



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: October 19, 2023 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. AR Storage Center - Avery LN - Fencing

Finely and Company - Requesting Approval for New Fencing around portion of Facility

- [0797-PLN-01.pdf](#)

2. Schrader Commercial Addition - Shady Pine Storage - Site Plan Addition

Alan Schrader - Requesting Approval for Site Plan Additions

- [0798-PLN-02.pdf](#)
- [0798-BLD-01.pdf](#)
- [0798-PLN-01.pdf](#)

3. Marketplace II Subdivison - Lot 20 and 21 - Site Plan

Bart Ferguson - Requesting Recommendation for Site Plan Approval for Lot 20 and Lot 21

- [0799-PLN-01.pdf](#)
- [0800-BLD-01.pdf](#)
- [0800-PLN-01.pdf](#)

4. Jacob's Corner Subdivison - Final Plat

Hope Consulting - Requesting Recommendation for Approval of Final Plat

- [0688-ASB-03.pdf](#)

5. The Villages at Magnolia Lane Phase 2-3 - Preliminary Plat

Hope Consulting - Requesting Recommendation for Approval of Preliminary Plat

- [0801-PLN-01.pdf](#)

6. Creekside Addition Phase 2 - Final Plat

GarNat Engineering - Requesting Recommendation for Approval of Final Plat

- [0796-LTR-01.pdf](#)
- [0796-LTR-02.pdf](#)
- [0796-PLT-01.pdf](#)
- [0796-ASB-01.pdf](#)

- [0796-BOA-01.pdf](#)
- [0796-CHKLST-01.pdf](#)
- [0796-PLN-01.pdf](#)

Staff Approved

7. Crash Champion Collision Repair - 22578 I-30 - Sign Permit

Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

- [Crash Champions Specs \(Bryant\) - Rev 9.29.23 \(2\).pdf](#)

8. Starbucks - 20701 I-30 - Sign Permit

Pinnacle Signs - Requesting Sign Permit Approval - STAFF APPROVED

- [Permit Aerial \(3\).pdf](#)
- [Sign B Sizing \(2\).pdf](#)
- [Sign A Sizing \(2\).pdf](#)

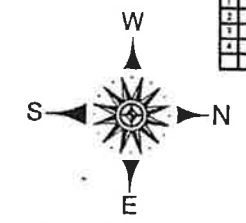
9. Murphy USA - 403 Bryant Ave - Sign Permit

National Signs and Service - Requesting Sign Permit Approval - STAFF APPROVED

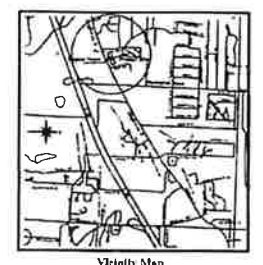
- [Sign Permit application and rendering \(1\).pdf](#)

Adjournments

1	12-16-21	CR
2	12-16-21	CR
3	1-2-22	CR
4	1-3-22	CR

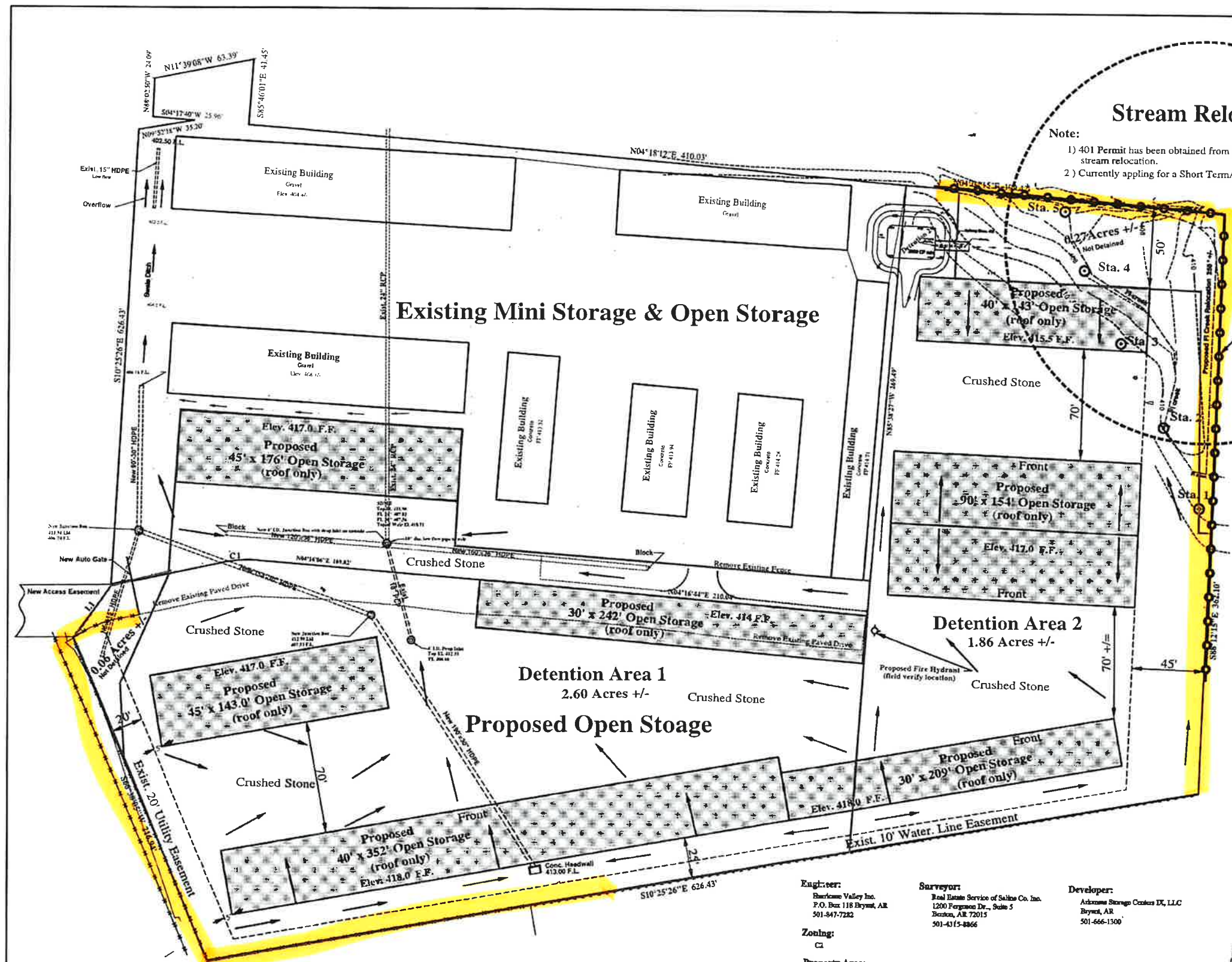


BASIS OF BEARING IS
GRID NORTH ARKANSAS
SOUTH ZONE
NAD83
VERTICAL DATUM
NAVD 88



Stream Relocation

- Note:
- 1) 401 Permit has been obtained from the COE in Vickburg for stream relocation.
 - 2) Currently applying for a Short Term Activity Authorization from ADEQ.



Sta. 1	34°37'02.71"	92°31'11.32"
Sta. 2	34°37'02.49"	92°31'11.89"
Sta. 3	34°37'02.21"	92°31'12.52"
Sta. 4	34°37'01.98"	92°31'13.06"
Sta. 5	34°37'01.85"	92°31'13.49"

Legal Description.

That portion of the SE1/4 of SE1/4, Section 20, T-1-S, R-14-W, Saline County, Arkansas, described as beginning at the NW corner of said SE1/4 of SE1/4, run thence N 87°16'02" W, along the north line thereof a distance of 284.76 feet; thence N 09°52'18" W, a distance of 35.20 feet; thence S 04°17'40" W, a distance of 25.96 feet; thence N 88°02'50" W, a distance of 24.09 feet; thence N 11°39' 08" W, a distance of 63.39 feet; thence S 85°46'01" E, a distance of 41.45 feet; thence N 04°18'12" E, a distance of 410.03 feet; thence N 04°04'15" E, a distance of 199.42 feet; thence S 88°12'15" E, a distance of 362.10 feet; thence S 10°25'26" E, a distance of 626.43 feet; thence S 66°38'05" W, a distance of 216.94 feet; thence N 54°38'24" W, a distance of 40.56 feet to the point of beginning, containing 6.96 Acres, more or less.

LINE	BEARING	DISTANCE
LI	N54°31'16" W	40.56'

LINE	CHORD BEARING	RADIUS	DELTA	CHORD
CI	N04°04'34" W	78.00'	16°40'55"	22.63'

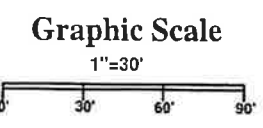
Engineer:
Hurricane Valley Inc.
P.O. Box 118 Bryant, AR
501-847-7282

