



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: January 29, 2026 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Raising Canes - 23115 I-30 - Site Plan

Benchmark Design Group - Requesting Site Plan Approval

- [1016-PLN-02.pdf](#)
- [1016-RSP-01.pdf](#)

2. 10 Pine Chapel Dr. - Conditional Use Permit

Roger Woodall - Requesting Recommendation for Approval of CUP for an Accessory Structure that is larger than the allotted 25% of the Primary Structure.

- [1017-APP-01.pdf](#)
- [1017-PLOT-01.pdf](#)

3. Hilltop Road - Subdivision Plat - 840-11625-125

Hope Consulting - Requesting Recommendation for Approval of Subdivision Plat

- [1015-ESM-01.pdf](#)
- [1015-PLT-02.pdf](#)

4. Cornerstone Montessori Christian Academy - 4910 Springhill Rd - Half Street Improvements

Richardson Engineering - Requesting Approval for Half-Street Improvement Plans

- [0990-PLN-02.pdf](#)

5. 111 NE 2nd St - Replat and Residential Development

Zane Robbins - Requesting Discussion on Replat of lots and New Residential Development (Attachment Pending)

- [111 NE 2ND ST REPLAT.pdf](#)
- [111 NE SECOND ST SURVEY.pdf](#)

Staff Approved

Permit Report

Adjournments

RAISING CANE'S

CONTACT INFORMATION

CIVIL ENGINEER:

BENCHMARK DESIGN GROUP, LLC
2301 THREE LAKES PARKWAY
TYLER, TEXAS 75703
ATTN: ED SNODGRASS, P.E.
PHONE: 903-534-5353

SURVEYOR:

SMITH & GOODSON, PLLC.
7509 CANTRELL RD. STE 227
LITTLE ROCK, ARKANSAS 72207
ATTN: SEAN GOODSON, R.P.L.S.
PHONE: 501-749-2850

ARCHITECT:

CSRS INC.
15950 DALLAS PARKWAY, SUITE 210
DALLAS, TEXAS 75248
ATTN: MICHAEL CONTRERAS
PHONE: 833-523-2526

PROJECT MANAGER

FREDCO DEVELOPMENT SERVICES
ATTN: FELICIA BIVENS
PHONE: 931-993-5258

23115 I-30
CITY OF BRYANT, SALINE COUNTY, ARKANSAS



VICINITY MAP

N.T.S.

INDEX OF SHEETS

C-1.0	COVER SHEET
C-1.1	ALTA SURVEY
C-3.0	SWPPP SITE PLAN
C-3.1	SWPPP SITE DETAILS
C-4.0	DEMOLITION PLAN
C-5.0	SITE KEYNOTE PLAN
C-5.1	DIMENSIONAL CONTROL PLAN
C-5.2	STRIPING AND SIGNAGE PLAN
C-5.3	PAVING AND JOINT LAYOUT PLAN (NOT INCLUDED)
C-6.0	GRADING PLAN
C-6.1	PRE-DEVELOPED DRAINAGE PLAN
C-6.2	POST-DEVELOPED DRAINAGE PLAN
C-7.0	UTILITY PLAN
C-8.0	CONSTRUCTION DETAILS



Know what's below.
Call before you dig.

*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by the engineer. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

COVER SHEET



DRAWN BY: RWD

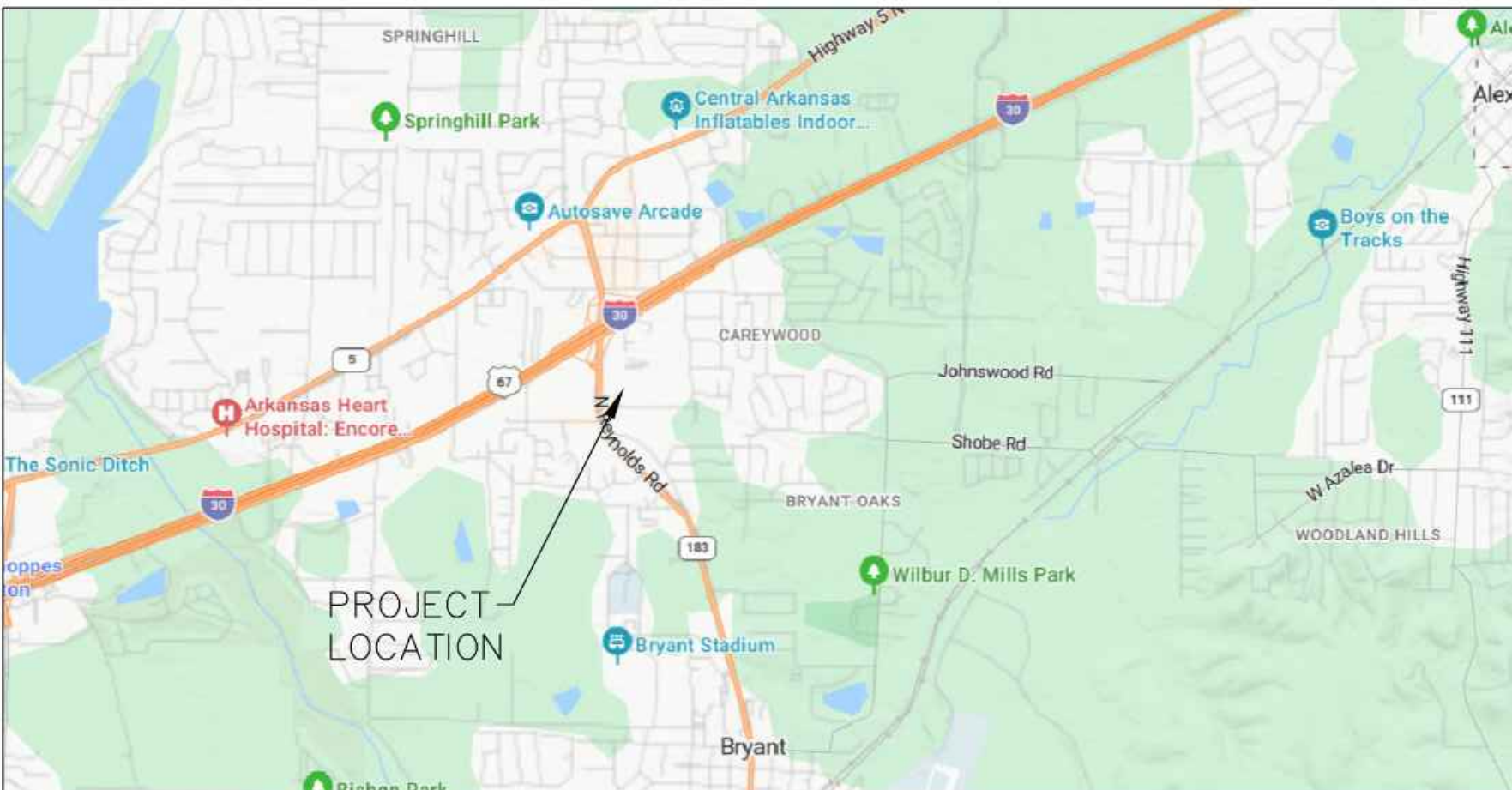
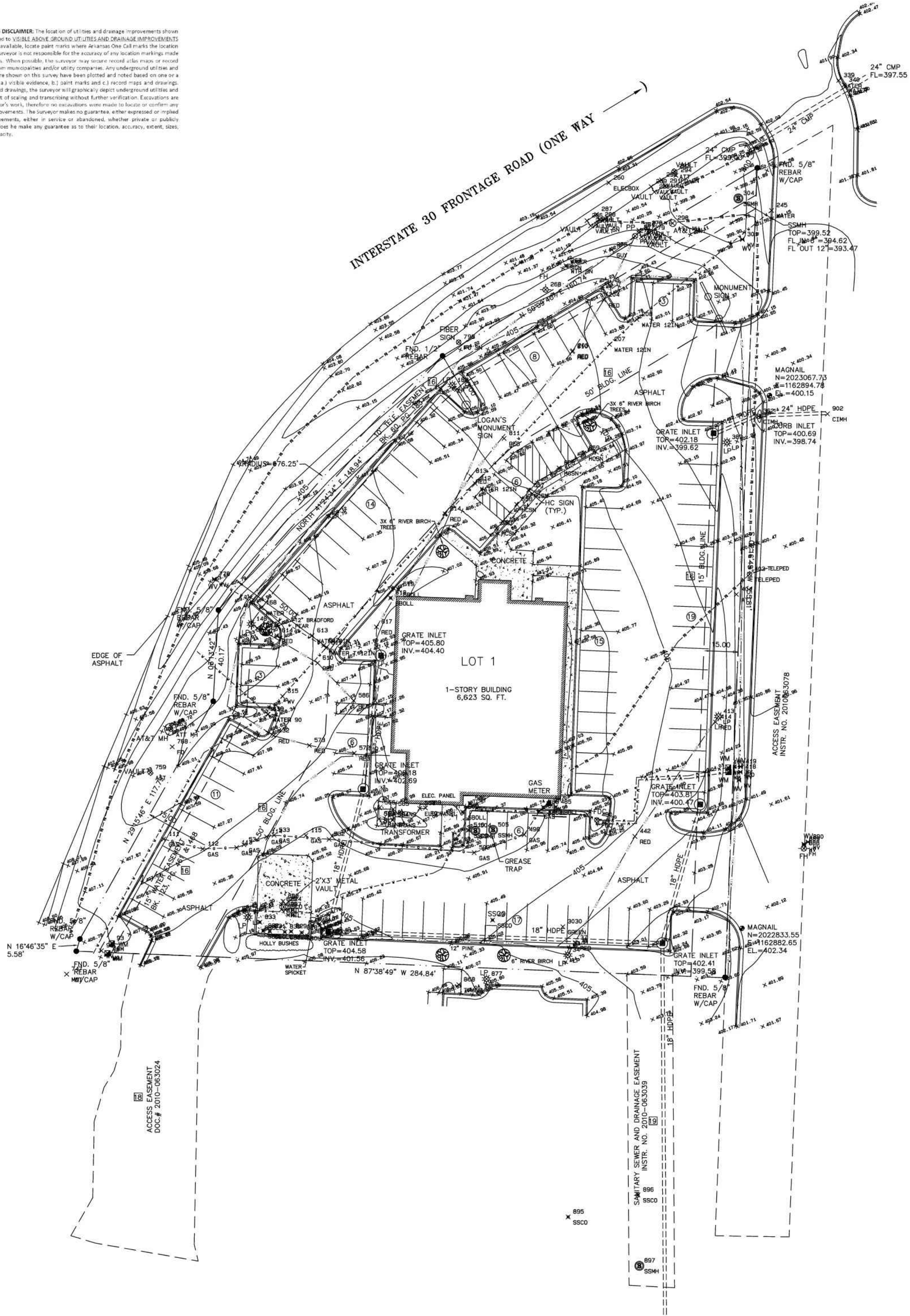
CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.
C-1.0

SUBSURFACE IMPROVEMENTS DISCLAIMER: The location of utilities and drainage improvements shown on this plat or drawing is limited to VISIBLE ABOVE GROUND UTILITIES AND DRAINAGE IMPROVEMENTS ONLY. The surveyor, when available, locates past or present utility lines and drainage structures and locates the location of utilities and drainage. The surveyor is not responsible for the accuracy of any location markings made by Arkansas One Call or others. When possible, the surveyor may locate other past or present drainage of records available from municipal and/or other companies. Any underground utilities and drainage improvements that are shown on this survey have been plotted and noted based on one or a combination of the following: a) visible evidence; b) client marks and c) recent maps and drawings. When utilizing recent maps and drawings, the surveyor will geographically depict underground utilities and drainage by a reasonable effort of tracing and transcribing without further verification. Excavations are not as the scope of the surveyor's work, therefore no excavations were made to locate or confirm any subsurface conditions or improvements. The surveyor makes no guarantee, either expressed or implied, that any underground improvements, either in service or abandoned, whether private or public owned, are fully shown, nor does he make any guarantee as to their location, accuracy, extent, size, type, depth, condition or capacity.



VICINITY MAP /N.T.S.

Title Commitment File No. 6-90038-JC having an Effective Date and Time of: April 23, 2025, 8:00 a.m.

Schedule B – Section II Exceptions:

- Reservations, restrictions, dedications, easements, right-of-way and setback lines as may be shown on the plat of said Logan's Roadhouse, an addition to the City of Bryant, Arkansas, recorded as Instrument #2010-55439 in the official records of the Saline County Circuit Clerk. **As shown on survey. References final plat of Lot 1, Logan's Roadhouse Addition.**
- Subject to the Right Of Way in favor of the City of Bryant, recorded on March 18, 2002 as Instrument #2002-19846 in the official records of the Saline County Circuit Clerk.
- Subject to the Access Easement Agreement between Coco Bryant Holdings, LLC and Logan's Roadhouse, Inc., recorded on August 6, 2010 as Instrument #2010-063024 in the official records of the Saline County Circuit Clerk. **As shown on survey.**
- Subject to the Sewer Easement Agreement between Coco Bryant Holdings, LLC and Logan's Roadhouse, Inc., recorded on August 6, 2010 as Instrument #2010-063039 in the official records of the Saline County Circuit Clerk. **As shown on survey.**
- Subject to the Easement, Covenants, Conditions and Restrictions, recorded on October 21, 2005 as Instrument #2005-116451, as affected by the First Amendment recorded as Instrument #2007-031916, the Second Amendment recorded as Instrument #2015-004777, and the Third Amendment recorded as Instrument #2020-025579, in the official records of the Saline County Circuit Clerk. **Not plottable. 10' easement as waterline was constructed.**

GENERAL NOTES

- No encroachments were observed.
- There was no apparent evidence observed of current earth moving work, building construction or building additions.
- There was no apparent evidence observed of recent changes in street right-of-way lines or of street sidewalk construction or repairs.
- There was no apparent evidence observed of site use as a solid waste dump, sump or sanitary landfill.

UTILITY SERVICE PROVIDERS

- Water: City of Bryant
- Sanitary Sewer: City of Bryant
- Electricity: Entergy of Arkansas
- Natural Gas: Centerpoint Energy
- Telephone: AT&T
- CATV: Comcast

ZONING CLASSIFICATION

Zoned C-2 Highway Commercial

Setback requirements: Front Yard: 50 feet
Side Yard: 15 feet
Rear Yard: 0 feet
Maximum Bldg. Height: 45 feet

PARKING SPACES

Regular Spaces= 102
Handicap Spaces= 5
Total Spaces = 107

FLOOD STATEMENT

No portion of the subject properties lies within a flood zone as shown on the Flood Insurance Rate Map Community Panel Number 05125C0380E, having an effective date of June 5, 2020, as published by the Federal Emergency Management Agency (FEMA).

CERTIFICATION

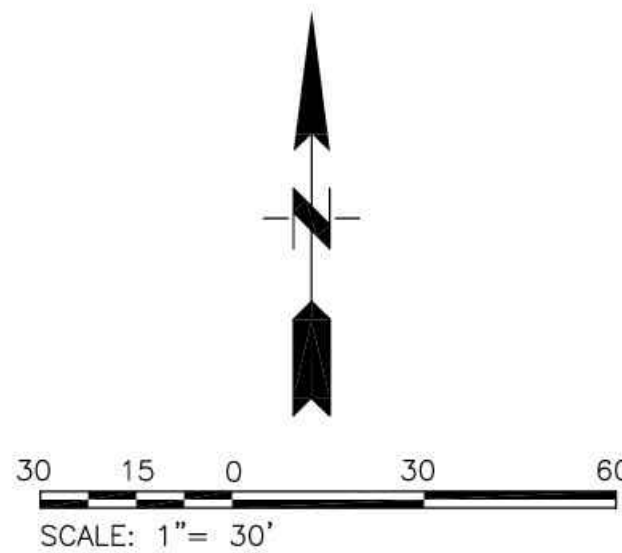
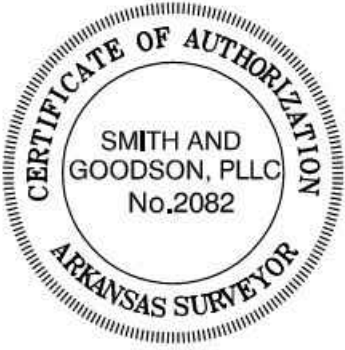
To: KASASA, L.L.C., a Louisiana limited liability company, and Stuart Title Guaranty Company. This is to certify that this plat and the survey on which it is based were made in accordance with the 2021 Minimum Standards Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 5, 6(a), 6(b), 8, 9, 11, 13, 16, 17, 18, and 20 of Table A thereof. The field work was completed on November 10, 2025.
Date of Plat: November 12, 2025.

Wm. Allen Smith
SMITH AND GOODSON, PLLC.
Wm. Allen Smith, Professional Surveyor #1095 (Arkansas)

11-12-2025
DATE

PROPERTY DESCRIPTION

Lot 1, Logan's Roadhouse, an addition to the City of Bryant, Arkansas.



Date	Notes	By

Designed	
Checked	WAS
Drawn	SDG
Approved	WAS



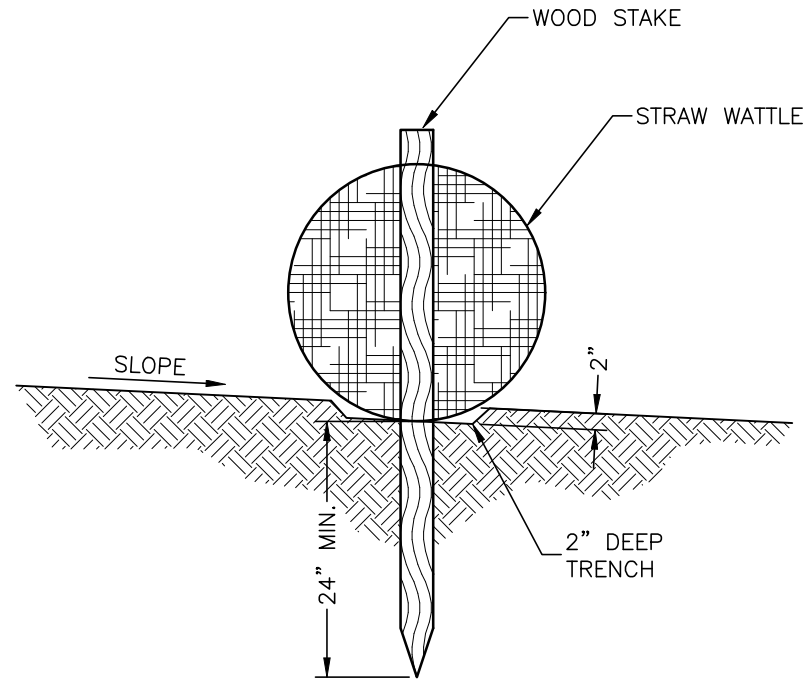
SMITH AND GOODSON
PLLC
CIVIL ENGINEERING AND LAND SURVEYING
7509 CANTRELL ROAD, SUITE 227
LITTLE ROCK, ARKANSAS 72207
501-414-8498

ALTA/NSPS LAND TITLE SURVEY

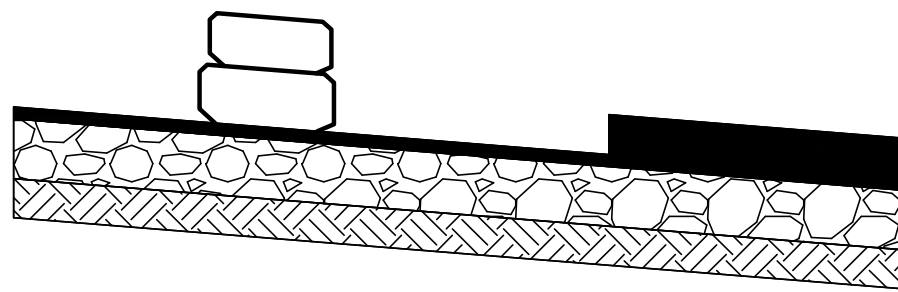
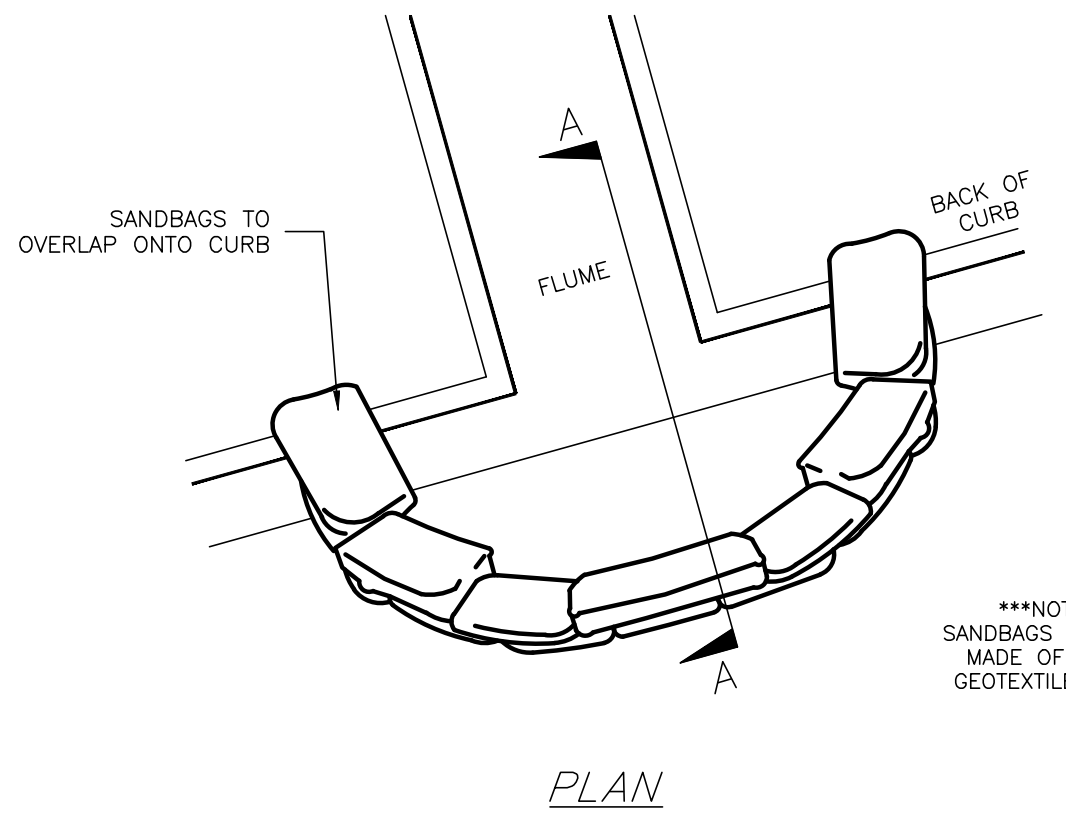
FOR THE USE AND BENEFIT OF:
KASASA, LLC
&
Stuart Title Guaranty Company

Job: 25-089
Scale: 1"=30'
Date: 11-12-2025
Sheet: 1-1

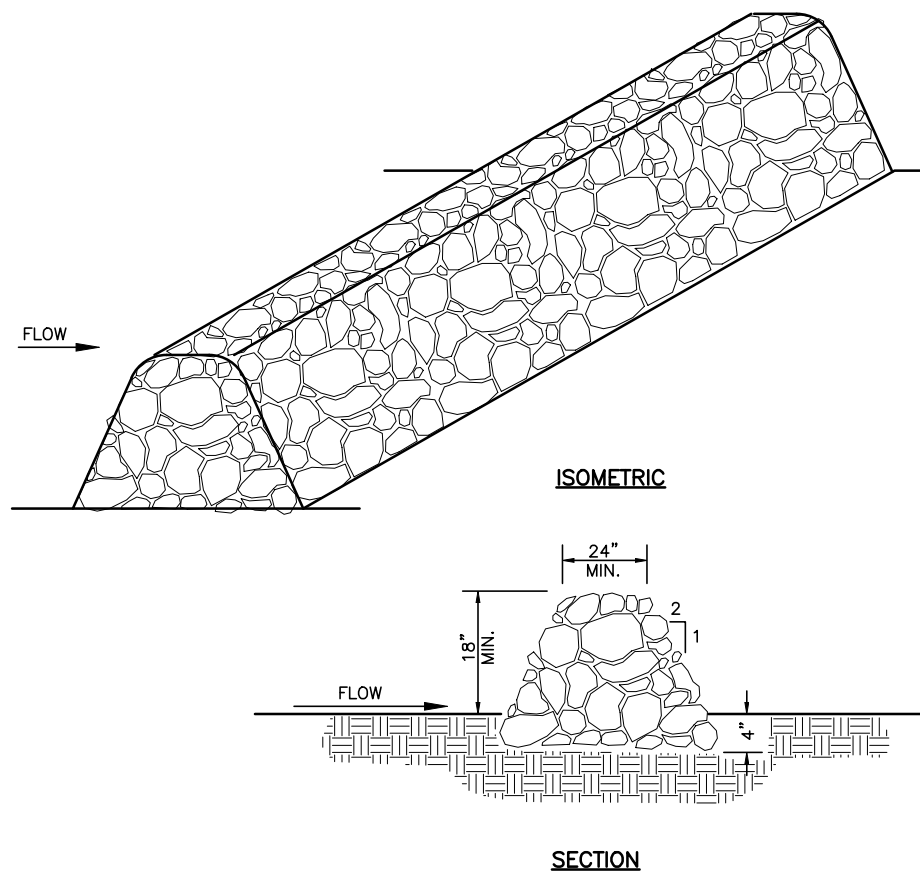
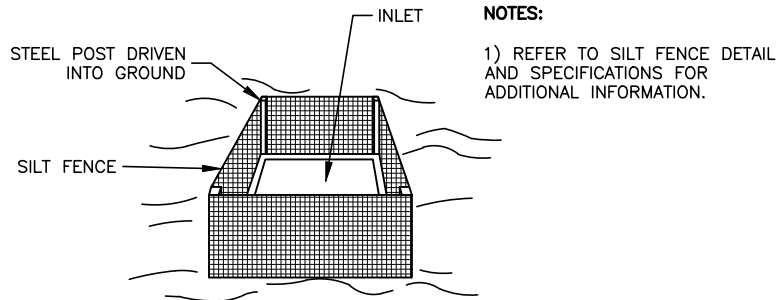
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STRAW WATTLE DETAIL
N.T.S.

