



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: July 14, 2022 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Eyecare Center of Saline County - Parking Lot Improvements

Richardson Engineering - Requesting Approval for Parking Lot Improvements

- [0572-PLN-01.pdf](#)

2. Bryant Public Safety - New Training Range Addition

Ted Taylor - Requesting Approval for New Training Shooting Range Addition at Bryant Public Safety

- [0573-PLN-01.pdf](#)

3. Take 5 Carwash - 3017 Marketplace Ave - Signage

Arkansas Signs and Neon - Requesting Approval for Pole Sign

- [0574-PLN-01.pdf](#)

4. Alcoa 40 Park - New Pavillion

Ted Taylor - Requesting Approval for New Pavillion

- [0575-PLN-01.pdf](#)

5. Mills Park - Tennis Courts

Ted Taylor - Requesting Approval for New Tennis Courts

- [0576-PLN-01.pdf](#)

Staff Approved

6. Take 5 Carwash - 3017 Marketplace Ave - Signage

Arkansas Signs and Neon - Requesting Sign Permit Approval - Staff Approved Signs "A" and "B" Only

- [0574-PLN-01.pdf](#)

Permit Report

Adjournments

DETAILED PLANS:
PARKING LOT IMPROVEMENTS

3395 AR HWY 5 NORTH
 BRYANT, ARKANSAS 72019

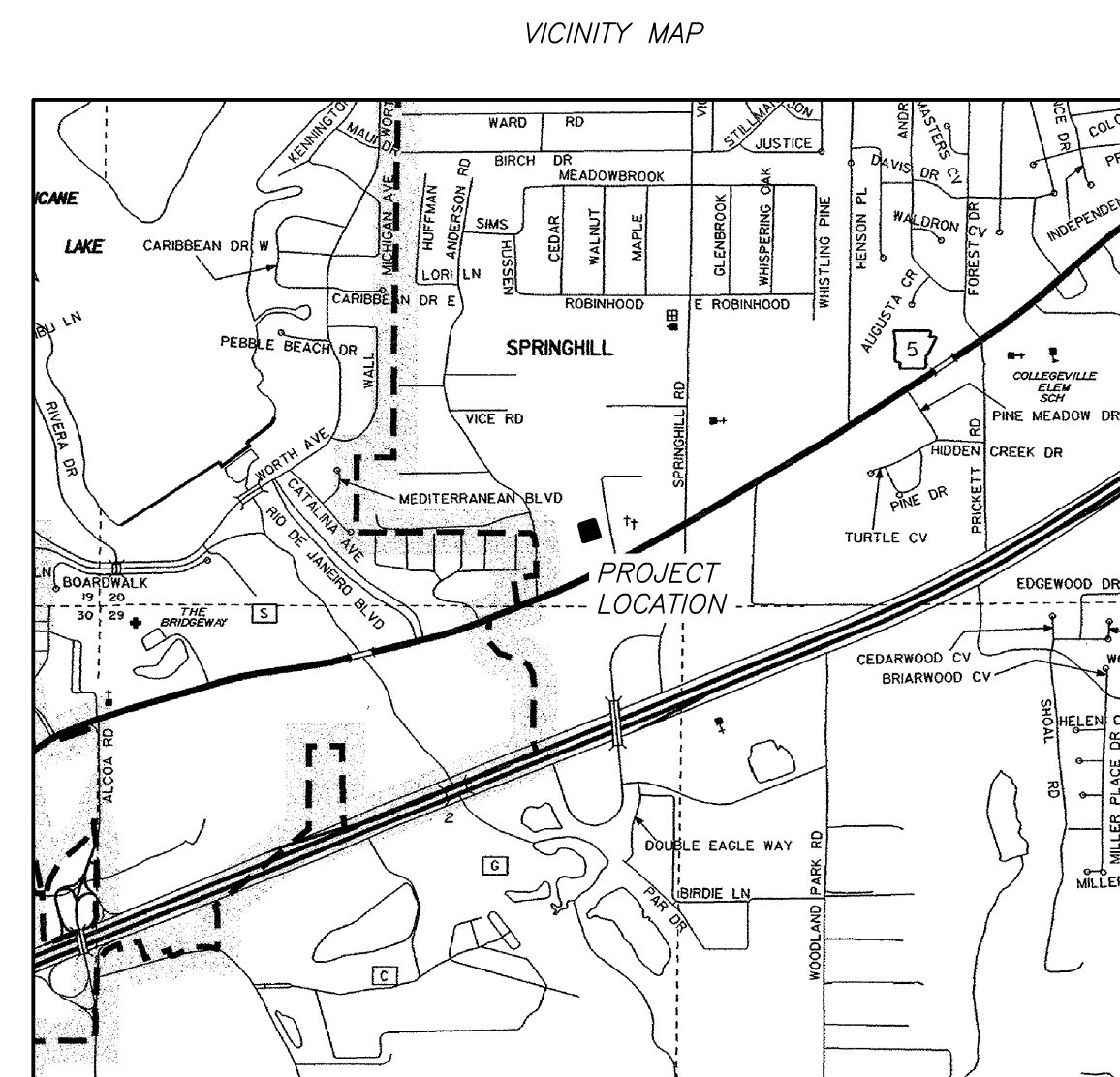
6/27/2022

PREPARED FOR:

BASCON GENERAL CONTRACTORS
 P.O. BOX 824
 BRYANT, AR 72022

PRE-CONSTRUCTION COPY -

PLANS FOR BIDDING PURPOSES.
 QUANTITIES TO BE VERIFIED PRIOR
 TO CONSTRUCTION. CONTRACTOR
 TO VERIFY GRADES WITH ENGINEER
 PRIOR TO CONSTRUCTION.



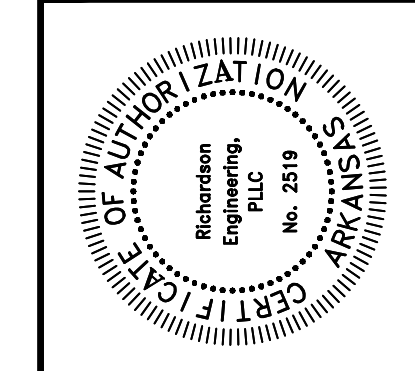
Prepared By:



325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225



<i>INDEX OF SHEETS</i>	
COVERSHEET	1
SWPPP	2
SITE PLAN	3
GRADING PLAN	4
WALL PROFILE	5

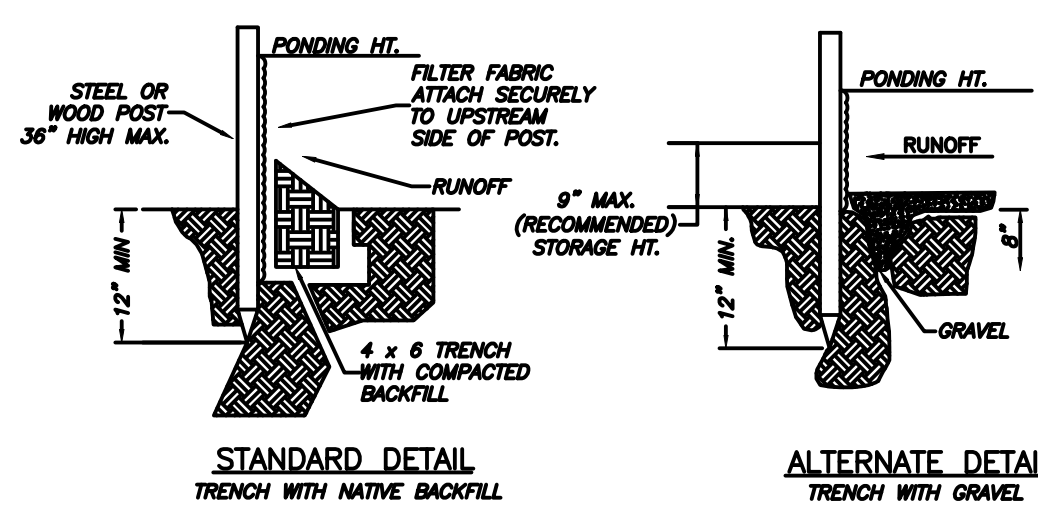
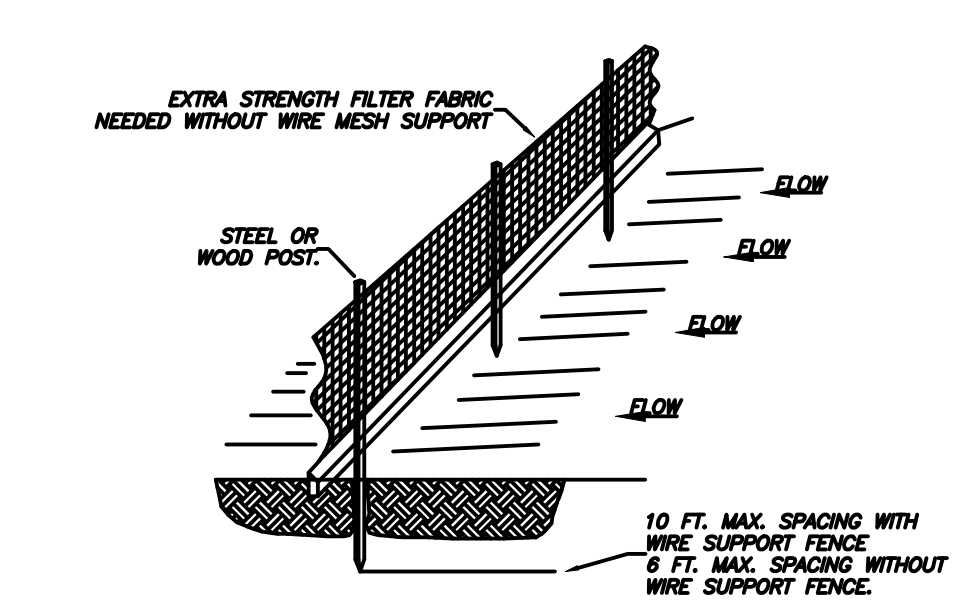
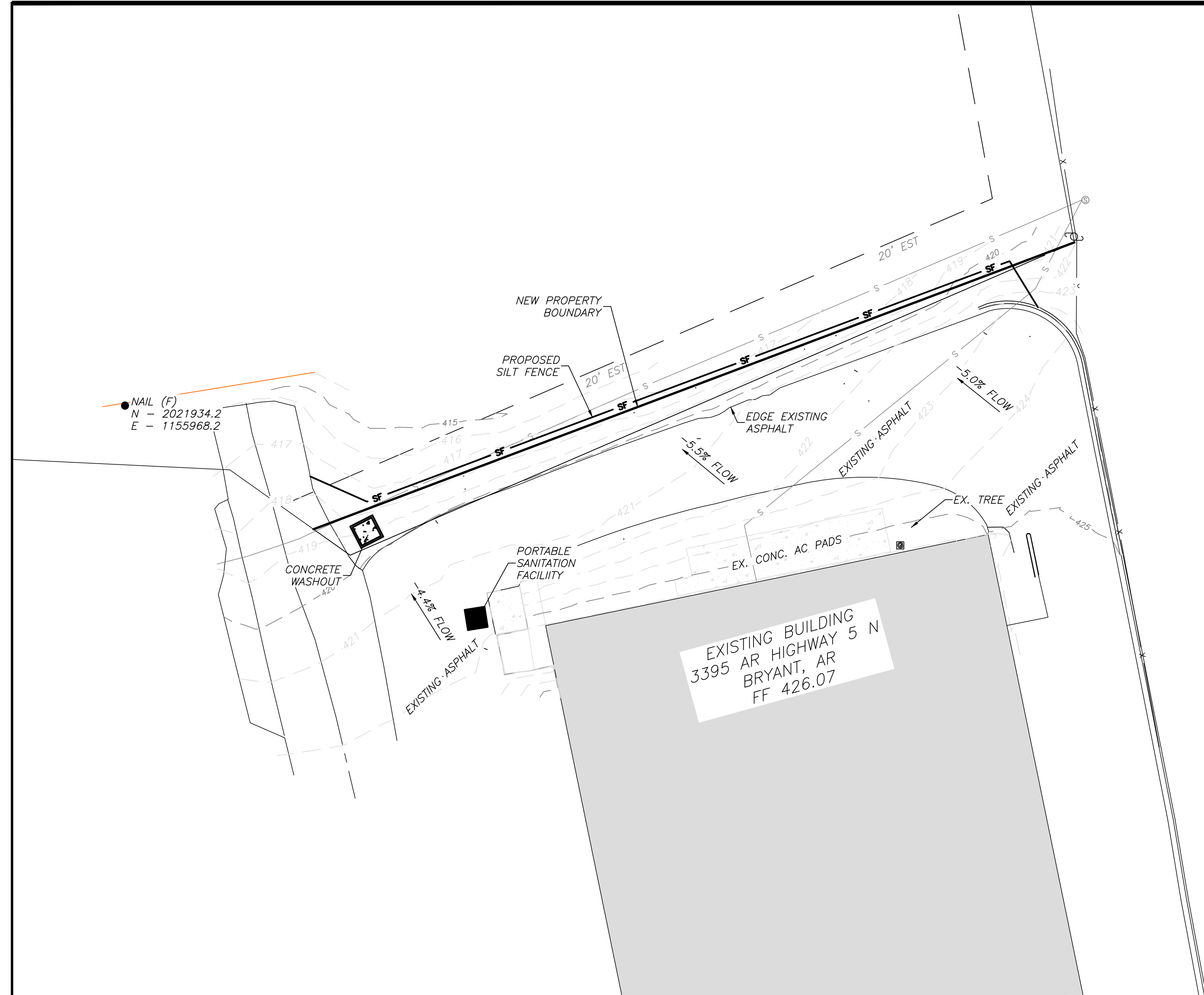


SWPPP PLAN
 PARKING LOT IMPROVEMENTS
 3395 AR HWY 5 NORTH
 BRYANT, ARKANSAS 72019

Prepared For
 BASCON GENERAL CONTRACTORS
 P.O. BOX 824
 BRYANT, AR 72022

Date	Revision

Date: 6/27/2022
 Scale: 1" = 20'
 Sheet: 2 of 5



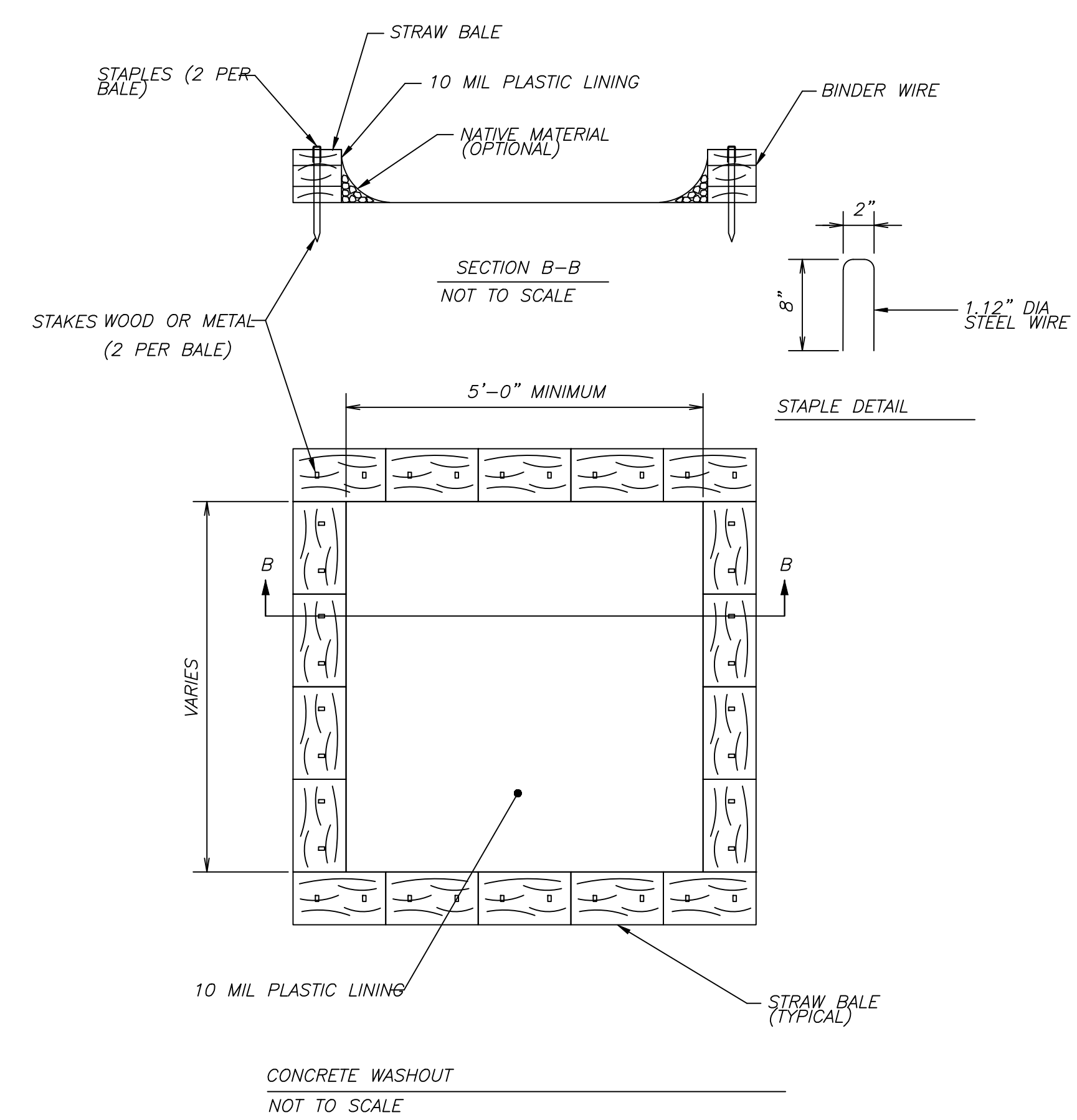
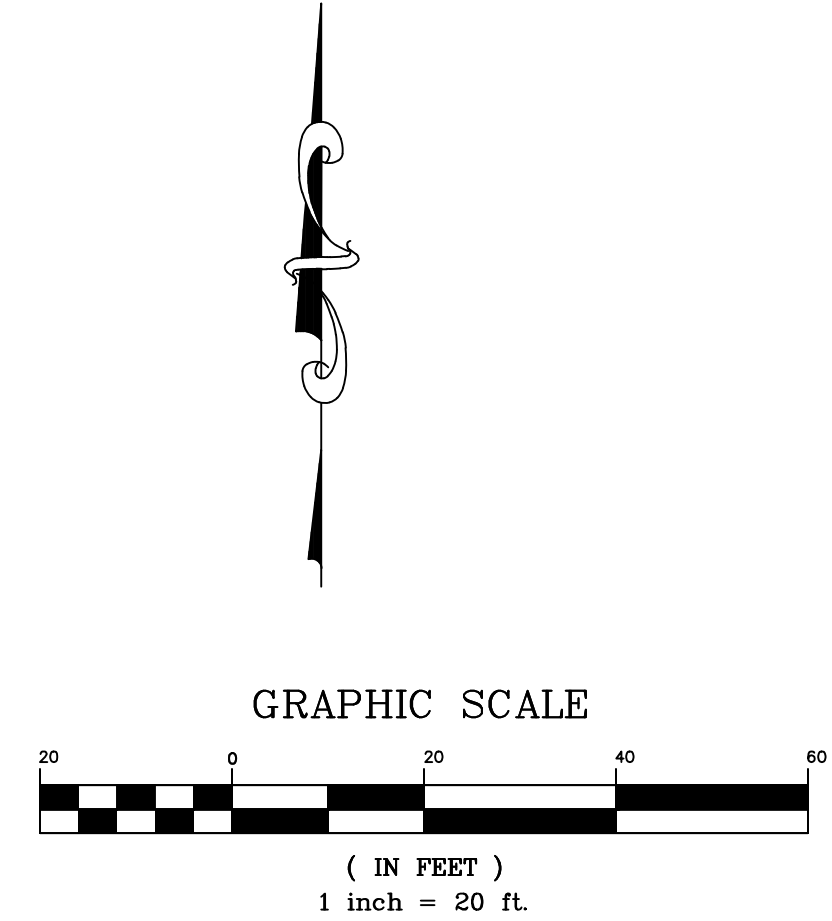
SILT FENCE

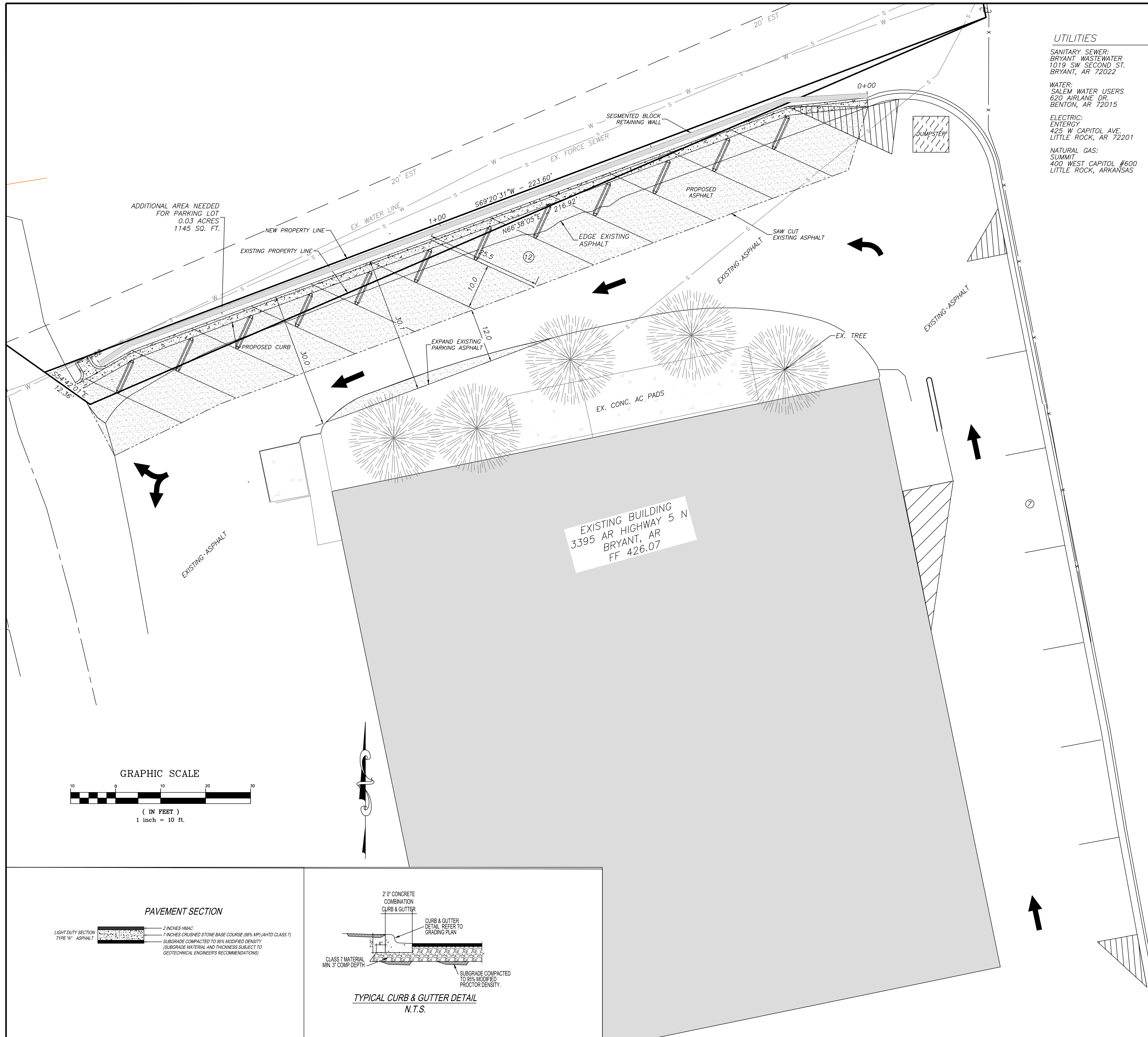
NOTE:
 1.) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2.) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3.) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

GENERAL EROSION CONTROL NOTES

1. THE LOCATION OF KNOWN SURFACE & SUBSURFACE STRUCTURES, PIPE, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING HIMSELF AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
2. ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC. THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
3. EROSION CONTROL DEVICES SHALL BE INSTALLED AS THE PROJECT PROGRESSES AND AREAS ARE DISTURBED.
4. THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
5. ALL INLETS ON AND ADJACENT TO THE SITE SHALL BE PROTECTED FROM SEDIMENT.
6. STORM WATER CONTROLS SHALL BE INSPECTED AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25 INCHES OR GREATER.
7. ALL EROSION CONTROL DEVICES ARE TO BE MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE DURATION OF THIS PROJECT AND UNTIL PERMANENT VEGETATION IS ESTABLISHED. ALL SEDIMENT TRAPS ARE TO BE CLEANED AS REQUIRED.
8. ALL DISTURBED AREAS LEFT IDLE FOR A PERIOD OF 14 DAYS OR LONGER ARE TO RECEIVE TEMPORARY VEGETATION AND MULCHED.
9. REMOVE EROSION CONTROL DEVICES AFTER PERMANENT VEGETATION IS ESTABLISHED.
10. DEVELOPMENT SHALL ADHERE TO CITY OF BRYANT AND ADEQ STORM WATER REQUIREMENTS.
11. ADDITIONAL EROSION CONTROL MEASURES TO BE EMPLOYED WHERE NECESSARY BY SITE CONDITIONS.
12. CONTRACTOR TO COMPLY WITH ALL OSHA SAFETY REQUIREMENTS.

- NOTES:
1. GEOTEXTILE FABRIC (TYPE 4) IN ACCORDANCE WITH SECTION 625 (AHTD SPECS).
 2. TYPE A - USE ON SMALL DEVELOPMENTS WHERE THE LIFE OF THE PROJECT IS LESS THAN SIX MONTHS AND THE SLOPE GRADIENT IS LESS THAN 3:1.
 3. TYPE B - USE ON DEVELOPMENTS WHERE THE LIFE OF THE PROJECT IS GREATER THAN SIX MONTHS AND WHERE THE SLOPE GRADIENT IS 3:1 OR GREATER.
 4. TYPE C - USE WHERE SLOPES EXCEED A VERTICAL HEIGHT OF 20 FEET AND THE SLOPE GRADIENT IS STEEPER THEN 3:1.
 5. INSPECT BARRIERS AT THE END OF EACH WORKING DAY, OR AFTER EACH RAIN, AND REPAIR OR CLEAN AS NECESSARY.
 6. REMOVE SEDIMENT FROM BARRIER WHEN ONE HALF FULL.
 7. DISPOSE OF SEDIMENT AND STABILIZE IT WITH VEGETATION.
 8. REPLACE FILTER FABRIC WHEN DETRIORATED.
 9. DESIGN LIFE OF A SYNTHETIC SILT FENCE IS APPROXIMATELY 6 MONTHS.
 10. MAINTAIN UNTIL THE PROJECT IS VEGETATED OR OTHERWISE STABILIZED.
 11. REMOVE BARRIERS AND ACCUMULATED SEDIMENT AND STABILIZE THE EXPOSED AREA WHEN THE PROJECT IS STABILIZED.
 12. SILT FENCE SHALL BE INSTALLED ALONG THE CONTOUR, NEVER UP OR DOWN A SLOPE.
 13. THE MAXIMUM DRAINAGE AREA FOR A CONTINUOUS FENCE WITHOUT BACKING SHALL BE 1/4 ACRE PER 100 LINEAR FEET OF FENCE LENGTH, UP TO A MAXIMUM AREA OF 2 ACRES. THE MAXIMUM SLOPE LENGTH BEHIND THE FENCE ON THE UPSLOPE SIDE SHOULD BE 110 FEET (AS MEASURED ALONG THE GROUND SURFACE).
 14. THE MAXIMUM DRAINAGE AREA FOR A CONTINUOUS SILT FENCE WITH BACKING SHALL BE 1 ACRE PER 150 LINEAR FEET OF FENCE LENGTH. THE SLOPE LENGTH ABOVE THE SILT FENCE WITH BACKING SHOULD BE NO MORE THAN 300 FEET.





UTILITIES

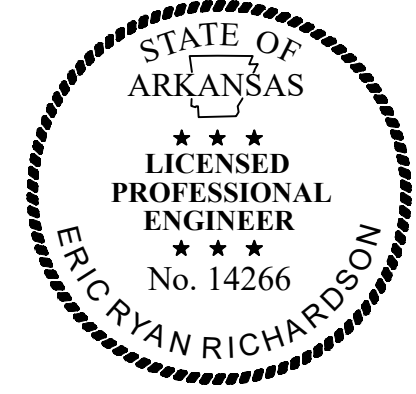
SANITARY SEWER:
BRYANT WASTEWATER
1019 SW SECOND ST.
BRYANT, AR 72022

WATER:
SALEM WATER USERS
620 AIRLANE DR.
BENTON, AR 72015

ELECTRIC:
ENTERGY
425 W CAPITOL AVE.
LITTLE ROCK, AR 72201

NATURAL GAS:
SUMMIT
400 WEST CAPITOL #600
LITTLE ROCK, ARKANSAS

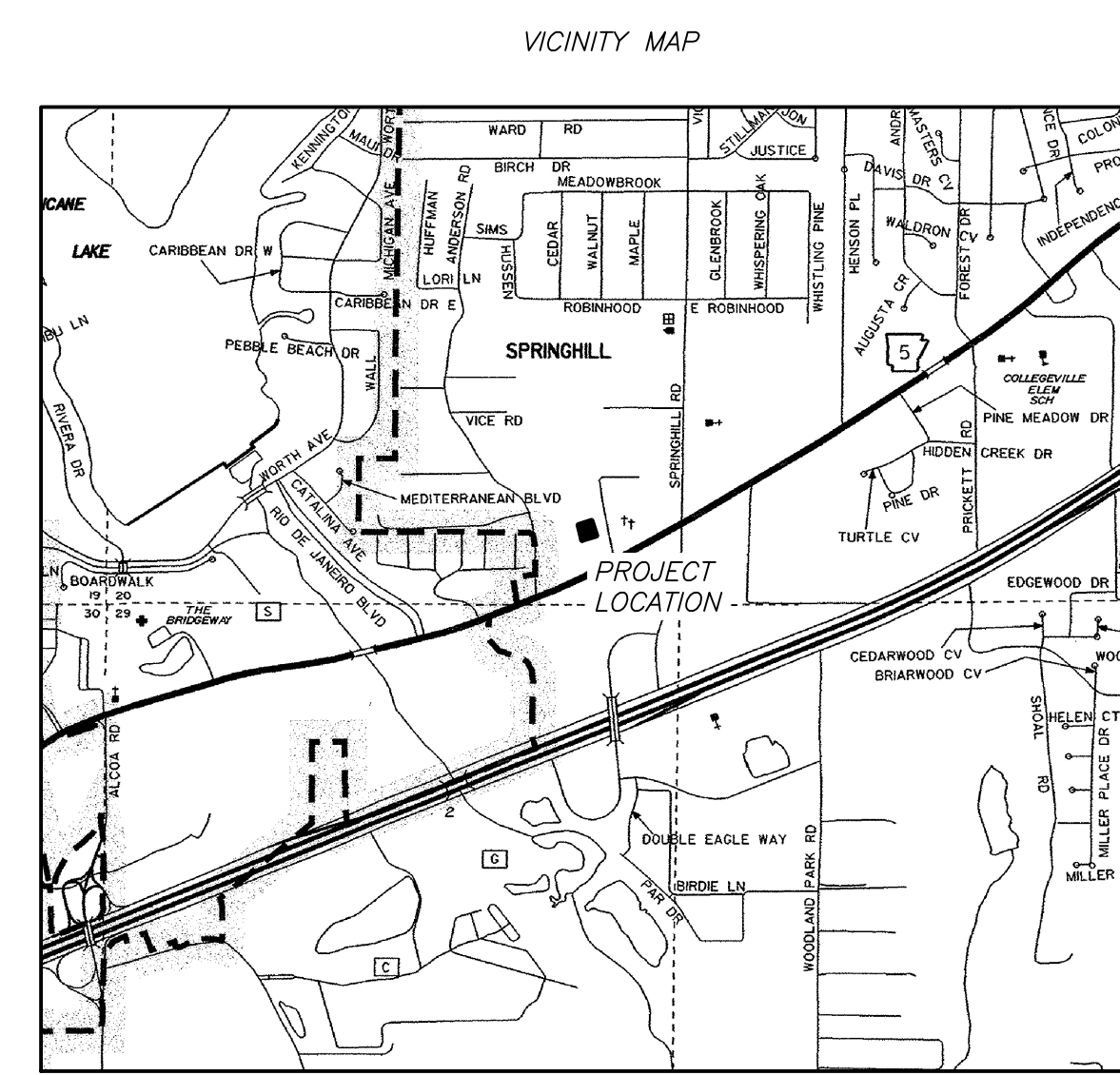
- GENERAL NOTES:**
- 1.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
 - 2.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
 - 3.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE AND BASE.
 - 4.) CONSTRUCTION SITE SHALL ADHERE TO CITY OF BRYANT STORMWATER REQUIREMENTS, AND SHALL MEET ALL APPLICABLE ADEQ STANDARDS FOR EROSION CONTROL MEASURES.
 - 5.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.)
 - 6.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATION TO INCLUDE EXCAVATION & TRENCH SAFETY.
 - 7.) THE APPROXIMATE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, PIPES, POWER GAS, PHONE, ETC. ARE SHOWN ON THE DESIGN DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.
 - 8.) ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO MEET THE CITY OF BRYANT SPECIFICATIONS AND STANDARDS.



ENGINEER
RICHARDSON ENGINEERING, PLLC
ADDRESS: 325 W. SOUTH ST.
BENTON, AR. 72015
PROJECT REPRESENTATIVE: ERIC RICHARDSON

DEVELOPERS
BASCON GENERAL CONTRACTORS
P.O. BOX 824
BRYANT, AR 72022

OWNER OF RECORD
JUSMIC INVESTMENTS LLC
9721 CONGO ROAD
BENTON, AR 72019



Legend

- Property Boundary
- Surveyed lines
- T Telephone
- G Gas Line
- X Wire / Chainlink Fence
- S Sanitary Sewer
- W Water Line
- Wooded area limits
- P Overhead Powerline

- Water Box
- Sanitary Sewer Manhole
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- Telephone Pedestal
- Guy Wire
- Computed Corner
- Found Monument (Labeled)
- Proposed light pole
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- Gas Meter
- * APPROVED ADA SIDEWALK RAMP. REFER TO NOTES.

RICHARDSON ENGINEERING
Planning • Engineering • Development Consulting
325 W. SOUTH STREET, BENTON, AR 72015 (501)315-7225

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 14266
ERIC RYAN RICHARDSON

ENGINEER
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SITE PLAN
PARKING LOT IMPROVEMENTS

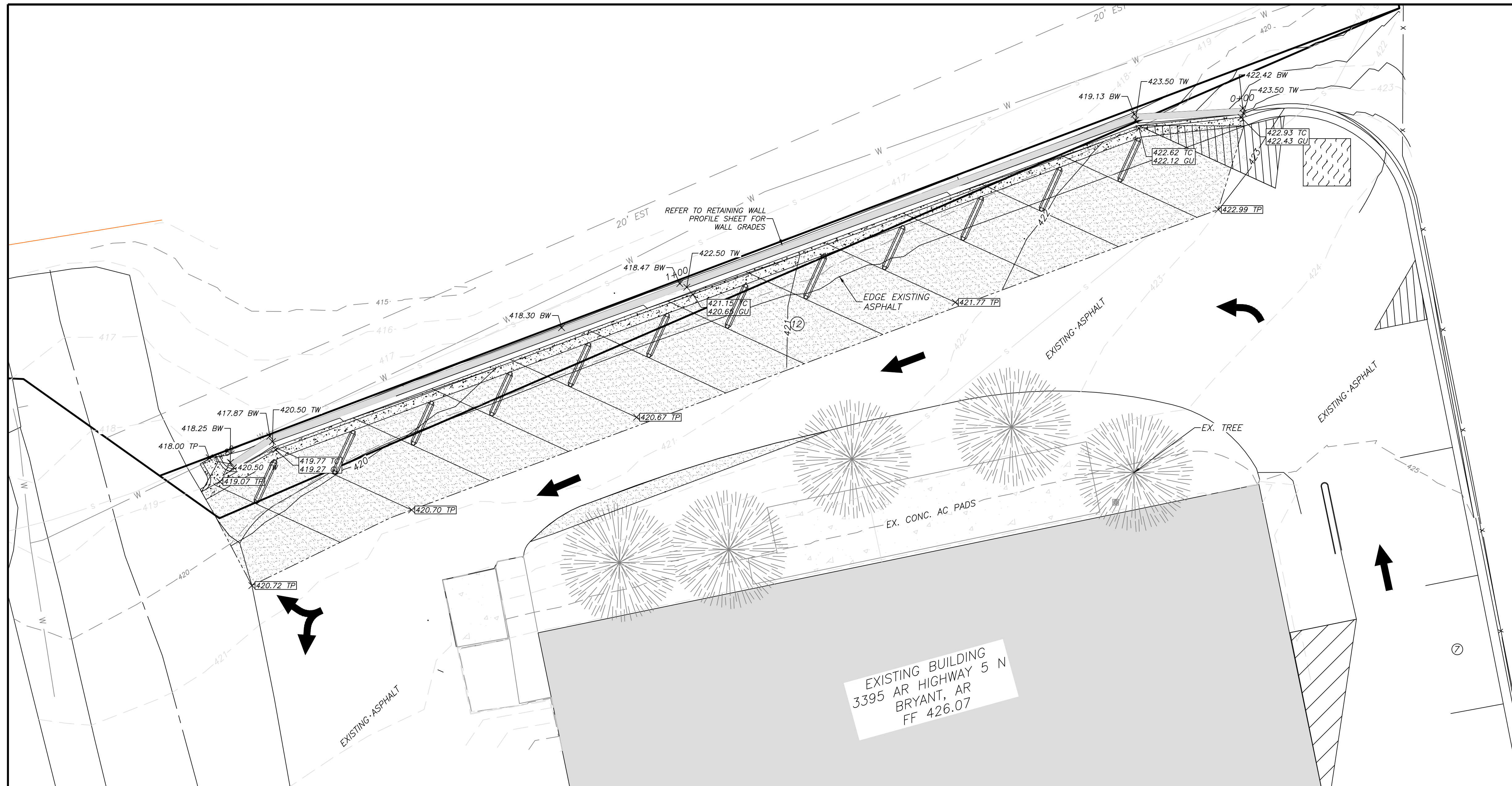
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3395 AR HWY 5 NORTH
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Revision	Date	By
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2		
3		
4		
5		

Scale: 1" = 10'

Sheet: 3 of 5



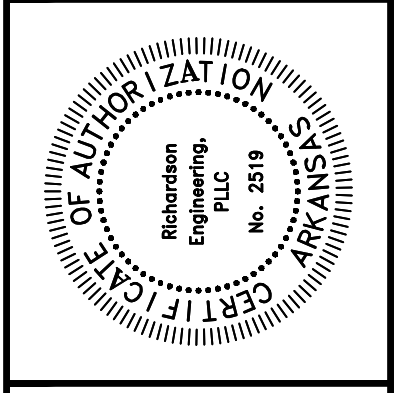
GENERAL CONSTRUCTION NOTES

- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS NOT TO CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF ALL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- F. FIBER OPTIC CABLE ON AND/OR ADJACENT TO THIS SITE WERE NOT LOCATED BY THE SURVEY AND ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY FIBER OPTIC CABLES ASSOCIATED WITH THIS SITE AND TAKE ALL NECESSARY AND REQUIRED PRECAUTIONS TO PROTECT ANY EXISTING FIBER OPTIC CABLES. CONTRACTORS SHALL COORDINATE ALL EFFORTS WITH OWNER OF FIBER OPTIC CABLES OR THEIR DESIGNATED REPRESENTATIVE.
- G. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.

SITE NOTES

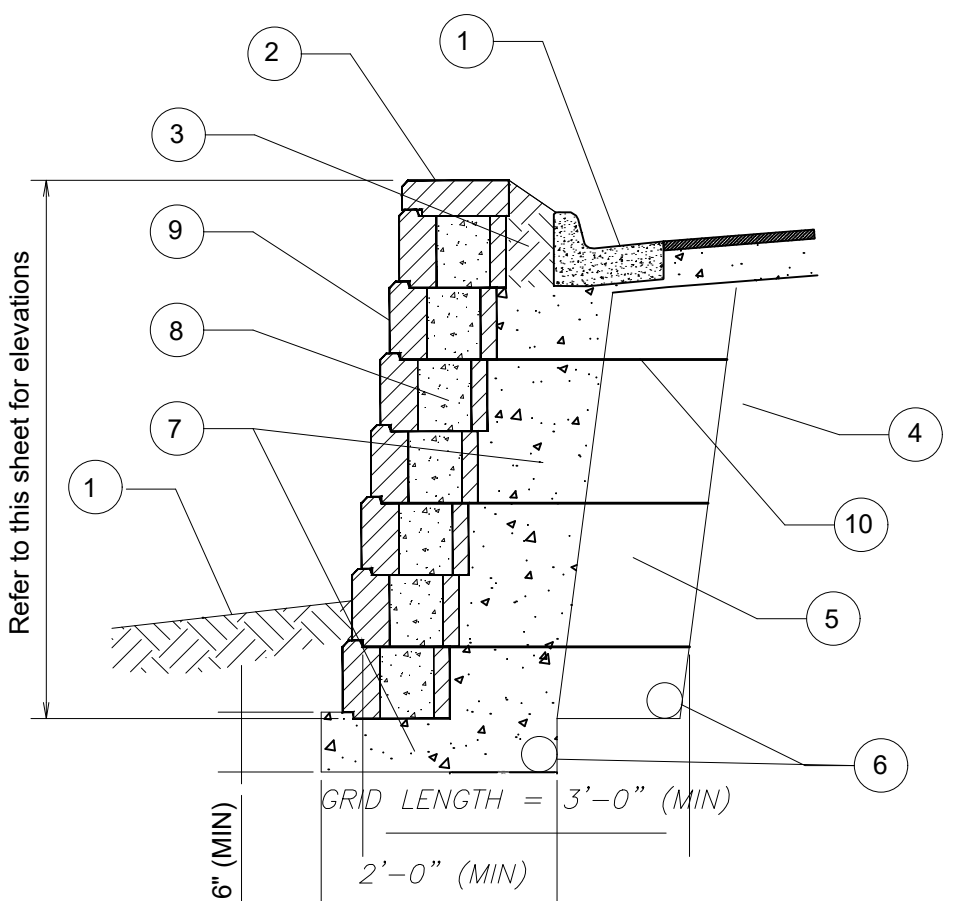
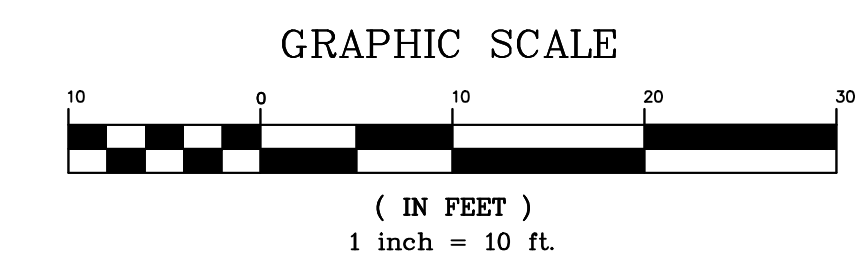
- 1.) PROJECT DIMENSIONS REFER TO SITE PLAN SHEET 3
- 2.) PROJECT PROVIDES 19 PARKING SPACES WITH 0 HANDICAP VAN ACCESSIBLE SPACES
- 3.) CURRENT ZONING C-2
- 4.) CURRENT USE: PROFESSIONAL OFFICE PARKING
- 5.) PROPOSED LOCATIONS OF TRAFFIC CONTROL MARKERS ARE APPROXIMATE. ACTUAL LOCATION AND INSTALLATION MUST MEET MUTCD AND BRYANT STREET DEPT. SPECS.
- 6.) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AHTD SPECIFICATIONS, AND BASED ON GEOTECHNICAL ANALYSIS OF THE SOIL CONDITIONS.
- 7.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE & BASE. TEST TO BE CONDUCTED AS PER GEOTECHNICAL SPECS.
- 8.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, UTILITY OWNER, ETC.)
- 9.) CONTRACTOR TO ADHERE TO CURRENT OSHA REGULATIONS TO INCLUDE EXCAVATION & TRENCH SAFETY.
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GRADING PLAN
PARKING LOT IMPROVEMENTS
 3395 AR HWY 5 NORTH
 BRYANT, ARKANSAS 72019

Prepared For:
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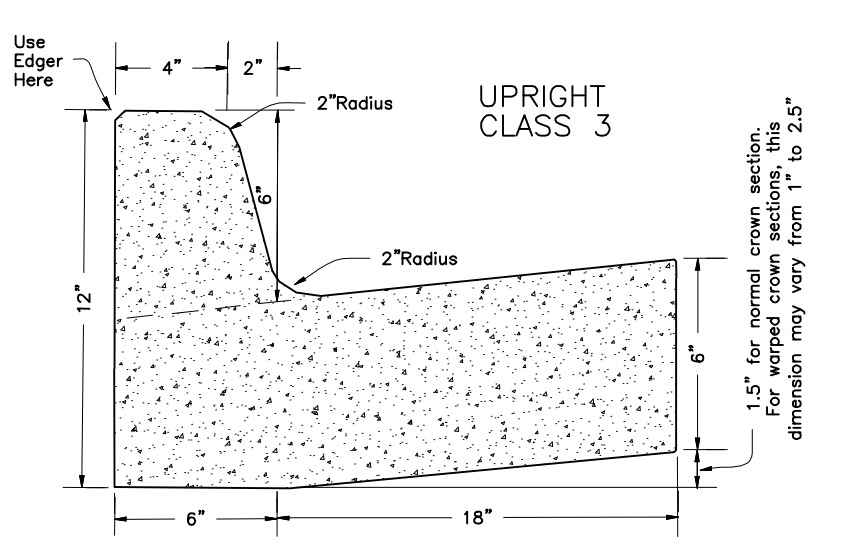
STACKED BLOCK KEYED WALL NOTES

- 1 FINISHED GRADE.
- 2 BLOCK CAP STONE.
- 3 6" MINIMUM THICK IMPERMEABLE FILL.
- 4 RETAINED SOIL.
- 5 INFILL SOIL.
- 6 4" DIA HDPE OR PVC DRAIN PIPE TO DAYLIGHT.
- 7 WELL-GRADED GRANULAR WALL ROCK 0.25" TO 1.5" (LESS THAN 10% FINES).
- 8 WELL-GRADED GRANULAR WALL ROCK 0.25" TO 1.5" (LESS THAN 10% FINES).
- 9 PRE-CAST STACKED BLOCK UNITS.
- 10 GEOGRID FABRIC.

TYPICAL STACKED BLOCK WALL SECTION
 NOT TO SCALE

* WALL DETAIL FOR REFERENCE ONLY. DESIGN BY OTHERS.

