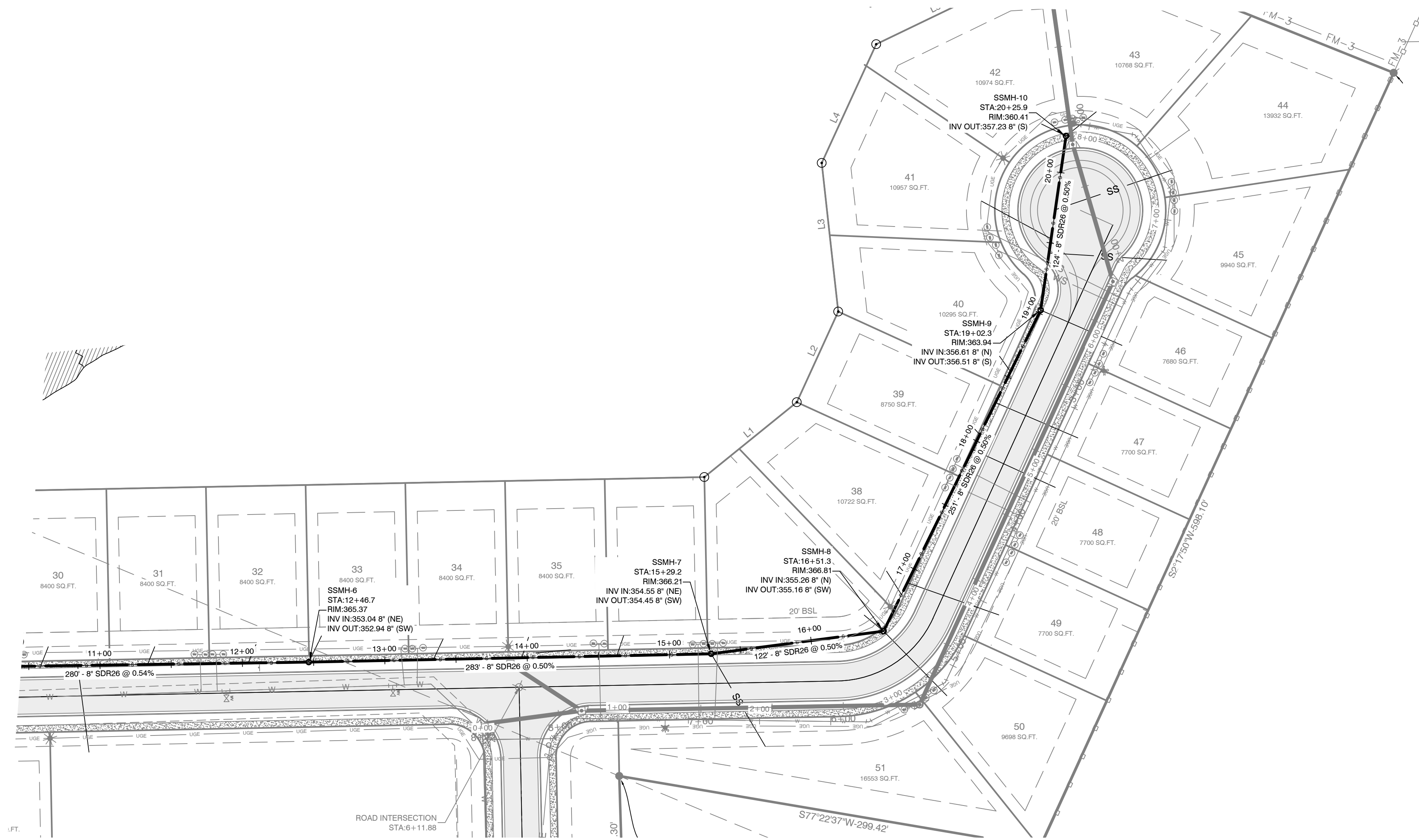
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**SEWER MAIN 1
 PLAN &
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 0+00-13+00**

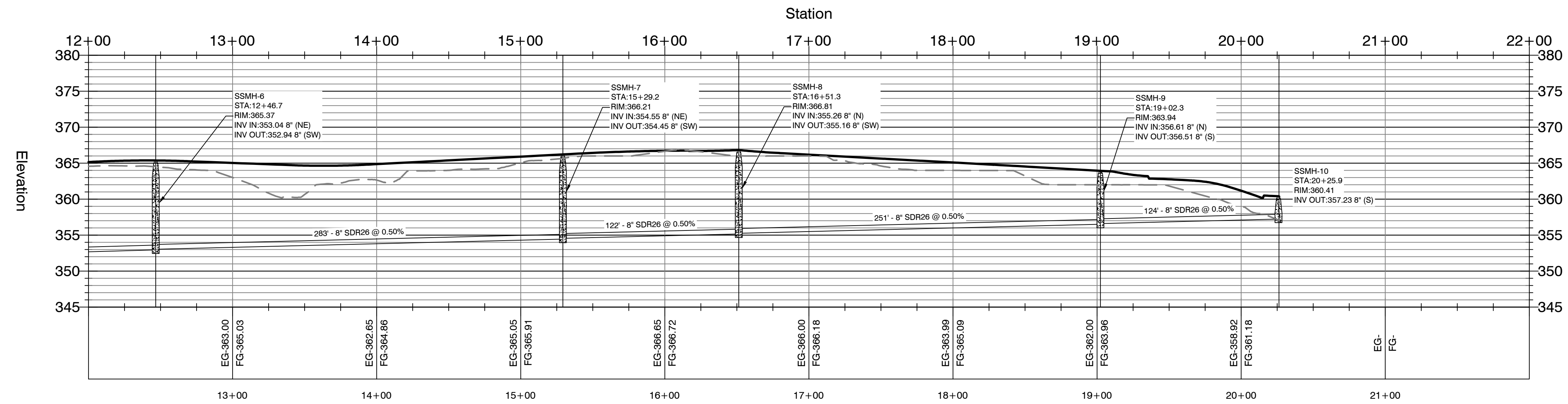
PROJECT NO:
 21206

DATE:
 FEB 2023

SHEET NO:
9



SEWERMAIN-1 PROFILE



BY	REVISION	DATE

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DIAMOND ESTATES
 PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS



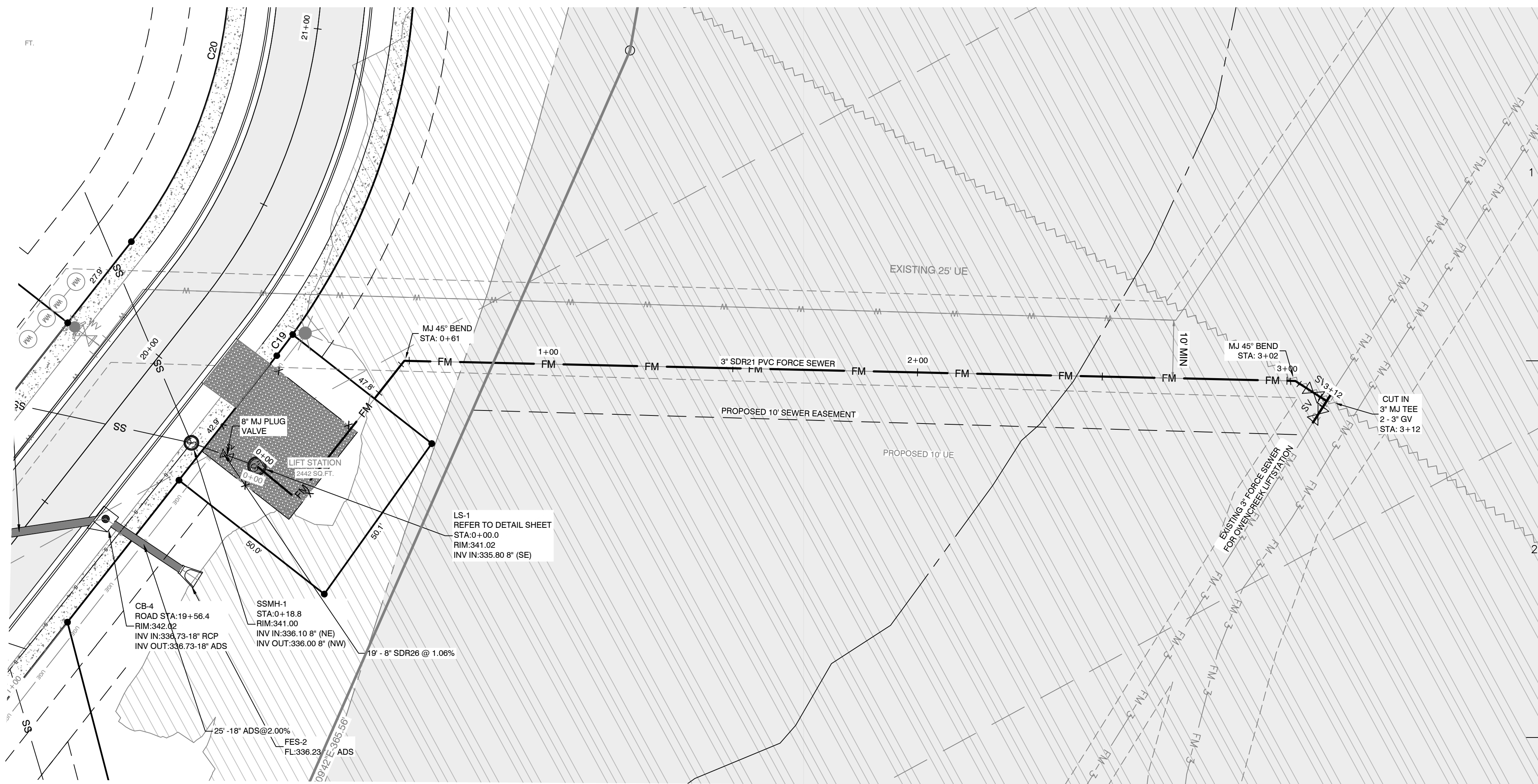
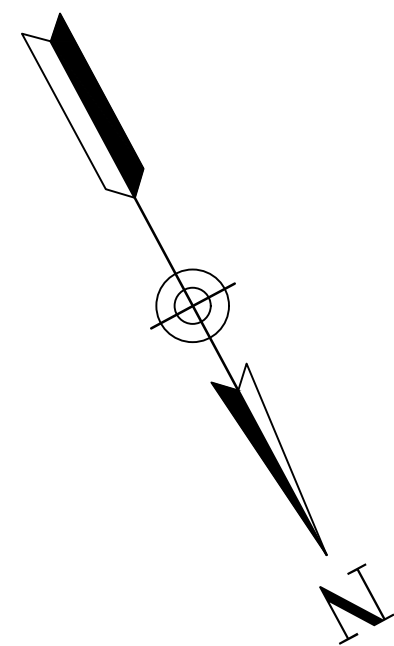
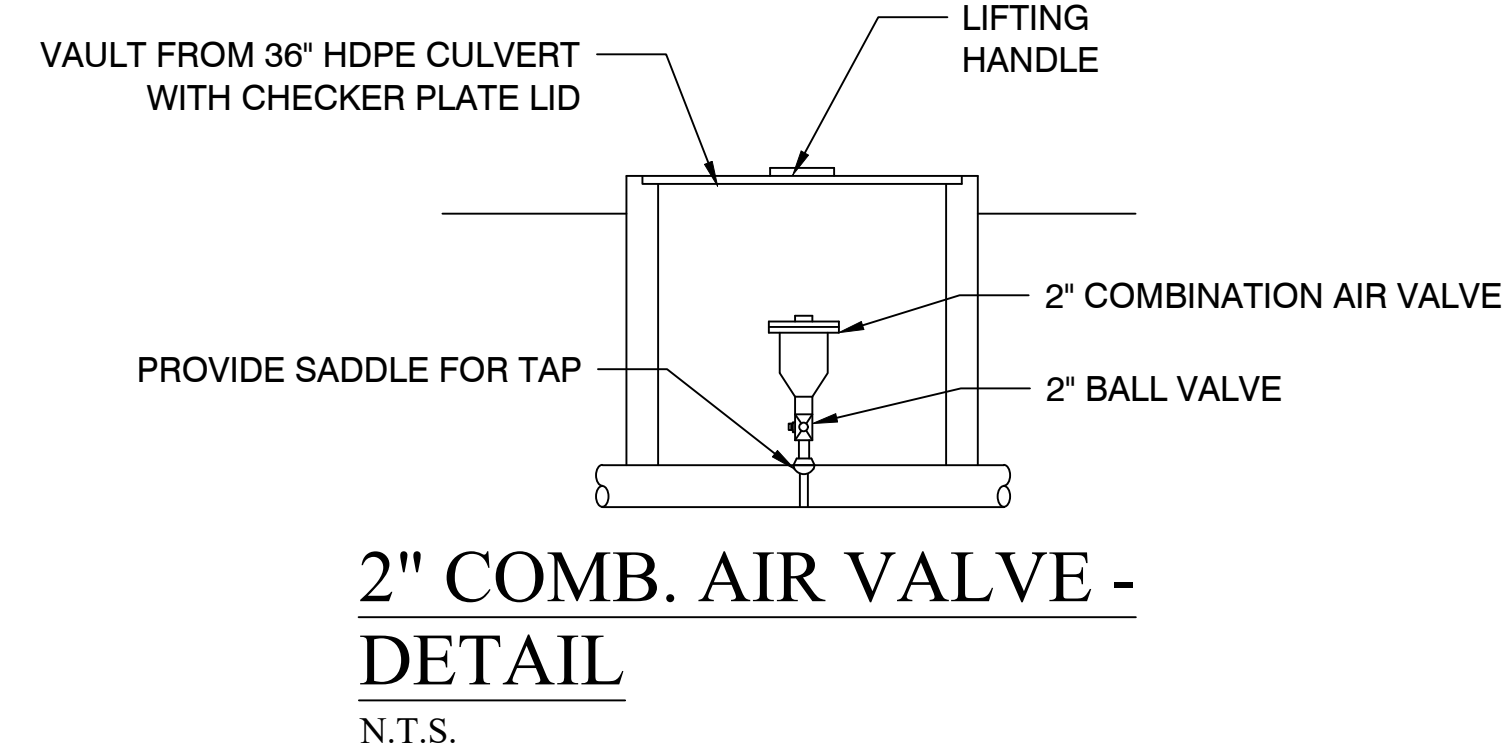
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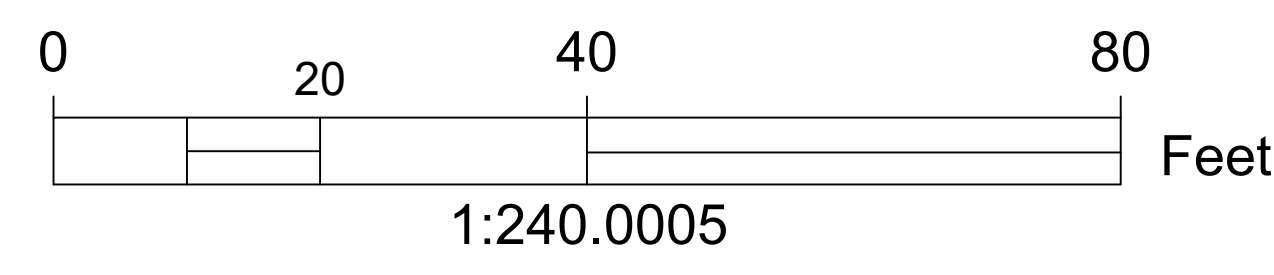
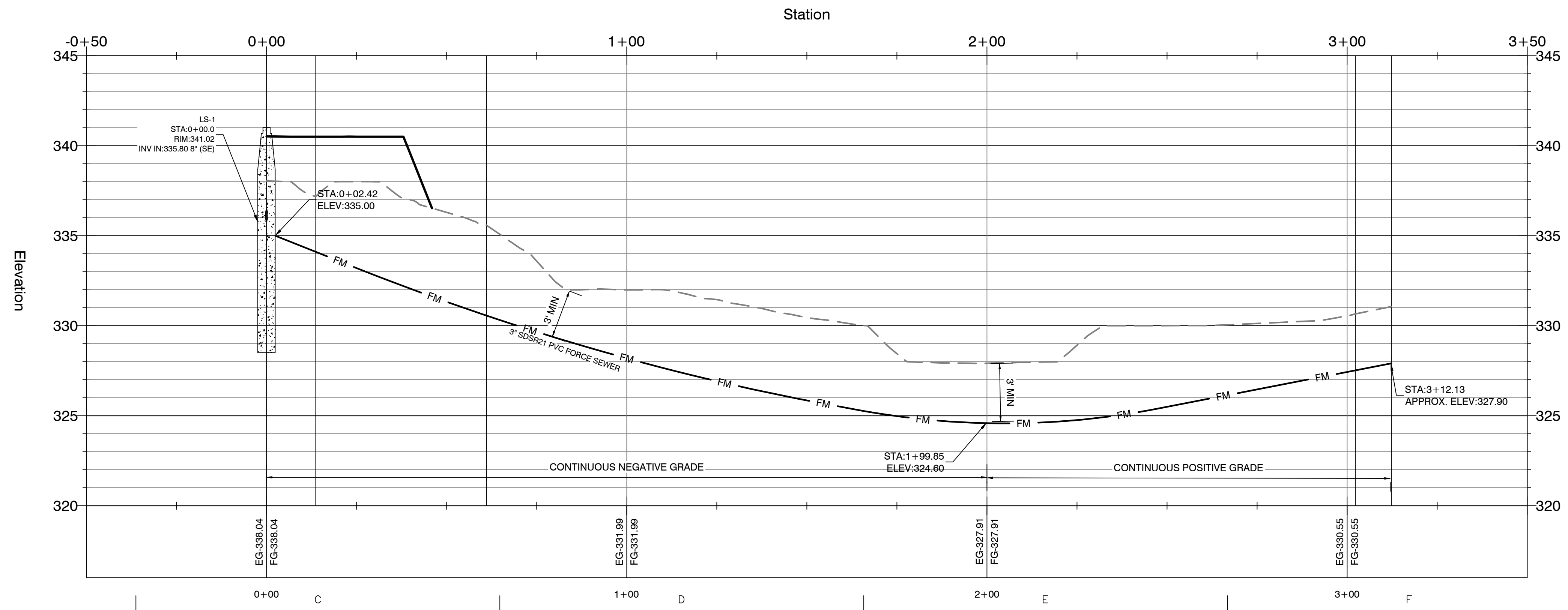
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FEB 2023

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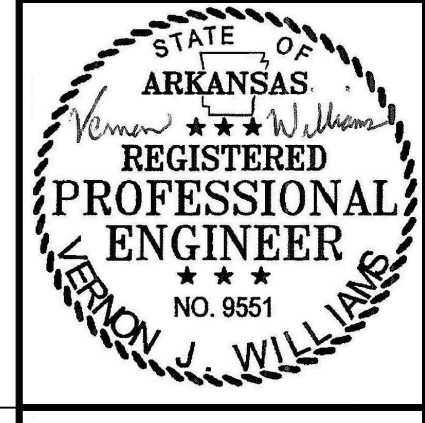
FORCESEWER PROFILE



BY	REVISION	DATE

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GarNat Engineering, LLC
 P.O. Box 116 (72018) Ph (501) 408-4650
 2909 Military Road Fx (888) 900-3068
 Benton, AR 72015 gmatengineer@gmail.com

DIAMOND ESTATES
 PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS



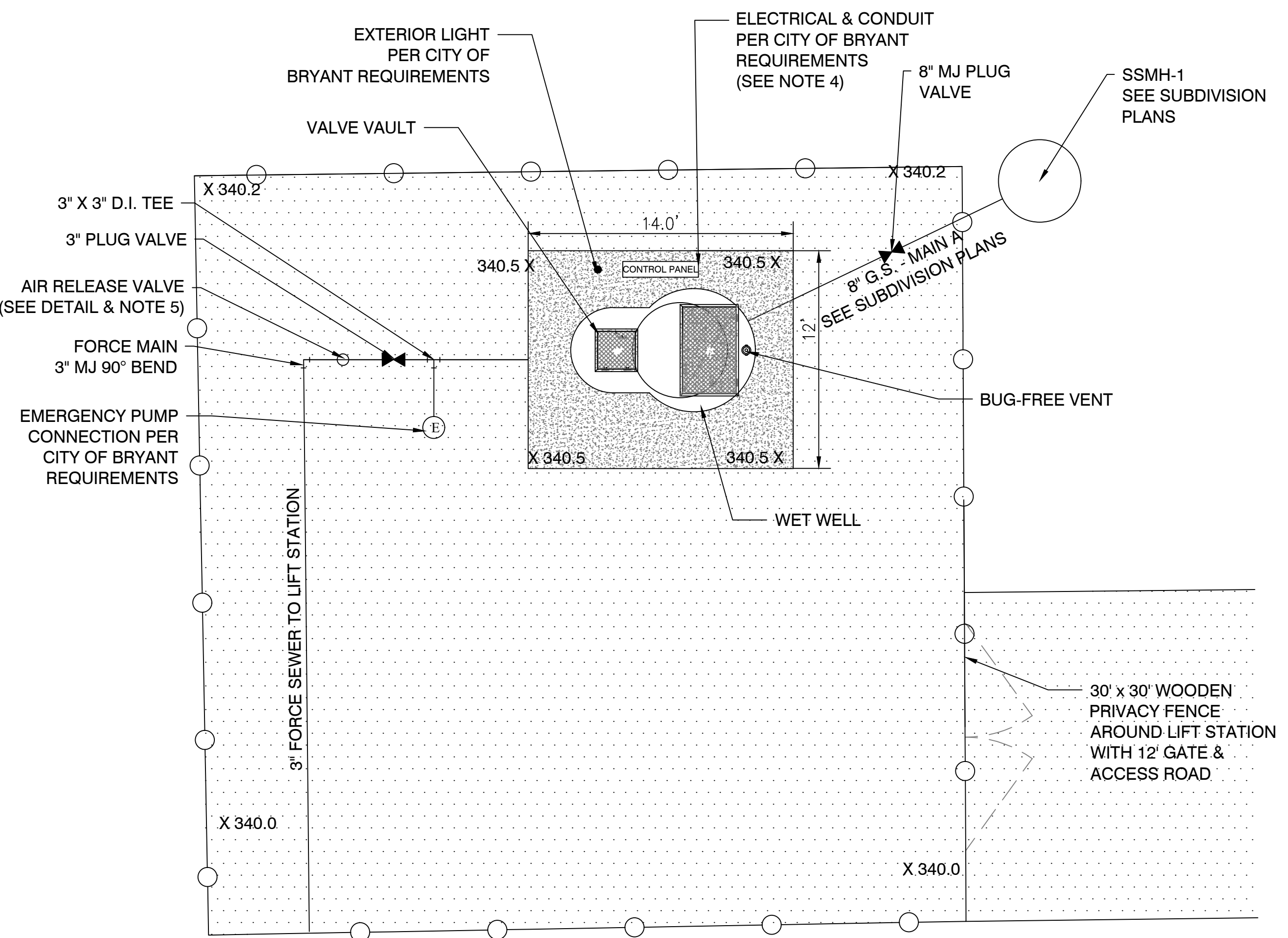
2-21-2023

CONTENTS:
**LIFTSTATION
 PLAN &
 PROFILE**

PROJECT NO:
21206

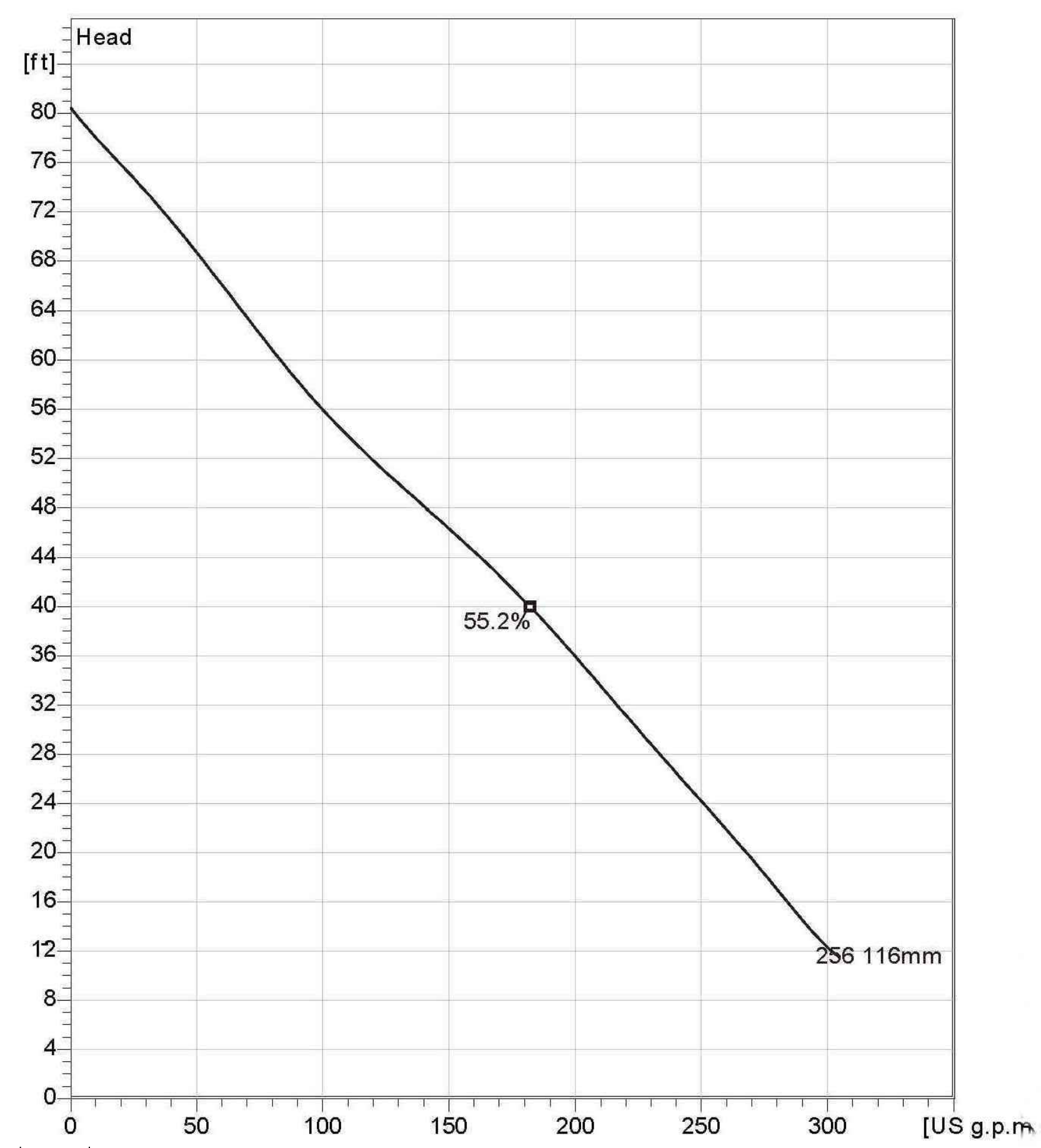
DATE:
FEB 2023

SHEET NO:
11



VALVE VAULT - PLAN
N.T.S.

NP 3085 SH 3~ 256
Technical specification



PUMP INFORMATION
N.T.S.



Note: Picture might not correspond to the current configuration.

General
Patented self cleaning semi-open channel impeller, ideal for pumping in waste water applications. Possible to be upgraded with Guide-pin® for even better clogging resistance. Modular based design with high adaptation grade.

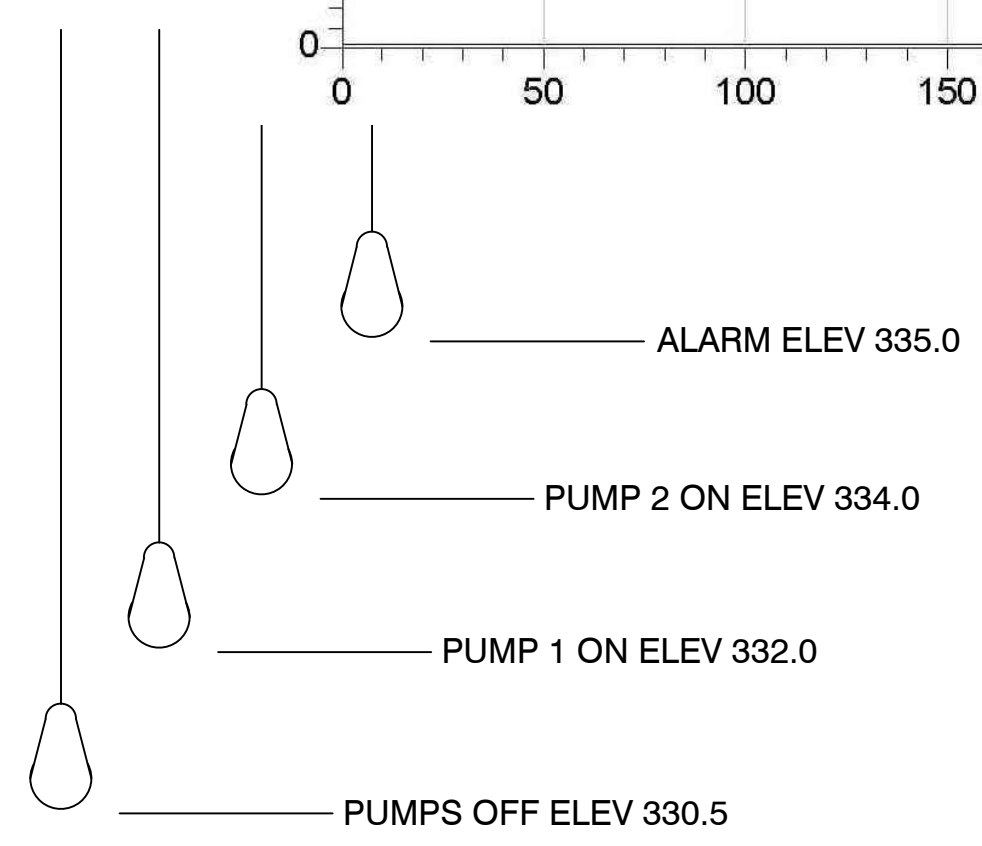
Impeller

Impeller material	Grey cast iron
Discharge Flange Diameter	3 1/8 inch
Suction Flange Diameter	80 mm
Impeller diameter	116 mm
Number of blades	2

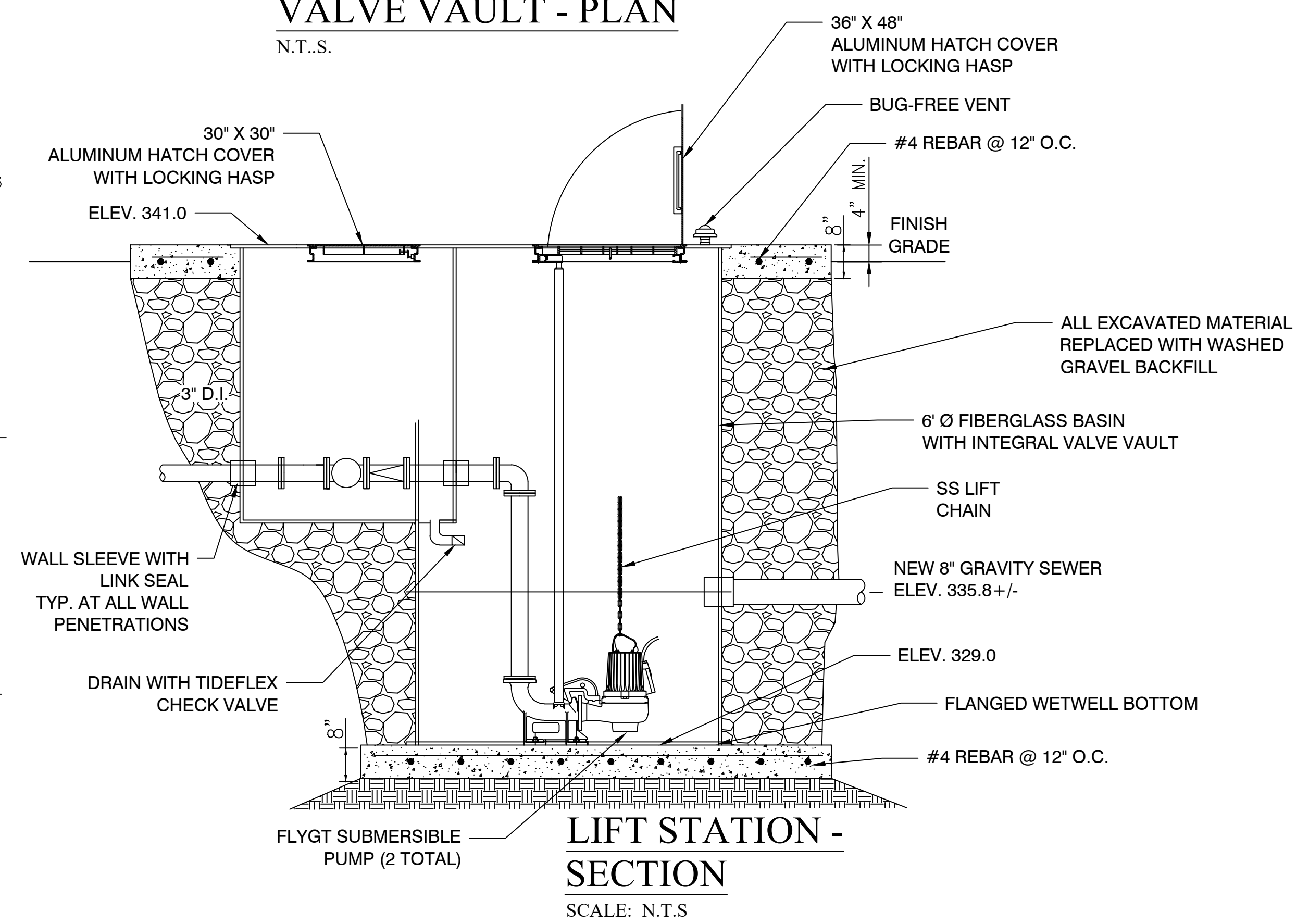
Motor

Motor #	N3085.183 15-09-2AL-W 4hp
Stator variant	12
Frequency	60 Hz
Rated voltage	460 V
Number of poles	2
Phases	3~
Rated power	4 hp
Rated current	5.1 A
Starting current	30 A
Rated speed	3415 rpm
Power factor	
1/1 Load	0.91
3/4 Load	0.88
1/2 Load	0.81
Efficiency	
1/1 Load	80.5 %
3/4 Load	82.5 %
1/2 Load	82.5 %

Configuration



LEVEL CONTROLS
N.T.S.

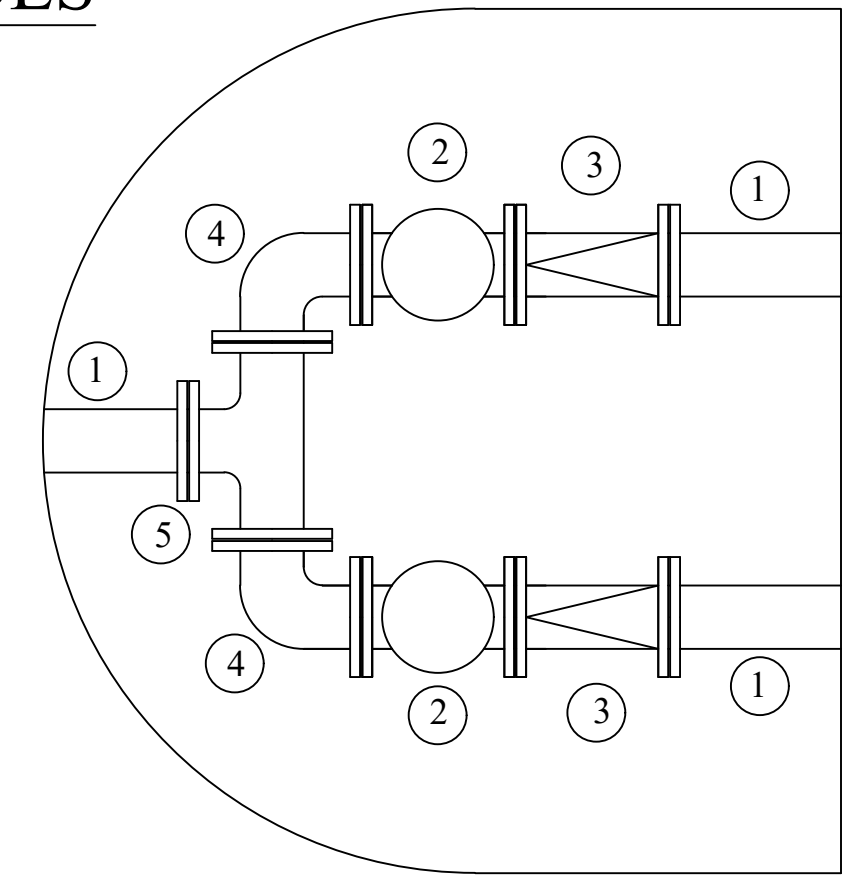


LIFT STATION - SECTION
SCALE: N.T.S.

LIFT STATION - PLAN
SCALE: 1" = 5'

KEYED NOTES

- 3" FLANGED SPOOL
- 3" FLANGED PLUG VALVE
- 3" FLANGED CHECK VALVE
- 3" FLANGED 90° BEND
- 3" FLANGED TEE



LIFT STATION NOTES

- LIFT STATION SHALL BE COMPLETELY SHOP FABRICATED INCLUDING WETWELL, VALVE VAULT, ACCESS HATCHES, INTERNAL PIPING & VALVES, PUMP RAILS, LEVEL CONTROLS AND APPURTENANCES
- ALL INTERNAL PIPING SHALL BE CONSTRUCTED OF FLANGED SCHEDULE 40 304L STAINLESS STEEL
- ALL EQUIPMENT SHALL BE CONSTRUCTED PER CITY OF BRYANT REQUIREMENTS.
- PROVIDE CANOPY OVER ELECTRICAL CABINETS AND CONCRETE HOUSEKEEPING PAD UNDER PANELS PER CITY OF BRYANT REQUIREMENTS.
- INSTALL FORCE MAIN TO ENSURE AIR VALVE IS AT HIGH POINT. RELOCATE AIR VALVE AS REQUIRED.

BY	VW
REVISION	
DATE	3/18/15
REVISE PER	HEALTH DEPT.

GNE Designing our client's success
GarNat Engineering, LLC
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406 W. South Street
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garnatengineering@gmail.com

DIAMOND ESTATES
PART OF THE SOUTHWEST QUARTER
SECTION 12, T-1-S, R-14-W,
SALINE COUNTY, ARKANSAS



2-21-2023

CONTENTS:
LIFT STATION DETAILS

PROJECT NO:
21206

DATE:
FEB 2023

SHEET NO:

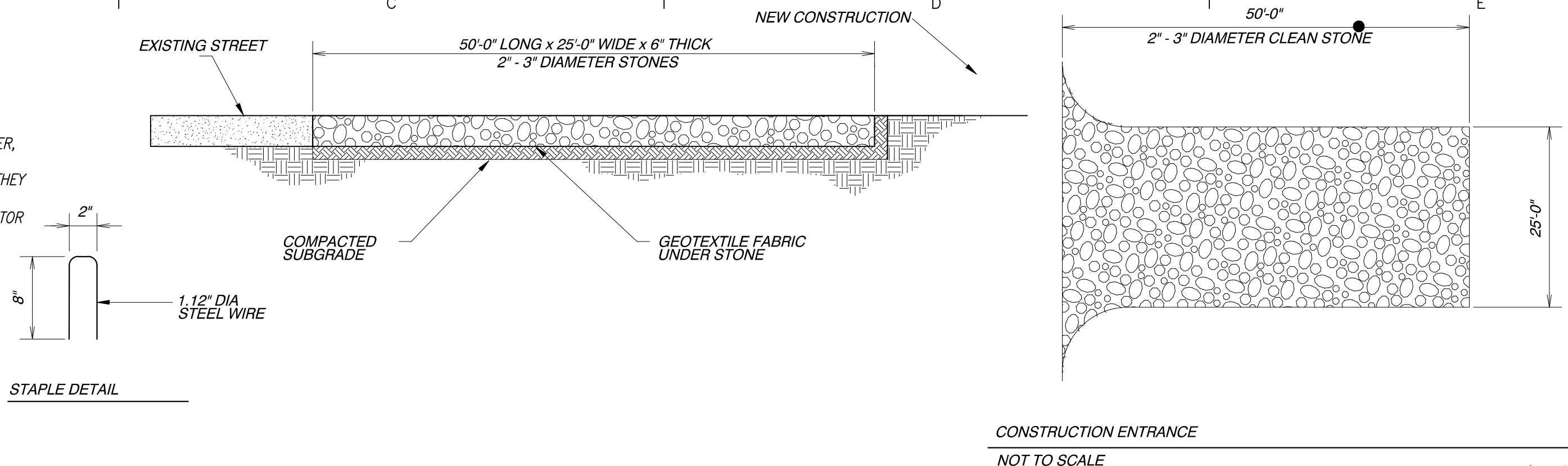
SEQUENCE OF CONSTRUCTION:

PHASE I

1. CONSTRUCT THE SILT FENCES ON THE SITE.
2. CONSTRUCT THE ROCK CHECK DAMS AND SEDIMENT TRAP BASINS.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
4. CLEAR AND GRUB THE SITE.
5. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP(S). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRECONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
7. BEGIN GRADING THE SITE.

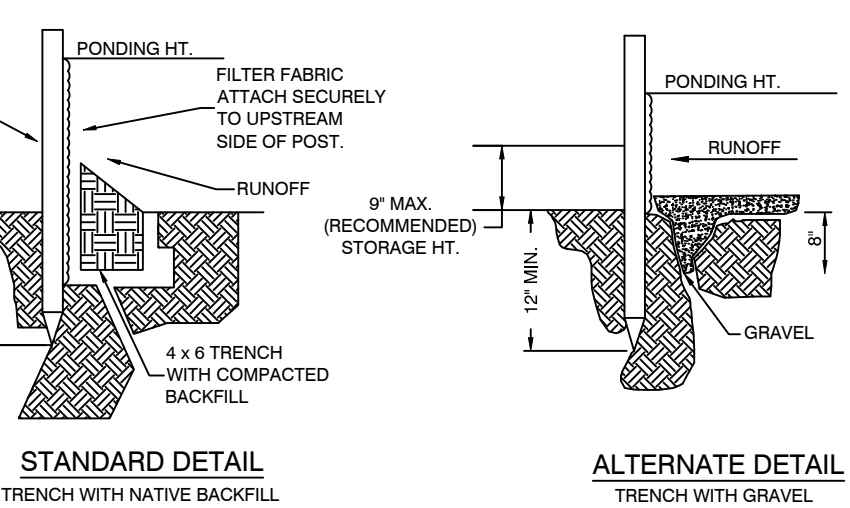
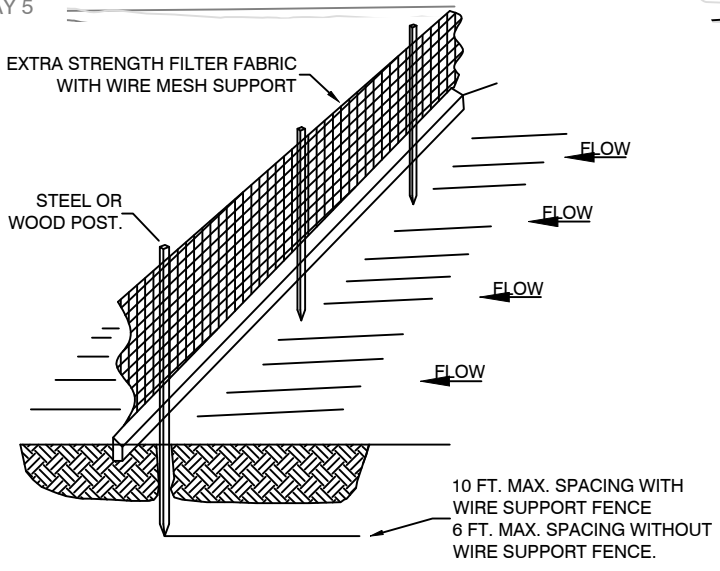
PHASE II

1. TEMPORARILY SEED DENUDEED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, AND ROAD IMPROVEMENTS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED)



STAPLE DETAIL

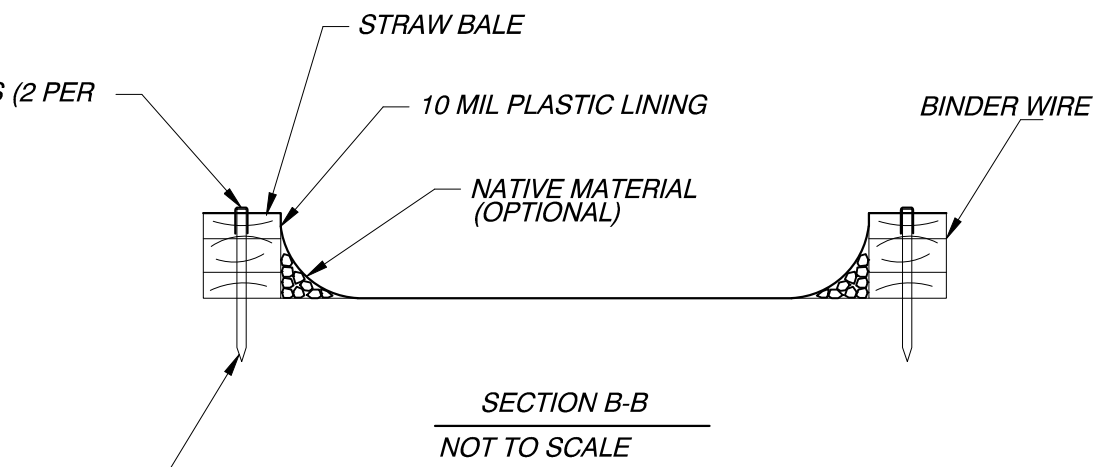
CONSTRUCTION ENTRANCE
NOT TO SCALE



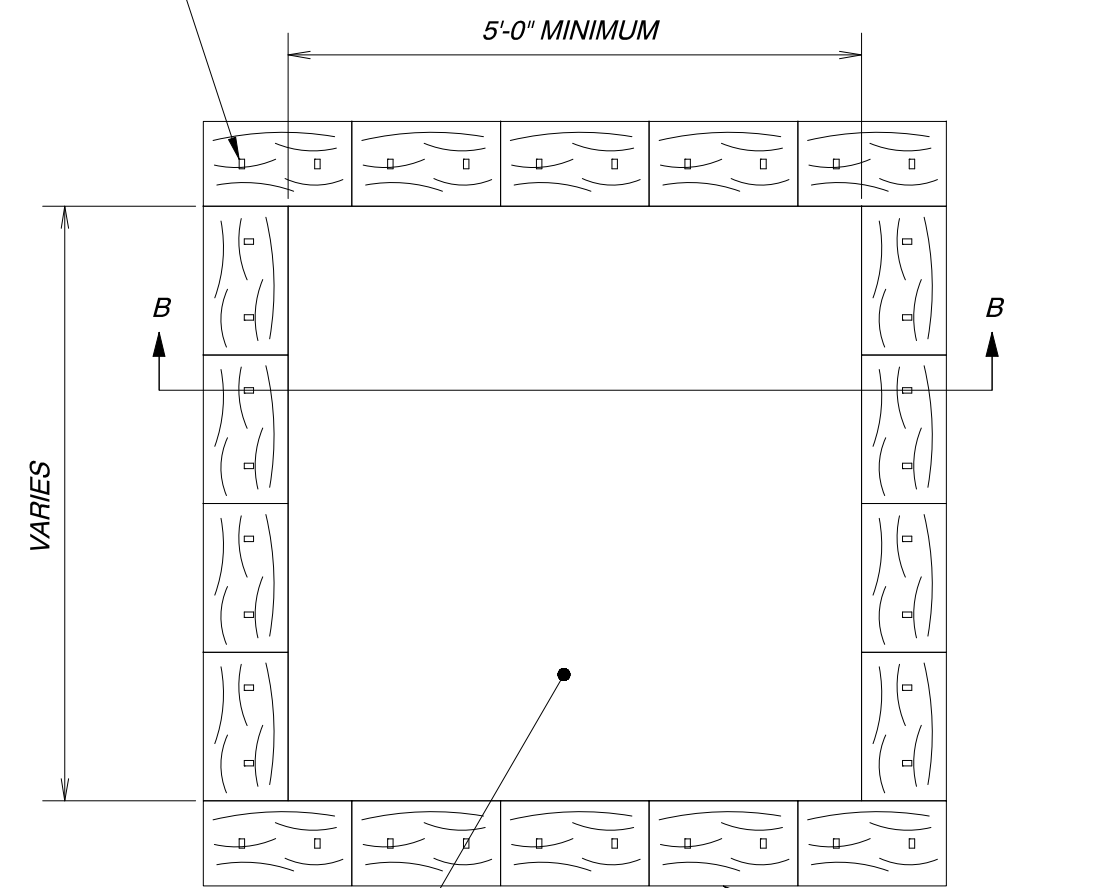
SILT FENCE

GENERAL EROSION NOTES:

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF A SITE MAP, STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OF MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIAL SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF OF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.