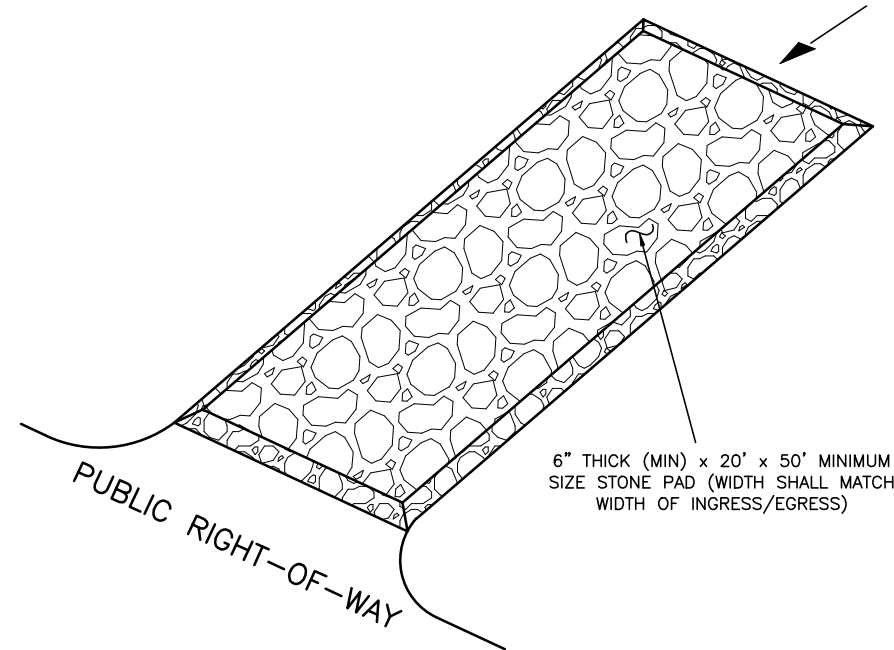


FLUME SEDIMENT BARRIER
NTS



ROCK BERM DETAILS

1. USE ONLY OPEN-GRADED ROCK, WITH MOST OF THE FINES REMOVED.
2. STONE SHALL BE CRUSHED, MIN. 3" DIAMETER, MAX. 1 CU. FT. IN VOLUME.
3. THE ROCK BERM SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF 4 INCHES.
4. INSPECT BERM AFTER EACH RAIN. REPLACE STONE WHEN THE STRUCTURE FAILS TO SERVE ITS PURPOSE DUE TO SILT ACCUMULATION, WASHOUT OR DAMAGE.
5. REMOVE SILT WHEN IT REACHES A DEPTH OF 12 INCHES, OR ONE-THIRD OF THE HEIGHT OF THE BERM, WHICHEVER IS LESS. DISPOSE OF SILT IN APPROVED LOCATIONS.
6. REMOVE BERM ONLY WHEN SITE IS COMPLETELY STABILIZED.



TEMPORARY CONSTRUCTION
EXIT POINT DETAIL

CONSTRUCTION NOTES:

- 1) GRADATION OF ROCK:

SIZE OF ROCK LBS.	% SMALLER BY WEIGHT
200	100
50	35-45
3	0
- 2) THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE DRESSING WITH ADDITIONAL STONE AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 3) WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WASHING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT CONTROLLING STRUCTURE. USE SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS TO PREVENT SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE.
- 4) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 5) ROCK SIZE SHALL BE A MINIMUM OF 2-INCH WITH NO FINES AND A MINIMUM OF 6" DEEP

TABLE 1100-1 Silt Fence Slope Criteria

Maximum Slope Lengths for Silt Fence Installations	
Land Slope	Maximum Slope Length
Less than 2 %	100 feet
From 2 to 5 %	75 feet
From 5 to 10 %	50 feet
From 10 to 20 %	25 feet
More than 20 %	15 feet

STEPS FOR CONSTRUCTION:

- 1) DRIVE POST INTO GROUND AND EXCAVATE A 6"x6" TRENCH UPHILL ALONG THE LINE OF POST.
- 2) ATTACH WIRE FENCE TO THE POST AND EXTEND BOTTOM OF FENCE 6" INTO THE EXCAVATED TRENCH.
- 3) ATTACH THE SILT FABRIC TO THE WIRE FENCE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
- 4) BACKFILL THE TRENCH WITH SOIL & COMPACT OR PLACE WASHED STONE TO THE HEIGHT OF 6" ABOVE GROUND LEVEL. BOTTOM OF FENCE MUST BE ANCHORED SO THAT RUNOFF IS FORCED THROUGH THE FENCE AND CAN NOT GO UNDER IT.
- 5) SILT FENCE SHALL NOT EXCEED 3' IN HEIGHT ABOVE GROUND.

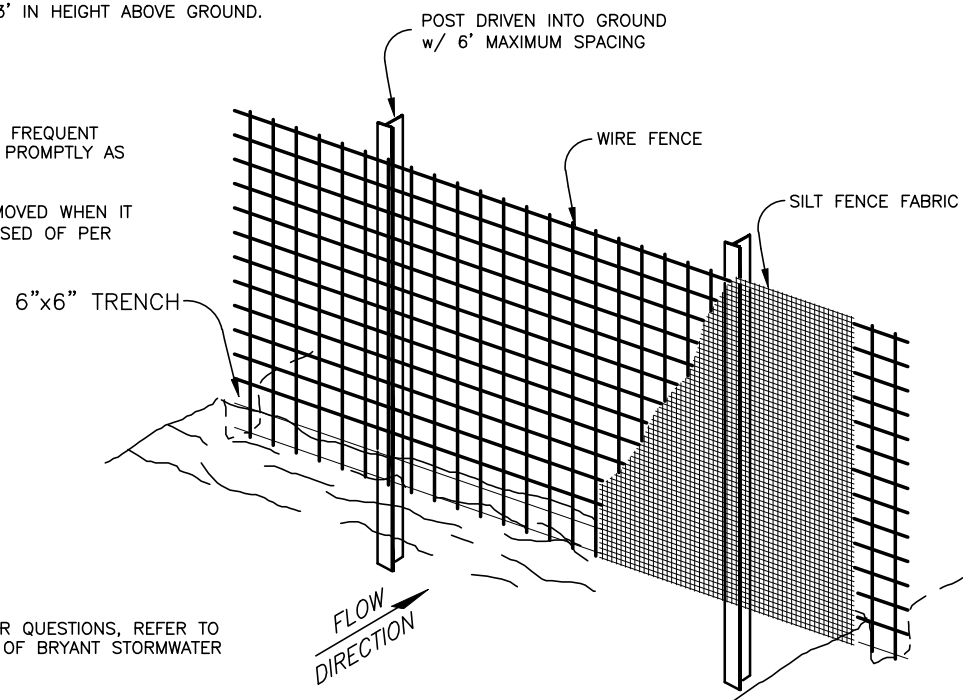
INSPECTION & MAINTENANCE:

- 1) INSPECTION OF FENCES SHALL BE FREQUENT AND REPAIR OR REPLACEMENT MADE PROMPTLY AS NEEDED.
- 2) ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF PER OWNER/ENGINEER.

NOTES:

- 1) FOR ANY DISCREPANCIES OR QUESTIONS, REFER TO SECTION 1105.2 OF THE CITY OF BRYANT STORMWATER MANAGEMENT MANUAL.

SILT FENCE DETAIL



1. Burlap shall be 10 ounce per square yard fabric.
2. Posts for silt fences shall be either 4-inch diameter wood or 1.33 pounds per linear foot steel with a minimum length of 6 feet. Steel posts shall have projections for fastening wire to them.
3. Stakes for filter barriers shall be 1" x 2" wood or equivalent metal with a minimum length of 3 feet.
4. Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.
5. The silt fence fabric shall meet the specifications in Table 1100-2. Type W fabric is a self-supported fence. Type NW is a non-woven fabric which is used in a net-reinforced fence. Either fabric may be manufactured from polyester, polypropylene or polyamide and shall be resistant to ultraviolet degradation, mildew or rot. The edges of woven fabric shall be sealed or subjoined to prevent raveling.

TABLE 1100-2 Silt Fence Fabric Criteria

Fabric Properties	Minimum Acceptable Value		Test Method
	Type W	Type NW	
Tensile Strength, lb	100	90	ASTM D4632
Elongation at Yield, %	10-40	100 Max	ASTM D4632
Tripotential Tear, lb	50	35	ASTM D4533
Permeability, l/sec	0.1	1.0	ASTM D4591
Apparent Opening Size	20-50	50-80	ASTM D4751
Ultraviolet Stability, %	80	80	ASTM D4355

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

SWPPP SITE DETAILS



DRAWN BY: RWD

CHECKED BY: ELS

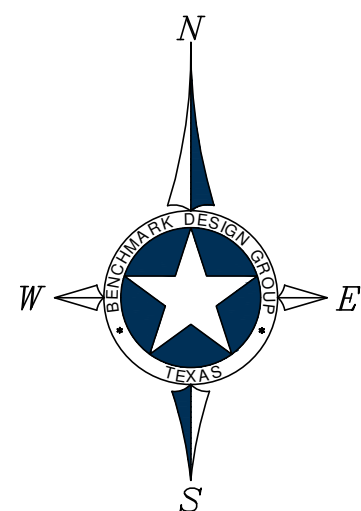
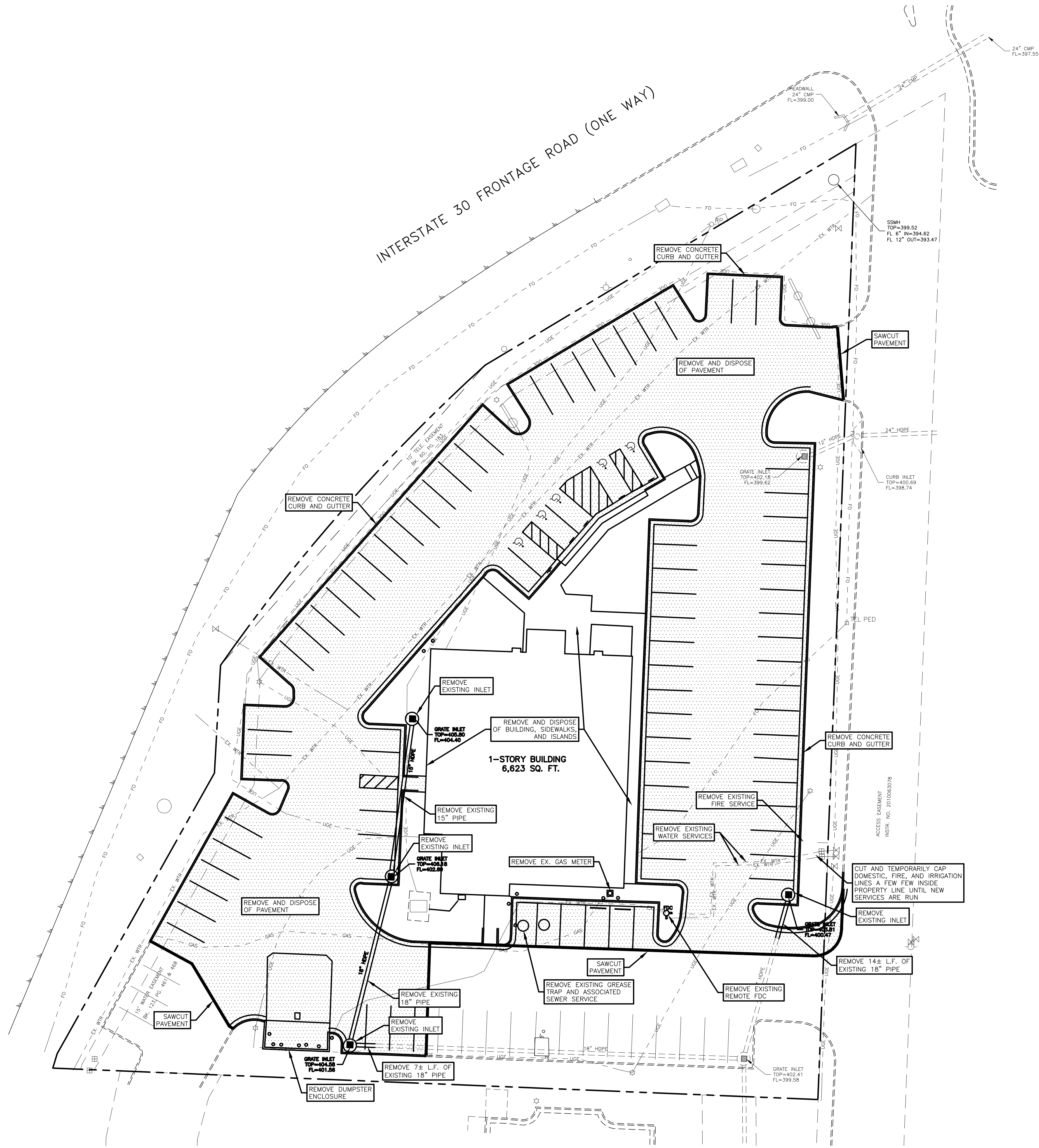
DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.

C-3.1

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DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND PINS.
2. CONTRACTOR SHALL REMOVE PAVEMENT IN ACCORDANCE WITH TxDOT SPECIFICATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
4. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITEWORK SPECIFICATIONS.
5. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL PERFORMANCE CRITERIA FOR OSHA.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, WHICH INCLUDES BUT IS NOT LIMITED TO CONSTRUCTION FENCING, BARRICADES, SIGNAGE, TRAFFIC CONTROL DEVICES, ETC.
7. CONTRACTOR SHALL COORDINATE WITH OWNER'S CONSTRUCTION MANAGER AS TO SPECIFIC DETAILS REGARDING REMOVAL OF EXISTING BUILDINGS, CONTENTS AND ASSOCIATED APPURTENANCES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REGARDING REMOVAL OF EXISTING BUILDINGS, CONTENTS AND ASSOCIATED APPURTENANCES.
9. CONTRACTOR SHALL COORDINATE TERMINATION AND REMOVAL OF ALL EXISTING UTILITY SERVICES AND APPURTENANCES WITH LOCAL AND JURISDICTIONAL ENTITIES.
10. APPLICABLE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION ACTIVITIES. REFER TO STORM WATER POLLUTION PREVENTION SITE PLAN FOR LOCATION OF SAID MEASURES.
11. CONTRACTOR SHALL NOT INTERFERE WITH OR IMPEDE THE NORMAL OPERATIONS OF SURROUNDING BUSINESSES.
12. CONTRACTOR SHALL VERIFY AND COORDINATE THE REMOVAL OF ANY EXISTING APPURTENANCES WHICH ARE IN CLOSE PROXIMITY TO BOUNDARY LINES AND/OR RIGHT-OF-WAY.
13. THE LIMITS OF CONSTRUCTION SHOWN ON THESE PLANS ARE FOR REFERENCE PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION STAKING. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF QUESTIONABLE MATERIALS WITH THE APPROPRIATE PARTIES PRIOR TO DEMOLITION ACTIVITIES.
14. CONTRACTOR TO PROTECT ALL REGULATORY SIGNS ON SITE. REMOVAL OF SAID SIGNS TO BE COORDINATED WITH APPROPRIATE ENTITIES.

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE



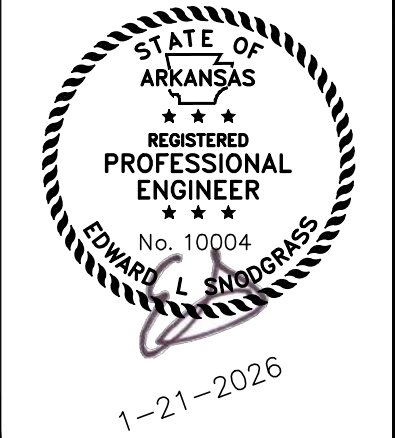
NOTICE TO CONTRACTORS

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2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
4. The topographic information shown herein is a reflection of the information provided by:
 - a. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
 - b. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		
5. Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	1-7-2026	RWD
SECOND SUBMITTAL	1-21-2026	RWD

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

DEMOLITION PLAN



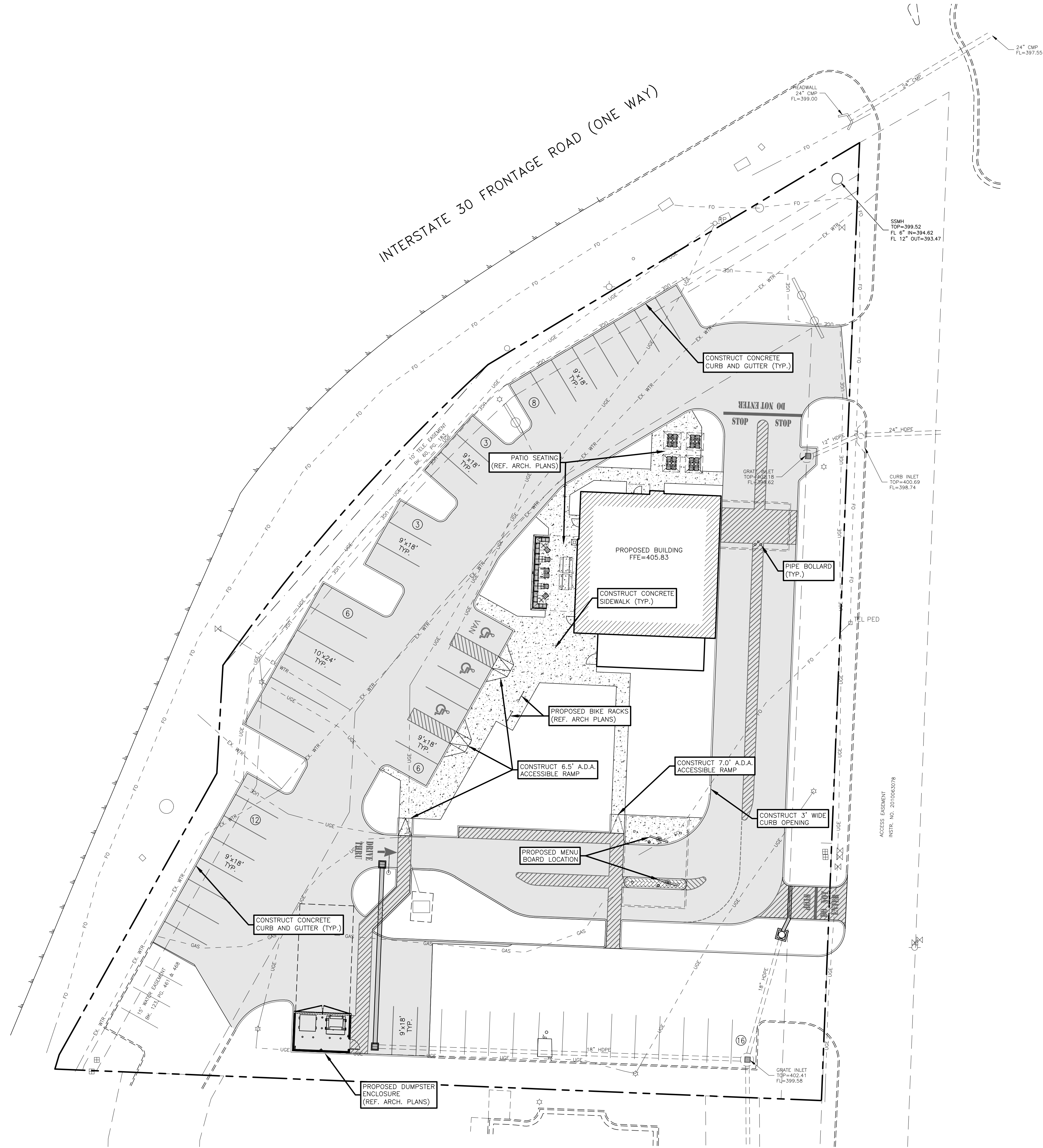
DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.
C-4.0



SITE NOTES:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
2. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
3. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
4. ALL CURB RADIi SHOWN ARE TO FACE OF CURB.
5. ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE, OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. THE EARTHWORK FOR ALL BUILDING SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
11. ALL PAVEMENT MARKING PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", WHITE ON ASPHALT, YELLOW ON CONCRETE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE. STRIPES SHALL BE 4" WIDE UNLESS OTHERWISE INDICATED.
12. CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
13. FOR SITE UTILITIES, SEE UTILITY PLAN. SEE ARCHITECT PLANS FOR ON-SITE LIGHTING DETAILS.
14. ALL WORK SHALL COMPLY WITH ALL GOVERNING JURISDICTIONS, STATE, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
15. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
16. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
17. ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
18. ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)



NOTICE TO CONTRACTORS

1. These plans are subject to review and approval by all jurisdictions having authority.
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 6. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		
- Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	1-7-2026	RWD
SECOND SUBMITTAL	1-21-2026	RWD

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RAISING CANE'S
BRYANT, ARKANSAS

SITE KEYNOTE PLAN



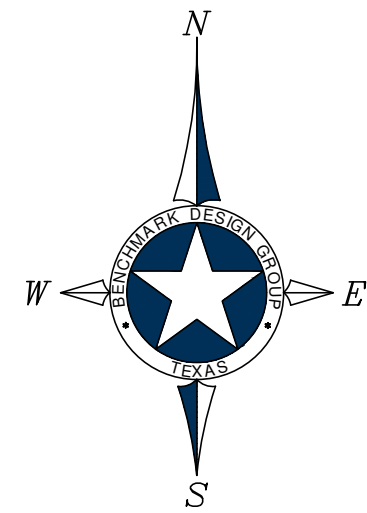
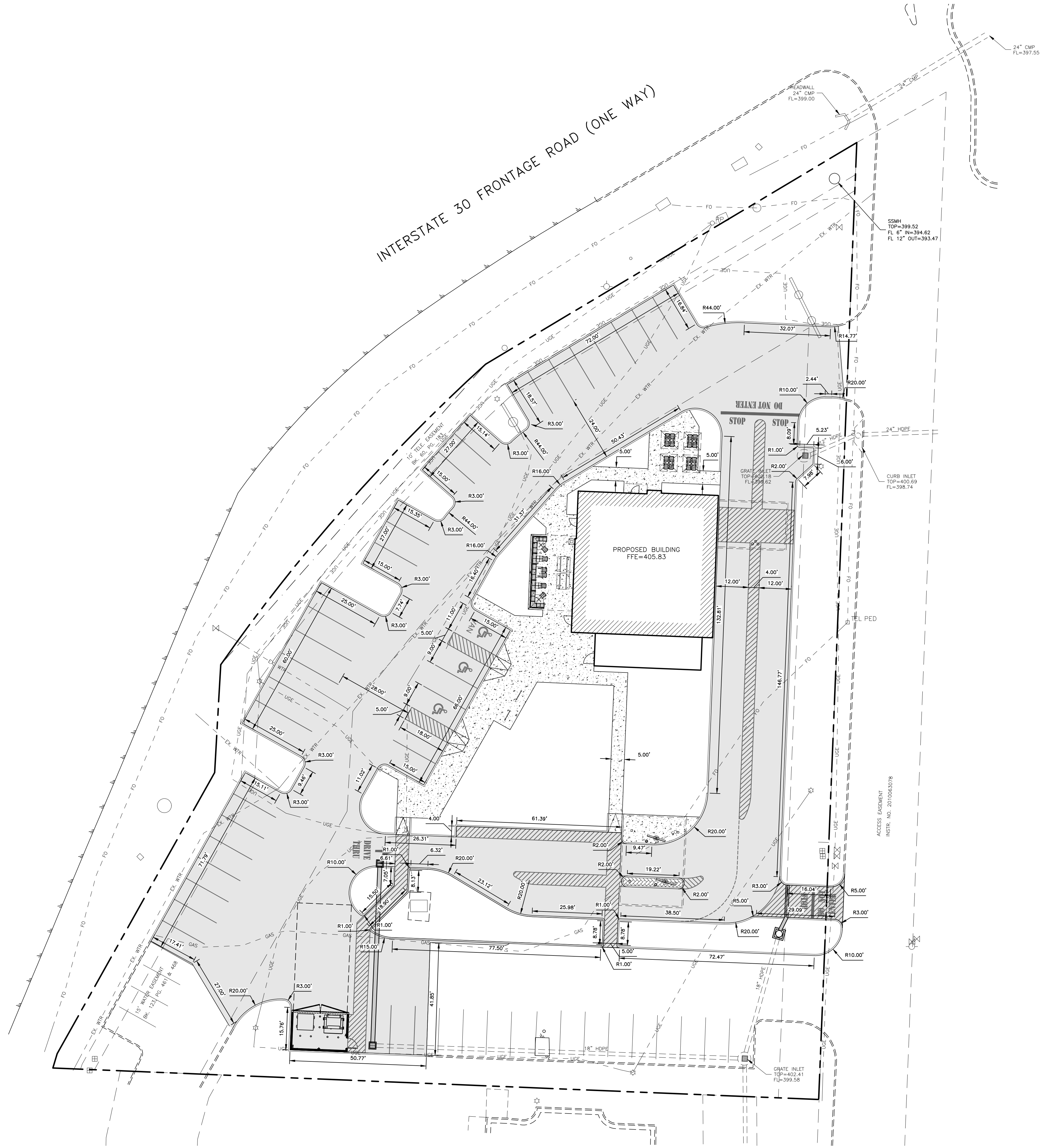
DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.
C-5.0



SITE NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
- ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- ALL CURB RADIi SHOWN ARE TO FACE OF CURB.
- ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE, OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
- THE EARTHWORK FOR ALL BUILDING SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL PAVEMENT MARKING PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", WHITE ON ASPHALT, YELLOW ON CONCRETE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE. STRIPES SHALL BE 4" WIDE UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- FOR SITE UTILITIES, SEE UTILITY PLAN. SEE ARCHITECT PLANS FOR ON-SITE LIGHTING DETAILS.
- ALL WORK SHALL COMPLY WITH ALL GOVERNING JURISDICTIONS, STATE, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
- ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
- ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)



