



# Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

**Date:** June 26, 2025 - **Time:** 9:00 AM

## Call to Order

## Old Business

## New Business

### 1. Bryant Schools ALE - Building Addition - 1200 S Reynolds

*Josh Minton - Requesting Approval for Site Plan Addition*

- [0974-PLN-01.pdf](#)
- [0974-LTR-01.pdf](#)

### 2. Sky Blue Duplexes Subdivison - Final Plat

*Hope Consulting - Requesting Recommendation for Approval of Final Plat*

- [0952-PLT-02.pdf](#)

### 3. 9 Pine Chapel Dr - Conditional Use Permit - Lot 9 Tanglewood Acres

*JR Shellnut COstruction - Requesting Recommendation for approval on Conditional Use for additional square footage for Accessory Shop Building*

- [0975-APP-01.pdf](#)

### 4. Panera Bread - 23146 I-30 - Sign Permit

*Arkansas Sign and Neon - Requesting Sign Permit Approval for Pylon Sign*

- [Panera Bread - Pylon Sign Application.pdf](#)

## Staff Approved

## Permit Report

## Adjournments

# BRYANT ALE CLASSROOM ADDITION

BRYANT PUBLIC SCHOOLS  
BRYANT, ARKANSAS

## PROJECT INFORMATION

DRAWINGS AND PROJECT MANUAL APPROVED AND IDENTIFIED AS PARTS OF THE OFFICIAL CONTRACT DOCUMENT

OWNER: BRYANT PUBLIC SCHOOLS  
FACILITY: BRYANT ALE CLASSROOM ADDITION  
LOCATION: BRYANT, ARKANSAS  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

CONTRACTOR: --  
ADDRESS: --  
BY: --  
DATE: \_\_\_\_\_

ARCHITECT: LEWIS, ELLIOTT, MCMORRAN, VADEN,  
RAGSDALE, & WOODWARD INCORPORATED  
ADDRESS: 11225 HURON LANE, SUITE 104  
LITTLE ROCK, ARKANSAS 72211  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

PROJECT NUMBER: 25034  
DRAWINGS AND PROJECT MANUAL DATED: 2025 06-09

## MATERIAL LEGEND

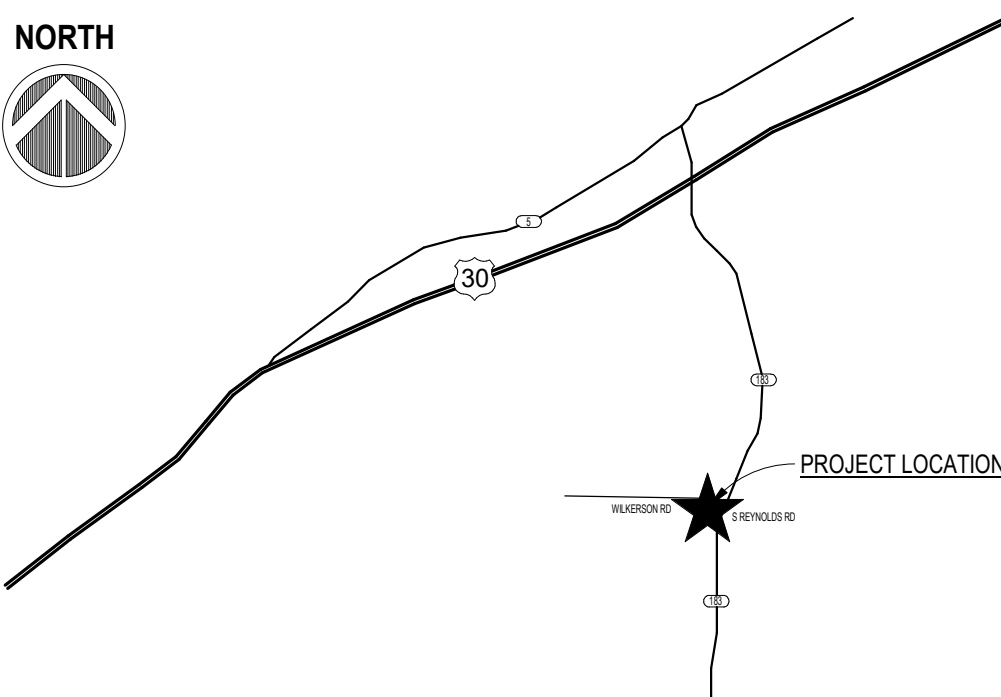
	CMU (PLAN)
	MASONRY (PLAN)
	METAL STUD FRAMING (PLAN)
	GYPSUM PANELS
	WOOD BLOCKING CONTINUOUS (SECTION)
	WOOD BLOCKING AS NEEDED (SECTION)
	WOOD FINISHED FACE OR SOLID WOOD
	WOOD PLYWOOD (SECTION)
	CONCRETE (SECTION)
	RIGID INSULATION (SECTION)
	BATT INSULATION (SECTION)
	FILL MATERIAL (SECTION)
	REPLACED SOIL (SECTION)

## DESIGN DATA

<strong>GENERAL CODES:</strong>	
INTERNATIONAL BUILDING CODE (IBC)	2021 EDITION
ARKANSAS FIRE PREVENTION CODE (AFPC)	2021 EDITION
<strong>SEISMIC:</strong>	
CLASSROOMS:	2021 IBC
SEISMIC RISK CATEGORY II	
SEISMIC DESIGN CATEGORY D	
SHELTER:	
SEISMIC RISK CATEGORY IV	
SEISMIC DESIGN CATEGORY D	
<strong>ACCESSIBILITY STANDARDS</strong>	
ADA STANDARDS FOR ACCESSIBLE DESIGN	2010 EDITION
<strong>OCCUPANCY CLASSIFICATION:</strong>	
EDUCATIONAL	IBC 305
<strong>CONSTRUCTION TYPE:</strong>	
TYPE VB - COMBUSTIBLE	IBC 602.5
<strong>ALLOWABLE BUILDING SQUARE FOOTAGE/HEIGHT:</strong>	
ONE STORY (S1), NOT SPRINKLED (NS) = 9,500 SQFT / 1 STORY 40 FT	IBC 506.2
<strong>OCCUPANT LOAD:</strong>	
EGRESS DESIGN = 20 SQFT/OCC (NET) = 168 OCCUPANTS	IBC 1004
ACTUAL = 2 ELEMENTARY ALE CLASSROOMS ( 23 STUDENTS, 1 TEACHER) = 43 OCCUPANTS	
<strong>EGRESS:</strong>	
EGRESS WIDTH REQUIRED: 168 OCCUPANTS x 0.2' = 33.6	IBC 1005.3.2
EGRESS WIDTH PROVIDED = 2-3' DOORS (32" CLEAR) = 64" (320 OCC)	
MINIMUM NUMBER OF EXITS = 2 EXITS (>50 OCC)	IBC 1006.2
MINIMUM CORRIDOR WIDTH = 7'2" ( E w/ >100 OCC)	IBC 1020.3
<strong>TOTAL BUILDING SQUARE FOOTAGE:</strong>	
MAIN LEVEL	3,485 SQ. FT.
<strong>FIRE PROTECTION</strong>	
PORTABLE FIRE EXTINGUISHERS	NFPA 10
1-HR AND 2-HR RATED CONSTRUCTION	IBC TABLE 601
FIRE EXIT (PANIC) HARDWARE AT BUILDING EXITS	1010.2.9

<strong>SEE LIFE SAFETY PLAN FOR LIFE SAFETY INFORMATION</strong>	
<strong>SYMBOL LEGEND</strong>	
	DOOR MARK, SEE DOOR SCHEDULE
	CASEWORK ELEVATION MARK
	WINDOW / STOREFRONT FRAME MARK
	CLASSROOM → ROOM NAME
	101 → ROOM NUMBER
	LAY-1 9'-4" → ROOM CEILING HEIGHT
	↑ CEILING FINISH
	3 → DETAIL / SECTION NUMBER
	A4.4 → SHEET NUMBER

## VICINITY MAP



**CERTIFICATION STATEMENT:**  
I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE "ARKANSAS FIRE PREVENTION CODE" FOR THE STATE OF ARKANSAS.

LEWIS, ELLIOTT, MCMORRAN, VADEN, RAGSDALE, & WOODWARD, INCORPORATED

## ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
AT	ALUMINUM THRESHOLD
CEJC	CEILING EXPANSION JOINT COVER
CJ	CONTROL JOINT
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
DTL	DETAIL
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FEJ	FLOOR EXPANSION JOINT
FLR	FLOOR
GB	GRAB BAR
MECH	MECHANICAL
NHO	NORMALLY HELD OPEN
NTS	NOT TO SCALE
OPG	OPENING
REQ	REQUIRED
SHT	SHEET
SIM	SIMILAR
STO	STORAGE
TYP	TYPICAL
WEJC	WALL EXPANSION JOINT COVER

## INDEX OF DRAWINGS

T1.1 TITLE SHEET

### CIVIL

- A1.0 LIFE SAFETY PLAN
- A2.1 DEMO, SITE, & FLOOR PLAN
- A3.1 BUILDING ELEVATIONS
- A4.1 BUILDING SECTIONS
- A5.1 WALL SECTIONS
- A5.2 WALL SECTIONS
- A6.1 RCP & ROOF PLAN
- A8.1 DOORS, WINDOWS, & INTERIOR FINISH SCHEDULE

### STRUCTURAL

- S2.1 STRUCTURAL PLANS
- S3.1 FOUNDATION DETAILS
- S3.2 FOUNDATION DETAILS
- S3.3 FRAMING DETAILS

### PLUMBING

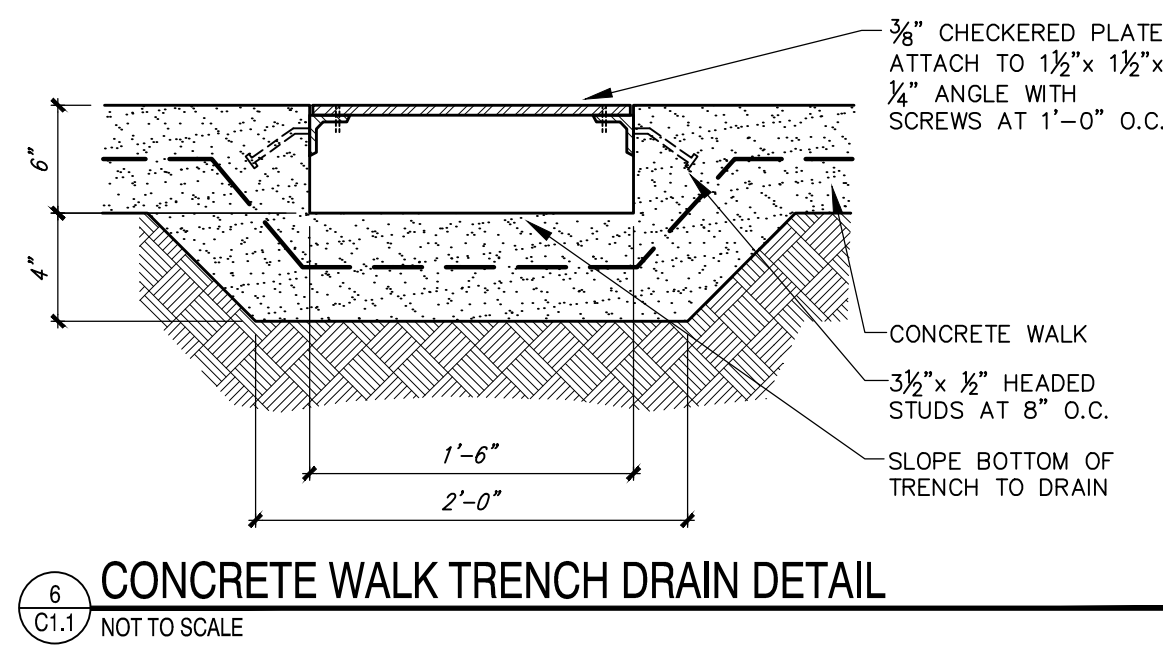
- P1.1 FLOOR PLAN - PLUMBING
- P2.1 PLUMBING SCHEDULES & DETAILS

### MECHANICAL

- M1.1 FLOOR PLAN - HVAC
- M2.1 HVAC LEGENDS & SCHEDULES
- M3.1 HVAC DETAILS

### ELECTRICAL

- E1.1 FLOOR PLAN - ELECTRICAL
- E2.1 ELECTRICAL RISERS & DETAILS
- E3.1 ELECTRICAL LEGENDS, DETAILS, & NOTES

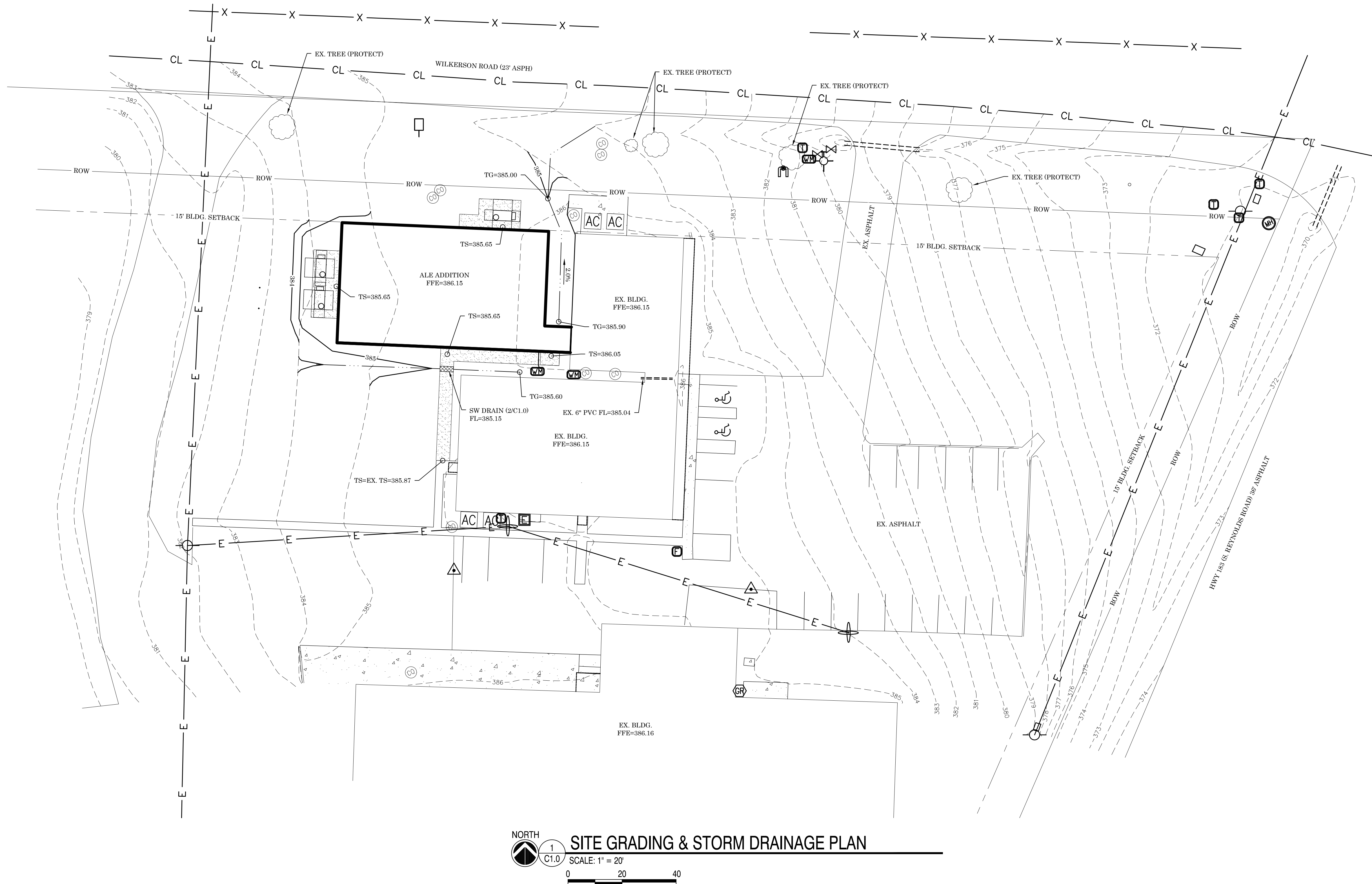


CONCRETE WALK TRENCH DRAIN DETAIL

NOT TO SCALE

GENERAL SITE GRADING NOTES:

1. ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BEING WORK INCLUDED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BEING.
2. CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY DEMOLITION OR NEW CONSTRUCTION WORK COMMENCES.
3. ALL WORK SHALL CONFORM TO LOCAL & STATE CODES. ELECTRICAL & PLUMBING LINES SHALL BE NOTICED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
4. FIELD VERIFY EXIST LOCATION OF ALL EXISTING TREES. EXIST TREES NOT IN CONSTRUCTION AREA TO BE PROTECTED WITH 2x4 WOOD FRAMING CORRS IN LINE WITH TOP EDGE OF TREE. SECURED TOGETHER IN FLAGGED WORKMANSHIP. TAPE HEAVY EQUIPMENT TO WORK AS FAR AS POSSIBLE FROM EXIST TREES TO PREVENT DAMAGE TO TREES ROOTS. CONTRACTOR WILL BE REQUIRED TO COMPENSATE OWNER FOR ANY EXISTING TREES WHICH ARE DAMAGED OR DUE TO CONSTRUCTION WORK.
5. THE GENERAL CONTRACTOR SHALL HAVE THE GEOTECHNICAL ENGINEER EMPLOYED TO OBSERVE SITE WORK MEET WITH THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE SOILS REPORT. THIS MEETING SHOULD OCCUR AT OR BEFORE THE PRE-CONSTRUCTION MEETING TO DISCUSS THE AMOUNT OF UNDERCUT THAT MAY BE REQUIRED FOR THE PROJECT. RECOMMENDATIONS BY GEO-TECHNICAL ENGINEER SHALL NOT BE IMPLEMENTED INTO WORK WITHOUT APPROVATION FROM OWNER & ARCHITECT. SOILS ARCHITECT IMMEDIATELY IF UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE CONTRACTOR WILL RETAIN THE GEOTECHNICAL REPORT FOR A MORE DETAILED DESCRIPTION OF EARTHWORK AND COMPACTION REQUIREMENTS.
6. SEQUENCE OF DIRTWORK ACTIVITIES (REFERENCE GEOTECH REPORT):  
1) THE SITE WILL BE CLEARED OF ALL TREES NECESSARY FOR SITE CONSTRUCTION. SEE CLEARING LIMITS.  
2) THE TOP 1.0' OF SOIL WILL BE STRIPPED UNDER ALL STRUCTURAL ELEMENTS (BUILDINGS, PARKING & DRIVE AREAS). THIS MATERIAL CAN BE USED ON SITE AS UNDESIGNED FILL (OVER SPACES).  
3) SOIL GEOTECH REPORT FOR UNDERCUT RECOMMENDATIONS. SELECT FILL WILL BE PLACED TO 10' OUTSIDE PERIMETER. 5' OUTSIDE THE EDGE OF PERIMETER FOR DRIVE AND PARKING.  
4) PROOF ROLL ALL SUBGRADE PRIOR TO PLACING FILL. REMOVE AND REPLACE WITH COMPACTED SELECT FILL AS DIRECTED BY GEOTECH.  
5) SELECT FILL WILL BE PLACED IN LOOSE 8" LIFTS AND COMPACTED TO MEET MOISTURE PROCTOR WITHIN 2% OPTIMUM MOISTURE CONTENT. SEE GEOTECH REPORT FOR SELECT FILL REQUIREMENTS.
7. THE CONTRACTOR WILL VERIFY THE LOCATION AND ELEVATION OF ALL ROSES, CONCRETE AND FOUNDATION DRAIN CONNECTIONS WITH THE PLUMBING AND FOUNDATION SHEETS PRIOR TO INSTALLATION.



SITE GRADING & STORM DRAINAGE PLAN

SCALE: 1" = 20'

0 20 40



DATE: 2025-06-09  
PROJECT NO: 25034  
DRAWN BY: JM  
REV:

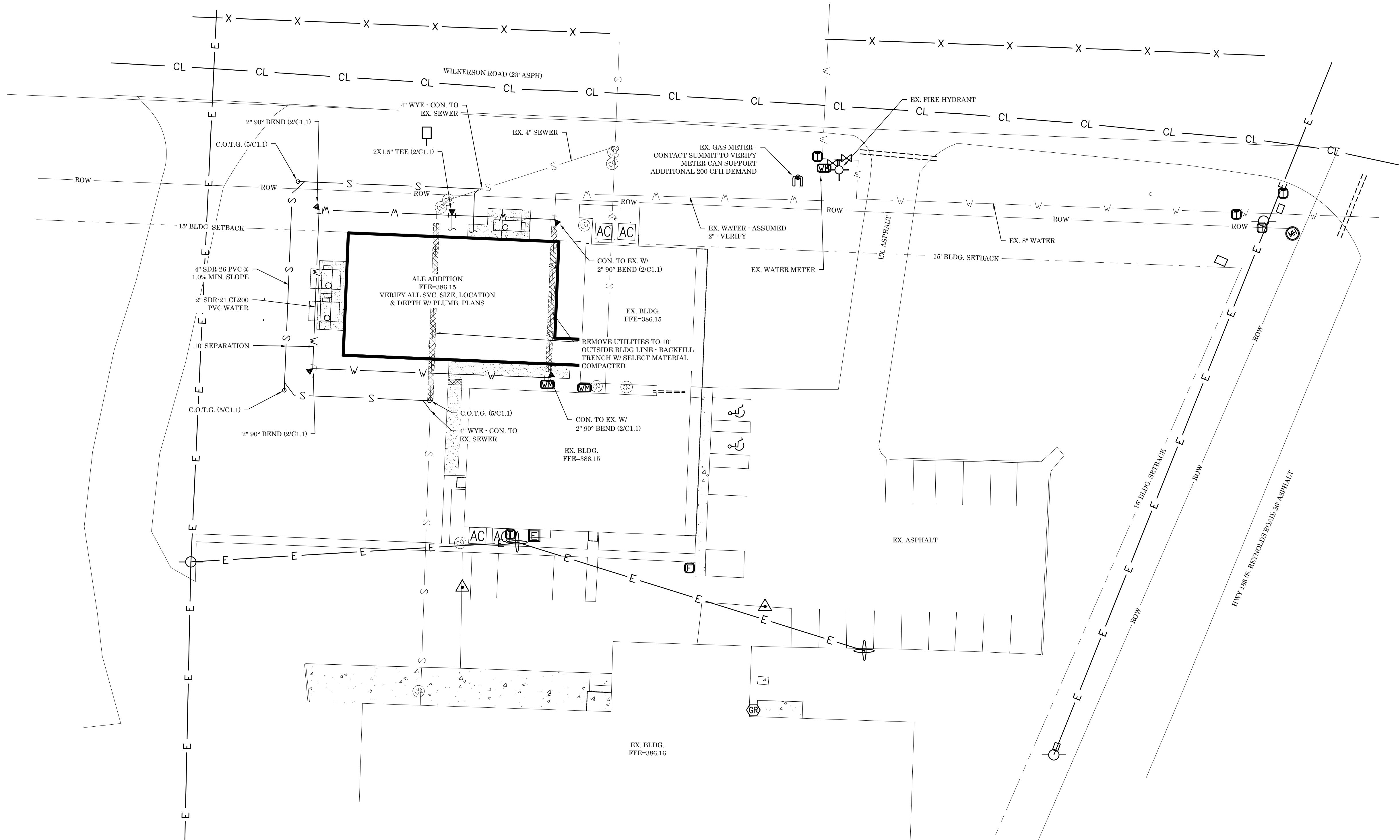
C1.0  
2 of 3

BRYANT ALE CLASSROOM  
ADDITION  
BRYANT PUBLIC SCHOOLS  
BRYANT, ARKANSAS

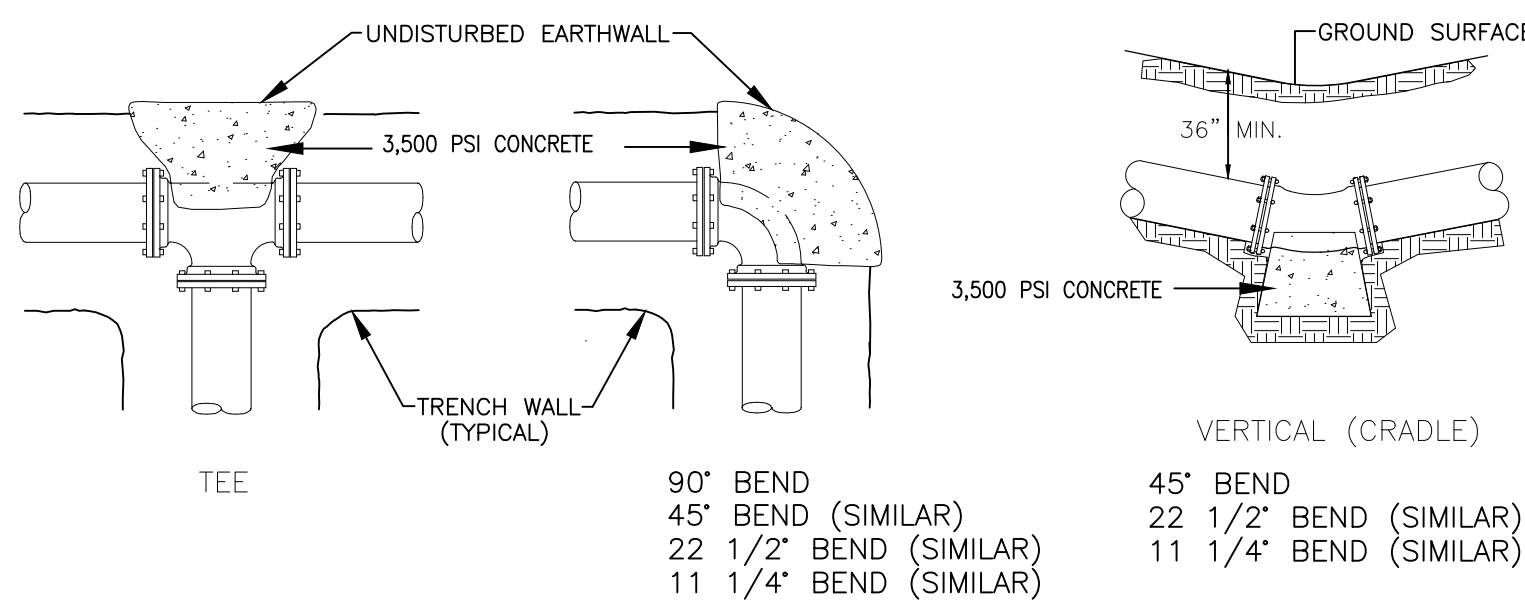
SITE GRADING & STORM  
DRAINAGE PLAN

LEWIS  
ARCHITECTS  
ENGINEERS

ELLIOTT • MCMORRAN • VADEN  
RAGSDALE • WOODWARD • INCORPORATED  
501.223.9306 • FAX 501.223.9909 • WWW.LEWISVADEN.COM



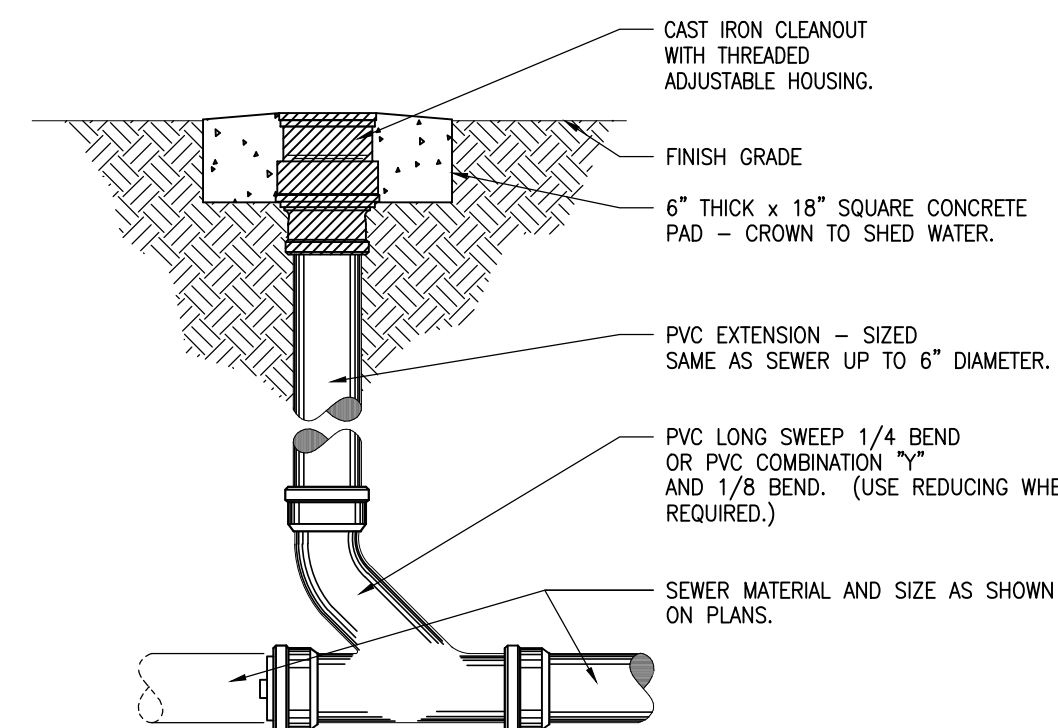
**1 SITE UTILITY PLAN**  
SCALE: 1" = 20'  
0 20 40



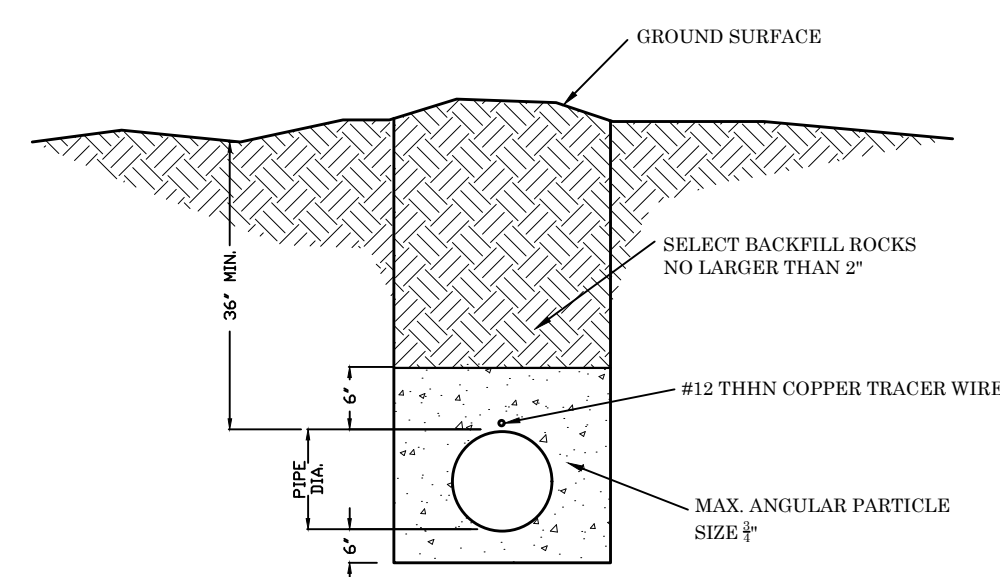
**NOTES:**

- All fittings shall be mechanical joint with retainer glands.
- Do not cover bells or flanges with concrete.
- Wrap all fittings with visqueen.
- Back all tees according to size of branch.
- Backing future line extensions shall be such that later removal is possible.
- All bends where fittings are used, both horizontal and vertical, shall be backed.
- Reaction backing table is based on 150 p.s.i. and soil bearing pressure of 2,500 lb./sq. ft. Additional backing may be required in some areas as directed by engineer.

