



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: January 15, 2026 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Raising Canes - 23115 I-30 - Site Plan

Benchmark Design Group - Requesting Site Plan Approval

- [1016-LTR-01.pdf](#)
- [1016-ADA-01.pdf](#)
- [1016-BLD-01.pdf](#)
- [1016-PLN-01.pdf](#)
- [1016-LND-01.pdf](#)

2. Hilltop Road - Minor Subdivision Plat - 840-11625-125

Hope Consulting - Requesting Recommendation for Approval of Subdivision Plat

- [1015-PLT-01.pdf](#)

Permit Report

Adjournments



1-7-2026

City of Bryant
210 SW 3rd. St.
Bryant, Ar. 72022
Attn: Contact person

phone 501-943-0999

RE: **Planning Commission Request Letter**
Bryant, Arkansas
Benchmark project number 2025.047

Mr. Leonard,

Benchmark Design Group (Benchmark) is the engineer of record for the above-mentioned project located at 23115 I-30 S. Please accept this letter as the formal request for the commercial site plan review process through the planning commission.

Benchmark appreciates this opportunity to be of service and welcome any questions or comments.

Respectfully submitted,
BENCHMARK DESIGN GROUP, LLC

Ryan Davis

Ryan Davis, PE

"Achieving Goals by Design"

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

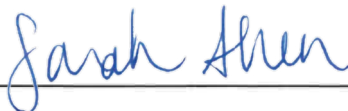
The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor
or Authorized Agent _____



Date 1/6/26

Signature of Owner
(if owner-builder) _____

Date _____

Application of Permit Approved: _____

Date _____

Commission - Chairman

Bryant Water & Sewer Department

GREASE TRAP STANDARDS

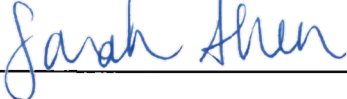
The City of Bryant requires all commercial buildings comply with plumbing codes found in the Arkansas State Plumbing Code, Latest Edition. All new construction, remodeling, and modifications must conform to these plumbing standards for places of public accommodation and commercial facilities. These guidelines contain general design standards for construction and site elements relating to plumbing.

As of 7/27/04, the Bryant Sewer & Water Commission requires stringent specification standards for commercial or public businesses that involve any food preparation on the premise. The new standard requires calculations, and associated data to be submitted to the Bryant Water Utilities General Manager concurrent with the proposed building plumbing plans along with a grease trap calculation form. Building Permits will not be issued until this form has been received and approved by the Bryant Water Utilities General Manager.

All new buildings or strip centers containing sections designated for commercial enterprise are encouraged to provide a stub-out for a separate waste line for future grease interceptor installation. The owner of a new strip center shall consider suitable physical property space and sewer gradient that will be conducive for the installation of an exterior, in-ground grease interceptor(s) for any flex space contained within the strip center. Physical Property Restrictions and sewer gradient shall not be a defense for failure to install an exterior, in-ground grease interceptor.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the City of Bryant Water & Sewer Department. I further understand that copies of the Grease Interceptor Design and Structural Criteria regulations will be available from the Bryant Water/Wastewater Plant (501-847-8083) during business hours.

Project Name _____

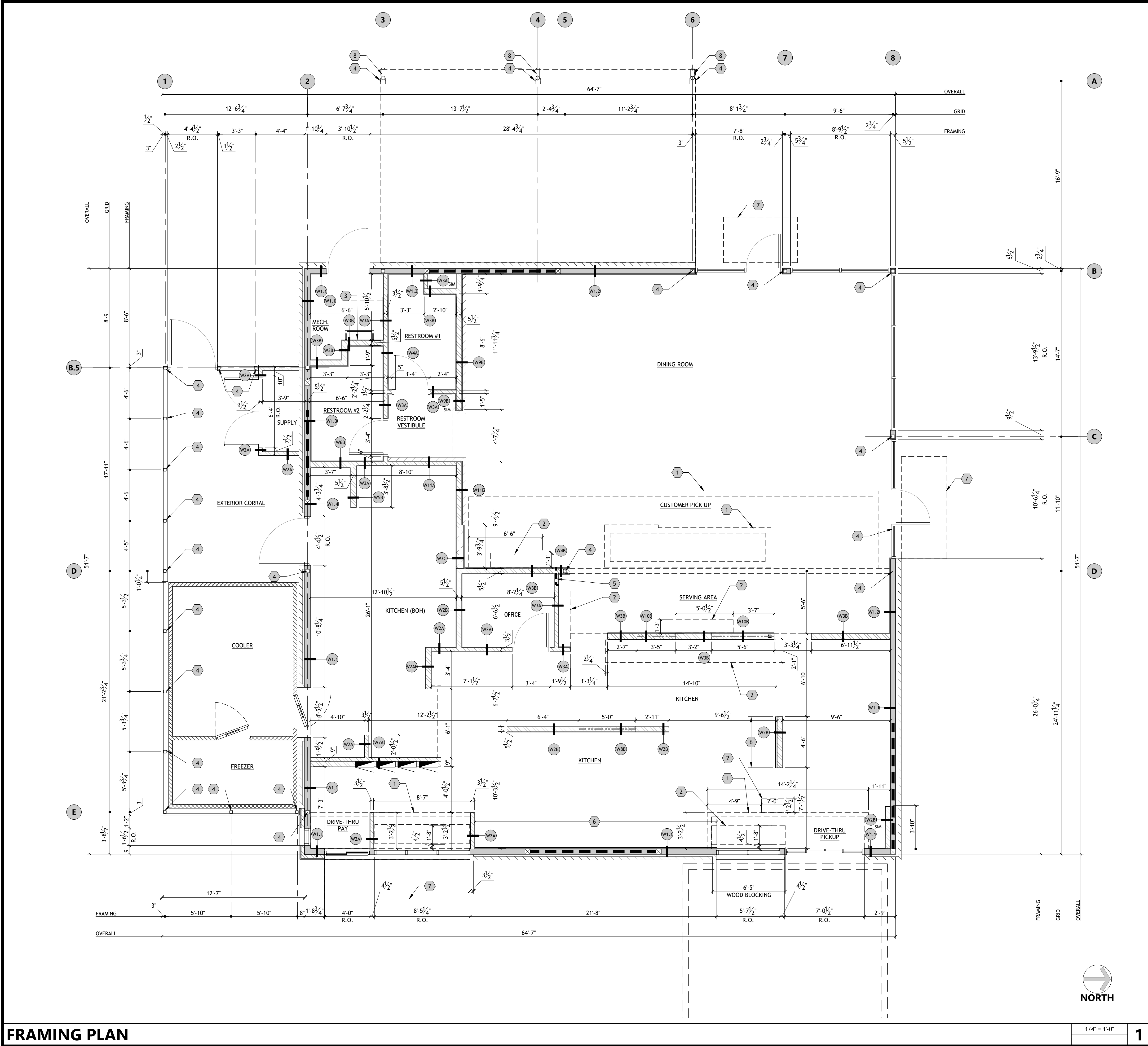
Signature of Contractor
or Authorized Agent  Date 1/6/26

Signature of Owner
(if owner-builder) _____ Date _____

Calculations
Approved: _____ Date _____
Bryant Water Utilities General Manager



SITE PLAN REVIEW



FRAMING PLAN

1/4" = 1'-0"

1

SHEET NOTES

- A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
- B. ALL EXTERIOR STUD DIMENSIONS ARE TAKEN FROM FACE OF STUD, FACE OF MASONRY OR CMU TYPICAL U.N.O. - SEE A1.30 FOR SLAB DIMENSIONS & FOUNDATION PLAN.
- C. ALL INTERIOR STUDS DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- D. ALL STUDS ARE TO BE 16" O.C. UNLESS NOTED OTHERWISE.
- E. REFER TO G0.10 AND SPECIFICATIONS FOR INSULATION.
- F. REFER TO FOOD SERVICE ELEVATIONS FOR LOCATIONS OF ADDITIONAL BLOCKING LOCATIONS.
- G. REFER TO SHEET A1.40 FOR HEADER AND SOFFIT LOCATIONS AND HEIGHTS.
- H. FINISH MATERIALS AND THICKNESS NOT SHOWN FOR CLARITY. REFER TO SHEET A1.70 FINISH FLOOR PLAN.
- I. REFER TO STRUCTURAL FRAMING PLAN, SHEAR WALL PLAN, AND SCHEDULES FOR EXTERIOR SHEATHING SPECIFICATIONS AND FRAMING DETAILS.
- J. FOR ALL AIR CONDITIONING, EXHAUST & SUPPLY FANS, HVAC & REFRIGERATION EQUIPMENT CURBS; GENERAL CONTRACTOR SHALL PROVIDE & INSTALL SUITABLE BLOCKING IN WALLS & CEILINGS TO SUPPORT FIXTURES, EQUIPMENT & CANOPIES.
- K. RE: STRUCTURAL DETAIL 1/55.02 FOR NON-BEARING WALL CONNECTION TO ROOF TRUSS.

KEYED NOTES

- 1. EDGE OF CEILING SOFFIT FRAMING ABOVE
- 2. 2x BLOCKING SUSPENDED FROM TRUSS BOTTOM CHORD
- 3. BLOCKING FOR ROOF ACCESS LADDER. COORDINATE WITH MANUFACTURER.
- 4. COLUMN, RE: STRUCTURAL
- 5. 3" PVC PIPE CHASE TO RUN HORIZONTAL FOR KETCHUP LINES. RE: 6/A5.31
- 6. 1" NON-COMBUSTIBLE WALL PANEL AT HOOD. REFER TO FOOD SERVICE EQUIPMENT AND VENDORS DRAWINGS
- 7. PREFAB AWNING BY OTHERS

WALL TYPES

KEY	HATCH	DESCRIPTION
		EXTERIOR WALL - REFER TO WALL SECTIONS
		SHEAR WALL
		WALL TYPE W-1 REFER TO A3.30 FOR .1 - .4 INFO
		WALL TYPE W-2 w/ PLYWOOD SHEATHING BOTH SIDES
		WALL TYPE W-3 w/ PLYWOOD SHEATHING BOTH SIDES & CEMENT BOARD AT TILE FINISH SIDE
		WALL TYPE W-4 w/ PLYWOOD SHEATHING AND CEMENT BOARD BOTH SIDES
		WALL TYPE W-5 w/ PLYWOOD SHEATHING ON B.O.H. SIDE & CEMENT BOARD AT WASH AREA SIDE
		WALL TYPE W-6 w/ CEMENT BOARD BOTH SIDES, PLYWOOD SHEATHING BEHIND CEMENT BD. AT R.R.
		WALL TYPE W-7 w/ PLYWOOD SHEATHING BOTH SIDES
		WALL TYPE W-8 w/ PLYWOOD SHEATHING BOTH SIDES
		WALL TYPE W-9 w/ BRICK VENEER, PLYWOOD SHEATHING BOTH SIDES AND CEMENT BOARD AT REST ROOM SIDE
		WALL TYPE W-10 w/ PLYWOOD SHEATHING ON BOTH SIDES & CEMENT BOARD AT TILE FINISH SIDE
		WALL TYPE W-9 w/ BRICK VENEER, PLYWOOD SHEATHING BOTH SIDES

FOR INTERNAL
REVIEW ONLY.
NOT FOR
DISTRIBUTION

CONSULTANT:



RAISING CANE'S
RESTAURANT NO.: #1507
(I-30 & REYNOLDS)
BRYANT, AR 72022

REV	DATE	DESCRIPTION

DRAWN BY: X
CHECKED BY: XX
ARCH. PROJECT NO.: 225000.01.507
SHEET NAME:

FRAMING PLAN
SHEET NUMBER:
A1.20

SITE PLAN REVIEW


$$1/4'' = 1'-0''$$

1

A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
B. ALL WEIGHTS ARE IN POUNDS.
C. REFER TO SHEET A3.30 FOR WALL TYPES.

- A. LATERAL DUCT CHASE, SEE TRUSS PROFILE FOR DIMENSIONS AND LOCATIONS
- B. ROUGH OPENING FOR RETURN AIR PLENUM / DUCTWORK
- C. ROUGH OPENING FOR ROOF ACCESS HATCH
- D. ROUGH OPENING FOR RTU-1 DUCT RISERS
- E. ROUGH OPENING FOR RTU-2 DUCT RISERS
- F. ROUGH OPENING FOR HOOD EXHAUST RISER
- G. ROUGH OPENING FOR MAJ RISER

KEY	WEIGHT	DESCRIPTION
1	2,400	RTU-1
2	2,400	RTU-2
3	2,065	MAKE-UP AIR UNIT
4.1	400	HOOD EXHAUST FAN ON CURB
4.2	183	HOOD EXHAUST FAN ON CURB
5	200	ICE MACHINE CONDENSER
6	200	COOLER/FREEZER CONDENSER
7	100	EXHAUST FAN
8.1	2500	KITCHEN EXHAUST HOOD (8 FRYERS)
9	600	KITCHEN EXHAUST HOOD (GRIDDLE)
10	1,600	FRONT COUNTER CEILING CLOUD
11	900	DINING ROOM CLOUD
12	1,000	SUSPENDED SHELVING
13	600	HELMET SHELVING
14	-	WOOD CEILING
15	-	BEAM, PROVIDE TRUSS POCKET SUCH THAT BOTTOM OF TRUSS HEIGHT IS EQUAL TO BOTTOM OF BEAM
16	-	PRE-ENGINEERED CANOPY

Diagram showing the elevation view of a truss bridge section. The diagram includes the following dimensions and labels:

- Top dimension: $5\frac{1}{2}$
- Left side dimension: $26\text{'}-7\frac{3}{4}$
- Right side dimension: $2\text{'}}-8\frac{1}{4}$
- Internal dimension: $12\text{'}}-1\frac{1}{4}$
- Internal dimension: $4\text{'}}-10\text{'}$
- Internal dimension: $7\text{'}}-2\text{'}$
- Labels: A, B, E

REFER TO TRUSS
DRAWINGS FOR
L TRUSS BRIDGING

NOTE: REFER TO TRUSS
SHOPS DRAWINGS FOR
ACTUAL TRUSS BRIDGING

■ **SEAL:**

■ **CONSULTANT:**



RESTAURANT NO.: #1507

(I-30 & REYNOLDS)
BRYANT, AR 72022

DRAWN BY: X
CHECKED BY: XX

ARCH. PROJECT NO.: 225000.01.507

SHEET NAME:

TRUSS COORDINATION PLAN

SHEET NUMBER:

A1.50

SITE PLAN REVIEW



1

- A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
- B. THE DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED SCHEMATIC. ITEMS SUCH AS PARAPET FLASHING, CANTS, BLOCKING, ROOF PENETRATIONS AND EXPANSION JOINTS ARE TO BE INSTALLED PER MANUFACTURERS STANDARD ROOF DETAILS PRIOR TO THE BEGINNING OF THE WORK.
- C. REFER TO STRUCTURAL FOR DECK BEARING ELEVATION @ ROOF.
- D. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS ON OR THROUGH ROOF.
- E. CLEAN ROOF OF ALL CONSTRUCTION DEBRIS AT PROJECT COMPLETION.
- F. ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE STRAPPED AND SECURED TO THE ROOF PER EQUIPMENT MANUFACTURER STANDARDS.
- G. CONTRACTOR TO VERIFY WEIGHT AND LOADING REQUIREMENTS OF ALL ROOF TOP EQUIPMENT WITH DATA SHEETS PRIOR TO TRUSS DESIGN.
- H. IN ADDITION, VERIFY WEIGHT AND LOADING OF WOOD MILLWORK ITEMS SUSPENDED FROM BOTTOM CHORD IN DINING ROOM.
- I. GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL ROOFTOP EQUIPMENT WITH SPECIFICATION SHEETS PRIOR TO TRUSS DESIGN.
- J. GENERAL CONTRACTOR TO COORDINATE FREEZER EQUIPMENT PER MANUFACTURER SPECIFICATIONS.

1. ROOFTOP UNIT 2, RE: MECHANICAL
2. ROOFTOP UNIT 2, RE: MECHANICAL
3. MAKE-UP AIR UNIT, RE: MECHANICAL
4. HOOD EXHAUST FAN ON CURB, RE: MECHANICAL
5. ICE MACHINE CONDENSER, RE: 12/A5.21 FOR CURB DETAIL, RE: MECHANICAL
6. COOLER/FREEZER CONDENSERS FURNISHED BY EQUIPMENT CONTRACTOR INSTALLED BY G.C. IN ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS FOR ROOF MOUNTING, INCLUDING ALL TREATED BLOCKING
7. RESTROOM EXHAUST FAN, RE: MECHANICAL AND ELECTRICAL
8. INTERNAL PRIMARY ROOF DRAIN, RE: CIVIL FOR CONTINUATION, RE: 6/A5.21
9. OVERFLOW DRAIN, RE: 5/A5.21
10. ROOF ACCESS HATCH AS SPECIFIED
11. NOT USED
12. UTILITY PENETRATION THRU ROOF, RE: MECHANICAL, PLUMBING, AND 10/A5.21
13. PRE-FINISHED METAL CAP FLASHING AND CORNICE PROFILE. TYPICAL @ PERIMETER. G.C. TO COORDINATE INSTALLATION OF COVE LIGHTING, WHERE OCCURS; PROVIDED AND INSTALLED BY OWNER, RE: EXTERIOR ELEVATIONS AND WALL SECTIONS
14. METAL ROOF DECK WITH 5/8" PLYWOOD DECKING AND STANDING SEAM METAL ROOFING
15. PREFABRICATED METAL AWNING (BY OTHERS)
16. GAS WH EXHAUST, RE: PLUMBING
17. PLUMBING STACK VENT, RE: 11/A5.21 & PLUMBING
18. ROOF HYDRANT, RE: PLUMBING
19. ROOF PENETRATION FOR IT EQUIPMENT, RE: 10/A5.21 & ELECTRICAL
20. LOCATION OF GAS PIPING DOWN TO METER
21. LOCATION OF GAS PIPING DOWN TO KITCHEN
22. CONDENSATE TO HUB DRAIN BELOW
23. 3" DOWNSPOUT, COORDINATE WITH CIVIL FOR CONTINUATION
24. SINGLE PLY MEMBRANE ROOFING
25. PREFABRICATED ALUMINUM PARAPET SCREENS WITH TRANSLUCENT PANELS AND INTEGRAL LED STRIPS LIGHT FIXTURES BY OWNER
26. TAPERED BRASS CEMENT CRICKET
27. PARAPET INSULATES, RE: STRUCTURAL
28. INTERNAL GUTTER AND DOWNSPOUT

The floor plan shows a rectangular room with a central area containing a large rectangular table. On the left wall, there is a large rectangular panel. On the right wall, there is a large rectangular panel. The room is divided into three sections by two vertical lines. The top section contains a large rectangular panel. The middle section contains a large rectangular panel. The bottom section contains a large rectangular panel. The room is labeled with dimensions: 1.5m, 1.5m, and 1.5m. The room is labeled with dimensions: 1.5m, 1.5m, and 1.5m.