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 - The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		
- Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	1-7-2026	RWD
SECOND SUBMITTAL	1-21-2026	RWD

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RAISING CANE'S
BRYANT, ARKANSAS

DIMENSIONAL CONTROL PLAN



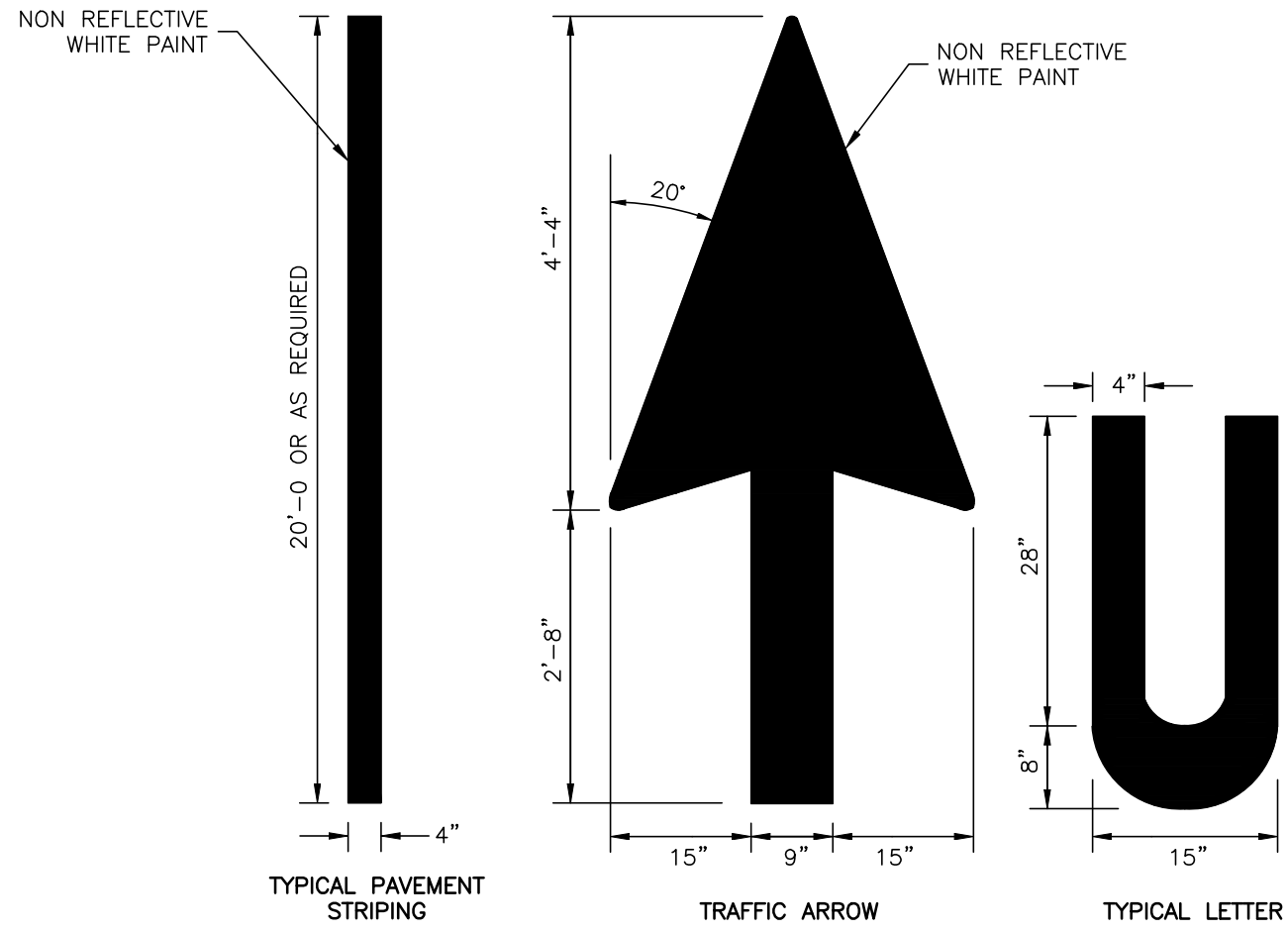
DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

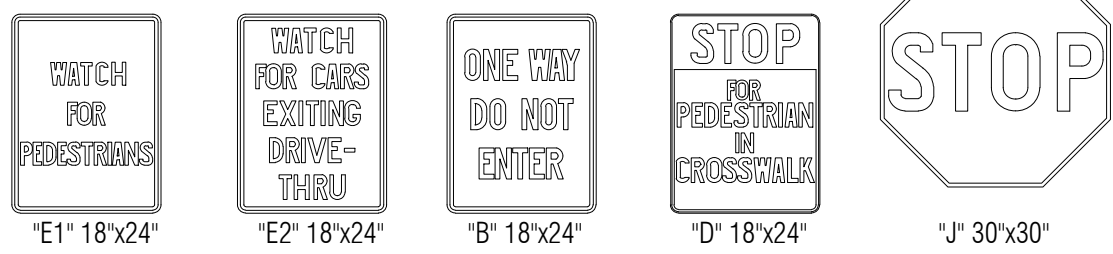
JOB NO: 2025.047

SHEET NO.
C-5.1



TYPICAL PAVEMENT MARKINGS
SCALE: NTS

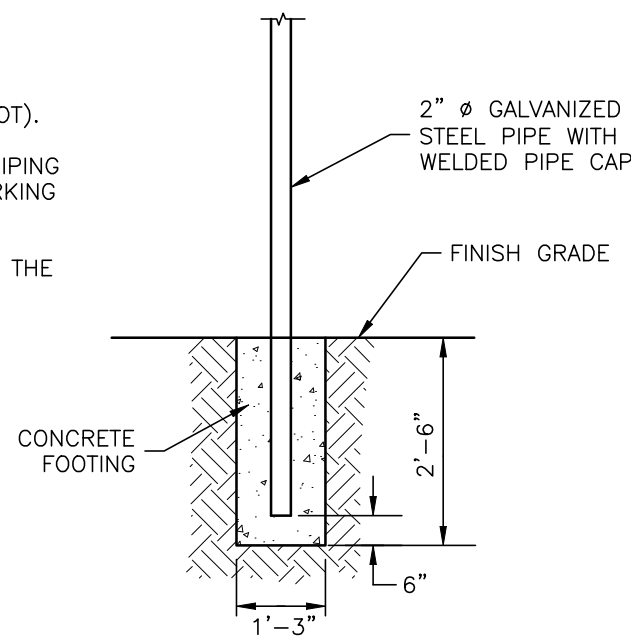
NOTE:
PAINT SHALL BE APPLIED AT A THICKNESS
OF 22 WET MILS AND 15 DRY MILS



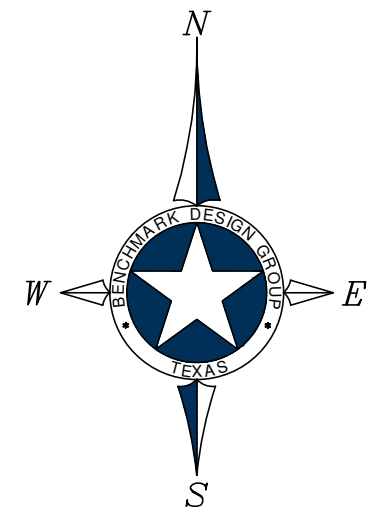
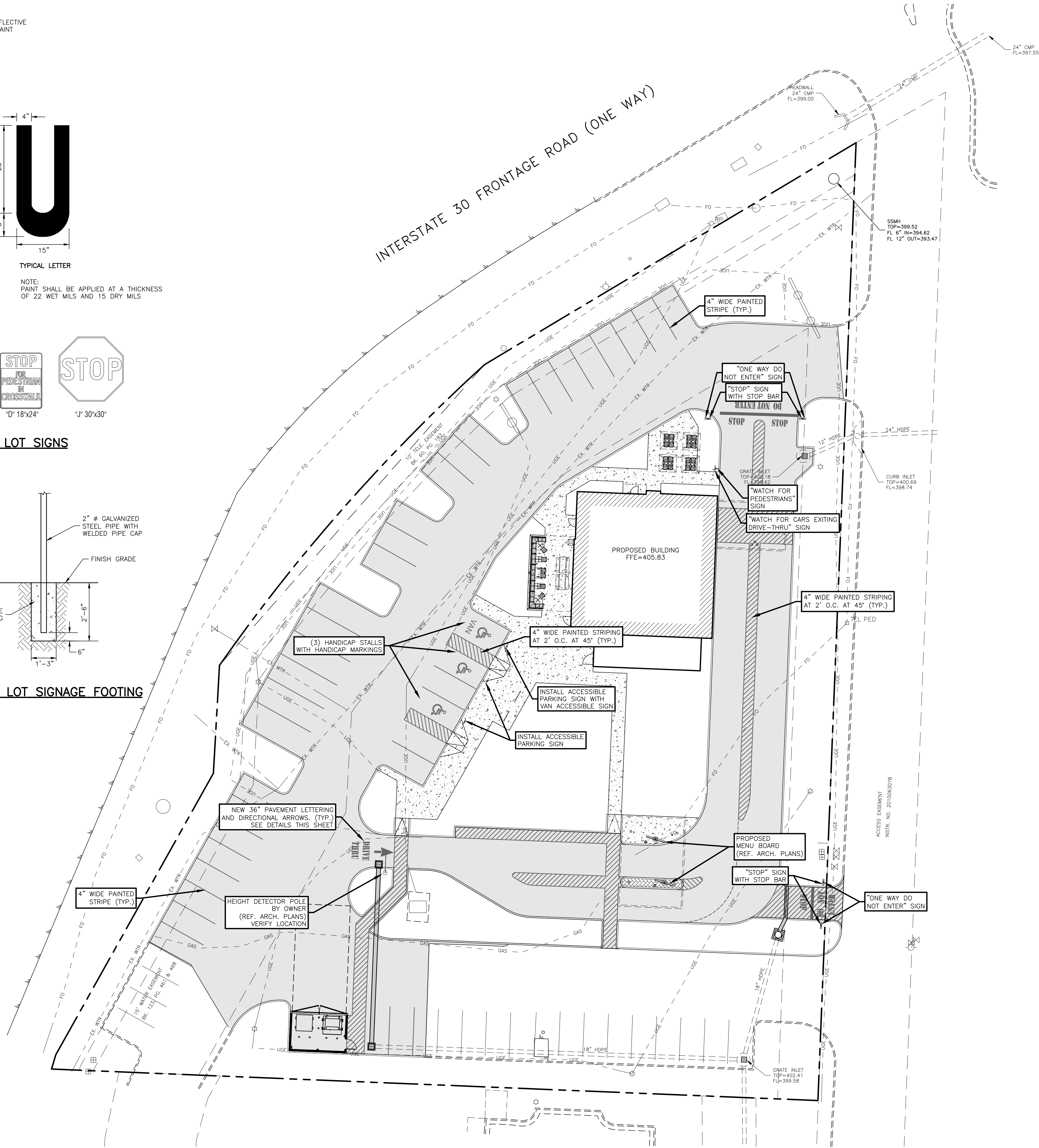
STANDARD PARKING LOT SIGNS
SCALE: NTS

PARKING LOT NOTES:

1. PARKING STALLS MUST BE STRIPED WITH A 4 INCH CONTRASTING STRIPE (WHITE ON CONCRETE AND WHITE ON ASPHALT PARKING LOT).
2. HANDICAP PARKING SPACES ARE TO BE DESIGNATED BY BLUE STRIPING & A WHITE SYMBOL ON A BLUE BACKGROUND. ALL HANDICAP PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
3. ALL PARKING SPACES ARE TO BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED ON THIS PLAN.



PARKING LOT SIGNAGE FOOTING
SCALE: NTS



LEGEND

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C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
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BY	DATE	REVISIONS
RWD	1-7-2026	INITIAL SUBMITAL
RWD	1-21-2026	SECOND SUBMITAL

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CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

STRIPING AND
SIGNAGE PLAN



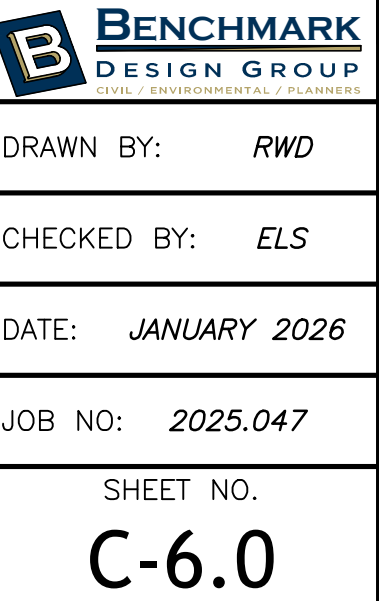
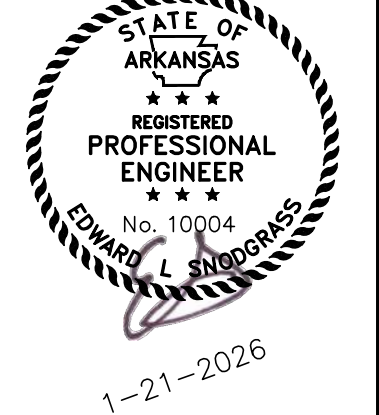
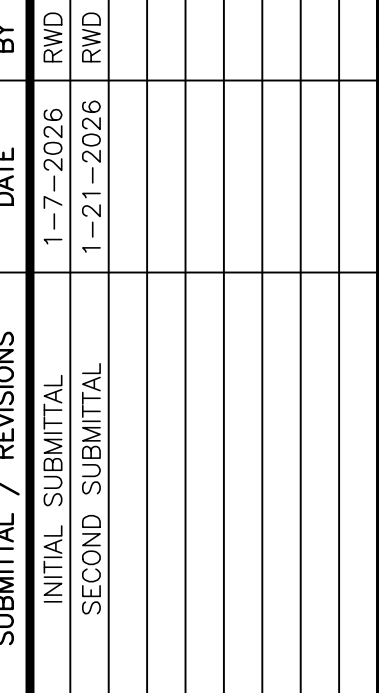
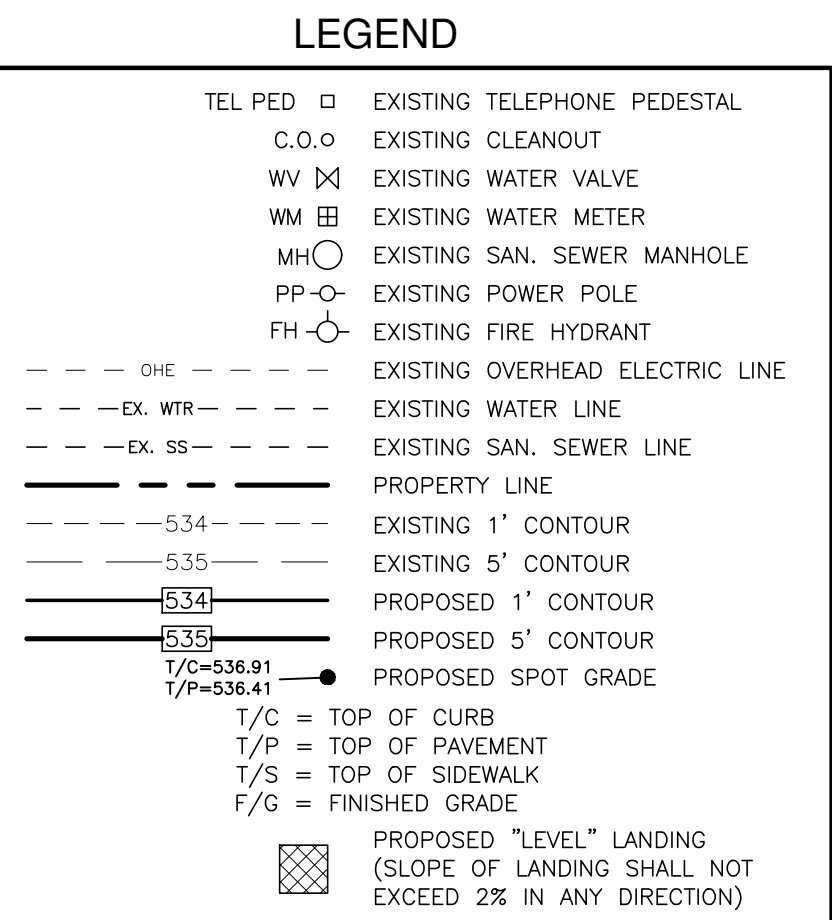
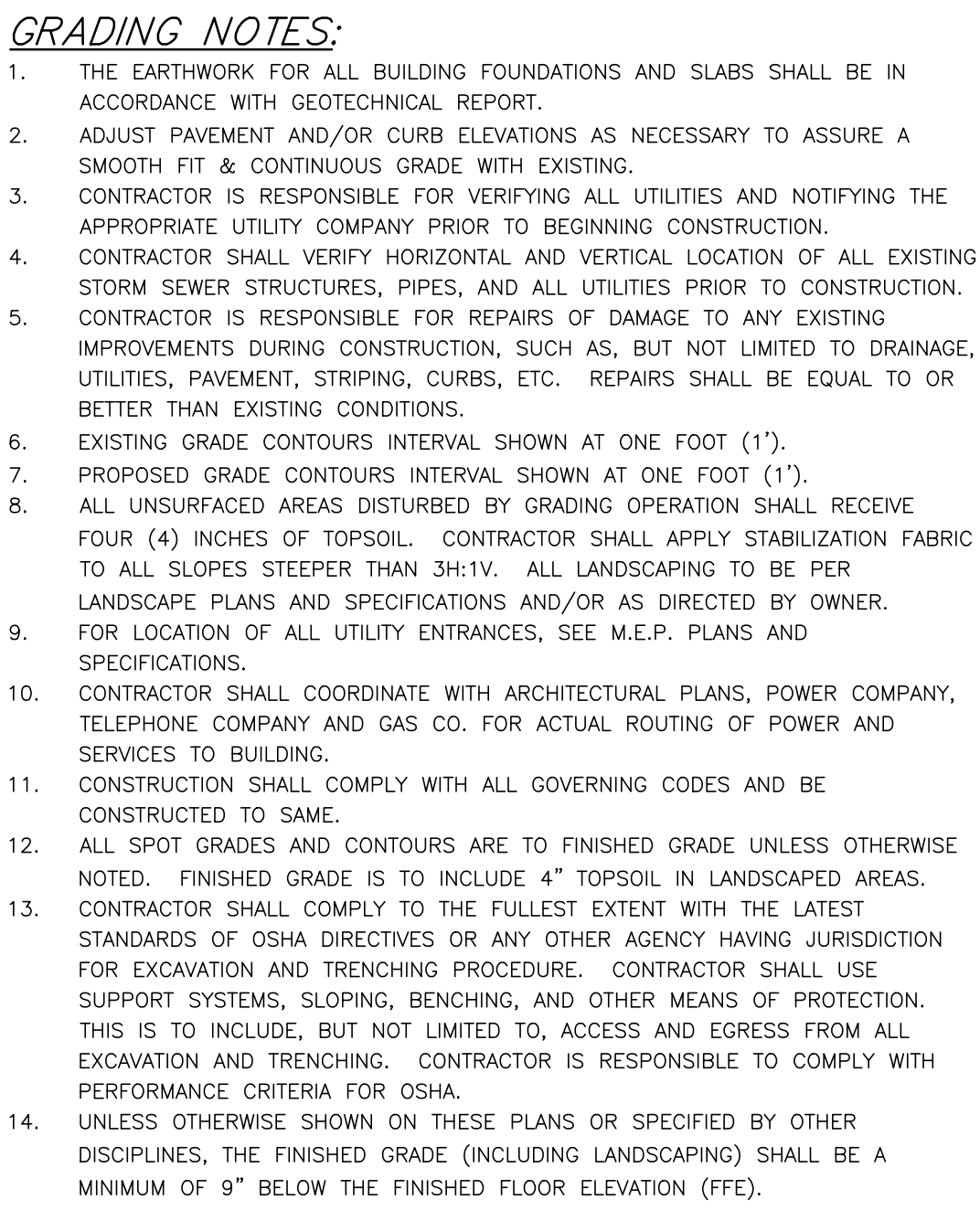
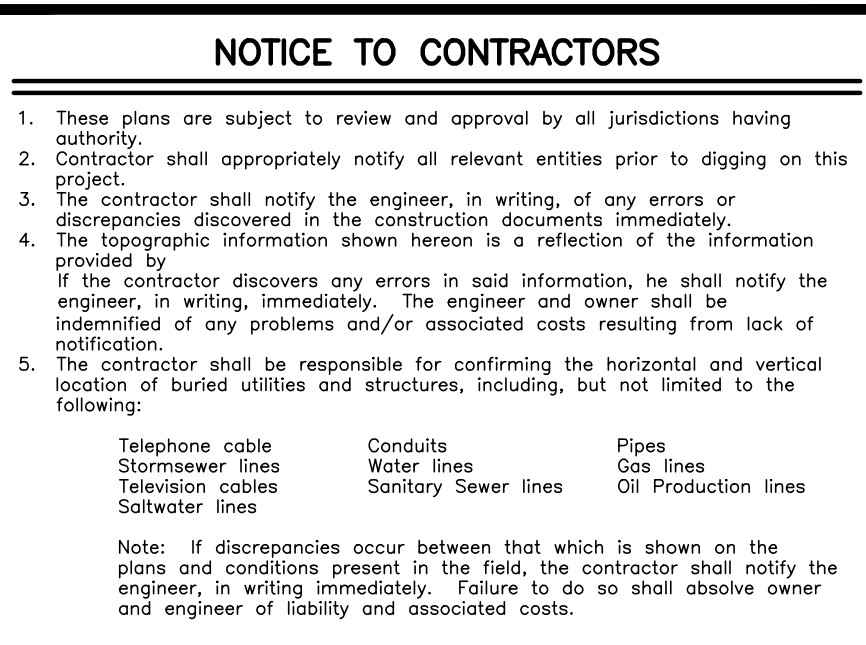
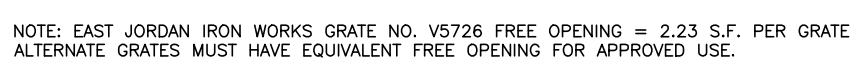
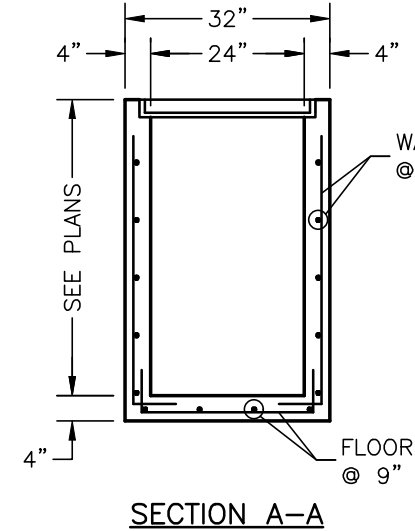
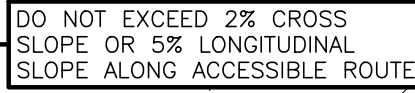
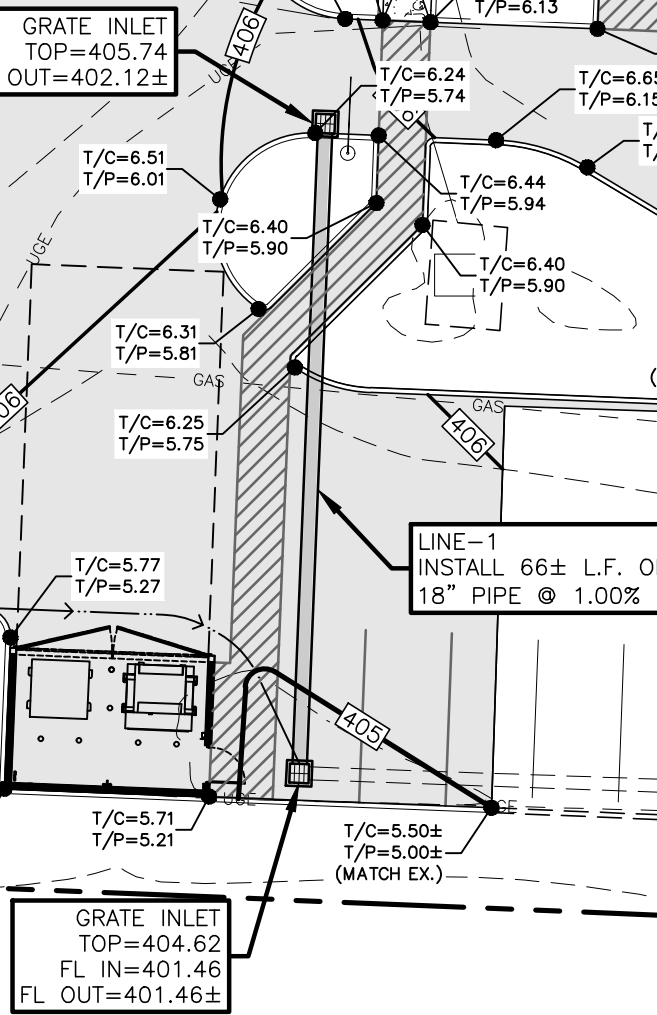
DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