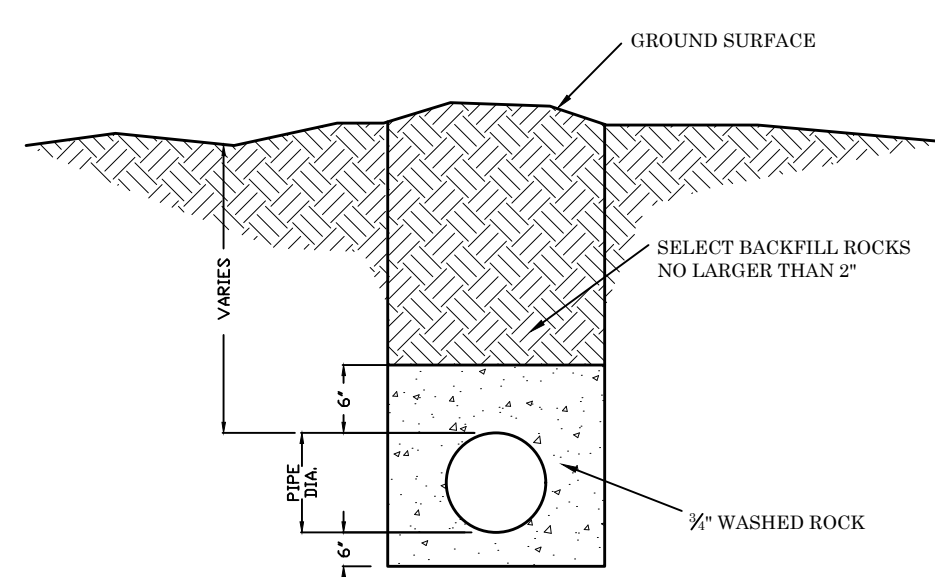
REACTION BACKING TABLE					
REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING					
SIZE	TEE OR PLUG/CAP	90°	45°	22 1/2°	11 1/4°
2"-4"	2	2	1	1	1
6"	3	3	2	1	1
8"	4	4	3	2	2
12"	10	10	5	3	2
18"	26	26	14	7	4
24"	38	38	20	10	7
30"	59	59	32	16	10



**5 CLEANOUT TO GRADE (C.O.T.G.) DETAIL**  
NOT TO SCALE



**3 WATER BEDDING DETAIL**  
NOT TO SCALE



**4 SEWER BEDDING DETAIL**  
NOT TO SCALE

**GENERAL UTILITY NOTES:**

- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
- CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY DEMOLITION OR NEW CONSTRUCTION WORK COMMENCES.
- ALL WORK SHALL CONFORM TO LOCAL & STATE CODES; ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
- ALL WORK SHALL CONFORM TO THE SPECIFICATIONS SET FORTH BY THE ARKANSAS DEPARTMENT OF HEALTH AND BRYANT WATER DEPARTMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CONNECTION FEES AND AS-BUILTS REQUIRED.
- CONTRACTOR TO VERIFY UTILITY CONNECTION LOCATIONS TO THE BUILDING WITH THE PLUMBING SHEETS.
- SEWER MANHOLES SET IN GREEN SPACE AREAS WILL HAVE A RIM ELEVATION OF AT LEAST 3" BUT NO MORE THAN 5" ABOVE ADJACENT GRADE.
- ALL WATER AND SEWER LINES SHALL MAINTAIN 10' OF HORIZONTAL SEPARATION AND 18" OF VERTICAL SEPARATION, WATER OVER SEWER. WATERTIGHT CASING WILL BE REQUIRED IF THESE DIMENSIONS CAN NOT BE ACHIEVED. SEPARATION REQUIREMENTS B/T WATER AND SEWER WILL FULLY COMPLY WITH THE ARKANSAS RULES PERTAINING TO PUBLIC WATER SYSTEMS SECTION XIV A.

**GRADATION PLAN NOTE**

PRIOR TO INSTALLING ANY SANITARY, STORM, GAS OR WATER LINES BELOW GRADE, THE PLUMBING CONTRACTOR SHALL FURNISH TO THE ARCHITECT TWO COPIES OF A GRADATION PLAN OF THE BUILDING DRAINS AND SEWER LINES WITH PROPOSED ELEVATION GRADES SHOWN AT EACH MAJOR GROUP OF PLUMBING FIXTURES, AT EACH PIPE LINE INTERSECTION, AT EACH PIPE LINE CROSSING, AT EACH GRADE BEAM OR FOOTING PENETRATION/INTERSECTION AND AT ANY EXISTING PIPE LINE CONNECTIONS. THE PLAN SHALL ALSO INCLUDE ALL THOSE PIPE INTERSECTIONS AND/OR PIPE CROSSINGS THAT ARE EXTERIOR OF BUILDING/ADDITION INCLUDING ANY MANHOLES, CONNECTION TO EXISTING MAINS AND CLEANOUTS TO GRADE.



DATE: 2025 06-09  
PROJECT NO: 25034  
DRAWN BY: JM  
REV:

**C1.1**  
3 of 3

**BRYANT ALE CLASSROOM  
ADDITION  
BRYANT PUBLIC SCHOOLS  
BRYANT, ARKANSAS**

**SITE GRADING & STORM  
DRAINAGE PLAN**

**LEWIS ARCHITECTS ENGINEERS**  
**ELLIOTT • MCMORAN • VADEN**  
**RAGSDALE • WOODWARD • INCORPORATED**  
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IBC TABLE 601

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
	A	B	A	B	A	B	HT	A	B
PRIMARY STRUCTURAL FRAME	3	2	1	0	1	0	HT	1	0
BEARING WALLS									
EXTERIOR	3	2	1	0	2	2	2	1	0
INTERIOR	3	2	1	0	1	0	1/HT	1	0
NONBEARING INTERIOR WALLS									
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	2	2	1	0	1	0	HT	1	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1.5	1	1	0	1	0	HT	1	0

FIREPROOFING NOTES: TYPE V-B CONSTRUCTION

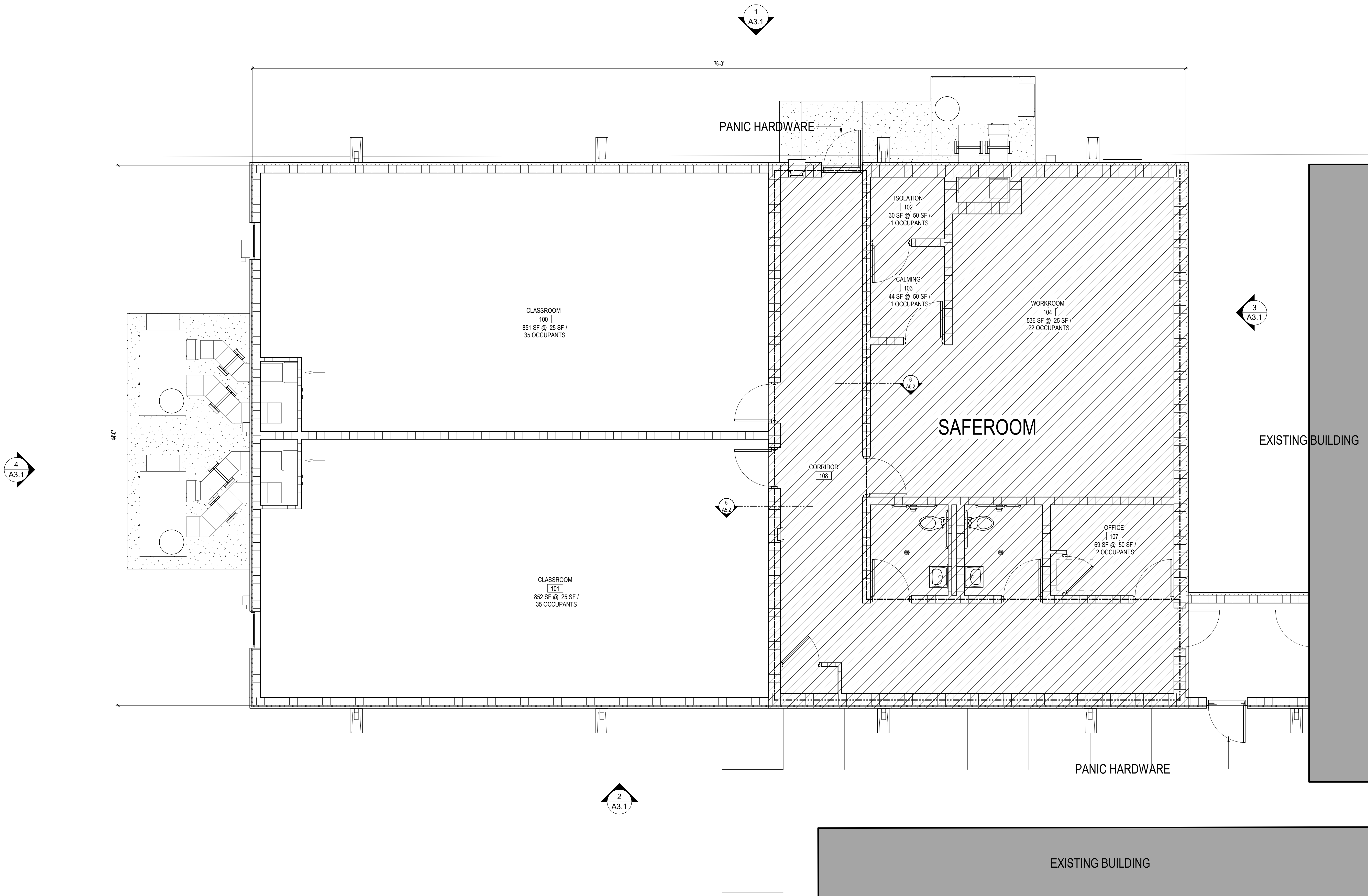
BUILDING ELEMENT	RATING	APPLICATION/PRODUCT
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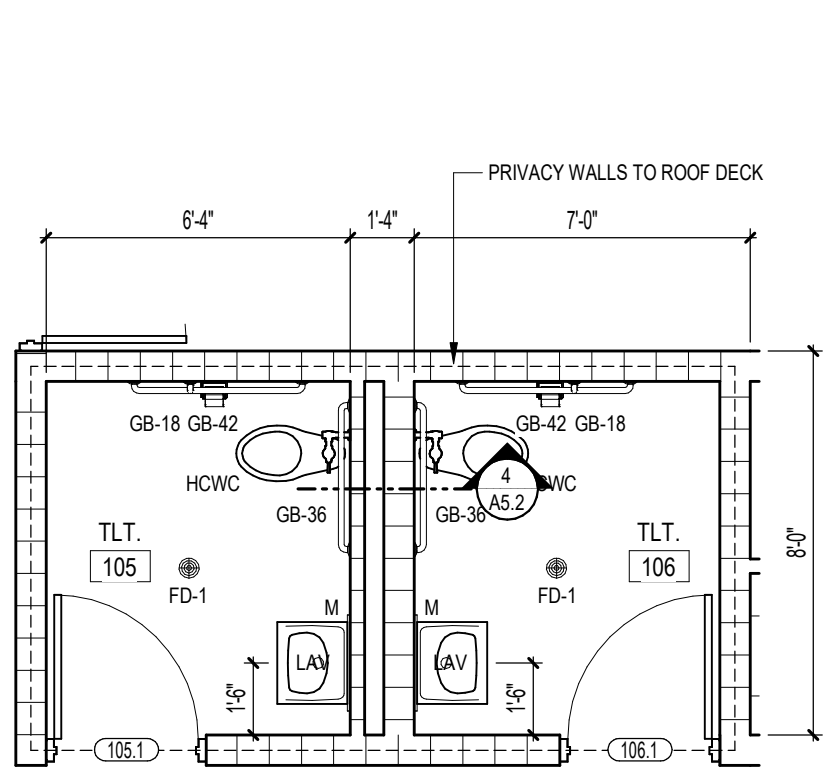
NOTES: ALL STRUCTURAL STEEL SHALL BE UNPAINTED/UNPRIMED UNLESS NOTED OTHERWISE.  
ALL METAL FLOOR AND ROOF DECK SHALL BE GALVANIZED OR UL CLASSIFIED PAINTED DECK

