

Bryant Planning Commission Meeting

Boswell Municipal Complex - City Hall Court Room

210 SW 3rd Street

YouTube: https://www.youtube.com/c/bryantarkansas

Date: September 09, 2024 - **Time:** 6:00 PM

Call to Order

Approval of Minutes

1. Planning Commission Meeting Minutes 8/12/2024

• 2024-08-12 Planning Commision Meeting Minutes.pdf

Announcements

Director's Report

2. Brief Update on Master Pedestrian/Trail Plan

DRC Report

3. 3108 Glenbrook - Conditional Use Permit - Accessory Dwelling Unit

 $Karen\ Kirkham\ -\ Requesting\ Recommendation\ for\ Approval\ of\ CUP\ for\ conversion\ of\ Existing\ Accessory\ Structure\ into\ a\ Dwelling\ Unit\ -\ RECOMMENDED\ APPROVAL$

4. Kalkbrenner Estates - 1710 Shoal Road - Subdivision Plat

Hope Consulting - Requesting Recommendation for Plat Approval and Waiver on Half-Street Improvements inleuding Sidewalk Requirement - RECOMMENDED APPROVAL, Contingent upon all Comments being addressed.

5. Dunkin Donuts - 2234 Reynolds Road - Site Plan Renovations

Requesting Site Plan Approval for Renovations - APPROVED

• <u>0892-PLN-01.pdf</u>

6. SRS Building Products - 25631 I-30 - Sign Permit

 $Requesting \ Sign \ Permit \ Approval - STAFF \ APPROVED$

· 92722-SGNAPP-01.pdf

7. Taylor Health & Wellness - 4430 Hwy 5 Suite 6 - Sign Permit

Requesting Sign Permit Approval - STAFF APPROVED

- 92724-SGNAPP-01.pdf
- 92724-SGNAPP-03.jpeg
- 92724-SGNAPP-02.pdf

Public Hearing

8. 3108 Glenbrook - Conditional Use Permit - Accessory Dwelling Unit

Karen Kirkham - Requesting Approval of CUP for conversion of Existing Accessory Structure into a Dwelling Unit

- 0902-PUB-01.pdf
- 0902-APP-01.pdf

Old Business

New Business

9. Kalkbrenner Estates - 1710 Shoal Road - Subdivision Plat

Hope Consulting - Requesting Plat Approval and Waiver on Half-Street Improvements inlcuding Sidewalk Requirement

- <u>0906-PLT-02.pdf</u>
- 0906-LTR-02.pdf

Adjournments



Bryant Planning Commission Meeting Minutes

Monday, August 12, 2024 Boswell Municipal Complex – City Hall Courtroom 6:00 PM

Agenda

CALL TO ORDER

- Chairman Lance Penfield calls the meeting to order.
- Commissioners Present: Statton, Johnson, Burgess, Penfield, Hooten, Edwards, Speed
- Commissioners Absent: Erwin

ANNOUNCEMENTS

None

APPROVAL OF MINUTES

- 1. Planning Commission Meeting 6/10/2024 Minutes Corrected
- 2. Planning Commision Meeting 7/8/2024 Minutes

Motion to Approve both sets of minutes made by Commissioner Burgess, Seconded by Commissioner Johnson. Voice Vote, 7 Yays, 0 nays. 1 Absent.

Vice-Chairman Hooten read the DRC Report.

DRC REPORT

3. 19 Tanglewood Drive- Conditional Use Permit

Donald Whitfield - Requesting Recommendation for Approval of Conditional Use Permit to allow for additional Accessory Structure footage that exceeds 25% of the principal structure. - RECOMMENDED APPROVAL Based on Completed Application

4. Skye Blue Duplexes-Hurricane Lake Rd - Conditional Use Permit and Subdivision Plat

Hope Consulting - Requesting Approval for Four Conditional Use Permits for the use of four duplexes in an R-M Zoning; Requesting Approval of subdivision plat; and Request for a waiver on portion of street specifications. - RECOMMENDED APPROVAL on CUP requests based on completed application and contingent upon Subdivision Plat Approval. RECOMMENDED APPROVAL on Subdivision Plat and Waiver

5. Andres Woods - Lot 22 and 23 - Replat

Hope Consulting - Requesting Recommendation for Approval of Replat - RECOMMENDED APPROVAL

6. Blessing Addition - Hwy 5 and Midland Road - Commercial Subdivision Plat

Zane Robbins - Requesting Recommendation for Final Plat Approval - RECOMMENDED APPROVAL, Contingent upon update plat showing the dedicated extension to the sewer easement.

7. Leslie Addition - One Lot Subdivision Plat

Zane Robbins - Requesting Recommendation for Final Plat Approval - RECOMMENDED APPROVAL, Contingent upon complete legal description being added to the plat as one parcel.

8. Senor Tequila - 2919 N Reynolds Road - Patio Roof Addition

Requesting Site Plan Approval - APPROVED

9. Little Ceasar's - N Reynolds Rd and Brown Lane

Thomas Engineering Requesting Site Plan Approval - APPROVED, Contingent upon Revised Plans with trickle channel shown on plans, and Building elevations.

10.Hill Farm Elementary Greenhouse / Hoophouse - Saline Co. Master Gardeners

Requesting Site Plan Approval - APPROVED

11.Pathfinder Inc - 2107 Bishop Road - Sign Permit

Action Sign - Requesting Sign Permit Approval - APPROVED, Contingent upon utility locates and maintaining required distance from utilities

PUBLIC HEARING

12. 19 Tanglewood Drive - Conditional Use Permit

Donald Whitfield - Requesting Approval for Conditional Use Permit to allow for additional Accessory Structure footage that exceeds 25% of the principal structure. Mr Whitfield wants to build a detached garage. If allowed this would put him 325 feet over the allowed amount. Owner verified that the siding on the detached garage will match the home.

After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. 7 yays, 0 nays, 1 Absent.

13.Skye Blue Duplexes - Hurricane Lake Road - Conditional Use Permit Hope Consulting - Requesting Approval for Four Conditional Use Permits for the use of four duplexes in an R-M Zoning.

After A brief discussion on the Purpose for the CUPs, Chairman Penfield opened the public hearing and asked for people here to speak on the Conditional Use to come forward.

- Connie Styles of 2613 Hurricane Lake Rd has lived at her home since childhood. The duplexes would be right across the street from her. She has safety concerns with the narrow road. She stated they already have major drainage issues after a heavy rain and is afraid by building the duplexes this issue would become much worse. **AGAINST**
- Jonathan Camp of 3130 Hawkeye, agrees with the above comments and would like to add that he does not want renters in his neighborhood. **AGAINST**
- Greg Styles mentioned several things he was unhappy about and he was totally against having renters in the neighborhood. **AGAINST**
- Melinda Holly of 3026 Hawkeye, Agrees with the above comments and added she will not feel safe with renters in the neighborhood. **AGAINST**
- Rhet Folse of 2623 Hurricane Lake Rd said that the previous owners of the property did some excavating work and now it washes out everytime it rains. Dump trucks have ruined their roads. Ted Taylor told Mr Folse he needed to contact our public works department about the roads. Lance Penfield explained that there would be improvements made if the duplexes were to go in. **AGAINST**
- Rhonda Sanders of 2903 vice rd., was not against the duplexes but would like to see a place for kids to play and to rework the parking situation.
- John Akins of 2817 Hurricane Lake rd., Concerns over flooding issues over road. **AGAINST**
- Crystal Winkler of 2907 Hurricane rd., agrees with all of the above comments.
- Linda Akins of 2817 Hurricane rd., Concerned with the curve of the road and safety.
- Stewart Finley is the developer. Stated there are many duplexes behind Lowes and the road is just as narrow. Councilman Burgess ask how he intended to address the water issue. On the back side there will be a retention pond. Kazi from Hope Consulting said the back retention pond should catch all the water coming from the North side and it should correct the flooding issue. Chairman Hooten asked if they had considered pushing the duplexes back at least 10 feet for lots 1, 2, and 3. Mr Finley said they could push them back 10 feet and provide updated plans showing that if the CUPs were approved.

Chairman Penfield Called for a roll call vote to approve the CUPs with the condition that the buildings be pushed back an additional 10 ft from the road. 3 yays, 3 nays, 1 abstain, 1 absent. The approval did not pass.

Motion to Close Public Hearing made by Commissioner Statton, Seconded by Commissioner Hooten. Voice Vote, 7 Yays, 0 nays, 1 Absent.

NEW BUSINESS

14. Skye Blue Duplexes - Hurricane Lake Road- Subdivision Plat

Hope Consulting - Requesting Approval of subdivision plat and Request for a waiver on portion of street specifications

Item removed from agenda due to Conditional Use Permits not being Approved.

15. Andres Woods - Lot 22 and 23- Replat

Hope Consulting - Requesting Approval for Replat

Hope Consulting stated that the owner has agreed to continue the sidewalk along lot 23 and build out a concrete apron with a culvert at the existing gravel drive.

After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. 7 yays, 0 nays, 1 Absent.

16.Blessing Addition - Hwy 5 and Midland Road- Commercial Subdivision PlatZane Robbins - Requesting Final Plat Approval

After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. 7 yays, 0 nays, 1 Absent.

17.Leslie Addition - One Lot Subdivision Plat

Zane Robbins - Requesting Final Plat Approval

After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. 7 yays, 0 nays, 1 Absent.

18. Planning Commission By-Law Revisions Discussion and vote on the approval of revisions to by-laws

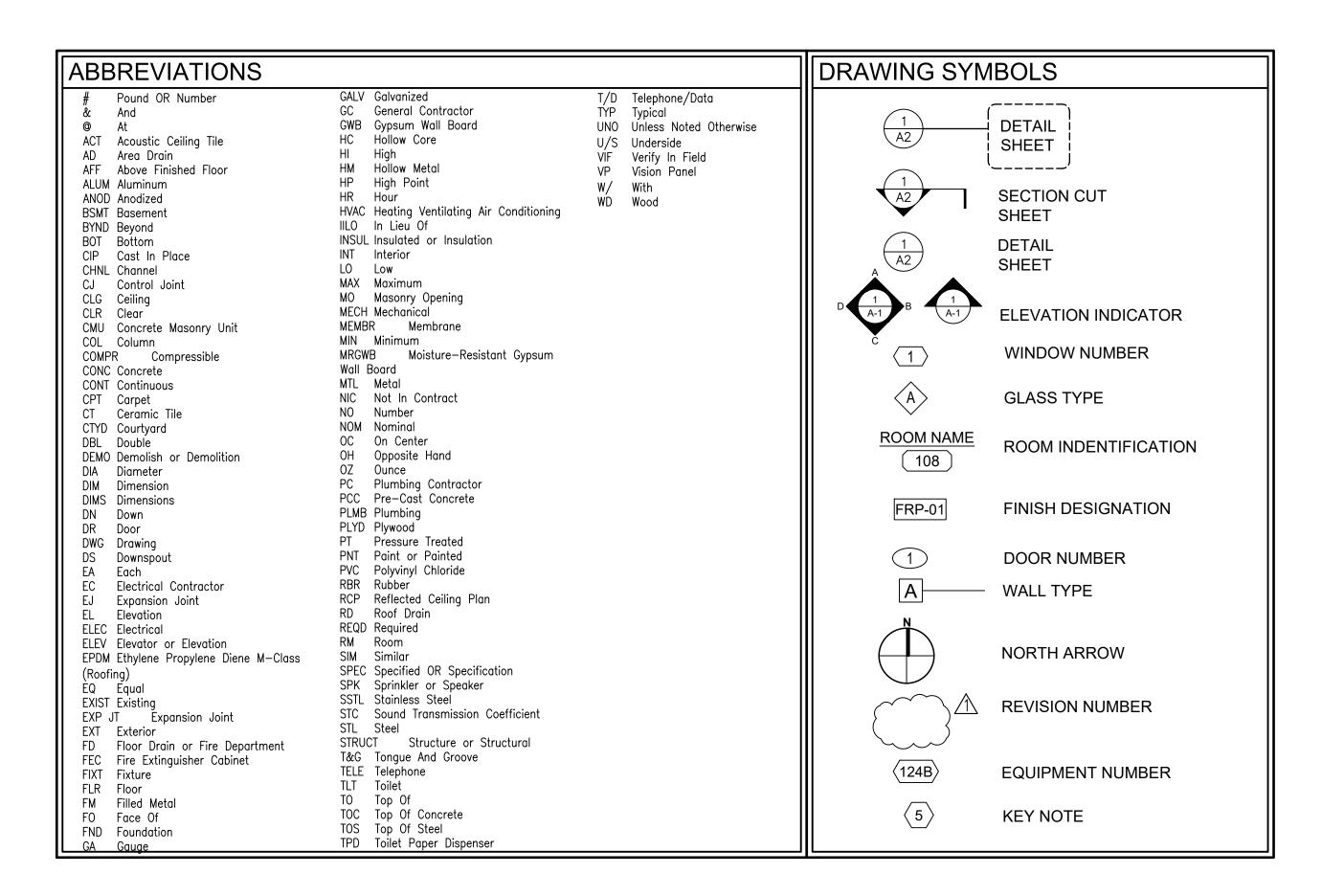
After brief discussion on the item, a couple of minor changes were recommended. Chairman Penfield Called for a vote to approve and recommend the By-laws to City Council with those couple of changes. 7 yays, 0 nays, 1 Absent.

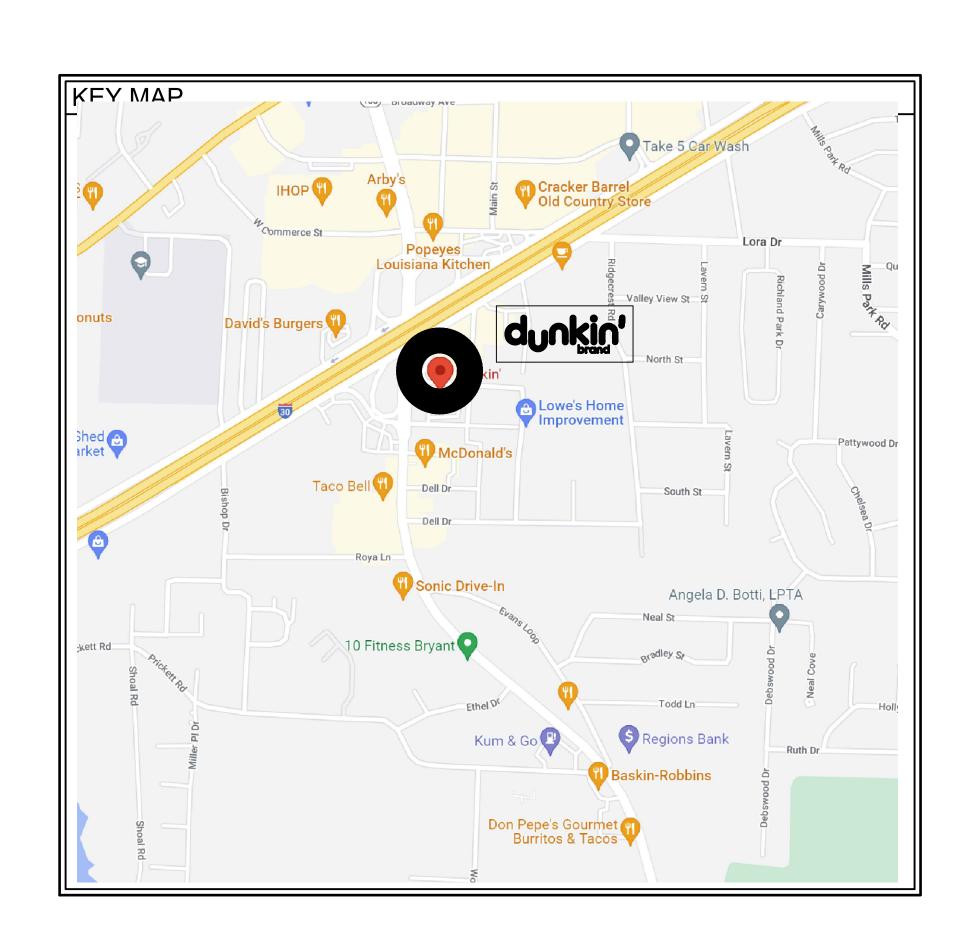
ADJOURNMENT

Motion to Adjourn	made by Com	missioner Burges	s , Seconded by Comm	nissioner
Speed. Voice Vote	e, 7 Yays, 0 nay	s. 1 Absent. Mee	eting was adjourned.	

Chairman, Lance Penfield	Date
Secretary, Tracy Picanco	 Date

Lagunita Franchise Operations Tony Antoon/Lee Millwood lee@lfops.com 601.940.6914





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Store Number: 350624

2234 N Reynolds Road Bryant, AR 72022

COOL PALETTE

John S Vaci, Architect

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BIRMINGHAM, AL 35242
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7/1/2024

INDEX OF DRAWINGS COVER/TITLE SHEET (THIS PAGE) T-1.1 SPECIFICATIONS T-1.2 GENERAL NOTES AND NATIONAL ACCOUNTS F-1.1 TOILET ACCESSORIES AND TILE FINISH SCHEDULE SP-1 SITE PLAN SP-1.1 SITE DETAILS LIFE SAFETY PLAN FLOOR PLAN, DOOR SCHEDULE & WALL TYPES A-1.2 REFLECTED CEILING PLAN & CEILING FINISH SCHEDULE A-1.3 FLOOR FINISH PLAN A-5.0 **EXTERIOR ELEVATIONS** A-5.1 **EXTERIOR ELEVATIONS** A-5.2 **EXISTING PHOTOS** A-5.3 **EXTERIOR DETAILS**

A-6.0 SIGN GUIDELINES AND DETAILS
A-8.0 INTERIOR ELEVATIONS
A-9.0 INTERIOR DETAILS
K-1.0 KITCHEN EQUIPMENT SCHEDULES
K-1.1 KITCHEN EQUIPMENT PLAN
P-1.0 PLUMBING SANITARY AND WATER PLANS
P-2.0 PLUMBING SANITARY AND WATER PLANS
E-1.0 ELECTRICAL LIGHTING PLAN
E2.0 ELECTRICAL POWER PLAN

E-2.1 ELECTRICAL OMNI DETAILSE-3.0 EXISTING DATA/RECONNECTION PLANE-3.1 EXISTING DATA/RECONNECTION DETAILS

ER-1.0 EXISTING ELECTRICAL

REFER TO EXISTING PLANS



SECTION 03 3000 CAST-IN-PLACE CONCRETE

MATERIALS 4000 PSI

EXECUTION: Install concrete smooth and flush to receive floor finishes. Install 2' longx5/8 " dowels at 48" OC both sides of trench cuts. Float low spots with leveler and grind off high spots so no telegraphing of trenches is evident.

SECTION 06 4100

ARCHITECTURAL WOOD CASEWORK

MANUFACTURERS

Acceptable Manufacturers - Plastic Laminate: Formica Corp. (www.formica.com) Wilsonart International, Inc. (www.wilsonart.com) MATERIALS Lumber:

Graded in accordance with AWI/AWMAC/WI Architectural Woodwork Standards, Section 3 requirements for quality grade specified, average moisture content of 6 percent.

Exposed and semi-exposed locations: Closed grain hardwood, of quality suitable for opaque finish.

Plastic Laminate: NEMA LD-3. High pressure decorative laminate:

Horizontal surfaces: Backing sheet: 3 /4 inch INT-APA A-D plywood. Vertical surfaces:

Backing sheet: 25/32 inch exterior grade plywood.

Formica #459-58 "Bright White" Matte Finish Formica #909-58 "Black" Matte Finish Wilsonart #7560K-18 "Studio Teak" Linearity Finish

ACCESSORIES Fasteners: Type and size as required by conditions of use.

Adhesives: Waterproof, water based type, compatible with backing and laminate materials.

Finish Hardware: As scheduled at end of Section. **FABRICATION**

Plastic Laminate Countertops:

Quality: AWI/AWMAC/WI Architectural Woodwork Standards, Section 11, Premium Grade.

Fabricate from sheet product with lumber fronts. Provide holes and cutouts for mounting of accessories.

Shop assemble for delivery to project site in units easily handled. Prior to fabrication, field verify dimensions to ensure correct fit. Apply plastic laminate in full uninterrupted sheets; fit corners and joints to hairline. Slightly bevel arises. Apply laminate backing sheet to reverse side of laminate faced surfaces. Where field fitting is required, provide ample allowance for cutting. Provide trim for scribing and site conditions. Provide cutouts and reinforcement for plumbing, electrical, appliances, and accessories. Prime paint surfaces of cut edges. **EXECUTION**

INSTALLATION

Install in accordance with AWI/AWMAC/WI Architectural Woodwork Standards. Set plumb, rigid and level. Scribe to adjacent construction with maximum 1/8 inch gaps. Fill joints between tops and adjacent construction with joint sealer as specified in Section 07 9200; finish flush.

FINISH HARDWARE SCHEDULE

Shelves shall be installed on heavy duty, adjustable knife brackets, Knape & Vogt No. 180-12, and Knape & Vogt No. 80 standards, as noted on Drawings. Standards and brackets to be steel with anochrome finish. Isolated, individual shelves shall be mounted directly to the wall with Knape & Vogt No. 204 steel brackets, anochrome finish, and length as shown on the Drawings.

WOOD TRIM

MATERIALS-National Account--Interior Trim: ACCESSORIES

Fasteners: Type and size as required by conditions of use; plain steel for interior use; hot dip galvanized steel for exterior use.

Waterproof, water based type, compatible with trim and substrate

Fasteners: Type and size as required by conditions of use; plain steel for interior use; hot dip galvanized steel for exterior use. FINISHES

Pre finished and touched up in field Paint or stain as indicated on drawings PREPARATION

Provide blocking at all locations to 300 lb pull out at each fastener. Prior to installation, condition wood to average humidity that will prevail after installation. INSTALLATION

Install in accordance with AWI/AWMAC/WI Architectural Woodwork Standards.

SECTION 07 2115

BATT INSULATION

Install in longest practical lengths. Set plumb and level.

Miter ends, corners, and intersections. Scribe to adjacent construction with maximum paper thick gaps.

Fasten or adhere to supporting construction.

MATERIALS Thermal Batt Insulation:

Type: ASTM C665, glass fiber composition Facing: Reinforced Kraft paper vapor barrier on one side with stapling flanges or aluminum foil/scrim/Kraft paper vapor barrier on one side with stapling flanges.

Free from urea-formaldehyde resins. Thermal resistance: 3-1/2 inches thick: R-value of 11.00. 3-5/8 inches thick: R-value of 13.00. 6-1/4 inches thick: R-value of 19.00. 6-1/2 inches thick: R-value of 22.0. 8-1/2 inches thick: R-value of 25.0. 9 inches thick: R-value of 26.0 10 inches thick: R-value of 30.00 12 inches thick: R-value of 38.00.

INSTALLATION Staple or nail in place at maximum 12 inches on center. Butt insulation to adjacent construction. Butt ends and edges. Carry insulation around pipes, wiring, boxes, and other components. Ensure complete enclosure of spaces without voids. Apply with vapor barrier facing towards exterior or interior of structure based on local climate design requirements.

SECTION 07 9200 JOINT SEALERS

Tape seal lapped flanges, butt ends, and tears and holes in facings.

MATERIALS Joint Sealer Type 1: ASTM C920, Grade NS, single component butyl rubber type, non sag. Movement capability: Plus or minus 12-1/2 percent. Color: To be selected from manufacturer's full color range, match adjacent finish. Joint Sealer Type 2: ASTM C920, Grade NS, single component silicone, non sag, mildew resistant

Movement capability: Plus or minus 25 percent. Color: To be selected from manufacturer's full color range, match adjacent finish. **ACCESSORIES**

Primers, Bondbreakers, and Solvents: As recommended by sealer manufacturer Joint Backing:

ASTM C1330, closed cell polyethylene foam, preformed round joint filler, non absorbing, non staining, resilient, compatible with sealer and primer, recommended by sealer manufacturer for each sealer Size: Minimum 1.25 times joint width.

PREPARATION Remove loose and foreign matter that could impair adhesion. If surface has been subject to chemical contamination, contact sealer manufacturer for recommendation.

Clean and prime joints in accordance with manufacturer's instructions. Protect adjacent surfaces with masking tape or protective coverings. Sealer Dimensions: Minimum joint size: 1/4 x 1/4 inch.

Joints 1/4 to 1/2 inch wide: Depth equal to width Joints over 1/2 inch wide: Depth equal to one half of width. APPLICATION Apply products in accordance with manufacturer's instructions.

Install sealers and accessories in accordance with ASTM C1193. Install joint backing to maintain required sealer dimensions. Compress backing approximately 25 percent without puncturing skin. Do not twist or stretch.

Use bondbreaker tape where joint backing is not installed. Fill joints full without air pockets, embedded materials, ridges, and

Tool sealer to smooth profile. Apply sealer within manufacturer's recommended temperature range. **CLEANING**

SECTION 08 1113 HOLLOW METAL DOORS AND FRAMES

Acceptable Manufacturers: National Account Timely. MATERIALS

Steel Sheet: ASTM A1008/1008M, cold rolled-and galvanized at Door Core: Exterior doors: Foamed-in-place polyurethane insulation

and galvanized FABRICATION

Clean adjacent surfaces.

Fabricate doors and frames in accordance with ANSI/SDI A250.8. Fabricate exterior doors and frames from galvanized steel sheet.

Fabricate from minimum 18 ga sheets. Close top and bottom edges of doors with steel channel, minimum 16, gage, extending full width of door, and spot welded to both faces, with top channel flush and bottom channel recessed. Frames:

Fabricate from minimum 18 gage sheets. Provide self-aligning tabs and slots to hold corners in alignment. Anchors: Provide one anchor at each jamb for each 30 inches of door height.

Provide one floor anchor welded to each jamb. Do not use metallic filler to conceal manufacturing defects. Fabricate with internal reinforcement for hardware specified in Section 08 7100; weld in place.

Design Clearances: Between door and frame: Maximum 1/8 inch. Undercut: Non-fire rated doors: Maximum 3/4 inch. Between face of door and stop: 1/16 to 3/32 inch. INSTALLATION

Set plumb and level.

Install doors and frames in accordance with ANSI/SDI A250.11

Secure to adjacent construction using fastener type best suited to ADJUSTING: Touch up minor scratches and abrasions in primer paint to match factory finish. **SECTION 08 1416**

FLUSH WOOD DOORS MATERIALS--Order through National Account Flush Wood Doors: WDMA I.S.1A. Pre-Hung Timely Core type: Solid, non-rated: Type PC - Particleboard Core, bonded, Wood veneer faces: Closed grain hardwood, of quality suitable for

opaque finish. Adhesives: Water Resistant. **FABRICATION** Fabricate doors in accordance with WDMA I.S.1A. Performance duty level: Heavy Duty. Number of plies: 5.

SECTION 087100 DOOR HARDWARE

MANUFACTURERS--Order through National Account INSTALLATION Install hardware in accordance with approved hardware schedule and manufacturer's instructions. Install mortise items flush with adjacent surfaces. Install locksets, closers, and trim after finish painting. Set thresholds in mastic and secure. Mount closers so that closers and closer arms are not visible on

corridor or public side of doors or on exterior of building. PROTECTION Remove or protect hardware until painting is completed. ADJUSTING Test and adjust hardware for quiet, smooth operation, free from binding and rattling.

Adjust doors to operate with maximum opening forces in accordance with applicable accessibility code.

HARDWARE SCHEDULE See Hardware schedule on sheet A2.1

SECTION 092900 GYPSUM BOARD

Gypsum Association (GA) (www.gypsum.org): GA-214 - Levels of Gypsum Board Finish. GA-216 - Recommended Specifications for the Application and Finishing of Gypsum Board GA-600 - Fire Resistance Design Manual. PROJECT CONDITIONS Do not install gypsum board until building is substantially weathertight. Maintain temperature in spaces in which work is being performed above 50 degrees F during and after installation.

MANUFACTURERS Acceptable Manufacturers - Gypsum Panels: GP Gypsum Corporation. (www.gp.com) National Gypsum Co. (www.nationalgypsum.com) Temple-Inland. (www.templeinland.com) USG Corporation. (www.usg.com) Acceptable Manufacturers - Cementitious Panels: USG Corporation. (www.usg.com) MATERIALS - GYPSUM PANELS

Regular Gypsum Board: ASTM C1396; 48 inches wide x thickness indicated, maximum practical length, tapered edge. Fire Resistant Gypsum Board: ASTM C1396, Type X; 48 inches wide x thickness indicated, maximum practical length, tapered edge; apply to fire rated assemblies. Water Resistant Gypsum Board: ASTM C1396; 48 inches wide x

thickness indicated, maximum practical length, water resistant; apply to walls to receive tile, sanitary wall panels and walls at locations specified on drawings. Fire Resistant, Water Resistant Gypsum Board: ASTM C1396, Type X;

48 inches wide x[thickness indicated, maximum practical length, water resistant; apply to walls to receive tile, sanitary wall panels and walls at locations specified on drawings.

MATERIALS - CEMENTITIOUS PANELS Cementitious Panels: ANSI A 118.9, high density, cementitious with glass fiber reinforcing, 5/8 inch thick x 48 inches wide, maximum practical length, ends and edges square cut; apply to walls in locations as indicated on drawings.

ACCESSORIES Fasteners: ASTM C1002, Type W screws, minimum 5/8 inch penetration into framing.

Adhesive: Type recommended by gypsum panel manufacturer.

Trim Accessories: ASTM C1047. Material: Formed steel, minimum 26 gage core steel, hot dip galvanized finish, expanded flanges.

Corner reinforcement: GA-216, Type CB-100 x 100. Casing: GA-216, Type LC. Control joint. Joint Treatment Materials:

Reinforcing tape and joint compound; ASTM C475. INSTALLATION Install panels and accessories in accordance with ASTM C754,

GA-216, and manufacturer's instructions. Apply panels at fire-rated assemblies as required by design assembly. INSTALLATION OF CEMENTITIOUS PANELS Size: 24 x 48 inches x 5/8 inch thick. Install cementitious panel in accordance with ANSI A108.11 and manufacturer's instructions.

Install control joints at walls and partitions: At changes in backup material. At maximum 30 feet on center. Above one jamb of openings in partitions

JOINT TREATMENT

Treat joints and fasteners in gypsum board in accordance with GA-214. Levels of Finish: Surfaces in service areas: Level 1 finish Surfaces to receive tile: Level 2 finish. Surfaces to receive wall coverings: Level 4 finish Surfaces to receive semigloss or gloss paints: Level 5 finish.

SECTION 093000 TILING

MANUFACTURERS Per drawings and Dunkin' Standard **MATERIALS** See Finish Schedule **ACCESSORIES** See Drawings for corner guards, wall trim and floor ramp details.

Latex-Portland Cement Mortar: ANSI A118.4, polymer modified dry set Dry Set Portland Cement Mortar: ANSI A118.1, polymer modified dry set type. Epoxy Adhesive:

ANSI A118.3, thin set bond type. **PREPARATION**

Clean surfaces to remove loose and foreign matter that could impair Remove ridges and projections. Fill voids and depressions with

patching compound compatible with setting materials. Allowable Substrate Tolerances: Thin set method: Maximum variation in substrate surface: 1/8 inch in 8 feet.

Maximum height of abrupt irregularities: 1/32 inch. Thick set method: Maximum 1/4 inch in 10 feet variation in substrate surface.

Test concrete substrate to ASTM D4263; do not install tile until surfaces are sufficiently dry. **INSTALLATION** Install crack suppression membrane in accordance with manufacturer's instructions.

Walls: ANSI A108.6, thin set with epoxy adhesive. Floors: ANSI A108.5, thin set with latex-portland cement mortar.

Minimize pieces less than one half size. Locate cuts to be inconspicuous. Lay tile to pattern shown on Drawings. Do not interrupt tile pattern

through openings. Joint Widths: Ceramic tile: 1/8 inch, plus or minus 1/16 inch Porcelain and Quarry tile: 1/4 inch, plus or minus 1/8 inch.

Make joints watertight, without voids, cracks, excess mortar, or excess grout. Align joints in wall and floor of same-sized tile. Fit tile around projections and at perimeter. Smooth and clean cut edges. Ensure that trim will completely cover cut edges. Miter all

outside corners of tile. Install Trim: Inside corners: Cove units. Outside corners: Bead units.

grout.

Base: Base units. Exposed tile ends: Bullnose units. Allow tile to set for a minimum of 48 hours before grouting. Grout tile joints in accordance with ANSI A108.10 without excess

SECTION 095100

ACOUSTICAL CEILINGS **MANUFACTURERS** Acceptable Manufacturers - Suspension System: Armstrong World Industries USG Corporation (www.usg.com) Acceptable Manufacturers - Acoustical Units: Armstrong World Industries USG Corporation (www.usg.com) Substitutions: Not permitted. MATERIALS Suspension Grid System Grid type: Exposed T. Material: Galvanized steel.

Runners: 1-1/2 inches high, 15/16 inch exposed width, flush slotted Perimeter molding: Angle shape.

Finish: Factory applied enamel paint, sprayed and baked, Color: See Finish Schedule Accessories: Stabilizer bars, clips and splices Acoustical Panels (Public Areas): Size: 24 x 48 inches x 3/4 inch thick.

Edge configuration: Square Performance requirements: Tested in accordance with ASTM E1264. 0.55

CAC: Light reflectance: LR-0.84. Acoustical Panels (Kitchen, Service Line and Food Areas): Finish: Embossed, vinyl-laminated face with sealed back and edges, color: white

Edge configuration: Square. Performance requirements: Tested in accordance with ASTM E1264 NRC: N/A CAC: 40.

Light reflectance: LR-0.80.

ACCESSORIES

Support Channels: Galvanized steel; size and type to suit application. Hanger Wire:

ASTM A641, minimum 12 gage galvanized steel. Touch-Up Paint: Color to match acoustical panels and suspension INSTALLATION

Install ceilings in accordance with ASTM C636 and CISCA Handbook. Minimize panels less than one half size. Install molding around perimeters and abutting surfaces. Miter molding at exterior corners; cut flanges and bend web to form interior corners. Space hanger wires maximum 48 inches on center. Install additional hangers where required to support light fixtures and ceiling supported equipment. Do not suspend hangers directly from metal deck. Attach steel channel horizontally to adjacent framing members; place hanger at regular

spacing. Hang suspension system independent of walls, columns, ducts, pipes, and conduit. Where ducts or other equipment prevent regular spacing of hangers: Reinforce nearest related hangers to span extra distance, or:

Suspend steel channel horizontally beneath duct or equipment; place hanger at regular spacing. Install main tees at maximum 48 inches on center. Install cross tees to form 24 x 48 inch modules. Lock cross tees to main tees. Support

ends of tees on flange of perimeter molding. Place acoustical panels with edges resting flat on suspension grid. Cutting Acoustic Units:

Cut to fit irregular grid and perimeter edge trim and around penetrations. Locate cuts to be concealed.

Cut and field paint exposed edges of reveal edge units to match factory edge. Installation Tolerances: Ceilings level to 1/8 inch in 12 feet measured in any direction.

ADJUSTING Touch up minor scratches and abrasions to match factory finish.