Zoning:
C1

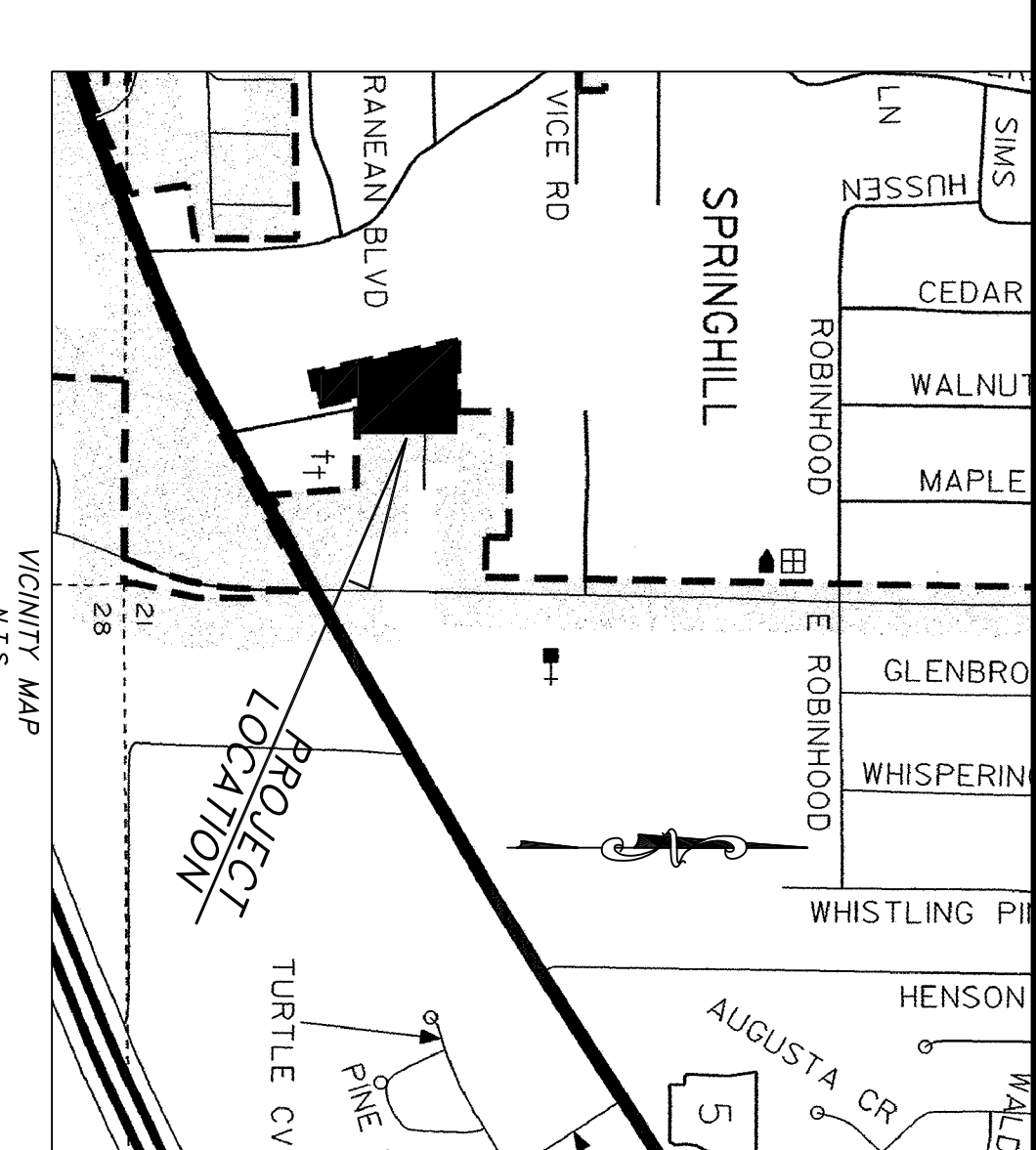
Property Area:
6.96 Acres, 303,178 SF

Surveyor:
Real Estate Service of Saline Co. Inc.
1200 Ferguson Dr., Suite 5
Bryant, AR 72015
501-4315-8866

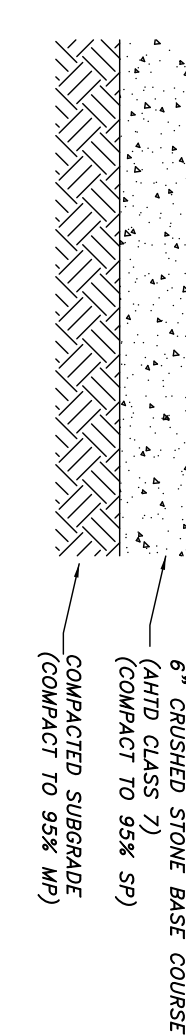
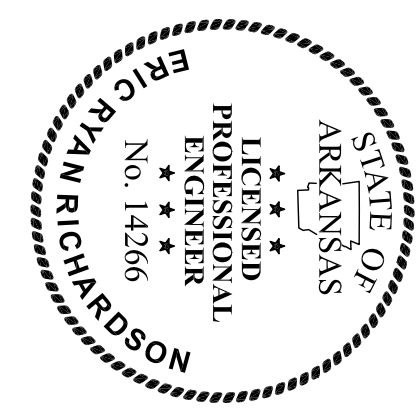
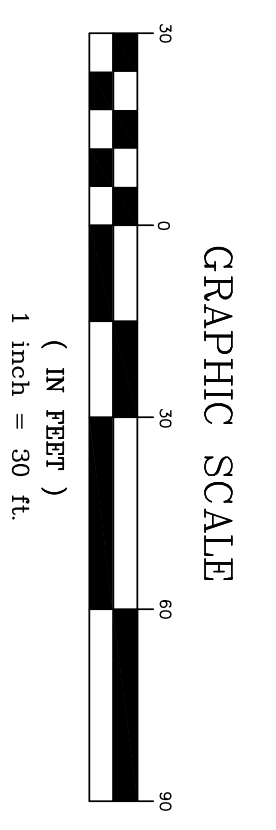
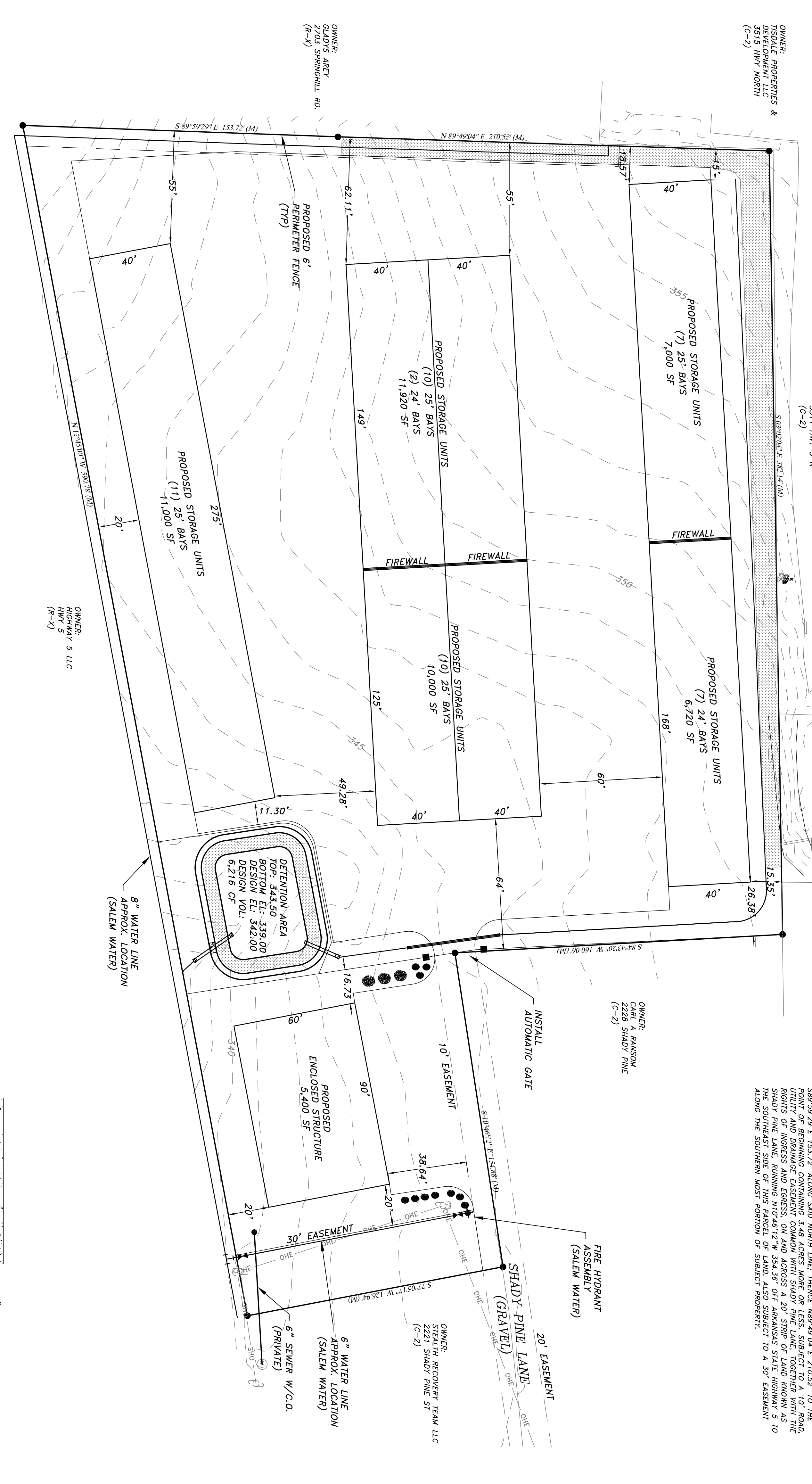
Developer:
Arkansas Storage Centers IX, LLC
Bryant, AR
501-666-1300



HURRICANE VALLEY INC. <i>Professional Engineering Consultants</i>		Open Storage Site-Grading Plan Bryant, Arkansas	
P.O. BOX 118 BRYANT, ARKANSAS	501-847-7282	SCALE: 1" = 30'	DATE: 9-01-21
		HVI Job No. 16047	1 OF 1



SUBJECT DESCRIPTION
 PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THE SAID SE 1/4 SE 1/4 AND RUN THENCE S89°53'00"W 544.77' TO THE POINT OF BEGINNING, THENCE S03°02'04"E 382.14'; THENCE S89°53'00"W 590.28' TO THE NORTH LINE OF SAID SE 1/4 SE 1/4, THENCE THENCE N12°45'00"W 590.28' TO THE NORTH LINE OF SAID SE 1/4 SE 1/4, THENCE S89°59'29"E 133.72' ALONG SAID NORTH LINE, THENCE N89°49'04"E 210.52' TO THE POINT OF BEGINNING CONTAINING 3.48 ACRES MORE OR LESS, SUBJECT TO A 10' ROAD RIGHT-OF-WAY AND A 20' EASEMENT CROSSING SAID ROAD, TOGETHER WITH THE RIGHTS OF EGRESS AND ACCESS TO SAID ROAD, CROSSING SAID ROAD, TOGETHER WITH THE SHADY PINE LANE, RUNNING N10°46'12"W 354.36' OF ARKANSAS STATE HIGHWAY 5 TO THE SOUTHERN SIDE OF THIS PARCEL OF LAND, ALSO SUBJECT TO A 30' EASEMENT ALONG THE SOUTHERN MOST PORTION OF SUBJECT PROPERTY.