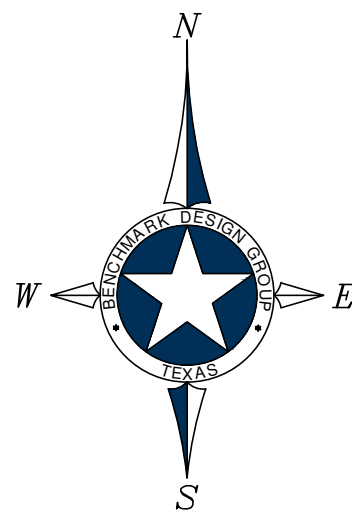
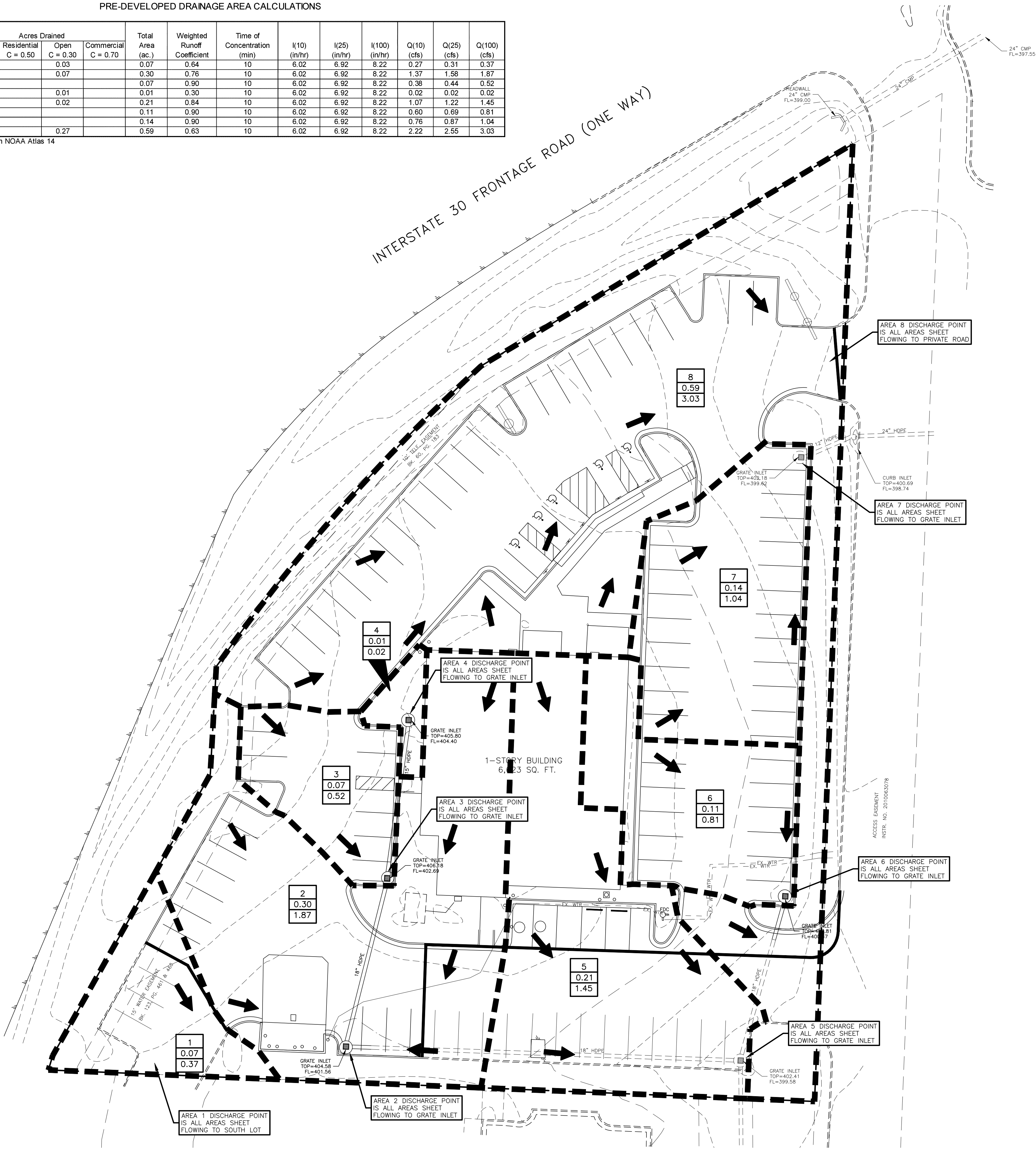
SHEET NO.
C-5.2



PRE-DEVELOPED DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.50	Open C = 0.30	Commercial C = 0.70									
1	0.04		0.03		0.07	0.64	10	6.02	6.92	8.22	0.27	0.31	0.37
2	0.23		0.07		0.30	0.76	10	6.02	6.92	8.22	1.37	1.58	1.87
3	0.07				0.07	0.90	10	6.02	6.92	8.22	0.38	0.44	0.52
4			0.01		0.01	0.30	10	6.02	6.92	8.22	0.02	0.02	0.02
5	0.19		0.02		0.21	0.84	10	6.02	6.92	8.22	1.07	1.22	1.45
6	0.11				0.11	0.90	10	6.02	6.92	8.22	0.60	0.69	0.81
7	0.14				0.14	0.90	10	6.02	6.92	8.22	0.76	0.87	1.04
8	0.32		0.27		0.59	0.63	10	6.02	6.92	8.22	2.22	2.55	3.03

*Intensities are pulled from NOAA Atlas 14



HYDRAULIC CAPACITIES FOR STORMSEWER PIPES WERE CALCULATED USING A MANNING'S "n" VALUE OF 0.013

A PARTIAL LIST OF ACCEPTABLE STORMSEWER PIPES CAPABLE OF PROVIDING THE REQUIRED HYDRAULIC EFFICIENCY FOR THIS APPLICATION ARE AS FOLLOWS:

A.) CONTECH "A-2000" PVC STORMSEWER PIPE
B.) ADS HP STORM - DUAL WALL - PP
C.) HANSON CONCRETE REINFORCED CONCRETE PIPE

* CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER PIPE INSTALLATION AND EMBEDMENT

ALL PIPES MAY BE ONE OF THE ABOVE STATED CHOICES, UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO SUBSTITUTING OR ORDERING ALTERNATE PIPE AND FITTINGS

LEGEND	
TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	EXISTING DRAINAGE PATTERN
---	EXISTING DRAINAGE DELINEATION
X	= DRAINAGE AREA NUMBER
X.XX	= DRAINAGE AREA (AC.)
X.XX	= 100-YR RUNOFF (CFS)

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RAISING CANE'S
BRYANT, ARKANSAS

PRE-DEVELOPED
DRAINAGE PLAN



DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.
C-6.1

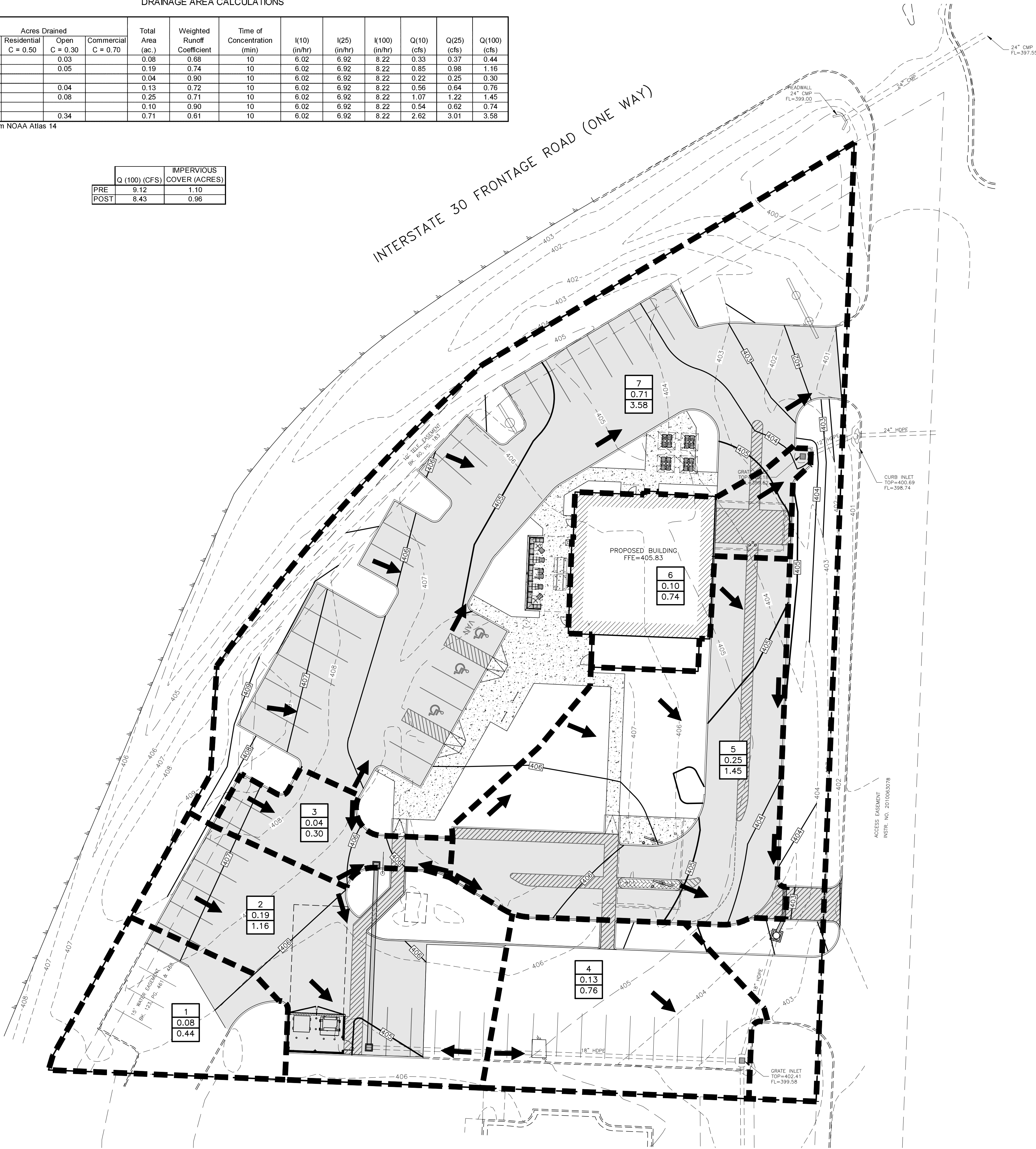
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DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.50	Open C = 0.30	Commercial C = 0.70									
1	0.05		0.03		0.08	0.68	10	6.02	6.92	8.22	0.33	0.37	0.44
2	0.14		0.05		0.19	0.74	10	6.02	6.92	8.22	0.85	0.98	1.16
3	0.04				0.04	0.90	10	6.02	6.92	8.22	0.22	0.25	0.30
4	0.09		0.04		0.13	0.72	10	6.02	6.92	8.22	0.56	0.64	0.76
5	0.17		0.08		0.25	0.71	10	6.02	6.92	8.22	1.07	1.22	1.45
6	0.10				0.10	0.90	10	6.02	6.92	8.22	0.54	0.62	0.74
7	0.37		0.34		0.71	0.61	10	6.02	6.92	8.22	2.62	3.01	3.58

*Intensities are pulled from NOAA Atlas 14

	Q (100) (CFS)	IMPERVIOUS COVER (ACRES)
PRE	9.12	1.10
POST	8.43	0.96



HYDRAULIC CAPACITIES FOR STORMSEWER PIPES WERE CALCULATED USING A MANNING'S "n" VALUE OF 0.013

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---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED DRAINAGE PATTERN
---	PROPOSED DRAINAGE DELINEATION
X	= DRAINAGE AREA NUMBER
X.XX	= DRAINAGE AREA (AC.)
X.XX	= 100-YR RUNOFF (CFS)

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Saltwater lines		

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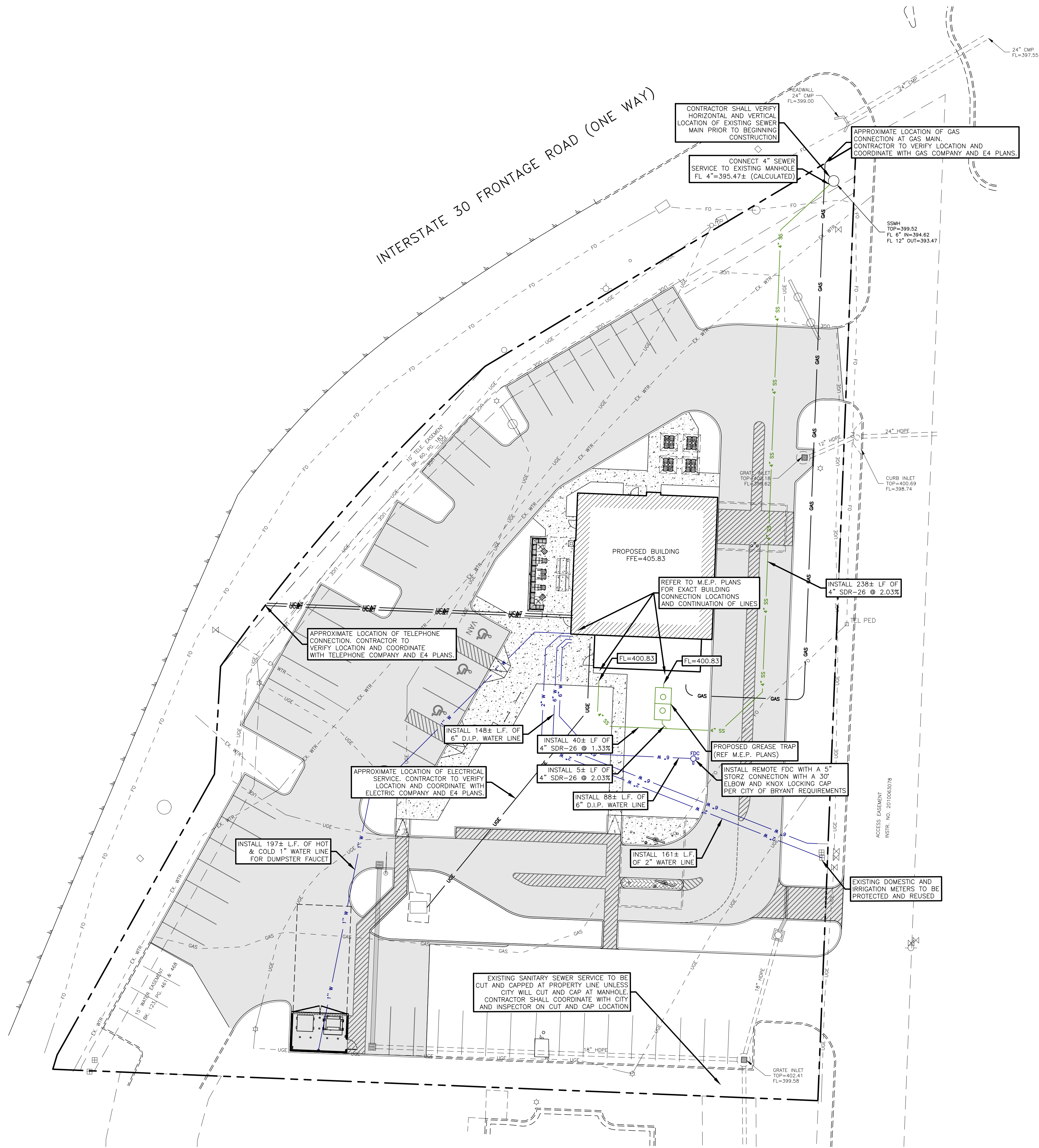
BENCHMARK
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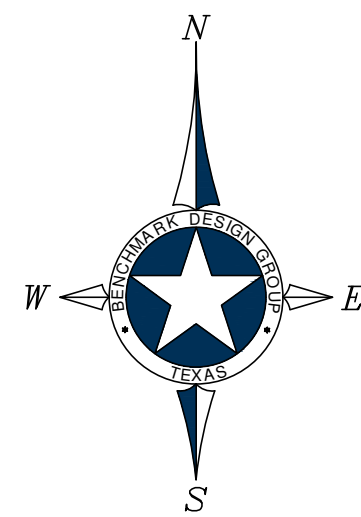
RAISING CANE'S
BRYANT, ARKANSAS
POST-DEVELOPED
DRAINAGE PLAN



DRAWN BY: RWD
CHECKED BY: ELS
DATE: JANUARY 2026
JOB NO: 2025.047
SHEET NO.
C-6.2



NOTE:
UTILITY TAPS TO BE PAID FOR BY THE CONTRACTOR AND PERFORMED BY THE CITY. DOMESTIC WATER AND IRRIGATION METERS LESS THAN 3" TO BE SET BY CITY OF TYLER AT CONTRACTOR'S EXPENSE. BACKFLOW PREVENTORS SHALL BE INSTALLED BY THE CONTRACTOR. CALL DEVELOPMENT SERVICES FOR COST AND COORDINATION OF TAPS AND METERS (903) 531-1171



UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALKS, DRIVEWAYS, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
2. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
3. CONTRACTOR SHALL, ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES.
4. CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
5. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
7. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. REFER TO OWNER FOR EXACT AREAS, DETAILS, AND SPECS.
8. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
9. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
10. CONTRACTOR TO REFER TO LANDSCAPING/ARCHITECTURAL PLANS AND/OR OWNER FOR LOCATIONS OF PROPOSED LIGHT STANDARDS AND UTILITY SLEEVING.
11. REFER TO M.E.P. PLANS FOR ELECTRIC, GAS, TELEPHONE, CABLE AND ANY OTHER NECESSARY UTILITIES SERVICES, OTHER THAN WATER AND SANITARY SEWER.

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
WV	PROPOSED WATER VALVE
WM	PROPOSED WATER METER
FH	PROPOSED FIRE HYDRANT
---	PROPOSED WATER LINE
---	PROPOSED SAN. SEWER LINE



NOTICE TO CONTRACTORS

1. These plans are subject to review and approval by all jurisdictions having authority.
 2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
 3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
 4. The topographic information shown herein is a reflection of the information provided by
 5. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
 6. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:
- | | | |
|-------------------|----------------------|----------------------|
| Telephone cable | Conduits | Pipes |
| Stormwater lines | Water lines | Gas lines |
| Television cables | Sanitary Sewer lines | Oil Production lines |
| Saltwater lines | | |
- Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	1-7-2026	RWD
SECOND SUBMITTAL	1-21-2026	RWD

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



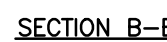
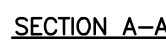
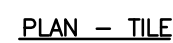
RAISING CANE'S
BRYANT, ARKANSAS

UTILITY PLAN



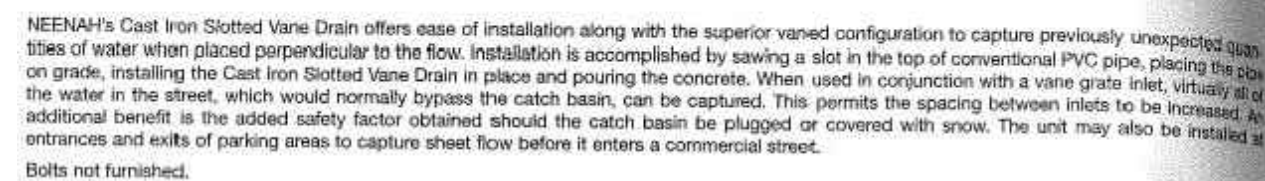
DRAWN BY:	RWD
CHECKED BY:	ELS
DATE:	JANUARY 2026
JOB NO:	2025.047
SHEET NO.	C-7.0

1. THE LOWER LANDING SHALL BE FINISHED WITH ARMOR-TILE TRUNCATED DOME TILES OR APPROVED EQUAL AT PUBLIC R.O.W. ONLY.
2. THE BOTTOM OF THE RAMP SHALL HAVE A 1/2" LIP OF 45°.
3. CONSTRUCT PER T.D.L.R. STANDARDS.

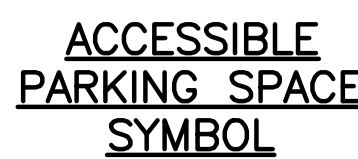
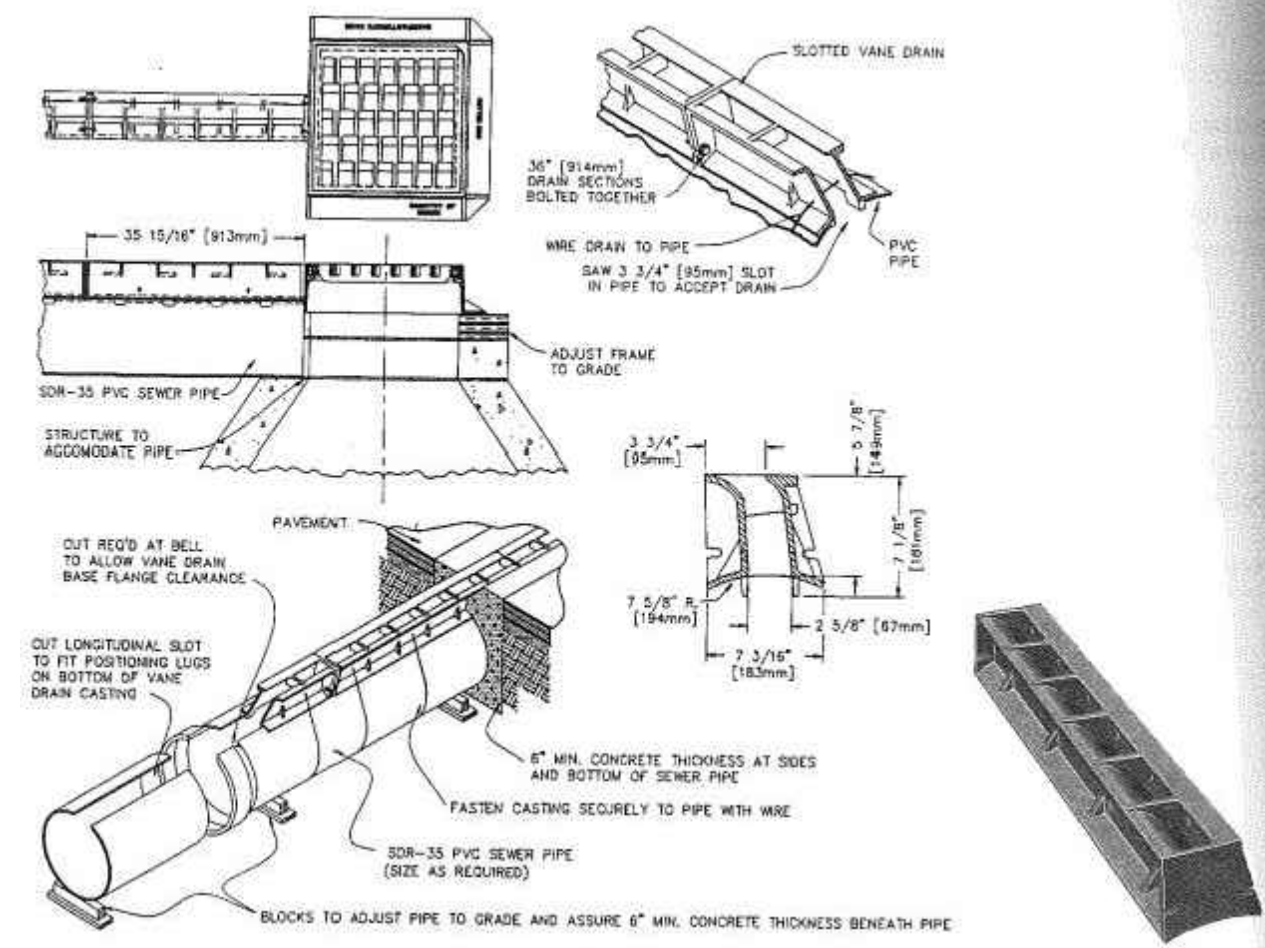


NOTES:

1. TYPE "A" TO BE USED ON ASPHALTIC CONCRETE PAVING, AND TYPE "B" TO BE USED WITH CONCRETE
2. CONCRETE FOR CURB AND GUTTER SHALL BE 3,600 P.P.S.I.. AT 28 DAYS.



On longitudinal slopes of 0% to 6%, this unit captures approximately 0.5 cubic feet per second, per lineal foot.

[illegible]

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

RAISING CANE'S
BRYANT, ARKANSAS

CONSTRUCTION DETAILS

DRAWN BY: *RWD*

CHECKED BY: *ELS*

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.
C-8.0

1-21-2026

City of Bryant
210 SW 3rd St.
Bryant, Arkansas 72022
Attn: Colton Leonard

phone 501-943-0301
cleonard@cityofbryant.com

RE: **Comment Response Letter**
Bryant, Arkansas
Benchmark project number 2025.047

Mr. Leonard

Benchmark Design Group (Benchmark) is the Engineer of Record for the above project. Benchmark received comments on January 15th, 2026 and is pleased to respond with the following. Original comments provided with responses.