TYPICAL PARKING CURB SECTION

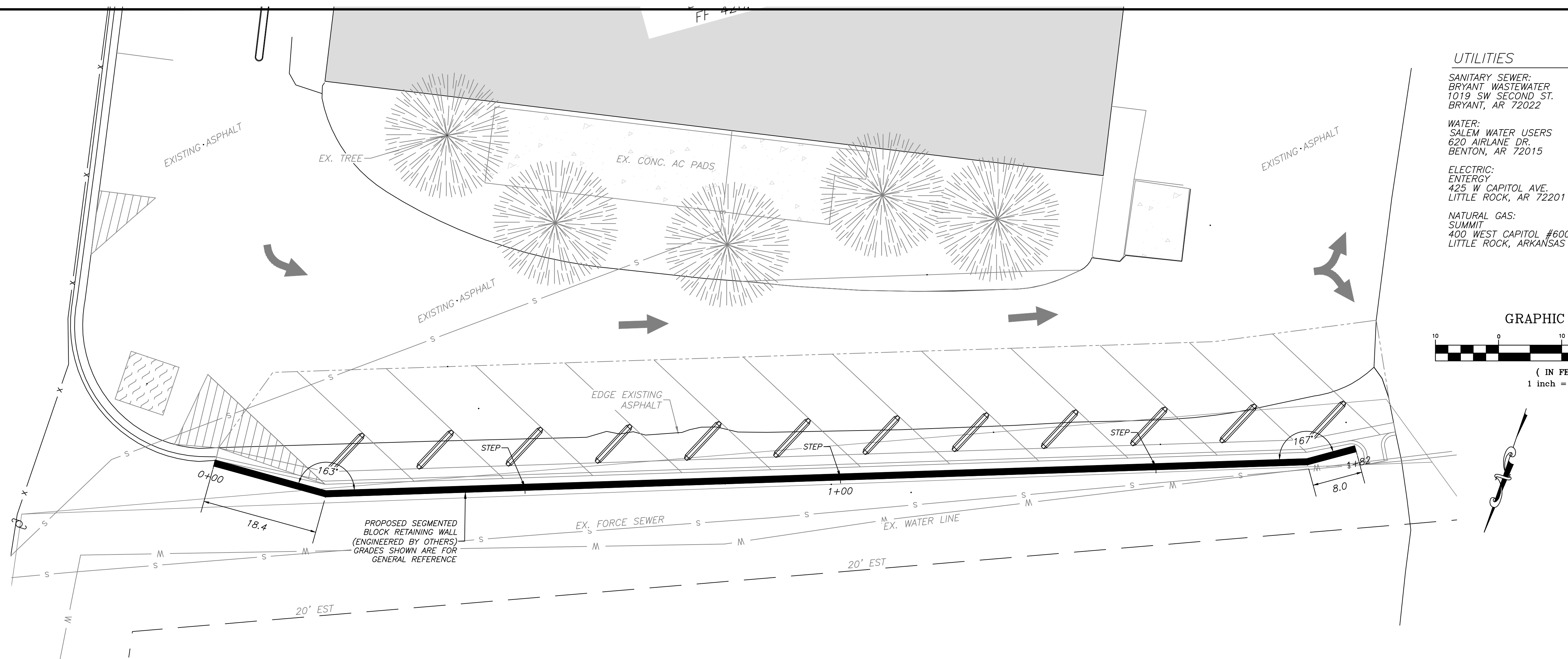


Legend

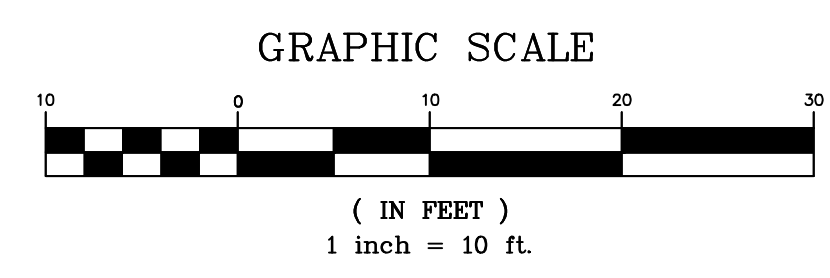
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- Wooded area limits
- P Overhead Powerline
- Water Box
- Sanitary Sewer Manhole
- Sanitary Sewer Manhole
- Telephone Pedestal
- Guy Wire
- Computed Corner
- Found Monument (Labeled)
- Proposed light pole
- X 422.00 TC TOP OF CURB ELEVATION
- X 422.00 GU CURB GUTTER ELEVATION
- X 422.00 TP TOP OF PAVEMENT ELEVATION
- X 422.00 TW TOP OF WALL
- X 422.00 BW BOTTOM OF WALL
- PROPOSED CONTOUR
- EXISTING CONTOUR

Sheet	Date	Revisions
2	6/27/2022	
3		
4		
5		

Scale: 1" = 10'
 Sheet: 4 of 5



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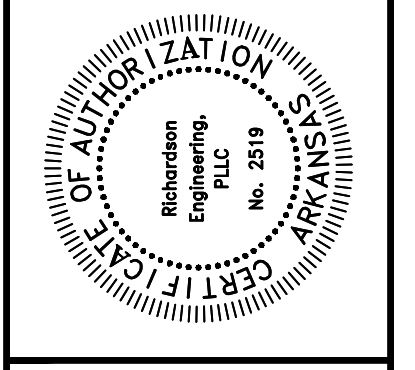


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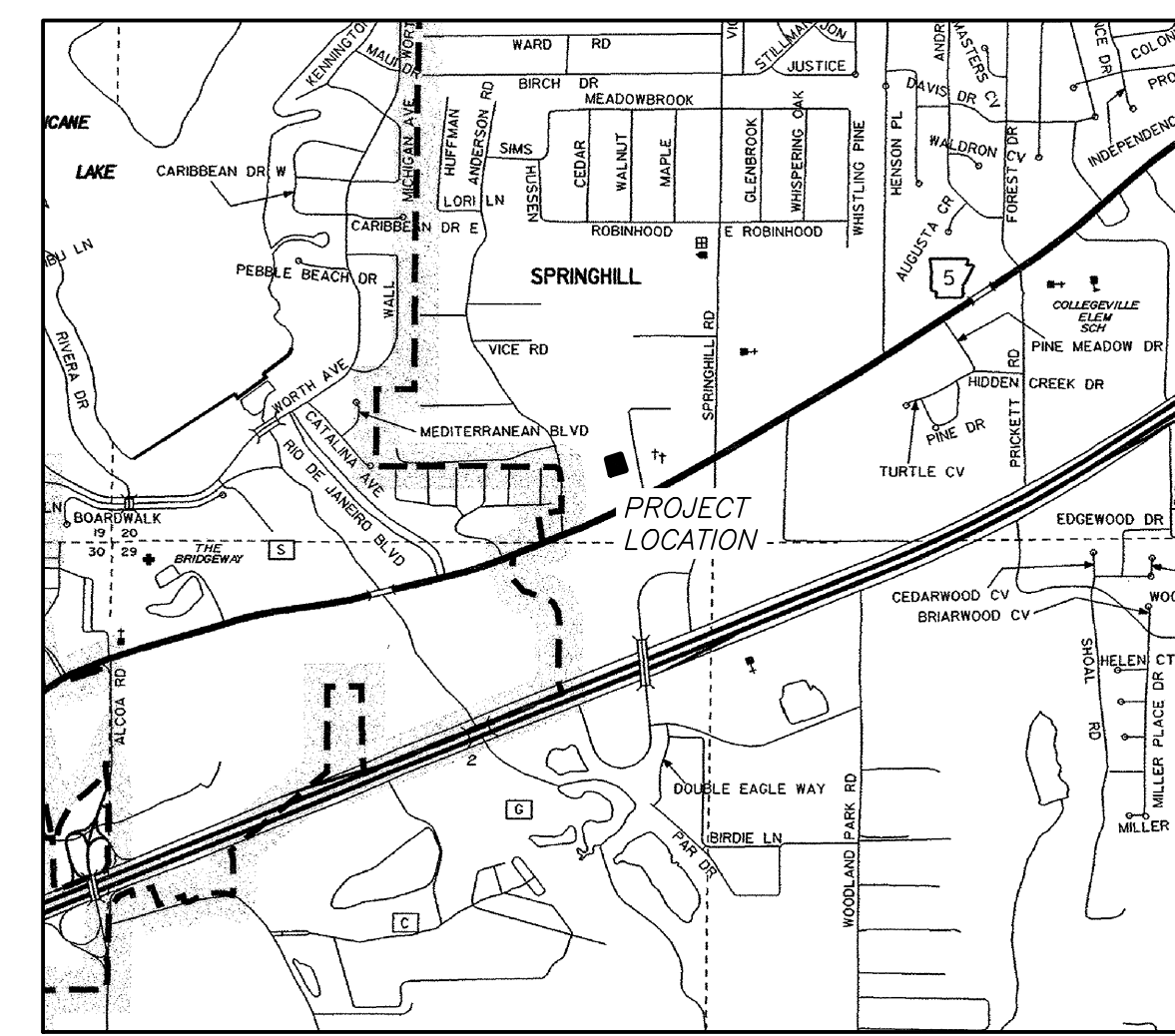
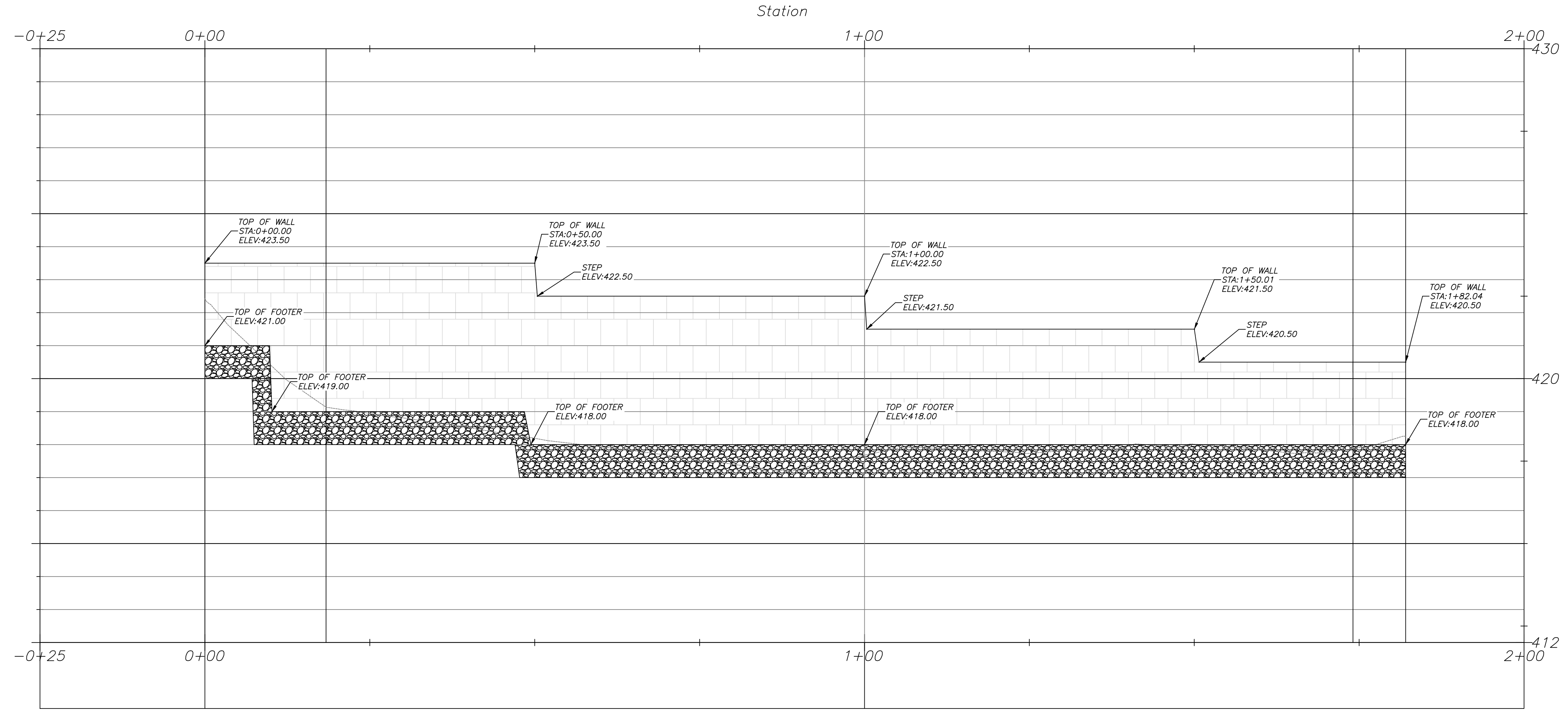
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RETAINING WALL PROFILE



RETAINING WALL PLAN/PROFILE
PARKING LOT IMPROVEMENTS
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Legend

- Property Boundary
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Water Box

- Sanitary Sewer Manhole
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- Guy Wire
- Computed Corner
- Found Monument (Labeled)
- Proposed light pole
- Gas Meter
- APPROVED ADA SIDEWALK RAMP. REFER TO NOTES.

PROPOSED CONCRETE

PROPOSED ASPHALT

Revision	1	2	3	4	5
Date		6/27/2022			
Scale	1" = 10'				
Sheet	5 of 5				

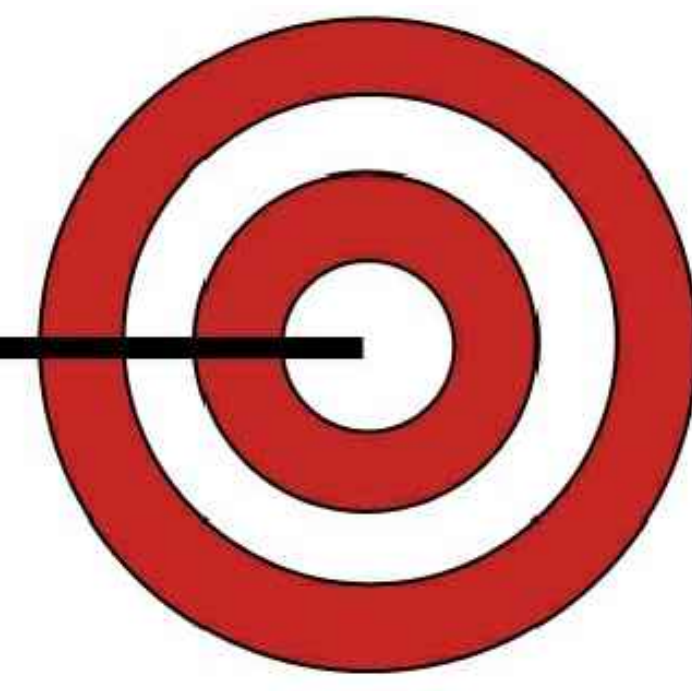
BRYANT POLICE DEPARTMENT

2-LANE 70 FEET "TACTICAL" RIFLE RATED RANGE

BRYANT, ARKANSAS

BY:

SHOOTING RANGE INDUSTRIES, LLC



SHEET INDEX:	
SHEET NO.	SHEET TITLE
A0	COVER SHEET
A1	RANGE DESIGN LAYOUT (PLAN AND SECTION VIEW)
A2	EXTERIOR ELEVATIONS (NORTH-SOUTH-EAST-WEST)
E1	ELECTRICAL LAYOUT (PLAN AND SECTION VIEW)
M1	H.V.A.C. LAYOUT UTILITY LAYOUT (PLAN VIEW)
M2	H.V.A.C. LAYOUT (SECTION VIEW)
S1	RANGE FOOTING LAYOUT AND LOAD REACTIONS AT CORNER BLOCKS (PLAN AND DETAILS)
D1	DETAILS

CUSTOMERS RESPONSIBILITIES
1. ANY SITE PREPARATION TO INCLUDE CONCRETE OR ASPHALT SURFACE THAT CAN WITHSTAND THE WEIGHT AND LOADS DEPICTED ON S1 OF THIS DESIGN PACKAGE. 2. ALL POWER SERVICE PROVISIONS TO INCLUDE FINAL CONNECTION TO THE MAIN DISCONNECT LOCATED ON THE READY RANGE UNIT. (150 AMP / 120/208V / 3 PHASE / 60 Hz)

RIFLE RATED RANGE

RIFLE TRAPS:
MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

SHOOTING RANGE INDUSTRIES LLC RESPONSIBILITIES
1. DESIGN, MANUFACTURE AND INSTALLATION OF DEPICTED MODULAR RANGE UNIT. 2. ANY AND ALL HEAVY EQUIPMENT REQUIRED TO UNLOAD (FREIGHT) AND PLACE UNIT ON PROVIDED FOUNDATION. THIS INCLUDES A 120 TON OR EQUAL CRANE AND FORKLIFT IF REQUIRED.

FOR CONSTRUCTION

ATTENTION:
THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
△	FOR CONSTRUCTION	02-16-2022	VP

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NOTE:
Drawings must not be scaled where no dimensions are given, the matter shall be referred to the engineer.
Should dimensions or details on these drawings conflict, precedence shall be given to the larger scale drawing.
Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions.
Written dimensions on these drawings shall have precedence over scaled dimensions.
Contractor to verify and be responsible for all dimensions and conditions in the field. This office must be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted.
Such conflicts noted above shall be reported immediately to the engineer.

NOTES

ORTHOGRAPHIC PROJECTION

MAINTENANCE AND RESPONSIBILITIES
NOTICE TO ALL SHOOTING OWNERS, MANAGERS & OPERATORS:
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SRI, or anyone affiliated or partnered with SRI, will not be held liable for any negligence on the part of the structure personnel for any of the above items.
Improper maintenance or repair of the structure(s) by any personnel or it's users for any of the aforementioned items, structure maintenance manuals have been provided with every range manufactured by SRI at time of purchase.
1. H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).
2. Supply & exhaust air must "always" be on and operating at the same time (interlocked together).
3. Structures must have a negative air pressure or a min. of 10% of total air supply.
4. SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.
5. No storage or work to be performed behind bullet traps at any time.
6. SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).
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It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.
Customer Initial: _____ Date: _____

GENERAL NOTES
1. Air system comes as a completely balanced system by factory certified H.V.A.C. specialists however, it is the customer's responsibility to maintain a balanced air system.
2. If structure owner/operator does not understand any of the above operations, lead management, structure safety or will not accept responsibility they should immediately cease all operations to prevent employees and/or customers against health problems or bodily harm.
3. SRI has incorporated the customer's specified wall and ceiling ballistic protection in the building design as has been called out in the customer's design requirements, as such, the customer takes full responsibility to ensure that no ammunition is fired in the range that could exceed the design capabilities the customer has specified in the design requirements. The customer is solely responsible for proper range operation, range maintenance, and range safety in accordance with the range training and maintenance manual.

SHOOTING RANGE INDUSTRIES, LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILO

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

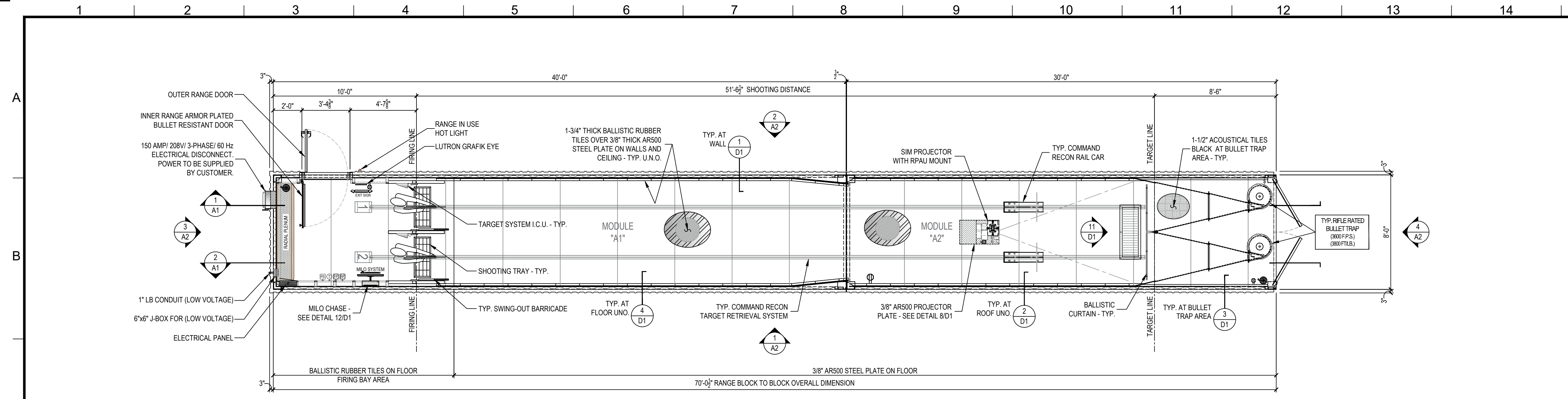
Drawing Title
COVER SHEET

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022
Project No. SRI22103		Scale AS NOTED		Sheet No. A0	
Drawing No. 22-103 Bryant PD				Sheet 1 of 8	
				Rev. -	

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\A0-Cover-Sheet-Bryant PD.dwg

Plot Date: 3/10/2022 7:36:43 AM

Login: Vince Parrin



PLAN VIEW - RANGE DESIGN LAYOUT
SCALE: 1/4" = 1'-0"



File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\A1 - Range Design Layout\Bryant PD.dwg

Plot Date: 3/10/2022 7:36:49 AM

Login: Vince Parrin

SYMBOL SCHEDULE:	
SYMBOL	DESCRIPTION
	DUPLEX ELECTRICAL RECEPTACLE (PLAN)
	DUPLEX ELECTRICAL RECEPTACLE (ELEV)
	QUADRUPLEX ELECTRICAL RECEPTACLE (PLAN)
	QUADRUPLEX ELECTRICAL RECEPTACLE (ELEV)
	LUTRON GRAFIK EYE 3000 CONTROLLER 120 VOLT
	ZL TN SERIES LED STRIP LIGHT FIXTURE (DIMMABLE) 120 VOLT
	THERMOSTAT
	FILTER PRESSURE
	RANGE PRESSURE
	PRESSURE SENSOR
	FIRE EXTINGUISHER (WALL MOUNTED)
	BALLISTIC RUBBER TILE
	SONEX SOUND TILE
	POLISHED ALUMINUM DIAMOND TREAD PLATE
	3/8" AR-500 STEEL PLATE

NOTES

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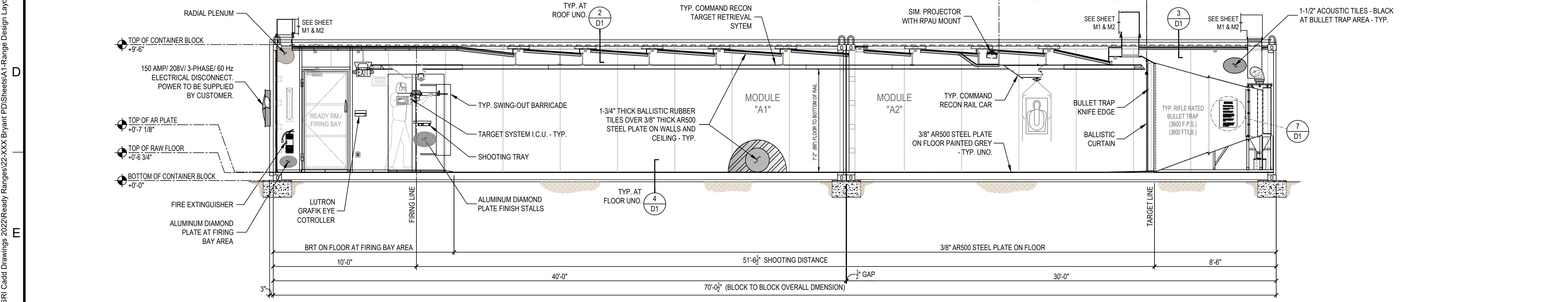
SRI or anyone affiliated or partnered with SRI will not be held liable for any negligence on the part of the structure personnel for any of the above items.

Improper maintenance or repair of the structure(s) by any personnel or its users for any of the aforementioned items, should the manufacturer have been provided with every range manufactured by SRI at time of purchase.

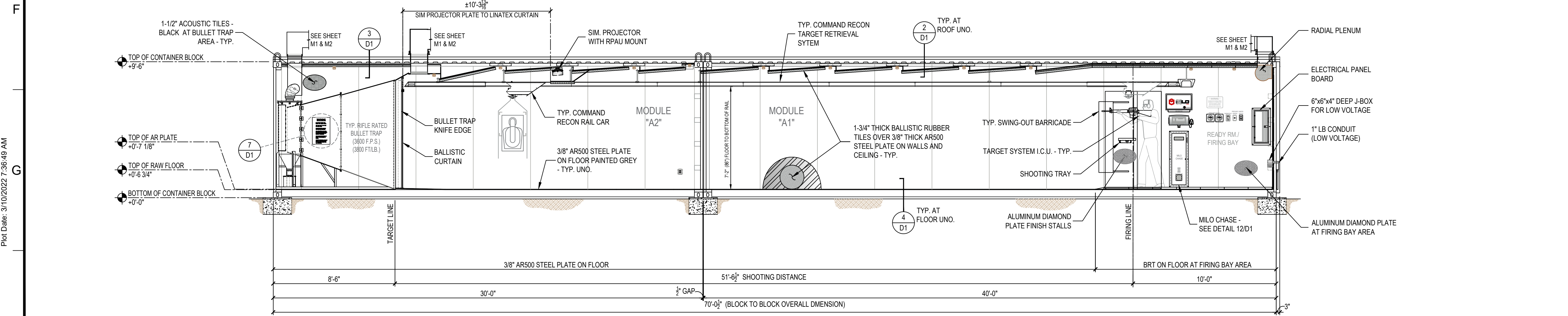
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LONGITUDINAL SECTION - RANGE LAYOUT
SCALE: 1/4" = 1'-0"



LONGITUDINAL SECTION - RANGE LAYOUT
SCALE: 1/4" = 1'-0"

RIFLE TRAPS:
MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG. STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

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PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
△	FOR CONSTRUCTION	02-16-2022	VP

SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MIL0

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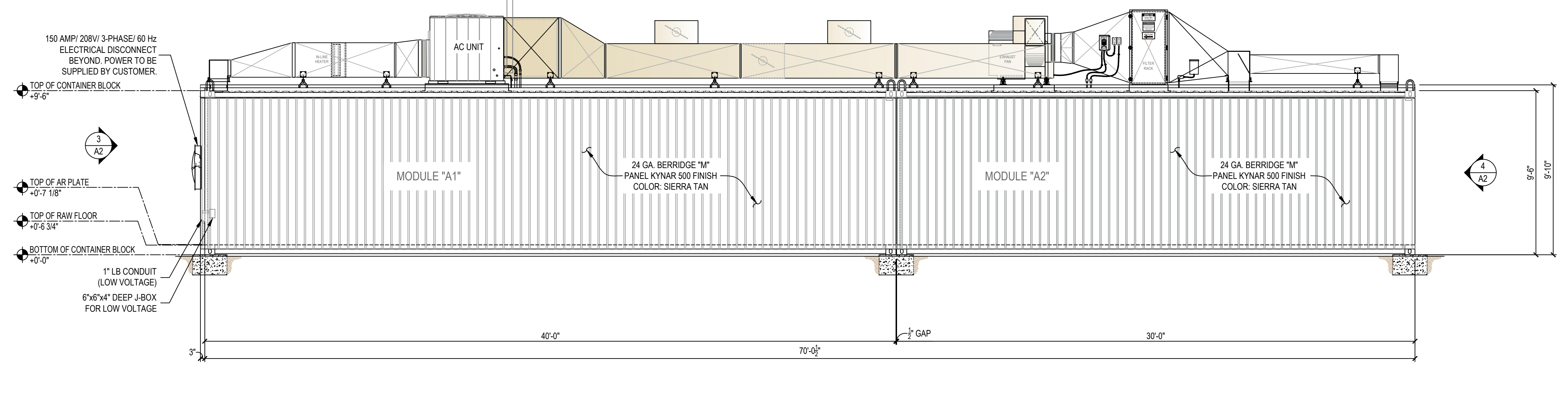
Project Title
BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372

Drawing Title
RANGE DESIGN LAYOUT (PLAN & SECTION VIEW)

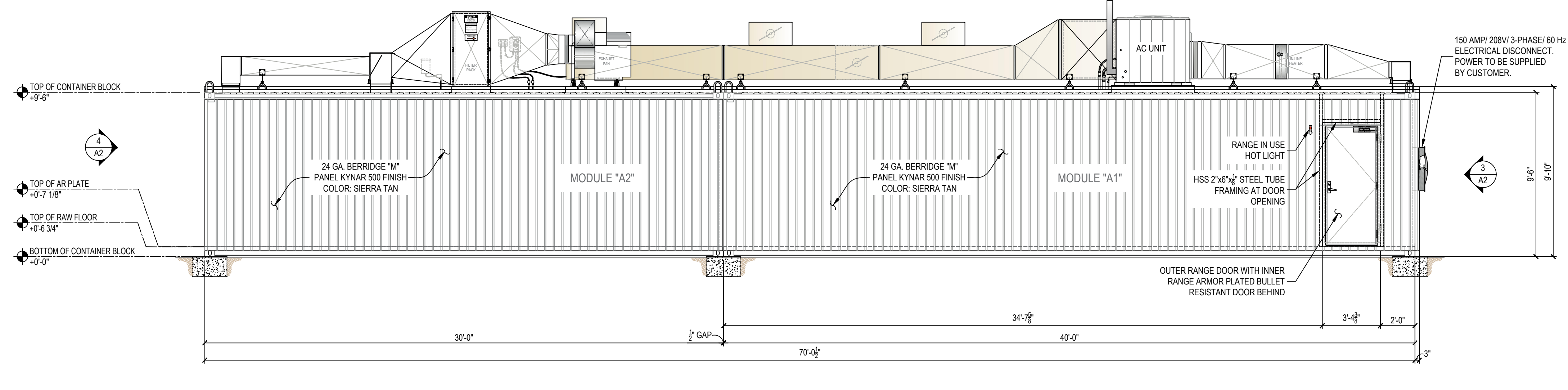
Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

Project No. **SRI22103** Scale **AS NOTED** Sheet No. **A1**
Sheet 2 of 8

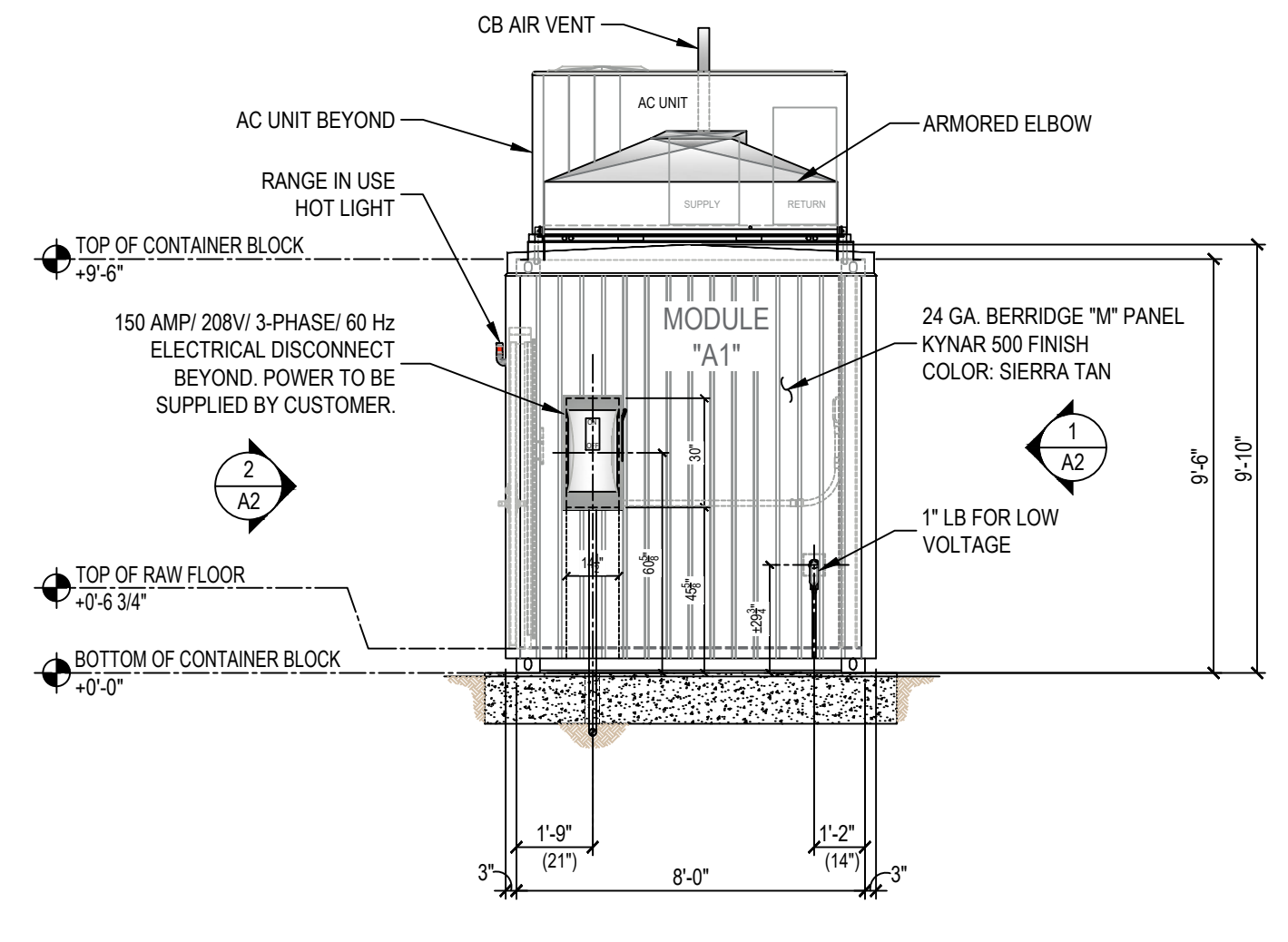
Drawing No. **22-103 Bryant PD**



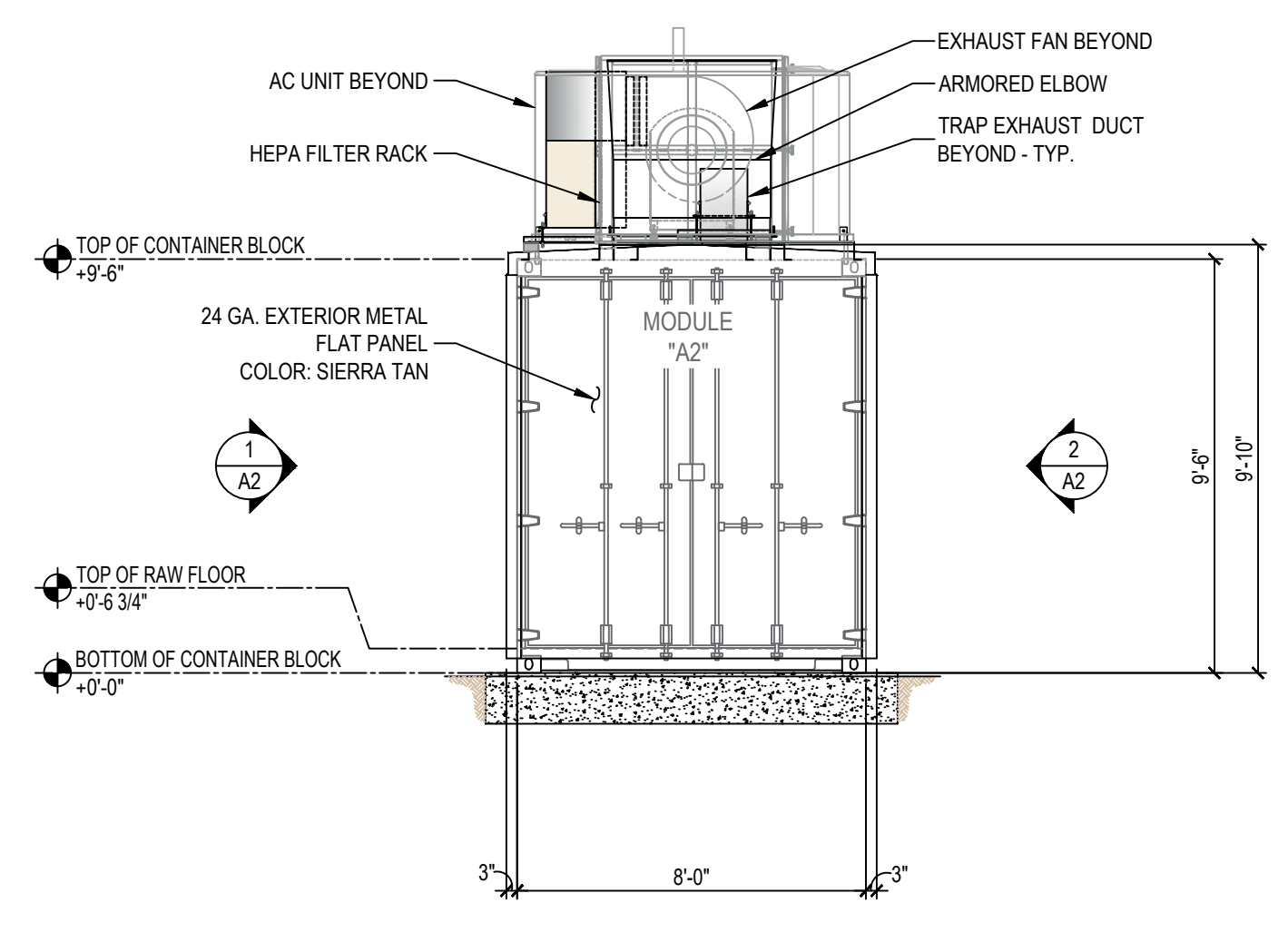
1 EXTERIOR ELEVATION - NORTH SIDE
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH SIDE
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - EAST SIDE
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - WEST SIDE
SCALE: 1/4" = 1'-0"

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SIGNATURE: _____

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1	FOR CONSTRUCTION	02-16-2022	VP	VP	02-03-2022	MH	02-03-2022	JC	02-03-2022

Project No.	Scale	Sheet No.
SRI22103	AS NOTED	A2
Sheet	3 of 8	

Project Title	BRYANT POLICE DEPARTMENT 2-LANE 70 FEET HIGH CUBE "TACTICAL" RIFLE RATED RANGE 312 ROYAL LANE, BRYANT, AR 72022 PHONE NO. (501) 943-0372
Drawing Title	EXTERIOR ELEVATIONS (PLAN & SECTION VIEW)

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SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

Drawing Title
**EXTERIOR ELEVATIONS
(PLAN & SECTION VIEW)**

LIGHTING FIXTURE SCHEDULE								
QTY.	SYMBOL	BRAND	MODEL NO.	VOLTAGE	REQUIRED LAMPS		MOUNTING	REMARKS
					NUM.	TYPE		
12		LITHONIA	ZL1N	120V - 277V	1	0-10V DIMMING STD. NPF160 NIGHT SWITCHING DIMMING MODULE (3,600 LUMENS)	CEILING	LED STRIPLIGHT, SNAP ON FROSTED, DIFFUSE
1		LITHONIA	LHQM S W 3 R 120/277	120V - 277V	1	3.3 FIXTURE WATTS, LED EXIT, KRYPTON LAMP HEAD	WALL	COMBINATION EMERGENCY LIGHT AND EXIT FIXTURE

SYMBOL SCHEDULE:	
SYMBOL	DESCRIPTION
	DUPLEX ELECTRICAL RECEPTACLE (PLAN)
	DUPLEX ELECTRICAL RECEPTACLE (ELEV)
	QUADRUPLEX ELECTRICAL RECEPTACLE (PLAN)
	QUADRUPLEX ELECTRICAL RECEPTACLE (ELEV)
	LUTRON GRAFIK EYE 3000 CONTROLLER 120 VOLT
	ZL1N SERIES LED STRIP LIGHT FIXTURE (DIMMABLE) 120 VOLT
	THERMOSTAT
	FILTER PRESSURE
	RANGE PRESSURE
	PRESSURE SENSOR
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	BALLISTIC RUBBER TILE
	SONEX SOUND TILE
	POLISHED ALUMINUM DIAMOND TREAD PLATE
	3/8" AR-500 STEEL PLATE

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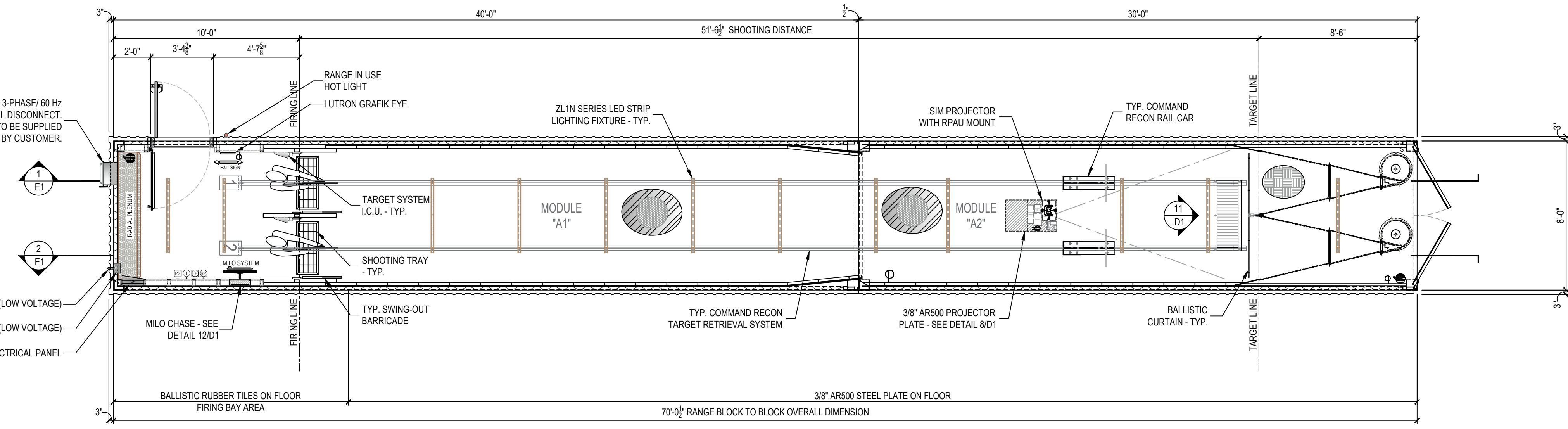
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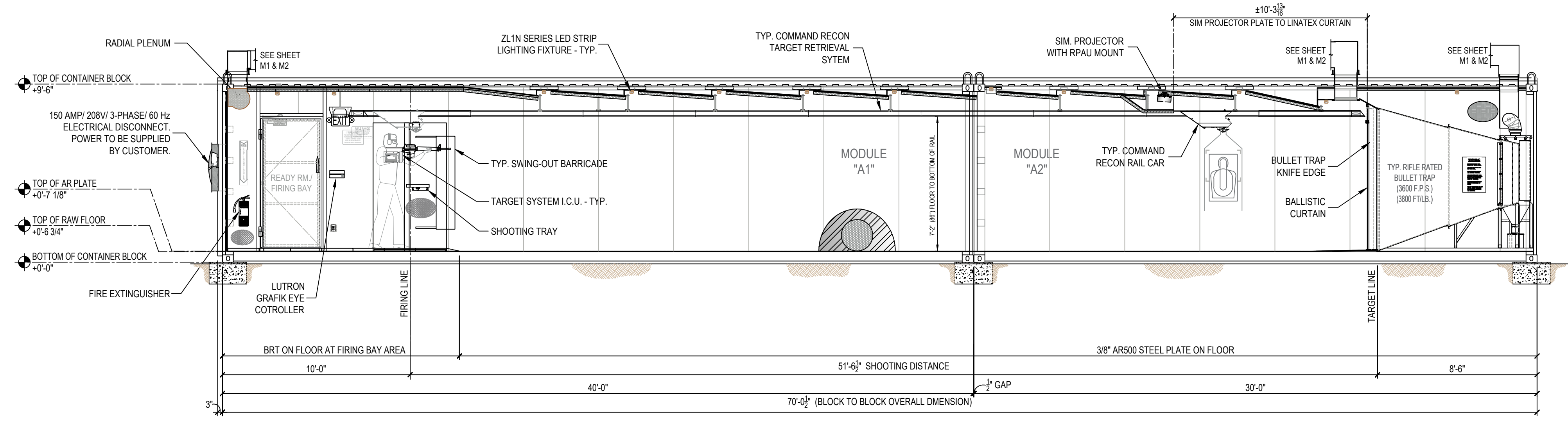
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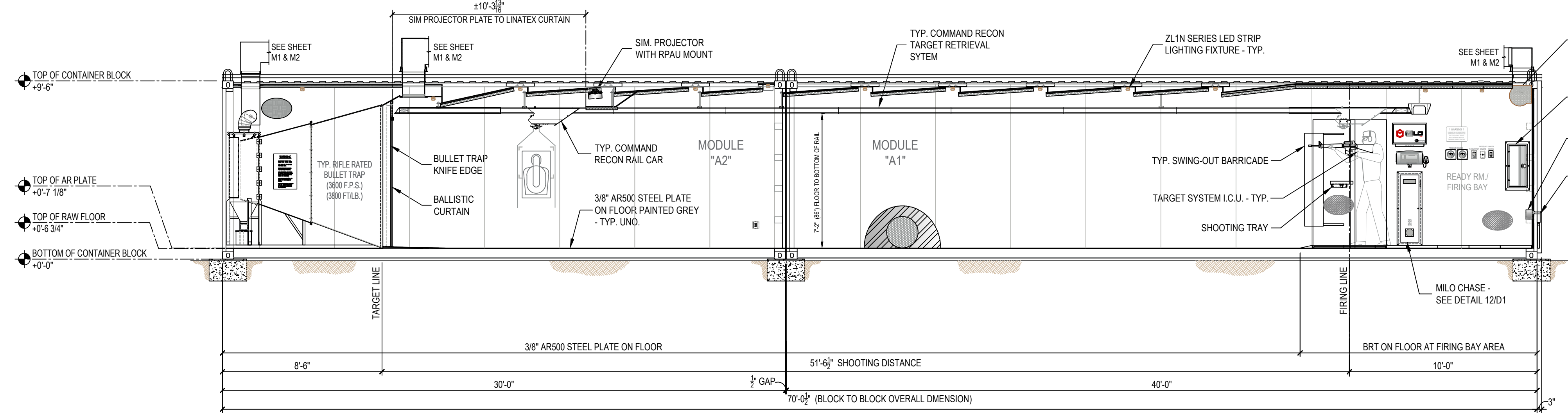
PLAN VIEW - ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"



1 LONGITUDINAL SECTION - ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - ELECTRICAL LAYOUT

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 PHONE NO. (501) 943-0372

Drawing Title
ELECTRICAL LAYOUT (PLAN & SECTION VIEW)

REVISION	DESCRIPTION	DATE	BY
1	FOR CONSTRUCTION	02-16-2022	VP

Drawn	Date	Checked	Date	Approved	Date
VP	02-03-2022	MH	02-03-2022	JC	02-03-2022

Project No. SRI22103 Scale AS NOTED Sheet No. E1 of 8

Drawing No. 22-103 Bryant PD

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheets\E1 - Electrical Layout-Bryant PD.dwg
 Plot Date: 3/10/2022 7:37:01 AM
 Login: Vince Parrin

EXHAUST FAN SCHEDULE																
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR/ELECTRICAL DATA				ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS			
			CFM	S.P. IN/WG	RPM	FAN TYPE	DRIVE	HP	INPUT WATTS	VOLTS				PH	HZ	RPM
EF-1	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0			230/460	3	60	1,755	357.98	DAYTON 7H171

ROOF TOP UNIT SCHEDULE																								
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION			GAS HEAT SECTION			COMPRESSOR SECTION		ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS					
			CFM	ESP	BHP	HP	VOLTS	PH	MROPO (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	LEA. TEMP (F) WB	AMBIENT DB (F)	CAPACITY INPUT MBH	OUTPUT MBH				EAT. (F)	LEA. (ARR)	HEAT CONTROL	CAPACITY CONTROL	POWER AMPS
AC-1	FIRING RANGE	F	4,000	0.75		3	208	3		49.0		80	67		95	150	105	70		2 STAGE	R-L-L-R 19.6/136.0	R410	1058 NET (1156 SHIPING)	TRANE YSC0120H3ELA
IH-1	FIRING RANGE		1,222				208	3															13.20 NET	WATCO DFC00H

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
D2	100% CLOSED	D2	75% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)
D3	100% OPEN	D3	40% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)

H.V.A.C. REFERENCE KEYNOTES

AC 1 = 10 TON GAS PACKAGE AC UNIT "TRANE" INPUT: 150,000 BTU / OUTPUT: 120,000 BTU 208-230V / 60 Hz / 3 PHASE MODEL # YSC120H3ELA

EF 1 = ROOF MOUNTED EXHAUST FAN "DAYTON" MODEL #7H171 5.0 HP, 208V / 60 Hz / 3 PHASE 12.50 AMP F.L.A. NEMA 3R

FR 1 = 99.97% 0.3 MICRON HEPA FILTER RACK WITH (4) - 24"x24"x12" SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS

VFD 1 = VEG VARIABLE FREQUENCY DRIVE, 5 MAX HP, 3 INPUT PHASE AC 240VAC INPUT VOLTAGE, 16 AMPS, MAX. OUTPUT MODEL NO. CFW081601D4A1Z

IH 1 = 15.0 KW / 41.64 AMP / 208V / 3-PHASE / 1,222 CFM / 400 FPM DUCT HEATER "WATCO" MODEL # DF C00H

PG 1, 2 = (2) - DWYER MAGNETIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG

TH 1 = NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28VAC 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR0241XV21

NOTES

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2. Supply & exhaust air must "always" be on and operating at the same time (interlocked together)

3. Structures must have a negative air pressure or a min. of 10% of total air supply.

4. SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.

5. No storage or work to be performed behind bullet traps at any time.

6. SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).

The purpose of this letter/notes is to make sure you, as structure owner, manager, operator, or maintenance personnel are doing your part to make sure all people who come in contact with your structure are safe and comfortable in the indoor structure environment.

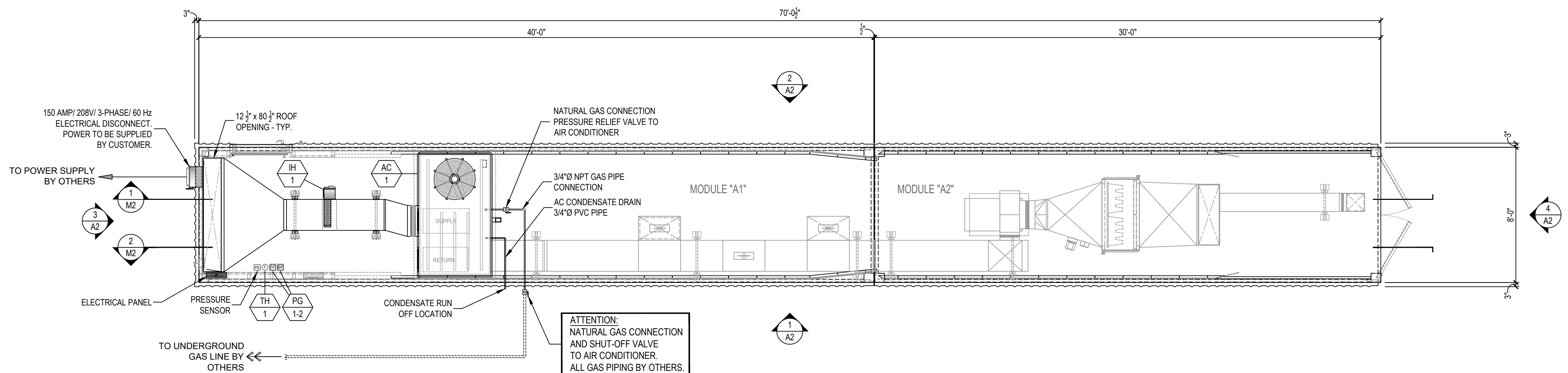
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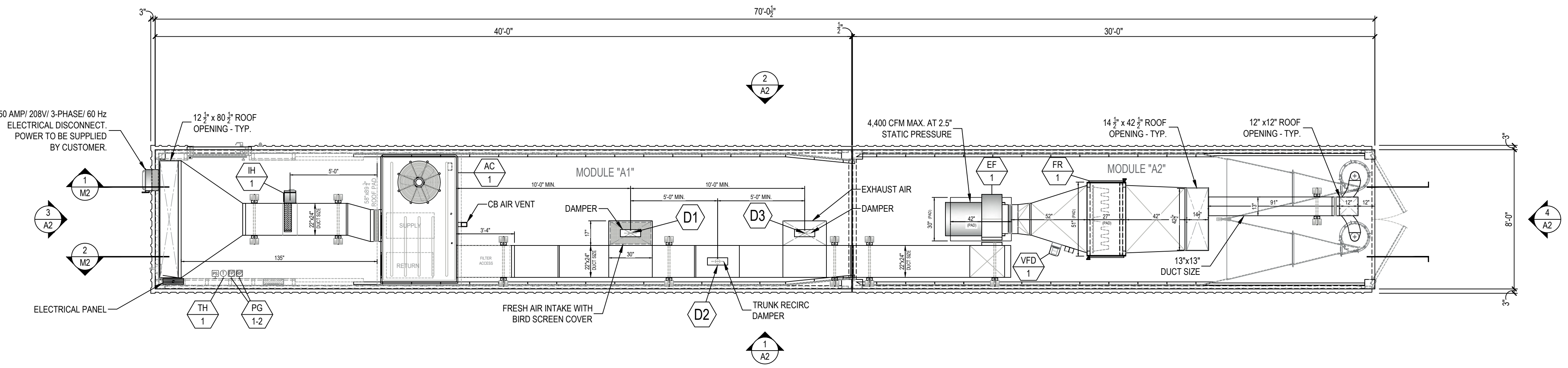
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PLAN VIEW - UTILITY LAYOUT
SCALE: 3/16" = 1'-0"



PLAN VIEW - H.V.A.C. LAYOUT
SCALE: 3/16" = 1'-0"



- ### H.V.A.C. SEQUENCE OF OPERATIONS
- EACH MODULE HVAC SYSTEM SHALL BE ACTIVATED BY SWITCH (THERMOSTAT) ON WALL.
 - UPON ACTIVATION, THE EXHAUST FAN AND ROOFTOP UNIT SUPPLY FAN SHALL BE ENABLED. ALL FANS SHALL OPERATE AT CONSTANT SPEED TO MAINTAIN PROPER VELOCITY AND PRESSURIZATION INSIDE MODULE.
 - THE SPACE TEMPERATURE SHALL BE CONTROLLED VIA THE THERMOSTAT TO MAINTAIN SETPOINT. COOLING WILL BE ACCOMPLISHED IN TWO (2) STAGES, VIA THE MULTI-STAGE COMPRESSOR. HEATING WILL BE ACCOMPLISHED IN FOUR (4) STAGES, VIA THE ROOFTOP UNITS GAS HEATER AND ELECTRIC HEAT STRIP LOCATED IN THE DUCT. THE ELECTRIC HEAT STRIP SHALL OPERATE AS THE PRIMARY HEATING SOURCE, AND THE ROOFTOP UNIT GAS HEATING SECTION SHALL OPERATE WHEN THE HEAT PUMP IS UNABLE TO MAINTAIN THE HEATING TEMPERATURE SETPOINT.

