



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: January 15, 2026 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Raising Canes - 23115 I-30 - Site Plan

Benchmark Design Group - Requesting Site Plan Approval

- [1016-LTR-01.pdf](#)
- [1016-ADA-01.pdf](#)
- [1016-BLD-01.pdf](#)
- [1016-PLN-01.pdf](#)
- [1016-LND-01.pdf](#)

2. Hilltop Road - Minor Subdivision Plat - 840-11625-125

Hope Consulting - Requesting Recommendation for Approval of Subdivision Plat

- [1015-PLT-01.pdf](#)

Permit Report

Adjournments



1-7-2026

City of Bryant
210 SW 3rd. St.
Bryant, Ar. 72022
Attn: Contact person

phone 501-943-0999

RE: **Planning Commission Request Letter**
Bryant, Arkansas
Benchmark project number 2025.047

Mr. Leonard,

Benchmark Design Group (Benchmark) is the engineer of record for the above-mentioned project located at 23115 I-30 S. Please accept this letter as the formal request for the commercial site plan review process through the planning commission.

Benchmark appreciates this opportunity to be of service and welcome any questions or comments.

Respectfully submitted,
BENCHMARK DESIGN GROUP, LLC

Ryan Davis

Ryan Davis, PE

“Achieving Goals by Design”

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act and Architectural Barriers Act Accessibility Guidelines* were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. All new construction, remodeling, and modifications must conform to these building standards for places of public accommodation and commercial facilities. Residential is exempt.

The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor
or Authorized Agent Sarah Shen Date 1/6/26

Signature of Owner
(if owner-builder) _____ Date _____

Application of Permit Approved: _____ Date _____
Commission - Chairman

Bryant Water & Sewer Department

GREASE TRAP STANDARDS

The City of Bryant requires all commercial buildings comply with plumbing codes found in the Arkansas State Plumbing Code, Latest Edition. All new construction, remodeling, and modifications must conform to these plumbing standards for places of public accommodation and commercial facilities. These guidelines contain general design standards for construction and site elements relating to plumbing.

As of 7/27/04, the Bryant Sewer & Water Commission requires stringent specification standards for commercial or public businesses that involve any food preparation on the premise. The new standard requires calculations, and associated data to be submitted to the Bryant Water Utilities General Manager concurrent with the proposed building plumbing plans along with a grease trap calculation form. Building Permits will not be issued until this form has been received and approved by the Bryant Water Utilities General Manager.

All new buildings or strip centers containing sections designated for commercial enterprise are encouraged to provide a stub-out for a separate waste line for future grease interceptor installation. The owner of a new strip center shall consider suitable physical property space and sewer gradient that will be conducive for the installation of an exterior, in-ground grease interceptor(s) for any flex space contained within the strip center. Physical Property Restrictions and sewer gradient shall not be a defense for failure to install an exterior, in-ground grease interceptor.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the City of Bryant Water & Sewer Department. I further understand that copies of the Grease Interceptor Design and Structural Criteria regulations will be available from the Bryant Water/Wastewater Plant (501-847-8083) during business hours.

Project Name _____

Signature of Contractor or Authorized Agent *Sarah Ahen* Date 1/6/26

Signature of Owner (if owner-builder) _____ Date _____

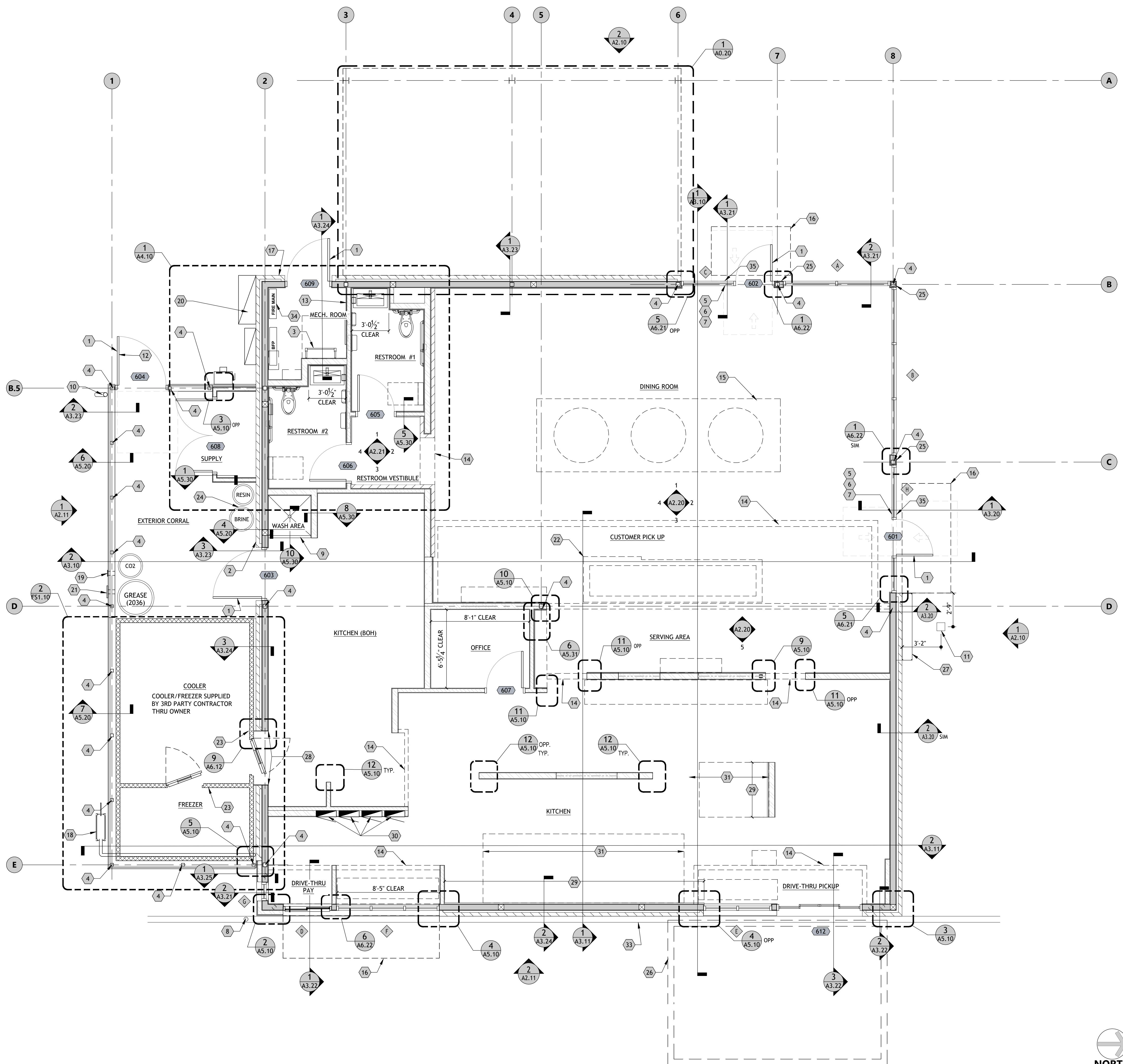
Calculations
Approved: _____ Date _____
Bryant Water Utilities General Manager



RAISING CANE'S
RESTAURANT NO.: #15007
(I-30 & REYNOLDS)
BRYANT, AR 72022

REV	DATE	DESCRIPTION

DRAWN BY: X
CHECKED BY: XX
ARCH. PROJECT NO.: 225000.01.507
SHEET NAME: ANNOTATED FLOOR PLAN
SHEET NUMBER: 1
SITE PLAN REVIEW



ANNOTATED FLOOR PLAN

1 SIGNAGE DETAILS

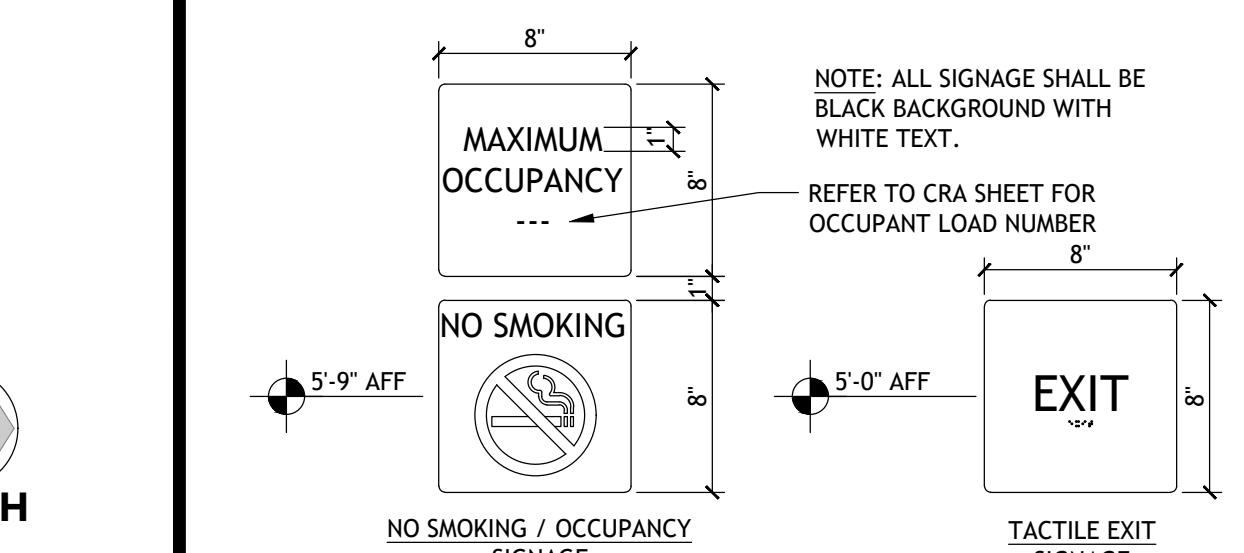
1 1/4" = 1'-0" 2 1 1/2" = 1'-0"

SHEET NOTES

- A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
- B. ALL KITCHEN AREA AND WET WALLS TO HAVE 'DUROCK' BRAND CEMENT BOARD FROM F.F. TO EITHER 6" A.F.F. W/ 1/2" PLYWOOD ABOVE, FINISH AS SCHEDULED.
- C. ALL AREAS OTHER THAN KITCHEN AND WET WALLS TO HAVE 'DUROCK' BRAND CEMENT BOARD FROM F.F. TO EITHER 6" A.F.F. W/ 1/2" PLYWOOD ABOVE, FINISH AS SCHEDULED.
- D. REFER TO SHEET FS1 FOR ADDITIONAL OWNER PROVIDED MILLWORK, INSTALLED BY G.C.
- E. ALL EXTERIOR LANDINGS TO BE FLUSH WITH FINISH FLOOR, TYPICAL.
- F. PROVIDE BRAILLE AND RAISED LETTERING EXIT SIGNAGE PER 2/A1.10 AND ACCESSIBLE DETAIL SHEETS.
- G. PROVIDE SOUND ATTENUATION BATT INSULATION AT RESTROOM WALLS.
- H. REFER TO SHEET A3.30 FOR WALL TYPES.
- I. REFER TO SHEET A6.10 FOR DOOR SCHEDULE AND A6.20 FOR WINDOW SCHEDULE.

KEYED NOTES

1. INSTALL DOOR STOP TO ALLOW 90 DEGREE SWING MINIMUM. VERIFY MAXIMUM SWING WILL NOT IMPACT ADJACENT FINISHES OR EQUIPMENT
2. PROVIDE BUZZER
3. ROOF ACCESS LADDER, RE: 1/A3.24
4. COLUMN OR POST, RE: STRUCTURAL
5. BRAILLE & RAISED LETTERING EXIT SIGNAGE, RE: 2/A1.10
6. MAXIMUM OCCUPANCY SIGN, RE: 2/A1.10
7. NO SMOKING SIGN, RE: 2/A1.10
8. PIPE BOLLARD, RE: 2/A0.50
9. EDGE OF MOP SINK SLOPE 1:3
10. 3" PVC DRAIN LINE TO CURB OUTLET. DO NOT DISCHARGE TO LANDSCAPING
11. SQUARE UPLIGHT RECESSED INTO PAVING, RE: ELEC. FOR INSTALLATION DETAIL
12. DOOR MOUNTED SIGN EGRESS PATH MUST REMAIN CLEAR AT ALL TIMES
13. UNIT HEATER, RE: MECHANICAL
14. LINE OF SOFFIT ABOVE, RE: A1.40
15. LINE OF CEILING CLOUD AND DISCO BALL ABOVE (BY OTHERS) RE: A1.40
16. PREFABRICATED AWNING BY OTHERS. G.C. SHALL COORDINATE WITH VENDOR'S DRAWINGS
17. KNOX BOX PER LOCAL FIRE DEPARTMENT JURISDICTION
18. GAS METER, RE: MECHANICAL
19. PROVIDE BULK CO2 TANK FILL CONNECTION. G.C. TO COORDINATE WITH CO2 SUPPLIER
20. EXTERIOR ELECTRICAL EQUIPMENT, PRIME AND PAINT TO MATCH BUILDING, RE: ELECTRICAL
21. PROVIDE GREASE STORAGE TANK EVACUATION CONNECTION. G.C. TO COORDINATE WITH VENDOR. - TANK BASE CONNECTION: 5/8" O.A.B. W/ 4 1/2" MIN. EMBEDMENT INTO CONCRETE (TYP. EA. LEG) - REFER TO VENDOR'S CALCULATIONS
22. LINE OF COUNTERTOP/CASEWORK, RE: MILLWORK
23. INSTALL A HARDWIRED COMMUNICATION DEVICE IN WALK-IN FREEZER FOR EMERGENCY ASSISTANCE IN THE EVENT OF A LOCK-IN
24. WATER SOFTENER, RE: PLUMBING
25. BRAKE METAL TO MATCH DOOR FRAME, RE: 1/A6.22
26. LINE OF EXPO CANOPY BY OTHER
27. METAL PANELS BY OWNER, RE: EXTERIOR ELEVATIONS
28. DOOR JAMB ENCLOSURE AT WALK-IN DOORS BY COOLER MANUFACTURER
29. 1" NON-COMBUSTIBLE WALL PANEL AT HOOD. REFER TO FOOD SERVICE EQUIPMENT AND VENDOR'S DRAWINGS.
30. INTERIOR ELECTRICAL PANELS
31. EXHAUST HOOD ABOVE
32. LINE OF PATIO/CANOPY ROOF, RE: SHEET A0.20 & STRUCTURAL
33. 6" CURB, RE: CIVIL
34. FIRE RISER - UNDER DEFERRED SUBMITTAL
35. METAL PLATE TO HIDE BACK OF SIGNS



NORTH

A1.10



PROTOTYPE P-4V
SCHEME A or B
VERSION 2025-1.0

RAISING CANE'S
RESTAURANT NO.: #15007
(I-30 & REYNOLDS)
BRYANT, AR 72022

SHEET NOTES

- A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
- B. CONTRACTOR SHALL LOCATE SLAB CONTROL JOINTS IN THE FIELD AT 8'-0" O.C. MAX. COORDINATE WITH ALL DRAINS, RECESSES, SLOPES, CURBS, ETC.
- C. VERIFY & COORDINATE LOCATION OF FLOOR SINKS & FLOOR DRAINS W/EQUIPMENT SUPPLIERS ROUGH-IN DRAWINGS.
- D. ALL CONCRETE SHALL BE 3000 PSI NORMAL WT CONCRETE OR GREATER AS SPECIFIED ON THE FOUNDATION PLAN AND GEO REPORT. NO FLY ASH IS TO BE USED, IF FLY ASH IS REQUIRED BY LOCAL MUNICIPALITY, FLY ASH SHALL BE USED IN ADDITION TO REQUIRED STRENGTH.
- E. BY ALL MEANS POSSIBLE, WATER SHALL BE PREVENTED FROM STANDING WITHIN 10 FEET OF THIS SLAB.
- F. PREPARE BUILDING PAD PER GEOTECHNICAL REPORT RECOMMENDATIONS OR STRUCTURAL ENGINEERS DRAWINGS, WHICHEVER IS THE GREATER. A COPY OF THE REPORT MAY BE OBTAINED FROM THE ARCHITECT. SEE SPECIAL SITE PREPARATIONS IN THE STRUCTURAL DRAWINGS.
- G. ALL DIMENSIONS OF FLOOR DRAINS, FLOOR SINKS, HUB DRAINS, ETC ARE TO THE CENTERLINE AND ARE TAKEN FROM THE EDGE OF SLAB, NOT BRICK LEDGE.
- H. FLOOR DRAINS SHALL BE SET 1/4" BELOW FINISH FLOOR U.N.O., SLOPE TO DRAIN 1/4" PER FOOT MAX.