SECTION B-B
NOT TO SCALE



CONCRETE WASHOUT
NOT TO SCALE

BY: _____
REVISION: _____
DATE: _____

GNE Designing our client's success
GarNat Engineering, LLC
P.O. Box 116 (72018) Ph (501) 408-4650
3925 Mt. Carmel Road Fx (888) 900-3068
Bryant, AR 72022 gnatengineering@gmail.com

DIAMOND ESTATES
PART OF THE SOUTHWEST QUARTER
SECTION 12, T-1-S, R-14-W,
SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
NO. 9551
TERRY J. WILLIAMS

2-21-2023
CONTENTS:
EROSION CONTROL PLAN

PROJECT NO: 21206
DATE: FEB 2023
SHEET NO:

13

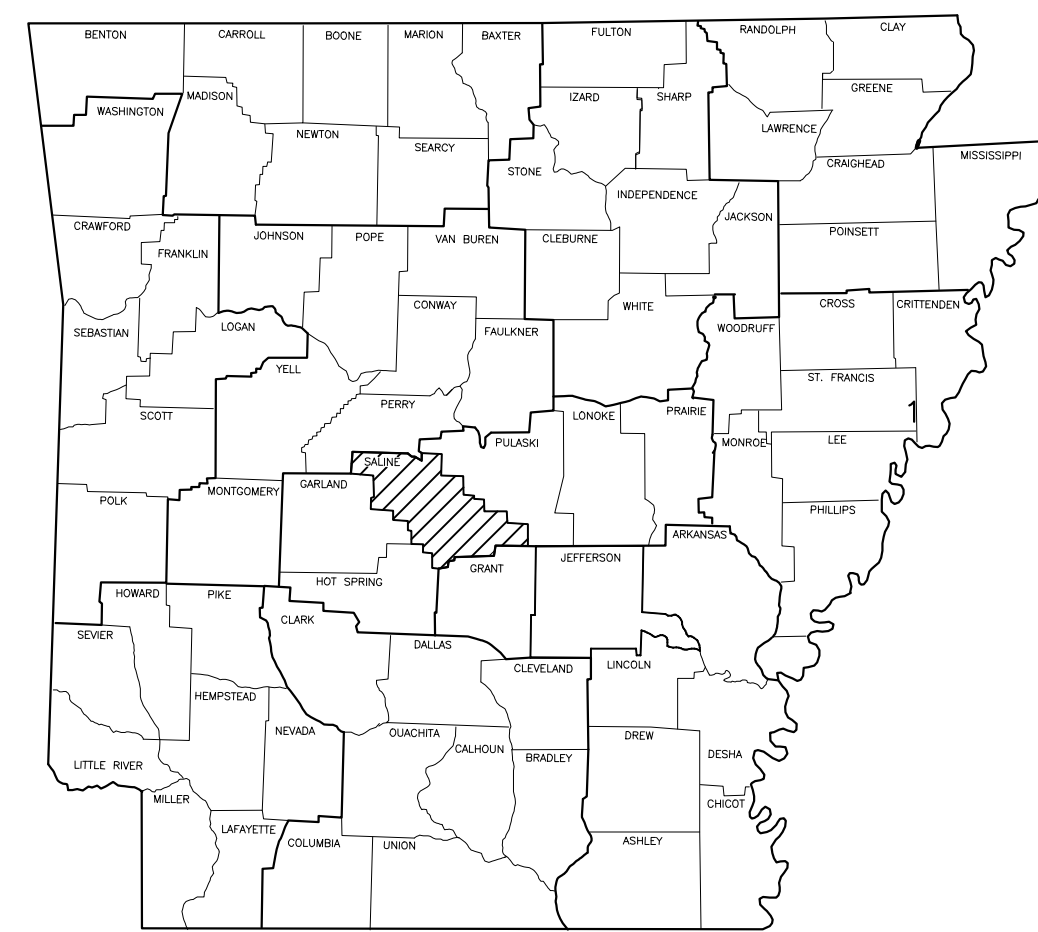
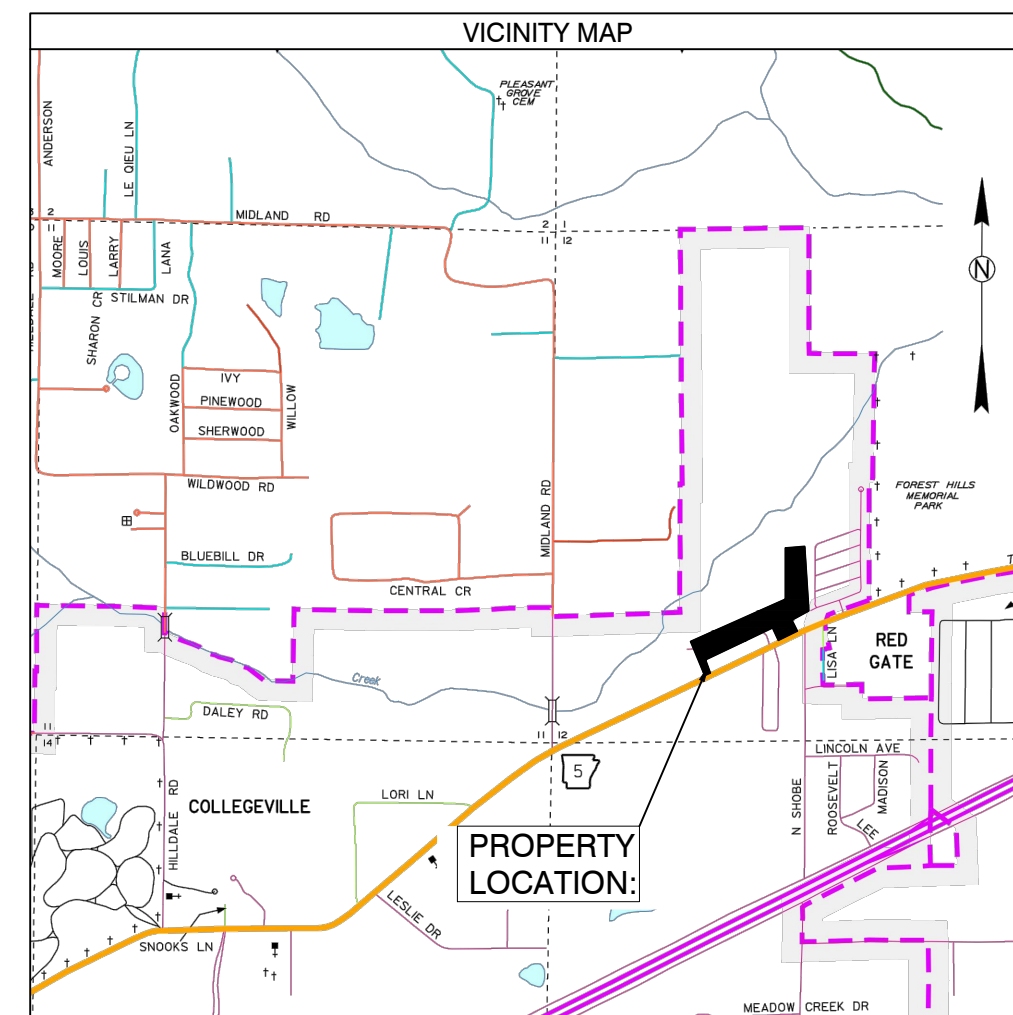
PRELIMINARY PLAT DIAMOND ESTATES SUBDIVISION BRYANT, ARKANSAS

Prepared by:
GarNat Engineering, LLC

Designing our client's success
www.garnatengineering.com

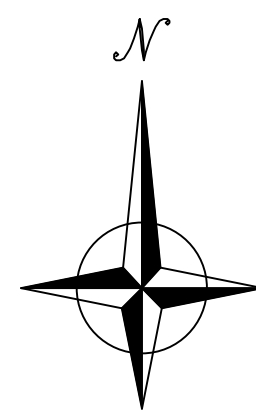
P.O. Box 116
Benton, AR 72018
Ph (501) 408-4650

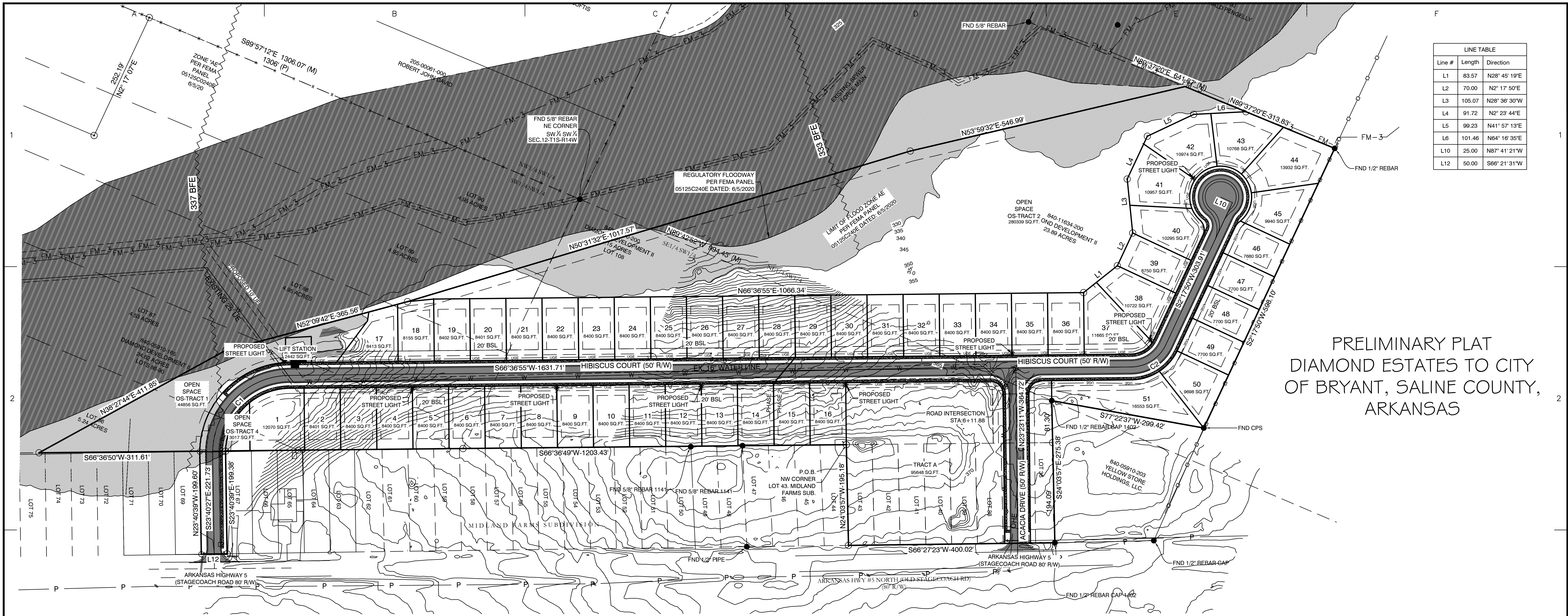
3825 Mt Carmel Road
Bryant, AR 72022
Fx (888) 900-3068



ARKANSAS

- 1 PRELIMINARY PLAT OVERALL
- 2 PRELIMINARY PLAT WEST HALF
- 3 PRELIMINARY PLAT EAST HALF





Line #	Length	Direction
L1	83.57	N28° 45' 19"E
L2	70.00	N2° 17' 50"E
L3	105.07	N28° 36' 30"W
L4	91.72	N2° 23' 44"E
L5	99.23	N41° 57' 13"E
L6	101.46	N64° 16' 35"E
L10	25.00	N87° 41' 21"W
L12	50.00	S66° 21' 31"W

PRELIMINARY PLAT
DIAMOND ESTATES TO CITY
OF BRYANT, SALINE COUNTY,
ARKANSAS

PLAT CERTIFICATES:

OWNER: Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210

DEVELOPER: Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210

CERTIFICATE OF RECORDING:

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision on 6/07/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

PROPERTY SPECIFICATIONS:
ZONING CLASSIFICATION: R-1 (EXCEPT TRACT 1 = C-2)
MIN. LOT SIZE: 7699 S.F.
MAX. LOT SIZE: 16191 S.F.
NUMBER OF LOTS: 51
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT

ROAD CURVE TABLE

Curve #	Radius	ARC	CHORD	CHORD BEARING
C1	150.48	237.13	S21° 28' 13.90"W	S21° 28' 14"W
C2	75.00	84.19	S34° 27' 22.26"W	S34° 27' 22"W

SURVEY LEGEND
▲ - Computed point
● - Found monument
○ - Set #4 RB/Plas. Cap
(M) - Measured
(R) - Record
(P) - Platted

SURVEY PLAT CODE:
500-01S-14W-0-12-300-62-1573

PROPERTY DESCRIPTION:
LOCATED IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST AND PART OF LOTS 36, 37, 38, 39, 40, 41, 42, 43, 68, 86, 87, 88, 89, 90 AND 108 MIDLAND FARMS SUBDIVISION, CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF LOT 43 MIDLAND FARMS SUBDIVISION, SALINE COUNTY, ARKANSAS; THENCE S 66°36'49" W A DISTANCE OF 1203.43 FEET TO THE NORTHEAST CORNER OF LOT 68 OF SAID MIDLAND FARMS SUBDIVISION; THENCE S 23°40'39" E ALONG THE EAST LINE OF SAID LOT 68 A DISTANCE OF 199.38 FEET TO THE NORTH RIGHT OF WAY OF ARKANSAS HIGHWAY 5; THENCE S 66°21'31" W ALONG SAID NORTH RIGHT OF WAY A DISTANCE OF 50.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 68; THENCE N 23°40'39" W ALONG THE WEST LINE OF SAID LOT 68 A DISTANCE OF 199.60 FEET TO THE NORTHWEST CORNER OF SAID LOT 68; THENCE S 66°36'50" W A DISTANCE OF 311.61 FEET; THENCE N 38°27'44" E A DISTANCE OF 411.85 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 52°09'42" E A DISTANCE OF 365.56 FEET TO A SET 1/2" REBAR WITH CAP #1573; N 50°31'32" E A DISTANCE OF 1017.57 FEET; THENCE N 53°50'32" E A DISTANCE OF 546.99 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER (NE1/4 NE1/4 SW1/4) OF SAID SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST; THENCE N 89°37'20" E, ALONG SAID SOUTH LINE, A DISTANCE OF 313.83 FEET TO A FOUND 1/2" REBAR AT THE SOUTHEAST CORNER OF THE SAID NE1/4 NE1/4 SW1/4 OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST; THENCE S 21°75'0" W FOR A DISTANCE OF 598.10 FEET TO A FOUND COTTON PICKER SPINDLE (CPS) AT THE NORTHEAST CORNER OF LOT 1, DOLLAR GENERAL ADDITION TO THE CITY OF BRYANT, PLAT RECORDED IN BOOK 2010 PAGE 93434; THENCE S 77°22'37" W, ALONG SAID LOT 1 NORTH LINE, 299.42 FEET TO A FOUND 1/2" REBAR WITH CAP #1402 AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE S 24°03'57" E, ALONG SAID LOT 1 WEST LINE, 275.38 FEET TO A FOUND 1/2" REBAR WITH CAP #1402 AT THE SOUTHWEST CORNER OF SAID LOT 1 AND THE NORTHERLY RIGHT OF WAY OF ARKANSAS HIGHWAY 5 (STAGECOACH ROAD); THENCE S 66°27'23" W, ALONG SAID NORTHERLY RIGHT OF WAY, 400.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 24°03'57" W, LEAVING SAID RIGHT OF WAY, 195.18 FEET TO THE POINT OF BEGINNING, CONTAINING 24.07 ACRES, MORE OR LESS. SUBJECT TO THE RIGHT OF WAY OF ARKANSAS HIGHWAY 5 NORTH AND ANY EASEMENTS OF RECORD.

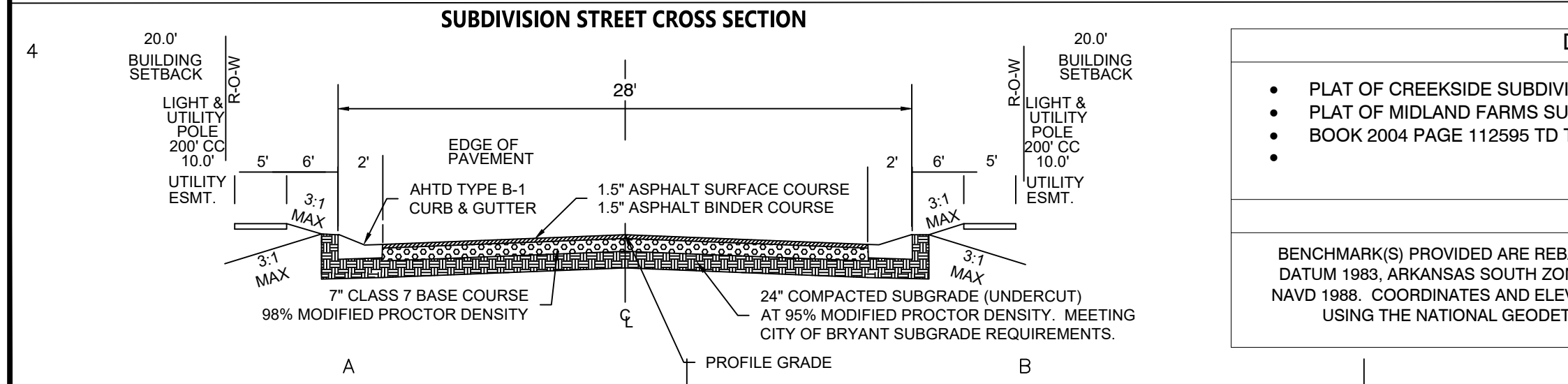
VICINITY MAP

PROPERTY LOCATION:

DOCUMENTS USED:

- PLAT OF CREEKSIDE SUBDIVISION
- PLAT OF MIDLAND FARMS SUBDIVISION
- BOOK 2004 PAGE 112595 TD THORP TO DIAMOND DEVELOPMENT II

BASIS OF BEARINGS:
BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).



BY: _____

REVISION: _____

DATE: _____

GNE Designing our client's success

GarNat Engineering, LLC
Ph (501) 408-4650
3925 Mt. Carmel Road
Bryant, AR 72022
Fax (888) 900-3068
garnatengineering@gmail.com

DIAMOND ESTATES

PART OF THE SOUTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
VERNON J. WILLIAMS
NO. 9551

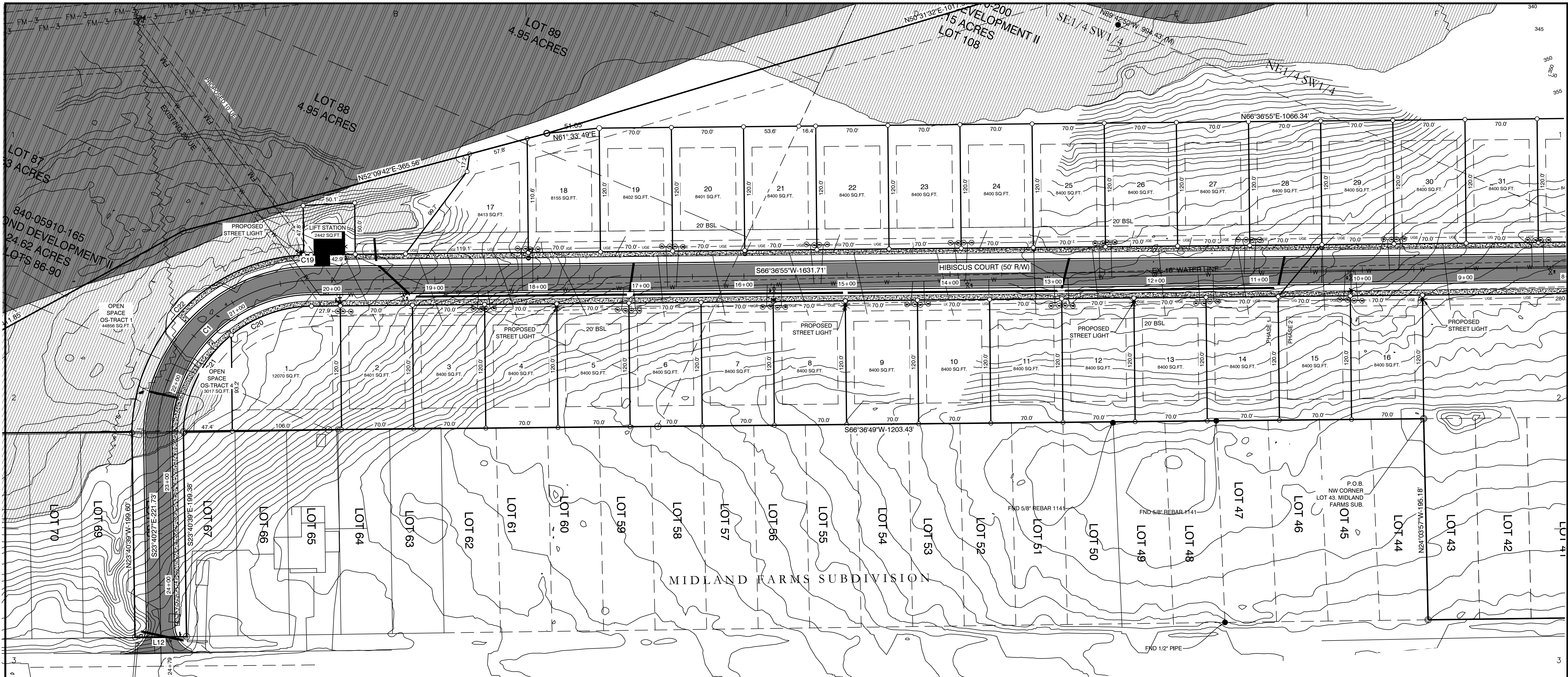
2-21-2023

CONTENTS:
PRELIMINARY PLAT OVERALL

PROJECT NO: 21206

DATE: FEB 2023

SHEET NO: 1



PROPERTY SPECIFICATIONS:

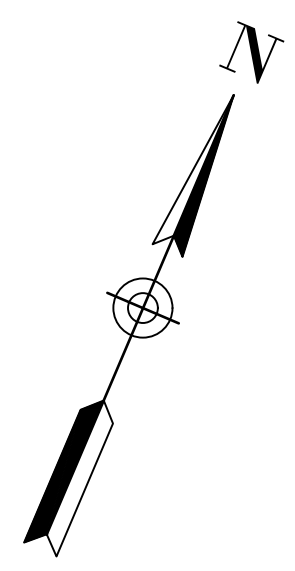
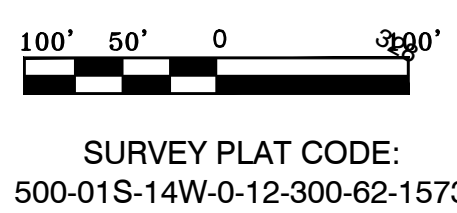
ZONING CLASSIFICATION: R-1 (EXCEPT TRACT 1 = C-2)
 MIN. LOT SIZE: 7699 S.F.
 MAX. LOT SIZE: 16191 S.F.
 NUMBER OF LOTS: 51
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
 SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN
 STREET RIGHT OF WAYS: 50' OR AS SHOWN
 STREET WIDTH: 28' BOC TO BOC
 LOT CORNERS: SET #4 REBAR WITH CAP

SURVEY LEGEND

- - Computed point
- - Found monument
- ⊙ - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



LINE TABLE

Line #	Length	Direction
L1	83.57	N28° 45' 19"E
L2	70.00	N2° 17' 50"E
L3	105.07	N28° 36' 30"W
L4	91.72	N2° 23' 44"E
L5	99.23	N41° 57' 13"E
L6	101.46	N64° 16' 35"E
L10	25.00	N87° 41' 21"W
L12	50.00	S66° 21' 31"W

Curve Table

Curve #	Length	Radius	Chord Direction	Chord Length
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C11	41.90	60.00	S50° 52' 26"E	41.05
C12	51.00	60.00	N84° 46' 11"E	49.48
C13	50.98	60.00	N36° 04' 45"E	49.46
C14	58.78	60.00	N16° 19' 32"W	56.46
C15	27.44	60.00	N57° 29' 40"W	364.02
C16	31.81	25.00	N34° 09' 02"W	29.70
C17	6.81	50.00	N6° 11' 51"E	6.80
C18	49.32	50.00	N38° 21' 21"E	47.34
C19	7.13	175.63	S65° 25' 52"W	340.57
C20	84.27	125.70	S47° 22' 03"W	82.70
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C22	263.10	175.63	S21° 21' 09"W	416.11

ROAD CURVE TABLE

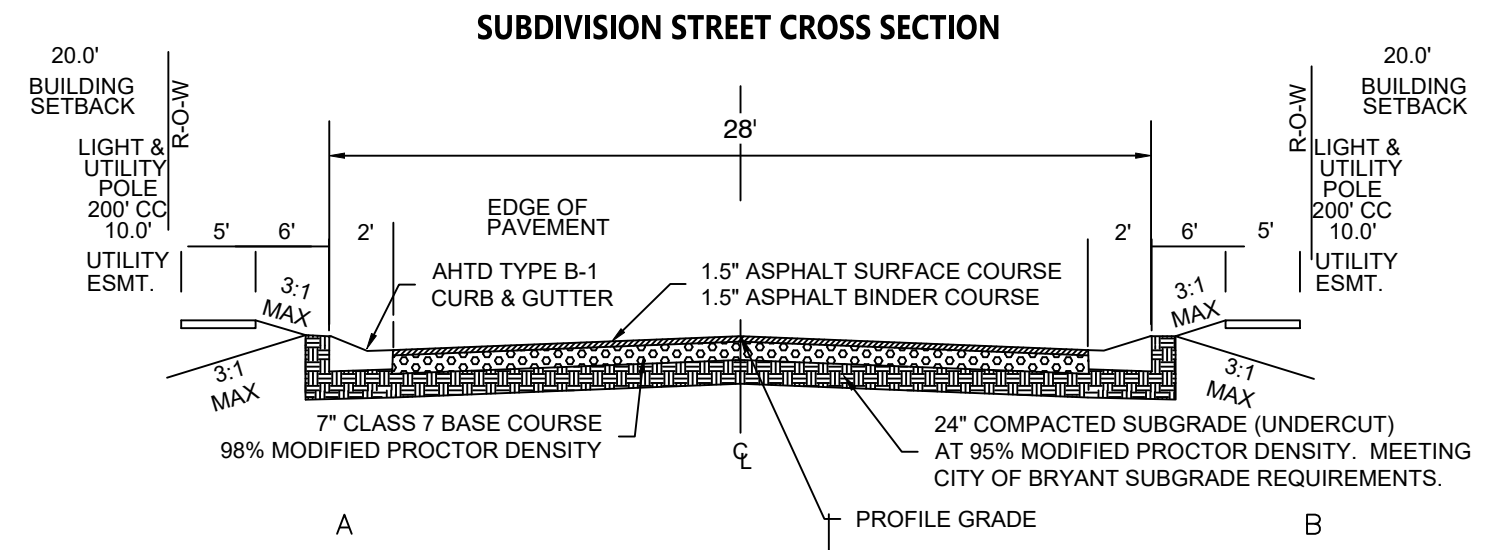
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BY: _____
 REVISION: _____
 DATE: _____

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116 (72018) Ph (501) 408-4650
 3925 Mt. Carmel Road Fx (888) 900-3068
 Bryant, AR 72022 gnatengineering@gmail.com

DIAMOND ESTATES

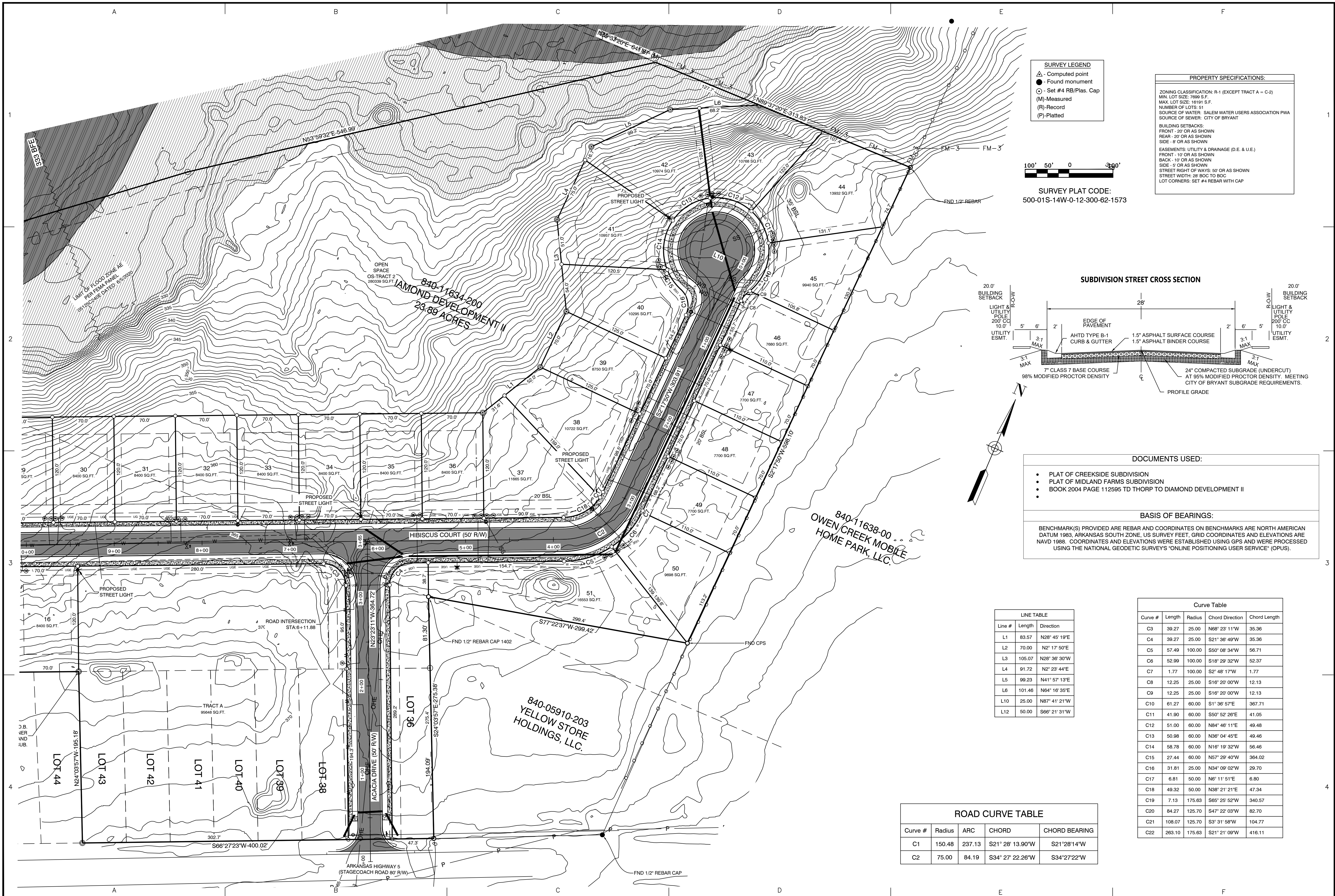
PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-1-W,
 SALINE COUNTY, ARKANSAS



2-21-2023

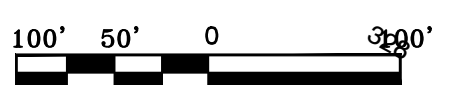
PRELIMINARY PLAT SOUTH HALF DIMENSIONS

PROJECT NO: 21206
 DATE: FEB 2023
 SHEET NO:



SURVEY LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
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SURVEY PLAT CODE:
500-01S-14W-0-12-300-62-1573

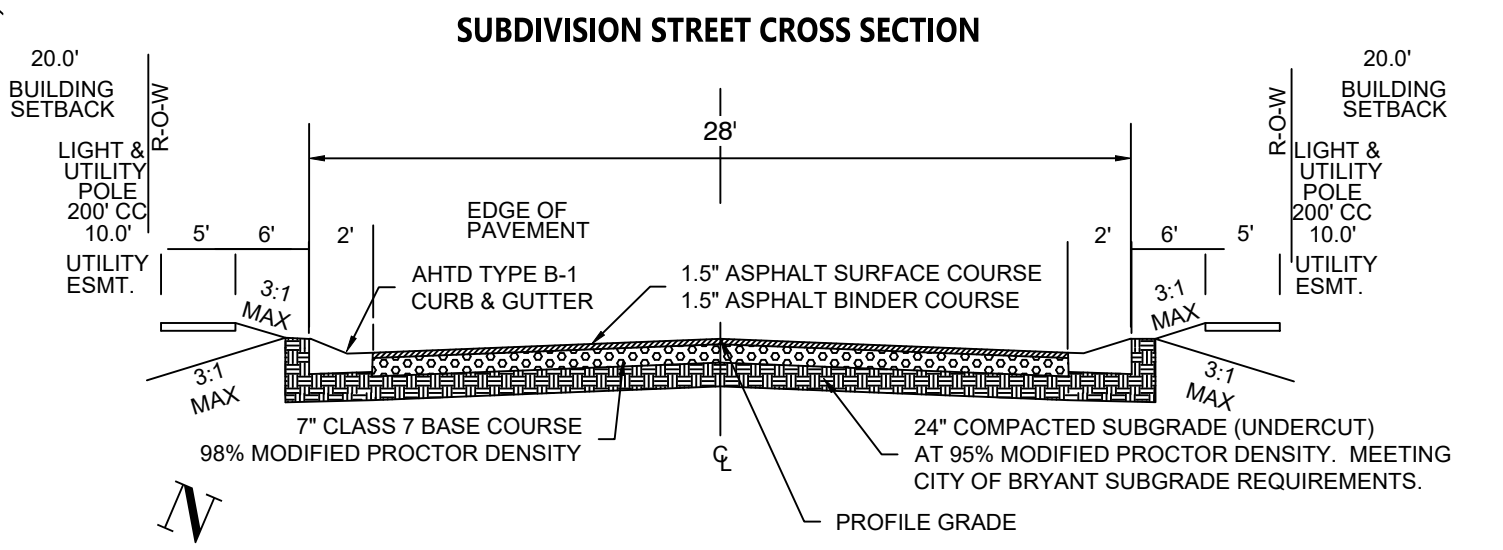
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BY: _____

REVISION: _____

DATE: _____

GNE Designing our client's success

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 Ph (501) 408-4650
 P.O. Box 116 (72018)
 3925 Mt. Carmel Road
 Bryant, AR 72022
 gnatengineering@gmail.com

DIAMOND ESTATES

PART OF THE SOUTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 NO. 9561
 VERRON J. WILLIAMS

2-21-2023

CONTENTS:

PRELIMINARY PLAT NORTH HALF DIMENSIONS

PROJECT NO: 21206

DATE: FEB 2023

SHEET NO: **3**



ADDRESS
4825 E Kearney St
Springfield, MO 65803

CONTACT US
800.845.9927
springfieldsign.com

2/22/2022

City of Bryant Zoning Board of Appeals
210 SW 3rd St
Bryant, AR 72022

RE: Scooter's Coffee -Sign Exception Request

Scooters Coffee located at 1816 N Reynolds Rd would like to respectfully request 6 additional snap frame which would include 3 snap frame panels located on our Drive Through and side elevation totaling 50.4 square feet to allow our standard branding of Scooter Sign. Per code, a business in C-2 is only allowed one façade sign.

Our request for additional snap frames will help the community by showing our wide variety of menu items. Without our brand of Standard Scooters snap frames located on the side elevations, our business could lose business as our potential customers would not have an idea of our seasonal menu options as our menu board is very limited. A large percentage of restaurant businesses are from impulsive buyers through visual graphics that show new items to try. The granting of these requests would not be in any way detrimental to the public's welfare, or injurious.

Scooter's Coffee is a nationally recognized restaurant, and with that comes a Brand Standard consistency. The brand Standard format for Scooter's Coffee is to be consistent with branding, public identity, public way finding, public safety, marketing, visual imaging throughout the entire chain and providing a positive impact on the community. We believe this variance request is consistent with the spirit, purpose and intent of the sign ordinance governing Bryant city while offering some new advantages. This proposal is consistent with many other communities that we have been involved in around the country and believe that this minor adjustment is necessary as far as the Brand of Scooter's Coffee and will have a positive impact on the community.

We respectfully are asking you to review our request, see our need, and approve our request.

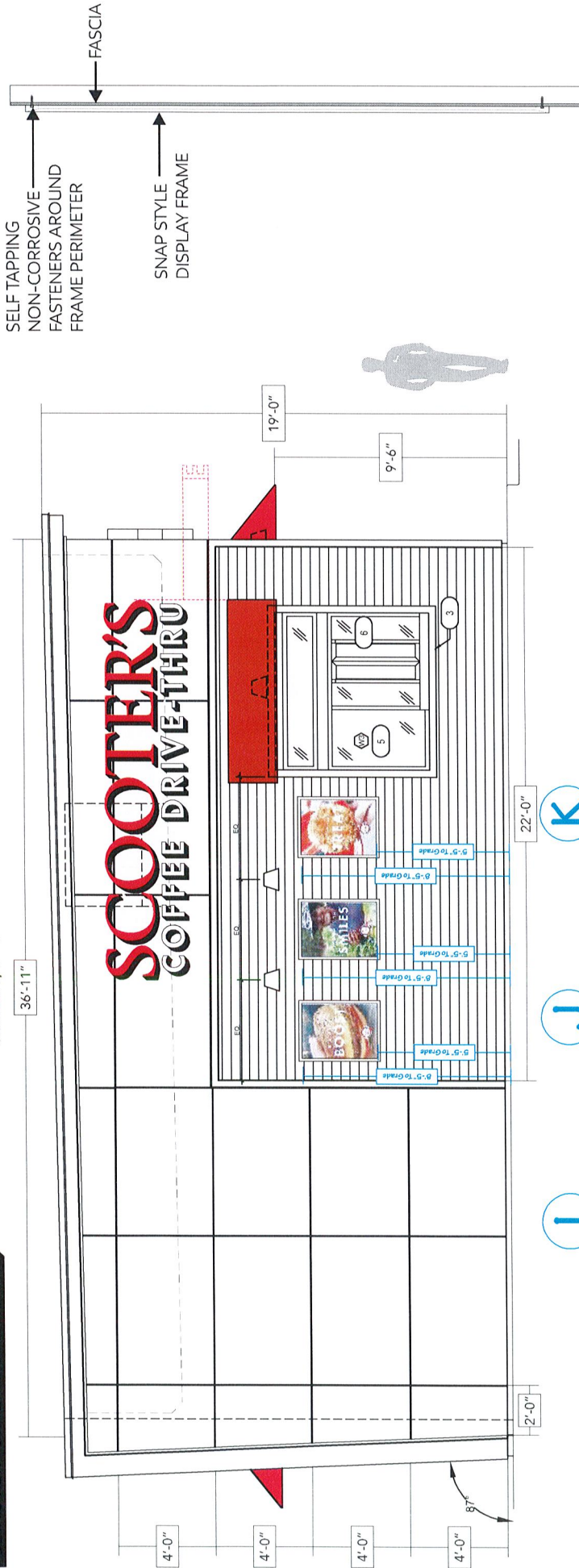
Thank you,

Alicia Walton
Springfield Sign
4825 E Kearney St.
Springfield, MO 65803
417-862-2454
aliciaw@springfieldsign.com

INSTALL CUSTOMER PROVIDED SIGN PANELS

DETAIL VIEW - DRIVE-THRU ELEVATION

SCALE: 1/4"=1'



SNAP FRAME PANELS
 - S/F Non lit panel signs.
 - Install "Snap frame panels" provided signs.
 - Attachment: Wall mounted to specific locations.
 - Snap frame panels install on site by General contractor.
 - Snap frame panels provided by others.

I	2'-6"	8.4 Sq. Ft.	2'-6"	8.4 Sq. Ft.	2'-6"	8.4 Sq. Ft.	3'-4"
3'-1" V.O.							

Panels made separately not by Springfield Sign

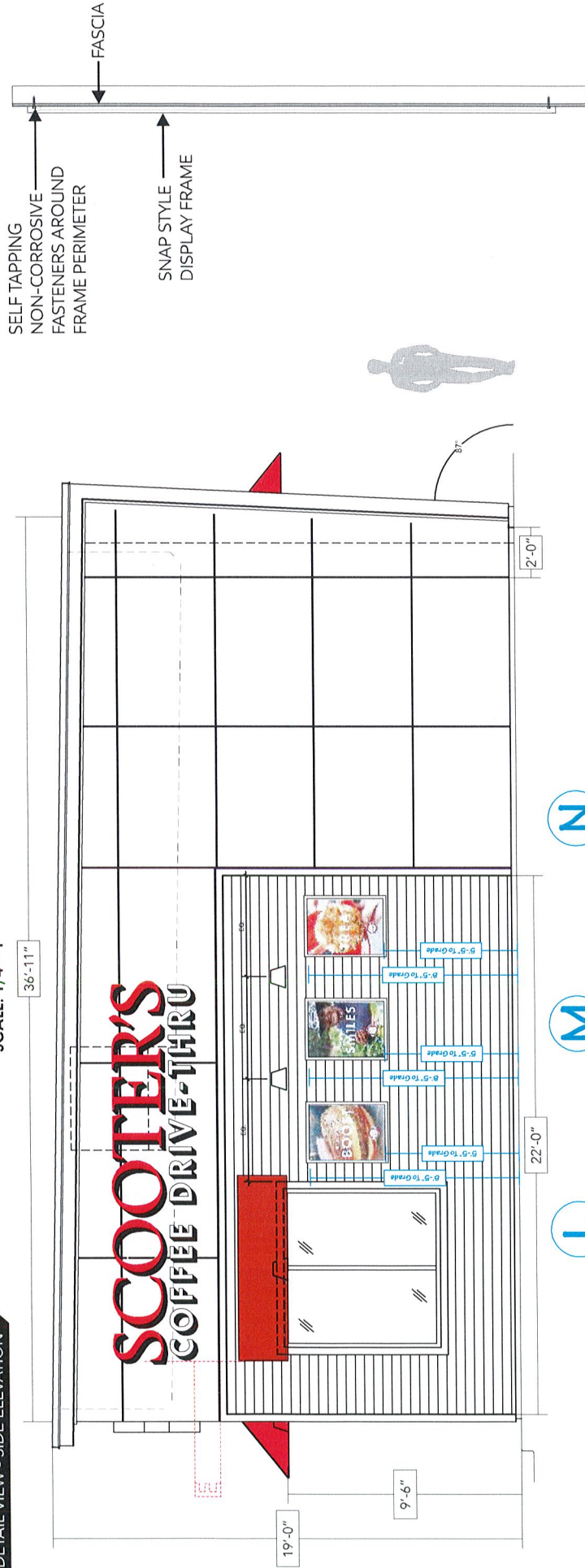
25.2 Total Sq. Ft.

SCALE: 1/2"=1'

INSTALL CUSTOMER PROVIDED SIGN PANELS

DETAIL VIEW - SIDE ELEVATION

SCALE: 1/4"=1'

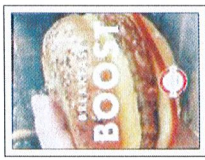




SELF TAPPING
NON-CORROSIVE
FASTENERS AROUND
FRAME PERIMETER

SNAP STYLE
DISPLAY FRAME

SNAP FRAME PANELS

- S/F Non lit panel signs.
- Install "Snap frame panels" provided signs.
- Attachment: Wall mounted to specific locations.
- Snap frame panels install on site by General contractor.
- Snap frame panels provided by others.


L	2'-6"	8.4 Sq. Ft.	3'-4"
			
M	2'-6"	8.4 Sq. Ft.	
			
N	2'-6"	8.4 Sq. Ft.	3'-1" V.O.
			

Panels made separately
not by Springfield Sign

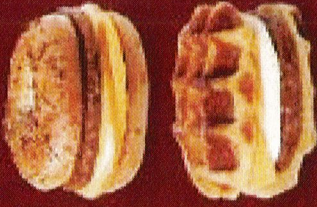
25.2 Total Sq. Ft.


SCALE: 1/2"=1'

SWEETEN
Your Day




SAVOR
All Day




 **LOCALLY**
Owned &
Operated

FRANCHISE NAME HERE

ENERGIZE
Your Way



Our Core
Values



INTEGRITY
LOVE
HUMILITY
COURAGE



DECADENT

CARAMEL



YOUR DAY

ENERGIZED



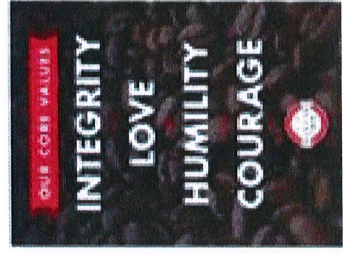
BREAKFAST

ALL DAY



CREATING AN

AMAZING
EXPERIENCE



OUR CORE VALUES

INTEGRITY

LOVE

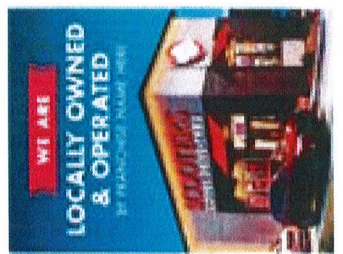
HUMILITY

COURAGE



TRIAL JOURNALS TO

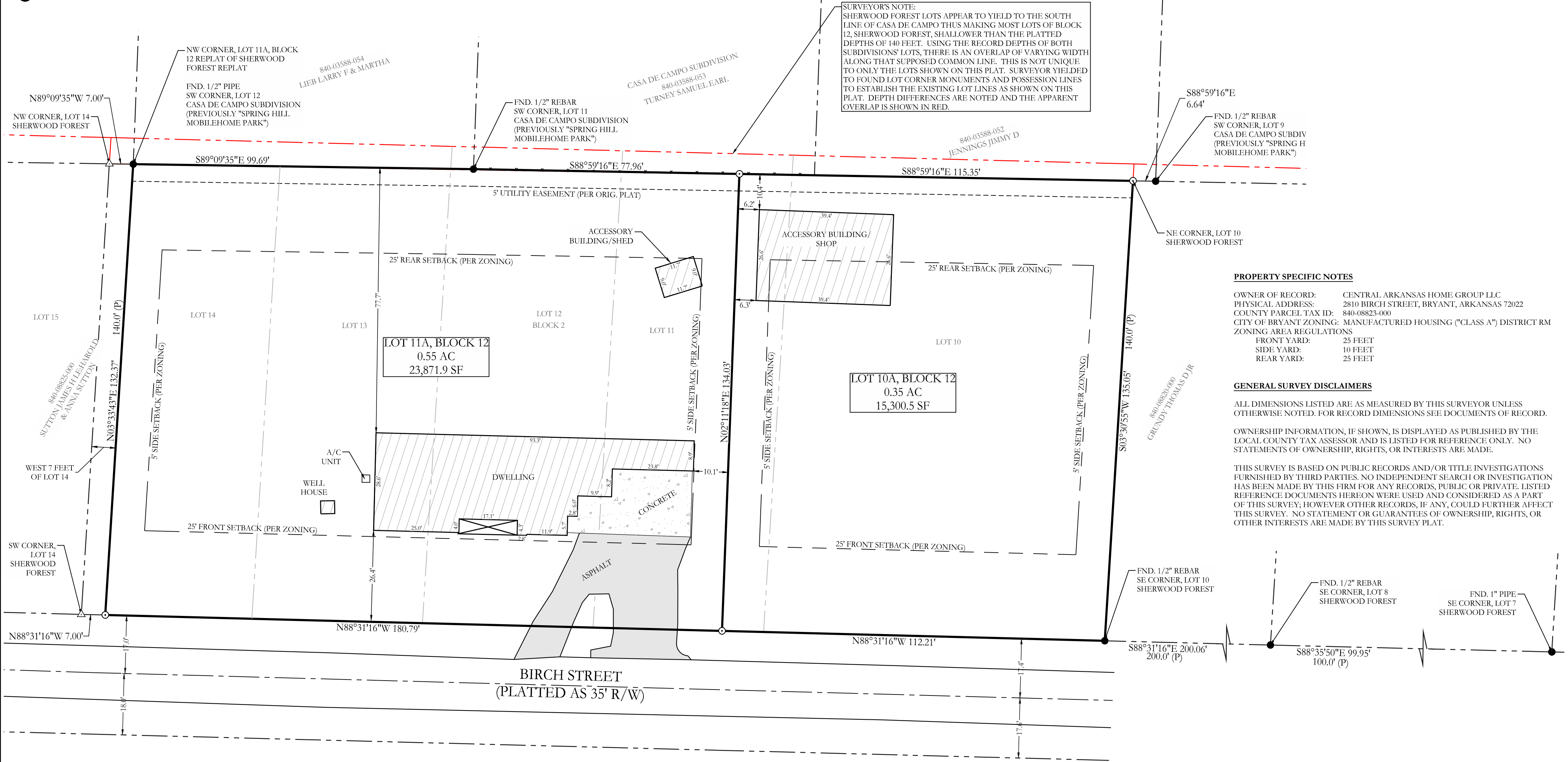
AMAZING
COFFEE



WE ARE

LOCALLY OWNED
& OPERATED

BY FRANCHISEES, PARTNERS, AND



SURVEYOR'S NOTE: SHERWOOD FOREST LOTS APPEAR TO YIELD TO THE SOUTH LINE OF CASA DE CAMPO THUS MAKING MOST LOTS OF BLOCK 12, SHERWOOD FOREST, SHALLOWER THAN THE PLATTED DEPTHS OF 140 FEET. USING THE RECORD DEPTHS OF BOTH SUBDIVISIONS' LOTS, THERE IS AN OVERLAP OF VARYING WIDTH ALONG THAT SUPPOSED COMMON LINE. THIS IS NOT UNIQUE TO ONLY THE LOTS SHOWN ON THIS PLAT. SURVEYOR YIELDED TO FOUND LOT CORNER MONUMENTS AND POSSESSION LINES TO ESTABLISH THE EXISTING LOT LINES AS SHOWN ON THIS PLAT. DEPTH DIFFERENCES ARE NOTED AND THE APPARENT OVERLAP IS SHOWN IN RED.

PROPERTY SPECIFIC NOTES
OWNER OF RECORD: CENTRAL ARKANSAS HOME GROUP LLC
PHYSICAL ADDRESS: 2810 BIRCH STREET, BRYANT, ARKANSAS 72022
COUNTY PARCEL TAX ID: 840-08823-000
CITY OF BRYANT ZONING: MANUFACTURED HOUSING ("CLASS A") DISTRICT RM ZONING AREA REGULATIONS
FRONT YARD: 25 FEET
SIDE YARD: 10 FEET
REAR YARD: 25 FEET

GENERAL SURVEY DISCLAIMERS
ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.
OWNERSHIP INFORMATION, IF SHOWN, IS DISPLAYED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

THIS SURVEY IS BASED ON PUBLIC RECORDS AND/OR TITLE INVESTIGATIONS FURNISHED BY THIRD PARTIES. NO INDEPENDENT SEARCH OR INVESTIGATION HAS BEEN MADE BY THIS FIRM FOR ANY RECORDS, PUBLIC OR PRIVATE. LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY; HOWEVER OTHER RECORDS, IF ANY, COULD FURTHER AFFECT THIS SURVEY. NO STATEMENT OR GUARANTEES OF OWNERSHIP, RIGHTS, OR OTHER INTERESTS ARE MADE BY THIS SURVEY PLAT.

OWNER: Roy West
NAME:
Address: 2810 Birch St.
Bryant, Arkansas 72022
CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the plat.
Date of Execution:
Name:
Source of Title: Saline County Documents # 2022-017456
RECORD DESCRIPTION:
SALINE COUNTY INSTRUMENT 2022-017456
LOTS 10, 11, 12, 13 AND 14 BLOCK 2, IN SHERWOOD FOREST, BEING A PART OF THE NE 1/4 NE 1/4 OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, AS SURVEYED, PLATTED AND RECORDED IN THE OFFICE OF THE CLERK OF SALINE COUNTY, ARKANSAS, LESS AND EXCEPT THE WEST 7 FEET OF LOT 14.

OWNER: Roy West
NAME:
Address: 2810 Birch St.
Bryant, Arkansas 72022
CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the plat.
Date of Execution:
Name:
Source of Title: Saline County Documents # 2022-017456
RECORD DESCRIPTION:
SALINE COUNTY INSTRUMENT 2022-017456
LOTS 10, 11, 12, 13 AND 14 BLOCK 2, IN SHERWOOD FOREST, BEING A PART OF THE NE 1/4 NE 1/4 OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, AS SURVEYED, PLATTED AND RECORDED IN THE OFFICE OF THE CLERK OF SALINE COUNTY, ARKANSAS, LESS AND EXCEPT THE WEST 7 FEET OF LOT 14.

CERTIFICATE OF FINAL SURVEYING ACCURACY:
I, Corbett Shoffner, hereby certify that this plat correctly represents a survey completed by me, or under my supervision, that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Titles; and that all monuments which were found or placed on the property are correctly described and located.
2/15/2023
Date of Execution
Name: Corbett Shoffner
Registered Professional Land Surveyor No. 1664
Arkansas
CERTIFICATE OF FINAL APPROVAL:
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Community Services Director. All of the conditions of approval having been completed, this document is hereby accepted, and this certificate executed under the authority of said rules and regulations.
Date of Execution:
Rick Johnson
Bryant Planning Director

HOPE CONSULTING ENGINEERS - SURVEYORS
129 N. Main Street | Benton, Arkansas 72015
o: (501) 315-2626 | f: (501) 315-0024
www.HopeConsulting.com
LOT 10A AND LOT 11A, BLOCK 2, BEING A REPLAT OF LOTS 10, 11, 12, 13 AND THE EAST 43 FEET OF LOT 14, BLOCK 2, OF SHERWOOD FOREST SUBDIVISION TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS
FOR USE AND BENEFIT OF: ROY WEST
DATE: 2/15/2023 CAD BY: JPP DRAWING NUMBER: 22-1400
REVISER: CHECKED BY:
SHEET: 1 OF 1 SCALE: 1" = 20'
500 01S 14W 0 20 110 62 1664

Vertical text on the right edge of the page.