- ### NOTES:
- POWER BY CUSTOMER.
 - CUSTOMER IS RESPONSIBLE FOR DRAINAGE LOCATION AND PROTECTION OF CONDENSATE LINES FROM FREEZING.

RIFLE TRAPS:
MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

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CUSTOMER SIGN OFF:
DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
VP	FOR CONSTRUCTION	02-16-2022	VP

SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title	BRYANT POLICE DEPARTMENT 2-LANE 70 FEET HIGH CUBE "TACTICAL" RIFLE RATED RANGE 312 ROYAL LANE, BRYANT, AR 72022 PHONE NO. (501) 943-0372		
Drawing Title	H.V.A.C. LAYOUT UTILITY LAYOUT (PLAN VIEW)		
Drawn	Date	Checked	Date
VP	02.03.2022	MH	02.03.2022
Project No.	Scale	Sheet No.	Date
SRI22103	AS NOTED	M1	02.03.2022
Sheet	5 of 8	Rev.	-
Drawing No.	22-103 Bryant PD		

File Path: C:\SRI\Cadd Drawings\2022\Ready Ranges\22-XXX-Bryant PD\Sheet\M1-HVAC-Utility-Bryant PD.dwg

Plot Date: 3/10/2022 7:37:07 AM

Login: Vince Parrin

EXHAUST FAN SCHEDULE																
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR/ELECTRICAL DATA				ESTIMATED WEIGHT (LBS)	BASIS OF DESIGN	REMARKS			
			CFM	S.P. IN WG	RPM	FAN TYPE	DRIVE	HP	INPUT WATTS	VOLTS				PH	HZ	RPM
EF-1	FIRING RANGE	ROOF	4,400	2.5	1,980	BWI	BELT	5.0			230/460	3	60	1,755	357.98	DAYTON 7H171

ROOF TOP UNIT SCHEDULE																							
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION			GAS HEAT SECTION			COMPRESSOR SECTION			ESTIMATED WEIGHT (LBS)	BASIS OF DESIGN	REMARKS			
			CFM	ESP	BHP	HP	VOLTS	PH	MROP (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	LEA. TEMP (F) WB	AMBIENT DB (F)	CAPACITY INPUT MBH	OUTPUT MBH	EAT. (F)				LEA. (ARR)	HEAT CONTROL	CAPACITY CONTROL
AC-1	FIRING RANGE	F	4,000	0.75		3	208	3		49.0	80	67		150	105	70			2 STAGE	R-L-L-R 19.6/136.0	R410	1058 NET (1156 SHIPPNG)	TRANE YSC0120H3ELA
IH-1	FIRING RANGE		1,222				208	3														13.20 NET	WATCO DC100H

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
D2	100% CLOSED	D2	75% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)
D3	100% OPEN	D3	40% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)

H.V.A.C. REFERENCE KEYNOTES	
AC 1	AC = 10 TON GAS PACKAGE AC UNIT "TRANE" INPUT: 150,000 BTU / OUTPUT: 120,000 BTU 208-230V / 60 HZ / 3 PHASE MODEL # YSC120H3ELA
EF 1	EF = ROOFBRACKET MOUNTED EXHAUST FAN "DAYTON" MODEL # 7H171 5.0 HP, 208V / 60 HZ / 3 PHASE 12.50 AMP F.L.A. NEMA 3R
FR 1	99.97% 0.3 MICRON HEPA FILTER RACK WITH (4) - 24"x24"x4" SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS
VFD 1	VFD = VARIABLE FREQUENCY DRIVE, 5 MAX HP, 3 INPUT PHASE AC 240VAC INPUT VOLTAGE, 16 AMPS, MAX. OUTPUT MODEL NO. CFW081601D4A1Z
IH 1	15.0 KW / 41.64 AMP / 208V / 3-PHASE / 1,222 CFM / 400 FPM DUCT HEATER "WATCO" MODEL # DF C100H
PG 1, 2	(2) - DWYER MAGNEHELIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG
TH 1	NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28VAC 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR0241XZ1

H.V.A.C. SEQUENCE OF OPERATIONS

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NOTES

ORTHOGRAPHIC PROJECTION

MAINTENANCE AND RESPONSIBILITIES

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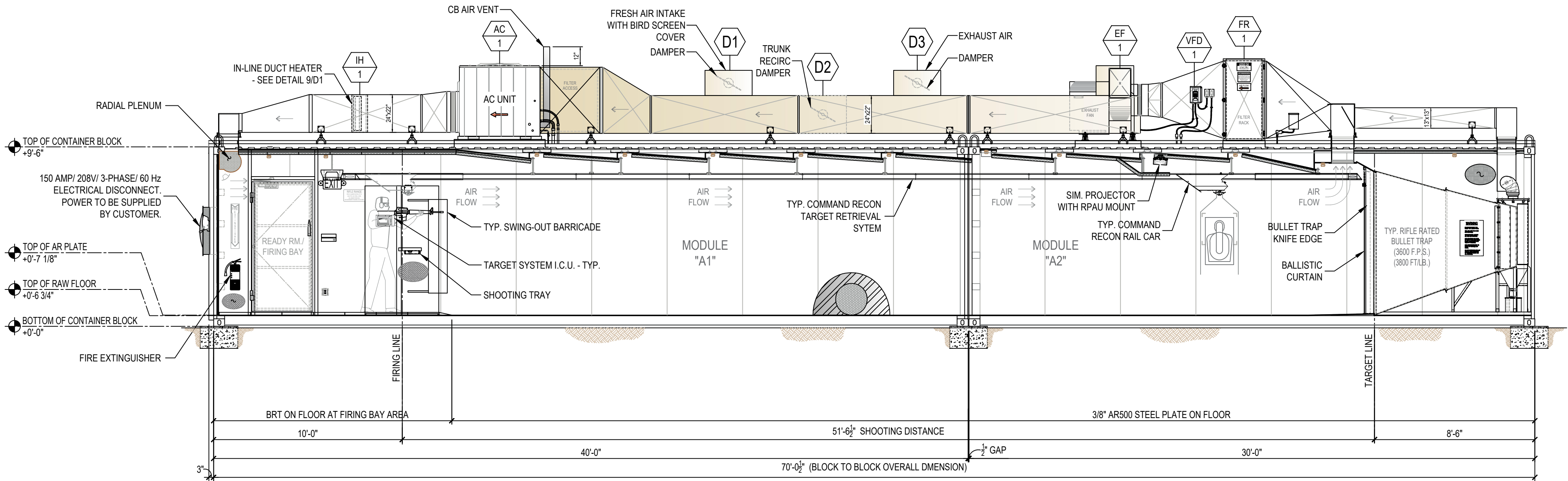
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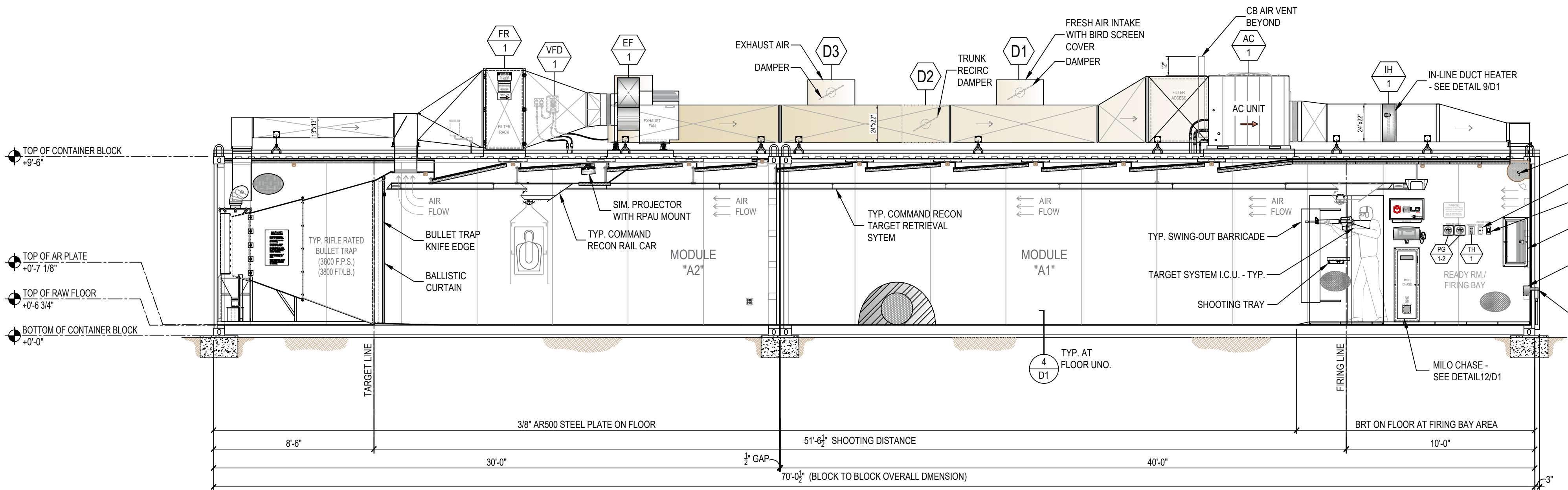
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1 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"

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 DATE: _____
 SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
1	FOR CONSTRUCTION	02-16-2022	VP

SHOOTING RANGE INDUSTRIES LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILO

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
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 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
H.V.A.C. LAYOUT
 (PLAN AND SECTION VIEW)

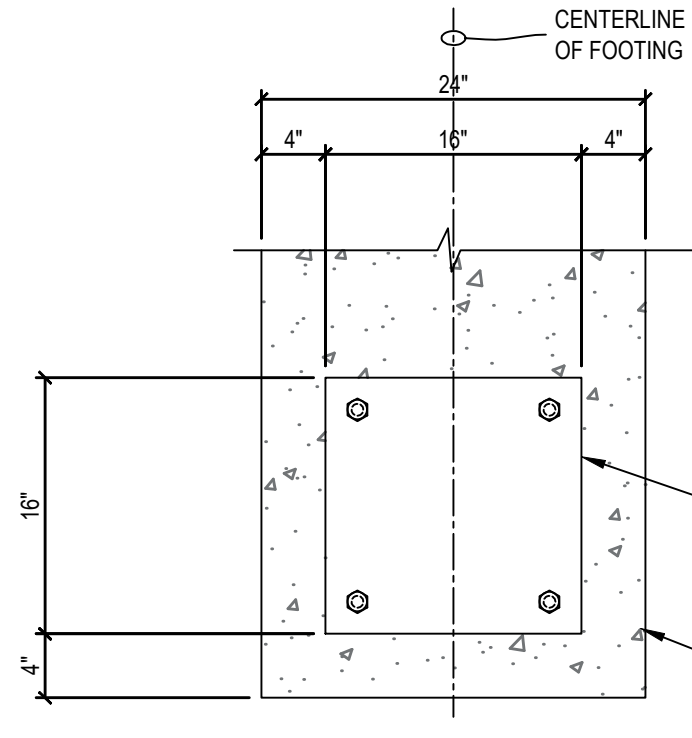
Drawn	Date	Checked	Date	Project No.	Scale	Sheet No.	Total
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022	SRI22103	AS NOTED
						M2	6 of 8

Drawing No: 22-103 Bryant PD

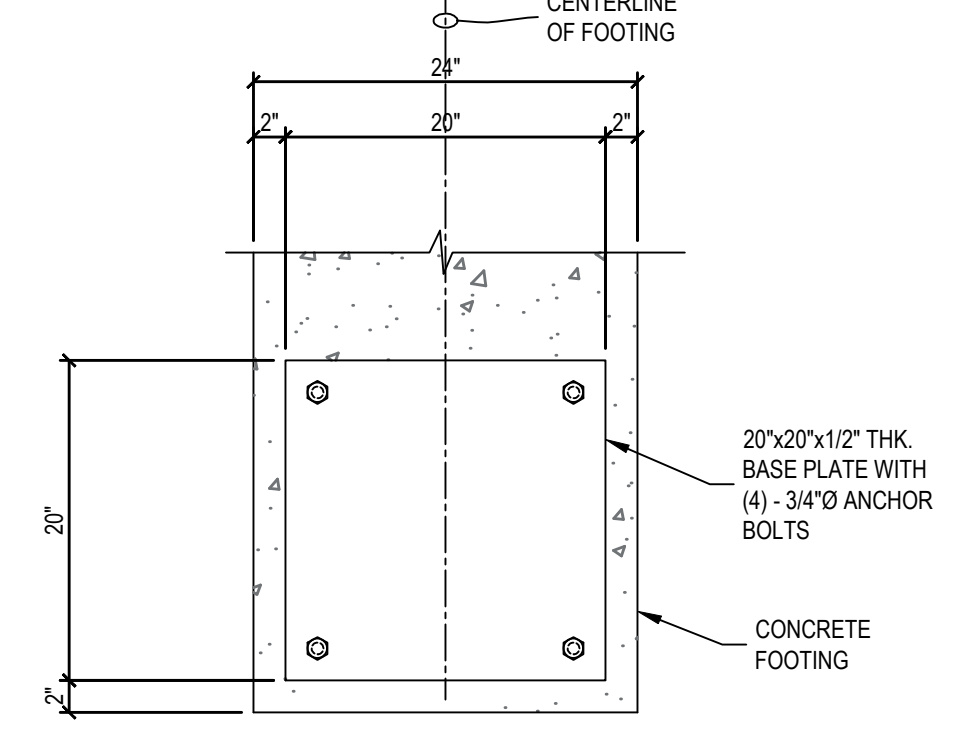
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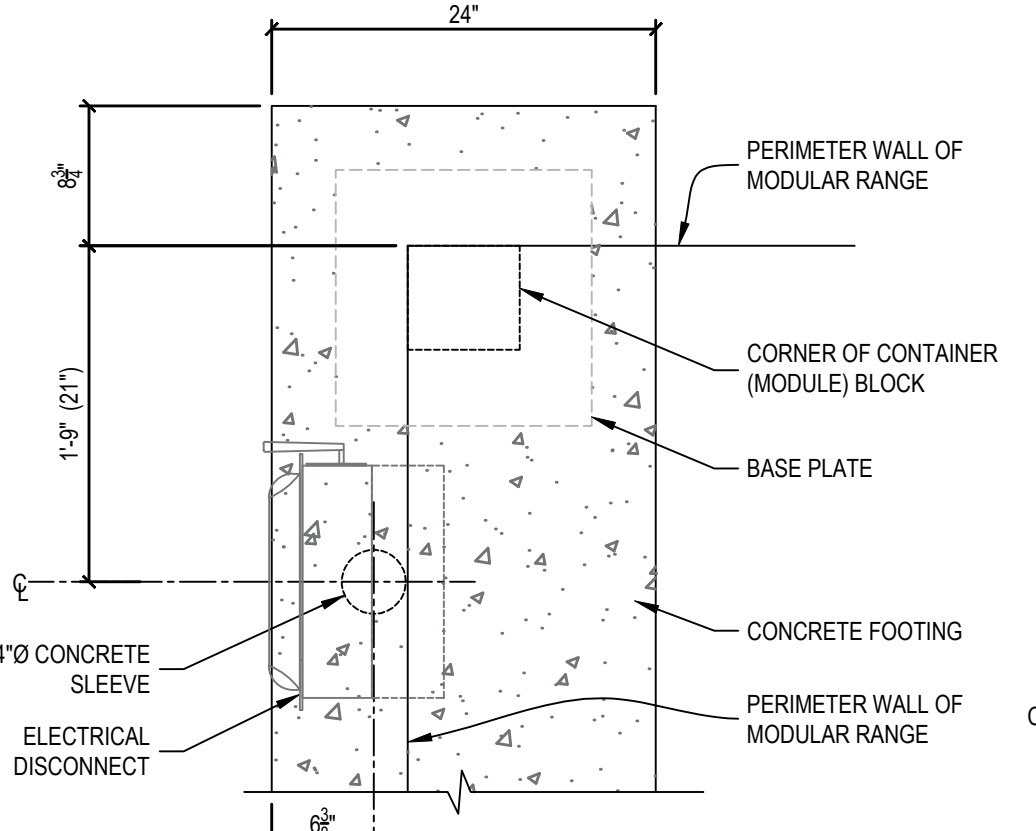
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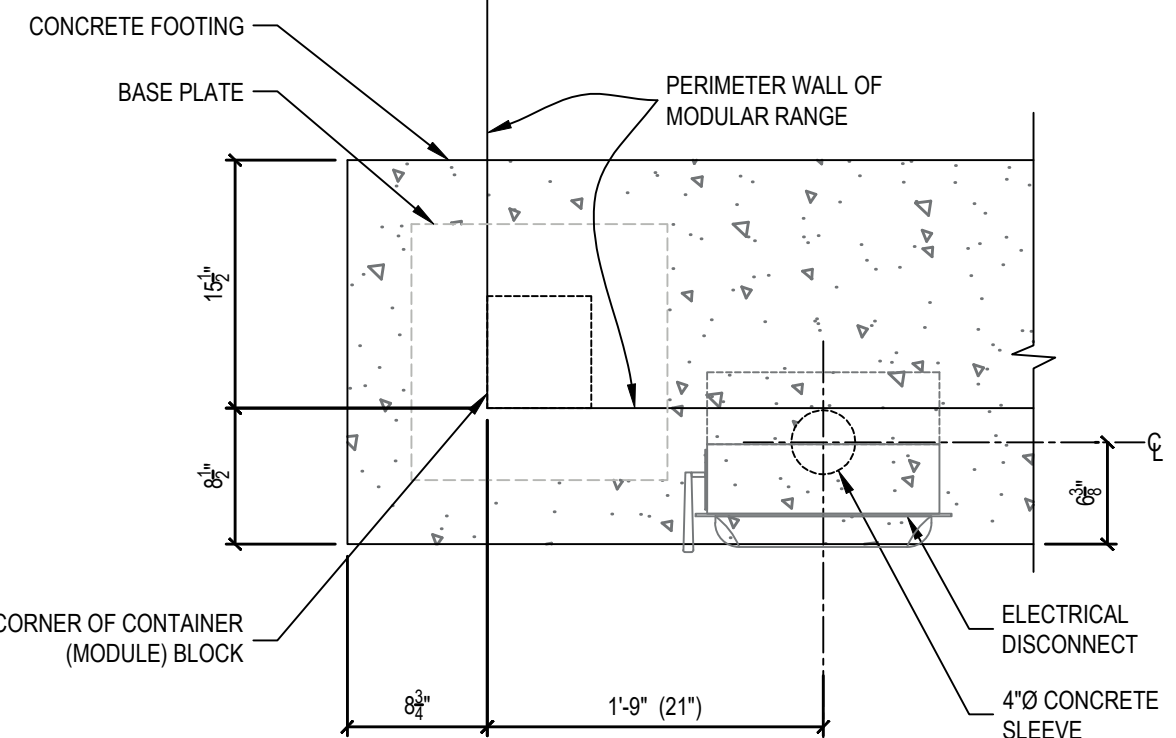
BASE PLATE PLAN



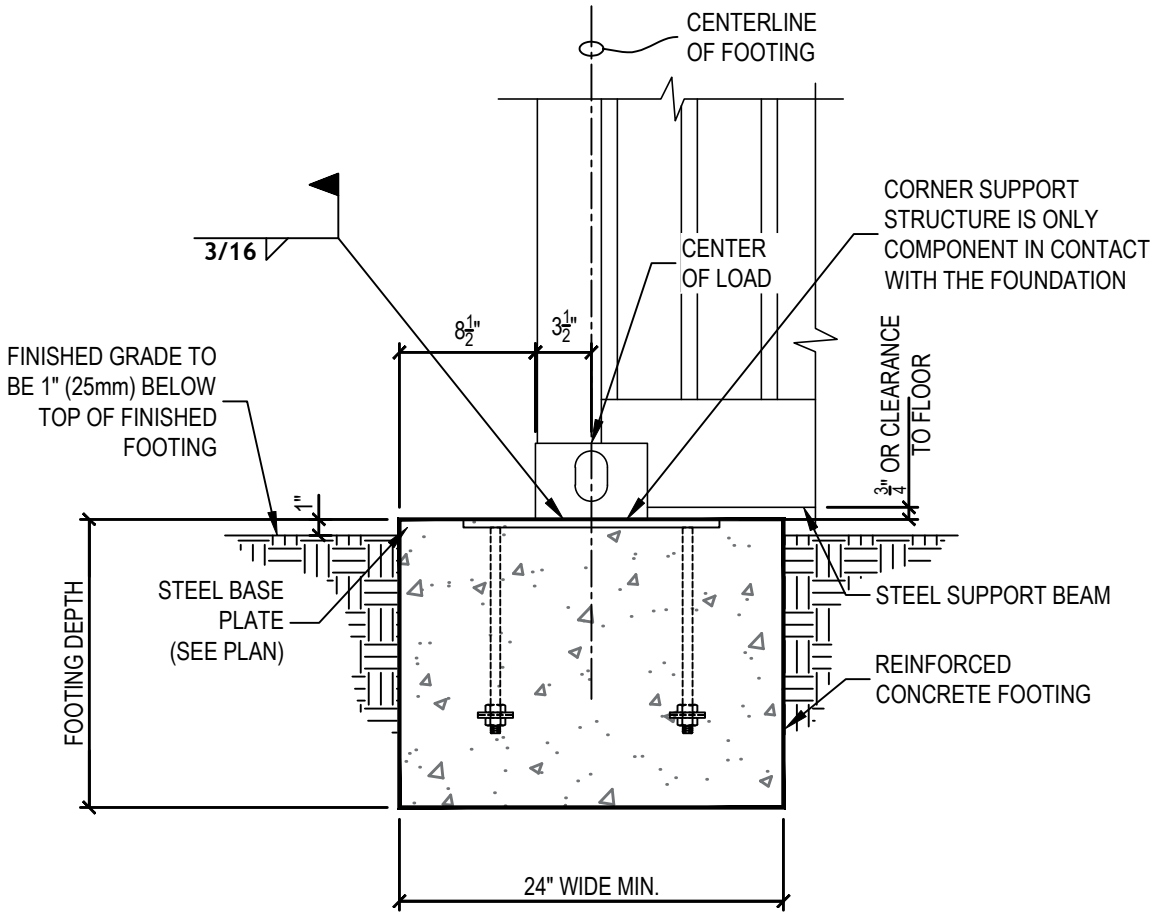
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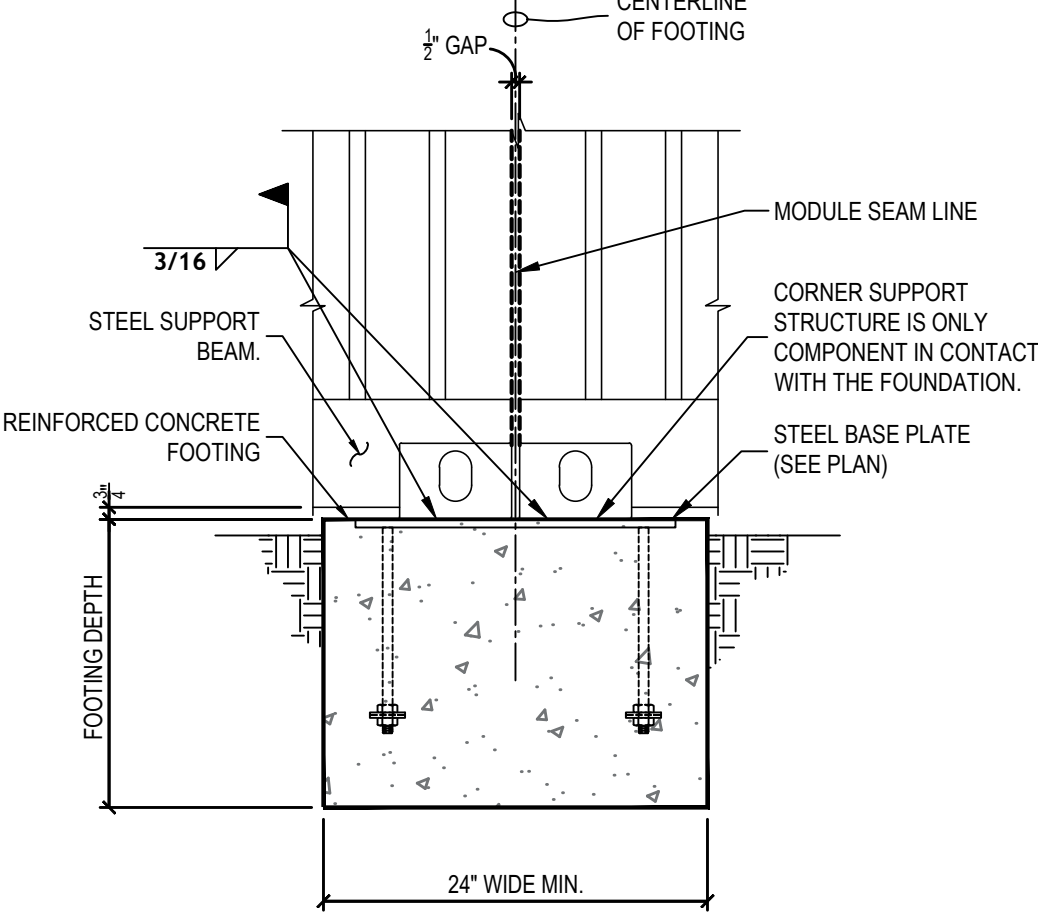
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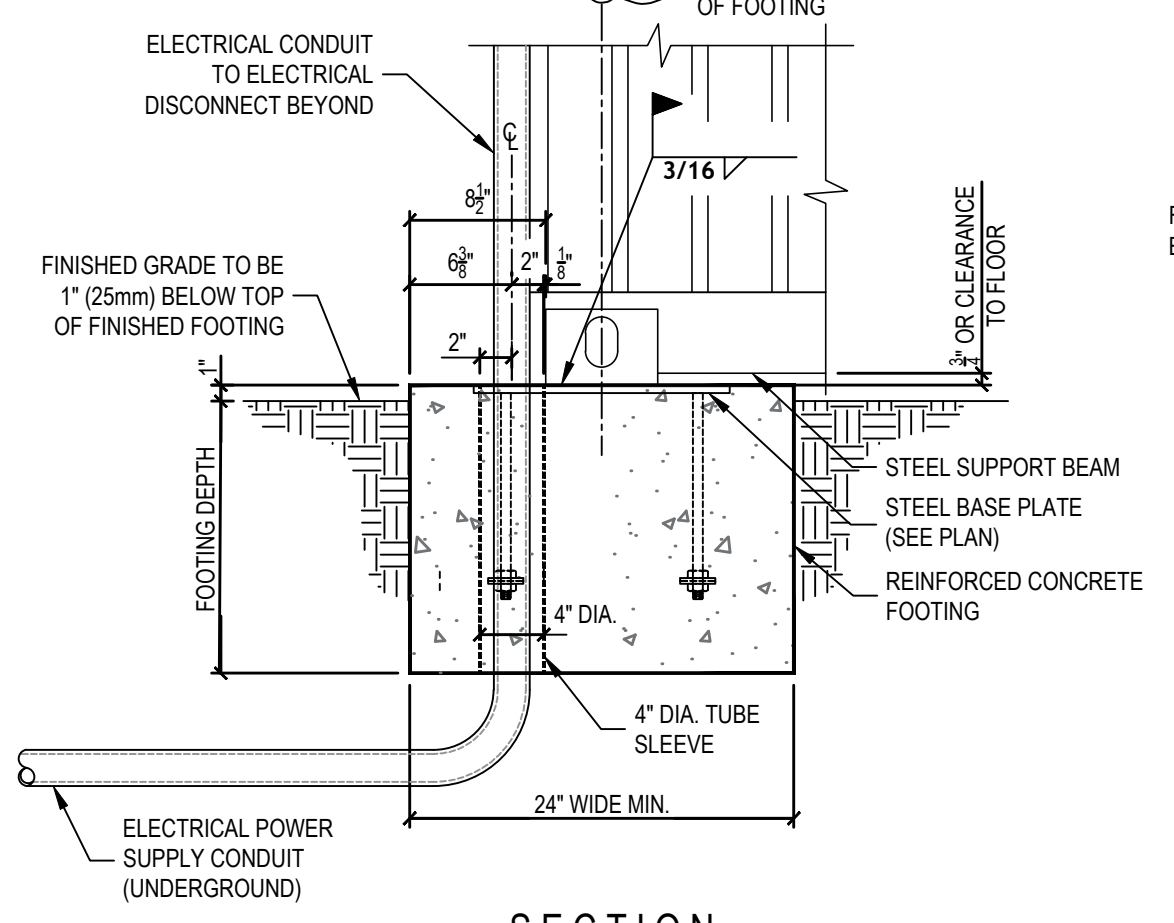
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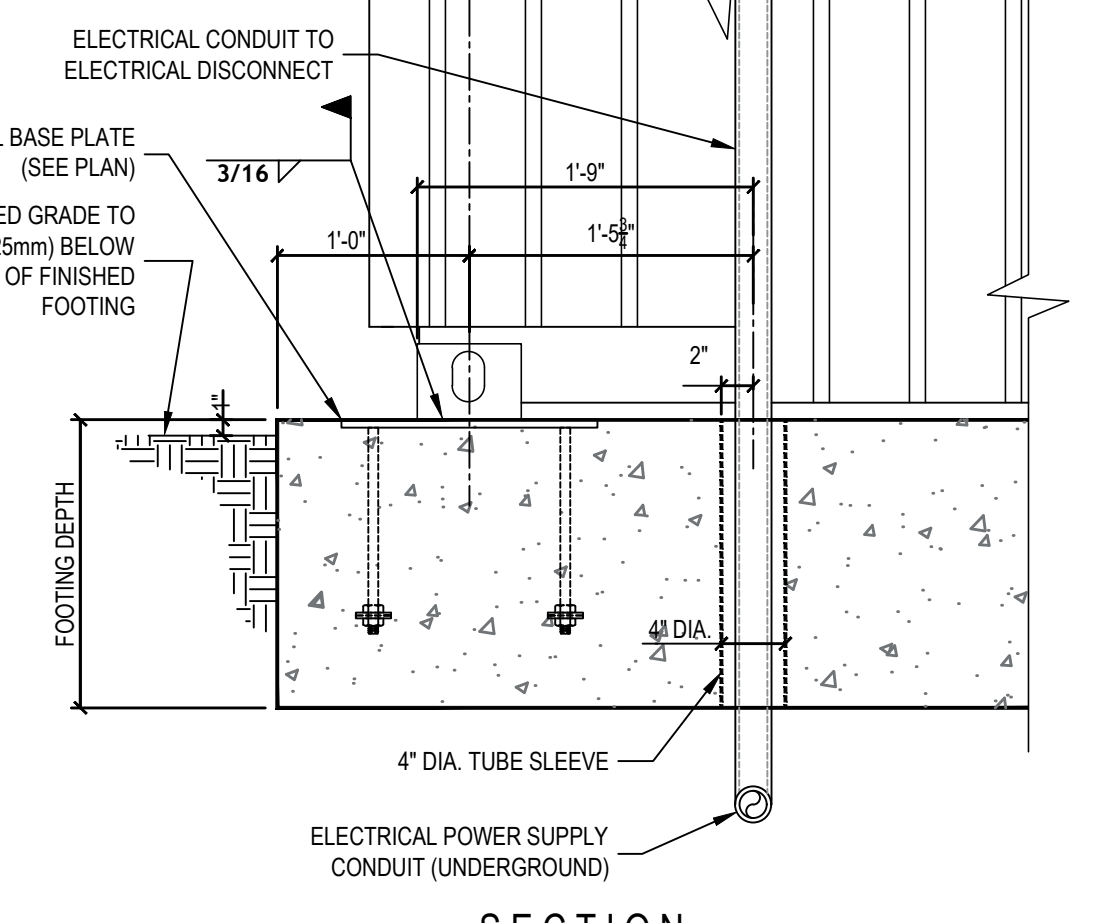
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SCALE: N.T.S.



2 FOOTING DETAIL AT SEAM CONDITION
SCALE: N.T.S.



3 FOOTING DETAIL AT ELECTRICAL DISCONNECT
SCALE: N.T.S.



4 FOOTING DETAIL AT ELECTRICAL DISCONNECT
SCALE: N.T.S.

DEAD LOAD KEYNOTES

10.0	10,000 LBS. (BASED ON UNFACTORED LOAD)
11.5	11,500 LBS. (BASED ON UNFACTORED LOAD)
12.0	12,000 LBS. (BASED ON UNFACTORED LOAD)

LIVE LOAD KEYNOTES

4.2	4,200 LBS. (BASED ON 70 LBS/ SQ. FT.)
5.6	5,600 LBS. (BASED ON 70 LBS/ SQ. FT.)

NOTES:

- CLIENT TO DETERMINE FOUNDATION: LENGTH, DEPTH, AND WIDTH DIMENSIONS BASED ON LOCAL SOIL CONDITION ANALYSIS.
- WEIGHTS ARE BASED ON UNFACTORED LOADS.
- TROWEL FINISH TO TOP OF FOOTING
- TOLERANCE: HEIGHT = +/- (1/4") - (1/4")
LENGTH = +/- (1/2") - (1/2")
- FINISH GRADE MINIMUM 1" BELOW TOP OF FOOTING

GROUNDING NOTES:

Lightning protection system to be designed per (NFPA 780) requirements and be installed and installed by others. A (#4) CU counterpoise conductor shall be installed per military design requirements and provided and installed by others. The range shall be grounded per NEC 250.50 requirements. This requirement shall be met by the installation of a concrete-encased electrode (20 lb. bare #4 AWG CU conductor at bottom of footing) or 8" x 5/8" diameter copper ground rod. The lightning protection system shall be bonded to the grounding system per NEC 250.106 requirements. A #4 CU conductor shall bond range panel ground bus to counterpoise conductor connected to lightning protection system. The grounding requirements and lightning protection bonding shall be provided and installed by others.

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CLIENT SHALL DESIGN THE CONCRETE FOOTINGS AND ANCHORING SYSTEM PER ASCE 7 OR PER GOVERNING BUILDING CODE.

FOOTING DESIGN MAY CHANGE BASE ON CUSTOMER REQUIREMENTS AND LOCAL SOIL CONDITIONS.

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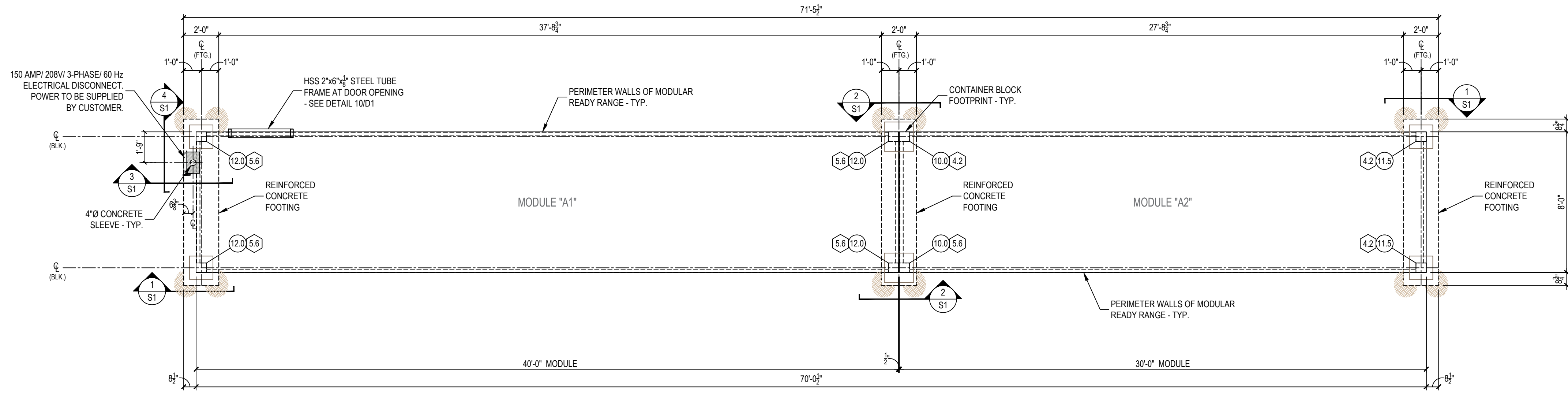
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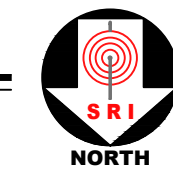
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PLAN VIEW - FOOTING LAYOUT AND LOAD REACTIONS TO FOUNDATION

SCALE: 1/4" = 1'-0"



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DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY	APPROVED	DATE
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Project Title
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2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
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PHONE NO. (501) 943-0372**