KEYED NOTES

- 1. FLOOR SINK, RE: PLUMBING
- 2. FLOOR DRAIN, RE: PLUMBING
- 3. HUB DRAIN, RE: PLUMBING
- 4. COLUMN OR POST, RE: STRUCTURAL
- 5. PLUMBING FIXTURE DRAIN ROUGH-IN
- 6. DOWEL CONNECTION TO SIDEWALK PAVING AT ENTRY
- 7. DATA AND PHONE STUB-UPS
- 8. FLOOR DRAIN TO BE FLUSH WITH FINISH FLOOR TILE
- 9. TRENCH DRAIN, RE: PLUMBING
- 10. ROUTE CONDUITS FOR REGISTERS UNDER SLAB, RE: ELECTRICAL
- 11. EDGE OF MOP SINK SLOPE 1:3, RE: 10/A5.30
- 12. INSULATED COOLER / FREEZER SLAB
- 13. BRICK LEDGE
- 14. NOT USED
- 15. THICKENED SLAB FOR FURNITURE ANCHORING
- 16. WATER RISER, RE: PLUMBING
- 17. SQUARE UPLIGHT RECESSED INTO PAVING, RE: ELECTRICAL
- 18. 2x PRESSURE TREATED WOOD BLOCKING
- 19. 2x PRESSURE TREATED WOOD BLOCKING THERMAL BREAK
- 20. DASHED LINE INDICATES COOLER PANEL
- 21. FIRE RISER
- 22. PRIMARY STORM DRAIN

REV	DATE	DESCRIPTION

DRAWN BY: X
CHECKED BY: XX

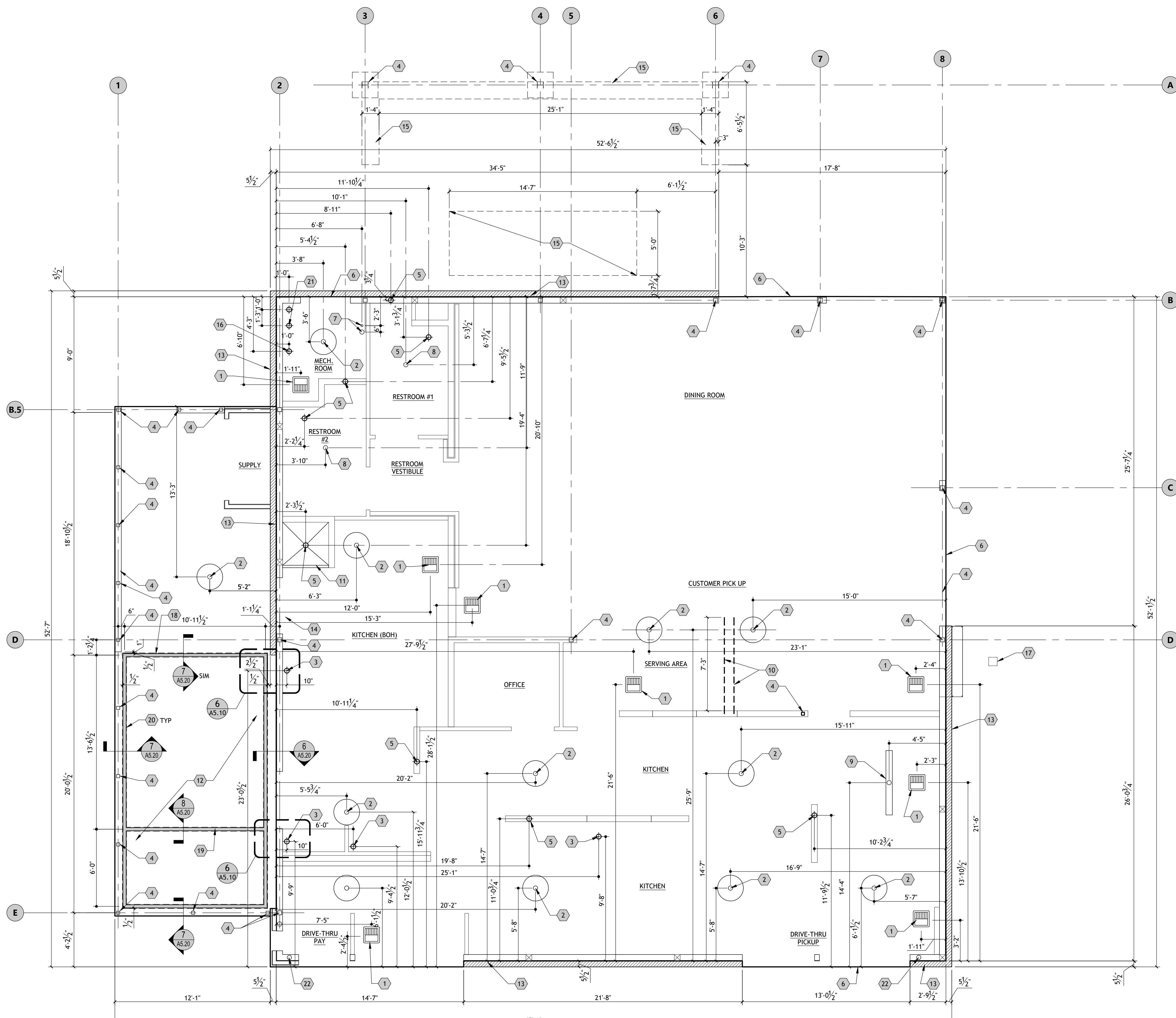
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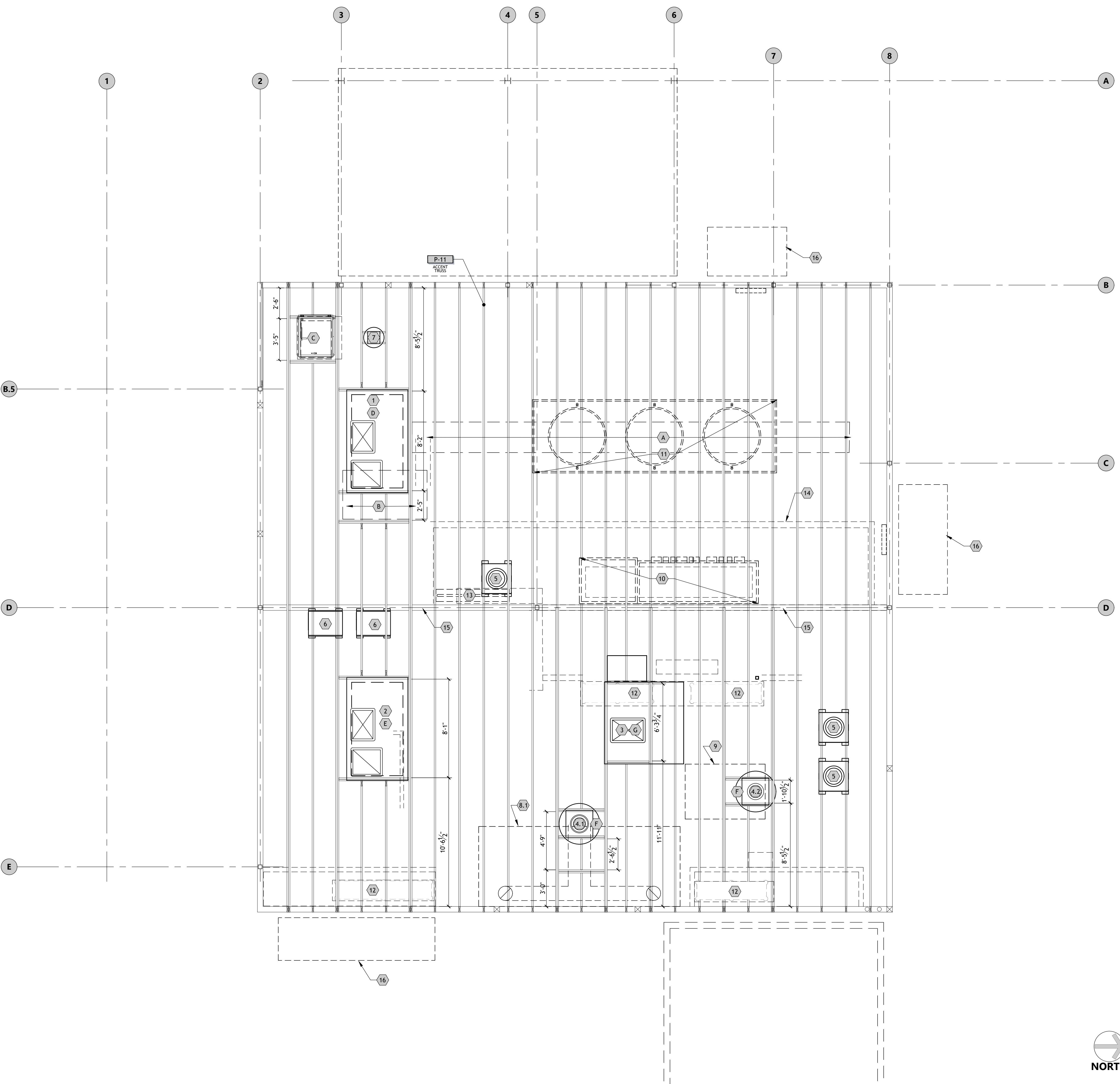
SHEET NAME: SLAB COORDINATION PLAN

SHEET NUMBER: A1.30

LEGEND

KEY	DESCRIPTION
	BRICK LEDGE





SHEET NOTES

- A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
- B. ALL WEIGHTS ARE IN POUNDS.
- C. REFER TO SHEET A3.30 FOR WALL TYPES.

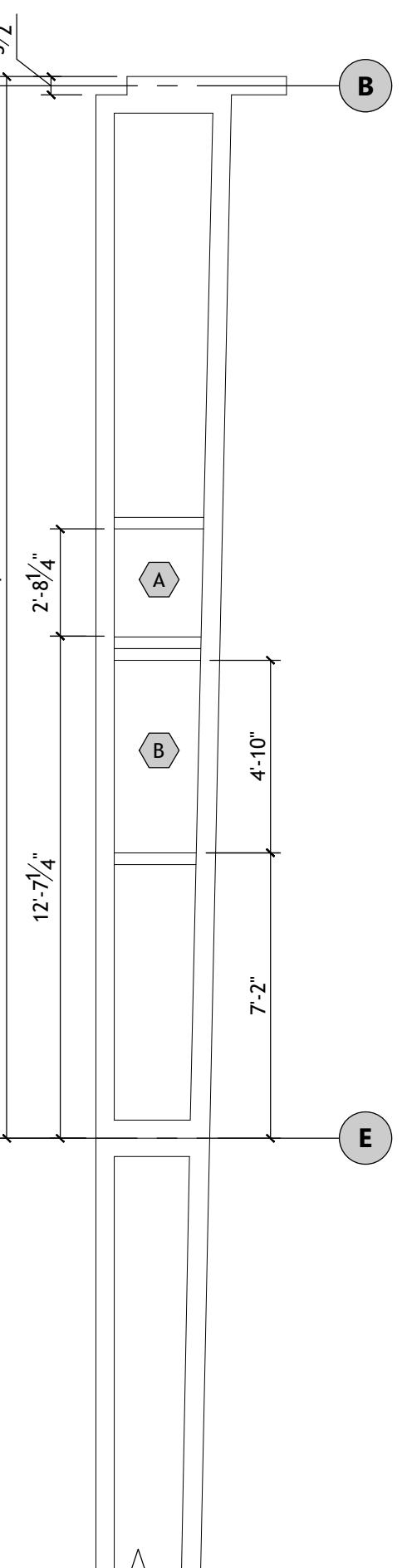
FRAMING KEYED NOTES

- A. LATERAL DUCT CHASE, SEE TRUSS PROFILE FOR DIMENSIONS AND LOCATIONS
- B. ROUGH OPENING FOR RETURN AIR PLENUM / DUCTWORK
- C. ROUGH OPENING FOR ROOF ACCESS HATCH
- D. ROUGH OPENING FOR RTU-1 DUCT RISERS
- E. ROUGH OPENING FOR RTU-2 DUCT RISERS
- F. ROUGH OPENING FOR HOOD EXHAUST RISER
- G. ROUGH OPENING FOR MAU RISER

LOADING KEYED NOTES

KEY	WEIGHT	DESCRIPTION
1	2,400	RTU-1
2	2,400	RTU-2
3	2,065	MAKE-UP AIR UNIT
4.1	400	HOOD EXHAUST FAN ON CURB
4.2	183	HOOD EXHAUST FAN ON CURB
5	200	ICE MACHINE CONDENSER
6	200	COOLER/FREEZER CONDENSER
7	100	EXHAUST FAN
8.1	2500	KITCHEN EXHAUST HOOD (8 FRYERS)
9	600	KITCHEN EXHAUST HOOD (GRIDDLE)
10	1,600	FRONT COUNTER CEILING CLOUD
11	900	DINING ROOM CLOUD
12	1,000	SUSPENDED SHELVING
13	600	HELMET SHELVING
14	-	WOOD CEILING
15	-	BEAM. PROVIDE TRUSS POCKET SUCH THAT BOTTOM OF TRUSS HEIGHT IS EQUAL TO BOTTOM OF BEAM
16	-	PRE-ENGINEERED CANOPY

TRUSS OPENING DETAIL



NOTE: REFER TO TRUSS
SHOPS DRAWINGS FOR
ACTUAL TRUSS BRIDGING

1

TRUSS COORDINATION PLAN

A1.50

SITE PLAN REVIEW

CSR
8555 United Plaza Blvd.
Baton Rouge, Louisiana 70809
Telephone: 225 769-0546
www.csrsinc.com

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Baton Rouge, Louisiana 70809
Telephone: 225 769-0546
www.cssrinc.com