PROPERTY DESCRIPTION

PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS:

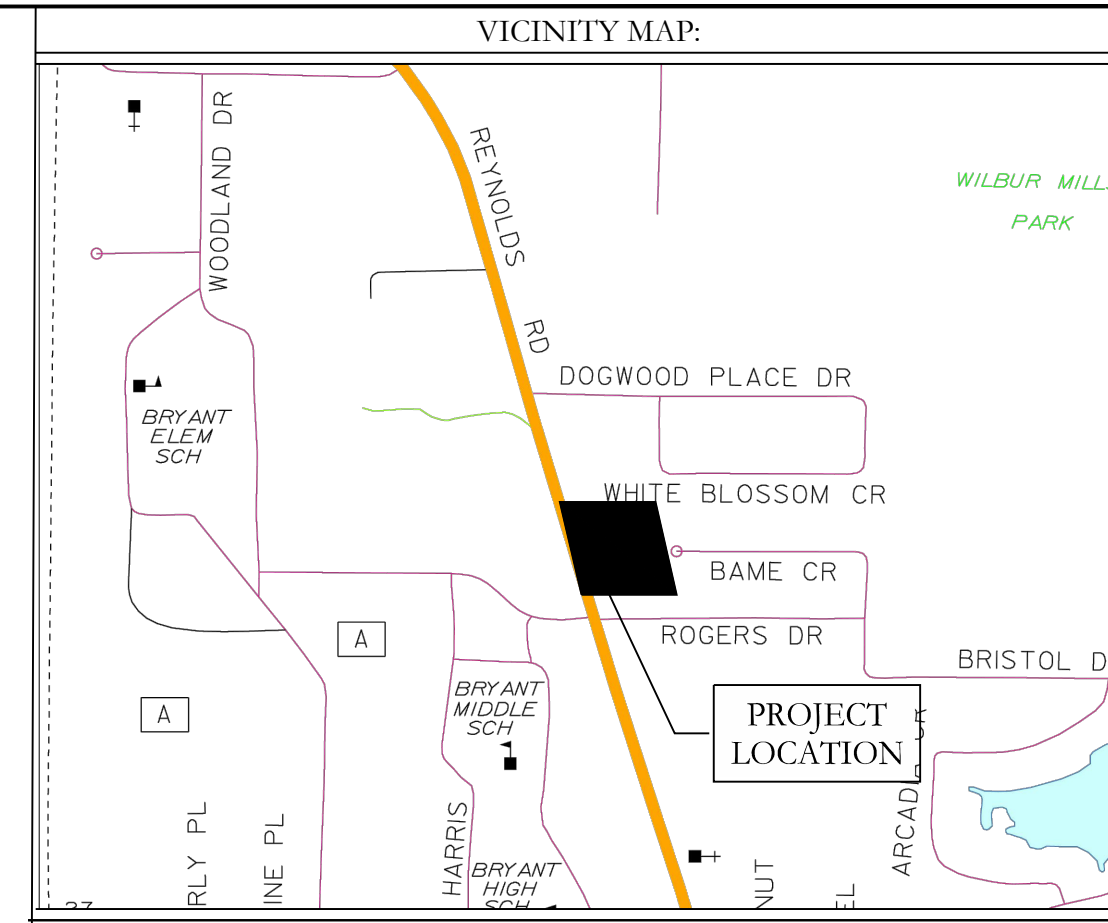
COMMENCE AT THE SOUTHWEST CORNER OF SAID NW 1/4 OF SE 1/4; THENCE NORTH 24 DEG. 55 MIN. WEST 230.4 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF BRYANT-BAUXITE ROAD, BEING ALSO THE POINT OF BEGINNING; THENCE NORTH 17 DEG. 11 MIN. WEST ALONG SAID RIGHT-OF-WAY LINE 200 FEET; THENCE NORTH 72 DEG. 49 MIN. EAST 217.8 FEET; THENCE SOUTH 17 DEG. 11 MIN. EAST 200 FEET; THENCE SOUTH 72 DEG. 49 MIN. WEST 217.8 FEET TO THE POINT OF BEGINNING.

PRIVATE ROADWAYS AND DRAINAGE:

FAM SUBDIVISION SHALL BE A PRIVATE COMMUNITY. ALL ROADWAYS ARE PRIVATE ACCESS EASEMENTS FOR VEHICULAR TRAFFIC ONLY AND FOR THE USE OF THE OWNERS, THEIR GUESTS AND INVITEES, POA BOARD OF DIRECTORS, AND OTHERS AS DEEMED BY THE POA BOARD. ALL DRAINAGE IS PRIVATE AND THE RESPONSIBILITY OF THE POA.

DEDICATION OF EASEMENTS:

EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF DRAINAGE AND UTILITY LINES ARE HEREBY DEDICATED AS SHOWN ON PLAT.



CERTIFICATIONS:

OWNER:	DEVELOPER:
FAM INVESTMENT LLC 15600 HARTFORD ST. LITTLE ROCK, AR 72022	Name: FAM INVESTMENT LLC Address: 15600 HARTFORD ST. LITTLE ROCK, AR 72022

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and so hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution _____ Name: _____
Source of Title: BOOK 2022 PAGE 027752

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution _____ Jonathan L. Hope
Registered Professional
Land Surveyor No. 1762 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:

I, Kazi Tamzidul Islam, hereby certify that this plat correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.

Date of Execution _____ Kazi Tamzidul Islam
Registered Professional
Engineer, No. 20876 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.

Date of Execution _____ Bryant Planning Commission

PROPERTY SPECIFICATIONS:

OWNER: FAM INVESTMENTS LLC 15600 HARTFORD ST LITTLE ROCK, AR 72223	NUMBER OF LOTS: 3 MIN SQ. FT. 6,000
DEVELOPER/SUBDIVIDER: FAM INVESTMENTS LLC 15600 HARTFORD ST LITTLE ROCK, AR 72223	SOURCE OF WATER: BENTON UTILITIES SOURCE OF SEWER: BENTON UTILITIES SOURCE OF ELECTRIC: FIRST ELECTRIC COOP
ENGINEERS: HOPE CONSULTING INC. 129 N MAIN STREET BENTON, AR 72015	BUILDING SETBACKS: FRONT - 20' OR AS SHOWN REAR - 20' OR AS SHOWN INTERIOR SIDE - 8' OR AS SHOWN EXTERIOR SIDE - 15' OR AS SHOWN
NAME OF SUBDIVISION: FAM SUBDIVISION	EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.) FRONT - 10' OR AS SHOWN REAR - 5' OR AS SHOWN SIDE - 5' OR AS SHOWN
ZONING CLASSIFICATION: PROPOSED R-1	LOT CORNERS SET 1/2" REBAR WITH CAP
SOURCE OF TITLE: BOOK 2022 PAGE 027752	

By affixing my seal and signature, I Jonathan Hope, Arkansas PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled by me or under my direct supervision.
NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.
No portion of the property described hereon lies within the 100 year floodplain, according to the Flood Insurance Rate Map, panel # 05125C0380E, Dated: 06/05/2020.



LEGEND

● - Found Aliquot Corner	□ - Clean Out	— — — — — - Fence
● - Found monument	⊕ - Water Meter	— — — — — - Overhead Power
⊙ - Set 1/2" Rebar #1664	⊖ - Power Pole	— — — — — - Sewer Line
△ - Computed point	⊕ - Sewer Manhole	— — — — — - Water Line
(M) - Measured	⊕ - Light Pole	— — — — — - Telephone Line
(P) - Deed/Plat	⊕ - Telephone Pedestal	— — — — — - Electric Line
■ - Grate Inlet	⊕ - Drainage Manhole	— — — — — - Gas Line

HOPE CONSULTING ENGINEERS - SURVEYORS
129 North Main Street | Benton, Arkansas 72015
o: (501) 315-2626 | f: (501) 315-0024
w: www.HopeConsulting.com

PRELIMINARY PLAT FAM SUBDIVISION IN THE CITY OF BRYANT SALINE COUNTY, ARKANSAS

FOR USE AND BENEFIT OF: FAM INVESTMENTS LLC

DATE: 02/20/2023	CAD BY: MD	PROJECT NUMBER:
REVISED:	CHECKED BY:	23-0017
SHEET: 1 OF 1	SCALE: 1" = 20'	
ARKANSAS STATE LAND SURVEY CODE: 500 - 01S - 14W - 0 - 27 - 110 - 62 - 1664		

HOPE
CONSULTING
ENGINEERS - SURVEYORS

February 21, 2023

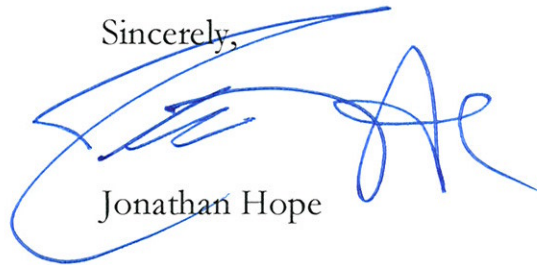
City of Bryant Board of Zoning Adjustments
210 Southwest Third St., Bryant, AR 72022

Dear Board Members,

We would like to request a variance for Lot 24, Coral Ridge Subdivision in Bryant, on behalf of the owner Oltman's Development, Inc. We would like to request that the rear setback be reduced to 15 Feet.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope

129 North Main St. Benton, Arkansas 72015

www.hopeconsulting.com

(P) 501-315-2626

(F) 501-315-0024



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Variance Application

Applicants are advised to read the Board of Adjustment and Variances section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 2/22/23

Applicant or Designee:

Name JONATHAN HOPE
Address 129 N. MAIN ST., BENTON
Phone 501-315-2626
Email Address: JONATHAN@HOPECONSULTING.COM

Project Location:

Property Address LOT 18 CORAL RIDGE DR.
BRYANT, AR.
Parcel Number LOT 24
Zoning Classification R-2

Property Owner (If different from Applicant):

Name OLTMAN'S DEVELOPMENT, INC.
Phone _____
Address 1930 N. REYNOLDS RD. UNIT 1P, BRYANT
Email Address JEREMIAH.OLTMANS@CRYE-LEIKE.COM

Additional Information:

Legal Description (Attach description if necessary)

LOT 24, CORAL RIDGE, A SUBDIVISION IN THE
CITY OF BRYANT, SALINE COUNTY, ARKANSAS

Description of Variance Request (Attach any necessary drawings or images)

REDUCTION OF Rear SETBACK TO 15 Feet

Proposed Use of Property R-2

Application Checklist

Requirements for Submission

- Letter Stating Request and outlining the variance that is requested
- Completed Variance Application
- Submit Variance Application Fee (\$40.00 for Lot and Block Description, \$125.00 for Metes and Bounds descriptions)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Site Plan showing:
 - Specific area(s) on site requesting Variance
 - Location, Size of buildings and use of land or improvements
 - Location and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing landscaping
 - Scale, North Arrow, Vicinity Map

Once the application has been filed, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will be placed on the agenda for application acceptance.

Note: that this is not an exhaustive guideline regarding the Board of Adjustment. Additional information is available in the Bryant Zoning Ordinance.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, March 13, 2023 at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a variance request at the site of
Lot 24 Coral Ridge Subdivision (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

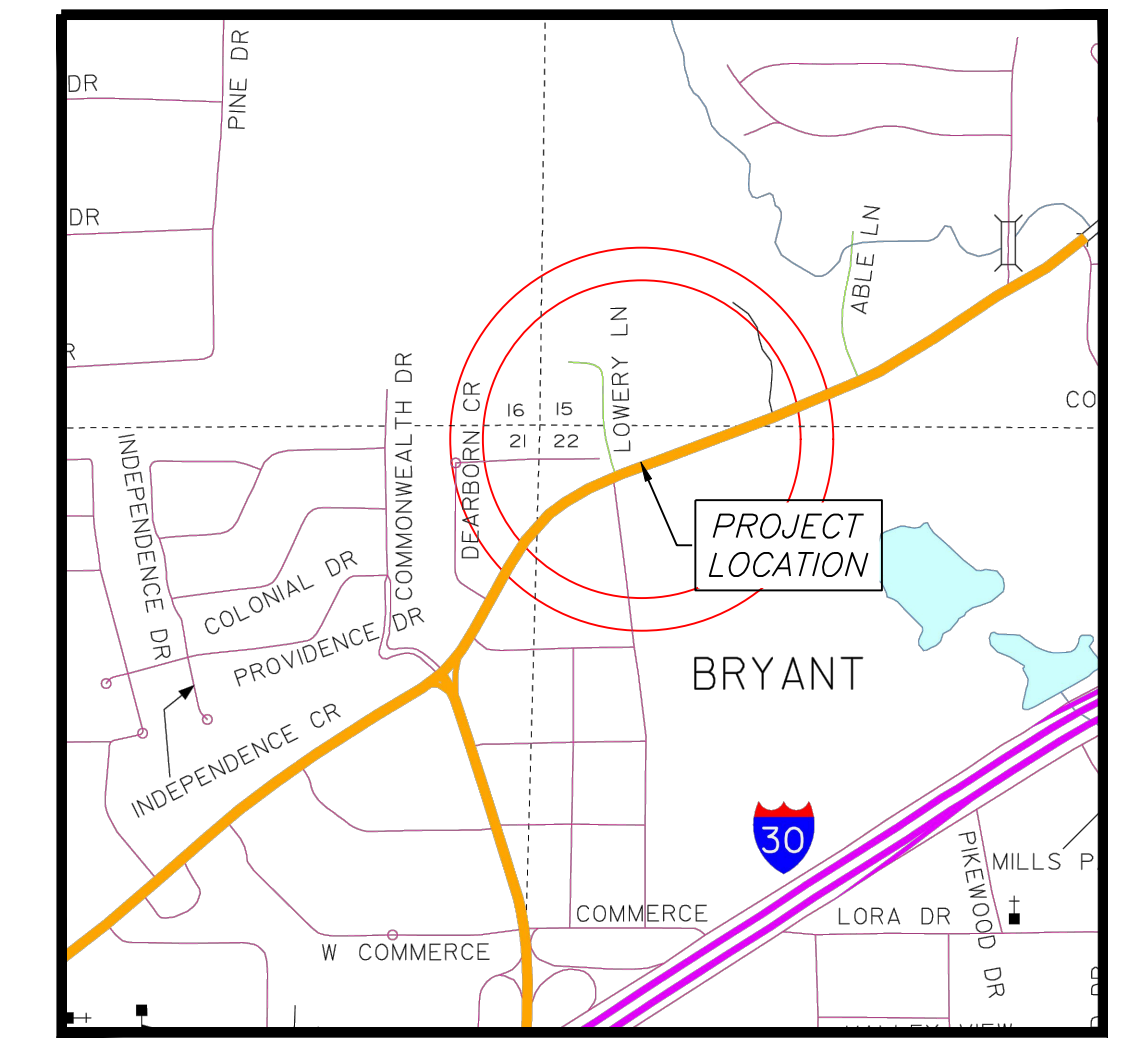
LEGAL DESCRIPTION

THOSE PORTIONS OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 22, AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 15, ALL IN T-1-S, R-14-2, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NW 1/4 OF SECTION 22; THENCE S88°06'16"E, ALONG THE NORTH LINE THEREOF A DISTANCE OF 349.25 FEET A FOUND 1/2" REBAR (PS #1141); TO THE POINT OF BEGINNING OF HEREIN DESCRIBED TRACT; THENCE LEAVING SAID NORTH LINE, N70°07'03"E, A DISTANCE OF 32.82 FEET TO A FOUND 1/2" REBAR (PS #1141); THENCE N70°18'03"E, A DISTANCE OF 200.89 FEET TO A FOUND 1/2" REBAR (PS #1141); THENCE S10°42'25"E, A DISTANCE OF 274.60 FEET TO A FOUND 1/2" REBAR (PS #1141); ON THE NORTH RIGHT-OF-WAY OF HIGHWAY 5; THENCE ALONG SAID NORTH RIGHT-OF-WAY, S70°15'40"W, A DISTANCE OF 275.04 FEET TO A FOUND 1/2" REBAR; THENCE S70°18'52"W, A DISTANCE OF 66.65 FEET TO A FOUND 1/2" REBAR; THENCE LEAVING NORTH RIGHT-OF-WAY LINE, N01°58'50"E, A DISTANCE OF 272.07 FEET TO A PK-NAIL IN ASPHALT; THENCE N00°59'52"W, A DISTANCE OF 23.07 FEET TO THE POINT OF BEGINNING, CONTAINING 78,864 SQUARE FEET, OR 1.81 ACRES, MORE OR LESS.

CONSTRUCTION PLANS BRYANT, AR C-STORE

STANDARD DEVELOPMENT CO, LLC

HIGHWAY 5 NORTH OLD STAGECOACH
CITY OF BRYANT



VICINITY MAP

PREPARED BY:



129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

CIVIL ENGINEER
HOPE CONSULTING INC
129 N. MAIN STREET
BENTON, AR 72015
CONTACT: KAZI ISLAM
PHONE: 501.315.2626
EMAIL: kazi@hopeconsulting.com

ARCHITECT
WILLIAMS & DEAN
18 CORPORATE HILL DRIVE #210
LITTLE ROCK, AR 72205
CONTACT: JOHN JOHNSON
PHONE: 501.224.1900
EMAIL: jjohnson@williamsdean.com

GEOTECHNICAL ENGINEER
MATERIALS TESTING OF ARKANSAS
8001 NATIONAL DRIVE
LITTLE ROCK, AR 72209
CONTACT: KELTON PRICE
PHONE: 501.753.2526
EMAIL: keltonp@mtaengineers.com

STRUCTURAL ENGINEER
N/A

ZONING INFORMATION	
CURRENT ZONING	C-2 (HIGHWAY COMMERCIAL)
MINIMUM LOT AREA (SF)	N/A
MINIMUM LOT WIDTH (FT)	N/A
FRONT YARD SETBACK (FT)	50'
EXTERIOR SIDE YARD SETBACK (FT)	NOT REQ UNLESS ADJUT ROAD OR RESIDENTIAL LOT LINE THEN 25'
REAR YARD (NORTH) SETBACK (FT)	15'
MAXIMUM HEIGHT (FT)	45' OR NO MORE THAN 3 STORIES
MAXIMUM LOT COVERAGE	PRINCIPAL & ACCESSORY BLDG 35% OF THE TOTAL AREA OF THE SITE

OWNER: STANDARD DEVELOPMENT CO, LLC
Address: 2917 KAVANAUGH BOULEVARD
LITTLE ROCK, AR 72205

DEVELOPER: STANDARD DEVELOPMENT CO, LLC
Address: 2917 KAVANAUGH BOULEVARD
LITTLE ROCK, AR 72205



DRAWING INDEX

SHEET NO.	TITLE	PLAT
C-1.0	SITE PLAN	SITE PLAN
C-1.1	N/A	N/A
C-1.2	PAVING PLAN	PAVING PLAN
C-2.0	GRADING	GRADING
C-3.0	UTILITY PLAN	UTILITY PLAN
C-3.1	SEWER PLAN & PROFILE	SEWER PLAN & PROFILE
C-3.2	N/A	N/A
C-3.3	N/A	N/A
C-4.0	TRENCH DETAILS	TRENCH DETAILS
C-5.0	CIVIL SPECS	CIVIL SPECS
C-6.0	DETENTION PLAN	DETENTION PLAN
C-6.1	DRAINAGE PLAN	DRAINAGE PLAN
C-6.2	N/A	N/A
C-6.3	N/A	N/A
C-6.4	N/A	N/A
C-6.5	N/A	N/A
C-7.0	EROSION CONTROL PLAN	EROSION CONTROL PLAN
C-8.0	DEMO PLAN	DEMO PLAN
C-8.1	N/A	N/A
L-1.0	LANDSCAPE PLAN	LANDSCAPE PLAN
C-9.0	LOWERY PROFILE	LOWERY PROFILE
C-9.2	PARKING LIGHT EXHIBIT	PARKING LIGHT EXHIBIT

FLOODPLAIN CERTIFICATION:

By affixing my seal and signature, I Robert L. Johnston Jr., PLS No. 1626, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Benton County City of Rogers areas, panel # 05125C0240E, dated 06/05/2020, no portion of the property described hereon lies within the 100 year flood hazard boundary.

HOPE CONSULTING ENGINEERS - SURVEYORS
129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

BRYANT C-STORE
CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	09-20-2022	C.A.D. BY:		DRAWING NUMBER:
REVISED:	02/22/2023	CHECKED BY:		21-0275
SHEET:		SCALE:		
500	01S	14W	015/22	304 04 1762

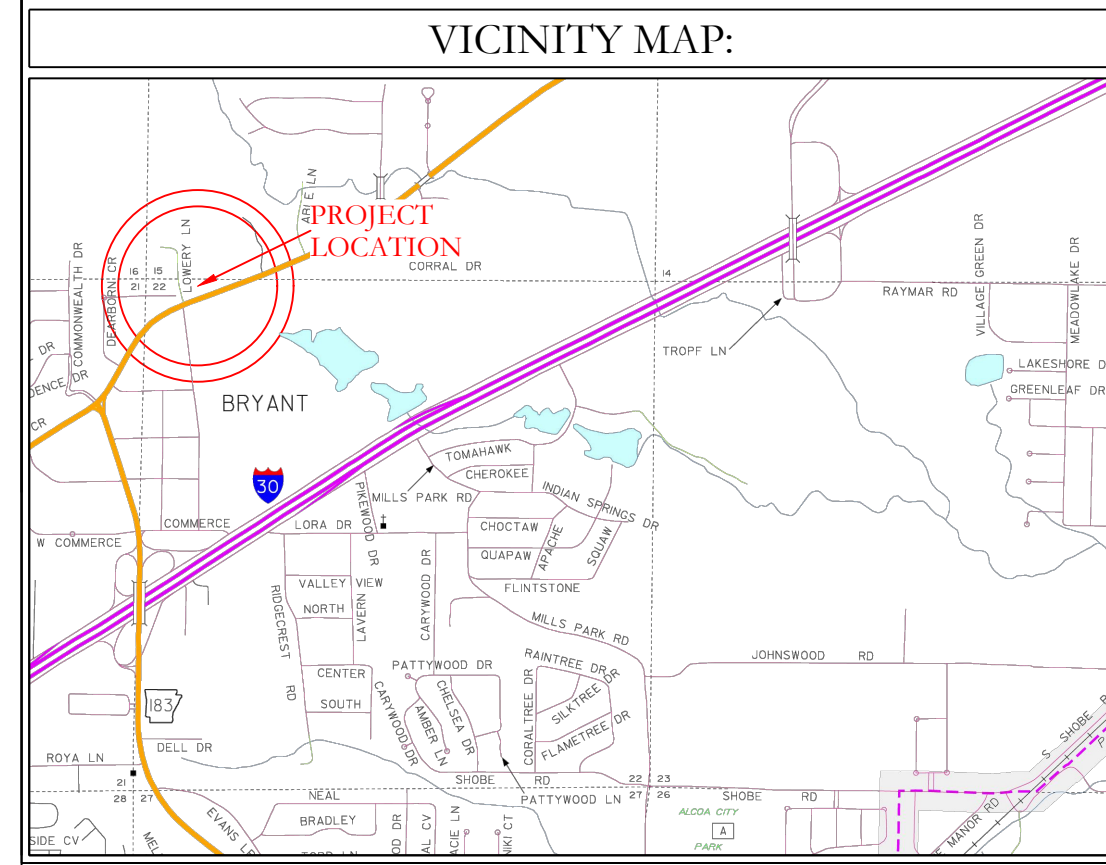
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CONTACTS UTILITIES AND CITY AND STATE AGENCIES

AGENCY	TITLE	NAME	CONTACT
BRYANT PUBLIC WORKS	DIRECTOR	TIM FOURNIER	501-943-0468
BRYANT PUBLIC WORKS	ENGINEER	TED TAYLOR	501-943-0450
BRYANT WATER	INSPECTOR	JOE HENRY	501-246-0516
ENTERGY	CONTACT	JEREMY HENDERSON	800-368-3749
CENTERPOINT (GAS)	CONTACT	ADAM GOBER	501-541-7509
ARDOT	PERMIT OFFICER DISTRICT SIX	CORY SUTTON	501 551-5207

LOWERY LANE IMPROVEMENT NOTES

- ENTIRE ROW TO BE DEDICATED TO CITY OF BRYANT
- LOWERY STREET IMPROVEMENT CONSTRUCTION IS A PLANNED PORTION OF THE CONSTRUCTION FOR THIS PROJECT.



SITE PLAN NOTES

PARKING REQUIREMENTS:

TOTAL: 21 SPACES (16 REQUIRED)
1 HANDICAP (1 REQUIRED)

TOTAL AREA: 78,850 SF
 PROPOSED PAVEMENT/ROOF: 55,589 SF
 RIP RAP: 2,532 SF
 PROPOSED GREEN SPACE: 20,729 SF

PROPOSED BUILDING: 3,500 SF

ZONING AND SETBACKS

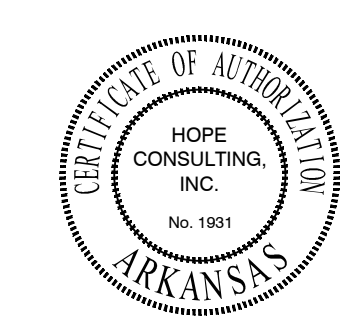
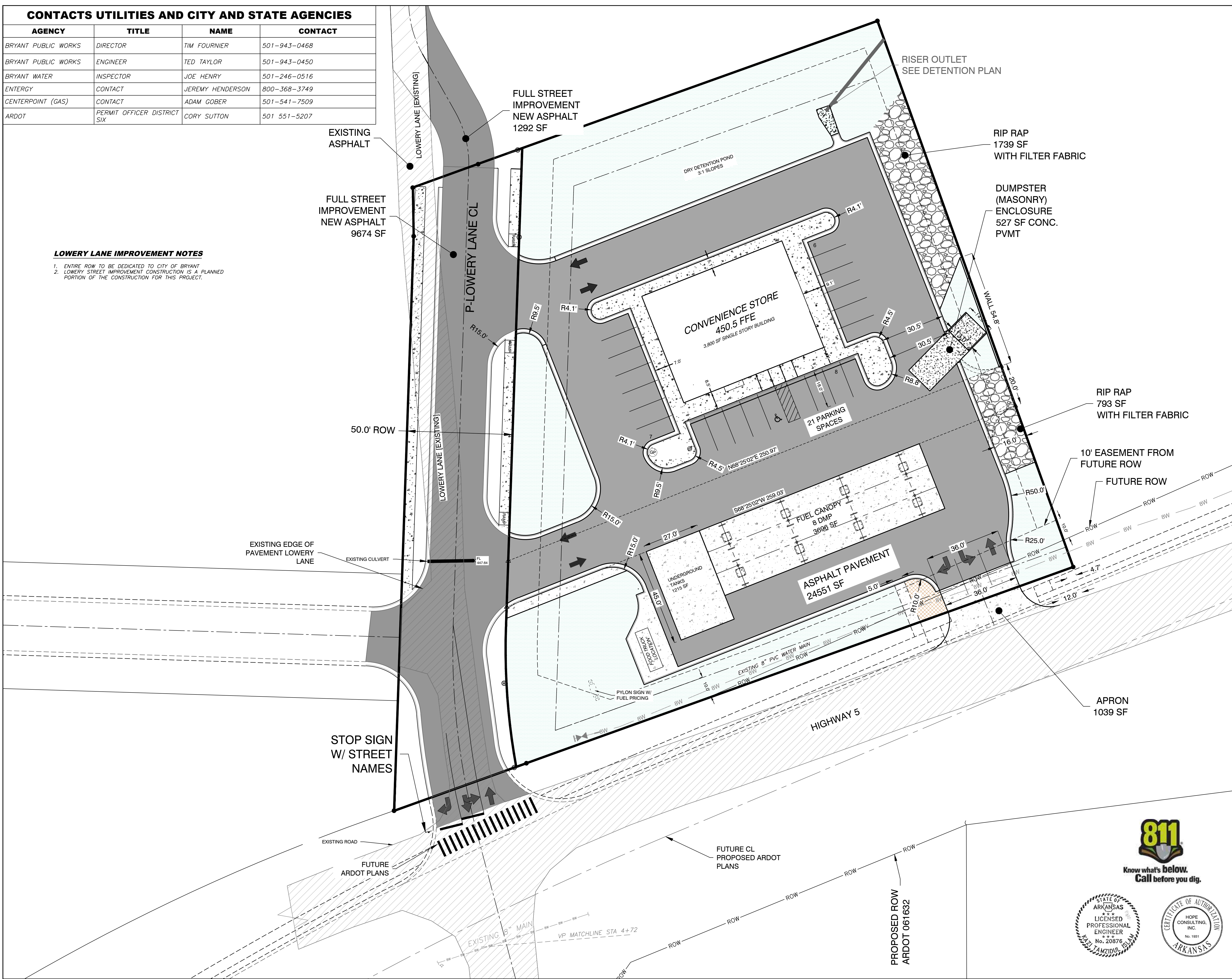
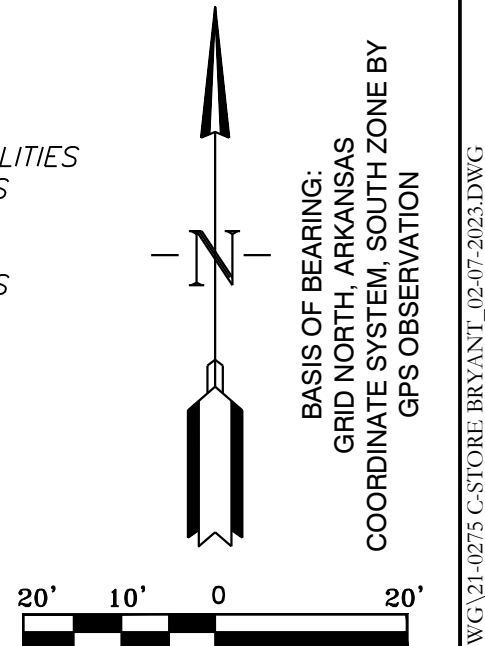
ZONING: C2
 FRONT: 10'
 SIDE: NONE (25' FOR RESIDENTIAL)
 NEIGHBORS)
 REAR: 25' (55 RESIDENTIAL NEIGHBORS)

DISCLAIMER

UTILITIES SHOWN ARE NOTED BY VISIBLE OBSERVATION ONLY. UNDERGROUND UTILITIES ARE APPROXIMATE. NO EXCAVATION HAS TAKEN PLACE AS OF THIS DATE TO DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS SURVEY

FLOOD STATEMENT

NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL #05125C0240E DATED 06-05-2020.



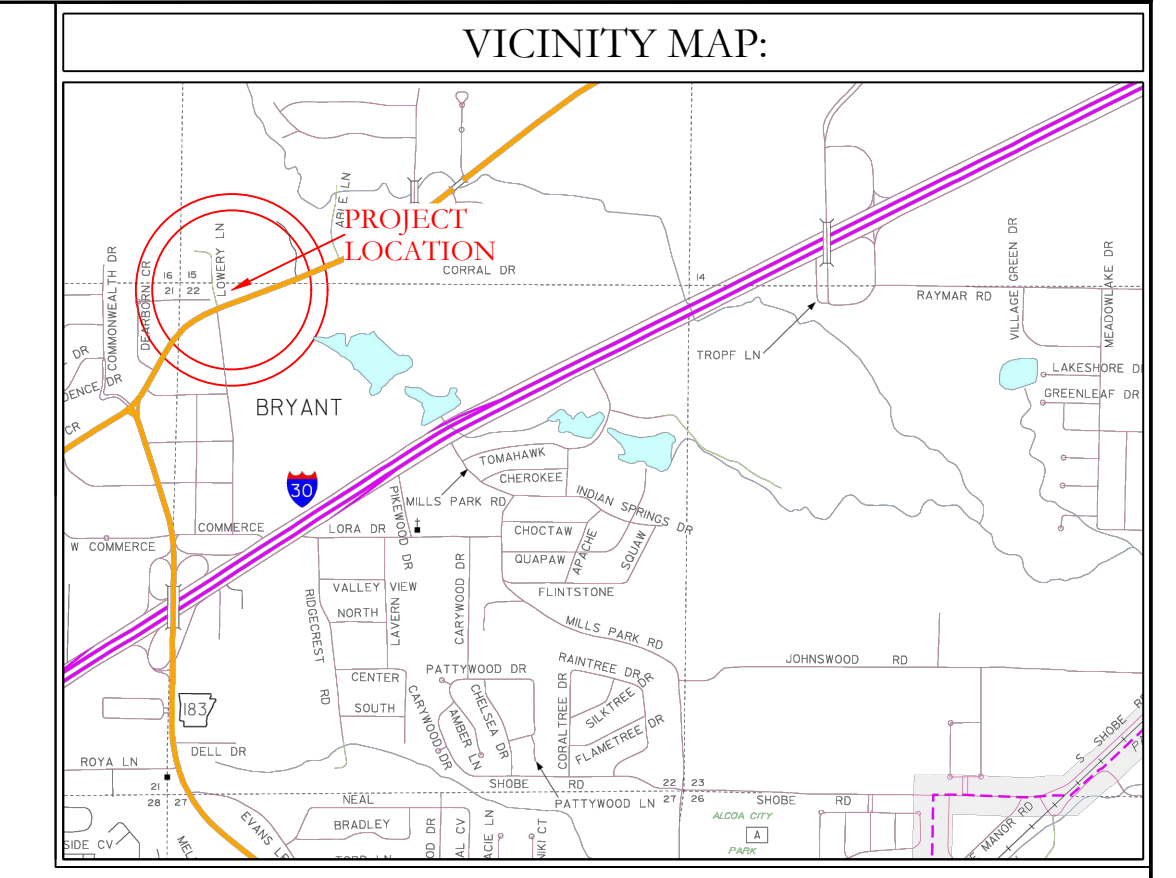
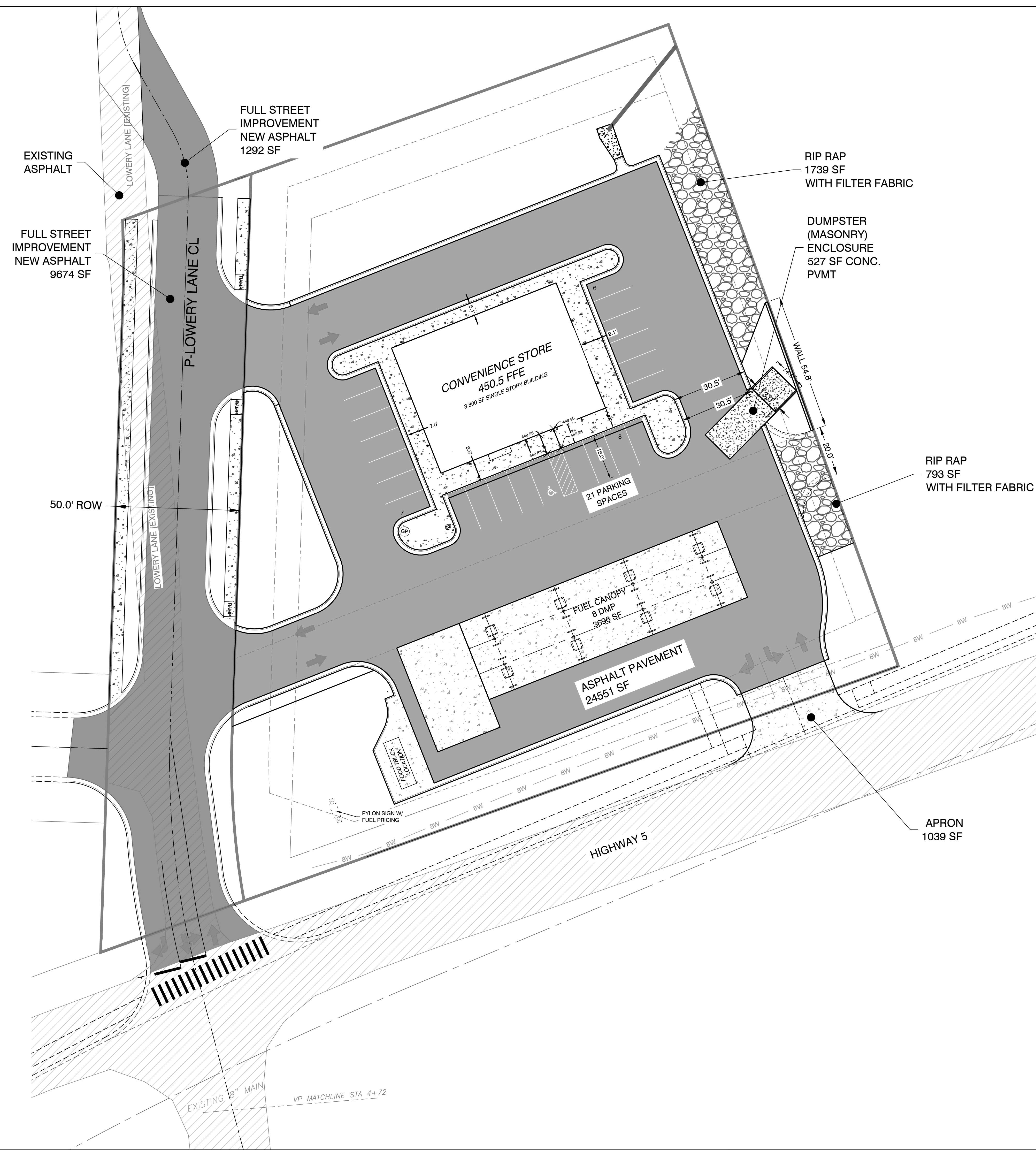
HOPE CONSULTING
 ENGINEERS - SURVEYORS
 129 N. Main Street,
 Benton, Arkansas 72015
 PH. (501)315-2626
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STANDARD DEVELOPMENT COMPANY, LLC

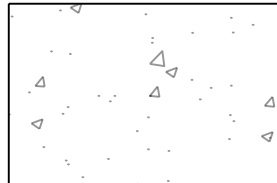
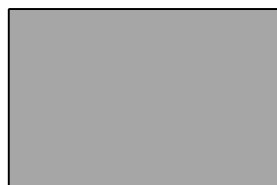


BRYANT C-STORE
 SITE PLAN
 BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/20/2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 02/23/2023	CHECKED BY:	21-0275
SHEET: C-1.0	SCALE:	

500 01S 14W 0 15/22 304 62 1762



PAVEMENT LEGEND

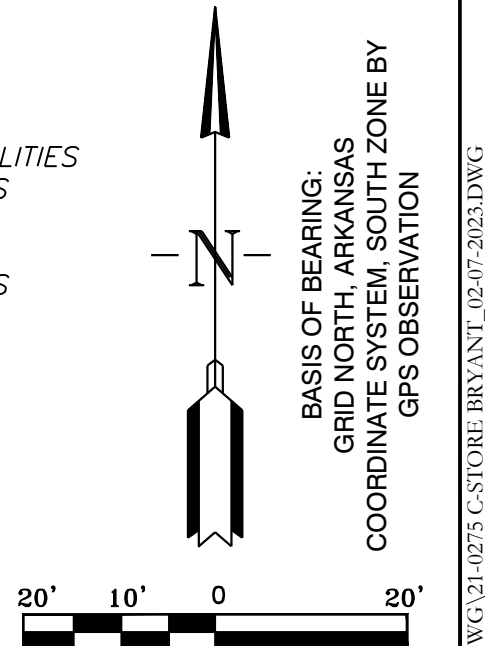
-  PROPOSED CONCRETE PAVEMENT
-  PROPOSED ASPHALT PAVEMENT
-  EXISTING ASPHALT PAVEMENT
-  PROPOSED ASPHALT PAVEMENT FUTURE STREET IMPROVEMENTS





DISCLAIMER
 UTILITIES SHOWN ARE NOTED BY VISIBLE OBSERVATION ONLY. UNDERGROUND UTILITIES ARE APPROXIMATE. NO EXCAVATION HAS TAKEN PLACE AS OF THIS DATE TO DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS SURVEY.

FLOOD STATEMENT
 NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL #05125C0240E DATED 06-05-2020.

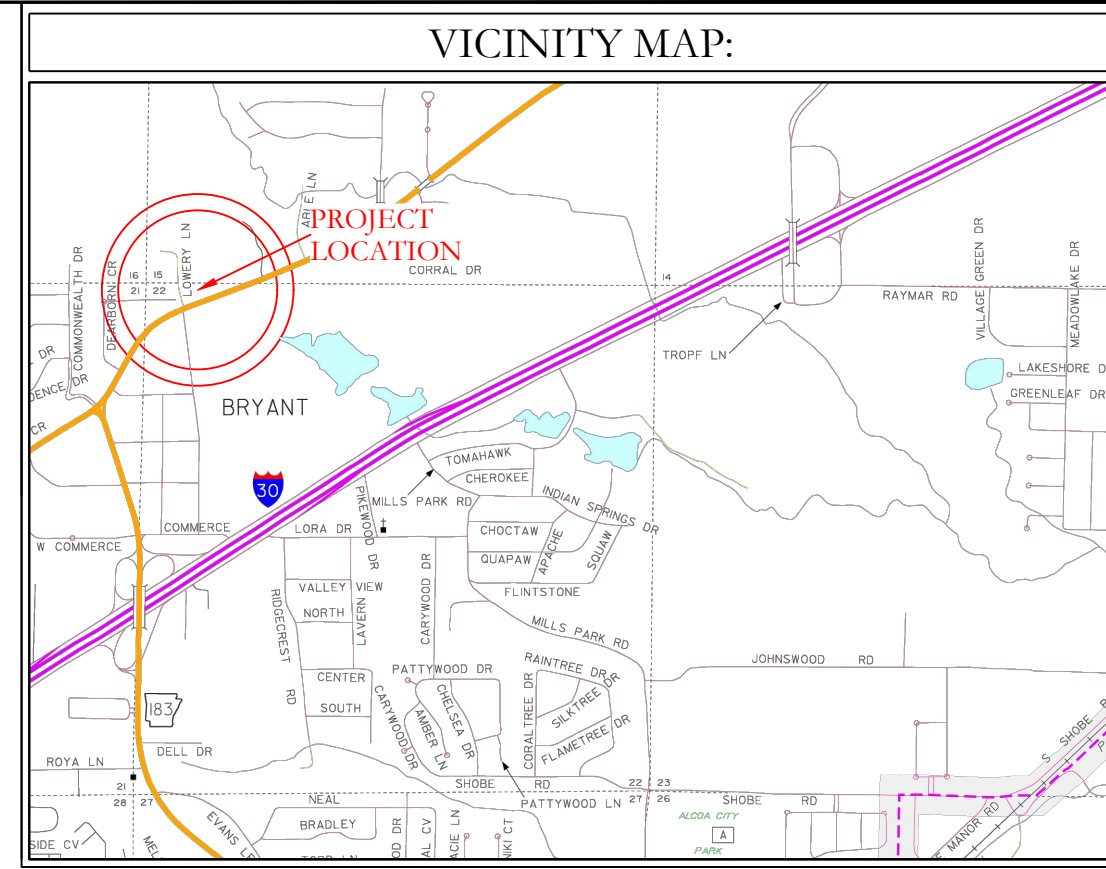
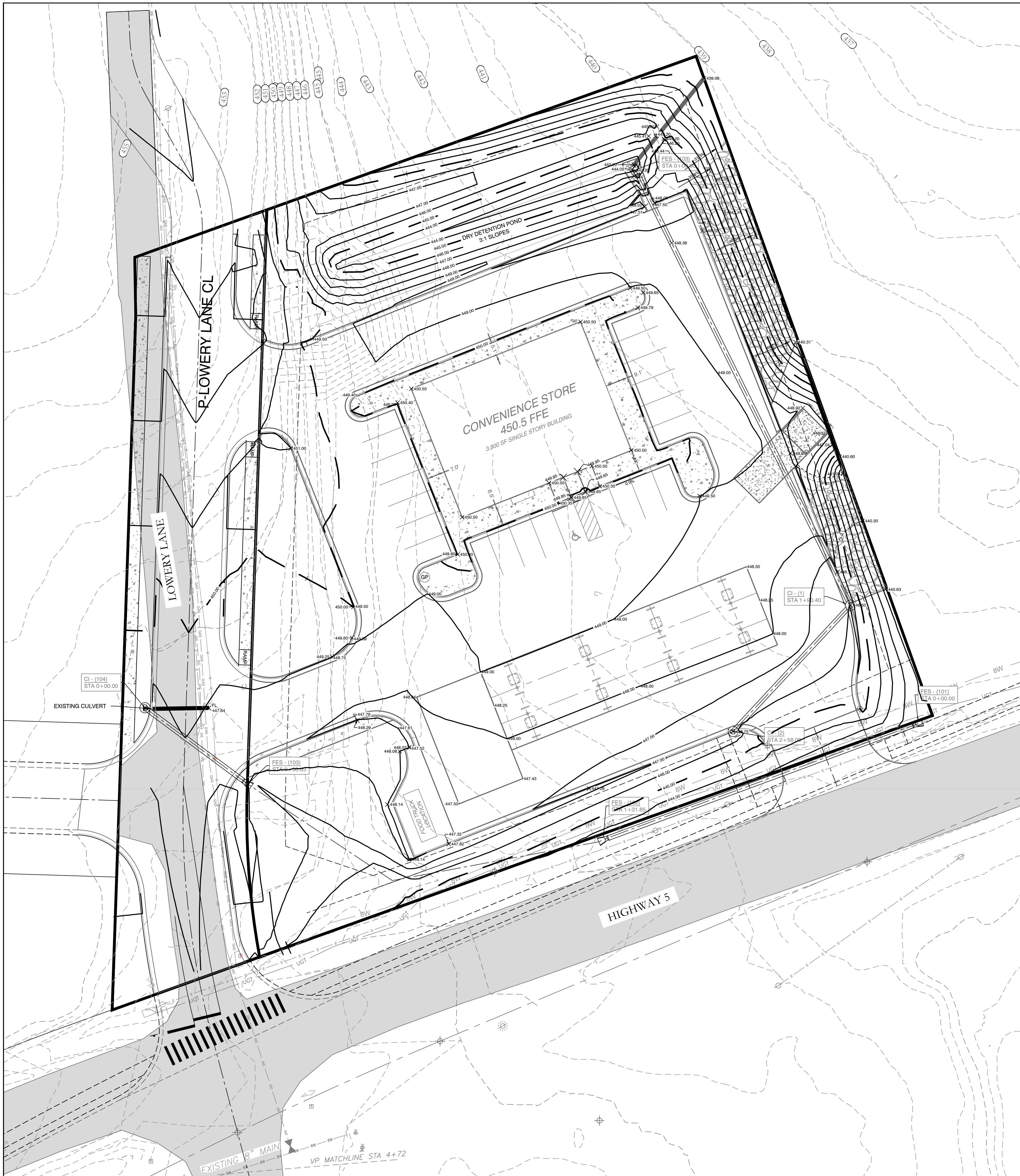


BASIS OF BEARING:
 GRID NORTH, ARKANSAS
 COORDINATE SYSTEM, SOUTH ZONE BY
 GPS OBSERVATION

HOPE CONSULTING ENGINEERS - SURVEYORS
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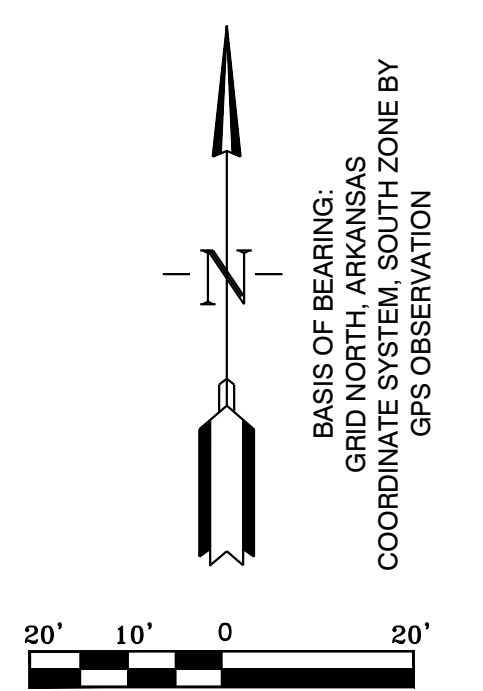
FOR USE AND BENEFIT OF: STANDARD DEVELOPMENT COMPANY, LLC			
BRYANT C-STORE PAVING PLAN BRYANT, SALINE COUNTY, ARKANSAS			
DATE:	9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED:	02/23/2023	CHECKED BY:	21-0275
SHEET:	C-1.2	SCALE:	
500	01S	14W	0 15/22 304 62 1762

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GRADING PLAN NOTES

1. DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
2. SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS.
3. CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR.
4. MAXIMUM SLOPE IN ANY DIRECTION IN ADA PARKING AREA IS 2%. IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE OF SIDEWALKS IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
5. STORM DRAINAGE PIPES ARE TO BE HDPE.
6. FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY.
7. THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW TO 3% ABOVE THE OPTIMUM MOISTURE CONTENT.
8. SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
9. ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION.
10. PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT.



BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE BY
GPS OBSERVATION

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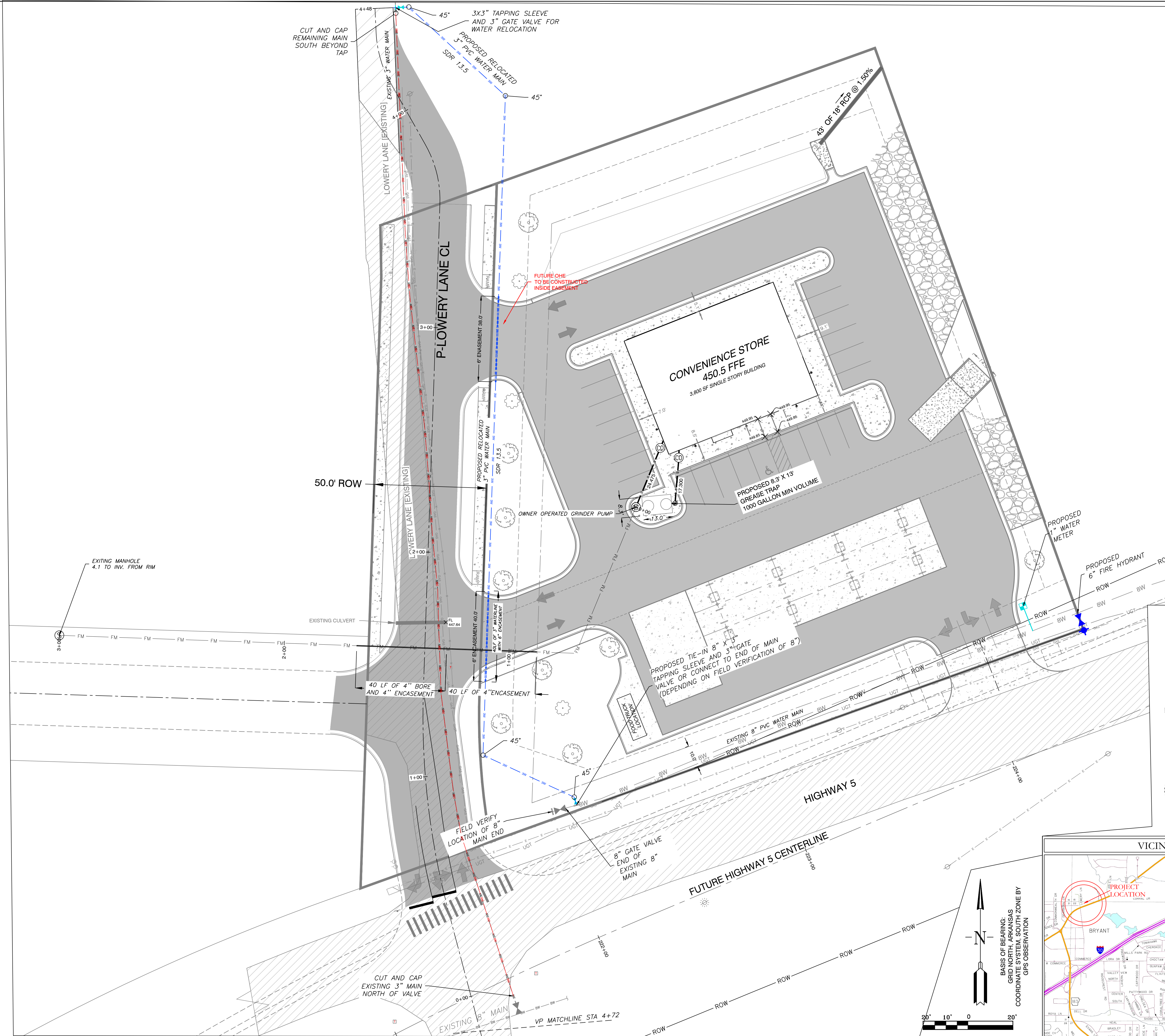
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BRYANT C-STORE
GRADING PLAN
 BRYANT, SALINE COUNTY, ARKANSAS

DATE:	9-20-2022	C.A.D. BY:		DRAWING NUMBER:
REVISED:	02/23/2023	CHECKED BY:		21-0275
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SEWER LEGEND

- SANITARY SEWER MANHOLE PROP.*
- SANITARY SEWER MANHOLE EXIST.
- CLEANOUT
- PROPOSED SEWER SERVICE

SEWER NOTES

1. ALL SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
2. INFORMATION ON DEPTH OF EXISTING TIE IN MANHOLE AND DOWNSTREAM MH OBTAINED FROM EFS EDGE GIS DATA.
3. 16" BORE AND ENCASEMENT FOR HIGHWAY 5 CROSSING OF 8" MAIN EXTENSION.
4. CASING SPACERS SHALL BE STAINLESS STEEL
5. THERE IS ONE PROPOSED SANITARY SEWER MH

WATER LEGEND

- FIRE HYDRANT
- BLOW OFF
- PROPOSED GATE VALVE
- PROPOSED 1" WATER METER
- PROPOSED WATER MAIN
- 2" PROPOSED WATER SERVICE LINE
- 3" ABANDONED PORTION

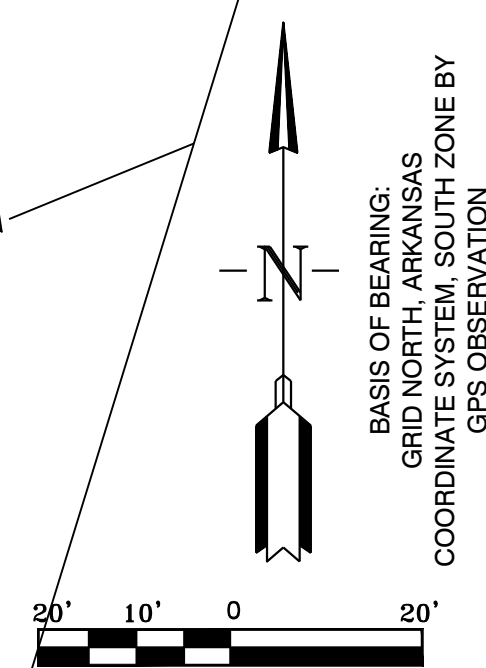
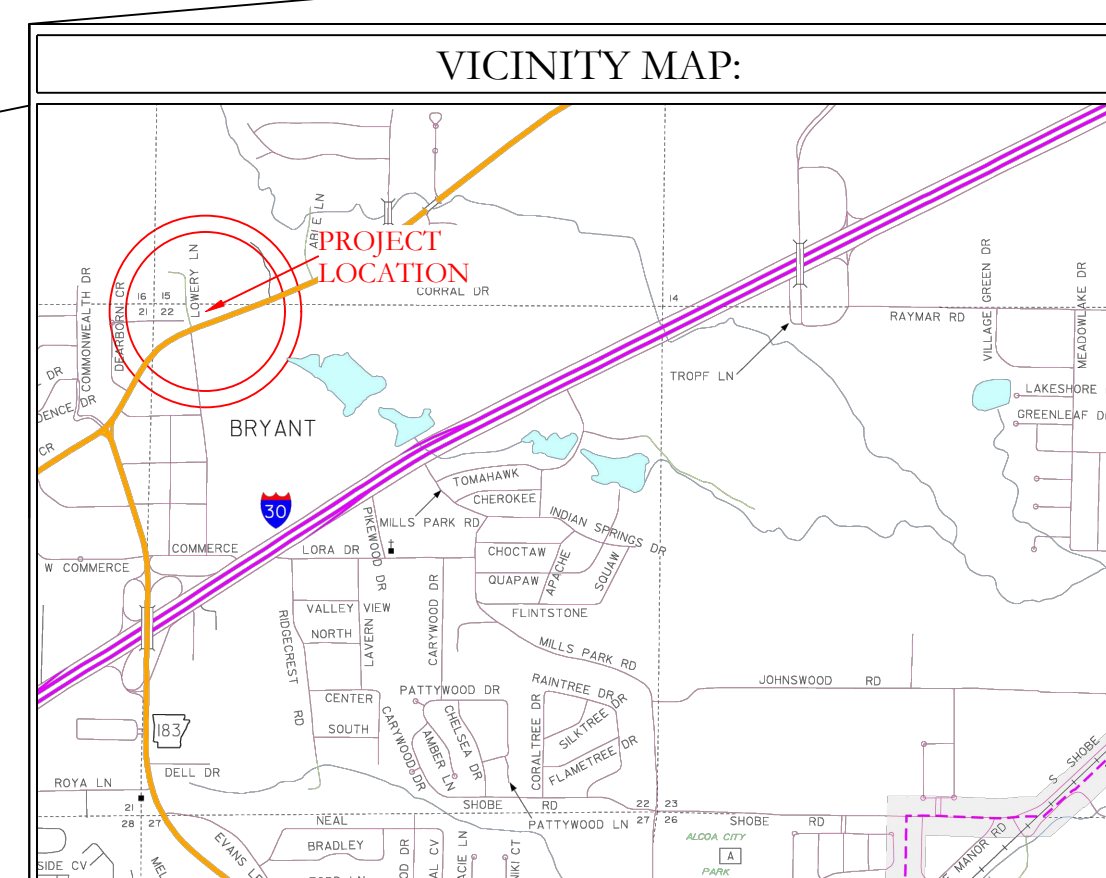
WATER NOTES

1. ALL WATER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
2. CONSTRUCT 3" SDR-13.5 ALONG LOWERY LANE.
3. 6" STEEL ENCASEMENT UNDER DRIVEWAYS ON 3" MAIN
4. CASING SPACERS SHALL BE STAINLESS STEEL.

ELECTRIC/TELECOMMUNICATION NOTES

1. OVERHEAD ELECTRIC UTILITIES AND PHONE/TELECOMMUNICATIONS LINES AFFECTED BY LOWERY LANE CHANGES WILL NEED TO BE RELOCATED IN COOPERATION WITH THE RESPECTIVE UTILITY PROVIDERS.

PROPOSED OVER HEAD POWER



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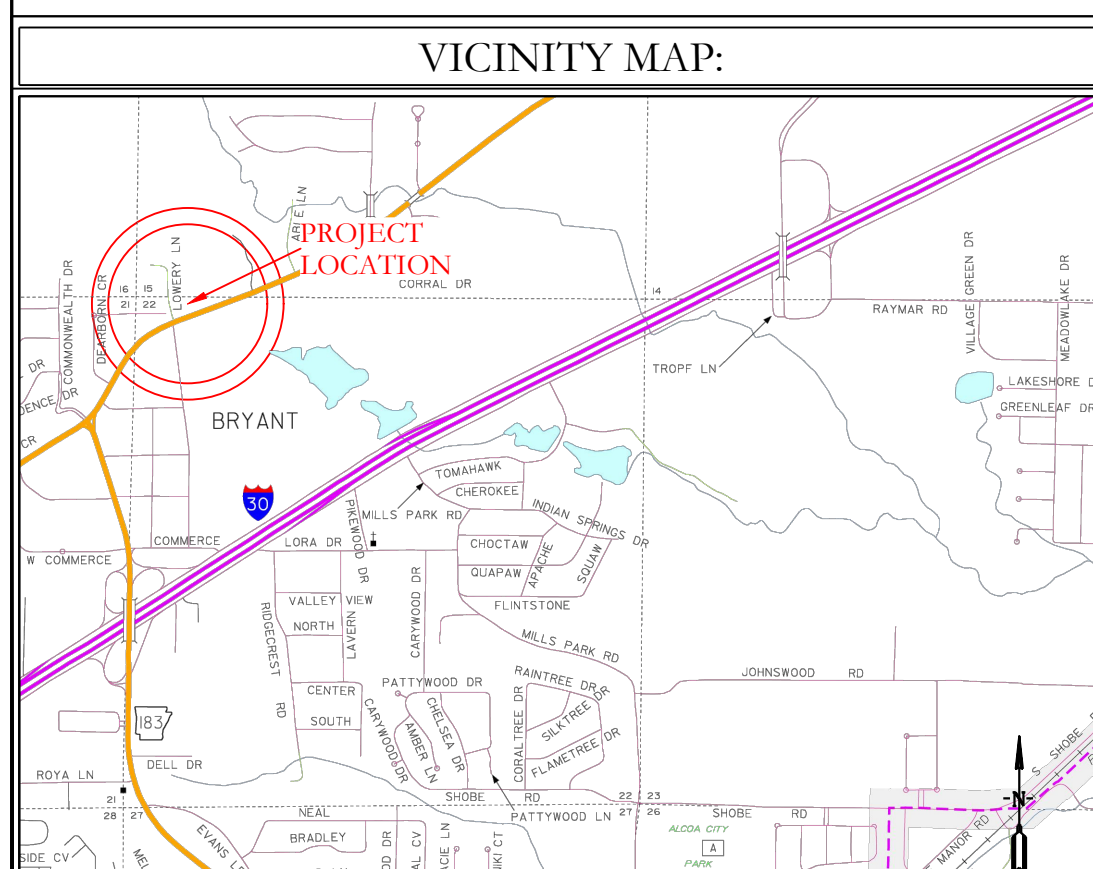
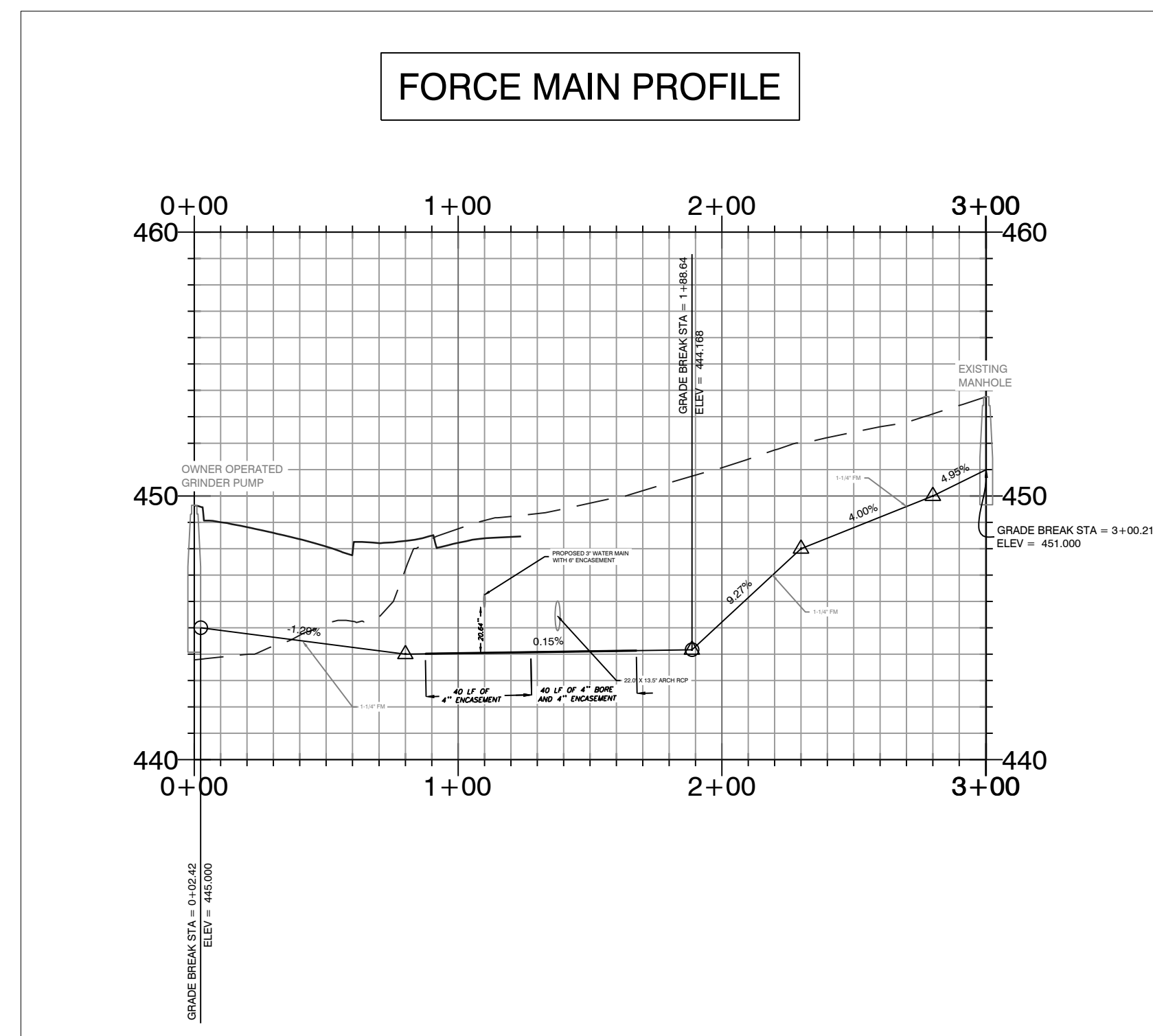
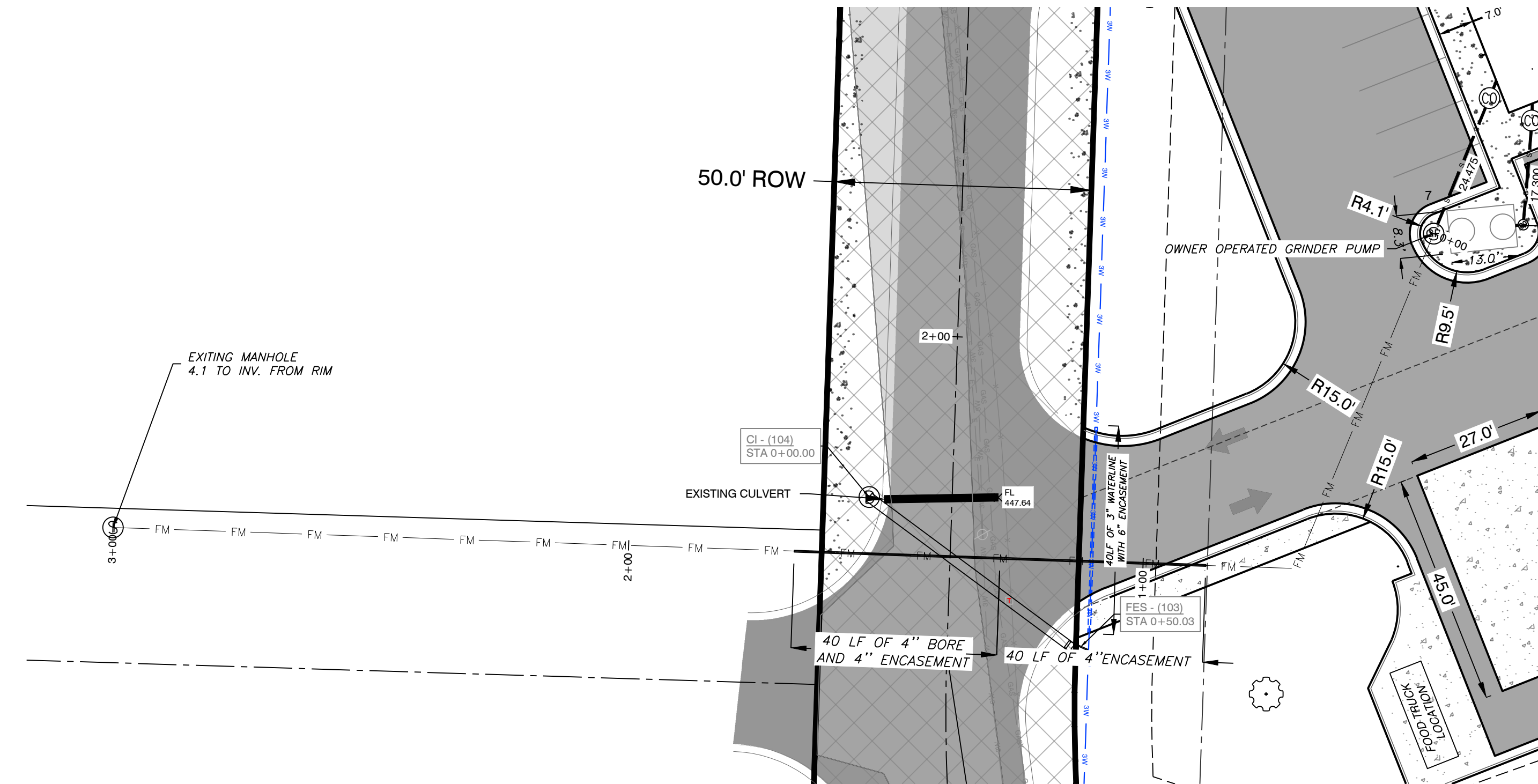
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PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

BRYANT C-STORE UTILITY PLAN
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 02/23/2023	CHECKED BY:	21-0275
SHEET: C-30	SCALE:	
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WATER LEGEND

- FIRE HYDRANT
- BLOW OFF
- PROPOSED GATE VALVE
- PROPOSED WATER METER
- PROPOSED WATER MAIN
- 3/4" PROPOSED WATER SERVICE LINE

WATER NOTES

1. ALL WATER AND SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
2. CONSTRUCT 3" SDR 13.5 ALONG LOWERY LANE.
3. 6" STEEL ENCASEMENT UNDER DRIVEWAYS ON 3" MAIN

SEWER LEGEND

- SANITARY SEWER MANHOLE
- CLEANOUT
- PROPOSED SEWER SERVICE

SEWER NOTES

1. ALL WATER AND SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
2. INFORMATION ON DEPTH OF EXISTING TIE IN MANHOLE AND DOWNSTREAM MH OBTAINED FROM EFS EDGE GIS DATA.
3. 4" BORE AND ENCASEMENT FOR LOWERY LANE OF 1-1/4" FORCE MAIN.
4. CASING SPACERS SHALL BE STAINLESS STEEL

BASIS OF BEARING:
 GRID NORTH, ARKANSAS
 COORDINATE SYSTEM, SOUTH ZONE BY
 GPS OBSERVATION

STATE OF ARKANSAS
 LICENSED PROFESSIONAL ENGINEER
 No. 20876
 TAYLOR, ARKANSAS

CERTIFICATE OF AUTHORIZATION
 HOPE CONSULTING, INC.
 No. 1931
 ARKANSAS

HOPE CONSULTING

ENGINEERS - SURVEYORS

129 N. Main Street,
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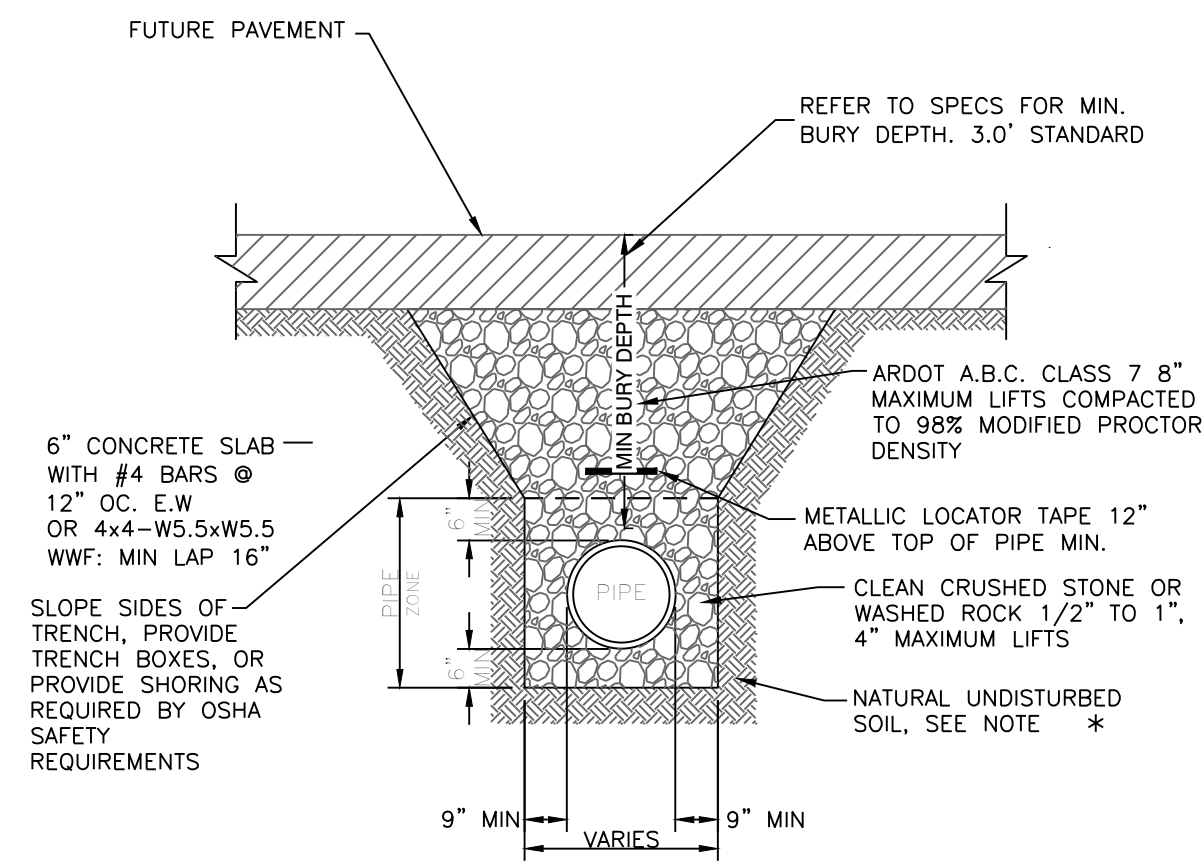
FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

**BRYANT C-STORE
SEWER UTILITY PLAN**
BRYANT, SALINE COUNTY, ARKANSAS

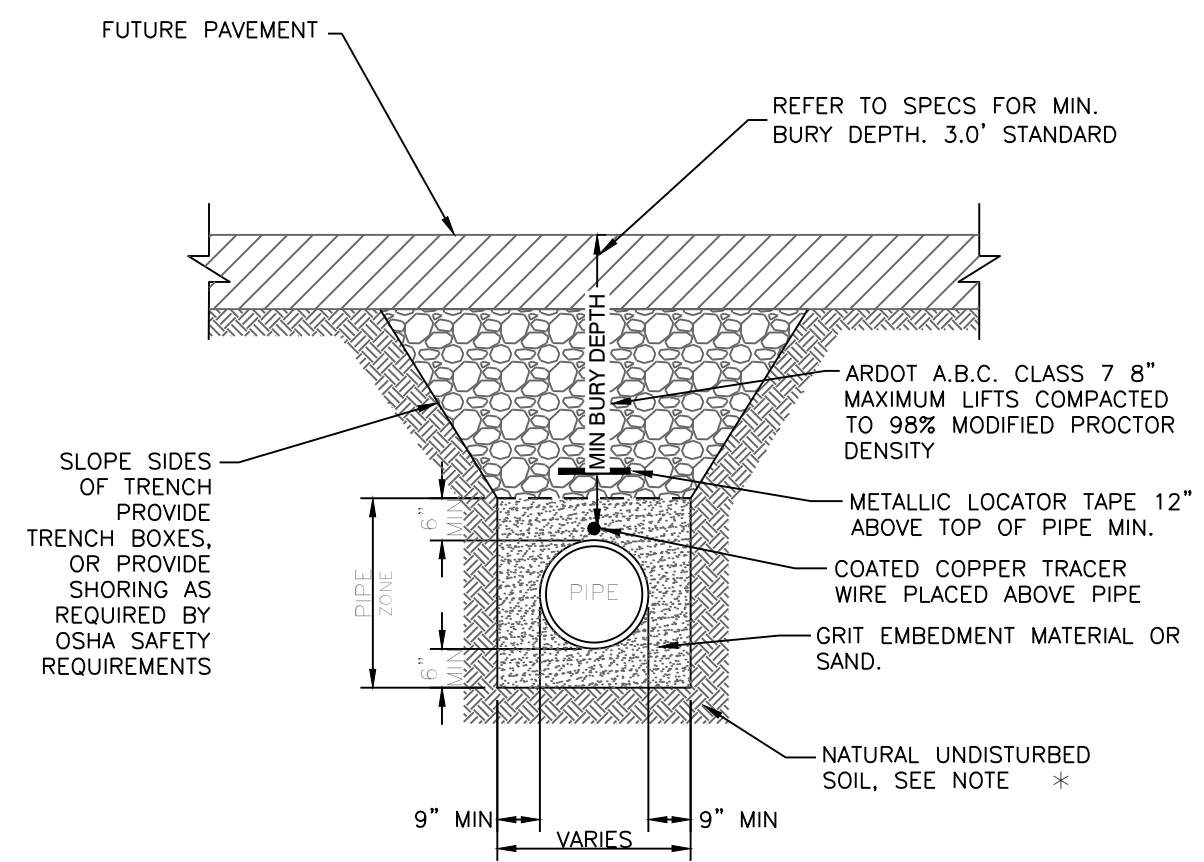
DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 02/23/2023	CHECKED BY:	21-0275
SHEET: C-3.1	SCALE:	

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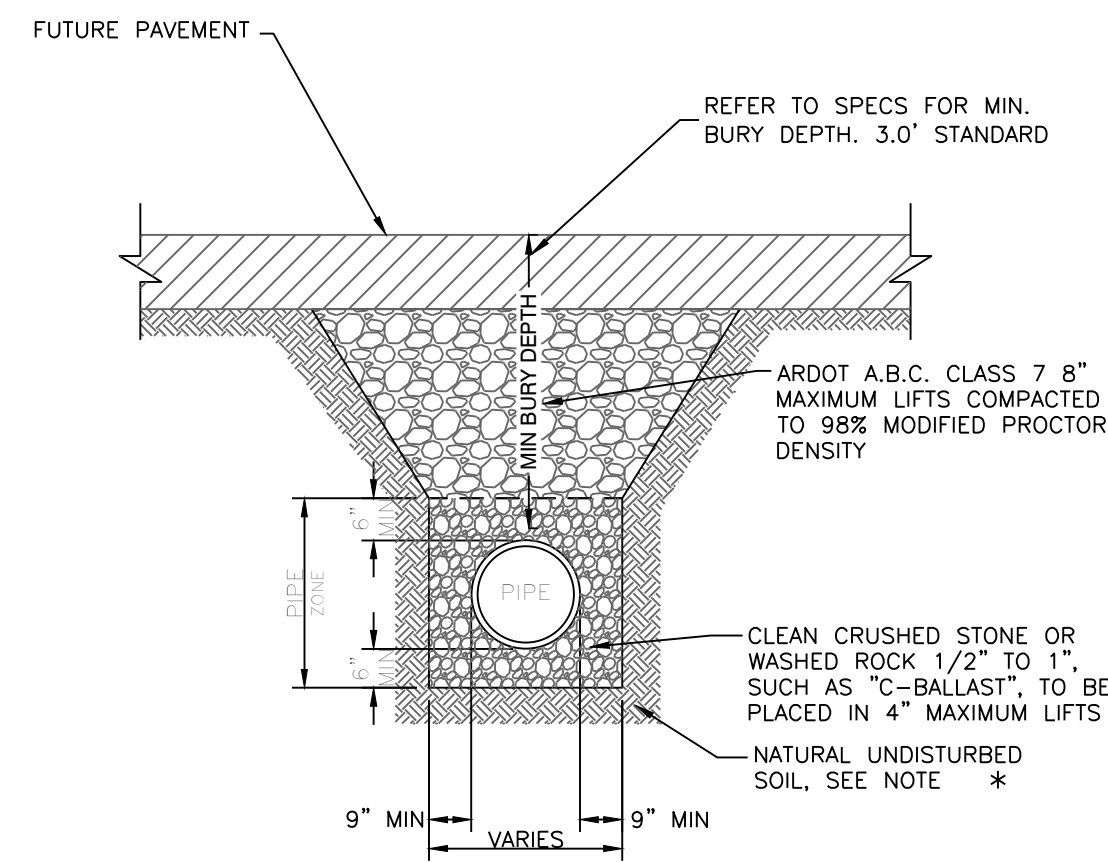
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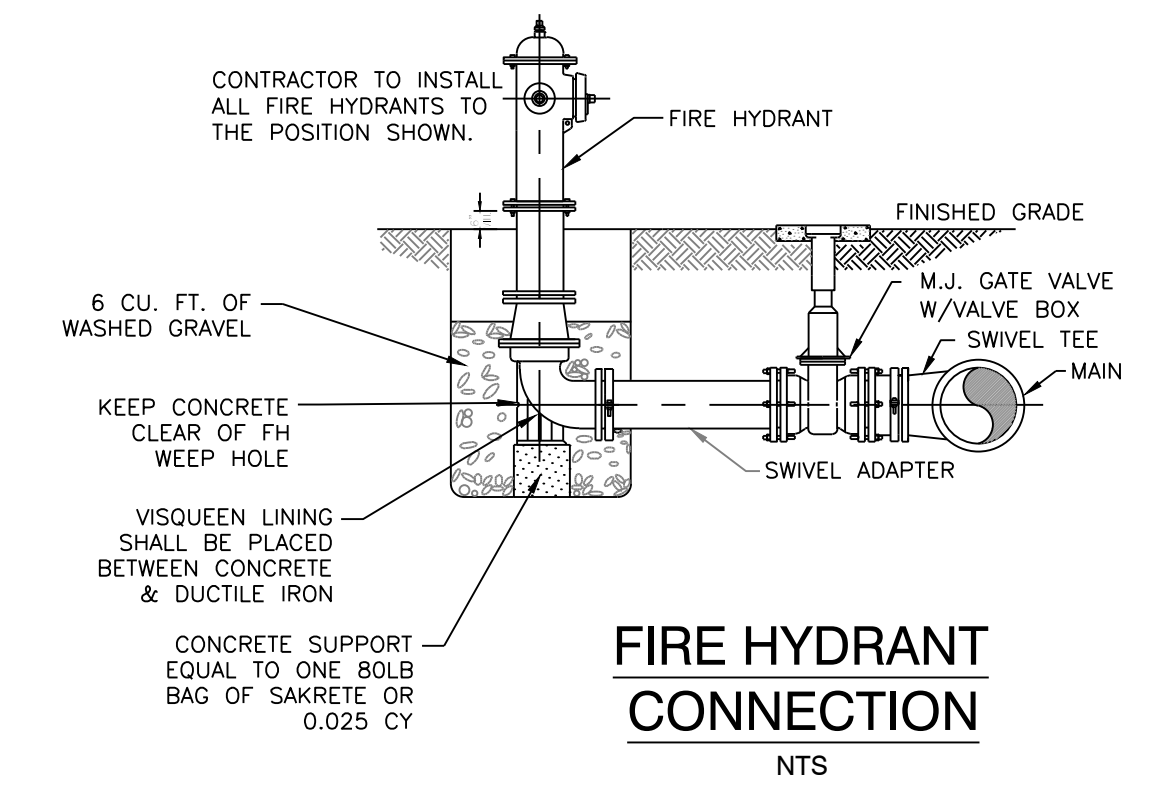
PVC SEWER TRENCH UNDER FUTURE ASPHALT STREET
N.T.S.



PVC WATER LINE TRENCH UNDER FUTURE ASPHALT STREET
N.T.S.



DRAINAGE PIPE TRENCH UNDER FUTURE ASPHALT STREET
N.T.S.



FIRE HYDRANT CONNECTION
N.T.S.

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

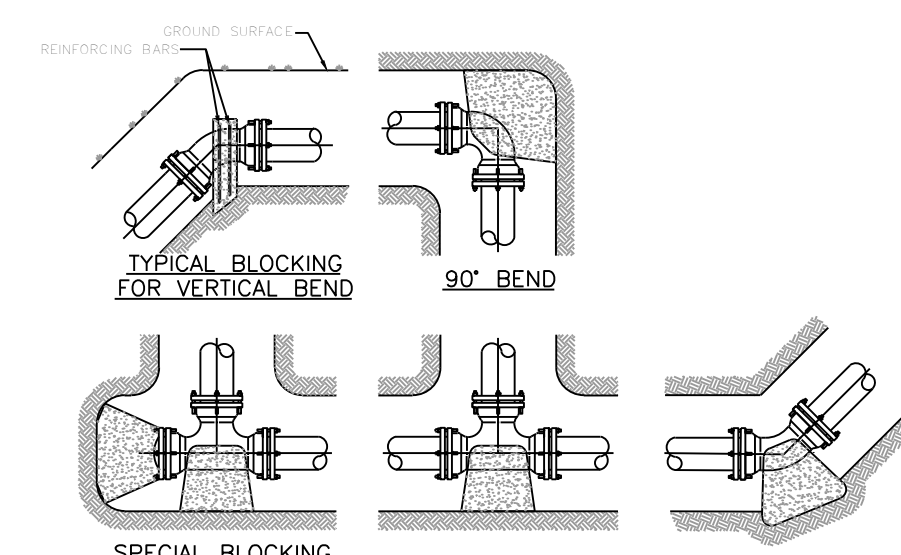
NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

SOIL STABILIZATION REQUIREMENTS:
1. IN LAWN AREAS, DISTURBED SOIL SHALL BE STABILIZED BY PLACEMENT OF SOO TO MATCH EXISTING.
2. IN FIELDS OR WOODED AREAS, DISTURBED SOIL SHALL BE STABILIZED BY SEEDING.

SOIL STABILIZATION REQUIREMENTS:
1. IN LAWN AREAS, DISTURBED SOIL SHALL BE STABILIZED BY PLACEMENT OF SOO TO MATCH EXISTING.
2. IN FIELDS OR WOODED AREAS, DISTURBED SOIL SHALL BE STABILIZED BY SEEDING.

SOIL STABILIZATION REQUIREMENTS:
1. IN LAWN AREAS, DISTURBED SOIL SHALL BE STABILIZED BY PLACEMENT OF SOO TO MATCH EXISTING.
2. IN FIELDS OR WOODED AREAS, DISTURBED SOIL SHALL BE STABILIZED BY SEEDING.



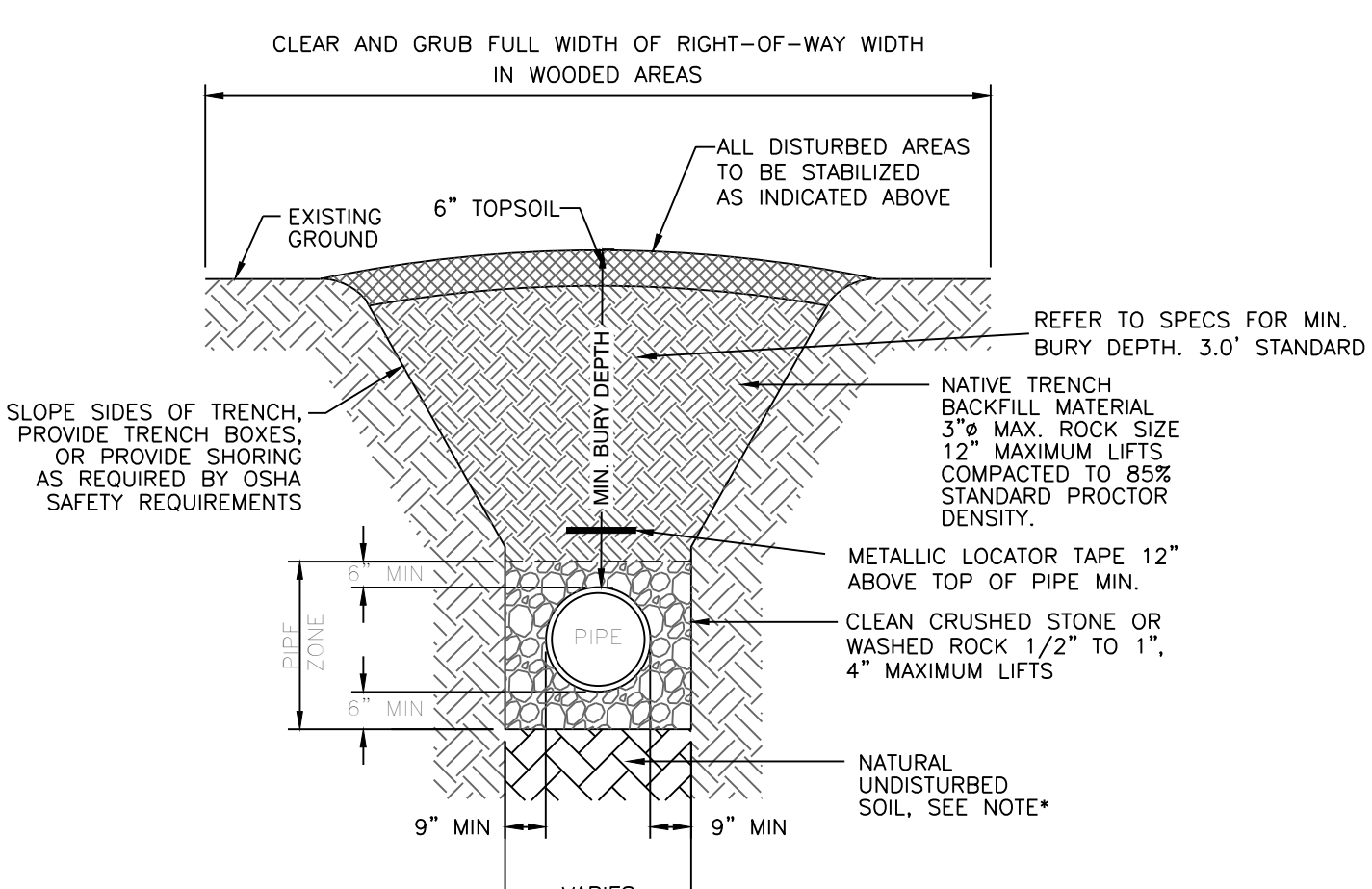
FITTING SIZE	BEND ANGLE
4"	22/2'
6"	0.4 0.2 0.1
8"	0.8 0.4 0.2
10"	1.2 0.7 0.4
12"	2.2 1.1 0.6
14"	3.2 1.6 0.8
16"	4.4 2.2 1.1
18"	5.7 2.9 1.5
20"	7.2 3.7 1.8
24"	8.9 4.5 2.3

- THRUST BLOCK NOTES:**
- KEEP CONCRETE CLEAR OF JOINT ACCESSORIES.
 - CONCRETE THRUST BLOCKING SHALL BE POURED AGAINST UNDISTURBED EARTH.
 - REQUIRED VOLUMES OF BEARING AREAS AT FITTINGS SHALL BE AS INDICATED IN THE TABLES PROVIDED AND ADJUSTED, IF NECESSARY, TO CONFORM TO THE TEST PRESSURES AND ALLOWABLE SOIL BEARING STRESSES) STATED IN THE SPECIFICATIONS.
 - THRUST BLOCK VOLUMES FOR VERTICAL BENDS HAVING UPWARD RESULTANT THRUSTS ARE BASED ON TEST PRESSURE OF 150 PSIG AND THE WEIGHT OF CONCRETE (4,000 LB/CY). TO COMPUTE VOLUMES FOR DIFFERENT TEST PRESSURES, USE THE FOLLOWING EQUATION: VOLUME = (TEST PRESSURE / 150) x (TABLE VALUE).
 - BEARING AREAS FOR HORIZONTAL BEND THRUST BLOCKS ARE BASED ON TEST PRESSURE OF 150 PSIG AND AN ALLOWABLE SOIL BEARING STRESS OF 2,000 LB/SF TO COMPUTE BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE / 150) x (2,000 / SOIL BEARING STRESS) x (TABLE VALUE).
 - THRUST BLOCKS FOR VERTICAL BENDS HAVING DOWNWARD RESULTANT THRUST SHALL BE THE SAME AS FOR HORIZONTAL BENDS.
 - BEARING AREAS, VOLUMES, AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER THIS STANDARD.
 - BEARING AREA OF THRUST BLOCK SHALL NOT BE LESS THAN 1.0 SF.
 - VERTICAL BENDS THAT REQUIRE A THRUST BLOCK VOLUME EXCEEDING 5 CY REQUIRE SPECIAL BLOCKING DETAILS. SEE PLANS.

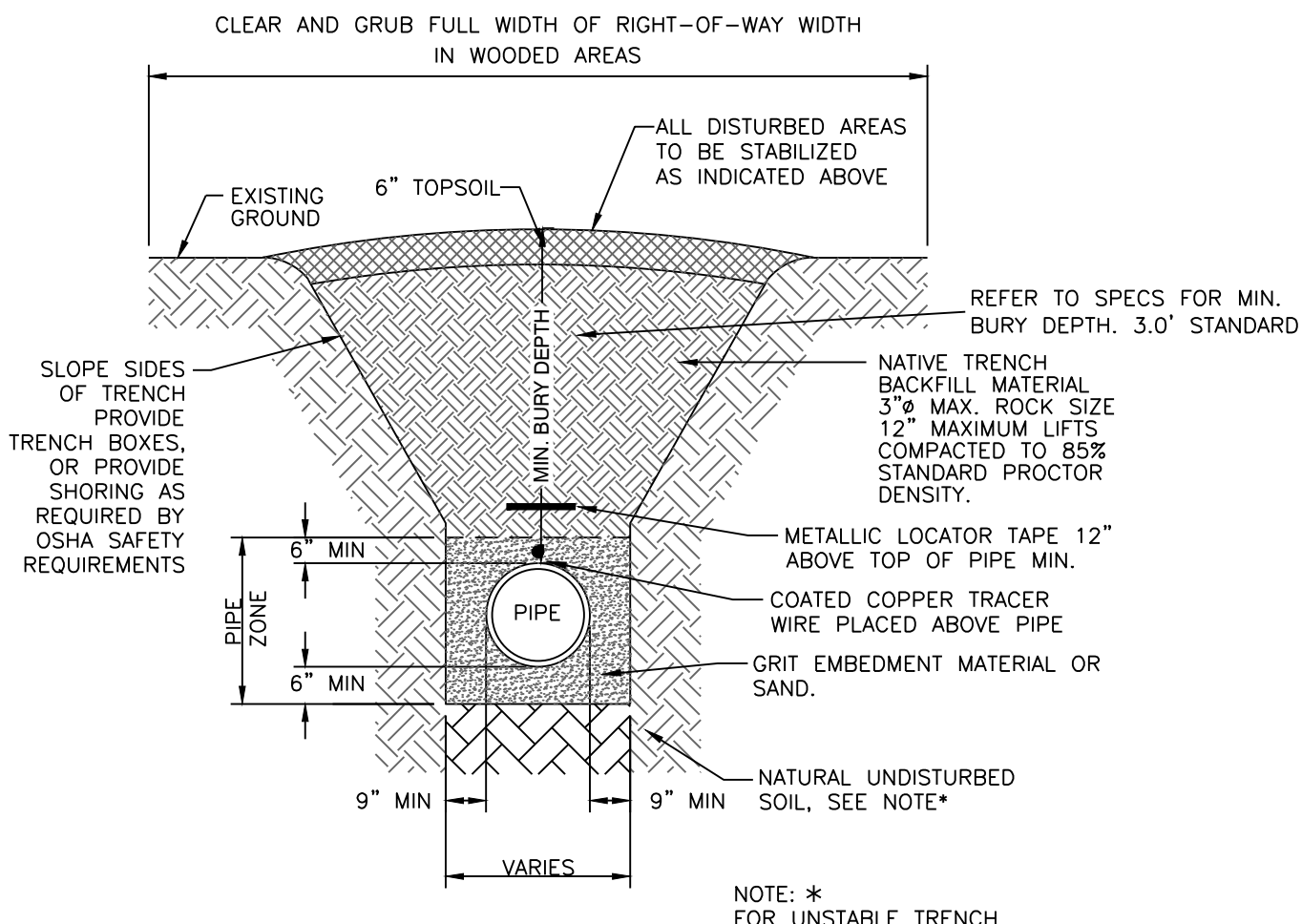
FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		BEND ANGLE	
			A1	A2	45°	22/2' 11/4'
4"	1.0	1.4	1.0	1.4	1.0	-
6"	2.1	3.0	2.1	3.0	1.6	1.0
8"	3.8	5.3	3.8	5.4	2.9	1.5
10"	5.9	8.4	5.9	8.4	4.6	2.4
12"	8.5	12.0	8.5	12.0	6.6	3.4
14"	11.5	16.3	11.5	16.3	8.9	4.6
16"	15.0	21.3	15.0	21.3	11.8	6.0
18"	19.0	27.0	19.0	27.0	14.6	7.6
20"	23.5	33.3	23.5	33.3	18.1	9.4
24"	34.0	48.0	34.0	48.0	26.2	13.6

FITTING SIZE	BEND ANGLE	FITTING	
		ROD SIZES	EMBEDMENT
4"	45°	0.4	0.2
6"	0.8	0.4	0.2
8"	1.4	0.7	-
10"	2.2	1.1	0.6
12"	3.2	1.6	0.8
14"	4.4	2.2	1.1
16"	5.7	2.9	1.5
18"	7.2	3.7	1.8
20"	8.9	4.5	2.3
24"	12.8	6.5	3.3

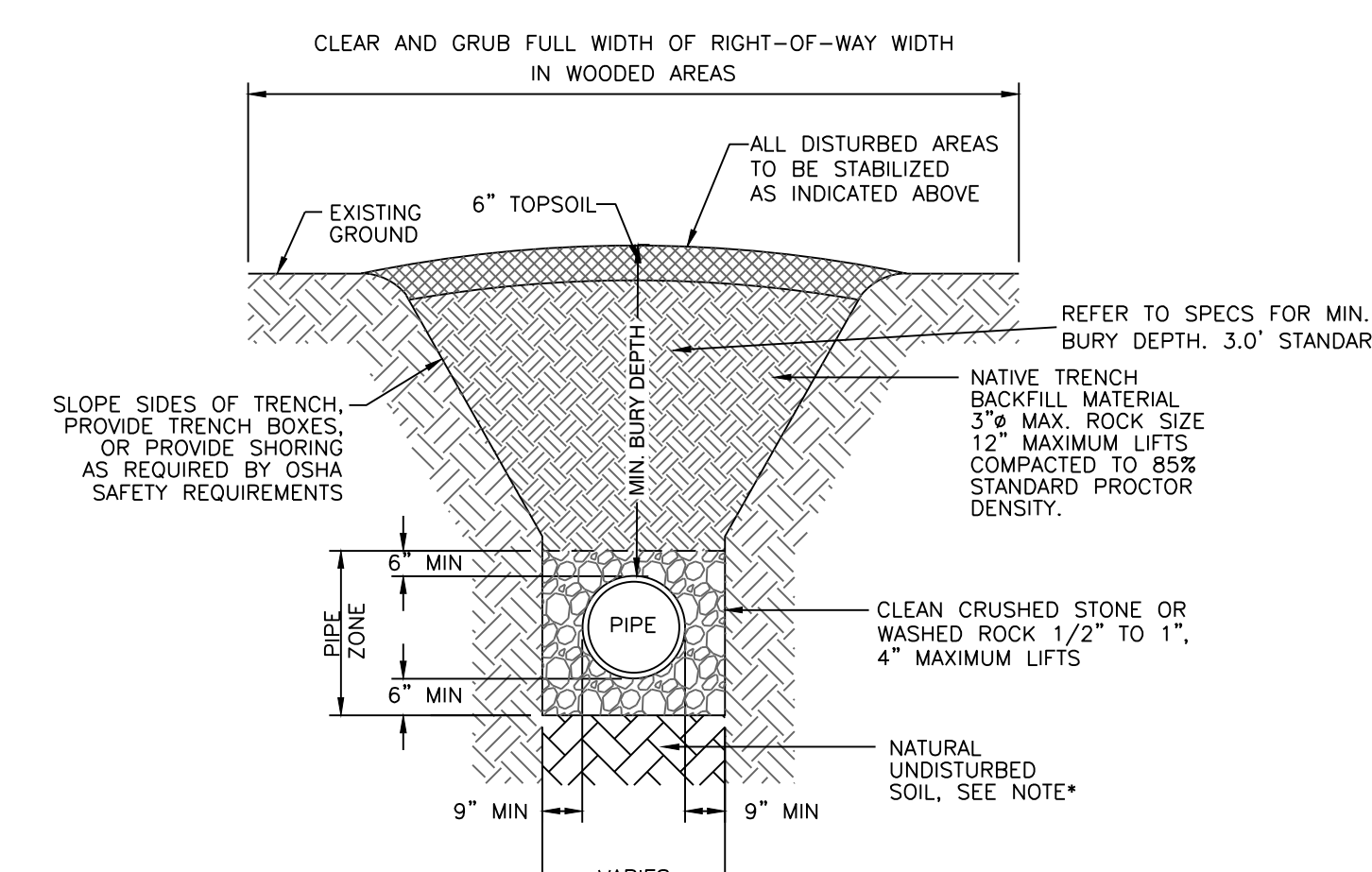
FITTING SIZES	ROD SIZES	EMBEDMENT
12" AND LESS	#6'S	30"
14" - 24"	#8'S	36"



PVC SEWER TRENCH IN UNPAVED AREAS
N.T.S.

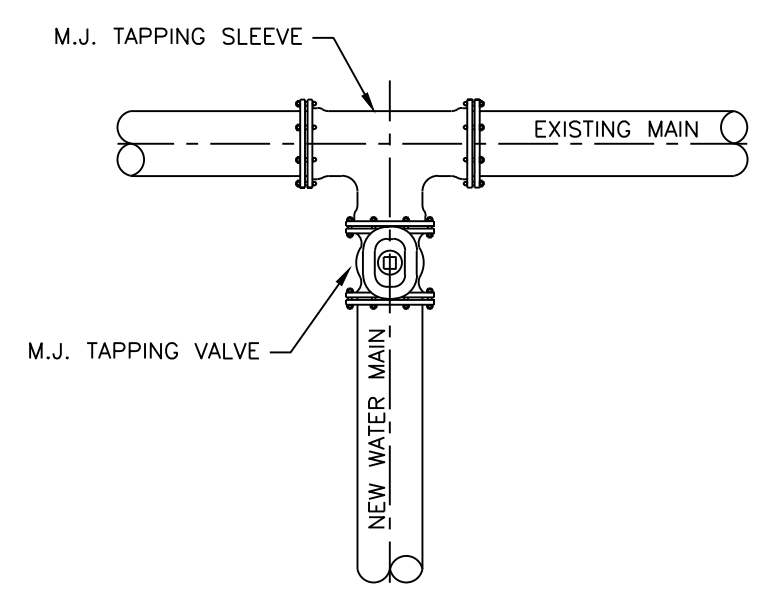


PVC WATER LINE TRENCH IN UNPAVED AREAS
N.T.S.