LIFE SAFETY: STORM SHELTER

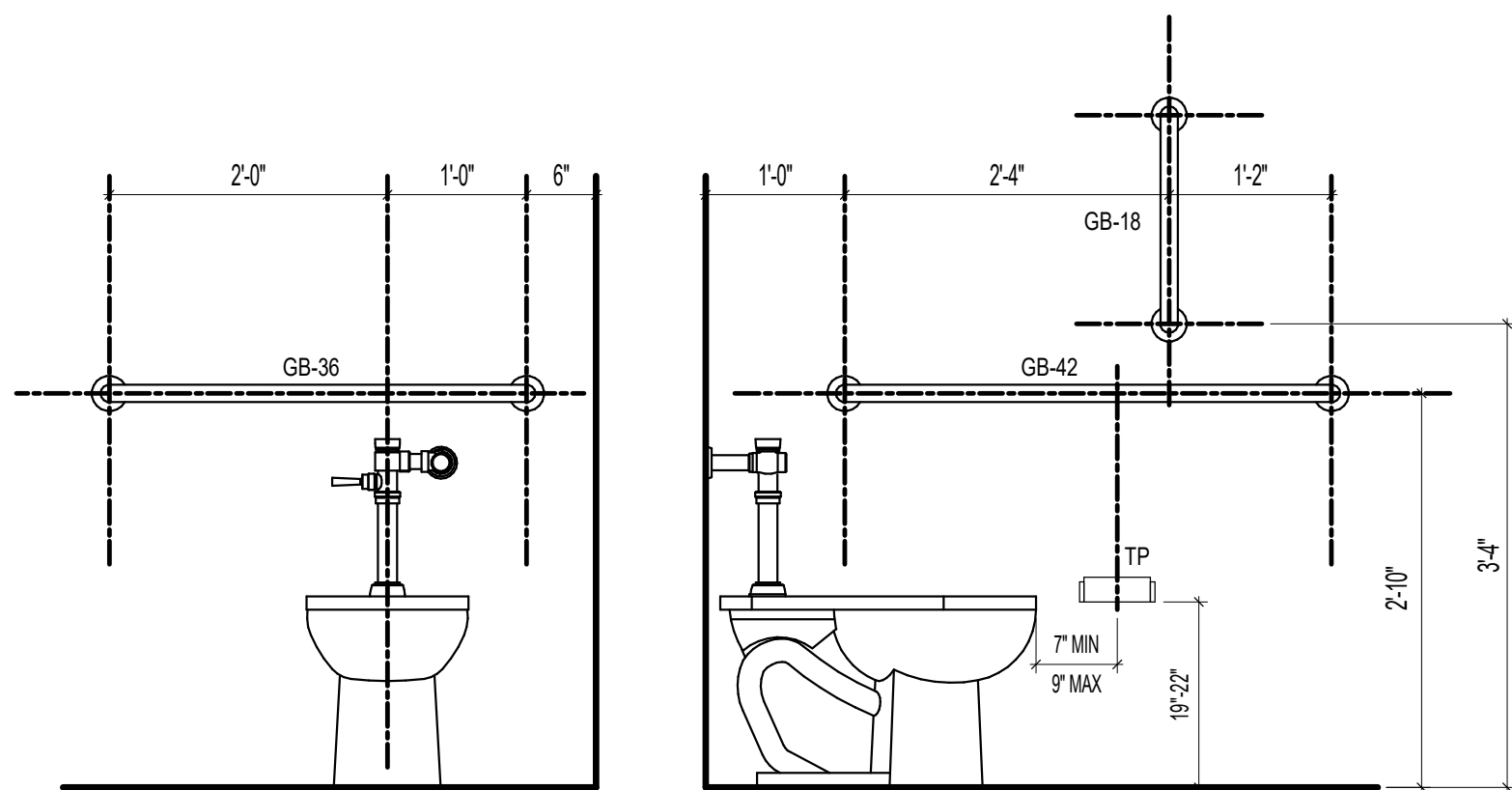
<b>FIRE AREA EDUCATION, NS, TYPE VB</b>  ALLOWABLE AREA FACTOR NS, VB (TABLE 506.2): 9,500 SF PER FLOOR  FRONTAGE INCREASE: 240' BUILDING PERIMETER 168' OF PERIMETER FACE 30" OF OPEN SPACE 68% OF BUILDING PERIMETER  9,500 (NS AREA FACTOR) x .68 INCREASE FACTOR 6,460 SF INCREASE  TOTAL ALLOWABLE AREA: <u>15,960 SF PER FLOOR</u>  ACTUAL AREA (MEASURED WITHIN EXTERIOR WALLS): 3,035 SF LOWER LEVEL   ALLOWABLE HEIGHT (TABLE 504.3): 40 FEET  ACTUAL HEIGHT: 16' 10" FEET  ALLOWABLE STORIES (TABLE 504.4): ONE STORY  ACTUAL STORIES: ONE STORY	<b>FIRE AREA MAIN LEVEL OCCUPANT LOAD:</b>  TOTAL: 168 OCCUPANTS EXITS REQUIRED: 2 (2 PROVIDED) EGRESS REQUIRED: 168 OCCUPANTS/2 EXITS = 84 OCCUPANTS PER EXIT  DOORS = 84 OCCUPANTS, TRANSLATES TO 55' PER EXIT DOOR MIN.  <b>FIRE AREA STORM SHELTER OCCUPANT LOAD CONTRIBUTION: IBC 423.6</b>  CLASSROOMS: 2 OFFICES: 1 OCCUPANTS TOTAL: 168 OCCUPANTS  TOTAL LOAD CONTRIBUTION TO STORM SHELTER: 168 OCC. - (168 OCC. x .25 NET SF REDUCTION FACTOR) = 126 OCCUPANTS
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FIRE WALL LEGEND	
<b>2-HR FIRE WALL</b>	12" CONCRETE MASONRY UNITS TO BOTTOM OF ROOF DECK (UL #1095). FIRE STOP AT DECK AND ALL PENETRATIONS. DO NOT TIE PARALLEL FIRE WALLS TOGETHER
<b>1-HR FIRE WALL</b>	8" CONCRETE MASONRY UNITS TO BOTTOM OF ROOF DECK (UL #1095). FIRE STOP AT DECK AND ALL PENETRATIONS. DO NOT TIE PARALLEL FIRE WALLS TOGETHER
<b>NOTE:</b> ALL FIRE WALLS AND BARRIERS SHALL BE MARKED WITH SIGNAGE READING, "FIRE AND/OR SMOKE BARRIER- PROTECT ALL OPENINGS" ACCORDING TO 2012 ARKANSAS FIRE PREVENTION CODE SECTION 703.7 ALL PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM IN ACCORDANCE WITH UL 1479	

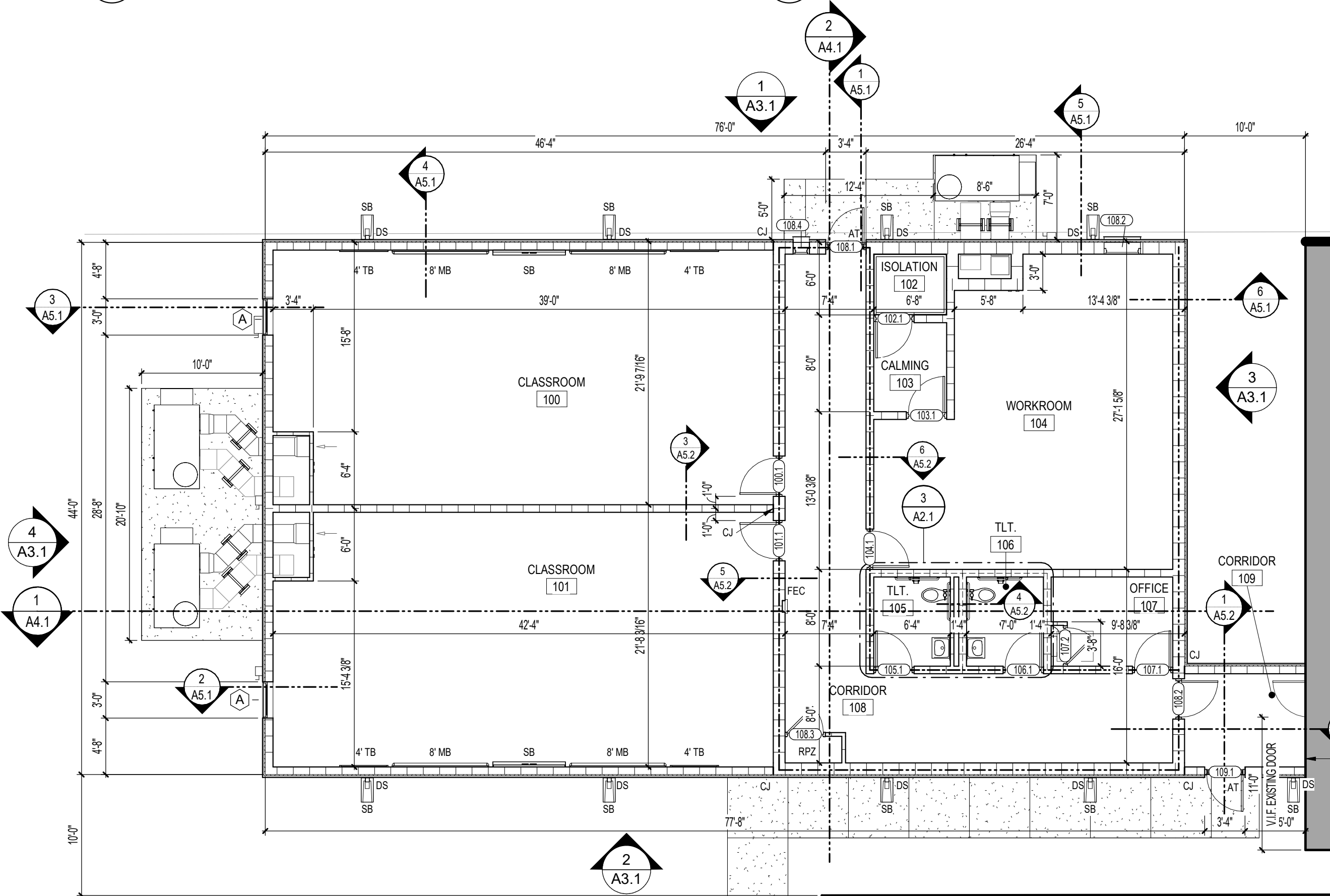




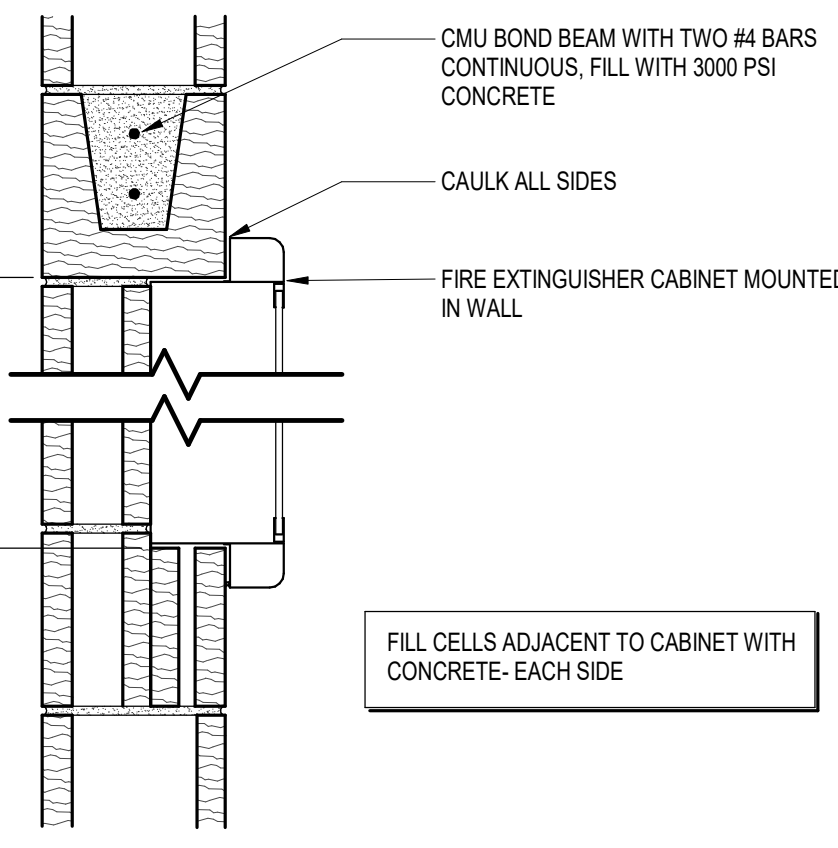
3 ENLARGED PLAN  
1/4" = 1'-0"



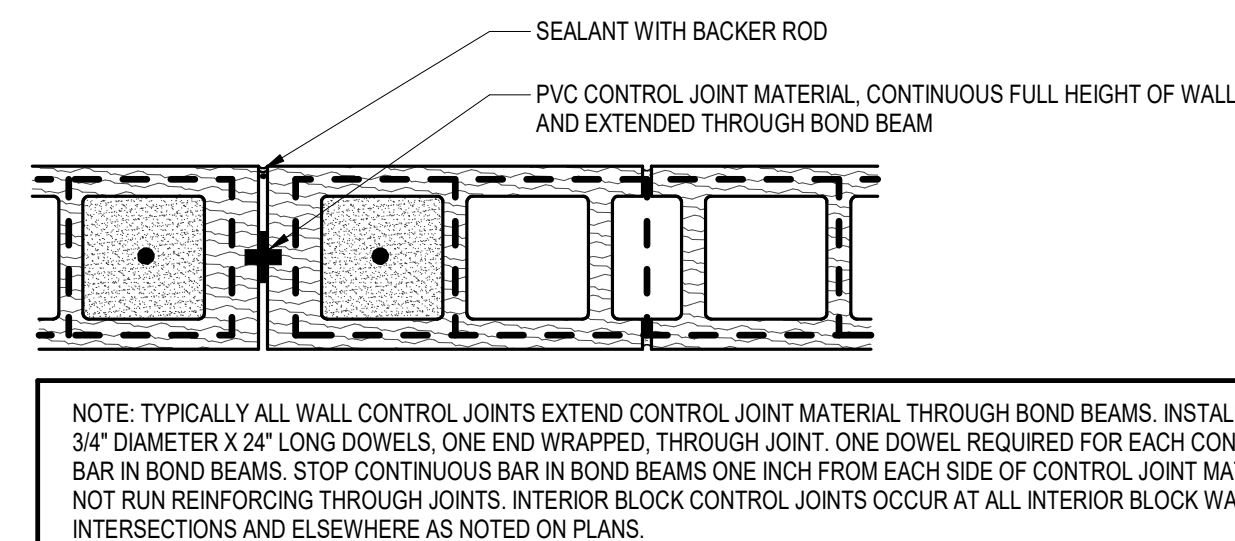
6 GRAB BAR ELEVATIONS  
3/4" = 1'-0"



1 FLOOR PLAN  
1/8" = 1'-0"



5 FIRE EXTINGUISHER CABINET-CMU  
1 1/2" = 1'-0"



7 INTERIOR MASONRY CONTROL JOINT - CMU  
1 1/2" = 1'-0"

## GENERAL SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "PROJECT SPECIFICATIONS".
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIST. PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVING TO BE STANDARD DUTY ASPHALTIC CONCRETE PAVING UNLESS OTHERWISE NOTED.
- ALL CURB/HANDICAP RAMP DESIGN SHALL CONFORM TO ADA STANDARDS.
- ALL NEW PARKING SPACES ARE TO BE PAINTED WITH 4" SINGLE WHITE SOLID LINES UNLESS OTHERWISE NOTED.
- ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN (SIGN R7-8 PER FEDERAL MANUAL ON TRAFFIC CONTROL DEVICES). PAINTED ACCESSIBLE SYMBOLS SHALL BE INSTALLED IN ALL HANDICAP SPACES AS SHOWN ON THE PLANS. HANDICAP SPACES AND SYMBOLS SHALL BE PAINTED BLUE OR PER LOCAL CODE.
- ALL TRAFFIC SIGNAGE, PAVEMENT MARKINGS, AND PARKING LOT STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REQUIREMENTS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR (4) INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- PATCH AND REPAIR EXISTING PAVING WHERE DISTURBED BY NEW CONSTRUCTION BEYOND SAW-CUT JOINT FOR NEW CONSTRUCTION.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION WAS TAKEN FROM A SURVEY BY JOHNSTON SURVEYING OF ROLAND, ARKANSAS.

## FIRE WALL LEGEND

**2-HR FIRE WALL**  
12" CONCRETE MASONRY UNITS TO BOTTOM OF ROOF DECK (UL #905). FIRE STOP AT DECK AND ALL PENETRATIONS. DO NOT TIE PARALLEL FIRE WALLS TOGETHER.