- ROOF AREA: 2,915 SQ FT
- RAINFALL RATE: 4.25 IN/HR
- CALCULATED FLOW RATE: $2,915 \times (4.25/12) \times (7.481/60) = 90.1$ GPM
- HORIZONTAL DRAIN SLOPE: "X" PER FOOT
- PER 2024 IPC TABLE 1106.2 THE MIN. DRAINSPOUT SIZE SHOULD BE 3". REFER TO PLUMBING DRAWINGS.

1. THE PRIMARY DRAINAGE CONSISTS OF 2 INTERNAL ROOF DRAINS THAT TRANSFER STORM WATER RUN OFF TO EQUALLY SIZED RAIN LEADERS.
2. EACH ROOF DRAIN IS 8" DIA. WITH A 3" MIN. DIA. PIPE.
3. THE EMERGENCY DRAINAGE SYSTEM CONSISTS OF 2 OVERFLOW DRAINS AS SHOWN WHICH DISCHARGE THROUGH WALL AS SHOWN ON ELEVATIONS.

**FOR INTERNAL
REVIEW ONLY.
NOT FOR
DISTRIBUTION**

■ **CONSULTANT:**



RAISING CANE'S
RESTAURANT NO.: #1507

(1-30 & REYNOLDS)
BRYANT, AR 72022

[illegible]

DRAWN BY: _____ X
CHECKED BY: _____ XX
ARCH. PROJECT NO.: _____
225000.01.507
SHEET NAME: _____

ROOF PLAN

SHEET NUMBER: **A1.60**

SITE PLAN REVIEW



MATERIAL LEGEND	
TAG	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF / METAL FASCIA
EM-2	METAL CAP FLASHING
EM-3	POWDER COATED ALUMINUM
EM-4	METAL ACCENT PANELS
EWf-1	BRICK CLADDING
EWf-2	BRICK CLADDING
EWf-3	ARCHITECTURAL PANELS
EWf-4	COMPOSITE LUMBER
EWs-1	DRIVE-THRU WINDOW
EWs-2	ALUMINUM STOREFRONT
EWs-3	ALUMINUM SLIDING DOOR
P-5	EXTERIOR PAINT
P-10	EXTERIOR PAINT

DRAWN BY: _____ MC
CHECKED BY: _____ CJ

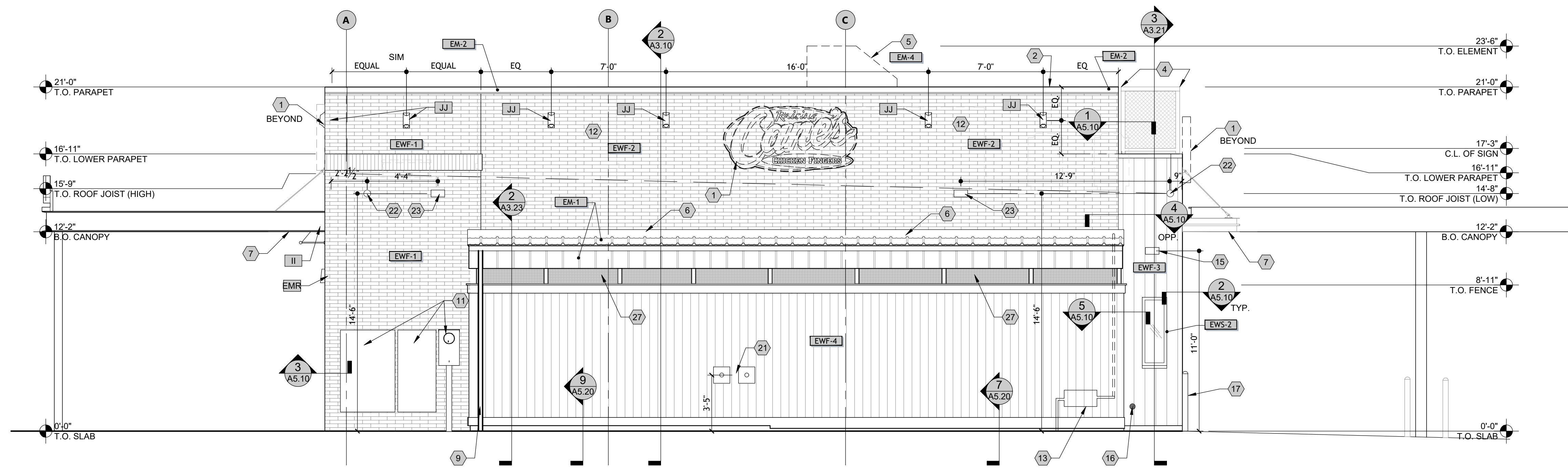
■ ARCH. PROJECT NO.: _____
225000.01.507

■ SHEET NAME: _____

**EXTERIOR
ELEVATIONS**

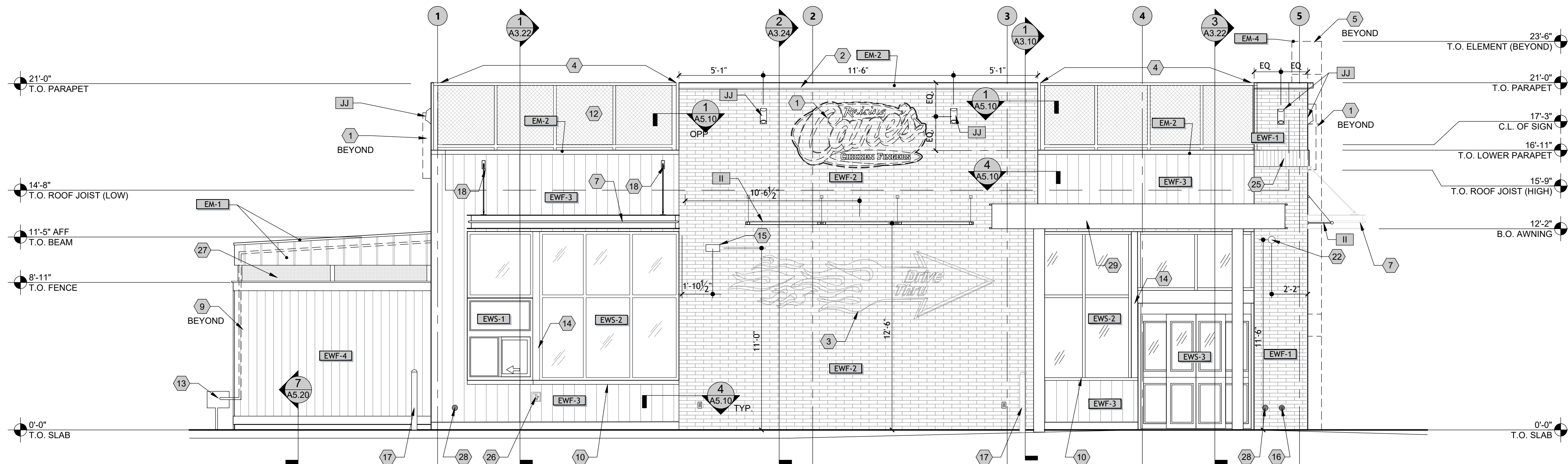
■ SHEET NUMBER: _____
A2.10

SITE PLAN REVIEW



REAR ELEVATION (NORTH)

1/4" = 1'-0"



DRIVE-THRU ELEVATION (WEST)

1/4" = 1'-0"

SHEET NOTES

- A. REFER TO SHEET G0.01 FOR GENERAL NOTES.
- B. REFER TO SHEET A6.30 FOR FINISH SCHEDULES.
- C. SIGNAGE TO BE APPROVED UNDER SEPARATE PERMIT.
- D. AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET G0.00. G.C. TO SUBMIT AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS FOR APPROVAL.
- E. CONFIRM OUTDOOR SPEAKERS, CAMERAS AND WI-FI LOCATIONS WITH I.T.
- F. VERIFY LOGO SIGNS, PAINTED MURAL, ARTWORK W/ SIGNAGE VENDOR.

SEALANT NOTES

- A. PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- B. MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

KEYED NOTES

1. SIGN, BY OWNER. PROVIDE BLOCKING (4'-0" x 8'-0" OVAL).
2. LED COVE LIGHTING BY OTHERS
3. WALL ART BY OWNER
4. MESH PARAPET ASSEMBLY BY OWNER
5. METAL PANELS BY OWNER
6. METAL COUNTER FLASHING AT SLOPED ROOF
7. CANOPY, RE: RCP
8. ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
9. METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: CIVIL FOR CONTINUATION.
10. BREAK METAL SILL
11. ELECTRICAL EQUIPMENT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
12. ROOFTOP EQUIPMENT BEHIND SCREEN, REFER TO ROOF PLAN.
13. GAS METER - PAINTED TO MATCH ADJACENT CLADDING MATERIAL
14. BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
15. EXTERIOR SPEAKERS
16. OVERFLOW DRAIN DOWNSPOUT COVER, RE: PLUMBING
17. 4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 2/A0.50
18. 2x WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS
19. DARPRO OUTLET AND SECURITY BOX
20. ORIA 4-DIGIT KEY STORAGE BOX
21. CO2 PORT
22. PENETRATION FOR SECURITY CAMERAS
23. PENETRATION FOR WIFI EQUIPMENT
24. KNOX BOX - COORDINATE LOCATION WITH FIRE MARSHAL
25. 8" ACCENT BAND, 1" PROJECTION, ALIGN TOP OF BAND WITH LOWER PARAPET
26. WALL HYDRANT, RE: PLUMBING
27. 1" x 1" 14 ga BLACK WIRE MESH INFILL
28. PRIMARY DRAIN RAIN LEADER CLEAN-OUT
29. EXPO CANOPY, RE: SHEET A0.41
30. BLANK PLATE INSTALLED ON EXTERIOR SIDE OF GLASS TO HIDE SIGNAGE
31. NOT USED
32. FDC

MATERIAL LEGEND

TAG	DESCRIPTION
EM-1	STEEL SEAM METAL ROOF / METAL FASCIA
EM-2	METAL CAP FLASHING
EM-3	POWDER COATED ALUMINUM
EM-4	METAL ACCENT PANELS
EW-1	BRICK CLADDING
EW-2	BRICK CLADDING
EW-3	ARCHITECTURAL PANELS
EW-4	COMPOSITE LUMBER
EWS-1	DRIVE-THRU WINDOW
EWS-2	ALUMINUM STOREFRONT
EWS-3	ALUMINUM SLIDING DOOR
P-5	EXTERIOR PAINT
P-10	EXTERIOR PAINT

CSRS
8555 United Plaza Blvd.
Baton Rouge, Louisiana 70809
Telephone: 225 769-0546
www.csrsinc.com

**FOR INTERNAL
REVIEW ONLY.
NOT FOR
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CONSULTANT:



**PROTOTYPE P6-AV
SCHEME A or B
VERSION 2025-1.0**

RAISING CANE'S
RESTAURANT NO.: #1507

(I-30 & REYNOLDS)
BRYANT, AR 72022

[illegible]

DRAWN BY: MC
CHECKED BY: CJ
ARCH. PROJECT NO.: 225000.01.507
SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NUMBER: 1

A2.11

SITE PLAN REVIEW

RAISING CANE'S

CONTACT INFORMATION

CIVIL ENGINEER:
BENCHMARK DESIGN GROUP, LLC
2301 THREE LAKES PARKWAY
TYLER, TEXAS 75703
ATTN: ED SNODGRASS, P.E.
PHONE: 903-534-5353

SURVEYOR:
SMITH & GOODSON, PLLC.
7509 CANTRELL RD. STE 227
LITTLE ROCK, ARKANSAS 72207
ATTN: SEAN GOODSON, R.P.L.S.
PHONE: 501-749-2850

ARCHITECT:
CSRS INC.
15950 DALLAS PARKWAY, SUITE 210
DALLAS, TEXAS 75248
ATTN: MICHAEL CONTRERAS
PHONE: 833-523-2526

PROJECT MANAGER
FREDCO DEVELOPMENT SERVICES
ATTN: FELICIA BIVENS
PHONE: 931-993-5258

23115 I-30
CITY OF BRYANT, SALINE COUNTY, ARKANSAS



VICINITY MAP
N.T.S.

INDEX OF SHEETS	
C-1.0	COVER SHEET
C-1.1	ALTA SURVEY
C-3.0	SWPPP SITE PLAN
C-3.1	SWPPP SITE DETAILS
C-4.0	DEMOLITION PLAN
C-5.0	SITE KEYNOTE PLAN
C-5.1	DIMENSIONAL CONTROL PLAN
C-5.2	STRIPING AND SIGNAGE PLAN
C-5.3	PAVING AND JOINT LAYOUT PLAN (NOT INCLUDED)
C-6.0	GRADING PLAN
C-6.1	PRE-DEVELOPED DRAINAGE PLAN
C-6.2	POST-DEVELOPED DRAINAGE PLAN
C-7.0	UTILITY PLAN
C-8.0	CONSTRUCTION DETAILS



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

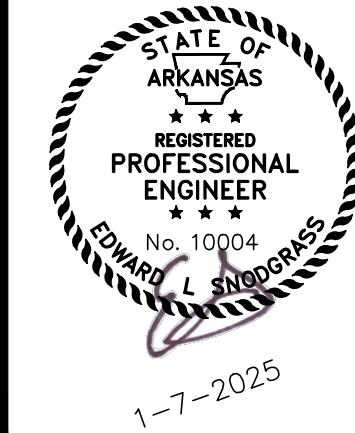
NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by:
 - If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

COVER SHEET



DRAWN BY: **RWD**

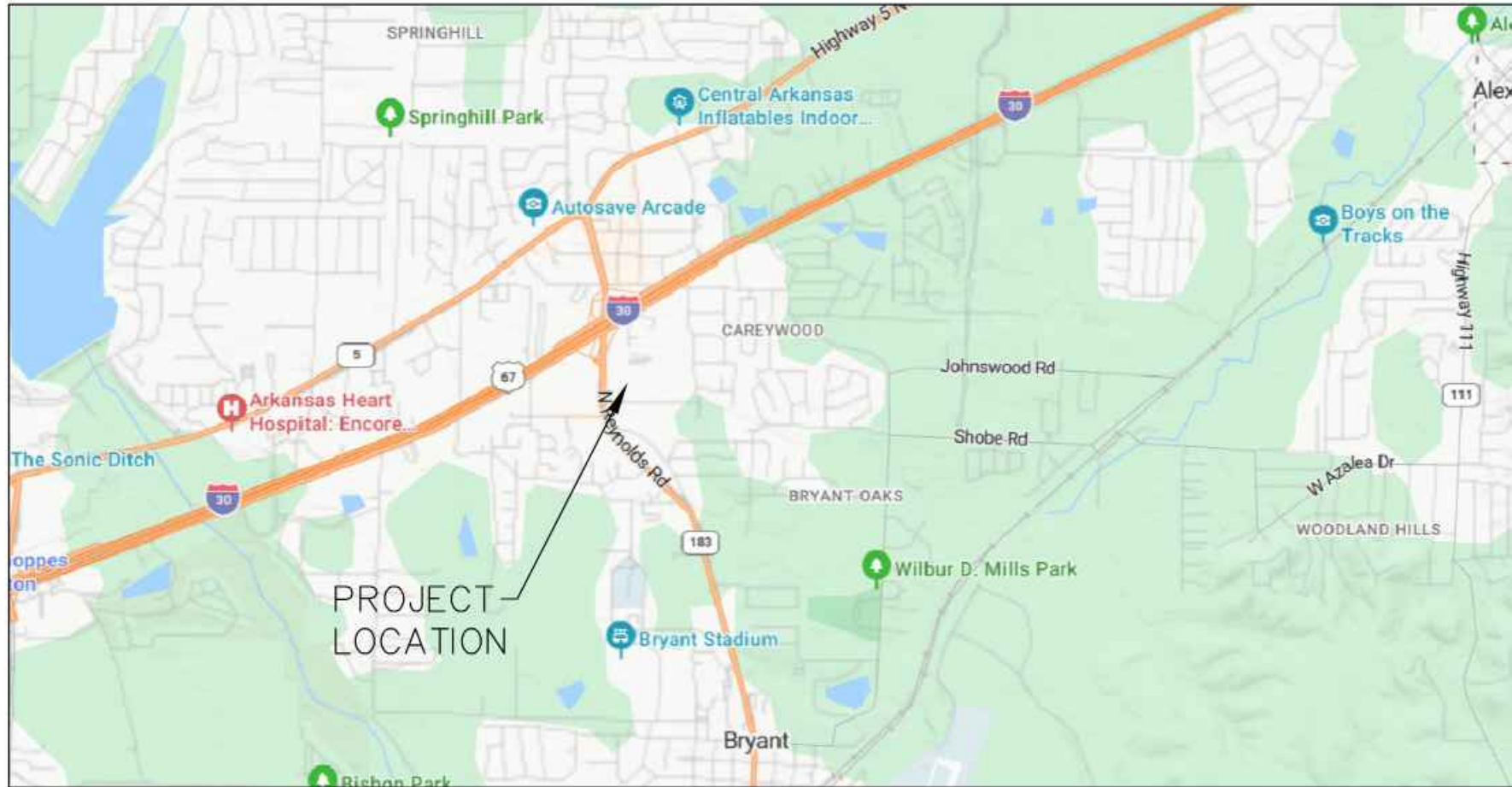
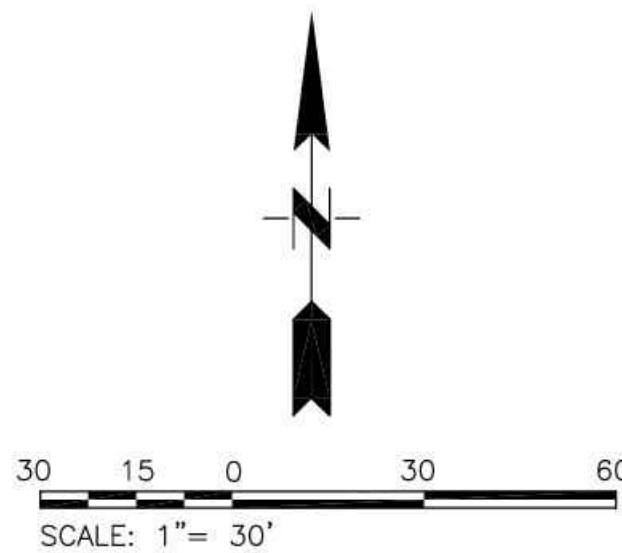
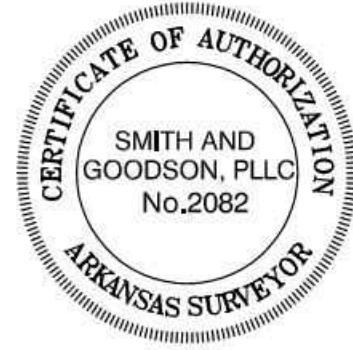
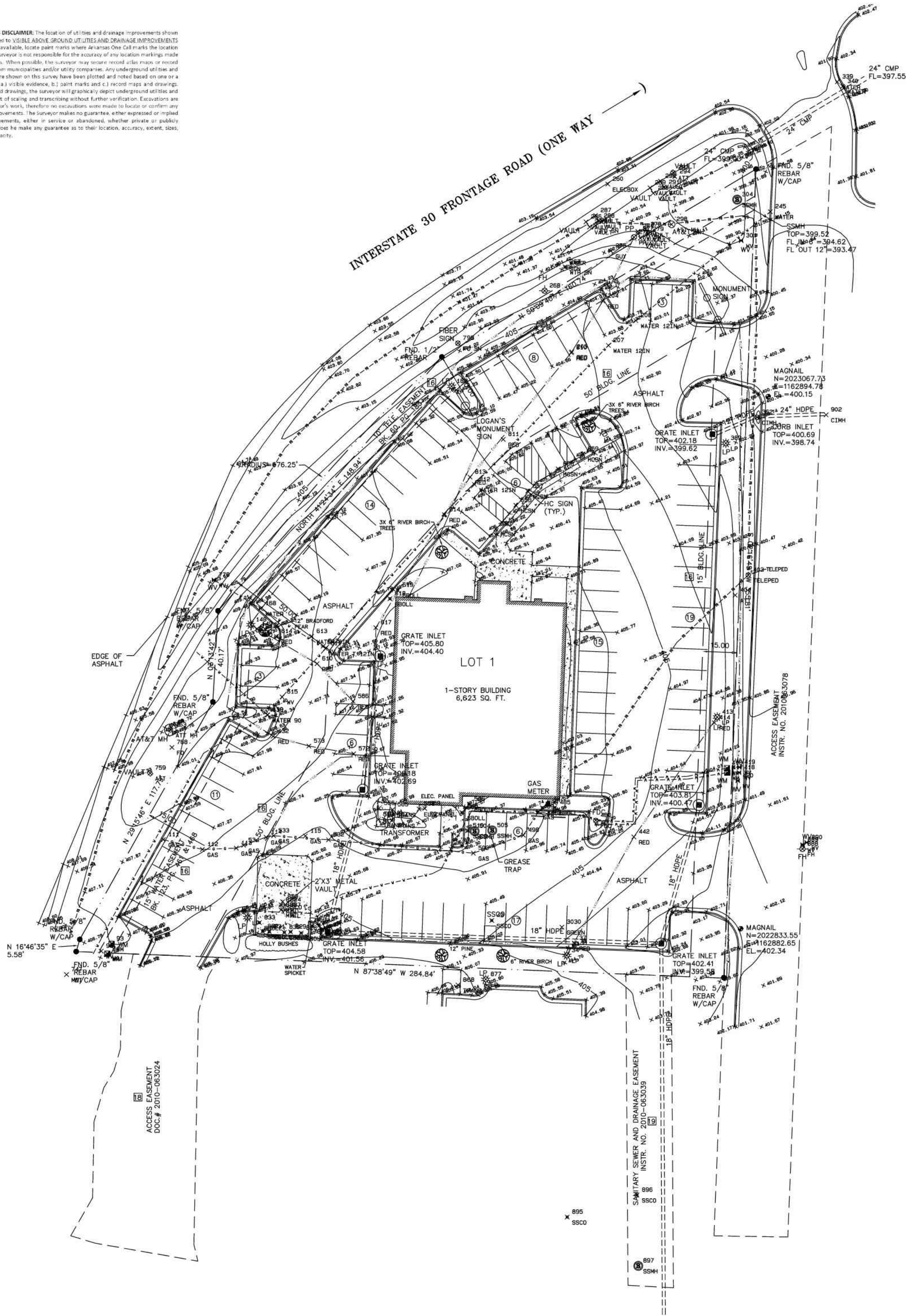
CHECKED BY: **ELS**