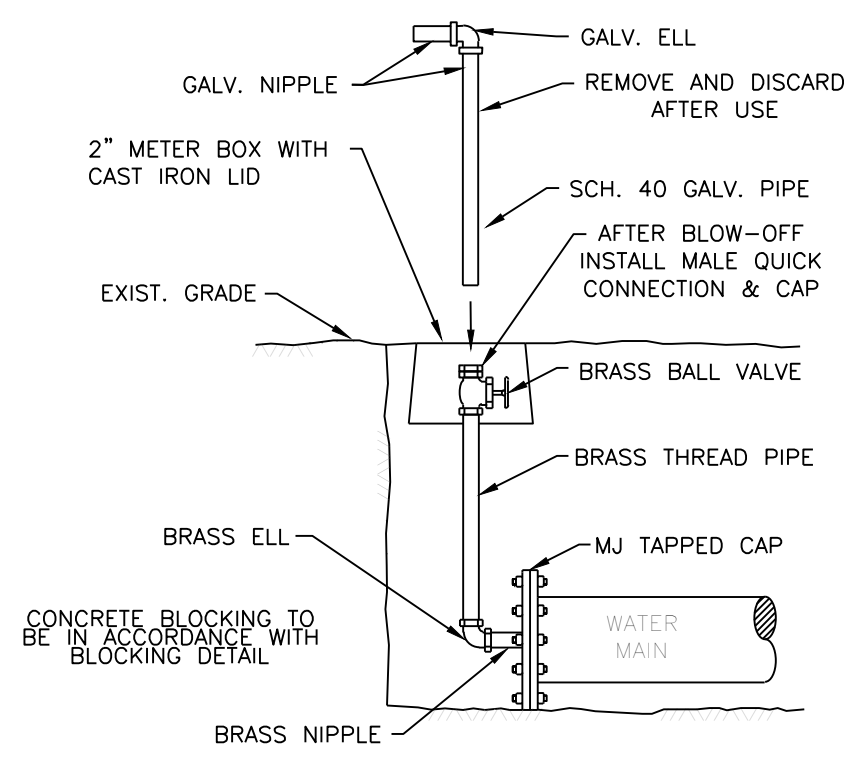


DRAINAGE PIPES IN UNPAVED AREAS
N.T.S.

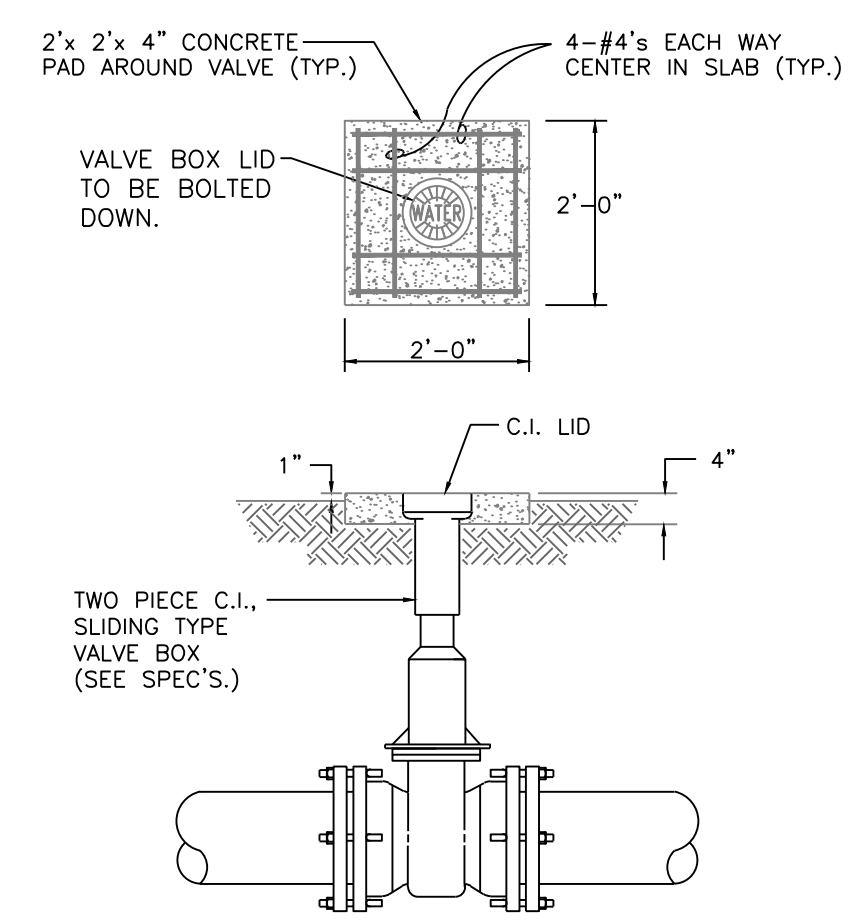
TYPICAL BLOCKING DETAILS
N.T.S.



WATER MAIN CONNECTION DETAIL
N.T.S.



2" BLOW-OFF RISER
N.T.S.



DETAIL-VALVE BOX
N.T.S.

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FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

BRYANT C-STORE TRENCH DETAILS
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 01/05/2023	CHECKED BY:	21-0275
SHEET: C-4.0	SCALE:	

500	01S	14W	0	15/22	304	62	1762
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KULAND PROJECTS 2048 COMMERCIAL BLVD #210275 C-STORE BRYANT FULL STORE REVISED 2022 12-21-2022.DWG

SUBGRADE MATERIAL

- A. Subgrade soils shall be all materials used for subgrade including in-situ materials and fill materials.
- B. Subgrades for pavement shall be stabilized by mechanical compaction. Stabilization methods such as fabrics and chemical stabilization may be submitted for approval when supported by engineering data and calculations to substantiate the adequacy of the stabilized procedure.
- C. Subgrade shall be compacted to 95 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture unless otherwise supported by the site specific geotechnical data and approved by City.
- D. Subgrade shall be prepared in such a manner that the base course shall be placed on a firm foundation that is stable and free from soft spots, pumping, dust pockets, wheel ruts, or other defects.
- E. The top 24 inches of the subgrade shall be a material not susceptible to frost action unless modified with cement, lime or another method approved specifically by the City to resist frost action. Soils classified as A-4 and A-5 including sandy silts, fine silty sand or lean clays are highly susceptible to frost action.
- F. In-situ soils meeting the requirements outlined in these specifications may be utilized as subgrade material. In-situ soils used as subgrade shall be scarified to a minimum depth of 8-inches below finish subgrade, recompact and tested as described below. Fill material for subgrade shall be placed in lifts not to exceed 8-inches compacted depth.
- G. Methods and procedures for establishing the total depth of soil replacement and/or modification shall be as specified by the design engineer and geotechnical investigations. The adequacy of in-situ soils and fill materials as pavement subgrade shall be evaluated based upon the soils classification, liquid limit, and plasticity index.
- H. Soils with a liquid limit greater than 40, or a plasticity index greater than 15 shall be undercut and removed from the street section or improved by a design method of stabilization approved by the City.
- I. Quality control testing shall be as specified below.
- J. Undercut 24" of soil below finished street base course. Proof roll to verify stability.
- K. Backfill the undercut subgrade with Class 7 aggregate or soil meeting the requirements of this section and compact in lifts not exceeding 8".

BASE COURSE

- A. Base course material shall be crushed stone meeting the requirements of ArDOT Class 7 aggregate base course as specified in the latest edition of ArDOT Standard Specifications.
- B. Base course shall be compacted to 98 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture.

SURFACE COURSE

- A. Surface course for flexible pavement designs shall utilize plant mix bituminous base and binder courses conforming to ArDOT Standard Specifications.

CURB AND GUTTER

- A. Curb and gutter shall be Portland Cement Concrete with a minimum 28-day compressive strength of 4,000 psi. Concrete shall be air-entrained with a maximum of 4-inch slump.
- B. Compaction requirements under curb and gutter shall conform to the requirements for street subgrade materials. Compaction requirements shall extend to a minimum of 1 foot beyond the back of curb and gutter removing all soft spots and replacing with suitable material.
- C. Curb and gutter shall conform to the typical detail within these specifications or ArDOT Standard Roadway Drawing Details for curbing.
- D. Expansion joints shall be made with 1/2-inch preformed expansion joint filler of a non-extruding type. Expansion joints shall be placed at intervals not exceeding 195 feet, intersection radii, driveways, stationary structures, and sidewalks.
- E. Contraction joints shall be sawed or formed at intervals not greater than 20 feet. Depth of saw-cut shall be 1 1/2-inch and have a width of 1/4-inch. Contraction joints shall be sealed in accordance with ArDOT Standard Specifications.
- F. Forms shall be made of metal or wood and shall be properly braced. The minimum length of each section of form used shall be 10 feet. Each section of form shall be uniform and free from undesirable bends or warps. Forms shall be of such cross section and strength and so secured as to resist the pressure of the impact and vibration on any equipment which they support without springing or settlement.
- G. Curb and gutter placed with slip form or extruding equipment will be acceptable providing it complies with all of the above requirements.
- H. After curing, the curb shall be immediately backfilled to within 4 inches of the top curb to eliminate the possibility of washing beneath the curb. The remaining 4 inches shall be topsoil.
- I. Cold weather protection shall meet the requirements of the latest edition of ArDOT Standard Specifications.

SIDEWALKS

General

- A. Sidewalks shall be Portland Cement Concrete with a minimum 28-day compressive strength of 4,000 psi.
- B. Sidewalks shall be on both sides of streets in line with sidewalks on opposite corners of roads.
- C. All sidewalks including ramps shall meet all current Federal Americans with Disabilities (ADA) design guidelines or requirements.
- D. Traverse slopes shall not exceed 2 percent.
- E. Subgrade under sidewalks shall be compacted to 90 percent modified proctor density minimum.
- F. Sidewalks shall not be placed upon grassy or organic materials.
- G. Sidewalks which extend or link existing sidewalks shall adjoin the existing sidewalks to form a continuous, even pathway.
- H. Utility poles, utility boxes, mailboxes, fire hydrants, and other similar obstructions shall not be located in sidewalks. Sidewalk location may vary at the discretion of the City to avoid such obstacles.

Minimum thickness and reinforcement

- A. Sidewalks shall have a minimum thickness of 4 inches.
- B. Sidewalks shall be reinforced, at a minimum, with woven wire fabric reinforcement.

Contraction and expansion joints

- A. Contraction joints shall be provided perpendicular to the sidewalk at intervals equal to the sidewalk width.
- B. Expansion joints shall be constructed perpendicular to the sidewalk at intervals equal to five times the sidewalk width. Expansion joints shall be made with 1/2-inch preformed expansion joint filler of a non-extruding type. Expansion joints shall be placed at driveways, drop inlets, and curbs.

Quality control testing and inspection by the City

- A. Subgrade and formwork for sidewalks shall be inspected by the City prior to pouring of the sidewalk.
- B. All testing of materials and construction shall be provided and paid for by the Developer/Owner.
- C. All field tests required for a project shall be witnessed by the City, contractor, or their authorized representatives.
- D. All testing shall be accomplished by a testing firm approved by the City and shall be performed under the supervision of a licensed Professional Engineer.
- E. Sampling and testing locations shall be subject to approval by the City.
- F. Density tests on subgrades shall be taken every 300 feet or portion thereof.
- G. The City shall be notified at least one day in advance of the need to inspect subgrade and formwork of sidewalks.

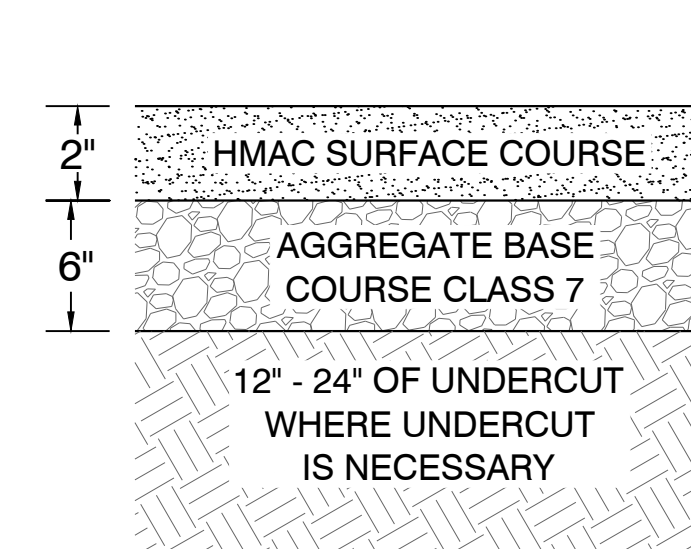
Subgrade

- A. Subgrade soils shall be all materials used for subgrade including in-situ materials and fill materials.
- B. Subgrade shall be compacted to 90 percent modified proctor density minimum. Moisture content shall be +/- 3% of optimum moisture unless otherwise supported by the site specific geotechnical data and approved by City.
- C. Subgrade shall be prepared in such a manner that the base course shall be placed on a firm foundation that is stable and free from soft spots, pumping, dust pockets, wheel ruts, or other defects.
- D. The top 24 inches of the subgrade shall be a material not susceptible to frost action unless modified with cement, lime or another method approved specifically by the City to resist frost action. Soils classified as A-4 and A-5 including sandy silts, fine silty sand or lean clays are highly susceptible to frost action.

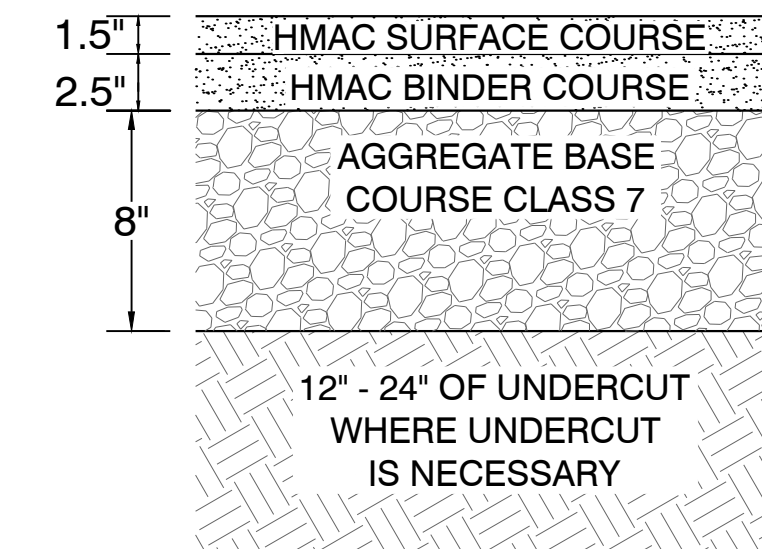
QUALITY CONTROL TESTING AND INSPECTIONS

General

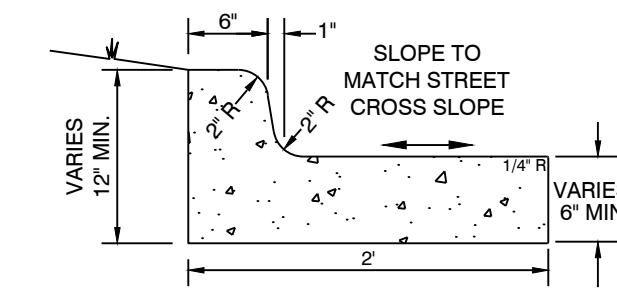
- A. Materials and construction employed in street improvements shall be subject to inspection and quality control testing. All testing of materials and construction shall be provided and paid for by the Developer/Owner.
- B. The Developer/Owner shall provide for inspections of street improvements during construction. The inspections shall be accomplished under the supervision of the Engineer of Record. The Engineer of Record shall provide certification that all materials and construction conform to the approved plans and specifications and with these minimum street standards.
- C. The Engineer of Record shall furnish inspection whenever a critical construction activity is taking place. This means that a representative of the Engineer of Record must be on-site whenever a critical construction activity is taking place.
- D. All field tests required for a project shall be witnessed by the City, Engineer of Record, contractor, or other authorized representatives.
- E. The City shall be notified at least one day in advance of any test(s). It is the responsibility of the contractor to coordinated the scheduling of all tests with the City.



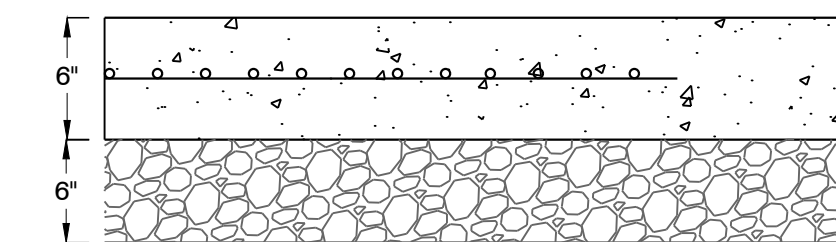
STANDARD PAVEMENT SECTION
NOT TO SCALE



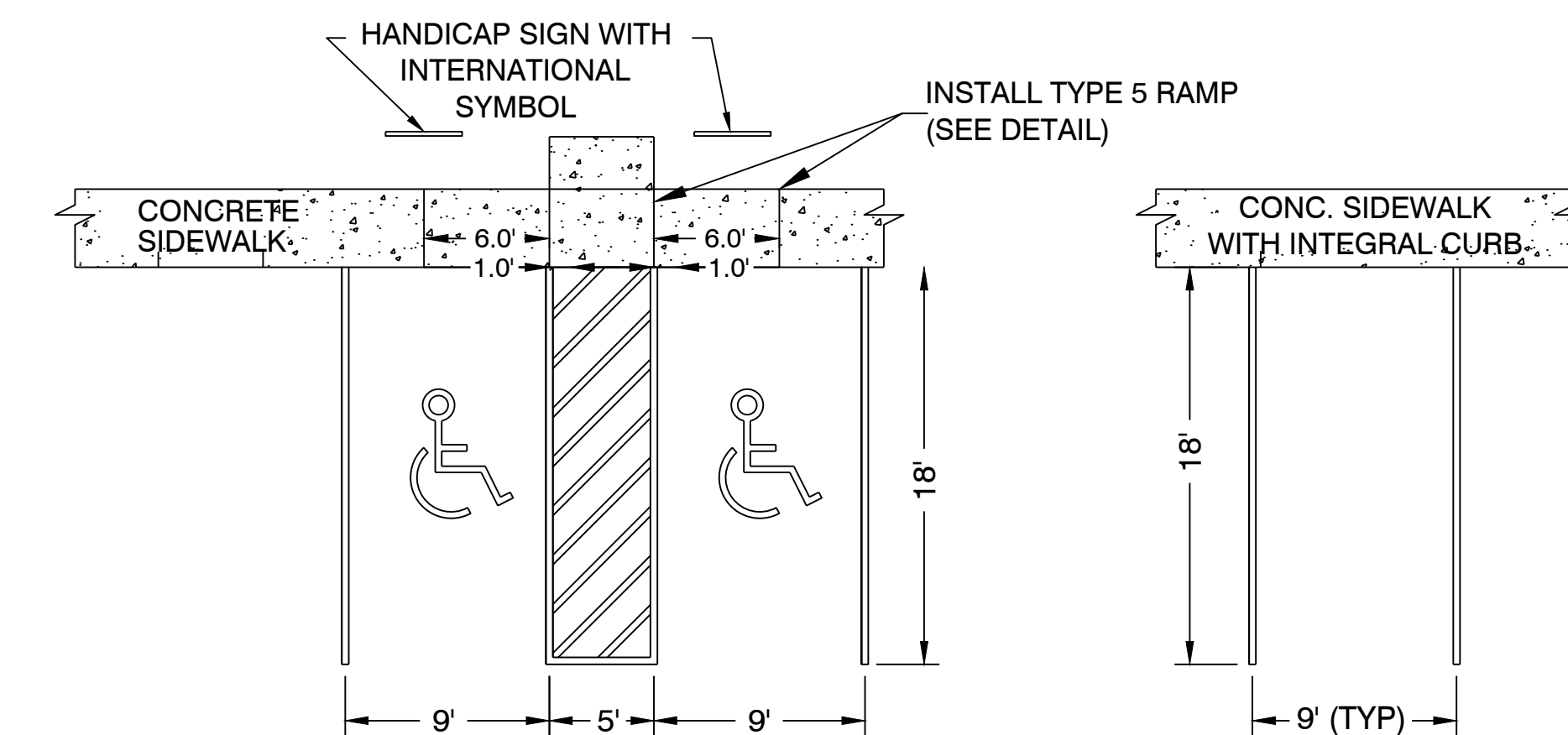
HEAVY PAVEMENT SECTION
NOT TO SCALE



TYPICAL CURB AND GUTTER DETAILS
4,000 PSI CONCRETE
NOT TO SCALE



CONCRETE PAVEMENT SECTION DETAIL
4,000 PSI
NOT TO SCALE

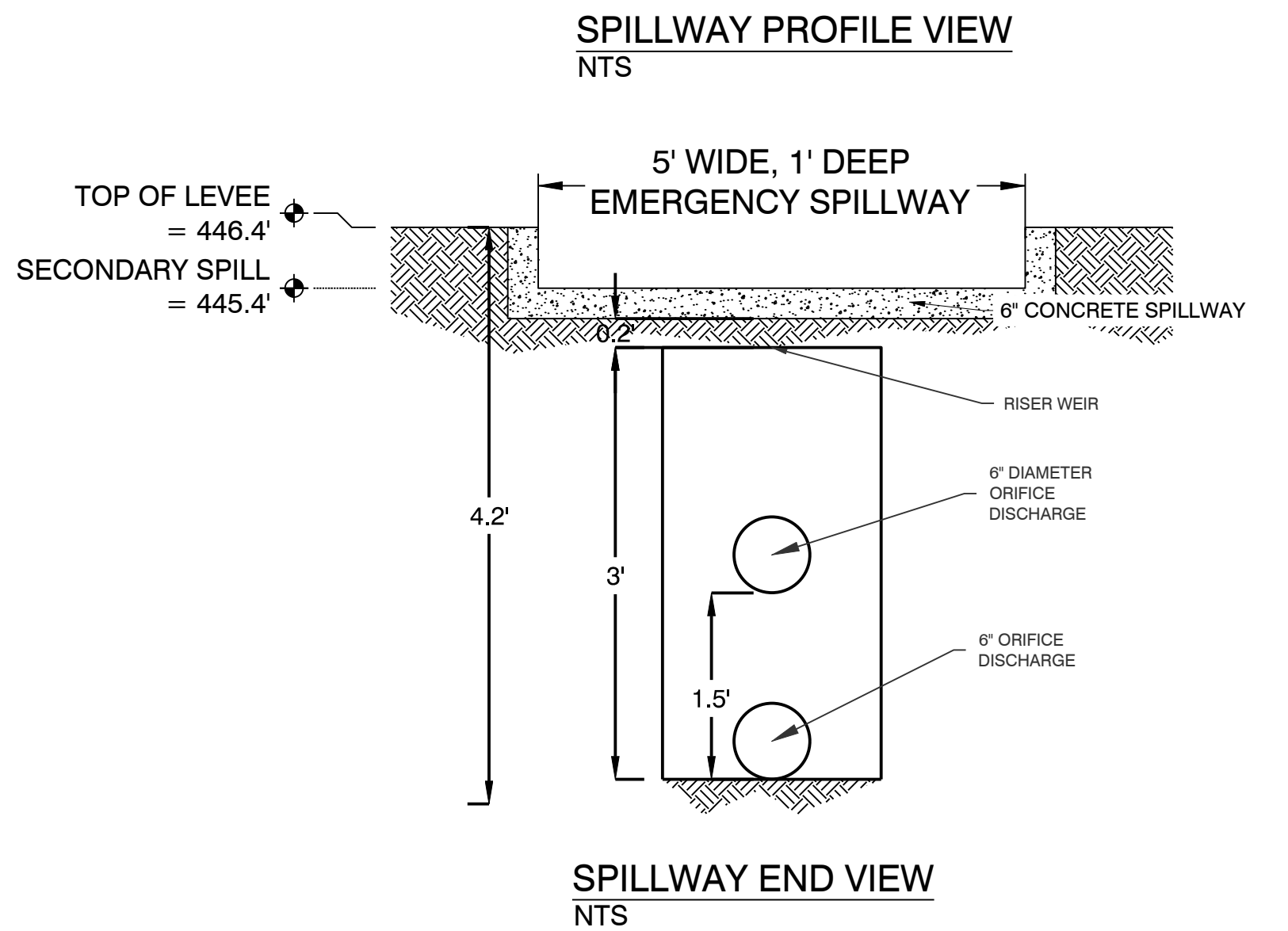
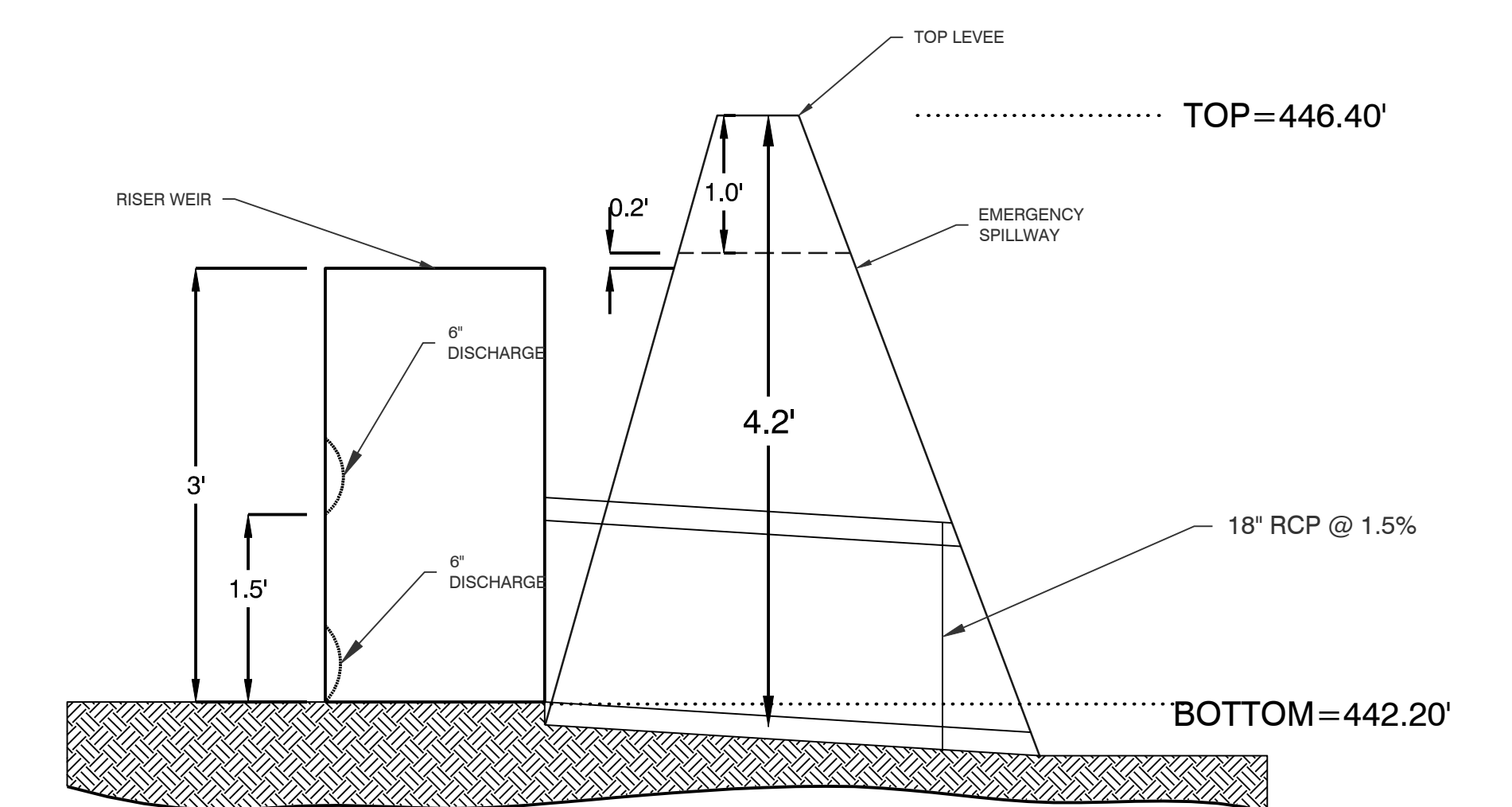
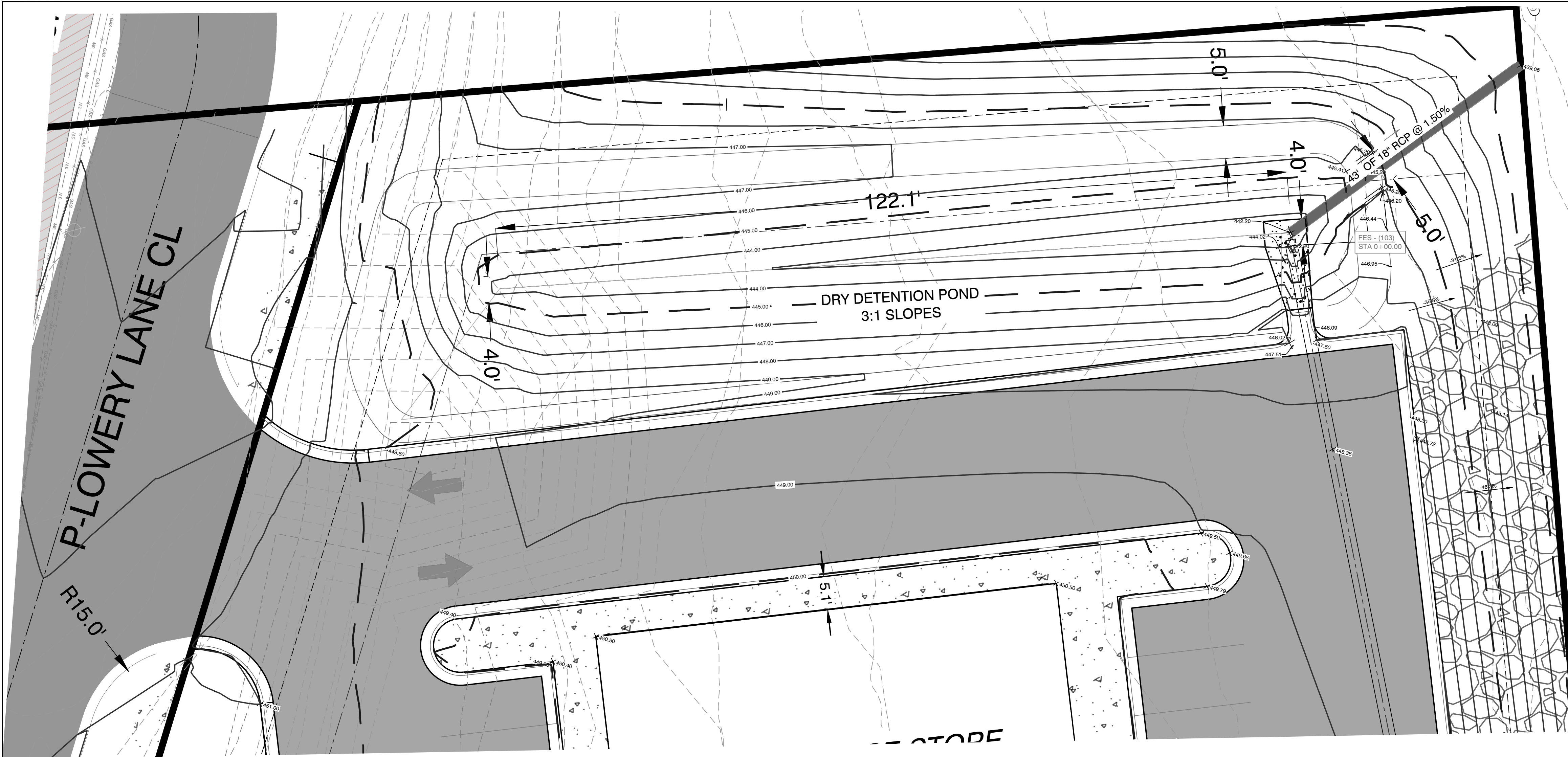


USE DIMENSIONS ABOVE UNLESS OTHERWISE NOTED

PARKING STALL & SIDEWALK DETAIL
NOT TO SCALE

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FOR USE AND BENEFIT OF: STANDARD DEVELOPMENT COMPANY, LLC		
BRYANT C-STORE CIVIL SPECS BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 01/05/2022	CHECKED BY:	21-0275
SHEET: C-5.0	SCALE:	
500	01S	14W 0 15/22 304 62 1762

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DETENTION POND MAINTENANCE PLAN

Background
 The detention pond is located along the north boundary of the property. The modifications are designed to temporarily detain stormwater to meet the City of Bryant's water quantity criteria before discharging from the pond.

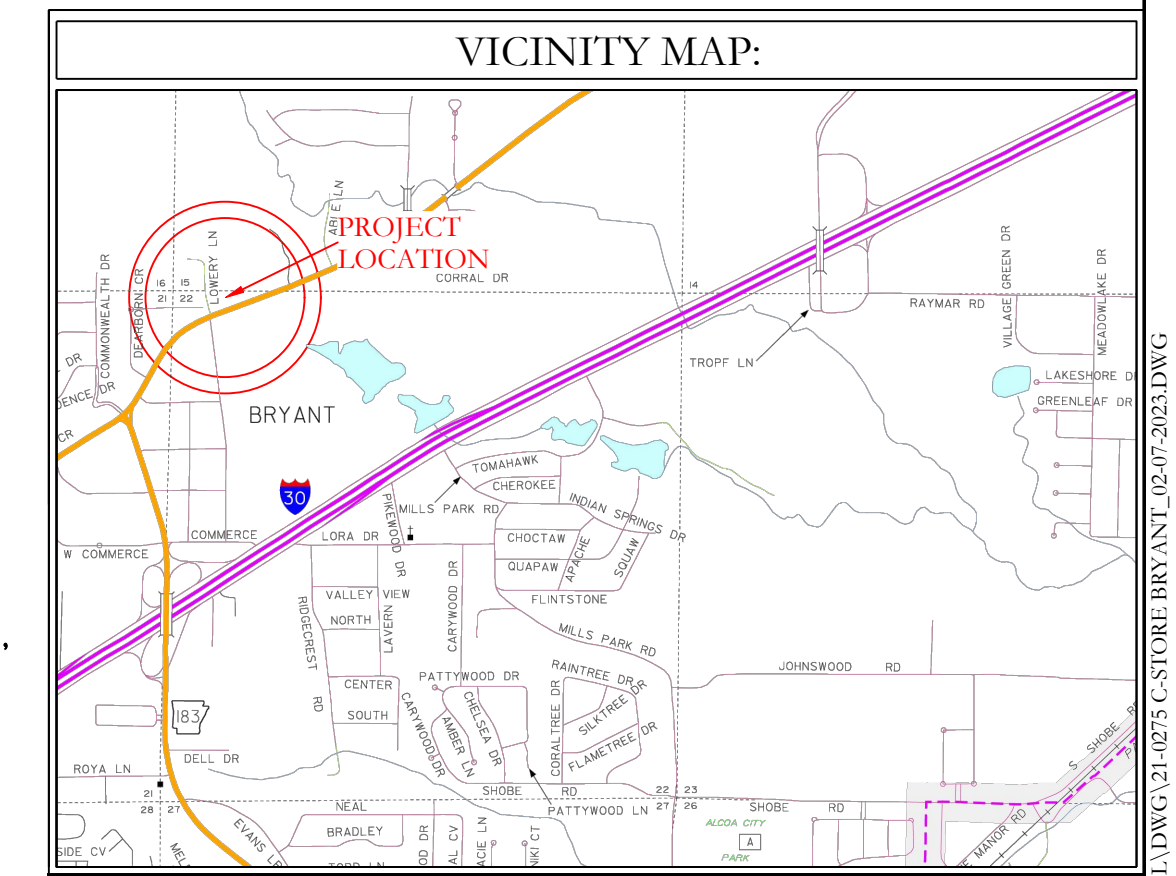
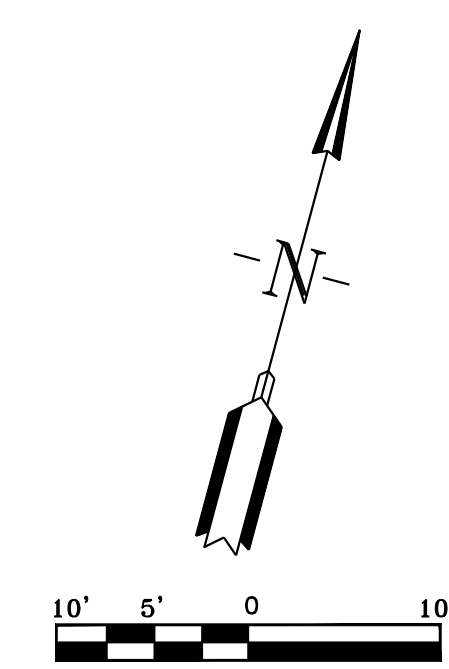
Routine Maintenance
 Routine maintenance will include but not be limited to:
 -The primary discharge (1 HDPE Pipe) from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.
 -Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.
 -Inspect the pond and discharge weir for non-routine maintenance need.

Periodic or Non-Routine Maintenance
 The routine inspection of the pond area and discharge weir will identify needed repairs and non-routine maintenance. These items may include but not be limited to:
 -Bottom of pond will be sodded (except where trickle channel is located).
 -Embankments sloped 2:1 will be concrete stabilized, 3:1 slopes shall be sodded
 -Re-growth of trees on or around the pond bank shall be cut and removed from the pond area.
 -Stabilization of slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
 -Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.

For questions or concerns about the pond, contact ___ at 501-___-___.

EARTHEN SLOPE NOTE:
 ALL EARTHEN DETENTION POND SLOPES ON BOTH THE INTERIOR AND EXTERIOR OF THE POND SHALL HAVE A MAXIMUM SLOPE OF 3:1.

- NOTE:**
1. DETENTION POND WILL BE REQUIRED TO BE STABILIZED WITH SOLID SOD STABILIZATION PER THE STORM WATER MANAGEMENT MANUAL.
 2. DETENTION POND WILL HAVE A 5' WIDE LEVEE.
 3. DRAINAGE DITCH LEADING TO NEW DETENTION POND WILL REQUIRE SOLID SOD STABILIZATION PER THE STORM WATER MANAGEMENT MANUAL.
 4. DETENTION POND WILL REQUIRE CONCRETE TRICKLE CHANNELS.

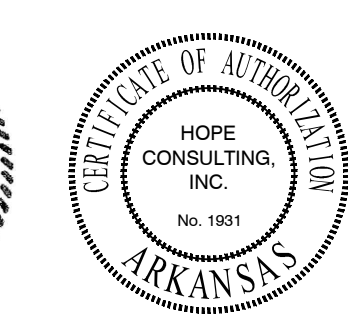


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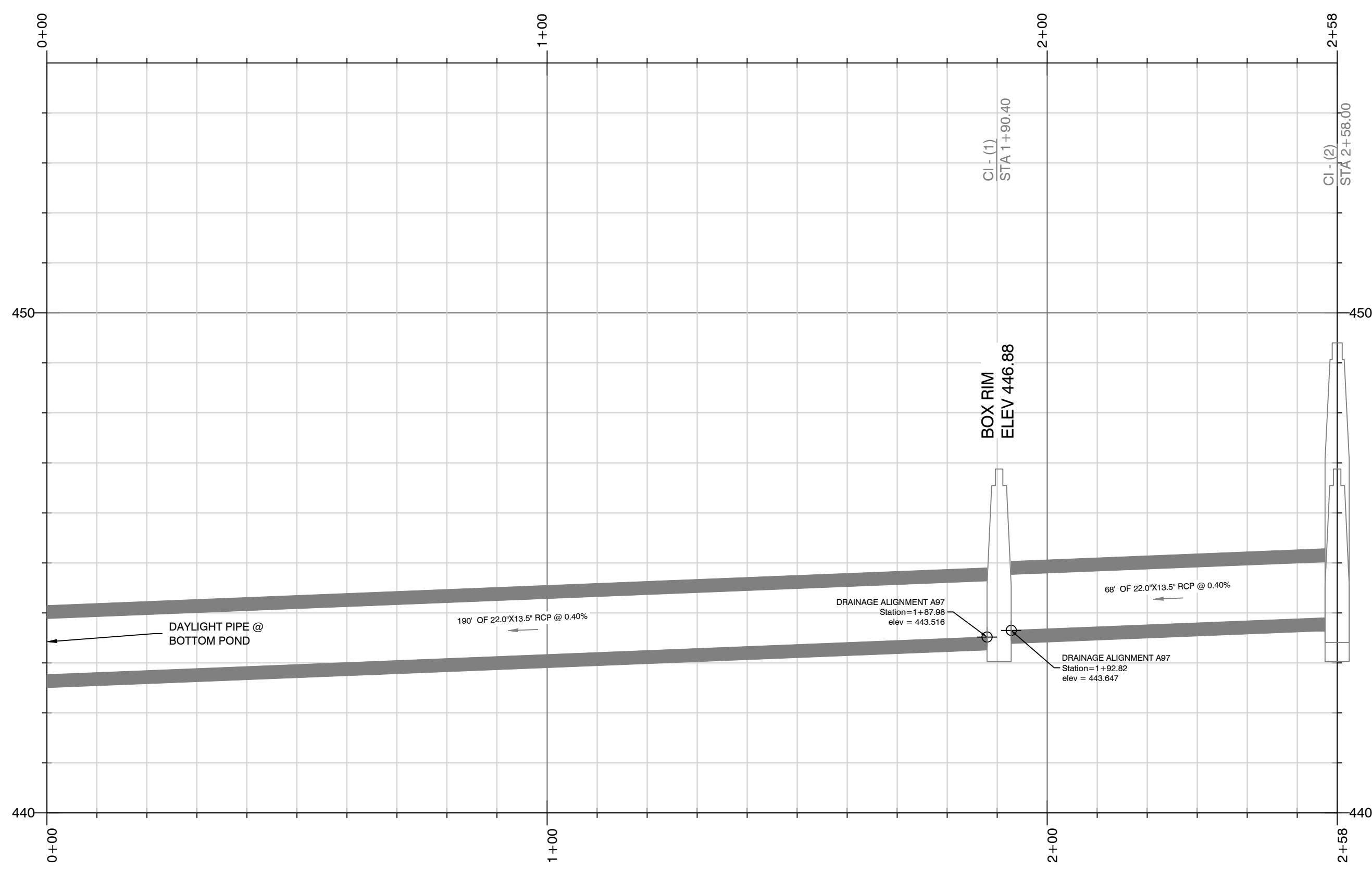
FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

**BRYANT C-STORE
 DETENTION PLAN**
 BRYANT, SALINE COUNTY, ARKANSAS

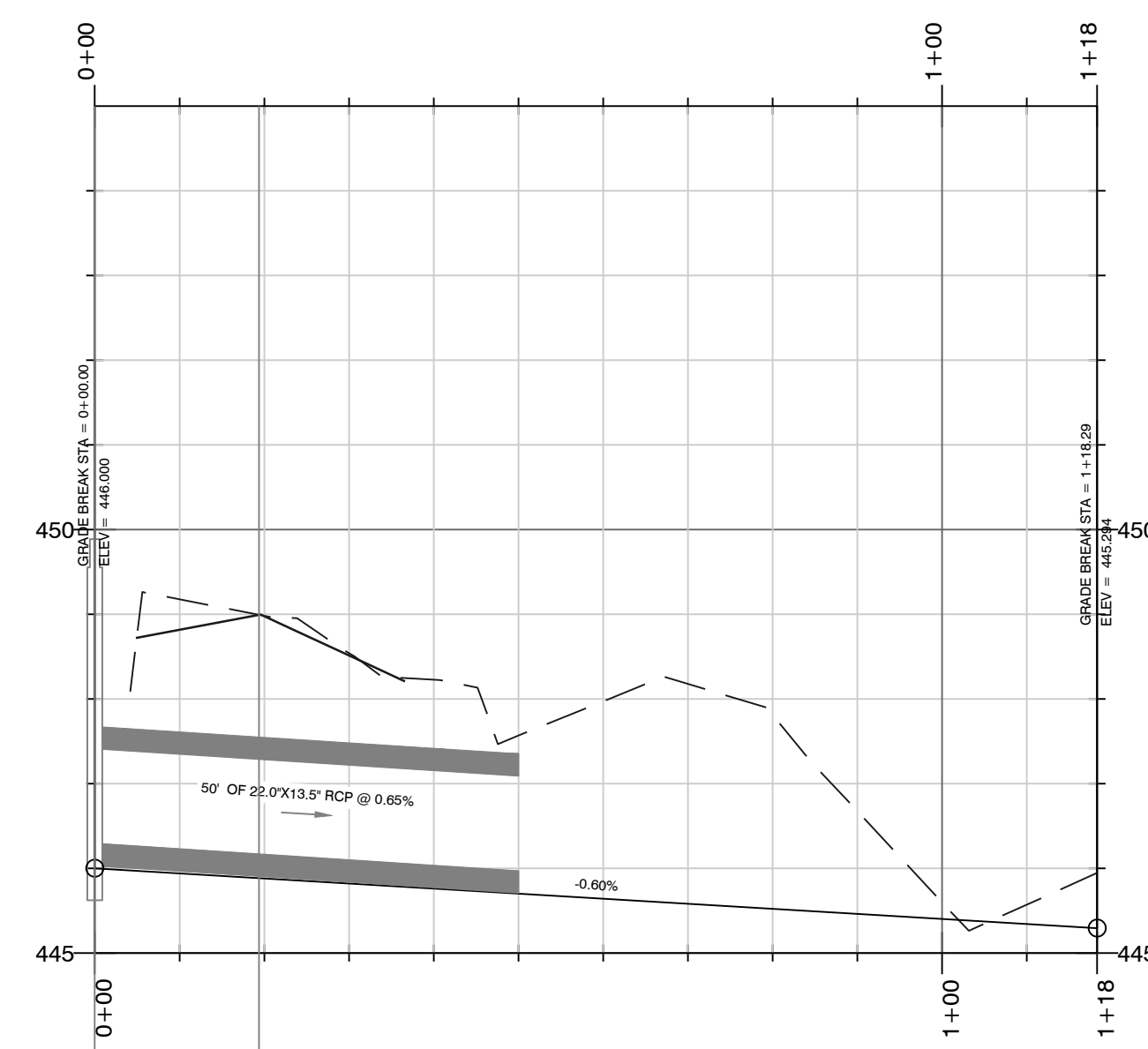
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REVISION:	02/23/2023	CHECKED BY:		21-0275
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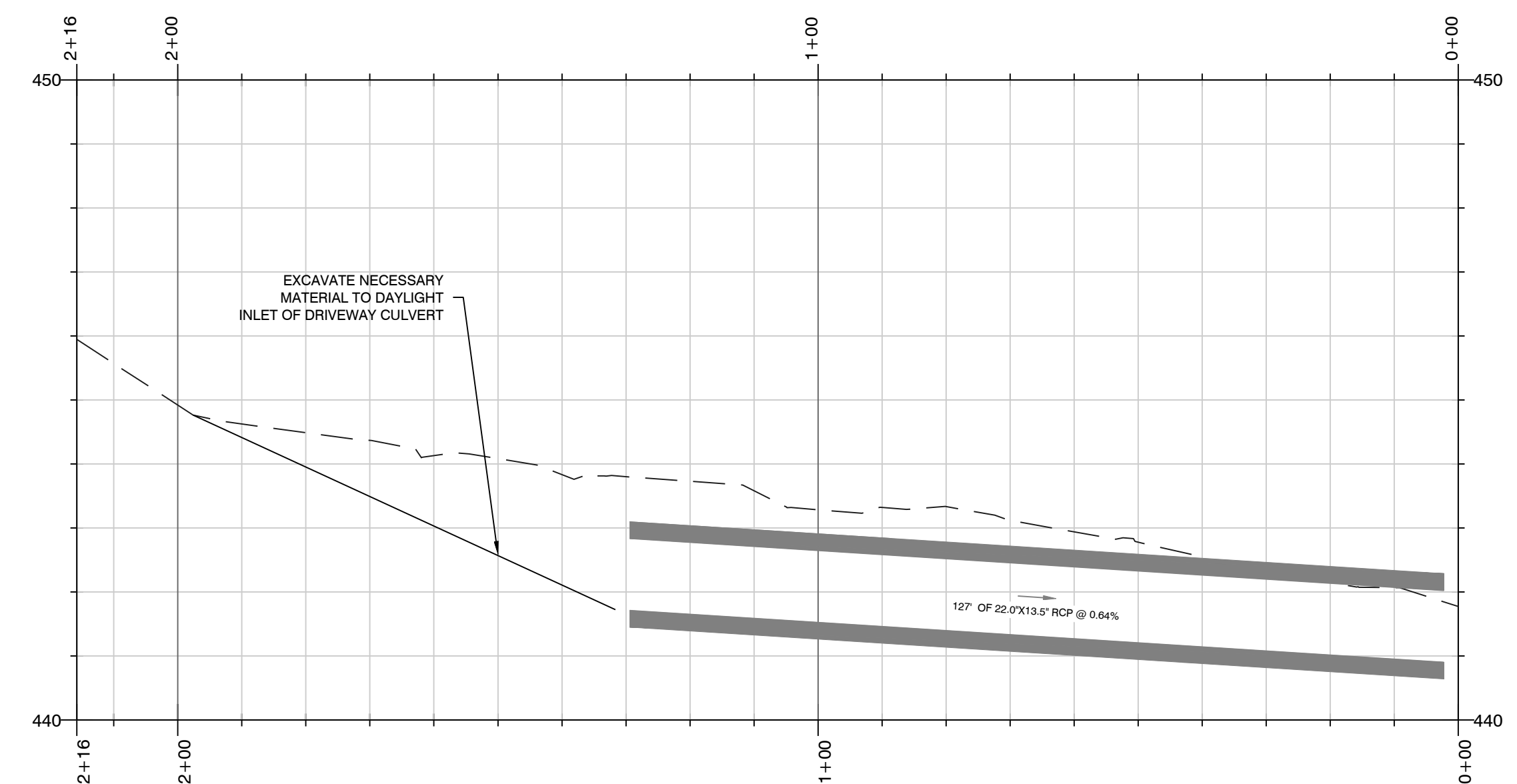
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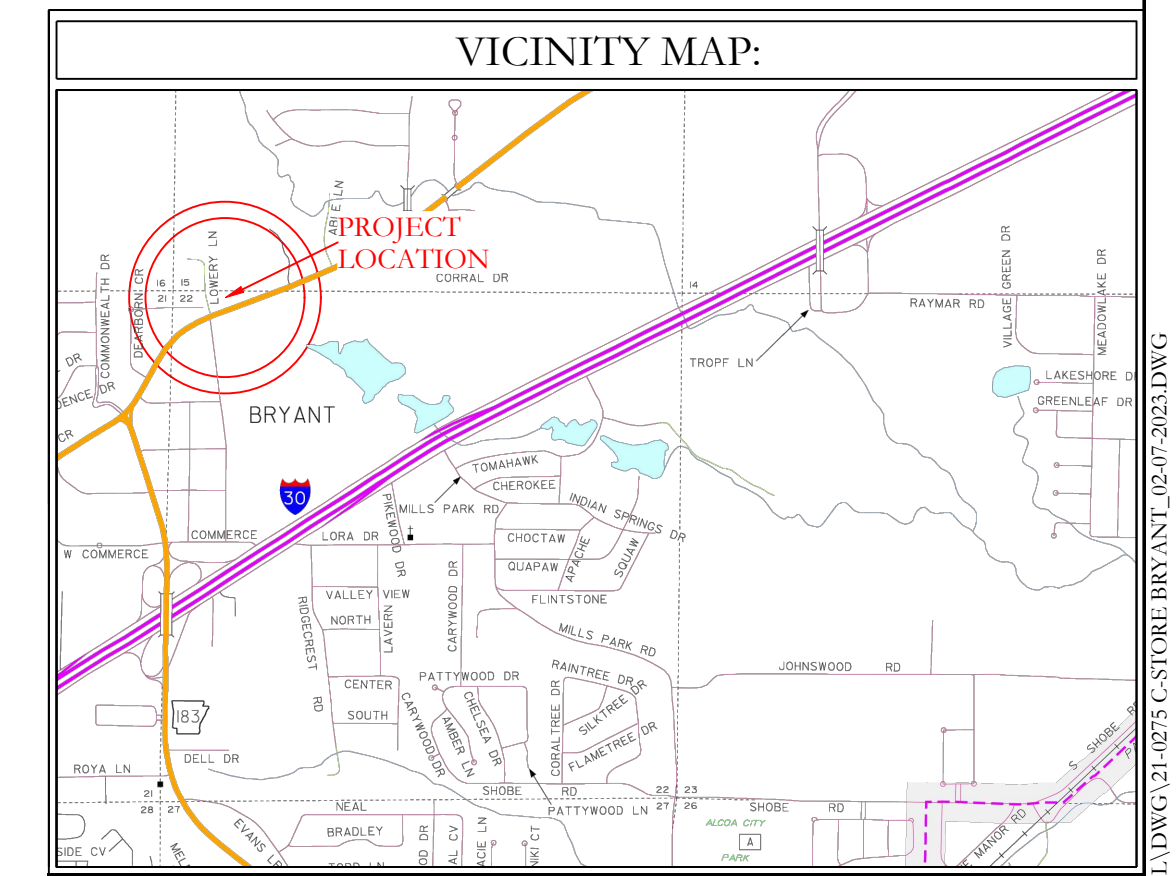
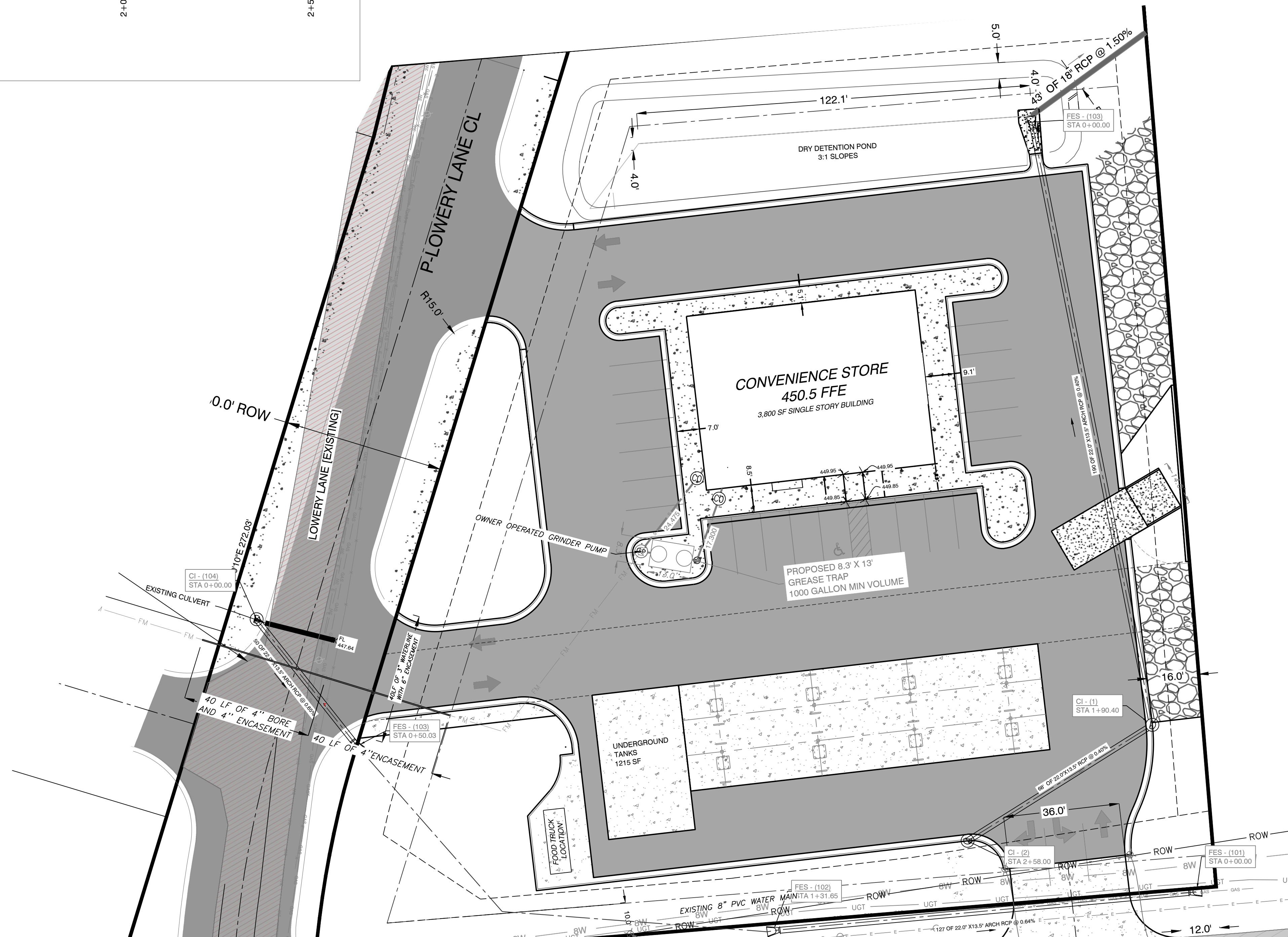
PROFILE [H:V 10:1]
DRAINAGE ALIGNMENT A (1)