Raising Canes - 23115 I-30

Utilities

1. The plans show a new service coming out of the building and going to a manhole to the north. The existing 6" service line to the south should be capped or plugged at the manhole (#4502).
[Noted added to plans](#)

Streets

1. All Streets associated are private.
[Noted](#)

Stormwater

1. ADEQ small site SWPPP submitted to City of Bryant
[Team is currently preparing SWPPP booklet and will provide once finalized.](#)
2. Post NOC on site
[NOC will be posted prior to construction start.](#)
3. Construction entrance shall be no less than the width of all ingress/egress with a 20' minimum width and a 50' minimum length
[Noted. Detail and plan view updated.](#)
4. Rock used on entrance shall be a minimum of 2-inch with no fines with a minimum depth of 6 inches
[Detail updated](#)
5. \$250.00 Stormwater Engineering Review Fee
[Noted, will get this paid.](#)

"Achieving Goals by Design"

Engineering

1. Pay engineering review fee.
Noted
2. Drawing C-6.1
 - a. Show point(s) of discharge which the drainage basin is based upon.
Discharge points added
3. Drawing C-3.0 - Submit erosion control plan(s) per the City's Stormwater Management Design Manual, Section 1100. Drawing(s) per the following.
 - a. *Provide a copy of the SWPPP as the site is larger than 1 acre*
Team is currently preparing SWPPP booklet and will provide once finalized.
 - b. *Pay any fees required for stormwater, if applicable*
Noted. Will get this paid
 - c. *Erosion control planning is in phases. For this drawing, indicate which measures are being taken for the initial phase, the construction phase, and the post-construction phase. Label erosion and sediment control structures as either Permanent or Temporary (See Section 1102.2)*
Table added to C-3.0
 - d. *The notes should show a reference to the SWPPP.*
Notes already on C-3.0
 - e. *Show a schedule or sequence of construction on the plan (See Sections 1102.2 ,1104.4.9 and 1105.13)*
Added
 - f. *Show soil loss calculations (See Section 1103) on the Erosion control plan or submit them on a separate document.*
Added to C-3.0
 - g. *Include an inspection and maintenance plan (Section 1104.4.7)*
Added to C-3.0
 - h. *Verify proper application of silt fencing is shown on the plan. (Maximum 3 ft height) See Section 1105.2 in the Stormwater Management Manual.*
Detail updated to meet this section with note pointing contractor to this section for additional clarification
 - i. *Maximum allowable slope lengths contributing runoff to a silt fence (Table 1100-1)*
Noted and added to detail
 - j. *Maximum drainage area contributing flow to a silt fence shall not exceed 0.5 acres per 100-ft of fence.*
Noted. This site should meet this requirement.
 - k. *Place silt fences below the toe of exposed and erodible slopes*
Added
 - l. *Show the replacement schedule for silt fences in the schedule / sequence.*
Added
 - m. *Show material specifications for silt fence, wire mesh, etc*
Added to detail on C-3.1
 - n. *Add notes on the silt fence detail which shows compliance with Section 1100.5.*
Added
 - o. *Show materials specifications for the silt fence, posts, etc.*
Added

- p. *What materials are planned to be utilized during construction for areas that require temporary stabilization (any areas that are not worked for more than 14 calendar days)? Vegetation and mulching*
Current plan will not have areas that exceed 14 days of no work, but if that does occur, contractor will ensure some form of temporary stabilization that meets the Stormwater Management Manual's specifications.
- q. *Show in the notes that existing vegetation that is established will be preserved.*
Added
- r. *Show a list of any other erosion control structures / materials that may be utilized during the construction phase as required to minimize soil loss.*
No additional methods currently planned unless those shown on the plans do not sufficiently capture the soil or issues arrive.
- s. *Add a note that the ECP is subject to change based on current site conditions. Additional measures may be needed to mitigate illicit discharges of sediment and/or debris from the site. See Section 1100 of the Bryant Stormwater Management Manual to see what other devices are recommended. Added note to "install supplemental measures as needed to contain runoff" but does not list specific erosion control measures.*
Added

4. Drawing C-3.1

- a. *Show minimum diameter of stone to be used on the temporary construction exit point detail.*
Added to detail on C-3.1
- b. *In the Flume Sediment Barrier, sandbags may cause the parking area to flood and overflow the curb, causing an illicit discharge of sediment. Sandbags must be changed out frequently due to clogging.*
Noted and shown in construction inspection notes on C-3.0. FYI, the flume sediment barrier is to prevent silted water from entering the parking lot from the grassed/open area behind the curb. We have found it is easier to manage soil loss if it can be kept off pavement.
- c. *On the Inlet Protection Filter Barrier detail show a reference to the requirements for silt fence on the detail.*
Added
- d. *Straw wattles clog easily and will require frequent maintenance or replacement.*
Noted and shown in construction inspection notes on C-3.0.
- e. *Show the specifications for the silt fence materials which meet the requirements in Section 1100 of the Stormwater Manual.*
Added

Planning

- 1. Site notes on multiple sheets reference complying with State of Texas Codes. That can just be changed to just say state codes.
Updated
- 2. Demolition permit will need to be obtained before demo of the existing building.
Noted
- 3. All metal paneling used must have concealed fasteners.
Noted
- 4. All signage will need to be approved through the Sign Permit Application Process.
Noted

Fire

- 1. Fire Department Access Roads must be able to support the imposed load of a fire apparatus weighing up to 75,000 lbs. [D102.1]
Noted and will comply. Main drive aisle running through site will meet this requirement.

2. Remote FDC connection shall be 5" storz connection with a 30 degree elbow and Knox locking cap. [912.3, 912.4.1]
[Note updated.](#)
3. Include a Knox Box near the main entrance at a height of 60" - 66". [AFPC, 506.1]
[Noted and final location to be determined near end of construction onsite with Fire Marshal.](#)

Benchmark appreciates this opportunity to be of service and welcome any questions or comments.

Respectfully submitted,
BENCHMARK DESIGN GROUP, LLC



Ryan Davis, PE



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 1/13/2024

Applicant or Designee:

Name Rodger Woodall
Address 10 Pine Chapel Dr
Phone 501-658-2086
Email Address: _____

Project Location:

Property Address 10 Pine Chapel Dr
Bryant, AR 72022
Parcel Number 847-09517-000
Zoning Classification Residential

Property Owner (If different from Applicant):

Name _____
Phone _____
Address _____
Email Address _____

Additional Information:

Legal Description (Attach description if necessary)

Lot 10 Tanglewood Acres, Subdivision to the City of Bryant,
Saline Co, Arkansas

Description of Conditional Use Request (Attach any necessary drawings or images)

To build a Shop for Storage, wood working and Parking of
Auto mobile 30'x30' Shop Proposed - 900 SF. Allowed 745 SF

Proposed/Current Use of Property Home/ Residence

Application Checklist

Requirements for Submission

- ☐ Letter stating request of Conditional Use and reasoning for request
- ☐ Completed Conditional Use Permit Application
- ☐ Submit Conditional Use Permit Application Fee (\$125)
- ☐ Submit Copy of completed Public Notice
- ☐ Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- ☐ Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- ☐ Submit eight (8) Copies of the Development Plan (Site Plan) showing:
 - Location, size, and use of buildings/signs/land or improvements
 - Location, size, and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing lighting
 - Proposed landscaping and screening
 - Use of adjacent properties
 - Scale, North Arrow, Vicinity Map
 - Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

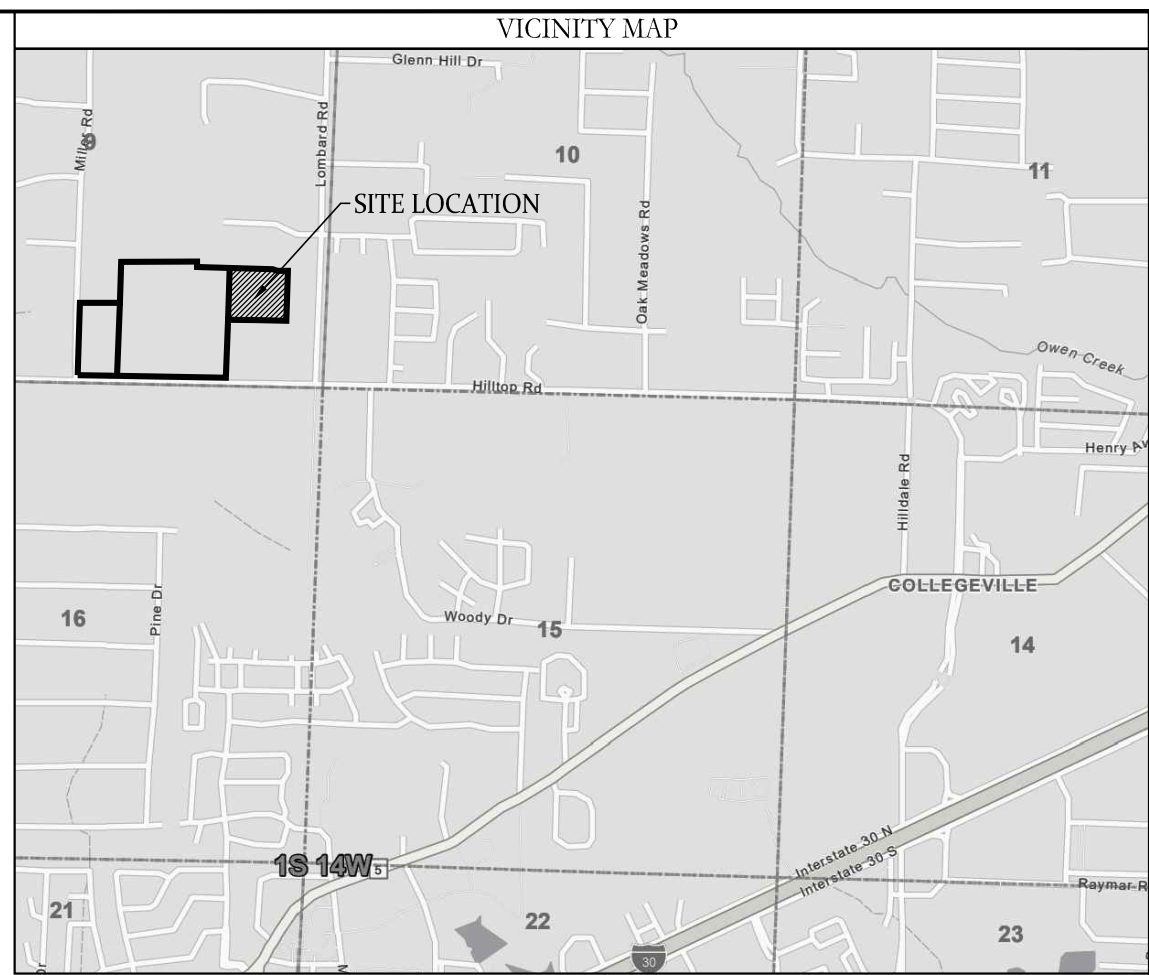
I, Rodger Wordell, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.


30.0'
30.0' 30.0'
30.0' 10.0'

840-09517-000

840

Pine Chapel Dr



		TRACT 3 PART OF THE SE 1/4, SE 1/4 & PART OF THE SW 1/4, SE 1/4, SECTION 9, TOWNSHIP 1S, RANGE 14 W, SALINE COUNTY, ARKANSAS
129 North Main Street Benton, Arkansas 72015 Office: (501) 315-2626 Fax: (501) 315-0024 www.HopeConsulting.com		
FOR USE AND BENEFIT OF: JON MARTIN		
DATE: 01-21-2026	CAD BY: BJK	PROJECT NUMBER: <div style="font-size: 2em; font-weight: bold;">25-1371</div>
REVISED:	CHECKED BY:	
SHEET: 1 OF 1	SCALE: 1" = 100'	
AR STATE LAND SURVEY FILING CODE: 500 - 01S - 14W - 0 - 09 - 200 - 02 - 1064		

DETAILED PLANS:

*CORNERSTONE MONTESSORI
HALF STREET IMPROVEMENTS*

4910 SPRINGHILL RD
BRYANT, ARKANSAS

PART OF THE NW ¼ OF THE NW ¼, SECTION
16, TOWNSHIP 1 SOUTH, RANGE 14 WEST,
SALINE COUNTY ARKANSAS

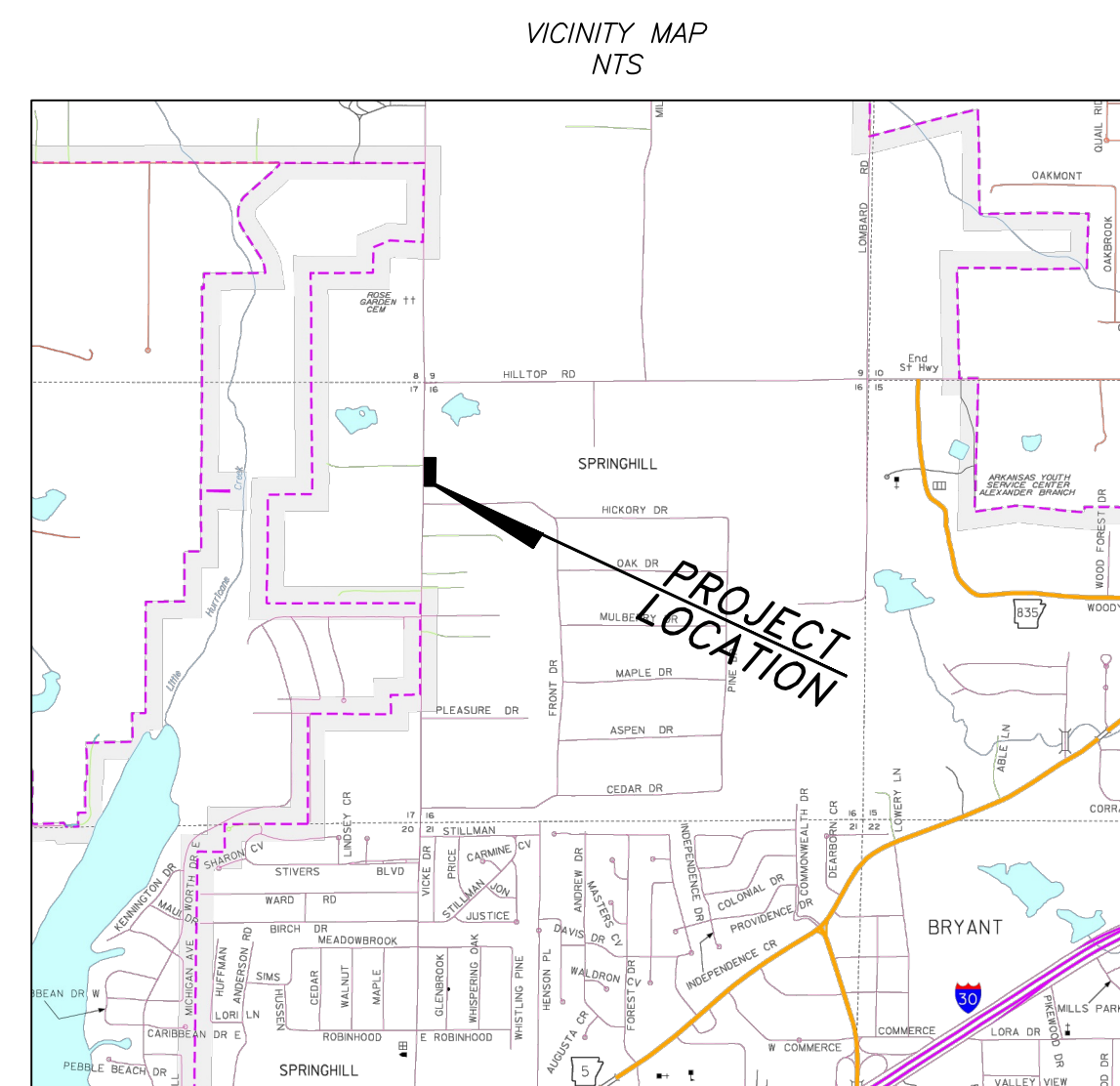
8-20-2025
REV: 01/22/2026

PREPARED FOR:

STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT,AR

PRE-CONSTRUCTION COPY -

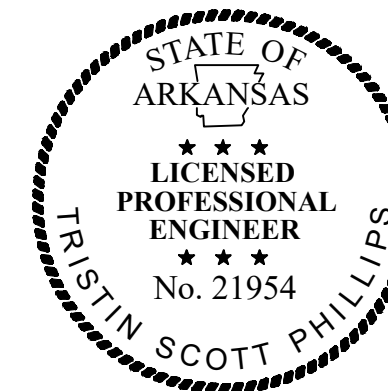
PLANS FOR BIDDING PURPOSES.
QUANTITIES TO BE VERIFIED PRIOR
TO CONSTRUCTION. CONTRACTOR
TO VERIFY GRADES WITH ENGINEER
PRIOR TO CONSTRUCTION.



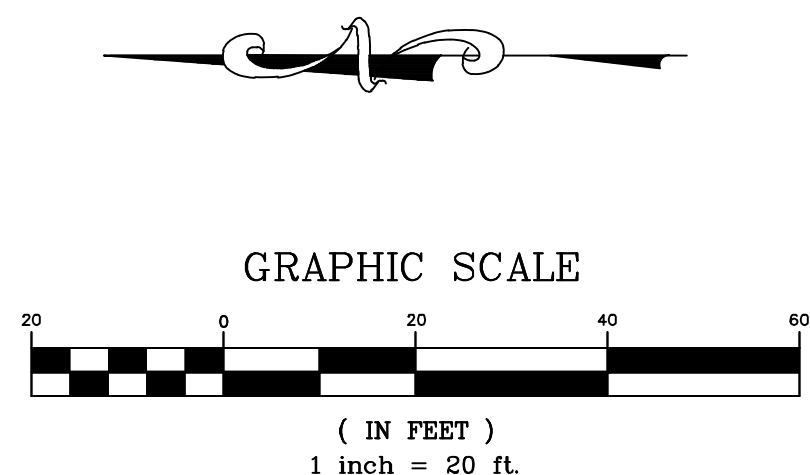
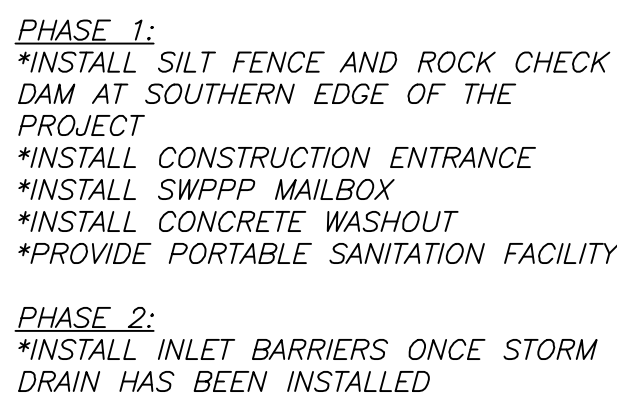
Prepared By:



325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

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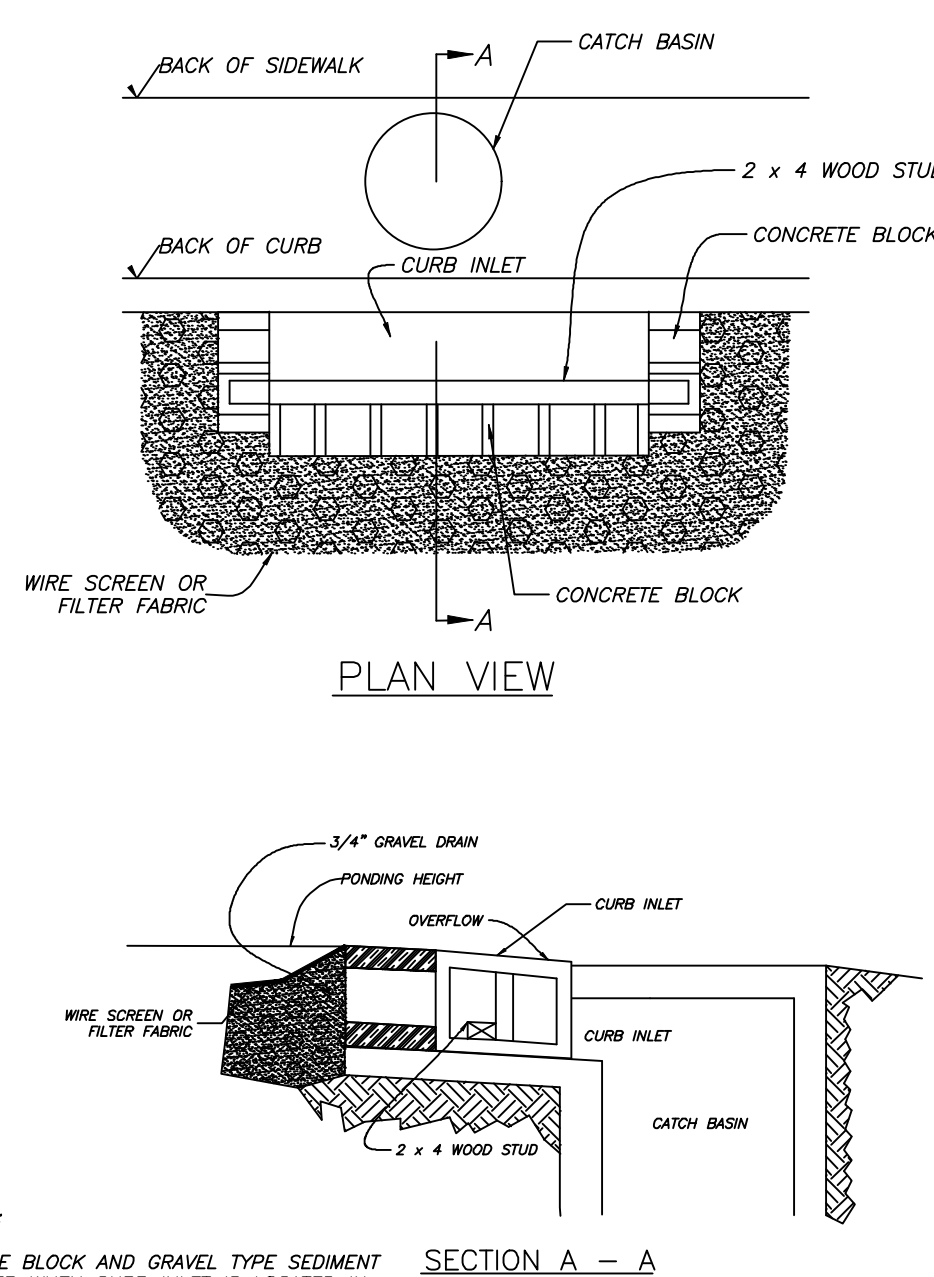
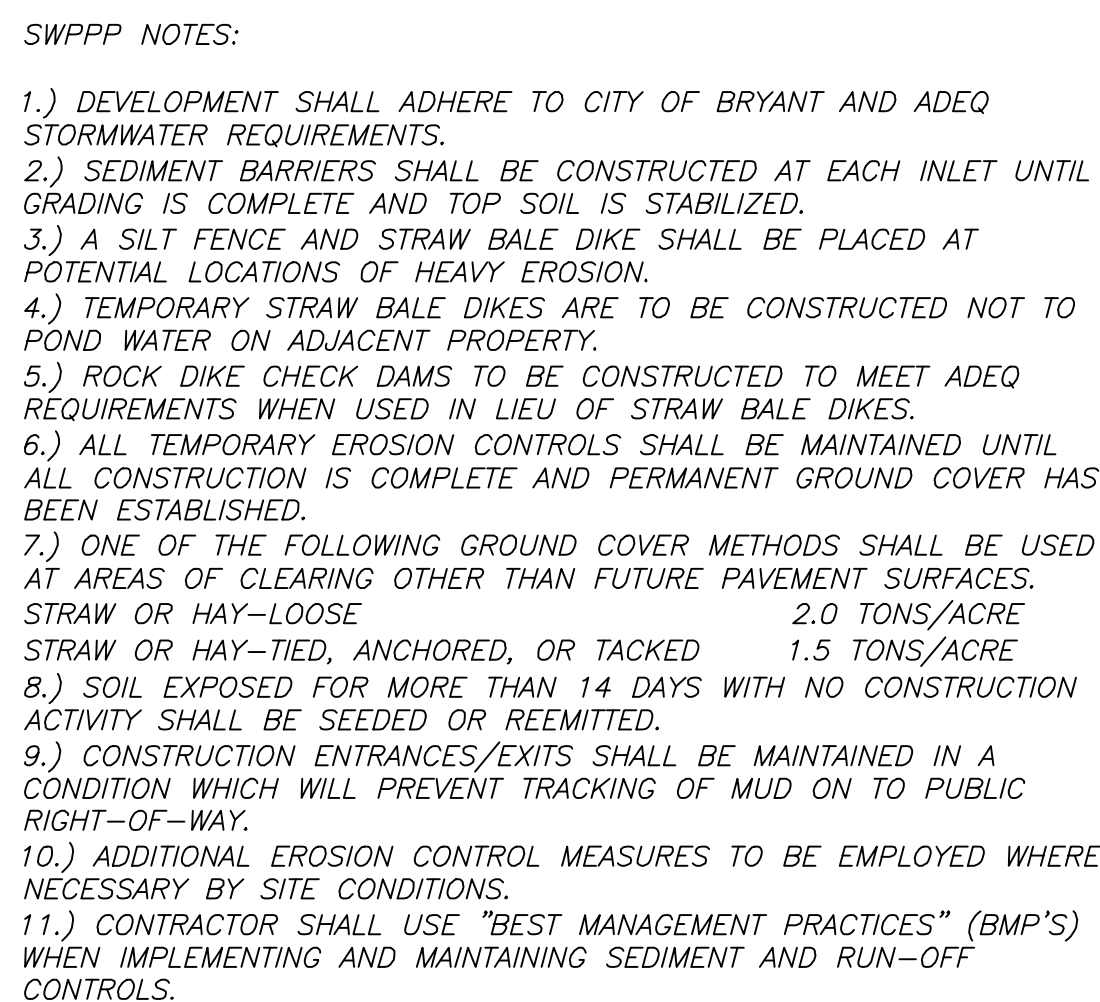
<i>INDEX OF SHEETS</i>	
<i>COVER SHEET</i>	<i>1</i>
<i>SWPPP</i>	<i>2</i>
<i>DEMOLITION PLAN</i>	<i>3</i>
<i>SITE PLAN/DIMENSION PLAN</i>	<i>4</i>
<i>UTILITY PLAN</i>	<i>5</i>
<i>GRADING PLAN</i>	<i>6</i>
<i>STORM DETIALS</i>	<i>7</i>