DATE: **JANUARY 2026**

JOB NO: **2025.047**

SHEET NO.
C-1.0

SUBSURFACE IMPROVEMENTS DISCLAIMER: The location of utilities and drainage improvements shown on this plat or drawing is limited to VISIBLE ABOVE GROUND UTILITIES AND DRAINAGE IMPROVEMENTS ONLY. The surveyor, when available, locates past records where the owner has the location of utilities and drainage. The surveyor is not responsible for the accuracy of any location markings made by Arkansas One Call or others. When possible, the surveyor may locate other manholes or record drawings of records available from municipalities and/or other companies. Any underground utilities and drainage improvements that are shown on this survey have been plotted and noted based on one or a combination of the following: a) visible evidence; b) client marks and c) recent maps and drawings. When utilizing recent maps and drawings, the surveyor will graphically depict underground utilities and drainage by a reasonable effort of tracing and transcribing without further verification. Excavations are not as the scope of the surveyor's work, therefore no excavations were made to locate or confirm any subsurface conditions or improvements. The surveyor makes no guarantee, either expressed or implied, that any underground improvements, either in service or abandoned, whether private or public, owned, are fully shown, nor does he make any guarantee as to their location, accuracy, extent, size, type, depth, condition or capacity.



VICINITY MAP /N.T.S.

Title Commitment File No. 6-90038-JC having an Effective Date and Time of: April 23, 2025, 8:00 a.m.

Schedule B – Section II Exceptions:

- Reservations, restrictions, dedications, easements, right-of-way and setback lines as may be shown on the plat of said Logan's Roadhouse, an addition to the City of Bryant, Arkansas, recorded as Instrument #2010-55439 in the official records of the Saline County Circuit Clerk. **As shown on survey. References final plat of Lot 1, Logan's Roadhouse Addition.**
- Subject to the Right Of Way in favor of the City of Bryant, recorded on March 18, 2002 as Instrument #2002-19846 in the official records of the Saline County Circuit Clerk.
- Subject to the Access Easement Agreement between Coco Bryant Holdings, LLC and Logan's Roadhouse, Inc., recorded on August 6, 2010 as Instrument #2010-063024 in the official records of the Saline County Circuit Clerk. **As shown on survey.**
- Subject to the Sewer Easement Agreement between Coco Bryant Holdings, LLC and Logan's Roadhouse, Inc., recorded on August 6, 2010 as Instrument #2010-063039 in the official records of the Saline County Circuit Clerk. **As shown on survey.**
- Subject to the Easement, Covenants, Conditions and Restrictions, recorded on October 21, 2005 as Instrument #2005-116451, as affected by the First Amendment recorded as Instrument #2007-031916, the Second Amendment recorded as Instrument #2015-004777, and the Third Amendment recorded as Instrument #2020-025579, in the official records of the Saline County Circuit Clerk. **Not plottable. 10' easement as waterline was constructed.**

GENERAL NOTES

- No encroachments were observed.
- There was no apparent evidence observed of current earth moving work, building construction or building additions.
- There was no apparent evidence observed of recent changes in street right-of-way lines or of street sidewalk construction or repairs.
- There was no apparent evidence observed of site use as a solid waste dump, sump or sanitary landfill.

UTILITY SERVICE PROVIDERS

- Water: City of Bryant
- Sanitary Sewer: City of Bryant
- Electricity: Entergy of Arkansas
- Natural Gas: Centerpoint Energy
- Telephone: AT&T
- CATV: Comcast

ZONING CLASSIFICATION

Zoned C-2 Highway Commercial

Setback requirements: Front Yard: 50 feet
Side Yard: 15 feet
Rear Yard: 0 feet

Maximum Bldg. Height: 45 feet

PARKING SPACES

Regular Spaces= 102

Handicap Spaces= 5

Total Spaces = 107

FLOOD STATEMENT

No portion of the subject properties lies within a flood zone as shown on the Flood Insurance Rate Map Community Panel Number 05125C0380E, having an effective date of June 5, 2020, as published by the Federal Emergency Management Agency (FEMA).

CERTIFICATION

To: KASASA, L.L.C., a Louisiana limited liability company, and Stuart Title Guaranty Company. This is to certify that this plat and the survey on which it is based were made in accordance with the 2021 Minimum Standards Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 5, 6(a), 6(b), 8, 9, 11, 13, 16, 17, 18, and 20 of Table A thereof. The field work was completed on November 10, 2025.

Date of Plat: November 12, 2025.

Wm. Allen Smith

SMITH AND GOODSON, PLLC.

Wm. Allen Smith, Professional Surveyor #1095 (Arkansas)

11-12-2025

DATE

PROPERTY DESCRIPTION

Lot 1, Logan's Roadhouse, an addition to the City of Bryant, Arkansas.

Date	Notes	By

Designed _____
Checked WAS
Drawn SDG
Approved WAS

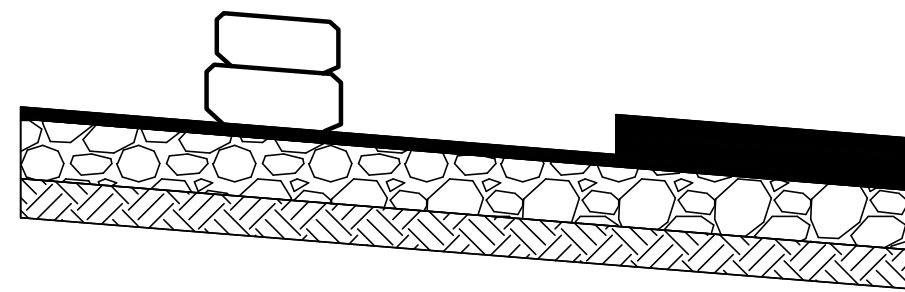


SMITH AND GOODSON
PLLC
CIVIL ENGINEERING AND LAND SURVEYING
7509 CANTRELL ROAD, SUITE 227
LITTLE ROCK, ARKANSAS 72207
501-414-8498

ALTA/NSPS LAND TITLE SURVEY

FOR THE USE AND BENEFIT OF:
KASASA, LLC
&
Stuart Title Guaranty Company

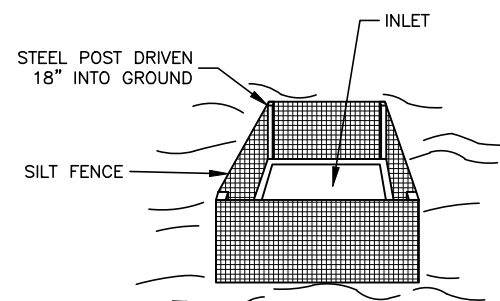
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Date: 11-12-2025
Sheet: 1-1



SECTION 'A-A'

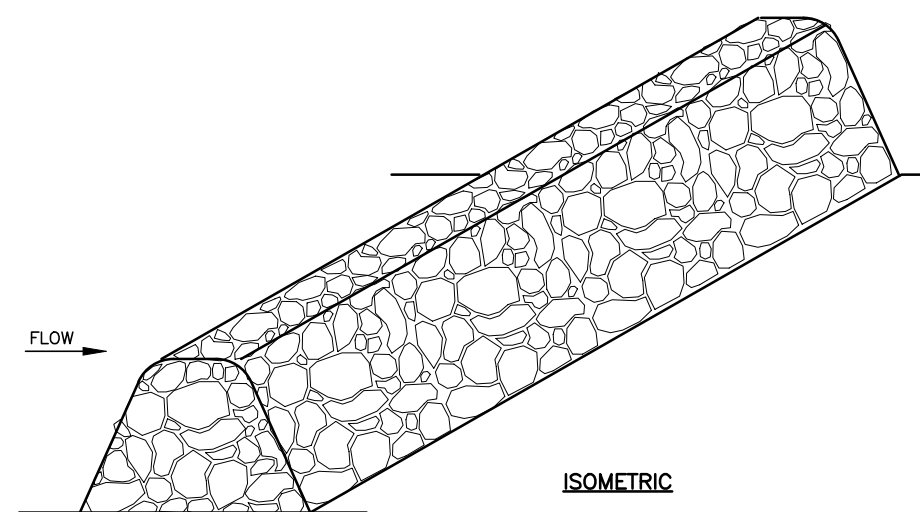
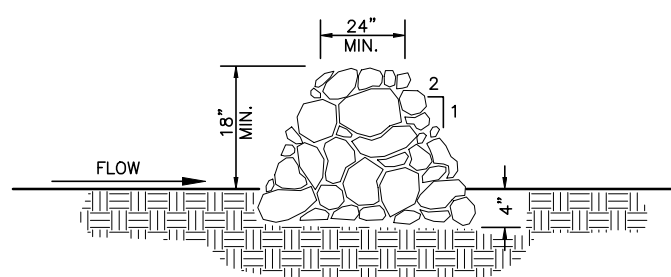
FLUME SEDIMENT BARRIER

NTS



INLET PROTECTION
FILTER BARRIER

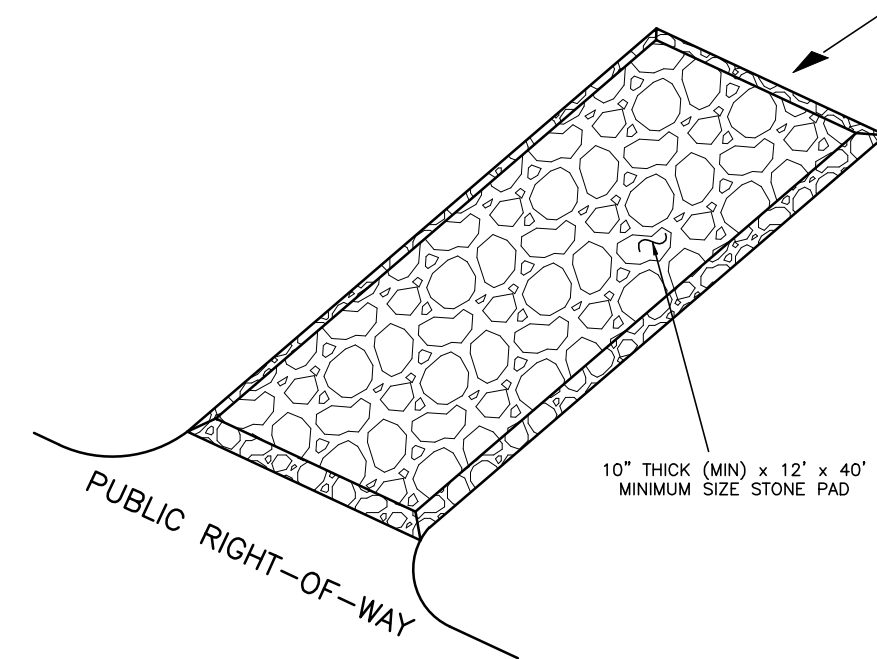
N.T.S.

ISOMETRIC

SECTION

ROCK BERM DETAILS

1. USE ONLY OPEN-GRADED ROCK, WITH MOST OF THE FINES REMOVED.
2. STONE SHALL BE CRUSHED, MIN. 3" DIAMETER, MAX. 1 CU. FT. IN VOLUME.
3. THE ROCK BERM SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF 4 INCHES.
4. AFTER EACH RAIN, REMOVE SILT FROM THE STRUCTURE.
5. FAILS TO SERVE ITS PURPOSE DUE TO SILT ACCUMULATION, WASHOUT OR DAMAGE.
6. REMOVE SILT WHEN IT REACHES A DEPTH OF 12 INCHES, OR ONE-THIRD OF THE HEIGHT OF THE BERM, WHICHEVER IS LESS. DISPOSE OF SILT IN APPROVED LOCATIONS
7. REMOVE BERM ONLY WHEN SITE IS COMPLETELY STABILIZED.



TEMPORARY CONSTRUCTION EXIT POINT DETAIL

CONSTRUCTION NOTES:

- ### 1) GRADATION OF ROCK

SIZE OF ROCK LBS.	% SMALLER BY WEIGHT
200	100
50	35-65
3	0

- 2) THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE DRESSING WITH ADDITIONAL STONE AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

- 3) WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WASHING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT CONTROLLING STRUCTURE. USE SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS TO PREVENT SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE.