PROFILE [H:V 10:1]
New Storm Crossing



PROFILE [H:V 10:1]
DRIVEWAY CULVERT ALIGNMENT- (1)



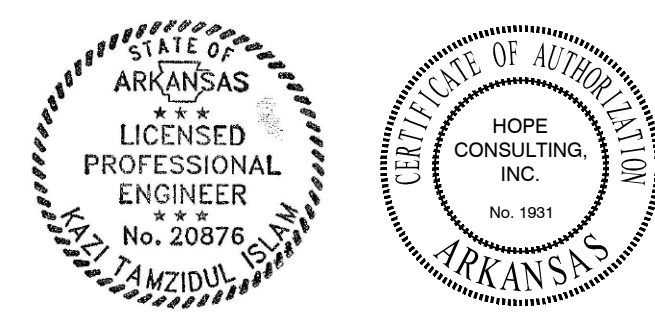
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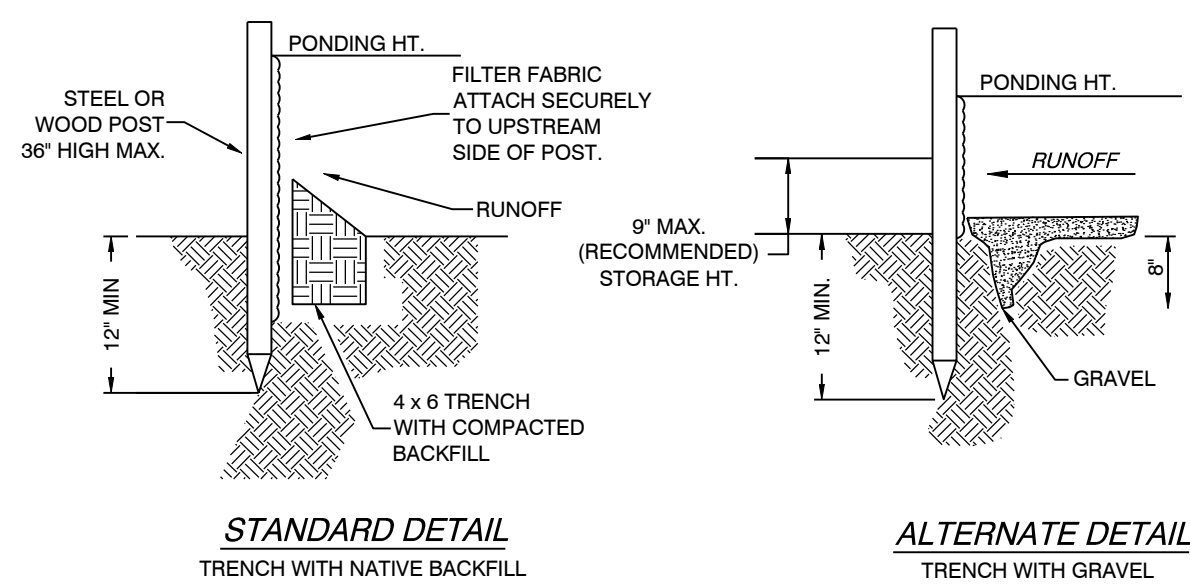
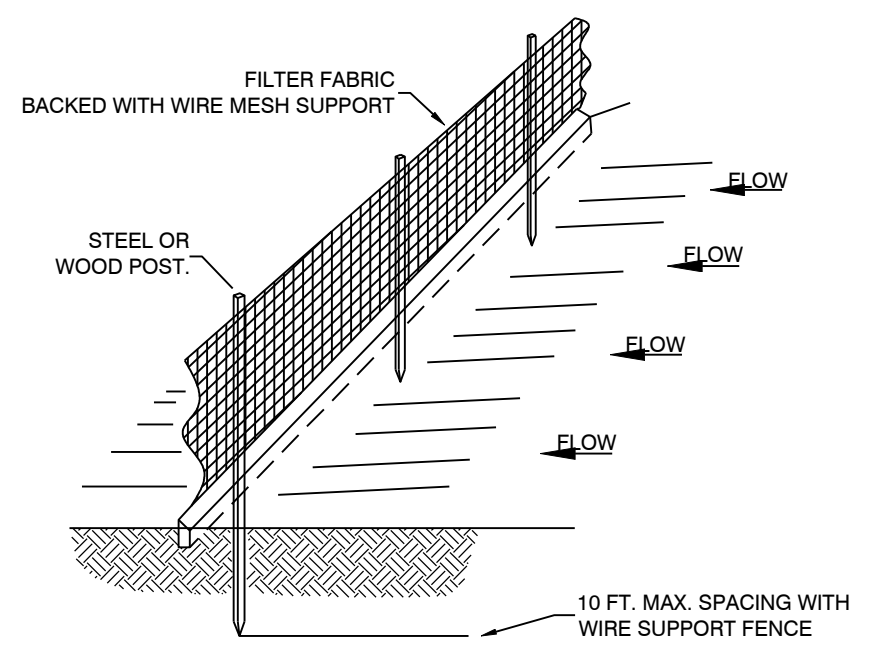
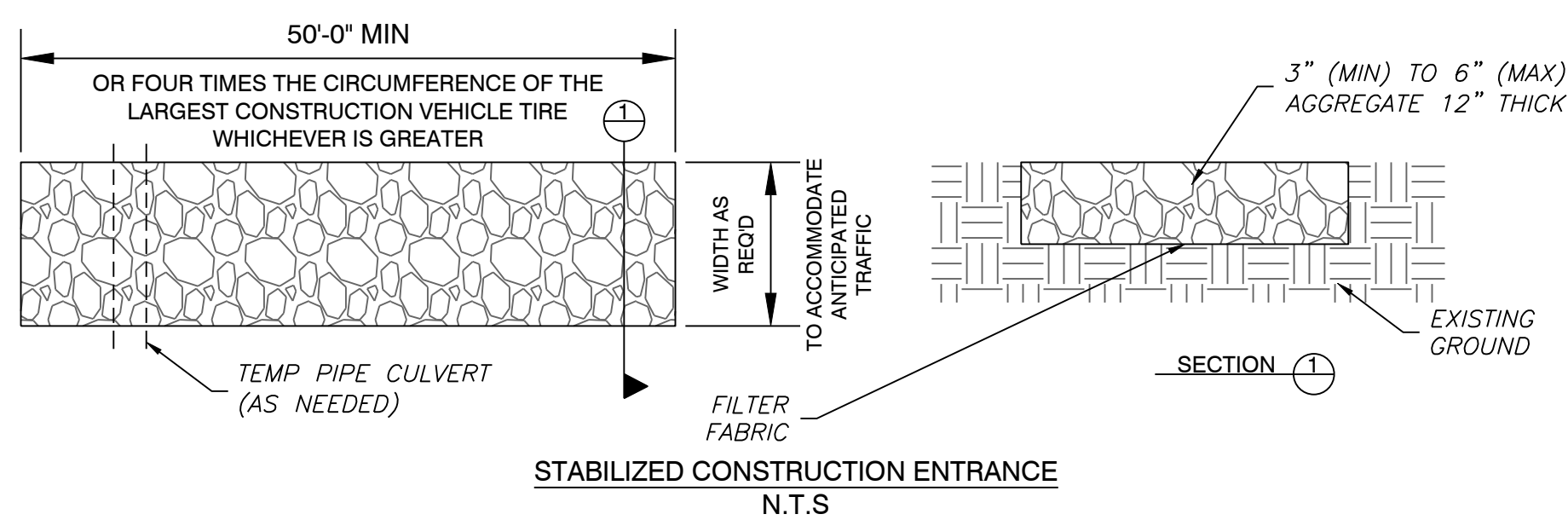
FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

**BRYANT C-STORE
DRAINAGE PLAN**
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISID: 02/23/2023	CHECKED BY:	21-0275
SHEET: C-6.1	SCALE:	
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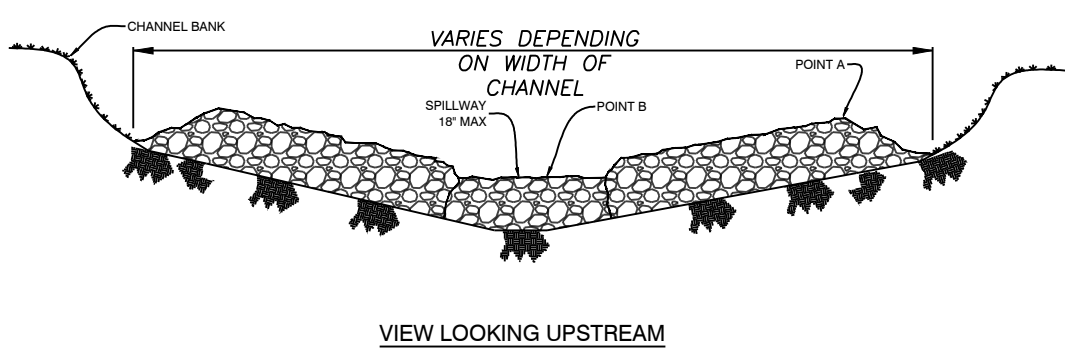
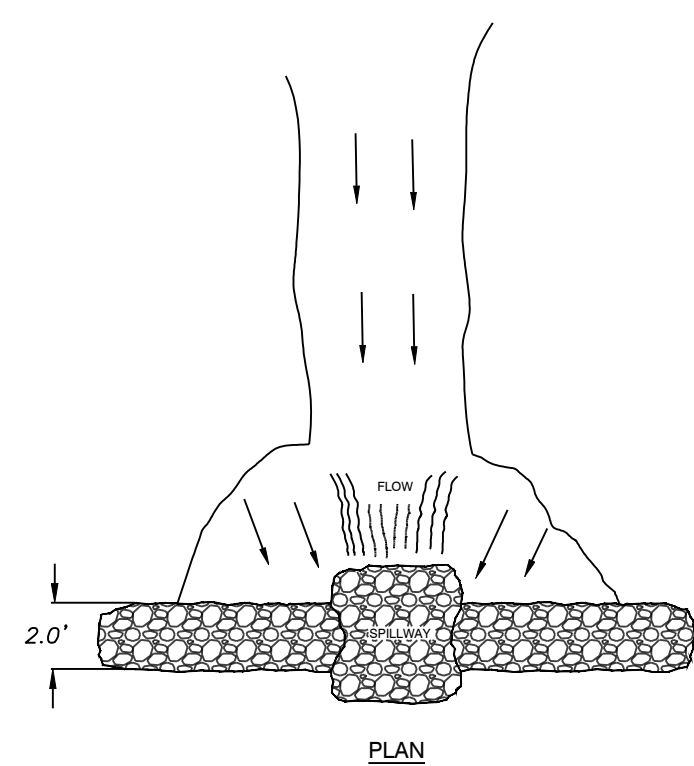


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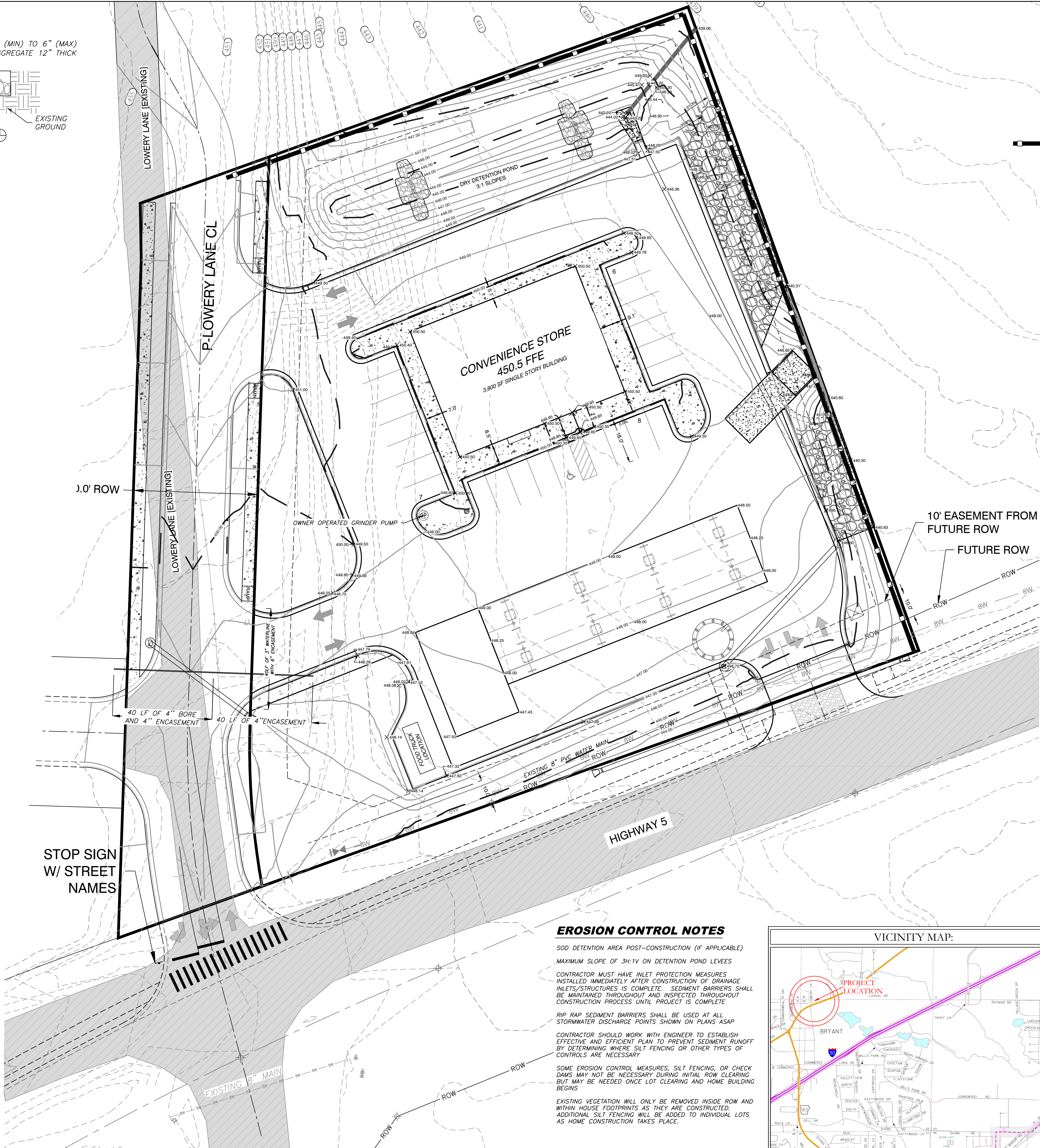
- NOTE:
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE



- NOTES:
- 1) POINT 'A' MUST BE HIGHER THAN POINT 'B' (SPILLWAY HEIGHT)
 - 2) PLACE RIP RAP BARRIER PERPENDICULAR TO THE FLOW WITH TIGHT GROUPINGS. USE STRAW, ROCKS, OR FILTER FABRIC TO FILL ANY GAPS AND TAMP BACKFILL MATERIAL TO PREVENT EROSION ON TOP OF DAM.
 - 3) SPILLWAY HEIGHT SHALL NOT EXCEED 18"
 - 4) INSPECT AFTER EACH SIGNIFICANT STORM. MAINTAIN AND REPAIR PROMPTLY.

RIP-RAP CHECK DAM

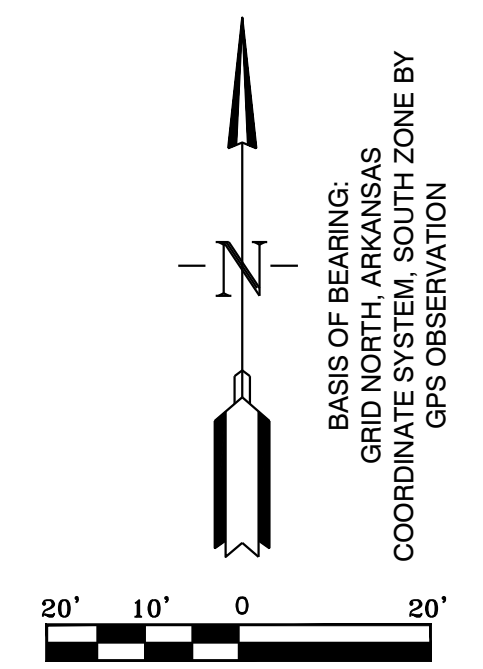


ERC LEGEND

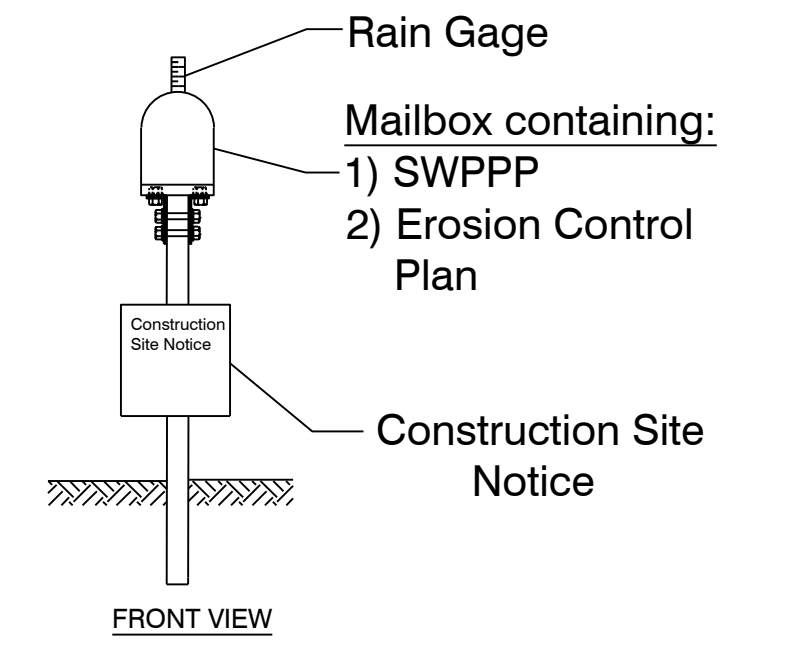
- ☒ SITE POSTING/ RAIN GAUGE
- ⊙ CONC. WASHOUT DETENTION AREA
- SILT FENCE
- ⊕ RIP RAP CHECK DAM
- ▨ CONSTRUCTION ENTRANCE
- ▨ DISTURBED AREA
- TRASH CONTAINER
- PORTABLE TOILET

ORDINANCE NO. 2019-32 ARTICLE IV. (2)(J):

DEADLINES FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED. DEADLINE FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY PERMANENTLY CEASES. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.

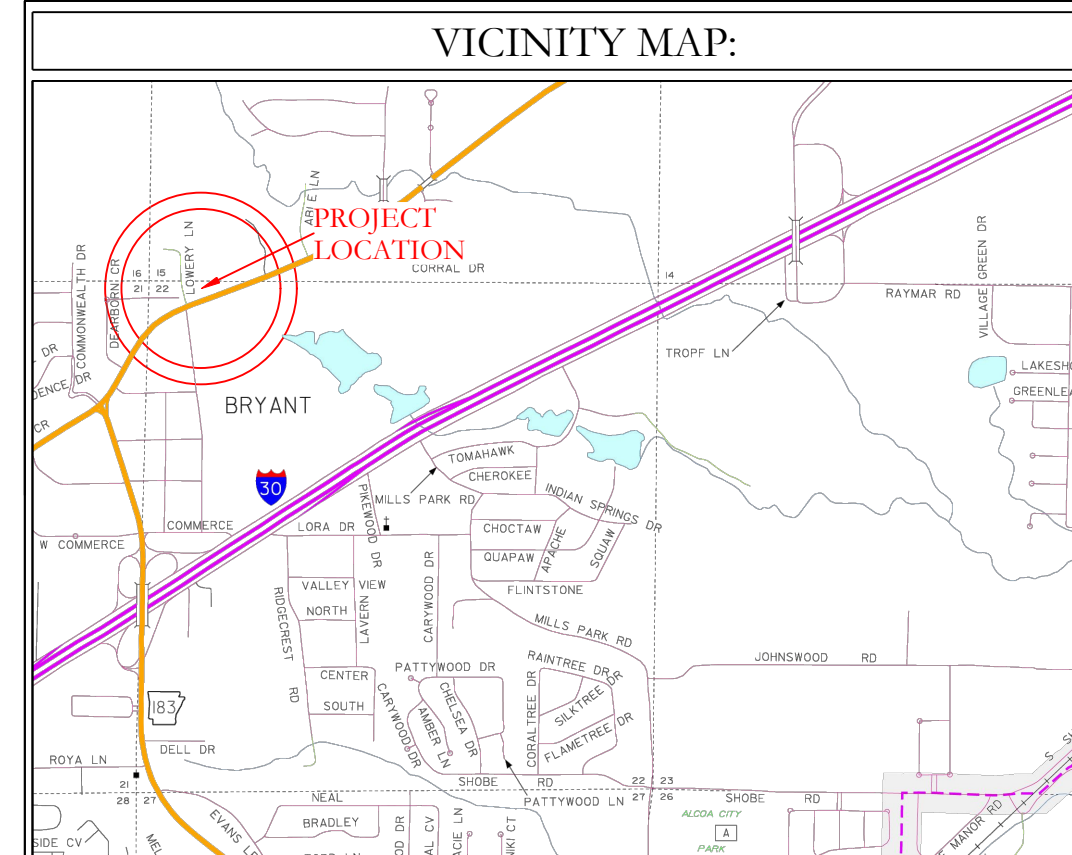


TYPICAL SITE POSTING:



EROSION CONTROL NOTES

- SOD DETENTION AREA POST-CONSTRUCTION (IF APPLICABLE)
MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEVES
- CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE.
- RIP RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP
- CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY
- SOME EROSION CONTROL MEASURES, SILT FENCING, OR CHECK DAMS MAY NOT BE NECESSARY DURING INITIAL ROW CLEARING BUT MAY BE NEEDED ONCE LOT CLEARING AND HOME BUILDING BEGINS
- EXISTING VEGETATION WILL ONLY BE REMOVED INSIDE ROW AND WITHIN HOUSE FOOTPRINTS AS THEY ARE CONSTRUCTED. ADDITIONAL SILT FENCING WILL BE ADDED TO INDIVIDUAL LOTS AS HOME CONSTRUCTION TAKES PLACE.



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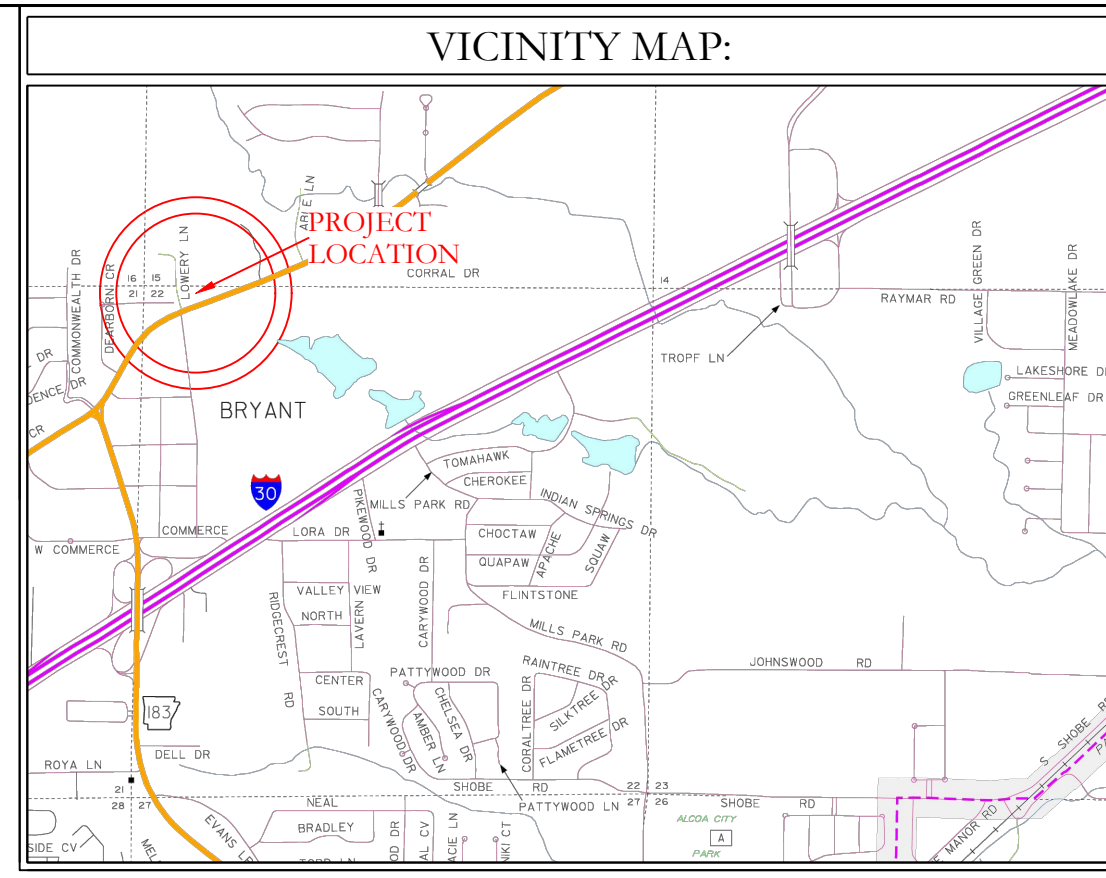
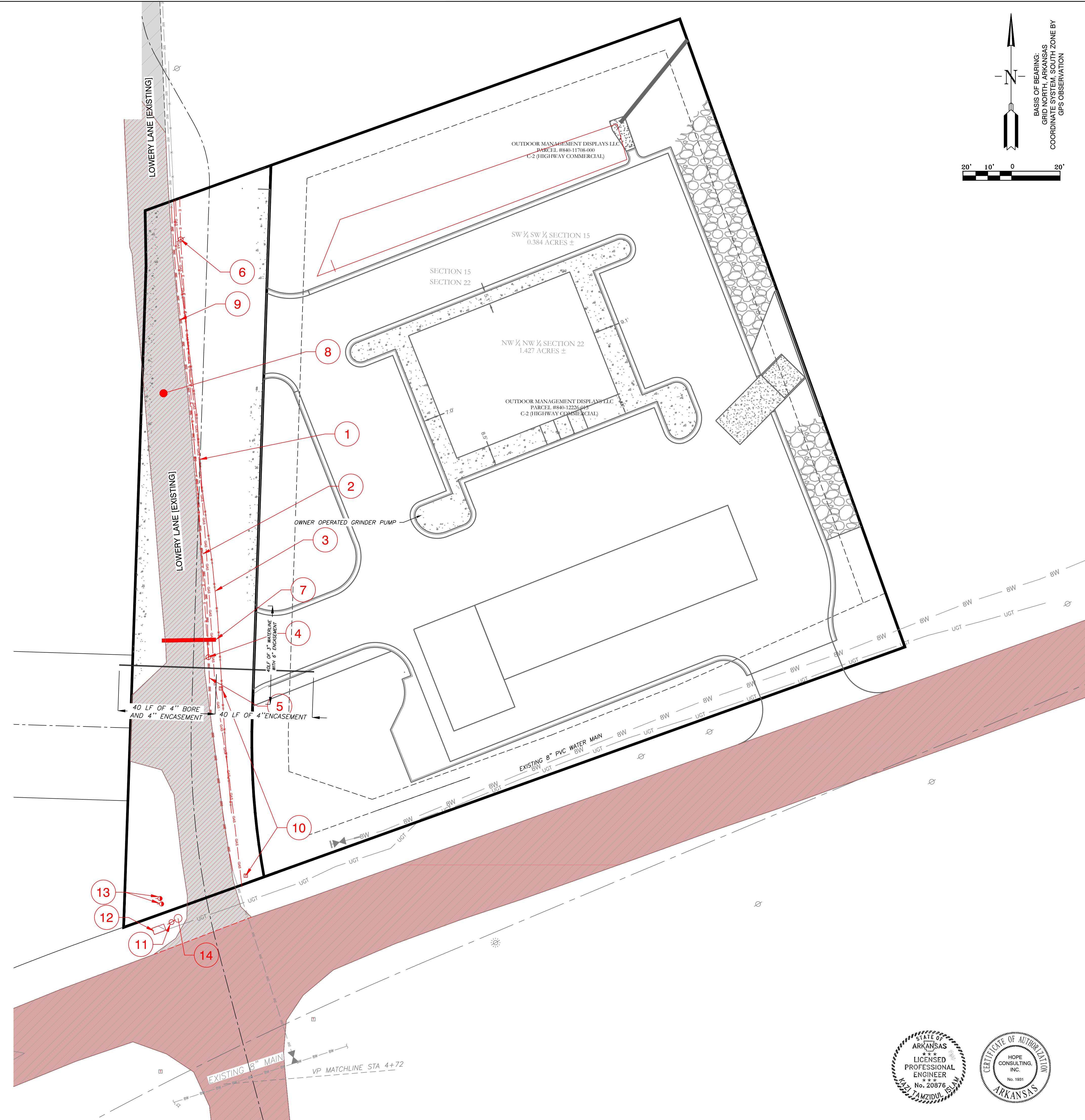
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FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

BRYANT C-STORE
EROSION CONTROL PLAN
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISID: 02/23/2023	CHECKED BY:	21-0275
SHEET: C-7.0	SCALE:	
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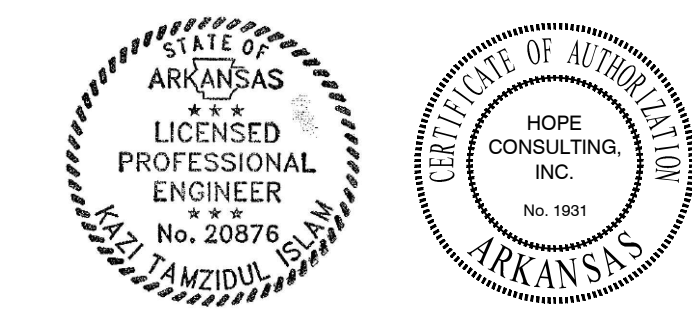


DEMOLITION KEY NOTES

1. GAS MAIN REMOVAL: COORDINATE WITH GAS MAIN
2. REMOVE EXISTING 3" WATER MAIN
3. REMOVE EXISTING FENCE
4. REMOVE POWER POLE
5. REMOVE 3" WATER MAIN
6. REMOVE POWER POLE
7. REMOVE EXISTING 18" CULVERT
8. OVERLAY EXISTING ASPHALT OR DEMO AND REMOVE WHERE NECESSARY
9. HWY 5 PAVEMENT WILL BE DEMOLISHED AND REPLACED BY ARDOT IN UPCOMING IMPROVEMENT PROJECT
10. REMOVE EXISTING TELEPHONE BOX
11. REMOVE POWER POLE - COORDINATE LOCATION
12. REMOVE GUY WIRE ANCHORS
13. REMOVE COMMUNICATION PULL BOX & FIBER RISER - COORDINATE LOCATION
14. REMOVE & RELOCATE STOP STOP SIGN

GENERAL UTILITY LEGEND

- — — — — OVERHEAD POWER
- — — — — WATER MAIN
- — — — — EXISTING SEWER
- ⊗ POWER POLE REMOVE
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING SEWER
- — — — — REMOVE FENCE
- — — — — WATER LINE TO BE REMOVED/REPLACED
- — — — — OVERHEAD POWER REMOVE POWER
- — — — — REMOVE GAS
- ☐ TELEPHONE/COMMUNICATIONS



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**BRYANT C-STORE
 DEMO PLAN**
 BRYANT, SALINE COUNTY, ARKANSAS

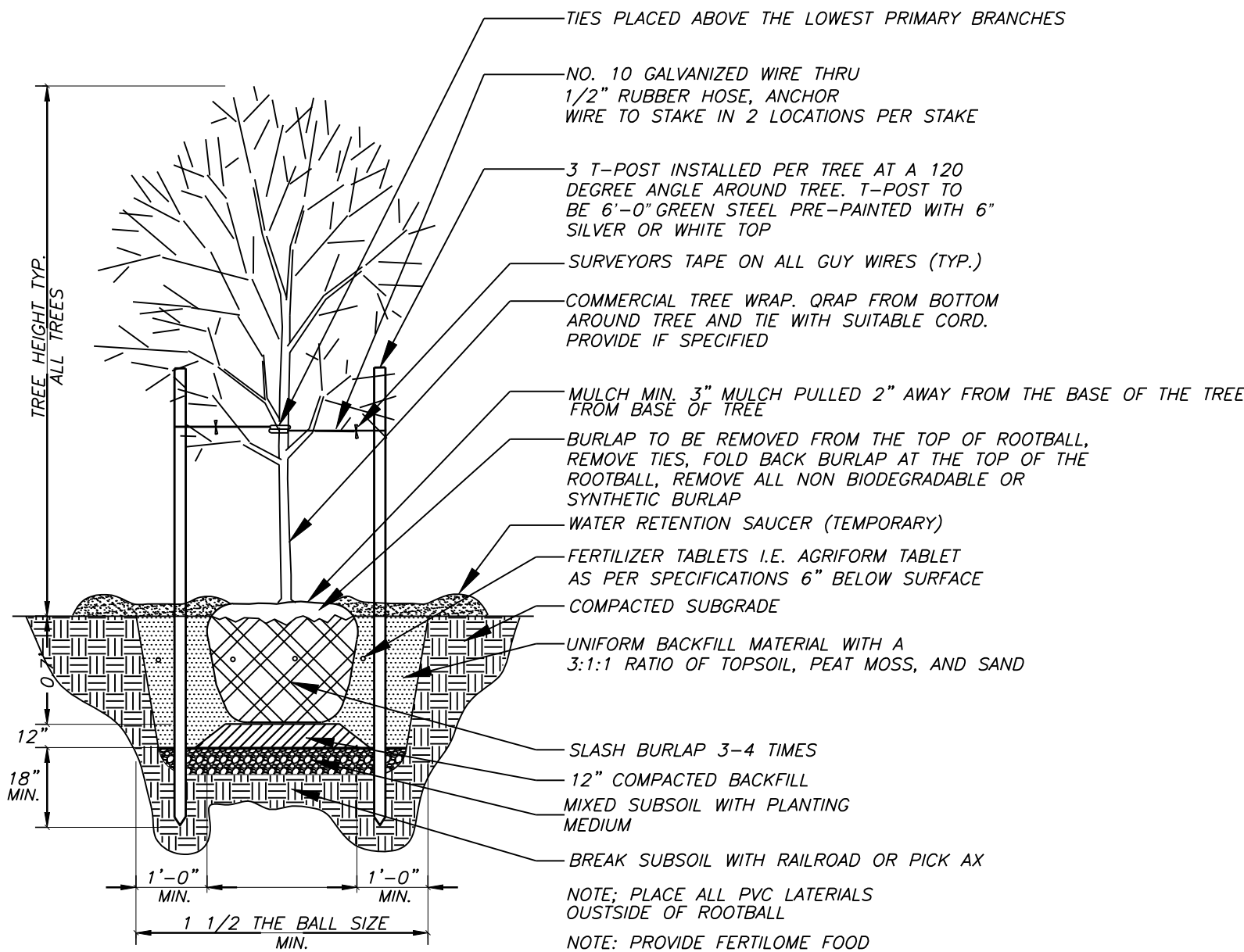
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REVISED:	01/23/2023	CHECKED BY:		21-0275
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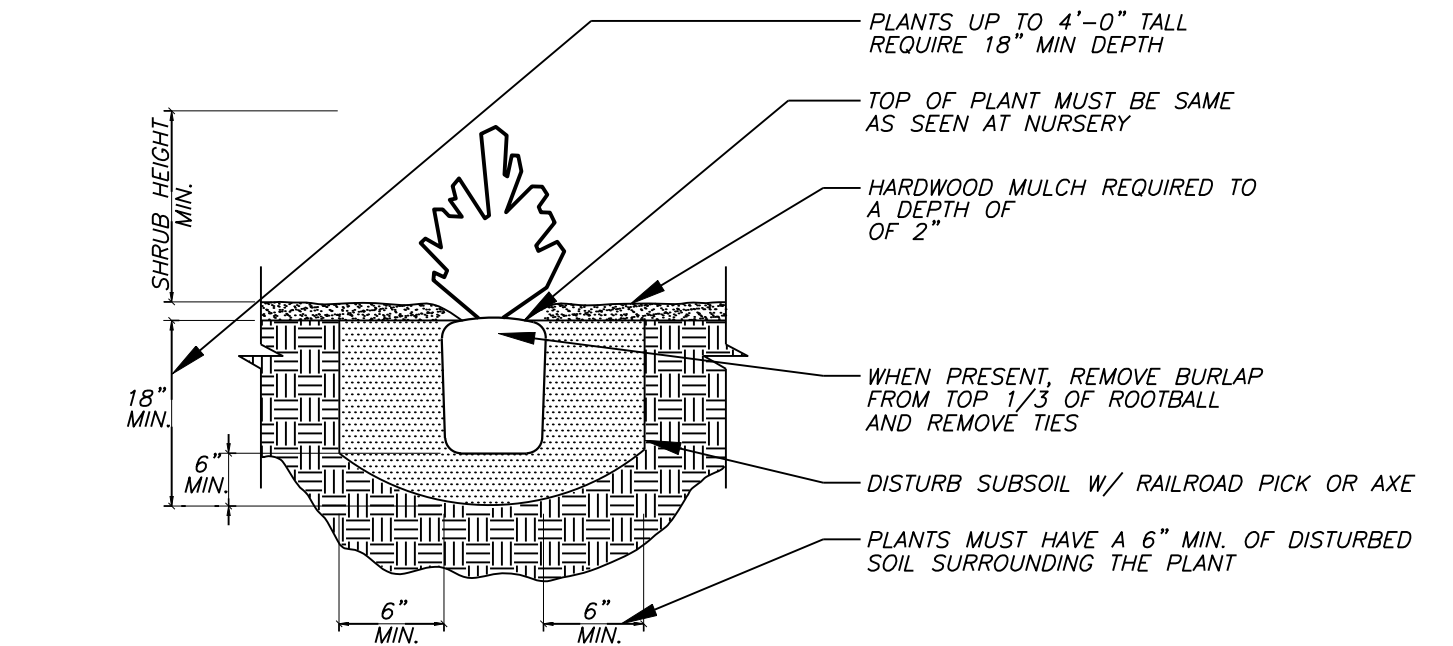
LANDSCAPE LEGEND

COMMON NAME:	SCIENTIFIC NAME:	HEIGHT AT MATURITY:	QTY. (REQUIRED)
EVERGREEN/ 2000SF	CHOOSE FROM LIST OF SPECIES INCLUDED IN CITY OF BRYANT LANDSCAPING CODE	-	3
SHURBS			
COMPACTA HOLLY - 6" O.C. - 5 GAL.	ILEX CRENATA	6'-0"	0
CANOPY TREE	CHOOSE FROM LIST OF SPECIES INCLUDED IN CITY OF BRYANT LANDSCAPING CODE		9
SOD	BERMUDA		21360.0 SF
PLANTERS	N/A		247 SF (150)

NOTE: PLANTS TO BE INSTALLED SLIGHTLY HIGHER THAN GRADE ALLOWING FOR POSITIVE DRAINAGE AND SETTLING



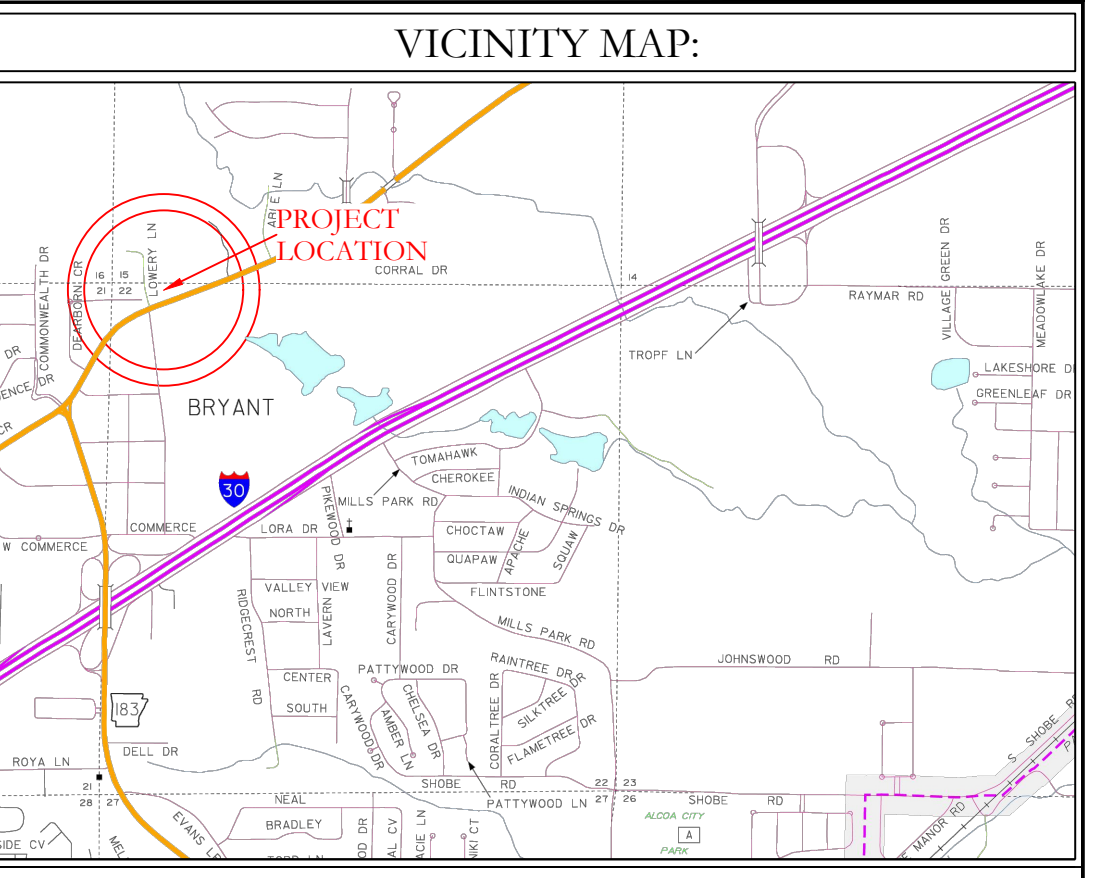
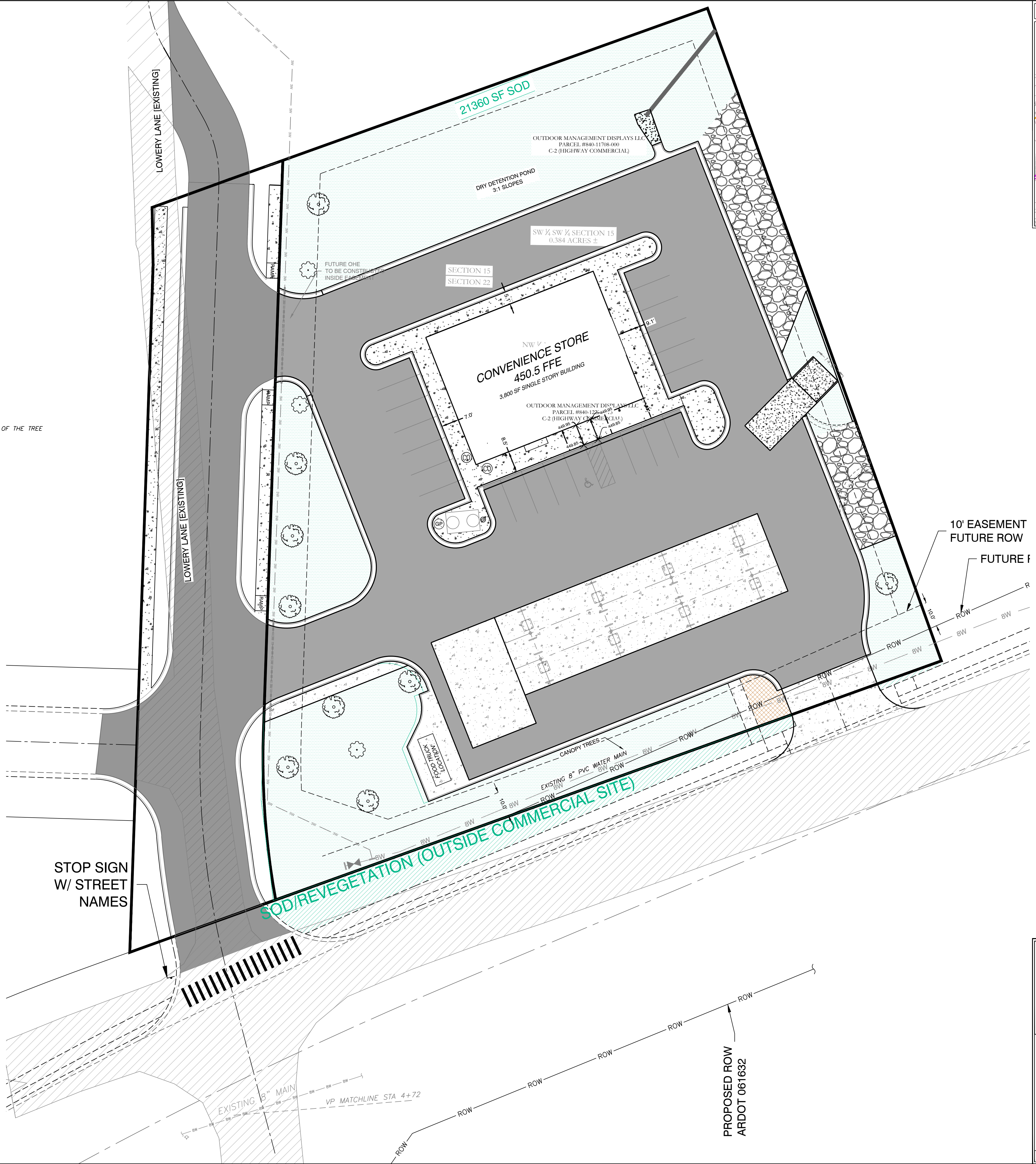
1 TREE PLANTING DETAIL
NO SCALE



2 SHRUB PLANTING DETAIL
NTS

MAINTENANCE OF LANDSCAPING

THE OWNER, TENANT, OR AGENT, IF ANY SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS. REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



- PLANTING REQUIREMENTS/CALCS (APPLICABLE)**
- PLANTING MINIMUM**
TOTAL TREES 172 ACRES (PROPERTY) 3.0 ACRES
EVERGREENS 2000 SF BUILDING FOOTPRINT
- PLANTER/GROUND COVERAGE**
150 SF CONTAINED BEDS OR GROUND COVER
- LS BUFFER**
10' WIDE BUFFER BETWEEN PARKING AND ADJ. LOTS
- TOTAL PROPERTY SIZE OF 1.5 ACRES USED FOR CALCULATIONS
- PLANTING NOTES**
- QUANTITIES SHOWN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEIR OWN COUNT.
 - ALL SHRUBS AND TREES SHALL RECEIVE PLANTING BACKFILL OF 2/3 TOPSOIL AND 1/3 COMPOST BY VOLUME AND 2 LBS OF 14-14-14 TIMED-RELEASE FERTILIZER PER CUBIC YARD OF BACKFILL.
 - ALL BEDS INSIDE LAWN AREAS TO BE EDGED WITH 4" PAINTED STEEL EDGING.
 - TOPSOIL SHALL BE ADDED AS NEEDED TO CREATE A SMOOTH FINISH GRADE ON PLANTING AND SODDED AREAS.
 - ALL TREES AND SHRUBS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING.
 - ALL NON-PAVED AREAS NOT SHOWN AS PLANTING BEDS SHALL BE SODDED WITH SOLID TRIFWAY 419 BERMUDA SOD. CONTRACTOR SHALL CALCULATE ALL SODDED AREAS.
 - NO TREES MAY BE PLANTED WITHIN 5' OF PUBLIC UTILITIES. MAINTAIN 5' SEPARATION BETWEEN TREES AND ANY EXISTING / PROPOSED UTILITY MAINS.

NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL #05125C0240E DATED 06-05-2020.

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 20876
MAJ. TANZIDUL ISLAM

CERTIFICATE OF AUTHORIZATION
HOPE CONSULTING INC.
No. 1931
ARKANSAS

20' 10' 0' 20'

BASIS OF BEARING: GRID NORTH, ARKANSAS COORDINATE SYSTEM, SOUTH ZONE BY GPS OBSERVATION

HOPE CONSULTING ENGINEERS - SURVEYORS

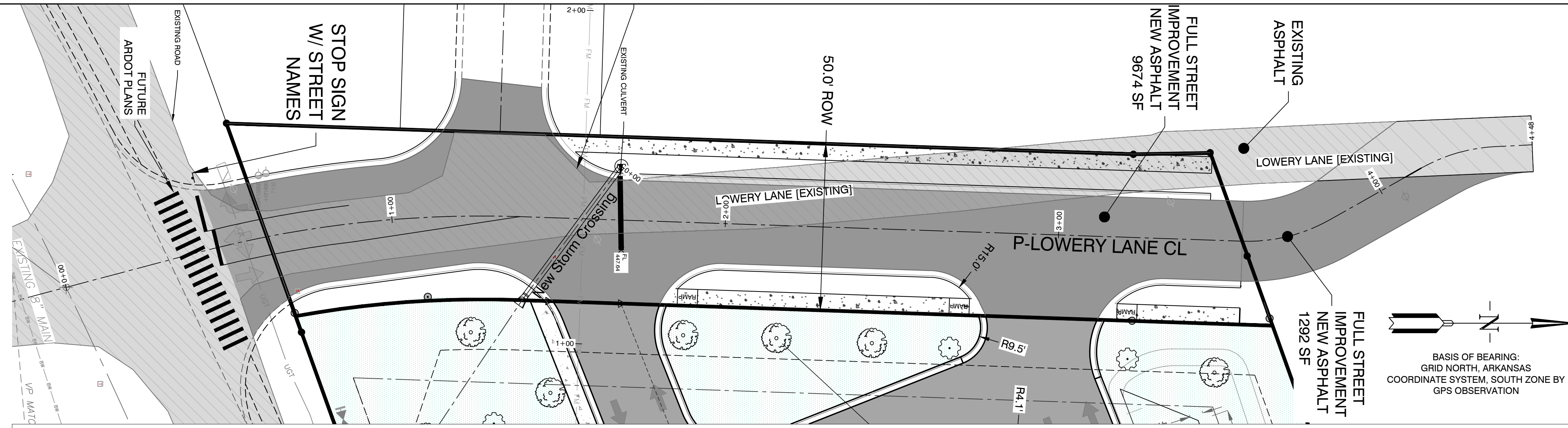
129 N. Main Street, Benton, Arkansas 72015
PH. (501) 315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

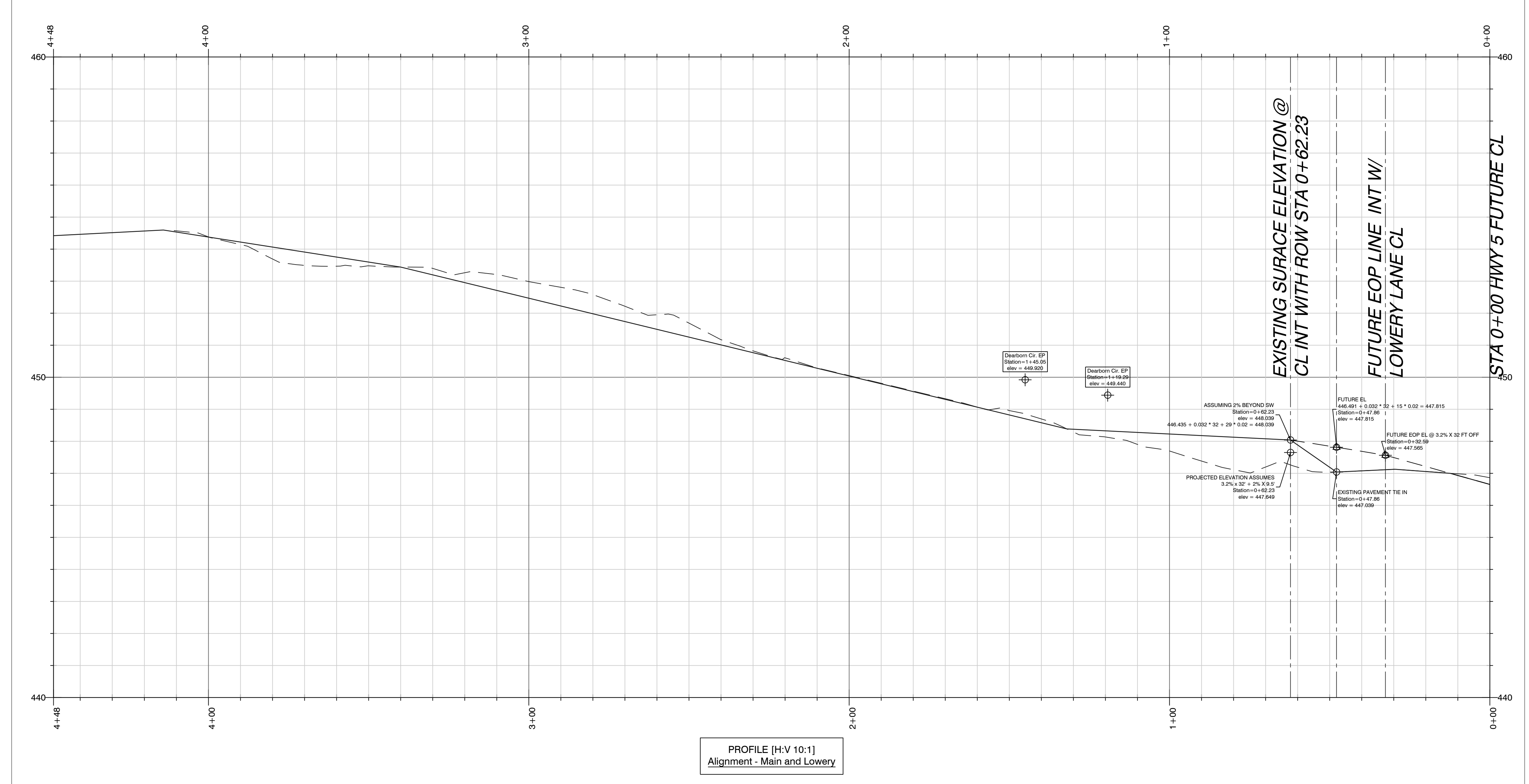
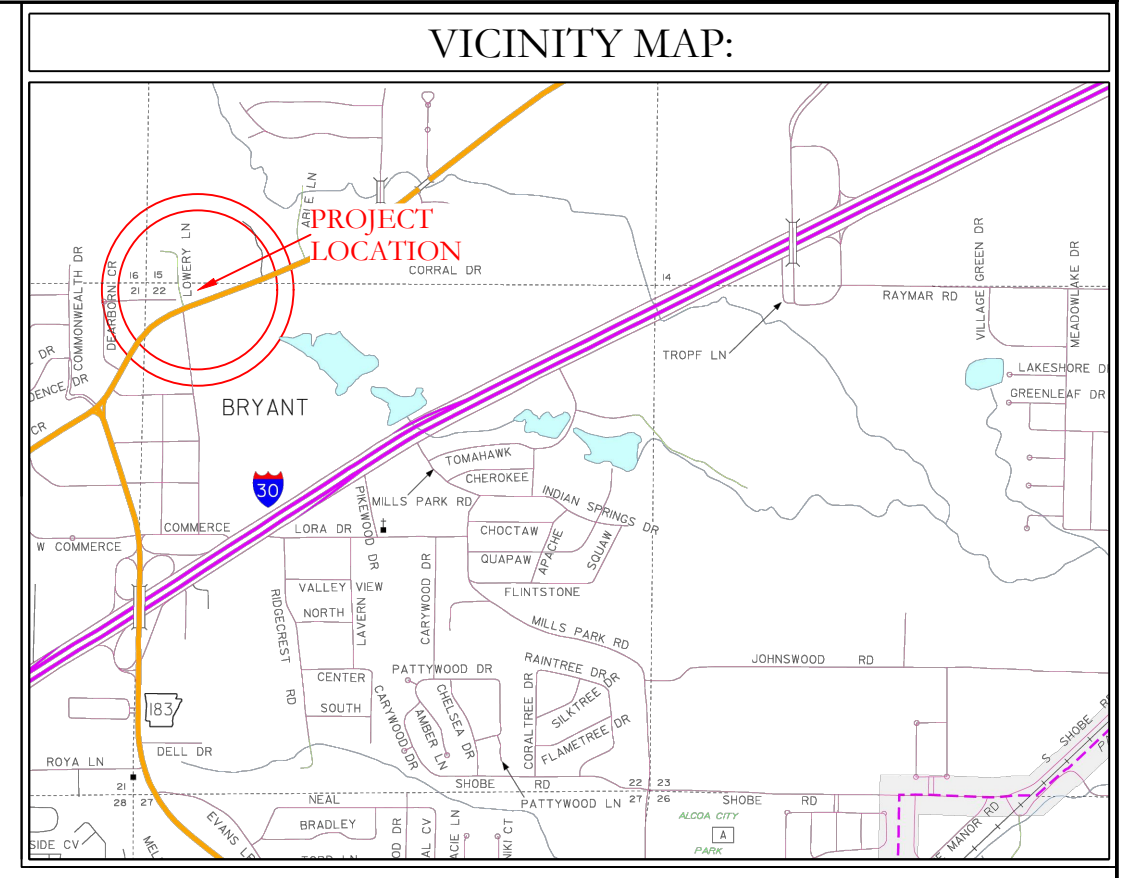
BRYANT C-STORE LANDSCAPE PLAN
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9-20-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 02/23/2023	CHECKED BY:	21-0275
SHEET: 1-10	SCALE:	

500	01S	14W	0	15/22	304	62	1762
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BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE BY
GPS OBSERVATION



PROFILE [H:V 10:1]
Alignment - Main and Lowery

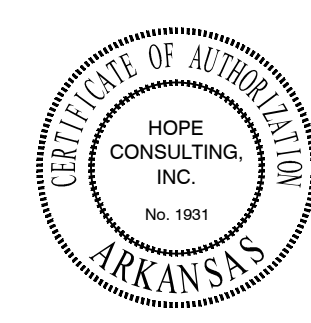
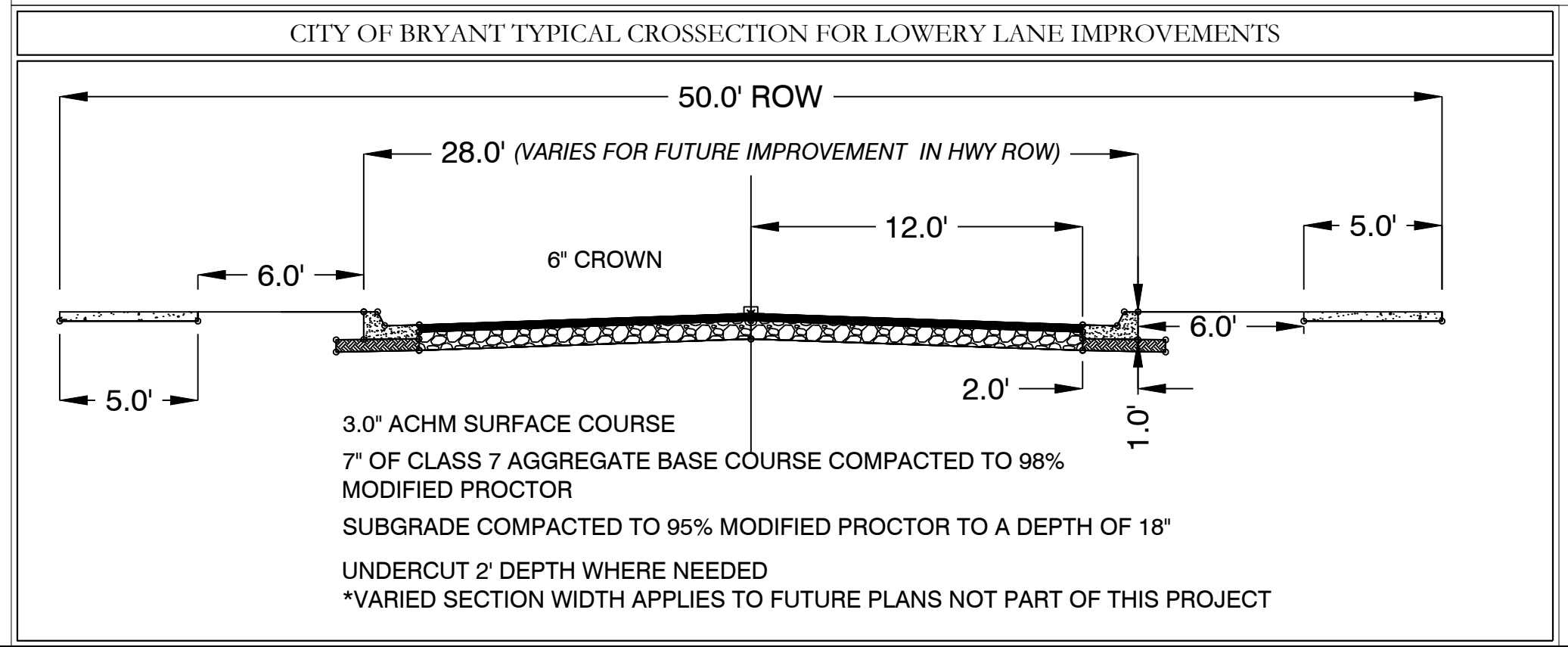
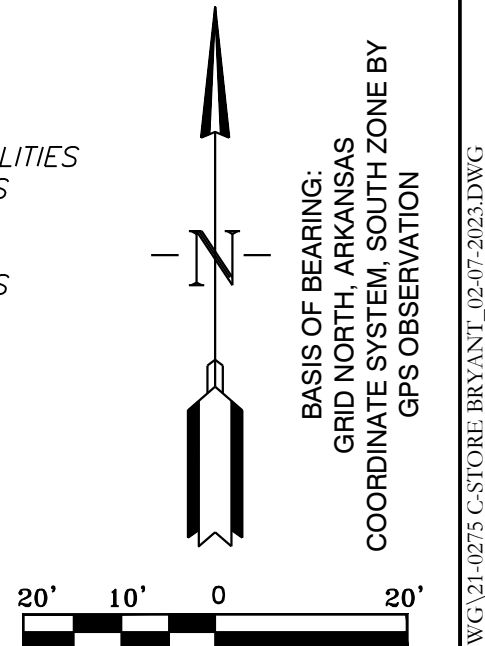


DISCLAIMER

UTILITIES SHOWN ARE NOTED BY VISIBLE OBSERVATION ONLY. UNDERGROUND UTILITIES ARE APPROXIMATE. NO EXCAVATION HAS TAKEN PLACE AS OF THIS DATE TO DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS SURVEY

FLOOD STATEMENT

NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL #05125C0240E DATED 06-05-2020.



HOPE CONSULTING ENGINEERS - SURVEYORS
129 N. Main Street, Benton, Arkansas 72015
PH. (501) 315-2626 FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
STANDARD DEVELOPMENT COMPANY, LLC

BRYANT C-STORE
LOWERY PROFILE - EXISTING EDGE OF PAVEMENT
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 9/20/2022	C.A.D. BY:	DRAWING NUMBER:
REVISED: 02/23/2023	CHECKED BY:	21-0275
SHEET: C-9.0	SCALE:	

500 01S 14W 0 15/22 304 62 1762



WILLIAMS & DEAN
ARCHITECTURE | INTERIOR DESIGN

18 CORPORATE HILL DRIVE, SUITE 210
LITTLE ROCK, AR 72205
P: 501.224.1900
WWW.WILLIAMSDEAN.COM

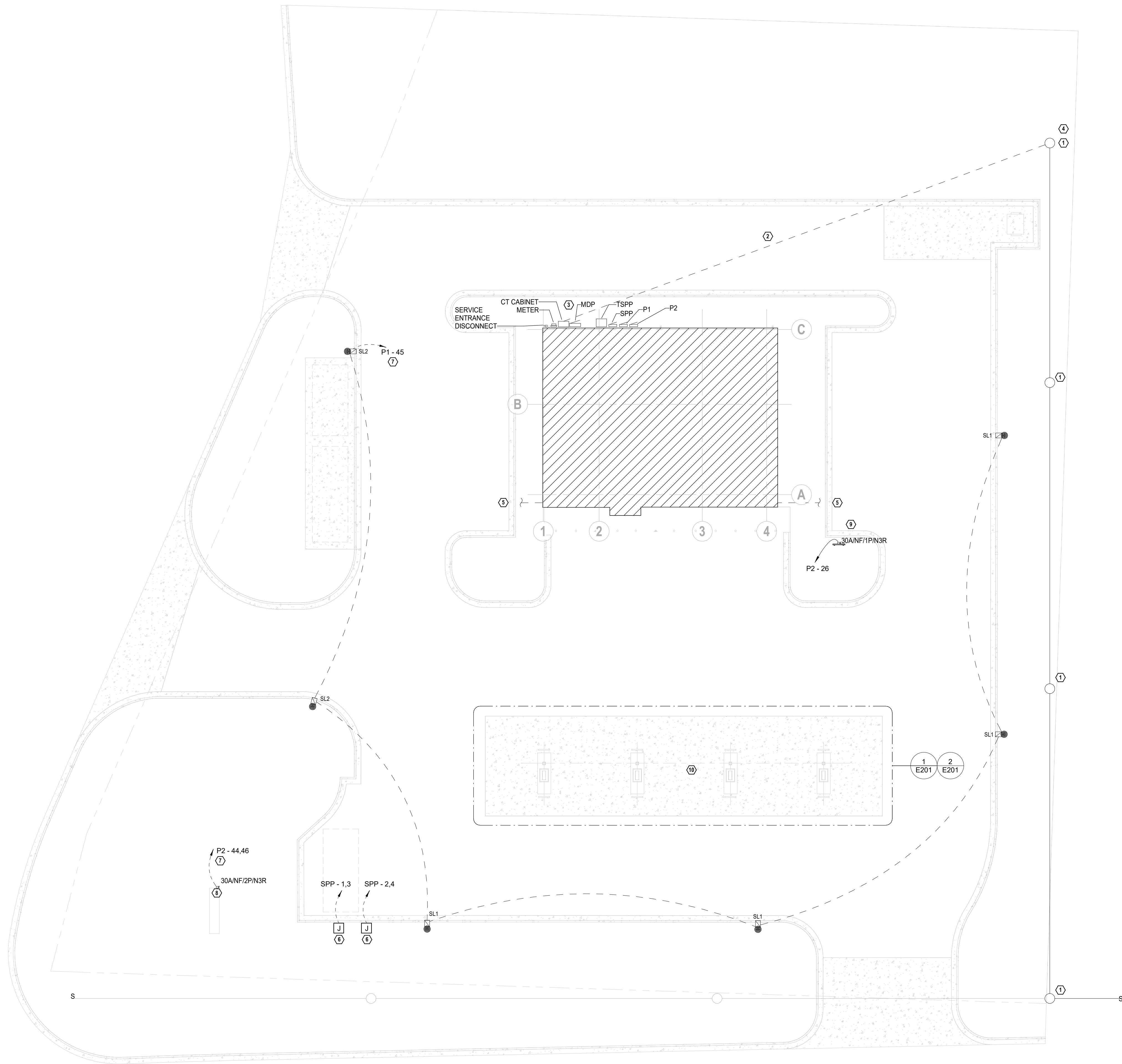
A NEW CONVENIENCE STORE FOR
STANDARD
BRYANT, ARKANSAS

GENERAL NOTES

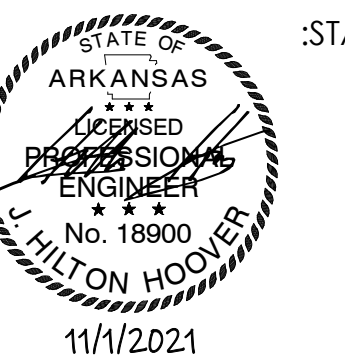
- COORDINATE WITH ALL OTHER DISCIPLINES FOR NEW AND EXISTING UNDERGROUND CONDITIONS PRIOR TO EXCAVATION. RE: CIVIL PLANS
- CONTRACTOR SHALL PROVIDE BY FORMAL SUBMITTAL A CONDUIT ROUTING PLAN FOR ALL UNDERGROUND CONDUIT INDICATED ON SITE PLAN. INCLUDE IDENTIFICATION OF UTILITY CROSSINGS. SUBMITTAL SHALL BE FOLLOWED IN FIELD AND SUBMITTED WITH PROJECT CLOSEOUT DOCUMENTS.

KEYED NOTES

- PROPOSED LOCATION OF NEW ELECTRIC UTILITY POLE PROVIDED AND INSTALLED BY ENTERGY ELECTRIC UTILITY. COORDINATE WITH ENTERGY FOR FINAL PRIMARY UTILITY LINE, POLES AND GUY WIRE LOCATIONS. RE: ELECTRIC RISER DIAGRAM
- PROVIDE NEW UNDERGROUND ELECTRIC SERVICE LATERAL FROM NEW UTILITY TRANSFORMER TO BUILDING ELECTRIC SERVICE ENTRANCE. ELECTRIC SERVICE ENTRANCE SHALL BE A MINIMUM OF 24" UNDERGROUND AND HAVE A MINIMUM OF 24" SEPARATION FROM ALL OTHER UTILITIES. COORDINATE WITH ALL OTHER DISCIPLINES PRIOR TO INSTALLATION.
- PROVIDE SERVICE ENTRANCE CT CAN, METER AND DISCONNECT AT THE INDICATED LOCATION. COORDINATE WITH ENTERGY ELECTRIC UTILITY AND BUILDING OWNER PRIOR TO ROUGH-IN. RE: ELECTRICAL RISER DIAGRAM
- PROPOSED LOCATION OF NEW ELECTRIC UTILITY POLE MOUNTED TRANSFORMERS. PROVIDED AND INSTALLED BY ENTERGY ELECTRIC UTILITY COMPANY. COORDINATE WITH ENTERGY FOR FINAL LOCATION AND SIZE. RE: ELECTRIC ONE-LINE DIAGRAM.
- PROVIDE (2) 2" C WITH NYLON PULL STRING IN EACH CONDUIT. ROUTE CONDUIT FROM MAIN DISTRIBUTION PANEL "MDP" TO INDICATED LOCATION. CAP CONDUIT. PROVIDE FLAG MARKER AND CLEARLY INDICATE ON CONDUIT "FUTURE EV".
- SHORE POWER ELECTRIC ENCLOSURE WITH (1) NEMA 14-50R, (1) NEMA TT-30R, AND (1) NEMA 5-20R2GFI RECEPTACLES, EATON #CHU19N4NR, FED FROM NEW SHORE POWER PANEL "SPP". PEDESTAL MOUNTED AT END OF LOW WALL.
- ROUTE EXTERIOR SITE AND MONUMENT LIGHTING THROUGH LIGHTING RELAY PANEL. RE: LIGHTING RELAY SCHEDULE ON ELECTRICAL SCHEDULE SHEET.
- PROVIDE (1) 1" C FOR POWER AND (1) 1" C FOR DATA FROM SIGN CONTROL STATION IN ELECTRICAL/STORAGE ROOM TO MONUMENT SIGN.
- PROVIDE ELECTRICAL CONNECTION TO AIR/VACUUM MACHINE. REFER TO ELECTRIC DETAILS FOR DISCONNECT MOUNTED TO CONCRETE SUPPORTED UNISTRUT. COORDINATE WITH ARCHITECT/OWNER FOR FINAL LOCATION.
- REFER TO ELECTRICAL ENLARGED PLANS SHEET FOR ALL ELECTRICAL INFORMATION ASSOCIATED WITH FUELING CANOPY.



1 SITE PLAN - ELECTRICAL
1/16" = 1'-0"



CONSTRUCTION DOCUMENTS
SITE PLAN - ELECTRICAL

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 2	10/29/21

11/1/2021 :ISSUE DATE

21-028 :PROJECT NUMBER

E002 :SHEET NUMBER



11/1/2021 4:11:12 PM
BM 3607/21-028 C-Store Gas Station Bryant/21-028 C-Store Bryant MEP Model Rv1 2.rvt



WILLIAMS & DEAN
ARCHITECTURE | INTERIOR DESIGN

18 CORPORATE HILL DRIVE, SUITE 210
LITTLE ROCK, AR 72205
P: 501.224.1900
WWW.WILLIAMSDEAN.COM

A NEW CONVENIENCE STORE FOR
STANDARD
BRYANT, ARKANSAS

Branch Panel: SPP									
Panel Location: EXTERIOR			Volts: 120/240 Single Phase			A.I.C. Rating: 22KAIC			
Supply From: TSPP			Phases: 1			Bus Rating: 225 A			
Mounting: SURFACE			Wires: 3			MCB Rating: 125 A			
Enclosure: NEMA 3R									
Notes:									
CKT	Circuit Description	Trip (A)	Poles	"A"	"B"	Poles	Trip (A)	Circuit Description	CKT
1	SHORE POWER OUTLET BOX "SP1"	50	2	4800	4800		2	50	SHORE POWER OUTLET BOX "SP2"
3		--	--		4800	4800	--	--	
5	R FROZEN DRINK MACHINE	20	2	3450	3450		2	35	AUTOMATIC ESPRESSO MACHINE
7		--	--		3450	3450	--	--	
9	ICE BAGGING SYSTEM	20	2	250	--		1	--	PREPARED SPACE
11		--	--		250	--	1	--	PREPARED SPACE
		Total Load:		16750 VA	16750 VA				
		Total Amps:		140 A	140 A				
Load Classification		Connected Load	Demand Factor	Estimated Demand		Panel Totals			
Power		26600 VA	100.00%	26600 VA		Total Conn. Load: 33500 VA			
RECEPTACLES		6900 VA	100.00%	6900 VA		Total Est. Demand: 33500 VA			
						Total Conn. Current: 93 A			
						Total Est. Demand Current: 140 A			

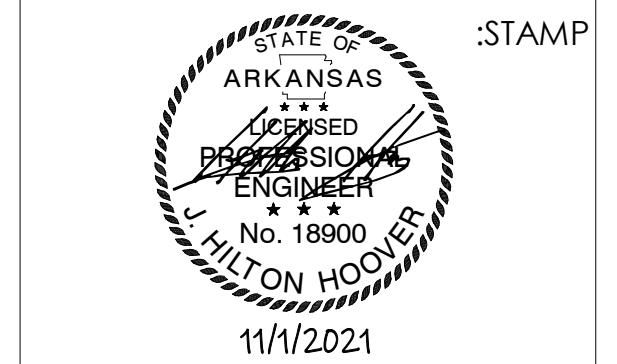
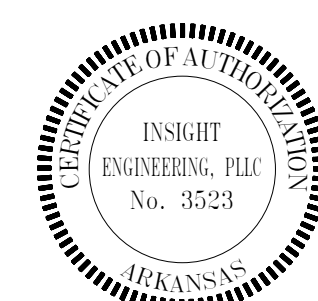
Branch Panel: MDP										
Panel Location: EXTERIOR			Volts: 120/208 Wye			A.I.C. Rating: 35KAIC				
Supply From: UTILITY			Phases: 3			Bus Rating: 800 A				
Mounting: SURFACE			Wires: 4			MCB Rating: 800A/800AT				
Enclosure: NEMA 3R										
Notes:										
CKT	Circuit Description	Trip (A)	Poles	A	B	C	Poles	Trip (A)	Circuit Description	CKT
1	100A/3P FD FRAME PREPARED SPACE	--	3	--	0		3	30	SURGE PROTECTION DEVICE	2
3		--	--		--	0	--	--		4
5		--	--				--	0		6
7	PANEL P1	225	3	16048	21327		3	225	PANEL P2	8
9		--	--				--	--		10
11		--	--		13030	23708	--	--		12
13	PANEL FP	150	3	14411	--		3	--	PD-2 FRAME PREPARED SPACE	14
15		--	--		14411	--	--	--		16
17		--	--			14411	--	--		18
19	PD-2 FRAME 3P SPACE W/ BUS	--	3	--	--		3	--	PD-2 FRAME PREPARED SPACE	20
21		--	--		--	--	--	--		22
23		--	--		--	--	--	--		24
25	PD-2 FRAME 3P SPACE W/ BUS	--	3	--	--		3	--	PD-2 FRAME PREPARED SPACE	26
27		--	--		--	--	--	--		28
29		--	--		--	--	--	--		30
31	PD-2 FRAME 1P SPACE W/ BUS	--	1	--	4992		2	60	FUTURE EV CHARGING STATION	32
33	FUTURE EV CHARGING STATION	60	2		4992	4992	--	--		34
35		--	--			4992	--	1	PD-2 FRAME PREPARED SPACE	36
37	TRANSFORMER TSPP	150	2	16750	--		3	--	PD-2 FRAME PREPARED SPACE	38
39		--	--		16750	--	--	--		40
41	PD-2 FRAME 1P SPACE W/ BUS	--	1	--	--		--	--		42
		Total Load:		73528 VA	77883 VA	58572 VA				
		Total Amps:		632 A	668 A	488 A				
Load Classification		Connected Load	Demand Factor	Estimated Demand		Panel Totals				
Lighting		16199 VA	100.00%	16199 VA		Total Conn. Load: 209983 VA				
Motor		16457 VA	100.00%	16457 VA		Total Est. Demand: 192988 VA				
Power		63236 VA	100.00%	63236 VA		Total Conn. Current: 596 A				
RECEPTACLES		6900 VA	100.00%	6900 VA		Total Est. Demand Current: 536 A				
Receptacle		43990 VA	61.37%	26995 VA						
Spare		63201 VA	100.00%	63201 VA						

LIGHTING FIXTURE SCHEDULE											
MARK	VOLTAGE	POWER	LAMP	MOUNTING					MANUFACTURER	CATALOG #	REMARKS
				CEILING	PENDANT	RECESS	SURFACE	POLE			
A2	120V	10W	LED	X	X				AXIS	PRL100-1000-89-35-S-3-UHV-DR-1	Ø ARCHITECTURAL SLIMLINE AIRCRAFT CABLE HUNG
B2	120V	40W	LED			X			CREE	CTR-B-FP24-50L-WH-DGA24-WHT	2x4 FLAT PANEL WITH CEILING GRID ADAPTER
C	120V	58W	LED	X	X				CREE	LS4-58L-35K-10V	2' STRIP
D	120V	20W	LED	X	X				ELITE	4BLRD-S-22-DMT1-39K-90-LHW-RVD-120 (HOUSING), SR&F-4228-200L-WD-39K-90-WWH (TRIM)	4" DOWNLIGHT
DE	120V	20W	LED	X	X				ELITE	4BLRD-S-22-DMT1-39K-90-LHW-RVD-120-EMG-LED-20W (HOUSING), SR&F-4228-200L-WD-39K-90-WWH (TRIM)	4" DOWNLIGHT WITH IEM
E	120V	32W	LED				X		BASELIGHT	W516-73-E5-CBC 3/4"-73-LED45W-4K	GOOSE NECK RLM FIXTURE
F	120V	42W	LED				X		WILLIAMS	WPTZL38759-DM-UNV	EXTERIOR WALL SCENCE
G	120V		LED								SPECIFIED BY CANOPY VENDOR
H	120V	48W	LED	X	X				WILLIAMS	36-4L2/35-HAIFR-1DRY-UNV (VERIFY HUB REQUIREMENTS)	FULLY ENCLOSED FIXTURE
J	120V		LED								SPECIFIED BY CANOPY VENDOR
L	120V	20W	LED				X		ANDLIGHT	VW-CW-128	DECORATIVE WALL FIXTURE
M	120V	4.5W	LED	X					TECH LIGHTING	78LDY-15-LED939	DECORATIVE CEILING FIXTURE
N	120V	31W	LED	X	X				ASD	ASD-LV-P25M-ND149HE	LED VAPOR TIGHT
P	120V	59.4W	LED		X				TECH LIGHTING	78LDY-15-LED939	18-LIGHT CHAIDELIER
SL1	120V	250W	LED				X		CREE	NTA-A-NM-T3-35L-40K-UL-CTBS-4	AREA LIGHT
SL2	120V	230W	LED				X		CREE	NTA-A-NM-T4-35L-40K-UL-CTBS	AREA LIGHT
EM	120V	5.4W	LED	X			X			LCA-2RH-LO	2" HEAD SELF EM WALL MOUNT
EM6	120V	2W	LED	X			X			UQ279500-RV-2LED	COMBO EXIT/2-HEAD EM
EMR	120V	2W	LED	X			X			ELF652D/LED-WP	2" HEAD OUTDOOR REMOTE HEADS

TRANSFORMER SCHEDULE							
MARK	PRIMARY VOLTAGE	SECONDARY VOLTAGE	KVA RATING	TEMP. RISE °C	MOUNTING	SERVES	REMARKS
TSPP	208V, 1Ø	120/240V, 1Ø, 3W	25	150	EXTERIOR CONCRETE PAD MOUNTED	SHORE POWER PANEL "TPP"	NEMA 3R

LIGHTING CONTROL SCHEDULE				
ZONE	RELAY #	CIRCUIT	PROGRAMMING	DESCRIPTION
A	1	"P1"-39	MANUAL ON / AUTOMATIC OFF	SALES AREA
B	2	"P1"-38	MANUAL ON / PHOTOCELL OFF	EXTERIOR BUILDING MOUNTED
C	3,4	"P1"-49, 51	MANUAL ON / PHOTOCELL OFF	DIESEL FUELING CANOPY
D	5, 6	"P1"-52, 54	MANUAL ON / PHOTOCELL OFF	DIESEL FUELING CANOPY SIGNAGE
E	7	"P1"-45	MANUAL ON / PHOTOCELL OFF	SITE LIGHTING
F	8, 9	"P1"-48, 50	MANUAL ON / PHOTOCELL OFF	PYLON SIGN
G	10	"P1"-13	MANUAL ON / AUTOMATIC OFF	RECEPTACLES - FRONT WINDOW DISPLAYS
	11			SPACE
	12			SPACE

NOTES:
1. COORDINATE WITH BUILDING OWNER FOR ALL AUTOMATIC TIME OF DAY CONTROLS PRIOR TO PROGRAMMING.



11/1/2021 :STAMP
CONSTRUCTION DOCUMENTS
SHEET TITLE
ELECTRICAL SCHEDULES

:REVISIONS		
NO.	DESCRIPTION	DATE
1	Revision 2	10/29/21

11/1/2021 :ISSUE DATE

21-028 :PROJECT NUMBER

:SHEET NUMBER

E401

Comment Responses for Aria Oil C-Store

Public Works

Comment no.5- Detention Basin Warranty Bond SOP will be required to be submitted and notarized.

Response- We will bring hard copies in the DRC meeting.

Comment no.6- Detention Basin Maintenance Plan will be required to be submitted.

Response- We will bring hard copies in the DRC meeting.

Engineering

Comment no.4- Indicate minimum of 18" clearance of the sanitary sewer (below) the Water Main relocation on the utility site plan.

Response- We have changed our plans from to have sewer extension to owner operated grinder pump. We added profile for the Forcemain coming out of our property and proposed encasement with minimum 18" vertical clearance with 3" water main. (Sheet C-3.1)

Comment no.5- Final site design will require health department approval.

Response- We are working on it.

Comment no.11- New utility plans indicate an individual grinder pump for that sanitary sewer discharge on Dearborn. Sanitary sewer can gravity to the south on the south side of Hwy 5. Will require setting a manhole and bore underneath Hwy 5.

Response- Considering the existing utility complications and the total cost of 16" bore and encasement, we are proposing owner operated grinder pump.

Planning

Comment no.1- Will the City require application fees to be repaid?

Response- If it is required we will pay for it.

Comment no.2- Will a trail waiver have to be granted by Council? - Checking into what was discussed previously on this.

Response- Considering the future ArDOT road improvement we will ask for a waiver to city council.

Comment no.5- Discuss Possibility of adding additional landscaping along Lowery Ln frontage. Possibly moving the trees shown along HWY 5 to Lowery side?

Response- Some trees have been moved from HW5 to Lowery side.

Comment no.6-Indicate where Parking Lot lighting/light poles will be located on the Lot.

Response- The parking lot lighting/light poles exhibit has been added to the plans. (Sheet C-9.2)

Comment no.7-Verify that lighting will not shine on the residential properties across Lowery Ln.

Response- The fixtures along Lowery have T4 optics that is directional toward the parking and drive area. Thus it verifies that light will not shine on the residential properties across Lowery Ln.

Comment no.8-Building elevations will need to be submitted/re-submitted.

Response- Building elevations have been re-submitted.

Fire

Comment no.1- Request to move the location of the proposed fire hydrant. The new location will be located on the East side of the entrance furthest East.

Response- The fire hydrant has been relocated in the revised plans.



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 02/02/23

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name SUMMERWOOD GYM #1
4800 DALLAS DR
 Address _____
 City, State, Zip BRYANT AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business SUMMERWOOD GYM
 Address/Location of sign 4800 DALLAS DR, BRYANT AR 72022
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL (SUMMERWOOD)	48" X 774"	258	27'	23'	
B	WALL *GYM 1)	24" X 99"	16.2	10'	8'	
C						
E						
F						
G						

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL *GYM 2	24" X 99"	16.2	10'	8'	
B						
C						
E						
F						
G						

ALL DATA, INCLUDING AND INCLUDING THE INDICATED OR AS REPRESENTED BY THIS DRAWING, EXCEPT FOR REGISTERED TRADEMARKS ARE OWNED BY AND ARE THE PROPERTY OF ARKANSAS SIGN & NEON. USE OF THIS DOCUMENT IS PROHIBITED UNLESS CUSTOMER IS RESPONSIBLE TO OBTAIN ALL NECESSARY APPROVALS IF APPLICABLE. CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITTING AND FOR SECURING OUR GOALS TO DELIVER IN A TIMELY MANNER. ALL RIGHTS RESERVED. © 2022 ARKANSAS SIGN & NEON. ALL RIGHTS RESERVED.

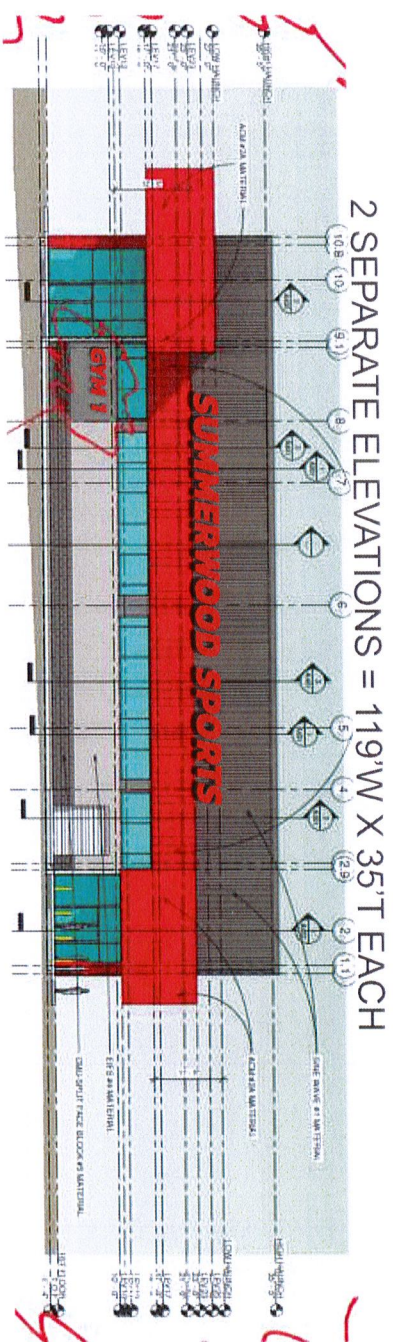
REPRESENTATIVE: DAVID ASHLEY
 DATE/DWG: 01/11/23 - DWG1
 DESIGNER: LORA RAND

REV2

CLIENT: SUMMERWOOD SPORTS
 LOCATION: GYM 1 4800 DALLAS DR
 GYM 2 4808 DALLAS DR
 BRYANT AR 72022
 SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

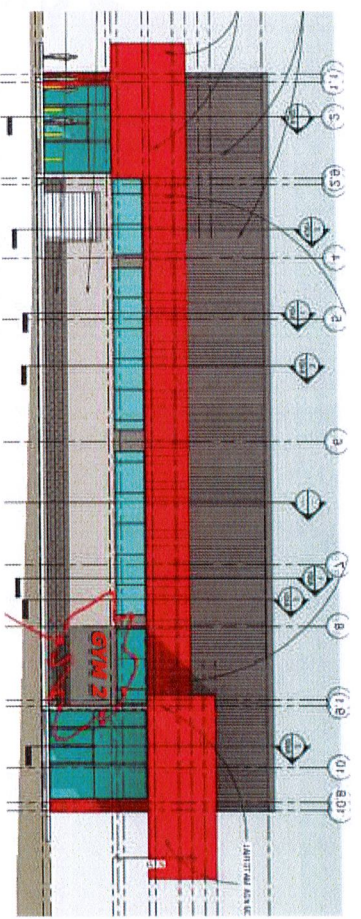
(1) SETS
SUMMERWOOD SPORTS
 48" X 774"

SPECS:
 LED, ILLUMINATED CHANNEL LETTERS
 RED RETURNS, RED TRIM/CAP, RED FACES
 (SAME AS BIG RED FACES)
 TO MOUNT ON RAIL/RACEWAY SYSTEM PAINTED
 THE COLOR OF FACADE WHERE THEY MOUNT
 (WILL NEED COLOR CODES FOR EACH (DK GRAY AND LT. GRAY))



\$24580.00
 2120.03 - TAX
 \$26700.03 - TOTAL

(1) SET **GYM 1** 24" X 95"



(1) SET **GYM 2** 24" X 99"

NOTE: ANY NEEDED WALL REPAIRS ARE NOT ASN RESPONSIBILITY. ANY VIEWS SHOWING REPAIRS ARE FOR VIEWING ONLY.

ARKANSAS SIGN & NEON
 8525 DISTRIBUTION DR.
 LITTLE ROCK, AR 72209
 501-562-3942 P
 501-562-6651 F
 UL LISTED

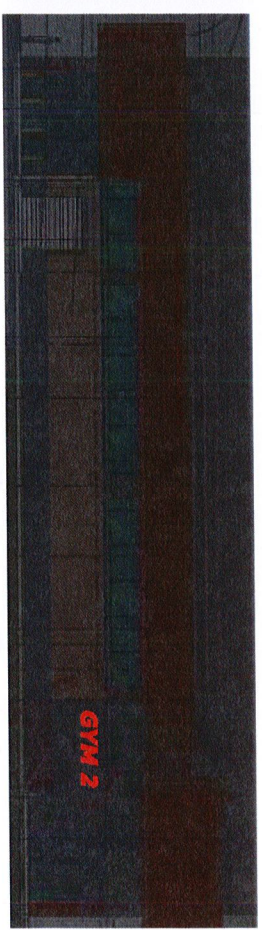
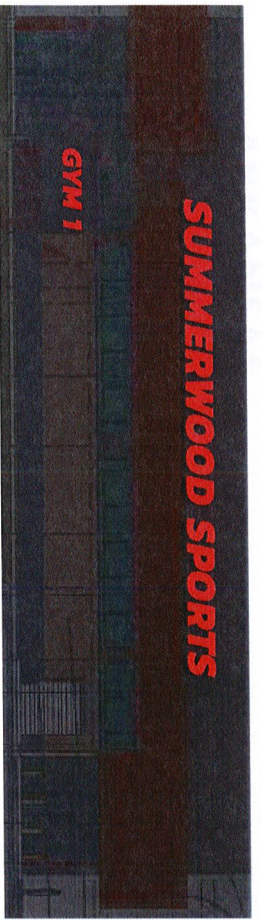
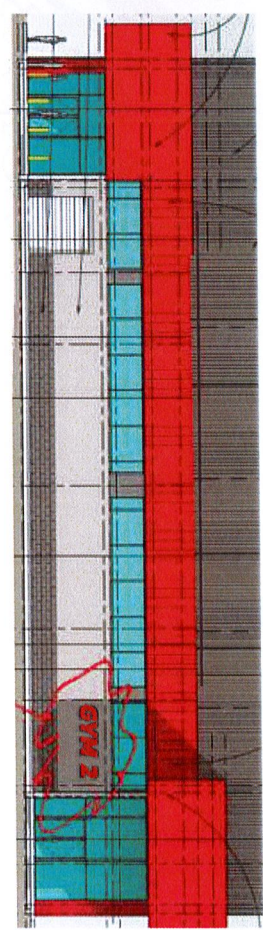
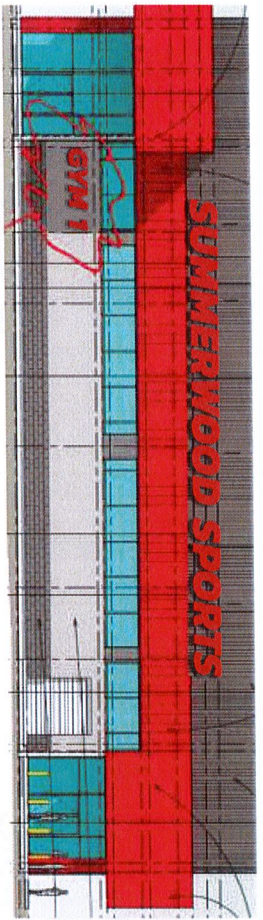
ALL IDEAS, DESIGNS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING EXCEPT FOR REGISTERED TRADEMARKS ARE OWNED BY AND ARE THE PROPERTY OF ARKANSAS SIGN & NEON. WRITTEN AUTHORIZATION IS OBTAINED FROM CUSTOMER. CUSTOMER IS RESPONSIBLE TO OBTAIN ANY/ALL LANDLORD APPROVALS IF APPLICABLE. DELIVERY TIMES VARY PER SCOPE OF WORK. TYPICAL DELIVERY TIME FROM ACCEPTANCE AND PERMITTING ARE 4-8 WEEKS. OUR COMPANY OPERATES UNDER VARYING CIRCUMSTANCES.

REPRESENTATIVE: DAVID ASHLEY
 DATE/DWG: 01/11/23 - DWG1
 DESIGNER: LORA RAND

REV2

CLIENT: SUMMERWOOD SPORTS
 LOCATION: GYM 1 4800 DALLAS DR
 GYM 2 4808 DALLAS DR
 BRYANT AR 72022
 SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

PROPOSED DAY/NIGHT VIEWS



USING SAME SPECS AS BIG RED CHANNEL LETTERS ON EXTERIOR OF BLDG

NOTE: ANY NEEDED WALL REPAIRS ARE NOT ASN RESPONSIBILITY. ANY VIEWS SHOWING REPAIRS ARE FOR VIEWING ONLY.



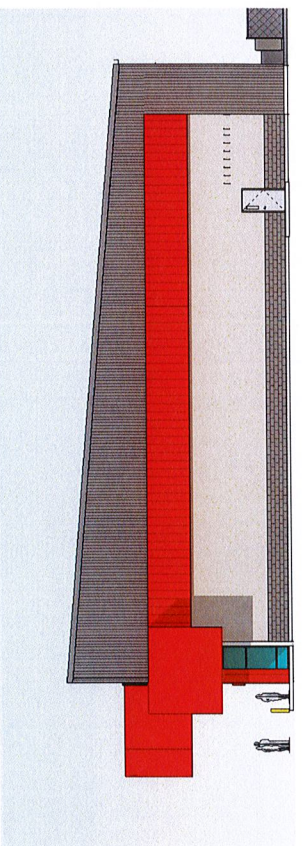
2 NEW GYMNASIUMS
 FOR
 AND RELATED SITE WORK
 SUMMERWOOD PARTNERS-VERNA OFFICE PARK
 VERNIA OFFICE PARK BRYANT PARKWAY
 BRYANT, ARKANSAS
 202.219.4144
 479-303-0500
 www.andrewhicksarchitect.com

Andrew Hicks Architect
 233 W. HARRIS ROAD, SUITE B
 FAYETTEVILLE, ARKANSAS 72702

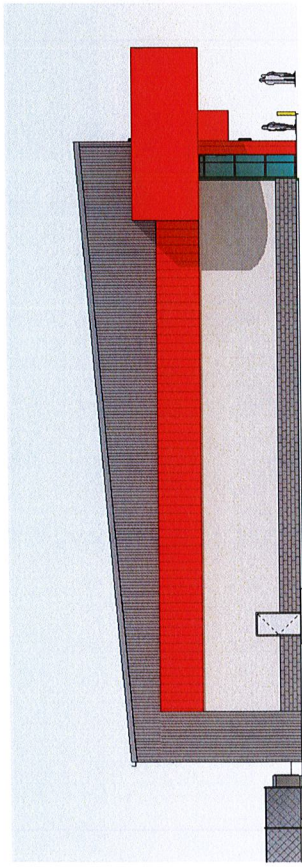
REVISED DATE		NO.	DATE
NO.	NO.	NO.	NO.
NO.	NO.	NO.	NO.
NO.	NO.	NO.	NO.
NO.	NO.	NO.	NO.
NO.	NO.	NO.	NO.
NO.	NO.	NO.	NO.