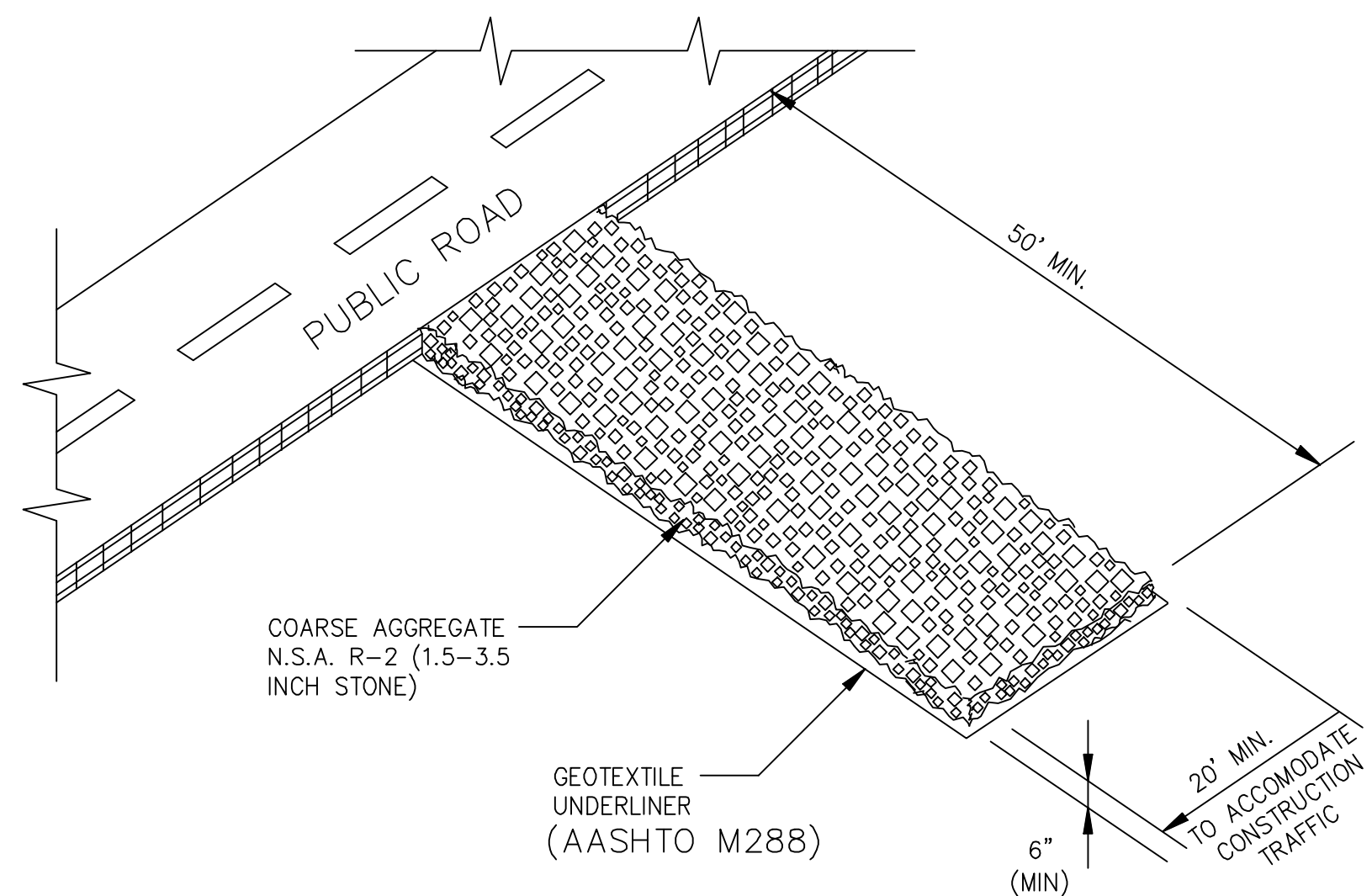
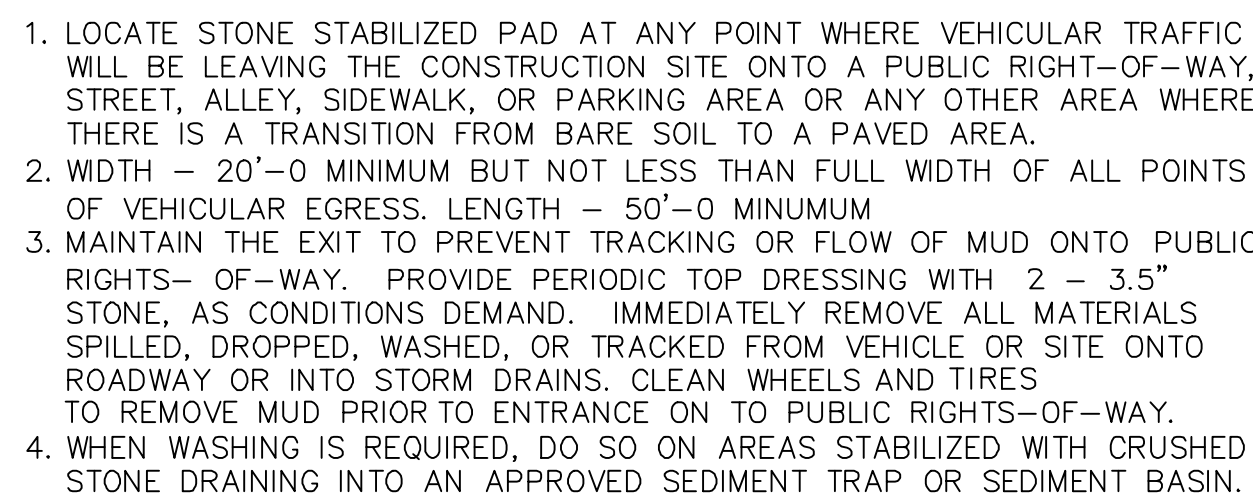
1. NOTES:
2. USE BELOW IN SMALL CHANNELS WITH DRAINAGE AREAS OF 50 ACRES OR LESS.
3. MUST BE USED IN CONJUNCTION WITH OTHER APPROPRIATE SEDIMENT CONTROL MEASURES.
4. USE CULVERT INSTALLATIONS, DAM CONSTRUCTION, OR ANY PROJECT THAT MAY INVOLVE GRADING ACTIVITY DIRECTLY IN A STREAM.
5. NOT INTENDED TO SUBSTANTIALLY IMPOUND WATER.
6. USE AT THE UPSTREAM END OF PONDS OR LAKES.
7. CHANNELS SHOULD NOT BE HIGHER THAN THE CHANNEL BANKS.
8. CENTER SHOULD BE AT LEAST 6 INCHES LOWER THAN THE OUTER EDGES OF THE DAM AT THE CHANNEL BANKS.
9. HEIGHT SHOULD NOT EXCEED ELEVATION OF UPSTREAM PROPERTY LINE.
10. SIDE SLOPES SHOULD BE 2:1 OR FLATTER.
11. TOP WIDTH SHOULD BE GREATER THAN 6 FEET.
12. EXTEND COMPLETELY ACROSS THE CHANNEL AND SECURELY TIE INTO BOTH CHANNEL BANKS
13. REQUIRES PERIODIC INSPECTION AND MAINTENANCE.
14. DUNE REMOVED WHEN IT REACHES ONE-THIRD OF THE ORIGINAL DAM HEIGHT

1. THE LOCATION OF KNOWN SURFACE & SUBSURFACE STRUCTURES, PIPE, POWER, GAS, PHONE, ETC ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING THEMSELVES AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.

1. ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC., THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
3. EROSION CONTROL DEVICES SHALL BE INSTALLED AS THE PROJECT PROGRESSES AND AREAS ARE DISTURBED.
4. THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
5. ALL INLETS ON AND ADJACENT TO THE SITE SHALL BE PROTECTED FROM SEDIMENT.
6. STORM WATER CONTROLS SHALL BE INSPECTED AT LEAST ONCE EVERY 7 DAYS.
7. ALL EROSION CONTROL DEVICES ARE TO BE MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE DURATION OF THIS PROJECT AND UNTIL PERMANENT VEGETATION IS ESTABLISHED. ALL SEDIMENT TRAPS ARE TO BE CLEANED AS REQUIRED.
8. ALL DISTURBED AREAS LEFT IDLE FOR A PERIOD OF 14 DAYS OR LONGER ARE TO RECEIVE TEMPORARY VEGETATION AND MULCHED.
9. REMOVE EROSION CONTROL DEVICES AFTER PERMANENT VEGETATION IS ESTABLISHED.
10. DEVELOPMENT SHALL ADHERE TO CITY OF BRYANT AND ADEQ STORM WATER REQUIREMENTS.
11. ADDITIONAL EROSION CONTROL MEASURES TO BE EMPLOYED WHERE NECESSARY BY SITE CONDITIONS.
12. CONTRACTOR TO COMPLY WITH ALL OSHA SAFETY REQUIREMENTS.
13. CONTRACTOR WITH THE RESPONSIBLE FOR COORDINATION OF TRAFFIC CONTROL WITH THE PROPER AUTHORITIES PRIOR TO CONSTRUCTION.
14. EROSION CONTROL PLAN SHALL BE MODIFIED SHOULD ANY CHANGE BECOME NECESSARY DURING CONSTRUCTION.
15. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE NOT EXHAUSTIVE. OTHER EROSION CONTROL MEASURES AND BMP'S MAY BE REQUIRED TO PROVIDE ADEQUATE REDUCTION OF SOIL LOSS.
16. THE CURRENT SWPPP PERMIT AND EROSION CONTROL SITE PLAN SHALL BE KEPT ON SITE IN A DRY AND ACCESSIBLE LOCATION ON SITE SO THAT IT MAY BE INSPECTED BY CITY OF BRYANT AND ADEQ OFFICIALS.

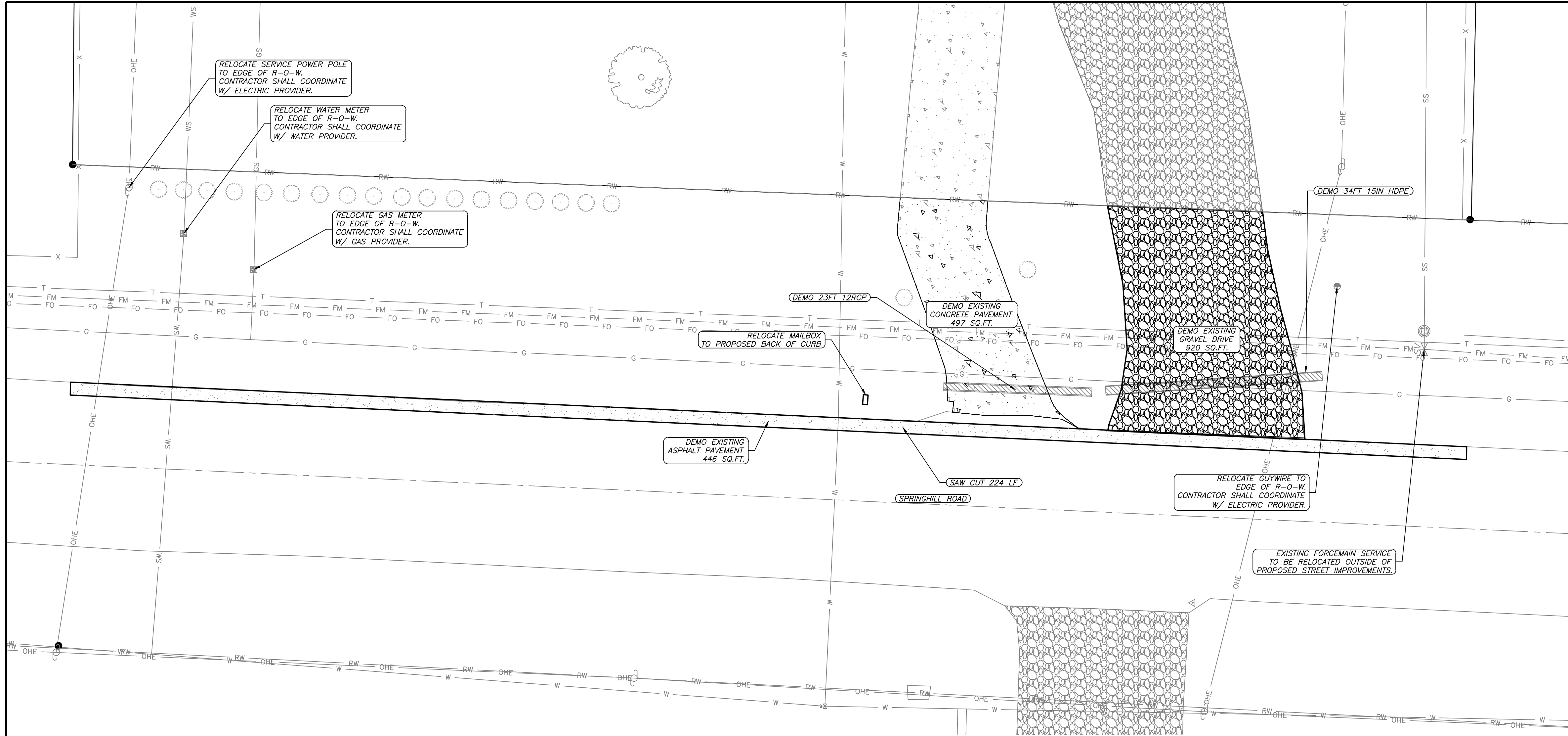


- NOTES:
- 1.) USE BLOCK AND GRAVEL TYPE SEDIMENT BARRIER WHEN CURB INLET IS LOCATED IN GENTLY SLOPING STREET SEGMENT, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
- 2.) BARRIER SHALL ALLOW FOR OVERFLOW FROM SEVERE STORM EVENT.
- 3.) INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TOP OF THE BARRIER.
- SECTION A — A
- CURB INLET
SEDIMENT BARRIER



CONSTRUCTION EXIT

NOT TO SCALE



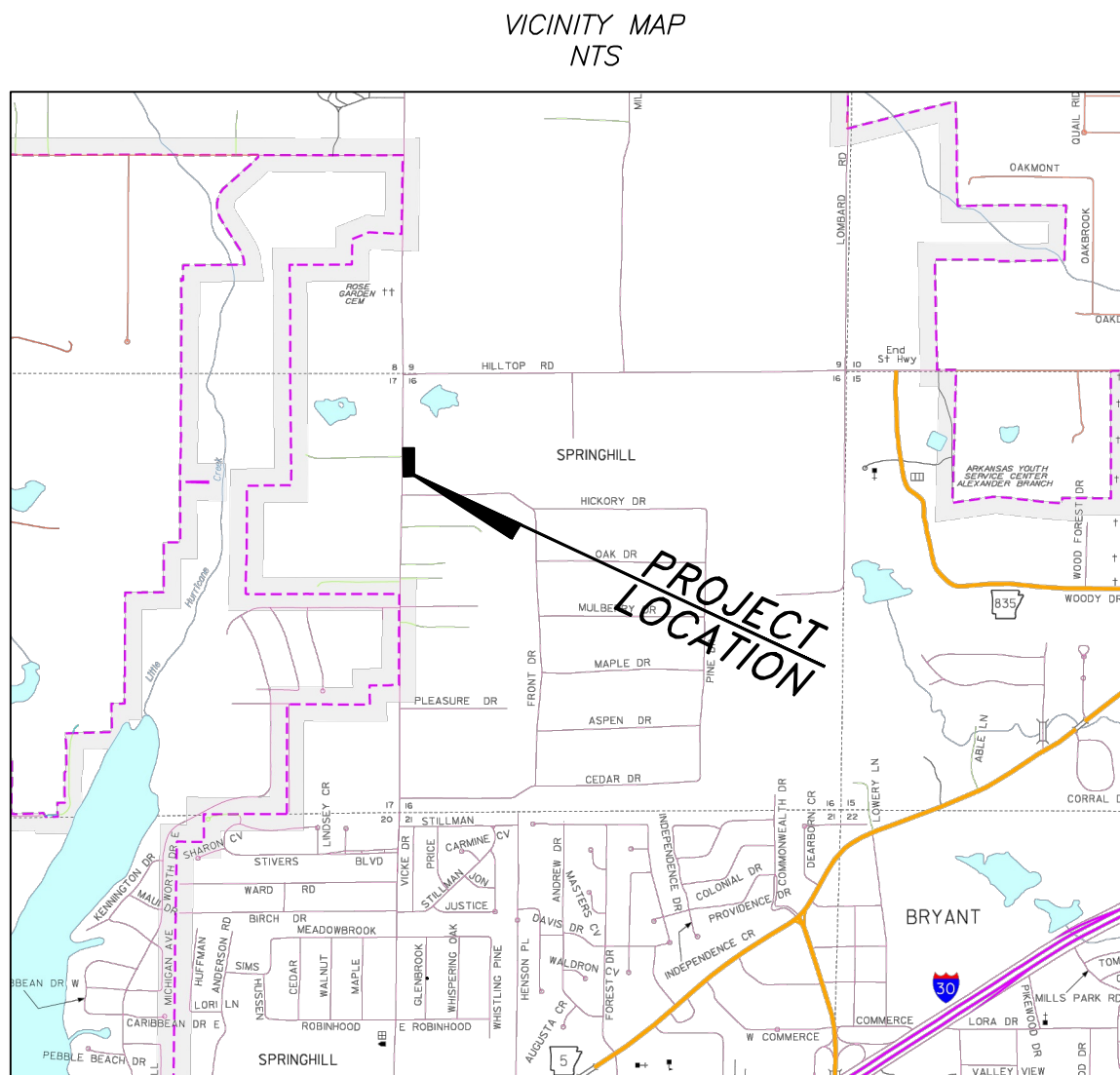
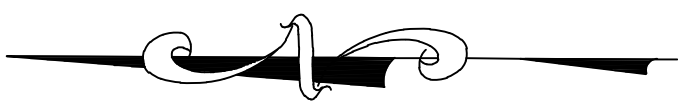
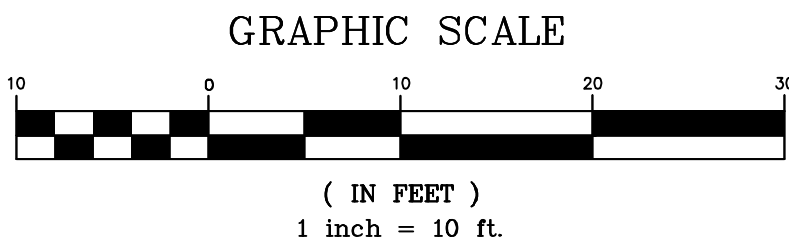
GENERAL CONSTRUCTION NOTES

- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- C. ALL SITE AND UTILITY IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE BRYANT UTILITIES STANDARD SPECIFICATIONS.
- D. THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, SERVICE CONNECTIONS, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- F. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- G. CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY CITY OF BRYANT. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
- H. FIBER OPTIC CABLE ON AND/OR ADJACENT TO THIS SITE WERE NOT LOCATED BY THE SURVEY AND ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY FIBER OPTIC CABLES ASSOCIATED WITH THIS SITE AND TAKE ALL NECESSARY AND REQUIRED PRECAUTIONS TO PROTECT ANY EXISTING FIBER OPTIC CABLES. CONTRACTORS SHALL COORDINATE ALL EFFORTS WITH OWNER OF FIBER OPTIC CABLES OR THEIR DESIGNATED REPRESENTATIVE.
- I. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.
- J. CONTRACTOR TO COMPLY WITH ALL OSHA SAFETY REQUIREMENTS.
- K. CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRAFFIC CONTROL WITH THE PROPER AUTHORITIES PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

DEMO NOTES:
1) QUANTITATIVE AREAS ARE APPROXIMATE, TO BE VERIFIED BY THE DEMOLITION CONTRACTOR.



Legend	
	RW Right of Way
	Property Boundary
	T Telephone
	FO Fiber Optic Line
	Road Center line
	Wire / Chainlink Fence
	Gas Line
	Gas Service Line
	Sanitary Sewer Service
	Force Main
	Water Line
	Water Service Line
	Overhead Powerline
	Water Meter
	Sanitary Sewer Manhole
	Storm Sewer Manhole
	Telephone Pedestal
	Force Main Gate Valve
	Sewer Service Check Valve
	Guy Wire
	Computed Corner
	Found Monument (Labeled)
	Utility Pole
	PROPOSED CONTOUR
	EXISTING CONTOUR

RICHARDSON ENGINEERING
Planning • Engineering • Development Consulting
325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

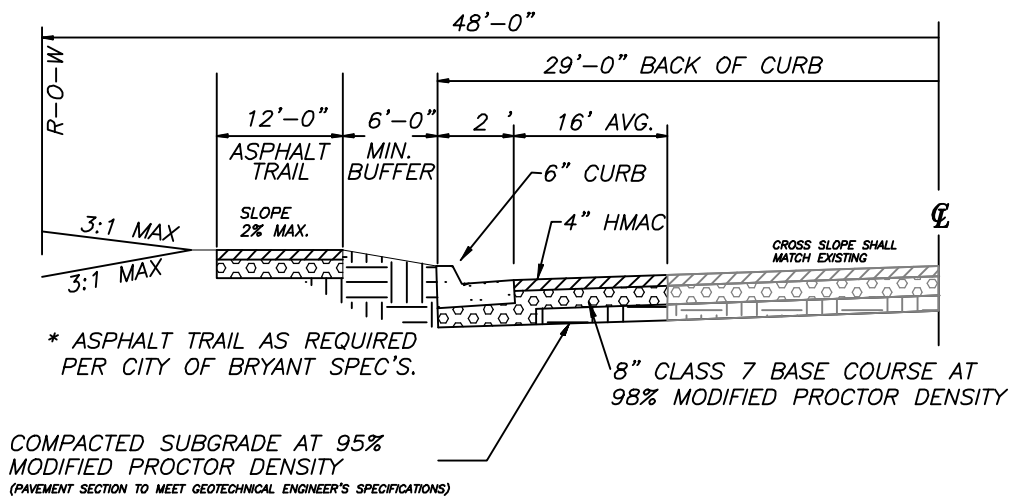
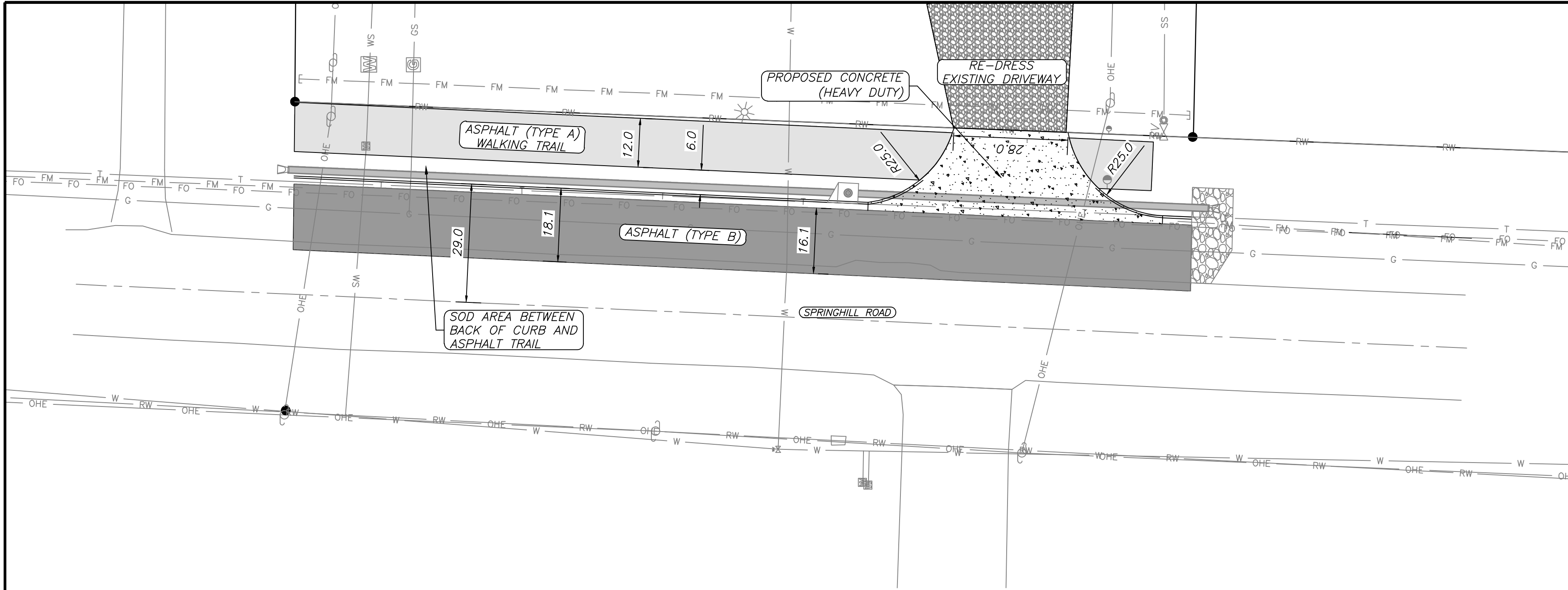
DEMOLITION PLAN
CORNERSTONE MONTESSORI HALF
STREET IMPROVEMENTS
4910 SPRINGHILL RD
BRYANT, ARKANSAS

Prepared For:
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

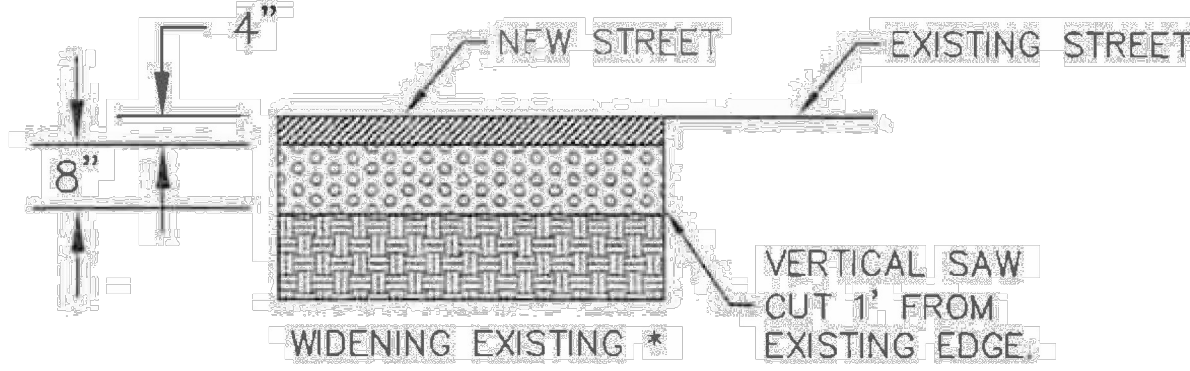
No.	Date	Revisions
1	12/28/2023	FORCEMAIN REDROUTE

PROJECT #: 025-026
Scale: 1" = 10'
Date: 8-20-2025
REV: 01/22/2026

Sheet: 3 of 7



TYPICAL ROAD CROSS SECTION (HALF STREET)
N.T.S.