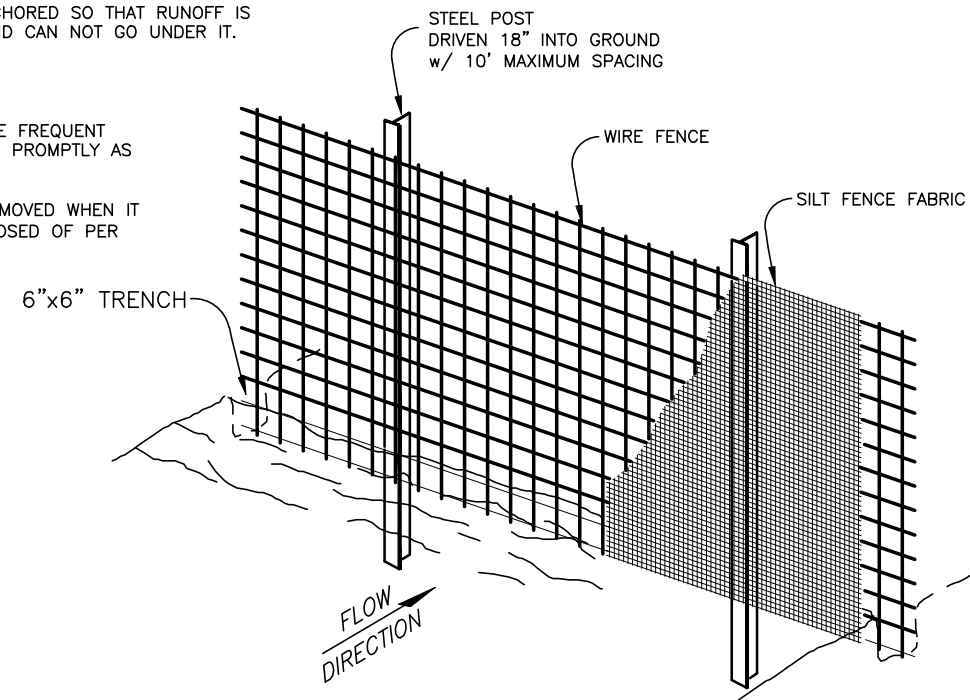
- 4) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

STEPS FOR CONSTRUCTION:

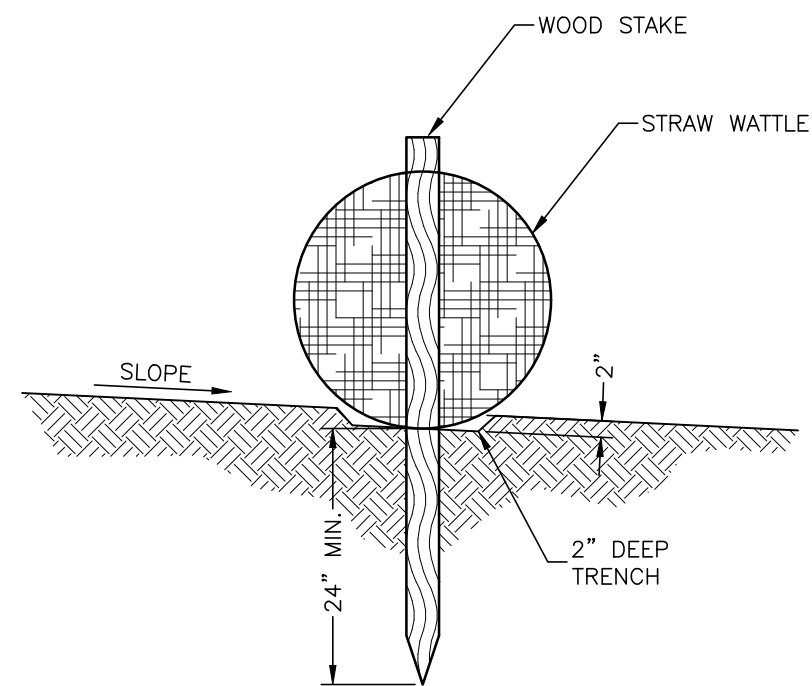
- 1) DRIVE POST 18" INTO GROUND AND EXCAVATE A 6"x6" TRENCH UPHILL ALONG THE LINE OF POST.
- 2) ATTACH WIRE FENCE TO THE POST AND EXTEND BOTTOM OF FENCE 6" INTO THE EXCAVATED TRENCH.
- 3) ATTACH THE SILT FABRIC TO THE WIRE FENCE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
- 4) BACKFILL THE TRENCH WITH SOIL & COMPACT OR PLACE WEDGED STONES TO THE HEIGHT OF 6" ABOVE GROUND. BOTTOM OF FENCE MUST BE ANCHORED SO THAT RUNOFF FLOWS THROUGH THE FENCE AND CAN NOT GO UNDER.

INSPECTION & MAINTENANCE:

- 1) INSPECTION OF FENCES SHALL BE FREQUENT AND REPAIR OR REPLACEMENT MADE PROMPTLY AS NEEDED.
- 2) ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF PER OWNER/ENGINEER.



SILT FENCE DETAIL



STRAW WATTLE DETAIL

N.T.S.















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7. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
8. The topographic information shown herein is a reflection of the information provided by _____.
9. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be notified immediately of any problems and/or assumptions made in order to prevent a risk of notification.
10. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:
- | | | |
|-------------------|----------------------|----------------------|
| Telephone cable | Conduits | Pipes |
| Stormwater lines | Water lines | Gas lines |
| Television cables | Sanitary Sewer lines | Oil Production lines |
| Water lines | | |
11. Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall oblige owner and engineer of liability and associated costs.

C-4.0



- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EIGHT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
2. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
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4. ALL CURB RADI SHALL BE TO FACE OF CURB.
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6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. THE EARTHWORK FOR ALL EXISTING SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
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12. CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
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14. ALL WORK SHALL COMPLY WITH ALL GOVERNING JURISDICTIONS, STATE OF TEXAS, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
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LEGEND

TEL PED		EXISTING TELEPHONE PEDESTAL
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WM		EXISTING WATER METER
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PP		EXISTING POWER POLE
FH		EXISTING FIRE HYDRANT
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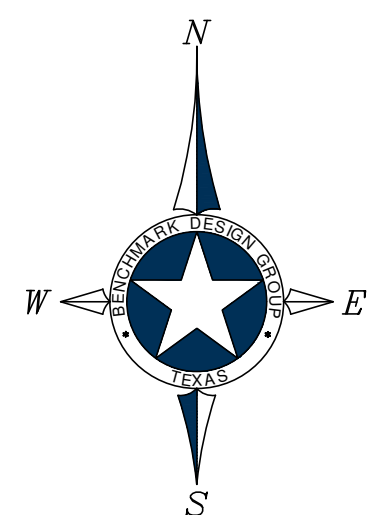
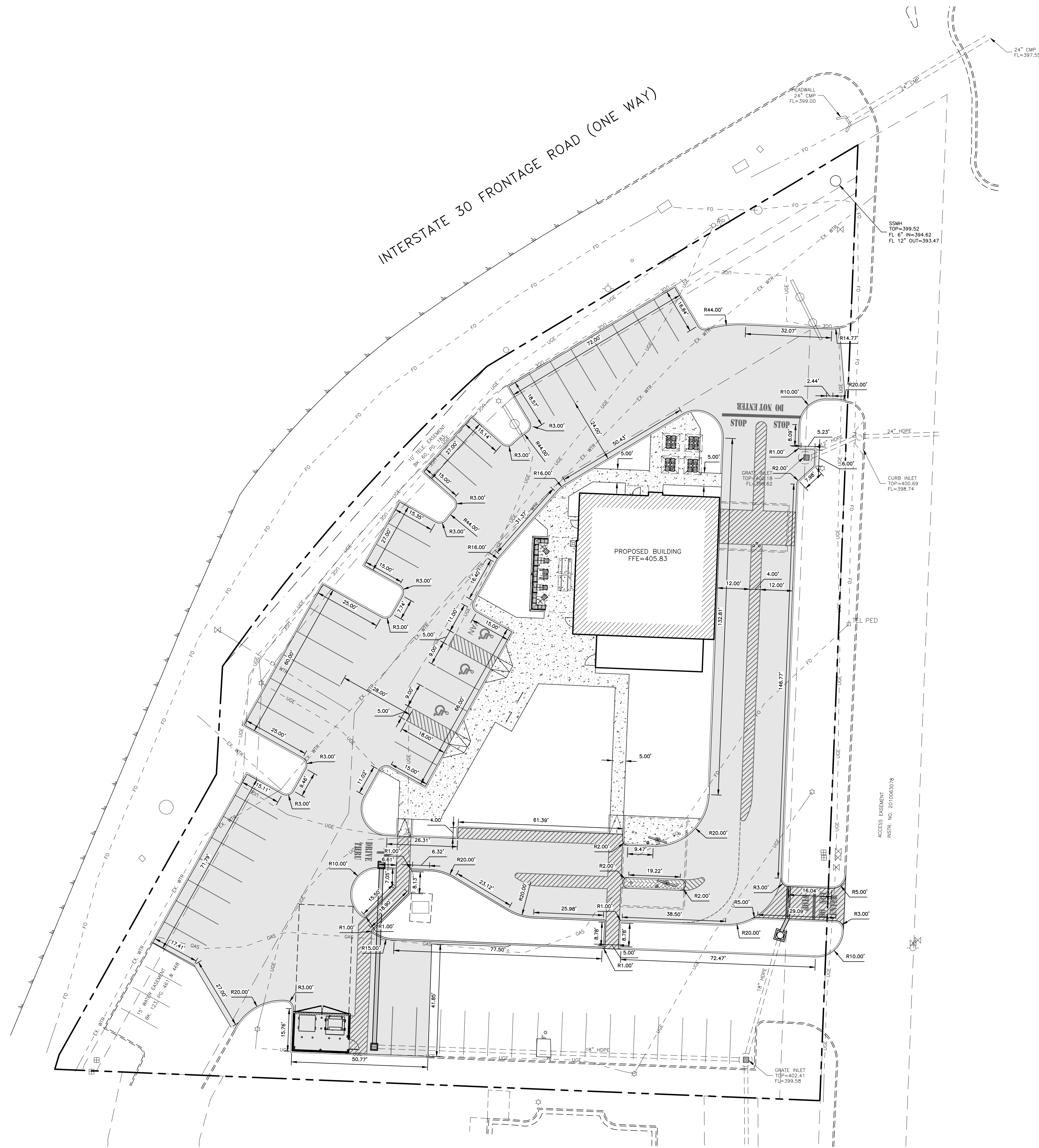
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Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

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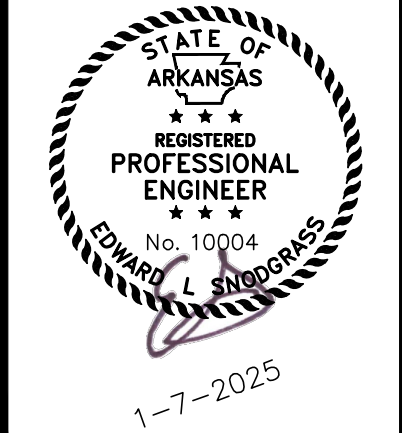
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BY	DATE	SUBMITTAL / REVISIONS

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

2001 THREE LAKES PARKWAY TYLER TEXAS 75702 • (903) 534-3333 • FIRM NUMBER 17814 • WWW.BENCHMARKENGINEERS.COM



RAISING CANE'S
BRYANT, ARKANSAS

DIMENSIONAL CONTROL PLAN

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

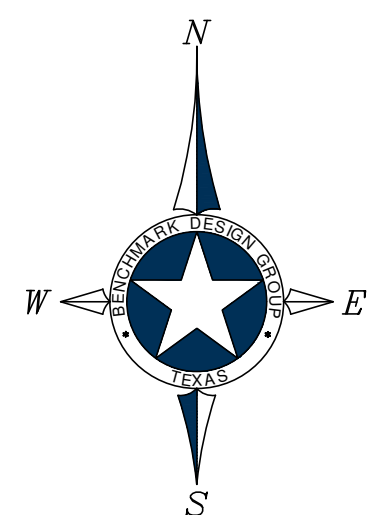
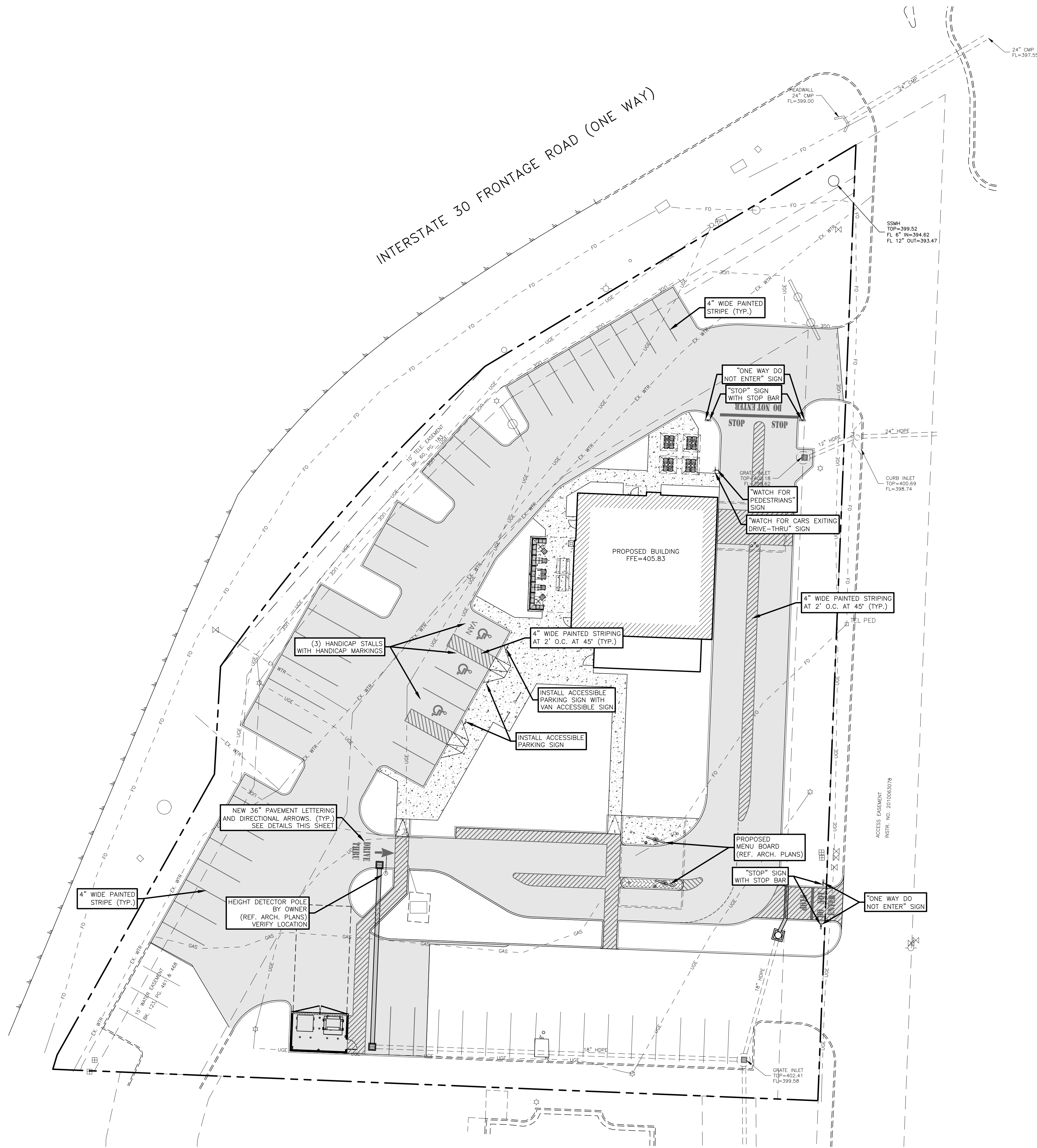
DRAWN BY: **RWD**

CHECKED BY: **ELS**

DATE: **JANUARY 2026**

JOB NO: **2025.047**

SHEET NO.
C-5.1



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Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BY	DATE	SUBMITTAL / REVISIONS