GYM # 1-ELEVATIONS FOR SIGNS

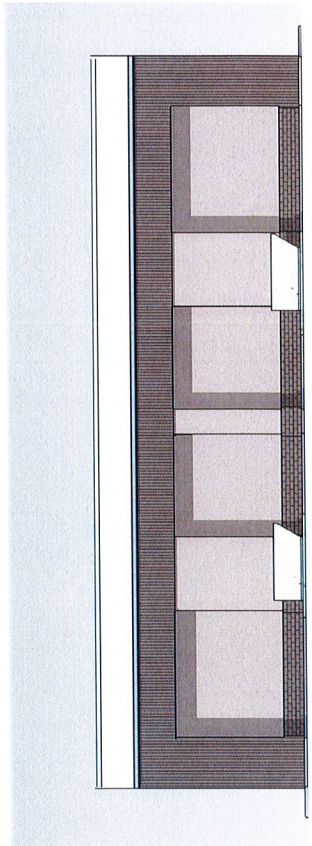
A203-1



① WEST ELEVATION-GYM #1-SIGNS
 1/8" = 1'-0"

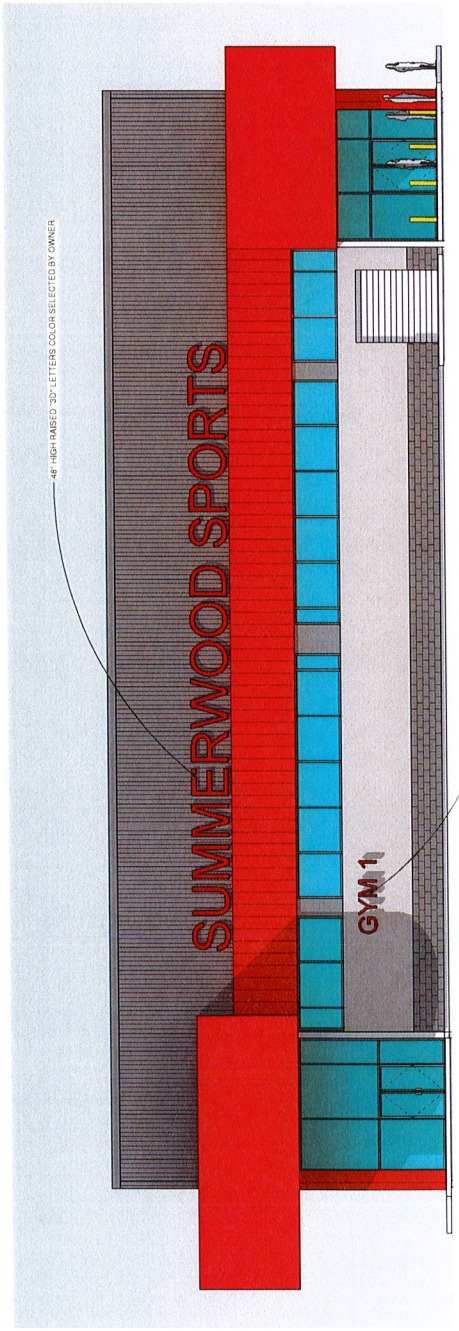


② EAST ELEVATION-GYM #1-SIGNS
 1/8" = 1'-0"



③ REAR ELEVATION-GYM #1-SIGNS
 1/8" = 1'-0"

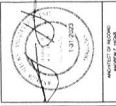
VERIFY WITH OWNER IF OTHER SIGNAGE MAY BE
 REQUIRED ON OTHER BUILDING ELEVATIONS
 SEE ELEVATIONS OF GYM # 2 FOR EFIS REVEAL PATTERNS



④ FRONT ELEVATION-GYM #1-SIGNS
 3/16" = 1'-0"

24" HIGH-PAVED "3D" LETTERS COLOR SELECTED BY OWNER

48" HIGH-PAVED "3D" LETTERS COLOR SELECTED BY OWNER

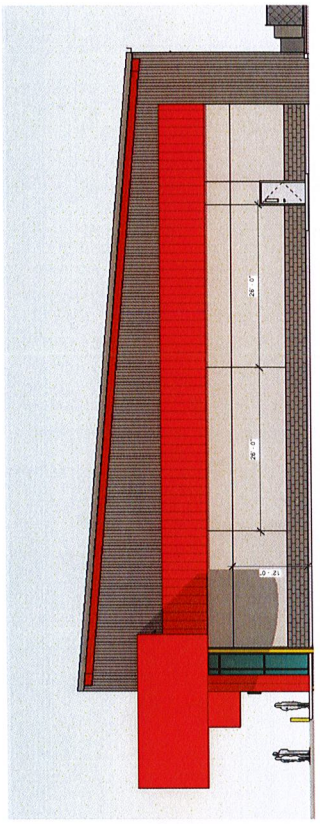


2 NEW GYMNASIUMS
FOR
SUMMERWOOD PARTNERSHIPS/ENVA OFFICE PARK
VERNA OFFICE PARK, BRYANT PARKWAY
BRYANT, ARKANSAS

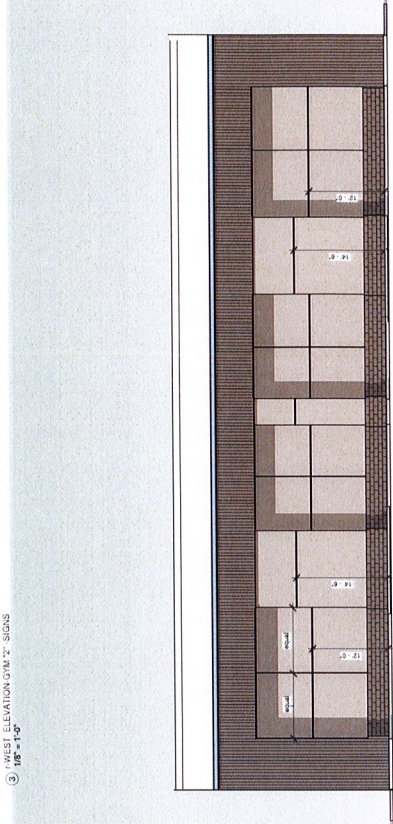
Andrew Hicks architect
www.andrewhicksarchitect.com
430 332 5952
501 219 1816
1325 W. Miller / Suite B
Fayetteville, Arkansas 72702

REVISIONS	
NO.	DATE

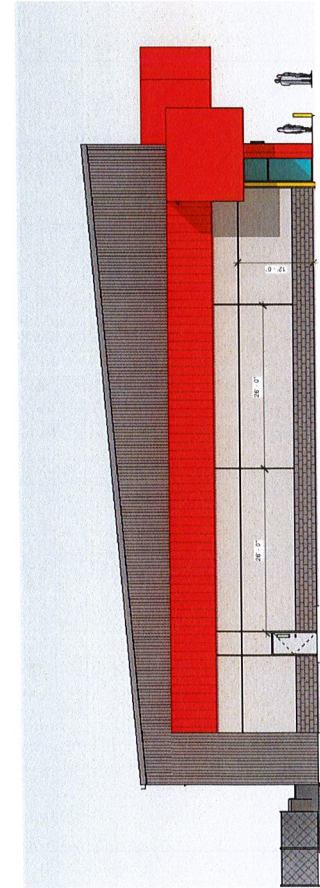
GYM # 2 ELEVATIONS FOR SIGNS
A203-2



③ WEST ELEVATION GYM #2 SIGNS
1/8" = 1'-0"

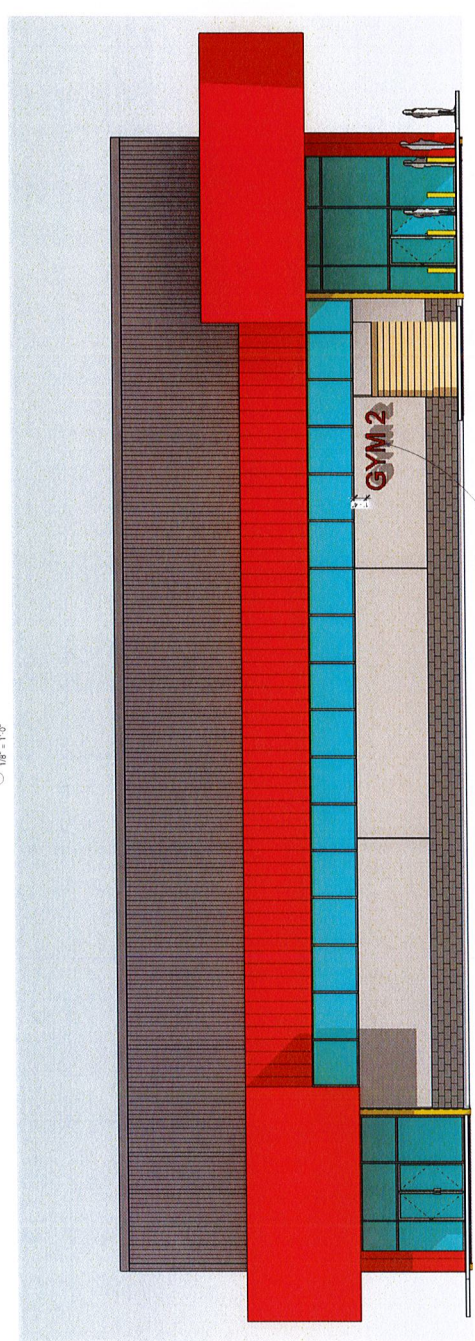


④ REAR ELEVATION GYM #2
1/8" = 1'-0"



① EAST ELEVATION GYM #2 SIGNS
1/8" = 1'-0"

VERIFY WITH OWNER IF OTHER SIGNAGE MAY BE
REQUIRED ON OTHER BUILDING ELEVATIONS
THIS GYM # 2 SHOWS THE EFIS REVEAL PATTERNS



② FRONT ELEVATION GYM #2
3/16" = 1'-0"

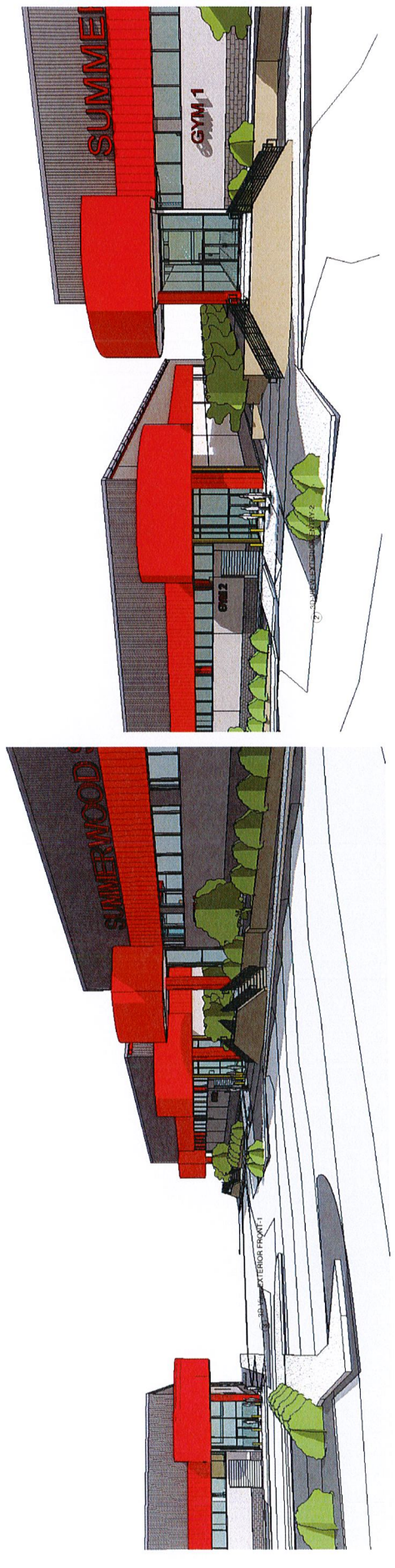
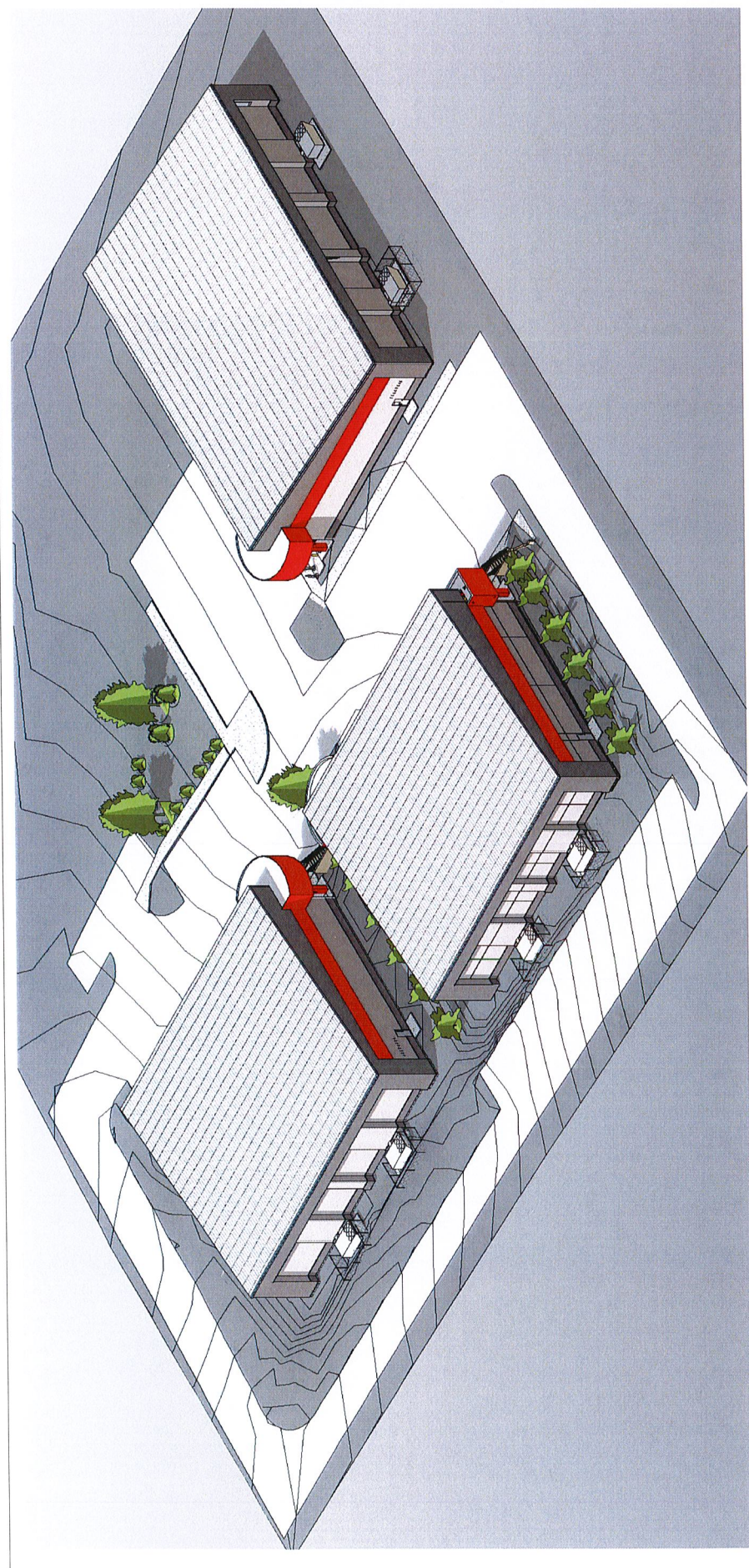
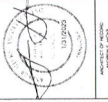
24" HIGH RAISED "30" LETTERS COLOR SELECTED BY OWNER

NO.	DATE	REVISIONS

ISSUE DATE: 10/1/2023

andrew hicks architect
A|H|A
233 W. Taylor / Suite B
Brentwood, Arkansas 72702
www.andrewhicksarchitect.com
937.341.5555
479.218.1814

2 NEW GYMNASIUMS
AND RELATED SITE WORK
FOR
SUMMERWOOD PARTNERSHIP/VALENTIA OFFICE PARK
BRYANT, ARKANSAS

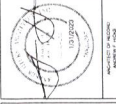
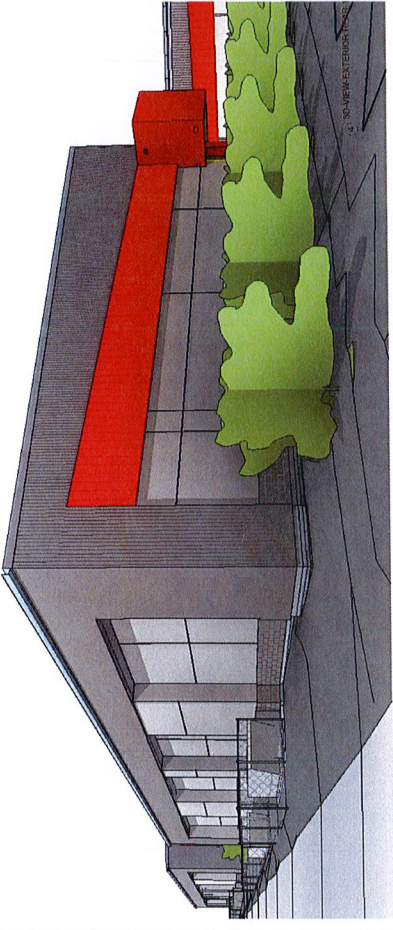
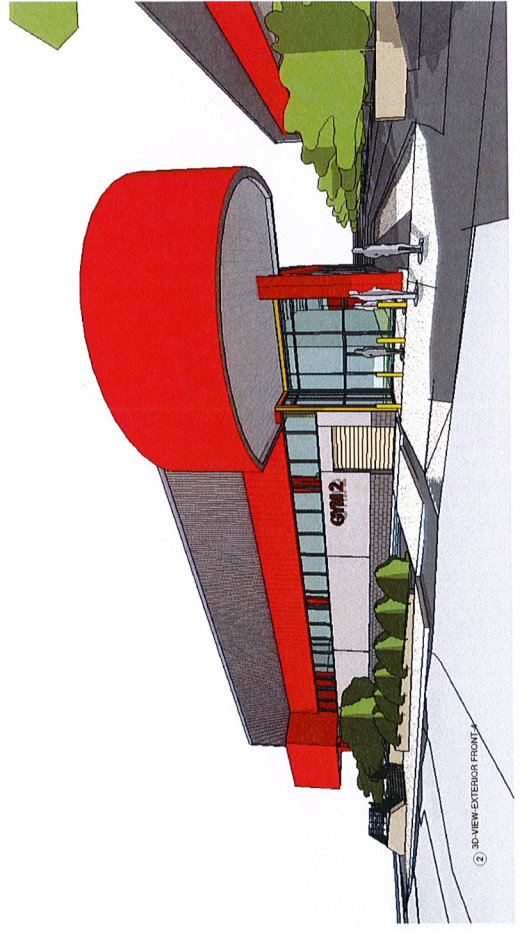
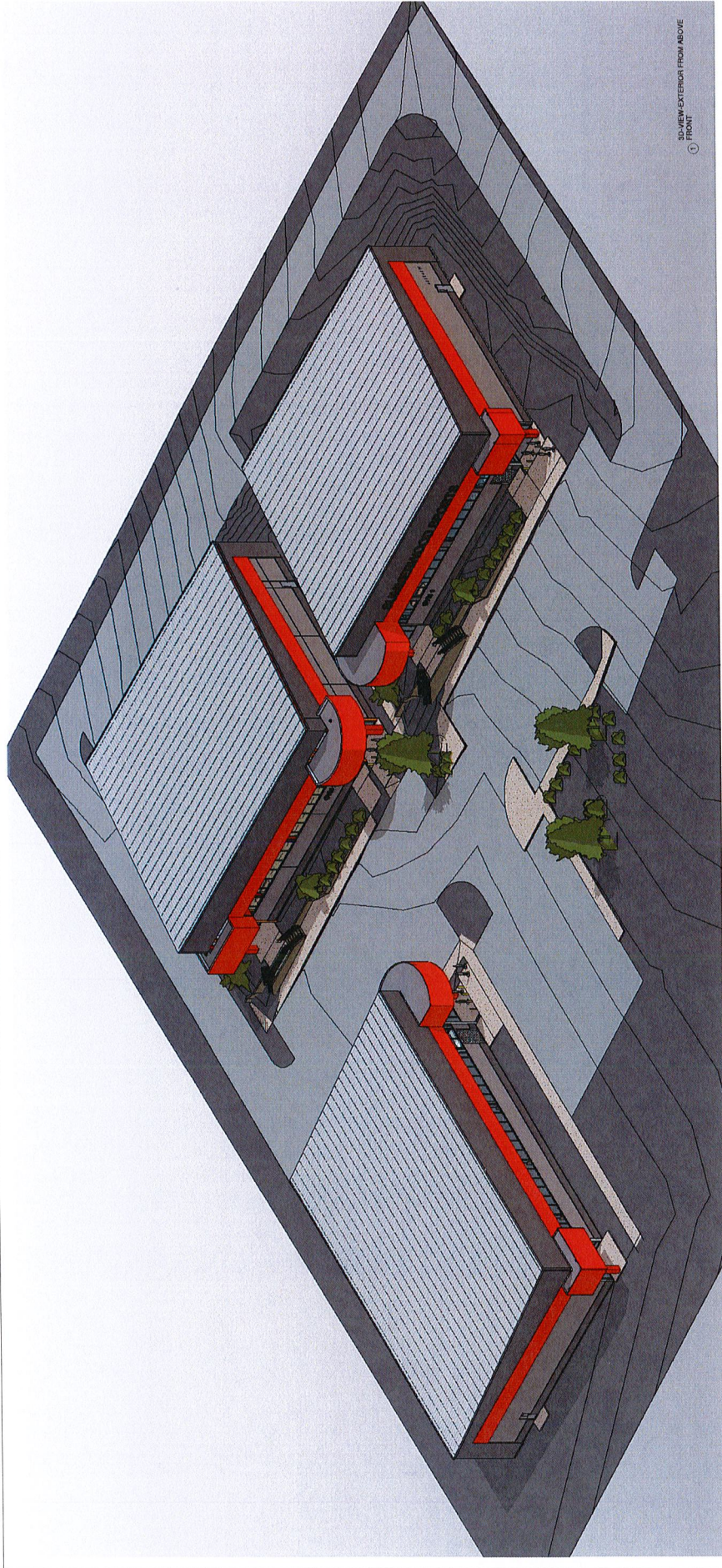


EXTERIOR FRONT 11

NO.	DATE

ISSUE DATE: 13/09/23

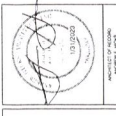
REVISIONS



ANDREW HICKS ARCHITECT
 233 W. HIGHWAY 100, SUITE 100
 BRYANT, ARKANSAS 72022
 501.227.8184
 www.andrewhicksarchitect.com

2 NEW GYMNASIUMS
 AND RELATED SITE WORK
 FOR
 SUMMERWOOD PARTNERS-VENIVA OFFICE PARK
 BRYANT, ARKANSAS

andrew hicks architect

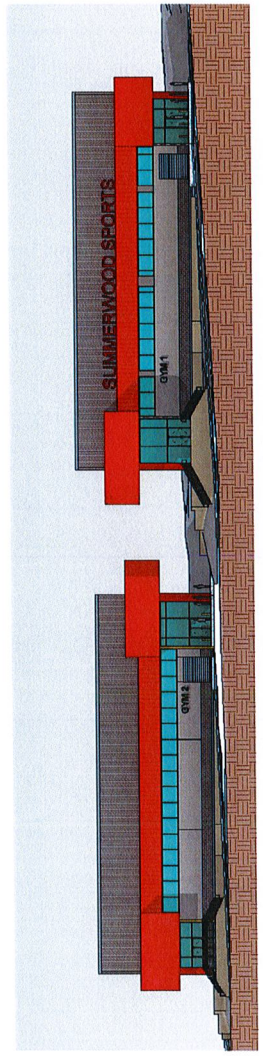


2 NEW GYMNASIUMS
 FOR
 SUMMERWOOD MARTINDALE-VERNIA OFFICE PARK
 BRANT, MISSOURI
 BRANT PARKWAY
 419.30.0000
 501.219.1614
 www.andrewhicksarchitect.com

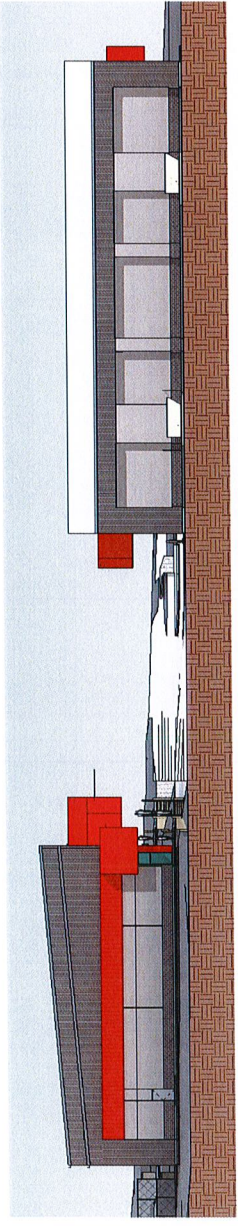
andrew hicks architect
 320 W. FLORISSA AVENUE, SUITE 100
 FARMINGTON, MISSOURI 65642

REVISIONS	
NO.	DATE

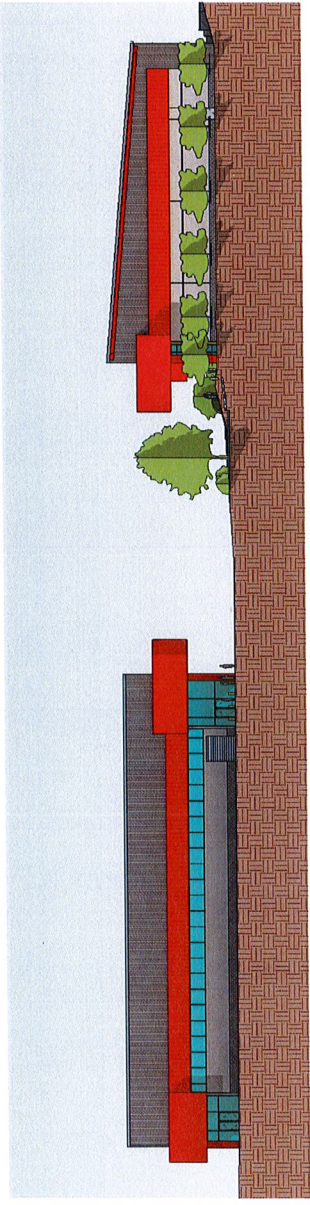
SITE ELEVATIONS-GYM 1 AND GYM 2 AND FUTURE '3'
 ISSUE DATE: 10/20/2023



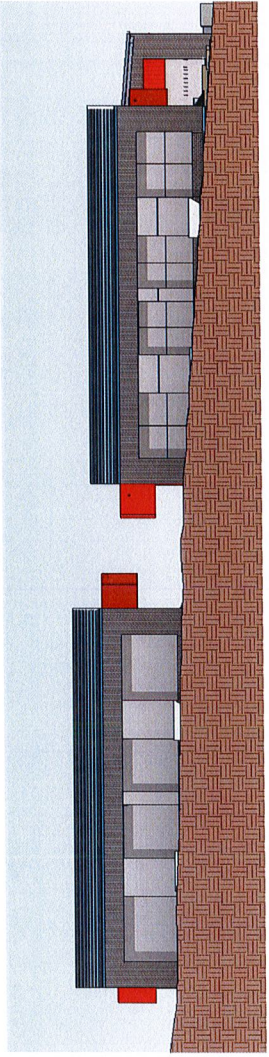
② FRONT ELEVATION GYM 1 AND 2
 1/16" = 1'-0"



EAST ELEVATION GYM 3 AND FUTURE
 REAR OF GYM 3
 ① 1/16" = 1'-0"



FRONT ELEVATION FUTURE GYM 3'
 FRONT ELEVATION GYM 2'
 ③ 1/16" = 1'-0"



④ SOUTH ELEVATION GYM 1 AND GYM 2
 1/16" = 1'-0"



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 1/19/2023

Sign Co. or Sign Owner

Name Lumatech Inc
Address 6301 Murray Street
City, State, Zip Little Rock, AR 72209
Phone 5012179919 x 115
Email Address mtucker@lumatechservice.com

Property Owner

Name Hall Equities Group
Address 150 N Wiget Lane
City, State, Zip Walnut Creek, CA 94598
Phone 925-933-4000
Email Address info@hallequitiesgroup.com

GENERAL INFORMATION

Name of Business Hibbett Sports
Address/Location of sign 7319 Alcoa Road, Bryant, AR, 72022
Zoning Classification Commercial/Retail

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

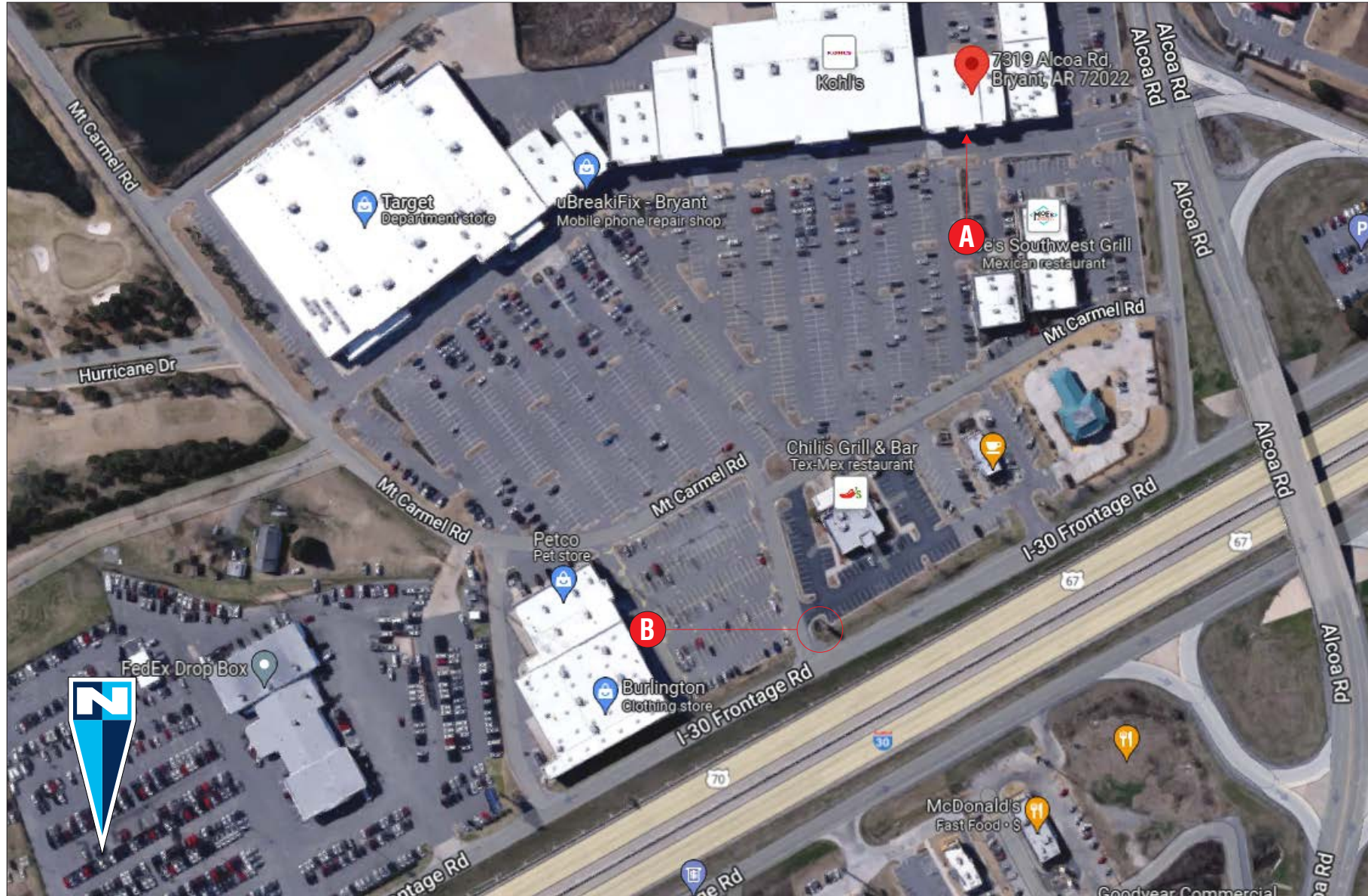
I, Michelle Tucker, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Facade	6'8" x 18'1-3/8" x 3"	120.7	20'	14'	
B	Monument 2 sided single monument	1'2-3/4" x 11'10-1/2" x 1/4"	14.59	14'	13'	
C						
E						
F						
G						

SIGN SCHEDULE



- A** **HB - 36 - RCL - CAB - STKD**
ONE (1) SET REQ'D. **120.7 SQ.FT.**
- B** **HB-RP-1-LINEAR-REPLACEMENT FACES**
TWO (2) FACES REQ'D. **14.59 SQ.FT.**

GENERAL NOTES

- **INSTALLER SHALL VERIFY WALL CONDITIONS IN THE FIELD**
- **TYPE, SIZE & QTY. OF FASTENERS TBD**
- **ALL BOLT HOLES TO BE DRILLED OR PUNCHED**
- **ISOLATE ALL ALUMINUM FROM STEEL**

NEW & REMODEL CONSTRUCTION
ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

INSTALLER REQUIREMENTS FOR EIFS WALLS
IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

INSTALLER REQUIREMENTS
ALL INSTALLATION (MOUNTING) HARDWARE AND SECONDARY WIRING COMPONENTS, CONDUIT & CONNECTORS, ETC ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR

ALL WALL PENETRATIONS TO BE SEALED WITH SILICONE TO HELP PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS FOR SIGNS MUST BE TOTALLY DEDICATED TO SIGNS (INCLUDING DEDICATED GROUND & NEUTRAL, PER CIRCUIT) AND SHALL NOT BE SHARED WITH OTHER LOADS (SUCH AS LIGHTING, A/C and OTHER EQUIPMENT). PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO THE BREAKER PANEL IS REQUIRED.

NUMBER AND SIZE OF CIRCUITS FOR EACH SIGN MUST MEET FEDERAL HEATH SIGN REQUIREMENTS.

ALL ELECTRICAL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 600 OF THE N.E.C. AND U.L. 48 ALONG WITH OTHER APPLICABLE STATE & LOCAL CODE REQUIREMENTS. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

120V - 20 AMP (PRIMARY ELECTRICAL SERVICE) CIRCUITS AND FINAL CONNECTION TO EACH SIGN, TO WITHIN 10 FT TO BE BY THE CUSTOMER'S CERTIFIED ELECTRICIAN. NUMBER AND SIZE OF CIRCUITS FOR EACH SIGN TO MEET FEDERAL HEATH SIGN COMPANY REQUIREMENTS

WARRANTY NOTICE

CERTAIN ELECTRICAL COMPONENTS OF SIGNS WILL FAIL PREMATURELY IF NOT SHUT OFF FOR A PERIOD OF TIME, ONCE EACH DAY. FOR BEST PERFORMANCE WE RECOMMEND THAT SIGNS BE CONNECTED TO AN AUTOMATIC CONTROLLING DEVICE SUCH AS AN EMERGENCY MANAGEMENT SYSTEM, TIME CLOCK OR PHOTO CELL TO CONTROL THE DAILY SHUT-OFF PERIOD. FAILURE TO FOLLOW THESE RECOMMENDATIONS CAN CAUSE DAMAGE TO ELECTRICAL COMPONENTS OF THE SIGN AND VOID THE WARRANTY. SOME DIMMING DEVICES WILL ADVERSELY AFFECT THE ELECTRICAL COMPONENTS OF THE SIGN IT IS ATTACHED TO, CAUSING FAILURE. ANY DIMMING OF THE SIGN WITHOUT CONSULTATION WITH FEDERAL HEATH SIGN CO. WILL VOID THE WARRANTY.

AERIAL VIEW

FEDERAL HEATH
VISUAL COMMUNICATIONS
www.FederalHeath.com
12094 Anderson Rd. #310 Tampa, FL 33625
(813) 855-4415 Fax: (813) 845-3037

Manufacturing Facilities:
Delaware, OH - Euless, TX - Jacksonville, TX
Racine, WI - Rochester Hills, MI

Office Locations:
Atlanta, GA - Brandon, FL - Indianapolis, IN
Tunica, MS - Daytona Beach, FL - Delaware, OH
Euless, TX - Grafton, WI - Houston, TX
Idaho Falls, ID - Louisville, KY - Ocean Ranch, CA
Racine, WI - Rochester Hills, MI - San Antonio, TX
Tampa, FL - Willowbrook, IL - Orlando, FL

Building Quality Signage Since 1901

Revisions: 81

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____

Landlord Approval/Date: _____

Account Rep: Daniel Palmer

Project Manager: Pam Poore

Drawn By: Jake Posadas/CHC

Underwriters Laboratories Inc. ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:

HIBBETT

STORE #646
7319 ALCOA RD.
BRYANT, AR 72022

Job Number: 23-79828-10

Date: December 08, 2022

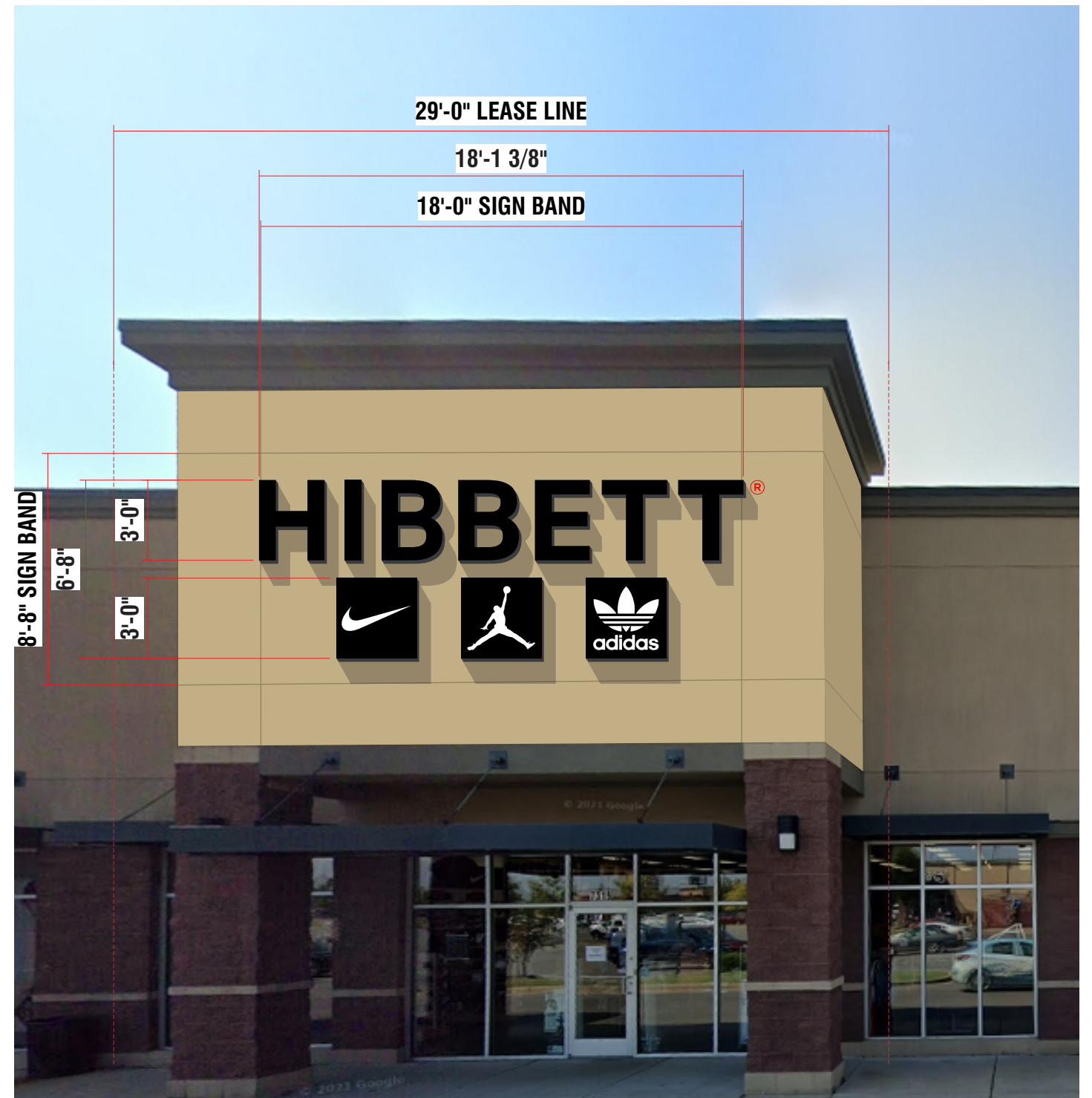
Sheet Number: 1 of 4

Design Number: 23-79828-10

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EXISTING CONDITION
APPROXIMATE SCALE: 3/16"=1'



A PROPOSED NEW LOOK
APPROXIMATE SCALE: 3/16"=1'
SCOPE OF WORK:
PATCHING EXISTING PENETRATIONS AND PAINTING THE ENTIRE SIGN BAND SW 6122

SW 6122 CAMELBACK



VISUAL COMMUNICATIONS
www.FederalHealth.com

12094 Anderson Rd. #310 Tampa, FL 33625
(813) 855-4415 Fax: (813) 845-3037

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Idaho Falls, ID - Louisville, KY - Ocean Ranch, CA
Racine, WI - Rochester Hills, MI - San Antonio, TX
Tampa, FL - Willowbrook, IL - Orlando, FL

Building Quality Signage Since 1901

Revisions:

81		

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.
 Client Approval/Date: _____
 Landlord Approval/Date: _____

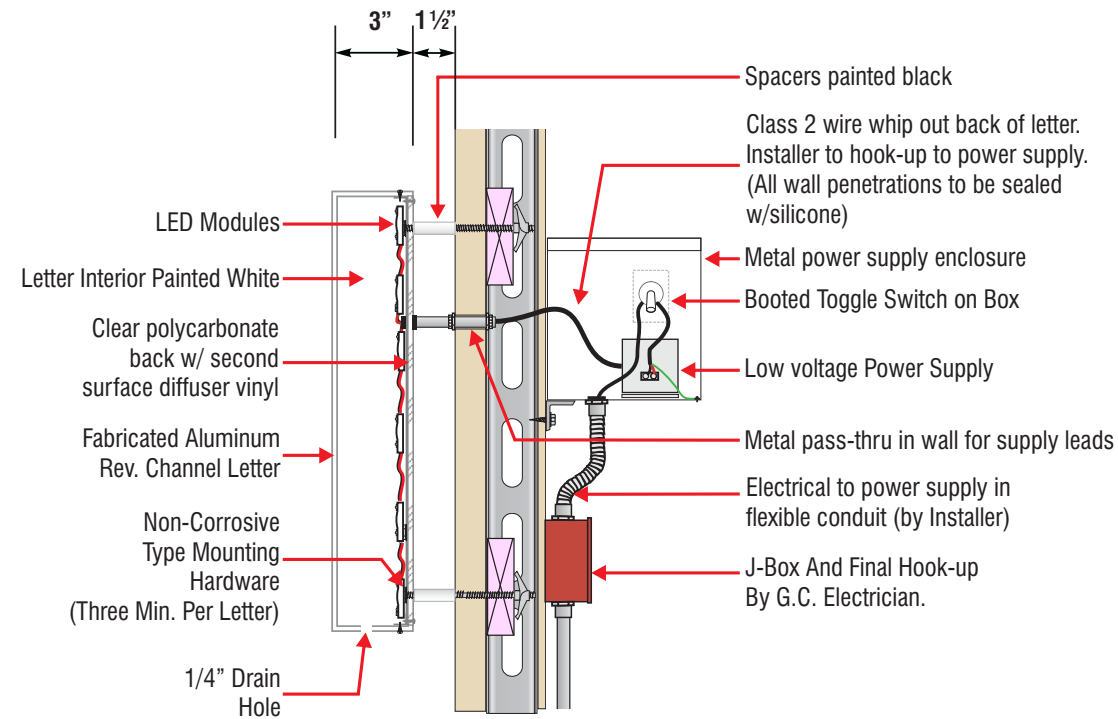
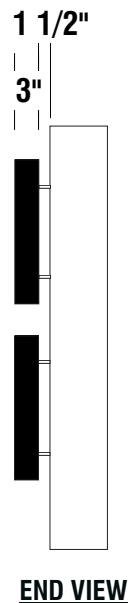
Account Rep: Daniel Palmer
 Project Manager: Pam Poore
 Drawn By: Jake Posadas/CHC
 Underwriters Laboratories Inc. nfc
 ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
 ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:
HIBBETT

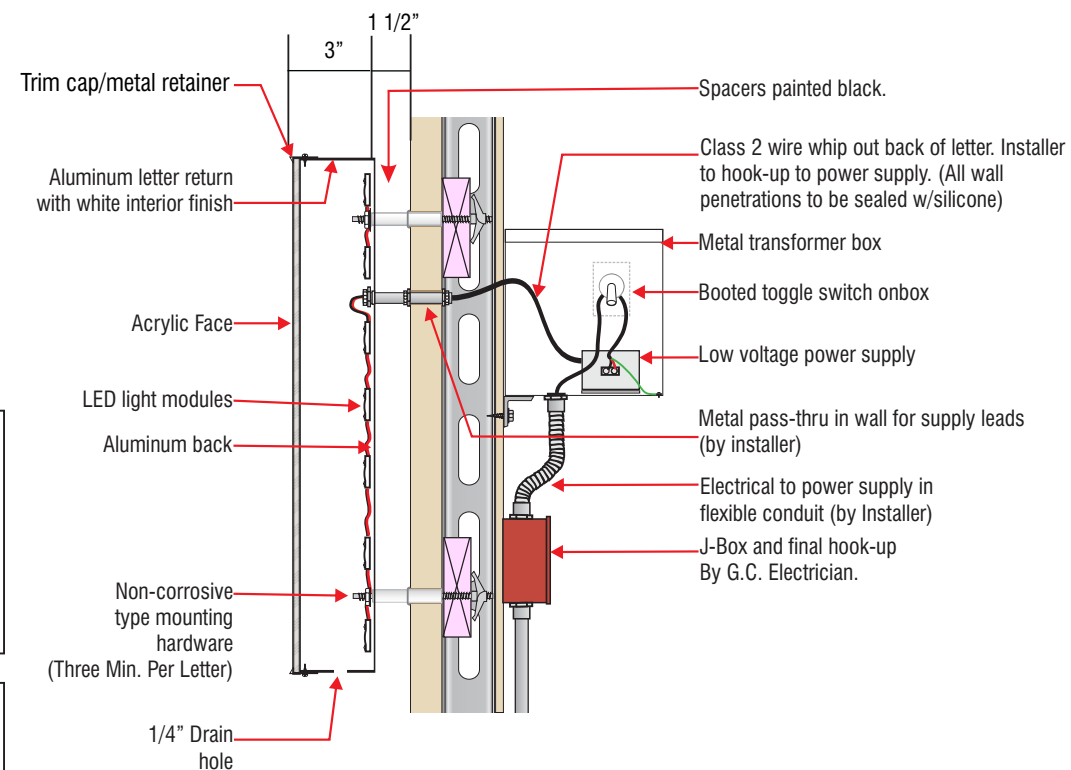
 STORE #646
 7319 ALCOA RD.
 BRYANT, AR 72022

Job Number: 23-79828-10
 Date: December 08, 2022
 Sheet Number: 2 Of 4
 Design Number: 23-79828-10

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SPACERS TO BE PROVIDED BY FEDERAL HEATH
SECTION DETAIL - L.E.D. HALO ILLUMINATED WALL LETTERS N.T.S



SPACERS TO BE PROVIDED BY FEDERAL HEATH
SECTION DETAIL - L.E.D. FACE LIT / OFF-SET MOUNTED CABINET N.T.S

A **HB - 36 - RCL - CAB - STKD** **SCALE: 1/4" = 1'**
ONE (1) SET REQ'D. **120.7 SQ. FT.**

SCOPE OF WORK: MANUFACTURE & INSTALL ONE (1) SET OF HALO ILLUMINATED REVERSE CHANNEL LETTERS WITH FACE ILLUMINATED LOGO CABINETS, OFFSET MOUNTED TO FASCIA.

LETTERS: FABRICATED WITH 3" DEEP .063 ALUMINUM RETURNS AND .125 ALUMINUM FACES PAINTED TO MATCH PMS#426C BLACK. .177 CLEAR POLY-CARBONATE BACKS WITH VINYL DIFFUSER. OFFSET STANDOFFS PAINTED BLACK.

©: 3M 7725-12 OPAQUE VINYL APPLIED TO .177 CLEAR POLY TAB ATTACHED TO RETURN OF LETTER "T".

LOGO CABINETS: .063 ALUMINUM RETURNS AND 1" TRIMCAP PAINTED TO MATCH PMS#426C BLACK WITH WHITE ACRYLIC FACES AND FIRST SURFACE OPAQUE VINYL GRAPHICS. OFFSET MOUNTED WITH STANDOFFS PAINTED BLACK.

ILLUMINATION: WHITE SLOAN LEDs AND REMOTE POWER SUPPLIES.

NOTE: EXTERIOR APPLICATIONS TO BE WIRED TO TORK 3000 PHOTOCCELL.

MATERIAL FINISH COLORS			
	BLACK PAINT PMS#426C	BLACK OPAQUE VINYL 3M 7725-12	WHITE ACRYLIC

Total: <u>T.B.D.</u> Amps	REFER TO PAGE 1 FOR ADDITIONAL ELECTRICAL AND INSTALLATION INFORMATION & REQUIREMENTS
# of 120V, 20A Circuits Req'd T.B.D. ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.	

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 600 OF THE NEC, UL 48 AND OR OTHER APPLICABLE LOCAL CODES, INCLUDING THE PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH, AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.



VISUAL COMMUNICATIONS
www.FederalHeath.com

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 Euless, TX - Grafton, WI - Houston, TX
 Idaho Falls, ID - Louisville, KY - Ocean Ranch, CA
 Racine, WI - Rochester Hills, MI - San Antonio, TX
 Tampa, FL - Willowbrook, IL - Orlando, FL

Building Quality Signage Since 1901

Revisions:
 1

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____

Landlord Approval/Date: _____

Account Rep: Daniel Palmer

Project Manager: Pam Poore

Drawn By: Jake Posadas/CHC

Underwriters Laboratories Inc. ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:
HIBBETT

STORE #646
 7319 ALCOA RD.
 BRYANT, AR 72022

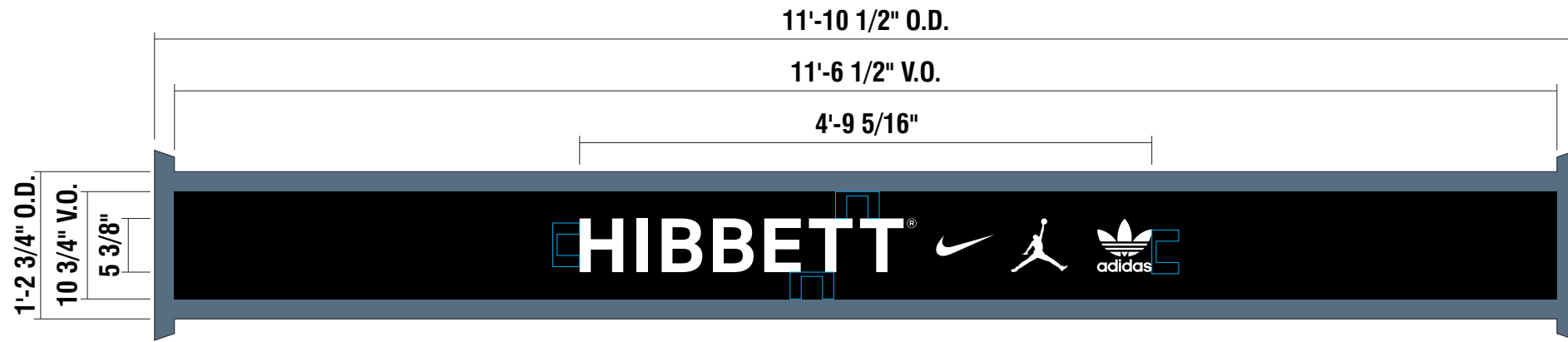
Job Number: 23-79828-10

Date: December 08, 2022

Sheet Number: 3 Of 4

Design Number: 23-79828-10

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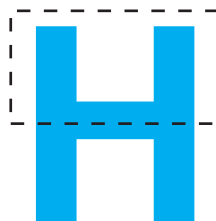
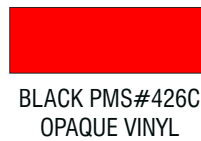
B HB-RP-1-LINEAR-REPLACEMENT PANELS
 TWO (2) REQ'D.

SCALE: 3/4"=1'
 14.59 SQ. FT.

SCOPE OF WORK: FABRICATE & INSTALL NEW FACES.

FACES: WHITE SUBSTRATE FACE WITH FIRST SURFACE BLACK OPAQUE VINYL TO MATCH PMS#426C WEEDED TO SHOW THROUGH SUBSTRATE.

MATERIAL FINISH COLORS



HALF "H" CLEAR SPACE RULE



EXISTING CONDITION | NTS



PROPOSED NEW LOOK | NTS



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Revisions:
 1

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____
 Landlord Approval/Date: _____

Account Rep: Daniel Palmer
 Project Manager: Pam Poore
 Drawn By: Jake Posadas/CHC

UL Underwriters Laboratories Inc. nfc

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