PROPERTY DESCRIPTION AS SURVEYED

LOT 2 OF NUCKOLS ESTATES. A SUBDIVISION, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS. PLAT BOOK/PAGE 2021/020486.

LEGAL DESCRIPTION OF NUCKOLS ESTATES

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 16, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER, THENCE S2°15'35"W ALONG WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 819.14 FEET TO THE POINT OF BEGINNING; THENCE S89°26'33"E, A DISTANCE OF 353.66 FEET TO A FOUND IRON PIN AT THE SOUTHEAST CORNER OF LAND DESCRIBED IN INSTRUMENT #2017-006510 FILED IN SALINE COUNTY, ARKANSAS; THENCE ALONG THE SOUTH PROPERTY LINE OF LAND DESCRIBED IN INSTRUMENT #2009-57630 FILED IN SALINE COUNTY, ARKANSAS, S89°23'57"E, A DISTANCE OF 967.93 FEET TO A 3/8" FOUND IRON PIN WITH CAP #128 ON THE WEST PROPERTY LINE OF LANDS OWNED BY RONNY BROADWAY DESCRIBED IN INSTRUMENT #2020-017777 FILED IN SALINE COUNTY, ARKANSAS; THENCE LEAVING SAID SOUTH LINE ALONG THE WEST LINE OF BROADWAY, S03°06'57"W, A DISTANCE OF 494.53 FEET TO A 3/8" REBAR AND THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY DOCUMENT #2012-36651; THENCE N89°23'43"W, A DISTANCE OF 1313.94 FEET ALONG THE NORTH LINE OF LANDS OWNED BY BALISTERRI, WOOTEN AND VAUGH; THENCE N02°15'55"E, A DISTANCE OF 493.91 FEET TO THE POINT OF BEGINNING, CONTAINING 14.71 ACRES, MORE OR LESS.

GENERAL NOTES:

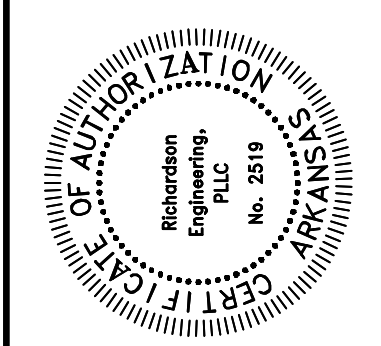
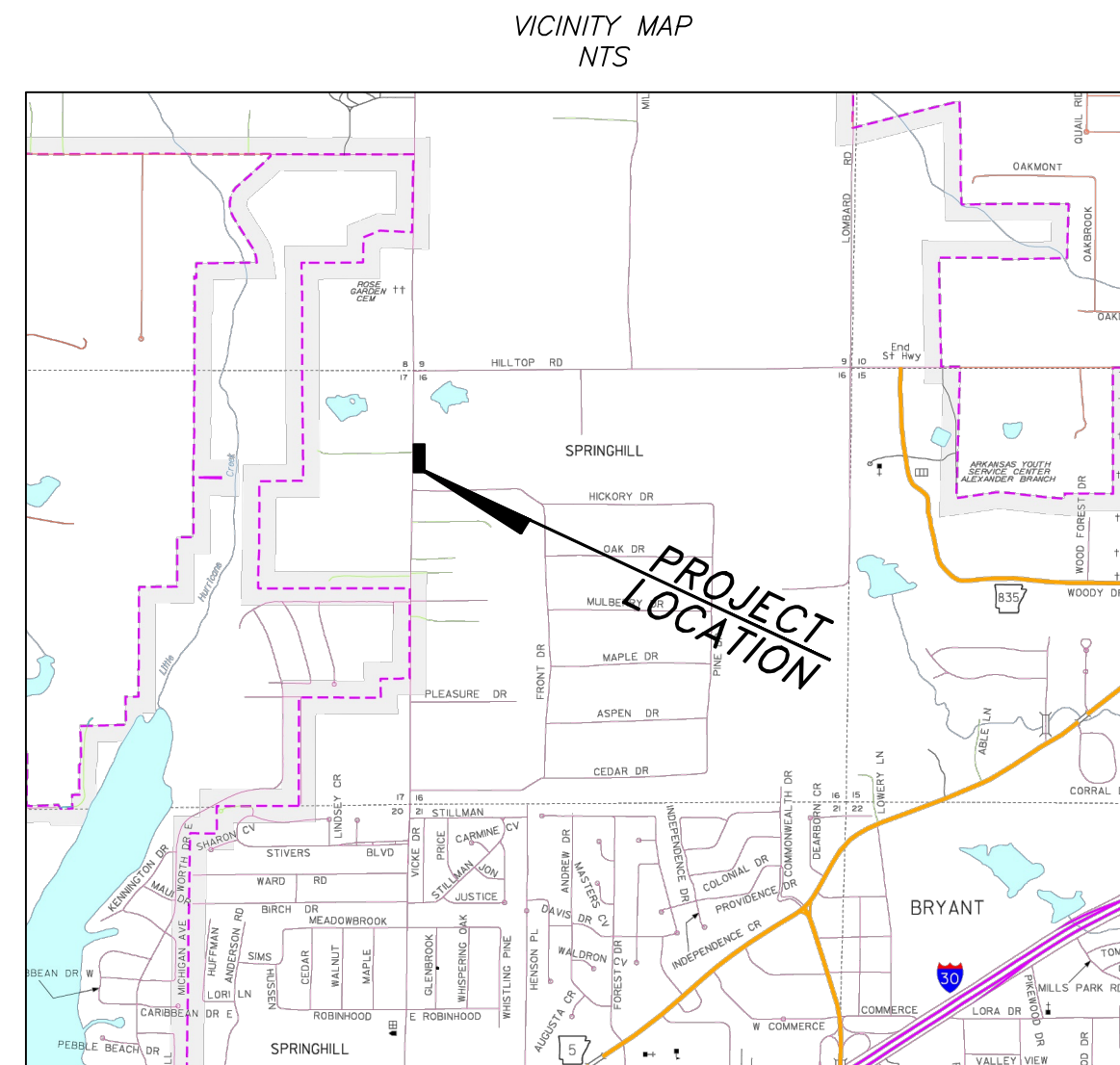
- 1.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 2.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- 3.) CONSTRUCTION SITE SHALL ADHERE TO BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
- 4.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
- 5.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- 6.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.

SITE NOTES

- 1.) PROJECT SITE AREA: 1.02 ACRES (44,466 SQUARE FEET)
- 2.) PROPOSED LOCATIONS OF TRAFFIC CONTROL MARKERS ARE APPROXIMATE. ACTUAL LOCATION AND INSTALLATION MUST MEET MUTCD AND BRYANT ROAD DEPT. SPECS.
- 3.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AHTD SPECIFICATIONS, AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 4.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE & BASE. TEST TO BE CONDUCTED AS PER GEOTECHNICAL ENGINEERS' SPECS.
- 5.) CONTRACTOR TO INCLUDE IN BID THE COST OF MATERIAL AND INSTALLATION OF STREET SIGNS & TRAFFIC CONTROL SIGNS.
- 6.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- 7.) CONTRACTOR TO ADHERE TO CURRENT OSHA EXCAVATION & TRENCH SAFETY REGULATIONS.
- 8.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- 9.) THIS PROJECT IS NOT IN THE 100 YEAR FLOOD HAZARD AREA. REFERENCE FIRM MAP 05125C0225E EFFECTIVE 06/05/2020
- 10.) CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRAFFIC CONTROL WITH THE PROPER AUTHORITIES PRIOR TO CONSTRUCTION.

SITE PLAN NOTES:

- 1.) THERE ARE NO EROSION PROBLEMS ON THE SITE OR KNOWN EROSION PROBLEMS WITHIN 300' DOWNSTREAM.
- 2.) THERE IS NO SURFACE EVIDENCE OF EXISTING OR ABANDONED WATER WELLS, SUMPS, CESSPOOLS, SPRING WATER IMPOUNDMENTS, AND UNDERGROUND STRUCTURES WITHIN THE PROJECT.
- 3.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AHTD SPECIFICATIONS, AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 4.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE & BASE. TEST TO BE CONDUCTED AS PER GEOTECHNICAL SPECS.
- 5.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- 6.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- 7.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.

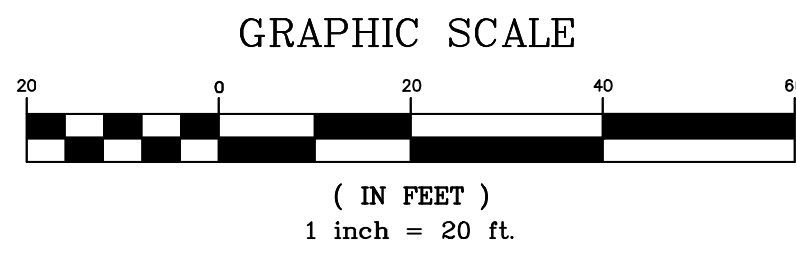


SITE PLAN
CORNERSTONE MONTESSORI HALF
STREET IMPROVEMENTS
4910 SPRINGHILL RD
BRYANT, ARKANSAS

Prepared For:
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

No.	Revisions	Date
1	FORCEMAIN REROUTE	12/28/2025

PROJECT #:	025-026
Scale:	1" = 20'
Date:	8-20-2025
REV:	01/22/2026
Sheet:	4 of 7



ENGINEER
RICHARDSON ENGINEERING, PLLC
ADDRESS: 325 W.SOUTH ST.
BENTON, AR. 72015
PHONE NO. (501) 315-7225
PROJECT REPRESENTATIVE:
TRISTIN PHILLIPS, P.E.

DEVELOPERS
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

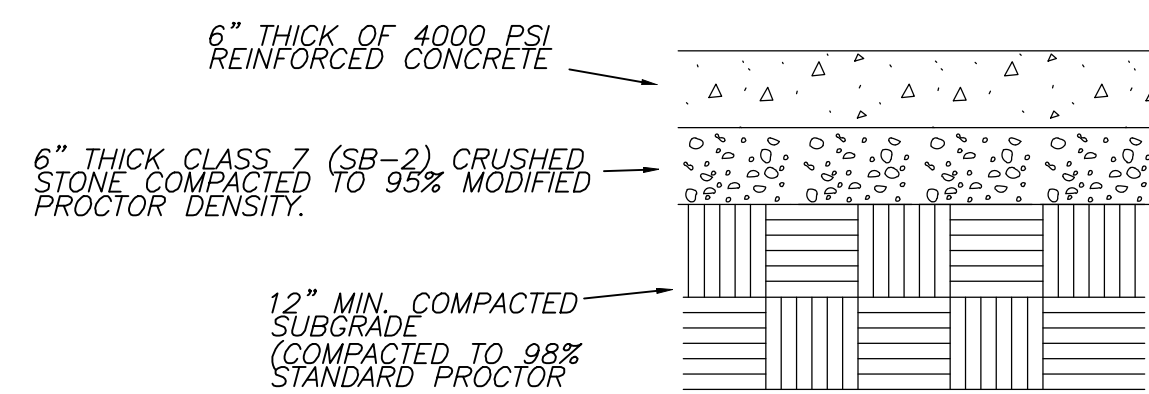
Legend

- RW Right of Way
- Property Boundary
- T Telephone
- FO FO FO Fiber Optic Line
- Road Center line
- X Wire / Chainlink Fence
- G Gas Line
- GS Gas Service Line
- SS Sanitary Sewer Service
- FM FM FM Force Main
- W Water Line
- WS Water Service Line
- OHE Overhead Powerline

- Water Meter
- Sanitary Sewer Manhole
- Storm Sewer Manhole
- Telephone Pedestal
- Force Main Gate Valve
- Sewer Service Check Valve
- Guy Wire
- Computed Corner
- Found Monument (Labeled)
- Utility Pole
- PROPOSED CONTOUR
- EXISTING CONTOUR

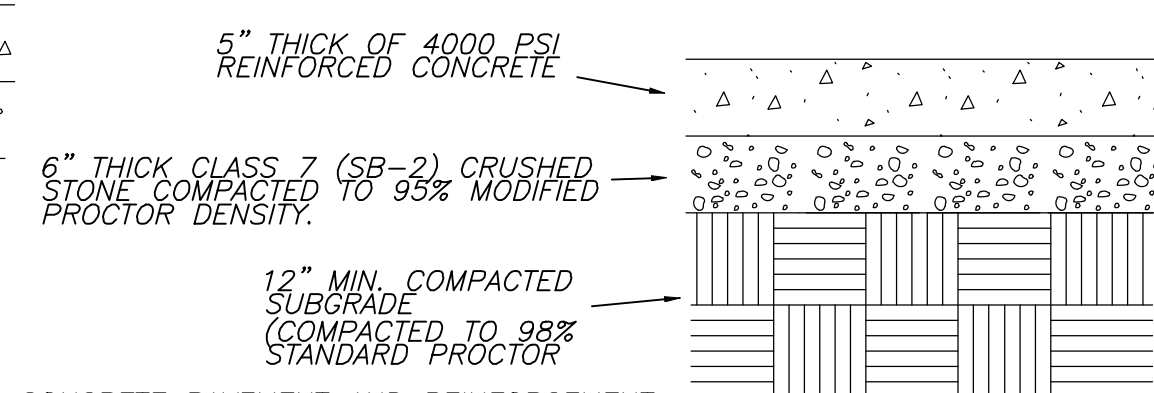
CONCRETE PAVEMENT NOTES:

1. CONCRETE TO BE 4000 PSI, SLUMP 4" +/- 1".
2. INSTALL 1" DIA. X 18" L SMOOTH DOWELS ON 18" CENTERS AT CONTROL JOINTS.
3. SAW CUT CONTROL JOINTS 15' MAX. EACH WAY AT A DEPTH OF 25% (1/4" PER 1") OF CONCRETE SECTION THICKNESS.
4. AIR ENTRAINMENT 3-5%.
5. FINISH TO BE MEDIUM BROOM FINISH.
6. INSTALL EXPANSION JOINTS WHERE ABUTTING STRUCTURES AND AT A MAX. OF 200 LF OF PAVING. USE 3/4" EXPANSION JOINT MATERIAL WHERE EXPANSION JOINTS ARE SPECIFIED. USE 1" DIA. X 18" L SMOOTH DOWELS ON 18" CENTERS IN EXPANSION JOINTS BETWEEN PAVEMENT SECTIONS.



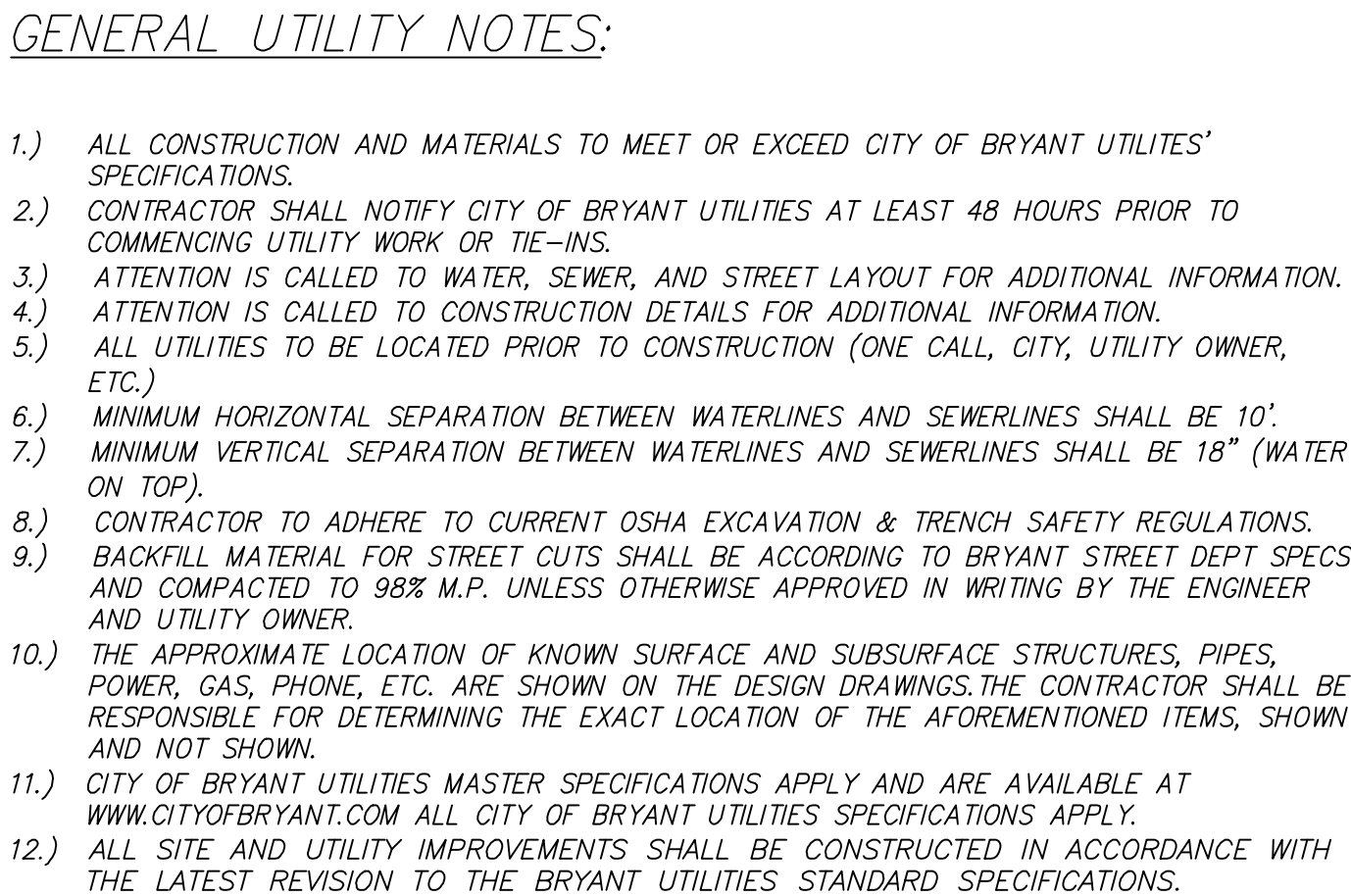
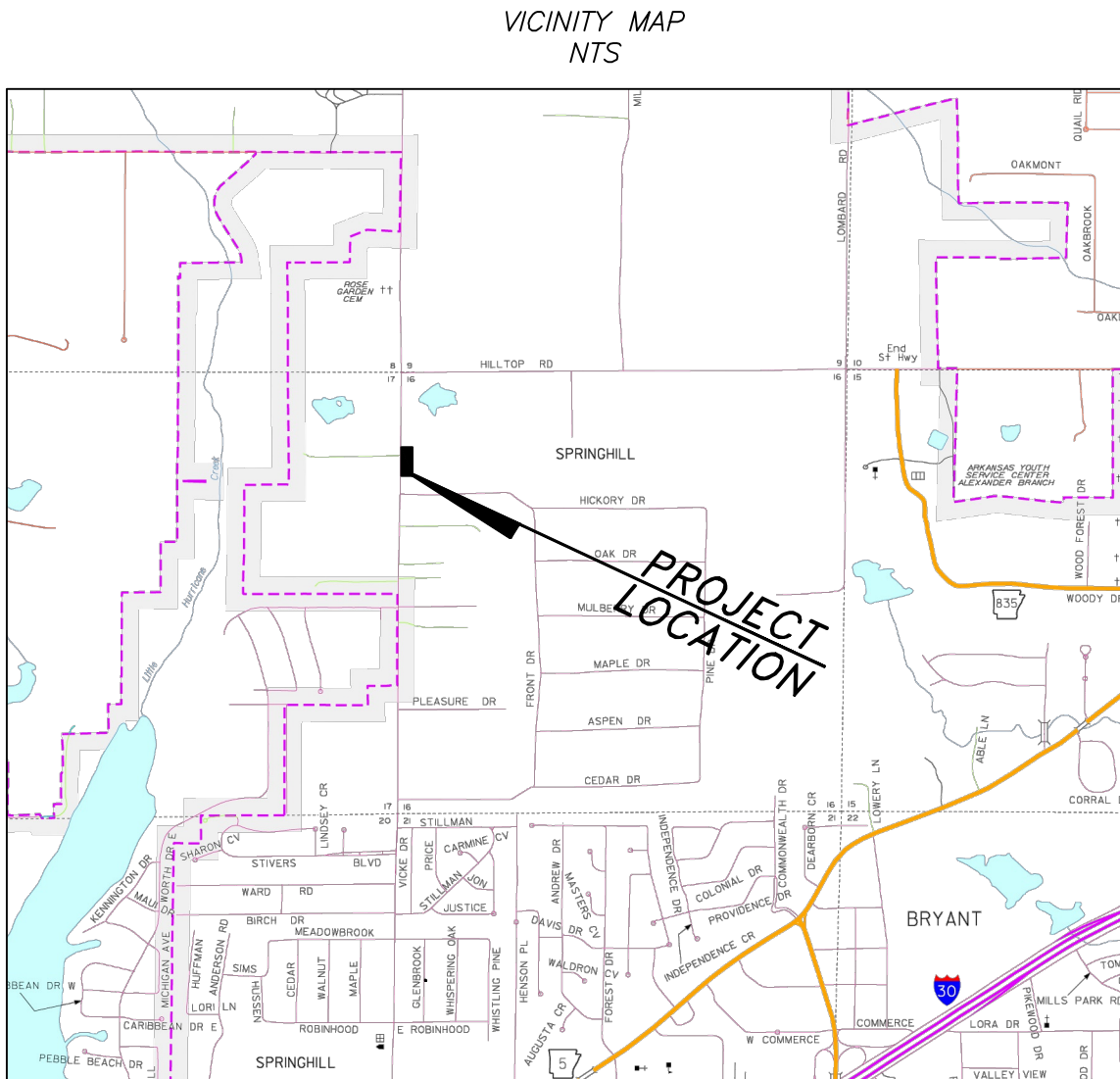
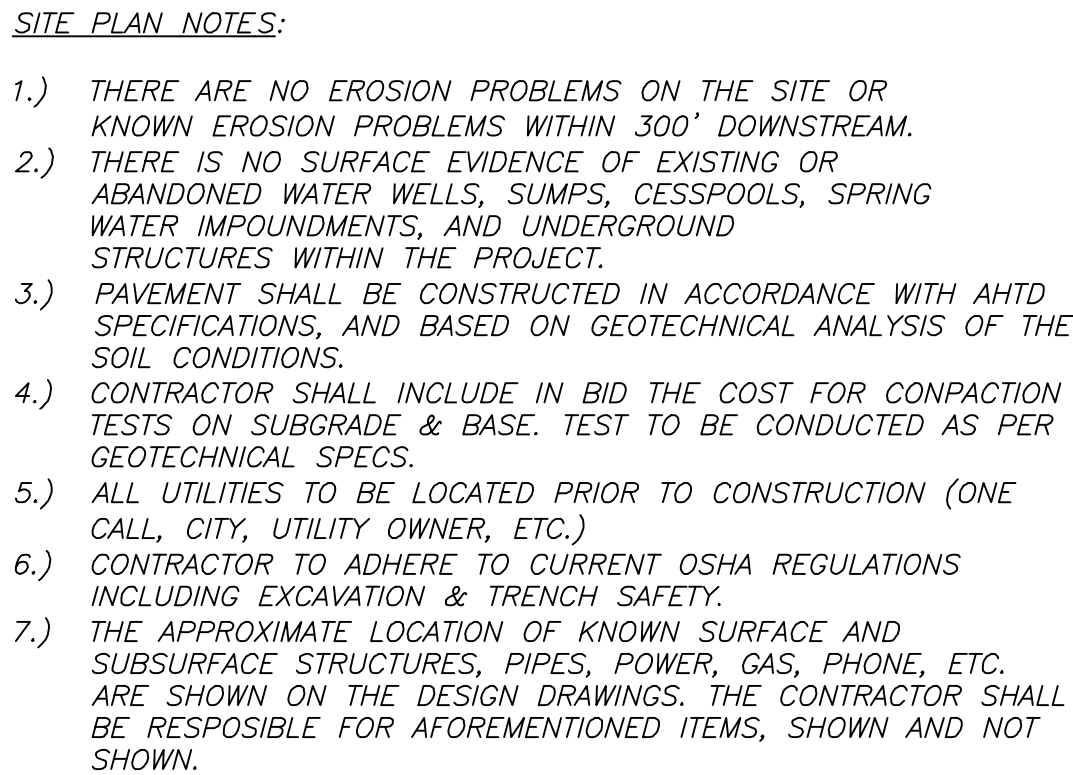
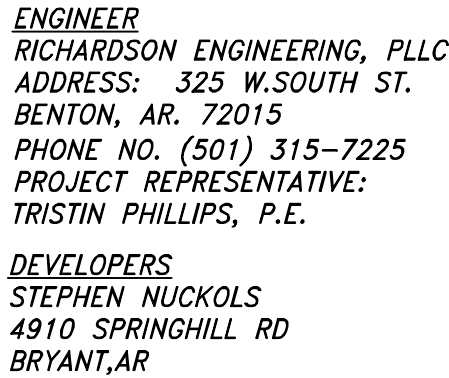
* CONCRETE PAVEMENT AND REINFORCEMENT TO BE VERIFIED PER ACI 330R-08-SP8 AND SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.