INTERNAL
REVIEW ONLY.
NOT FOR
DISTRIBUTION

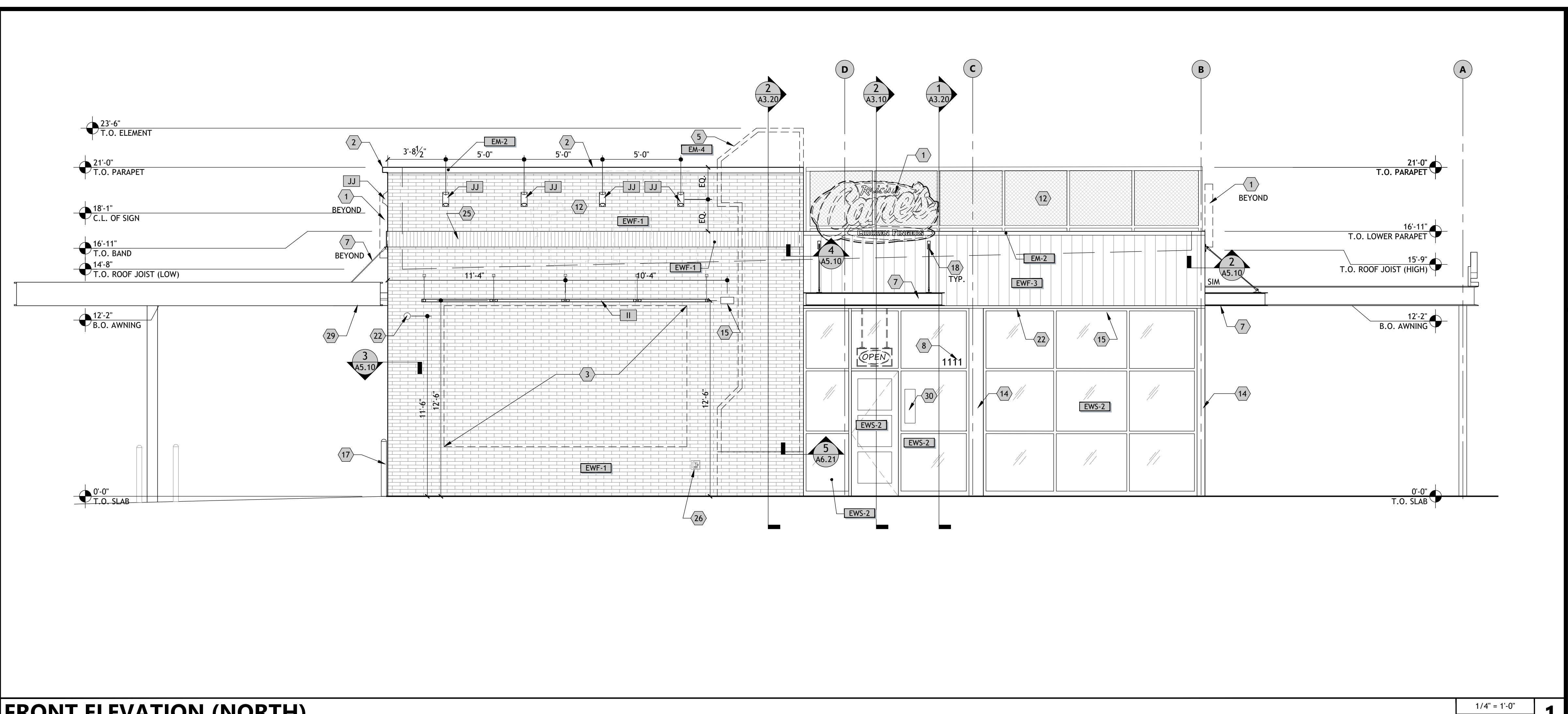


PROTOTYPE P6-AV SCHEME A or B

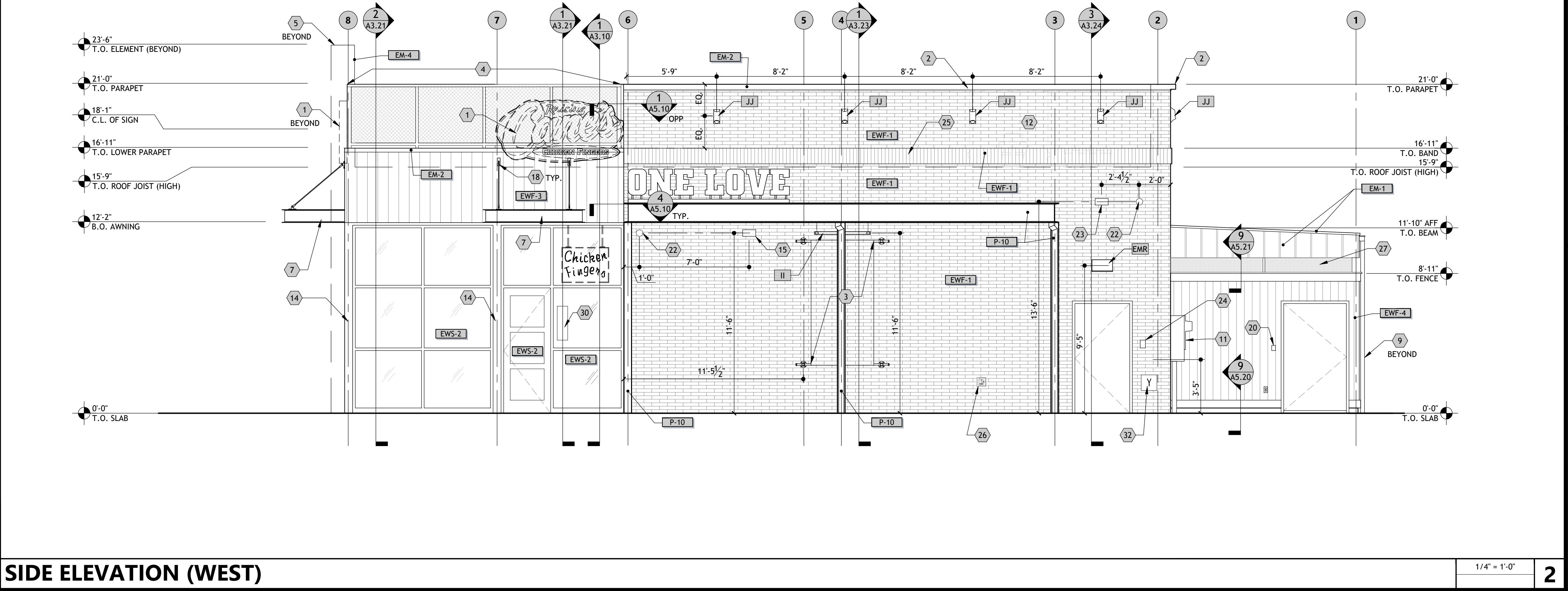
PROTOTYPE P6-AV SCHEME A or B

RAISING CANE'S

RESTAURANT NO.: #1507



FRONT ELEVATION (NORTH)



SIDE ELEVATION (WEST)

SHEET NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET A6.30 FOR FINISH SCHEDULES.
- SIGNAGE TO BE APPROVED UNDER SEPARATE PERMIT.
- AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET G0.00. G.C. TO SUBMIT AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS FOR APPROVAL.
- CONFIRM OUTDOOR SPEAKERS, CAMERAS AND WI-FI LOCATIONS WITH I.T.
- VERIFY LOGO SIGNS, PAINTED MURAL, ARTWORK W/ SIGNAGE VENDOR.

SEALANT NOTES

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- MATCH FRAME COLOR AT ALL DOORS AND WINDOWS, MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

KEYED NOTES

- SIGN, BY OWNER. PROVIDE BLOCKING AS REQUIRED (4'-0" x 8'-0" OVAL).
- LED COVE LIGHTING BY OTHERS
- WALL ART BY OWNER
- MESH PARAPET ASSEMBLY BY OWNER
- METAL PANELS BY OWNER
- METAL COUNTER FLASHING AT SLOPED ROOF
- CANOPY, RE: RCP
- ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
- METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: CIVIL FOR CONTINUATION.
- BREAK METAL SILL
- ELECTRICAL EQUIPMENT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
- ROOFTOP EQUIPMENT BEHIND SCREEN, REFER TO ROOF PLAN.
- GAS METER - PAINTED TO MATCH ADJACENT CLADDING MATERIAL
- Brake METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- EXTERIOR SPEAKERS
- OVERFLOW DRAIN DOWNSPOUT COVER, RE: PLUMBING
- 4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 2/A0.50
- 2x WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS
- DARPRO OUTLET AND SECURITY BOX
- ORIA 4-DIGIT KEY STORAGE BOX
- CO2 PORT
- PENETRATION FOR SECURITY CAMERAS
- PENETRATION FOR WIFI EQUIPMENT
- KNOX BOX - COORDINATE LOCATION WITH FIRE MARSHAL
- 8" ACCENT BAND, 1" PROJECTION, ALIGN TOP OF BAND WITH LOWER PARAPET
- WALL HYDRANT, RE: PLUMBING
- 1" x 1" 14 ga BLACK WIRE MESH INFILL
- PRIMARY DRAIN RAIN LEADER CLEAN-OUT
- EXPO CANOPY, RE: SHEET A0.41
- BLANK PLATE INSTALLED ON EXTERIOR SIDE OF GLASS TO HIDE SIGNAGE
- NOT USED
- FDC

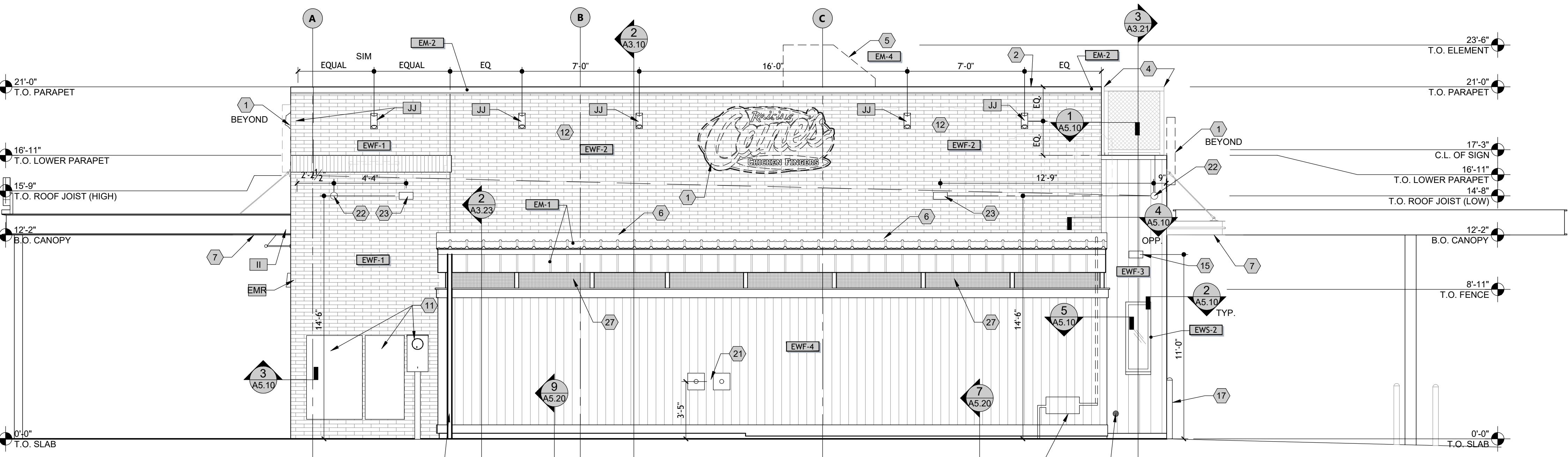
MATERIAL LEGEND

TAG	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF/ METAL FASCIA
EM-2	METAL CAP FLASHING
EM-3	POWDER COATED ALUMINUM
EM-4	METAL ACCENT PANELS
EWF-1	BRICK CLADDING
EWF-2	BRICK CLADDING
EWF-3	ARCHITECTURAL PANELS
EWF-4	COMPOSITE LUMBER
EWS-1	DRIVE-THRU WINDOW
EWS-2	ALUMINUM STOREFRONT
EWS-3	ALUMINUM SLIDING DOOR
P-5	EXTERIOR PAINT
P-10	EXTERIOR PAINT



PROTOTYPE P-6 AV
SCHEME A or B
VERSION 2025-1.0

RAISING CANE'S
RESTAURANT NO.: #15007
(I-30 & REYNOLDS)
BRYANT, AR 72022



REAR ELEVATION (NORTH)

SHEET NOTES

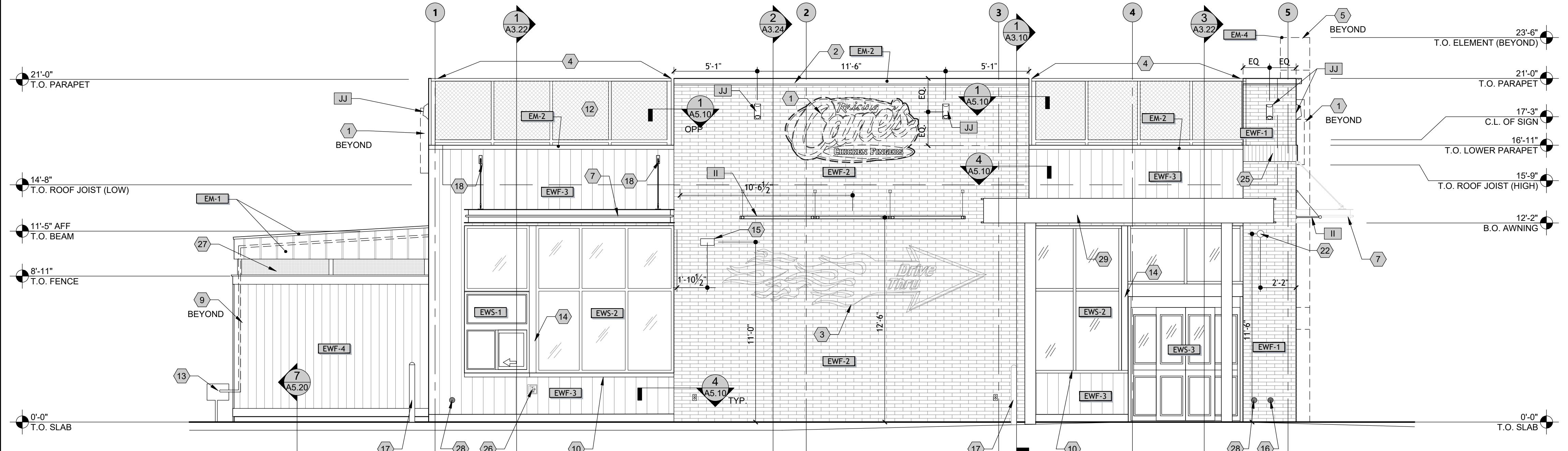
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- CONFIRM OUTDOOR SPEAKERS, CAMERAS AND WI-FI LOCATIONS WITH I.T.
- VERIFY LOGO SIGNS, PAINTED MURAL, ARTWORK W/ SIGNAGE VENDOR.