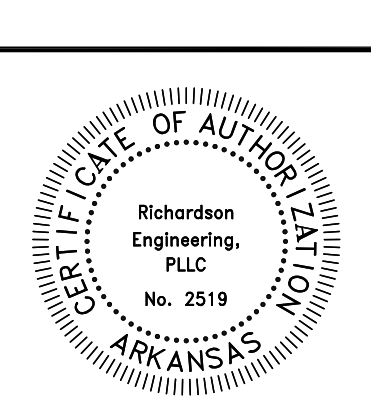
PAVEMENT STRUCTURE
 NTS
 (TO BE VERIFIED W/ GEOTECHNICAL CONSULTANT PRIOR TO CONSTR.)

- GENERAL NOTES:**
- 1.) IRON PINS AT ALL LOT CORNERS.
 - 2.) SURVEYING PROVIDED BY SOUTH POINT SURVEYING, PLLC.
 - 3.) ELEVATIONS ARE BASED ON THE 1985 MEAN SEA LEVEL DATUM.
 - 4.) EROSION CONTROL MEASURES SHALL BE INSTALLED UPSTREAM AND DOWNSTREAM OF PROPERTY.
 - 5.) ATTENTION IS CALLED TO CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.
 - 6.) DRAWING SURFACE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS PLAN AND BASED ON THE FINISHED GRADE SHOWN.
 - 7.) CONTRACTOR SHALL INCLUDE IN BID THE COST FOR COMPACTION TESTS ON SUBGRADE AND BASE.
 - 8.) ALL UTILITIES TO BE LOCATED PRIOR TO CONSTRUCTION (ONE CALL, CITY, ETC.).
 - 9.) CONTRACTOR TO ADHERE TO CURRENT OSHA EXCAVATION & TRENCH SAFETY REGULATIONS.
 - 10.) CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN.

FLOOD CERTIFICATION:
 NO PORTION OF THIS PROPERTY APPEARS TO LIE WITHIN ZONE A OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 03600, WHICH BEARS AN EFFECTIVE DATE OF JUNE 19, 2012.

GENERAL INFORMATION:
 ZONE CLASSIFICATION: C-2
 FRONT SETBACK: 26.38'
 SIDE SETBACK: WEST= 20.00' EAST= 15.35'
 REAR SETBACK: AS SHOWN
 LOT COVERAGE: 34% (95% MAX)
 FINISHED FLOOR ELEVATION SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDING (IN ALL DIRECTIONS)-AS DETERMINED IN THE FIELD.

SITE PLAN
LOT 1, SCHRADER COMMERCIAL ADDITION
 PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 20, T-1-S, R-14-W



RICHARDSON ENGINEERING, PLLC
 CIVIL ENGINEERING:
 WATER/WASTEWATER • SITE DEVELOPMENT • SUBDIVISIONS
 P.O. BOX 192
 BENTON, AR 72018
 PHONE: (501) 249-3141

No.	Revisions	Date
1	REV WL LOC./ESMT. (SALEM WATER)	3/1/17
2	LOWER SITE 2', REV. DET. POND ELEV'S	4/10/17

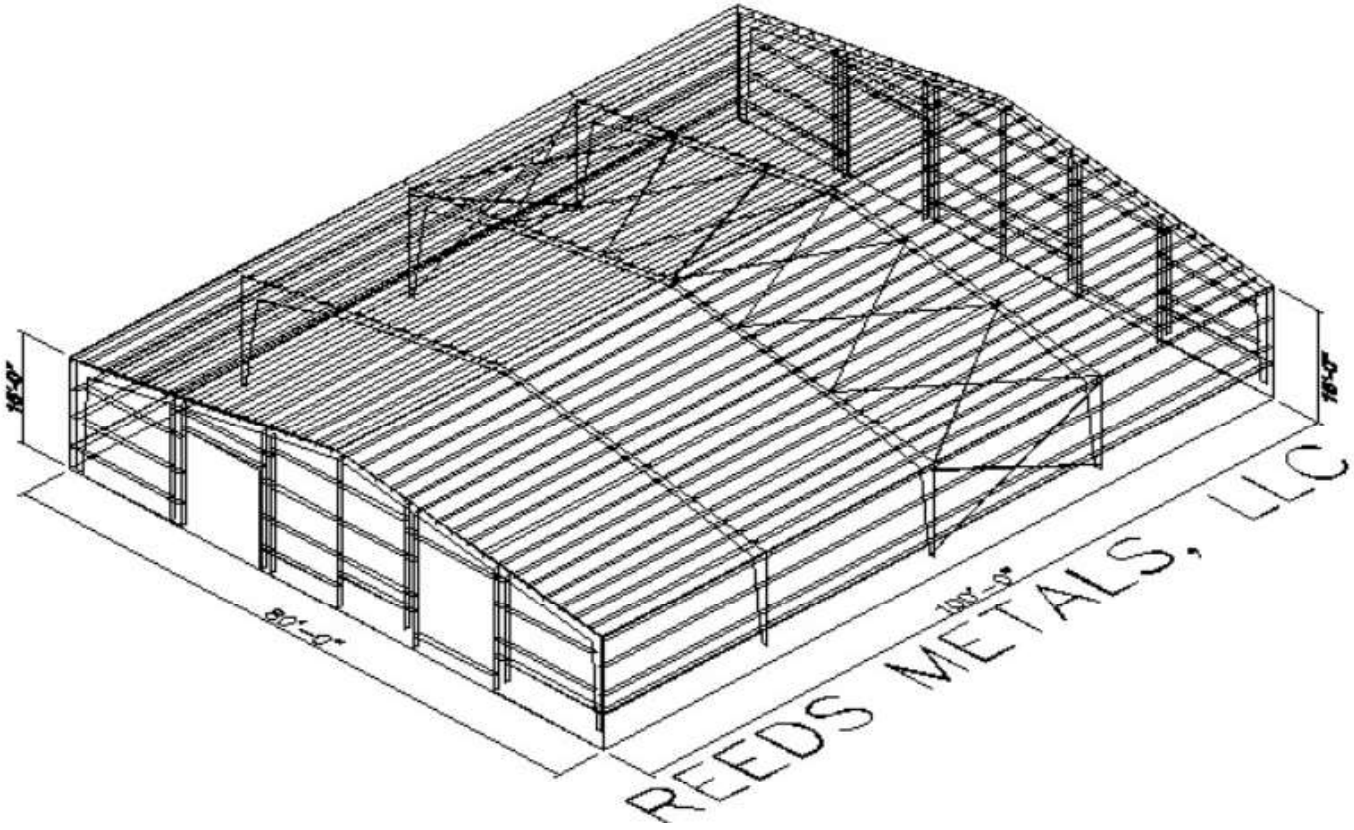
Prepared For:
Alan Schrader
 P.O. Box 824
 Bryant, AR 72089

Scale: 1" = 30'
 Date: DECEMBER 2016

Sheet: 2 of 5

BUILDING LAYOUT SKETCH

Sketches are shown for reference ONLY and should be considered Preliminary. Actual design may vary.