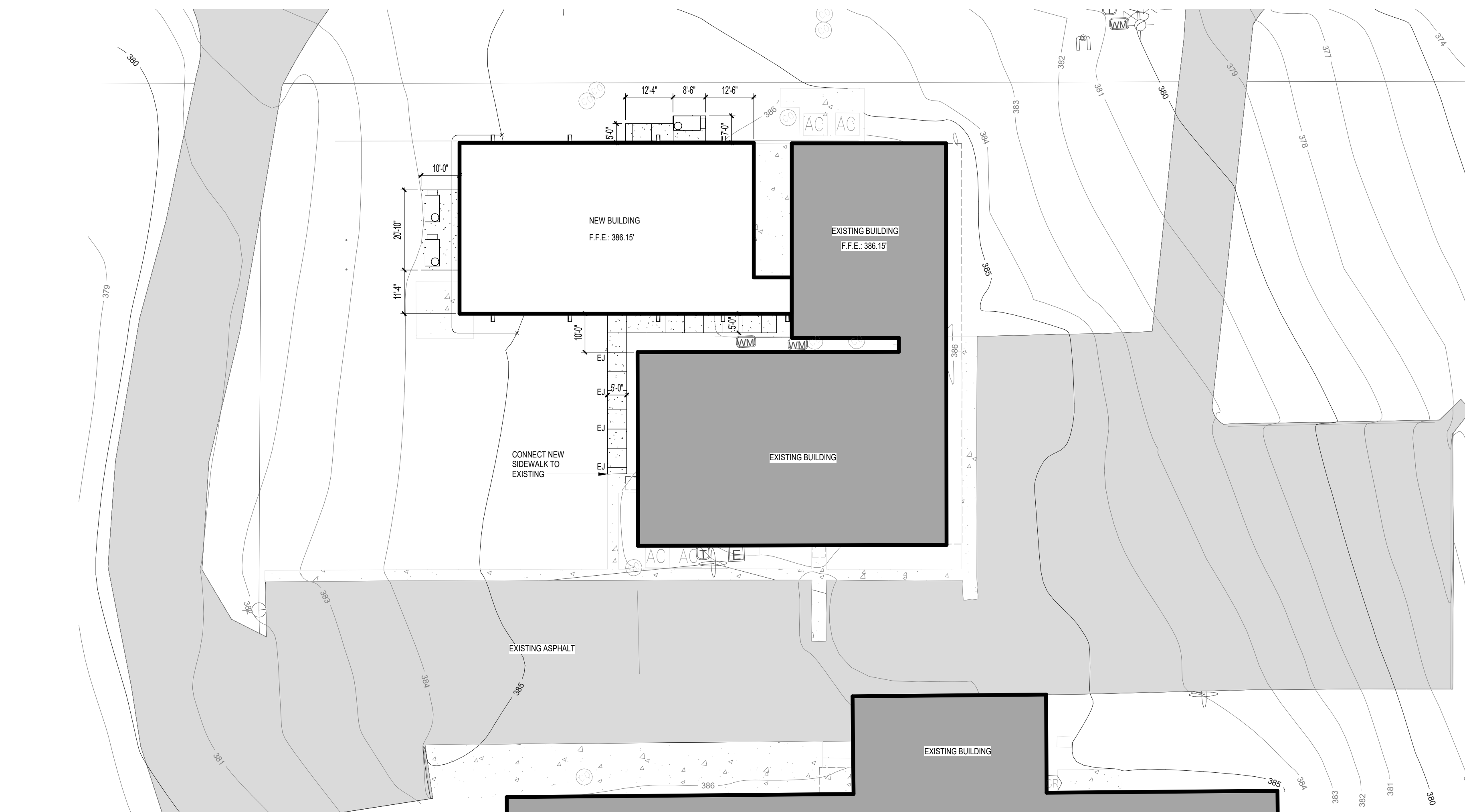
**1-HR FIRE WALL**  
8" CONCRETE MASONRY UNITS TO BOTTOM OF ROOF DECK (UL #905). FIRE STOP AT DECK AND ALL PENETRATIONS. DO NOT TIE PARALLEL FIRE WALLS TOGETHER.

**NOTE:**  
ALL FIRE WALLS AND BARRIERS SHALL BE MARKED WITH SIGNAGE READING, "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS" ACCORDING TO 2012 ARKANSAS FIRE PREVENTION CODE SECTION 703.7.

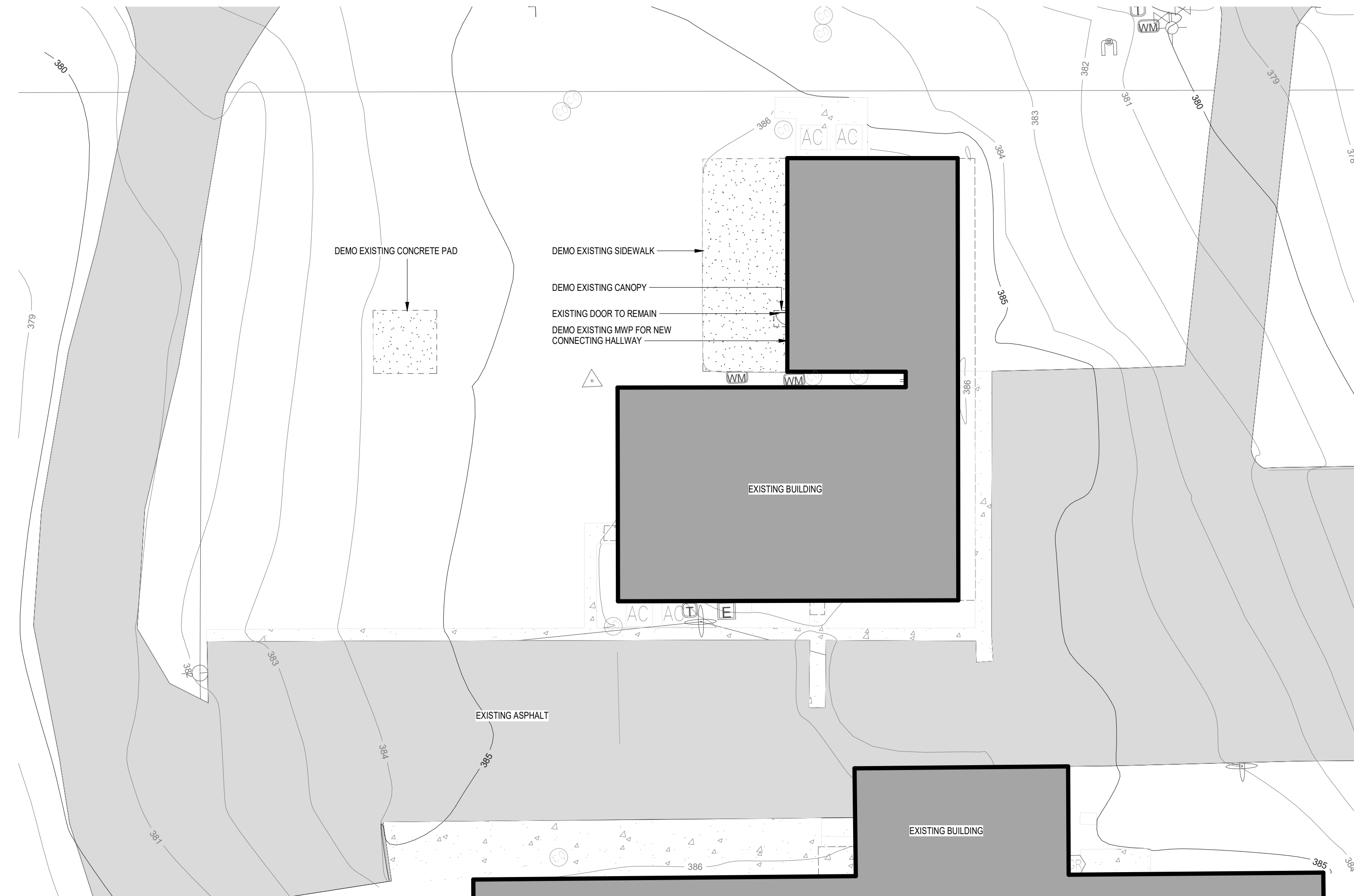
ALL PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM IN ACCORDANCE WITH UL 1479.

## GENERAL NOTES

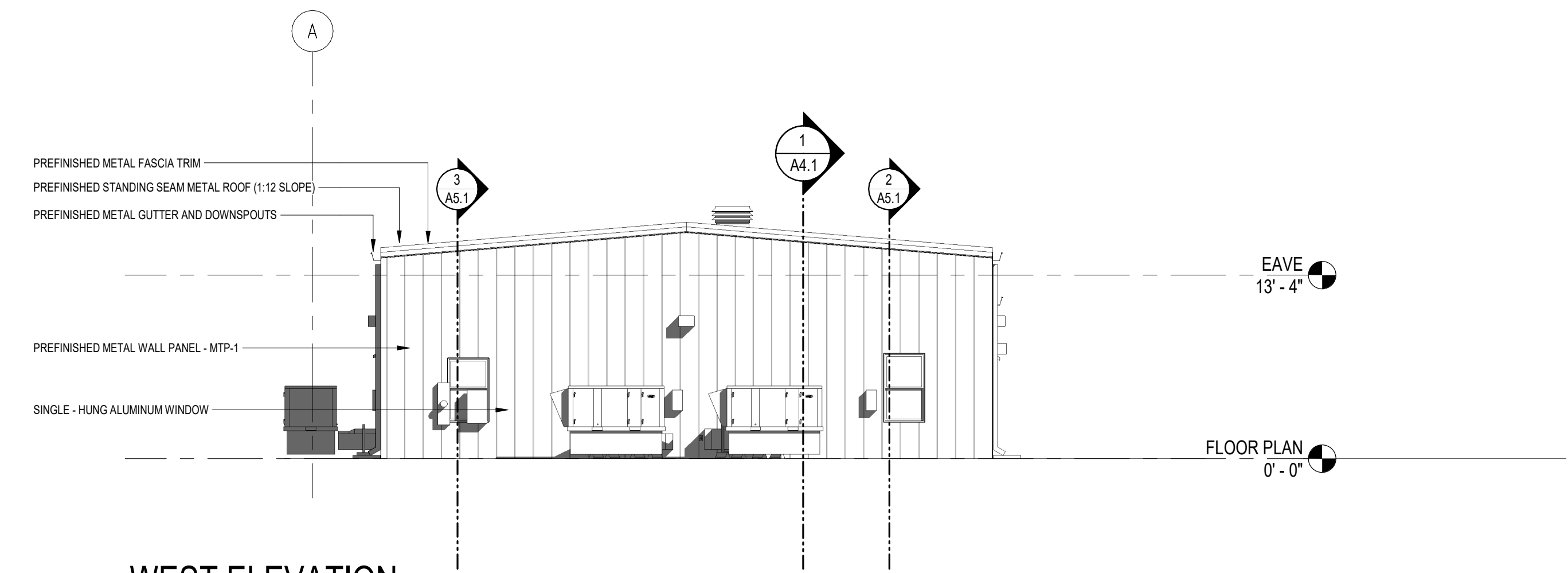
- SEE OVERALL PLAN SHEET A1.1 FOR CODE DATA AND FIRE PROTECTION REQUIREMENTS AND METHODS.
- CONTRACTOR TO VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING PROJECT. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID.
- INTERIOR LIGHT GAUGE METAL STUD WALLS:
  - WALLS SHALL BE FRAMED WITH 3 5/8" OR 6" (SEE PLAN) MEMBERS AT 16" O.C. w/ CONTINUOUS TRACK TOP AND BOTTOM, UNLESS NOTED OTHERWISE.
  - EXTEND ALL WALLS 8" MIN. ABOVE CEILING.
  - WALLS WITHOUT AN ADJACENT FINISHED CEILING SHALL EXTEND TO DECK ABOVE.
  - LIGHT GAUGE FRAMING NOT SUFFICIENTLY BRACED BY INTERSECTING FRAMING OR REQUIRED BY HEIGHT OF FRAMING SHALL BE BRACED TO STRUCTURE WITH METAL STUD KICKERS (APPROXIMATELY 45 DEGREES) AT 48" ON CENTER MAXIMUM.
- INTERIOR CONCRETE BLOCK WALLS:
  - WALLS SHALL BE 8" CMU (4" CMU AT CHASE WALLS, TOILET PARTITIONS, AND COLUMN WRAPS).
  - WALL SHALL EXTEND TO 3" ABOVE HIGHEST ADJACENT CEILING.
  - WALLS WITHOUT AN ADJACENT FINISHED CEILING SHALL EXTEND TO 10'-0" AFF AND EXTEND TO DECK WITH METAL STUD FRAMING WITH 58" GYPSUM (EXPOSED SIDES).
  - SEE STRUCTURAL DRAWINGS FOR REINFORCING.
- PRIVACY WALLS (BLOCK OR STUD) SHALL EXTEND TO CONCRETE CAP. PRIVACY WALLS SHALL BE MARKED THIS:
- INTERIOR DOORS NOT DIMENSIONS SHALL BE LOCATED AS FOLLOWS:
  - HINGE SIDE ADJACENT TO INTERSECTING WALL (CMU).
  - LATCH SIDE 1'-4" OFF INTERSECTING WALL (STUD/CMU).
  - CENTERED BETWEEN INTERSECTING WALLS (STUD/CMU).
- PROVIDE HOUSEKEEPING PADS FOR ELECTRICAL AND MECHANICAL EQUIPMENT. VERIFY SIZE AND LOCATION WITH ELECTRICAL, PLUMBING, AND HVAC INSTALLERS AND MANUFACTURERS.
- FOR SOUND TRANSFER CONTROL, FILL STUD WALLS WITH SOUND ATTENUATION BLANKETS. INSTALL BATT INSULATION ON ALL CEILING AROUND PERIMETER OF ROOMS EXTENDING 2'-0" FROM ALL INTERIOR WALLS UNLESS NOTED OTHERWISE IN REFLECTED CEILING PLAN NOTES.
- GYPSUM BOARD EXPANSION JOINTS SHALL BE LOCATED 30'-0" O.C. MAXIMUM. VERIFY LOCATIONS WITH ARCHITECT. LOCATE ABOVE DOOR HEADS WHERE POSSIBLE.
- FIELD VERIFY ALL DIMENSIONS FOR HANDRAILS, EQUIPMENT, ETC. PRIOR TO FABRICATION AND INSTALLATION.
- PROVIDE WOOD FOR BLOCKING WHERE BLOCKING IS REQUIRED. WHERE BLOCKING CONTACTS METAL FRAME, STUDS, ETC. SEPARATE WITH WALLS FELL TO AVOID REACTIONS BETWEEN WOOD AND METALS.
- ALL FIRE WALLS AND BARRIERS SHALL BE MARKED WITH SIGNAGE READING, "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS" ACCORDING TO 2012 ARKANSAS FIRE PREVENTION CODE SECTION 703.7. ALL PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM IN ACCORDANCE WITH UL 1479.