SECTION 097200 WALL COVERINGS

PROJECT CONDITIONS Maintain minimum temperature of 50 degrees F in areas to receive wall covering for three days prior to, during, and after installation. **MANUFACTURERS**

Acceptable Manufacturers: National Accounts Furnished by Owner

Sealer: Type recommended by wall covering manufacturer. Adhesive: Type recommended by wall covering manufacturer; water based,

mildew resistant. Patching Compound: White latex type. PREPARATION

Substitutions: Not permitted.

Prepare substrate to receive wall covering: Remove high spots. Fill holes, cracks, and depressions with patching compound; sand smooth and flush. Remove loose and foreign matter that could impair adhesion. Apply sealer as recommended by wall

covering manufacturer. Remove wall covering from packaging, place in installation area, and allow to acclimatize for minimum 24 hours prior to installation. INSTALLATION

Install in accordance with manufacturer's instructions. Install panels vertically. Provide field measurement of wall areas to supplier--graphics are to be

scaled to fit field measurements. Do not cut off or crop graphics--use full sized pieces. Smooth wall covering to eliminate bubbles and ensure adhesion. Remove excess adhesive from seams immediately. Use panels in exact order they are cut from roll. Reverse every other panel of non-matching patterns. Fill in above and below openings with panels

cut in consecutive order from roll. Install wall covering free from bubbles, wrinkles, open or loose seams, and other visible defects

SECTION 097733

SANITARY WALL PANELS MANUFACTURERS Acceptable Manufacturers: Crane Composites. (www.cranecomposites.com) Marlite. (www.marlite.com) Substitutions: Not permitted. MATERIALS Sanitary Wall Panels: Type: Glass fiber reinforced plastic, USDA approved for incidental food contact. Size: 3/32 inch thick x 48 inches wide x maximum practical length. Color: White Surface texture: Low gloss, pebbled

One piece extruded PVC, manufacturer's standard profile. Inside and outside corners, division bar, and J-molding. Color: To match panels.

ACCESSORIES

Adhesive:

PREPARATION

Install trim:

Compatible with panels and substrate; recommended by panel manufacturer. Joint Sealer: Specified in Section 07 9200. Patching Compound: White latex type.

Prepare substrate to receive panels: Remove high spots. Fill low spots with patching compound; sand smooth. Remove loose and foreign matter that could impair adhesion. INSTALLATION

Install in accordance with manufacturer's instructions.

Panel-to-panel joints: Division bar. Internal and external corners. Exposed edges: J molding. Secure to substrate

Primer:

series, 0 g/L VOC

B66-650 series 0 g/L VOC

B66-650 series 0 g/L VOC

series, <100 g/L VOC

B66-650 series 0 g/L VOC

B66-650 series 0 g/L VOC

B28W2600 0 g/L VOC

B28W2600 0 g/L VOC

VOC

PRODUCTS

ACCESSORIES

INSTALLATION

SCHEDULE

BACKFILLING

maximum dry density.

Walls in Sales Area (where wall covering is not used)

Egg-Shell Finish -- Low Odor Zero VOC System

Soffits, Ceilings at Restroom, Drive-Thru, Vestibule

Egg-Shel Finish -- Low Odor Zero VOC System

Aluminum Trim

1st coat:

2nd coat:

Primer:

1st coat:

2nd coat:

Wood, New

Prefinished

Doors and Trim

Galvanized Iron, New

Semi-Gloss Finish

Cut panels to fit at perimeter and around penetrations. Ensure that trim will completely cover cut edges. Maintain 1/8 to 3/16 inch expansion space at perimeter and around penetrations. Adhere panels to substrate with full bed of adhesive. Install continuous bead of joint sealer between panels and trim and between trim and adjacent construction.

SECTION 099100 PAINTING

PROJECT CONDITIONS

Do not apply materials when surface and ambient temperatures or relative humidity are outside ranges required by paint manufacturer. Maintain ambient and substrate temperatures above manufacturer's minimum requirements for 24 hours before, during and after paint application. Do not apply materials when relative humidity is above 85 percent or when dew point is less than 5 degrees F different than ambient or surface temperature. Provide lighting level of 30 footcandles at substrate surface.

Extra Materials: 1 gallon of each color and sheen.

MANUFACTURERS Acceptable Manufacturers: Sherwin Williams. (www.sherwin-williams.com)

ACCESSORIES

Accessory Materials: Paint thinners and other materials required to achieve specified finishes; commercial quality. Patching Materials: Latex filler. Fastener Head Cover Materials: Latex filler. EXAMINATION

Test shop applied primer for compatibility with subsequent coatings Measure moisture content of surfaces using electronic moisture meter. Do not apply coatings unless moisture content of surfaces are below following maximums:

Gypsum board and plaster: 12 percent. Wood: 15 percent, measured to ASTM D4442. **PREPARATION**

General:

Gypsum Board:

Protect adjacent and underlying surfaces. Remove or mask electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces or finishing. Correct defects and clean surfaces capable of affecting work of this section. Seal marks that may bleed through surface finishes with shellac.

Impervious Surfaces: Remove mildew by scrubbing with solution of trisodium phosphate and bleach. Rinse with clean water and allow to dry.

Fill minor defects with filler compound. Spot prime defects after repair. Fill hairline cracks, small holes, and imperfections with latex patching plaster. Finish smooth and flush with adjacent surfaces. Wash and

neutralize high alkali surfaces. Aluminum: SSPC Method SP1 - Solvent Cleaning. Uncoated Ferrous Metals: SSPC Method SP2 - Hand Tool Cleaning or

Method SP3 - Power Tool Cleaning **Shop Primed Ferrous Metals:** SSPC Method SP2 - Hand Tool Cleaning or Method SP3 - Power Tool Cleaning. Feather edges to make patches inconspicuous. Prime bare steel surfaces.

Interior Wood: Wipe off dust and grit. Seal knots, pitch streaks, and sappy sections with sealer. Fill nail holes and cracks after primer has dried; sand between coats.

Existing Surfaces: Remove loose, flaking, powdery, and peeling paints. Lightly sand glossy painted surfaces. Fill holes, cracks, depressions and other imperfections with patching compound; sand flush with surface. Remove oil, grease, and wax by scraping; solvent wash and thoroughly rinse. Remove rust by wire brushing to expose base

APPLICATION

Apply paints in accordance with MPI Painting Manual, Premium Grade finish requirements. Apply primer or first coat closely following surface preparation to prevent recontamination. Do not apply finishes to surfaces that are not dry. Apply coatings to minimum dry film thickness recommended by manufacturer. Apply each coat of paint slightly darker than preceding coat unless specified otherwise. Apply coatings to uniform appearance without laps, sags, curtains, holidays, and brush marks. Allow applied coats to dry before next coat is applied. When required on deep and bright colors apply an additional finish coat to ensure color consistency. Continue paint finishes behind wall-mounted accessories. Sand between coats on interior wood and metal surfaces. Match final coat to approved color samples. Where clear finishes are specified, tint fillers to match wood. Work fillers into grain before set. Wipe excess from surface. Prime concealed surfaces of exterior wood and interior wood in contact with masonry or cementitious materials] with one coat primer paint. Remove paint from adjacent surfaces. Touch up or refinish disfigured surfaces

Mechanical and Electrical Components: Paint factory primed equipment.

Remove unfinished and primed louvers, grilles, covers, and access panels; paint separately. Paint exposed and insulated pipes, conduit, boxes, ducts, hangers, brackets, collars, and supports unless factory finished. Do not paint name tags or identifying markings. Paint exposed conduit and electrical equipment in finished areas. Paint duct work behind louvers, grills, and diffusers flat black to minimum of 18 inches or beyond sight line. Do not Paint:

Surfaces indicated on Drawings or specified to be unpainted or unfinished. Surfaces with factory applied finish coat or integral finish. Architectural

metals, including brass, bronze, stainless steel, and chrome plating. FINISH SCHEDULE Doors and Trim Back Door Galvanized Iron, New

Pro Industrial Pro-Cryl Universal Primer, B66-310 series, <100 g/L VOC 1st coat: Pro Industrial Zero VOC Acrylic Semi-Gloss, B66-650 series, 0 g/L VOC 2nd coat: Pro Industrial Zero VOC Acrylic Semi-Gloss, B66-650

Pro Industrial Zero VOC Acrylic Semi-Gloss,

Pro Industrial Zero VOC Acrylic Semi-Gloss,

Pro Industrial Pro-Cryl Universal Primer, B66-310

Pro Industrial Zero VOC Acrylic Semi-Gloss,

Pro Industrial Zero VOC Acrylic Semi-Gloss,

ProMar 200 Zero VOC Interior Latex Primer.

ProMar 200 Zero VOC Interior Latex Primer.

1st coat: ProMar 200 Zero VOC Eg-Shel B26-2600 series, 0 g/L

2nd coat: ProMar 200 Zero VOC Eg-Shel B26-2600 series, 0 g/L

1st coat: ProMar 200 Zero VOC Eg-Shel B26-2600 series, 0 g/L

2nd coat: ProMar 200 Zero VOC Eg-Shel B26-2600 series, 0 g/L

SECTION 10 2813

TOILET AND KITCHEN ACCESSORIES

Fasteners: Stainless steel where exposed, hot dip galvanized where

Install wiring between power supply and accessories if required.

Install iron pipe toilet tissue and paper towel dispenser on solid

blocking and use fasteners able to withstand a 200lb vertical load

MANUFACTURERS--Purchase from National Account

concealed; type best suited to substrate conditions.

Install in accordance with manufacturer's instructions.

Set plumb, level, square, and rigid.

applied during walk through inspection

See Toilet Accessories Schedule.

Prime Coat: S-W DTM Wash Primer. B71Y1 (3.4 mils. wet. 0.7 mils.



EXCAVATION AND FILL

MATERIALS Engineered Fill: Crushed stone or gravel graded per ASTM C136. Sand: Natural river or bank sand, washed, free from silt, clay, loam, friable or soluble materials, and organic matter, graded per ASTM

Common Fill: Reused site or imported soils free from trash, debris, roots over 1 inch in diameter, matted roots, rocks over 3 inches in diameter, topsoil, and other deleterious matter.

TRENCHING Cut trenches sufficiently wide to allow for installation of utilities and for

inspection of work. Hand trim excavations; remove loose matter. Remove rocks and obstructions. Correct over-excavation by use of lean concrete or pipe bedding

Backfill under structures with Engineered Fill. Place backfill in loose, even, horizontal lifts maximum 8 inches deep. Compact each lift to 95 percent of ASTM D1557 modified] Proctor maximum dry density. Backfill outside of structures and under paving with Common Fill.

Place backfill in loose, even, horizontal lifts maximum 8 inches deep.

Compact each lift to 95 percent of ASTM D1557 modified] Proctor

DIVISION 22 - PLUMBING See Plumbing Drawings **DIVISION 23 - HEATING, VENTILATING AND AIR CONDITIONING** (HVAC) See HVAC Drawings **DIVISION 26 - ELECTRICAL** See Electrical Drawings

ita Franchise Operat Antoon and Damon L tony@lfops.com 601.940.6914

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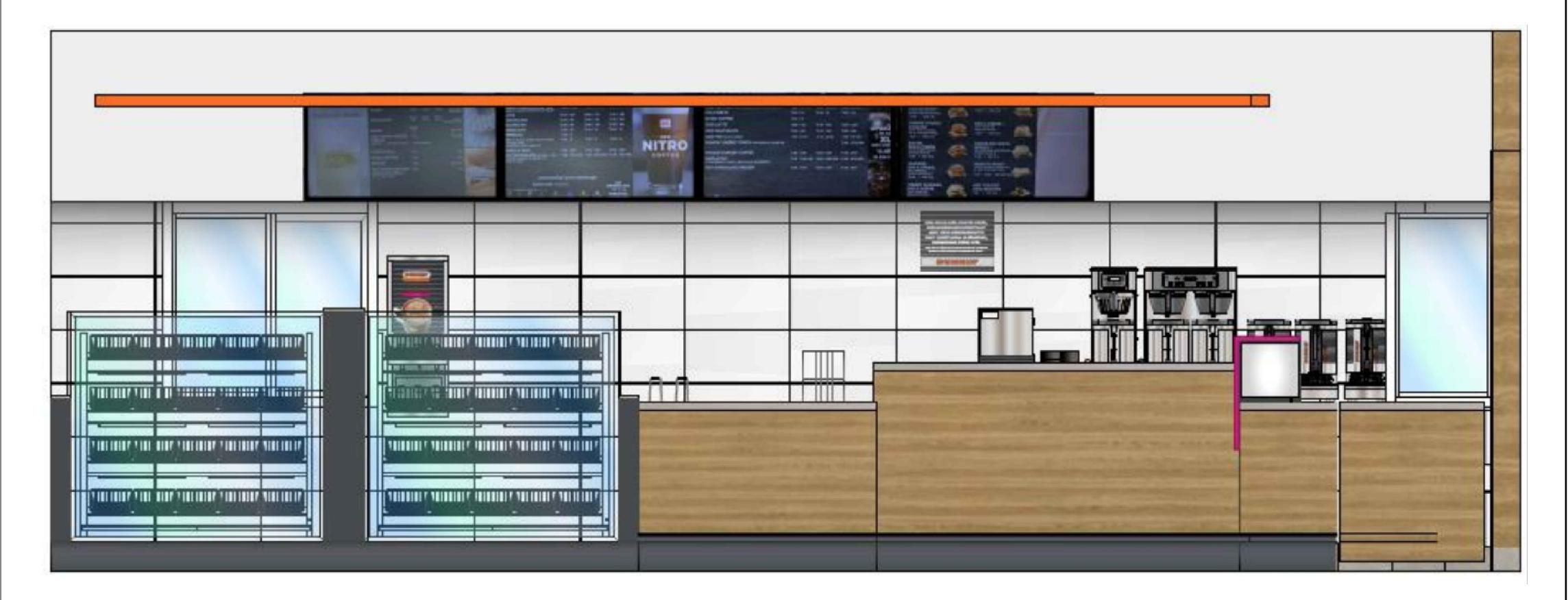
Updated Vendor Contact List

Direct Purchase Category →1	Lead Time	Vendor/Order Form ▼	Vendor Contact Person	Vendor Phone	Vendor Email
Air Curtains	4 weeks	Parts Town	Michael Freeburg	815-823-5489	mfreeburg@partstown.com
Awning Material	5 Week	Flexcon (previously Arlon)	Monica Navejar	210-798-1921	Mnavejar@flexconindustrial.com
Bollard Covers	2 Week	Post Guard	Michelle Mobbs	248-663-9115	michelle@postguard.com
			Bindu Abraham or Richard	Bindu 888-308.7290	BAbraham@idealshield.com or
Bollard Covers (orange)	3 Week	Ideal Shield	Рорр	Rich 248-219-2907	rpopp@idealshield.com
Ceiling Tile & Grid	2 Week	Armstrong World Industries	Sherry Brunt / Maureen Cone	1-800-442-4212 ext. 1	sabrunt@armstrongceilings.com / mmcone@armstrongceilings.com
Cleaning and Sanitation program	4 Week	Proctor & Gamble	Abby Craig	513-983-7928	craig.a.1@pg.com
	5 Week	LSM Now	Megan Buckley	1-855-576-6669	lsmnow@weldmedia.com
_	2 Week	Trimco	Anthony Mastroianni	410-804-5070	amastroianni@trimcohardware.com
Drive Thru Windows	3 Week	QuikServ	Brian McClocskey	713-849-5882	bmccloskey@quikserv.com
Drive Thru Windows	6-8 Week	Ready Access	Anna Ellis	1-800-621-5045 X120	Anna@ready-access.com
Drive Thru Head Sets and Timers	3 Week	HME	Mike Marques	858-535-6000	mmarques@hme.com
Drive Thru Timers		Acrelec	Kevin Donohue	O 412-960-4116	kevin.donohue@acrelec.com
EIFS (Exterior Insulation Finish System)	4 Week	Dryvit Systems	Robert Dazel	C: 734-276-0404	bob.dazel@dryvit.com
-l-semb	. we want	w. gric wpostilio	Bianca Jimenez / Matt		and the second s
Exterior Finishes	2 Week	Nichiha	Hatfield		dunkindonuts@nichiha.com; dunkin@nichiha.co
	2 Week	Woodtone	Tim Foster	800-663-9844 X1122	timf@woodtone.com
Exterior Metal (Building Band/Canopy)		AGI	Jeff Ogle	(865)771-5676	Dunkinbrands@agi.net
Exterior Metal (Building		7 (52)	seri agre	1000/1122010	Seminare de Communicación de la communicación
Band/Canopy)	8 Week	Uni-Structures, Inc.	Dana Fredericks	678-974-1773	d.fredericks@unistructures.com
Exterior Metal (Canopy)	10-12 Week	LSI Industries	Sandi Halo	330.495.4692	sandi.halo@lsicorp.com
Flooring & Wall: Tile	2 Week	Crossville/Hamilton	Aaron Graves	614-358-7963	Agraves@hamiltonparker.com
Flooring & Wall: Tile	8-10 Week	Dal Tile	Paula Tosti/Terrie Miller	978-835-7793;216.409.31	paula.tosti@daltile.com;terrie.miller@daltile.com
Flooring, Epoxy	2 Week	Stonhard	Scott Garstka	1-800-854-0310	sgarstka@stonard.com
FRP (Crane Composites) from HJC	4 Week	ніс	Barry Bryant	800-459-7099; 479-899- 3555	harry bryant@bicine.com
					barry.bryant@hjcinc.com
Generators	10 Week	Grainger	Valerie Jenkins	503-887-6775	<u>Valerie.jenkins@grainger.com</u>
High Speed Internet		Comcast Carrier (Dunkin Acct		844-389-4641 860-422-5862; 470-323-	DBI_Comcast_Ordering@comcast.com
HVAC	30 Week	NA7621)	Dennis Lane; Tom Dowling	6471 Use Acct NA7621	dennis.m.lane@carrier.com, thomas.dowling@carrier.com
HVAC	27 week	Trane	Jonathan Ralys	M:781-938-9700/F:8912	jonathan.ralys@trane.com
HVAC	25 week	Rheem	Brett Smith	(918) 519-7251	brett.smith@rheem.com
HVAC Design Services	2 Week	NCA Consultants	Chris Witts	877-530-0078	marketing@ncaconsultants.com
	4 Week				
*		DGS Retail	Karen McCue	508-337-2990 EX: 241	karenmccue@dgsretail.com
Kitchen Doors / Swing Doors	4 Week	Eliason Corp	Ann Sprandel	513-967-3381	asprandel@senneca.com reg62@captiveaire.com
Kitchen Hoods / Exhaust	4 Week	Captive Aire Systems	Woody Brink/Erin McEwen	813-435-3388 EX: 3	erin.mcewen@captiveaire.com
Kitchen Hoods / Exhaust	4 Week	Horacio Sheet Metal	Mike Tavares	508-985-9940 X211	mike@horacios.com
LED Reader Board	4 Week	Watchfire	David Watson	877-446-4731	david.watson@watchfiresigns.com
Light Fixtures	2-4 Week	Villa Lighting	David Walson	1-800-325-0963	dunkin@villalighting.com
			a r		
	3 Week	Specialty Lighting	Anush Kazarian	0:860-767-0110 X252	anush.kazarian@sslighting.com
Light Fixtures	1 week	Light Check	Ralph Mosher	508-422-9778	ralph@lightcheck.com
Loss Prevention Surveillance	6 Week	March Networks	Graham Shelton	909-622-4899	Gshelton@marchproducts.com
Loss Prevention Surveillance		DTIQ	Sharon Costanza	954-649-0951	scostanza@dtiq.com
Metal Trim (Branded)	6 Week	Tamlyn	Ian Daniels	713-446-3075	idaniels@tamlyn.com
Metal Trim (Branded)	8 Week	Uni-Structures, Inc.	Dana Fredericks	678-974-1773	d.fredericks@unistructures.com
Metal Trim (Branded)		Everbrite	Theres Bahr	414,530,7390	dunkinbrands@everbrite.com;
Metal Trim (Branded) Millwork Fabricator	12 Week	Horacio Sheet Metal	Theresa Behr Mike Tavares	414-529-7280 508-985-9940 X211	tBehr@everbrite.com mike@horacios.com
	TT ARCEV	noració amost Metal	minc lavales	200 201 22+U AZII	mine@ildi delos.com
	O Week	Econbo	Cathar Martin	C1E 4C3 4100	Cathar Martin Oferal acces
Millwork/Equipment Consolidator Millwork/Equipment Consolidator		Franke Hockenbergs	Cathy Martin Travis Hollenbeck	615-462-4109 913-980-3558	Cathy.Martin@franke.com travis.hollenbeck@trimarkusa.com

12 Week	NDCP		I i	john.duffy@natdcp.com/ james.mattick@natdcp.com
		100		cgustafson@wausautile.com
	<u> </u>			dorien.rose@twentyfour7-global.com
	<u> </u>			
		,		brothmeyer@plantationprestige.com
2 Week	Union Office Interiors	Douglas Bumstead	P: 978-752-1830	Dbumstead@unionoffice.com
10 Week	Wabash	Tess Folk	214.206.1044	tess.folk@playpower.com
N/A	Benjamin Moore	Stacey White	857-250-7395	
N/A	Sherwin Williams	Heather Bourgeois	646-841-4412	Heather.R.Bourgeois@sherwin.com
2 Week	Pavement Stencil Company	Calvin Bell	800.250.5547	stencils@pavementstencil.com
4 Week	Pepsi	Mike Higgins/Tearesa Hudson		Mike.Higgins@pepsico.com; tearesa.hudson@pepsico.com
a raznale	Haines, Jones and Cadbury		200 4E0 7000-479-899-3	
2 Week	Newton Distributors	Jason keyes		jason@newtondistributing.com Keith@restroomremodels.com/
2 Week	Restroom Remodels	Keith Vanderbilt		Sales@restroomremodels.com
6 Week	Duro-Last Roofing	Terri Karr	989-823-4501	terri.karr@holcim.com
6 Week	AGI	Jeff Ogle	(865)771-5676	Dunkinbrands@agi.net
6-8 Week	Everbrite	Theresa Behr	1	dunkinbrands@everbrite.com / tBehr@everbrite.com
8 week	Persona Signs	Samantha Fieber	800-843-9888 Ext 304	sfieber@personasigns.com
6-8 Week	Poyant Signs	Bill Gavigan	C:860-324-1353	bgavigan@poyantsigns.com
4 Week	Roll-a-shade	Kristen Fannin	P: 951.245.5077 x 114	Kristen.Fannin@RollAShade.com
2 Week	LG Hausy's	Michelle Allen	513-214-9939	mallen@lxhausys.com
24-30 Week	Villa Lighting	use email	314-633-0482	dunkin@villalighting.com
20-24 Week	Accusery	Mike Thomas	502-400-8677	mthomas@accu-serv.com
5 Week	East Coast Umbrellas	Nicole Mason	910-462-2500 Ext 1226	umbrellas@eastcoastumbrella.com/ nicole@eastcoastumbrella.com
6 week	Plantation Prestige	Brian Rothmeyer	612-839-8752	brothmeyer@plantationprestige.com
6-8 week	Wabash	Tess Folk	214.206.1044	tess.folk@playpower.com
4-6 Week	NDCP	Purchase Ops Team	609-845-2719	WIBquotes@natdcp.com
2 Week	Wolf Gordon	Alfredo Ortiz / Cindy Cedrone	Alfredo 718-391-5452 Cindy 781-320-2972	Alfredo.Ortiz@wolfgordon.com / Cindy.Cedrone@wolfgordon.com
2 Week	Momentum			EFord@momtex.com Customerservice@momtex.com
4 Week	Impact Specialties	Jay Bohannon	888.331.2031	JBohannon@c- sgroup.com orders@impactspecialties.com
* week	Times	December (December)	202 450 7030-470 900 9	Level Level (Shiring room
				eleanor.hinson@manitowoc.com
2 week	MicCannis Engineering	Eleanor minson	818-03/-/219	lguzman@AWSDistributing.com/
3 Week	3M Filtration	Leticia Guzman	(630) 836-1790	AWS@AWSDistributing.com
				John.hiner@pentair.com /
3 Week	Everpure	John Hiner / Linda Morse	201-417-5564	linda.morse@pentair.com
	N/A N/A 2 Week 4 Week 1 Week 2 Week 6 Week 6 Week 6 Week 4 Week 2 Week 2 Week 5 Week 4 Week 2 Week 4 Week 4 Week 5 Week 6 week 6 week 6 week 6 week 6 week 4 Week 1 Week 2 Week	8-10 Week	12 Week NDCP John Duffy/James Mattick 8-10 Week Wasau Tile Caitlin Gustafson 2 week 24/7 Dorien Rose 2 week Plantation Prestige Brian Rothmeyer 2 Week Union Office Interiors Douglas Bumstead 10 Week Wabash Tess Folk N/A Benjamin Moore Stacey White N/A Sherwin Williams Heather Bourgeois 2 Week Pavement Stencil Company Calvin Bell Wike Higgins/Tearesa Hudson 4 Week Pepsi Haines, Jones and Cadbury 1 Week LC Barry Bryant 2 Week Newton Distributors Jason Reyes 2 Week Restroom Remodels Keith Vanderbilt 6 Week Duro-Last Roofing Terri Karr 6 Week AGI Jeff Ogle 6-8 Week Everbrite Theresa Behr 8 week Persona Signs Samantha Fieber 6-8 Week Roll-a-shade Kristen Fannin 4 Week Roll-a-shade Kristen Fannin 5 Week Uila Lighting use email 20-24 Week Accuserv Mike Thomas 5 Week East Coast Umbrellas Nicole Mason 6 week Plantation Prestige Brian Rothmeyer 5 Week Wabash Tess Folk 4-6 Week Monch Monch Laffredo Ortiz / Cindy Cedrone 2 Week Monentum Kaitlyn Feaster/Ellen Ford 4 Week Impact Specialties Jay Bohannon 1 week HJC Barry Bryant 2 Week McCann's Engineering Eleanor Hinson	12 Week NDCP

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GENERAL NOTES

- 1. These General Notes are instructions to the Contractor and apply generally to all the work unless more specific information is shown in drawings or written in the specifications, standards and/or contracts.
- 2. All construction work shall be in accordance with the most current drawings, specifications and standards as modified by the Architect/Engineer--do not use outdated drawings.
- 3. An approved set of plans shall be maintained on the job site at all times.
- 4. All construction shall be conform to the best practice of each trade. Unless shown or noted otherwise, construction details or practices are common to the standard of the trade and per manufacturer's instructions.
- 5. All construction shall conform to the applicable codes and authority requirements.
- 6. Provide partial lien wavers with any request for payment and final waivers at completion of the work and Certificate of Occupancy
- 7. The General Contractor is solely responsible for the scheduling and coordination of the work by all trades and the delivery of equipment. Complete the work in the following sequence--provide a schedule indicating the projected start and completion of each event AND FOR HOOD/OVEN, WALK-IN AND EQUIPMENT DELIVERY DATES:
- a. Demolition and space preparation--schedule utility services if required
- b. Underground utilities, testing, inspection, photograph
- c. Rough-in, keep the floors clear and unobstructed for all trades requiring ladders and scaffolding
- d. Rough-in testing and inspection--photograph all rough-in prior to covering and photograph each signed off inspection sheet--send to architect for verification prior to payment
- e. Install flooring under ovens and any flooring that extends under the walk in walls
- f. Install ovens and walk in upon arrival, install hood duct and fan, light test in the presence of the Fire Marshall and then wrap duct. PROTECT EQUIPMENT FROM DAMAGE

g. Install finishes

- h. Set fixtures, equipment, furnishing, signage and install trim
- i. Schedule final inspections in the proper order and obtain the Certificate of Occupancy
- 8. The contractor shall visit the site prior to contract bidding and familiarize himself with any conditions relevant to the successful construction of the store.
- 9. The General contractor shall provide fire extinguisher in the locations and quantities and directed by the Fire Marshall but shall provide at least one.
- 10. ALL SHELVES, SINKS, AND GRAB BARS ARE TO BE MOUNTED ON SOLID BACKING AND WOOD BACKING MATERIALS ARE TO BE FIRE RATED IN FIRE WALLS
- 11. HOODS ARE TO SUPPORTED ON HEAVY DUTY UNISTRUT OR 3X3X1/4" STEEL ANGLES SPANNING BETWEEN FRAMING MEMBERS WITH 4@3/8" THREADED RODS EXTENDING DOWN TO BRACKETS ON THE HOOD.
- 12. Large equipment to be set before counters
- 13. Accept, unload, and check all equipment and material deliveries to the store--PROTECT ALL EQUIPMENT AND MATERIALS and if necessary arrange for offsite storage. Assemble and place equipment and remove all films and clean and polish.
- 14. Seal all tile joints with penetrating silicone sealant in two applications after the grout has been allowed to fully
- 15. Seal small joints with flush clear silicone caulk.
- 16. Prepare floors for smooth finish installation with no telegraphing. Bridge cracks in concrete floors with elastomeric membrane primed and fully adhered to floor-use RedGard liquid for cracks up to 1/8" and Crack Buster sheet for cracks up to 3/8" Custom Building Products 800.272.8786.
- 17. Drawings have been submitted for review by the Building and Health Departments. The Contractor shall obtain the necessary permits required for the works shown on these drawings prior to the start of the construction.
- 18. The Contractor shall locate and uncover all the underground utilities in advance of the construction and inform the Architect/Engineer of locations and depths and any issues related thereto or conflicts. DO NOT DAMAGE THE **BUILDING UTILITIES.**
- 19. Backfilling shall not be started until newly installed underground piping is tested and inspected. Backfill shall be installed in accordance with the relevant standards in 6 inch compacted lifts.
- 20. Keep dust and noise to an absolute minimum and protect the adjacent spaces from water penetration during cutting and cleaning operations. Clean up after completed work at the end of each day and keep the jobsite free and clear of any debris. Store materials carefully and if required obtain and pay for off-site storage.
- 21. Disposal of and stockpiling of excess material within the planning area shall be done in such a way that it will not create a nuisance to the ongoing works in general and the neighboring surroundings.
- 22. The Contractor shall not trespass beyond the project boundary lines unless a permit or written authorization has been obtained from the neighboring property owners involved.
- 23. Any damage on public area and/or on the clients premises caused by the ongoing project works shall be restored in its original condition, with no additional cost implication to the owners involved, as per following requirements:
- 24. All trees impacted by the ongoing construction works shall be replaces with the same size and type of tree at same location or at a new location given by the local authorities or by the client.
- 25. Trim FRP walls typically with FRP trim corners except in main aisle ways trim corners with stainless steel corners. Trim any exposed walk in cooler corners with stainless steel.
- 26. Locate utilities before cutting or digging--know where they are and mark them--underground utilities shown on the plans are schematic only. It the contractor's responsibility to locate and avoid interference with existing lines.
- 27. ADA standards are to be followed and in general 40 inch clearance is maintained throughout the store and 36 inches at limited passageways. Questions about ADA heights and clearances should be directed to the Architect. All door hardware, lavatory fixtures and faucets shall meet ADA standards.
- 28. Gypsum Wall Board and ceilings: Provide US manufactured materials and finish in accordance with the Gypsum Board Association's guidelines and instructions. Follow fire rated assembly construction and mark wall ratings in 4" red letters above ceiling every 10'. Use vertical expansion track at all decks or framing members. 1/2" thickness may be used behind FRP if rating is not required. Use greenboard in all wet areas. Provide fire rated sealants where required and flash wall to floor along demising walls. Use fire treated wood and plywood for backing where wood is not allowed. Install ceilings in strict accordance with the manufacturer's instruction.
- 29. Metal or Wood Frames Walls: Use wood framing only where allowed and metal framing where the building is not allowed to have combustible materials. Provide materials from a Steel Framing Industry Association (SFIA) member and follow the guidelines and instructions set forth by SFIA. 3 1/2" track and utility stud framing 22mil.
- 30. Do not install walk-in cooler tight to walls--allow min 1" air space Stub wall closure is to be trimmed with FRP corner molding. Any exposed corners of walk in cooler are to be trimmed with 4' high SS corner trim.
- 31. Conform to manufacturer's installation instructions and provide all warrantees.
- 32. Dimensions are to face of finish unless clearly shown otherwise.
- 33. The General contractor shall layout equipment and walls and clearly and accurately instruct other trades as to locations for rough in and provide study support for all rough in to hold in place through finish.
- 34. The General Contractor is to hang the front window signs, the menu boards, ADA SIGNS, AND THE HEALTH RELATED SIGNS REQUIRED FOR INSPECTION AT HAND SINKS





Lagunita Franchise Operations Tony Antoon and Damon Dunn tony@lfops.com 601.940.6914

OTHER TILE OPTIONS--ALL INQUIRIES MUST MENTION THE NATIONAL ACCOUNT ASK THEM TO MATCH DALTILE (SAME COLOR NUMBERS)

CREATIVE==CONTACT INFORMATION PHONE: 800.207.2967 EXT. 3865 (DUNK)