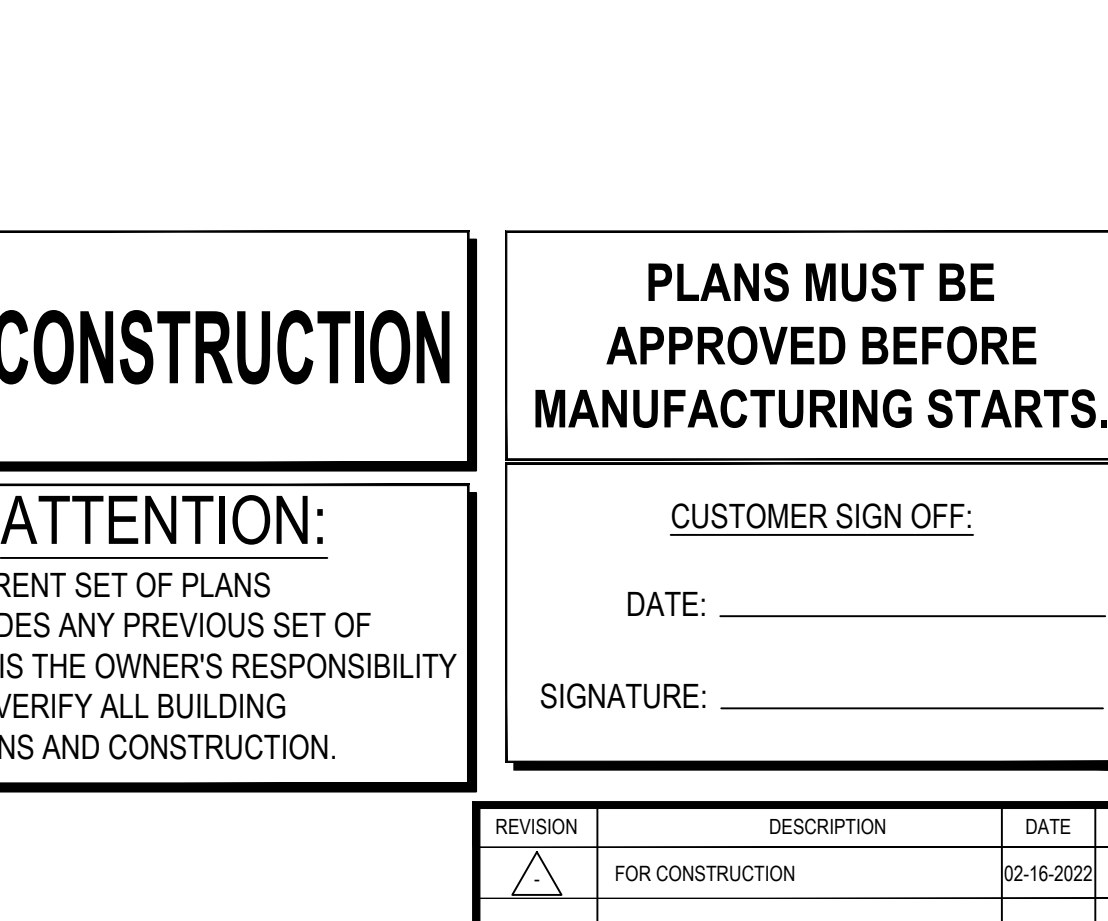
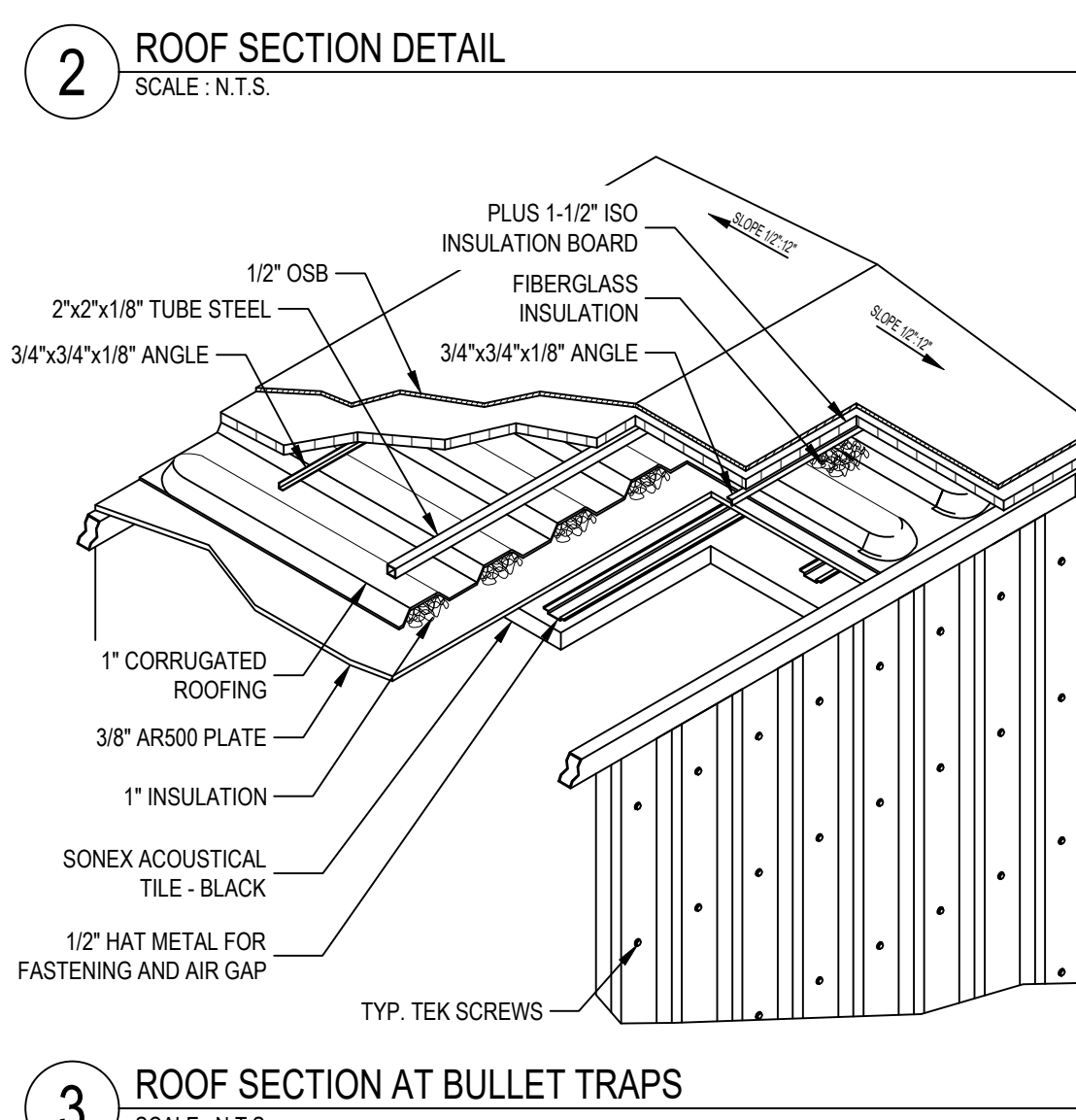
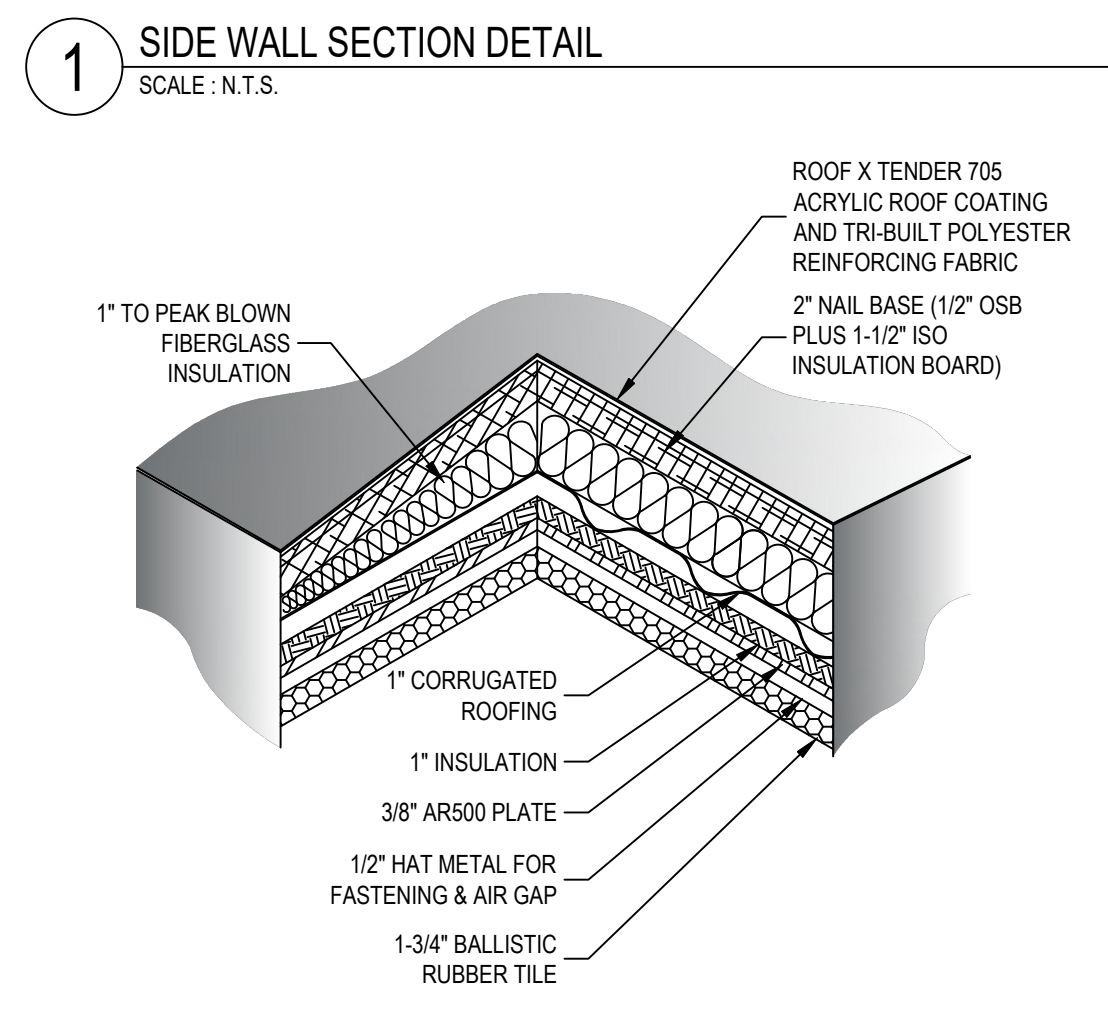
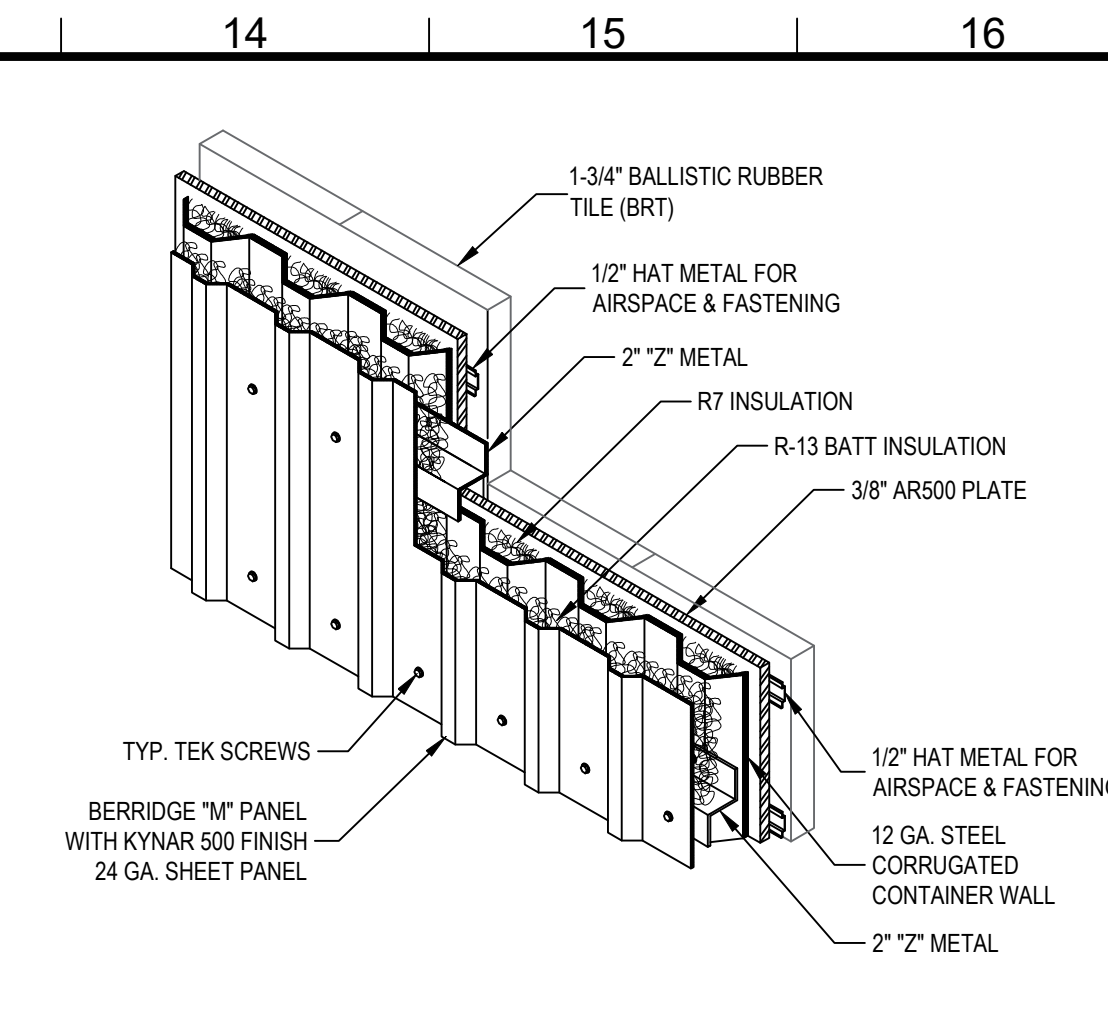
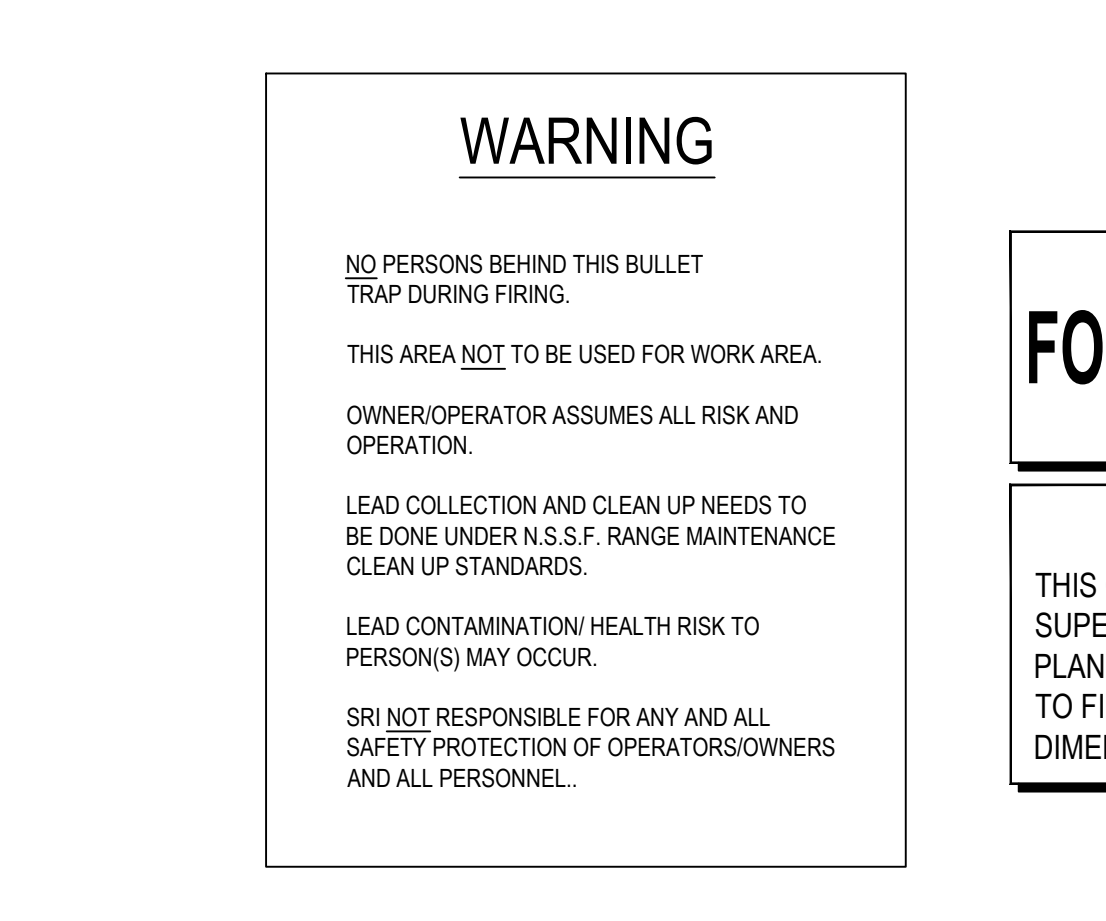
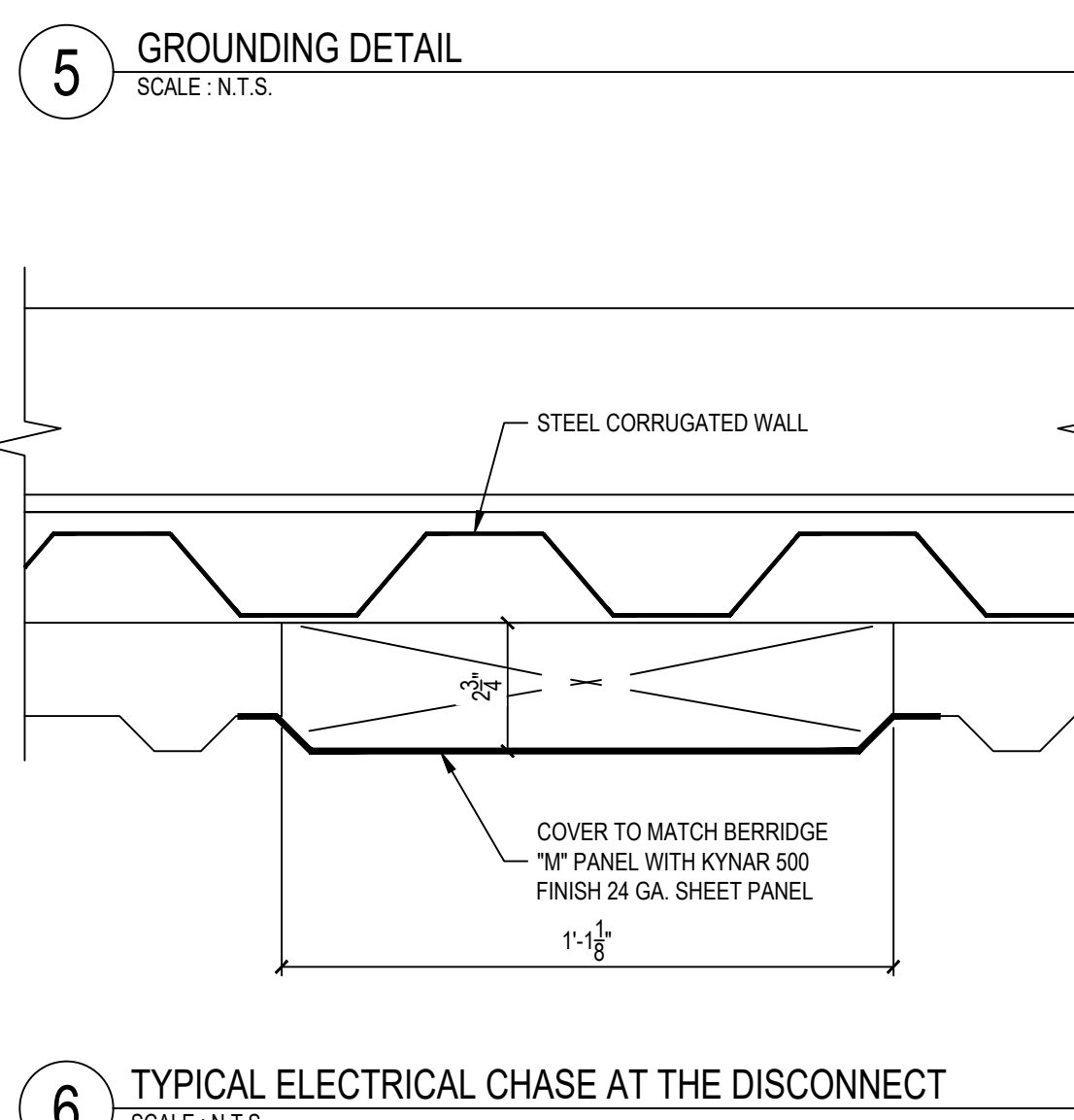
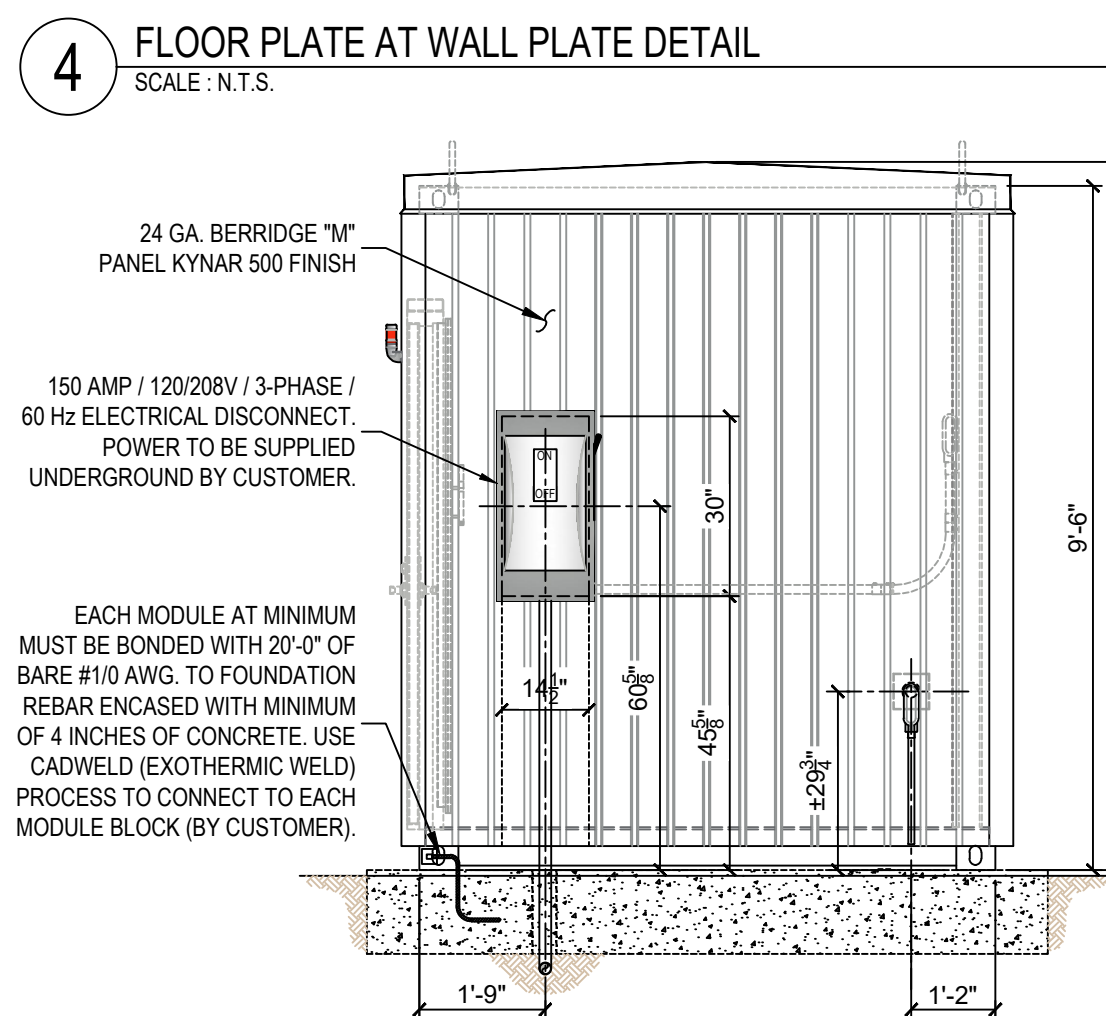
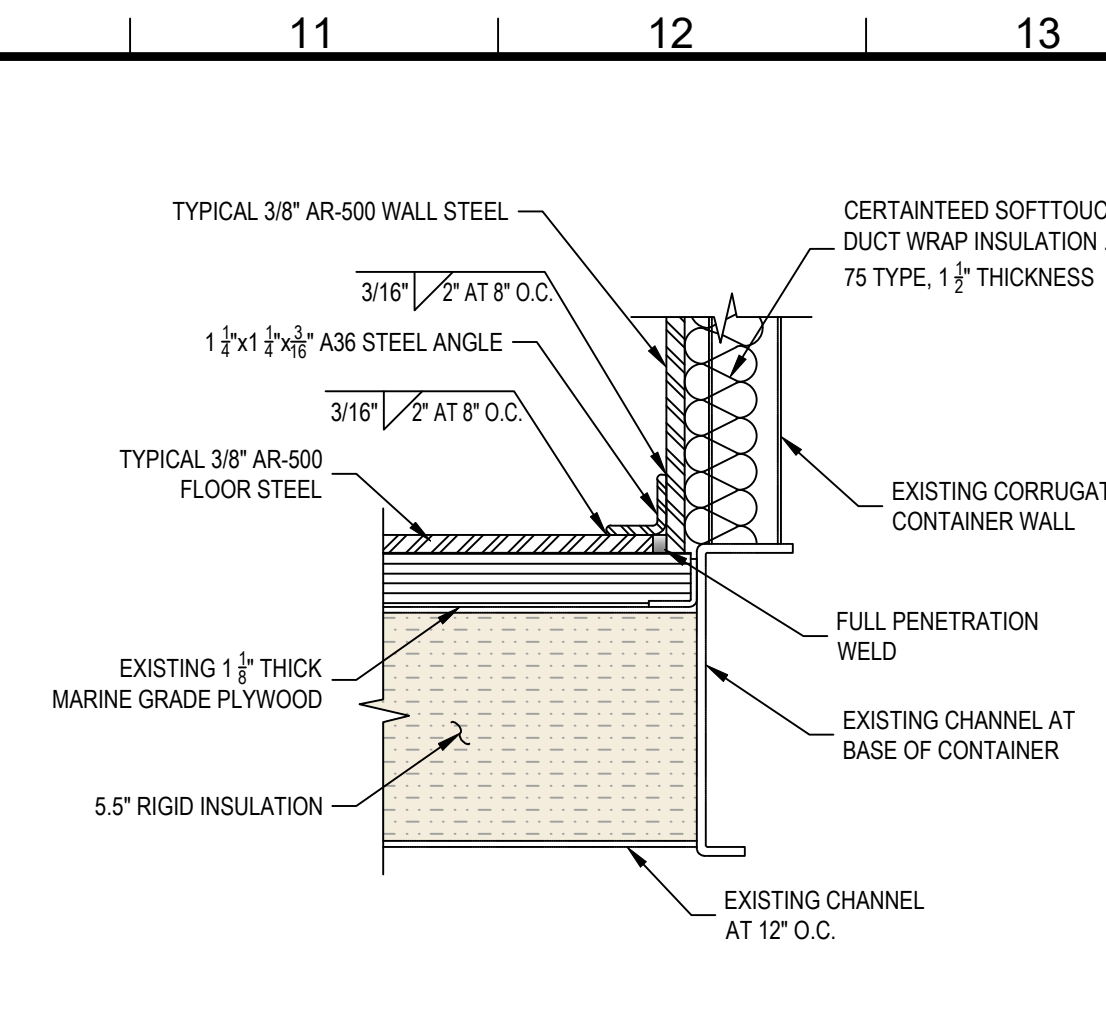
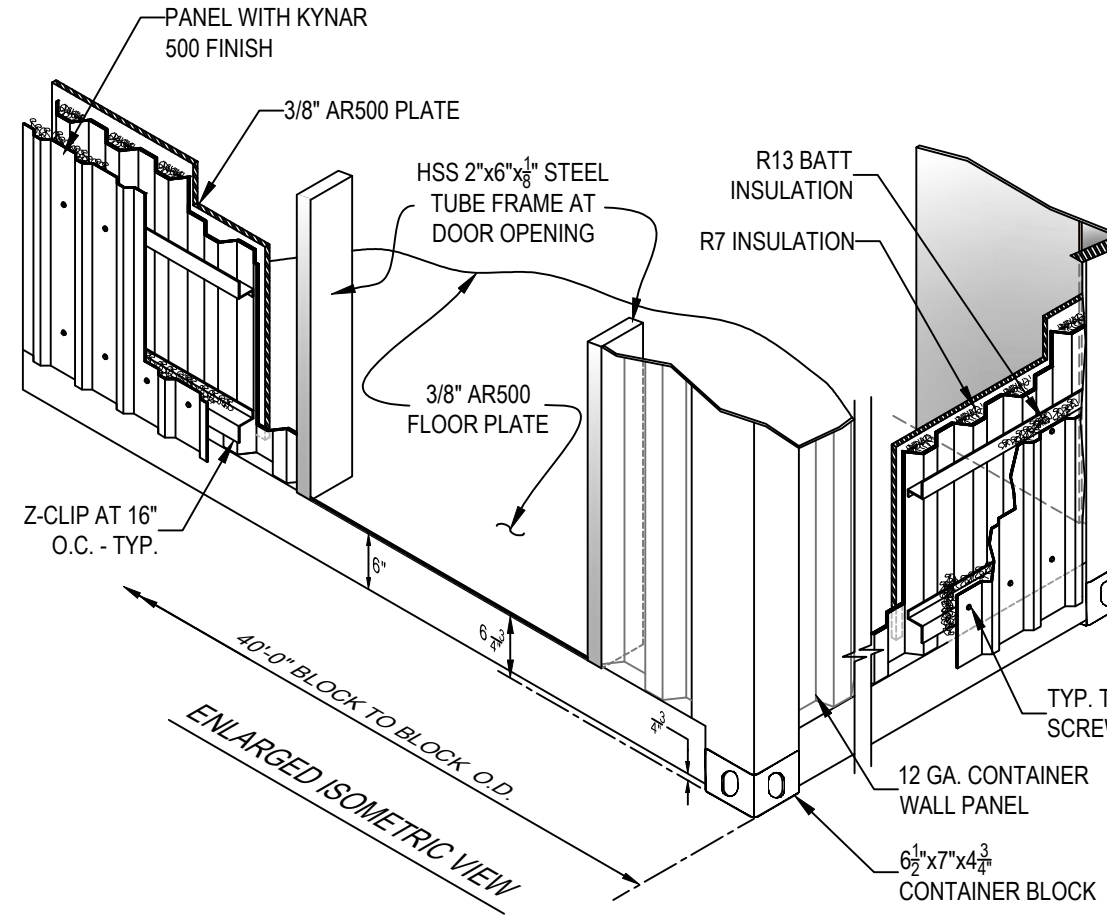
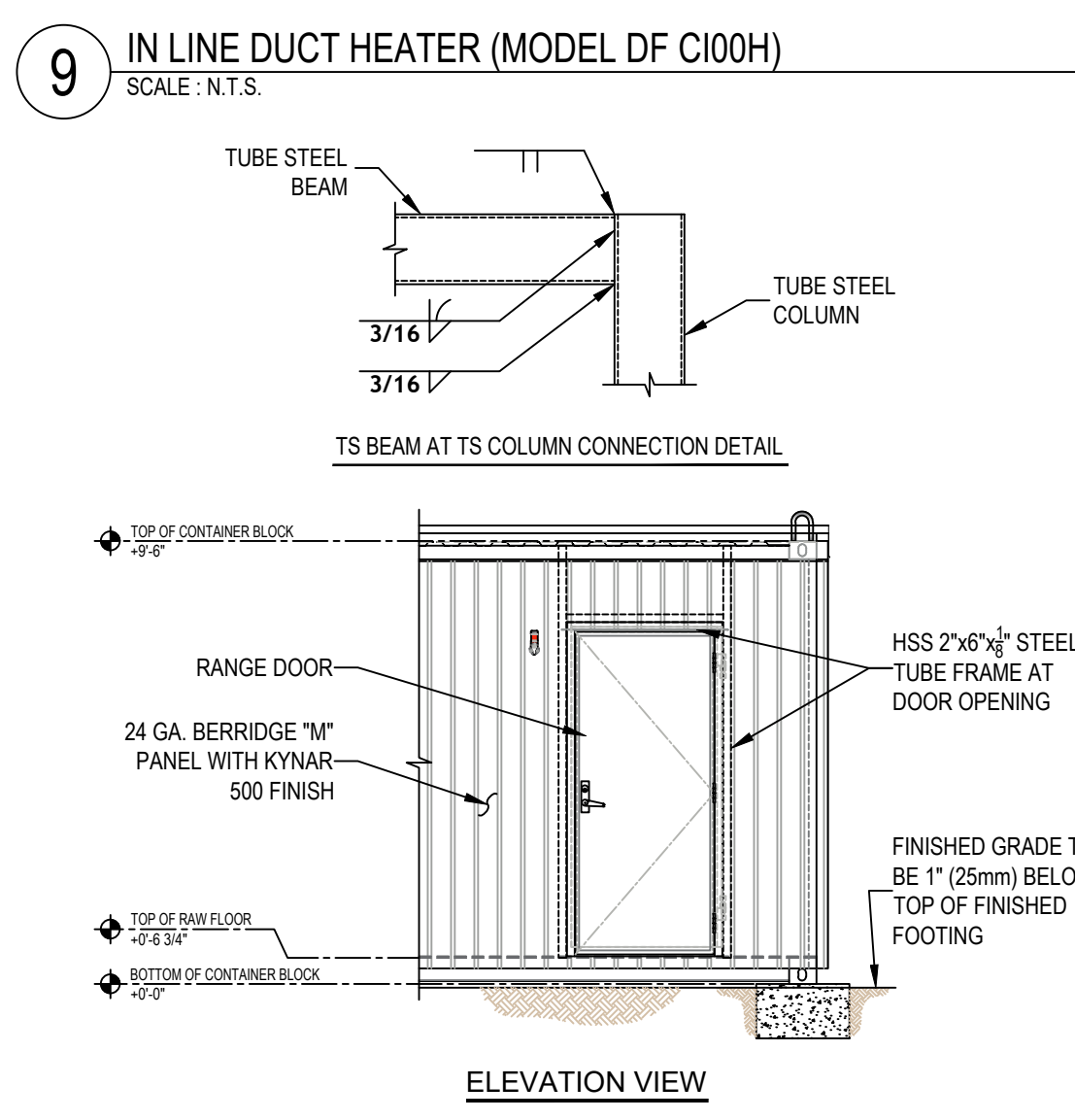
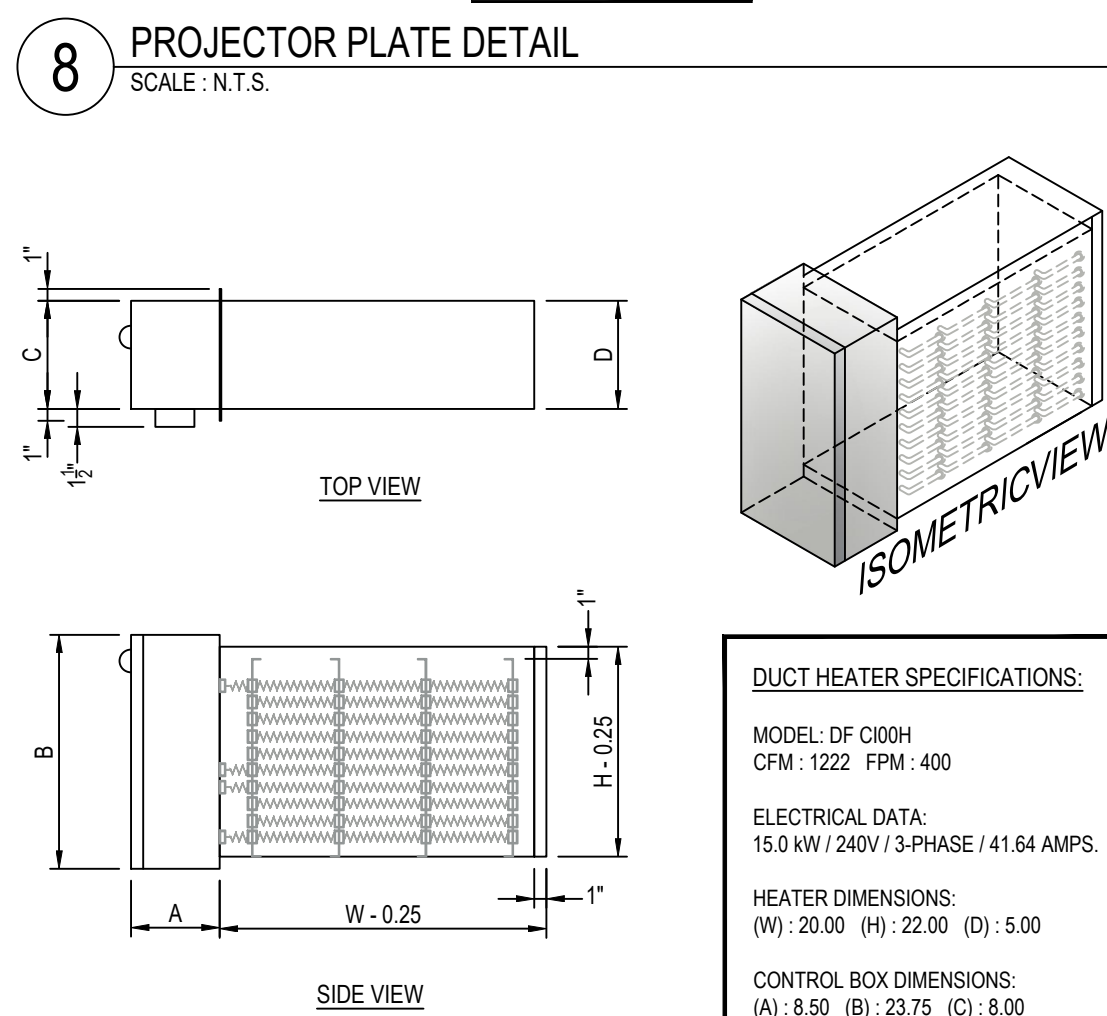
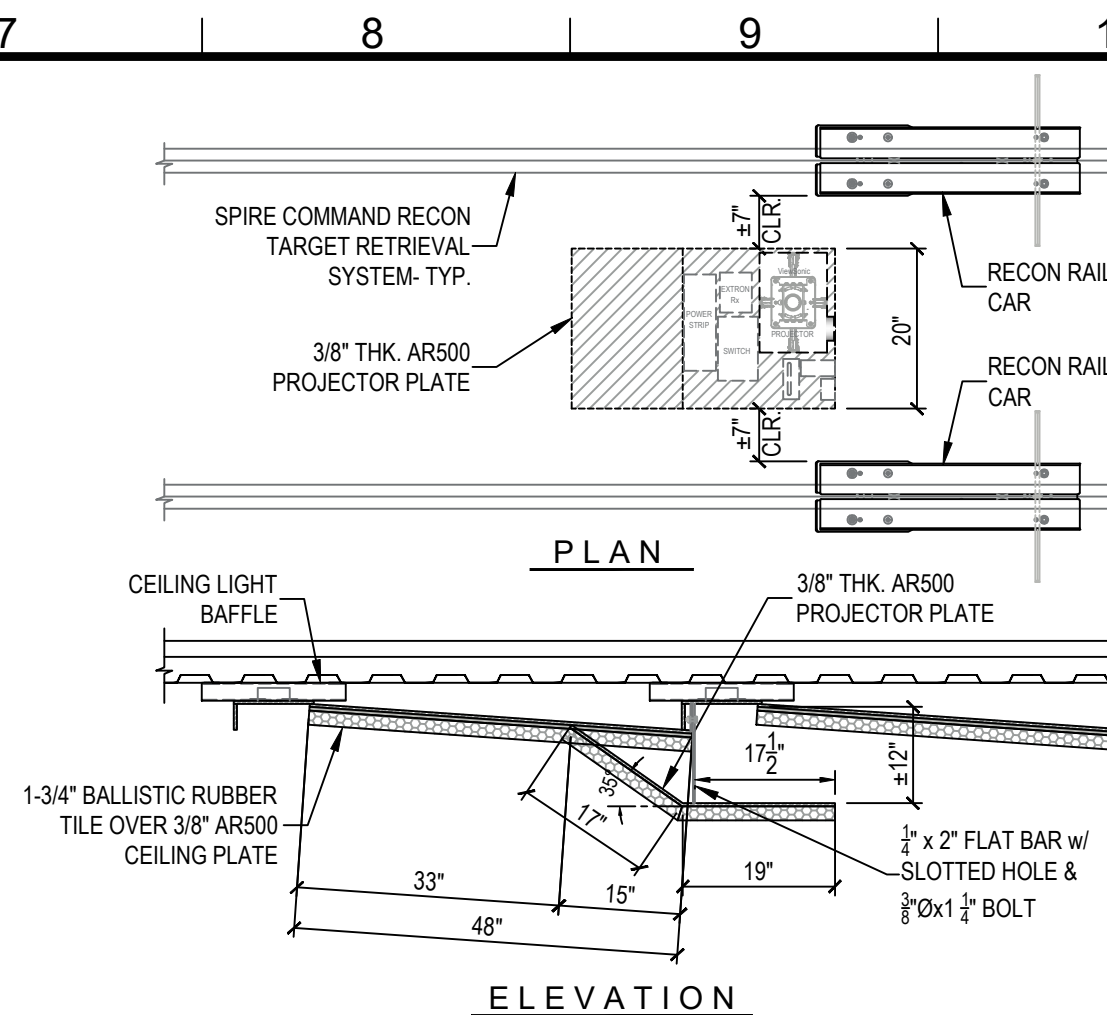
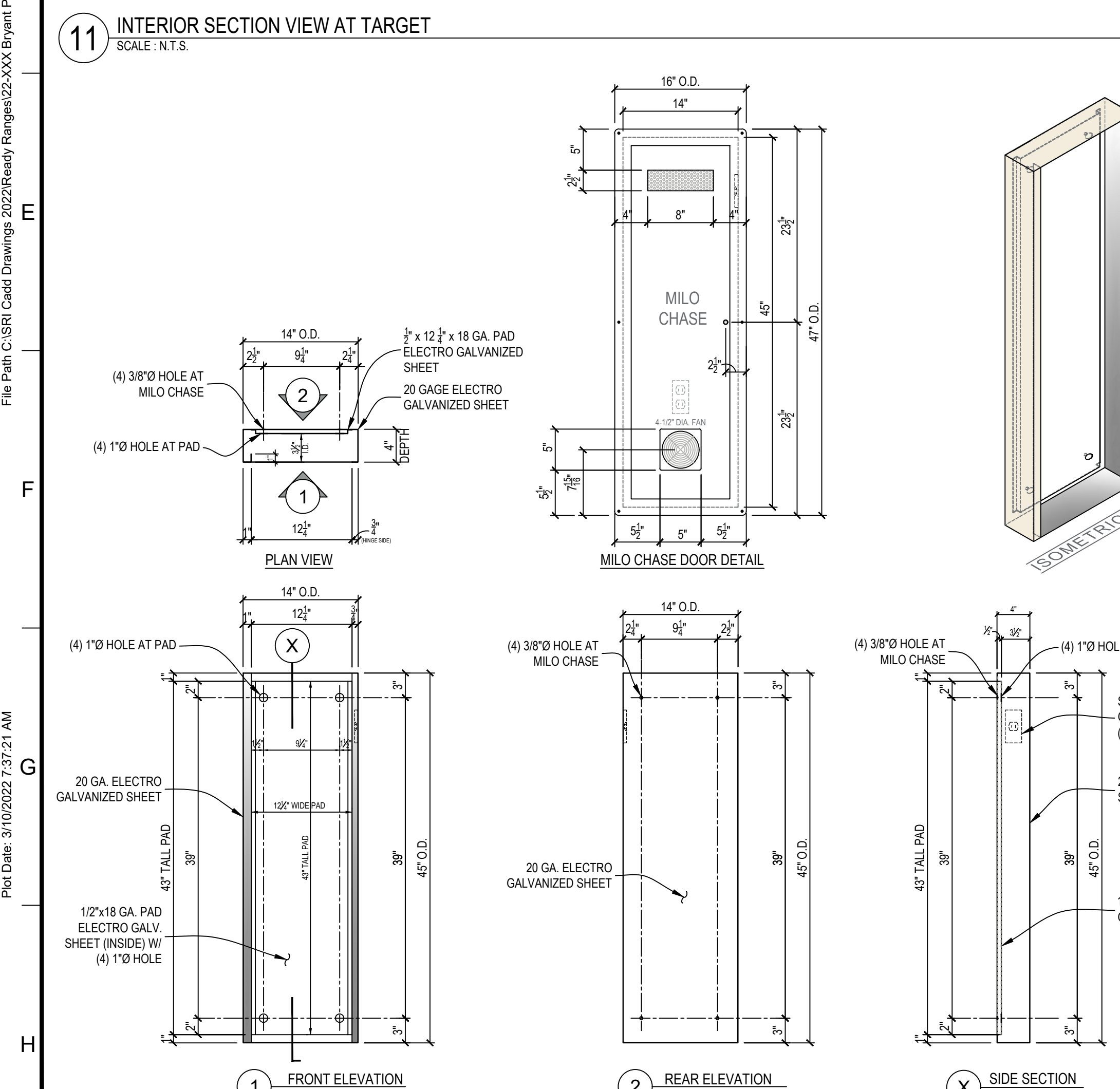
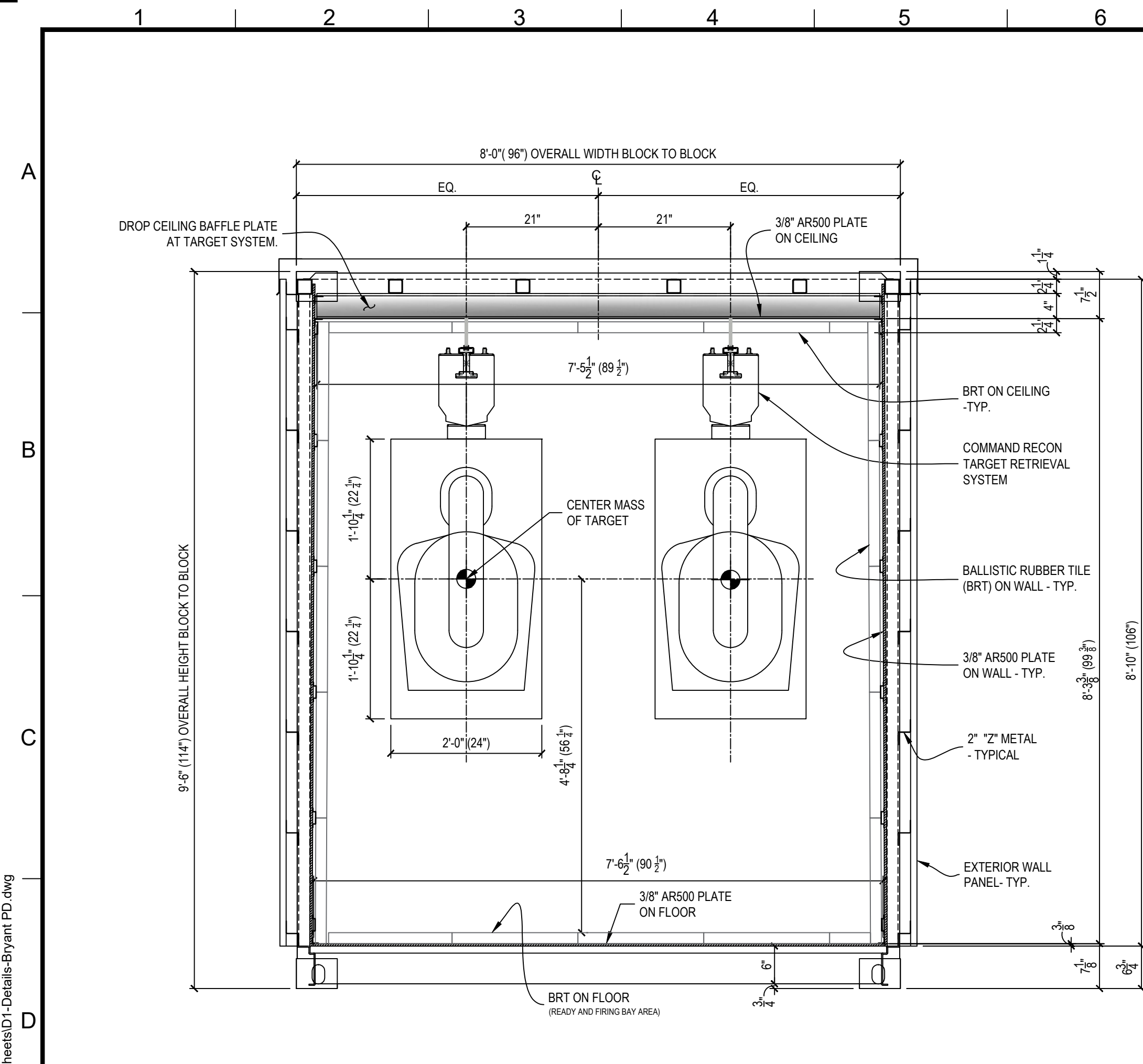
Drawing Title
**FOOTING LAYOUT
FOOTING DETAILS
LOAD REACTIONS/CALCS**

Drawn	Date	Checked	Date	Approved	Date
VP	02-03-2022	MH	02-03-2022	JC	02-03-2022
Project No.	Scale	Sheet No.			
SRI22103	AS NOTED	S1			
Drawing No.	Rev.				
22-103 Bryant PD	-				

SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978



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Improper maintenance or repair of the structure(s) by any personnel or its users for any of the above mentioned items, SRI is not responsible for the operation (interlocking system).

2. Supply & exhaust air must "always" be on and operating at the same time (interlocked together).

3. Structures must have a negative air pressure or a min. of 10% of total air supply.

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GENERAL NOTES

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SHOOTING RANGE INDUSTRIES, LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MIL0

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
DETAILS

REVISION

REVISION	DESCRIPTION	DATE	BY	APPROVED	DATE
VP	FOR CONSTRUCTION	02-16-2022	VP	JC	02-03-2022

Drawn Date: 02.03.2022
 Checked Date: 02.03.2022
 Project No: SRI22103
 Scale: AS NOTED
 Sheet No: D1
 Sheet: 8 of 8
 Drawing No: 22-103 Bryant PD

FOR CONSTRUCTION

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PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:

DATE: _____

SIGNATURE: _____

LIGHTING FIXTURE SCHEDULE								
QTY.	SYMBOL	BRAND	MODEL NO.	VOLTAGE	REQUIRED LAMPS		MOUNTING	REMARKS
					NUM.	TYPE		
12		LITHONIA	ZL1N	120V - 277V	1	0-10V DIMMING STD. NPH60 NIGHT SWITCHING DIMMING MODULE (3,500 LUMENS)	CEILING	LED STRIPLIGHT, SNAP ON FROSTED, DIFFUSE
1		LITHONIA	LHQM S W 3 R 120/277	120V - 277V	1	3.3 FIXTURE WATTS, LED EXIT, KRYPTON LAMP HEAD	WALL	COMBINATION EMERGENCY LIGHT AND EXIT FIXTURE

SYMBOL SCHEDULE:	
SYMBOL	DESCRIPTION
	DUPLEX ELECTRICAL RECEPTACLE (PLAN)
	DUPLEX ELECTRICAL RECEPTACLE (ELEV)
	QUADRUPEX ELECTRICAL RECEPTACLE (PLAN)
	QUADRUPEX ELECTRICAL RECEPTACLE (ELEV)
	LUTRON GRAFIK EYE 3000 CONTROLLER 120 VOLT
	ZL1N SERIES LED STRIP LIGHT FIXTURE (DIMMABLE) 120 VOLT
	THERMOSTAT
	FILTER PRESSURE
	RANGE PRESSURE
	PRESSURE SENSOR
	FIRE EXTINGUISHER (WALL MOUNTED)
	BALLISTIC RUBBER TILE
	SONEX SOUND TILE
	POLISHED ALUMINUM DIAMOND TREAD PLATE
	3/8" AR-500 STEEL PLATE

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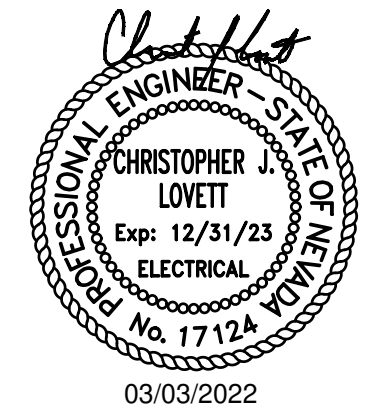
NOTES

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03/03/2022

RIFLE TRAPS:
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CUSTOMER SIGN OFF:
 DATE: _____
 SIGNATURE: _____

SHOOTING RANGE INDUSTRIES LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
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Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
ELECTRICAL LAYOUT
 (PLAN & SECTION VIEW)

REVISION	DESCRIPTION	DATE	BY	APPROVED	DATE
1	FOR CONSTRUCTION	02-16-2022	VP	JC	02-03-2022

Drawn: VP Date: 02-03-2022 Checked: MH Date: 02-03-2022 Approved: JC Date: 02-03-2022
 Project No: SRI22103 Scale: AS NOTED Sheet No: E1
 Drawing No: 22-103 Bryant PD Sheet 4 of 8

REVISION 002

EVOLUTION ENGINEERING
 3590 E. PATRICK LANE
 LAS VEGAS, NV 89120
 702-514-3366
 revolutionmep.com

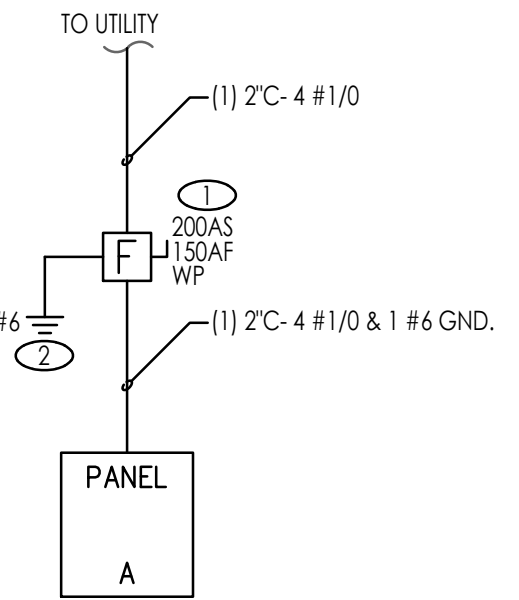


NOTICE

- OWNER TO VERIFY ALL EQUIPMENT VOLTAGES.
- DESIGN IN ACCORDANCE WITH 2020 NEC CODE

SHEET NOTES

- PROVIDE SERVICE RATED FUSED DISCONNECT AS SHOWN.
- GROUND PER NEC 250.52(A)(5).
- (1) 1 1/4" - 3 #4 & 1 #6 GND.
- WIRE THROUGH VFD PER MANUFACTURER'S RECOMMENDATIONS.