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

STRIPING AND
SIGNAGE PLAN



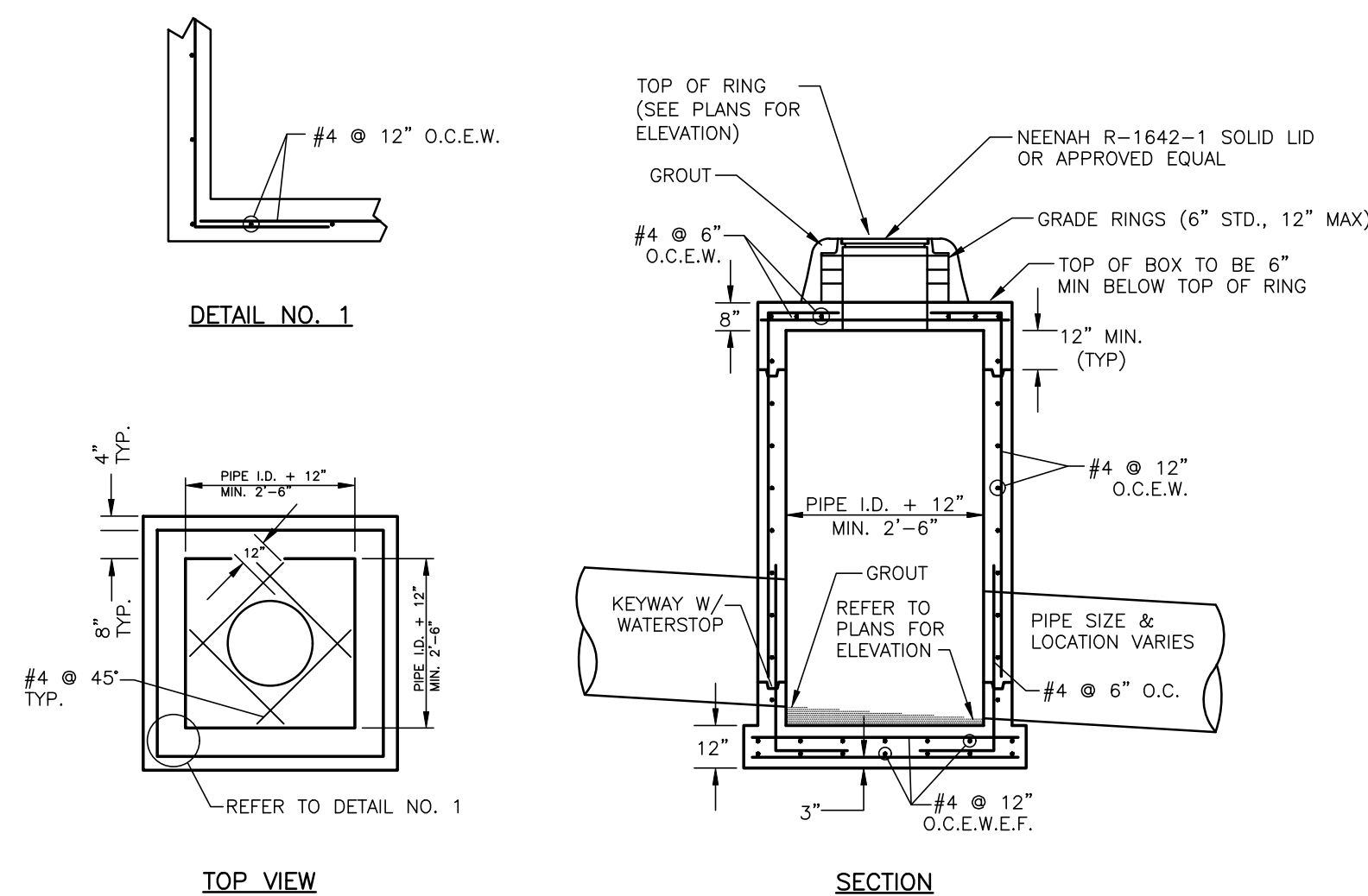
DRAWN BY: **RWD**

CHECKED BY: **ELS**

DATE: **JANUARY 2026**

JOB NO: **2025.047**

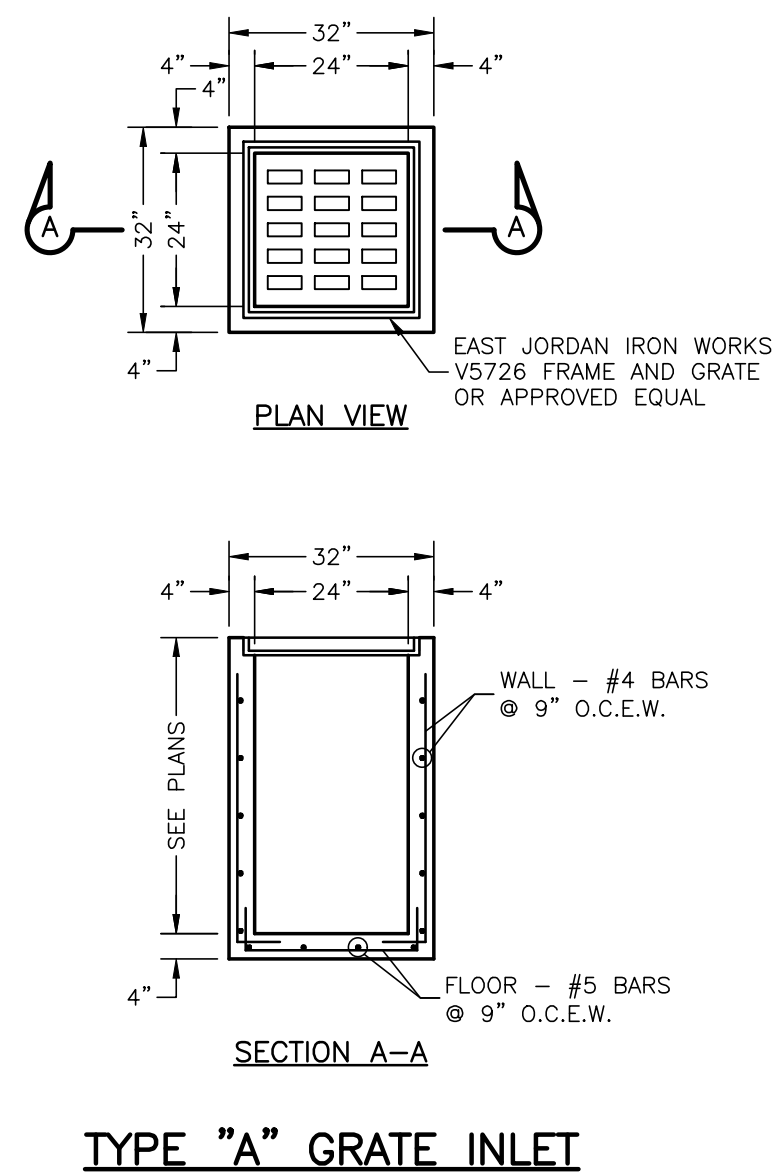
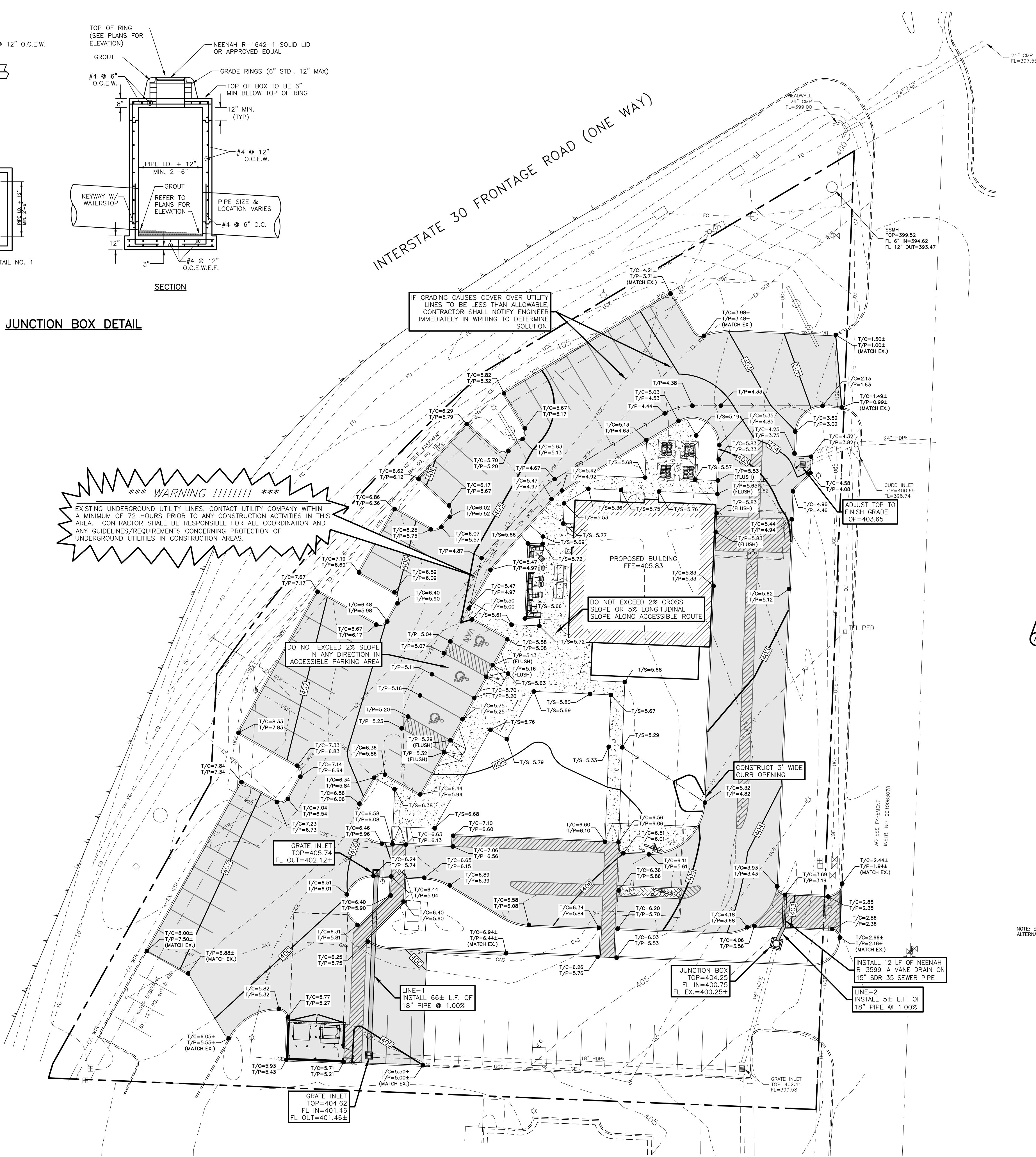
SHEET NO.
C-5.2



JUNCTION BOX DETAIL

*** WARNING !!!!! **

EXISTING UNDERGROUND UTILITY LINES. CONTACT UTILITY COMPANY WITHIN A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THIS AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION AND ANY GUIDELINES/REQUIREMENTS CONCERNING PROTECTION OF UNDERGROUND UTILITIES IN CONSTRUCTION AREAS.



NOTE: EAST JORDAN IRON WORKS GRATE NO. V5726 FREE OPENING = 2.23 S.F. PER GRATE. ALTERNATE GRATES MUST HAVE EQUIVALENT FREE OPENING FOR APPROVED USE.

GRADING NOTES:

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
2. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPES, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. EXISTING GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
7. PROPOSED GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. ALL LANDSCAPING TO BE PER LANDSCAPE PLANS AND SPECIFICATIONS AND/OR AS DIRECTED BY OWNER.
9. FOR LOCATION OF ALL UTILITY ENTRANCES, SEE M.E.P. PLANS AND SPECIFICATIONS.
10. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS CO. FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
11. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ALL SPOT GRADES AND CONTOURS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED. FINISHED GRADE IS TO INCLUDE 4" TOPSOIL IN LANDSCAPED AREAS.
13. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
14. UNLESS OTHERWISE SHOWN ON THESE PLANS OR SPECIFIED BY OTHER DISCIPLINES, THE FINISHED GRADE (INCLUDING LANDSCAPING) SHALL BE A MINIMUM OF 9" BELOW THE FINISHED FLOOR ELEVATION (FFE).

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.C	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED SPOT GRADE
T/C	TOP OF CURB
T/P	TOP OF PAVEMENT
T/S	TOP OF SIDEWALK
F/G	FINISHED GRADE
---	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)



NOTICE TO CONTRACTORS

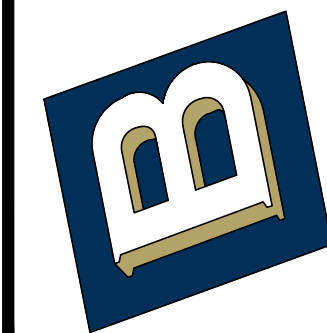
1. These plans are subject to review and approval by all jurisdictions having authority.
2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
4. The topographic information shown herein is a reflection of the information provided by.
5. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
6. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Salwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BY	
DATE	
SUBMITTAL / REVISIONS	

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

GRADING PLAN



DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

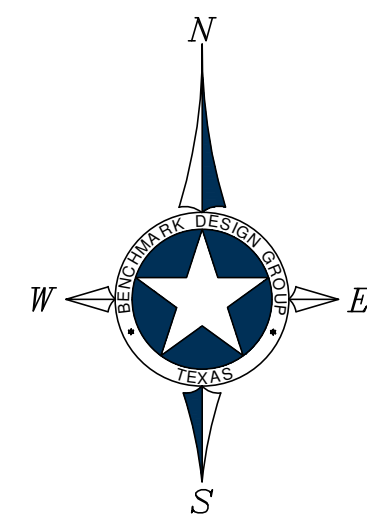
JOB NO: 2025.047

SHEET NO.
C-6.0

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.50	Open C = 0.30	Commercial C = 0.70									
1	0.04		0.03		0.07	0.64	10	6.02	6.92	8.22	0.27	0.31	0.37
2	0.23		0.07		0.30	0.76	10	6.02	6.92	8.22	1.37	1.58	1.87
3	0.07				0.07	0.90	10	6.02	6.92	8.22	0.38	0.44	0.52
4			0.01		0.01	0.30	10	6.02	6.92	8.22	0.02	0.02	0.02
5	0.19		0.02		0.21	0.84	10	6.02	6.92	8.22	1.07	1.22	1.45
6	0.11				0.11	0.90	10	6.02	6.92	8.22	0.60	0.69	0.81
7	0.14				0.14	0.90	10	6.02	6.92	8.22	0.76	0.87	1.04
8	0.32		0.27		0.59	0.63	10	6.02	6.92	8.22	2.22	2.55	3.03

8.22	0.38	0.44	0.52
8.22	0.02	0.02	0.02
8.22	1.07	1.22	1.45
8.22	0.60	0.69	0.81
8.22	0.76	0.87	1.04
8.22	2.22	2.55	3.03

INTERSTATE 30 FRONTAGE ROAD (ONE WAY)



0 20 40 60 FEET

ALL PIPES MAY BE ONE OF THE ABOVE STATED CHOICES, UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO SUBSTITUTING OR ORDERING ALTERNATE PIPE AND FITTINGS.

TEL PED	□	EXISTING TELEPHONE PEDESTAL
C.O.	⊗	EXISTING CLEANOUT
WV	⊗	EXISTING WATER VALVE
WM	⊗	EXISTING WATER METER
MH	⊗	EXISTING SAN. SEWER MANHOLE
PP	⊗	EXISTING POWER POLE
FH	⊗	EXISTING FIRE HYDRANT
---	OH	EXISTING OVERHEAD ELECTRIC LINE
---	EX. WTR	EXISTING WATER LINE
---	EX. SS	EXISTING SAN. SEWER LINE
---		PROPERTY LINE
---	-534-	EXISTING 1' CONTOUR
---	-535-	EXISTING 5' CONTOUR
		EXISTING DRAINAGE PATTERN
		EXISTING DRAINAGE DELINEATION

X	= DRAINAGE AREA NUMBER
X.XX	= DRAINAGE AREA (AC.)
X.XX	= 100-YR RUNOFF (CFS)



1. These plans are subject to review and approval by all jurisdictions having authority.
2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered by the contractor or the engineer in the information provided by the contractor. If the contractor discovers an error in the information shown hereon is a reflection of the contractor's failure to provide accurate information.
4. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
5. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormsewer lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.



1-7-2025

RAISING CANE'S
BRYANT, ARKANSAS

PRE-DEVELOPED DRAINAGE PLAN



DRAWN BY: RWD

CHECKED BY: *ELS*

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.

C-6.1

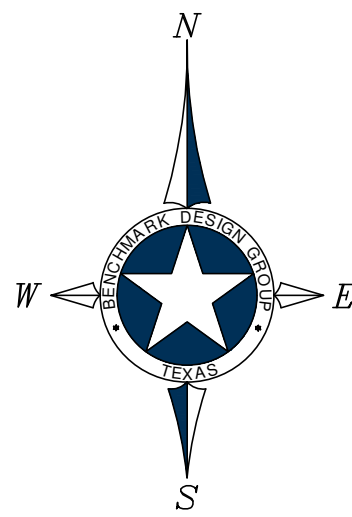
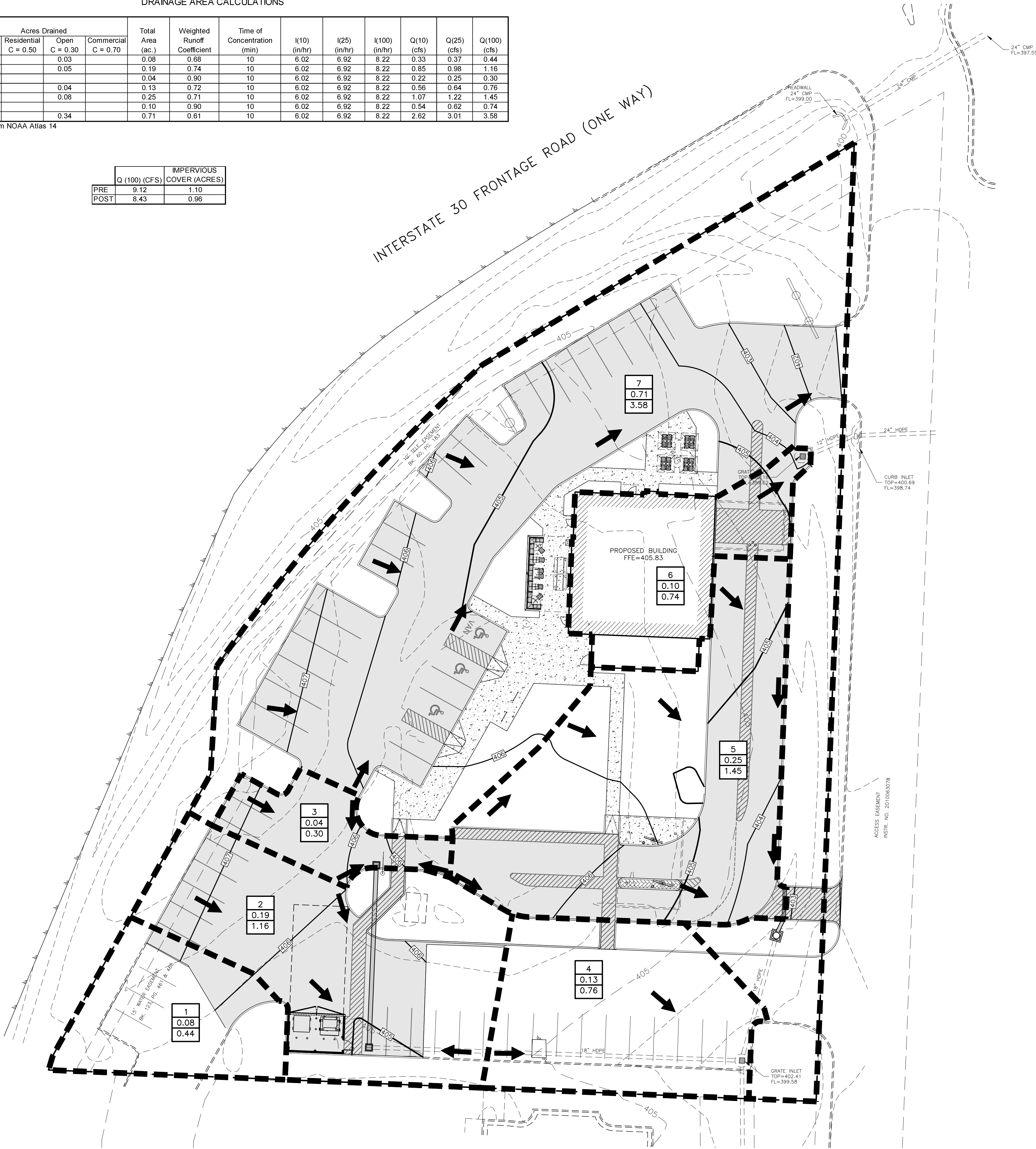
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DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.50	Open C = 0.30	Commercial C = 0.70									
1	0.05		0.03		0.08	0.68	10	6.02	6.92	8.22	0.33	0.37	0.44
2	0.14		0.05		0.19	0.74	10	6.02	6.92	8.22	0.85	0.98	1.16
3	0.04				0.04	0.90	10	6.02	6.92	8.22	0.22	0.25	0.30
4	0.09		0.04		0.13	0.72	10	6.02	6.92	8.22	0.56	0.64	0.76
5	0.17		0.08		0.25	0.71	10	6.02	6.92	8.22	1.07	1.22	1.45
6	0.10				0.10	0.90	10	6.02	6.92	8.22	0.54	0.62	0.74
7	0.37		0.34		0.71	0.61	10	6.02	6.92	8.22	2.62	3.01	3.58

*Intensities are pulled from NOAA Atlas 14

	Q (100) (CFS)	IMPERVIOUS COVER (ACRES)
PRE	9.12	1.10
POST	8.43	0.96



HYDRAULIC CAPACITIES FOR STORMSEWER PIPES WERE CALCULATED USING A MANNING'S "n" VALUE OF 0.013

A PARTIAL LIST OF ACCEPTABLE STORMSEWER PIPES CAPABLE OF PROVIDING THE REQUIRED HYDRAULIC EFFICIENCY FOR THIS APPLICATION ARE AS FOLLOWS:

A.) CONTECH "A-2000" PVC STORMSEWER PIPE
B.) ADS HP STORM - DUAL WALL - PP
C.) HANSON CONCRETE REINFORCED CONCRETE PIPE

* CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER PIPE INSTALLATION AND EMBEDMENT

ALL PIPES MAY BE ONE OF THE ABOVE STATED CHOICES, UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO SUBSTITUTING OR ORDERING ALTERNATE PIPE AND FITTINGS

LEGEND	
TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED DRAINAGE PATTERN
---	PROPOSED DRAINAGE DELINEATION
X	= DRAINAGE AREA NUMBER
X.XX	= DRAINAGE AREA (AC.)
X.XX	= 100-YR RUNOFF (CFS)

NOTICE TO CONTRACTORS

1. These plans are subject to review and approval by all jurisdictions having authority.

2. Contractor shall appropriately notify all relevant entities prior to digging on this project.

3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.