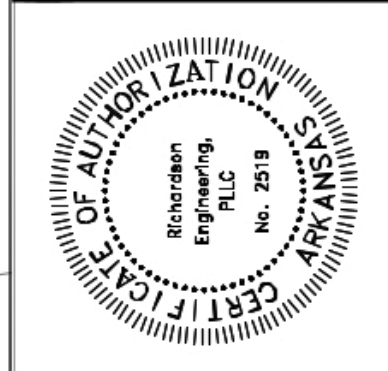
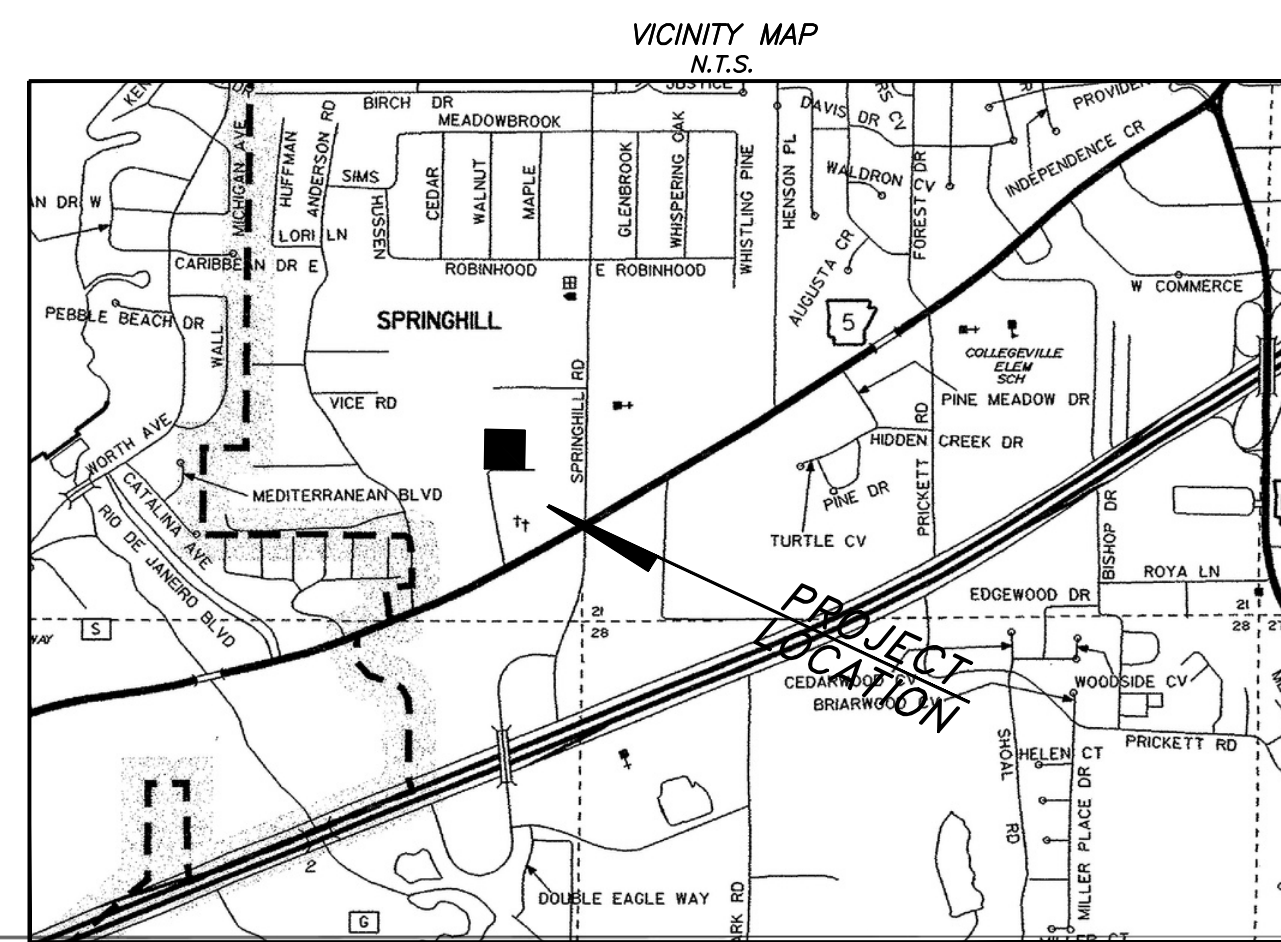
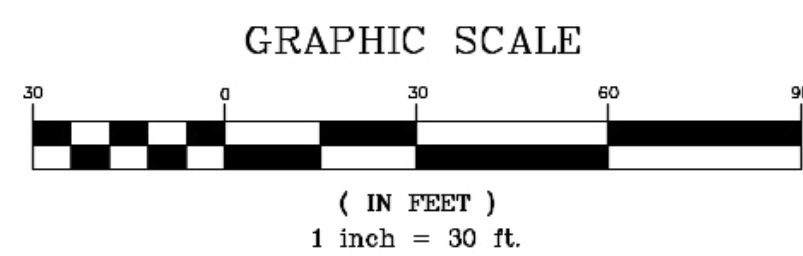
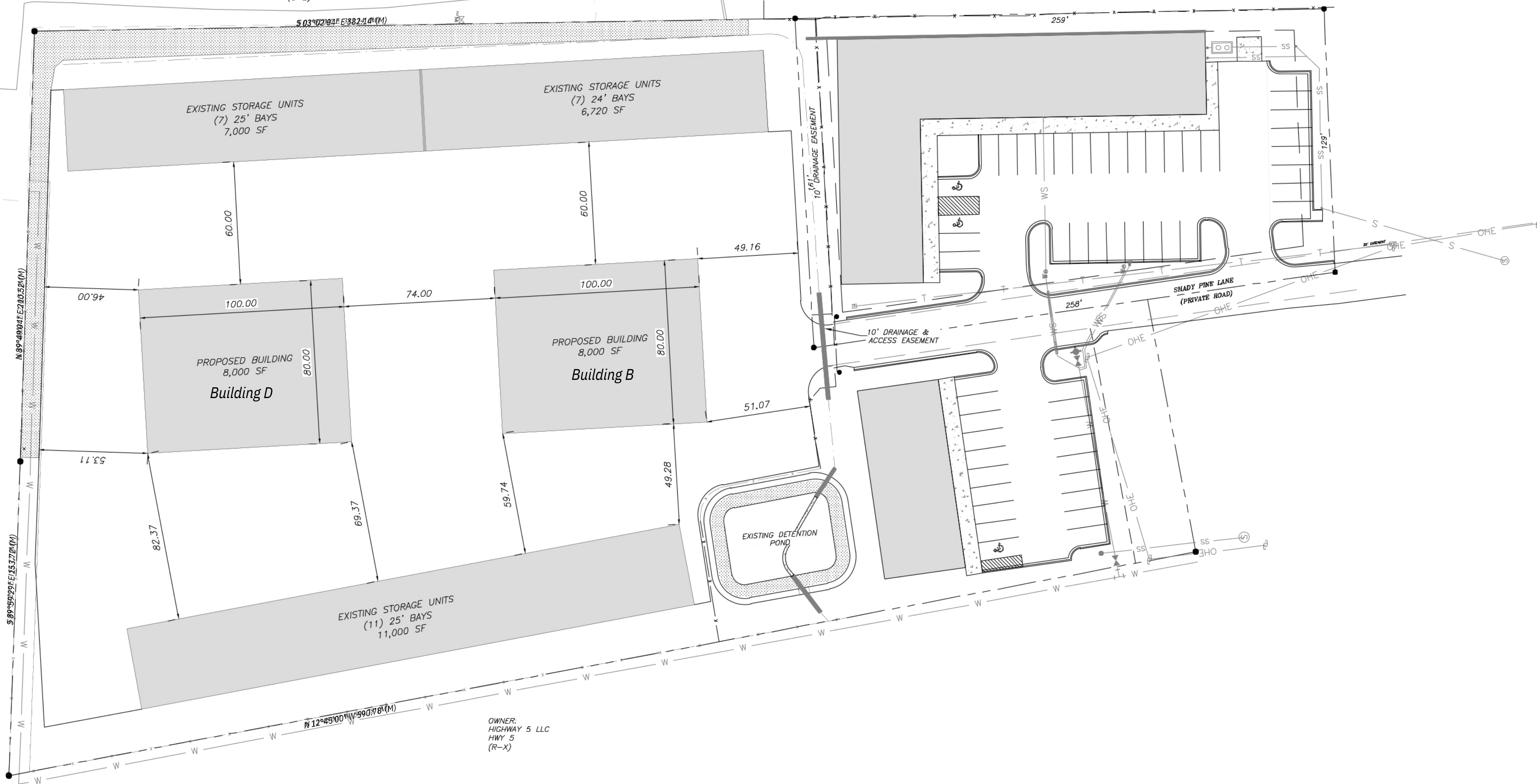
Quote Number: CK23-053

OWNER:
TISDALE PROPERTIES &
DEVELOPMENT LLC
3515 HWY 5 N
(C-2)

OWNER:
GLADYS AREY
2703 SPRINGHILL RD.
(R-X)

OWNER:
TISDALE PROPERTIES &
DEVELOPMENT LLC
3515 HWY 5 N
(C-2)

OWNER:
HIGHWAY 5 LLC
HWY 5
(R-X)



SITE PLAN
SHADY PINE
STORAGE CENTER
PART OF THE SE 1/4 OF THE
SE 1/4, SECTION 20, T-1-S, R-14-W

Prepared For:
ALAN SCHRADER
P.O. BOX 824
BRYANT, AR 72089

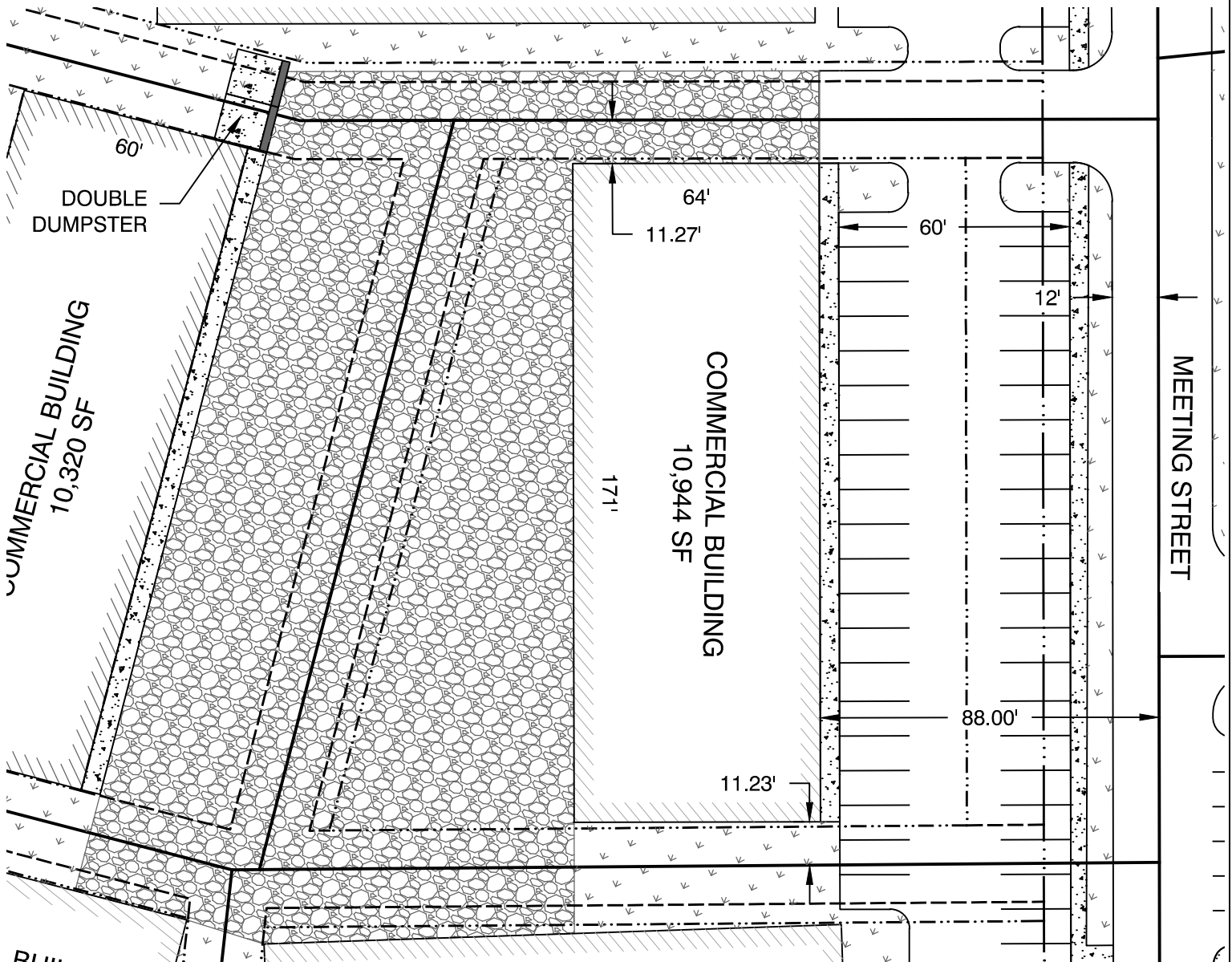
No.	Revisions	Date

FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted



PROPERTY DESCRIPTION:

LOT 20



JOB NUMBER:

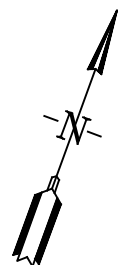
**18087
 MARKET PLACE II
 PHASE 3**

10/04/23

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.