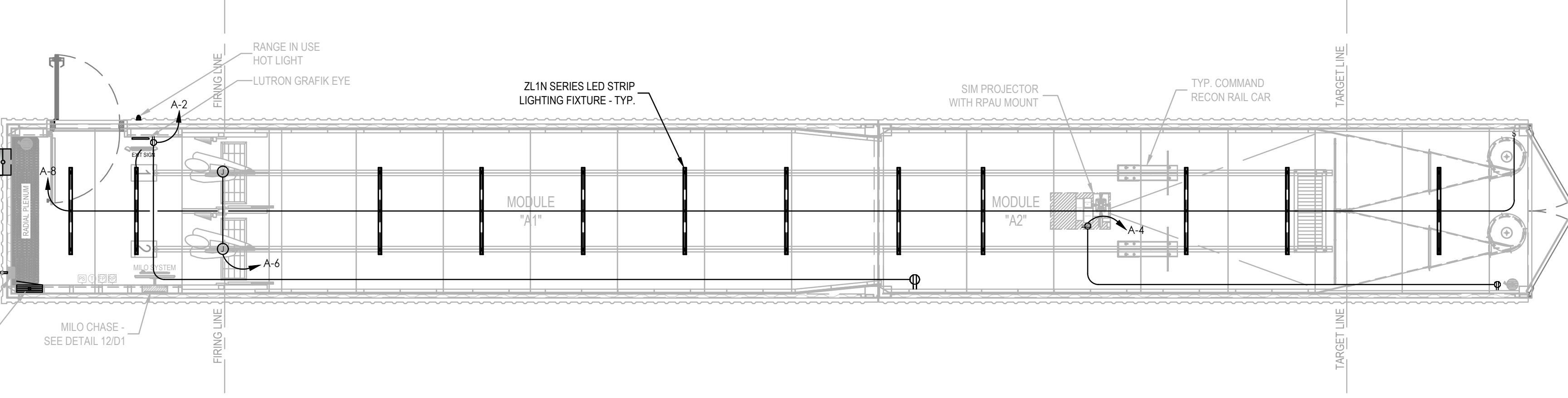
SINGLE LINE DIAGRAM

PANEL: A		VOLTAGE: 208 / 120 3Ø 4W		CIRCUIT CODE: blank or		N: NON-CONTINUOUS																			
DATE: 3/22 4:37 PM		BUS: 200A		LOCATION: CONTAINER		L: LONG-CONTINUOUS																			
JOB: 22.0057		MAINS: L.O		MOUNTING: SURFACE		R: DEMANDABLE RECEPTACLES																			
AIC RATING: 22,000		ØA: 6825		ØB: 6420		ØC: 6460																			
QTY	TRIP	POLE	DESCRIPTION	(NOTE)	M	R	L	ØA	ØB	ØC	A	B	C	ØA	ØB	ØC	L	R	M	(NOTE)	DESCRIPTION	TRIP	POLE	CODE	QTY
1	30	3	EF-1					1500						360			2			2	GEN RECEP.	20	1	2	2
3	3	3						1500						360			2			2	MODULE RECEP.	20	1	4	4
5	3	3												400			2			2	MOTOR CONTROL	20	1	6	6
7	80	3	AC-1					4560						405			12				LIGHTS	20	1	L	8
9								4560													SPACE				10
11																					SPACE				12
13																					SPACE				14
15																					SPACE				16
17																					SPACE				18
19																					SPACE				20
21																									22
23																									24
25																									26
27																									28
29																									30
31																									32
33																									34
35																									36
37																									38
39																									40
41																									42

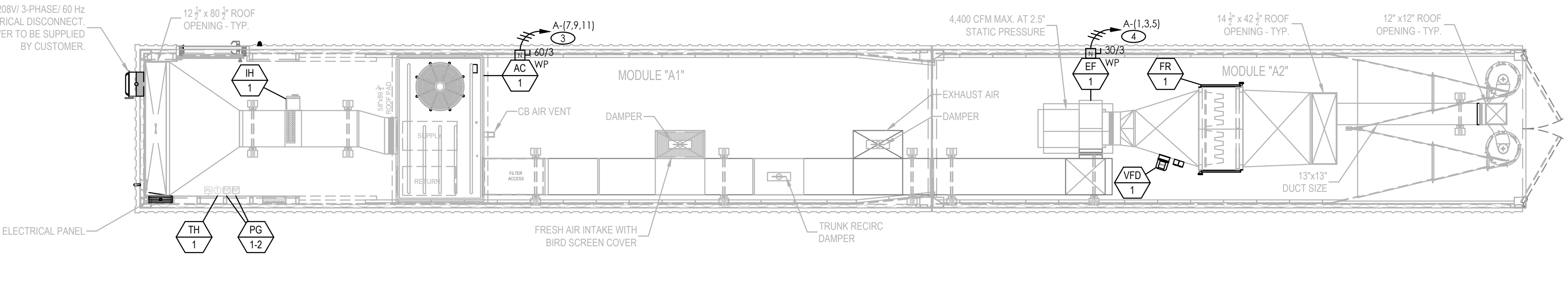
PANEL NOTES: PHASE TOTALS ØA: 6825 ØB: 6420 ØC: 6460

TOTAL CONNECTED VA	19705
CONNECTED VA (CODE N)	19300
CONNECTED VA (CODE L)	405
CONNECTED VA (CODE R)	0
CONNECTED VA (CODE K)	0
PANEL CONNECTED KVA	19.7
PANEL DEMAND KVA	19.8
PANEL DEMAND AMPS	55.0
HIGH Ø AMPS w/ DEMAND	57.7

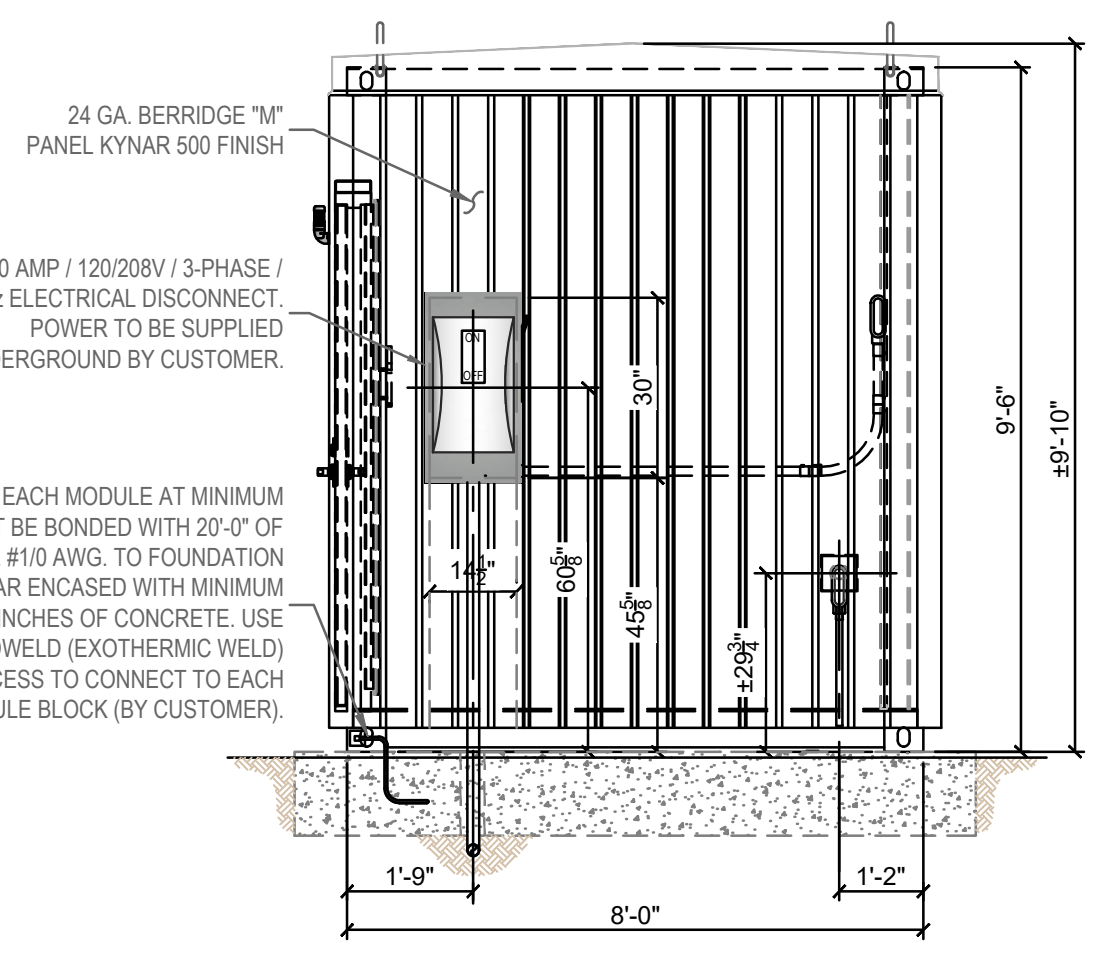
18 CKT PANEL



1 PLAN VIEW - ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"



2 ROOF VIEW - ELECTRICAL LAYOUT
 SCALE: 1/4" = 1'-0"



GROUNDING DETAIL
 SCALE: NTS

File Path: R:\Projects\2022\12-0057 Bryant PD Ready Range\4-Dwg\Electrical\1.dwg

Plot Date: 3/3/2022 4:37:51 PM

Login: Derek Thornhill

EXHAUST FAN SCHEDULE															
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR / ELECTRICAL DATA				ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS		
			CFM	S.P. IN WG	RPM	FAN TYPE	DRIVE	HP	VOLTS	PH				HZ	RPM
EF-1 TO EF-6	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0	208	3	60	1,755	357.98	DAYTON 7H171	PROVIDE WITH VFD

ROOF TOP UNIT SCHEDULE																									
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION				GAS HEAT SECTION				COMPRESSOR SECTION		ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS				
			CFM	ESP	BHP	HP	VOLTS	PH	MROP (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	WIB	AMBIENT DB (F)	CAPACITY INPUT MBH	OUTPUT MBH	EAT. (F)	LEA. (ARF)				HEAT CONTROL	CAPACITY CONTROL	POWER AMPS	REFRIG TYPE
AC-1	FIRING RANGE	F	4,000	0.75	-	3	208	3	60	49.0	130,000	95	77	95	150	120	32	60	T-STAG	2 STAGE	R.L.-L.R. 19.6/136.0	R410	1058 NET (1156 SHPPING)	TRANE YSC0120HJELA	NONE
IH-1	FIRING RANGE	-	1,222	-	-	-	208	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	13.20 NET	WATCO DFC00H	NONE

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
D2	100% CLOSED	D2	75% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)
D3	100% OPEN	D3	40% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)

H.V.A.C. REFERENCE KEYNOTES	
AC	AC = 10 TON GAS PACKAGE A/C UNIT "TRANE" INPUT: 150,000 BTU / OUTPUT: 120,000 BTU 208-230V / 60 Hz / 3 PHASE MODEL # YSC120HJELA
EF	EF = ROOFBRACKET MOUNTED EXHAUST FAN "DAYTON" MODEL #7H171 5.0 HP, 208V / 60 Hz / 3 PHASE 12.50 AMP F.L.A. NEMA 3R
FR	99.97% 0.3 MICRON HEPA FILTER RACK WITH (4) - 24"x24"x2" SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS
VFD	VFD = VARIABLE FREQUENCY DRIVE, 5 MAX. HP, 3 INPUT PHASE AC 240VAC INPUT VOLTAGE, 16 AMPS, MAX. OUTPUT MODEL NO. CFW080160TD4A1Z
IH	15.0 KW / 41.64 AMP / 208V / 3-PHASE / 1,222 CFM / 400 FPM DUCT HEATER "WATCO" MODEL # DF C100H
PG	(2) - DWYER MAGNEHELIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG
TH	NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28Vdc 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR024T4XZ1

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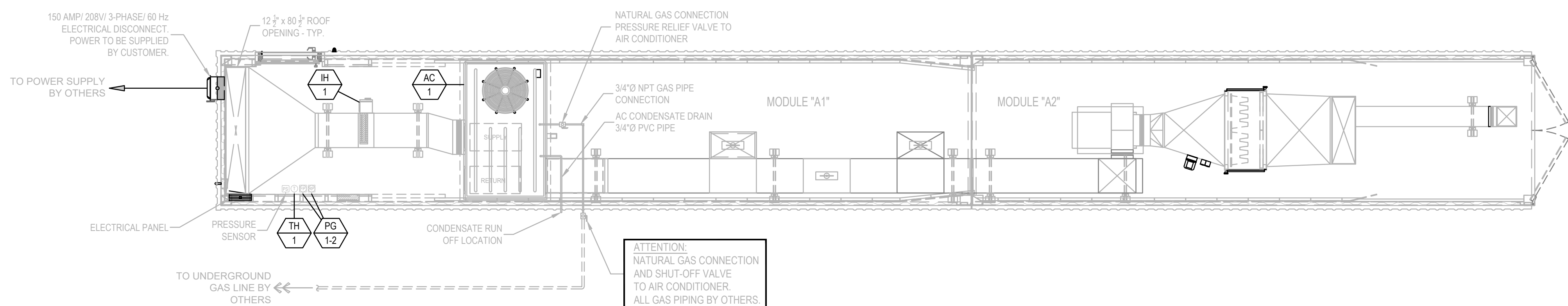
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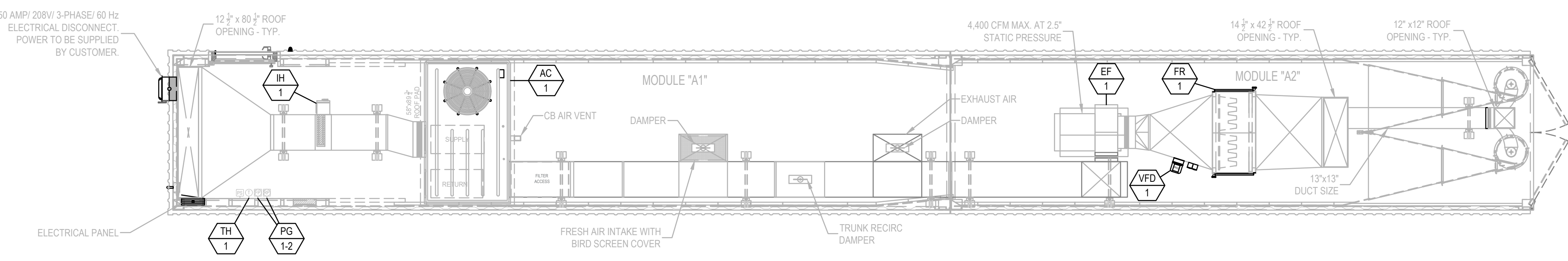
- EACH MODULE HVAC SYSTEM SHALL BE ACTIVATED BY SWITCH (THERMOSTAT) ON WALL.
- UPON ACTIVATION, THE EXHAUST FAN AND ROOFTOP UNIT SUPPLY FAN SHALL BE ENABLED. ALL FANS SHALL OPERATE AT CONSTANT SPEED TO MAINTAIN PROPER VELOCITY AND PRESSURIZATION INSIDE MODULE.
- THE SPACE TEMPERATURE SHALL BE CONTROLLED VIA THE THERMOSTAT TO MAINTAIN SETPOINT. COOLING WILL BE ACCOMPLISHED IN TWO (2) STAGES, VIA THE MULTI-STAGE COMPRESSOR, HEATING WILL BE ACCOMPLISHED IN FOUR (4) STAGES, VIA THE ROOFTOP UNITS GAS HEATER AND ELECTRIC HEAT STRIP LOCATED IN THE DUCT. THE ELECTRIC HEAT STRIP SHALL OPERATE AS THE PRIMARY HEATING SOURCE, AND THE ROOFTOP UNIT GAS HEATING SECTION SHALL OPERATE WHEN THE HEAT PUMP IS UNABLE TO MAINTAIN THE HEATING TEMPERATURE SETPOINT.

NOTES:

- POWER BY CUSTOMER.
- CUSTOMER IS RESPONSIBLE FOR DRAINAGE LOCATION AND PROTECTION OF CONDENSATE LINES FROM FREEZING.



PLAN VIEW - UTILITY LAYOUT
SCALE: 1/4" = 1'-0"



PLAN VIEW - H.V.A.C. LAYOUT
SCALE: 1/4" = 1'-0"



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REVISION	DESCRIPTION	DATE	BY
VP	FOR CONSTRUCTION	02-16-2022	VP



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MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
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Project Title
**BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372**

Drawing Title
**H.V.A.C. LAYOUT
UTILITY LAYOUT
(PLAN VIEW)**

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

Project No. **SRI22103** Scale **AS NOTED** Sheet No. **M1**
Sheet 5 of 8

Drawing No. **22-103 Bryant PD** Rev. **-**

EVOLUTION ENGINEERING
3590 E. PATRICK LANE
LAS VEGAS, NV 89120
702-514-3366
revolutionmep.com

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Plot Date: 3/3/2022 4:16:11 PM
Login: Brian Patalon

EXHAUST FAN SCHEDULE															
UNIT NO.	SERVICE	LOCATION	FAN DATA				MOTOR / ELECTRICAL DATA				ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS		
			CFM	S.P. IN WG	RPM	FAN TYPE	DRIVE	HP	VOLTS	PH				HZ	RPM
EF-1 TO EF-5	FIRING RANGE	ROOF	4,400	2.5	1,980	BW1	BELT	5.0	208	3	60	1,755	357.98	DAYTON 7H171	PROVIDE WITH VFD

ROOF TOP UNIT SCHEDULE																									
UNIT NO.	SERVICE	FAN TYPE	FAN DATA			ELECTRICAL DATA			COOLING COIL SECTION				GAS HEAT SECTION		COMPRESSOR SECTION		ESTIMATED WEIGHT (Lbs)	BASIS OF DESIGN	REMARKS						
			CFM	ESP	BHP	HP	VOLTS	PH	MROP (A)	MCA (A)	CAPACITY Btu/hr	ENT. TEMP (F) DB	WIB	AMB. DB (F)	CAPACITY INPUT MBH	OUTPUT MBH				EAT. (F)	LEA. (ARH)	HEAT CONTROL	CAPACITY CONTROL	POWER AMPS	REFRIG. TYPE
AC-1	FIRING RANGE	F	4,000	0.75	-	3	208	3	60	49.0	130,000	95	77	95	150	120	32	60	T-STAG	2 STAGE	R.L.-L.R. 19.6/136.0	R410	1058 NET (1156 SHP/PM)	TRANE YSC0120HSELA	NONE
IH-1	FIRING RANGE	-	1,222	-	-	-	208	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	13.20 NET	WATCOO DFC00H	NONE

DAMPER SCHEDULE - SEQUENCE OF OPERATION			
PRIMARY OPERATION - PURGE SYSTEM		EXTREME OPERATION - PARTIAL RECIRCULATION	
D1	100% OPEN	D1	10% OPEN
D2	100% CLOSED	D2	75% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)
D3	100% OPEN	D3	40% OPEN (BALANCED TO MAINTAIN NEGATIVE PRESSURE)

H.V.A.C. REFERENCE KEYNOTES	
AC	AC = 10 TON GAS PACKAGE A/C UNIT "TRANE" INPUT: 150,000 BTU / OUTPUT: 120,000 BTU 208-230V / 60 HZ / 3 PHASE MODEL # YSC120HSELA
EF	EF = ROOFBRACKET MOUNTED EXHAUST FAN "DAYTON" MODEL #7H171 5.0 HP, 208V / 60 HZ / 3 PHASE 12.50 AMP F.L.A. NEMA 3R
FR	99.97% 0.3 MICRON HEPA FILTER RACK WITH (4) - 24"x24"x12" SUPERFLO-V FILTERS AND (4) - 24"x24"x2" PLEATED PRE-FILTERS
VFD	VFD = VARIABLE FREQUENCY DRIVE, 5 MAX. HP, 3 INPUT PHASE AC 240VAC INPUT VOLTAGE, 16 AMPS, MAX. OUTPUT MODEL NO. CFV080160TD4A1Z
IH	15.0 KW / 41.64 AMP / 208V / 3-PHASE / 1,222 CFM / 400 FPM DUCT HEATER "WATCOO" MODEL # DFC00H
PG	(2) - DWYER MAGNEHELIC PRESSURE GAUGE MODEL NO. 3000-00N C / 2000-00N C MAX PRESSURE 15 PSIG
TH	NEPTRONIC VAV THERMOSTAT CONTROLLER - 22 TO 28Vdc 50/60 Hz POWER SUPPLY 32°F TO 122°F OPERATING TEMPERATURE MODEL NO. TR024TXZ1

NOTES

ORTHOGRAPHIC PROJECTION

MAINTENANCE AND RESPONSIBILITIES
NOTICE TO ALL SHOOTING OWNERS, MANAGERS & OPERATORS:
 Shooting Range Industries, LLC (SRI) is not a way shape or form, responsible for the maintenance, operation, cleanliness, employee protection, lead collection or recycling, disposal or cleanup of any structure provided by SRI, or anyone affiliated or partnered with SRI.

SRI or anyone affiliated or partnered with SRI will not be held liable for any negligence on the part of the structure personnel for any of the above items.

Improper maintenance or repair of the structure(s) by any personnel or its users for any of the aforementioned items, structure maintenance manuals have been provided with every range manufactured by SRI at time of purchase.

H.V.A.C. systems must be in proper working condition and in operation at time of range operation and clean up. SRI is not responsible for this operation (interlocking system).

Supply & exhaust air must "always" be on and operating at the same time (interlocked together).

Structures must have a negative air pressure or a min. of 10% of total air supply.

SRI is not liable for H.V.A.C. system maintenance, air quality, filtration maintenance and air filter change outs.

No storage or work to be performed behind bullet traps at any time.

SRI suggests lead handling & employee protection by the manual provided by the National Shooting Sports Foundation (NSSF).

The purpose of this letter/inlet is to make sure you, as structure owner, manager, operator, or maintenance personnel are doing your part to make sure all people who come in contact with your structure are safe and comfortable in the indoor structure environment.

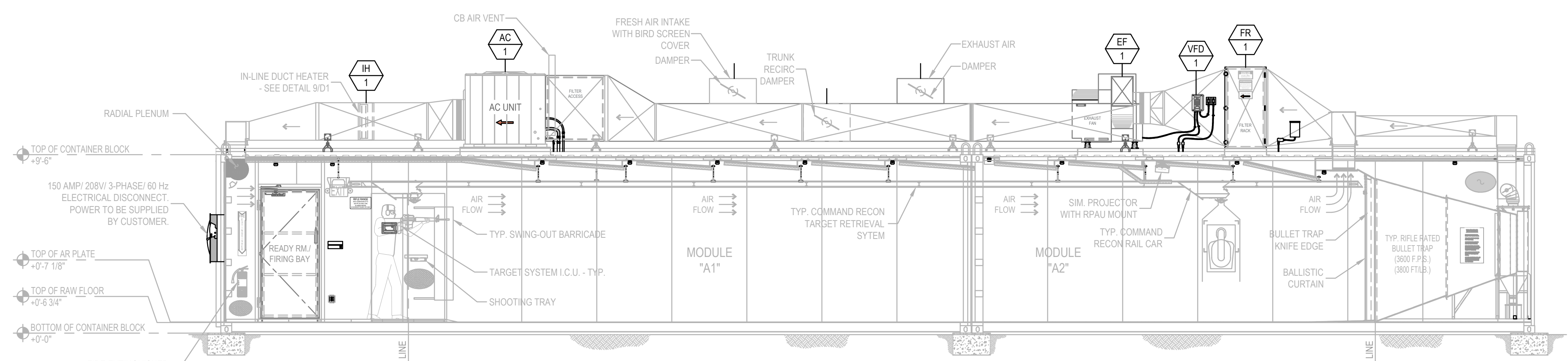
It is imperative that anyone involved in the operation, maintenance or repair of the structure(s) be diligent at minding all of the safety and operational standards that are set forth to ensure the safety of every shooter and employee that enters your place of business.

GENERAL NOTES

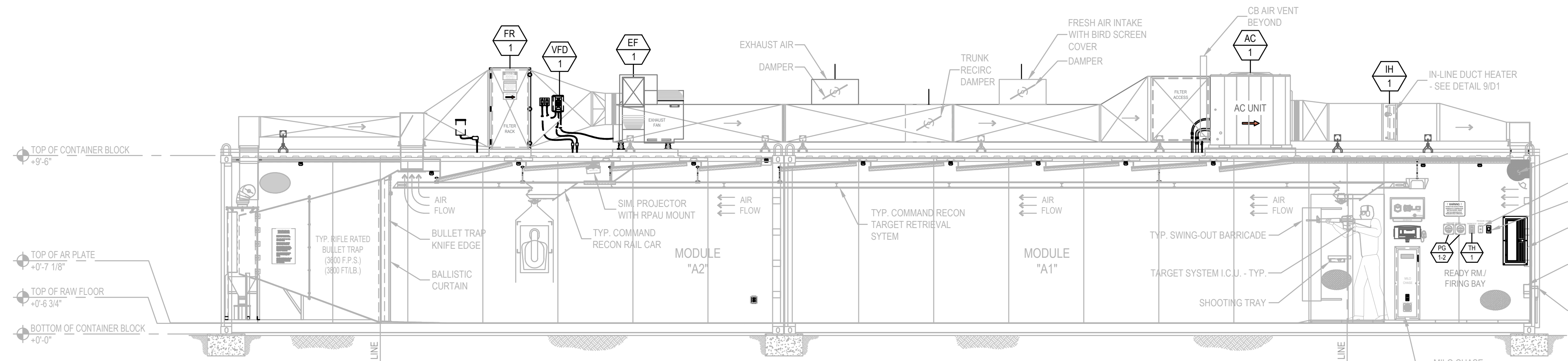
1. Air system comes as a completely balanced system by factory certified H.V.A.C. specialists however, it is the customer's responsibility to maintain a balanced air system.

2. If structure owner/operator does not understand any of the above operations, lead management, structure safety or will not accept responsibility they should immediately cease all operations to prevent employees and/or customers against health problems or bodily harm.

3. SRI has incorporated the customer's specified wall and ceiling ballistic protection in the building design as has been called out in the customer's design requirements, as such, the customer takes full responsibility to ensure that no ammunition is fired in the range that could exceed the design capabilities the customer has specified in the design requirements. The customer is solely responsible for proper range operation, range maintenance, and range safety in accordance with the range training and maintenance manual.



1 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"



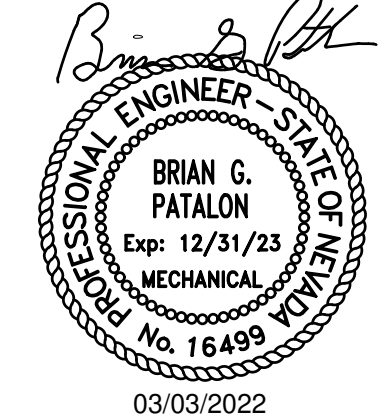
2 LONGITUDINAL SECTION - H.V.A.C. LAYOUT
 SCALE: 1/4" = 1'-0"

H.V.A.C. SEQUENCE OF OPERATIONS	
1.	EACH MODULE HVAC SYSTEM SHALL BE ACTIVATED BY SWITCH (THERMOSTAT) ON WALL.
2.	UPON ACTIVATION, THE EXHAUST FAN AND ROOFTOP UNIT SUPPLY FAN SHALL BE ENABLED. ALL FANS SHALL OPERATE AT CONSTANT SPEED TO MAINTAIN PROPER VELOCITY AND PRESSURIZATION INSIDE MODULE.
3.	THE SPACE TEMPERATURE SHALL BE CONTROLLED VIA THE THERMOSTAT TO MAINTAIN SETPOINT. COOLING WILL BE ACCOMPLISHED IN TWO (2) STAGES, VIA THE MULTI-STAGE COMPRESSOR. HEATING WILL BE ACCOMPLISHED IN FOUR (4) STAGES, VIA THE ROOFTOP UNIT'S GAS HEATER AND ELECTRIC HEAT STRIP LOCATED IN THE DUCT. THE ELECTRIC HEAT STRIP SHALL OPERATE AS THE PRIMARY HEATING SOURCE, AND THE ROOFTOP UNIT GAS HEATING SECTION SHALL OPERATE WHEN THE HEAT PUMP IS UNABLE TO MAINTAIN THE HEATING TEMPERATURE SETPOINT.

NOTES:

1. POWER BY CUSTOMER.

2. CUSTOMER IS RESPONSIBLE FOR DRAINAGE LOCATION AND PROTECTION OF CONDENSATE LINES FROM FREEZING.



RIFLE TRAPS:
 MODEL# C-R-3600 RIFLE TRAPS ARE RATED FOR A MAXIMUM OF 3600 FPS AND/OR 3800 FT/LB. FAILURE TO MONITOR AMMO BEING USED COULD RESULT IN METAL PITTING AND EVEN TRAP FAILURE. NO .50 CAL. BMG, STEEL CORE OR ARMOR PIERCING ROUNDS.

FOR CONSTRUCTION

ATTENTION:
 THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
 DATE: _____
 SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY
△	FOR CONSTRUCTION	02-16-2022	VP

SHOOTING RANGE INDUSTRIES LLC
 RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MIL0

3885 ROCKBOTTOM STREET
 NORTH LAS VEGAS, NV 89030
 Tel: (702) 362-3623
 Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
 2-LANE 70 FEET HIGH CUBE
 "TACTICAL" RIFLE RATED RANGE
 312 ROYAL LANE, BRYANT, AR 72022
 PHONE NO. (501) 943-0372

Drawing Title
H.V.A.C. LAYOUT
 (PLAN AND SECTION VIEW)

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022

Project No. **SRI22103** Scale **AS NOTED** Sheet No. **M2**
 Drawing No. **22-103 Bryant PD** Sheet **6** of **8**

EVOLUTION ENGINEERING
 3590 E. PATRICK LANE
 LAS VEGAS, NV 89120
 702-514-3366
 revolutionmep.com

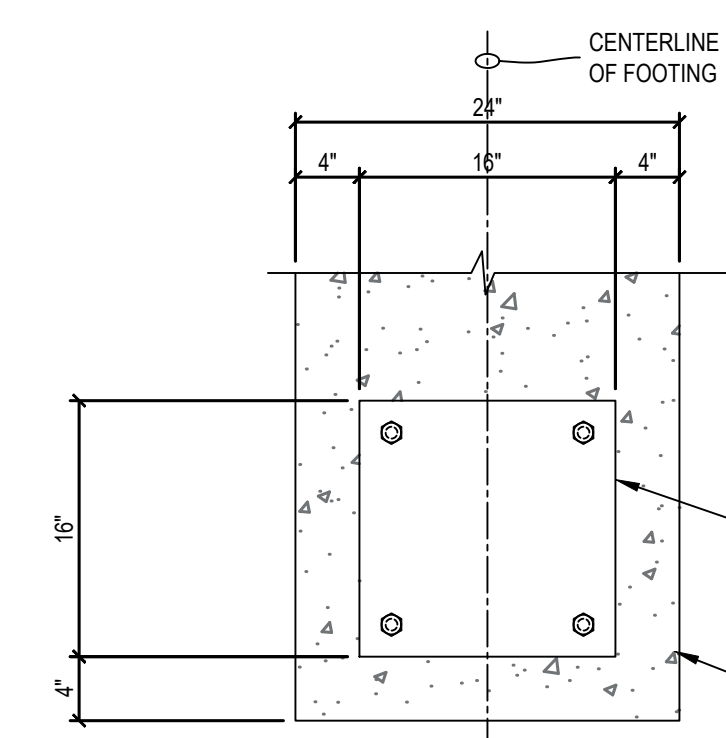
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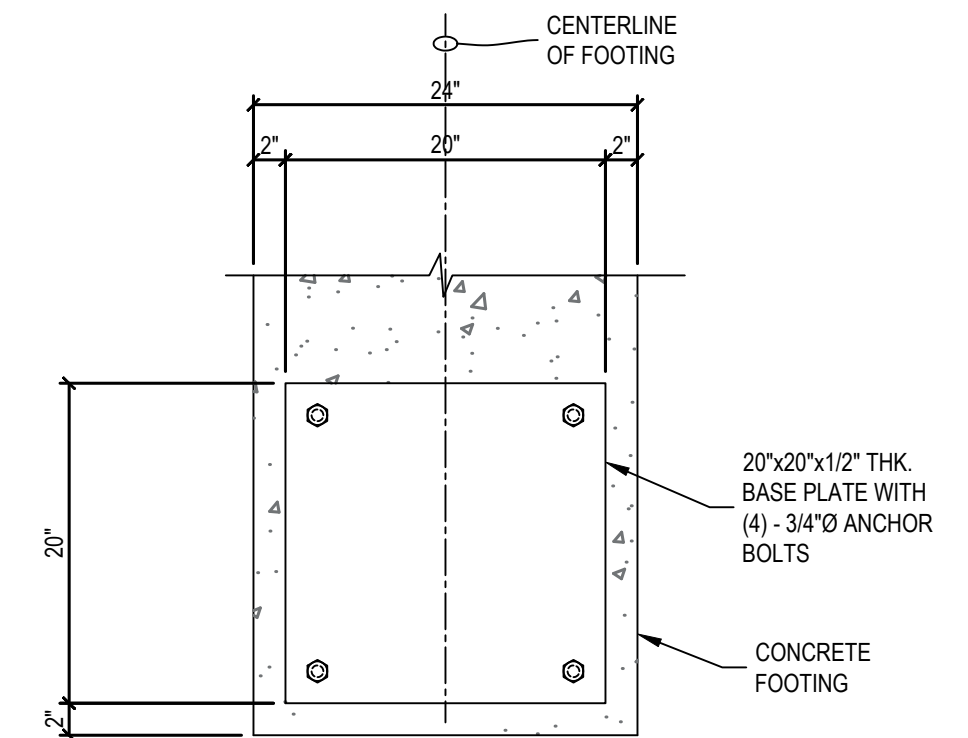
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REV122.0057

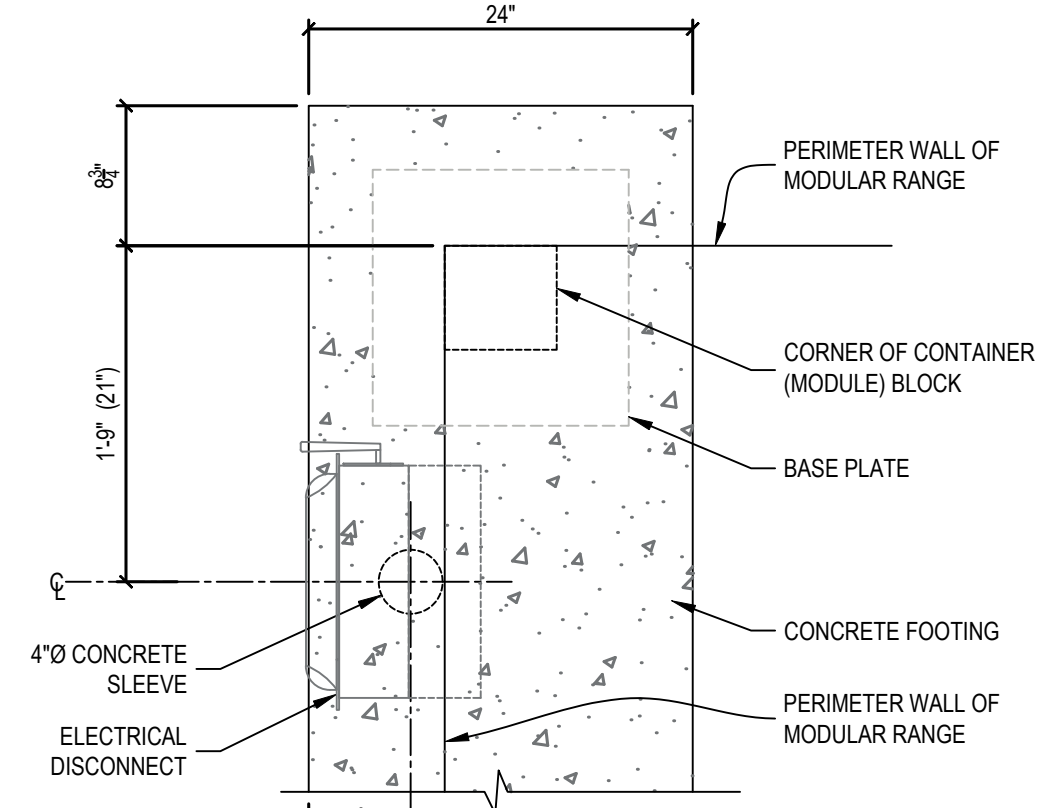
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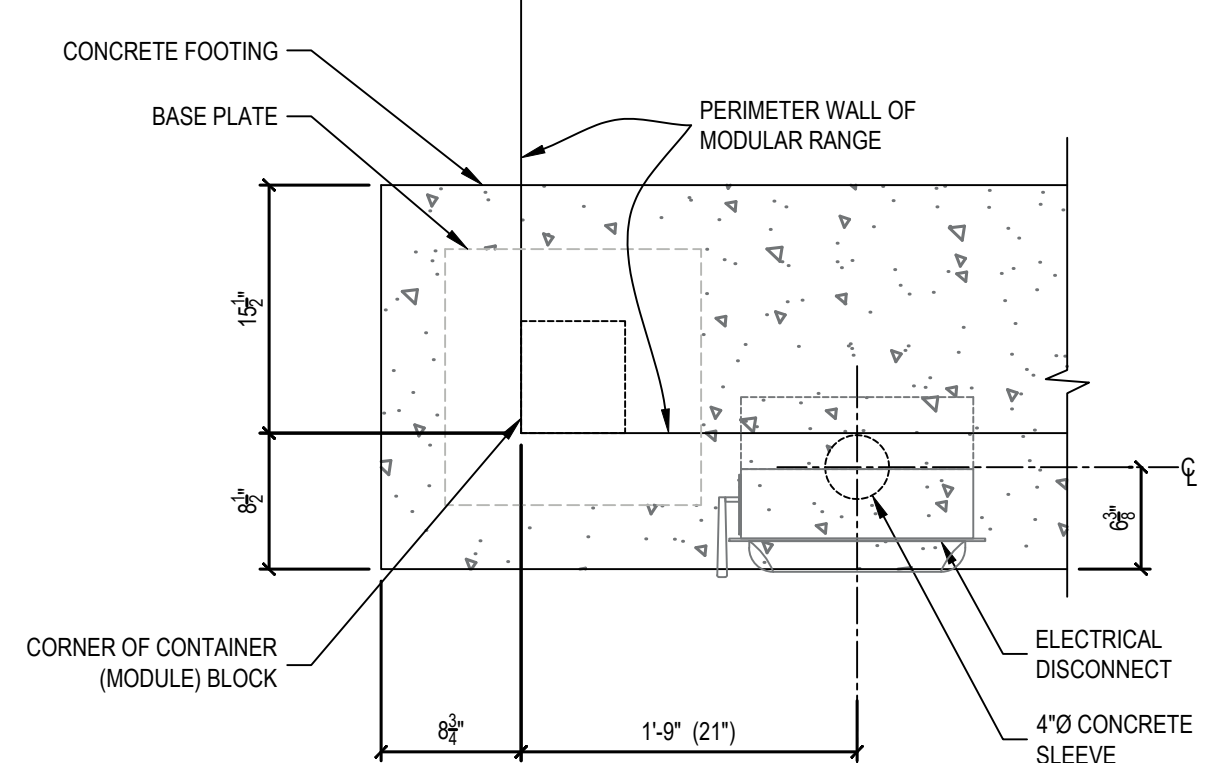
BASE PLATE PLAN



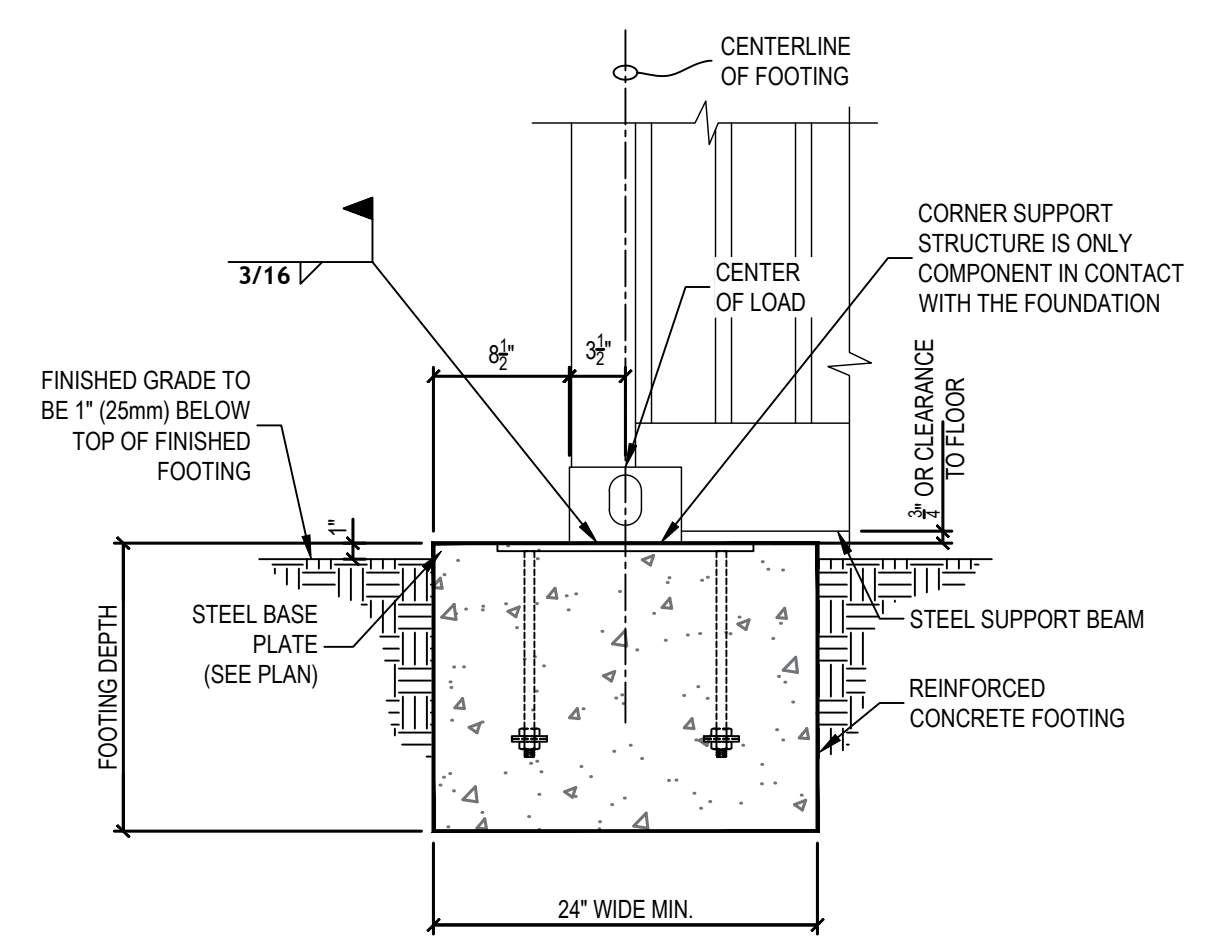
BASE PLATE PLAN



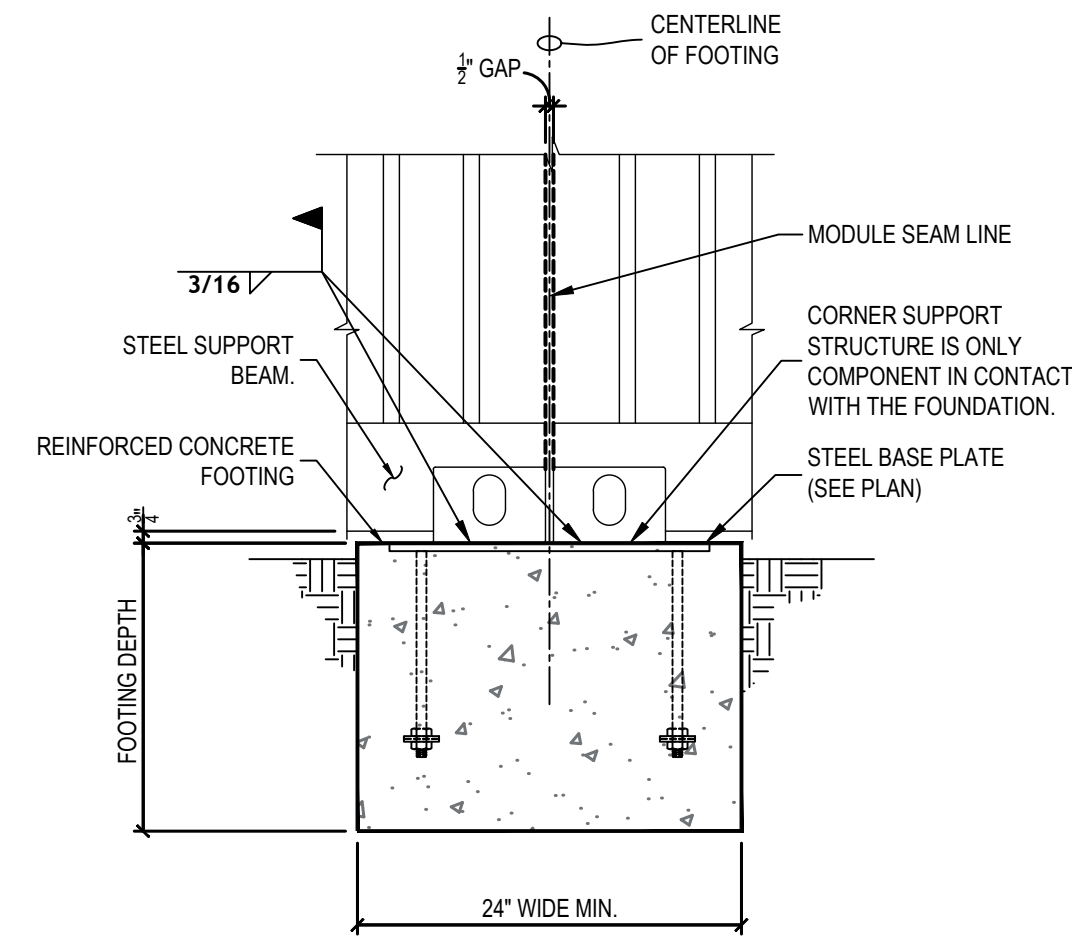
PLAN



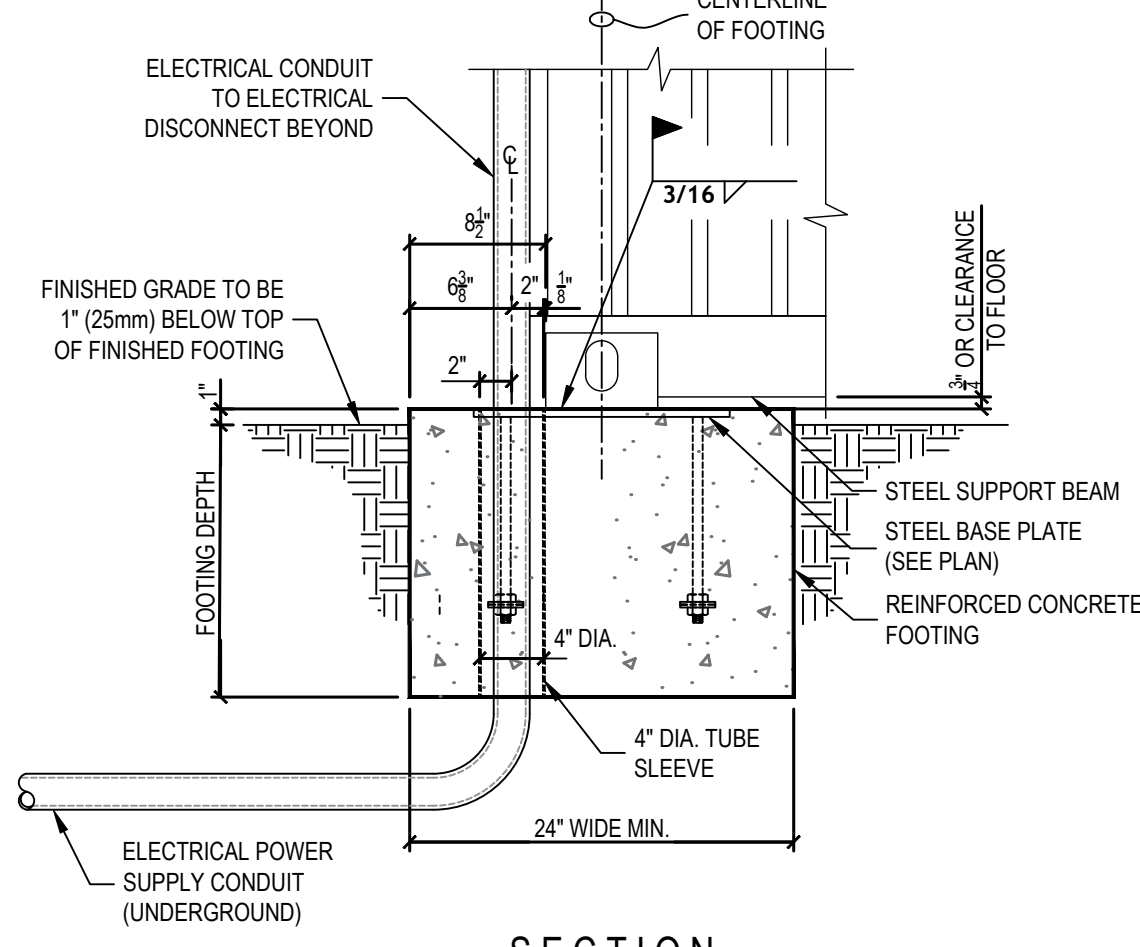
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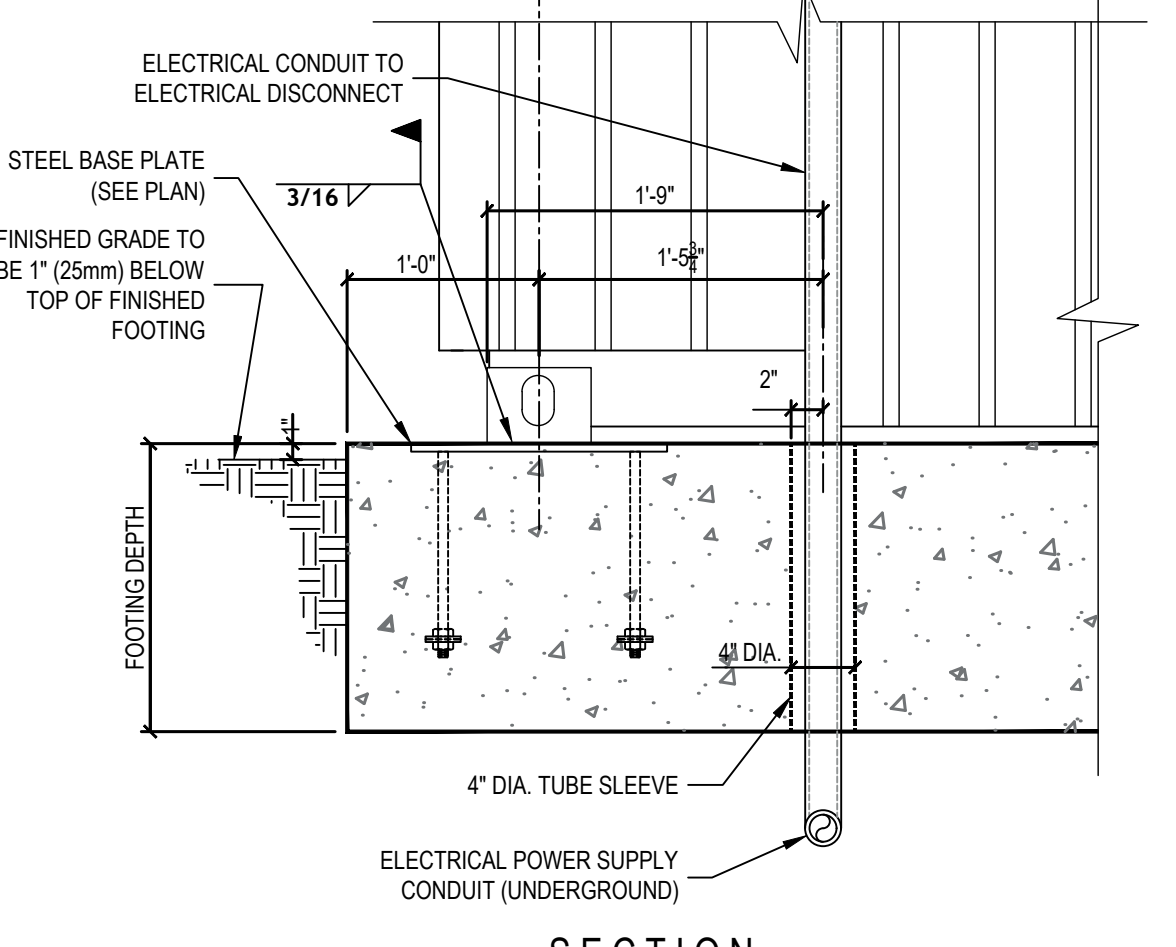
1 FOOTING DETAIL AT END CONDITION
SCALE: N.T.S.



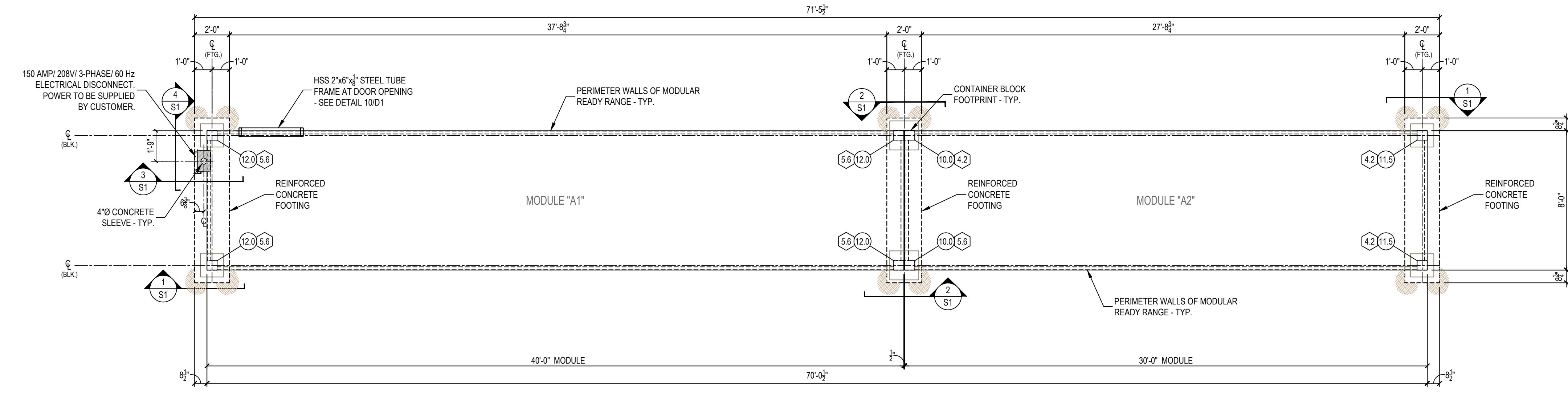
2 FOOTING DETAIL AT SEAM CONDITION
SCALE: N.T.S.



3 FOOTING DETAIL AT ELECTRICAL DISCONNECT
SCALE: N.T.S.



4 FOOTING DETAIL AT ELECTRICAL DISCONNECT
SCALE: N.T.S.



PLAN VIEW - FOOTING LAYOUT AND LOAD REACTIONS TO FOUNDATION

SCALE: 1/4" = 1'-0"

DEAD LOAD KEYNOTES	
10.0	10,000 LBS. (BASED ON UNFACTORED LOAD)
11.5	11,500 LBS. (BASED ON UNFACTORED LOAD)
12.0	12,000 LBS. (BASED ON UNFACTORED LOAD)

LIVE LOAD KEYNOTES	
4.2	4,200 LBS. (BASED ON 70 LBS/ SQ. FT.)
5.6	5,600 LBS. (BASED ON 70 LBS/ SQ. FT.)

- NOTES:**
- CLIENT TO DETERMINE FOUNDATION: LENGTH, DEPTH, AND WIDTH DIMENSIONS BASED ON LOCAL SOIL CONDITION ANALYSIS.
 - WEIGHTS ARE BASED ON UNFACTORED LOADS.
 - TROWEL FINISH TO TOP OF FOOTING
 - TOLERANCE: HEIGHT = $\pm(1/4") - (1/4")$
LENGTH = $\pm(1/2") - (1/2")$
 - FINISH GRADE MINIMUM 1" BELOW TOP OF FOOTING

GROUNDING NOTES:

Lightning protection system to be designed per (NFPA 780) requirements and be installed and installed by others. A (#4) CU counterpoise conductor shall be installed per military design requirements and provided and installed by others. This requirement shall be met by the installation of a concrete-encased electrode (20 ft. bare #4 AWG CU conductor at bottom of footing) or 8" x 5/8" diameter copper ground rod. The lightning protection system shall be bonded to the grounding system per NEC 250.106 requirements. A #4 CU conductor shall bond range panel ground bus to counterpoise conductor connected to lightning protection system. The grounding requirements and lightning protection bonding shall be provided and installed by others.

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CLIENT SHALL DESIGN THE CONCRETE FOOTINGS AND ANCHORING SYSTEM PER ASCE 7 OR PER GOVERNING BUILDING CODE.

FOOTING DESIGN MAY CHANGE BASE ON CUSTOMER REQUIREMENTS AND LOCAL SOIL CONDITIONS.