SEALANT NOTES

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- MATCH FRAME COLOR AT ALL DOORS AND WINDOWS, MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

KEYED NOTES

- SIGN, BY OWNER. PROVIDE BLOCKING AS REQUIRED (4'-0" x 8'-0" OVAL).
- LED COVE LIGHTING BY OTHERS
- WALL ART BY OWNER
- MESH PARAPET ASSEMBLY BY OWNER
- METAL PANELS BY OWNER
- METAL COUNTER FLASHING AT SLOPED ROOF
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- BLANK PLATE INSTALLED ON EXTERIOR SIDE OF GLASS TO HIDE SIGNAGE
- NOT USED
- FDC



DRIVE-THRU ELEVATION (WEST)

MATERIAL LEGEND

TAG	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF/ METAL FASCIA
EM-2	METAL CAP FLASHING
EM-3	POWDER COATED ALUMINUM
EM-4	METAL ACCENT PANELS
EWF-1	BRICK CLADDING
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EWF-4	COMPOSITE LUMBER
EWS-1	DRIVE-THRU WINDOW
EWS-2	ALUMINUM STOREFRONT
EWS-3	ALUMINUM SLIDING DOOR
P-5	EXTERIOR PAINT
P-10	EXTERIOR PAINT

DRAWN BY: MC
CHECKED BY: CJ
ARCH. PROJECT NO.: 225000.01.507
SHEET NAME: EXTERIOR ELEVATIONS
SHEET NUMBER: A2.11

RAISING CANE'S

CONTACT INFORMATION

CIVIL ENGINEER:
BENCHMARK DESIGN GROUP, LLC
2301 THREE LAKES PARKWAY
TYLER, TEXAS 75703
ATTN: ED SNODGRASS, P.E.
PHONE: 903-534-5353

SURVEYOR:
SMITH & GOODSON, PLLC.
7509 CANTRELL RD. STE 227
LITTLE ROCK, ARKANSAS 72207
ATTN: SEAN GOODSON, R.P.L.S.
PHONE: 501-749-2850

ARCHITECT:
CSRS INC.
15950 DALLAS PARKWAY, SUITE 210
DALLAS, TEXAS 75248
ATTN: MICHAEL CONTRERAS
PHONE: 833-523-2526

PROJECT MANAGER
FREDCO DEVELOPMENT SERVICES
ATTN: FELICIA BIVENS
PHONE: 931-993-5258

23115 I-30 CITY OF BRYANT, SALINE COUNTY, ARKANSAS



VICINITY MAP

N.T.S.

INDEX OF SHEETS

C-1.0	COVER SHEET
C-1.1	ALTA SURVEY
C-3.0	SWPPP SITE PLAN
C-3.1	SWPPP SITE DETAILS
C-4.0	DEMOLITION PLAN
C-5.0	SITE KEYNOTE PLAN
C-5.1	DIMENSIONAL CONTROL PLAN
C-5.2	STRIPING AND SIGNAGE PLAN
C-5.3	PAVING AND JOINT LAYOUT PLAN (NOT INCLUDED)
C-6.0	GRADING PLAN
C-6.1	PRE-DEVELOPED DRAINAGE PLAN
C-6.2	POST-DEVELOPED DRAINAGE PLAN
C-7.0	UTILITY PLAN
C-8.0	CONSTRUCTION DETAILS



AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS 811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS. BENCH MARK DESIGN GROUP IS THE CONTRACTOR'S POINT OF CONTACT. TEXAS 811 IS THE ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having jurisdiction.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
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Telephone cable Conduits Pipes
Stormsewer lines Water lines Gas lines
Television cables Sewer lines Oil Production lines
Sewer lines

No part of this document is to be reproduced, in whole or in part, without the express written consent of the engineer. If any discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.



DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

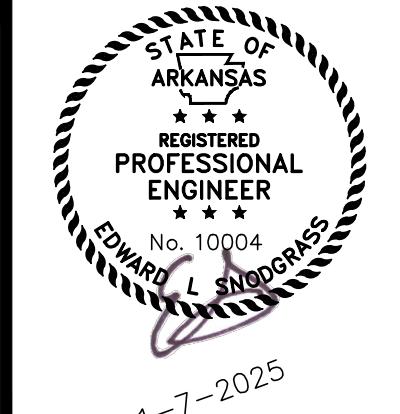
SHEET NO.

C-1.0

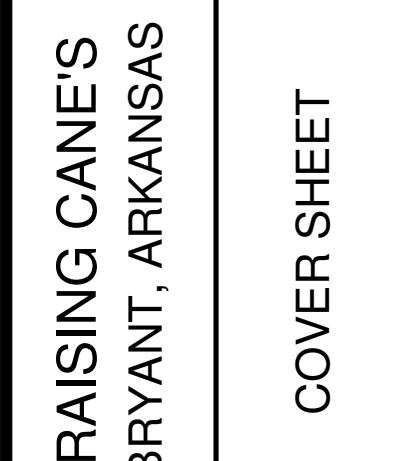
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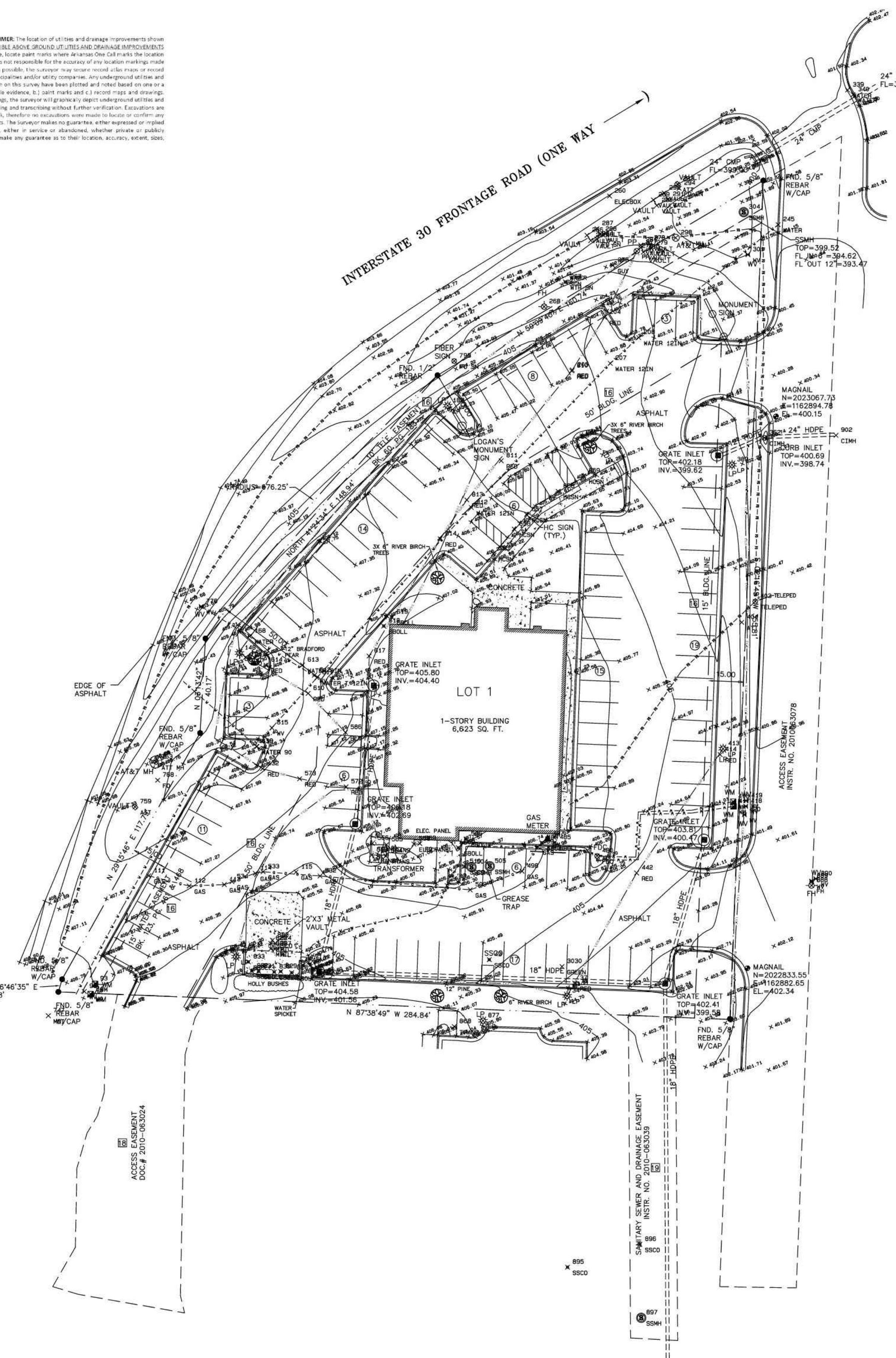
2301 THREE LAKES PARKWAY TYLER TEXAS 75703-1903 903-534-5353 FIRM NUMBER F-7814 - WWW.BENCHMARK-ENGINEERS.COM



1-7-2025



SUBSURFACE IMPROVEMENTS DISCLAIMER: The location of utilities and drainage improvements shown on this plat or drawing is limited to VISIBLE ABOVE GROUND UTILITIES AND DRAINAGE IMPROVEMENTS ONLY. The surveyor, will when available, locate paint marks where Arkansas One Call marks the location of utilities and drainage. The surveyor is not responsible for the accuracy of any location markings made by Arkansas One Call or others. When possible, the surveyor may secure record atlas maps or record drawings if readily available from municipalities and/or utility companies. Any underground utilities and drainage improvements that are shown on this survey have been plotted and noted based on one or a combination of the following: a.) visible evidence, b.) paint marks and c.) record maps and drawings. When utilizing record maps and drawings, the surveyor will graphically depict underground utilities and drainage by a reasonable effort of scaling and transcribing without further verification. Excavations are not in the scope of the surveyor's work, therefore no excavations were made to locate or confirm any sub-surface conditions or improvements. The Surveyor makes no guarantee, either expressed or implied, that any underground improvements, either in service or abandoned, whether private or publicly owned, are fully shown, nor does he make any guarantee as to their location, accuracy, extent, sizes, types, depths, condition or capacity.



Designed _____
Checked _____
Drawn _____
Approved _____



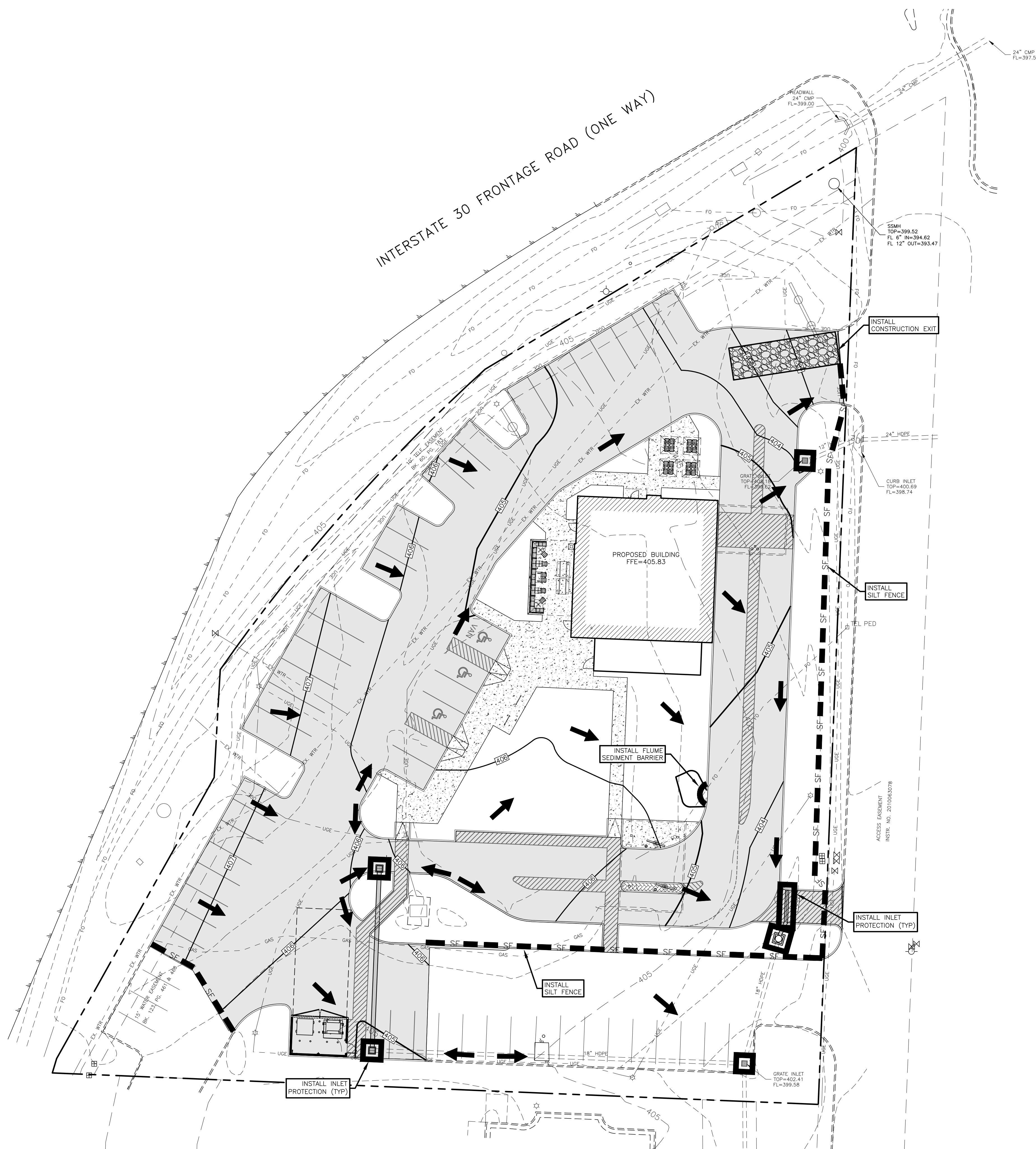
SMITH AND GOODSON
PLLC
CIVIL ENGINEERING AND LAND SURVEYING
7509 CANTRELL ROAD, SUITE 227
LITTLE ROCK, ARKANSAS 72207
501-414-8498

ALTA/NSPS LAND TITLE SURVEY

FOR THE USE AND BENEFIT OF:
KASASA, LLC
&
Stuart Title Guaranty Company

Job: 25-089
Scale: 1"=30'
Date: 11-12-2025
Sheet: 1-1

C-1.1



NOTE:

1. DUE TO CONTRACTOR SEQUENCING OPERATIONS, THE LOCATION OF EROSION CONTROL MEASURES AS SHOWN ON THIS SHEET ARE TO BE USED AS A GUIDELINE ONLY. IT SHALL BE UNDERSTOOD THAT THIS SHEET IS PART OF A LARGER PROCESS OF PREVENTING SEDIMENTATION FROM LEAVING THE SITE. THIS PROCESS IS TO BE DYNAMIC IN NATURE AND THEREFORE THE CONTRACTOR SHALL LOCATE SILT FENCE, ROCK BERMS, CONSTRUCTION EXITS, SEDIMENT PONDS, ETC. AS NEEDED TO FACILITATE THE CURRENT OPERATIONS OF CONSTRUCTION OF THE PROJECT. RELOCATION OF EROSION CONTROL MEASURES SHALL BE NOTED ON THIS SHEET AND SIGNED AND DATED BY THE CONTRACTOR IN ACCORDANCE WITH ADEQ GENERAL PERMIT.