SBI LETTER OF CERTIFICATION

FERGUSON BUILDERS INC

DATE 8/ 1/23

Reference: 60x172
3419 MEETING ST
BRYANT, AR

Job No. SBI36405

To whom it may concern:

This is to certify that the above referenced building components furnished by SBI are designed with good engineering practice and in accordance with the order documentation and the applicable structural design provisions set forth in the Applicable MBMA Low Rise Building Systems Manual, the applicable AISC and AISI Manuals, and the IBC 21 code, to sustain the requested design loads, specifically as follows:

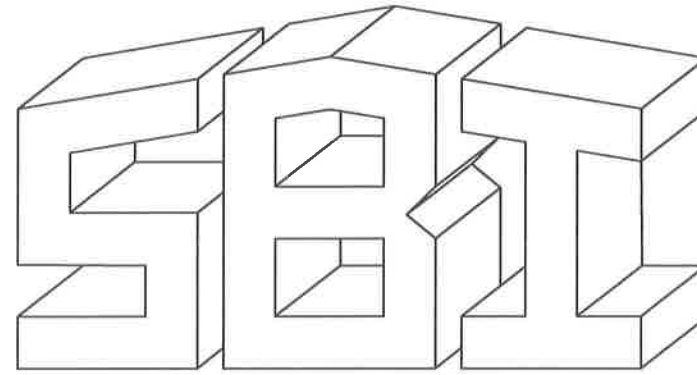
Risk/Occupancy Category - II - Normal	Terrain_Category----- C
Wind Exposure ---- B	Building Enclosure ---- Enclosed
Live Load (Roof)----- 20.00 psf	Live Load (Frame) ----- 12 psf
Dead Load ----- 2.250 psf	Collateral Load ----- 0 psf
Rain Intensity(5yr) ----- 8.0000 in/hr	
Rain Intensity(25yr) ----- 11.0000 in/hr	
Ground snow Pg ----- 10 psf	
Snow Exposure coeff Ce -- 1.0000	Thermal Coeff Ct----- 1.00
Slippery Roof Coeff Cs -- Y	Slope Factor coeff ----- 1.0000
Snow Importance ----- 1.00	Flat Roof Snow Load Pf-- 7 psf
Wind Load (Vult) -- 106 mph	Wind Importance* -- 1.00
Wind Load (Vasd) -- 82.11 mph	
Cpl_P----- 0.18	Cpl_S----- -0.18
Component Loads= 16.000 / -20.083 psf	
Selsmic Importance--- 1.00	
Ss---- 0.31 S1---- 0.13 Sds---- 0.32 Sd1---- 0.21	
Sdc--- D Site_Class---- d	
Selsmic base shear, longitudinal 9.42 kips	
Selsmic base shear, transverse 5.29 kips	
FRAME.R--- 3.2500	
BRACE_SW.R--- 3.2500	
Cs=(Sds/(I*R))	
Equivalent Lateral force procedure used	
Basic selsmic resisting systems: Moment frames, braced frames, diaphragm	
Special loads: as required (crane loads, mezzanine loads, snow drift loads)	

* Wind Importance is not applicable to all building codes.
When not prescribed by code, Importance is taken as 1.0 in calculations.

This certification is limited to the structural design of the frames, secondary, and roof/wall covering manufactured by SBI. Accessory items such as doors, windows, louvers, translucent panels, and ventilators are not included. Also excluded are other parts of the project such as masonry, footings, and foundations, mechanical equipment, erection, and general contract work.

DEFLECTION LIMITS

WALL GIRT, MAX. DEFL. L/span = 90
ROOF PURLIN, L.L. DEFL. L/span = 180
RIGID FRAME VERT. DEFL. L/span = 180
RIGID FRAME HORIZ. DEFL. H/span = 60



METAL BUILDINGS & COMPONENTS

114 Trooper Drive HOT SPRINGS, ARKANSAS 71913
PH: (501) 262-0600, FAX: (501) 262-5107

BUILDING DATA:

WIDTH (ft)	= 60
LENGTH (ft)	= 172
EAVE HEIGHT (ft)	= 16
ROOF SLOPE (rise/12")	= 1.0:12
FR. SIDEWALL GIRT TYPE	= Flush
BK. SIDEWALL GIRT TYPE	= Flush
LT. ENDWALL GIRT TYPE	= Flush
RT. ENDWALL GIRT TYPE	= Flush
ROOF FRAMING	= Bypass PURLINS
INTERIOR FRAMING	= 8 Rigid Frames, Clear Span
ROOF PANEL TYPE	= PBR
ROOF PANEL GAUGE	= 26 GA
ROOF PANEL COLOR	= Ash Gray
WALL PANEL TYPE	= PBR
WALL PANEL GAUGE	= 26 GA
WALL PANEL COLOR	= CHARCOAL / Black

SUPPLIED OPTIONS AND ACCESSORIES

GUTTERS AND DOWNSPOUTS
FRONT SIDEWALL (ft): 172 FRONT Downspouts: 6
BACK SIDEWALL (ft): 172 BACK Downspouts: 6
COLOR: Black COLOR: Black

ROOF EDGE TRIM = COLOR: Black
CORNER TRIM = COLOR: Black
OPENING TRIM = COLOR: Black
BASE TRIM = N/A

WALK DOORS = QTY - SIZE:
(8) - 3070M w\ Standard Hardware, prepped for deadbolts

ROOF INSULATION = 3" VRR (BY OTHERS)

WALL INSULATION = 3" VRR (BY OTHERS)

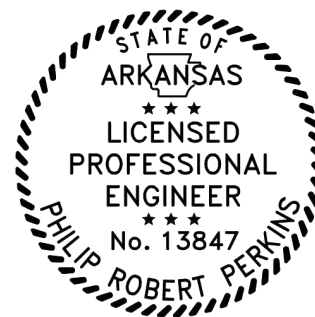
LINER PANEL = N/A

CANOPIES \ EXTENSIONS= N/A

PARAPET WALL BACKSHEET = PBR
26 GA
CHARCOAL

THESE DRAWINGS ARE SUBMITTED FOR CONSTRUCTION AND ARE DEEMED TO BE FINAL DRAWINGS. IT IS THE CUSTOMER'S RESPONSIBILITY TO ENSURE THE SET OF DRAWINGS ARE THE SOLE SET OF DRAWINGS IN THE HANDS OF THE ERECTOR AND OTHER PROFESSIONAL TRADES ON THE PROJECT SITE.
ISSUED FOR CONSTRUCTION

ENGINEERING CERTIFICATION:



REVIEWED

By Philip Perkins at 9:05 am, Sep 07, 2023

REMARKS/NOTES

1.

PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER: SBI36405
3419 MEETING ST BRYANT, AR	DESIGN: PP DRAWN: RH	ACCT# 13797
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/ 1/23 CHECK:	DRAWING NUMBER
DWG NAME: DRAWINGS COVER PAGE	SCALE: NONE REV. NO:	SHEET 1 OF 14

GENERAL NOTES:

1. MANUFACTURING AND FABRICATION PROCEDURES SHALL BE IN ACCORDANCE WITH SBI'S STANDARD PRACTICES WHICH ARE BASED ON THE APPLICABLE SECTIONS RELATING TO DESIGN REQUIREMENTS, ALLOWABLE STRESSES, AND FABRICATION TOLERANCES PER THE LATEST EDITIONS OF 'SBIA-COMMON INDUSTRY PRACTICES' AND 'AISC CODE OF STANDARD PRACTICE' AND THE 'AWS STRUCTURAL WELDING CODES D1.1 & D1.3

2. MATERIALS	ASTM DESIGNATION	MIN. YIELD
HOT ROLLED SHAPES	A36	Fy= 36 ksi
STRUCT. STEEL PLATE	A572	Fy= 55 ksi
STRUCT. STEEL SHEET	A1011 (SS)	Fy= 55 ksi
FLANGE/END PLATE MATERIAL	A529	Fy= 55 ksi
COLD FORM. LT. GA. SHAPES	A1011 (SS)	Fy= 55 ksi
ROOF SHEETING	A792 (SS)	Fy= 80 ksi
WALL SHEETING	A792 (SS)	Fy= 80 ksi
MACHINE BOLTS	A307	Fy= 36 ksi
HIGH STR. BOLTS	F3125 (A325)	Fy= 120 ksi
ANCHOR BOLTS (if supplied)	A36/F1554	Fy= 36 ksi
PIPE (interior or posts)	A53, GRADE A or B	Fy= 30 ksi
RECTANGULAR TUBE (interior or posts)	A500, GRADE B	Fy= 46 ksi

3. PRIMER
SHOP PRIMER PAINT IS A RUST INHIBITIVE PRIMER WHICH MEETS OR EXCEEDS THE END PERFORMANCE OF FEDERAL SPECIFICATIONS TT-P-636 AND TT-P-664 AND IS A RED OXIDE OR GRAY PRIMER. PRIMER IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS. SBI IS NOT RESPONSIBLE FOR ANY DETERIORATION OF THE SHOP PRIMER AS A RESULT OF IMPROPER HANDLING AND/OR STORAGE. SBI SHALL NOT BE RESPONSIBLE FOR ANY FIELD APPLIED PAINT AND/OR COATINGS. (Section 6.5 AISC Code of Standard Practice, 9th ED.)

4. A325 BOLT TIGHTENING REQUIREMENTS
ALL HIGH STRENGTH BOLTS ARE A325-N UNLESS SPECIFICALLY NOTED OTHERWISE. STRUCTURAL BOLTS SHALL BE TIGHTENED BY THE TURN OF NUT METHOD IN ACCORDANCE WITH THE CURRENT EDITION OF THE 'AISC STEEL CONSTRUCTION MANUAL'. A325 BOLTS ARE SUPPLIED WITHOUT WASHERS UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE, ALL BOLTED CONNECTIONS ARE DESIGNED AS BEARING TYPE CONNECTIONS WITH THE BOLT THREADS INCLUDED IN THE SHEAR PLANE.