ATTENTION:
THIS CURRENT SET OF PLANS SUPERCEDES ANY PREVIOUS SET OF PLANS. IT IS THE OWNER'S RESPONSIBILITY TO FIELD VERIFY ALL BUILDING DIMENSIONS AND CONSTRUCTION.

PRELIMINARY NOT FOR CONSTRUCTION PER PENDING APPROVAL

PLANS MUST BE APPROVED BEFORE MANUFACTURING STARTS.

CUSTOMER SIGN OFF:
DATE: _____
SIGNATURE: _____

REVISION	DESCRIPTION	DATE	BY

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NOTE:
Drawings must not be scaled where no dimensions are given, the matter shall be referred to the engineer.
Should dimensions or details on these drawings conflict, precedence shall be given to the larger scale drawing.
Where this drawing relates to existing or completed construction the contractor shall check that there is no conflict between actual building dimensions and drawing dimensions.
Written dimensions on these drawings shall have precedence over scaled dimensions.
Contractor to verify and be responsible for all dimensions and conditions in the field. This office must be notified of any variations from the dimensions and conditions shown by these drawings, also details of adequate scale must be submitted to this office for approval before proceeding with fabrication on items so noted.
Such conflicts noted above shall be reported immediately to the engineer.

NOTES:

ORTHOGRAPHIC PROJECTION

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SHOOTING RANGE INDUSTRIES LLC
RANGE DESIGN • RANGE EQUIPMENT • MODULAR RANGES

MILD

3885 ROCKBOTTOM STREET
NORTH LAS VEGAS, NV 89030
Tel: (702) 362-3623
Fax: (702) 310-6978

Project Title
BRYANT POLICE DEPARTMENT
2-LANE 70 FEET HIGH CUBE
"TACTICAL" RIFLE RATED RANGE
312 ROYAL LANE, BRYANT, AR 72022
PHONE NO. (501) 943-0372

Drawing Title
FOOTING LAYOUT
FOOTING DETAILS
LOAD REACTIONS/CALCS

Drawn	Date	Checked	Date	Approved	Date
VP	02.03.2022	MH	02.03.2022	JC	02.03.2022
Project No.	Scale	Sheet No.			
SRI22100	AS NOTED	S1			
Drawing No.		Sheet			
22-100 Bryant PD		7 of 8			

BRYANT POLICE DEPARTMENT
 MODULAR SHOOTING RANGE
 CITY OF BRYANT, ARKANSAS

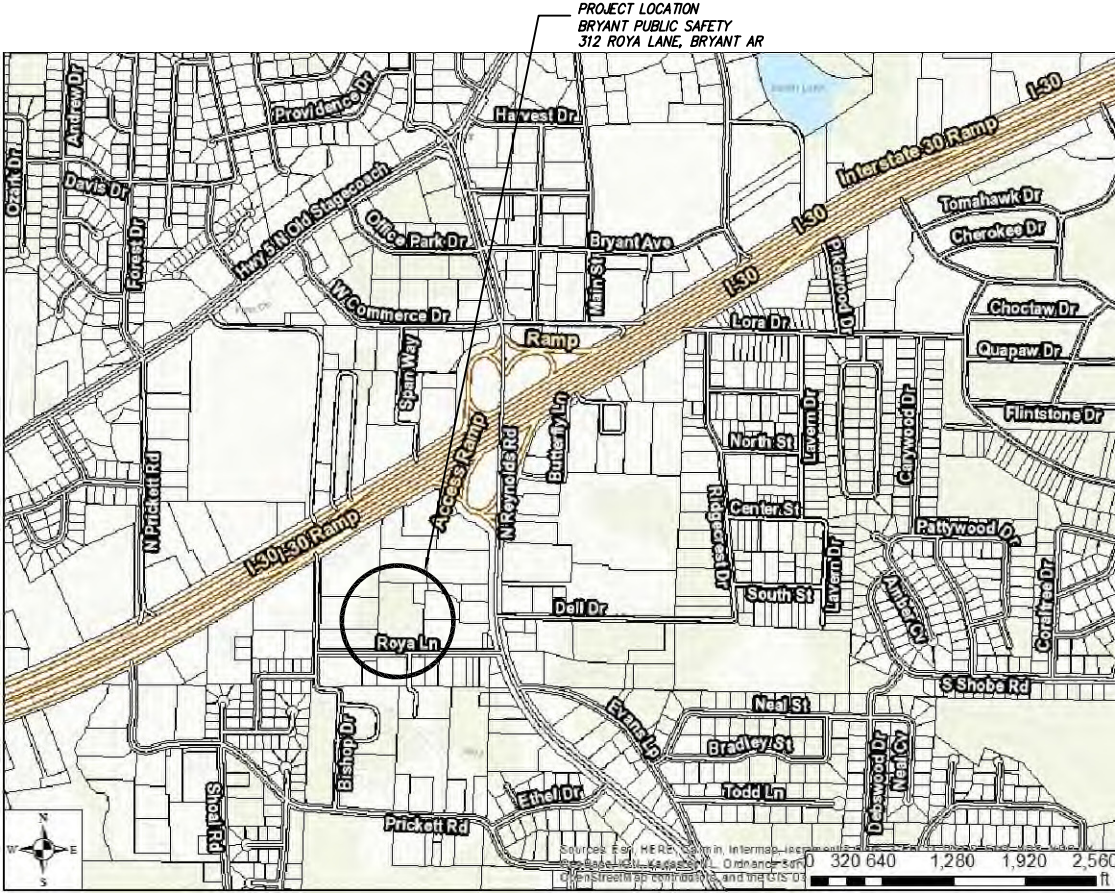


312 ROYA LANE
 BRYANT, ARKANSAS 72022
 PHONE: (501) 943-0943
 WWW.CITYOFBRYANT.COM

PREPARED BY:
 BRYANT ENGINEERING & CONST.

DRAWING INDEX

G1.0	TITLE SHEET
G2.0	GENERAL NOTES
C1.0	OVERALL SITE PLAN
C1.1	ENLARGED SITE PLAN
C2.0	GENERAL DETAILS OF FOUNDATION
C3.0	TEMPORARY EROSION CONTROL PLAN
TEC-1	AHTD TEMPORARY EROSION CONTROL DEVICES 1



VICINITY MAP - BRYANT, ARKANSAS



SALINE COUNTY, ARKANSAS

D
C
B
A

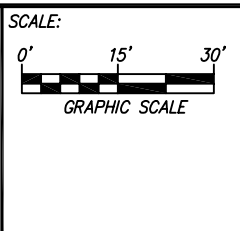
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TITLE			BRYANT PD	A	DRC SUBMITTAL	BPD	11/23/21						11/23/21
SIGNATURE			DRAWN BY:										WORK ORDER NO.:
DATE			BEC										SHEET NO.:
TITLE			CHECKED BY:							BRYANT, ARKANSAS 72022			G1 OF G1
SIGNATURE													
DATE													
TITLE													

XXX###XXX.DWG



APPROVED BY:	DESIGNED BY:	REV	DESCRIPTION	BY	DATE	NORTH:
TITLE	SIGNATURE	DATE	BRYANT PD	A	DRC SUBMITTAL	BPD
TITLE	SIGNATURE	DATE	DRAWN BY:			
TITLE	SIGNATURE	DATE	BEC			
TITLE	SIGNATURE	DATE	CHECKED BY:			

SCALE:	NAME:
0' 15' 30'	BRYANT PUBLIC SAFETY BUILDING
GRAPHIC SCALE	ADDRESS: 312
	STREET: ROYA LANE
	PHONE:
	BRYANT, ARKANSAS 72022

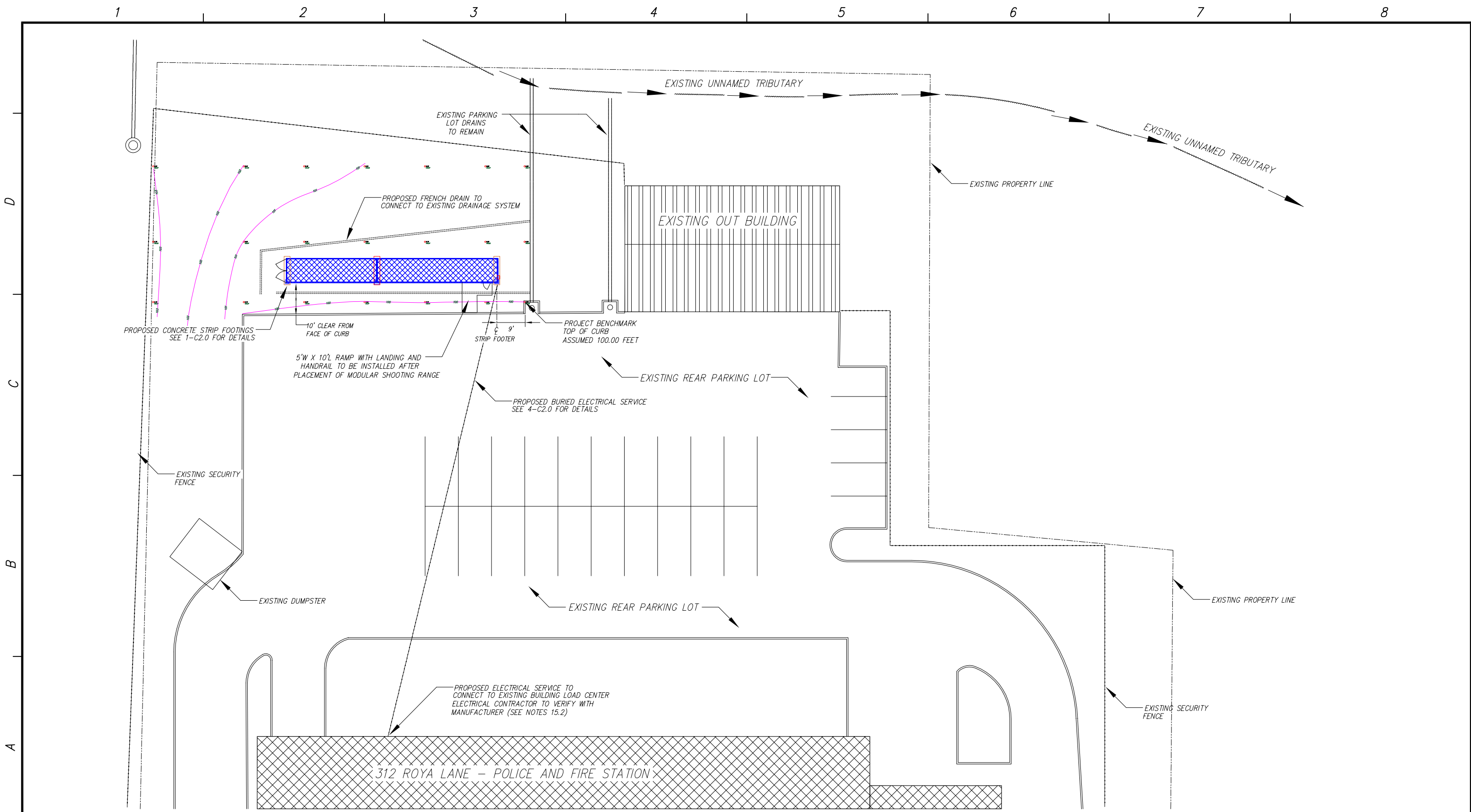


NAME: BRYANT PUBLIC SAFETY BUILDING
ADDRESS: 312
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BRYANT, ARKANSAS 72022



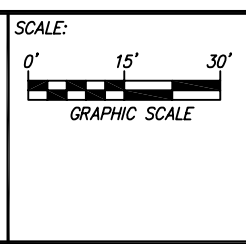
MODULAR SHOOTING RANGE
ENLARGED PLAN &
GENERAL ARRANGEMENT

SUBMITTAL DATE:
11/23/21
WORK ORDER NO.:
SHEET NO.:
C1.0 OF C1.0



APPROVED BY:		
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE

DESIGNED BY:	REV	DESCRIPTION	BY	DATE	NORTH:
BRYANT PD	A	DRC SUBMITTAL	BPD	11/23/21	
DRAWN BY:					
BEC					
CHECKED BY:					



NAME: BRYANT PUBLIC SAFETY BUILDING

ADDRESS: 312

STREET: ROYA LANE

PHONE:

BRYANT, ARKANSAS 72022



MODULAR SHOOTING RANGE
ENLARGED PLAN &
GENERAL ARRANGEMENT

SUBMITTAL DATE:
11/23/21

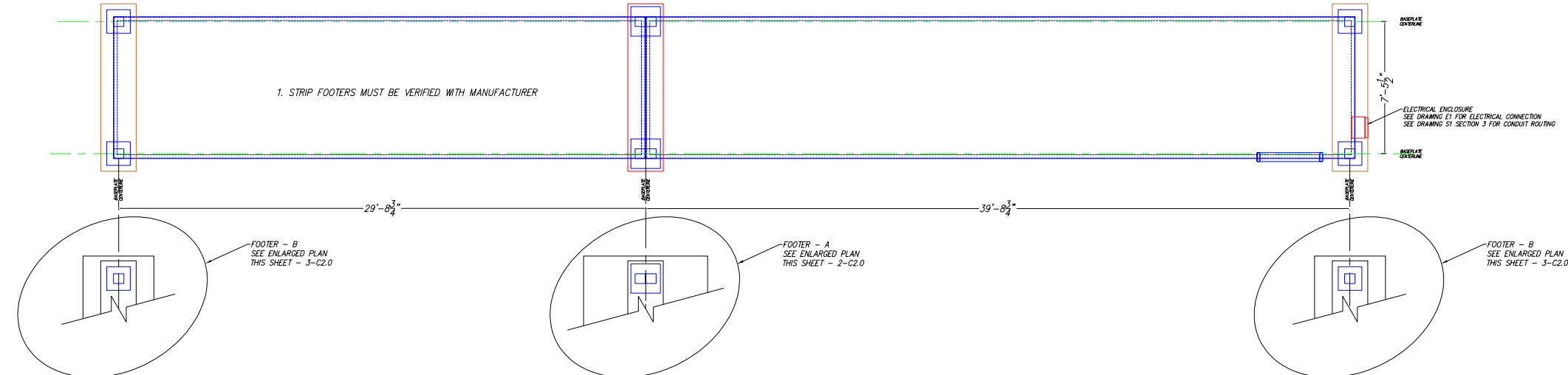
WORK ORDER NO.:

SHEET NO.:

C1.1 OF C1.1

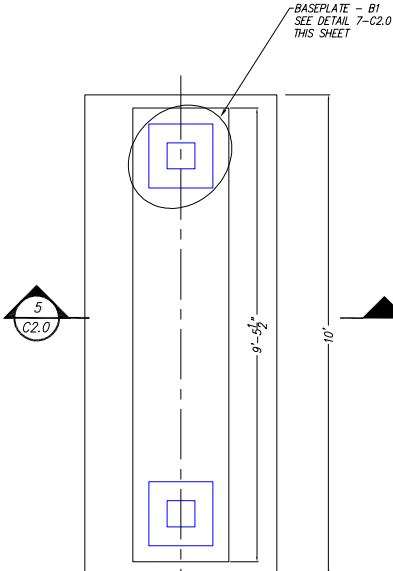
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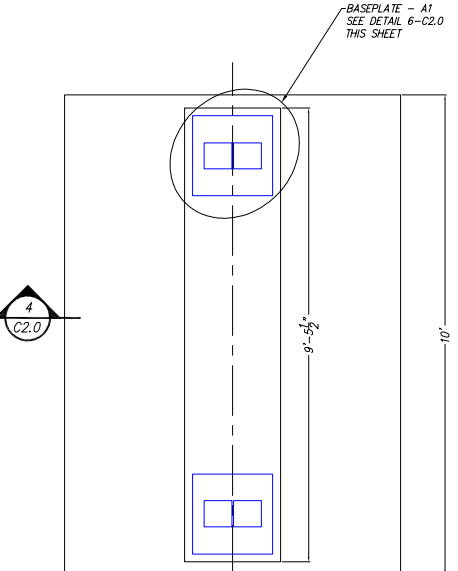


PLAN: STRIP FOOTER
SCALE: AS INDICATED

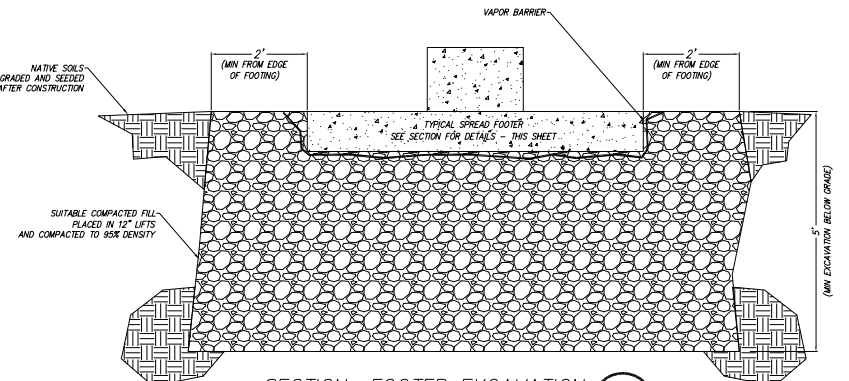
- NOTES:
1. STRIP FOOTERS MUST BE VERIFIED WITH MANUFACTURER SEE GENERAL NOTE 15.1
 2. LOCATIONS OF FOOTINGS MUST BE UNDERCUT AS INDICATED AND REPLACED WITH CRUSHED STONE (57) IN LIFTS OF 12 INCHES AND EACH LIFT COMPACTED TO 95% DENSITY.
 3. ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH CRSI REQUIREMENTS
 4. CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.



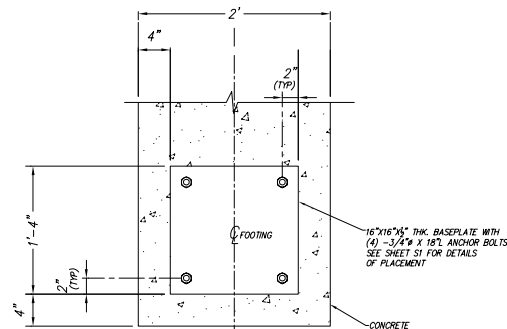
PLAN: FOOTER - B
SCALE: 1" = 2'-0" REQD: 2 C2.0



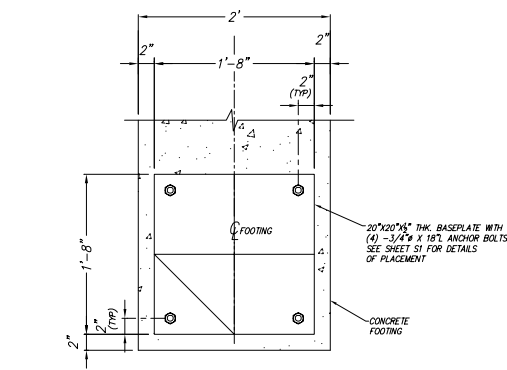
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SCALE: 1" = 2'-0" REQD: 1 C2.0



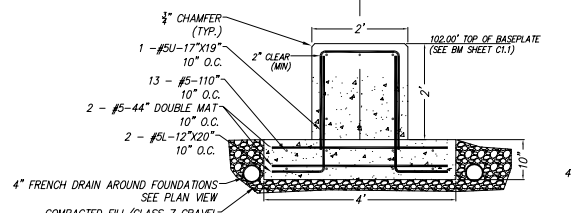
SECTION: FOOTER EXCAVATION
SCALE: 1" = 2'-0" REQD: 1 C2.0



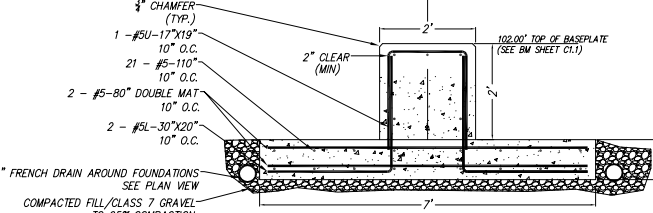
DETAIL: BASEPLATE A-1
SCALE: 1" = 1'-0" REQD: 4 C2.0



DETAIL: BASEPLATE A-1
SCALE: 1" = 1'-0" REQD: 2 C2.0



SECTION: FOOTER - B
SCALE: 1" = 2'-0" REQD: 2 C2.0



SECTION: FOOTER - A
SCALE: 1" = 2'-0" REQD: 1 C2.0

APPROVED BY:	DESIGNED BY:	REV	DESCRIPTION	BY	DATE
TITLE	BPW	A	DRC SUBMITTAL	BPD	11/23/21
SIGNATURE	DRAWN BY:				
DATE	BPW				
TITLE	CHECKED BY:				
SIGNATURE	BPW				
DATE					
TITLE					
SIGNATURE					
DATE					

NORTH:	SCALE:	NAME:
	0' 4' 8'	BRYANT PUBLIC SAFETY BUILDING
	GRAPHIC SCALE	ADDRESS: 312
		STREET: ROYA LANE
		PHONE:
		BRYANT, ARKANSAS 72022

CITY OF BRYANT ARKANSAS

MODULAR SHOOTING RANGE
FOUNDATION DETAILS
GENERAL ARRANGEMENT

SUBMITTAL DATE:	11/23/21
WORK ORDER NO.:	
SHEET NO.:	C2.0 OF C2.0

XXX###XXX.DWG



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

*CL Signs "A+B" Approved 6/30/2022
 Pole Sign "D" to DRC on 7/14/2022
 for Approval*

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 06/21/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name TAKE 5 CAR WASH (CURRENTLY CARWASH USA)
 Address 3017 MARKET PLACE
 City, State, Zip BRYANT AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business TAKE 5 CAR WASH
 Address/Location of sign 3017 MARKET PLACE
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Lora A. Rand

_____, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	90" X 99"	62.1	21' 7"	14'	<i>eL</i>
B	WALL	90" X 99"	62.1	21'7"	14'	<i>eL</i>
C	WALL	76" X 130.9"	69.1	20'	14'	
E						
F		JOB COSTS \$50000.00				
G						

Approved 6/30/2022

Cannot Approve →

To DRC For Approval →

D	PYLON	135" X 149.2"	139.9	25'	165"
---	-------	---------------	-------	-----	------

SIGNS E, F, G & H ARE DIRECTIONAL ONLY AND LESS THAN THE ALLOWED 6SF EACH

** Directional Signs do Not Need to be Permitted.*



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

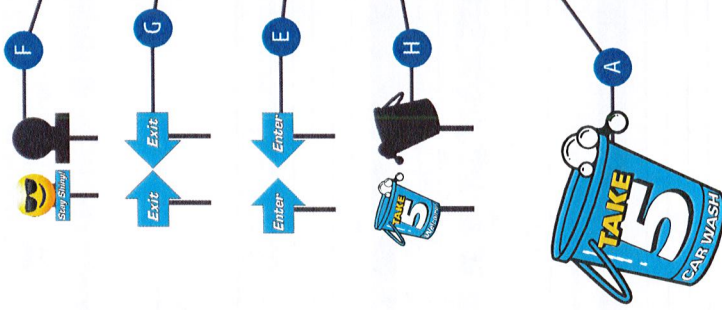
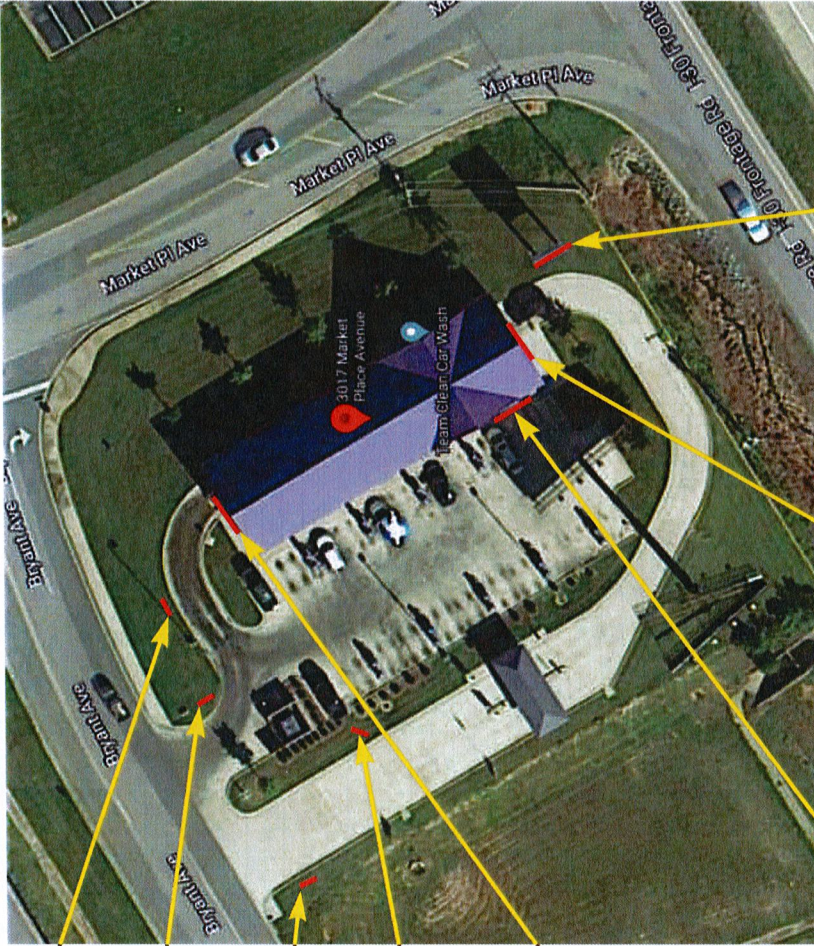
Description:
Site Plan

Color Key:

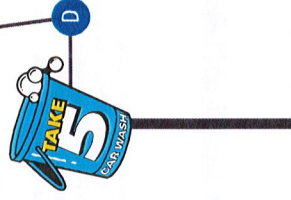
Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



CAR
WASH



C

A

H

E

G

F

Site & Sign Location Plan

Scale: NTS



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This design/engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour.

Sign Management Made Simple





Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Sign Code

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/JAR
04/29/2022 - SK
05/12/2022 - SK/JAR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104

PRE-PERMIT SIGN INFO - Additional Notes	Property ID:	CWUSAE	VARIANCE
1. Variance Meeting: <u>2nd Mondays</u> App. Deadline: <u>15 days</u> prior to meeting date Est. Fees: <u>\$165</u>			
2. Processing Time: <u>Allow 80-90 days</u> Waiting Period after approval & how long? <u>Allow 30 days</u>			
3. Attorney or expediter required? <input type="checkbox"/> Yes <input type="checkbox"/> No			
4. Probability of obtaining variance? <u>50%</u> Other: <u>Mailing labels for all abutters within 300 ft radius</u>			
5. Documents Required: <input type="checkbox"/> Engineering Seal <input type="checkbox"/> Ut. Number <input type="checkbox"/> Building Elevations <input type="checkbox"/> Overl Authorization Ltr <input type="checkbox"/> Property/D# <input type="checkbox"/> Site Plan <input type="checkbox"/> Legal Description <input type="checkbox"/> Add'l Prof. Seals			
NOTES			
Follow allowances above, up to aggregate max:			
5) The maximum aggregate surface area of all permitted signs for any establishment shall not exceed 300 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 100 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.			
6) Pole signs will be spaced no closer than 60 feet from any other pole sign.			

PRE-PERMIT SIGN INFO	Property ID:	CWUSAE
A.) Project Name: <u>CWUSAE</u> Date Completed: <u>1/9/20</u>		
B.) Street Address: <u>3017 Marketplace</u>		
C.) City / State / Zip: <u>Bryant, AR 72022</u>		
D.) Municipal Contact: <u>Colton Leonard</u>		
E.) Contact Phone: <u>501-943-9301</u> Email: <u>cleonard@silverbryant.com</u>		
F.) Address/City/ST/Zip: <u>210 SW 3rd St. Bryant, AR 72022</u>		
G.) Jurisdiction: <u>Bryant</u> City/Town of: <u>Bryant</u> Fax: <u>(501) 943-0992</u>		
H.) Zoning Category: <u>C2 Commercial</u>		
I.) Permit app fee: <u>\$50</u> Masker Sign Plan: <u>No</u>		
J.) Permit Process time: <u>Allow 2 weeks</u> If <u>yes</u> is copy available? <u>No</u>		
K.) Permit required if only relocating? <u>No</u>		
L.) Property Owner approval needed? <u>Yes</u>		
M.) Temporary/coming-soon Banners allowed? <u>Yes</u>		
N.) Temporary Freestanding Signs allowed? <u>Yes</u>		
O.) Temporary Signs require Permit? Time allowed: <u>Permit is only required if displayed for more than 7 days (up to 30 max w/perm)</u> Yes, Applications may be mailed		
P.) Can app be mailed or must it be submitted in person? <u>Yes, Applications may be mailed</u>		
ATTACHED SIGNS		
1.) Formula for sq ft. <u>Follow aggregate max below in notes for ALL signs. Wall signs cannot exceed 2 sf per lineal foot of street frontage facing wall.</u>		
2.) Set Ft for bldg sides/rear <u>Formula above, must face street.</u>		
3.) Does Each elevation have own calc, or is allowance based on Main Elevation? <u>street frontage facing elevations, up to aggregate max.</u>		
4.) Transferable allowances? <u>No</u>		
5.) # allowed <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
6.) Calculation Method: <u>Box Entire letter set/Cabinet, including Backer Panel</u>		
7.) Max. Overall Height: <u>cannot exceed roofline/height of wall</u>		
8.) Exposed raceway for Channel Letters allowed? <u>Yes</u>		
9.) Special Wall sign codes-this property: <u>No</u>		
10.) Special storefront building colors: <u>No</u>		
FREESTANDING SIGNS		
1.) Formula for sq ft. <u>Follow aggregate max below in notes for all signs. Allowance includes wall and F/S & Secondary.</u>		
2.) # allowed <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
3.) Height Max: <u>25 ft or height of building (whichever is lower)</u> Grade-to-sign Clearance: <u>10 ft, cannot obstruct vision</u>		
4.) Set-back: <u>10 ft from curbline</u> Calculation Method: <u>Count only largest sign face</u>		
DIRECTIONAL SIGNS		
1.) # Allowed: <u>as needed</u> Illumination: <u>Internal & External</u>		
2.) Max SqFt: <u>6 sf</u> Max. Height: <u>not regulated</u>		
3.) Permit: <u>No</u> Custom Logo: <u>Yes</u>		
DOOR/WINDOW VINYL		
1.) # Allowed: <u>No limit, not regulated</u> Max Sq Ft: <u>Not regulated</u>		
2.) Logos counted in sign area? <u>Not regulated</u>		
3.) Included in wall sign allowance? <u>No</u>		
4.) Sign permit required? <u>No</u>		
Note: <u>As permitted in our City Code Chapter 17. This chapter sets minimum standards for the review process. Interpretations, calculations or fees of local authorities where required by local authority, if an unperfected permit was obtained prior to manufacture.</u>		



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EGAN SIGN

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Sign Management Made Simple



Client:
Boiling US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

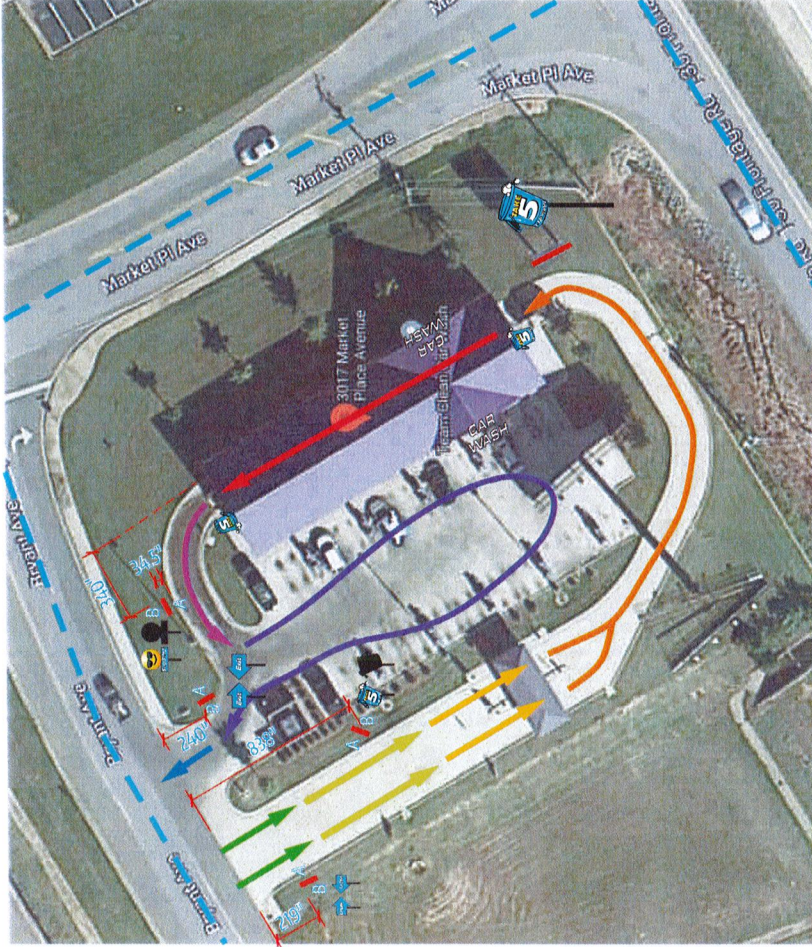
Description:
Journey Plan

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



MESSAGE MAPPING	
ZONE 1	ROADSIDE LOCATION VISIBILITY
ZONE 2	ENTRANCE/EXIT SELECTION / HYDRATING
ZONE 3	THE APPROACH TO THE WASH BAY / PRE-SALE OPTIONS
ZONE 4	PAID STATION / MENU - WASH SELECTION
ZONE 5	PRE WASH / REINFORCEMENT CONFERENCE
ZONE 6	WASH / COMPRESSION
ZONE 7	WASH / DRY / THANK YOU
ZONE 8	VICIOUS EXPERIENCE GUARANTEE
ZONE 9	EXIT / THANK YOU / WAVE BACK

Journey Plan

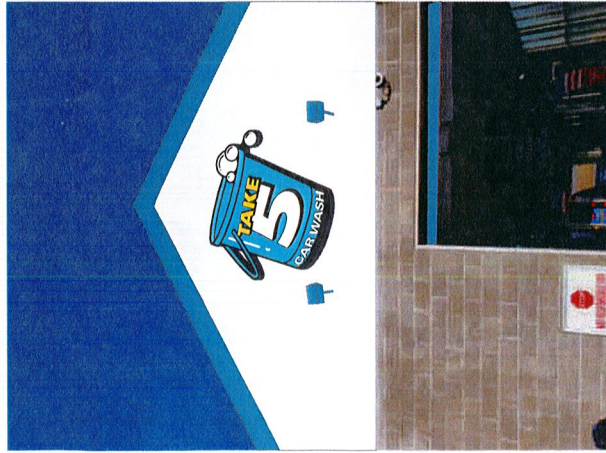


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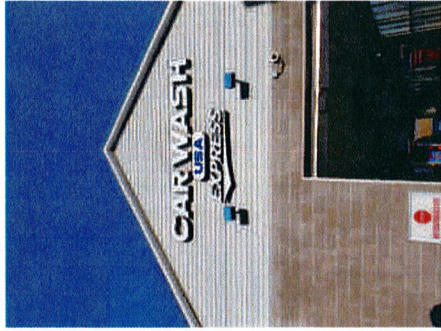
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Sign Management Made Simple

EGAN
SIGN



Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf
 Calculation: $2 * 263 = 526$ sf

Allowed: 400 sf total

Used: 62.1 sf

Existing: 59.4 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.8 sf

Sign G - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters



Scale: 3/16" = 1'-0"

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Sign Management Made Simple

File Name:
 28104_Bryant.pdf
 Project Number: 28104



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:
 Take 5 Car Wash #65

Description:
T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)

Remove existing signage.

Color Key:

■ PMS 2191 C

■ PMS 107 C

■ Black

■ White

Layout Date:

04/21/2022 - AR

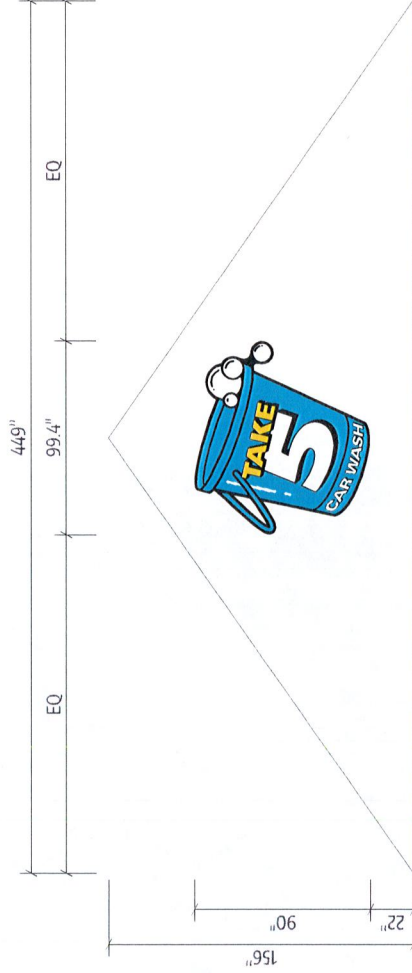
Revision Date:

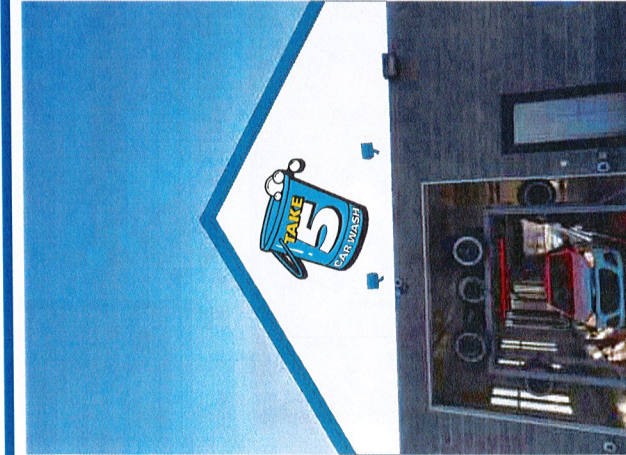
04/25/2022 - SK/AR

04/29/2022 - SK

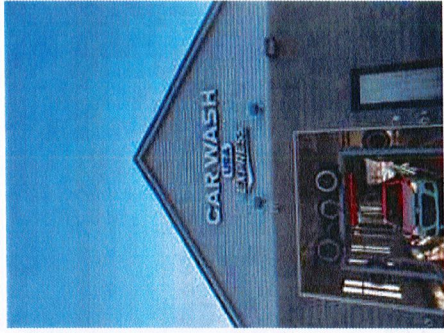
05/12/2022 - SK/AR

06/09/2022 - SK





Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf

Calculation: $2 * 263 = 526$ sf

Allowed: 400 sf total

Used: 62.1 sf

Existing: 59.4 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.6 sf

Sign G - 3.8 sf

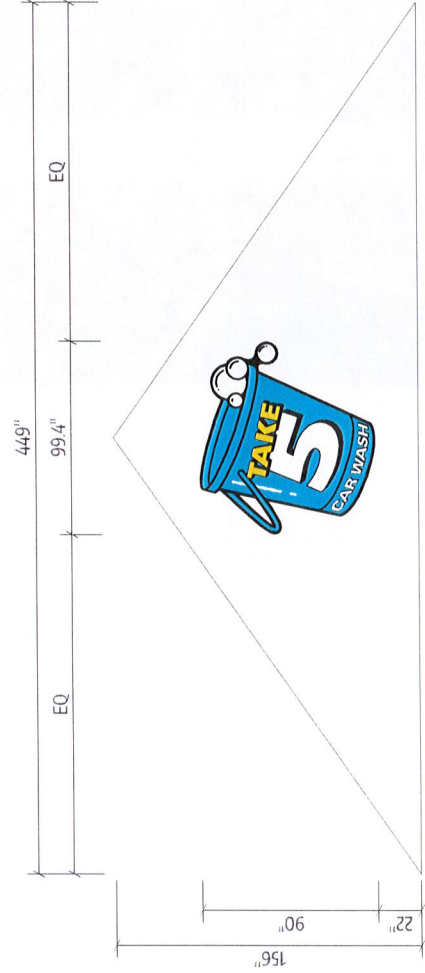
Sign H - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters

B

Scale: 3/16" = 1'-0"



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
T5-ILCL-90
Illuminated Channel Letters
(62.1 sq ft)

Remove existing signage.

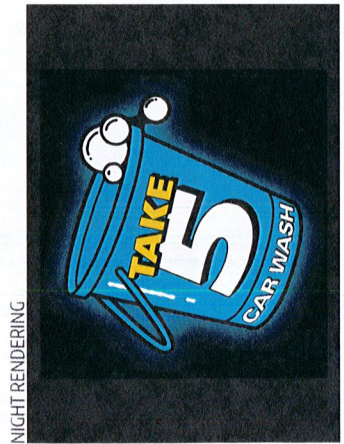
Color Key:

- PMS 2791 C
- PMS 107 C
- Black
- White

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
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EGAN SIGN
 Illuminated Channel Letters
 Scale: NTS
 A/B

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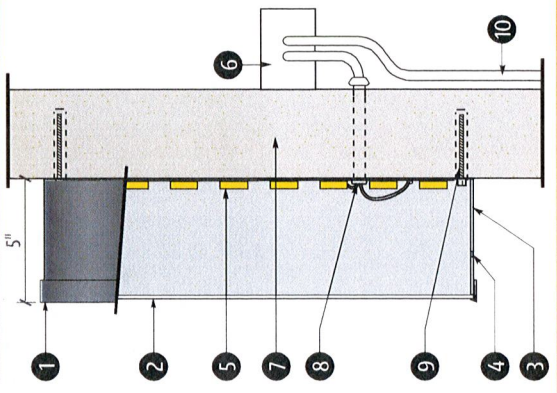
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Illuminated Channel Letters	X	X1	Y	Total Square Feet
T5-ILCL-31.5	31.5	4.2	34.8	7.6
T5-ILCL-40	40	5.3	44.2	12.3
T5-ILCL-41	41	5.5	45.3	12.9
T5-ILCL-48	48	6.4	53	17.7
T5-ILCL-55	55	7.3	60.8	23.2
T5-ILCL-56	56	7.5	61.9	24.1
T5-ILCL-59	59	7.9	65.2	26.7
T5-ILCL-60	60	8	66.3	27.6
T5-ILCL-66	66	8.8	73	33.5
T5-ILCL-68	68	9.1	75.1	35.5
T5-ILCL-72	72	9.6	79.6	39.8
T5-ILCL-76	76	10.1	84	44.3
T5-ILCL-80	80	10.7	88.4	49.1
T5-ILCL-84	84	11.2	92.8	54.1
T5-ILCL-90	90	12	99.4	62.1

CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 PLEXIGLAS FACE W/ DIGITALLY PRINTED GRAPHICS TO MATCH COLOR KEY
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
 This includes proper grounding and bonding of the sign.



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111
Location Address:
 Take 5 Car Wash #65

Description:
 T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)
 QTY: 2
 Provide LED illuminated channel letters w/ digitally printed graphics; installed flush to facade.

Color Key:
 ■ PMS 2191 C
 ■ PMS 107 C
 ■ Black
 ■ White

Layout Date:
 04/21/2022 - AR

Revision Date:
 04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

File Name:
 28104_Bryant.pdf
Project Number: 28104



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

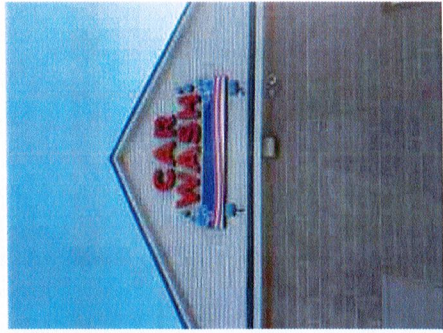
Remove existing signage.

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



Existing



Proposed

Square Footage Calculation:

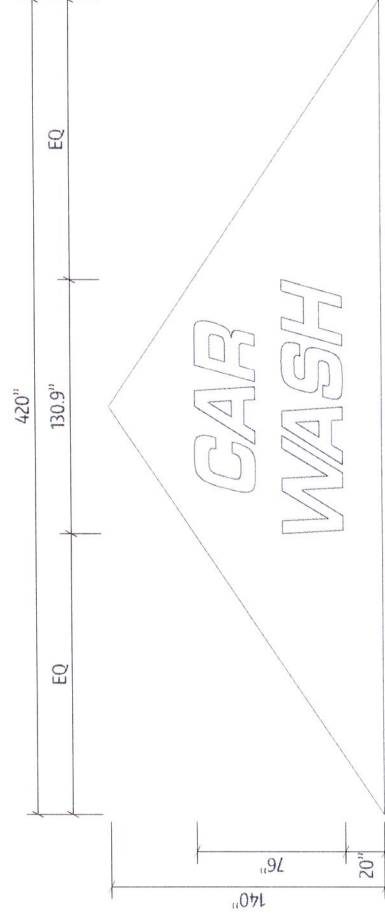
Code: 2 sf per linear feet of street
frontage facing wall; max of 400 sf
Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 69.1 sf

- Existing: 59.4 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.8 sf
- Sign G - 4.4 sf

Total Used: 348.8 sf total



Illuminated Channel Letters



Scale: 3/16" = 1'-0"

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Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

Qty: 1

Provide 5" deep LED illuminated channel letters mounted flush to facade per detail.

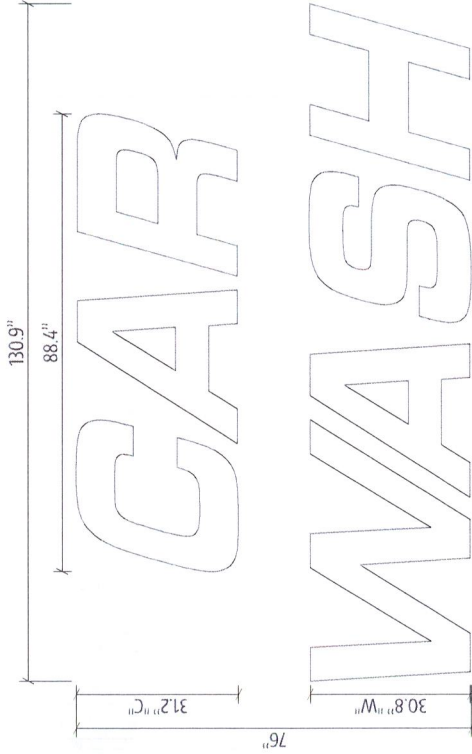
Color Key:

- White
- Black

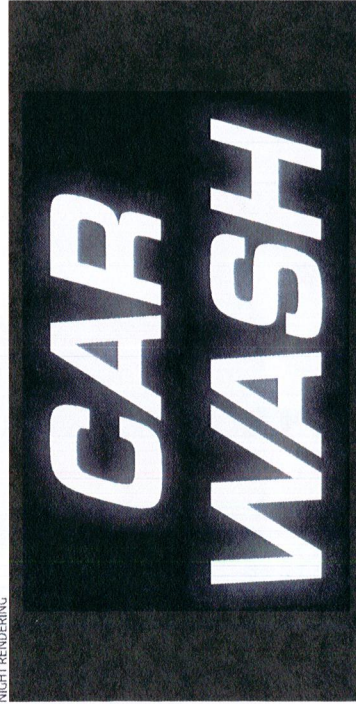
Layout Date:
04/27/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



NIGHT RENDERING



Illuminated Channel Letters

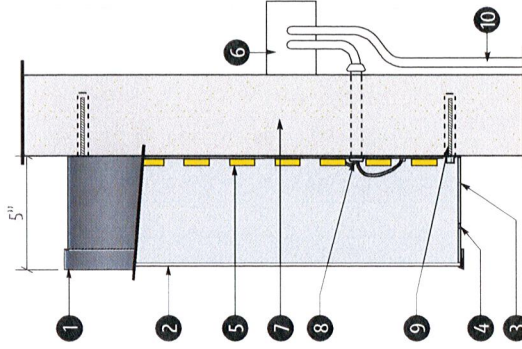


Scale: 1/2"=1'-0"

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CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS



- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 WHITE POLYCARBONATE FACES
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

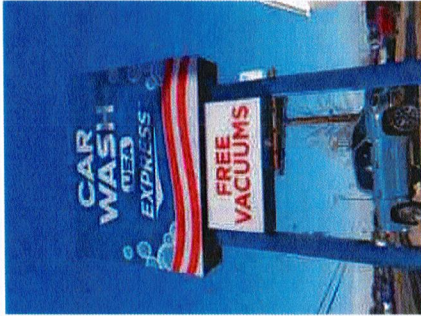
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
This includes proper grounding and bonding of the sign.