FAX: 518-452-9153

EMAIL: DUNKINTILE@CREATIVEMATERIALSCORP.COM

HAMILTON PARKER PHONE: 614-358-7887

EMAIL:TLEE@HAMILTONPARKER.COM DBI REP : TOM LEE

614.935.1465

EMAIL:JCAMPBELL@HAMILTONPARKER.COM DBI REP : JANET CAMPBELL

614.358.7815

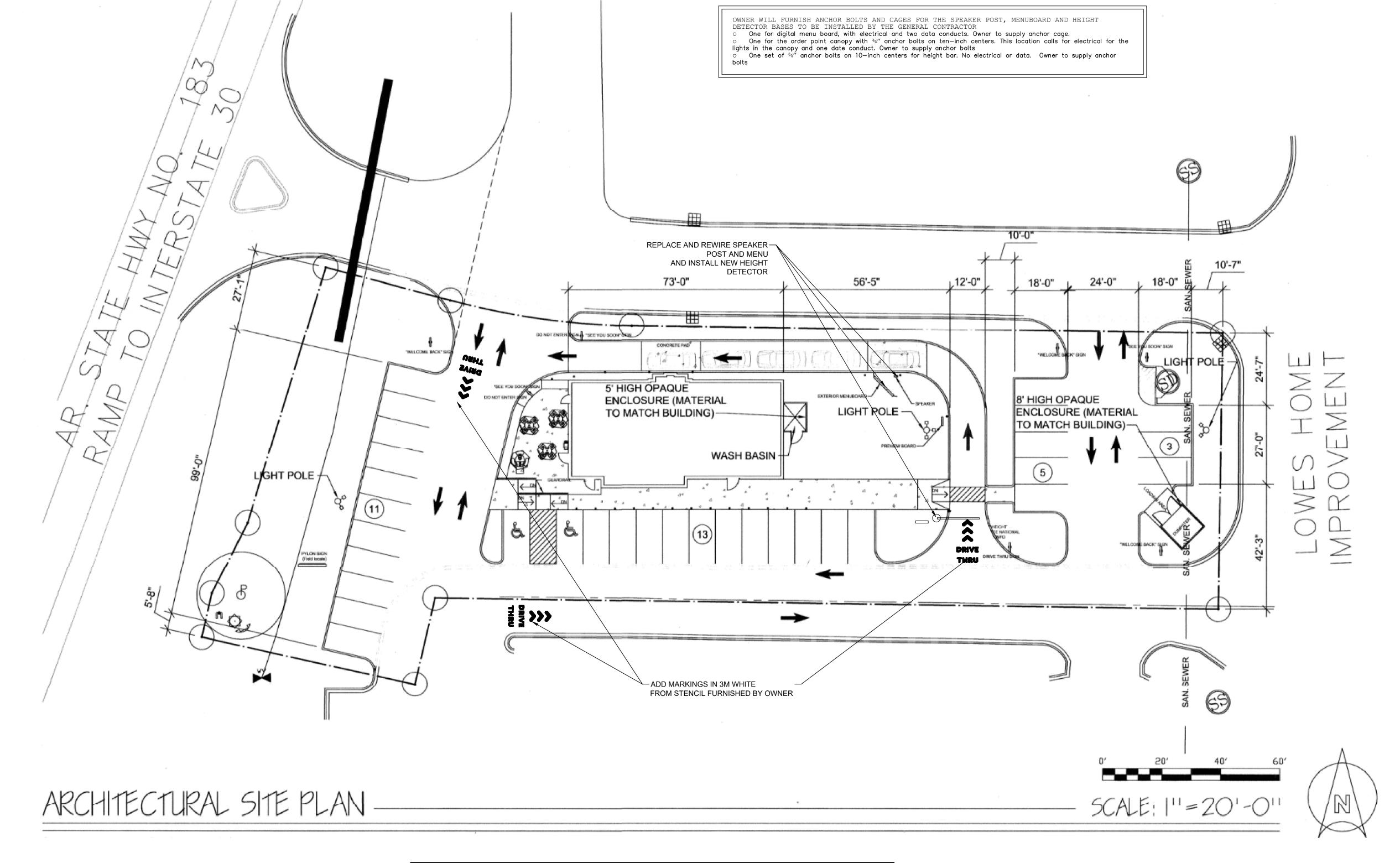
	RESTROOM E	EQUIPMENT SC	HEDULE	
CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
1	GRAB BARS	ASI 3701-18P (18"), -36P (36") & -42P (42")	36" MAX. A.F.F.	NOTE C
2	SWING-UP GRAB BAR	BOBRICK #B-4998.99	SEE INSTALLATION INSTRUCTIONS	NOTE C, INSTALL WHEN REQUIRED
3	TOILET PAPER HOLDER	KC PROFESSIONAL 09551	20" BOT OF UNIT, SURFACE MOUNTED	
4	COAT HOOK	ASI 0751	48" A.F.F. , MOUNTED ON DOOR	
5	SOAP DISPENSER	DERMA FOAM E- KAY CHEMICAL COMPANY		NOTE A, C
6	AUTOMATIC HAND DRYER	"WORLD VERDIDRI" Q974-A - WHITE OR Q973-A - STAINLESS OR "EXCEL" XLERATOR THIN AIR TA- SI WG - WHITE OR TA- SI WG - STAINLESS		NOTE A, C &
7	HAND DRYER WALL GUARD	WORLD	-	NOTE F
8	MIRROR (18"x30")	ASI 0620-2436	40" A.F.F. TO BOTTOM	NOTE C
9	TRASH RECEPTACLE	ASI 0458	41"-45" A.F.F. TO OPENING FOR ADA	
10	BABY CHANGING STATION	ASI 9012 HORIZONTAL OR ASI 9015 VERTICAL	27" TO BOTTOM OF UNIT	NOTE C
11	SANITARY NAPKIN DISPOSAL	ASI 0852	24" TO TOP OF UNIT	WOMEN'S RESTROOM ONLY
12	SEAT COVER DISPENSER (OPTIONAL)	ASI 0477 SM		(OPTIONAL)
13	WALL SHELF	ASI 0692-516 (5"x16")	42" A.F.F. FOR ADA; NOTE C	(OPTIONAL)
IOTE D: TOILI	VIDE BLOCKING FOR ALL WALL MOUN ET TISSUE & PAPER TOWEL DISPENSE D DRYER TO BE ORDERED FROM NAT AGING/BRANDING.	ERS SUPPLIED FREE FROM LC	OCAL DCP; INSTALLED BY C	
IOTE F: AVAIL	ABLE WITH HAND DRYER; CAN BE PU		,	
	ALTERNATE HANDS-FREE TOILET EQ			
AUTOMATIC FA A. T ANK TOILET STANDARD OF	ED LAVATORY: "LUCERNE" BY AMER AUCET (STANDARD): SLOAN #ETF-600 (STANDARD): PTION: AMERICAN STANDARD CADET)-B-BDT, W/ TRANSFORMER #E		
AUTOMATIC FANK TOILET STANDARD OF 215AA.105 (R PRESSURE-AS SPF #2467.00 (ANKLESS TO AMERICAN STA	AUCET (STANDARD): SLOAN #ETF-600 (STANDARD): PTION: AMERICAN STANDARD CADET IGHT TRIP) SIST OPTION: AMERICAN STANDARD (LEFT TRIP) #2467.XXX (SPECIFY RIGH PULLET (OPTIONAL): ANDARD MADERA FLOWISE ELONGAT H (STANDARD): SLOAN REGAL 111.1.2 LUSH (OPTIONAL): SLOAN 8111-1.28 (3)	P-B-BDT, W/ TRANSFORMER #EPRO RIGHTHEIGHT ELONGATICATION CADET FLOWISE WIGHTHEIGHT TRIP) FED, 1.28 GPF #3043.001 28 (3780046) FLUSHOMETER	ED 1.28 GPF #215AA.104 (L	EFT TRIP)
ANK TOILET TANK TOILET TANDARD OF 215AA.105 (R PRESSURE-AS FOF #2467.00 (FANKLESS TO MERICAN STA MANUAL FLUS FUSH FLUSH FUSH STANDARD WA FUSH (STANDARD WA F	AUCET (STANDARD): SLOAN #ETF-600 (STANDARD): PTION: AMERICAN STANDARD CADET IGHT TRIP) SIST OPTION: AMERICAN STANDARD (LEFT TRIP) #2467.XXX (SPECIFY RIGH PULLET (OPTIONAL): ANDARD MADERA FLOWISE ELONGAT H (STANDARD): SLOAN REGAL 111.1.2 LUSH (OPTIONAL): SLOAN 8111-1.28 (3)	PRO RIGHTHEIGHT ELONGATI CADET FLOWISE WIGHTHEIGHT TRIP) TED, 1.28 GPF #3043.001 28 (3780046) FLUSHOMETER 3790071) EXPOSED, BATTERY F	ED 1.28 GPF #215AA.104 (L HT ELONGATED, PRESSUR POWERED, SENSOR ACTIV	EFT TRIP) RE ASSIST 1.1 WATED DUAL AMERICAN MANUAL

DAL TILE PALETTE						
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS	
G-01 (C)	GROUT	MAPEI		CUSTOMER AREA GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION		
		СВР	# 335 WINTER GRAY	CUSTOMER AREA GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION	ALL INQUIRIES MUST MENTION THE NATIONAL ACCOUNT	
		MAPEI	# 11 - SAHARA BEIGE	BACK OF HOUSE GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION	WITH DUNKIN BRANDS PHONE: 877-556-5728 EMAIL:NATIONAL.ACCOUNTS@DALTILE.COM	
<u>G-02</u>	GROUT	СВР	#335 WINTER GRAY	BACK OF HOUSE GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION	DBI REP : PAULA TOSTI 978.835.7793 EMAIL: PAULA.TOSTI@DALTILE.COM	
<u>G-03</u>	GROUT	MAPEI	# 38 - AVALANCHE	BACK LINE GROUT- SEE FINISH SCHEDULE FLOOR TILE (WT) COMMENTS FOR LOCATION		
<u>5 55</u>	GING 01	СВР	#381 BRIGHT WHITE	BACK LINE GROUT- SEE FINISH SCHEDULE FLOOR TILE (WT) COMMENTS FOR LOCATION		
<u>G-04</u>	GROUT	MAPEI	ULTRSCOLOR PLUS FA # 10 - BLACK	BRICK TILE GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) OR WALL TILE (WT) COMMENTS FOR LOCATION		
<u></u>		СВР	#60 CHARCOAL	BRICK TILE GROUT- SEE FINISH SCHEDULE FLOOR TILE (FT) OR WALL TILE (WT) COMMENTS FOR LOCATION		
<u>G-05</u>	GROUT	MAPEI	THE IRSCOLOR PLUS FA	RESTROOM GROUT- SEE FINISH SCHEDULE WALL TILE (WT) COMMENTS FOR LOCATION		
<u> </u>	. .	СВР		RESTROOM GROUT- SEE FINISH SCHEDULE WALL TILE (WT) COMMENTS FOR LOCATION COMBO ONLY - COOL PALETTE		
G-06	GROUT	CUSTOM BUILDING	335 WINTER GREY	CEG-LITE EPOXY GROUT DINING - SEATING AREA		
G-07	GROUT	CUSTOM BUILDING		COMBO ONLY - COOL PALETTE CEG-LITE EPOXY GROUT CAKERY WALL COOL PALETTE -		
FT-01 (C)	PORCELAIN TILE	DAL TILE	# A1 /212241P6	12"X24" FRONT OF HOUSE (PUBLIC AREAS) AND RESTROOM AREA TILE - USE W/ GROUT G-01 (C)		
<u>FT-02</u>	QUARRY TILE	DAL TILE	GRAY STD" # 0T03661P	COOL AND WARM PALETTE - 6"X6"; BACKLINE/SERVICE AREA & B.O.H. AREAS - USE W/ GROUT G-02 COOL PALETTE - CUT 12"X24" FLOOR TILE W/ BRUSHED		
FTB-01 CUT (C)	PORCELAIN TILE	DAL TILE	ASTRONOMY AT72 SOLSTICE - - 12X24 FLOOR # AT7212241P6	COLOR MATCH WALL TILE ALUMINUM TRIM MATTE WHITE TSDA DARK ANTHRACITE		
FTB-01 COVE (C)	PORCELAIN TILE	DAL TILE	ASTRONOMY AT72 SOLSTIC COVE BASE	TSSG STONE GREY COOL PALETTE - 6"X12" COVED BASE TILE (OPTIONAL UPGRADE FOR FRONT OF HOUSE PUBLIC AREAS AND RESTROOMS) COOL AND WARM PALETTE -		
FTB-02 COVE	QUARRY TILE WALL BASE	DAL TILE	QUARRY TEXTURES Q3565U 0T03 "ASHEN GRAY STD" # 0T03Q3565U1P	5"X 6" COVE BASE- SEE NATIONAL ACCOUNTS FOR INSIDE/OUTSIDE CORNER PRODUCT NUMBERS # 0T03Q3565U1P - COVE BASE # 0T03QCL3565U1P - LEFT CORNER # 0T03QCR3565U1P - RIGHT CORNER # 0T03QB3565U1P - INSIDER CORNER USE W/ GROUT G-02		
<u>WT-01 (C)</u>	PORCELAIN TILE	DAL TILE	DUNKIN COOL SWITCH TILE 12" x 24" (backline wall) # N812DD12241P2	COOL PALETTE - NSTALL PER PATTERN SHOWN IN DETAIL # 5/A9.0 BACKLINE WALL TIILE - 12X24 BACKLINE WALL TIILE - USE W/ GROUT G-03 ALUMINUM PROFILE: SCHLUTER, JOLLY, MBW MATTE WHITE HEIGHT 10 mm (3/8") A100MBW		
<u>WT-02</u>	PORCELAIN TILE	DAL TILE	MATTE CHALKBOARD 8X24 # 07808241P2	COOL AND WARM PALETTE - BRICK STYLE 6" X 24" SP. ORDER CUT TO SIZE (WT-2) - USE W/ GROUT G-04 ALUMINUM PROFILE: SCHLUTER, JOLLY, TSDA DARK ANTHRACITE HEIGHT 8 mm (5/16") A80TSDA		
<u>WT-03</u>	PORCELAIN TILE	DAL TILE	FIELD - 6"X18" (RESTROOMS) COLOR WHEEL LINEAR - MATTE ARCTIC WHITE # 07906181P2	COOL AND WARM PALETTE - RESTROOMS INSTALL IN A STACK BOND PATTERN 6"X18" - USE W/ GROUT G-5 ALUMINUM PROFILE: SCHLUTER, JOLLY, MBW MATTE WHITE HEIGHT 8 mm (5/16") A80MBW		
<u>WT-04 (C)</u>	PORCELAIN TILE	DAL TILE	DUNKIN BLOCK PARTY CARBON 6" X 6" - 2TILE ACCENT (RESTROOMS)	COOL PALETTE - INSTALL PER PATTERN SHOWN IN DETAIL # 3/A9.0 RESTROOM ACCENT 6" X 6" - USE W/ GROUT G-5 ALUMINUM PROFILE: SCHLUTER, JOLLY, TSSG STONE GREY 8 mm (5/16") A80TSSG		



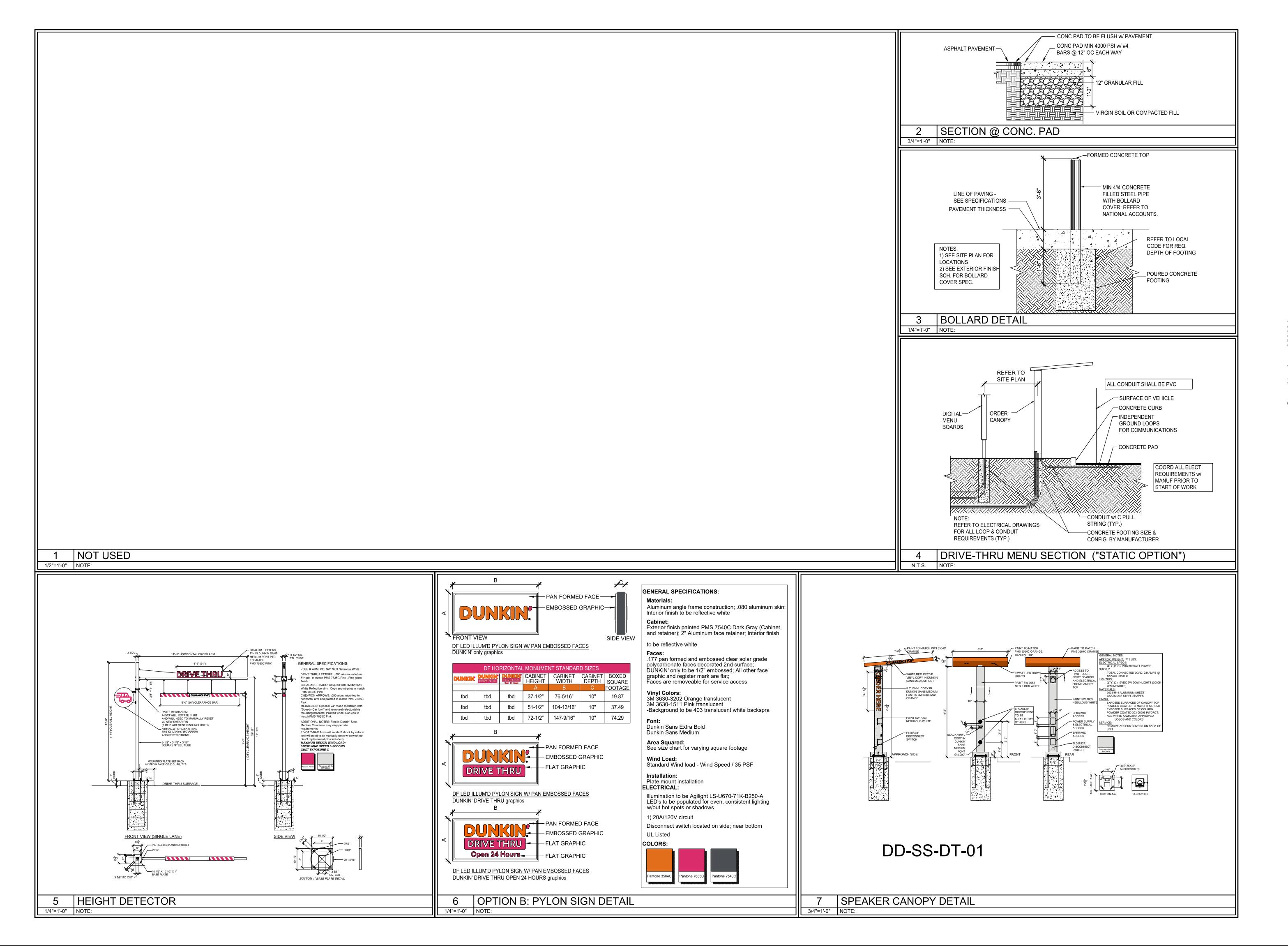






SITEWORK NOTES

- 1. The contractor is to endeavor to maintain the store open during normal hours in the following sequence.
- 1.1. Lobby/Restrooms Closed to the Public: Erect dust barriers to separate dust from the drive thru window and kitchen including a temporary door and protection of the HVAC duct intakes. See plan.
- 1.2. Entire store closed Sunday and Monday: Once the lobby is complete, remove barriers and compete the work in the drive thru area, hood shrouds and drive up menu boards. Then reopen entire store.
- 2. Owner is to furnish and install height detector, menu boards and speaker-post--general contractor is to furnish wiring and base support
- 3. General contractor is to reseal the pavement and restripe per site plan and pressure wash all concrete curbs walks
- 4. Refer to existing drawings but verify field conditions.
- 5. PRESSURE WASH AND PAINT DUMPSTER WALLS AND DOORS TO MATCH BUILDING

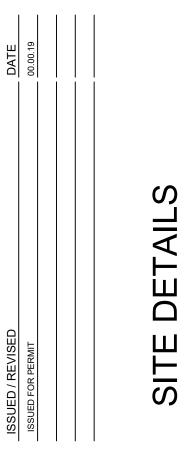


1138 BERWICK ROAD BIRMINGHAM, AL 35242 205.541.7898 john@johnvaciarchitect.com





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SP-1.1

2610 GROSS SF DUNKIN TYPE B (LESS THAN 49 PERSONS)

SHELL BUILDING IS UNDER 9,000SF ALLOWABLE NON-SPRINKLERED

TYPE VB CONSTRUCTION

2 ADA RESTROOMS REQUIRED PER IPC SECTION 403.2 IN DUNKIN' SPACE 1 WC PER 75 OCCUPANTS--1 LAV PER 40 OCCUPANTS--DRINKING WATER AVAILABLE

OCCUPANT LOAD (DOES NOT INCLUDE RESTROOMS AND COOLER):

BUSINESS: 2610 SF @ 150 SF/PERSON

= 18 PERSONS TOTAL = 18 PERSONS

TYPE C FINISHES REQUIRED

TWO EXITS REQUIRED FOR MORE THAN 49 OCCUPANTS--EXITS ARE SEPARATED BY MORE THAN HALF THE DIAGONAL DISTANCE

FIRE EXTINGUISHER REQUIRED

MINIMUM EXIT WIDTH @ .2/OCCUPANT: 4.0"

150' MAX EXIT ACCESS TRAVEL DISTANCE (69' ACTUAL)

BATHS AND LACE JUST DELAN

LIGHTING SCHEDULE

EXIT LIGHT WITH COMBO EMER LIGHTS

EMERGENCY BATT LIGHTS

EMERGENCY REMOTE LIGHTS

FIRE EXTINGUISHER

LONGEST EXIT DISTANCE SHOWN IS 65' (150' ALLOWED)

NO RATED WALLS OR PARTITIONS

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7/11/2024

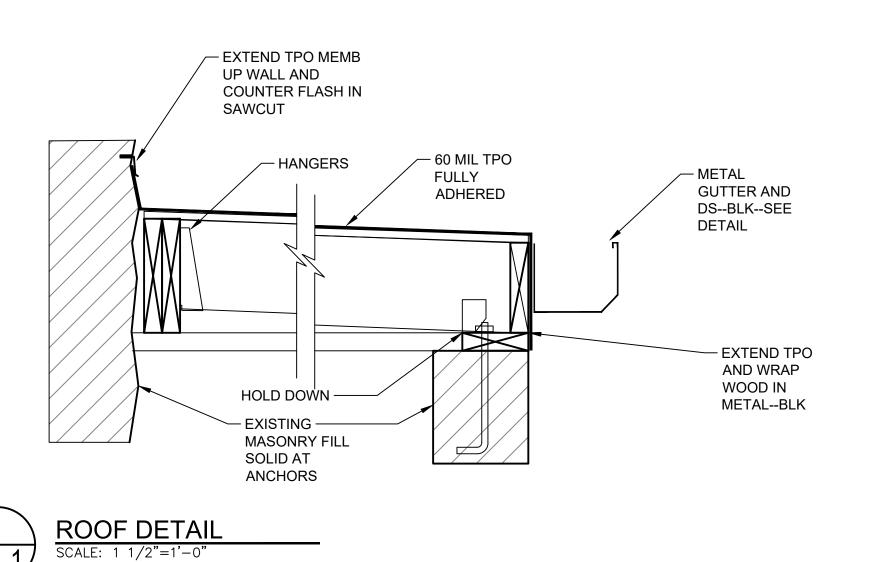
PEOP ARKANSE

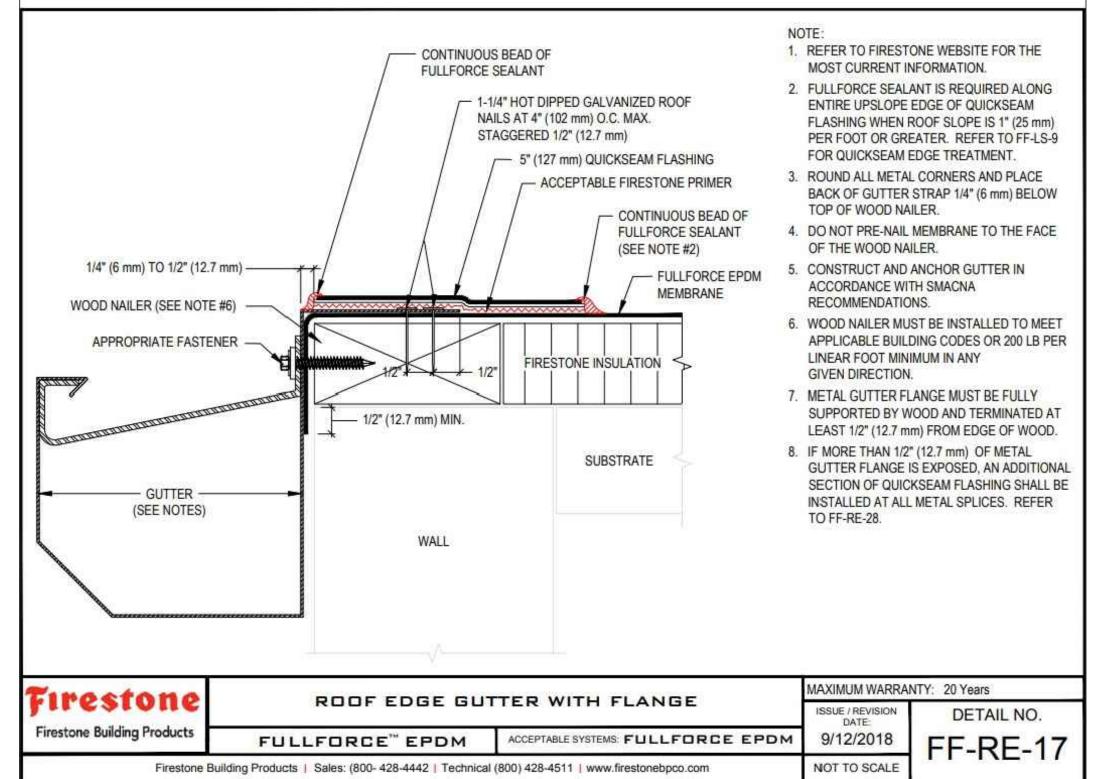
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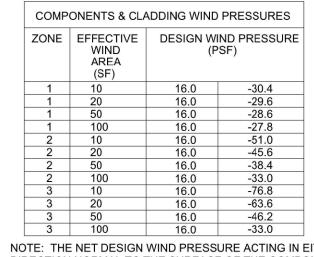
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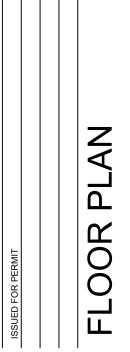
AWNINGS & CANOPIES INDICATED ON ARCHITECTURAL PLANS SHALL BE DESIGNED IN ACCORDANCE WITH IBC SECTIONS 1607 & 3105 AND FOR THE WIND PRESSURES SHOWN IN ADDITION TO DEAD & LIVE LOADS AND SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF VIRGINIA AND SUBMITTED FOR REVIEW.



NOTE: THE NET DESIGN WIND PRESSURE ACTING IN EITHER DIRECTION NORMAL TO THE SURFACE OF THE COMPONENTS AND CLADDING MATERIALS SHALL NOT BE LESS THAN 16 PSF.







GENERAL NOTES

TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS: PREP/ KITCHEN AND STORAGE AREAS:

0'-0" TO 3'-0" - 5/8" DUROCK CEMENT BOARD, 3'-0" AND ABOVE - 5/8" ORIENTED STRAND BOARD (OSB)

SERVICE AREA: 5/8" MIN. ORIENTED STRAND BOARD (OSB), 5/8" DUROCK CEMENT BOARD BEHIND PORCELAIN/ CERAMIC TILES. SALES AND SEATING AREAS:

5/8" GYPSUM BOARD, 5/8" DUROCK CEMENT BOARD BEHIND CERAMIC TILES, 5/8" ORIENTED STRAND BOARD @ DECORATIVE PLAM "WOOD" WALLS. RESTROOMS:

5/8" DUROCK CEMENT BOARD

- GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING AS REQUIRED THROUGHOUT: IN RESTROOMS FOR GRAB BARS, LAVATORIES, HAND DRIERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES UNLESS OTHERWISE NOTED; IN SERVICE AREA FOR: VDU, WALL SHELVES, ETC.

DIMENSIONS SHOWN ARE TO THE FACE OF FINISH. REFER TO EQUIPMENT "K" SHEETS FOR INFORMATION REGARDING THE EQUIPMENT AND EQUIPMENT LAYOUT.

4. SEE SHEET A-10.0 FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.

ARRANGE FOR FIRE EXTINGUISHERS, TYPE ABC, WALL HUNG, TOP @ 5'-0" A.F.F. (BY G.C.). - NUMBER AND LOCATION AS DETERMINED BY LOCAL CODE

KEYED PLAN NOTES

CASEWORK--EXISTING AND NEW FURNISHED BY FRANCHISEE AND INSTALLED BY GC.

2 EXISTING SLIDING DRIVE—THRU WINDOW

3 REMOVE EXISTING WALLS AND PATCH

EXISTING RACK WASH

EXISTING HAND DRYER SEE E3.0 FOR POS REQUIREMENTS

6 EXISTING TANKLESS HOT WATER HEATER

7 EXISTING WALK IN COOLER

8 EXISTING 3 COMPARTMENT SINK

EXISTING OUTDOOR STORAGE TO BE CONVERTED TO INDOOR STORAGE SHED-PRESSURE WASH AND PREP CONCRETE FOLLOR AND PAINT WITH MEDIUM GREY EPOXY FLOOR PAINT AND EXTEND UP WALL ONE COURSE OF BLOCK. PAINT EXTERIOR SAME AS EXTERIOR

10 EXISTING ELECTRICAL PANELS

11 REMOVE EXISTING HANDSINK

12 GC TO REMOVE AND PATCH EXISTING AWNINGS AND LIGHTS

13 REPLACE CEILING AND LIGHTS IN KITCHEN AREA-PROTECT AND CLEAN

14 REMOVE REPLACE EXISTING CASEWORK AND TABLES

15 CONCRETE FLOOR IS TO BE PREPPED FOR NEW TILE

15 REMOVE DOOR HANDLE HARDWARE FROM DOOR AND COVER-CYLINDER LOCK IS TO REMAIN

SCOPE OF WORK

INTERIOR REMODEL OF EXISTING SEATING, SALES, SERVICE AND RESTROOMS NEW ARRANGEMENT OF EQUIPMENT INCLUDING SOME NEW EQUIPMENT

RECONNECTING OF EQUIPMENT AND DATA

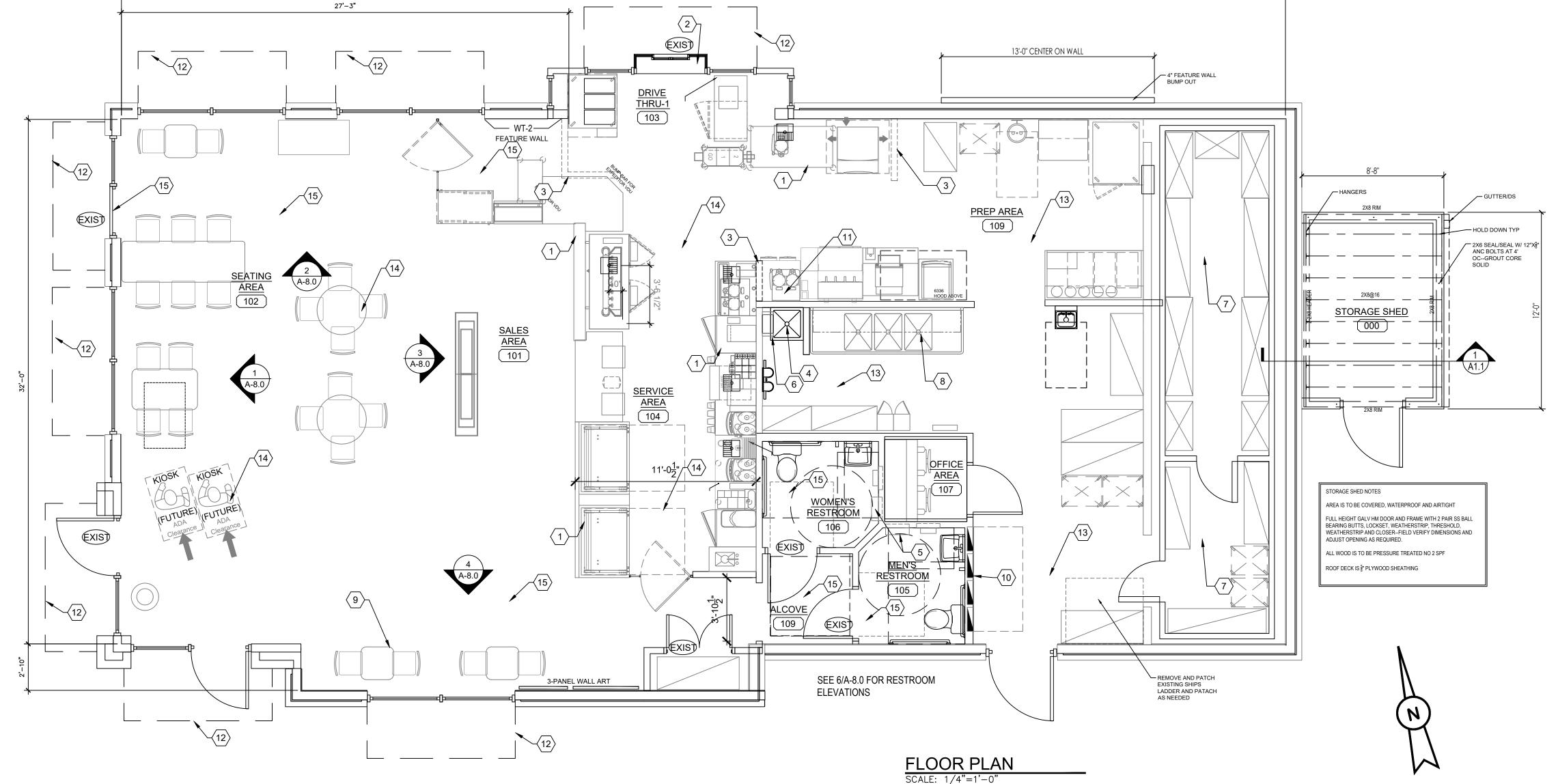
EXTERIOR REMOLDING OF BRANDING AND "LOOK"

NEW ROOF AND DOOR AT REAR ENCLOSURE

REVISE AND REFINISH CEILING REGISTERS EXTERIOR SIGNAGE AND MENU BOARDS BY OWNER

NEW TILE IN FRONT OF HOUSE

RESTROOMS ARE REFINISHED 10. CHECK AND ADJUST EXISTING DOORS--REPAINT RESTROOM DOORS



71'-0"

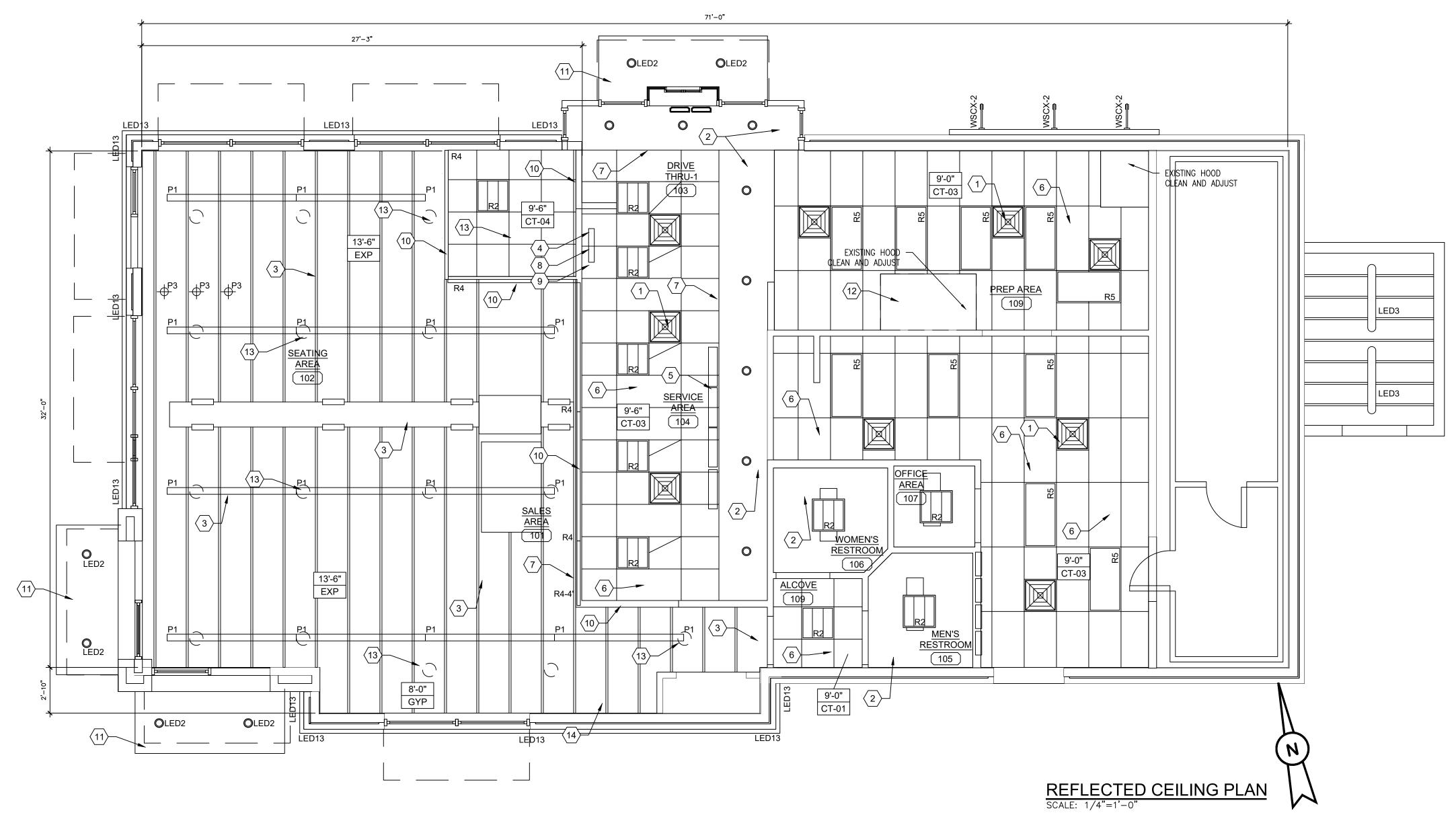
REQUIRED BY CODE.