5. ERECTION NOTE: (ERECTION AND UNLOADING NOT BY SBI)
ALL BRACING SHOWN AND PROVIDED BY SBI FOR THIS BUILDING IS REQUIRED AND SHALL BE INSTALLED BY THE ERECTOR AS A PERMANENT PART OF THE STRUCTURE. IF ADDITIONAL BRACING IS REQUIRED FOR STABILITY DURING ERECTION, IT SHALL BE THE ERECTOR'S RESPONSIBILITY TO DETERMINE THE AMOUNT OF SUCH BRACING AND TO PROCURE AND INSTALL AS NEEDED.

6. SHORTAGES (SEE SBIA 5.2.1)
THE QUANTITY OF CRATES AND STRUCTURAL ITEMS SHIPPED SHALL BE CHECKED AND ANY SHORTAGES OR OTHER DISCREPANCIES WITH RESPECT THERETO, SHALL BE REPORTED TO SBI ON THE DAY OF DELIVERY AND SUCH DISCREPANCY CONFIRMED IN WRITING WITHIN (7) SEVEN DAYS. WITH RESPECT TO ITEMS OR QUANTITIES WITHIN UNOPENED CRATES AND ANY LATENT DEFECTS, IT SHALL BE THE DUTY OF THE PURCHASER TO NOTIFY SBI ON THE DATE SUCH DEFECT OR SHORTAGE IS DISCOVERED AND CONFIRM SUCH NOTICE IN WRITING TO SBI WITHIN (7) DAYS THEREOF.

7. CORRECTIONS OF ERRORS AND REPAIRS (SEE SBIA 6.10)
CLAIMS FOR CORRECTION OF ALLEGED MISFITS WILL BE DISALLOWED UNLESS SBI SHALL HAVE RECEIVED PRIOR NOTICE THEREOF AND ALLOWED REASONABLE INSPECTION OF SUCH MISFITS. THE CORRECTION OF MINOR MISFITS BY USE OF DRIFT PINS TO DRAW THE COMPONENTS INTO LINE, MODERATE AMOUNTS OF REAMING, SHIMMING, CHIPPING AND CUTTING, AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM. NO PART OF THE BUILDING MAY BE RETURNED FOR ALLEGED MISFITS WITHOUT THE PRIOR APPROVAL OF SBI

GENERAL NOTES (CONT.):

8. CLOSURE STRIPS ARE FURNISHED FOR APPLICATION
INSIDE - Under roof panels at eave.
OUTSIDE - Between endwall panels and rake trim.
- Under continuous ridge vent skirts.
Note: Conditions vary at hips, valleys, fascias, mansards and canopies. Refer to Erection Drawings.

9. VERTICAL DEFLECTION OF RIGID FRAMES
Buildings which are loaded in regions of the country where snow and ice accumulation may occur should be aware that purlins and rigid frames particularly long span frames, will deflect vertically when subjected to snow and ice loads. Two areas which require special precaution during interior erection and are greatly affected by vertical deflection, should be carefully considered:

10.) Metal Studs should never be attached directly to rigid frames or purlins without slotted vertical clips. Even a small vertical deflection can cause a metal stud to bow out significantly.

11.) Care should be taken when supporting acoustical or other type hanging ceiling tiles from purlins and rigid frames. In hallways or small rooms the tiles should be supported from the permanent walls and partitions rather than the purlins. In larger rooms where the ceiling must be supported from the roof system, it is important to allow the ceiling to deflect at the outside walls at the same rate it deflects in the center of the room. If the ceiling is supported continuously along any non-yielding wall while rest of the ceiling is deflecting, obvious problems occur.

12. ROOF PENETRATION WARRANTY CONSIDERATIONS
If a weather tightness warranty is to be provided for your project, SBI requires that the roof curbs and decklights be pre-approved by SBI. All roof curbs must be compatible with the roof panel. The roof curbs should have male and female side ribs and water diverters at the upslope side of the roof curbs. The following manufactures are currently pre-approved:

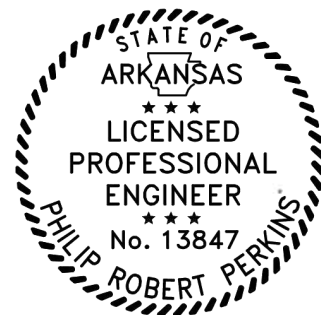
Manufacturer	Location	Web Site	Phone
LM Curbs	Longview, TX	lmcurbs.com	800-284-1412
Bulldex	varies	itwbulldex.com	
Dyna-Flash	varies	dynamicfastener.com	
Dek-Tite	varies	itwbulldex.com	

10. SEAMER RENTAL INFORMATION
SBI utilizes Quality Roof Seamers Inc. for all seamer rental needs. It is your responsibility to obtain seamer rental for your project needs unless otherwise stated in the contract documents. Contact information follows:

Quality Roof Seamers Inc.
8265 MS-178
Olive Branch, MS 38654
(622) 895-1222
<http://www.qualityroofseamers.com/>

Direct Rental Adresse:
<http://www.qualityroofseamers.com/manufacture/60-sbi-metal-buildings>

REVIEWED
By Philip Perkins at 9:05 am, Sep 07, 2023

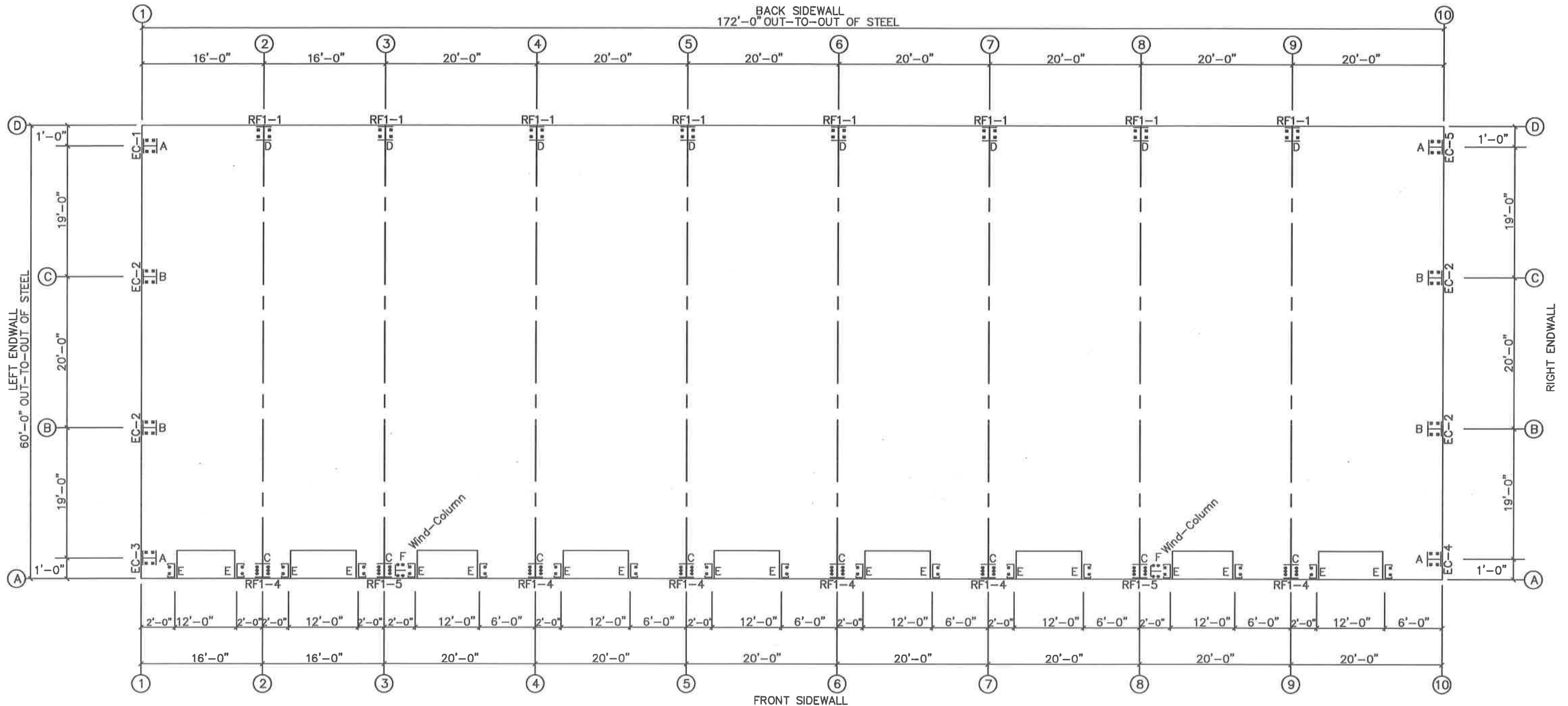


BUYER/END USE CUSTOMER RESPONSIBILITIES

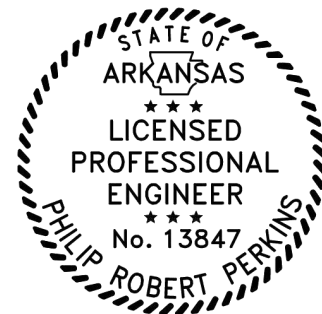
- It is the responsibility of the BUYER/END USER to obtain appropriate approvals and secure necessary permits for City, County, State, or Federal Agencies as required, and to advise/release SBI to proceed to fabricate upon receiving such.
- SBI's standard specifications apply unless stipulated otherwise in the Contract Documents. SBI's design, fabrication, quality criteria, standards, practices, methods, and tolerances shall govern the work with any other interpretations to the contrary notwithstanding. It is understood by both Parties that the BUYER/END USER is responsible for clarification of inclusions or exclusions from the architectural plans and/or specifications.