4. The topographic information shown herein is a reflection of the information provided by

5. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.

6. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable

Stormwater lines

Sanitary Sewer lines

Conduits

Water lines

Gas lines

Pipes

Oil Production lines

Saltwater lines

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



RAISING CANE'S
BRYANT, ARKANSAS

POST-DEVELOPED
DRAINAGE PLAN

BENCHMARK
DESIGN GROUP

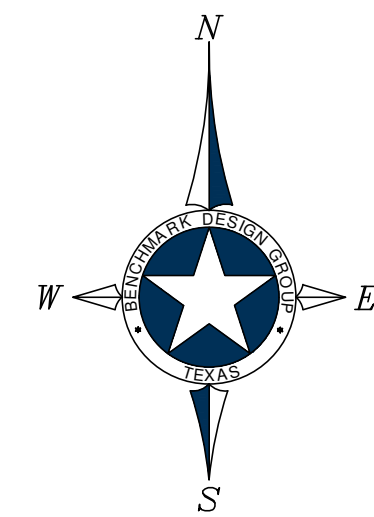
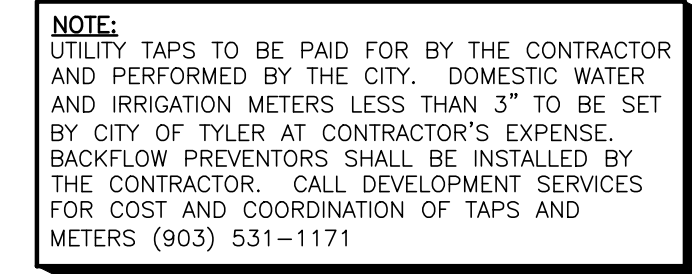
DRAWN BY: RWD

CHECKED BY: ELS

DATE: JANUARY 2026

JOB NO: 2025.047

SHEET NO.
C-6.2



GRAPHIC SCALE



UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALKS, DRIVEWAYS, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
2. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
3. CONTRACTOR SHALL, ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES.
4. CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS SIGNIFYING AUTHORITIES.
5. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. REFER TO OWNER FOR EXACT AREAS, DETAILS, AND SPECS.
9. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
10. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
11. CONTRACTOR TO REFER TO LANDSCAPING/ARCHITECTURAL PLANS AND/OR OWNER FOR LOCATIONS OF PROPOSED LIGHT STANDARDS AND UTILITY SLEEVING.
12. REFER TO M.E.P. PLANS FOR ELECTRIC, GAS, TELEPHONE, CABLE AND ANY OTHER NECESSARY UTILITIES SERVICES, PRIOR THAN WATER AND SANITARY SEWER.

LEGEND

TEL PED	□	EXISTING TELEPHONE PEDESTAL
C.O.	○	EXISTING CLEANOUT
WV	⌘	EXISTING WATER VALVE
WM	⊞	EXISTING WATER METER
MH	○	EXISTING SAN. SEWER MANHOLE
PP-○	—○—	EXISTING POWER POLE
FH	⦿	EXISTING FIRE HYDRANT
---	--- CHE ---	EXISTING OVERHEAD ELECTRIC LINE
---	--- EX. WTR ---	EXISTING WATER LINE
---	--- EX. SS ---	EXISTING SAN. SEWER LINE
---	---	PROPERTY LINE
WV	⌘	PROPOSED WATER VALVE
WM	⊞	PROPOSED WATER METER
FH	⦿	PROPOSED FIRE HYDRANT
W	———	PROPOSED WATER LINE
SS	———	PROPOSED SAN. SEWER LINE



NOTICE TO CONTRACTORS

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2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
4. Geographic information shown hereon is a representation of the information provided by _____.
5. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
6. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormsewer lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

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RAISING CANE'S
BRYANT, ARKANSAS

UTILITY PLAN



RAWN BY: *RWD*

CHECKED BY: *ELS*

DATE: JANUARY 2026

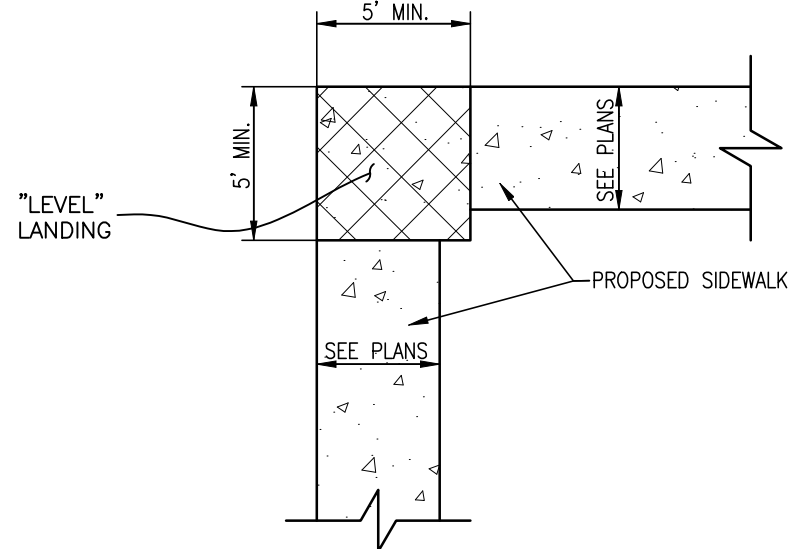
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SHEET NO.

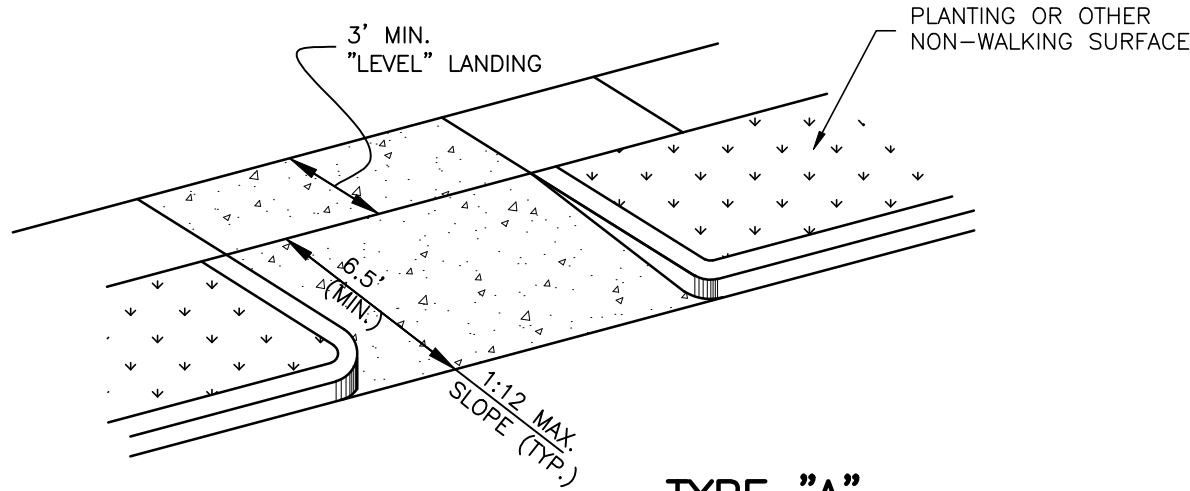
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NOTES

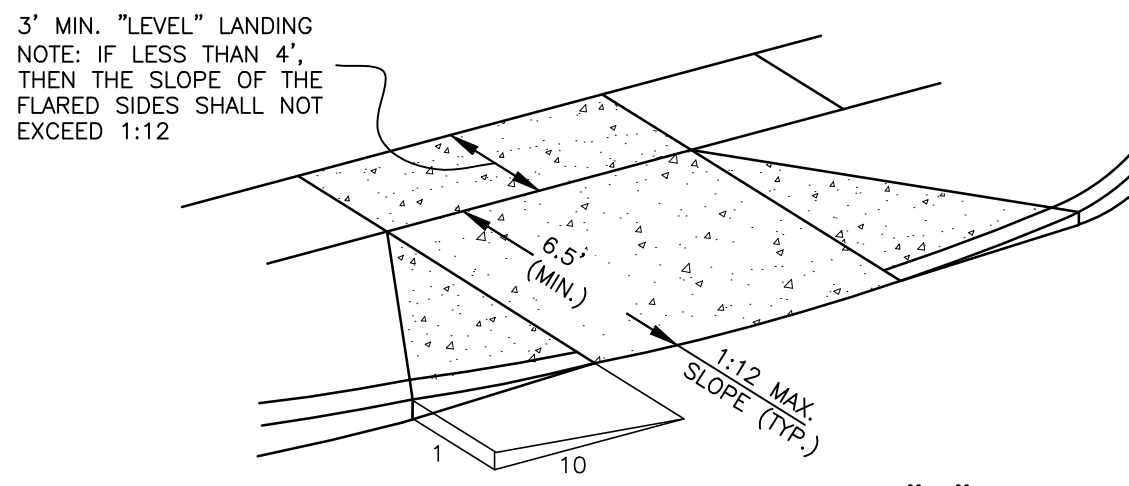
1. THE LOWER LANDING SHALL BE FINISHED WITH ARMOR-TILE TRUNCATED DOME TILES OR APPROVED EQUAL AT PUBLIC R.O.W. ONLY.
2. THE BOTTOM OF THE RAMP SHALL HAVE A 1/2" LIP OF 45°.
3. CONSTRUCT PER T.D.L.R. STANDARDS.



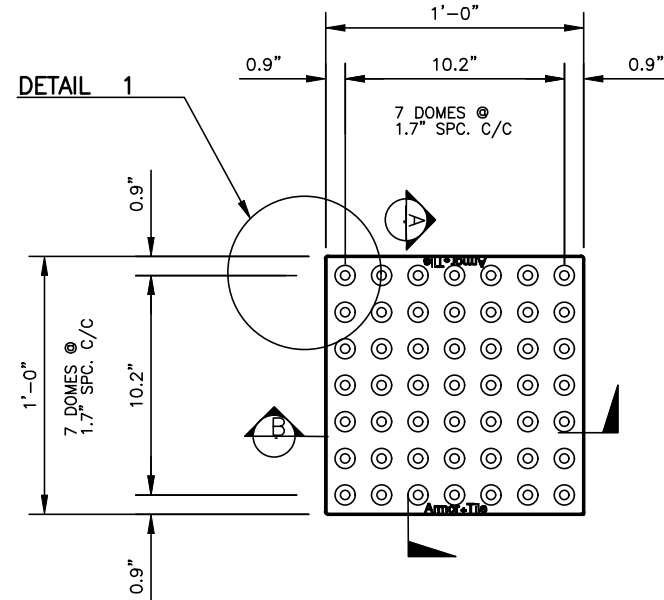
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ALONG A.D.A. ROUTE
N.T.S.



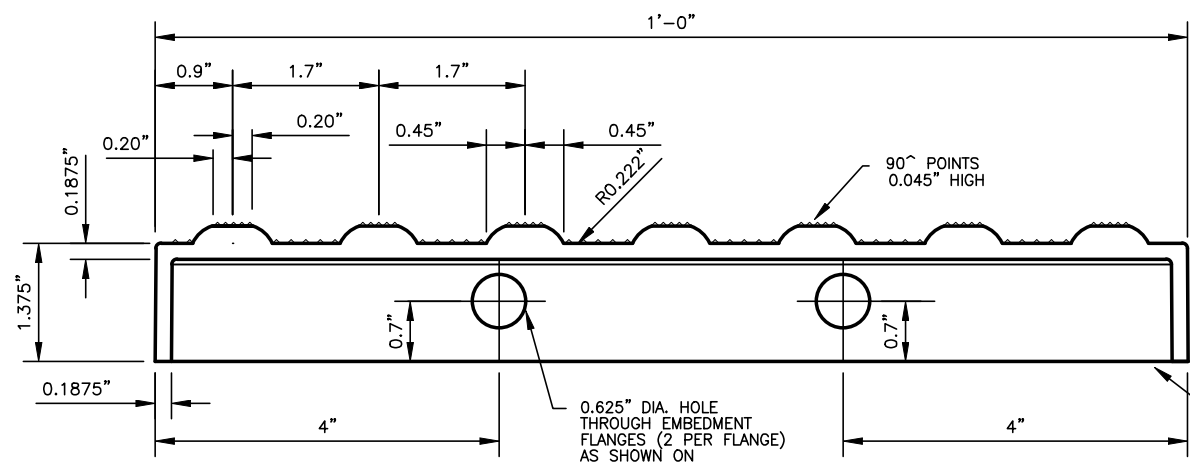
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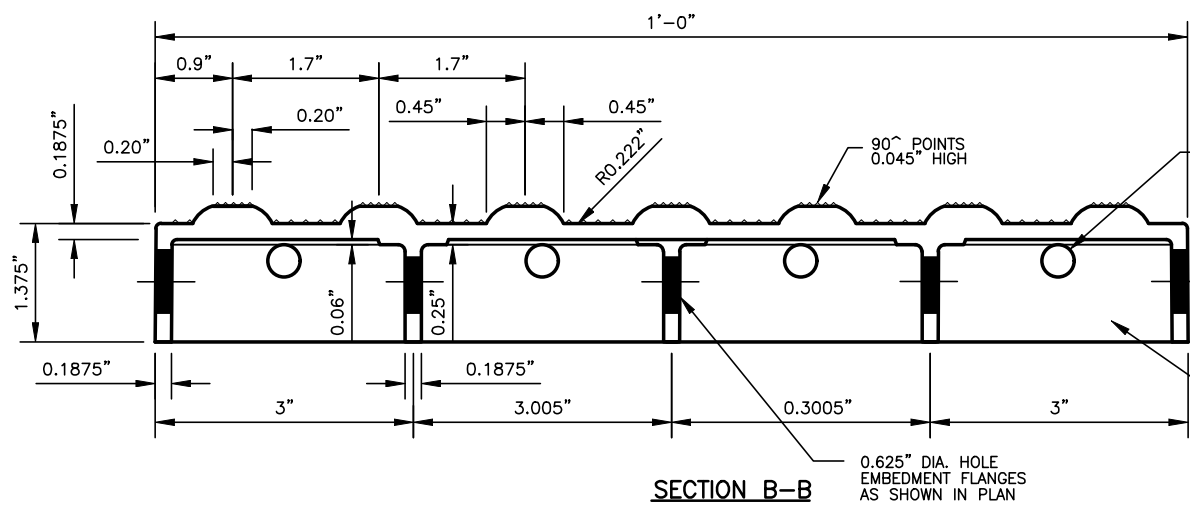
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(PRIVATE PROPERTY)
N.T.S.