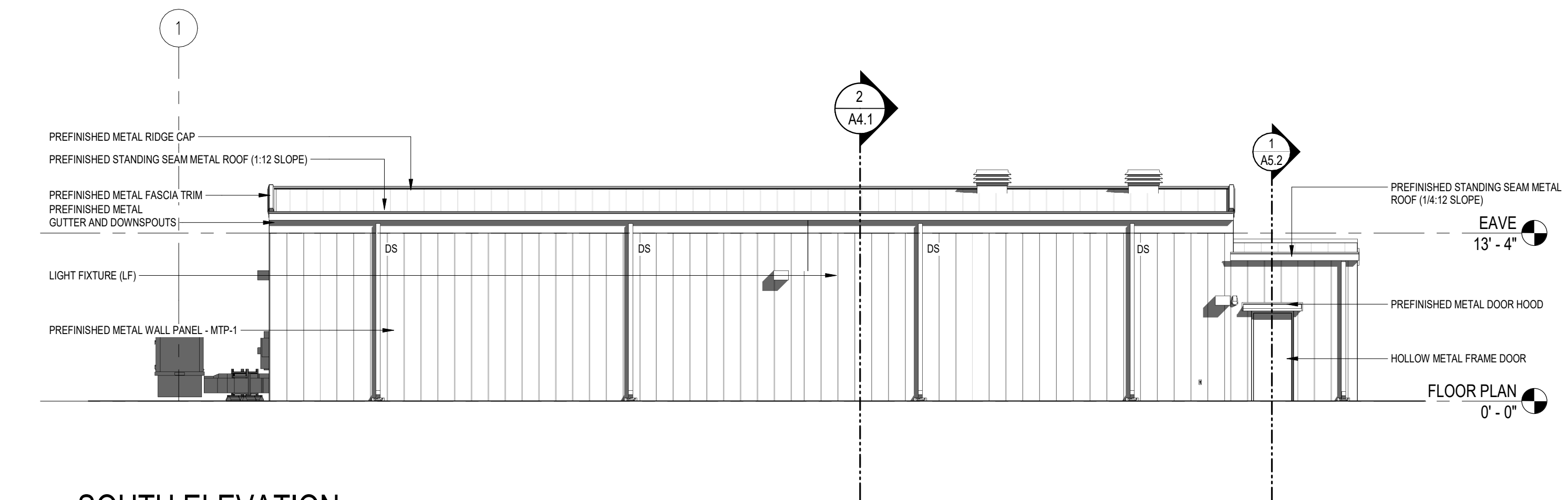
2 SITE PLAN  
1" = 20'-0"



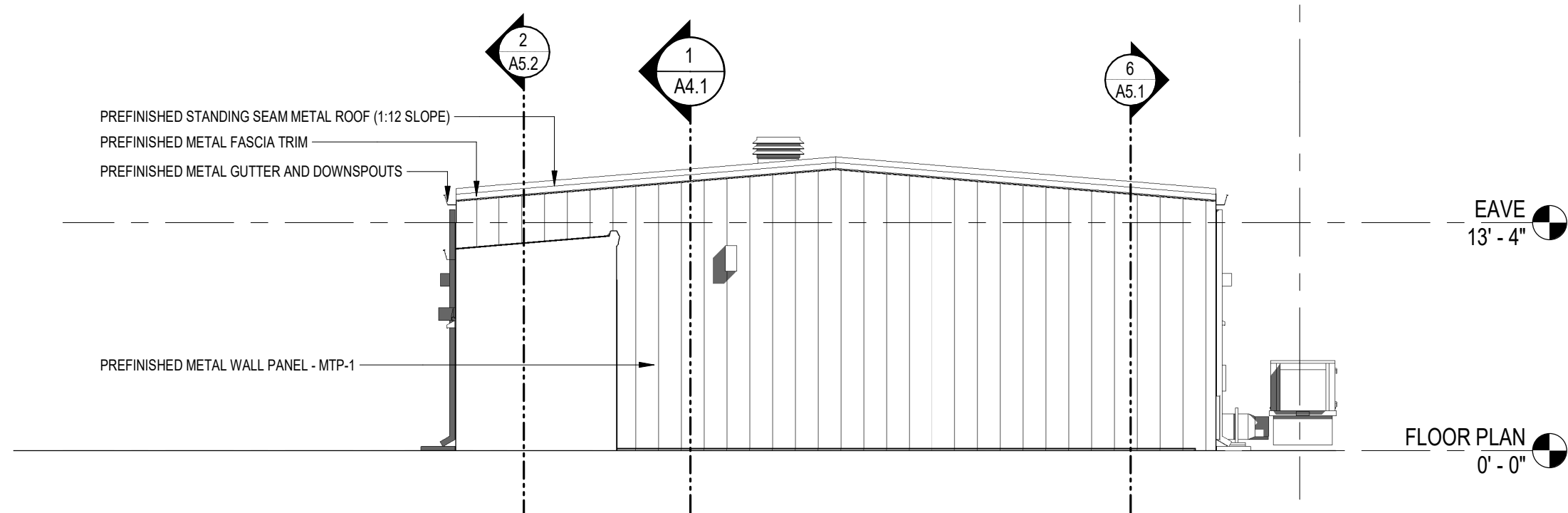
4 DEMO PLAN  
1" = 20'-0"



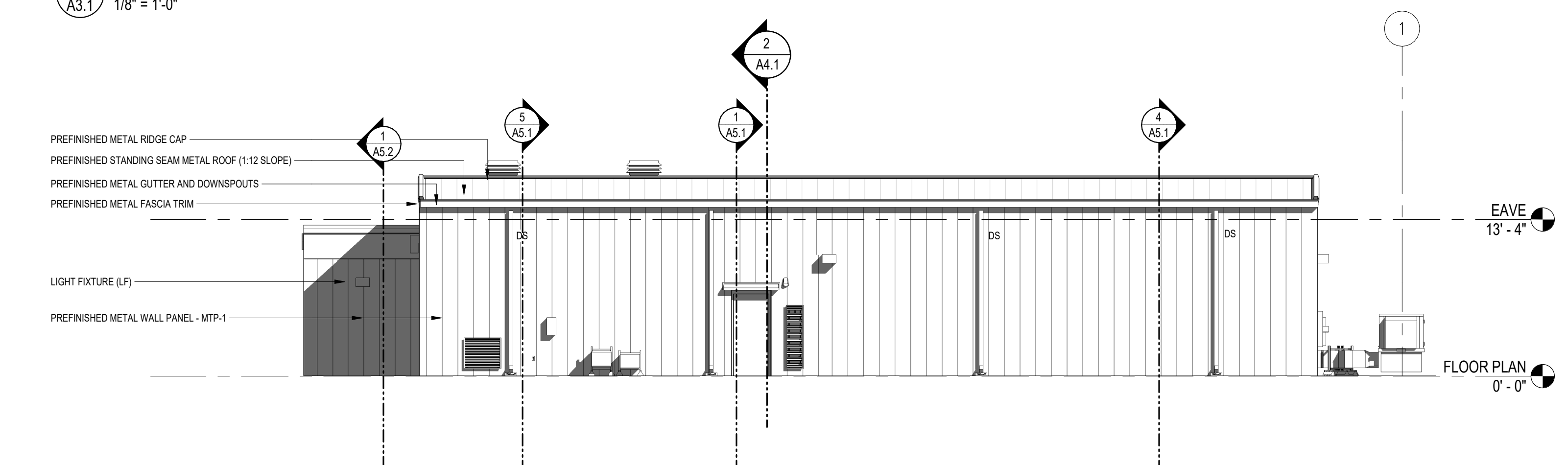
4 WEST ELEVATION  
A3.1 1/8" = 1'-0"



2 SOUTH ELEVATION  
A3.1 1/8" = 1'-0"



3 EAST ELEVATION  
A3.1 1/8" = 1'-0"



1 NORTH ELEVATION  
A3.1 1/8" = 1'-0"



300 North Port Drive  
Cabot, AR 72023  
(501) 941-5559

June 9, 2025

Mr. Colton Leonard  
City of Bryant - Planning  
210 S.W. 3<sup>rd</sup> St.  
Bryant, AR 72022

Re: Site Plan Review, ALE Addition, Bryant School District, Bryant, AR

Mr. Leonard:

This project involves an addition to the existing ALE building located at southwest corner of Wilkerson & Reynolds Road. The addition is 1-story and will 3,485 SF to the existing building. This addition will include a safe room with additional classrooms.

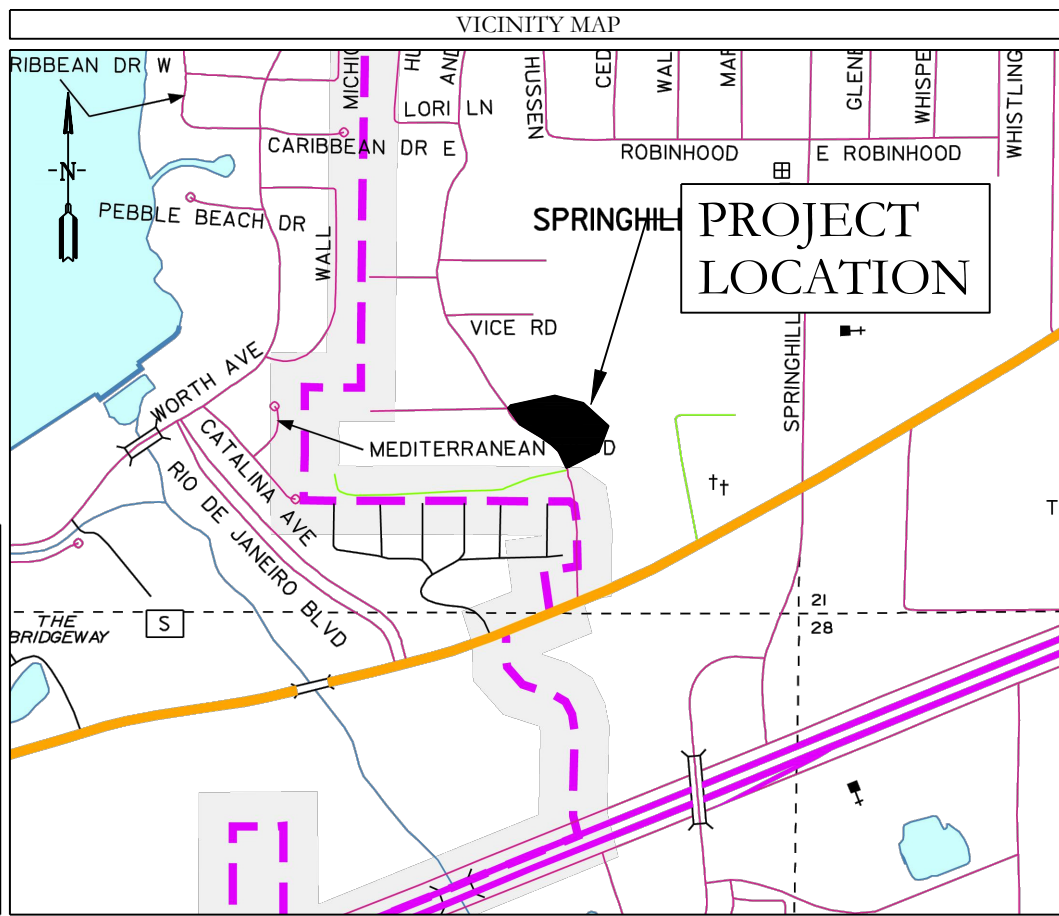
Attached please find Site Plans, Floor Plans, and Building Elevations for review. Please place this item on the agenda for the next DRC meeting. Let me know if you need any additional information for this submittal.

Sincerely,

Josh Minton, PE  
Project Engineer

Cc: Randy Wolf, AIA – Lewis Architects





SE 1/4 OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW  $\frac{1}{4}$  SE  $\frac{1}{4}$ ) OF SECTION 20, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SW  $\frac{1}{4}$  SE  $\frac{1}{4}$  OF SECTION 20; THENCE S04°06'20" E, A DISTANCE OF 119.66 FEET; THENCE S04°00'51" W, A DISTANCE OF 119.66 FEET; THENCE S04°20'00" W, A DISTANCE OF 210.51 FEET; THENCE N85°52'23" W, A DISTANCE OF 146.17 FEET TO THE POINT OF BEGINNING; THENCE N85°52'23" W, A DISTANCE OF 68.31 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD THE FOLLOWING COURSES:

N43°14'50" W, A DISTANCE OF 75.76 FEET; THENCE  
N32°54'42" W, A DISTANCE OF 78.70 FEET; THENCE  
N56°37'37" W, A DISTANCE OF 133.47 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE, A DISTANCE OF 133.47 FEET; THENCE S09°03'08" E, A DISTANCE OF 48.91 FEET; THENCE S80°44'29" E, A DISTANCE OF 36.23 FEET; THENCE S56°39'11" E, A DISTANCE OF 133.87 FEET; THENCE S45°52'18" E, A DISTANCE OF 92.11 FEET; THENCE S39°07'34" E, A DISTANCE OF 43.08 FEET; THENCE S04°14'00" W A DISTANCE OF 127.77 TO THE POINT OF BEGINNING, CONTAINING 41,754 SQUARE FEET, OR 0.96 ACRES, MORE OR LESS.

NO FENCES SHALL BE CONSTRUCTED IN THE DRAINAGE EASEMENT WHERE OPEN DITCHES ARE CONSTRUCTED.

Date of Execution

Rick Johnson,  
Bryant Planning Commission



By affixing my seal and signature, I Kazi Isam PE No. 20876, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C/36012, Dated: 06/05/2020.

PROPERTY SPECIFICATIONS:		
OWNER:	SKY BLUE, LLC 1361 INDEPENDENCE DRIVE BRYANT, AR 72022	AVERAGE LOT SIZE: 0.19 ACRES (84,347 SQ. FT.) MINIMUM LOT SIZE: 1.20(ACRES) FT) NUMBER OF LOTS: 4
DEVELOPER/PLANNING:	SKY BLUE, LLC 1361 INDEPENDENCE DRIVE BRYANT, AR 72022	SOURCE OF WATER: WATER USES CITY OF BRYANT SOURCE OF ELECTRIC ENERGY:
ENGINEERS:	HOPF CONSULTING INC. 117 S MARKET STREET BRYANT, AR 72015	BUILDING SETBACKS: FRONT: 25' OR AS SHOWN REAR: 20' OR AS SHOWN SIDE: 5' OR AS SHOWN
NAME OF SUBDIVISION:	SKY BLUE DUPLEXES	UTILITY & DRAINAGE ADJUSTMENTS: FRONT: 5' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
INSTRUMENT NO: 2015-7766		
ZONING: R-X		

**HOPE**  
**CONSULTING**  
**ENGINEERS - SURVEYORS**

129 N. Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
[www.hopeconsulting.com](http://www.hopeconsulting.com)

FOR USE AND BENEFIT OF: SKY BLUE, LLC									
FINAL PLAT SKY BLUE DUPLEXES									
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS									
DATE: 04/02/2024		C.A.D. BY: BJOHNSON			DRAWING NUMBER:  19-0066				
REVISED:		CHECKED BY:							
HHEET:		SCALE: 1"=20'							
500	01S	14W	0	20	230	62	1664		

FINAL PLAT OF  
SKY BLUE DUPLEXES  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS



City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 6-9-2025

**Applicant or Designee:**

**Project Location:**

Name JR Shellnut Construction Property Address 9 Pine Chapel Drive  
Address 2233 Hwy. 28, Lonsdale, AR 72087 Bryant, AR 72022  
Phone 501-326-5101 Parcel Number 840-09516-000  
Email Address: jrshellnutconstruction@gmail.com Zoning Classification  
Property Owner (If different from Applicant): or jrshellnut80@gmail.com

Name Diana + Steve Thomas  
Phone 501-590-8168 / 501-960-3487  
Address 9 Pine Chapel Dr., Bryant, AR 72022  
Email Address DianaThomasRealtor@gmail.com

**Additional Information:**

Legal Description (Attach description if necessary)

Lot 9, Langlewood Acres Subdivision, Bryant, Sabine County, Arkansas

Description of Conditional Use Request (Attach any necessary drawings or images)

30X40 shop with 10 ft. concrete pad attached for sitting area / small bath

Proposed/Current Use of Property Personal use and storage by homeowner - tool storage, hobbies, etc. (wood working)



# Application Checklist

## Requirements for Submission

- ☒ Letter stating request of Conditional Use and reasoning for request
- ☒ Completed Conditional Use Permit Application
- ☐ Submit Conditional Use Permit Application Fee (\$125)
- ☒ Submit Copy of completed Public Notice
- ☐ Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- ☐ Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- ☐ Submit eight (8) Copies of the Development Plan (Site Plan) showing:
  - Location, size, and use of buildings/signs/land or improvements
  - Location, size, and arrangement of driveways and parking. Ingress/Egress
  - Existing topography and proposed grading
  - Proposed and existing lighting
  - Proposed landscaping and screening
  - Use of adjacent properties
  - Scale, North Arrow, Vicinity Map
  - Additional information that may be requested by the administrative official due to unique conditions of the site.

**Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.**

**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

## **READ CAREFULLY BEFORE SIGNING**

I \_\_\_\_\_, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

Diana and Stephen Thomas  
9 Pine Chapel Drive  
Bryant, Arkansas 72022  
501-590-8168

June 9, 2025

City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street  
Bryant, Arkansas 72022


Re: Variance at 9 Pine Chapel Drive

The purpose of this letter is to request a variance to build a 30 x 40 shop on our lot at 9 Pine Chapel Drive to be used to store my husband's collection of tools (he does remodeling) and for him to do woodworking which is a hobby.

Based on the square footage of our house which is 2125 sf per an appraisal we recently had completed, the 25% rule would only be 531 sf which is not large enough for his purposes. He currently has his tools in various storage buildings off site. There are other shops in our area, but because we fall just under one acre at .93 acres, the 25% rule applies.

We are open to any questions you may have, and would appreciate consideration of our request for a variance.

Thank you,

A handwritten signature in black ink that reads "Diana Thomas". The script is cursive and fluid, with the first letters of the first and last names being capitalized and prominent.

Diana Thomas



## NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, \_\_\_\_\_ at 6:00 P.M.  
at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline  
County, for the purpose of public comment on a conditional use request at the site of  
9 Pine Chapel Drive, Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department  
of Community Development.

Lance Penfield  
Chairman of Planning Commission  
City of Bryant

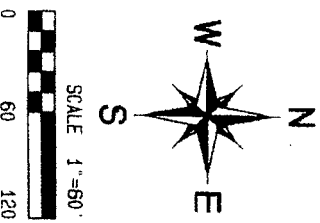
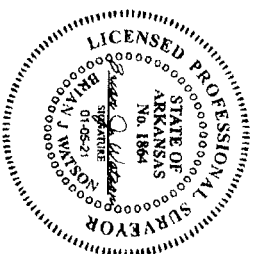
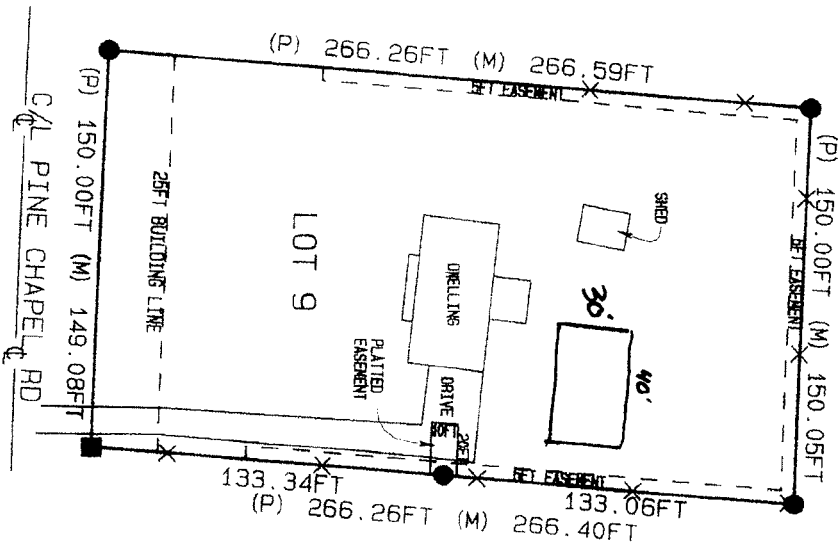
*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*

LEGAL DESCRIPTION:  
 Lot 9, Tanglewood Acres Subdivision, to the  
 City of Bryant, Saline County, Arkansas

I hereby certify that the hereon plat and described  
 survey was completed under my supervision to the  
 best of my professional knowledge and ability.

*Brian D. Matson*  
 BRIAN D. MATSON  
 P.L.S. #1864

No investigation or other search was performed  
 for easements or other records that an accurate  
 and current title search may disclose



PROPERTY ADDRESS  
 9 PINE CHAPEL DR.  
 BRYANT AR 72022  
 DATE: 5 JAN. 2021  
 JOB#21-02  
 SCALE: 1IN.=60FT.  
 DRAWN BY: BW

**FOR THE USE AND BENEFIT OF**  
 DIANA THOMAS  
 LENDERS TITLE COMPANY  
 CHICAGO TITLE INSURANCE COMPANY

Symbol	Description
■	1IN. PIPE
●	FND. REBAR
—	CENTER LINE
—X—	FENCE (X) LINE
—	PROPERTY LINE





City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 06/10/2025

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

### Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON  
Address 8525 DISTRIBUTION DR  
City, State, Zip LITTLE ROCK AR 72209  
Phone 501.562.3942  
Email Address lora@arkansassign.com

### Property Owner

Name PANERA BREAD  
Address 23146 I-30  
City, State, Zip BRYANT AR  
Phone \_\_\_\_\_  
Email Address \_\_\_\_\_

### GENERAL INFORMATION

Name of Business PANERA BREAD  
Address/Location of sign 23146 I-30, BRYANT AR  
Zoning Classification \_\_\_\_\_

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

JOB COSTS - \$20000.00

Lora A. Rand

\_\_\_\_\_, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	PYLON	10' X 12'	120SF	25'	13'	
B						
C						
E						
F						
G						





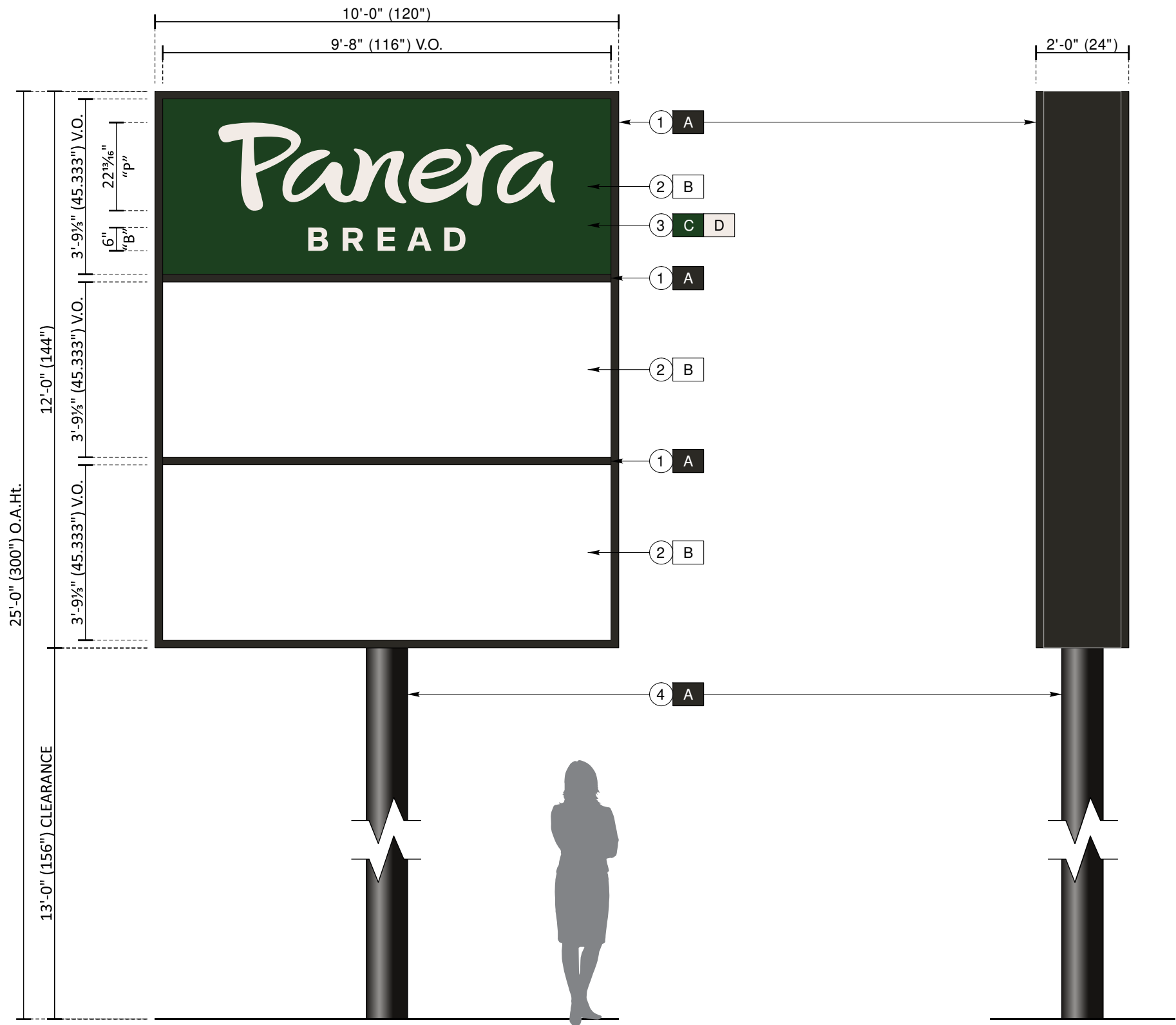
DESIGN PROPOSAL

PROJECT ID:	0641943Ar3
CLIENT:	PANERA BREAD
ADDRESS:	23146 INTERSTATE 30 BRYANT, ARKANSAS 72022
DATE:	6/ 6/ 2025
CONTACT:	DM/ SR
DESIGNER:	MAB

Pattison



1.866.635.1110  
pattisonid.com



**A D/ F PYLON SIGN ELEVATION** SCALE: 3/8" = 1'-0"  
ONE [1] REQUIRED - MANUFACTURE & INSTALL 120.0 Sq.Ft.

**END VIEW**

**MANUFACTURE & INSTALL ONE [1]  
ILLUMINATED, DOUBLE-FACE, MULTI-  
TENANT PYLON SIGN AT 25' TALL**

- | #  | DESCRIPTION:  |
|----|---|
| 1: | FABRICATED ALUMINUM SIGN CABINET w/ 2" RETAINERS & DIVIDERS - INTERNALLY-ILLUMINATED w/ 6500k WHITE LED's |
| 2: | UV RESISTANT POLYCARBONATE TENANT FACES   |
| 3: | 1st SURFACE DIGITALLY-PRINTED "PANERA BREAD" GRAPHICS   |
| 4: | STD. STEEL PIPE SUPPORT SET IN A CONCRETE PIER FOUNDATION AS REQ'D PER CODE                               |

**20' SETBACK FROM PL**

COLORS:	
A	P.T.M. PANTONE BLACK c
B	#7328 WHITE POLYCARBONATE
C	DIGITALLY-PRINTED PM S2411c GREEN
D	DIGITALLY-PRINTED PM S9285c CREAM

Project ID  
**0641943Ar3**

**PANERA BREAD**  
23146 I-30  
BRYANT, AR 72022

Date: 3/17/25  
Contact: DM/SR  
Designer: MAB

**Sign Item**

**A: D/ F PYLON SIGN**

Scale: 3/8" = 1'-0"

**Revision Notes**

r1-TS-3/20/25: Color changes & Opt. increase to 25' tall 3 tenant panels

r2-MAB-4/23/25: Change from plate-mount to direct burial

r2-MAB-6/6/25: Omit 20' O.A.Ht. option

**Information Required  
for Production**

**Customer Approval**

Signature

MM/DD/YYYY

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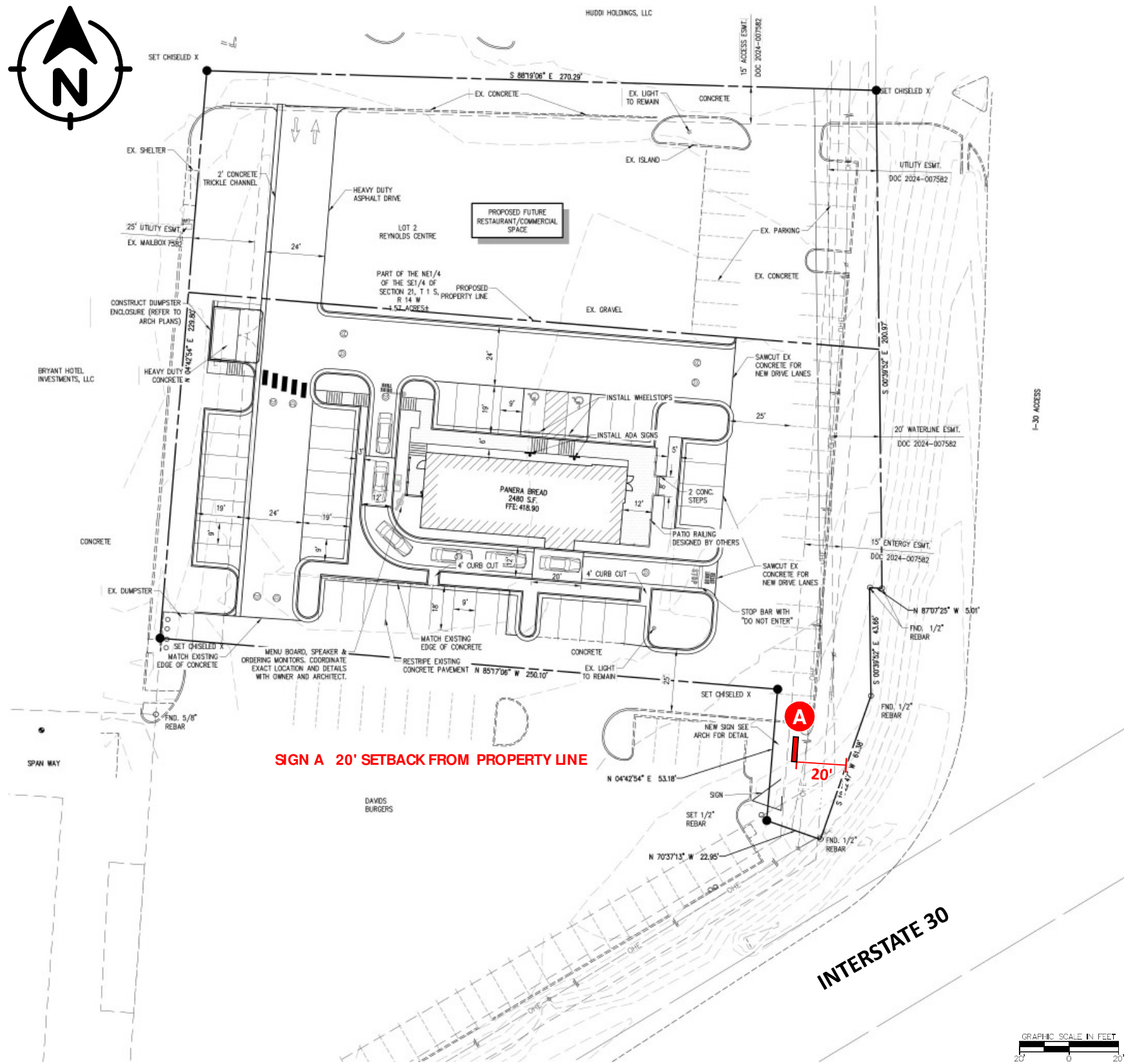
It is the Customer's responsibility to ensure that the sign installation location is suitable to accept and support the installation of the signs being ordered. Notify Pattison ID immediately if further details are required.