SBI is not responsible for any testing of welds, screws, bolts, etc... Any testing including non-destructive testing of welds is the responsibility of the Buyer/End User to procure. SBI standards for quality control of welds is visual inspection during fabrication.
- In case of discrepancies between SBI's structural steel plans and plans for other trades, SBI's plans shall govern. (Section 3, AISC Code of Standard Practices, 9th edition)
- Approval of SBI drawings and calculations indicates that SBI has correctly interpreted and applied the Contract Documents. This approval constitutes the contractor/owners acceptance of the SBI's design concepts, assumptions, and loading. (Section 4 AISC Code and SBIA 3.3.3)
- Once the BUYER/END USER has signed SBI's Approval Package and the project is released for fabrication, changes shall be billed to the BUYER/END USER including material, engineering, and other cost. An additional fee may be charged if the project must be moved from the fabrication and shipping sched..
- The BUYER/END USER is responsible for overall project coordination. All interface, compatibility, and design considerations concerning any materials not furnished by SBI are to be considered and coordinated by the BUYER/END USER. Specific design criteria concerning this interface between materials must be furnished before release for fabrication or SBI's assumptions will govern. (Section 4 and Commentary, AISC)
- It is the responsibility of the BUYER/END USER to insure that SBI's plans comply with the applicable requirements of any governing building authorities. The supplying of sealed engineering data and drawings for the metal building system does not imply or constitute an agreement that SBI or its design engineers are acting as the 'Engineer of Record' or 'Design Professional' for a construction project. These drawings are sealed only to certify the design of the structural components furnished by SBI.
- The BUYER/END USER is responsible for setting of anchor bolts and erection of steel in accordance with SBI's "FOR CONSTRUCTION" drawings only. Temporary supports such as guys, braces, falsework, cribbing or other elements required for the erection operation shall be determined and furnished and installed by the erector. No items should be purchased from a preliminary set of drawings, including anchor bolts. Use only final "FOR CONSTRUCTION" drawings for this use. (Section 7 AISC Code)
- SBI is responsible for the design of the anchor bolt to permit the transfer of forces between the base plate and the anchor bolt in shear, bearing, and tension, but is not responsible for the transfer of anchor bolt forces to the concrete or the adequacy of the anchor bolt in relation to the concrete. Unless otherwise provided in the Order Documents, SBI does not design and is not responsible for the design, material and construction of the foundation or foundation embedments. The BUYER/END USER should assure himself that adequate provisions are made in the foundation design for loads imposed by column reactions of the building, other imposed loads, and bearing capacity of the soil and other conditions of the building site. It is recommended that the anchorage and foundation of the building be designed by a Registered Professional Engineer experienced in the design of such structures. (Section 3.2.2 SBIA Low Rise Building Systems Manual)
- Normal erection operations include the corrections of minor misfits by moderate amounts of reaming, chipping, welding, or cutting, and the drawing of elements into line through the use of drift pins. Errors which cannot be corrected by the foregoing means or which require major changes in member design are to be reported immediately to SBI by the BUYER/END USER, to enable whoever is responsible either to correct the error or to approve the most efficient and economic method of correction to be used by others. (Section 6-10 SBIA Manual)
- Neither the fabricator nor the BUYER/END USER will cut, drill, or otherwise alter his work, or the work of other trades, to accommodate other trades, unless such work is clearly specified in the contract documents. Whenever such work is specified, the BUYER/END USER is responsible for furnishing complete information as to materials, size, location, and number of alterations prior to preparation of shop drawings. (Section 7 AISC Code, SBIA Manual Section 8.6)
- WARNING: In no case should Aluminized Zinc steel panels be used in conjunction with lead or copper. Run-off from these materials are highly corrosive to the Aluminum Zinc coatings.
- SAFETY COMMITMENT: SBI has a commitment to manufacture quality building components that can be safely erected. However, the safety commitment and job site practices of the erector are beyond the control of SBI. It is strongly recommended that safe working conditions and accident prevention practices be the top priority of any job site. Make sure that all Local, State, and Federal safety and health standards are always followed. Insure that employees are aware and trained in emergency procedures.
- Please note OSHA now requires the first girt placed in all lapping conditions be firmly attached prior to placing the second lapped girt.

ISSUED FOR CONSTRUCTION	THESE DRAWINGS ARE SUBMITTED FOR CONSTRUCTION AND ARE DEEMED TO BE FINAL DRAWINGS. IT IS THE CUSTOMER'S RESPONSIBILITY TO ENSURE THIS SET OF DRAWINGS ARE THE SOLE SET OF DRAWINGS IN THE HANDS OF THE ERECTOR AND OTHER PROFESSIONAL TRADES ON THE PROJECT SITE.		PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
	SBI METAL BUILDINGS & COMPONENTS 114 TROOPER DRIVE HOT SPRINGS, ARKANSAS 71913 PH: (501) 262-0600, FAX: (501) 262-5107		3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	SBI36405
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/1/23	CHECK:	SCALE: NONE	REV. NO:	DRAWING NUMBER
DWG NAME: GENERAL NOTES					SHEET 2 OF 14



ANCHOR BOLT PLAN
 NOTE: All Base Plates @ 100'-0" (U.N.)



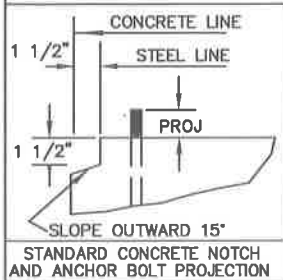
REVIEWED
 By Philip Perkins at 9:05 am, Sep 07, 2023

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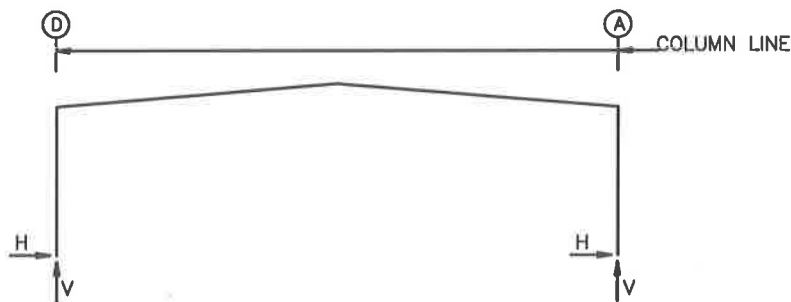
SBT
 METAL BUILDINGS & COMPONENTS
 114 TROOPER DRIVE
 HOT SPRINGS, ARKANSAS 71913
 PH: (501) 262-0600, FAX: (501) 262-5107

PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER: SBI36405
3419 MEETING ST BRYANT, AR	DESIGN: [blank] DRAWN: RH	
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/1/23 CHECK: [blank]	
DWG NAME: ANCHOR BOLT PLAN & DETAILS	SCALE: NONE REV. NO: [blank]	DRAWING NUMBER
		SHEET 3 OF 14



NOTE:
 All dimensions shown on plans are from metal building steel line.
 If any other wall system is used other than the standard wall sheeting screwing directly to metal building girts; the detail shown will be void and any end of slab dimensions or notch dimensions are to be determined by contractor.

FRAME LINES: 2 3 4 5 6 7 8 9



RIGID FRAME: MAXIMUM REACTIONS

Frm Line	Col Line	Column_Reactions(k)					
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin
2*	D	1	5.7	9.2	3	-3.8	-4.2
					5	-0.9	-5.5
2*	A	4	3.8	-4.1	1	-5.7	9.5
		7	-1.2	59.3	6	0.9	-56.4
2*	Frame lines: 2 3 4 5 6 7 8 9						

ENDWALL COLUMN: MAXIMUM REACTIONS

Frm Line	Col Line	Column_Reactions(k)					
		Load Id	Hmax H	V Vmax	Load Id	Hmin H	V Vmin
1	D	8	0.2	-0.2	9	-0.2	-0.5
		2	0.0	2.4	10	0.2	-0.5
1	C	11	1.2	-0.1	10	-1.0	-1.3
		2	0.1	5.7	12	1.2	-1.4
1	B	13	1.2	-0.1	8	-1.0	-1.3
		2	0.1	5.7	14	1.2	-1.4
1	A	10	0.2	-0.2	15	-0.2	-0.5
		2	0.0	2.4	8	0.2	-0.5
10	A	8	0.2	-0.3	9	-0.2	-0.6
		2	0.1	2.6	10	0.2	-0.6
10	B	16	1.2	0.2	10	-1.0	-1.6
		2	0.1	6.3	12	1.2	-1.7
10	C	17	1.2	0.2	8	-1.0	-1.6
		2	0.1	6.3	14	1.2	-1.7
10	D	10	0.2	-0.3	15	-0.2	-0.6
		2	0.1	2.6	8	0.2	-0.6

BUILDING BRACING REACTIONS

Wall Loc	Col Line	± Reactions(k)				Panel_Shear (lb/ft)		Note
		Wind Horz	Wind Vert	Seismic Horz	Seismic Vert	Wind	Seis	
L_EW	1							(i)
F_SW	A							(g)
								(g)
								(i)
R_EW	10							
B_SW	D	9,8	4,8	3,4	1,7	1,2		
		4,3	4,8	3,4	1,7	1,2		

(g) Wind column at column line
(i) Bracing in roof to rigid frame

Reactions for seismic represent shear force, Eh

NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width (ft)	=	60.0
Length (ft)	=	172.0
Eave Height (ft)	=	16.0 / 16.0
Roof Slope (rise/12)	=	1.0 / 1.0
Dead Load (psf)	=	2.3
Collateral Load (psf)	=	0.0
Roof Live Load (psf)	=	20.0
Frame Live Load (psf)	=	12.0
Snow Load (psf)	=	7.0
Wind Speed (mph)	=	106.0
Wind Code	=	IBC 21
Exposure	=	B
Closure	=	Enclosed
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	D
Seismic Coeff (Fa*Sa)	=	0.49

ID Description

- 1 Dead+Collateral+Live
- 2 Dead+Collateral+Snow+Snow_Drift
- 3 0.6Dead+0.6Wind_Left1
- 4 0.6Dead+0.6Wind_Right1
- 5 0.6Dead+0.6Wind_Long1L
- 6 0.6Dead+0.6Wind_Long2L
- 7 1.05Dead+1.05Collateral+0.7Seismic_LongR
- 8 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
- 9 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L
- 10 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
- 11 0.6Dead+0.6Wind_Right2+0.6Wind_Suction
- 12 0.6Dead+0.6Wind_Left1+0.6Wind_Suction
- 13 0.6Dead+0.6Wind_Left2+0.6Wind_Suction
- 14 0.6Dead+0.6Wind_Right1+0.6Wind_Suction
- 15 0.6Dead+0.6Wind_Suction+0.6Wind_Long2L
- 16 Dead+0.6Wind_Right2+0.6Wind_Suction
- 17 Dead+0.6Wind_Left2+0.6Wind_Suction