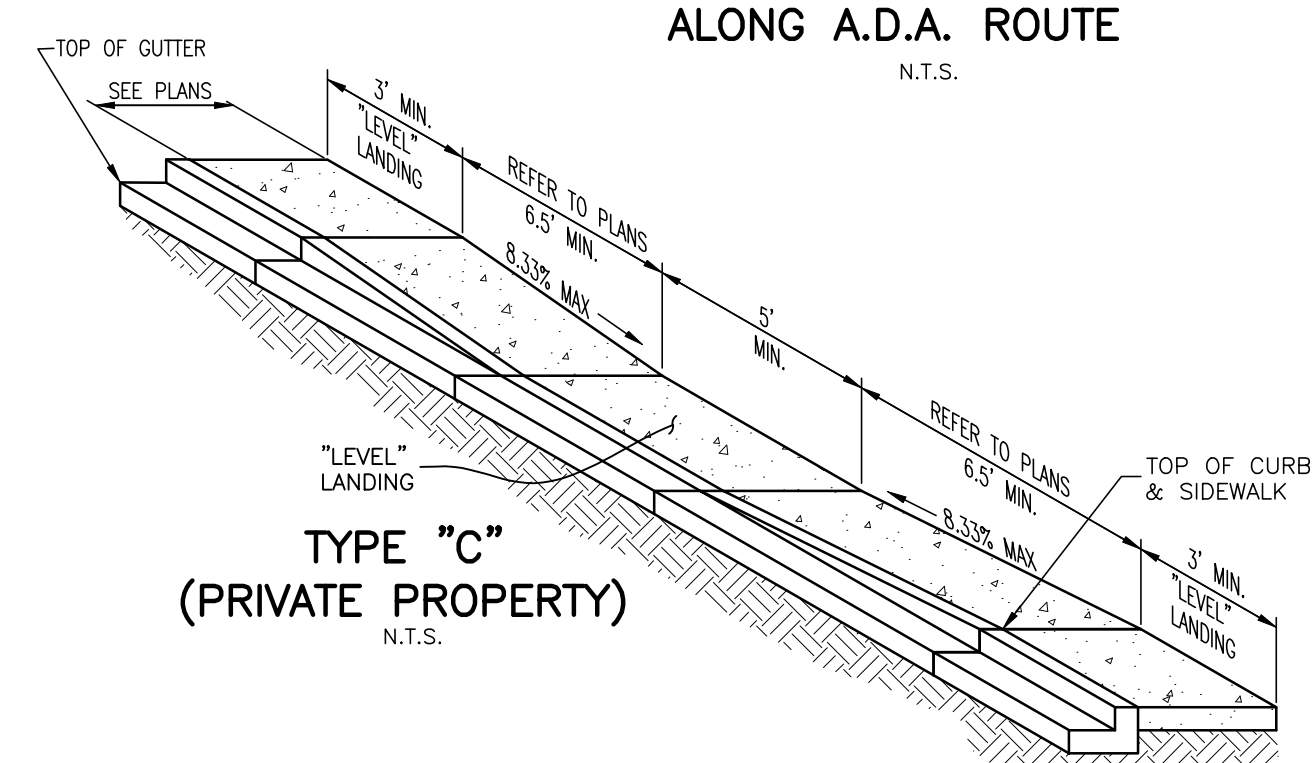
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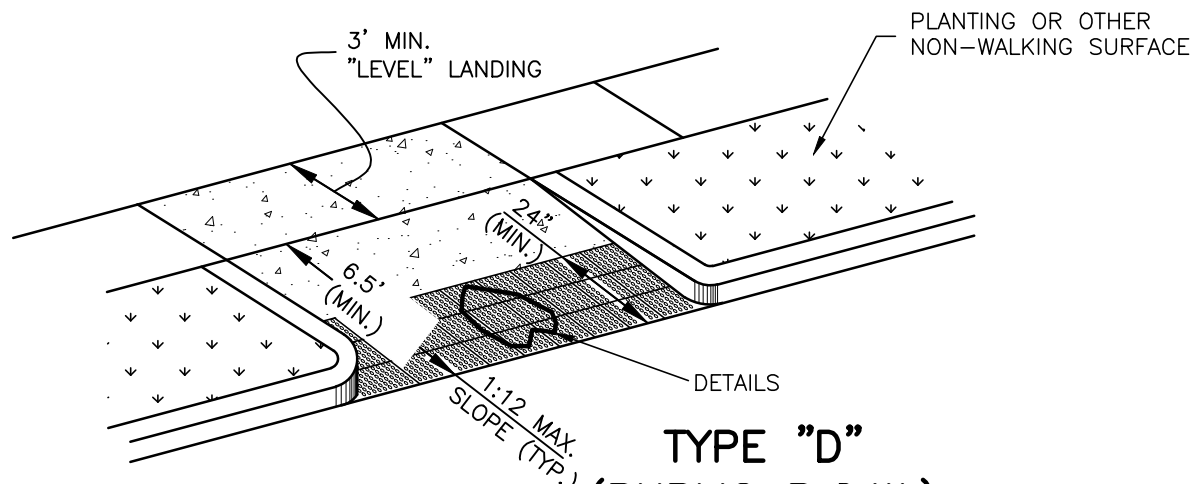
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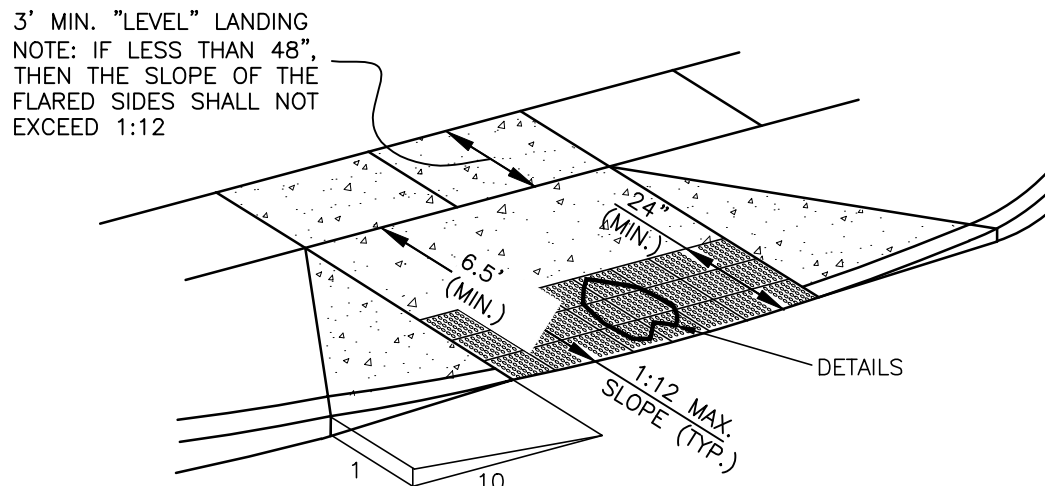
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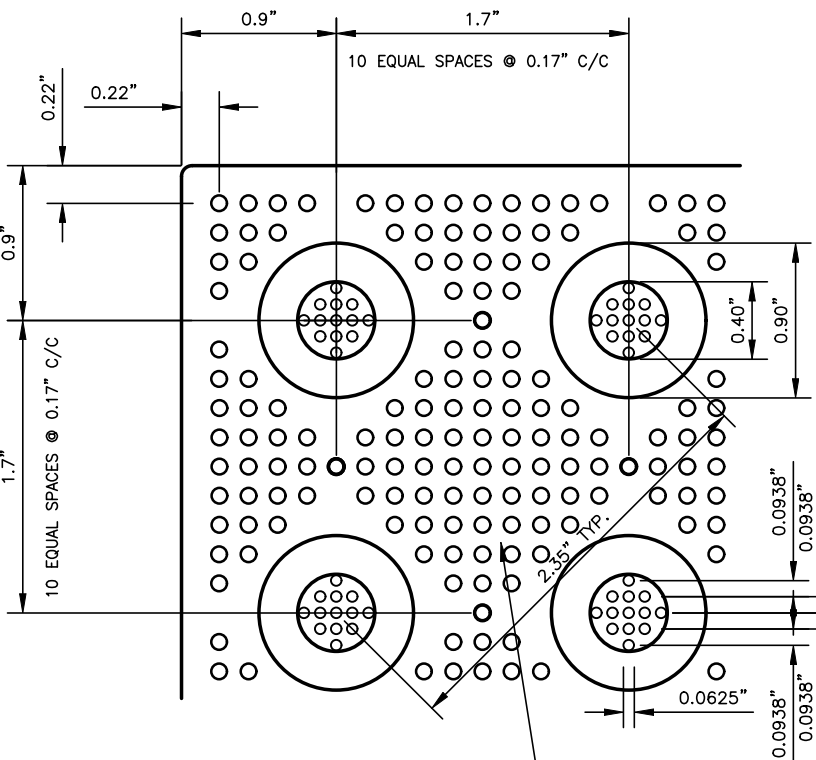
TYPE "C"
(PRIVATE PROPERTY)
N.T.S.



TYPE "D"
(PUBLIC R.O.W.)
N.T.S.

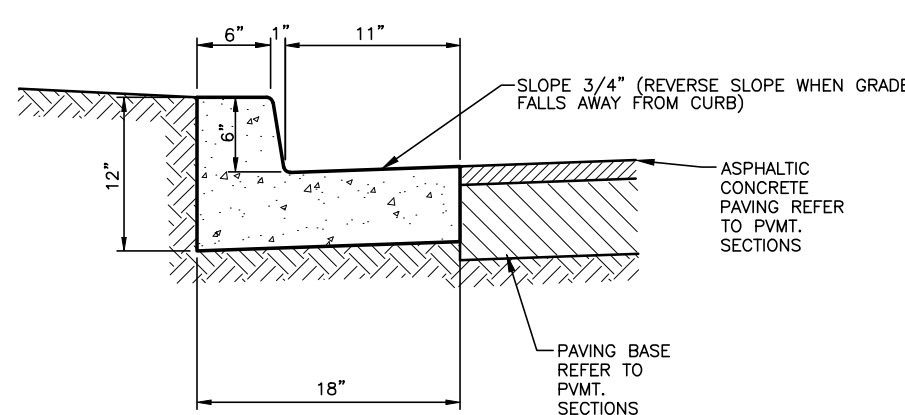


TYPE "E"
(PUBLIC R.O.W.)
N.T.S.

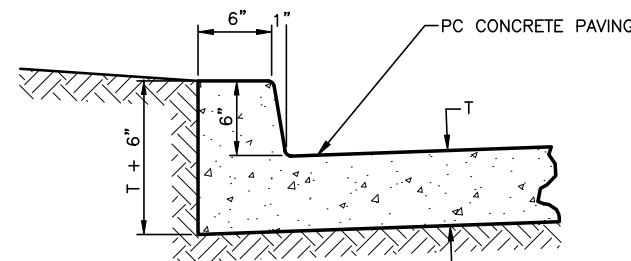


DETAIL 1

SIDEWALK RAMP DETAIL
N.T.S.



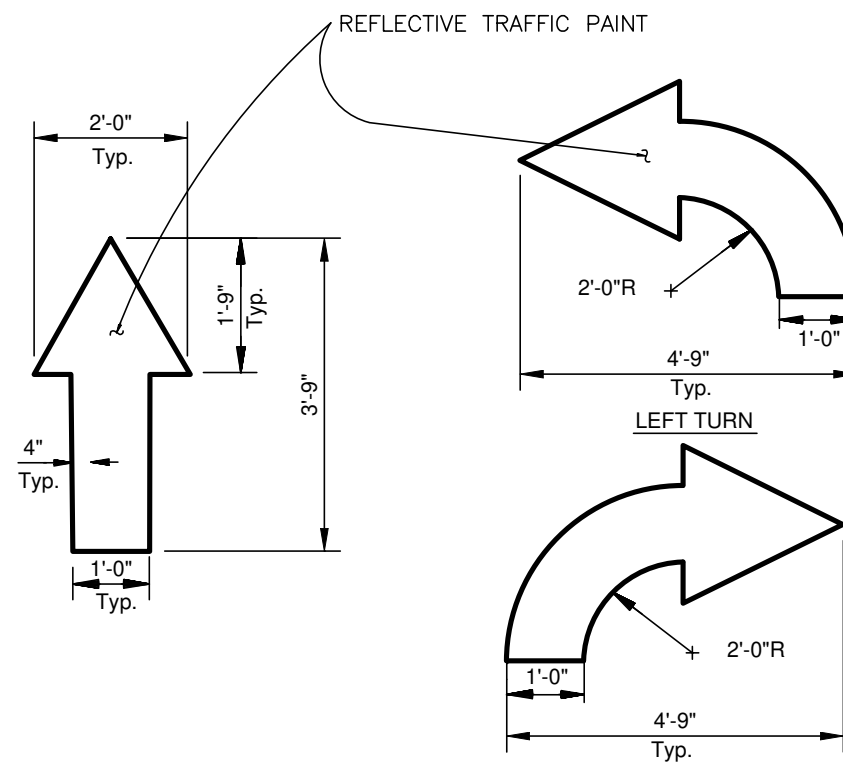
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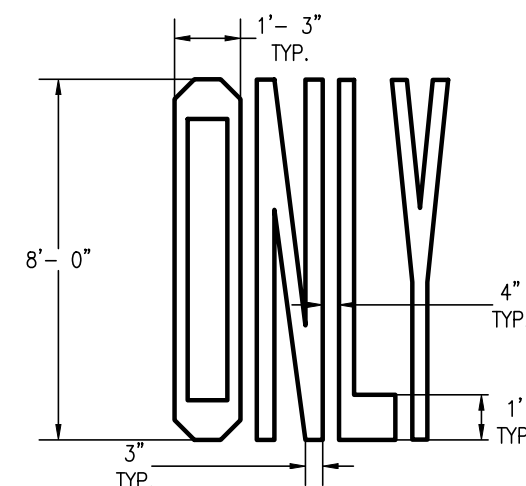
TYPE "B"

CURB & GUTTER DETAILS

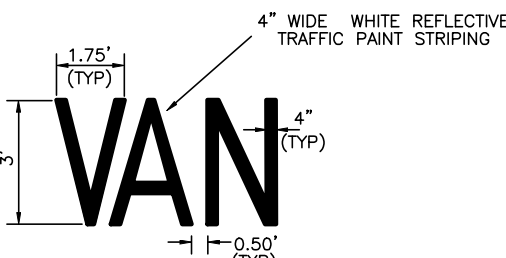
- NOTES:
1. TYPE "A" TO BE USED ON ASPHALTIC CONCRETE PAVING, AND TYPE "B" TO BE USED WITH CONCRETE.
 2. CONCRETE FOR CURB AND GUTTER SHALL BE 3,600 P.P.S.I. AT 28 DAYS.



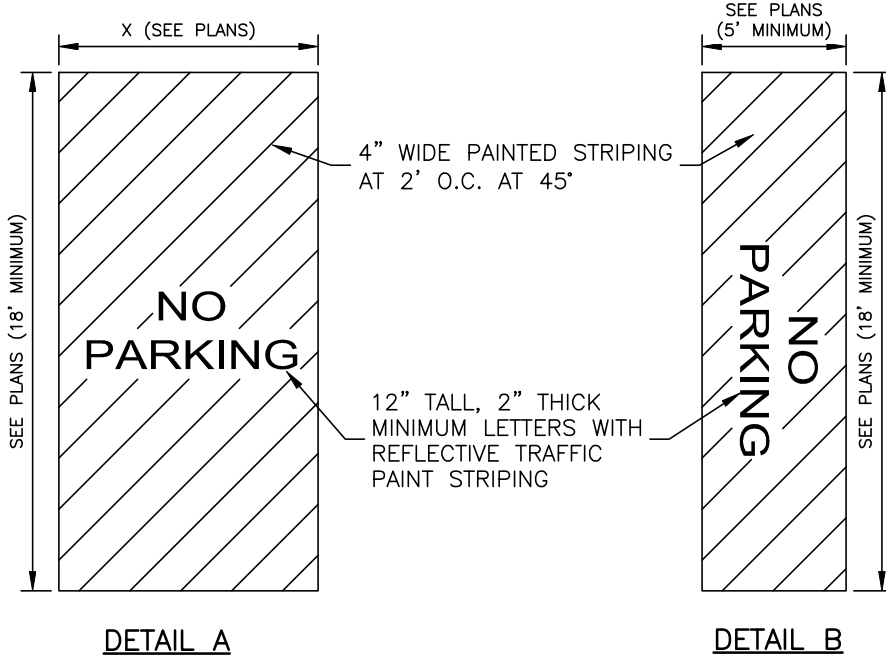
TRAFFIC FLOW ARROW
N.T.S.



"ONLY" PAINTING DETAIL
SCALE: NTS



"VAN" PAINTING DETAIL

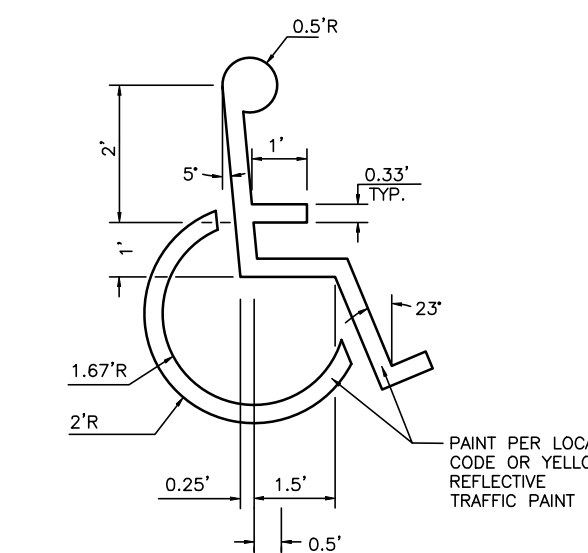


DETAIL A

DETAIL B

STANDARD ACCESS AISLE DETAIL
N.T.S.

- * USE DETAIL A UNLESS "X" IS LESS THAN 8'.
WHERE X IS LESS THAN 8' USE DETAIL B.



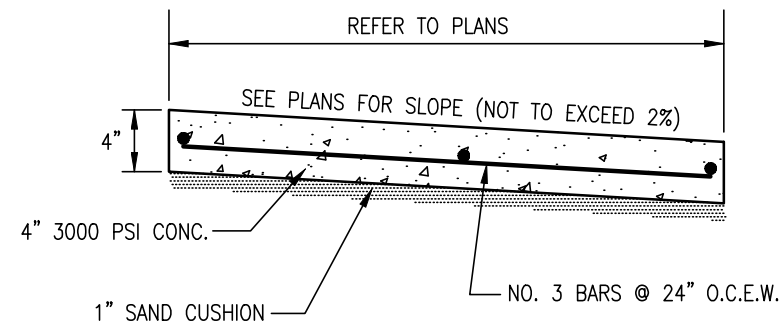
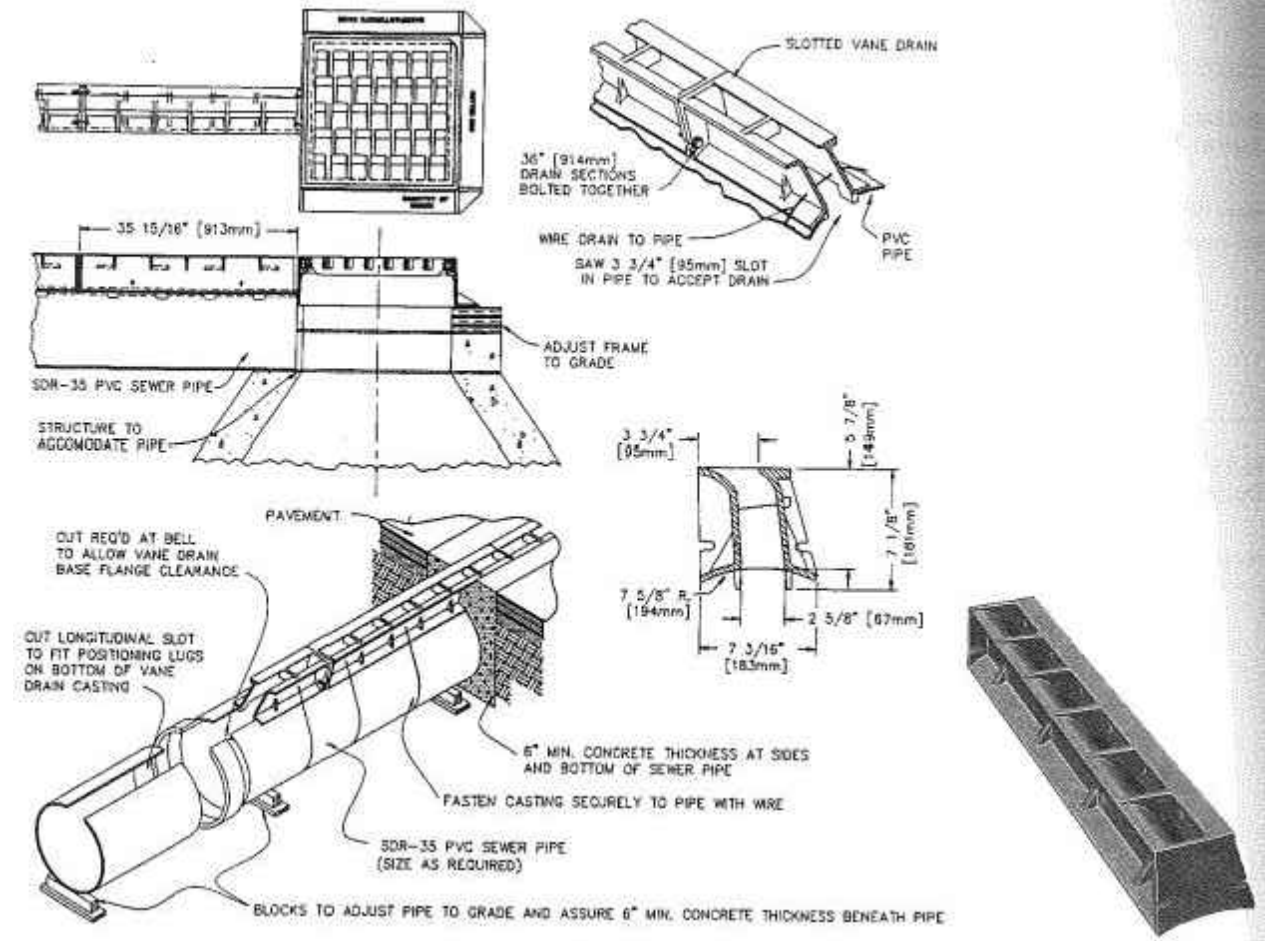
ACCESSIBLE
PARKING SPACE
SYMBOL