Sign Management Made Simple





Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf freestanding signs NTE 25' h
 Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 139.9 sf

- Existing: 182.2 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.8 sf
- Sign G - 4.4 sf

Total Used: 348.8 sf total



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:
 Take 5 Car Wash #65

Description:

T5-PYLON
 Illuminated Pylon Sign
 (139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

Remove existing sign and posts.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White
- Digitally Printed Gradient

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:
 28104_Bryant.pdf
Project Number: 28104

Sign Management Made Simple

1100 Berkshire Blvd, Suite 200, Wyomissing, PA | (Toll Free): 844.460.6631 | (Fax): 610.478.1332 | www.egansign.com

Pylon Sign

Scale: NTS



This design/engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour





Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
T5-PYLON
Illuminated Pylon Sign
(139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

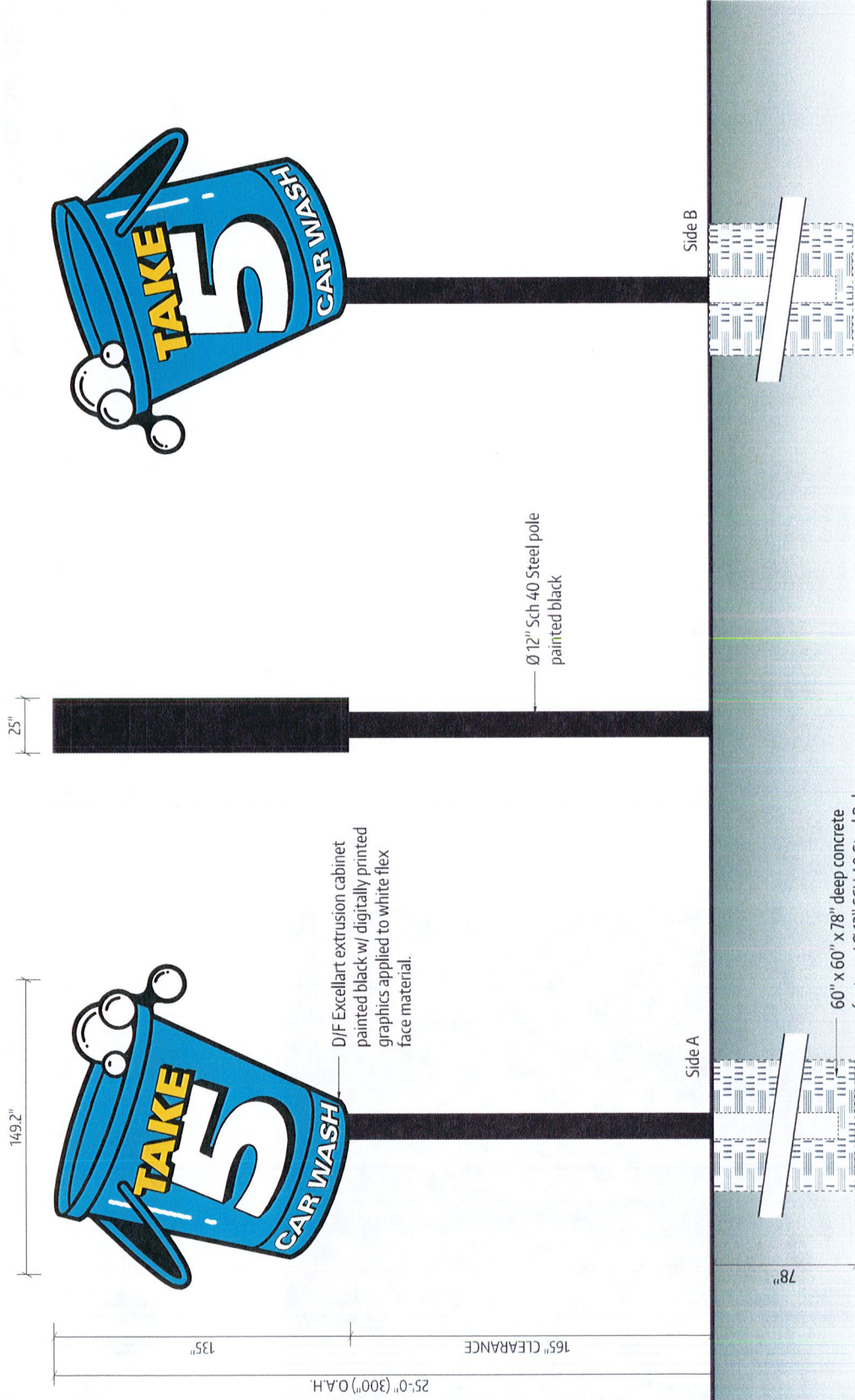
Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



Illuminated Pylon Sign

Scale: 1/4" = 1'-0"

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This design engineering proposal will remain the exclusive property of Egan Sign until approved and accepted through purchase by client; named directly on drawing and may not be duplicated by other parties or design fee will apply @ \$95 per hour.

Sign Management Made Simple



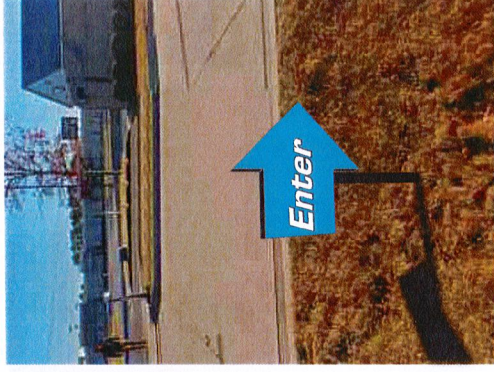
Square Footage Calculation:

Allowed: 6 sf

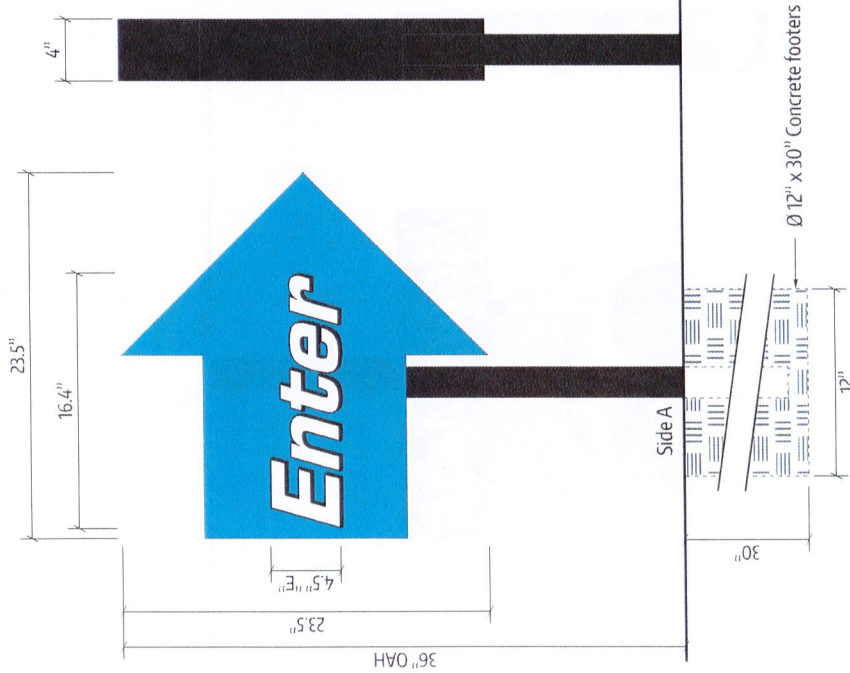
Used: 3.8 sf



Existing



Proposed



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer vinyl to match color key

2" Square aluminum tube frame painted black

Side B

Side A

Ø 12" x 30" Concrete footers

D/F Directional

E

Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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EGAN SIGN



Client:

Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Color Key:

- PMS 2791 C
- White
- Black

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

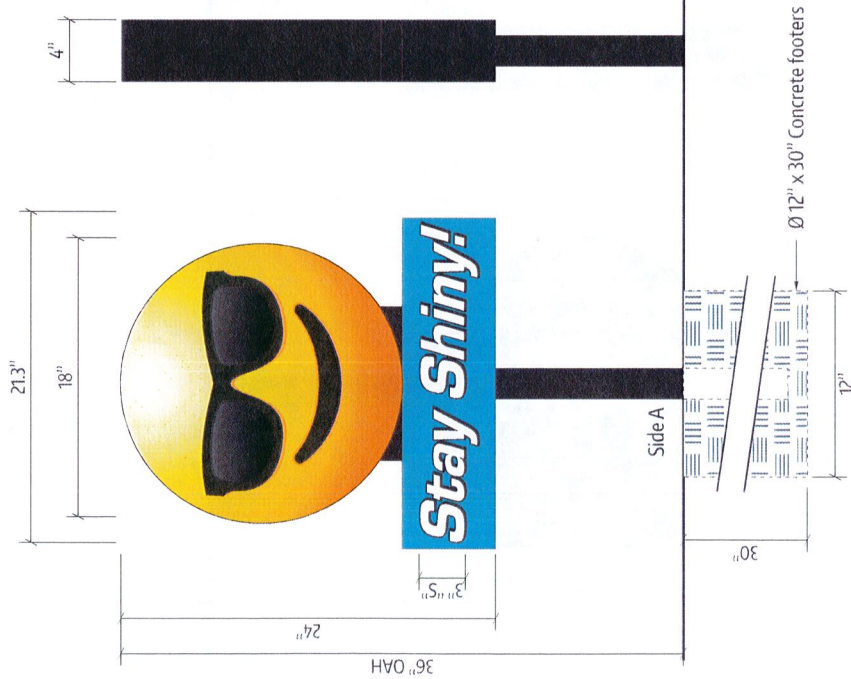
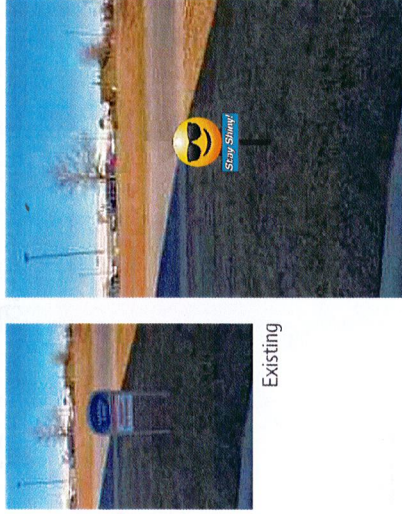
File Name:

28104_Bryant.pdf
Project Number: 28104

Square Footage Calculation:

Allowed: 6 sf

Used: 3.6 sf



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

2" Square aluminum tube frame painted black

Side B

Side A

F S/F Wayfinding

Scale: 1/12" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(3.6 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

■ PMS 2191 C

■ Digitally Printed Gradient

□ White

■ Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104

1100 Berkshire Blvd. Suite 200, Wyomissing, PA | (Toll Free): 844.460.6631 | (Fax): 610.478.1332 | www.egansign.com

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EGAN
SIGN

Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

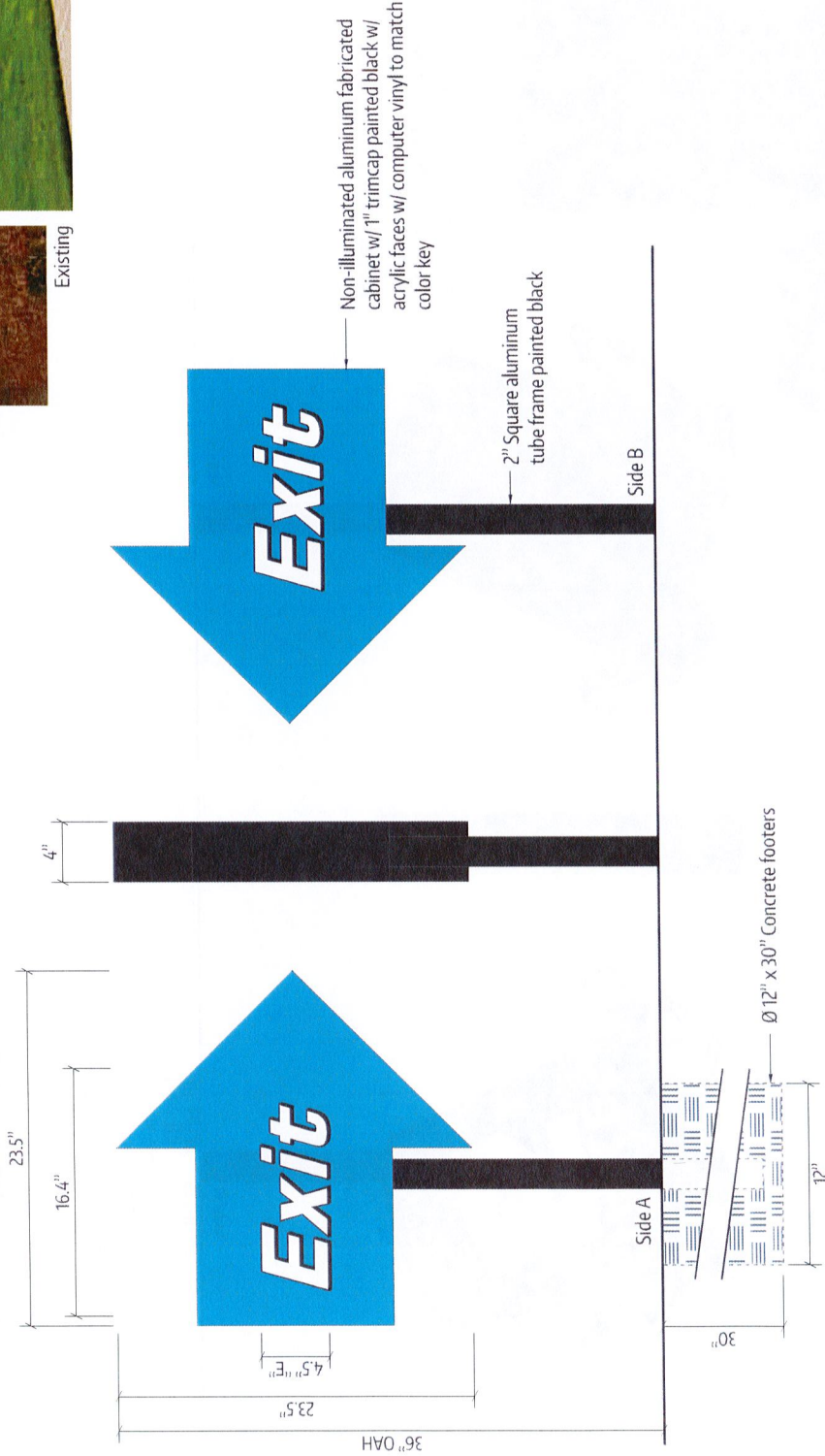
File Name:
28104_Bryant.pdf
Project Number: 28104



Proposed



Existing



D/F Directional



Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

Square Footage Calculation:

Allowed: 6 sf

Used: 3.8 sf

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Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

Used: 4.4 sf



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(4.4 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

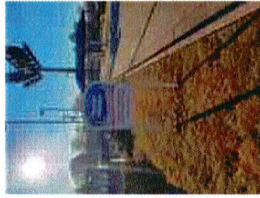
Color Key:

- PMS 2191 C
- PMS 107 C
- White
- Black

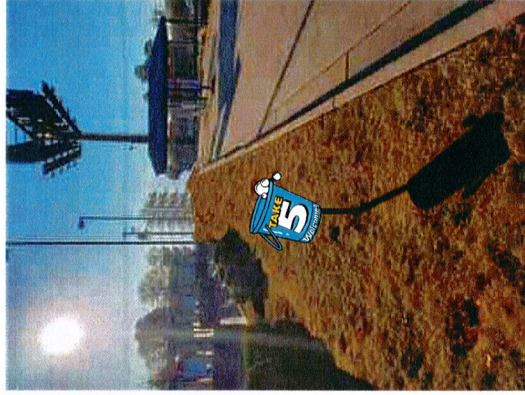
Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

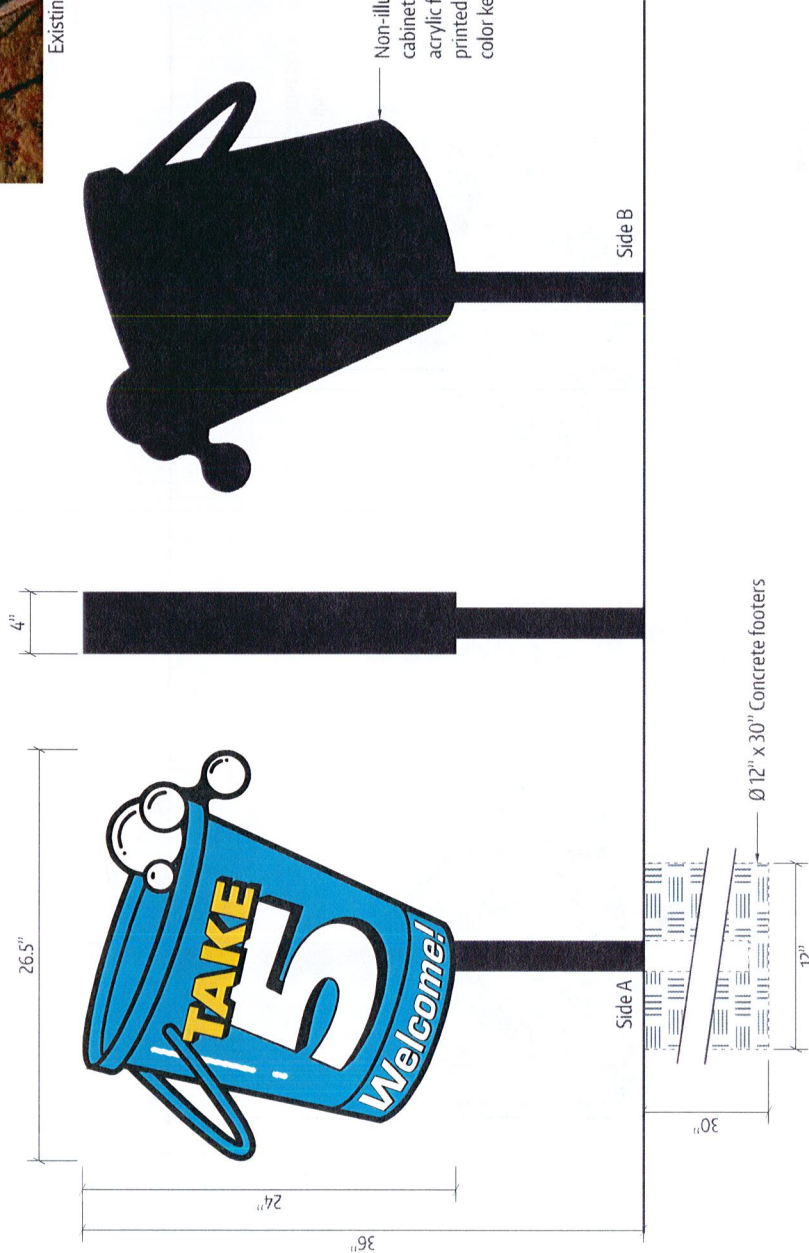
File Name:
28104_Bryant.pdf
Project Number: 28104



Existing



Proposed



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

S/F Wayfinding

H

Scale: 1 1/2" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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EGAN SIGN

Sign Management Made Simple

NORTH



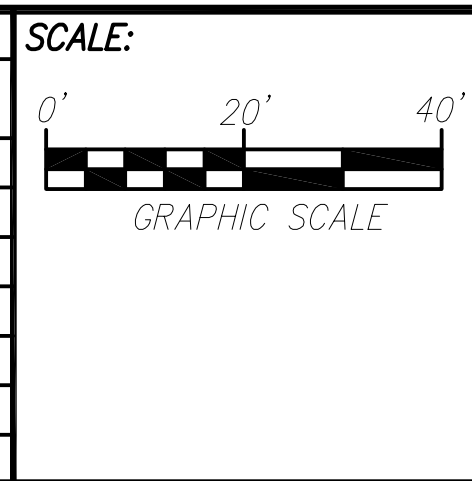
D
C
B
A

XXX###XXX.DWG

APPROVED BY:		
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE

DESIGNED BY:	XYZ
DRAWN BY:	XYZ
CHECKED BY:	XYZ

REV	DESCRIPTION	BY	DATE
A	MOVED X	JSD	01/01/17



LOCATION:

ALCOA 40 PARK
1180 SHOBE ROAD
BRYANT, ARKANSAS
72022

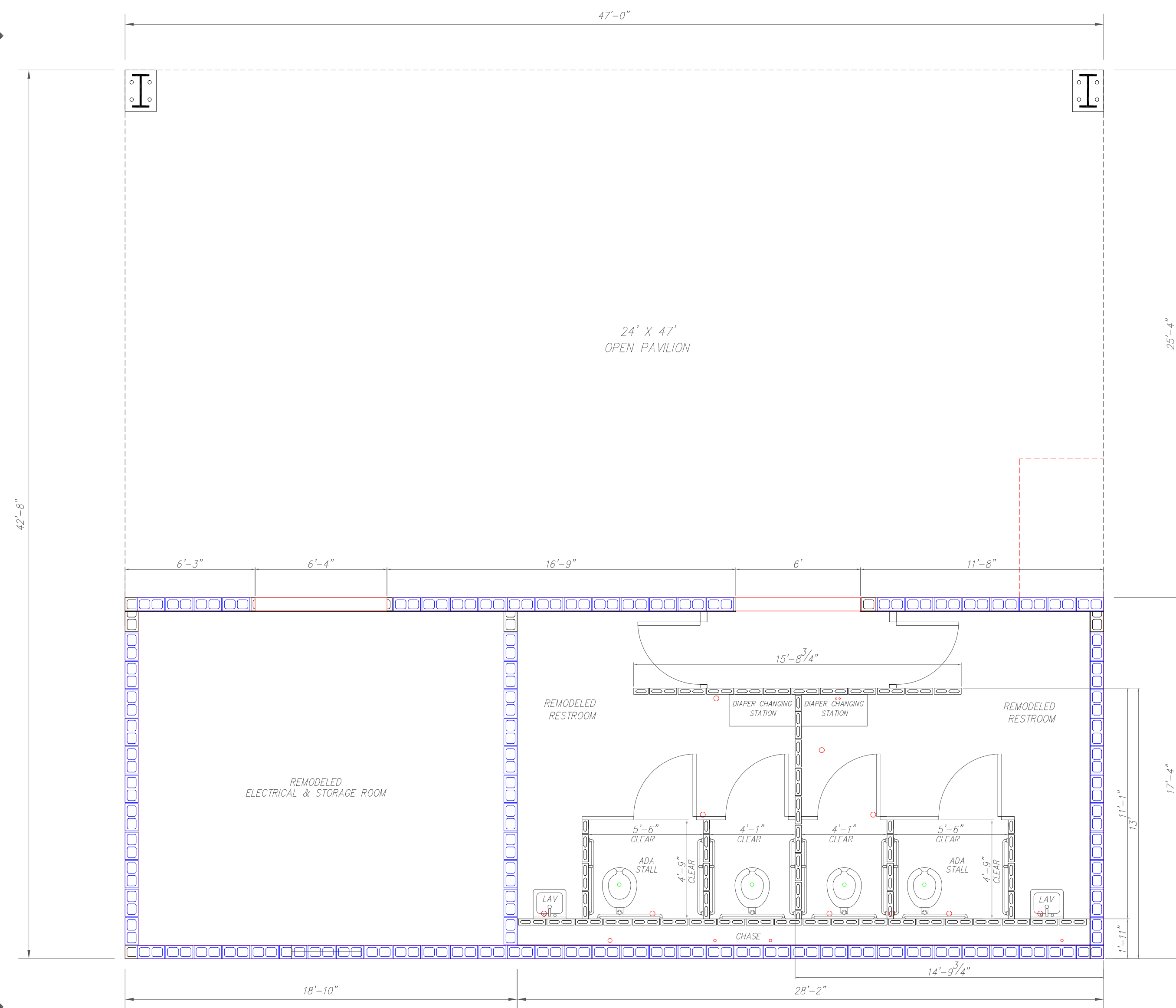
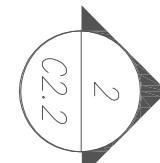


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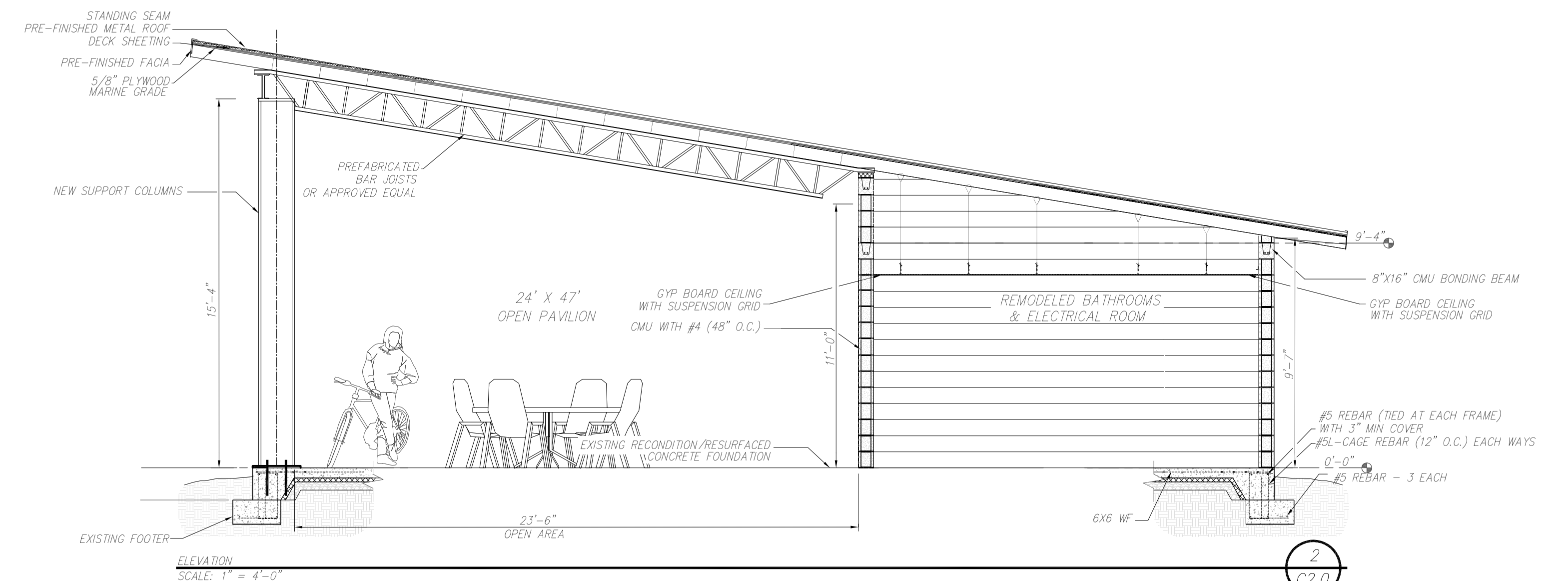
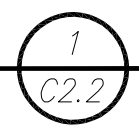
ALCOA 40 PARK
REMODELED STRUCTURE
GENERAL ARRANGEMENT
SITE PLAN

REVISION NO./DATE:	A - 11/15/19
PROJECT NO.:	
SHEET NO.:	C2.1

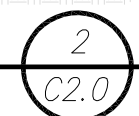
NORTH



REMODELED BATHROOM AND PAVILION - FLOOR PLAN
SCALE: 1" = 4'-0"



ELEVATION
SCALE: 1" = 4'-0"



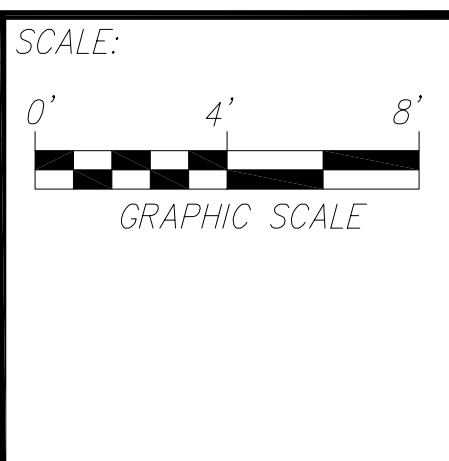
D
C
B
A

XXX###XXX.DWG

APPROVED BY:		
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE

DESIGNED BY:	XYZ
DRAWN BY:	XYZ
CHECKED BY:	XYZ

REV	DESCRIPTION	BY	DATE
A	MOVED X	JSD	01/01/17



LOCATION:

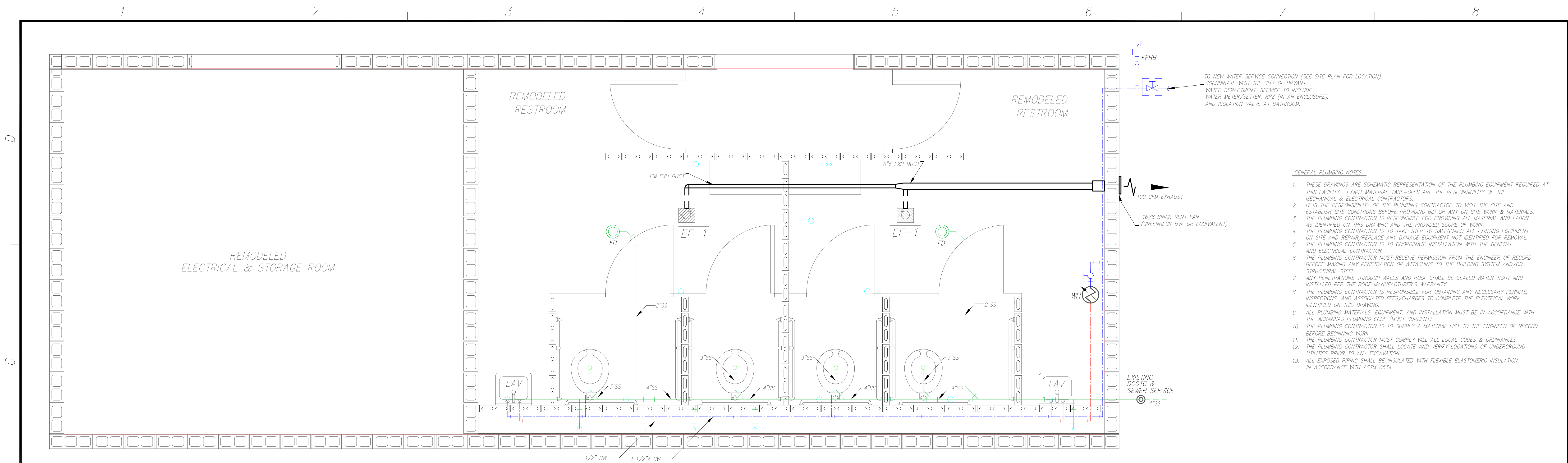
ALCOA 40 PARK
1180 SHOBE ROAD
BRYANT, ARKANSAS
72022



DWG. TITLE:

ALCOA 40 PARK
REMODELED STRUCTURE
GENERAL ARRANGEMENT
PLAN VIEW & DETAILS
FLOOR PLAN

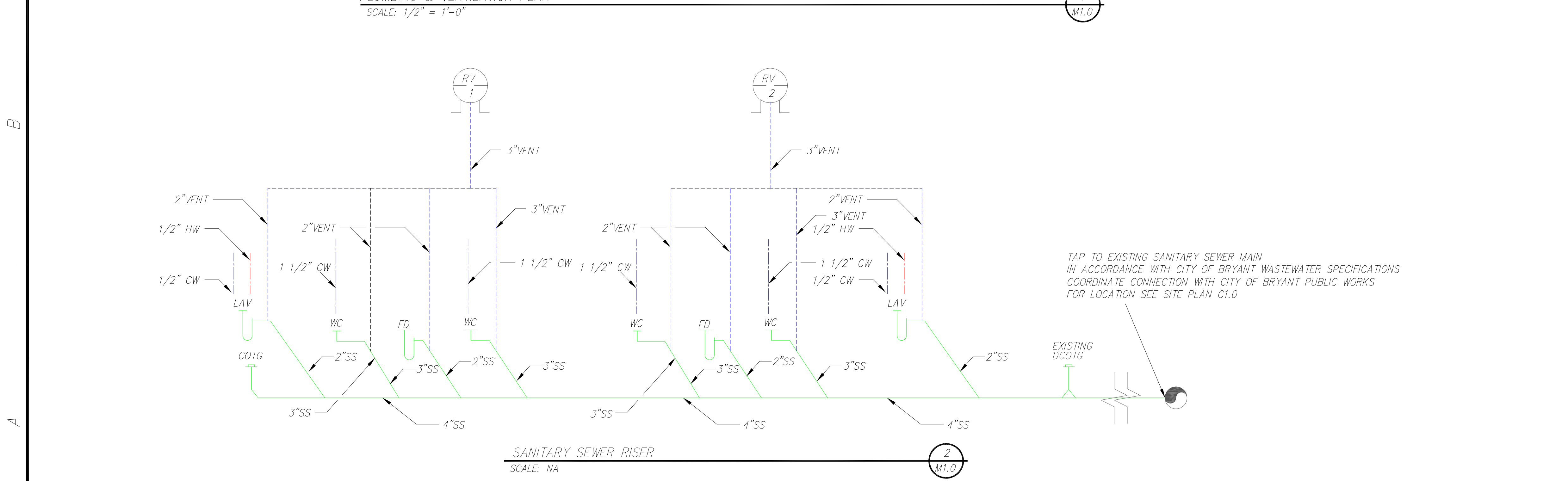
REVISION NO./DATE:	A - 11/15/19
PROJECT NO.:	
SHEET NO.:	C2.2



- GENERAL PLUMBING NOTES
1. THESE DRAWINGS ARE SCHEMATIC REPRESENTATION OF THE PLUMBING EQUIPMENT REQUIRED AT THIS FACILITY. EXACT MATERIAL TAKE-OFFS ARE THE RESPONSIBILITY OF THE MECHANICAL & ELECTRICAL CONTRACTORS.
 2. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO VISIT THE SITE AND ESTABLISH SITE CONDITIONS BEFORE PROVIDING BID OR ANY ON SITE WORK & MATERIALS.
 3. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIAL AND LABOR AS IDENTIFIED ON THIS DRAWING AND THE PROVIDED SCOPE OF WORK.
 4. THE PLUMBING CONTRACTOR IS TO TAKE STEP TO SAFEGUARD ALL EXISTING EQUIPMENT ON SITE AND REPAIR/REPLACE ANY DAMAGE EQUIPMENT NOT IDENTIFIED FOR REMOVAL.
 5. THE PLUMBING CONTRACTOR IS TO COORDINATE INSTALLATION WITH THE GENERAL AND ELECTRICAL CONTRACTOR.
 6. THE PLUMBING CONTRACTOR MUST RECEIVE PERMISSION FROM THE ENGINEER OF RECORD BEFORE MAKING ANY PENETRATION OR ATTACHING TO THE BUILDING SYSTEM AND/OR STRUCTURAL STEEL.
 7. ANY PENETRATIONS THROUGH WALLS AND ROOF SHALL BE SEALED WATER TIGHT AND INSTALLED PER THE ROOF MANUFACTURER'S WARRANTY.
 8. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS, INSPECTIONS, AND ASSOCIATED FEES/CHARGES TO COMPLETE THE ELECTRICAL WORK IDENTIFIED ON THIS DRAWING.
 9. ALL PLUMBING MATERIALS, EQUIPMENT, AND INSTALLATION MUST BE IN ACCORDANCE WITH THE ARKANSAS PLUMBING CODE (MOST CURRENT).
 10. THE PLUMBING CONTRACTOR IS TO SUPPLY A MATERIAL LIST TO THE ENGINEER OF RECORD BEFORE BEGINNING WORK.
 11. THE PLUMBING CONTRACTOR MUST COMPLY WILL ALL LOCAL CODES & ORDINANCES
 12. THE PLUMBING CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
 13. ALL EXPOSED PIPING SHALL BE INSULATED WITH FLEXIBLE ELASTOMERIC INSULATION IN ACCORDANCE WITH ASTM C534.

PLUMBING & VENTILATION PLAN
SCALE: 1/2" = 1'-0"

1
M1.0



2
M1.0

PLUMBING LEGEND

	DOMESTIC COLD WATER		WC	WATER CLOSET (SEE SPECIFICATIONS)
	DOMESTIC HOT WATER		VENTILATION FAN W/16"-8" BRICK VENT FAN (GREENHECK BVF) COORDINATE WITH ELECTRICAL CONTRACTOR	
	SANITARY SEWER		COTG	CLEAN OUT TO GRADE
	VENT LINE		DCOTG	DOUBLE CLEAN OUT TO GRADE
	BALL VALVE		CW	DOMESTIC COLD WATER
	ISOLATION VALVE IN A BURIED VAULT		HW	DOMESTIC HOT WATER
	FFHB		WH	WATER HEATER (SEE SPECIFICATION)
	RV			
	FD			
	LAV			LAVATORY (SEE SPECIFICATION)

APPROVED BY:

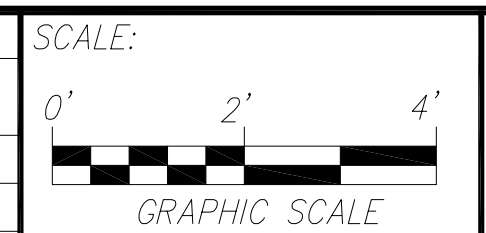
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE

DESIGNED BY: XYZ

DRAWN BY: XYZ

CHECKED BY: XYZ

REV	DESCRIPTION	BY	DATE
A	ISSUED FOR BIDS	JSD	01/01/20



LOCATION:

ALCOA 40 PARK
1180 SHOBE ROAD
BRYANT, ARKANSAS
72022



DWG. TITLE:

ALCOA 40 PARK
BATHROOM
PLUMBING
PLAN & RISER SCHEMATIC

REVISION NO./DATE:

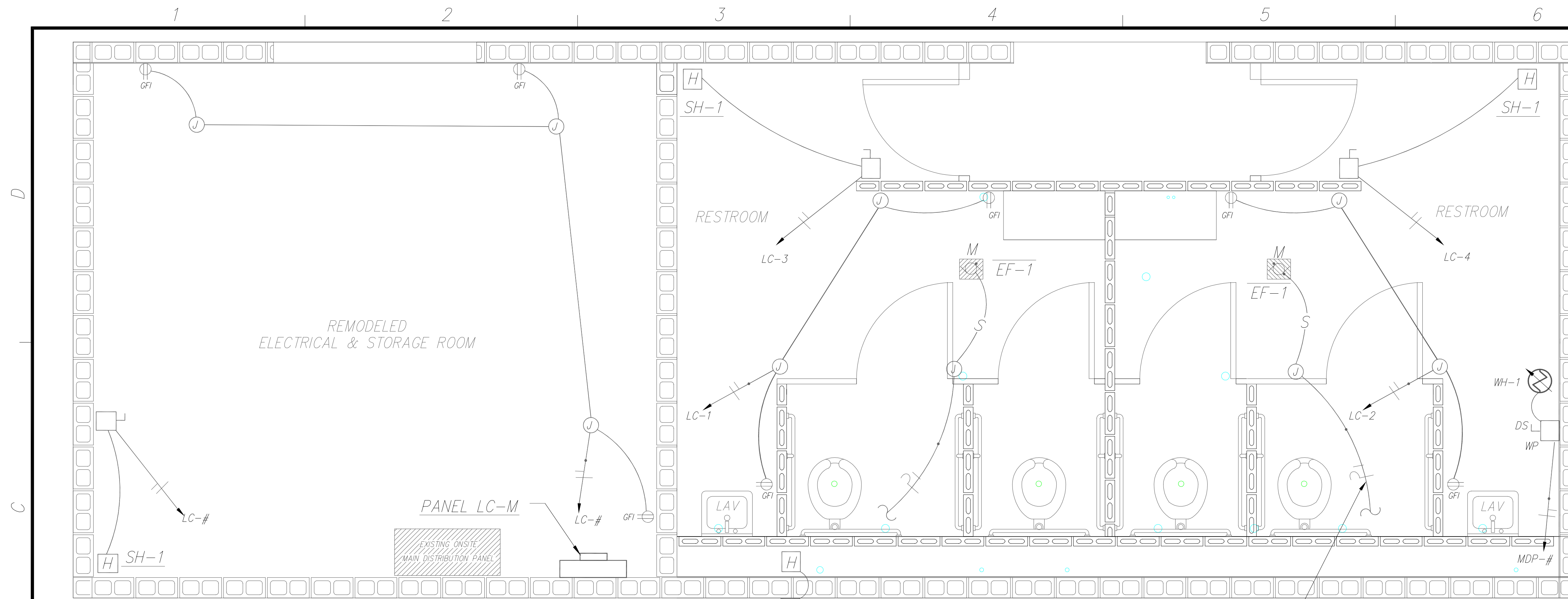
B - 6/28/22

PROJECT NO.:

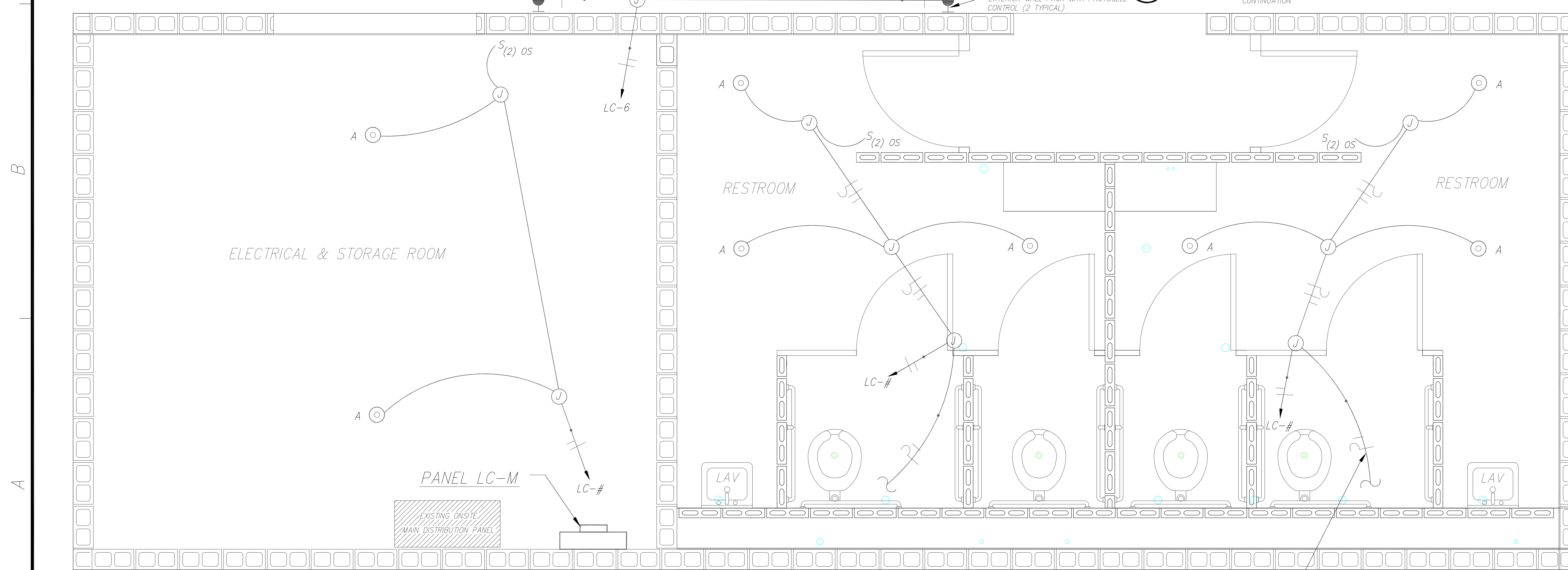
SHEET NO.:

M1.0

XXX##XXX.DWG



ELECTRICAL POWER PLAN
SCALE: 1/2" = 1'-0"



ELECTRICAL POWER PLAN
SCALE: 1/2" = 1'-0"

- GENERAL ELECTRICAL NOTES
- THESE DRAWINGS ARE SCHEMATIC REPRESENTATION OF THE ELECTRICAL EQUIPMENT REQUIRED AT THIS FACILITY. EXACT MATERIAL TAKE-OFFS ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
 - IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VISIT THE SITE AND ESTABLISH SITE CONDITIONS BEFORE PROVIDING BID OR ANY ON SITE WORK & MATERIALS.
 - THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIAL AND LABOR AS IDENTIFIED ON THIS DRAWING AND THE PROVIDED SCOPE OF WORK.
 - THE ELECTRICAL CONTRACTOR IS TO TAKE STEP TO SAFEGUARD ALL EXISTING EQUIPMENT ON SITE AND REPAIR/REPLACE ANY DAMAGE EQUIPMENT NOT IDENTIFIED FOR REMOVAL.
 - THE ELECTRICAL CONTRACTOR IS TO COORDINATE INSTALLATION WITH THE GENERAL AND MECHANICAL CONTRACTOR.
 - THE ELECTRICAL CONTRACTOR MUST RECEIVE PERMISSION FROM THE ENGINEER OF RECORD BEFORE MAKING ANY PENETRATION OR ATTACHING TO THE BUILDING SYSTEM AND/OR STRUCTURAL STEEL.
 - ANY PENETRATIONS THROUGH WALLS AND ROOF SHALL BE SEALED WATER TIGHT AND INSTALLED PER THE ROOF MANUFACTURER'S WARRANTY.
 - THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS, INSPECTIONS, AND ASSOCIATED FEES/CHARGES TO COMPLETE THE ELECTRICAL WORK IDENTIFIED ON THIS DRAWING.
 - ALL WIRE SHALL BE COPPER THHN/THWN, 600V INSULATION SIZED FOR APPLICATION ACCORDING TO CURRENT NEC (MOST CURRENT).
 - PROVIDE GROUNDING PER NEC (MOST CURRENT).
 - ALL EXPOSED EQUIPMENT, CONDUIT AND BOXES SHALL BE PAINTED AND FINISHED PER THE ARCHITECT.
 - COMPLY WITH ALL LOCAL CODES & ORDINANCES INCLUDING MOST CURRENT NFPA 70 (NEC). NO COMMON NEUTRALS SHALL BE ALLOWED.
 - THE ELECTRICAL CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.