2. REGARDLESS OF WHAT THIS SWPPP SITE PLAN SHOWS, THE OPERATOR IS RESPONSIBLE FOR FULLY COMPLYING WITH THE ADEQ GENERAL PERMIT TO THE FULLEST EXTENT. IF CONTRACTOR HAS ANY QUESTIONS, HE SHALL CONTACT ADEQ OR ENGINEER TO OBTAIN PERMIT CLARIFICATION. ANY AND ALL ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH ADEQ GENERAL PERMIT SHALL BE IMPLEMENTED BY THE CONTRACTOR.

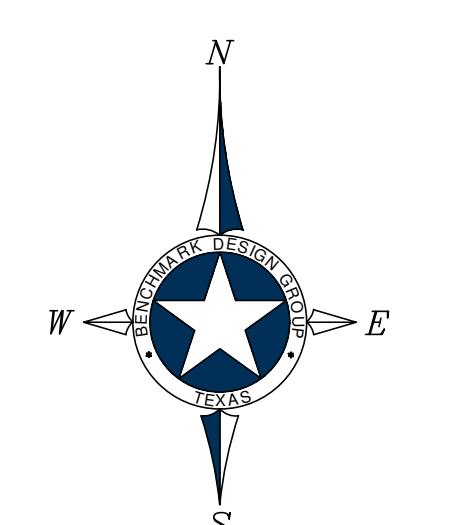
3. THE CONTRACTOR SHALL ADHERE TO THE SCHEDULE OF INSPECTIONS AS PROVIDED IN PART III, SECTION F OF THE ADEQ GENERAL PERMIT.

EROSION CONTROL NOTES:

1. ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
2. OIL AND GREASE ABSORBING MATERIALS SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
3. DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS IS PROHIBITED.
4. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR AT LEAST FOURTEEN DAYS SHALL BE TEMPORARILY SEDED AND WATERED.
5. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY SEDED WITHIN SEVEN DAYS PER LANDSCAPING AND/OR OWNER'S REQUIREMENTS.
6. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF.
7. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT IN THE STORM SEWER SYSTEM AND ALONG SILT FENCES.
9. SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
10. ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH TCEQ. STORMWATER POLLUTION REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
12. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES AS REQUIRED BY THE TCEQ TPDES PERMIT.
13. WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE EXPORTED FOR USE OFF OF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT TCEQ STORM WATER PERMITTING REQUIREMENTS ARE MET. PRIOR TO ANY EXPORT OF MATERIALS, THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT WITH ANY LANDOWNER WHO WILL RECEIVE THE EXPORTED MATERIALS, STATING THAT THE SITE WILL BE PROPERLY PERMITTED WHEN REQUIRED AND DESCRIBE THE EROSION CONTROL MEASURES WHICH WILL BE USED. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (HAY BALES OR SILT FENCES) ON ALL DOWNSLOPES AND SIDESLOPE BOUNDARIES OF ANY DISTURBED AREA, PLUS PROVISIONS FOR REVEGETATION AFTER THE FILL MATERIALS ARE IN PLACE.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES UNTIL SITE HAS BEEN STABILIZED.
15. DOUBLE SILT FENCE ROWS TO BE MIN. 6' APART.
16. EROSION CONTROL PLANS ARE LIVING DOCUMENTS. FIELD CHANGES MUST OCCUR AS CONSTRUCTION CONDITIONS CHANGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL EROSION PROTECTION REQUIREMENTS.

LEGEND

TEL PED <input type="checkbox"/>	EXISTING TELEPHONE PEDESTAL
C.O.O <input type="checkbox"/>	EXISTING CLEANOUT
WV 	EXISTING WATER VALVE
WM 	EXISTING WATER METER
MH 	EXISTING SAN. SEWER MANHOLE
PP 	EXISTING POWER POLE
FH 	EXISTING FIRE HYDRANT
— — — OHE — — —	EXISTING OVERHEAD ELECTRIC LINE
— — — EX. WTR — — —	EXISTING WATER LINE
— — — EX. SS — — —	EXISTING SAN. SEWER LINE
— — — PROPERTY LINE — — —	PROPERTY LINE
— — — 534 — — —	EXISTING 1' CONTOUR
— — — 535 — — —	EXISTING 5' CONTOUR
— — — 534 — — —	PROPOSED 1' CONTOUR
— — — 535 — — —	PROPOSED 5' CONTOUR
	PROPOSED DRAINAGE PATTERN
 SF 	PROPOSED SILT FENCE



GRAPHIC SCALE



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The topographic information shown hereon is a reflection of the information provided by

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The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the

100 BENCHMARK
DESIGN GROUP

DRAWN BY: *RWD*

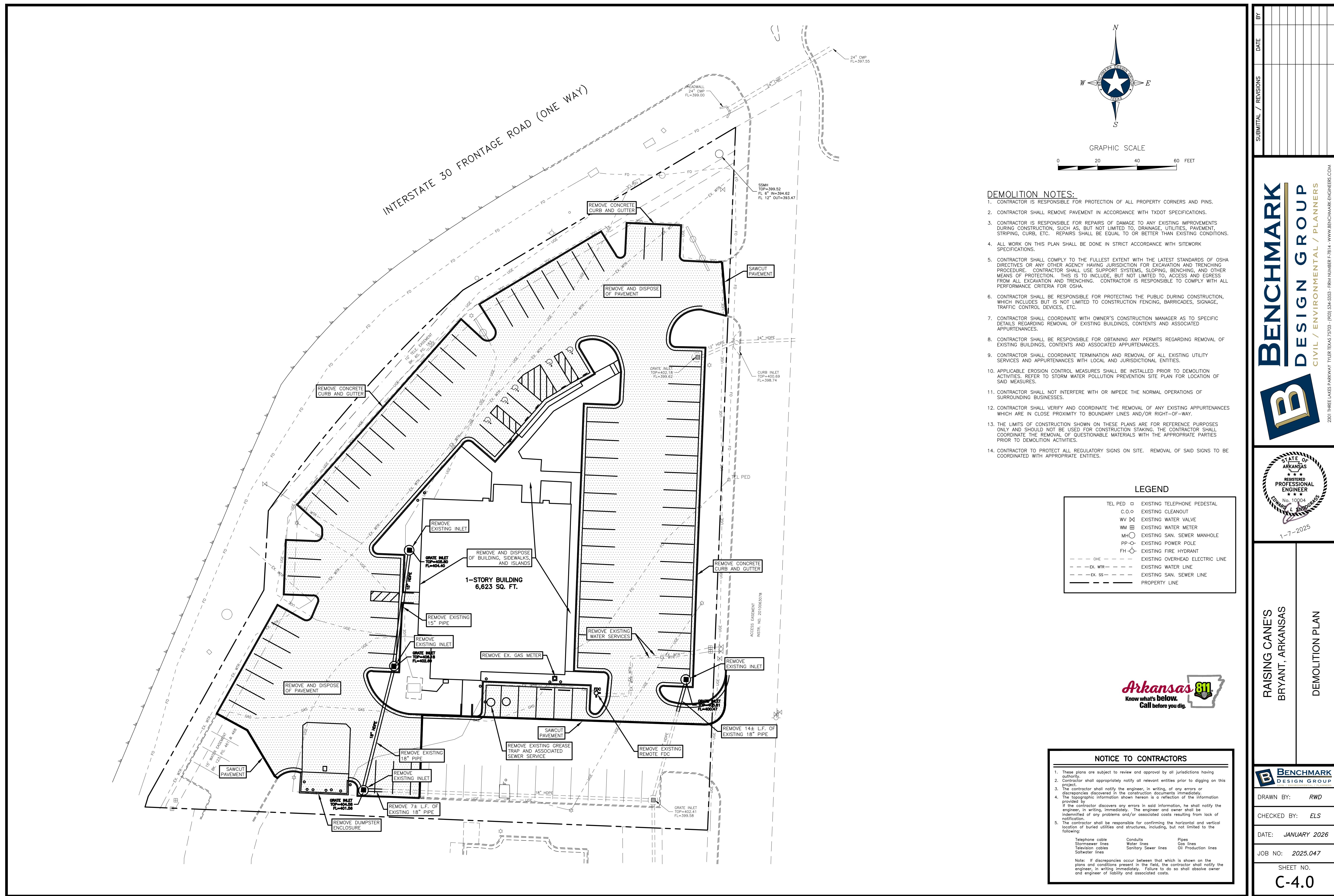
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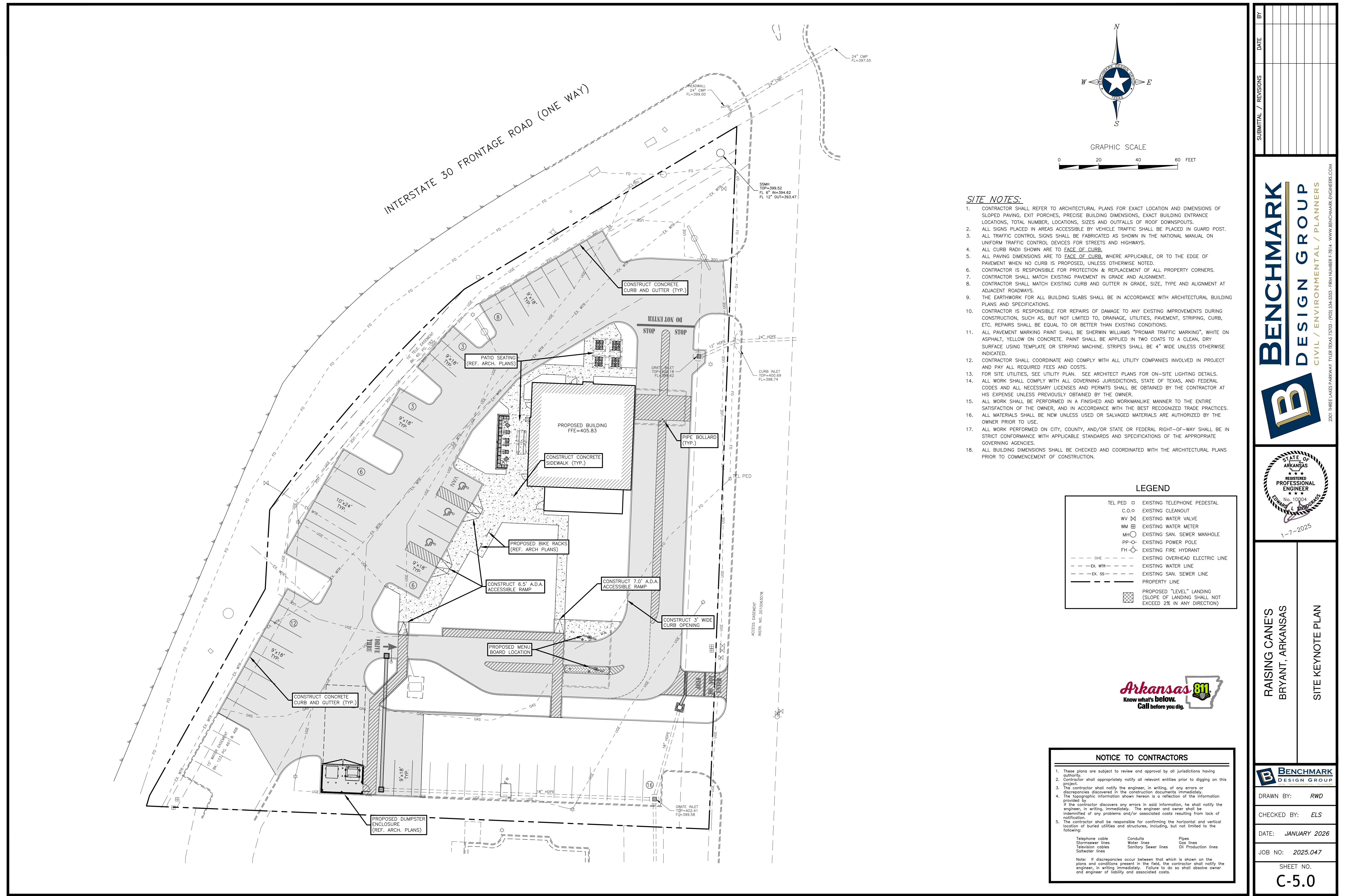
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JOB NO: 2025.047