R-3599-A
Slotted Vane Drain, Sheetflow

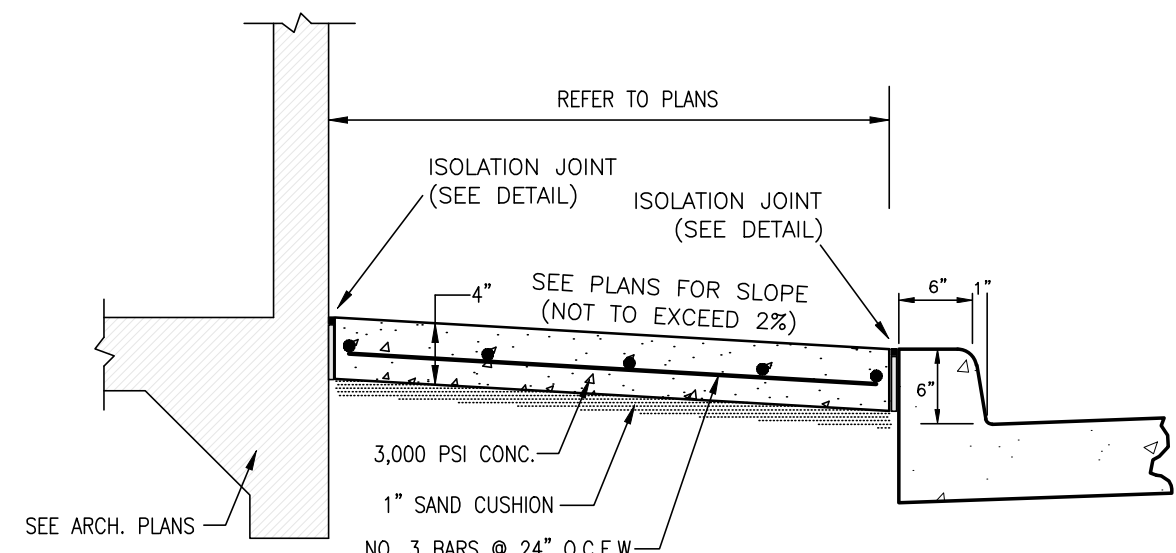
HEENAH's Cast Iron Slotted Vane Drain offers ease of installation along with the superior vane configuration to capture previously unexpected quantities of water when placed perpendicular to the flow. Installation is accomplished by sawing a slot in the top of conventional PVC pipe, placing the pipe on grade, installing the Cast Iron Slotted Vane Drain in place and pouring the concrete. When used in conjunction with a vane grate inlet, velocity as the water in the street, which would normally bypass the catch basin, can be captured. This permits the spacing between inlets to be increased. An additional benefit is the added safety factor obtained around the catch basin be plugged or covered with snow. The unit may also be installed at entrances and exits of parking areas to capture sheet flow before it enters a commercial street.

Bolts not furnished.

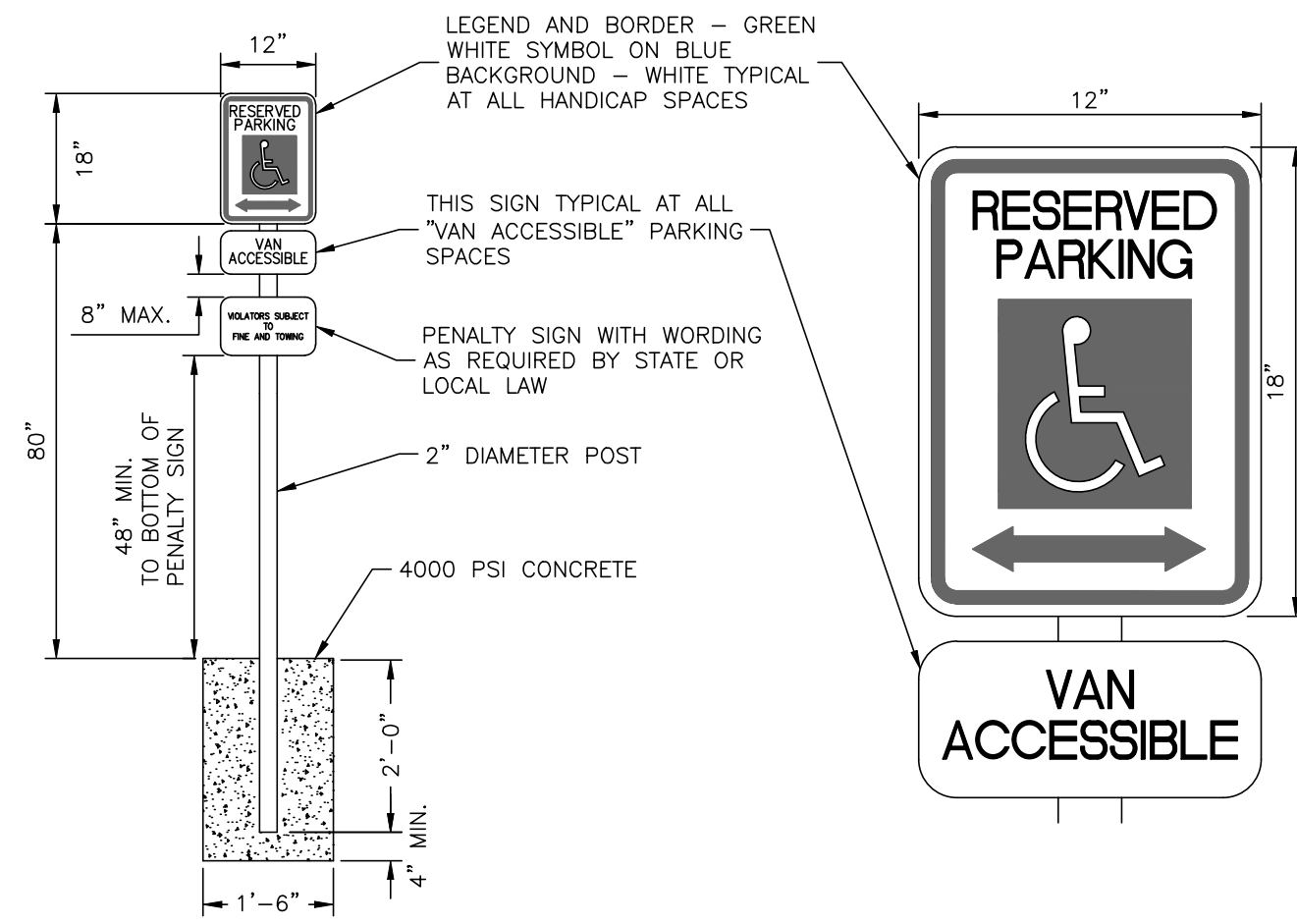
On longitudinal slopes of 0% to 6%, this unit captures approximately 0.5 cubic feet per second, per linear foot.



SIDEWALK SECTION
N.T.S.



SIDEWALK @ BUILDING SECTION
N.T.S.



HANDICAP PARKING SIGN DETAIL
N.T.S.

BY	
DATE	
SUBMITTAL / REVISIONS	

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

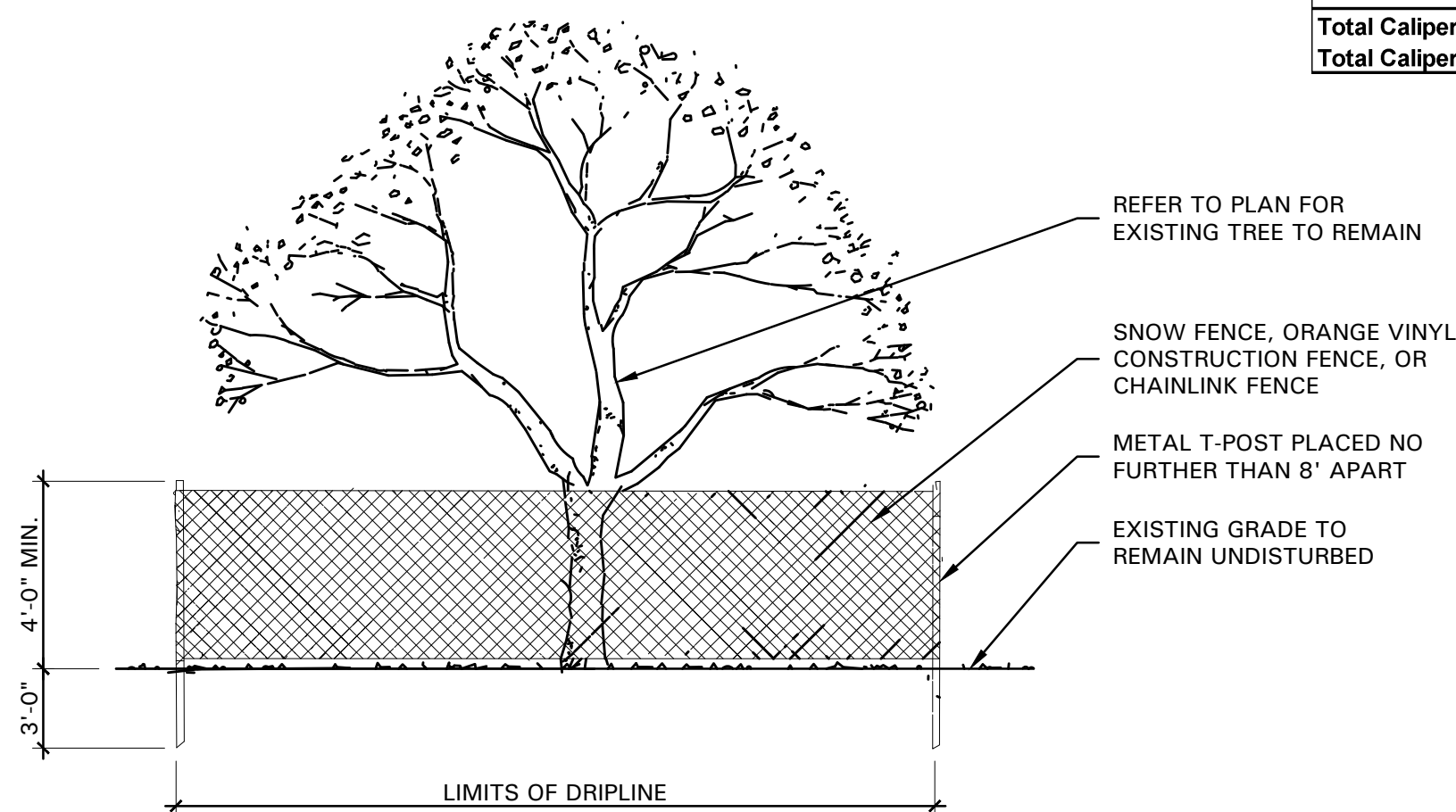


RAISING CANE'S
BRYANT, ARKANSAS

CONSTRUCTION
DETAILS



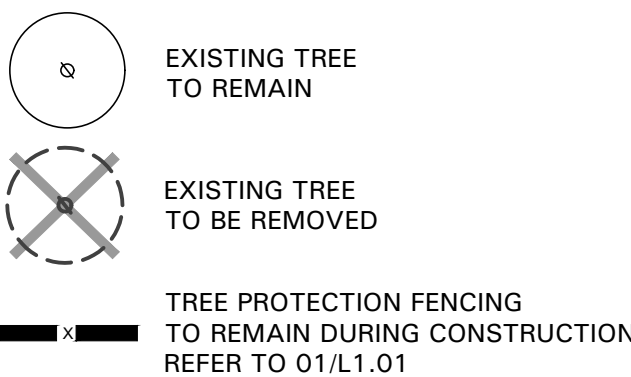
DRAWN BY:	RWD
CHECKED BY:	ELS
DATE:	JANUARY 2026
JOB NO:	2025.047
SHEET NO.	C-8.0



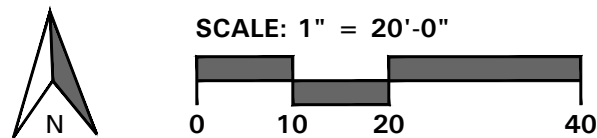
TREE PRESERVATION NOTES

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
2. IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
3. NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
4. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
5. NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
6. NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
7. NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
8. NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
9. BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY, AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
10. IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
11. ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
12. ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
13. WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1	6	RIVER BIRCH	TO BE REMOVED	
2	6	RIVER BIRCH	TO BE REMOVED	
3	12	BRADFORD PEAR	TO BE REMOVED	
4	12	PINE	TO REMAIN	
5	6	RIVER BIRCH	TO REMAIN	
Total Caliper Inches on Site				42
Total Caliper Inches Removed				24



12801 N. Central Expy
Suite 1760
Dallas, Texas 75243
(214) 865-7192

CSRS
8555 United Plaza Blvd.
Baton Rouge, Louisiana 70809
Telephone: 225 769-0546
www.csrsinc.com



■ **CONSULTANT:**

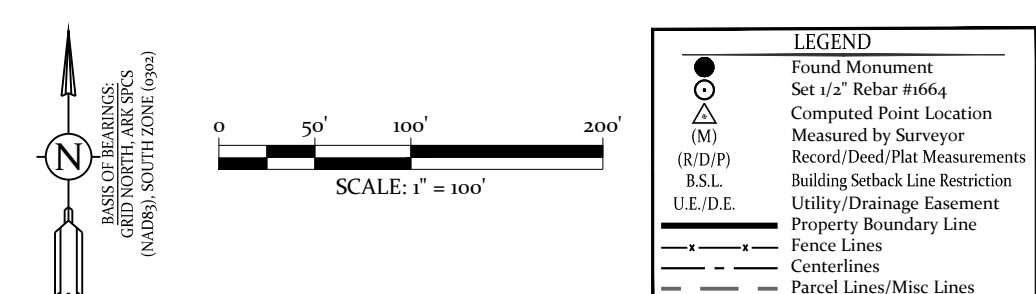


RAISING CANE'S
RESTAURANT NO.: #1507
(I-30 & REYNOLDS)
BRYANT, AR 72022

[illegible]

DRAWN BY:
CHECKED BY:
■ ARCH. PROJECT NO.: 225000.01.507
■ SHEET NAME: TREE
PRESERVATION
PLAN
■ SHEET NUMBER: L1.01

SITE PLAN REVIEW



RECORDED SURVEY PLATS BY:
RASBURY (PS 1506), DATED 8-14-20, FOR THOMPSON
SHAMBARGER (PS 1388), DATED 6-22-07, FOR JONES
BROOKS (PS 5), DATED 7-1-2005, FOR WOLF
LANE (PS 1141), DATED 9-30-2009, FOR PORTER
SHOFFNER (PS 1664), DATED 6-10-2024, FOR AVILA

A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE1/4, SE1/4) OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT AN ALUMINUM MONUMENT AND THE SOUTHEAST CORNER OF SAID SE1/4, SE1/4 OF SECTION 9;
THENCE NORTH 88°58'40" WEST, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 349.95 FEET TO A POINT;
THENCE NORTH 02°42'52" EAST A DISTANCE OF 659.28 FEET TO A 5/8" REBAR AND THE POINT OF BEGINNING;
THENCE NORTH 88°41'24" WEST A DISTANCE OF 167.18 FEET TO A FND, 5/8" REBAR;
THENCE NORTH 88°52'07" WEST A DISTANCE OF 167.71 FEET TO A FND, 5/8" REBAR;
THENCE NORTH 88°59'03" WEST A DISTANCE OF 329.43 FEET TO A FND, 5/8" REBAR;
THENCE NORTH 02°17'06" EAST A DISTANCE OF 540.07 FEET TO A SET 1/2" REBAR & CAP (PS 1664);
THENCE SOUTH 88°19'33" EAST A DISTANCE OF 658.67 FEET TO A SET 1/2" REBAR & CAP (PS 1664) ON THE WESTERLY LINE OF LOT 2, MERTIN'S PLACE SUBDIVISION AS FILED FOR RECORD AS SALINE COUNTY DOCUMENT 2021-001659;
THENCE SOUTH 00°41'22" WEST, ALONG SAID WESTERLY LINE, A DISTANCE OF 533.61 FEET TO THE POINT OF BEGINNING;
CONTAINING 354,846.8 SQUARE FEET, OR 8.15 ACRES, MORE OR LESS.

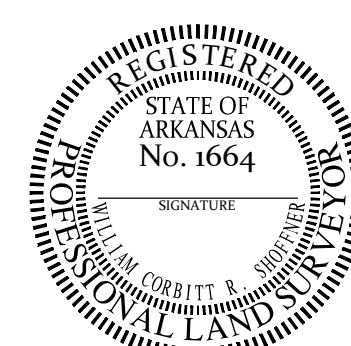
SURVEY DETAILS AND NOTES

OWNER OF RECORD:	NXT GEN HOMES LLC
PHYSICAL ADDRESS:	HILLTOP ROAD, BRYANT, AR
COUNTY PARCEL TAX ID:	A PORTION OF 840-11625-125

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

OWNERSHIP INFORMATION, IF SHOWN, IS LISTED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

THIS SURVEY IS BASED ON PUBLIC RECORDS AND/OR TITLE INVESTIGATIONS FURNISHED BY THIRD PARTIES. NO INDEPENDENT SEARCH OR INVESTIGATION HAS BEEN MADE BY THIS FIRM FOR ANY RECORDS, PUBLIC OR PRIVATE. LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY; HOWEVER OTHER RECORDS, IF ANY, COULD FURTHER AFFECT THIS SURVEY. NO STATEMENT OR GUARANTEES OF OWNERSHIP, RIGHTS, OR OTHER INTERESTS ARE MADE BY THIS SURVEY PLAT.



Land and Projects 2004/Surveys/2025/25-277 M&B & Solter Hillton Rd. S-14-W-2, 221 RVTY DWG/25-277 Solter on S-14-W-2 (Hillton Rd. Benton) dwg | Plotted: 11/06/2005 11:24:AM | ©2005 Hase Consulting, Inc.