ELECTRICAL LEGEND

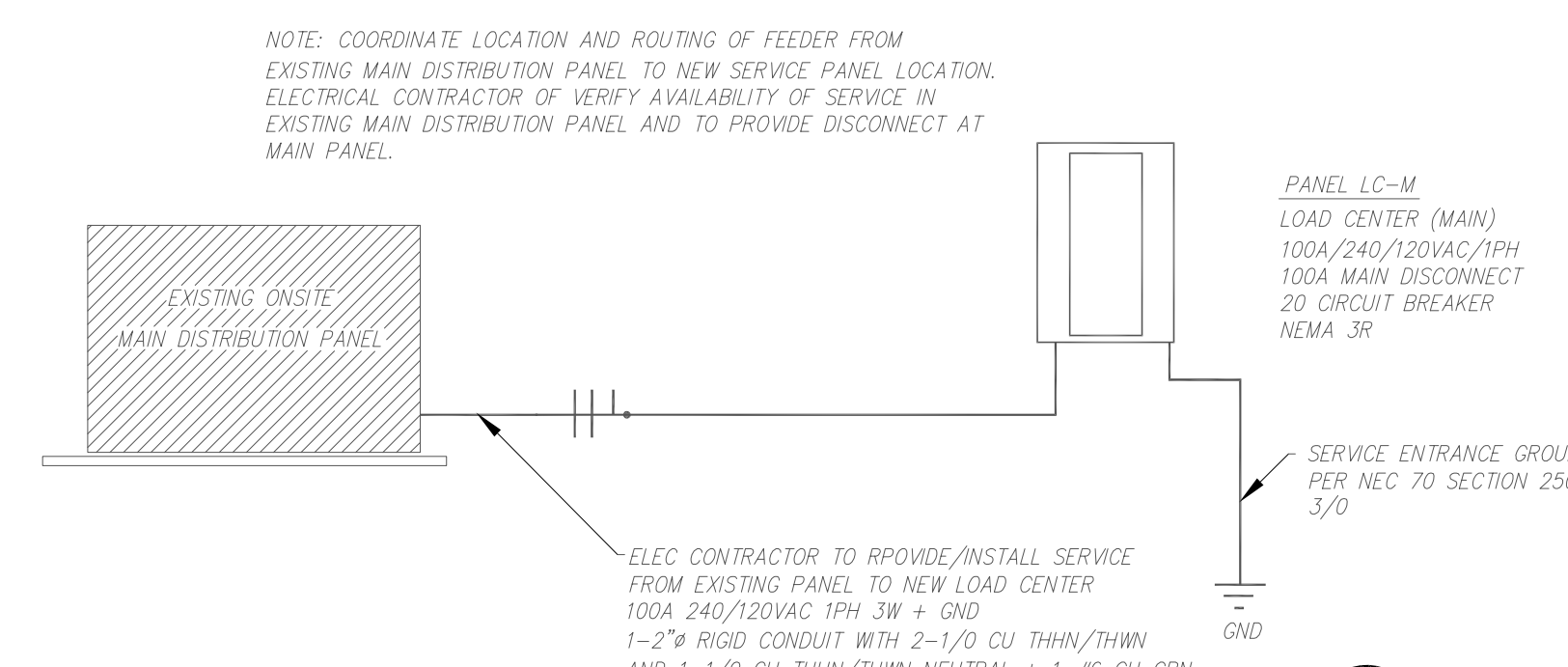
	JUNCTION BOX - CONNECT EQUIPMENT AS REQUIRED		120V RECEPTACLE, DUPLEX - 18" AFF UNLESS OTHERWISE NOTED
	MAIN LOAD CENTER		120V RECEPTACLE, GROUND FAULT INTERRUPTING
	DISCONNECT SWITCH - SIZE AS NOTED ON PLANS AMPS/POLE		LED FIXTURE - WALL MOUNT - LETTER DENOTES TYPE SEE LEGEND THIS SHEET FOR MODEL#
	SWITCH - SINGLE POLE, 4" AFF, LOWER CASE LETTER AND CIRCUIT SWITCHING, SEE SWITCHING LEGEND THIS SHEET FOR MODEL #		LED FIXTURE - CEILING MOUNT - LETTER DENOTES TYPE SEE LEGEND THIS SHEET FOR MODEL #
	SWITCH - DUAL CIRCUIT OCC/VAC H, 4" AFF SEE SWITCH LEGEND THIS SHEET FOR MODEL #		WATER HEATER AS NOTED
	MANUAL MOTOR STARTER - SQUARE D CLASS 1510 W/OVERLOAD PROTECTION IN ALL LEGS		CTR NOTE: COUNTER TOP - 8" ON CENTER ABOVE FINISHED COUNTER
	WIRE AND CONDUIT		DS NOTE: DISCONNECT SWITCH
	HOME RUN TO MAIN PANEL - SYMBOL DENOTES PHASE, SW PHASE, NEUTRAL, RUN, GROUND		FBO NOTE: FURNISHED BY OTHERS
	ELECTRICAL EQUIPMENT AS NOTED		WP NOTE: WEATHER PROOF PHASE, NEUTRAL, RUN, GROUND
	MOTOR		WH NOTE: WATER HEATER

LIGHTING AND FIXTURE SCHEDULE

NOTE	DESCRIPTION	MANUFACTURER	MODEL #	QUANTITY	TEMPERATURE
A	CEILING SURFACE MOUNT WET LOCATION LED POLYCARBONATE RESTROOM FIXTURE	BROWLEE LITG	1005-CRLED-40K-T	4 EA	4000K
H	EXTERIOR LED WALL PACK FIXTURE W/PHOTO CONTROL	BROWLEE LITG	1005-CRLED-40K-T	2 EA	4000K
EF-1	EXHAUST FAN MATCH EXISTING	MATCH	MATCH	2 EA	
SH-1	RESISTANCE HEATER MATCH EXISTING	MATCH	MATCH	2 EA	

PANEL SCHEDULE

NOTE	DESCRIPTION	CIRCUIT BREAKERS	EQUIPMENT/DEVICE
LC-M	LOAD CENTER (MAIN) - SQUARE D MODEL NO. HOM2040M100R8B OR APPROVED EQUIVALENT - 100A/240/120VAC/1PH NEMA 3R SURFACE MOUNT ENCLOSURE WITH 1-100A MAIN CIRCUIT BREAKER AND 20 CIRCUIT BREAKER SPACES	(1) - 100A/20	MAIN CB (PANEL LC-1)
		(14) - 20A/1P	EF-1, LIGHTS, HEAT TAPE, RECEPT, SPARES, ETC.
		(3) - 20A/1P/GFI	SH-1 (2 REQD)
		(1) - 30A/1P/GFI	WH-1 (1 REQD)



ELECTRICAL SERVICE RISER
SCALE: N/A

APPROVED BY:

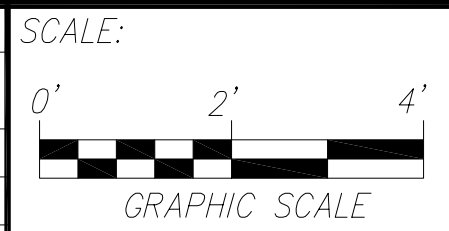
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE
TITLE	SIGNATURE	DATE

DESIGNED BY: XYZ

DRAWN BY: XYZ

CHECKED BY: XYZ

REV	DESCRIPTION	BY	DATE
A	ISSUED FOR BIDS	JSD	01/01/20



LOCATION:

ALCOA 40 PARK
1180 SHOBE ROAD
BRYANT, ARKANSAS
72022



DWG. TITLE:

ALCOA 40 PARK
BATHROOM
ELECTRICAL
POWER AND LIGHTING

REVISION NO./DATE:

B - 6/28/22

PROJECT NO.:

SHEET NO.:

E1.0

XXX###XXX.DWG





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

*CL Signs "A+B" Approved 6/30/2022
 Pole Sign "D" to DRC on 7/14/2022
 for Approval*

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 06/21/2022

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name TAKE 5 CAR WASH (CURRENTLY CARWASH USA)
 Address 3017 MARKET PLACE
 City, State, Zip BRYANT AR 72022
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business TAKE 5 CAR WASH
 Address/Location of sign 3017 MARKET PLACE
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	90" X 99"	62.1	21' 7"	14'	<i>eL</i>
B	WALL	90" X 99"	62.1	21'7"	14'	<i>eL</i>
C	WALL	76" X 130.9"	69.1	20'	14'	
E						
F		JOB COSTS \$50000.00				
G						

Approved 6/30/2022

Cannot Approve ↗

To DRC For Approval →

D	PYLON	135" X 149.2"	139.9	25'	165"
----------	--------------	----------------------	--------------	------------	-------------

SIGNS E, F, G & H ARE DIRECTIONAL ONLY AND LESS THAN THE ALLOWED 6SF EACH

** Directional Signs do Not Need to be Permitted.*



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

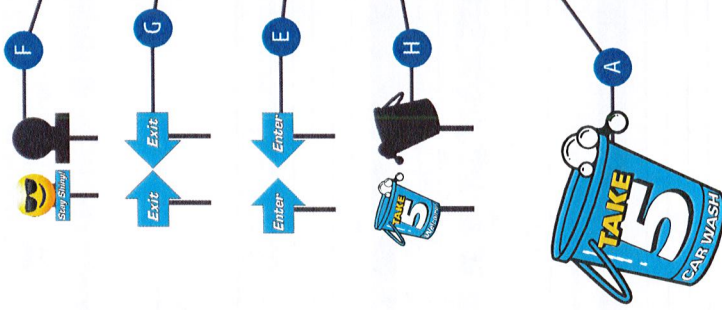
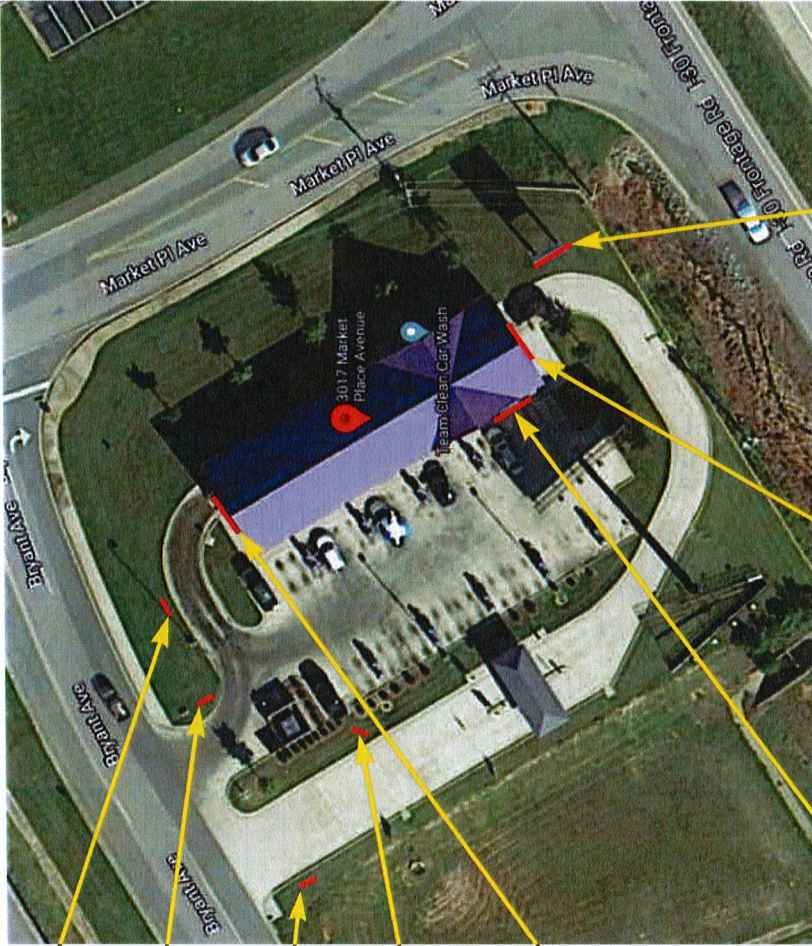
Description:
Site Plan

Color Key:

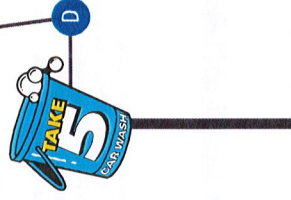
Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



CAR
WASH



C

Site & Sign Location Plan

Scale: NTS



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VICINITY MAP:





Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Sign Code

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/JAR
04/29/2022 - SK
05/12/2022 - SK/JAR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104

PRE-PERMIT SIGN INFO - Additional Notes	Property ID:	CWUSAE	VARIANCE
1. Variance Meeting: <u>2nd Mondays</u> App. Deadline: <u>15 days</u> prior to meeting date Est. Fees: <u>\$165</u>			
2. Processing Time: <u>Allow 80-90 days</u> Waiting Period after approval & how long? <u>Allow 30 days</u>			
3. Attorney or expediter required? <input type="checkbox"/> Yes <input type="checkbox"/> No			
4. Probability of obtaining variance? <u>50%</u> Other: <u>Mailing labels for all abutters within 300 ft radius</u>			
5. Documents Required: <input type="checkbox"/> Engineering Seal <input type="checkbox"/> Ut. Number <input type="checkbox"/> Building Elevations <input type="checkbox"/> Overl Authorization Ltr <input type="checkbox"/> Property/D# <input type="checkbox"/> Site Plan <input type="checkbox"/> Legal Description <input type="checkbox"/> Add'l Prof. Seals			
NOTES			
Follow allowances above, up to aggregate max:			
5) The maximum aggregate surface area of all permitted signs for any establishment shall not exceed 300 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 100 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.			
6) Pole signs will be spaced no closer than 60 feet from any other pole sign.			

PRE-PERMIT SIGN INFO	Property ID:	CWUSAE
A.) Project Name: <u>CWUSAE</u> Date Completed: <u>1/9/20</u>		
B.) Street Address: <u>3017 Marketplace</u>		
C.) City / State / Zip: <u>Bryant, AR 72022</u>		
D.) Municipal Contact: <u>Colton Leonard</u>		
E.) Contact Phone: <u>501-943-9301</u> Email: <u>cleonard@silverbryant.com</u>		
F.) Address/City/ST/Zip: <u>210 SW 3rd St. Bryant, AR 72022</u>		
G.) Jurisdiction: <u>Bryant</u> City/Town of: <u>Bryant</u> Fax: <u>(501) 943-0992</u>		
H.) Zoning Category: <u>C2 Commercial</u>		
I.) Permit app fee: <u>\$50</u> Masked Sign Plan: <u>No</u>		
J.) Permit Process time: <u>Allow 2 weeks</u> If <u>yes</u> is copy available? <u>No</u>		
K.) Permit required if only relocating? <u>No</u>		
L.) Property Owner approval needed? <u>Yes</u>		
M.) Temporary/coming-soon Banners allowed? <u>Yes</u>		
N.) Temporary Freestanding Signs allowed? <u>Yes</u>		
O.) Temporary Signs require Permit? Time allowed: <u>Permit is only required if displayed for more than 7 days (up to 30 max w/perm)</u> Yes, Applications may be mailed		
P.) Can app be mailed or must it be submitted in person? <u>Yes, Applications may be mailed</u>		
ATTACHED SIGNS		
1.) Formula for sq ft: <u>Follow aggregate max below in notes for ALL signs. Wall signs cannot exceed 2 sf per lineal foot of street frontage facing wall.</u>		
2.) Set Ft for bldg sides/rear: <u>Formula above, must face street.</u>		
3.) Does Each elevation have own calc, or is allowance based on Main Elevation? <u>street frontage facing elevations, up to aggregate max.</u>		
4.) Transferable allowances? <u>No</u>		
5.) # allowed: <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
6.) Calculation Method: <u>Box Entire letter set/Cabinet, including Backer Panel</u>		
7.) Max. Overall Height: <u>cannot exceed roofline/height of wall</u>		
8.) Exposed raceway for Channel Letters allowed? <u>Yes</u>		
9.) Special Wall sign codes-this property: <u>No</u>		
10.) Special storefront building colors: <u>No</u>		
FREESTANDING SIGNS		
1.) Formula for sq ft: <u>Follow aggregate max below in notes for all signs. Allowance includes wall and F/S & Secondary.</u>		
2.) # allowed: <u>1 per street frontage</u> Illumination: <u>Internal & External</u>		
3.) Height Max: <u>25 ft or height of building (whichever is lower)</u> Grade-to-sign Clearance: <u>10 ft, cannot obstruct vision</u>		
4.) Set-back: <u>10 ft from curbline</u> Calculation Method: <u>Count only largest sign face</u>		
DIRECTIONAL SIGNS		
1.) # Allowed: <u>as needed</u> Illumination: <u>Internal & External</u>		
2.) Max SqFt: <u>6 sf</u> Max. Height: <u>not regulated</u>		
3.) Permit: <u>No</u> Custom Logo: <u>Yes</u>		
DOOR/WINDOW VINYL		
1.) # Allowed: <u>No limit, not regulated</u> Max Sq Ft: <u>Not regulated</u>		
2.) Logos counted in sign area? <u>Not regulated</u>		
3.) Included in wall sign allowance? <u>No</u>		
4.) Sign permit required? <u>No</u>		
Note: <small>is required as permitted in our City Code Chapter 17. This chapter sets forth the requirements for all of the review process, interpretations, calculations or fees of local authorities. Where required by local authority, a permit is required prior to manufacture.</small>		



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Sign Management Made Simple



Client:
Boiling US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

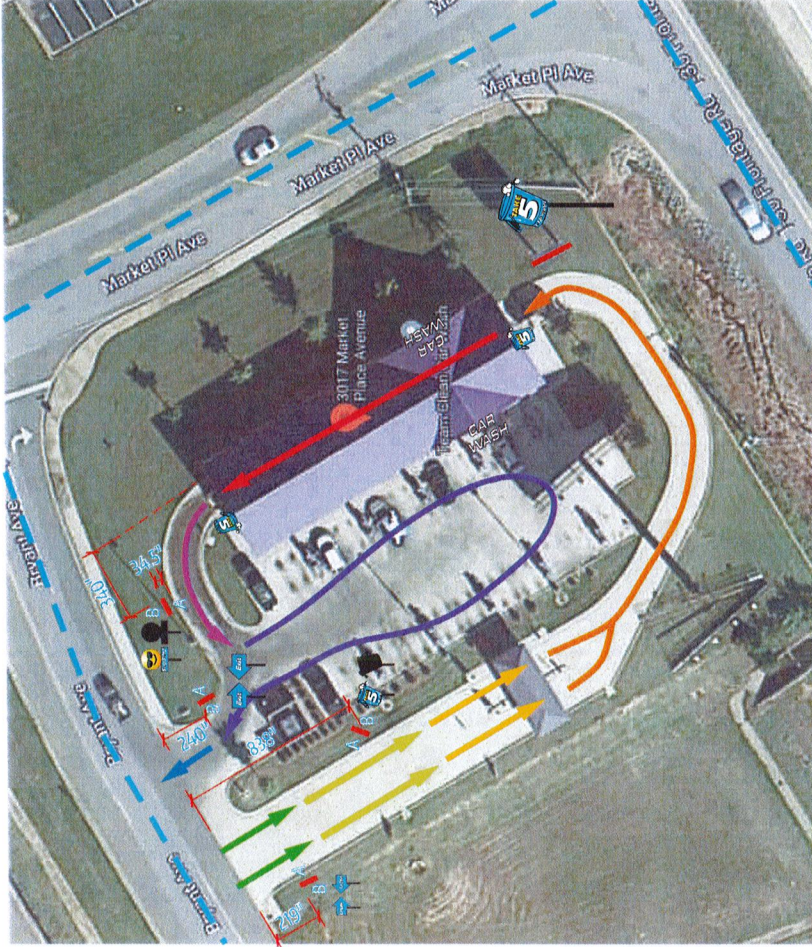
Description:
Journey Plan

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/02/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



MESSAGE MAPPING

ZONE 1	ROADSIDE LOCATION VISIBILITY
ZONE 2	ENTRANCE/EXIT SELECTION / HYDRATING
ZONE 3	THE APPROACH TO THE WASH / PRE-SELL OPTIONS
ZONE 4	PAID STATION / MENU / WASH SELECTION
ZONE 5	PRE WASH / REINFORCEMENT CONFERENCE
ZONE 6	WASH / COMPRESSION
ZONE 7	WASH EXIT / THANK YOU
ZONE 8	VICIOUS EXPERIENCE GUARANTEE
ZONE 9	EXIT / THANK YOU / WASTE BACK

Journey Plan

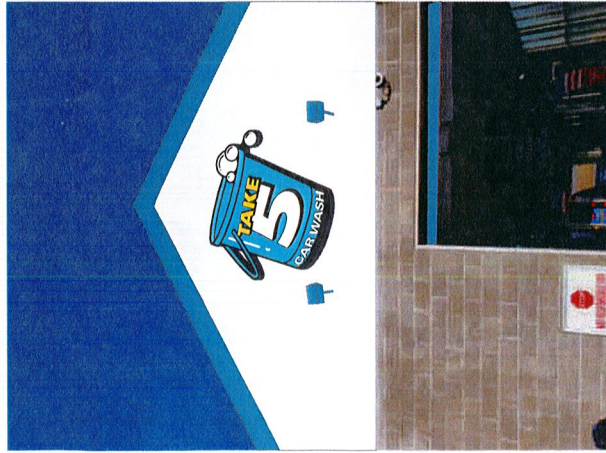


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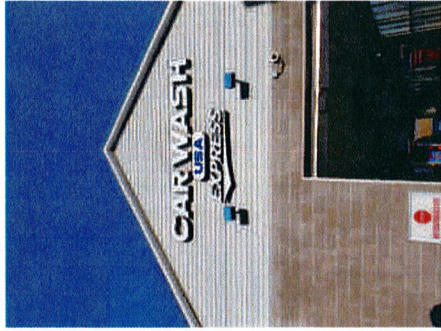
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Sign Management Made Simple

EGAN
SIGN



Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf
 Calculation: $2 * 263 = 526$ sf

Allowed: 400 sf total

Used: 62.1 sf

Existing: 59.4 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.8 sf

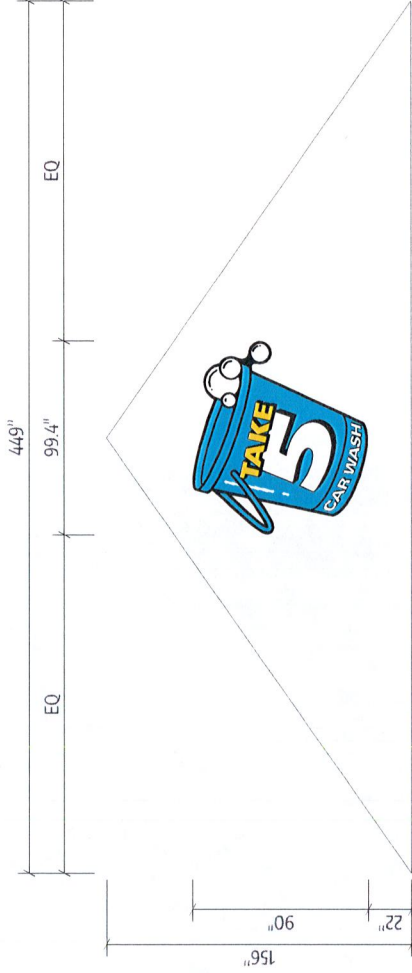
Sign G - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters



Scale: 3/16" = 1'-0"



Client:

Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)

Remove existing signage.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:

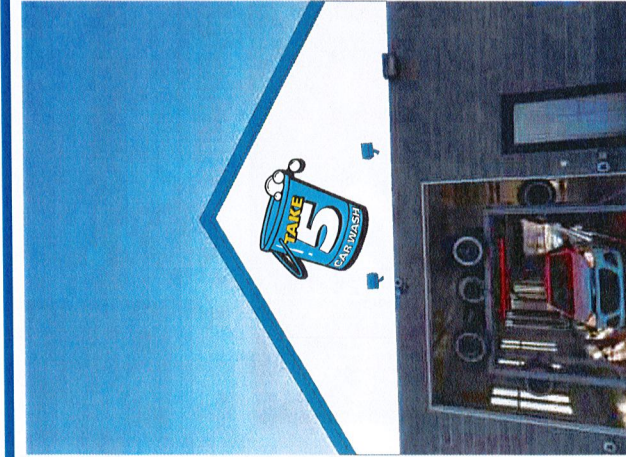
28104_Bryant.pdf
 Project Number: 28104

Sign Management Made Simple

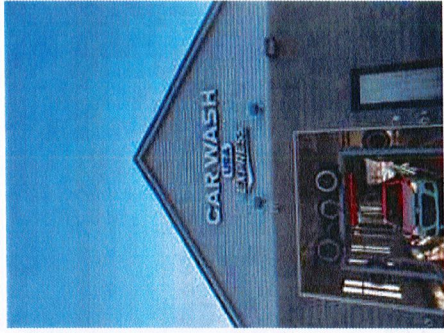
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Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf

Calculation: $2 * 263 = 526$ sf

Allowed: 400 sf total

Used: 62.1 sf

Existing: 59.4 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.6 sf

Sign G - 3.8 sf

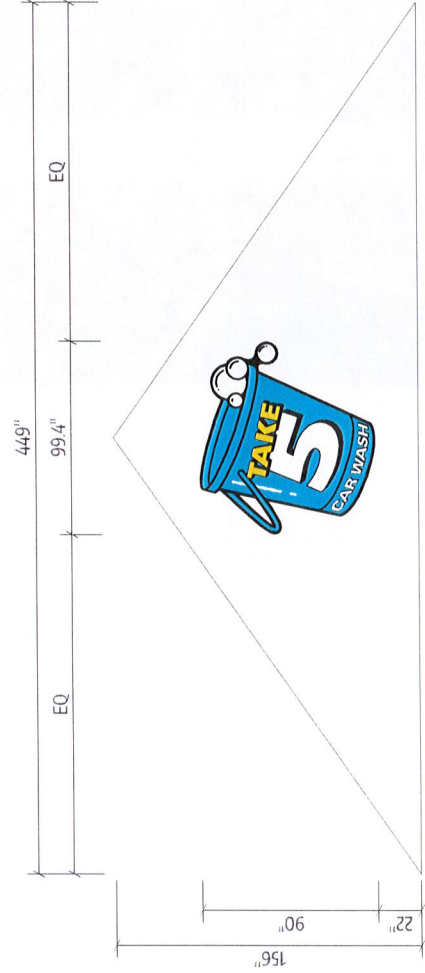
Sign H - 4.4 sf

Total Used: 348.8 sf total

Illuminated Channel Letters

B

Scale: 3/16" = 1'-0"



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
T5-ILCL-90
Illuminated Channel Letters
(62.1 sq ft)

Remove existing signage.

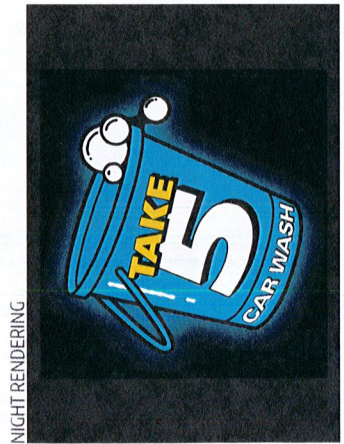
Color Key:
■ PMS 2791 C
■ PMS 107 C
■ Black
■ White

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104





EGAN SIGN
 Illuminated Channel Letters
 Scale: NTS
 A/B

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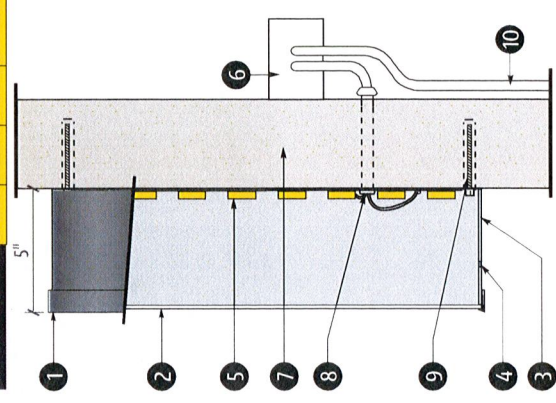
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Illuminated Channel Letters	X	X1	Y	Total Square Feet
T5-ILCL-31.5	31.5	4.2	34.8	7.6
T5-ILCL-40	40	5.3	44.2	12.3
T5-ILCL-41	41	5.5	45.3	12.9
T5-ILCL-48	48	6.4	53	17.7
T5-ILCL-55	55	7.3	60.8	23.2
T5-ILCL-56	56	7.5	61.9	24.1
T5-ILCL-59	59	7.9	65.2	26.7
T5-ILCL-60	60	8	66.3	27.6
T5-ILCL-66	66	8.8	73	33.5
T5-ILCL-68	68	9.1	75.1	35.5
T5-ILCL-72	72	9.6	79.6	39.8
T5-ILCL-76	76	10.1	84	44.3
T5-ILCL-80	80	10.7	88.4	49.1
T5-ILCL-84	84	11.2	92.8	54.1
T5-ILCL-90	90	12	99.4	62.1

CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 PLEXIGLAS FACE W/ DIGITALLY PRINTED GRAPHICS TO MATCH COLOR KEY
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
 This includes proper grounding and bonding of the sign.



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111
Location Address:
 Take 5 Car Wash #65

Description:
 T5-ILCL-90
 Illuminated Channel Letters
 (62.1 sq ft)
 QTY: 2
 Provide LED illuminated channel letters w/ digitally printed graphics; installed flush to facade.

Color Key:
 ■ PMS 2191 C
 ■ PMS 107 C
 ■ Black
 ■ White

Layout Date:
 04/21/2022 - AR

Revision Date:
 04/25/2022 - SK/AR
 04/29/2022 - SK
 05/12/2022 - SK/AR
 06/09/2022 - SK

File Name:
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 Project Number: 28104

Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

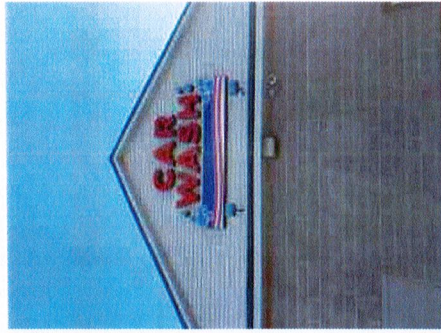
Remove existing signage.

Color Key:

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
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Project Number: 28104



Existing



Proposed

Square Footage Calculation:

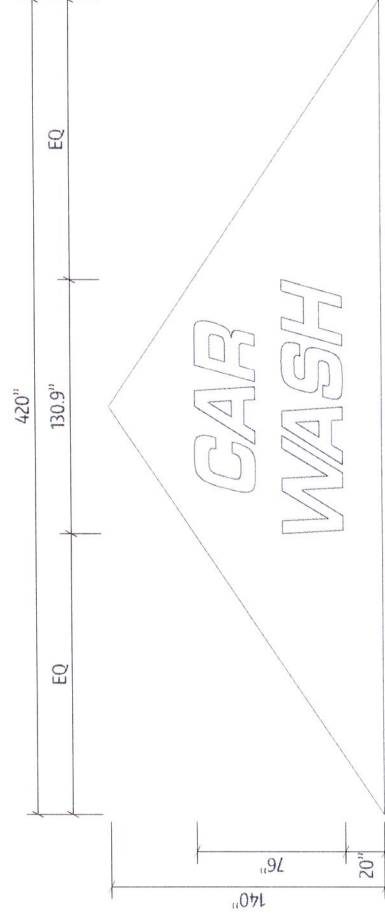
Code: 2 sf per linear feet of street
frontage facing wall; max of 400 sf
Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 69.1 sf

- Existing: 59.4 sf
- Sign A - 62.1 sf
- Sign B - 62.1 sf
- Sign C - 69.1 sf
- Sign D - 139.9 sf
- Sign E - 3.8 sf
- Sign F - 3.8 sf
- Sign G - 4.4 sf

Total Used: 348.8 sf total



Illuminated Channel Letters



Scale: 3/16" = 1'-0"

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Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Illuminated Channel Letters
(69.1 Sq Ft)

Qty: 1

Provide 5" deep LED illuminated channel letters mounted flush to facade per detail.

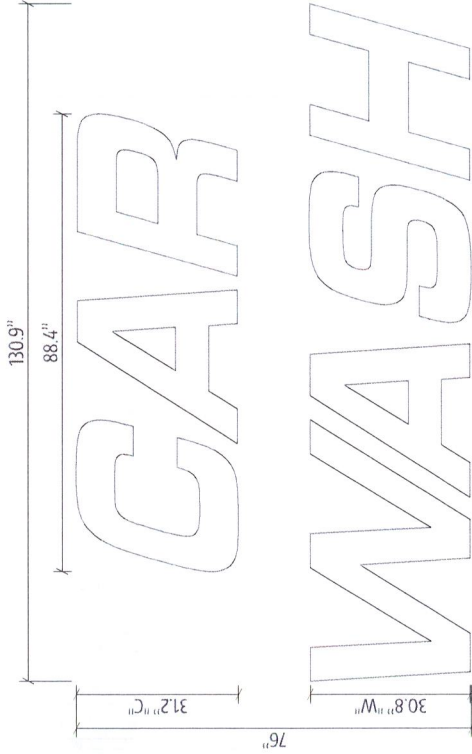
Color Key:

- White
- Black

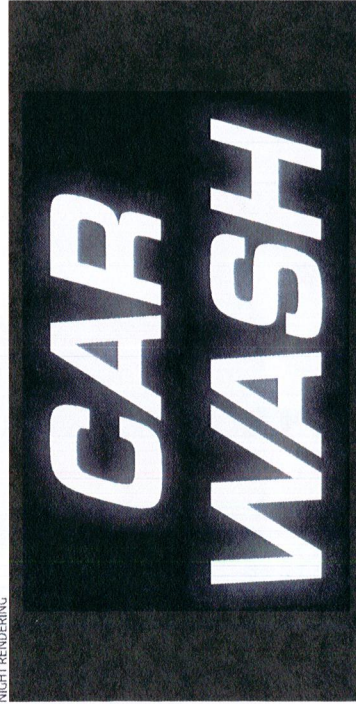
Layout Date:
04/27/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pcf
Project Number: 28104



NIGHT RENDERING



Illuminated Channel Letters

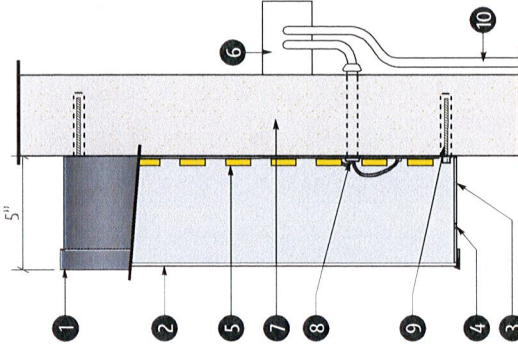


Scale: 1/2"=1'-0"

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File Name:
28104_Bryant.pcf
Project Number: 28104



CROSS SECTION OF UL LISTED CHANNEL LETTERS W/ LEDS

- (1) 1" PLASTIC TRIM CAP PAINTED BLACK
- (2) 3/16 WHITE POLYCARBONATE FACES
- (3) .040 ALUMINUM RETURN PAINTED BLACK (.063 BACK)
- (4) 1/4" DRAIN HOLES (Min. 2 per letter)
- (5) LED ILLUMINATION
- (6) LED POWER SUPPLY
- (7) FACADE
- (8) LOW VOLTAGE CLASS 2 POWER LINE
- (9) MOUNTING HARDWARE (3/8"x5" Bolts)
- (10) EXISTING 120 VOLT SERVICE

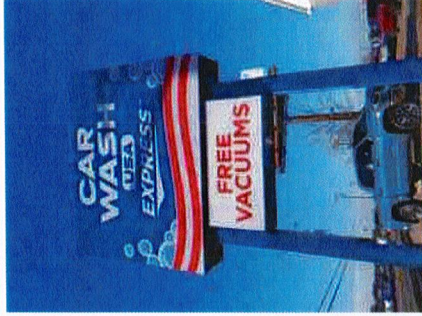
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes.
This includes proper grounding and bonding of the sign.

Sign Management Made Simple





Proposed



Existing

Square Footage Calculation:

Code: 2 sf per linear feet of street frontage facing wall; max of 400 sf freestanding signs NTE 25' h
 Calculation: 2 * 263 = 526 sf

Allowed: 400 sf total

Used: 139.9 sf

Existing: 182.2 sf

Sign A - 62.1 sf

Sign B - 62.1 sf

Sign C - 69.1 sf

Sign D - 139.9 sf

Sign E - 3.8 sf

Sign F - 3.8 sf

Sign G - 4.4 sf

Total Used: 348.8 sf total



Client:
 Boing US Holdco, Inc
 6300 S. Syracuse Way
 Suite 205
 Centennial, CO 80111

Location Address:
 Take 5 Car Wash #65

Description:

T5-PYLON
 Illuminated Pylon Sign
 (139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

Remove existing sign and posts.

Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White
- Digitally Printed Gradient

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
- 04/29/2022 - SK
- 05/12/2022 - SK/AR
- 06/09/2022 - SK

File Name:
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Sign Management Made Simple

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Pylon Sign

Scale: NTS



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Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
T5-PYLON
Illuminated Pylon Sign
(139.9 Sq Ft)

Qty: 1

Provide LED internally illuminated pylon sign per layout.

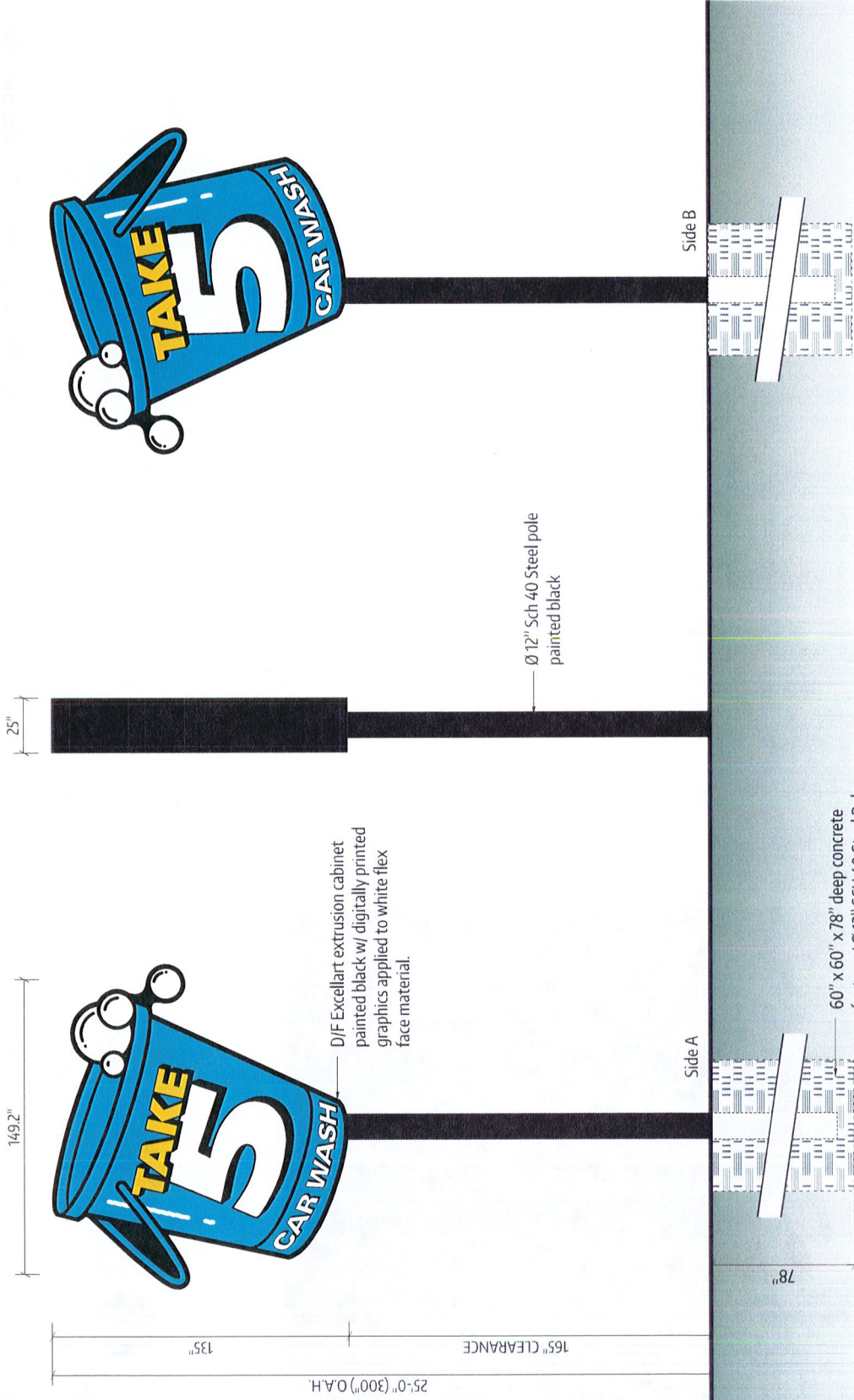
Color Key:

- PMS 2191 C
- PMS 107 C
- Black
- White

Layout Date:
04/21/2022 - AR

Revision Date:
04/25/2022 - SK/AR
04/29/2022 - SK
05/12/2022 - SK/AR
06/09/2022 - SK

File Name:
28104_Bryant.pdf
Project Number: 28104



Illuminated Pylon Sign

Scale: 1/4" = 1'-0"



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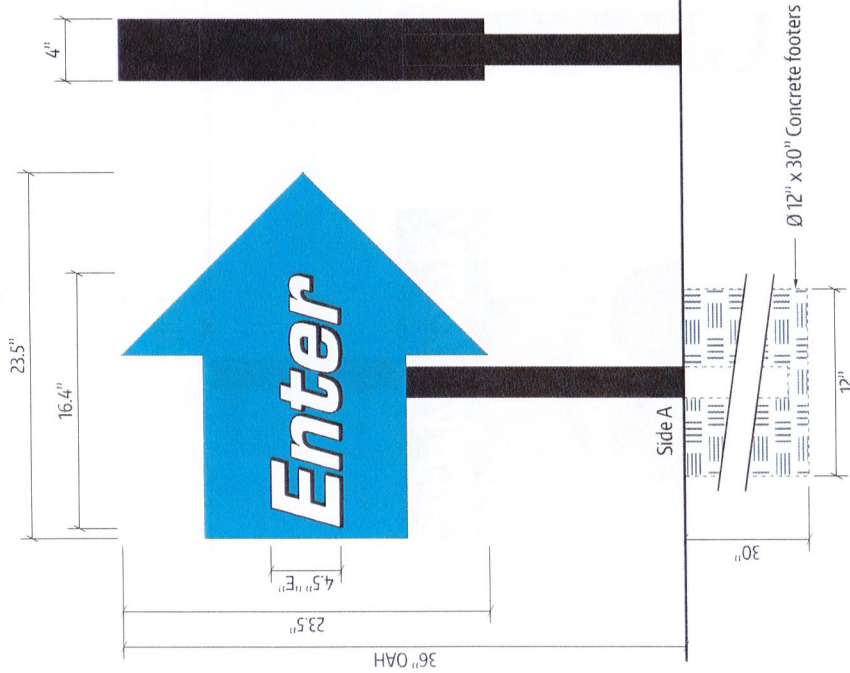
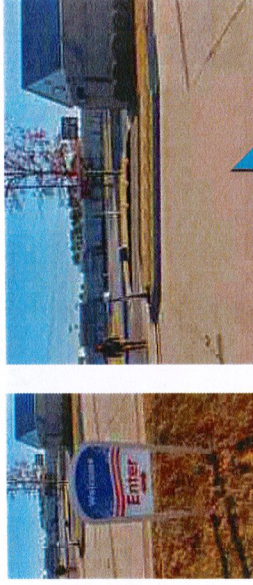
Sign Management Made Simple

EGAN SIGN

Square Footage Calculation:

Allowed: 6 sf

Used: 3.8 sf



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer vinyl to match color key

2" Square aluminum tube frame painted black

Proposed



Client:

Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:

Take 5 Car Wash #65

Description:

Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Color Key:

- PMS 2791 C
- White
- Black

Layout Date:

04/21/2022 - AR

Revision Date:

- 04/25/2022 - SK/AR
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E D/F Directional

Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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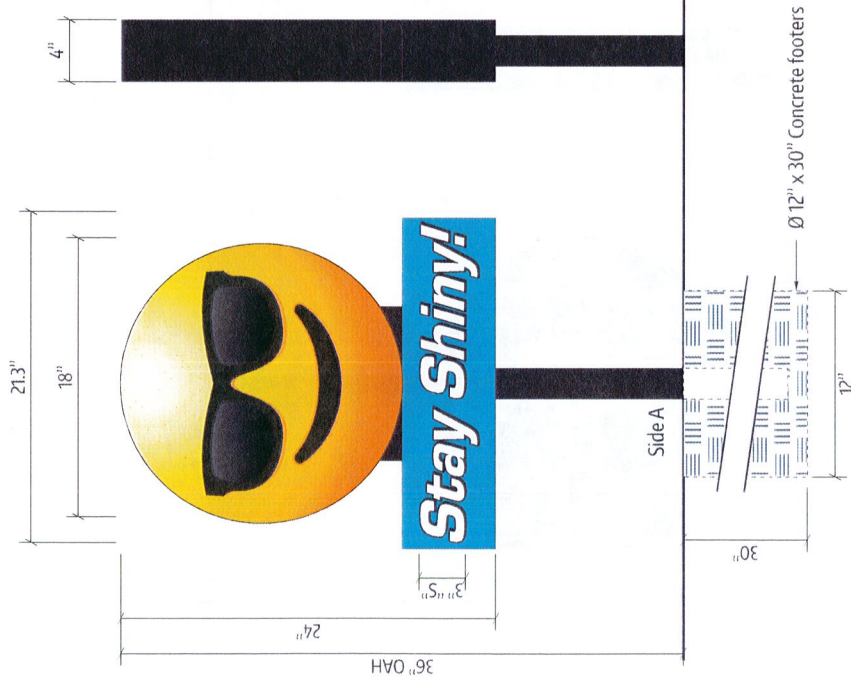
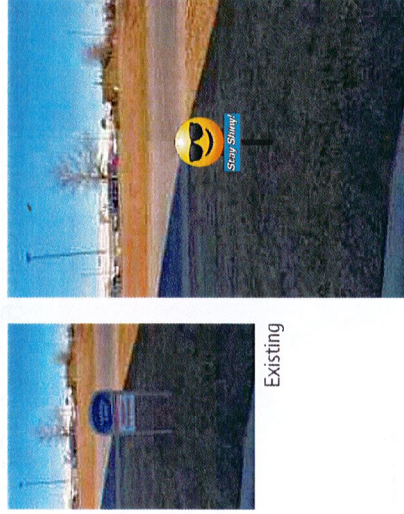


Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

Used: 3.6 sf



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

2" Square aluminum tube frame painted black

Side B

Side A

S/F Wayfinding

F

Scale: 1/12" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(3.6 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

■ PMS 2191 C

■ Digitally Printed Gradient

□ White

■ Black

Layout Date:
04/21/2022 - AR

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EGAN SIGN

Sign Management Made Simple



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Directional Sign
(3.8 sq ft)

Qty: 1

Provide dual-faced non-illuminated directional sign per layout.

Remove existing sign.

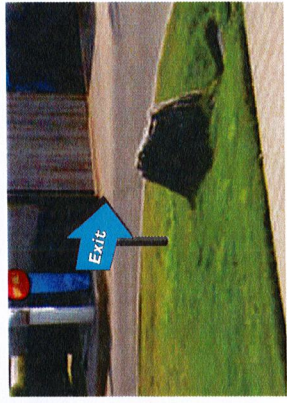
Color Key:

- PMS 2191 C
- White
- Black

Layout Date:
04/21/2022 - AR

Revision Date:
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06/09/2022 - SK

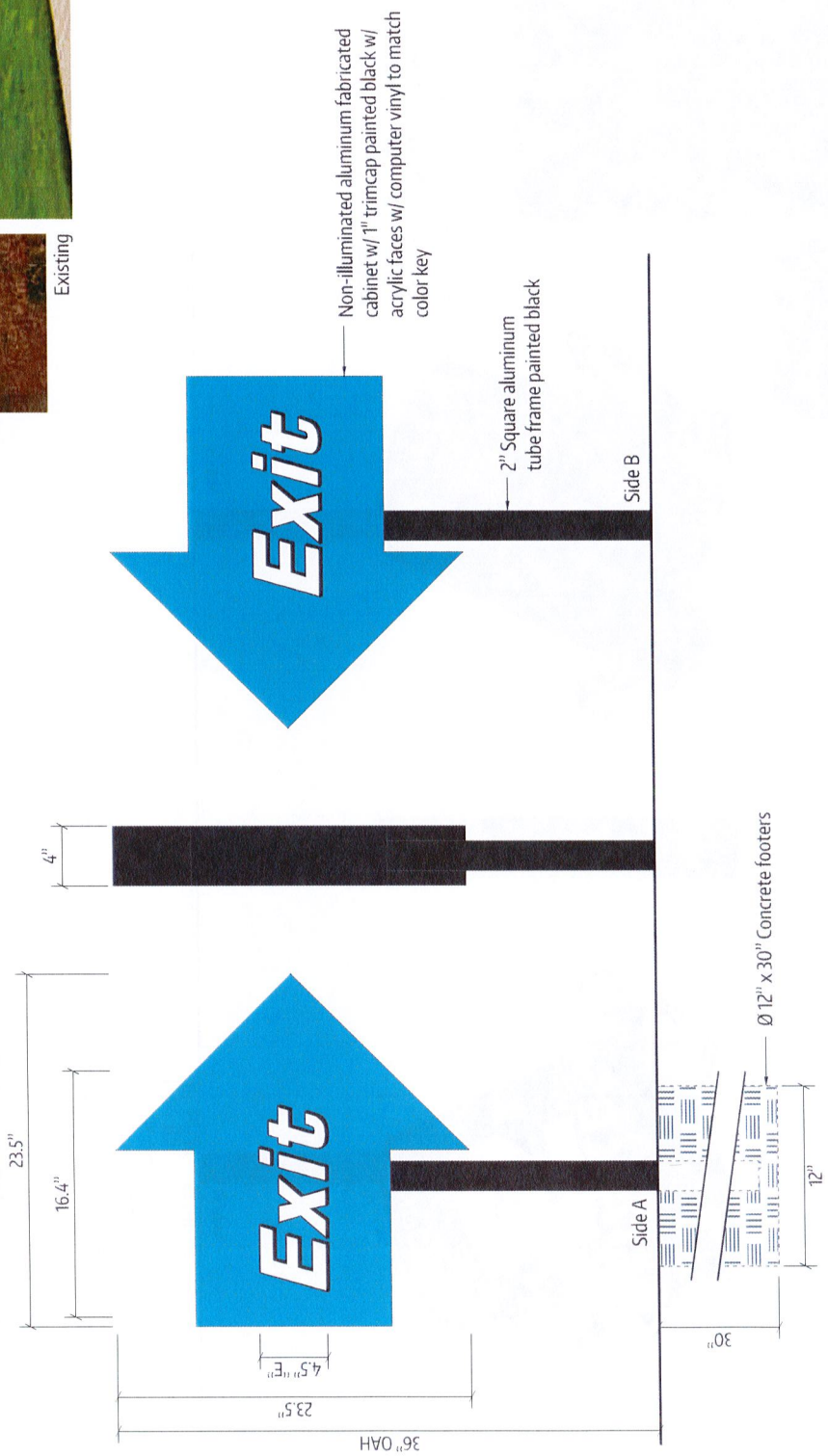
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Project Number: 28104



Proposed



Existing



D/F Directional

G

Scale: 1 1/2" = 1'-0"

Note: All directionals holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

Square Footage Calculation:

Allowed: 6 sf

Used: 3.8 sf

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EGAN SIGN

Sign Management Made Simple

Square Footage Calculation:

Allowed: 6 sf

Used: 4.4 sf



Client:
Boing US Holdco, Inc
6300 S. Syracuse Way
Suite 205
Centennial, CO 80111

Location Address:
Take 5 Car Wash #65

Description:
Wayfinding Sign
(4.4 sq ft)

Qty: 1

Provide single-faced wayfinding sign per layout.

Remove existing sign.

Color Key:

- PMS 2191 C
- PMS 107 C
- White
- Black

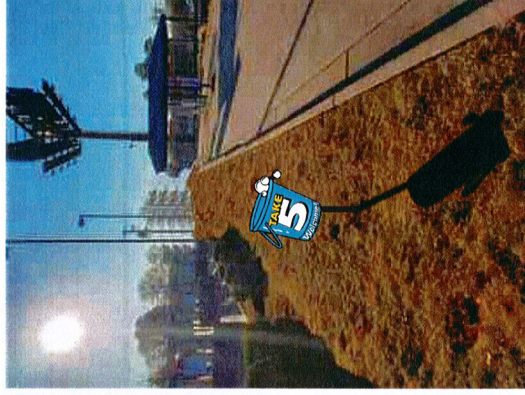
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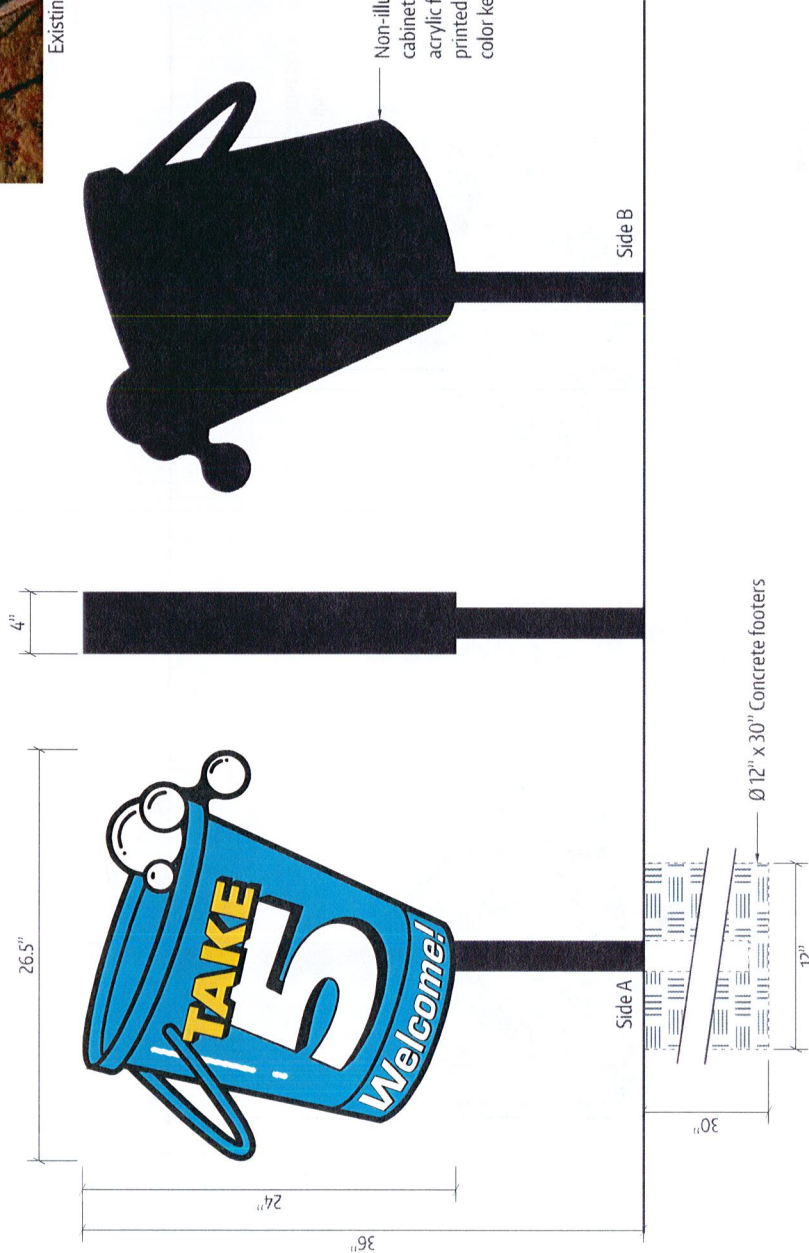
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Project Number: 28104



Existing



Proposed



Non-illuminated aluminum fabricated cabinet w/ 1" trimcap painted black w/ acrylic faces w/ computer & digitally printed vinyl to match color key

S/F Wayfinding

H

Scale: 1 1/2" = 1'-0"

Note: All wayfinding holes must be hand dug. To avoid damaging unmarked underground lines, do not use power equipment.

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