**Pattison**



1.866.635.1110  
pattisonid.com

**NOTE: TECHNICAL SURVEY HAS NOT BEEN PERFORMED. DIMENSIONS MUST BE VERIFIED PRIOR TO PRODUCTION.**



SITE PLAN

SCALE: 1" = 50'-0"

NOTE: TECHNICAL SURVEY HAS NOT BEEN PERFORMED. DIMENSIONS MUST BE VERIFIED PRIOR TO PRODUCTION.

Project ID  
0641943Ar3

PANERA BREAD  
23146 I-30  
BRYANT, AR 72022

Date: 3/17/25  
Contact: DM/SR  
Designer: MAB

Sign Item

SITE PLAN

Scale: 1" = 50'-0"

Revision Notes

r1-TS-3/20/25: Color changes & Opt. increase to 25' tall 3 tenant panels  
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Information Required  
for Production

Customer Approval

Signature

MM/DD/YYYY

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Pattison



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pattisonid.com

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.

GENERAL

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2021 INTERNATIONAL BUILDING CODE (IBC).
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, USE THOSE FOR OTHER SIMILAR WORK.
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, APPLY IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- CHANGES TO THE DRAWINGS: OBTAIN PRIOR WRITTEN APPROVAL.
- WORK PERFORMED IN CONFLICT WITH THE DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.

DESIGN CRITERIA

- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- WIND LOAD:  
BASIC WIND SPEED,  $V_{ULT}$  = 105 MPH MAXIMUM  
RISK CATEGORY: II EXPOSURE: C
- SNOW LOAD:  
IMPORTANCE FACTOR,  $I_s$  = 1.0  
SURFACE ROUGHNESS: C EXPOSURE: C  
GROUND 10 PSF MAXIMUM.  
ROOF --- PSF  
4. ROOF LIVE LOAD: --- PSF

STEEL

- STEEL SHAPES SHALL CONFORM TO THE FOLLOWING (U.N.O.):  
RND. HSS ASTM A500, GR C  $F_y=46$  KSI MIN.  
SQ./RECT. HSS ASTM A500, GR C  $F_y=50$  KSI MIN.  
THREADED ROD ASTM A36  $F_y=36$  KSI MIN.  
STEEL PLATE ASTM A36  $F_y=36$  KSI MIN.  
ANGLE & CHANNEL ASTM A36  $F_y=36$  KSI MIN.  
STD. PIPE ASTM A53, GR B  $F_y=35$  KSI MIN.  
STRUCT. PIPE ASTM A252, GR 3  $F_y=45$  KSI MIN.  
WIDE FLANGE ASTM A992  $F_y=50$  KSI MIN.
- MACHINE BOLTS SPECIFIED AS "A307" SHALL CONFORM TO ASTM A307 w/ NUTS PER ASTM A563A & WASHERS PER ASTM F844 (U.N.O.). THREADED PARTS, NUTS, AND WASHERS SHALL BE HDG OR ZP AS DEFINED HEREIN.
- STRUCTURAL BOLTS SHALL CONFORM TO ASTM F3125 GRADES A325 OR A490 AS SPECIFIED ("A325" OR "A490") w/ NUTS PER ASTM A563DH & WASHERS PER ASTM F436.  
A. WHERE DESIGNATED AS "-X", CARE MUST BE TAKEN TO ENSURE THREADS ARE EXCLUDED FROM THE SHEAR PLANE(S).  
B. WHERE DESIGNATED AS "-N" OR IF NO DESIGNATION IS NOTED, THREADS MAY BE INCLUDED IN THE SHEAR PLANE(S).  
C. WHERE SPECIFIED, "A325" MAY BE HDG OR ZP AS DEFINED HEREIN.  
D. GRADE "A490" SHALL NOT BE HDG OR ZP AS DEFINED HEREIN.
- ANCHORS CAST IN CONCRETE SHALL CONFORM TO ASTM F1554 GR. 36 (U.N.O.) w/ NUTS TO ASTM A563 AND WASHERS TO ASTM F436. PARTS SHALL BE HOT-DIP GALVANIZED (HDG) OR ZINC (MECHANICAL) PLATED (ZP). PARTS EMBEDDED ENTIRELY IN CONCRETE MAY BE PLAIN STEEL.
- WHERE SPECIFIED FOR STEEL THREADED PARTS, NUTS, AND WASHERS, HOT-DIP GALVANIZING (HDG) SHALL CONFORM TO ASTM F2329 AND ZINC (MECHANICAL) PLATING (ZP) TO CLASS 55 PER ASTM B695.
- PLAIN STEEL FASTENERS ARE NOT TO BE USED UNLESS SPECIFIED.
- ZINC ELECTRO-PLATED FASTENERS PER ASTM F1941 MAY BE SUBSTITUTED FOR INTERIOR APPLICATIONS, BUT ARE OTHERWISE NOT TO BE USED UNLESS SPECIFIED.
- NUTS AND WASHERS SHALL HAVE THE SAME COATING AS THE CORRESPONDING THREADED PART.
- WHERE SPECIFIED, IRON AND STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
- STAINLESS STEEL (SS) BOLTS, STUDS, AND THREADED ROD SHALL CONFORM TO ASTM F593 AND BE ALLOY 304 OR 316 w/ NUTS TO ASTM F594. NUTS AND WASHERS SHALL MATCH THE ALLOY OF THE THREADED PART.
- WELDING:  
A. WELD STRUCTURAL STEEL IN COMPLIANCE WITH AWS/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY THE LOCAL BUILDING AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.  
B. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER AISC SPECIFICATION, SECTION J2, TABLE J2.4.

ALUMINUM

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE 2020 ALUMINUM DESIGN MANUAL (ADM1), THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND CHAPTER 20 OF THE BUILDING CODE.
- ALUMINUM SHAPES SHALL CONFORM TO THE FOLLOWING:  
PIPE & TUBE 6061-T6 ASTM B429  $F_y=35$  KSI MIN.  
STRUCT. PROFILES 6061-T6 ASTM B308  $F_y=35$  KSI MIN.  
SHEET & PLATE 6061-T6 ASTM B209  $F_y=35$  KSI MIN.  
STAPLE TUBE 6063-T5 ASTM B221  $F_y=16$  KSI MIN.

- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM 1.
- FILLER SHALL BE 5556 ALLOY REGARDLESS OF MEMBER THICKNESS. NO OTHER FILLER ALLOY SHALL BE USED UNLESS NOTED OTHERWISE.

CONCRETE & REINFORCEMENT

- MINIMUM 28-DAY COMPRESSIVE STRENGTH ( $f_c$ ) SHALL BE 2,500 PSI.
- REINFORCEMENT TO BE ASTM A615 GR 60,  $F_y=60$  KSI UNO.
- CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED.
- ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS.
- MINIMUM CONCRETE COVER:  
CAST AGAINST & EXPOSED TO EARTH 3"  
EXPOSED TO EARTH OR WEATHER 2"
- CHAIRS AND SPACERS: AS REQUIRED TO MAINTAIN COVER.
- SIGN MAY BE INSTALLED ON FOUNDATION AFTER A MINIMUM CURING TIME OF (14) DAYS PROVIDED CURING PROCESS IS PROPERLY MAINTAINED PER ACI 318.
- GROUT SHALL BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT (1) DAY. MIX AND PLACE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

FOUNDATIONS

- DESIGN BEARING PRESSURES ARE PER IBC CLASS 4 PRESUMPTIVE VALUES (NO SPECIAL INSPECTION REQUIRED):  
LATERAL BEARING: 150 PSF/FT  
VERTICAL BEARING: 2,000 PSF

EXISTING CONDITIONS

- ENGINEER WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER AND OWNER(S) TO IDENTIFY EXISTING CONDITIONS AND CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS.
- EXISTING INFORMATION HAS BEEN FURNISHED BY THE ENTITY WHOM THIS DOCUMENT WAS PREPARED FOR. ENGINEER IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT".
- FEATURES OF WORK ANNOTATED AS "VERIFY" (OR SIMILAR) MUST BE INSPECTED, VERIFIED AS SUCH, AND DOCUMENTED PRIOR TO FABRICATION AND INSTALLATION.
- IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, CONTRACTOR SHALL CEASE WORK AND NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". STRUCTURE SHALL BE FREE OF CORROSION, DECAY, AND ANY OTHER MATERIAL, FABRICATION, ASSEMBLY, OR INSTALLATION DEFECT. IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY ENGINEER.

THIS AREA INTENTIONALLY LEFT BLANK

EVALUATION REPORT SCHEDULE

ANCHORS, FASTENERS, AND OTHER PRODUCTS SHALL CONFORM TO AND BE INSTALLED PER THEIR RESPECTIVE EVALUATION REPORT(S) AS FOLLOWS (NOT ALL APPLICABLE THIS PROJECT):

ANCHOR TYPE	REPORT #
HILTI KB-T22 (C5 & S5) ANCHORS IN CONCRETE	ICC-ESR-4266
HILTI KB-T22 (C5 & S5) ANCHORS IN MASONRY	ICC-ESR-4561
HILTI KH-EZ (C5 & S5) ANCHORS IN CONCRETE	ICC-ESR-3027
HILTI KH-EZ (C5 & S5) ANCHORS IN MASONRY	ICC-ESR-3056
HILTI HIT-HY 200 ADHESIVE IN CONCRETE	ICC-ESR-3187
HILTI HIT-HY 200 ADHESIVE IN MASONRY	ICC-ESR-3963
SIMPSON TITEN HD (C5) ANCHORS IN CONCRETE	ICC-ESR-2713
SIMPSON TITEN HD (C5 & S5) ANCHORS IN MASONRY	ICC-ESR-1056
SIMPSON TITEN HD (S5) ANCHORS IN CONCRETE	UES-ER-493
TAPCON ANCHORS IN MASONRY	ICC-ESR-1671
TAPCON ANCHORS IN CONCRETE	ICC-ESR-2202
TAPCON+ SCREW ANCHORS IN CONCRETE	ICC-ESR-3699
ITW BUILDEX TEKS SD5	ICC-ESR-1976

ABBREVIATIONS

ABV. ABOVE	HDG	GENERAL CONTRACTOR
ADD'L. ADDITIONAL	HOR.	HOT DIP GALVANIZED
APF ABOVE FINISHED FLOOR	O.C.	HORIZONTAL
ALT. ALTERNATE	LOC.	ON CENTER
ALUM. ALUMINUM	MAX.	LOCATION
A.O.R. ARCHITECT OF RECORD	MIN.	MAXIMUM
ARCH. ARCHITECTURAL	(N)	MINIMUM
BTM. BOTTOM	N.T.E.	NEW
BLK'G. BLOCKING	O/	NOT TO EXCEED
CIRC. CIRCLE/CIRCULAR	O.D.	OVER
CONC. CONCRETE	OPT.	OUTSIDE DIAMETER
CONN. CONNECTION	PENE.	OPTIONAL
CONT. CONTINUOUS	REINF.	PENETRATION
CTR. CONTRACTOR	RND	REINFORCEMENT
DIA. DIAMETER	SIM.	ROUND
DET. DETAIL	SS	SIMILAR
(E) EXISTING	STD	STAINLESS STEEL
EXIST. EXISTING	SUPP.	STANDARD
EA. EACH	SQ.	SUPPLEMENTAL
E.W. EACH WAY	T/O	SQUARE
ELEV. ELEVATION	TYP.	TOP OF
EMBED. EMBEDMENT	THK.	TYPICAL
E.O.R. ENGINEER OF RECORD	U.N.O.	THICK(NESS)
FAB. FABRICATOR/FABRICATION	VERT.	UNLESS NOTED OTHERWISE
FDN. FOUNDATION	W/	VERTICAL
FRM'G. FRAMING	w/o	WITH
FTG. FOOTING	ZP	WITHOUT
F.V.V. FIELD VERIFY		ZINC (MECHANICAL) PLATED

MANUFACTURED SIGN CABINETS

UNLESS NOTED OTHERWISE, MANUFACTURED SIGN CABINETS SHALL BE DESIGNED BY THE MANUFACTURER/FABRICATOR OR OTHER COMPETENT PARTY AND FABRICATED IN ACCORDANCE WITH ALL APPLICABLE CODES, UL LISTINGS, LOCAL ORDINANCES, AND INDUSTRY STANDARDS. THIS INCLUDES FACES AND CLADDING, INTERNAL STRUCTURE, ELECTRICAL, AND ALL OTHER ACCESSORY COMPONENTS.

THE MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR ENSURING ALL CABINETS ARE ASSEMBLED WITH ADEQUATE INTERNAL FRAMING AND STIFFNESS. CABINET FRAMING SHALL BE CAPABLE OF DELIVERING ALL IMPOSED DESIGN LOADS (WIND, SEISMIC, DEAD, SNOW, ETC.) DIRECTLY TO THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN. CABINET FRAMING SHALL LIMIT EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION TO REASONABLE LEVELS.

FAILURE TO PROVIDE AN ADEQUATE LOAD PATH OR SUFFICIENT CABINET STIFFNESS MAY RESULT IN EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION WHICH MAY YIELD SECOND-ORDER EFFECTS THAT CAN NEGATIVELY AFFECT THE PERFORMANCE OF THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN.

REVERENCE ENGINEERING MAKES NO CLAIMS AS TO THE SUITABILITY OF MANUFACTURED SIGN CABINETS IDENTIFIED AS "BY MFR." OR "BY FAB." WHICH HAVE NOT BEEN ENGINEERED, CERTIFIED, OR REVIEWED BY REVERENCE ENGINEERING UNLESS SPECIFICALLY CONTRACTED OTHERWISE AND DETAILED OR NOTED HEREIN.

DESIGN BY OTHERS NOTE

REVERENCE ENGINEERING IN NO WAY CERTIFIES OR MAKES CLAIMS TO THE SUITABILITY OF CONDITIONS OR ELEMENTS (EXISTING OR NEW) THAT ARE DESIGNED BY OTHERS. SUCH CONDITIONS AND ELEMENTS ARE IDENTIFIED AS "BY OTHERS" OR "DESIGNED" BY OTHERS" AND ARE NOT ENGINEERED BY REVERENCE ENGINEERING.

THE SCOPE OF ENGINEERING HEREIN ASSUMES THESE ELEMENTS HAVE BEEN, OR WILL BE, DESIGNED OR CHECKED FOR SUITABILITY BY A DESIGN PROFESSIONAL.

ELECTRICAL NOTE

ELECTRIC COMPONENTS AND WIRING ARE NOT DESIGNED BY REVERENCE ENGINEERING. FABRICATOR AND INSTALLER SHALL COMPLY WITH THE CURRENT VERSION OF THE ADOPTED NATIONAL ELECTRIC CODE (NEC) AND ARTICLE 600: "ELECTRIC SIGNS AND OUTLINE LIGHTING".



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PREPARED FOR:

PATTISON ID

PROJECT #:

2504206

PANERA BREAD  
0641943 PYLON SIGN

23146 INTERSTATE 30  
BRYANT, AR 72022



10-Jun-25

SHEET TITLE:

STRUCTURAL

SHEET:

S.I

ORIGINAL SHEET SIZE: 11x17