- 1 HE WALK-IN BOX).

 2. REFER TO MASTER FINISH SCHEDULE FOR CEILING FINISHES.

 3. OPEN CEILING IN SALES & SEATING AREA TO BE ALTERNATIVE
- 4. ALL DEVICES (DIFFUSERS, RETURNS, SMOKE DETECTORS, ETC.)
 TO MATCH CEILING. WHEN OPEN CEILING IS USED ALL PIPES AND
 DUCTS AND ALL OTHER ITEMS THAT ARE ON CEILING TO BE
 PAINTED TO MATCH CEILING.
- 5. LAYOUT NOTES:

 A. PROVIDE EMERGENCY LIGHTS & SMOKE DETECTORS AS REQUIRED BY LOCAL GOVERNING CODE.
- B. ADD THE RH REMOTE WEATHER PROOF EMERGENCY HEAD (PRODUCT #Z1PB) TO THE EXTERIOR EGRESS DOORS AS
- 7. MUSIC SYSTEM NOTES: THE MUSIC SYSTEM IS A REQUIREMENT OF THE BRAND. ARCHITECTS TO FOLLOW ALL GUIDELINES LISTED BELOW.
- A. MUSIC SYSTEM IS REQUIRED IN ALL NEW AND REMODEL STORES. ALL CEILING SPEAKERS TO BE FLUSH MOUNTED @ GYP. BOARD CLG. & ACT CLG. SPEAKERS @ OPEN CEILING TO BE MOUNTED ON LOWER CORD OF ROOF TRUSSES.ALL INTERIOR SPEAKERS TO MATCH SURFACE IT IS MOUNTED ON. ALL EXTERIOR SPEAKERS TO BE BLACK, WITH EXTERIOR GRADE CONSTRUCTION.
- B. ONE SPEAKER IN EACH RESTROOM- FLUSH MOUNT.
- C. A MINIMUM OF TWO SPEAKERS IN THE SEATING AREA NO SPEAKERS IN THE SERVICE AREA.
- D. A MINIMUM OF TWO SPEAKERS AT EXTERIOR SEATING AREAS WHERE APPLICABLE.
- E. SPEAKER AT EXTERIOR OF BUILDING ADJACENT TO ENTRY.
- F. PROVIDE AND INSTALL SEPARATE VOLUME CONTROLS FOR EACH AREA (RESTROOMS, SEATING AREA, EXTERIOR)
- G. HARDWARE TO BE INSTALLED IN THE OFFICE. FIELD VERIFY AND COORDINATE WITH FRANCHISE FOR THE EXACT LOCATION OF THE UNIT AND VOLUME CONTROLS.

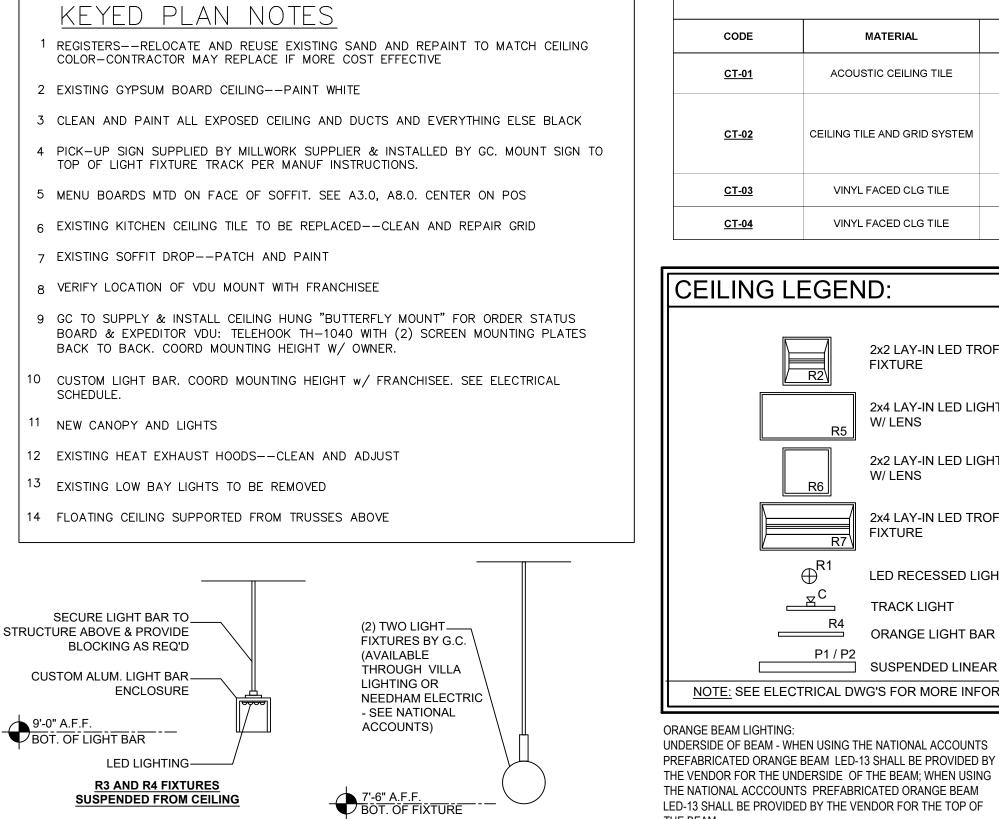


CODE	DESCRIPTION	MANUFACTURER	PRODUCT
A	WALL-WASH FIXTURE- TO BE USED AT ARTWORK AND LROD SIGN	CONTECH	RL20SA3-35K-12-D/ CTR2002CLR-P
B	PROVIDED BY WALK-IN BOX MANUF.	VARIES	VARIES
С	TRACK LIGHT & HEAD- USED @ WALL W/ ART WORK AND WHERE CEILING IS OPEN	JUNO	R600L-35K-BL
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT (WHITE)	EXITRONIX	EBU-W-LED-51-52
EBU-B	ULTRA COMPACT LED EMERGENCY UNIT- USED ON WT-02 WALL ONLY (BLACK)	EXITRONIX	EBU-BL-LED-51-52
EMR	EXTERIOR COMBO LED REMOTE EXIST LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (GRAY)	EXITRONIX	MLED-2-G-WP
EWS-1	WALL PACK (GRAY) EXTERIOR- USED ON DARK WALL FINSIH	WAC	WP-LED227-30-AGH
EWS-2	WALL PACK (WHITE) EXTERIOR- USED ON LIGHT WALL FINISH	WAC	WP-LED227-30-AWT
G	WALL PACK - ABOVE SERVICE DOOR	COOPER	XTOR3A
EX1	COMBO LED EXIT SIGN W/ LIGHT HEADS (WHITE)	EXITRONIX	VLED-U-WH-EL90
BL	BATHROOM SCONCE	LUMENCIA	LLW260D3K-SN
LED 2	EXTERIOR RECESSED LIGHT FIXTURE- USED UNDER ORANGE BEAM/ CANOPY	LUMARK	XTOR2B-W
LED 11	NOT USED		
LED 12	EXTERIOR LIGHT FIXTURE- USED ON TOP OF CHARCOAL TRIM AND FIELD FRAMED ORANGE BEAM	SOLID STATE LUMINARIES SOLUTIONS OF LIGHTING	LSSL-LSSL-5165-400 LUMENS
LED 13	EXTERIOR LIGHT FIXTURE- USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB OPTION		TO BE PROVIDED BY PREFAB ORANGE BEAM VENDOR
LED 14	EXTERIOR LIGHT FIXTURE - ACCENT LIGHT USED ON TOP OF CHARCOAL TRIM AT BASE OF MONOLITH ONLY	LED POWER	HB308-48"-41K-15D-AC
oc	WALL MOUNTED OCCUPANCY SENSOR	WATTSTOPPER	WS-250-W
P1	8' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-96L-S62W6200L-DMV-35K-BK
P2	4' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-48L-S62W3100L-DMV-35K-BK
P3	PENDANT CHANDELIER- USED ABOVE COMMUNITY TABLE	TECH LIGHTING	700TD-ALVPMC-OS-LED930
PKL3	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAIL PRV-A40-UNV-T3-SA-
PKL4	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARK PRV-PREVAIL PRV-A40-UNV-T4-SA-
R1	RECESSED LED LIGHT FIXTURE	CREE	RC6/CR6T-1600L-35K
R2	2X2 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE	CREE	CR22-32L-35K-S-HD
R3	4" LED ADJ DOWNLIGHT, 400K, 200 LUMEN	NORA	NCH-436-L20-40-D-SF
R4	LED LINEAR LIGHT BAR- USED ABOVE FRONT LINE [NOTE: AVAILABLE IN INCREMENTS OF 1FT WITH A 1FTx1FT CORNER PIECE]	PINNACLE ARCHITECTURAL LIGHTING	EX3D-A-N-835VHO-8-S/AC120ST
R5	2X4 LAY-IN LED LIGHT FIXTURE, USED IN BACK OF HOUSE	LSI	SFP24-LED-50-UE-DIM-35-U
R6	2X2 LAY-IN LED LIGHT FIXTURE, USED OVER SERVICE AREA - REMODELS ONLY	LSI	SFP22-LED-UE-30-DIM-35-U
R7	2X4 LAY-IN TROFFER LED LIGHT FIXTURE, USED IN FRONT OF HOUSE - REMODELS ONLY	CREE	CR24-40L-35K-S-HD
WSCX-2	EXTERIOR SIGN LIGHT FIXTURE - USED AT ACCENT PANELS	HI-LITE MFG INC.	H-HDMR16/18-1-119/ MR16AD1C293010T-10-S1
	LIGHTING SCHE	DUI F NOTES	

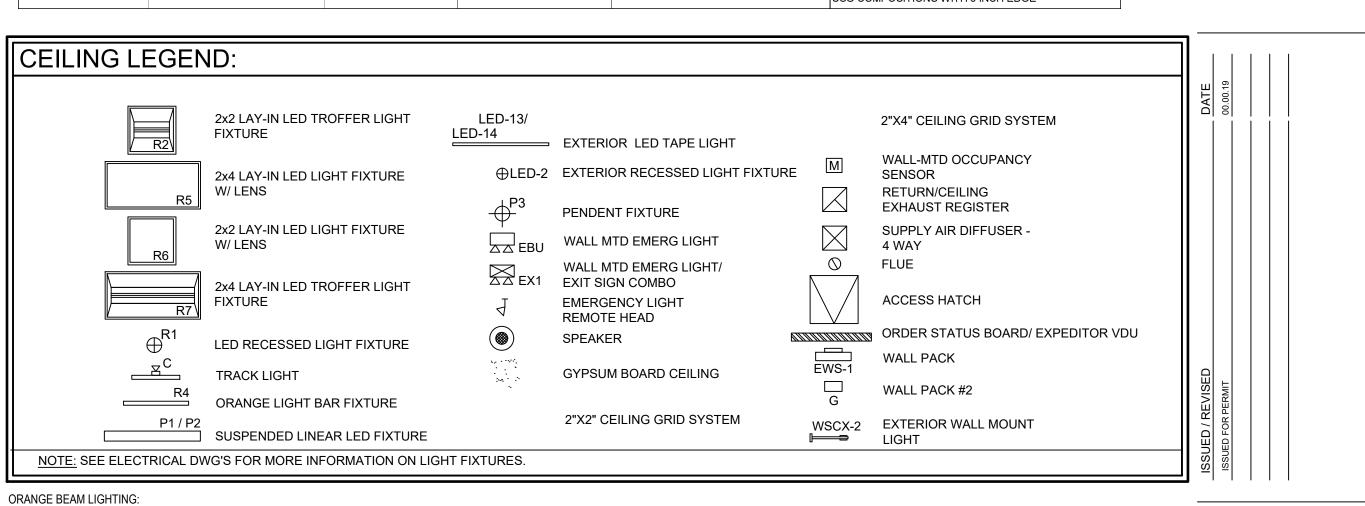
3. PROVIDE HOLD-DOWN CLIPS FOR EACH CORNER OF FLUORESCENT GRID TROFFERS.

4. COORDINATE AND VERIFY ALL FIXTURE INFORMATION, TYPES AND FINAL LOCATIONS WITH THE REFLECTED CEILING PLAN.

5. LAMPS SHALL BE AS MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL.



			CEILING FINIS	6H	
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
<u>CT-01</u>	ACOUSTIC CEILING TILE	ARMSTRONG	WHITE FACTORY FINISH #1732 WH (2' X 2')	WHITE, FINE FISSURED TILE WITH WHITE GRID [ARMSTRONG/#7300 WH/ SIZE: 5/16"]	PLEASE CONTACT ARMSTRONG @ 1-800-442-4212.
<u>CT-02</u>	CEILING TILE AND GRID SYSTEM	ARMSTRONG	BLACK FACTORY FINISH 1728 BL (2' X 2')	BLACK, FINE FISSURED-TILE AND BLACK GRID NOTE: STANDARD CLG. TILE IN PUBLIC AREAS (SALES & SEATING AREA)- FOR NEW & REMODEL LOCATIONS	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING.
<u>CT-03</u>	VINYL FACED CLG TILE	ARMSTRONG	#870 (2' X 4') / #868 (2' X2')	WHITE TILE AND GRID	
CT-04	VINYL FACED CLG TILE	/USG	#870 (2' X 4') / #868 (2' X2')	WHITE TILE AND GRID	USG COMPOSITIONS WITH 6 INCH EDGE



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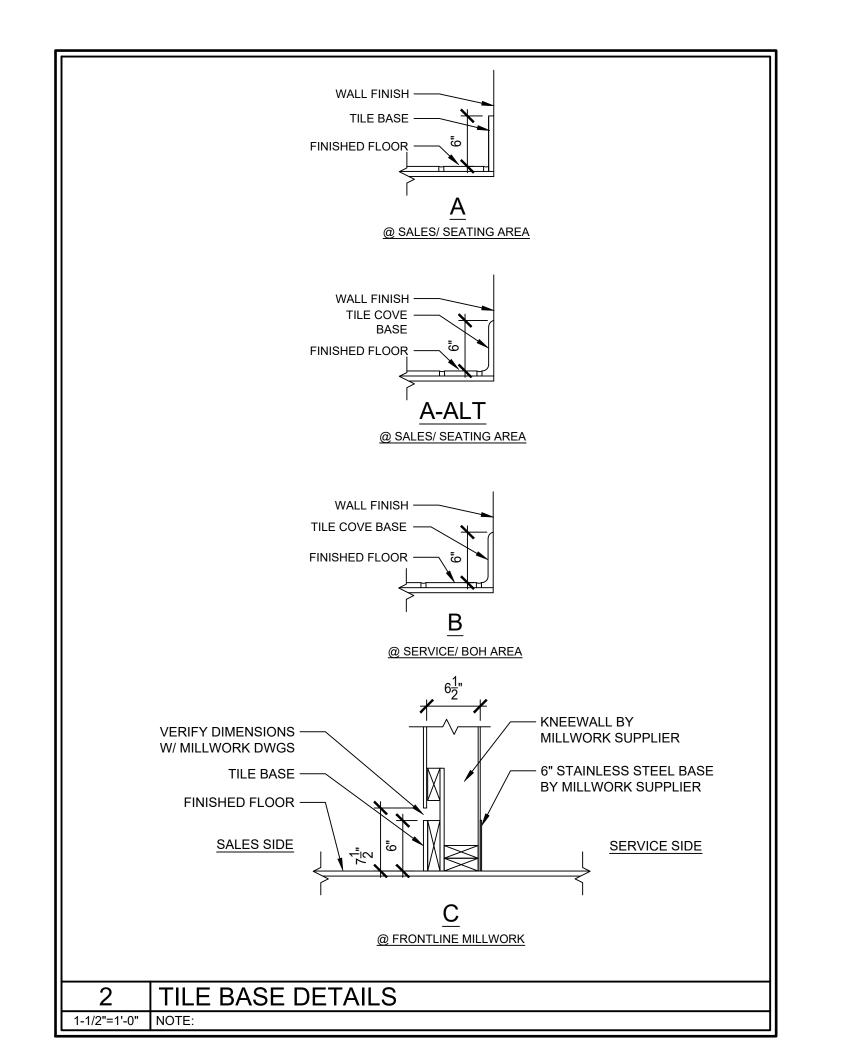
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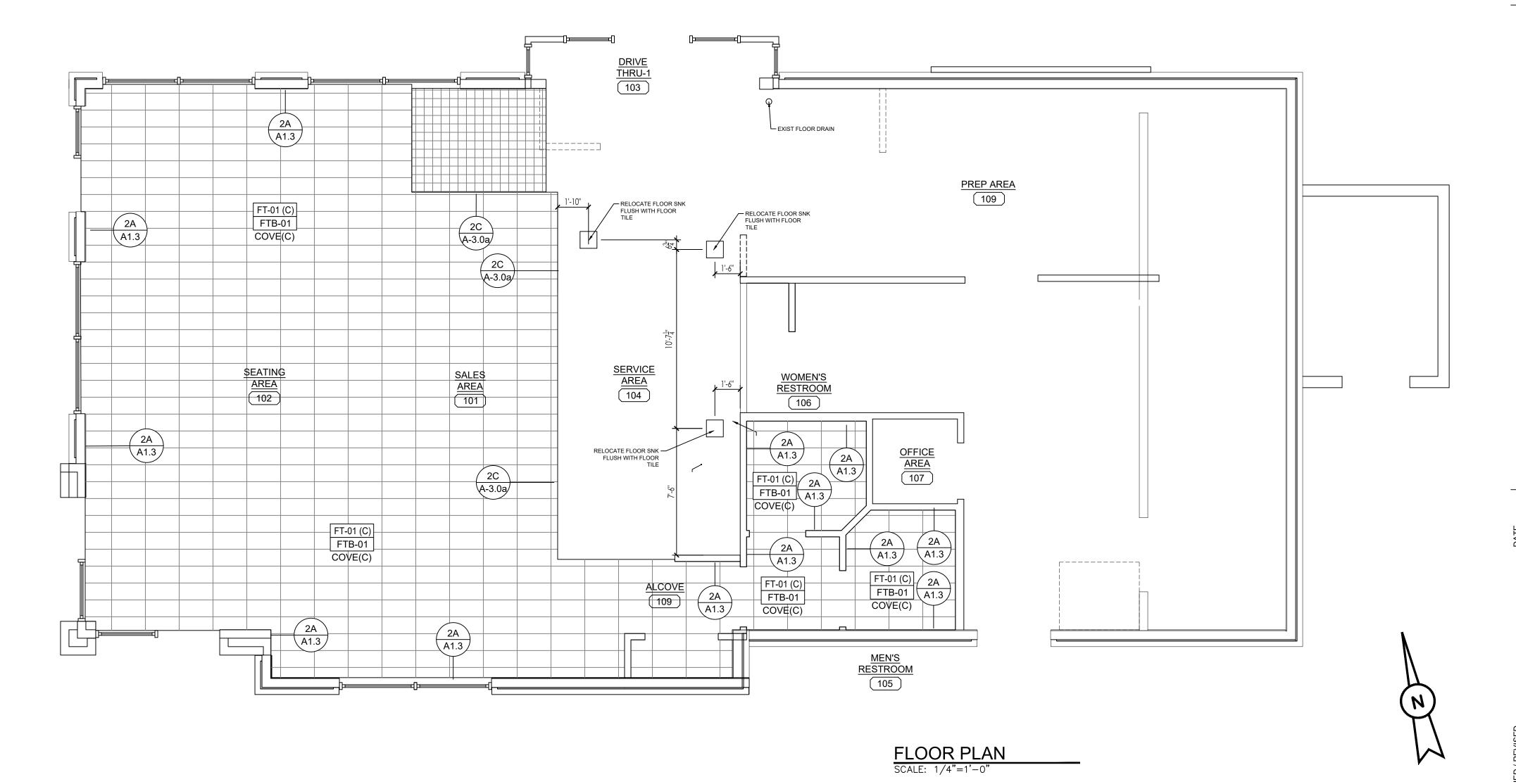
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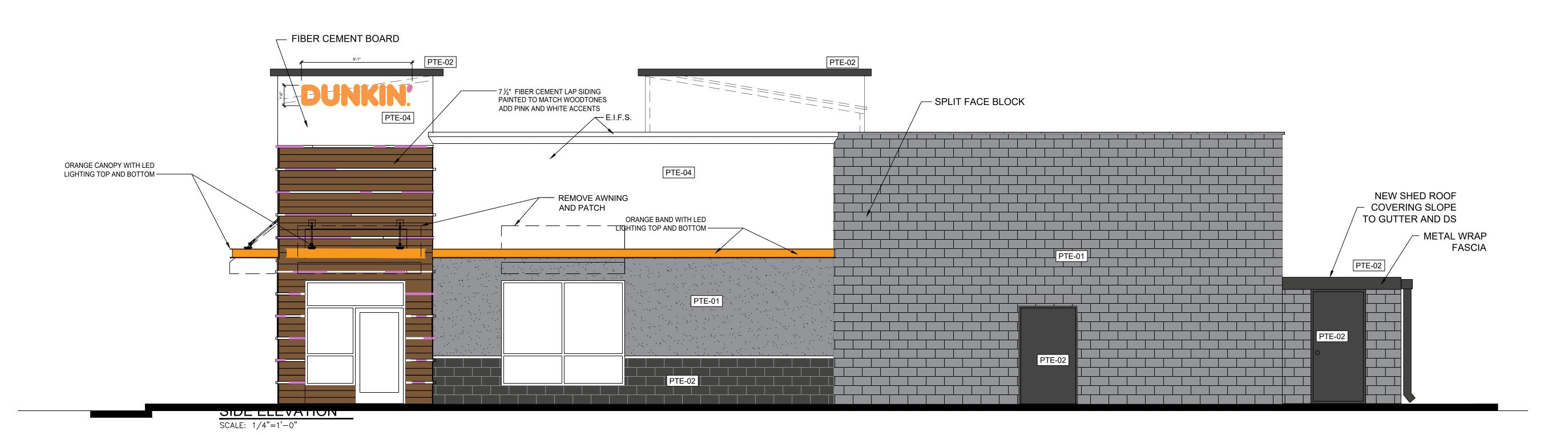
7/1/2024

REFLECTED CEILING PLAN

FLOOR FINISHES PLAN

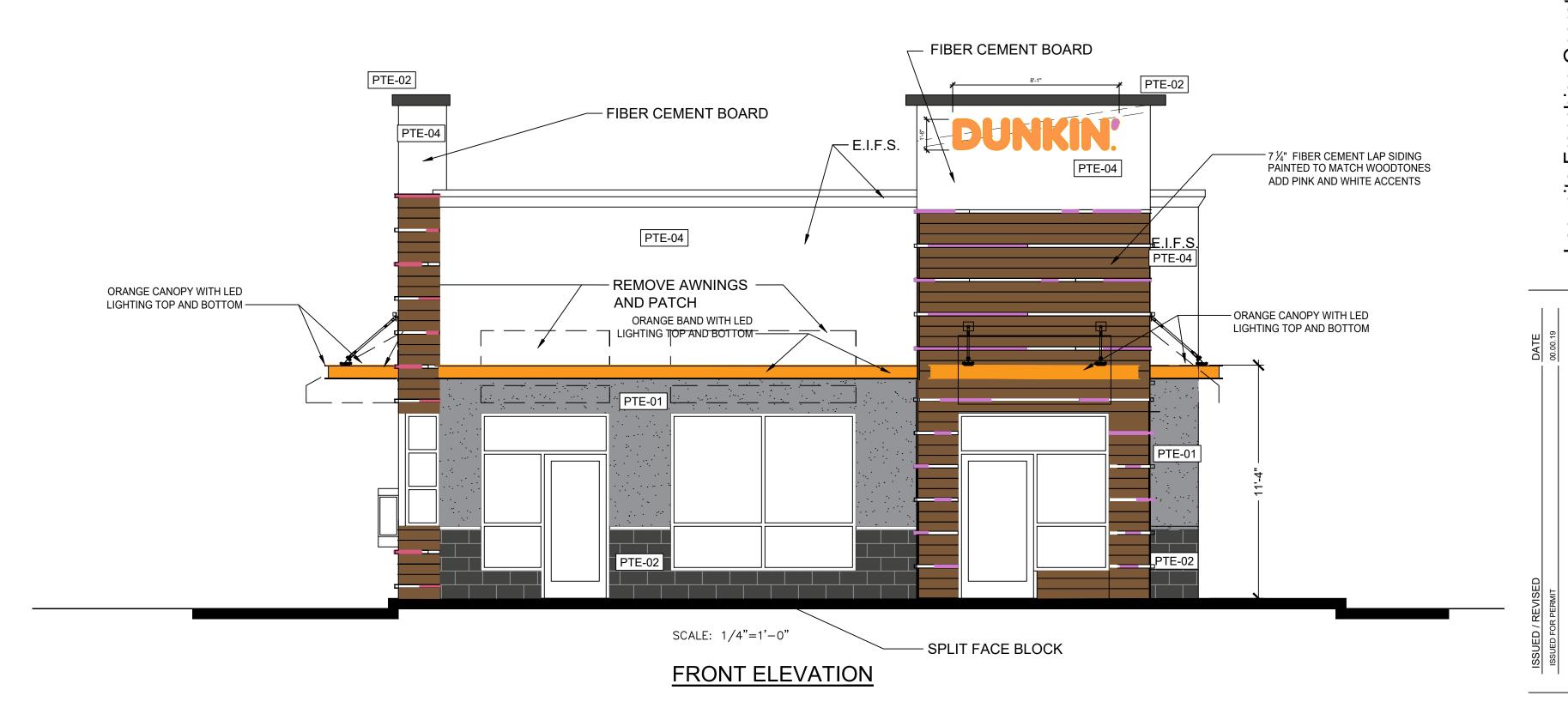






MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS
PTE-01 PAINT	SHERWIN WILLIAMS	GRAY FINISH	SW 7019 "GAUNTLET GRAY"
PTE-02 PAINT	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"
PTE-04 PAINT	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"
PTE-05 PAINT	SHERWIN WILLIAMS	MID-TONE FINISH	SW 7066 "GRAY MATTERS"
PTE-12 PAINT		DD PINK	COLOR MATCH PMS 219 C MAP ULTRA LOW V.O.C.
PTE-13 PAINT		DD ORANGE	COLOR MATCH PMS 165C MAP ULTRA LOW V.O.C.

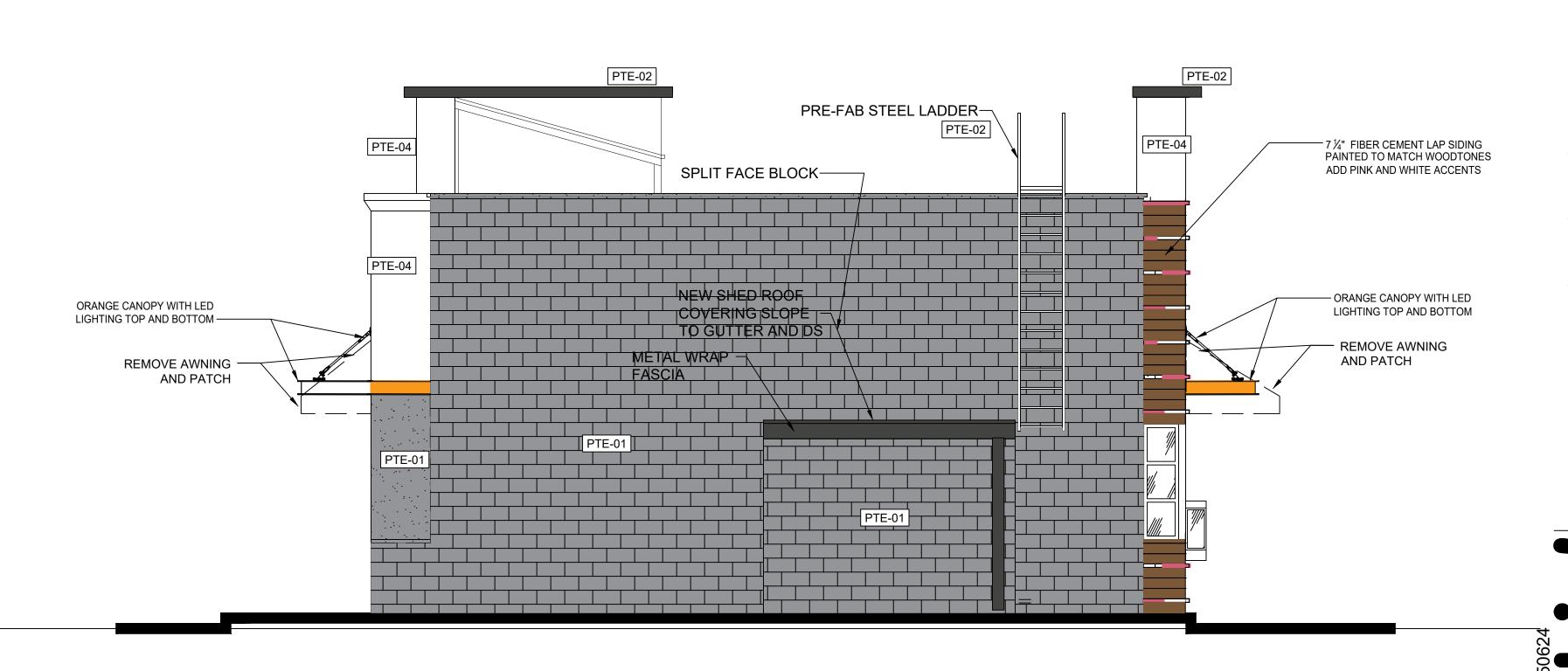
EXTERIOR FIBER-CEMENT EXTERIOR SIDINGAND PANELS					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
<u>PS-03</u>	FIBER CEMENT SIDING	WOODTONE	WOOD FINISH RUSTIC SERIES WOODTONE	COLOR:"HONEY GLAZE" WOOD PATTERN SURFACE: WOOD PATTERN PLANK DIMENSION: 8 1/4" X 12' X 5/16" THK WITH 6" SIDDING EXPOSURE NOTE: NAILS TO MATCH WOOD FINISH	FOR WOODTONE PRODUCTS: LAURENCE TAYLOR, WOODTONE SALES REPRESENTATIVE PHONE: (604) 792-3680 CELL: (604) 798-2664 LAURENCET@WOODTONE.COM TIM FOLSTER WOODTONE MANAGER, STRATEGIC ACCOUNTS PHONE: (604) 792-3680 CELL: (604) 845-9663 TIMF@WOODTONE.COM