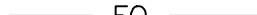











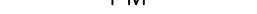







HEAVY DUTY
CONCRETE PAVEMENT SECTION (OPTIONAL)
NTS















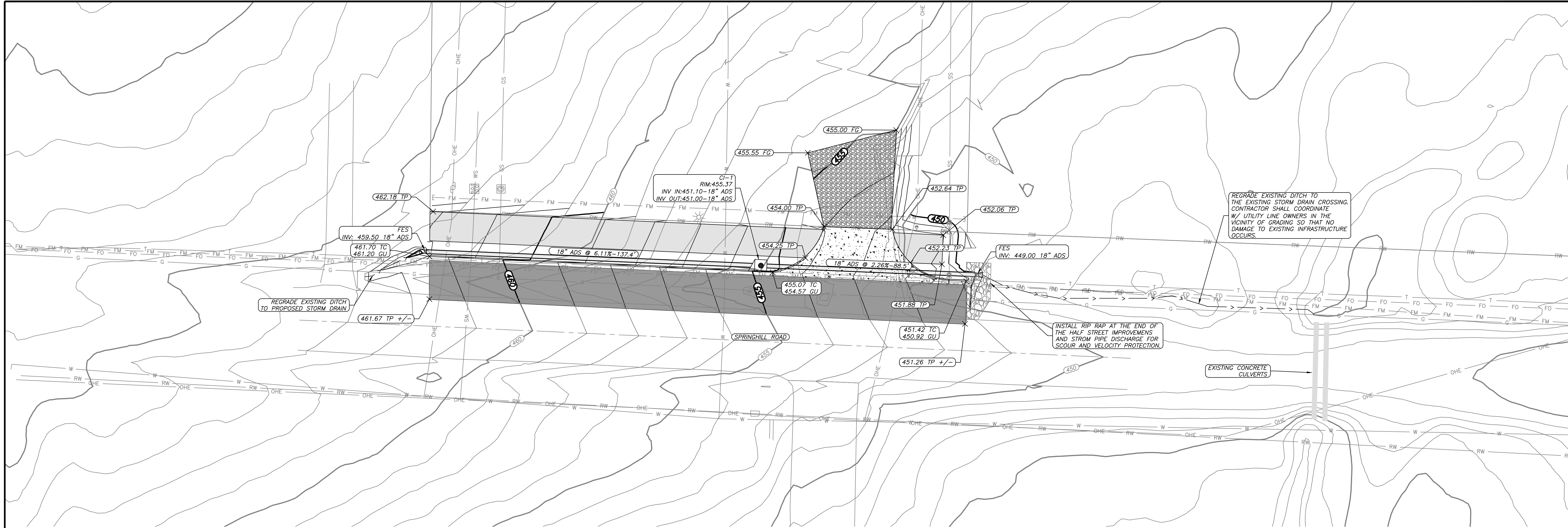
* CONCRETE PAVEMENT AND REINFORCEMENT TO BE VERIFIED PER ACI 330R-08-SP8 AND SUBJECT TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

LIGHT DUTY
CONCRETE PAVEMENT SECTION (OPTIONAL)
NTS

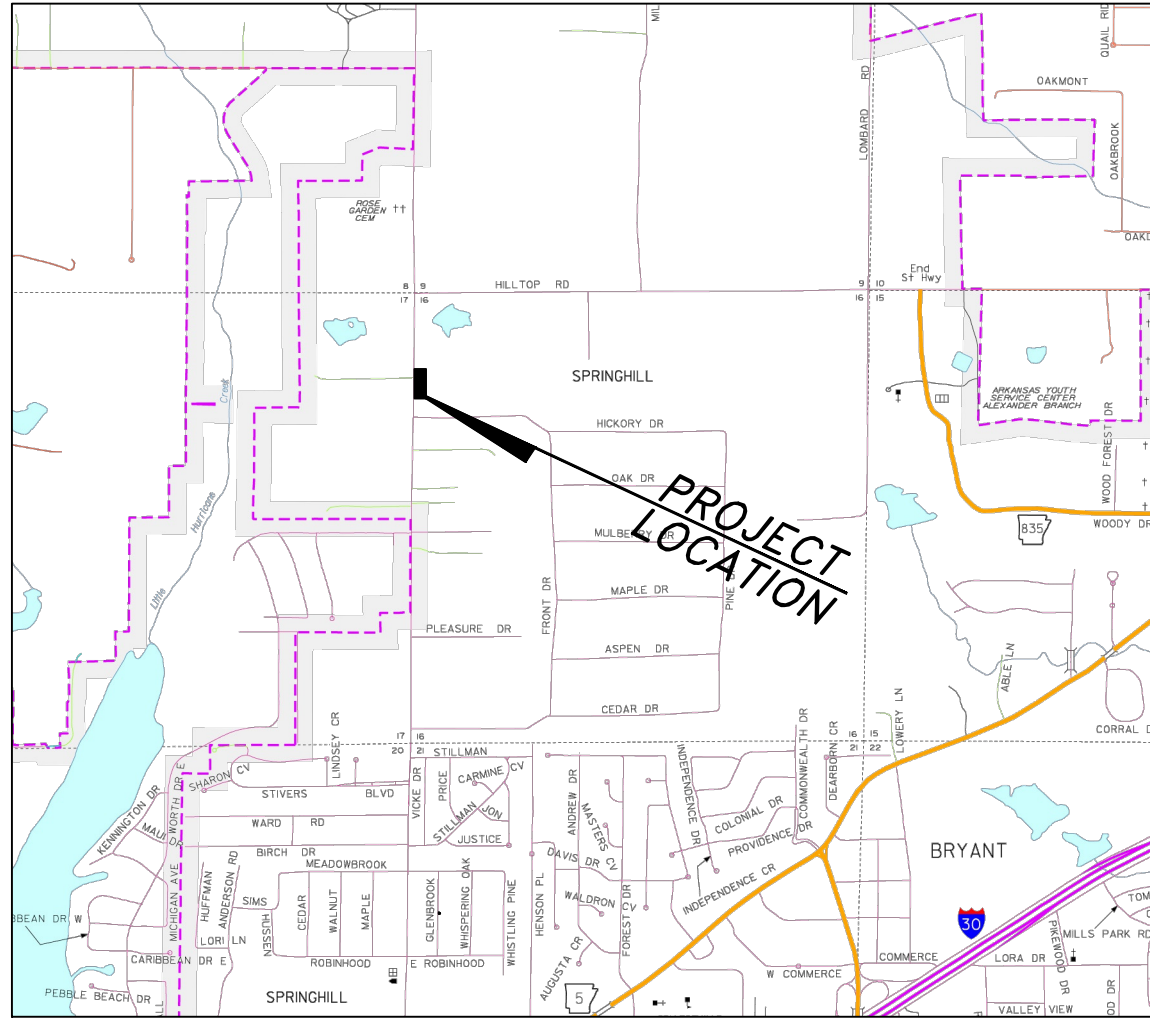


	RW		Right of Way
			Property Boundary
	T		Telephone
	FO		Fiber Optic Line
			Road Center line
	X		Wire / Chainlink Fence
	G		Gas Line
	GS		Gas Service Line
	SS		Sanitary Sewer Service
	FM		Force Main
	W		Water Line
	WS		Water Service Line
	OHE		Overhead Powerline

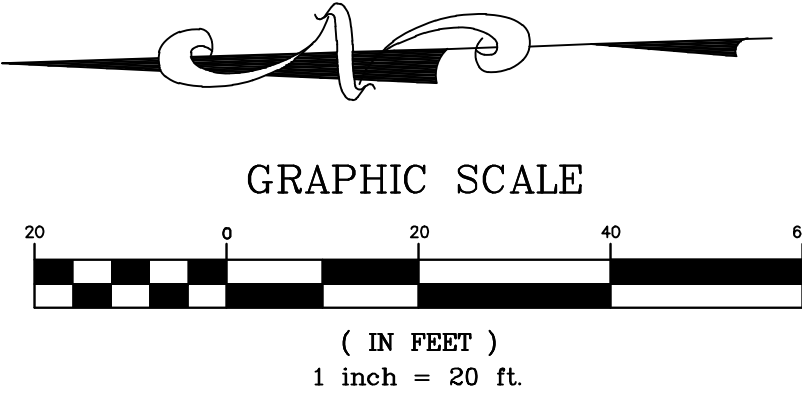
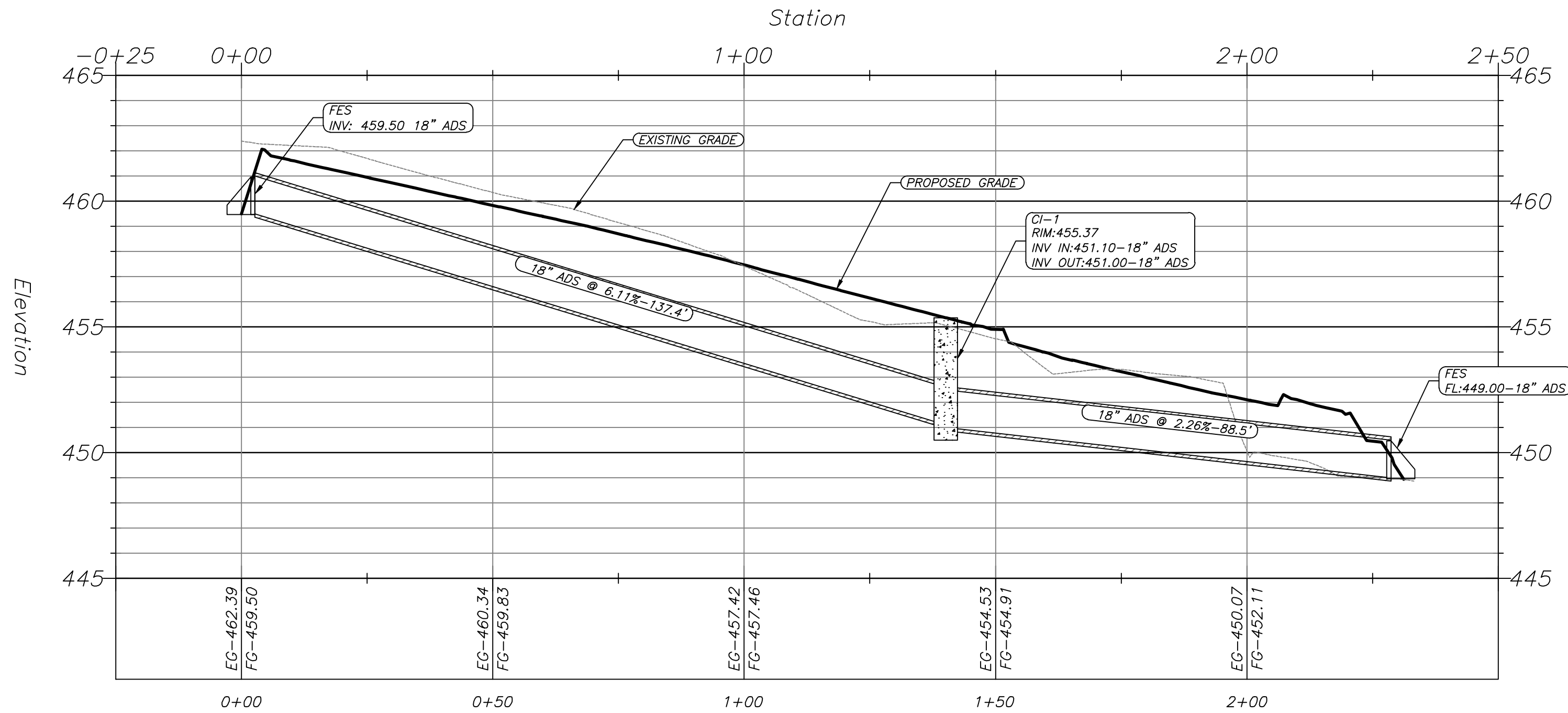
	Water Meter		Guy Wire
	Sanitary Sewer Manhole		Computed Corner
	Storm Sewer Manhole		Found Monument (Labeled)
	Telephone Pedestal		Utility Pole
	Force Main Gate Valve		PROPOSED CONTOUR
	Sewer Service Check Valve		EXISTING CONTOUR



VICINITY MAP
NTS



PROPOSED STORM PROFILE



Legend

- RW Right of Way
- Property Boundary
- T Telephone
- FO Fiber Optic Line
- Road Center line
- X Wire / Chainlink Fence
- G Gas Line
- GS Gas Service Line
- SS Sanitary Sewer Service
- FM Force Main
- W Water Line
- WS Water Service Line
- OHE Overhead Powerline

- Water Meter
- Sanitary Sewer Manhole
- Storm Sewer Manhole
- Telephone Pedestal
- Force Main Gate Valve
- Sewer Service Check Valve
- Guy Wire
- Computed Corner
- Found Monument (Labeled)
- Utility Pole
- PROPOSED CONTOUR
- EXISTING CONTOUR

GENERAL NOTES:

- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
- CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
- ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
- CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS INCLUDING EXCAVATION & TRENCH SAFETY.
- THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING TRAFFIC CONTROL WITH THE PROPER AUTHORITIES.

RICHARDSON
ENGINEERING
Planning • Engineering • Development Consulting

325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

SEAL

Professional Engineer
Richardson
No. 2519

GRADING PLAN
CORNERSTONE MONTESSORI HALF
STREET IMPROVEMENTS
4910 SPRINGHILL RD
BRYANT, ARKANSAS

Prepared For:
STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

Date:
12/09/2023

Revisions:
FORCEMAIN REROUTE

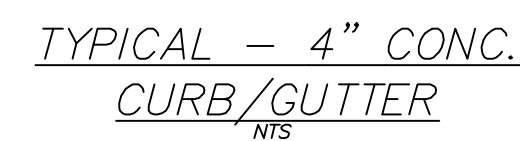
No.:
7

PROJECT #:
025-026

Date:
8-20-2025
REV:01/22/2026

Scale:
1" = 20'

Sheet:
6 of 7



NOTE: This detail is not to be used for inlets in curb radius.
See PW-10 for detail of inlet top in curb radius.



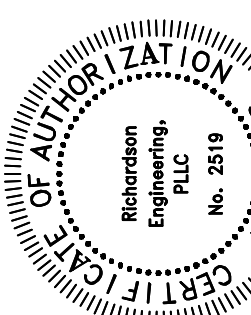
REFER TO CITY OF BENTON, ARKANSAS PUBLIC WORKS
STREET AND DRAINAGE STANDARD DETAILS FOR ADDITIONAL
DETAILS AND INFORMATION.



NOT TO SCALE



TYPE A = 4' ID/ 5' OD
TYPE B = 5' ID/ 6' OD
TYPE C = 6' ID/ 7' OD
REFER TO PLAN FOR BOX TYPE



STORM DRAIN DETAILS
CORNERSTONE MONTESSORI HALF
STREET IMPROVEMENTS
4910 SPRINGHILL RD
BRYANT, ARKANSAS

STEPHEN NUCKOLS
4910 SPRINGHILL RD
BRYANT, AR

Date: 10/19/2025

Revisions

No.	7
-----	---

PROJECT #: 025-026

Scale: *N.T.S.* Date: *8-20-2025*
REV:01/22/2026

Sheet: 7 of 7

CERTIFICATE OF SURVEY ACCURACY

I, ZANE ROBBINS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE OR VERIFIED BY ME, THAT ALL SURVEYING REQUIREMENTS OF THE STATE OF ARKANSAS AND CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS HAVE BEEN COMPLIED WITH AND FILED FOR RECORD AS REQUIRED.

DATE OF EXECUTION _____

Zane Robbins
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 1853 ARKANSAS

CERTIFICATE OF OWNER

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

DATE OF EXECUTION _____ SIGNED _____

NAME SAM FERGUSON

ADDRESS _____

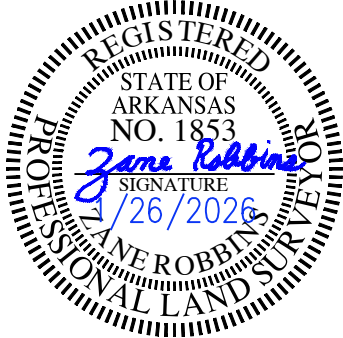
SOURCE OF TITLE: INSTRUMENT NO. _____

LAND DESCRIPTION PROVIDED

LOTS 11 AND 12, BLOCK 13 OF THE TOWN, NOW CITY OF BRYANT, ARKANSAS.

GENERAL NOTES

- BASIS OF BEARING FOR THIS SURVEY IS ARKANSAS GRID SOUTH. DISTANCES SHOWN ARE GROUND DISTANCES.
- REFERENCES:
 - PLAT OF THE TOWN OF BRYANT.
 - WARRANTY DEED AS INSTRUMENT NO. 2024-013539.
- TRACT 1 WILL BE MAINTAINED BY THE PROPERTY OWNER MANAGEMENT GROUP.



CERTIFICATION

I HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THIS DAY AND THAT ALL CORNERS ARE SET AS SHOWN. NO INDEPENDENT SEARCH FOR EASEMENTS, COVENANTS, ENCUMBRANCES, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE WAS PERFORMED.

Zane Robbins
ZANE ROBBINS, AR PLS #1853

PROPERTY ADDRESS
111 NE SECOND ST
BRYANT, AR 72022

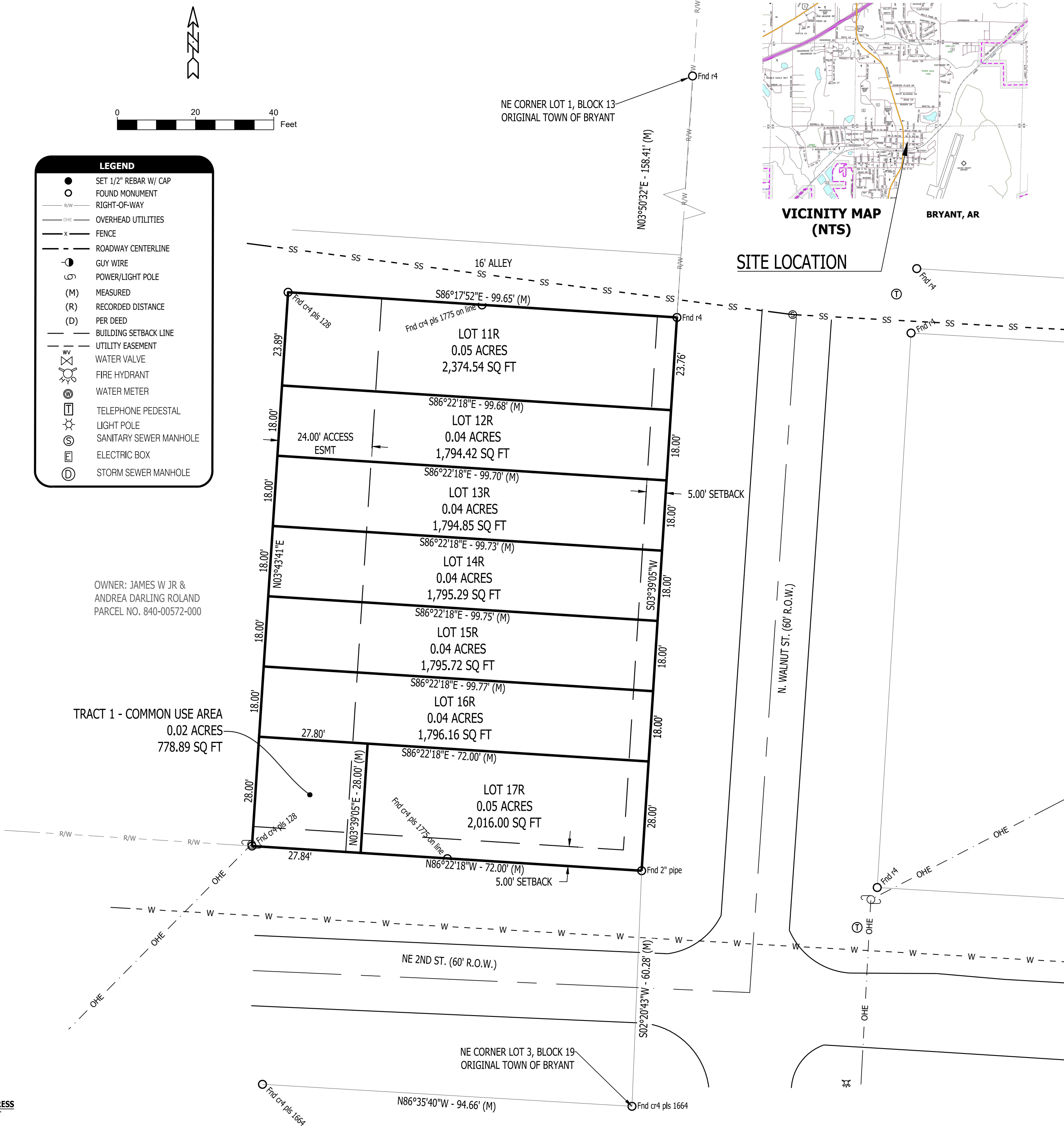
UTILITIES DISCLAIMER

UTILITIES SHOWN ARE NOTED BY VISIBLE OBSERVATION ONLY. UNDERGROUND UTILITIES ARE TAKEN FROM UTILITY MAPS; EXACT LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AS NO EXCAVATION HAS TAKEN PLACE AS OF THIS DATE TO DETERMINE THE EXACT LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS DRAWING.

LEGEND	
●	SET 1/2" REBAR W/ CAP
○	FOUND MONUMENT
— R/W —	RIGHT-OF-WAY
— OHE —	OVERHEAD UTILITIES
— X —	FENCE
— —	ROADWAY CENTERLINE
— ● —	GUY WIRE
— ○ —	POWER/LIGHT POLE
(M)	MEASURED
(R)	RECORDED DISTANCE
(D)	PER DEED
— —	BUILDING SETBACK LINE
— —	UTILITY EASEMENT
— X —	WATER VALVE
— ● —	FIRE HYDRANT
— ○ —	WATER METER
— —	TELEPHONE PEDESTAL
— ● —	LIGHT POLE
— ○ —	SANITARY SEWER MANHOLE
— □ —	ELECTRIC BOX
— ○ —	STORM SEWER MANHOLE

OWNER: JAMES W JR &
ANDREA DARLING ROLAND
PARCEL NO. 840-00572-000

TRACT 1 - COMMON USE AREA
0.02 ACRES
778.89 SQ FT



CERTIFICATE OF FINAL
PLAT APPROVAL

ALL REQUIREMENTS OF THE BRYANT SUBDIVISION RULES AND REGULATIONS RELATIVE TO THE PREPARATION AND SUBMITTAL TO A FINAL PLAT HAVE BEEN FULFILLED, APPROVAL OF THIS PLAT IS HEREBY GRANTED, SUBJECT TO FURTHER PROVISIONS OF SAID RULES AND REGULATIONS.

SIGNED,

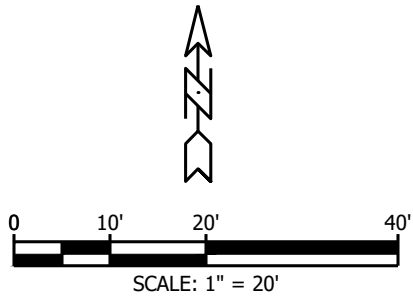
DATE OF EXECUTION _____

BRYANT PLANNING COMMISSION

PLAT CODE: 500-01S14W-0-34-140-62-1853

DATE	REVISIONS
LOTS 11R-17R, A REPLAT OF LOTS 11 & 12, BLOCK 13 ORIGINAL TOWN OF BRYANT, ARKANSAS SALINE COUNTY	
REPLAT	
ROBBINS PROFESSIONAL LAND SERVICES INCORPORATED SURVEYING GIS CONSTRUCTION STAKING P.O. BOX 939 BRYANT, ARKANSAS 72089 OFFICE: 501.425.6380 EMAIL: ZANEROBBINS@GMAIL.COM	
DRAWN BY	ZR
CHECKED BY	ZR
DATE	1/26/2026
SCALE	1"=20'
PROJECT No.	20251010-2
PAGE	1 of 1

V:\2025\20251010 FERGUSON ORIGINAL TOWN OF BRYANT\20251010-2.dwg | PLOTTED BY: Ray | PLOT DATE: 1/23/2026 8:50:29 AM | ©2018 ROBBINS PROFESSIONAL LAND SERVICES, INCORPORATED



LEGEND

- SET 1/2" REBAR W/ CAP
- FOUND MONUMENT
- R/W — RIGHT-OF-WAY
- OHE — OVERHEAD UTILITIES
- x — FENCE
- - — ROADWAY CENTERLINE
- ● — GUY WIRE
- G — POWER/LIGHT POLE
- (M) MEASURED
- (P) PER PLAT
- (D) PER DEED
- — BUILDING SETBACK LINE
- | — UTILITY EASEMENT
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ WATER METER
- ⊡ TELEPHONE PEDESTAL
- ⊕ TELEPHONE PULLBOX

GENERAL NOTES

- BASIS OF BEARING FOR THIS SURVEY IS ARKANSAS GRID SOUTH. DISTANCES SHOWN ARE GROUND DISTANCES.
- REFERENCES:
 - PLAT OF THE TOWN OF BRYANT.
 - WARRANTY DEED AS INSTRUMENT NO. 2024-013539.

PROPERTY ADDRESS

111 NE SECOND ST
BRYANT, AR 72022

FOR THE USE & BENEFIT OF

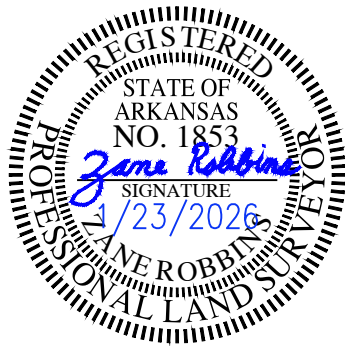
SAM FERGUSON
BART FERGUSON

LAND DESCRIPTION PROVIDED

LOTS 11 AND 12, BLOCK 13 IN THE TOWN, NOW CITY OF
BRYANT, SALINE COUNTY, ARKANSAS.

CURRENT OWNER OF RECORD

ALEGRIA FLORIDALMA
15505 DOGWOOD RANCHETTE DR
ALEXANDER AR 72002



CERTIFICATION

I HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THIS DAY AND THAT ALL CORNERS ARE SET AS SHOWN. NO INDEPENDENT SEARCH FOR EASEMENTS, COVENANTS, ENCUMBRANCES, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE WAS PERFORMED.

Zane Robbins
ZANE ROBBINS, AR PLS #1853

UTILITIES DISCLAIMER

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