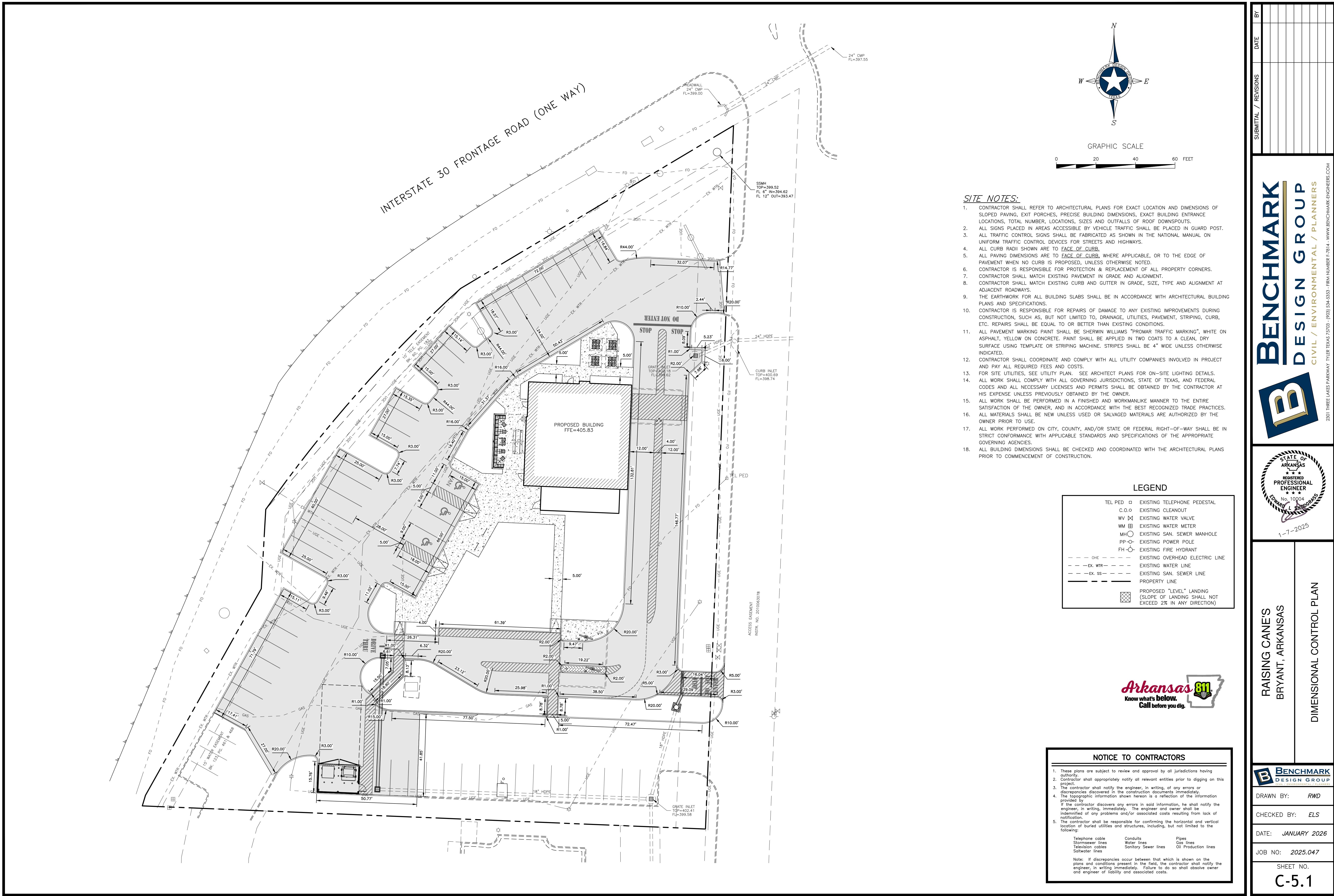
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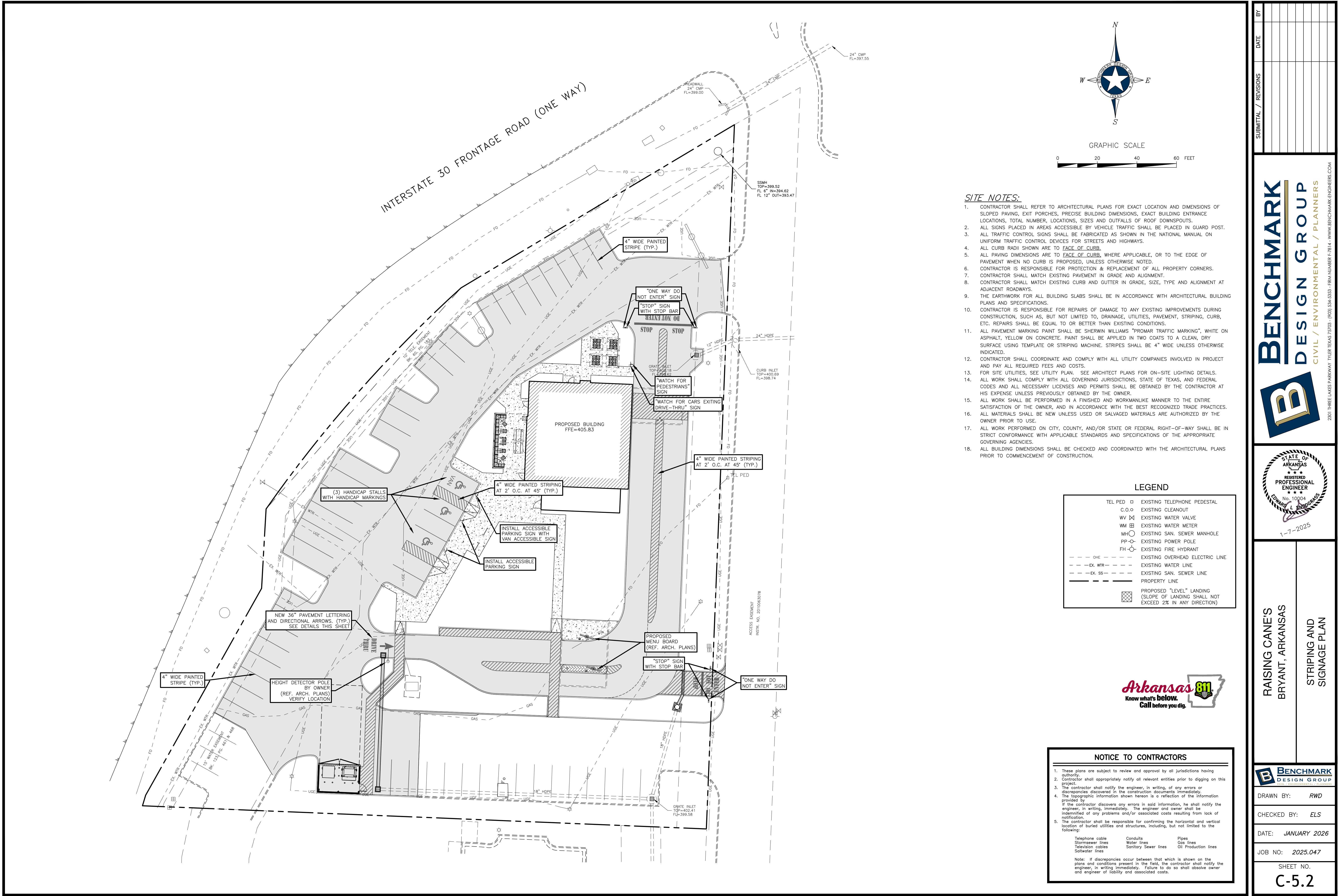
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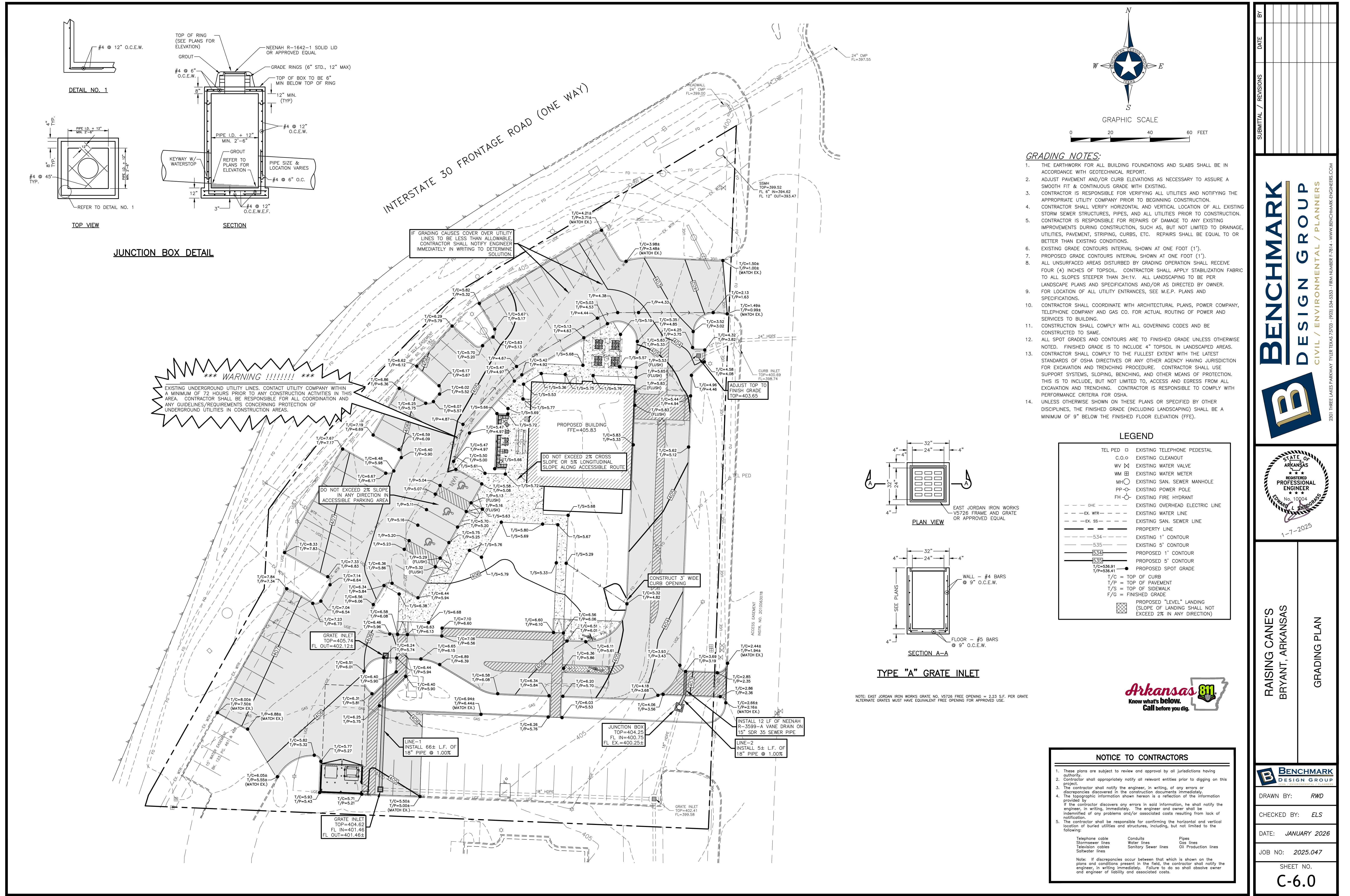




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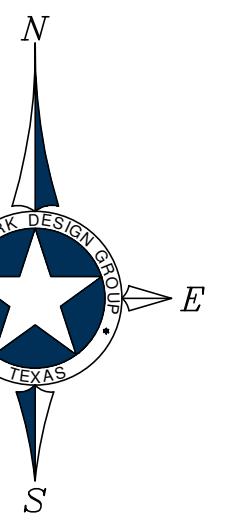
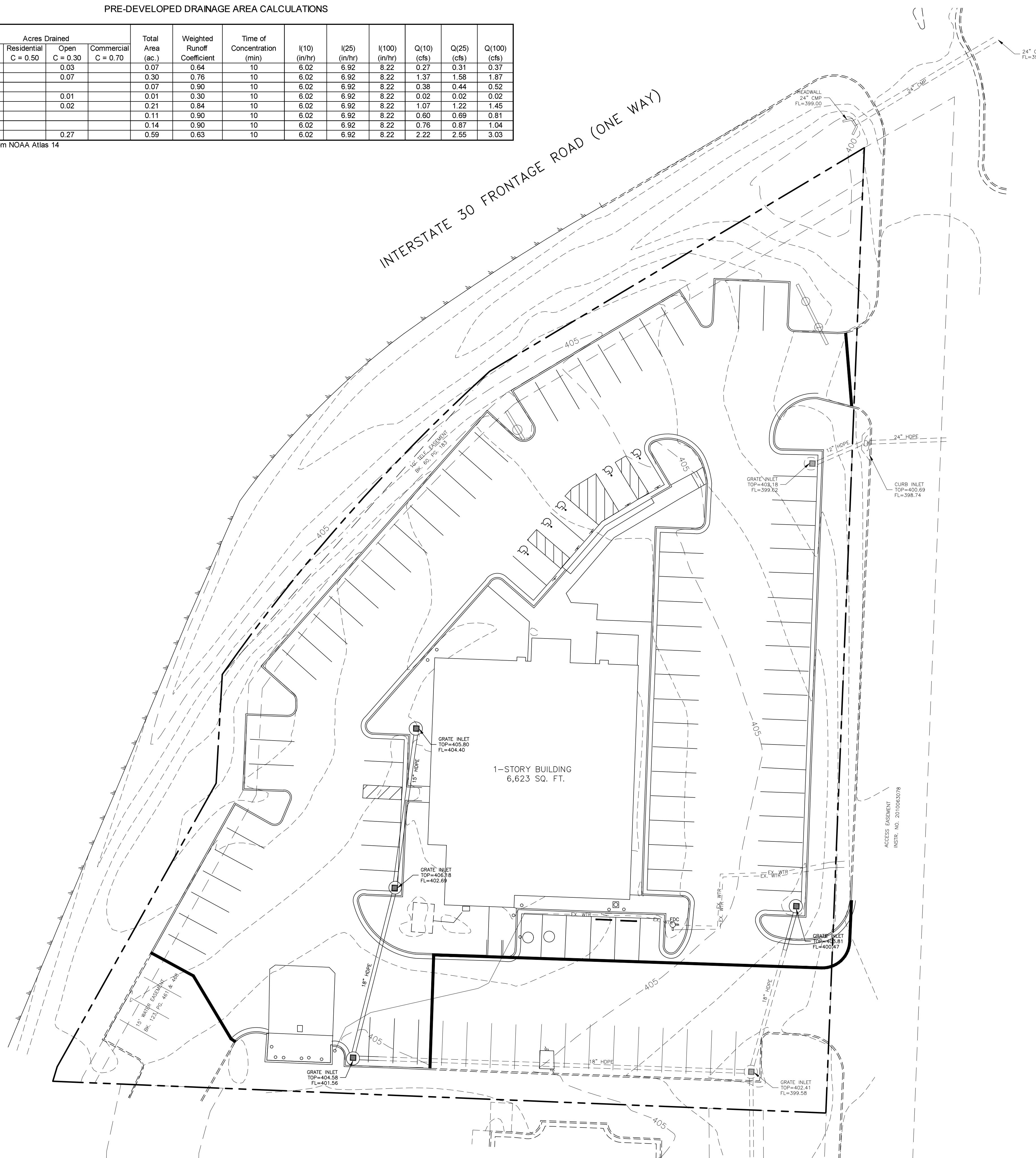




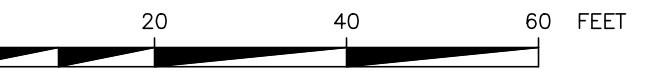
PRE-DEVELOPED DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.50	Open C = 0.30	Commercial C = 0.70									
1	0.04		0.03		0.07	0.64	10	6.02	6.92	8.22	0.27	0.31	0.37
2	0.23		0.07		0.30	0.76	10	6.02	6.92	8.22	1.37	1.58	1.87
3	0.07				0.07	0.90	10	6.02	6.92	8.22	0.38	0.44	0.52
4			0.01		0.01	0.30	10	6.02	6.92	8.22	0.02	0.02	0.02
5	0.19		0.02		0.21	0.84	10	6.02	6.92	8.22	1.07	1.22	1.45
6	0.11				0.11	0.90	10	6.02	6.92	8.22	0.60	0.69	0.81
7	0.14				0.14	0.90	10	6.02	6.92	8.22	0.76	0.87	1.04
8	0.32				0.59	0.63	10	6.02	6.92	8.22	2.22	2.55	3.03

*Intensities are pulled from NOAA Atlas 14



GRAPHIC SCALE



HYDRAULIC CAPACITIES FOR STORMSEWER PIPES WERE CALCULATED USING A MANNING'S n VALUE OF 0.013.

A PARTIAL LIST OF ACCEPTABLE STORMSEWER PIPES CAPABLE OF PROVIDING THE REQUIRED HYDRAULIC EFFICIENCY FOR THIS APPLICATION ARE AS FOLLOWS:

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 B.) ADS HP STORM - DUAL WALL - PP
 C.) HANSON CONCRETE REINFORCED CONCRETE PIPE

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LEGEND

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C.O.O	○	EXISTING CLEANOUT
WV	△	EXISTING WATER VALVE
WM	■	EXISTING WATER METER
MH	○	EXISTING SAN. SEWER MANHOLE
PP	○	EXISTING POWER POLE
FH	○	EXISTING FIRE HYDRANT
OHE	- - -	EXISTING OVERHEAD ELECTRIC LINE
EX. WTR	- - -	EXISTING WATER LINE
EX. SS	- - -	EXISTING SAN. SEWER LINE
PROPERTY LINE	- - -	PROPERTY LINE
534	- - -	EXISTING 1' CONTOUR
535	- - -	EXISTING 5' CONTOUR
	- - -	EXISTING DRAINAGE PATTERN
	—	EXISTING DRAINAGE DELINEATION
X	□	= DRAINAGE AREA NUMBER
XXX	□	= DRAINAGE AREA (AC.)
X.XX	□	= 100-YR RUNOFF (cfs)



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	Oil Production lines

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BENCHMARK

DESIGN GROUP

CIVIL / ENVIRONMENTAL PLANNERS

2301 THREE LAKES PARKWAY TYLER TEXAS 75703 (903) 534-5333 FIRM NUMBER F-7814 - WWW.BENCHMARK-ENGINEERS.COM

EDWARD L. STODDARD, P.E.