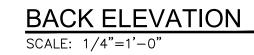


















LIONS

JOHN S. VACI License Number 8725

5/1/2024

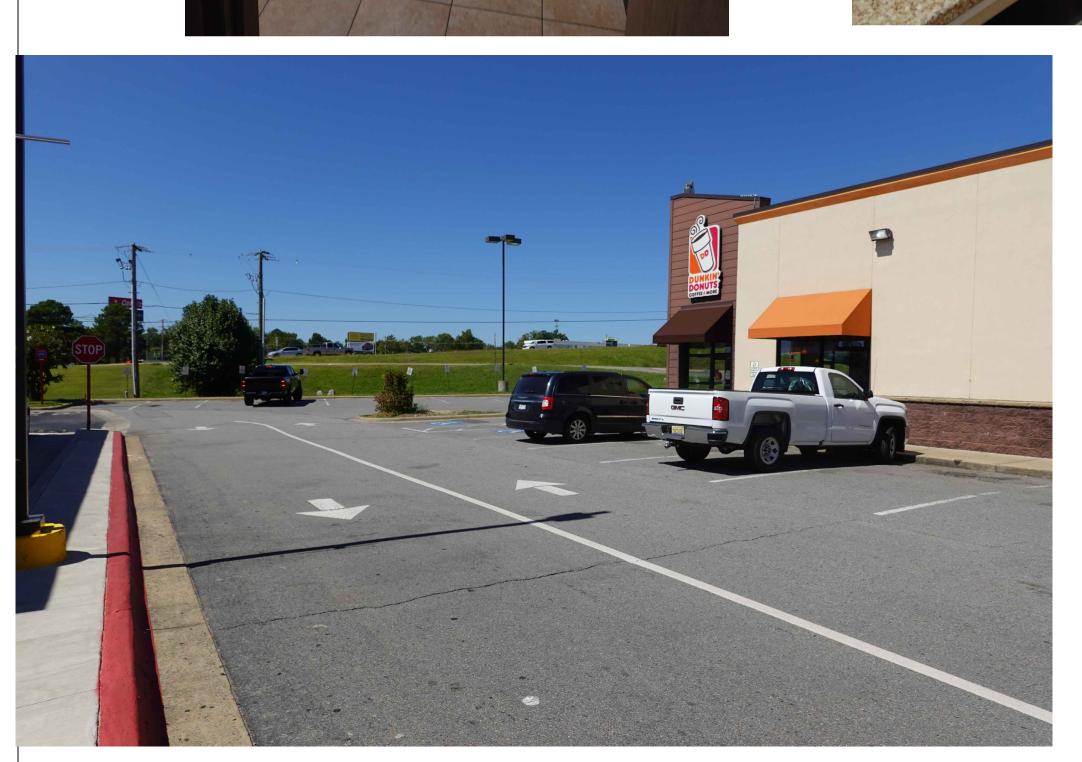




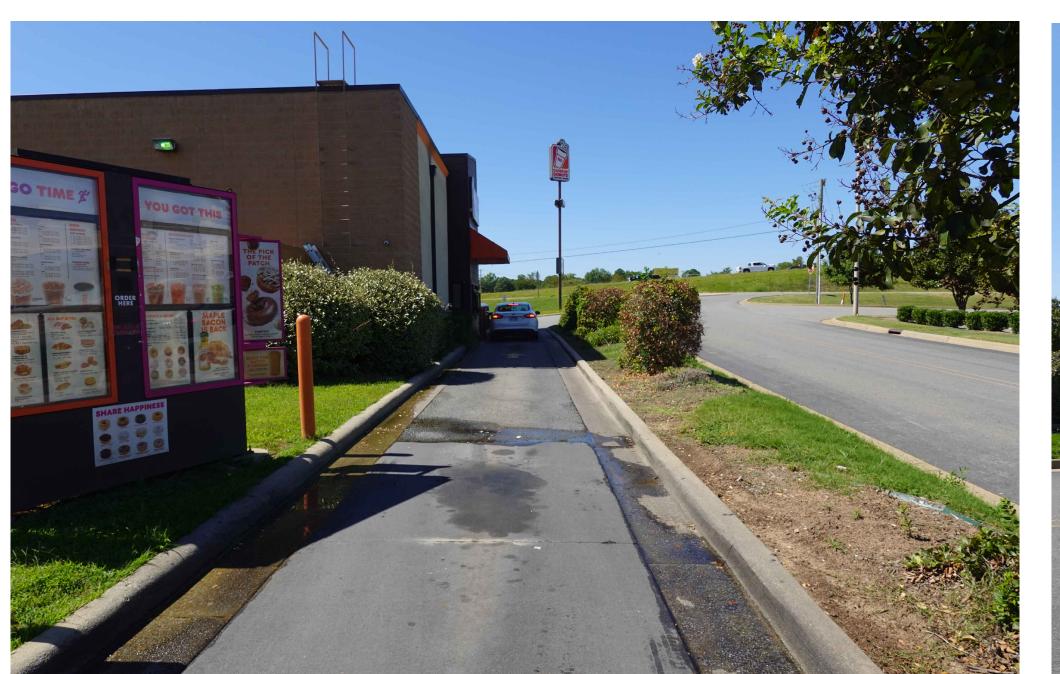




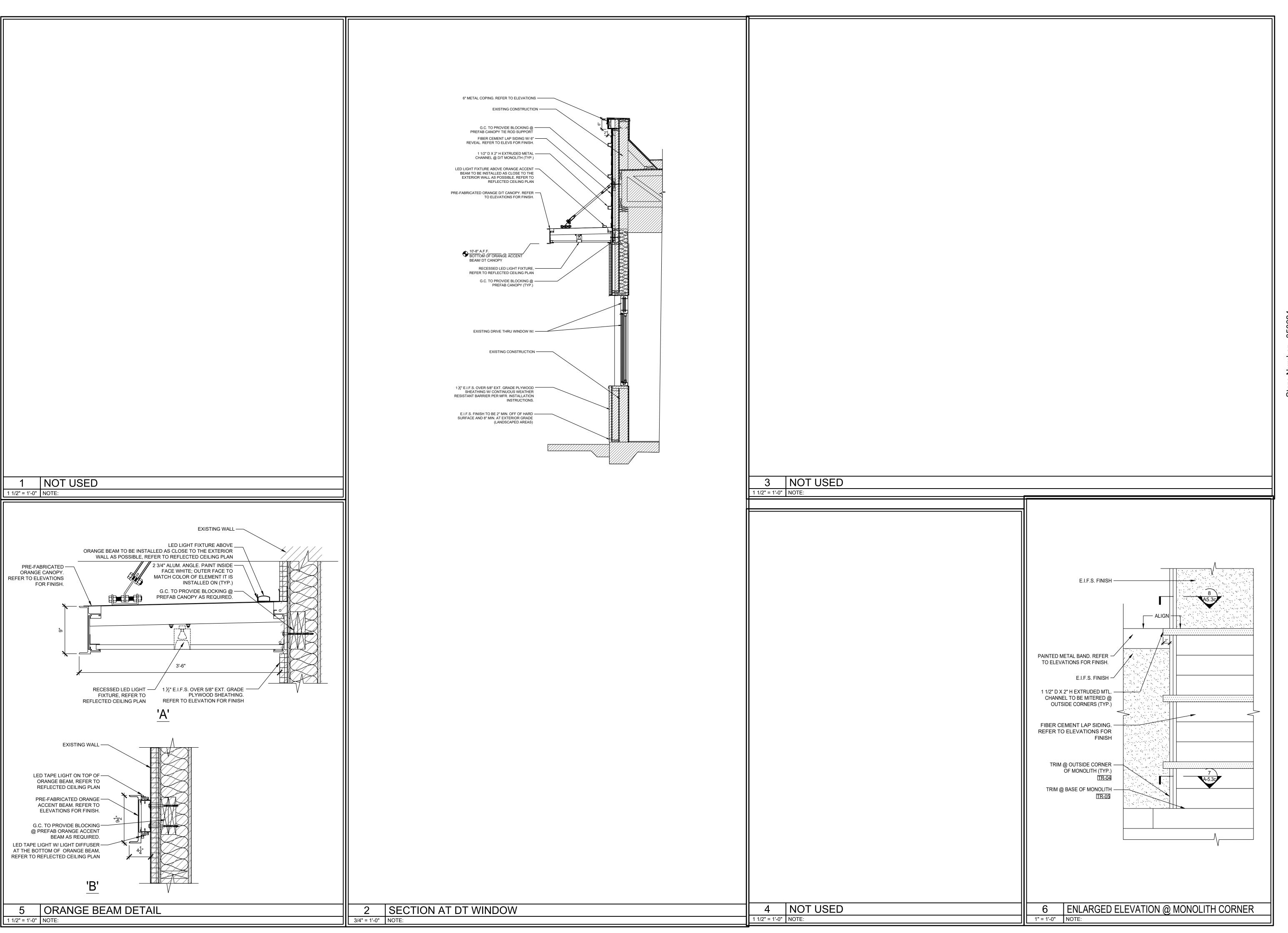










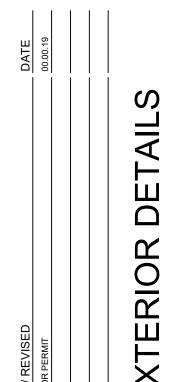


JOHN S VACI, Archite 1138 BERWICK ROAD BIRMINGHAM, AL 35242 205.541.7898 john@johnvaciarchitect.com





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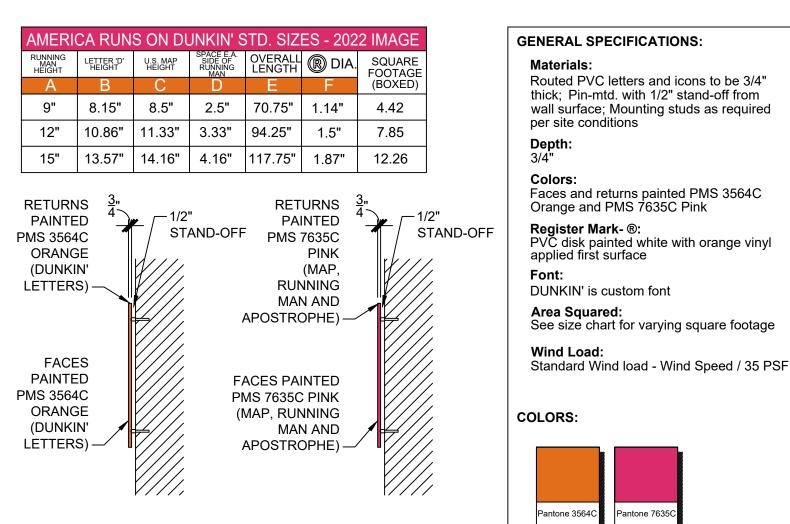


A-5.3



VINYL FIRST SURFACE

AROD NON-ILLUM'D PVC TAGLINE, PIN MTD.



SIDE VIEW

1/2" = 1'-0" NOTE:

FEATURE WALL SIGN 1/2" = 1'-0" NOTE:

— PAN FORMED — -EMBOSSED -**GRAPHIC**

Materials:

Aluminum angle frame construction; .080 uminum skin; Interior finish to be reflective white

Exterior finish painted PMS 7540C Dark Gray (Cabinet and retainer); 2" Aluminum face retainer; Interior finish to be reflective white

.177 pan formed and embossed clear solar grade polycarbonate faces decorated 2nd surface; DUNKIN' only to be 1/2" embossed; All other face graphic and register mark are flat;

-Background to be 403 translucent white backspray

Faces are removeable for service access

Area Squared:See size chart for varying square footage

Wind Load: Standard Wind load - Wind Speed / 35 PSF

Illumination to be Agilight LS-U670-71K-B250-A LED's to be populated for even, consistent lighting

Disconnect switch located on side; near bottom

Vinyl Colors: 3M 3630-3202 Orange translucent 3M 3630-1511 Pink translucent

Font: Dunkin Sans Extra Bold Dunkin Sans Medium

Installation:
Plate mount installation

1) 20A/120V circuit

w/out hot spots or shadows

DF HORIZONTAL MONUMENT STANDARD SIZES

tbd | 37-1/2" | 76-5/16" | 10" | 19.87 tbd | 51-1/2" |104-13/16" | 10" | 37.49

tbd | tbd | 72-1/2" | 147-9/16" | 10" | 74.29

ELECTRICAL:

UL Listed

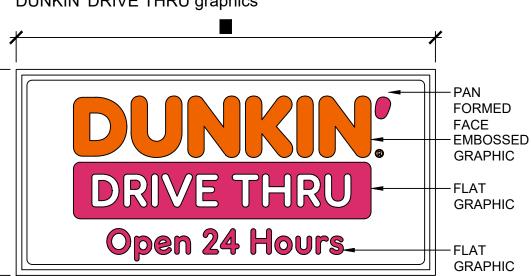
COLORS:

FRONT VIEW SIDE VIEW DF LED ILLUM'D PYLON SIGN W/ PAN EMBOSSED FACES DUNKIN' only graphics

FORMED FACE -EMBOSSED GRAPHIC DRIVE THRU GRAPHIC

SIDE VIEW

DF LED ILLUM'D PYLON SIGN W/ PAN EMBOSSED FACES DUNKIN' DRIVE THRU graphics



DF LED ILLUM'D PYLON SIGN W/ PAN EMBOSSED FACES DUNKIN' DRIVE THRU OPEN 24 HOURS graphics

HIGHWAY SIGNS

GENERAL SPECIFICATIONS:

Materials: .050 x 3" D aluminum returns; .063 aluminum backs; Mounting hardware as determined by site conditions; Weep holes as required

Returns: 3" D painted PMS 7540C Dark Gray

Letter Interiors: Painted reflective white

Apostrophe stands on its own

Trimcap: 1" #313 Bronze

Faces: 3/16" #2447 white acrylic faces w/ 1st surface decoration: DUNKIN to be PMS 3564C, 3M 3630-3202 (Orange) Apostrophe to be PMS 7635C, 3M 3630-1511 (Pink)

Register Mark- ®: .063 aluminum disk painted white w/ orange vinyl applied

Font: Font is DUNKIN' SANS Level 5 Area Squared:

See size chart for varying square footage Wind Load: Standard Wind load - Wind Speed / 35 PSF

ELECTRICAL:

Illumination to be Agilight LS-U650-71K-B200-A or equivalent LED's to be populated for even and consistent lighting without hot spots or shadows

1) 20A/120V circuit Remote power supply **UL Listed**

REMOTE LED POWER SUPPLY .063 ALUMINUM BACKS -WHITE LED ILLUMINATION AS REQUIRED -MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS -

ILLUMINATION TO BE WHITE LED'S

30" H " DUNKIN' " PRIMARY BLDG. SIGN

24" H " DUNKIN' " PRIMARY BLDG. SIGN

18" H " DUNKIN' " PRIMARY BLDG. SIGN

DUNKIN' LED ILLUM'D CHANNEL LETTERS

DUNKIN' CHANNEL LETTER STANDARD SIZES

ELECTRICAL

18" | 96.89" | (1) 20 AMP/120 VOLT CIRCUIT | 12.11 | 6.85

129.27" (1) 20 AMP/120 VOLT CIRCUIT 21.54 12.20

161.58" (1) 20 AMP/120 VOLT CIRCUIT 33.66 19.06

24"

3" D RETURNS PAINTED

PMS 7540C DARK GRAY -

1" TRIMCAP #313 BRONZE -

#2447 WHITE ACRYLIC FACE

W/ 3M 3630-3202 (ORANGE)

WEEP HOLES AS REQUIRE

ORANGE DUNKIN' LETTERS SECTION VIEW

MAGENTA APOSTROPHE SECTION VIEW

AS REQUIRED —

3" D RETURNS PAINTED

PMS 7540C DARK GRAY -

1" TRIMCAP #313 BRONZE -

W/ 3M 3630-1511 (PINK) -

.063 ALUMINUM BACKS -

WHITE LED ILLUMINATION

MOUNTING HARDWARE

WEEP HOLES AS REQUIRED

AS DETERMINED BY

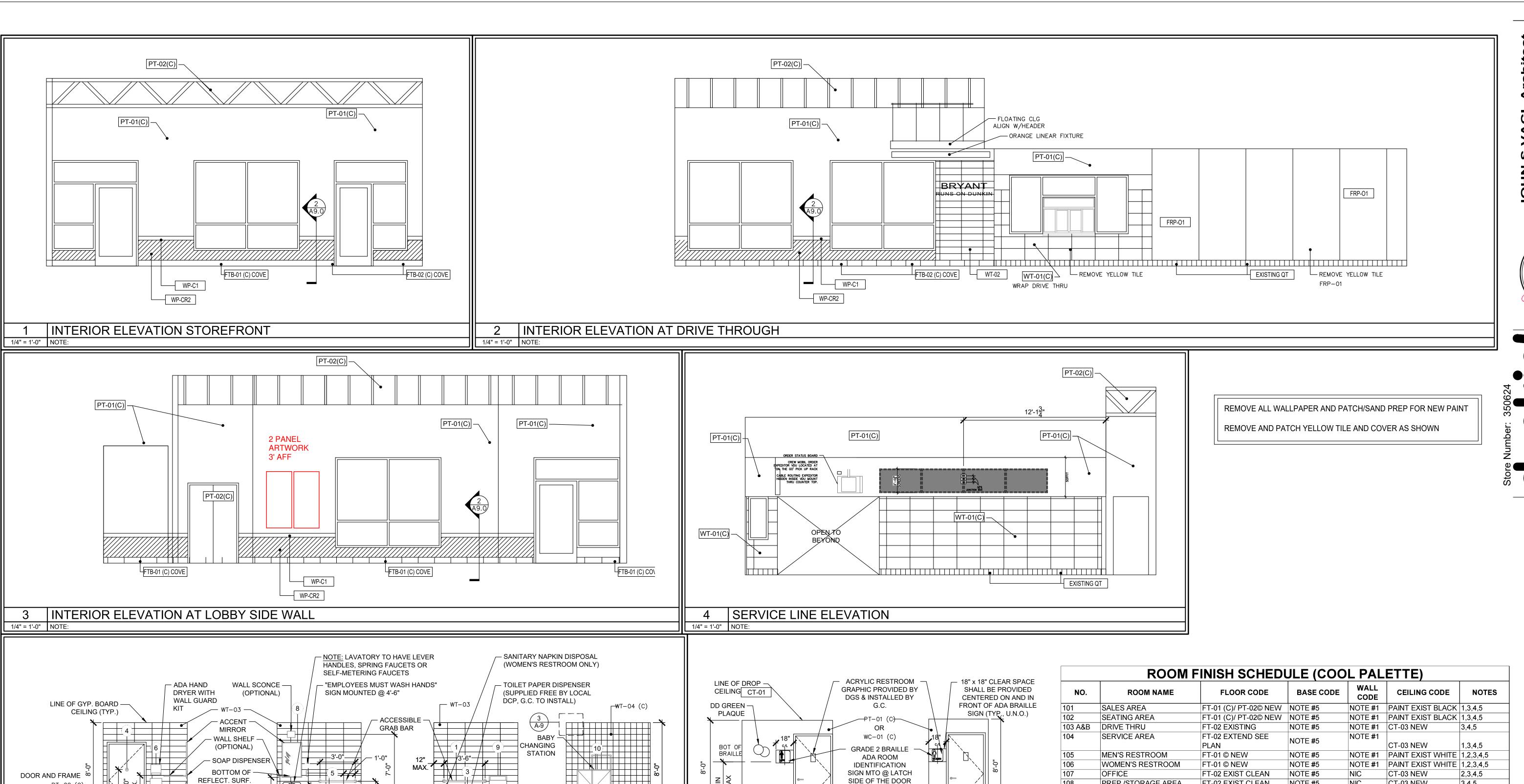
SITE CONDITIONS -

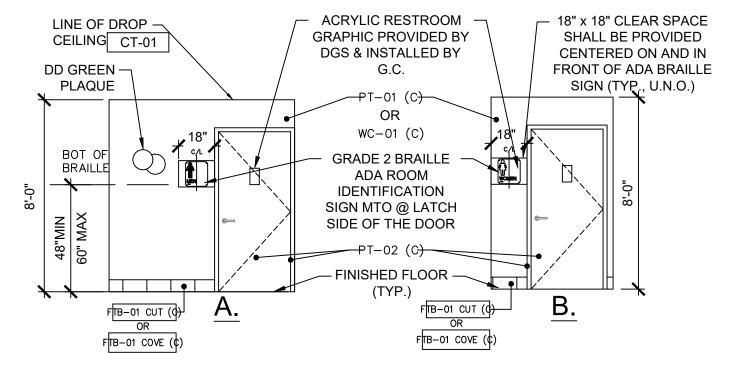
#2447 WHITE ACRYLIC FACE

REMOTE LED POWER SUPPLY -

1/2" = 1'-0" NOTE:

BUILDING SIGN





ROOM FINISH SCHEDULE (COOL PALETTE)							
NO.	ROOM NAME	FLOOR CODE	BASE CODE	WALL	CEILING CODE	NOTES	
101	SALES AREA	FT-01 (C)/ PT-02© NEW	NOTE #5	NOTE #1	PAINT EXIST BLACK	1,3,4,5	
102	SEATING AREA	FT-01 (C)/ PT-02© NEW	NOTE #5	NOTE #1	PAINT EXIST BLACK	1,3,4,5	
103 A&B	DRIVE THRU	FT-02 EXISTING	NOTE #5	NOTE #1	CT-03 NEW	3,4,5	
104	SERVICE AREA	FT-02 EXTEND SEE PLAN	NOTE #5	NOTE #1	CT-03 NEW	1,3,4,5	
105	MEN'S RESTROOM	FT-01 © NEW	NOTE #5	NOTE #1	PAINT EXIST WHITE	1,2,3,4,5	
106	WOMEN'S RESTROOM	FT-01 © NEW	NOTE #5	NOTE #1	PAINT EXIST WHITE	1,2,3,4,5	
107	OFFICE	FT-02 EXIST CLEAN	NOTE #5	NIC	CT-03 NEW	2,3,4,5	
108	PREP./STORAGE AREA	FT-02 EXIST CLEAN	NOTE #5	NIC	CT-03 NEW	3,4,5	
109	ALCOVE	FT-01 © NEW	NOTE #5	NOTE #1	CT-01	1,2,3,4,5	
	•	NO	ΓES	•	•	•	

1. REFER TO INTERIOR ELEVATIONS FOR PROPER WALL FINISHES IN DESIGNATED AREA

2. SEE INTERIOR ELEVATIONS FOR DOOR FINISHES

3. PROVIDE ALUMINUM CORNER GUARDS AT ALL OUTSIDE CORNERS OF WALLS, SEE FLOOR PLAN FOR LOCATIONS

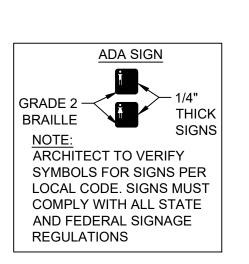
4. G.C. TO VERIFY ALL FINISHES WITH DBI CM PRIOR TO ORDERING MATERIALS.

5. REFER TO FINISH FLOOR PLAN FOR WALL BASE OPTIONS

WP-CR2 (W)	SOLID SURFACES	LG HI-MACS	CUSTOM COLOR: G122 BAMBOO LEAF (SEE AS SS-01 (W)) FINISH: POLISHED EDGE PROFILE: REFERENCE MILLWORK DETAIL ALUMINUM PROFILE: SCHLUTER, JOLLY	SOLID SURFACE CHAIR RAIL

WD-01 WOOD LAMINATE SEE MILLWORK FINISHES PL-01 (C)	OPTIONAL UPGRADE FOR COOL PALETTE ONLYMATCHES MILLWORKFORMICA CHESTNUT #5884 MATTE
---	--

DT 04 (C)	DAINT	CHED/A/INI /A/II I IAMC	LIGHT GREY	SHEEN: "SATIN-/-EGGSHELL" -
<u>PT-01 (C)</u>	PAINT	SHERWIN WILLIAMS	SW 7671 "ON THE ROCKS"	WALL / SOFFIT PAINT WHERE INDICATED
DT 02 (C)	PAINT SHE	SHERWIN WILLIAMS	CHARCOAL	SHEEN: FLAT FOR CEILING / SOFFIT;
<u>PT-02 (C)</u>		SHERVVIN VVILLIAIVIS	SW 7069 "IRON ORE"	SEMIGLOSS FOR DOORS AND FRAMES
DT 02 (C)	PAINT	SHERWIN WILLIAMS	OFF WHITE	SHEEN: FLAT FOR CEILING; SEMIGLOSS
<u>PT-03 (C)</u>	PAINT SHERWIN WILLIAMS	SW 6252 "ICE CUBE"	FOR DOORS AND FRAMES	



FFB-01 CUT (¢)

FTB-01 COVE (¢)

PT-02 (G

CODES AND REGULATIONS

13 FB-01 CUT (¢) TOILET -

FIB-01 COVE (¢) B.

─ 16" MIN / 18" MAX

FTB-01 COVE (¢)

ANY DAMAGED ACCESSORIES

INSTALL NEW MIRRORS AND TRASH RECEPTICLES AND REPLACE

SEE SHEET F1.1 FOR DUNKIN STANDARD TOILET ACCESSORIES

COVERS FOR ALL

EXPOSED PIPING AT

HAND SINK (TYP.)

DRYER WALL

- HAND

REFER TO RESTROOM EQUIPMENT SCHEDULE ON SHEET F1.1 FOR FIXTURE/ ACCESSORIES INFORMATION.

IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PLACE THE WALL SHELF IN COMPLIANCE TO ALL CODES

IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE VERTICAL GRAB IN COMPLIANCE TO ALL

GUARD

FTB-01 COVE (¢)

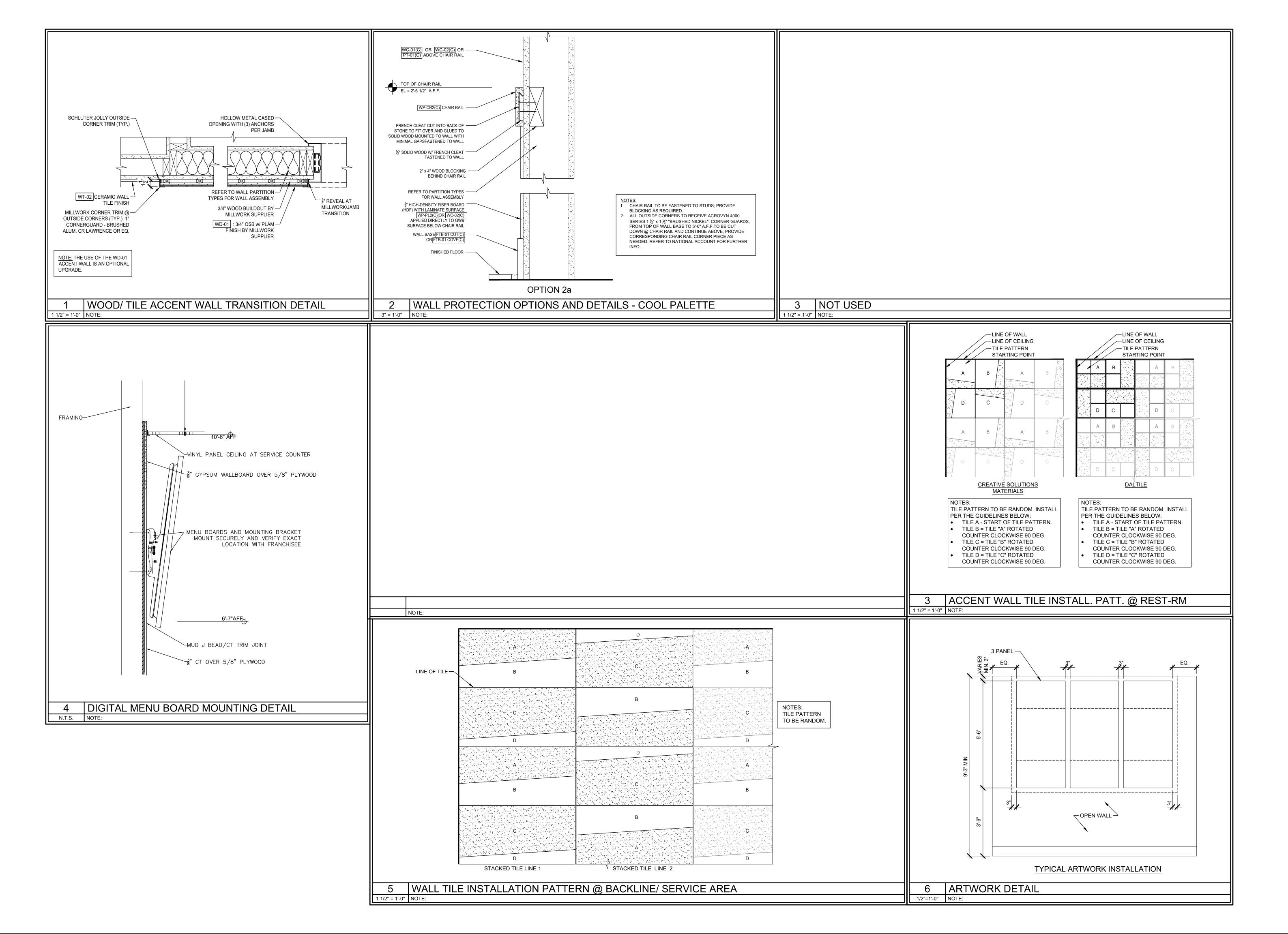
FTB-01 CUT & WT-04 MATERIALS VARY BETWEEN COOL PALETTE & WARM PALETTE.

5 TYPICAL RESTROOM WALL REFINISHING

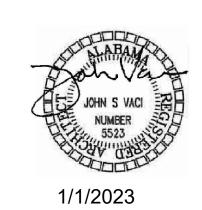
FINISHED FLOOR -

1/4" = 1'-0" NOTE:

JOHN S.



OHN S VACI, Architect
1138 BERWICK ROAD
BIRMINGHAM, AL 35242
205.541.7898
john@johnvaciarchitect.com





agunita Franchise Operations
ony Antoon and Damon Dunn
tony@lfops.com

INTERIOR DETAILS

A-9.0

PROVIDE DRAIN FOR EVAPORATOR

**

PER WALK-IN ORDER FORM

HV-100E-ES-SINGLE-DD

HV-100G-ES-SINGLE-DD

HG24-EZ/DD

D2036-8

D2048-8

D2060-8

D2072-8

D2032-8

480-2

539-A1

539-A2

541-A

541-B

541-D

541-E

541 541-C

WALK-IN COOLER/FREEZER PACKAGE KOLPAK

HYDROVECTION OVEN- ELECTRIC, SINGLE BLODGETT

HYDROVECTION OVEN- GAS, SINGLE BLODGETT

DUNNAGE RACK - 36"W x 20"D, SINGLE LOCKWOOD

DUNNAGE RACK - 36 W X 20 D, SINGLE

TIER, USED FOR JUST BAKED

DUNNAGE RACK - 48"W x 20"D, SINGLE

LOCKWOOD

LOCKWOOD

TIER, USED FOR JUST BAKED

DUNNAGE RACK - 60"W x 20"D, SINGLE

LOCKWOOD

DUNINGE RACK - 30 W x 20 I, SINGLE
TIER, USED FOR JUST BAKED
DUNINGE RACK - 72"W x 20"D, SINGLE
TIER, USED FOR JUST BAKED
DUNINGE RACK - 32"W x 20"D, SINGLE
TIER, USED FOR JUST BAKED
LOCKWOOD
LOCKWOOD

BELSHAW

GLAZER- SEMI-AUTOMATED

42 50 4 No

10 20 3 Yes

NEMA 15-50R

NEMA 5-20R

To be used when not up against a wall, floating. Bar counter height. Laminate chosen for table to match color of entire millwork package. Table is not prewired. Table is built w/ chase to allow wires to be pulled through. To be used when not up against a wall, floating. Bar counter height. Laminate chosen for table to match color of entire millwork package. Table is not prewired. Table is built w/ chase to allow wires to be pulled through. JOHN S. VACI License Number 8725 7/1/2024

ELECTRICAL

SUPPLIED W/
CORD & PLUG

RECEPT. SPEC A.F.F.

EQUIPMENT SCHEDULE



GENERAL REMARKS

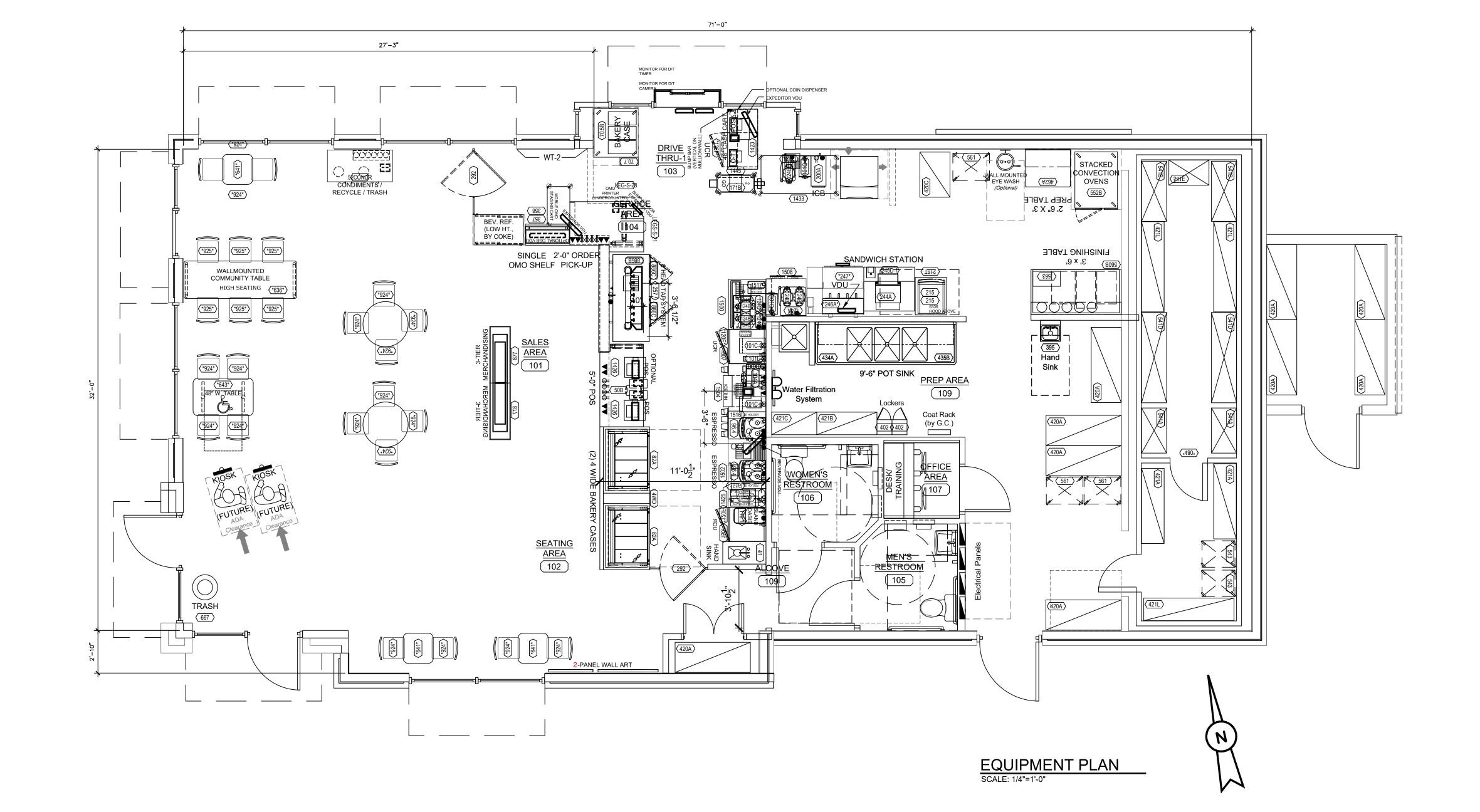


Lagunita Franchise Operations Tony Antoon/Lee Millwood lee@Ifops.com 601.940.6914

NOTE:

F'EE AND FIELD TEAM TO DETERMINE IF EXISTING BACK ROOM EQUIPMENT AND COLD/DRY STORAGE CAPACITIES CONFORM TO CURRENT STANDARDS. ENSURE ADEQUATE ICE MACHINE CAPACITY FOR NEXT GEN MENU REQUIREMENTS.

- 1. FRANCHISEE'S ARCHITECT SHALL ENSURE 40" MINIMUM CLEAR ACCESS INTO AND THROUGHOUT THE STORE FOR DELIVERY OF LARGE EQUIPMENT ITEMS.
- 2. FRANCHISEE'S ARCHITECT TO VERIFY COMPLIANCE WITH APPLICABLE ADA AND CODE REQUIREMENTS FOR RESTROOM(S) AND ENTRANCE(S).
- 3. WINDOW(S) TO BE IN-FILLED, TINTED, OR BLOCKED OUT WITH APPROVED DBI WINDOW GRAPHICS.
- 4. UNSIGHTLY UTILITIES:
 - TO ENHANCE THE D/T EXPERIENCE PLAN ACCORDINGLY TO EITHER REMOVE OR SCREEN WHEN POSSIBLE.
- 5. DEFAULT WATER FILTRATION SYSTEM SHOWN. ARCHITECT TO HAVE WATER TESTED TO VERIFY ACTUAL SYSTEM REQUIRED. BOOSTER PUMP CAN BE ELIMINATED IF INCOMING WATER PRESSURE TO THE BUILDING IS 65PSI OR HIGHER.
- 6. DEFAULT EQUIPMENT FOOTPRINT SHOWN. ARCHITECT TO COORDINATE WITH FRANCHISEE TO DETERMINE ACTUAL EQUIPMENT REQUIRED.



= VIDEO DISPLAY UNIT = D/T MONITOR

= OPTIONAL OSB VDU

= PRINTER

= PRINTER UNDERCOUNTER

= FLOOR SINK

= ELECTRICAL DUPLEX OUTLET

φ = ELECTRICAL SINGLE OUTLET • = RECESSED PLUMBING

▼ = RECESSED TECHNOLOGY

2500 SQ. FT. (Building) 190 SF (iNTERIORWalk-In Box) 2 DRY DELIVERIES per WK. 2 REF'D DELIVERIES per WK. 750 DZNS. of DONUTS per WK. 250 DZNS. of Munchkins per WK. 20 SEATS 44 LN. FT. SHELVING

- ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS AND TRADES.
- CONSTRUCTION OF THE PROJECT AND THE WORK OF THE TRADES WILL PERMIT. EQUIPMENT LOCATIONS INDICATED ARE APPROXIMATE. COORDINATE EXACT LOCATIONS AND REQUIRED
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE EQUIPMENT INDICATED WITHIN THESE DRAWINGS UNLESS OTHERWISE NOTED. VERIFY LOCATION AND DIMENSIONS IN THE FIELD PRIOR TO
- ROOFING CONTRACTOR SO AS NOT TO VOID ANY EXISTING ROOF WARRANTIES.