1-7-2025

STATE OF ARKANSAS

REGISTERED PROFESSIONAL ENGINEER

No. 1004

1-7-2025

RAISING CANE'S

BRYANT, ARKANSAS

PRE-DEVELOPED DRAINAGE PLAN

F:\Projects\2025\047 Raising Cane's - Bryant, AR\dwg\2025-047.dwg, 1/7/2026 3:33:16 PM, Ryan

DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.

C-6.1

DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.50	Open C = 0.30	Commercial C = 0.70									
1	0.05		0.03		0.08	0.68	10	6.02	6.92	8.22	0.33	0.37	0.44
2	0.14		0.05		0.19	0.74	10	6.02	6.92	8.22	0.85	0.98	1.16
3	0.04				0.04	0.90	10	6.02	6.92	8.22	0.22	0.25	0.30
4	0.09		0.04		0.13	0.72	10	6.02	6.92	8.22	0.56	0.64	0.76
5	0.17		0.08		0.25	0.71	10	6.02	6.92	8.22	1.07	1.22	1.45
6	0.10				0.10	0.90	10	6.02	6.92	8.22	0.54	0.62	0.74
7	0.37		0.34		0.71	0.61	10	6.02	6.92	8.22	2.62	3.01	3.58

*Intensities are pulled from NOAA Atlas 14

Q (100) (CFS)	IMPERVIOUS COVER (ACRES)
PRE	9.12
POST	8.43

INTERSTATE 30 FRONTAGE ROAD (ONE WAY)



GRAPHIC SCALE

0 20 40 60 FEET

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	████████	PROPOSED DRAINAGE PATTERN
	████████	PROPOSED DRAINAGE DELINEATION
X	□	= DRAINAGE AREA NUMBER
X.XX	□	= DRAINAGE AREA (AC.)
X.XX	□	= 100-YR RUNOFF (CFS)

RAISING CANE'S
BRYANT, ARKANSASPOST-DEVELOPED
DRAINAGE PLANBENCHMARK
DESIGN GROUP

DRAINED BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.

C-6.2

BENCHMARK
DESIGN GROUP

CIVIL / ENVIRONMENTAL PLANNERS

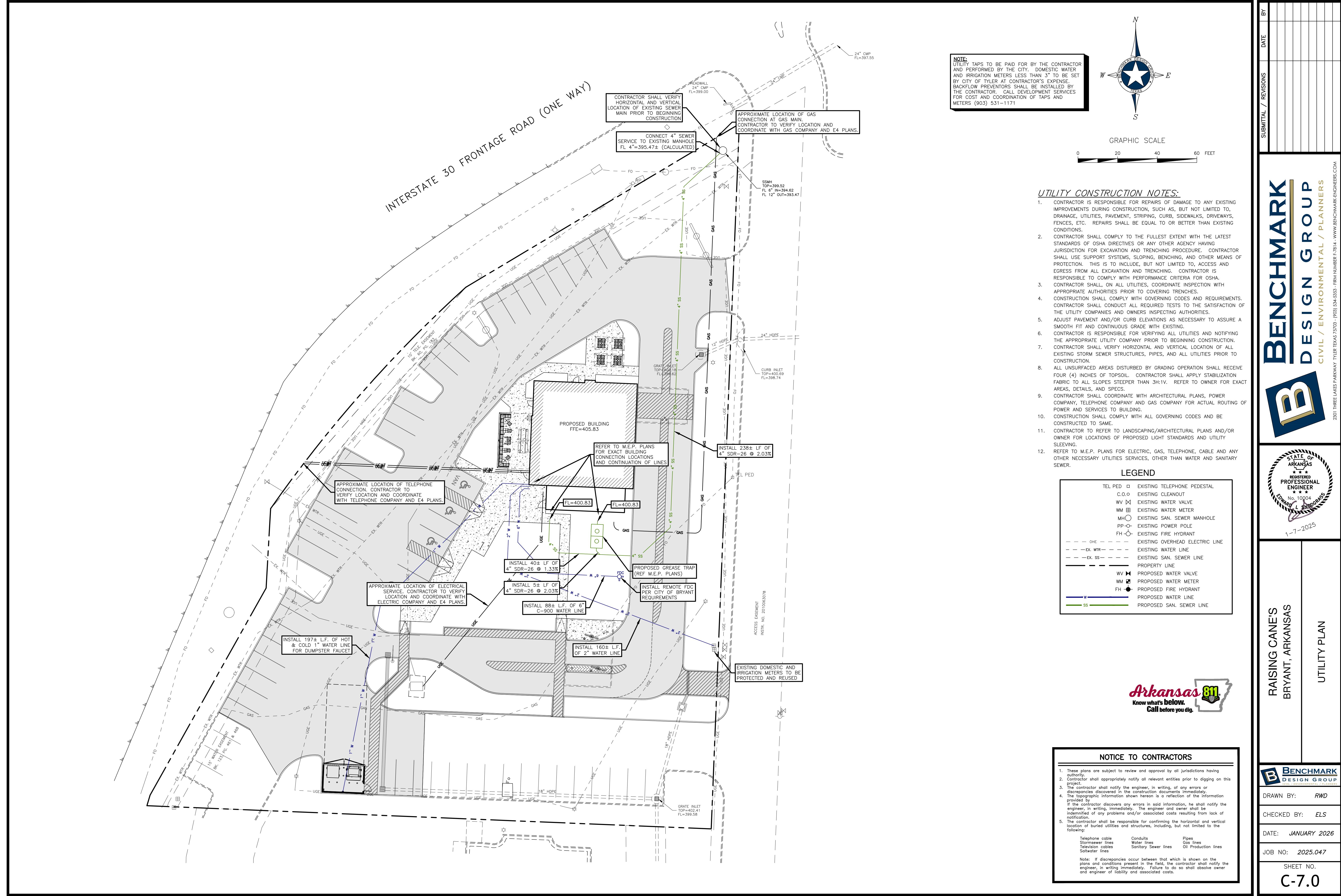
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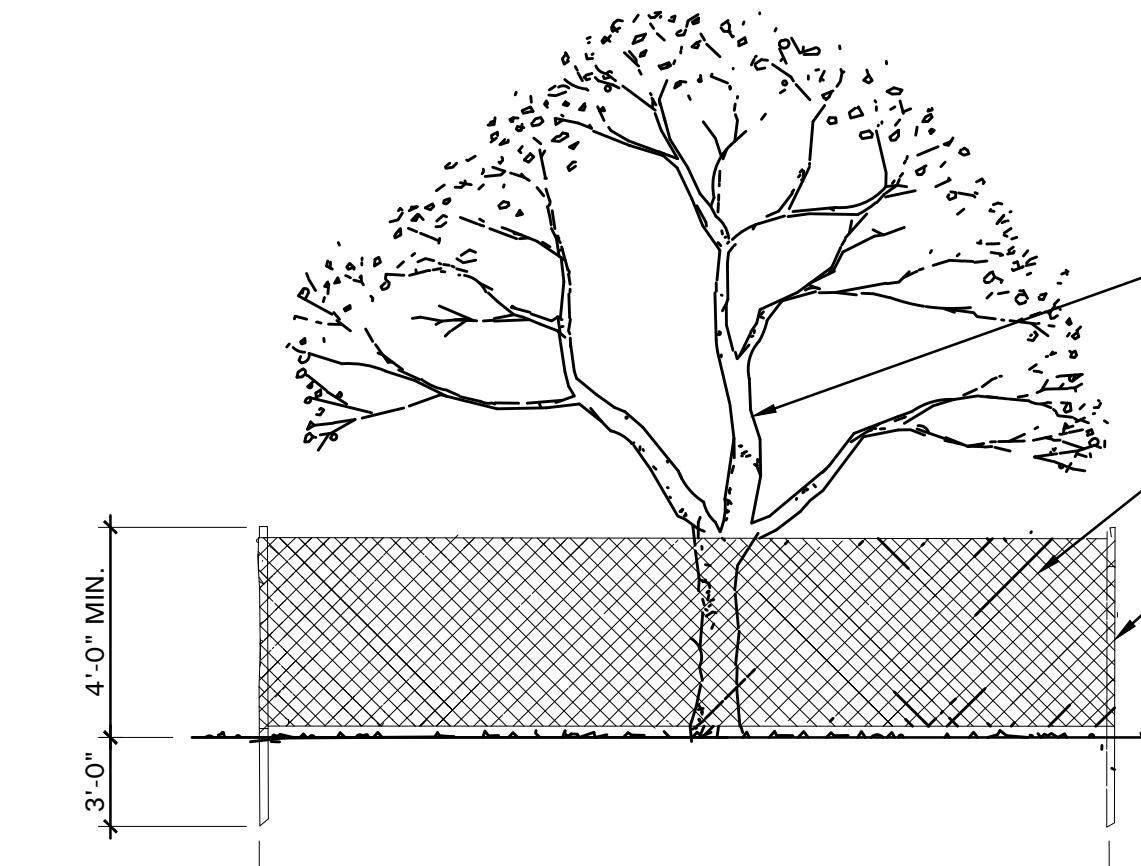
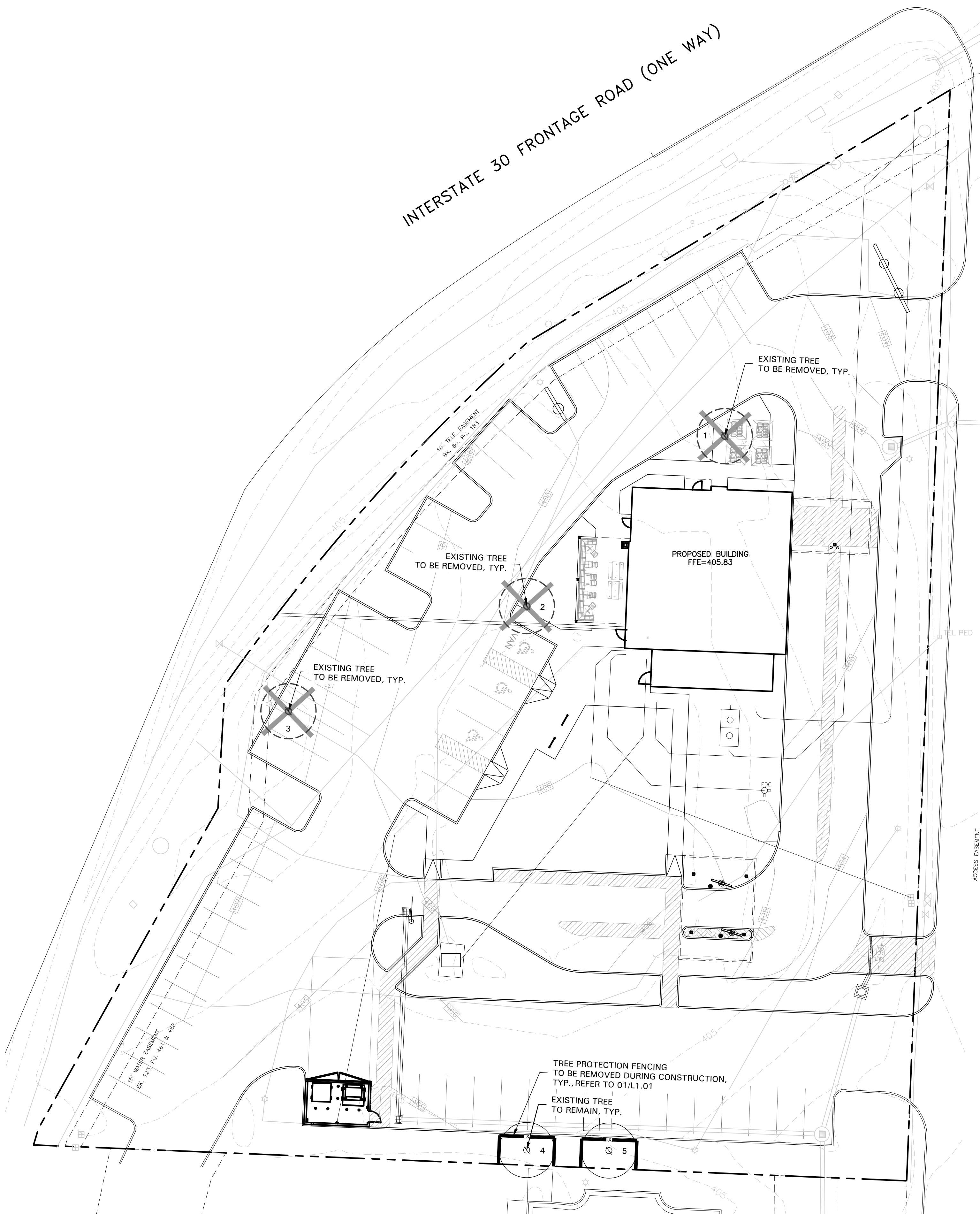
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01 TREE PROTECTIVE FENCING
NOT TO SCALE

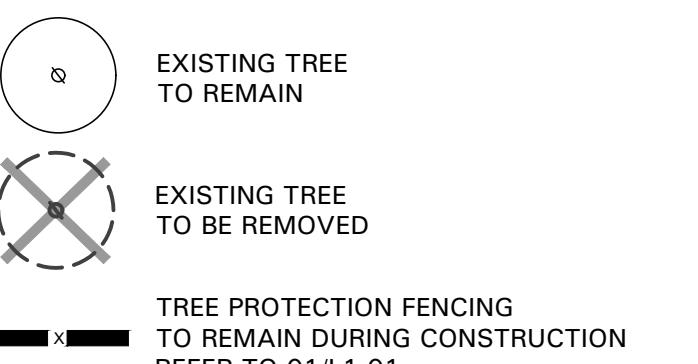
TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	6	RIVER BIRCH	TO BE REMOVED	
2	6	RIVER BIRCH	TO BE REMOVED	
3	12	BRADFORD PEAR	TO BE REMOVED	
4	12	PINE	TO REMAIN	
5	6	RIVER BIRCH	TO REMAIN	

Total Caliper Inches on Site 42
Total Caliper Inches Removed 24

TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



RAISING CANE'S
RESTAURANT NO.: #15007
(I-30 & REYNOLDS)
BRYANT, AR 72022

REV DATE DESCRIPTION
DRAWN BY:
CHECKED BY:
ARCH. PROJECT NO.: 225000.01.507
SHEET NAME: TREE PRESERVATION PLAN
SHEET NUMBER: L1.01
SITE PLAN REVIEW



PROTOTYPE P-6-AV
SCHEME A or B
VERSION 2025-1.0

RAISING CANE'S
RESTAURANT NO.: #1507
(I-30 & REYNOLDS)
BRYANT, AR 72022

REV	DATE	DESCRIPTION

DRAWN BY:
CHECKED BY:
ARCH. PROJECT NO.:

225000.01.507

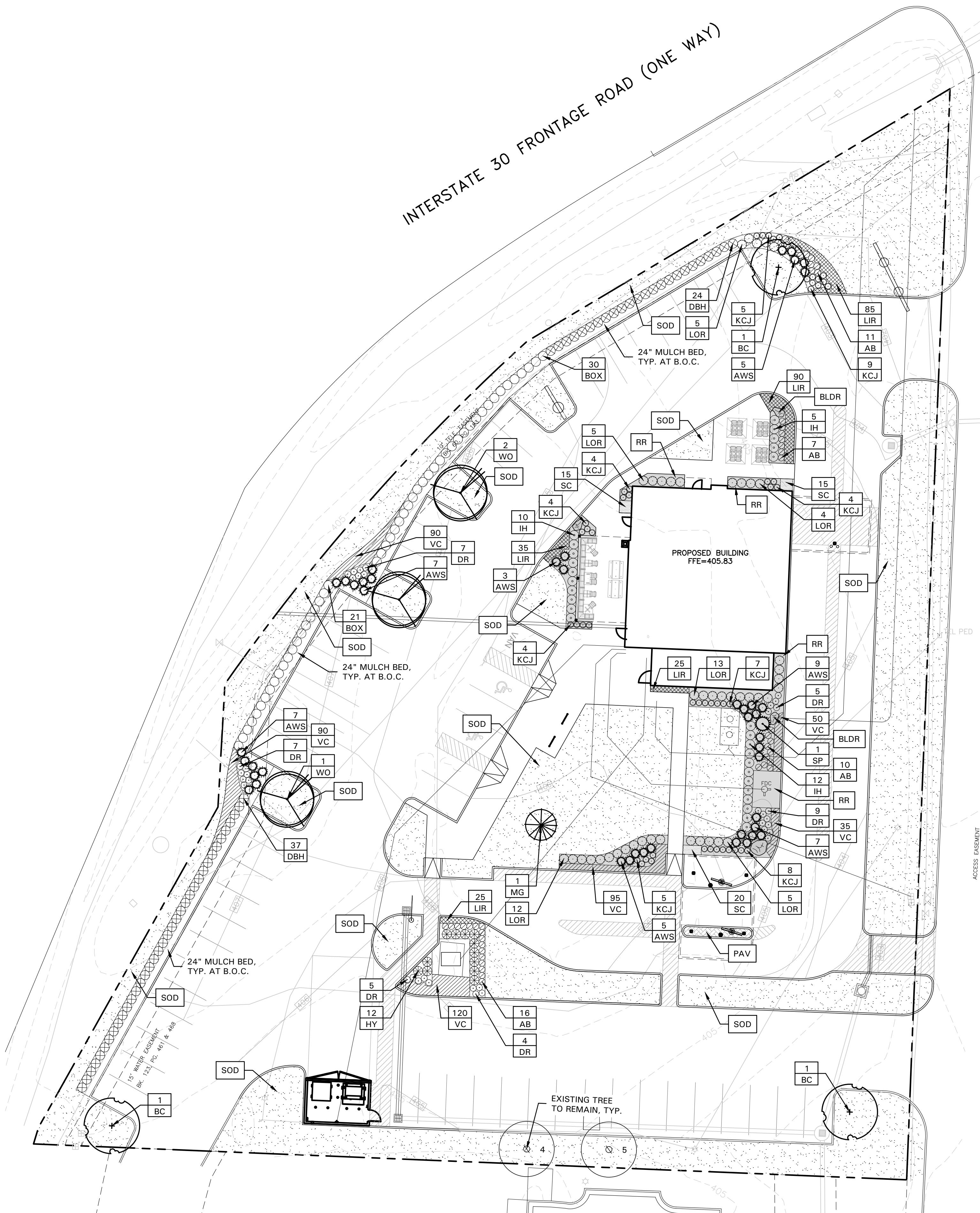
SHEET NAME:

LANDSCAPE
PLAN

SHEET NUMBER:

L2.01

SITE PLAN REVIEW



CONCRETE PAVER NOTES

1. CONTRACTOR SHALL ADHERE TO THE MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND ANY OTHER REQUIREMENTS OUTLINED BY THE MANUFACTURER FOR ALL PAVER INSTALLATION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCING ANY WORK.
3. CONCRETE PAVERS SHALL BE:
 - TECHO-BLOC®
 - MODEL: VIGORIEN
 - PATTERN: HERRINGBONE
 - COLOR: ONYX BLACK
4. CONTRACTOR SHALL SUBMIT A STANDARD COLOR SAMPLE BOARD TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR FINAL COLOR SELECTION PRIOR TO PLACING ORDER.
5. THE FINAL COLOR SELECTION SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE ON-SITE.
6. CONCRETE PAVERS AVAILABLE FROM:
WWW.TECHO-BLOC.COM
7. THE CONTRACTOR SHALL CONSTRUCT A SAMPLE PANEL 4'-0" BY 4'-0" ON-SITE, AT NO EXPENSE TO THE OWNER, FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
8. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY AND ALL WORK EXECUTED BY THE CONTRACTOR WHICH DOES NOT MEET HIS/HER EXPECTATIONS AND THE MANUFACTURER'S SPECIFICATIONS.
9. THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS REQUIRED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT NO EXPENSE TO THE OWNER.

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS

THE CITY OF BRYANT, ARKANSAS

C-2 LANDSCAPING CRITERIA

1. One (1) tree, each 1/2 acre or fraction of.
2. One (1) evergreen per 2,000 square feet.
3. 100 square feet minimum of bedding plants or ground cover in containment.

Site Area: 65,465 s.f. (1.50 ac)
 Required (3) trees (6) trees, 3" cal.
 (33) evergreens (112) evergreens
 100 s.f. planting min. 3,120 s.f. planting

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
BC	<i>Taxodium distichum</i>	Bald Cypress	3	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
MG	<i>Magnolia grandiflora 'Little Gem'</i>	Little Gem Magnolia	1	6' ht.	container grown, full to base, 30" spread
WO	<i>Quercus phellos</i>	Willow Oak	3	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
SHRUBS/GROUNDCOVER					
AB	<i>Abelia grandiflora 'Rose Creek'</i>	Dwarf Abelia 'Rose Creek'	44	5 gal.	container full, 20" spread, 24" o.c.
AWS	<i>Spiraea spp. 'Anthony Waterer'</i>	Anthony Waterer Spiraea	43	5 gal.	container full, 20" spread, 36" o.c.
BOX	<i>Buxus sempervirens 'Green Mountain'</i>	Green Mountain Boxwood	51	5 gal.	container full, 20" spread, 36" o.c.
DBH	<i>Ilex cornuta 'Dwarf Burford'</i>	Dwarf Burford Holly	61	5 gal.	container full, 24" spread, 36" o.c.
DR	<i>Rosa 'Red Drift'</i>	Red Drift Rose	37	5 gal.	container full, 20" spread, 24" o.c.
HY	<i>Taxus x media 'Hicksii'</i>	Hicks Yew	12	5 gal.	container full, 24" spread, 36" o.c.
IH	<i>Rhaphiolepis indica 'Clara'</i>	Indian Hawthorn 'Clara'	27	5 gal.	container full, 20" spread, 36" o.c.
KCJ	<i>Juniperus x media 'Kalla's Compact'</i>	Kalla's Compact Juniper	50	5 gal.	container full, 20" spread, 24" o.c.
LIR	<i>Liriope muscari 'Big Blue'</i>	Liriope 'Big Blue'	260	4" pots	container full top of container, 12" o.c.
LOR	<i>Loropetalum chinense 'Purple Diamond'</i>	Loropetalum 'Purple Diamond'	44	3 gal.	container full, 18" spread, 36" o.c.
SC	<i>Juniperus chinensis 'Spartan'</i>	Seasonal Color	50	4" pots	container full, 12" o.c., selection by Owner
SP	<i>Vinca minor</i>	Spartan Juniper	1	5' ht.	B&B or container grown, full to base, 3" spread
VC	<i>Cynodon dactylon</i>	Periwinkle	480	4" pots	container full top of container, 12" o.c.
SOD		Common Bermudagrass			solid sod, refer to Solid Sod Notes
MISCELLANEOUS					
BLDR		Landscape Boulder	4		native boulder, irregular finish; smooth and weathered edges; 1.5-ton min.
PAV		Concrete Pavers			refer to Concrete Paver Notes and 03/L2.02
RR		Native River Rock			2" - 4" dia., 4" depth rock mulch, typ.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.

PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.

ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL Voids.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF BRYANT, ARKANSAS

C-2 LANDSCAPING CRITERIA

1. One (1) tree, each 1/2 acre or fraction of.
2. One (1) evergreen per 2,000 square feet.
3. 100 square feet minimum of bedding plants or ground cover in containment.

Site Area: 65,465 s.f. (1.50 ac)
 Required (3) trees (6) trees, 3" cal.
 (33) evergreens (112) evergreens
 100 s.f. planting min. 3,120 s.f. planting



CONSULTANT:



PROTOTYPE P-6-AV
SCHEME A or B
VERSION 2025-1.0

RAISING CANE'S
RESTAURANT NO.: #15007
(I-30 & REYNOLDS)
BRYANT, AR 72022

REV	DATE	DESCRIPTION

DRAWN BY:
CHECKED BY:
ARCH. PROJECT NO.:

225000.01.507

SHEET NAME:

LANDSCAPE
SPECIFICATIONS
AND DETAILS

SHEET NUMBER:

L2.02

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

A. American Standard for Nursery Stock, published by American Association of Nurserymen; April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) - plant material

B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.

C. Arkansas Association of Nurserymen, Grades and Standards

D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installed, General Contractor shall leave a 6' wide area three (3') inches below the final grade of sidewalks, driveways and curbs as shown on the drawing. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

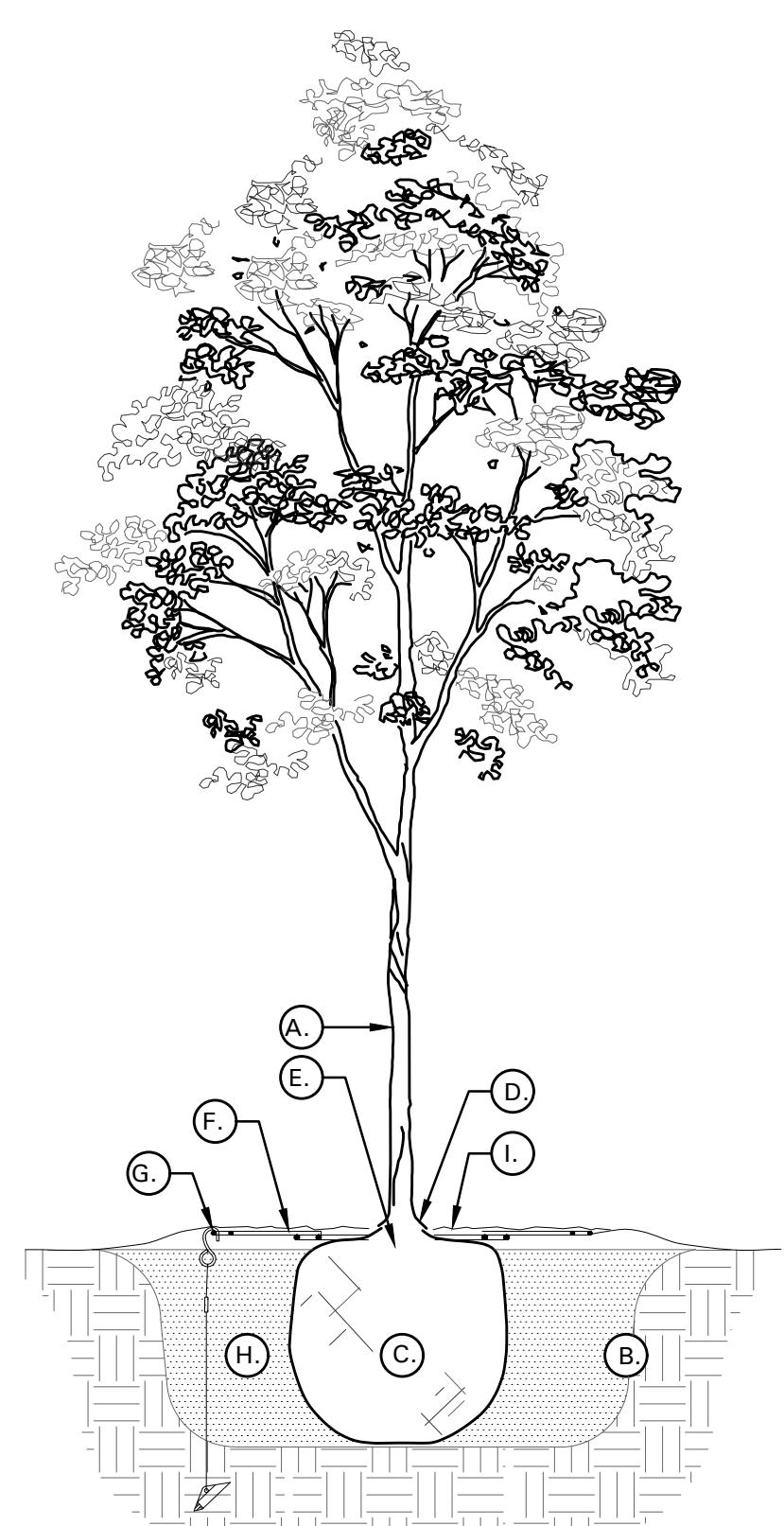
B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.

B. Guarantee:



01 TREE PLANTING DETAIL
NOT TO SCALE

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

a. Plants used for replacement shall be of the same size and type as originally planted and shall be replaced as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

C. Selection of Plant Material:

A. Make contact with suppliers immediately upon obtaining location of contract and source to select and book materials. Develop a schedule of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.

B. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.

C. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.

D. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground or trees up to 6' including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

E. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.

F. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.

G. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

B. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.

2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on site.

3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.

4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.

5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance of job site.

6. Remove rejected plant material immediately from job site.

7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as to shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.

D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.

B. Physical properties as follows:

a. Clay - between 7-27 percent

b. Silt - between 15-25 percent

c. Sand - less than 52 percent

d. Organic matter shall be 3%-10% of total dry weight.

e. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material:

Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

C. Sharp Sand:

Sharp sand must be free of seeds, soil particles and weeds.

D. Mulch:

Double Shredded Hardwood Mulch, partially decomposed, dark brown.

E. Organic Fertilizer:

Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

F. Commercial Fertilizer:

10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

G. Peat:

Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging:

All steel edging shall be 3/16" thick x 4" deep x 16" long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.

B. Staking Material for Shade Trees:

refer to details.

C. Gravel:

Washed native pea gravel, graded 1 inch to 1-1/2 inch.

D. Filter Fabric:

'Mirafi Mirascape' by Mirafi Construction Products or approved equal.

E. River Rock:

'Colorado' or native river rock, 2" - 4" dia.

F. Decomposed Granite:

Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

G. Backfill:

only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering

3.1 BED PREPARATION & FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as recommended. Mix fertilizer and recommendations. Add six (6") inches of compost and till to a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.

2. All planting areas shall receive a three (3") inch layer of specified mulch.

3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

4. Grass Areas:

1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