ALL ROOF PENETRATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE. COORDINATE WITH OWNER'S

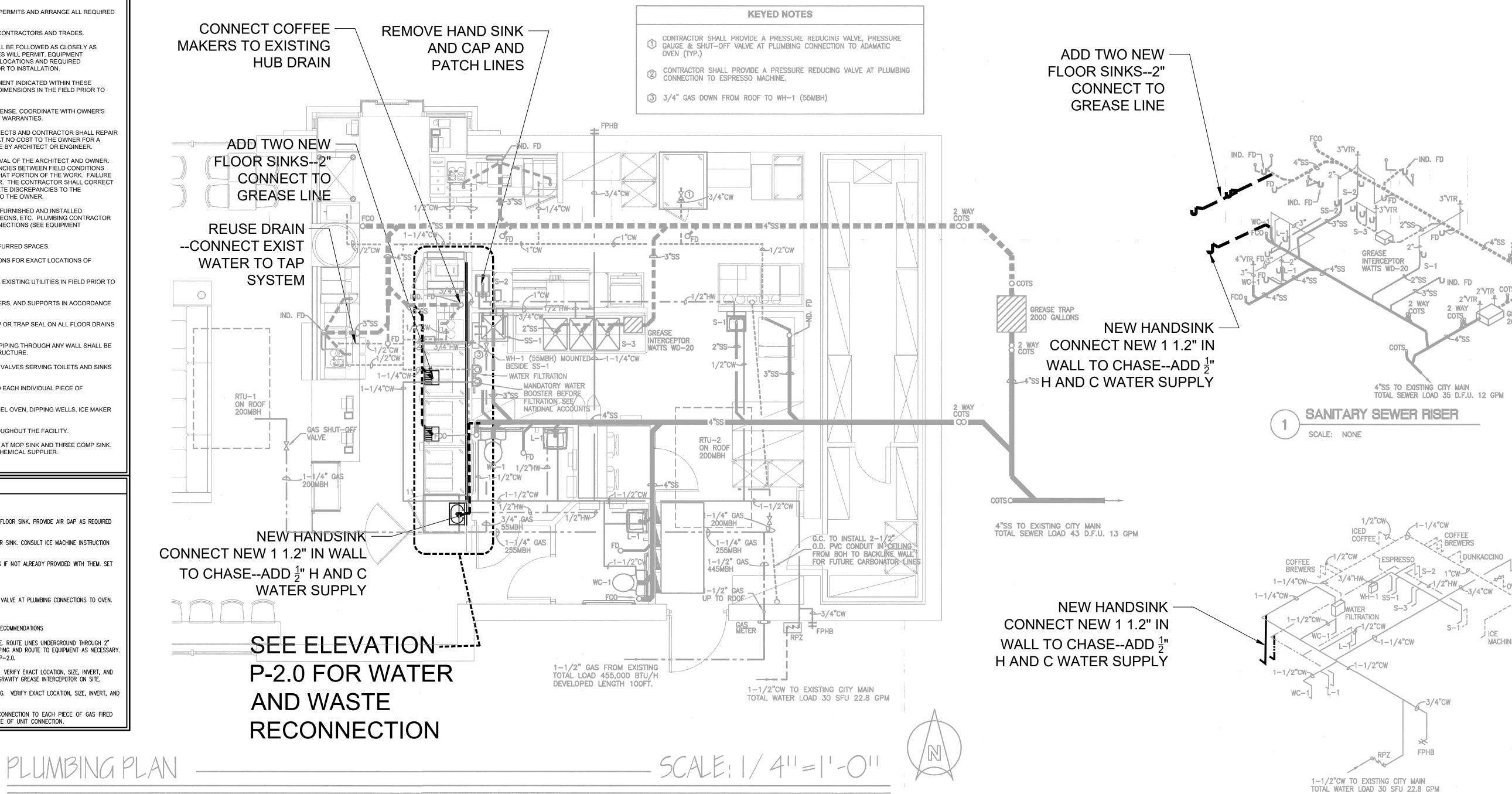
- THE ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND / OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A
- ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL KITCHEN, PREP AREA AND SALES AREA EQUIPMENT WILL BE FURNISHED AND INSTALLED. EQUIPMENT WILL BE FURNISHED WITH TRIM, FAUCETS, ESCUTCHEONS, ETC. PLUMBING CONTRACTOR SHALL PROVIDE ALL ROUGH-IN TRAPS AND MAKE ALL FINAL CONNECTIONS (SEE EQUIPMENT
- ALL PIPING TO BE CONCEALED IN HUNG CEILINGS, CHASES AND FURRED SPACES.
- REFER TO EQUIPMENT SCHEDULE AND EQUIPMENT SPECIFICATIONS FOR EXACT LOCATIONS OF
- THE CONTRACTOR SHALL VERIFY DEPTH, SIZE, LOCATION OF ALL EXISTING UTILITIES IN FIELD PRIOR TO
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPE HANGERS, AND SUPPORTS IN ACCORDANCE
- THE CONTRACTOR TO PROVIDE TRAP PRIMERS, DEEP SEAL TRAP OR TRAP SEAL ON ALL FLOOR DRAINS
- ALL PENETRATIONS REQUIRED FOR PLUMBING EQUIPMENT AND PIPING THROUGH ANY WALL SHALL BE PROPERLY SEALED OFF TO MAINTAIN THE INTEGRITY OF THE STRUCTURE.

PROVIDE BACKFLOW PREVENTERS AT ALL COFFEE MAKERS, BAGEL OVEN, DIPPING WELLS, ICE MAKER

- ALL SHUT OFF AND ISOLATION VALVES SHALL BE BALL TYPE. ALL VALVES SERVING TOILETS AND SINKS
- AND ALL OTHER EQUIPMENT AS REQUIRED BY CODE.
- PROVIDE AERATORS ON ALL HAND SINKS AND LAVATORIES THROUGHOUT THE FACILITY.
- PROVIDE KAY CHEMICAL DISPENSER (SEE NATIONAL ACCOUNTS) AT MOP SINK AND THREE COMP SINK. MOUNT BOTTLE AND DISPENSER ABOVE SINK AS REQUIRED BY CHEMICAL SUPPLIER.

KEYED NOTES:

- 1) ROUTE AS REQUIRED TO CONNECT TO EXISTING WATER SUPPLY
- (3) PROVIDE INDIRECT DRAIN FROM ICE CUBER AND ICE BIN TO ADJACENT FLOOR SINK. CONSULT ICE MACHINE INSTRUCTION
- PROVIDE THERMOSTATIC MIXING VALVE AT ALL HAND SINKS AND LAVATORIES IF NOT ALREADY PROVIDED WITH THEM. SET AT 110°F MAXIMUM. WATTS MODEL 1/2" LFMMV.
- (5) WATER FILTRATION SYSTEM. VERIFY ACTUAL LOCATION.
- PROVIDE A PRESSURE REDUCING VALVE, PRESSURE GAUGE, AND SHUT-OFF VALVE AT PLUMBING CONNECTIONS TO OVEN.
- 7 PROVIDE A PRESSURE REDUCING VALVE FOR ESPRESSO MACHINE.
- 8 PROVIDE 0.5 GPM DOLE FLOW REGULATOR INSTALLED PER MANUFACTURER RECOMMENDATIONS ROUTE 1/2" CW WATER LINES IN WALL. TRANSITION TO TYPE K COPPER PIPE. ROUTE LINES UNDERGROUND THROUGH 2"
- EXTEND NEW GR PIPING AS REQUIRED TO CONNECT TO EXISTING GR PIPING. VERIFY EXACT LOCATION, SIZE, INVERT, AND
- $\gamma_{
 m C}$ contractor shall provide shut—off valve and dirt leg at GAS connection to each piece (
- EQUIPMENT. GAS PIPE CONNECTION TO EQUIPMENT SHALL BE FULL SIZE OF UNIT CONNECTION



EXISTING PLUMBING TO REMAIN--1/4" SCALE FOR REFERENCE ONLY

PLUMBING FIXTURE SCHEDULE												
MARK	DESCRIPTION	MED 6. MD1	MATERIAL	MOUNTING	ACCECCODIEC	FAUGET & SITTINGS	CUBBLY	TDAD	WASTE	WATE	ER	DEMARKS
WARK	DESCRIPTION	MFR & MDL.	MATERIAL	MOUNTING	ACCESSORIES	FAUCET & FITTINGS	SUPPLY	TRAP	WASTE	HOT	COLD	REMARKS
WC-1	WATER CLOSET - A.D.A.	KOHLER K-4325	VITREOUS CHINA	CARRIER - WADE 310 SERIES	KOHLER K-4731-C		KOHLER K-13517	INTEGRAL	4**		-1/2"	MOUNT AT A.D.A. HEIGHT
L-1	LAVATORY WALL MOUNT - A.D.A.	KOHLER K-2863	VITREOUS CHINA	CARRIER - WADE 510 SERIES	KOHLER K-8998	K-10269-4A	McGUIRE 158	McGUIRE #8902	2*	1/2"	1/2"	MOUNT AT A.D.A. HEIGHT
S-1	WALL MOUNT SINK	UNIVERSAL EHS-IRL-WH	STAINLESS STEEL		GRID DRAIN	ELKAY LKB400	McGUIRE 158	ELKAY LKB8	2°	1/2"	1/2"	
S-2	COUNTER MOUNT SINK	UNIVERSAL DD-18CBT32-RL	STAINLESS STEEL		GRID DRAIN	T&S TSB1100	McGUIRE 158	McGUIRE #8902	2"	1/2"	1/2"	
S-3	TRIPLE BASIN SINK	UNIVERSAL DD-3N202814-2D24/ TSB-133-B/TSB-158	STAINLESS STEEL		GRID DRAIN	CHOSEN BY OWNER	McGUIRE 158	McGUIRE #8902	2"	1/2"	1/2"	
SS-1	UTILITY SINK	CRANE MSB 2424	MOLDED STONE		CRANE 832-AA DRAIN HOSE ASSEMBLY	CRANE 830-AA	McGUIRE 158	McGUIRE #8902	3"	1/2"	1/2"	VINYL BUMPERGUARD E-77-AA MOP HANGER 889-CC
FD	FLOOR DRAIN	WADE 1102-STD5	CAST IRON		SATIN NICKEL BRONZE STRAINER			CAST IRON	2**			
FPHB	FREEZE PROOF HOSE BIBB	WOOODFORD B65	CHROME		VACUUM BREAKER		McGUIRE 158	McGUIRE #8902			3/4"	
WH-1	INSTANTANEOUS WATER HEATER	RINNAI RC98E	STAINLESS STEEL				McGUIRE 158			3/4"	3/4"	55,000 BTU/HR.

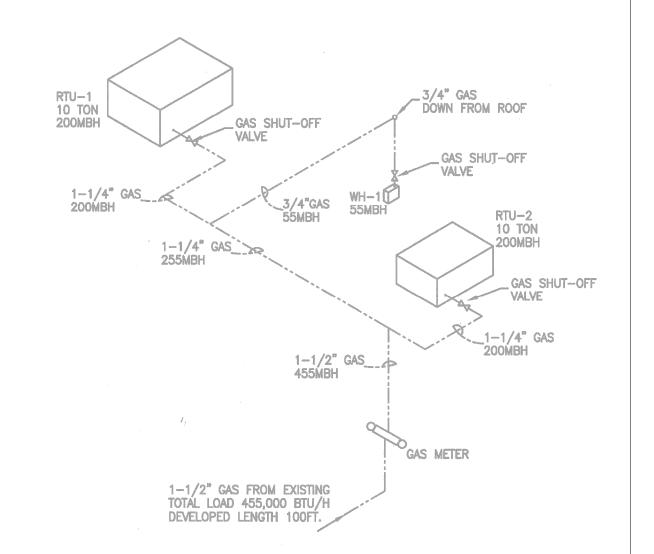
VERIFY ALL PLUMBING FIXTURE MANUFACTURERS AND MODELS WITH OWNER PRIOR TO INSTALLATION.

2. PROVIDE PROSET TRAPGUARD ON ALL FLOOR DRAINS. TRAP GUARD MUST CONFORM TO NSF 14, CSA B602-99, CSA B79-94.

PIPING	LEGEND
CITY WATER DOMESTIC HOT WATER	CW
SANITARY SEWER	SS
SANITARY SEWER VENT	V
GAS	G

GAS LOAD	SCHEDULE
FIXTURE	MBTU/H
WH-1	55,000
RTU-1	200,000
RTU-2	200,000
TOTAL LOAD	455,000

PLUMBING SYMBOL LEGEND						
	90° ELBOW (SHORT RADIUS)					
	TEE					
->4-	VALVE (BALL TYPE UNLESS OTHERWISE INDICATED)					
-14-	SWING CHECK VALVE					
8	WATER CLOSET					
<u>A</u>	URINAL					
E ',	WALL MOUNTED LAVATORY					
	WALL MOUNTED SINK					
	COUNTER MOUNTED SINK					
	ELECTRIC WATER COOLER					
FD _e	FLOOR DRAIN					
+	HOSE BIB					





SCALE ¹/₂"=1'-0"

PLUMBING GENERAL NOTES

GENERAL REQUIREMENTS:

- . SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL
- PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION.
- WARRANTY: PROVIDE ALL MATERIALS AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK
- COORDINATION: VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, PIPING, CONDUIT, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO CHARGE TO THE OWNER. COORDINATE INSTALLATION OF ALL PLUMBING LINES AT CMU WALLS SO THAT PLUMBING LINES ARE PLACED IN WALL DURING CMU WALL CONSTRUCTION. CUTTING AND PATCHING OF CMU WALLS IN PLACE WILL NOT BE PERMITTED.
- 5. FIELD VERIFICATION: FIELD VERIFY EXISTING CONDITIONS BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR ANY POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EFFECTED AREAS.
- 6. PLUMBING SYSTEMS INCLUDE, BUT ARE NOT LIMITED TO:
- PLUMBING FIXTURES AND EQUIPMENT FIRE STOPPING
- DOMESTIC WATER SYSTEM - SANITARY WASTE AND VENT SYSTEM

FIXTURES:

. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPS, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.

<u>FIRE STOPPING:</u>

1. FIRE STOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS AND PARTITIONS. PROVIDE A DEVICE(S) OR SYSTEM(S) WHICH HAS BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814 AND INSTALL IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE A DEVICE(S) OR SYSTEM(S) WITH AN 'F' RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.

DOMESTIC WATER PIPING:

FURNISH AND INSTALL A COMPLETE SYSTEM OF HOT AND COLD WATER, AND WASTE PIPING FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING THIS SERVICE. VERIFY LOCATION OF BEGINNING POINTS.

- 2. DOMESTIC WATER PIPING BELOW GRADE: SOFT ANNEALED SEAMLESS COPPER TUBING, TYPE 'K' WITH NO JOINTS BELOW GRADE
- DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: HARD DRAWN SEAMLESS COPPER TUBING, TYPE 'L' WITH 95-5 SILVER SOLDERED JOINTS (ASTM B 88).
- 4. STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.
- 5. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH ENGINEERED POLYMER FOAM INSULATION OR FIBERGLASS WITH FITTING INSERTS AND PVC COVERS. FOLLOW THIS SCHEDULE:
- DOMESTIC HOT WATER (105°-140°F) i" 1i" DOMESTIC HOT WATER CIRCULATION ALL DOMESTIC COLD WATER

- DOMESTIC WATER PIPING INSULATION, JACKETS, COVERINGS, SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAME-SPREAD RATING OF 25 OR LESS AND A
- DO NOT INSTALL DOMESTIC WATER PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES.
 - INSTALL WATER PIPING IN EXTERIOR WALLS ON THE CONDITIONED SIDE OF THE WALL SHUT OFF VALVES: PROVIDE FULL PORT, BALL TYPE, AND INSTALL IN A LOCATION THAT
 - PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. PROVIDE ACCESS DOORS IF REQUIRED.

SMOKE-DEVELOPED RATING OF 50 OR LESS. AS TESTED BY ASTM E84 (NFPA 255)

- PROTECT COPPER PIPING AGAINST CONTACT WITH DISSIMILAR METALS. ALL HANGERS. SUPPORTS, ANCHORS, AND CLIPS SHALL BE COPPER OR COPPER PLATED. WHERE COPPER PIPING IS CARRIED ON IRON TRAPEZE HANGERS WITH OTHER PIPING, PROVIDE A PERMANENT ELECTROLYTIC ISOLATION MATERIAL TO PREVENT CONTACT WITH OTHER
- METALS.
 PROTECT COPPER PIPING AGAINST CONTACT WITH ALL MASONRY. WHERE COPPER IS SLEEVED THROUGH MASONRY, PROVIDE COPPER OR RED BRASS SLEEVES. WHERE COPPER MUST BE CONCEALED IN OR AGAINST MASONRY PARTITIONS, PROVIDE A HEAVY COATING OF ASPHALTIC ENAMEL ON THE COPPER PIPING AND 15# ASPHALT SATURATED FELT BETWEEN THE PIPING AND THE MASONRY PARTITION.
- SANITARY WASTE AND VENT PIPING: FURNISH AND INSTALL COMPLETE SYSTEMS OF SOIL, WASTE, AND VENT PIPING FROM ALL
- PLUMBING FIXTURES, AND/OR OTHER EQUIPMENT. ALL SOIL, WASTE AND VENT LINES SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION WHERE POSSIBLE.
- INVERT ELEVATIONS SHALL BE ESTABLISHED AND VERIFIED BEFORE WASTE PIPING IS INSTALLED IN ORDER THAT PROPER SLOPES WILL BE MAINTAINED.
- IF PERMITTED BY LOCAL CODES, SANITARY WASTE AND VENT PIPING AND FITTINGS SHALL BE SCHEDULE 40 PVC (ASTM D 2665) WITH SCHEDULE 40 SOCKET-TYPE PIPE FITTINGS (ASTM D 3311). ONLY IF PVC IS NOT ALLOWED, THEN SANITARY WASTE AND VENT PIPING AND FITTINGS SHALL BE SERVICE WEIGHT CAST IRON, HUB AND SPIGOT TYPE WITH COMPRESSION JOINTS (ASTM A 74) OR NO-HUB PIPING WITH COUPLINGS (CISPI 301).
- SLOPE SANITARY WASTE PIPING 21" AND SMALLER AT r" PER FOOT MIN. SLOPE SANITARY WASTE PIPING 3" AND LARGER AT w" PER FOOT MINIMUM.
- WHERE WASTE PIPING IS EXPOSED IN REST ROOM AREAS, PROVIDE CHROME PLATED BRASS PIPING. WITH MATCHING STOPS AND ESCUTCHEONS. PROVIDE REMOVABLE TRAPS WITH INTEGRAL CLEAN-OUT PLUG FOR ALL LAVATORIES.
- INSTALL CLEAN-OUTS IN A LOCATION THAT PERMITS ACCESS FOR SERVICE WITHOUT DAMAGE TO THE BUILDING OR FINISHED MATERIALS. CLEANOUT PLUGS SHALL BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS AT EACH CHANGE IN DIRECTION.

PROPERLY SUPPORT AND BRACE VERTICALLY AND HORIZONTALLY ALL PIPING, APPARATUS, EQUIPMENT, ETC. IN ACCORDANCE WITH APPLICABLE CODES TO PREVENT EXCESSIVE MOVEMENT DURING SEISMIC CONDITIONS.

BACKFLOW PREVENTION:

VERIFY BACKFLOW PREVENTOR REQUIREMENTS OF LOCAL AUTHORITY AND PROVIDE BACKFLOW PREVENTION DEVICES AS REQUIRED. COORDINATE LOCATION WITH OTHER TRADES. JOHN S.

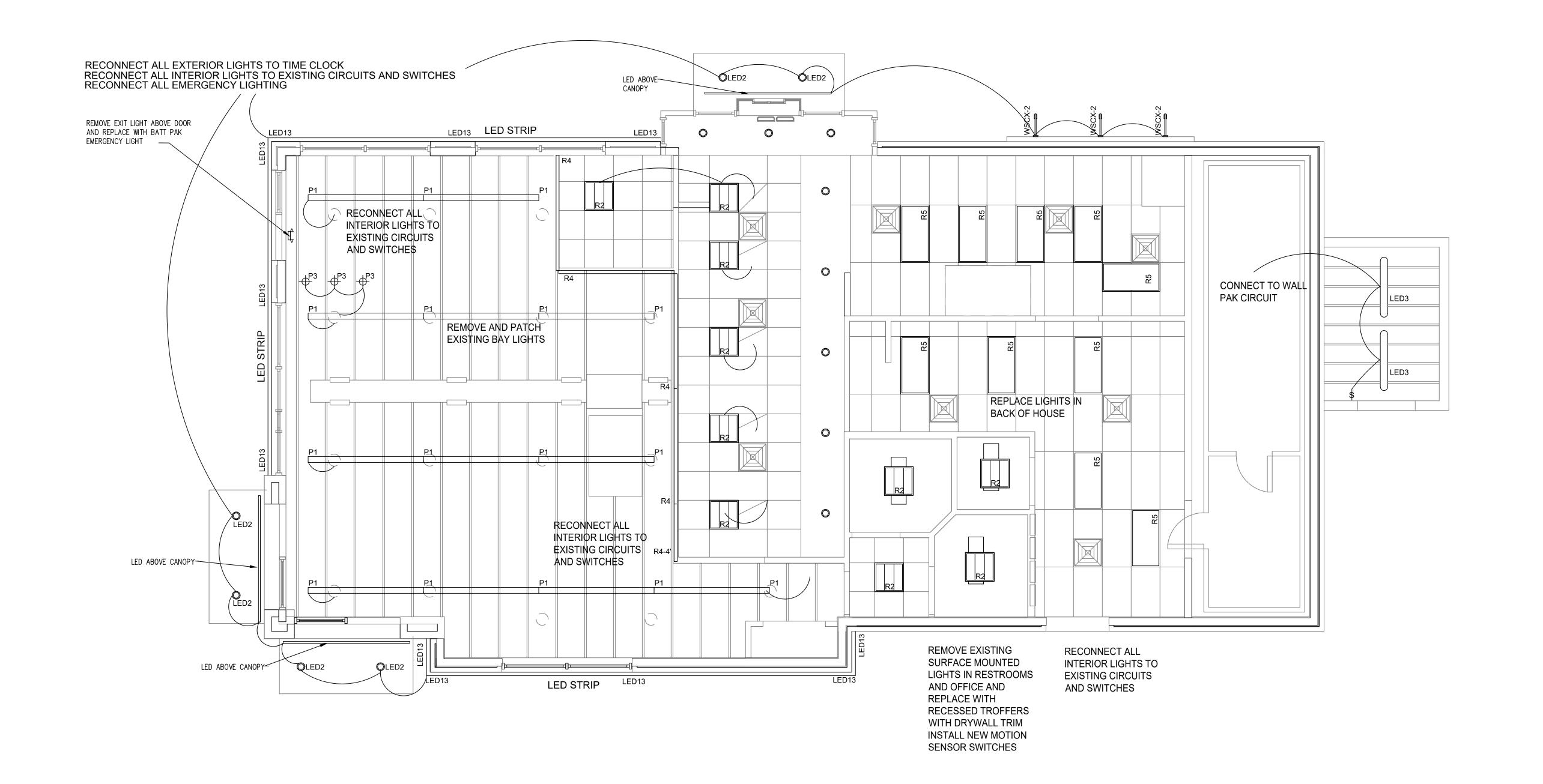
JED FOR PERMIT	00.00.19
-UMBING SANITARY	

PLUMBING CONNECTION PLAN ANDELEVATION

PLUMBING EQUIPMENT SCHEDULE ELECTRICAL WATER WASTE LOAD - REMARKS QTY DESCRIPTION MANUFACTURER MODEL NO REMARKS VOLTS AMPS HW CW FCW DIR PROVIDE PRESSURE REDUCING VALVE & WATER 30A 30A/2P COFFEE ART TOUCH ESPRESSO MACHINE 040381-00022EUS 3/8" 96.4 SCHAERER SHUT-OFF VALVE w/3/8" COMPRESSION FITTING 1/2" ESPRESSO MACHINE SCHAERER 30A 30A/2P 03.5500.8033 DED. BALL VALVE W/ FLEX CONNECTION TO MACHINE 208V 21.7 |30A/2P| 1/4" 20-90 PSI. -- 1/4" MALE FLARE FITTING HOT WINTER BEVERAGE MACHINE BUNN-O-MATIC 38600.0057 1/4" 208/240 HOT WINTER BEVERAGE MACHINE 20-90 PSI. -- 1/4" MALE FLARE FITTING 21.7 | 30A/2P 43700.0003 1/4" 120/240 HOT WINTER BEVERAGE MACHINE BUNN-O-MATIC 108A-20-90 PSI. -- 1/4" MALE FLARE FITTING 1/4" 20-90 PSI. -- 1/4" MALE FLARE FITTING 108A-2 208/240 HOT WINTER BEVERAGE MACHINE CECILWARE GB5M5.5-IT-U-DB 3/8" MAGNABLEND BLENDER / ISLAND OASIS TAYLOR SB2412-WDD 115V 10 116.1 SKR27AD/C11 2 DRAWER U/C REFRIGERATOR 2.7 | 15A/1P ALT 121F SILVER KING 115V 3/8" 38.5 | 50A/2P 20-90 PSI. -- 3/8" MALE FLARE FITTING TWIN SH BREWER 51200.0106 120/208 124A BUNN-O-MATIC 1.0 GAL SH SERVER BUNN-O-MATIC 27850.0210 FCW CONNECTION TO SPRAYER 124B-1 DUMP SINK TABLE STATION 1/2" FRANKE FCW CONNECTION TO SPRAYER 1502

CEILING LEGEND:		
2x2 LAY-IN LED TROFFER LIGHT FIXTURE		SPEAKER GYPSUM BOARD CEILING
UED RECESSED LIGHT FIXTURE □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	#	2"X2" CEILING GRID SYSTEM
P1/P2 OUGDENDED LINEAR LED		2"X4" CEILING GRID SYSTEM
SUSPENDED LINEAR LED FIXTURE A WALL WASH FIXTURE	M	WALL-MTD OCCUPANCY SENSOR
PENDANT FIXTURE		RETURN/CEILING EXHAUST REGISTER
WALL PACK EWS-1		SUPPLY AIR DIFFUSER - 4 WAY
WSCX-2 EXTERIOR WALL MOUNT LIGHT	O TION ON LIQUI	FLUE
NOTE: SEE ARCHITECTURAL DWG'S FOR MORE INFORMA	TION ON LIGH	I FIXTURES.

CODE	DESCRIPTION	MANUFACTURER	PRODUCT
Α	WALL-WASH FIXTURE- TO BE USED AT ARTWORK AND LROD SIGN	CONTECH	RL20SA3-35K-12-D/ CTR2002CLR-P
R	PROVIDED BY WALK-IN BOX MANUE	VARIES	VARIES
3	TRACK LIGHT & HEAD- USED @ WALL W/ ART WORK AND WHERE	JUNO	R600L-35K-BI
	CEILING IS OPEN		
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT (WHITE)	EXITRONIX	EBU-W-LED-51-52
EBU-B	ULTRA COMPACT LED EMERGENCY UNIT- USED ON WT-02 WALL ONLY (BLACK)	EXITRONIX	EBU-BL-LED-51-52
EMR	EXTERIOR COMBO LED REMOTE EXIST LIGHT HEAD- USED ABOVE OR ADJACENT TO EXIT DOORS (GRAY)	EXITRONIX	MLED-2-G-WP
E\N/Q_1	MALL BACK (CRAV) EXTERIOR- HISED ON DARK MALL FINSH	WAC	WP-LED227-30-ACH
EW/6-3	MALL BYCK (WHILE) EALEBIOD TISED ON LIGHT MALL EINIGH	WAC	MP LED227 30 AWT
9	WALL BACK AROVE SERVICE DOOP	COOPER	YTOR3A
EX1	COMBO LED EXIT SIGN W/ LIGHT HEADS (WHITE)	EXITRONIX	VLED-U-WH-EL90
DI	DATUBOOM SCONCE	LUMENCIA	LIMACODSK CN
LED 2	CANOPY	LUMARK	XTOR2B-W
LED 3	LED VAPOR TIGHT FIXTURE	PLT	PLT-90095 65 WATT 120V SURFACE/
	FIELD FRAMED ORANGE BEAM	SOLUTIONS OF LIGHTING	
LED 13	EXTERIOR LIGHT FIXTURE- USED ON TOP OF AND ON THE UNDERSIDE OF THE ORANGE BEAM WHEN USING THE PREFAB OPTION		TO BE PROVIDED BY PREFAB ORANGE BEAM VENDOR
I E D 1/	EXTERIOR LIGHT FIXTURE - ACCENT LIGHT USED ON TOP OF	LED BOWER	HR308-48"-41K-15D-AC
	CHARCOAL TRIM AT BASE OF MONOLITH ONLY	WW.TTOTO DDED	W 255 W
P1	8' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-96L-S62W6200L-DMV-35K-BK
P2	4' SUSPENDED LINEAR LIGHT FIXTURE- USED IN SEATING/ SALES AREA	TEXAS FLUORESCENTS	SES-FR-48L-S62W3100L-DMV-35K-BK
P3	PENDANT CHANDELIER- USED ABOVE COMMUNITY TABLE	TECH LIGHTING	700TD-ALVPMC-OS-LED930
PHILO	PARKING LOT LIGHTING	COOPER LIGHTING	LUMARIK PRIV PREVAIL PRIV A40 UNIV TO SA EZ
PKL1	PARKING LOT LIGHTING	SESPER HEHTING	LUMARK PRV PREVAIL PRV A 10 UNV T1 SA BZ
R1	RECESSED LED LIGHT FIXTURE	CREE	RC6/CR6T-1600L-35K
R2		CREE	CR22-32L-35K-S-HD
R3	4" LED ADJ DOWNLIGHT, 400K, 200 LUMEN	NORA	NCH-436-L20-40-D-SF
R4	IN INCREMENTS OF 1FT WITH A 1FTx1FT CORNER PIECE]	PINNACLE ARCHITECTURAL LIGHTING	EX3D-A-N-835VHO-8-S/AC120ST
R5	2X4 LAY-IN LED LIGHT FIXTURE, USED IN BACK OF HOUSE	LSI	SFP24-LED-50-UE-DIM-35-U
	REMODELS ONLY	0000	011 E2 E25 02 00 5 MM 00 0
MOON 2	REMODELS ONLY	HILLITE MEC INC	LI LIDMDACAR A AAO MDACADACORRANT AO CA
	LIGHTING SCI	HEDULE NOTES	
1 PROVIDE	ALL FIXTURES COMPLETE WITH LAMPS. REF. NATIONAL ACCOUNT SOU		VILLA LIGHTING RE-LAMPING PROGRAM



GENERAL NOTES:

- A. ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION.
- B. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED INSPECTIONS.
- C. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH

OTHER CONTRACTORS AND TRADES.

- D. THESE DRAWINGS, AS PREPARED, ARE DIAGRAMMATIC BUT SHALL BE FOLLOWED AS CLOSELY AS CONSTRUCTION OF THE PROJECT AND THE WORK OF THE TRADES WILL PERMIT. EQUIPMENT LOCATIONS INDICATED ARE APPROXIMATE. COORDINATE EXACT LOCATIONS AND REQUIRED CLEARANCES WITH EQUIPMENT SUPPLIER AND ALL TRADES PRIOR TO INSTALLATION.
- E. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE EQUIPMENT INDICATED WITHIN THESE DRAWINGS UNLESS OTHERWISE NOTED. VERIFY LOCATION AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND / OR INSTALLATION.
- F. ALL ROOF PENETRATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE. COORDINATE WITH OWNER'S ROOFING CONTRACTOR SO AS NOT TO VOID ANY EXISTING ROOF WARRANTIES.
- G. THE ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND / OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY ARCHITECT OR ENGINEER.
- H. ALL WORK SHALL BE SUBJECT TO THE ACCEPTANCE AND APPROVAL OF THE ARCHITECT AND OWNER. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE OF PROPER NOTIFICATION DOES NOT RELIEVE THE CONTRACTOR. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- I. COORDINATE ALL EQUIPMENT UTILITY INFORMATION SHOWN ON THIS SHEET WITH THE DUNKIN' BRANDS EQUIPMENT SCHEDULE AND EQUIPMENT MANUFACTURER'S CUT SHEETS.
- J. ALL EXTERIOR LIGHTS TO BE TIMECLOCK CONTROLLED.
- K. ALL 15 AND 20 AMP, 120 VOLT RECEPTACLES IN KITCHEN AND PREP AREAS SHALL BE GFI TYPE.
- L. ALL JUNCTION BOXES SHOWN ON THIS PLAN ARE TO BE INSTALLED ABOVE THE FINISHED CEILING.
- M. ALL EMERGENCY AND EXIT FIXTURES SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING. PROVIDE ADDITIONAL FIXTURES AS NEEDED TO MEET THE CODE REQUIREMENTS PER LOCAL REQUIREMENTS.
- N. PROVIDE WOOD BLOCKING BEHIND ALL EXTERIOR LIGHTING FIXTURES COORDINATE WITH GENERAL CONTRACTOR.
- O. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LATEST KITCHEN PLANS AND EQUIPMENT CUTS SHEETS FOR PROPER EQUIPMENT LOCATIONS AND CONNECTION REQUIREMENTS PRIOR TO STARTING WORK.

nise Operations Lee Millwood ps.com 0.6914

JOHN S.

VACI

License Number 8725

7/1/2024

NOTES:

1. ALL EXIT, NIGHT LIGHT AND EMERGENCY LIGHT FIXTURES SHALL BE CIRCUITED TO AN UNSWITCHED LEG OF THE NEAREST LOCAL LIGHTING CIRCUIT.

2. MINIMUM OF 50 FOOT CANDLES SHALL BE PROVIDED AT SURFACES OF ALL FOOD WASHING AND FOOD PREPARATION AREAS.

3. MINIMUM OF 20 FOOT CANDLES IS BEING PROVIDED IN ALL OTHER AREAS.

4. ALL LIGHT BULBS IN LIGHT FIXTURES IN KITCHEN, DINING ROOM ARE

SHATTER PROOF LED BULB.

5. LIGHT SWITCHES SHALL BE COMPATIBLE WITH AND MATCH CHARACTERISTICS

OF LIGHTS BEING SERVED. PROVIDE LOW VOLTAGE WIRING AND/OR POWER

PAKS AS NECESSARY FOR LIGHT FIXTURES TO BE CONTROLLED BY 0-10V

SHIELDED USING CLEAR PRISMATIC LENS IN THE LIGHT FIXTURE OR HAVE

LIGHT FIXTURE MOUNTING NOTE: BOTTOM OF LIGHT FIXTURES P1, P3 AND R4 SHALL BE AT 9'-6"

LIGHTING NOTE:
KITCHEN WORK SURFACES WHERE FOOD IS
PREPARED AND UTENSILS WASHED SHALL
HAVE MINIMUM 50 FOOT CANDLES OF
LIGHTING AT WORK SURFACE (36" A.F.F.).

CARBON MONOXIDE MONITORING:
PROVIDE A MEANS OF MONITORING AND ALARMING
THE OCCUPANTS UPON THE PRESENCE OF CARBON
MONOXIDE (CO). THE MEANS OF DETECTION SHALL
BE LOCATED NEAR EQUIPMENT THAT PRODUCES
PRODUCT OF COMBUSTION. LOCATIONS SHALL
INCLUDE BUT NOT BE LIMITED TO; GAS FIRED
OVENS, GAS FIRED WATER HEATERS, GAS FIRED
FURNACES, ETC.

PERMIT 00.00.19

ECTRICAL

E-1.0

2'-1" 2'-3" 3'-6"

215

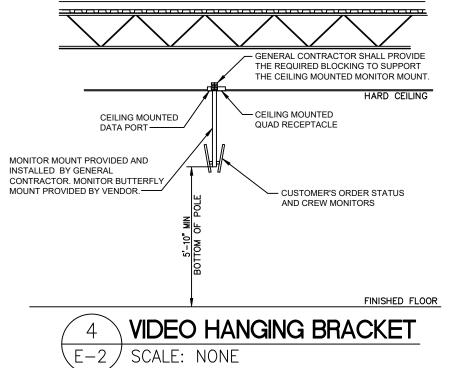
244A

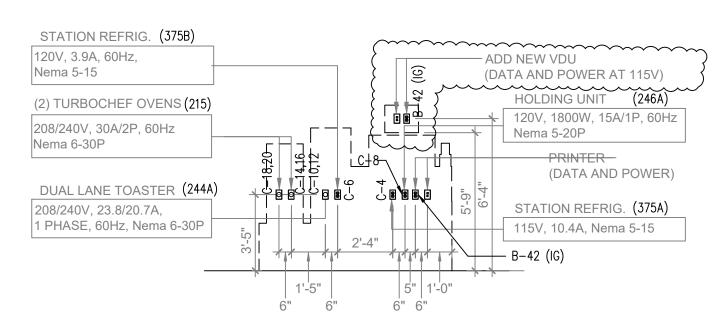
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275B

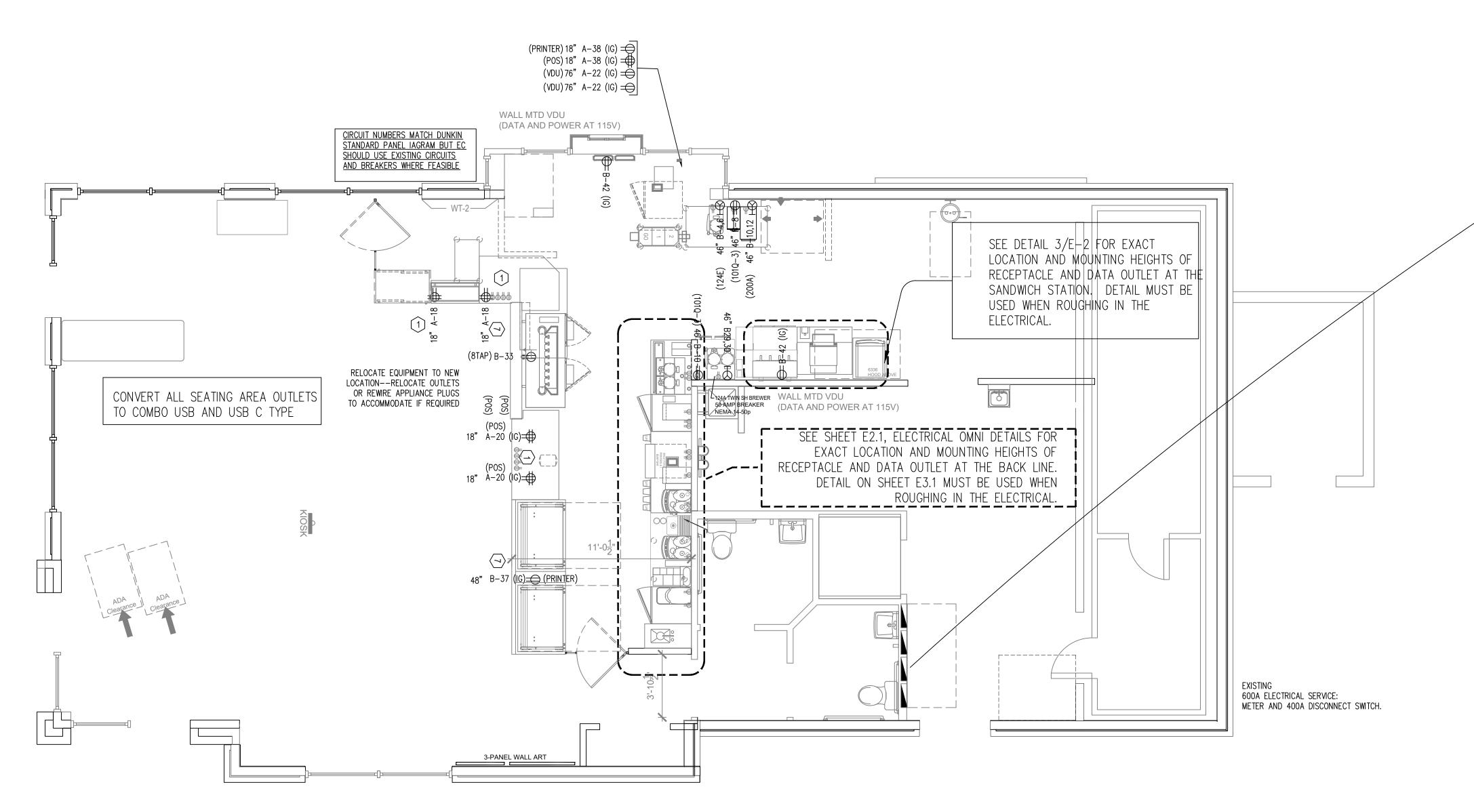
7'-10"

1 VDU, 1 PRINTER

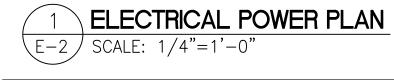




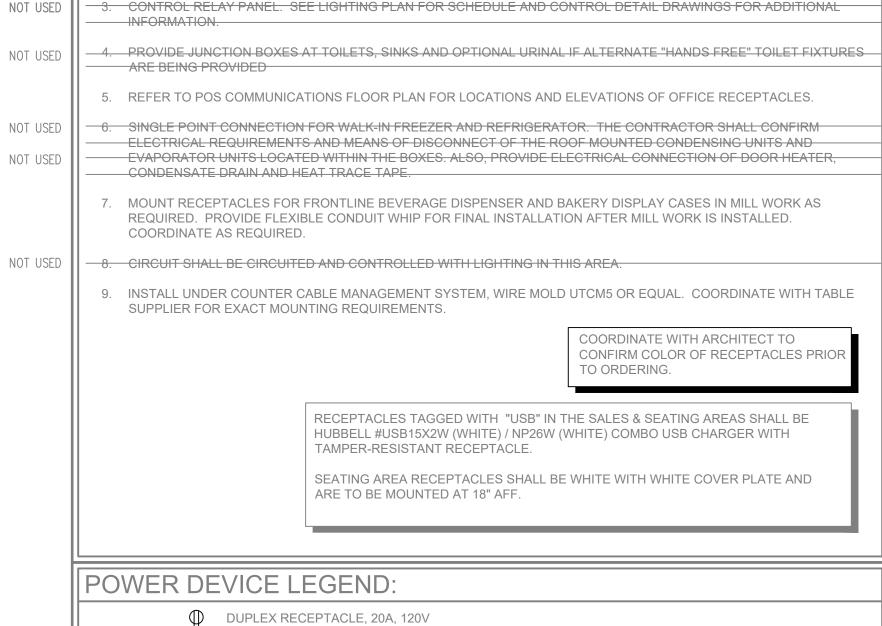
3 7'-10" SANDWICH STATION ELEVATION
E-2 SCALE: 1/4"=1'-0"



REFER TO EXISTING ELECTRICAL SHEETS AND VISIT SITE



GFI NOTE:
ALL 15 AND 20 AMP, 125 VOLT RECEPTACLES LOCATED
IN THE KITCHEN, SERVING AND SALES AREA SHALL BE GFI RATED.



SPECIAL RECEPTACLE, VOLTAGE AND AMPERAGE BASED ON CONNECTED CIRCUIT

SEE POS AND COMMUNICATIONS. PLAN FOR FURTHER INFORMATION REGARDING POS AND UNDER COUNTER

INSTALL WIRING FOR POWER AND DATA

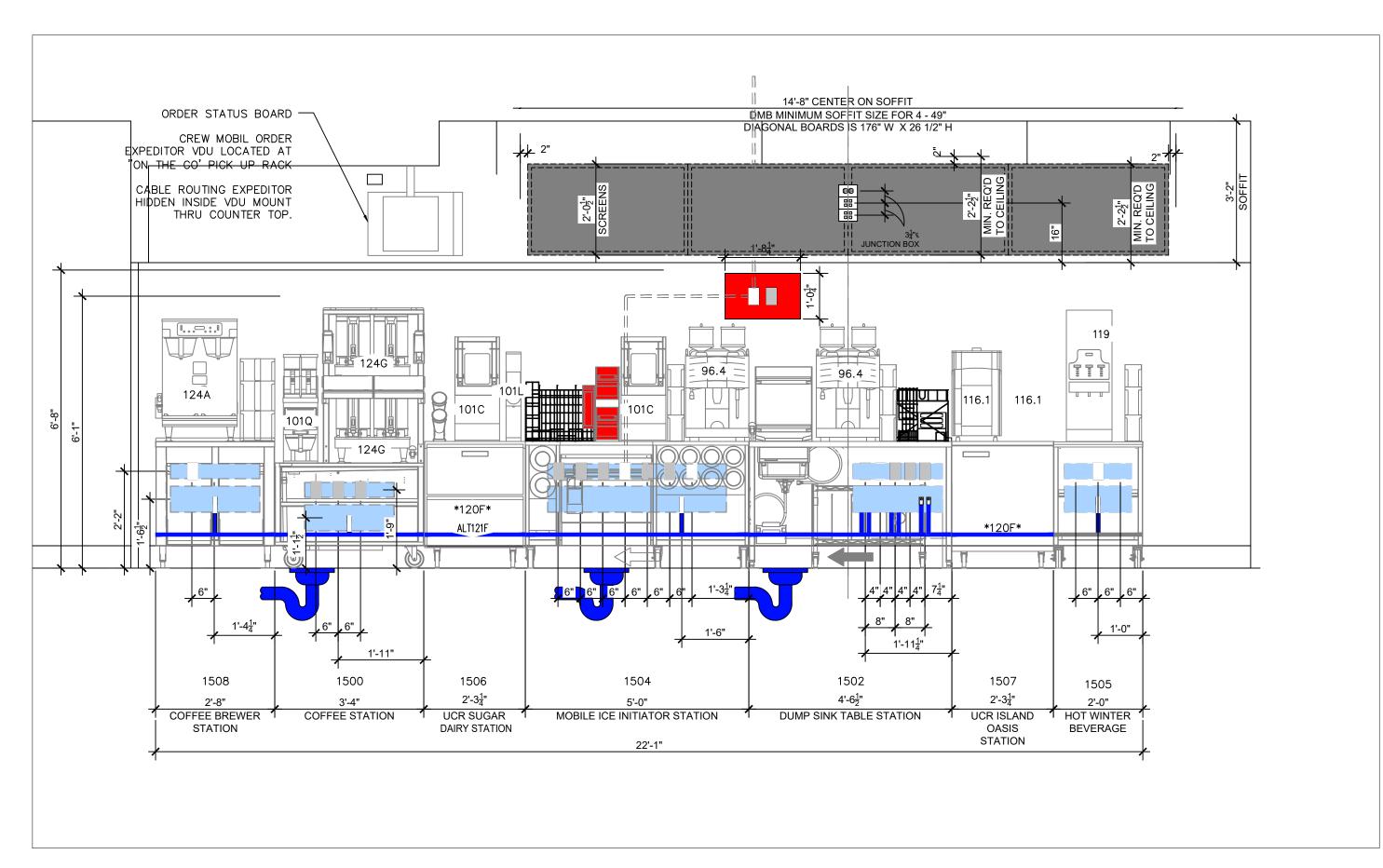
QUAD RECEPTACLE, 20A, 120V

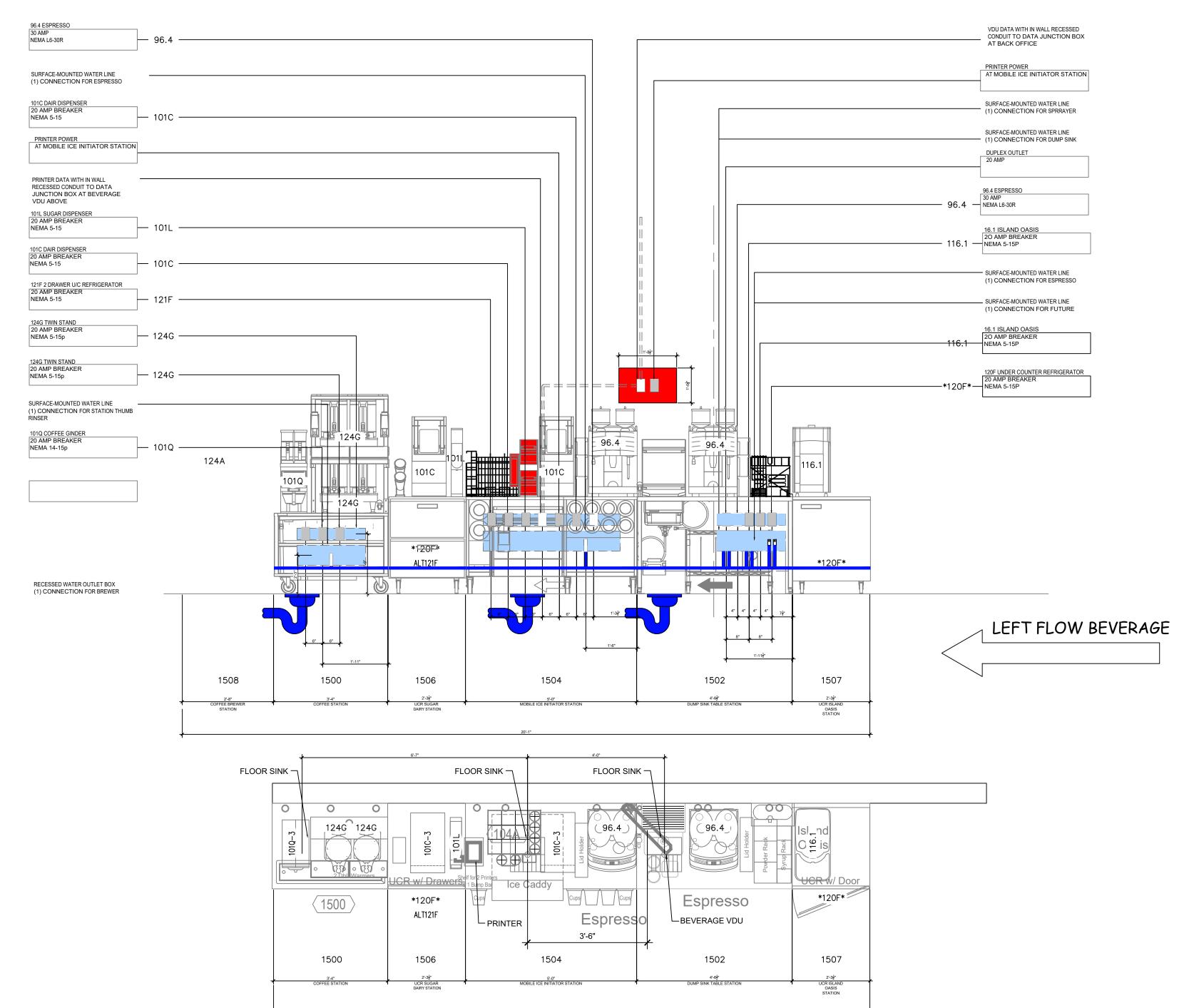
DISCONNECT SWITCH - FUSED OR UNFUSED

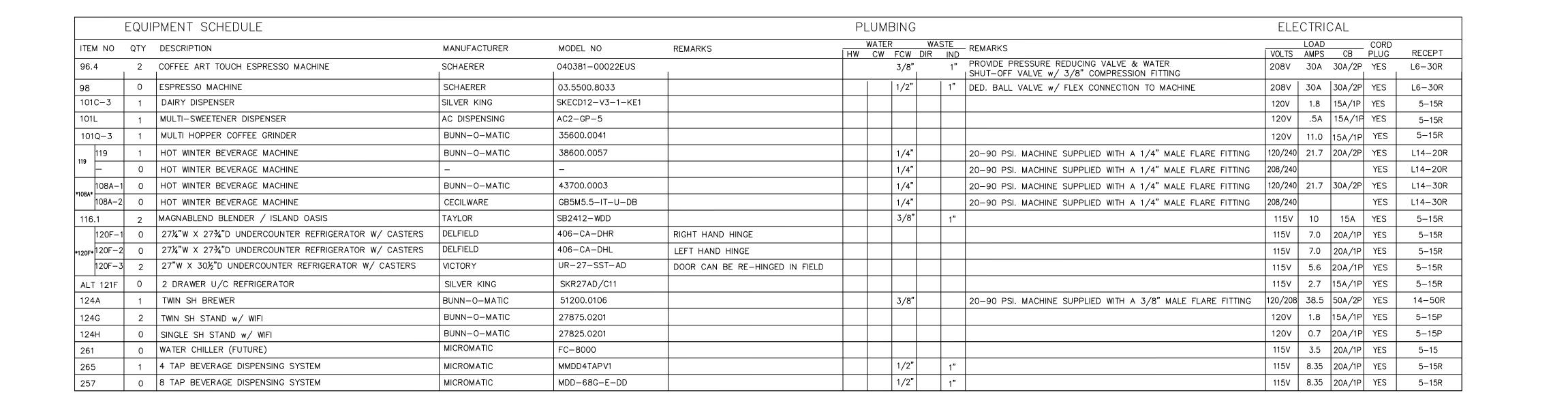
J JUNCTION BOX

TO NEW MENU/SPEAKER

KEYED NOTES:







JOHN S.

License Number 8725

POS LEGEND GENERAL NOTES: A. REFER TO HTTP://EXTRANET.DUNKINBRANDS.COM FOR A LISTING OF APPROVED POS VENDORS BY CONCEPT. POINT OF SALES TERMINAL CAM SECURITY SYSTEM CAMERA FINAL POS DRAWINGS NEED TO BE PROVIDED TO POS VENDOR THAT IS SELECTED. PCD | VDU | VIDEO DISPLAY UNIT PRICE CONFIRMATION DISPLAY POS VENDORS REQUIRE DEDICATED ISOLATED GROUNDED (DIG) OUTLETS ON A 20 AMP CIRCUIT DEDICATED ONLY TO POS EQUIPMENT. 60HZ, 120+/-10%. ALL POS TERMINALS AND VIDEO DISPLAY DEVICES REQUIRE A DUPLEX OUTLET. R ROUTER THE BACK OFFICE CONTROLLER REQUIRES A QUAD OUTLET. THE NETWORK SWITCH REQUIRES A DUPLEX. IF ORDER STATUS BOARD FEDERAL, STATE, AND LOCAL WIRING CODES DO NOT MEET THIS REQUIREMENT, CONTACT THE POS VENDOR FOR SITE CONTROL (SELF-MOUNTING) KIOSK INFORMATION ON ADDITIONAL EQUIPMENT THAT CAN BE PURCHASED TO MEET THIS REQUIREMENT. IF THIS KIOSK SWITCH RADIANT ONLY SW REQUIREMENT IS NOT MET, THE POS SYSTEM WARRANTY IS INVALID. RP RECEIPT PRINTER DIGITAL MENU BOARD SWITCH ALL POWER INDICATED ON THIS PLAN MUST HAVE A THIRD WIRE, ISOLATED GROUND, AND BE TERMINATED WITHIN (4) SW FEET OF THE DEVICE. PP PREP PRINTER DMB DIGITAL MENU BOARD IG-5362 RECEPTACLES MUST BE USED FOR ALL POS UNITS. VDU UNITS AND SITE CONTROLLER UNIT (IN OFFICE). EXT DRIVE THRU EXTERIOR DIGITAL LABEL RECEPTACLES "POS ONLY". FAX FAX DMB MENU BOARD ALL LOW VOLTAGE WIRE SHALL BE CATEGORY 5e UNLESS OTHER WISE INDICATED. TEMP TEMP WIRELESS DIAL UP BACK-OF-HOUSE PC ALL LOW VOLTAGE CABLE TERMINATIONS SHALL BE BY THE ELECTRICAL CONTRACOR DRIVE THRU ORDER UPS CONFIRMATION BOARD LOW VOLTAGE CABLE RUN IN 1/2" CONDUIT FOR POS EQUIPMENT ONLY, AND MUST BE TERMINATED WITH RJ45 JACKS. ALL POS EQUIPMENT LINES TERMINATE AT THE FRONT COUNTER CHASE. DRIVE THRU DIGITAL PREVIEW BOARD DPB MODEM A 12" MINIMUM SEPARATION MUST BE MAINTAINED BETWEEN LOW VOLTAGE WIRES AND POWER WIRING (TO AVOID DRIVE THRU DIGITAL PREVIEW BOARD DPB ELECTRICAL INTERFERENCE). SW SWITCH OTT VOICE OVER-IP VOIP (PHONE) BRAND REQUIREMENTS DICTATE THAT A MINIMUM OF THREE CONDUITS BE USED FOR DATA LINES BETWEEN THE ORDER TAKER TERMINAL VOIP OFFICE AND OTHER PARTS OF THE STORE- ONE CONDUIT IS TO BE DEDICATED TO POS WIRING, ONE FOR DIGITAL MENUBOARD DATA LINES, AND ANOTHER FOR NON-POS ITEMS (I.E. SECURITY CAMERAS, DT TIMERS, HEAD SET DRIVE THROUGH CONSOLE DTC **BUMP BAR** EXACT # OF RECEPTACLES ON OFFICE MUST BE COORDINATED ON A PROJECT-BY-PROJECT BASIS IN TERMS OF DTT DRIVE THROUGH TIMER ■ VIDEO DISPLAY UNIT EQUIPMENT LOCATED IN THE OFFICE VERIFONE SWITCH ALL CEILING MOUNTED VDU'S TO BE SUSPENDED FROM UNISTRUT BY THREADED ROD W/ WHITE PVC SLEEVE. CONNECT UNISTRUT TO ROOF STRUCTURE. VDU BY POS VENDOR; UNITSTRUT & THREADED ROD BY G.C. UNISTRUT PT PAYMENT TERMINAL POINT OF SALE TERMINAL TO SUPPORT MINIMUM 50 LB. WEIGHT SCANNER VDU MOUNTING HEIGHTS (TO BOTTOM OF MONITOR) ARE AS FOLLOWS: CASH DRAWER DR a. SANDWICH STATION - 68" A.F.F. b. DRIVE THRU - 61" A.F.F. POS EQUIPMENT TAG CD COIN DISPENSER DIGITAL MENUBOARD PREP WIRING: → DUPLEX RECEPTACLE MWS a. PROVIDE BOX, PLATE AND 1" DIA. CONDUIT FROM FROM (2) QUAD DATA OUTLETS IN MENUBOARD SOFFIT TO (2) MANAGER'S WORKSTATION QUAD DATA OUTLETS IN OFFICE WALL. EITHER (A) PROVIDE PULL STRING IN EACH CONDUIT (CAT 5 CABLING AND △ DATA OUTLET, RJ45 FINAL DATA CONNECTIONS BY DMB VENDOR), OR (B) PROVIDE ALL CAT 5 CABLING AND FINAL CONNECTIONS TO DVR **DVR SECURITY SYSTEM**

DATA PLATES/BOXES- COORD. W/ F'EE

*	QTY	DESCRIPTION	LOCATION	VOLTS	LOAI AMPS	D CB	TRANS FORMER	LOVO TERM	REMARKS
	POS	EQUIPMENT			,				
1	4	POINT OF SALES TERMINAL (POS)	(2) FRONT COUNTER (1) D/T (1) D/T OT	100-120V	2.0	20A/1P	NO	RJ45	SHARES CIRCUIT WITH POS ITEMS 2 & 12
2	3	RECEIPT PRINTER	(2) FRONT COUNTER (1) D/T	100-240V	2.0	20A/1P	YES	RJ45	SHARE CIRCUIT WITH POS ITEMS 1 & 12
3	5	PREP PRINTER	(1) COFF.STATION (1) BEVERAGE STATION (2) SANDWICH (1) OTGO PRINTER	24/34V	1.2	20A/1P	YES	RJ45	
4	4	VDU	(1) BEVERAGE STA (1) SANDWICH	100-240V	1.5	20A/1P	NO	N/A	SHARES CIRCUIT
5	4	VDU CONTROLLER (PC BASED)	(1) EXPEDITER @ D/T (1) EXPEDITER @ HAND OFF	100-120V	1.0	20A/1P	YES	RJ45	
6	1	POS NETWORK HUB/ SWITCH	POS COFFEE FRONT CHASE	100-120V	0.5	20A/1P	YES	RJ45	SHARES CIRCUIT WITH POS ITEMS 1, 2 & 1:
7	1	PC SITE CONTROLLER EXTERNAL	OFFICE	100-120V	4.0	20A/1P	NO	RJ45	· · · · · · · · · · · · · · · · · · ·
7a	1	PC SITE CONTROLLER INTERNAL	OFFICE	100-120V	4.0	20A/1P	NO	RJ45	
8	1	PRINTER/FAX/COPIER (BOH)	OFFICE	100-120V	8.2	20A/1P	NO	N/A	
9	3	SCANNER	(2) FRONT COUNTER (1) D/T				NO	RJ45	CONNECTED TO POS UNITS
10	3	PRICE CONFIRMATION DISPLAY	MOUNT OUTSIDE @ D/T WINDOW & BEHIND FRONT POS UNITS				NO	RJ45	CONNECTED TO D/T POS UNIT
11	0	NOT USED	A DELINA LIVONI LOS ONIO						
12	3	CASH DRAWER	UNDER CTR @ FRONT & D/T	N/A	N/A	t	NO	RJ45	SHARES CIRCUIT WITH POS ITEMS 1 & 2
13	0	NOT USED	-	N/A	N/A		NO	RJ45	VERIFY ALL ELECT & POS REQTS w/ MANUI
14	3	PAYMENT TERMINAL	(2) FRONT COUNTER	100-240V	0.5	20A/1P	NO	RJ45	VERIFY ALL ELECT & POS REQTS w/ MANUI
'	J		(1) D/T	<u> </u>	 	<u> </u>			
l4a	3	VERIFONE SWITCH	(2) FRONT COUNTER (1) D/T			<u></u>	<u></u>	<u> </u>	CONNECTED TO POS (1)
30	1	ORDER STATUS BOARD	(1) FRONT COUNTER						VERIFY ALL ELECT & POS REQTS w/ MANU
			OTHER COMMUNICATION DE						
5	1	DRIVE THROUGH (DT) TIMER CONSOLE	OFFICE	120V	N/A		NO NO	RS232	MUST BE WITHIN 60FT OF DISPLAY
6	1	DT TIMER VDU DISPLAY	DUONE & DATA LINEO	LOW VOLT	N/A	<u> </u>	NO		
, 1	^	SPARE	PHONE & DATA LINES	100000	N1/A	<u> </u>	N1/A	D.115	
8	0		OFFICE	LOW VOLT	N/A		N/A	RJ45	
9A	0	SPARE	OFFICE	LOW VOLT	N/A	 	N/A	RJ45	FAVILING FOR OFFICE
0	1	FAX LINE	OFFICE	LOW VOLT	N/A	-	N/A	RJ45	FAX LINE FOR OFFICE
21	1	PHONE LINE	OFFICE	LOW VOLT	N/A	-	N/A	RJ45	PHONE LINE FOR OFFICE
:2	0	NOT USED	OFFICE	LOW VOLT	N/A	-	N/A	RJ45	EOD SITE CONTROLLED & BOLLDO
4	1	HIGH SPEED INTERNET LINE (MNS) SYSTEM SECURITY DVR	SECURITY SYSTEM	LOW VOLT	N/A N/A	<u> </u>	N/A N/A	RJ45 RJ45	FOR SITE CONTROLLER & BOH PC PLUGS INTO ROUTER PORT#2
25	8	DIGITAL MENU BOARD	OFFICE/SERVICE AREA	LOW VOLT	N/A N/A	-	N/A	RJ45 RJ45	PLUGS INTO ROUTER PORT#2 PLUGS INTO ROUTER PORT#4
26	1	WIFI	OFFICE/SERVICE AREA	LOW VOLT	N/A		N/A	RJ45	PLUGS INTO ROUTER PORT#5
26a	0	SECONDARY WIFI ACCESS POINT (OPT)	OFFICE	LOW VOLT	N/A	 	N/A	RJ45	PLUGS INTO ROUTER
27	1	OTT VOIP (PHONE)	OFFICE	LOW VOLT	N/A	 	N/A	RJ45	PLUGS INTO ROUTER
	'	orr voii (i mone)	MUSIC SYSTEM	12011 1021	1	<u> </u>	1 .,,,	1	7 2000 HVIO 1100121V
8	1	MUSIC PLAYER	OFFICE	<u> </u>	1				
9	0	NOT USED	011102						
			WORKSTATION			<u> </u>	ļ	<u> </u>	
31	1	MANAGER'S WORKSTATION	OFFICE		T				
2	0	MANAGER'S WORKSTATION (OPT)			†				
		. ,	FIREWALL	!	•	•		ļ	1
3	1	FIREWALL	OFFICE	LOW VOLT	N/A		N/A	RJ45	
4	1	BROADBAND MODEM	OFFICE	LOW VOLT	N/A		N/A	RJ45	
5		TEMPORARY WIRELESS BROADBAND DIAL-UP DATA	OFFICE						
36		SOLUTION NOT USED			+	-			
7		NOT USED			 	-			
			SWITCHES	<u> </u>	<u> </u>	<u> </u>	<u> </u>	<u> </u>	<u> </u>
8	1	SWITCH	OFFICE	Ι	Τ				
9	1	DD UTILITY SWITCH (OPT)	OFFICE		+				
0	1	DVR NETWORK SWITCH	OFFICE		†	<u> </u>			
1	1	DIGITAL MENU BOARD SWITCH	OFFICE		†				
2	1	KIOSK SWITCH	OFFICE						
3				<u> </u>	1				
4									
	1		MENU BOARD						•
5	4	INT DIGITAL MENU BOARDS			T				
6	2	EXT DIGITAL MENU BOARDS	EXTERIOR DRIVE THRU		1	İ			
7	0	DRIVE PREVIEW BOARD	EXTERIOR DRIVE THRU						
						1			

||DIGITAL MENU BOARD RESPONSIBILITIES |||CONDUIT NOTES

- GC POWER/DATA RESPONSIBILITY
- EC TO RUN DEDICATED CONDUIT FROM POWER PANEL TO JUNCTION BOX ON BACK SIDE OF MENU BOARD FASCIA AT CENTER LINE OF POS
- EC TO RUN CONDUIT WITH J-BOX FROM BACK SIDE OF MENU BOARD FASCIA AT CENTERLINE OF POS TO OFFICE
- DMB VENDOR POWER/DATA RESPONSIBILITY
- CUT HOLE IN MENU BOARD FASCIA FOR POWER/DATA STACK IN STALL POWER/DATA STACK IN FASCIA
- RUN ELECTRICAL CONDUCTOR WIRE FROM MENU BOARD FASCIA TO ELECTRICAL PANEL
- MAKE FINAL ELECTRICAL CONNECTION AT POWER/ DATA STACK MAKE FINAL ELECTRICAL CONNECTION TO CIRCUIT AT POWER PANEL
- RUN CAT-5E CABLES AND TERMINATE ENDS AT MENU BOARD FASCIA POWER/DATA STACK AND IN OFFICE
- *PRIOR TO BIDDING OR PERFORMING WORK GC TO COORDINATE WITH AUTHORITY HAVING JURISDICTION (AHU). AHU MAY REQUIRE FULL WIRE PREP BY EC. GC TO ALERT CM, F'EE AND DMB INSTALLER IF EC MUST PERFORM ALL ELECTRICAL INSTALL WORK.

- DMB: PROVIDE (8) CAT 5 WIRE PULLS FROM (2) QUAD DATA OUTLETS IN MENU BOARD SOFFIT TO (2) QUAD DATA OUTLETS IN
 - OFFICE WALL 2 CONDUITS MIN SHALL BE USED BETWEEN
 - OFFICE & OTHER PARTS OF THE STORE 1 CONDUIT FOR POS WIRING ONLY 1 CONDUIT FOR NON-POS ITEMS

KIOSK NOTES

- G.C. TO PROVIDE A POWER / POS STUB OUT FROM WALL FOR ELECTRICAL/DATA CONNECTIONS AT ORDER KIOSK.
- 20A CIRCUIT & (3) CAT-6 DATA CABLES EA - ALL WIRING & FINAL LOC'Ns TBD IN FIELD w/ FRANCHISEE & MANUF REQUIREMENTS.

KEY PLAN

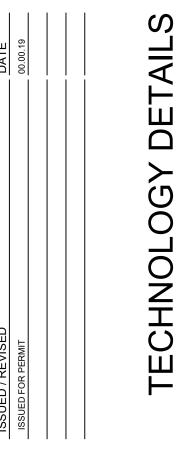
1/8"=1'-0"

PROVIDE WIRING FROM KIOSK TO FRONT LINE POS AREA FOR "REMOTE ASSISTANCE" w/ LIGHT AT POS UNIT -CONFIRM ALL REQUIREMENTS w/ MANUF.

OHN S VACI, Architect
1138 BERWICK ROAD
BIRMINGHAM, AL 35242
205.541.7898
john@johnvaciarchitect.com



Lagunita Franchise Operations Tony Antoon/Lee Millwood lee@lfops.com 601.940.6914



PANEL DP 600 AMP BUSS 600 AMP MLO SURFACE MOUNTED 22,000 VOLT AIC SQUARE D - I LINE 3/0 200 200 3/0 122 92 PANEL A PANEL B 2 7 PANEL C 200 3/0 77 51 RTU-2 8 RTU-1 $\int 60 \ 6 \ \frac{51}{23}$ 19 TURBO CHEF 30 10 29 8 23 TURBO CHEF 30 10 30 36 38 40 TOTALS 505 570 554

PANEL B SURFACE MOUNTED 208/120 VOLT SQUARE D - NQOD BKR. WIRE CONNECTED LOAD AMPS WIRE BKR. CIRCUIT SIZE SIZE A B C SIZE SIZE DESCRIPTION TOILET GFI'S 3 PEPSI REFRIG. VDU 11 POWER BASE 20 12 13 GENERAL 20 12 2 12 | 20 | U/C REFRIG. | 14 10 30 DUNKACCINO 16 19 HEAT TAPE 12 20 SAND. STATION 22 21 ICE MACHINE 20 12 20 10 30 ESPRESSO 24 25 ORDER TAKER 20 12 10 2 PRINTER 12 20 COOLATTA 28 P.O.S. + PRINTER PRINTER 12 20 DONUT DISPLAY 32 12 20 DONUT DISPLAY 34 HAND DRYER HAND DRYER 12 20 DONUT DISPLAY 38 VDU

PANEL A 208/120 VOLT 3 PHASE 4 WIRE

5 DUAL GRINDER 20 12

WARMER

21 HOLDING UNIT 20 | 12 |

VDU

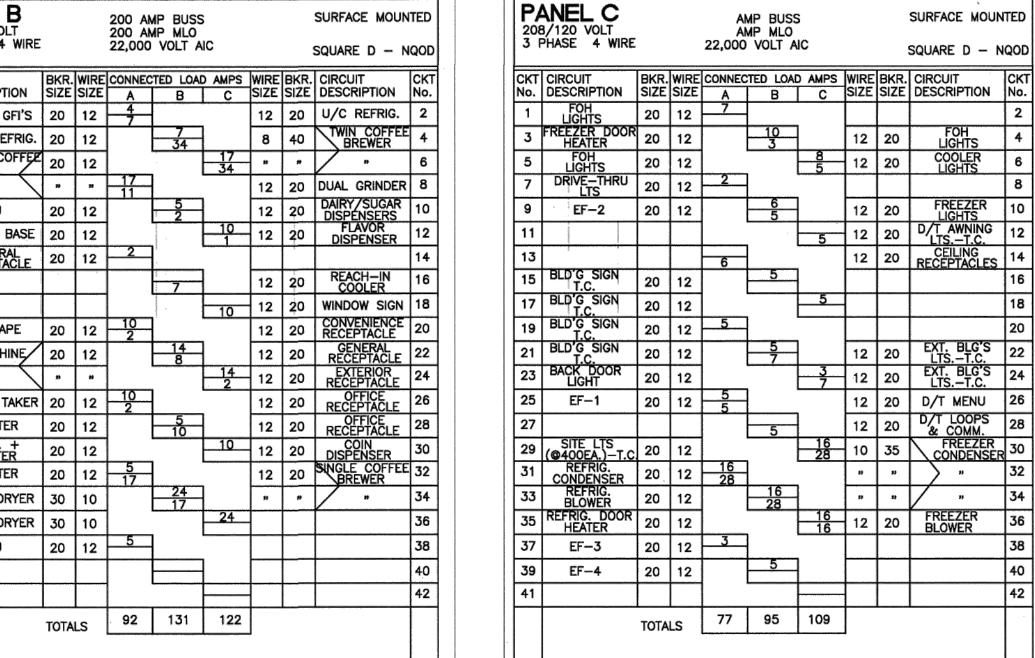
31 U/C REFRIG.

7 D/T WINDOW 20 12 5

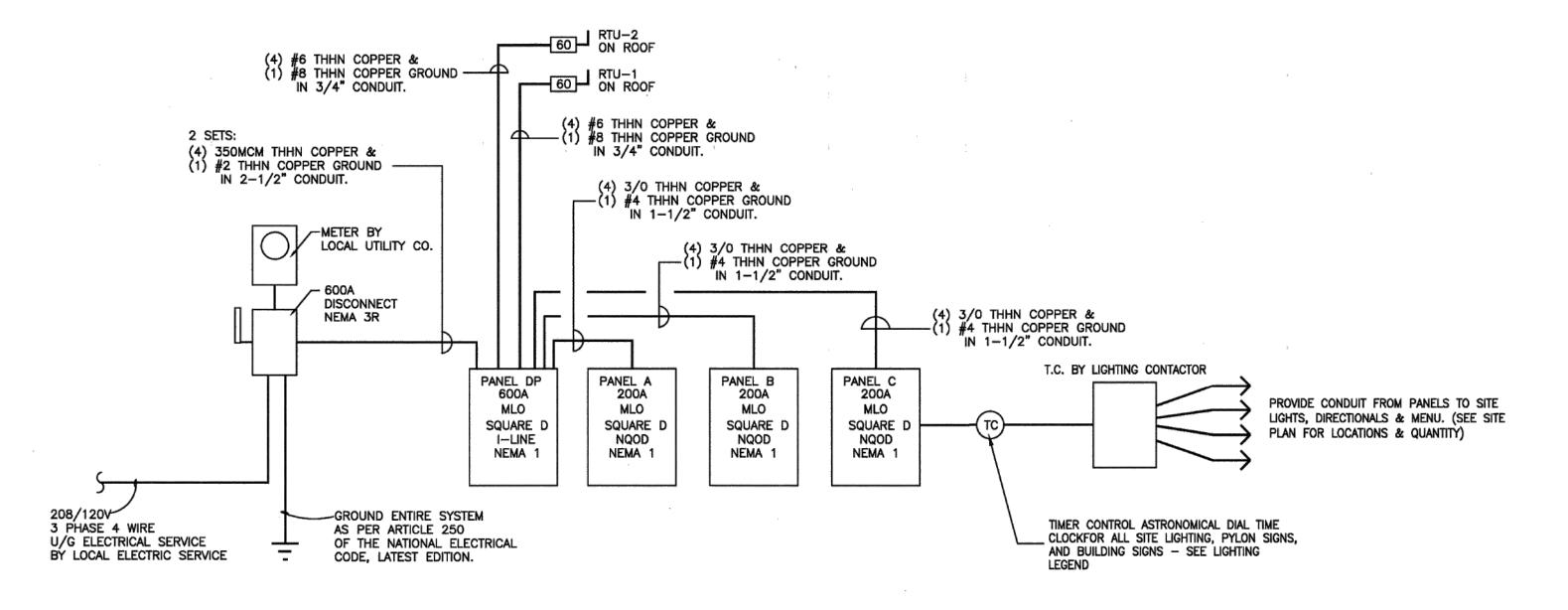
20 12 5

TOTALS 122 135 123

200 AMP BUSS 200 AMP MLO 22,000 VOLT AIC



EXISTING PANELS/RISER FOR REFERENCE ONLY



NOTE: VERIFY ELECTRICAL SERVICE AND ALL ELECTRICAL LOADS PRIOR TO BID.

GROUNDING NOTES:

-PROVIDE CONCRETE-ENCASED ELECTRODE (UFER FOR GROUNDING OF ELECTRIC SERVICE EQUIPMENT AS REQUIRED BY THE LOCAL JURISDICTION). -PROVIDE BARE SOLID #4 COPPER CONDUCTOR, MINIMUM 20' LONG. -PROVIDE GROUNDING ÉLECTRODE CONDUCTOR IN BUILDING FOOTING CONCRETE PER N.E.C.

ELECTRICAL RISER DETAIL SCALE: NONE

RE TRICAL ELS/RISE



City of Bryant, Arkansas Community Development 210 SW 3rd Street Bryant, AR 72022 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community

Development tab.

Date: 8-9-24	Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.
Sign Co. or Sign Owner	Property Owner
Name Southern Deslins	Name_SRS DISTRIBUTORS
Address 406 Hary 5 N	Address
City, State, Zip BENTON, AR 77519	City, State, Zip BOYANT AR
Phone 501 -563-4725	Phone
Email Address south pour clesigns @ yahar com	Email Address - hay crance Srsbuilding
GENERAL INFORMATION	
Name of Business SKS BUILDING PROC	WCTS
Address/Location of sign Z S ム 3 - 1- 30	
Zoning Classification	

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I ________, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

	SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
					Top of Sign	Bottom of	
			PT SET			Sign	
EXISTING	A	POLE	4.5x12.5x	56.25	ZSFT	1471	
NEW	В	WALL	3FTX 7 FT	21	9	7	
EXISTING	C	WALL	7 # 130°	120	· 21 FT	WAFT	
	Е						
	F						
	G						



Renderting

Project: SRS Building Products
Description: Exterior building sign updates

Artwork Approved By:

515 N. East St. Benton, AR. 72015

(501) 563-4725

Date:









7ft x 30ft existing cabinet

Southpaw Designs. All rights reserved. Any unauthorized usage, duplication of or any reasonable likeness thereof shall be considered infringement *NOTICE: All designs, structural and installation engineering ideals and original artwork and applications thereof are the intellectual property of and proper legal recourse will be taken upon all parties involved in design, production, construction, installation and display in any form.



Rendering

Marie Control of the	Marine Street Co.		
£			
	s of	s of all l	s of all Kind

Artwork Approved By: _____

515 N. East St. Benton, AR. 72015 (501) 563-4725 southpawdesigns@yahoo.com

Date: _____

Project: SRS Building Products

Description: Existing roadside cabinet with new face



*NOTICE: All designs, structural and installation engineering ideals and original artwork and applications thereof are the intellectual property of Southpaw Designs. All rights reserved. Any unauthorized usage, duplication of or any reasonable likeness thereof shall be considered infringement and proper legal recourse will be taken upon all parties involved in design, production, construction, installation and display in any form.



City of Bryant, Arkansas Community Development 210 SW 3rd Street Bryant, AR 72022 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 8-14-24	Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.			
Sign Co. or Sign Owner	Property Owner			
Name_Image 360	Name_Tim Towlor			
Address SdO W. 65th St	Address 4430 Hwy 5 N, 5+6			
City, State, Zip Little Rock, AR 72209	City, State, Zip Bryant, AP72022			
Phone 501-225-6645	Phone 870-310-6074			
Alternate Phone <u>501-326-133</u> 6	Alternate Phone			
GENERAL INFORMATION				
Name of Business Taylor Health &				
Address/Location of sign 4430 Hwy 5 N, Stude 6 Byant				
Zoning Classification				
Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.				
READ CAREFULLY BEFORE SIGNING do hereby certify the sign Ordinance in the sign Ordinance in the sign Ordinance regarding the sign Ordinance regarding the sign Ordinance is the sign Ordinance regarding the sign Ordinanc	ess of approval if further cortifue that the property is			

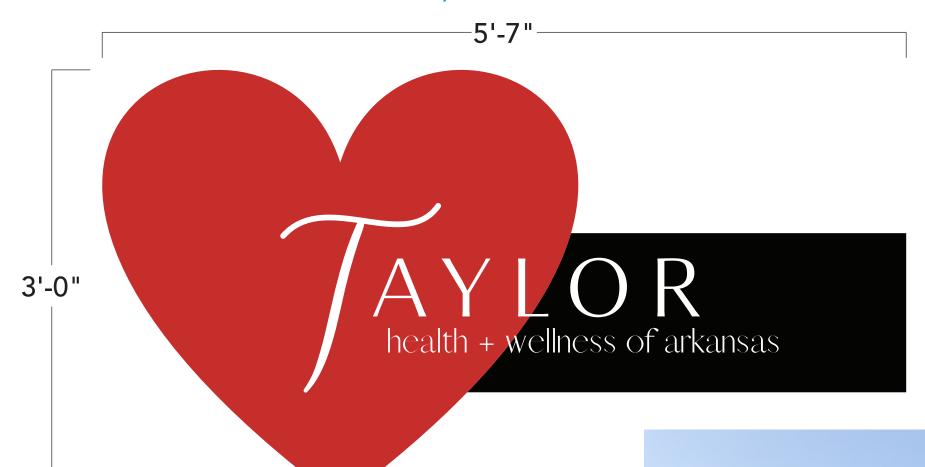
that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that It is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

Sign	Type (Facade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Soft (Meastred in Whote as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval	
				Top of Sign	Bottom of Sign		
Α	FACADE	67" x 36" h x 5"	16.8 sy ft				
В		1	<i>U v</i>				
С							
E					<u> </u>		
F							
G							



TAYLOR HEALTH & WELLNESS - BRYANT, AR



Lit Sign on Raceway

QTY: 1

Scale: 11/2" = 1'-0"





Graphics > Signage > Displays

5610 W. 65th St. Little Rock, AR 72209 501-225-6645 image360littlerock.com

Job #:

146640

Customer:

Taylor Health & Wellness

Address:

4430 Hwy 5 N, Suite 6 Bryant, AR 72022

Customer Approval:

Date:

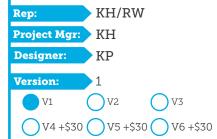
Please be sure that all the information on this drawing is correct. Your product will be manufactured based on these drawings. Any revisions after fabrication has commenced will be billed to the customer. If there are any questions as to color, size, or placement, now is the time to clarify them. Due to the difference between, paint, plastic, and other materials, colors printed on this proof or colors viewed on screen may not match actual finish and colors. All colors must be confirmed and initialed prior to production.

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Listed & Approved

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



Date:

8/12/24

Sheet:

Affidavit of Publication

STATE OF ARKANSAS }
COUNTY OF SALINE }

SS

, being duly sworn, says:

That she is Lisa McElrath of the The Saline Courier, a daily newspaper of general circulation, printed and published in Benton, Saline County, Arkansas; that the publication, a copy of which is attached hereto, was published in the said newspaper on the following dates:

August 13, 2024

That said newspaper was regularly issued and circulated on those dates.

SIGNED:

Lisa McElrath

Subscribed to and sworn to me this 13th day of August 2024.

Rhonda Overbey, Notary, Saline County, Arkansas

RHONDA OVERBEY Notary Public - Arkansas Saline County Commission # 12721758

My Commission Expires Jan 29, 2033

My commission expires: January 29, 2033

01123640 00177936

Karen Krkham (28) 3108 Glennbrook St Bryant, AR 72022 NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, September 9th, 2024 at 6:00 pm. at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline County, for the purpose of public comment on a conditional use request at the site of 3108 Glennbrook St., Bryant, AR 72022. A legal description of this property can be obtained by contacting the Bryant Department of Community Development.

Lance Penfield Chairman of Planning commission City of Bryant

Today in History: August 13, East Germany closes Berlin border

Today is Tuesday, Aug. 13, the 226th day of 2024. There are 140 days left in the year.

Today in history: On Aug. 13, 1961, on what would become known as Barbed Wire Sunday, East Germany sealed the border between Berlin's eastern and western sec-tors before building a wall that would divide the city for the next 28 Also on this date: In 1521, Spanish conqueror Hernando Cortez captured Tenochtitlan, present-day Mexico City, from the Aztecs

In 1792, French revo-lutionaries arrested and imprisoned King Louis XVI; he would be exe-cuted by guillotine the following Louisus following January.

In 1889, William Gray of Hartford, Connecticut, received a patent for the first coinoperated telephone.

In 1918, Opha May Johnson became the first woman to join the U.S. Marine Corps. In 1952, Big Mama Thornton first recorded the song "Hound Dog," four years before Elvis Presley's famous version was released.

In 1969, New York City held a ticket-tape parade for Apollo 11 astronauts Neil Armstrong, Edwin "Buzz" Aldrin and Michael Collins. In 1995, Baseball

Hall of Famer Mickey Mantle died at a Dallas hospital of rapidly

spreading liver cancer at age 63. In 2011, seven people were killed when a stage collapsed at the Indiana State Fair during a powerful storm

just before a concert was to begin. In 2020, in an inter-view on Fox Business Network, President Donald Trump acknowledged that he was starving the U.S. Postal Service of money in order to make it harder to process an expected surge of mail-in ballots.

Today's Birthdays: Former U.S. Surgeon General Joycelyn Elders is 91. U.S. Treasury Secretary Janet Yellen is 78. Opera singer Kathleen Battle is 76. High wire aerialist Philippe Petit is 75. Hockey Hall of Famer Bobby Clarke is 75. Golf Hall of Famer Betsy King is 69 Movie director Paul

Greengrass is 69. Actor Danny Bonaduce is 65. TV weatherman Sam Champion is 63. Actor Dawnn Lewis is 63. Actor John Slattery is 62, Actor Debi Mazar is 60. Figure skater Midori Ito is 55. Country singer Andy Griggs is 51. White House Press Secretary Karine Jean Pierre is 50. Arkansas Governor Sarah Huckabee Sanders is 42. Actor Sebastian Stan is 42. Actor Lennon Stella is 25.

OURIER CLASSIFIEDS

PLACE AN AD

To get your ad in the Courier, call 501-315-8228 Monday online at bentoncourier.com, come by the office at 321 N. Market St. in Benton or mail o PO Roy 207 Benton AR 72018. We accept Visa, Master Card, Discover, and merican Express.

∫YARÐ

SALES

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*Price doesn't include charge for graphic, TMC rate, or internet. Price is subject to change.

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on our website.... bentoncourier.com Just go to website and follow the steps. Email us at: dass2@bentoncourier.com

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FIND AN AD MIRE LEGIS

APPOINTMENT 501-920-1895

AUCIION

COMPLETE HOME
LTQ UID ATTION
AND Hocated at Ponders Auction Gallery
LTQ UID ATTION
AUCTION - Sat.,
AUG. 17th, 9am. 59
Mini Storage and the discovery of the property Auction

Services

Legal Notices

NOTICE OF PUBLIC HIEARING
A public hearing will be held on Monday,
September 19, 2024 (6.00 pp. at the Bryant
City Office complex, 210 senthword 3rd
Street, City of Bryant, Saline County, for the
purpose of public comment on a conditional
use request at the site of J108 (Gembrons Kz),
Bryant, AR 72022. A legal description of this
property can be obtained by contacting the
Bryant Department of Community Development.

Lance Penfield Chairman of Planning commission City of Bryant

Company seeking stay at home Mom to work part time from home needing to earn \$500 to \$1000 to help with bills, send email to: okiebal@gmail.com

Yard Sale Auction Services Services Services

Legal Notices

LOGAL NOLCES

INVESTOR CARS - 501-961-9600

7123 COLONIEL MAYNARD ROAD SCOTT, AR 72142

THE FOLLOWING VEHICLE(S) WILL BE SOLD AT 19BLIC AUCTION ON SEPT 14TH. 2024 AT 7'00 AM REGISTER BY SEPT 13.
2024. VEHICLE(S) IS BEING HELD AND SOLD AT INVESTOR ACRS. 7122 COL MAYNARD NO. SOLOTT, AR 7210 450 1986-19800.
FERRICAL STATE OF THE SOLOTT OF THE VEHICLE ON STITUTES A WAIVER BY OWNER AND LIEN HOLDER OF ALL RIGHT TITLE. AND INTEREST IN THE VEHICLE AND ITS CONTENTS. IN ADDITION IT CONSTITUTIES THEIR CONSENT TO THE SALE. DISMANTLING, OR DESTRUCTION OF VEHICLE AND ITS CONTENTS. INVESTOR CARS ILLAIMS APPOSED SORY LIEN FOR ALL CHARGES. OWNERS AND LIEN HOLDERS SEEKING TO TO RECLAM VEHICLE STORM VEHICLE STORM OF THE SOLOTTON AGE SHOULD CONTACT INVESTOR CARS PRIOR TO AUCTION AND PAY ANY AND ALL FEES.

Legal Notices

IN THE CIRCUIT COURT OF SALINE COUNTY, ARKANS AS PROBATE DIVISION

IN THE MATTER OF THE ESTATE OF AUDRA S. LARUE, DECEASED

CASE NO. 63PR-24-411 NOTICE

John M. LaRue, Administrator; 8707 Kling Road, Mabelvale, AR 72103 Law Office of Paul D. White, P.A.; 301 Roya Lane, Suite 4; P. O. Box 710; Byyant, AR 72089-0710; (Ark. Bar No. 92198) Attorney for the Es-tate

Legal Notices

IN THE CIRCUIT COURT OF SALINE COUNTY, ARKANSAS THIRD DIVISION

Case No.: 63CV-24-1159

JAMES GARY OTIS MAY, deceased, and his unknown heirs, JOANNA MAY, and JACQUELINE MAY RESPONDENTS

The following lands in Saline County, Arkansas:

LOT 12 OF SMITH ACRES, A SUBDIVISION TO SALINE COUNTY, ARKANSAS.

NOTICE OF QUIET TITLE ACTION

Notice is hereby given that a Petition has been filed in the office of
the Circuit Clerk of Saline County, Arkansas, to quiet and confirm
title in and to the following described property at Saline County,
Arkansas:
LOT 12 OF SMITH ACRES, A SUBDIVISION TO SALINE
COUNTY, ARKANSAS.

COUNTY, ARKANSAS.

Any person claiming any title or interest of any kind to such property is hereby notified to appear bacein on or before 30 days from the first date of publication of this notice to assert his/her title or interest in such property and to demonstrate why title to this property should not be quieted and confirmed in the Plaintiff.

WITNESS my hand and seal of the Court this 19thday of July, 2022.

Address of Clerk's Office

200 North Main Street, Ste 113 Benton, AR 72015

/s/ Debbie Rowan Clerk or Deputy Clerk

Services

Prepare for power outages today with a GENERAC home standby generator 50 Money Down + Low Monthly Payment Options, Request a FREE Quote - Call now before the next power outage: J-877 319-0598

member in Prison who was WRONG-FULLY CON-FULLY CON-VICTED? Over pun-ished? * Treated Un-fairly? * Innocent but Pressured to Confess? * Convicted by Wil-nesses who fied? I MIGHT BE ABLETO HELP Call Attorney Larry Freelich 479-521-3939

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Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 8-8-2024	
Applicant or Designee:	Project Location:
Name with & Karen Kir Kham Address 3108 Glenn brook St	Property Address 3108 Glennbrook St
Phone 501 993 7372	50 Jan 1 20 22
	Parcel Number
Email Address: KKirkhan 5@gma.	Com
Property Owner (If different from Applicant):	
Name	
Phone 501-351-2410 - C	rtis
Address	
Email Address (E Kukham 3 @ gn	rail. com- Cuthe
Additional Information:	
	Block 3 Sherwood States e County, Arkansas
have to put in a Nusin	her in law. W/ dementia Can take care of him some donot g home.
Proposed/Current Use of Property Storage	e - tool Shop

Application Checklist

Requirements for Submission

Letter stating request of Conditional Use and reasoning for request Completed Conditional Use Permit Application
Submit Conditional Use Permit Application Fee (\$125)
Submit Copy of completed Public Notice
Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
 Submit eight (8) Copies of the Development Plan (Site Plan) showing: Location, size, and use of buildings/signs/land or improvements Location, size, and arrangement of driveways and parking. Ingress/Egress Existing topography and proposed grading Proposed and existing lighting Proposed landscaping and screening Use of adjacent properties Scale, North Arrow, Vicinity Map Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process.

Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, _	Septe	mber 9th, 20,	2 <u>4</u> at 6:00 P.M.
at the Bryant City Office Complex, 210 So	uthwest 3	Street, City of	Bryant, Saline
County, for the purpose of public commen	it on a con	ditional use requ	uest at the site of
3108 Glennbrook St. Bry	ent, AR	72022	(address) .
A legal description of this property can be	obtained	by contacting the	e Bryant Department
of Community Development.			

Lance Penfield Chairman of Planning Commission City of Brýant

This notice is to be run in the legal notices section of the Saline Courier no less than 15 days prior to the public hearing.

City of Bryant Community Development 210 SW 3rd Street Bryant, AR 72022

RE:

Conditional Use Permit Application
Curtis & Karen Kirkham
3108 Glennbrook Street

Bryant, AR 72022

Dear Community Development Committee:

We are Curtis and Karen Kirkham and we reside at the above-referenced address. We are applying for a Conditional Use Permit for the extra building on our property. We obtained this property from Curtis's mother, Ruby Barnaby, who passed away Marh 11, 2023. She purchased this property in 1997 and the structure was already on the property. It already has siding, windows, a door, new roof and electricity. We need to add plumbing, new sheetrock, paint, flooring, a bathroom and kitchenette to make this an in-law suite for Curtis' father, who has beginning dementia. He does not smoke and we will not be putting a stove or oven in this structure, so fire risk will be minimal.

We already take care of my mother, who is in late-stage dementia and has been totally bedridden since March of 2020. We also take care of our two grandchildren ages 12 and 10. Their mother abandoned them when they were 4 and 2. They are here everyday after school when it is in session, throughout the summer and a lot of weekends. Our house is pretty full, which is why we need to convert this building to make room for "Pop". He is still ambulatory and needs his privacy.

We do not want to put our parents in a nursing home. We choose to care for them ourselves. Converting this building would be an ideal place for Pop to stay and to be cared for properly. Please allow us to make this a comfortable place for Pop to live out his days at home with his family.

Thank you for your time and consideration in this matter and we look forward to hearing from you soon.

Sincerely

Curtis and Karen Kirkham

urtio & Kare-Kulkam

SURVEY DETAILS AND NOTES OWNER OF RECORD:

PHYSICAL ADDRESS:

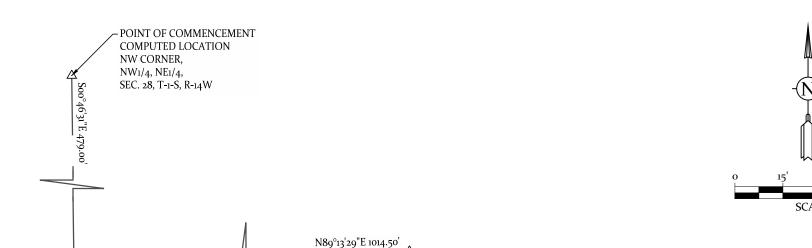
COUNTY PARCEL TAX ID:

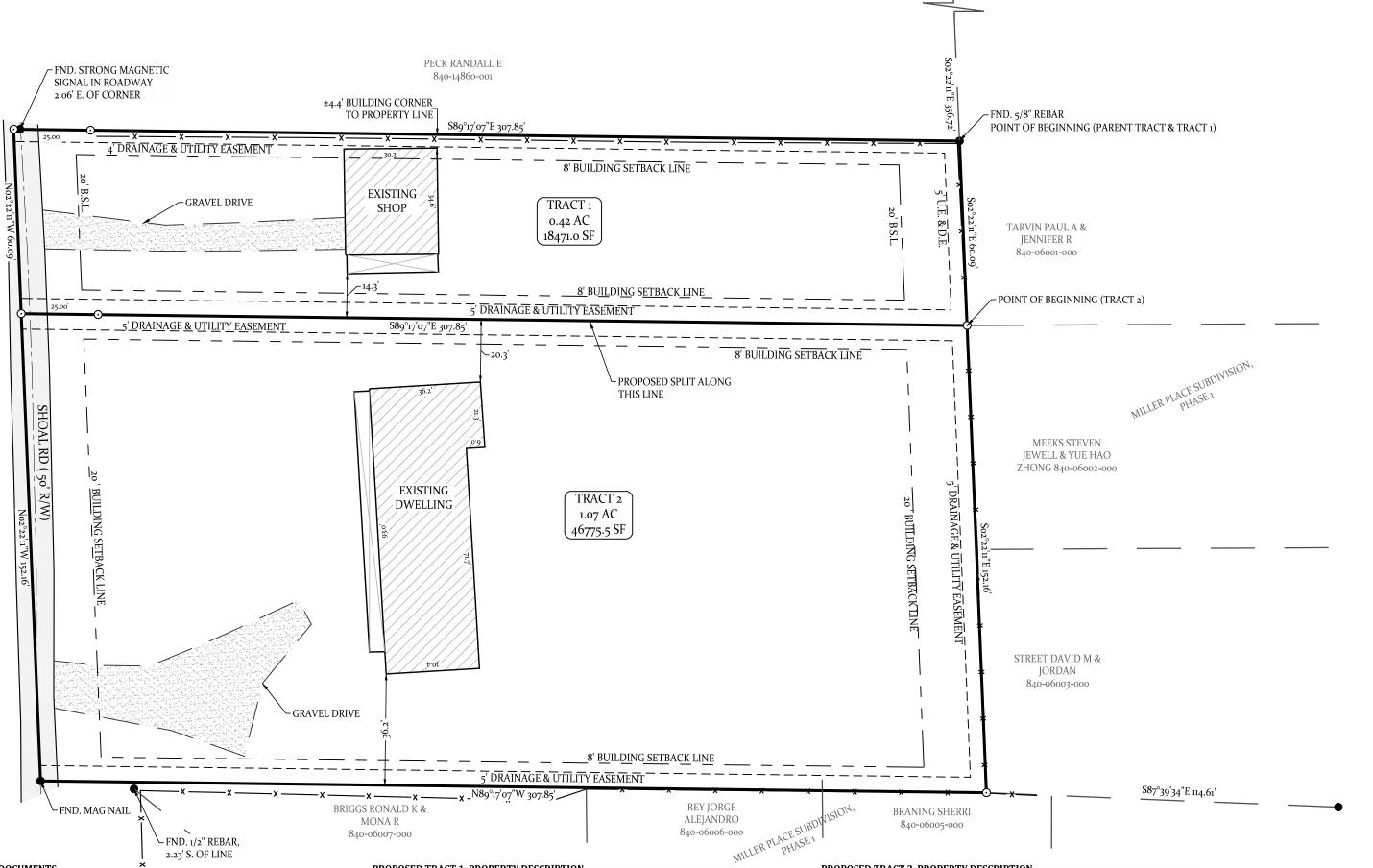
KALKBRENNER COMPANY LLC 1710 SHOAL RD, BRYANT, 72022 840-14867-000

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

OWNERSHIP INFORMATION, IF SHOWN, IS LISTED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

THIS SURVEY IS BASED ON PUBLIC RECORDS AND/OR TITLE INVESTIGATIONS FURNISHED BY THIRD PARTIES. NO INDEPENDENT SEARCH OR INVESTIGATION HAS BEEN MADE BY THIS FIRM FOR ANY RECORDS, PUBLIC OR PRIVATE. LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY; HOWEVER OTHER RECORDS, IF ANY, COULD FURTHER AFFECT THIS SURVEY. NO STATEMENT OR GUARANTEES OF OWNERSHIP, RIGHTS, OR OTHER INTERESTS ARE MADE BY THIS SURVEY PLAT.





REFERENCE DOCUMENTS 1. FINAL PLAT OF MILLER PLACE, PHASE 1,

RECORDED IN PLAT BOOK 384, PAGE 131 2. DEED OF RECORD DOC. #2024-000492 (SEE BELOW)

PARENT TRACT RECORD PROPERTY DESCRIPTION

SALINE COUNTY INSTRUMENT DEED 2024-000492

A PART OF THE NW 1/4 NE 1/4, SECTION 28, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE NW 114 NE 114, SECTION 28, THENCE RUN SOUTH 479.0 FEET; THENCE RUN EAST 1014.5 FEET; THENCE RUN SOUTH o1 DEG. 35 MIN. 40 SEC. EAST 356.72 FEET TO A POINT OF BEGINNING; THENCE RUN SOUTH o1 DEG. 35 MIN. 40 SEC. EAST, 212.25 FEET TO A POINT, THENCE RUN WEST 307.85 FEET; THENCE RUN NORTH 02 DEG. 35 MIN. 29 SEC. WEST 212.25 FEET; THENCE RUN EAST 307.85 FEET TO THE POINT OF BEGINNING.

FLOOD ZONE INFORMATION

NO PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE FEMA FLOOD INSURANCE RATE

PANEL # <u>05125C0360E</u>, DATED: <u>06/05/2020</u>

PROPOSED TRACT 1 PROPERTY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 28, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID NW1/4, NE1/4 OF SECTION 28; THENCE SOUTH 00°46'31" EAST A DISTANCE OF 479.00 FEET TO A POINT;

THENCE NORTH 89°13'29" EAST A DISTANCE OF 1,014.50 FEET TO A POINT;

THENCE SOUTH 02°22'11" EAST A DISTANCE OF 356.72 FEET TO A FND. 5/8" REBAR AND

THENCE SOUTH 02°22'11" EAST A DISTANCE OF 60.09 FEET TO A 1/2" REBAR & CAP (PS

THENCE NORTH $89^{\circ}17'07''$ WEST A DISTANCE OF 307.85 FEET TO A SET MAG NAIL (PS

THENCE NORTH 02°22'11" WEST A DISTANCE OF 60.09 FEET TO A SET MAG NAIL (PS

THENCE SOUTH 89°17'07" EAST A DISTANCE OF 307.85 FEET TO THE POINT OF BEGINNING; CONTAINING 18,471.00 SQUARE FEET, OR 0.42 ACRES, MORE OR LESS.

PROPOSED TRACT 2 PROPERTY DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 28, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID NW1/4, NE1/4 OF SECTION 28; THENCE SOUTH 00°46'31" EAST A DISTANCE OF 479.00 FEET TO A POINT;

THENCE NORTH 89°13′29″ EAST A DISTANCE OF 1,014.50 FEET TO A POINT;

THENCE SOUTH $02^{\circ}22'$ 11" EAST A DISTANCE OF 356.72 FEET TO A FND. 5/8" REBAR;

THENCE SOUTH 02°22'11" EAST A DISTANCE OF 60.09 FEET TO A 1/2" REBAR & CAP (PS 1664) AND THE POINT OF BEGINNING;

THENCE SOUTH 02°22'11" EAST A DISTANCE OF 152.16 FEET TO A SET 1/2" REBAR & CAP

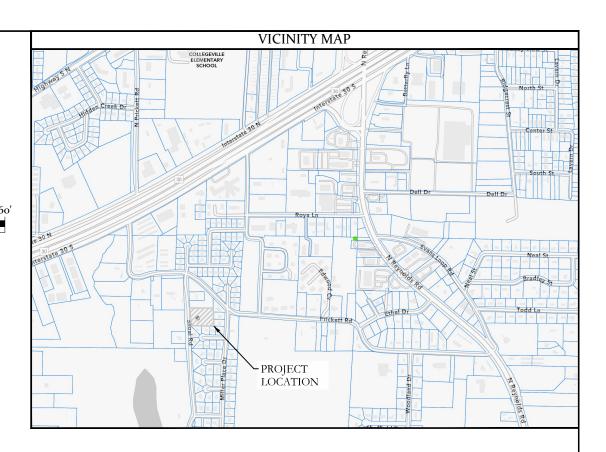
THENCE NORTH 89°17′07" WEST A DISTANCE OF 307.85 FEET TO A FND. MAG NAIL;

THENCE NORTH 02°22'11" WEST A DISTANCE OF 152.16 FEET TO A SET MAG NAIL (PS

THENCE SOUTH 89°17'07" EAST A DISTANCE OF 307.85 FEET TO THE POINT OF BEGINNING; CONTAINING 46,775.50 SQUARE FEET, OR 1.07 ACRES, MORE OR LESS.

LEGEND Found Monument Set 1/2" Rebar #1664 Computed Point Location Measured by Surveyor Record/Deed/Plat Measurem Building Setback Line Restriction B.S.L. Utility/Drainage Easement Property Boundary Line —x ——x — Fence Lines — – Centerlines

— Parcel Lines/Misc Line



CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution

Source of Title: SALINE COUNTY DEED 2024-000492

CERTIFICATE OF FINAL SURVEYING ACCURACY:

I, William Corbitt R. Shoffner, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property sides.

Date of Execution



William Corbitt R. Shoffner Registered Professional Land Surveyor No. 1664 Arkansas



CERTIFICATE OF FINAL PLAT APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _ All Documents are hereby accepted, and this certificate is hereby executed under the authority of said rules and regulations.

Date of Execution

Name



SPLIT SURVEY

PART OF THE NW 1/4 NE 1/4,

OF SECTION 28, TOWNSHIP

o1 SOUTH, RANGE 14 WEST,

CITY OF BRYANT, SALINE

COUNTY, ARKANSAS

129 North Main Street

Benton, Arkansas 72015 Office: (501) 315-2626 | Fax: (501) 315-0024 www.HopeConsulting.com

> FOR USE AND BENEFIT OF: MATTHEW KALKBRENNER

1710 SHOAL ROAD, BRYANT, ARKANSAS, 72022

DATE: 08/07/2024	CAD BY: OV	PROJECT NUMBER:
REVISED: SHEET: 1 OF 1	CHECKED BY: SCALE: 1" = 30'	24-0903
AR STATE LAND SURVEY FILING	G CODE: 500 - 01S - 14W -	0 - 28 - 140 - 62 - 1664



August 28, 2024

Colton Leonard City of Bryant 210 S.W. 3rd Street Bryant, Arkansas 72022

RE: Kalkbrenner Estates - 1710 Shoal Road- Subdivision Plat

Dear Mr. Leonard,

I am writing to propose replat and request for waiver. Located 1710 Shoal Road this property is proposed for a property split. At this location half street improvements sidewalks are highly unlikely in the future.

We are proposing a waiver for both for this property. We look forward to discussing this project with you at DRC.

Sincerely,

Jonathan Hope