WIND COLUMN REACTIONS

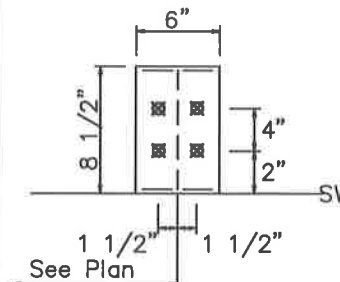
Wall Loc	Col Line	R/L	Load_ID	± Reactions			
				Horz (k)	Vert (k)	Moment (f-k)	
F_SW	A	3	R	Wind	4.8	88.4	73.6
				Seismic	4.4	81.3	67.8
F_SW	A	8	R	Wind	4.8	88.4	73.6
				Seismic	4.4	81.3	67.8



ANCHOR BOLT SUMMARY

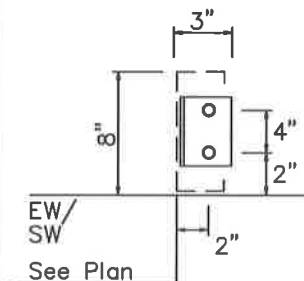
Qty	Locate	Dia (in)	Type	Proj (in)
36	Jamb	1/2"	Wedge	2.50
32	Endwall	3/4"	F1554	2.50
48	Frame	1"	F1554	3.00
8	WindCol	1"	F1554	3.00

Dia= 3/4"



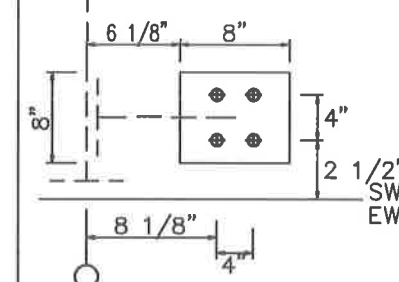
DETAIL D

Dia= 1/2"



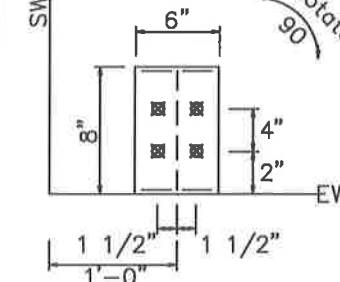
DETAIL E

Dia= 1"



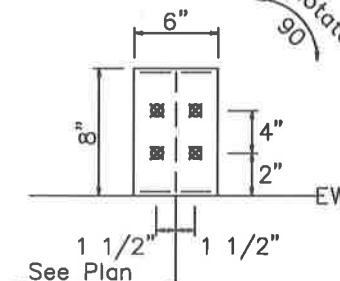
DETAIL F

Dia= 3/4"



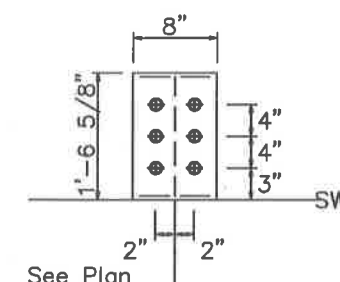
DETAIL A

Dia= 3/4"

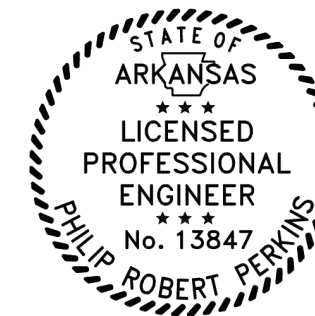


DETAIL B

Dia= 1"



DETAIL C



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By Philip Perkins at 9:05 am, Sep 07, 2023

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GENERAL NOTES

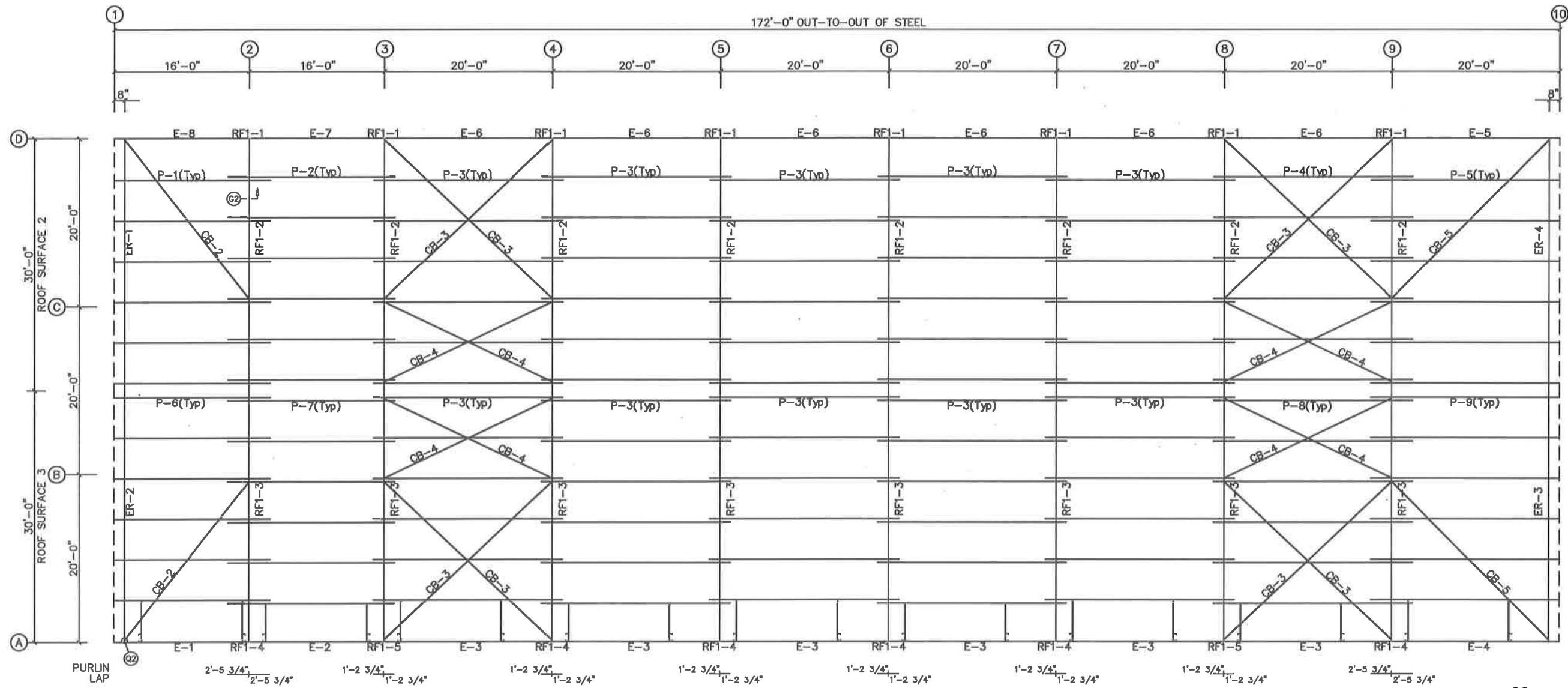
1. METAL BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FOUNDATION DESIGN OR CONSTRUCTION.
2. THE FOUNDATION DESIGN SHOULD BE DONE WITH DUE REGARD TO EXISTING SOILS CONDITIONS FOR THE DESIGN LOADS AT THE ACTUAL JOB SITE.
3. ANCHOR BOLT DIAMETERS WERE DETERMINED BY THE AISC ALLOWABLE SHEAR-TENSION METHOD USING (Fy = 36 ksi)
4. ANCHOR BOLT LENGTH & METHOD OF TRANSFER OF FORCES FROM ANCHOR BOLTS TO THE FOUNDATION ARE TO BE DETERMINED BY OTHERS. IT IS RECOMMENDED THAT AN EXPERIENCED DESIGN PROFESSIONAL DETERMINE THIS METHOD.
5. BOTTOMS OF ALL BASE PLATES ARE AT THE SAME ELEVATION UNLESS NOTED.
6. ANCHOR BOLTS ARE NOT SUPPLIED BY THE METAL BUILDING MANUFACTURER.
7. IT IS THE RESPONSIBILITY OF THE ERECTOR TO PROVIDE FOR ALL TEMPORARY BRACING AS WELL AS A PLAN FOR INSTALLING IT. THIS INCLUDES SIZES, TYPE, LOCATION, AND QUANTITY.

SBI
METAL BUILDINGS & COMPONENTS
114 TROOPER DRIVE
HOT SPRINGS, ARKANSAS 71913
PH: (501) 262-0600, FAX: (501) 262-5107

PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	SBI36405
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/1/23	CHECK:
DWG NAME: ANCHOR BOLT DETAILS & REACTIONS	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 4 OF 14

MEMBER TABLE FRAME LINE			
QTY	MARK	PART	LENGTH
6	P-1	08X25Z16	17'-9 1/2"
6	P-2	08X25Z16	19'-8 1/2"
6	P-3	08X25Z16	22'-5 1/2"
6	P-4	08X25Z16	23'-8 1/2"
6	P-5	08X25Z16	21'-9 1/2"
6	P-6	08X25Z16	17'-9 1/2"
6	P-7	08X25Z16	19'-8 1/2"
6	P-8	08X25Z16	23'-8 1/2"
6	P-9	08X25Z16	21'-9 1/2"
1	E-1	08E14.1	15'-11 1/2"
1	E-2	08E14.1	15'-11 1/2"
6	E-3	08E14.1	19'-11 1/2"
1	E-4	08E14.1	19'-11 1/2"
1	E-5	08E14.1	19'-11 1/2"
6	E-6	08E14.1	19'-11 1/2"
1	E-7	08E14.1	15'-11 1/2"
1	E-8	08E14.1	15'-11 1/2"
2	CB-2	HW-374	24'-7 1/2"
8	CB-3	HW-374	27'-8"
8	CB-4	HW-374	22'-7 1/4"
2	CB-5	HW-374	27'-4 1/4"

TRIM TABLE			
QTY	PART	LENGTH	DETAIL
0	FL-51	3'-0"	TRIM_16



ROOF FRAMING PLAN



ROOF SHEETING
 PANELS: 26 Ga. PBR
 Ash Gray



ISSUED FOR CONSTRUCTION

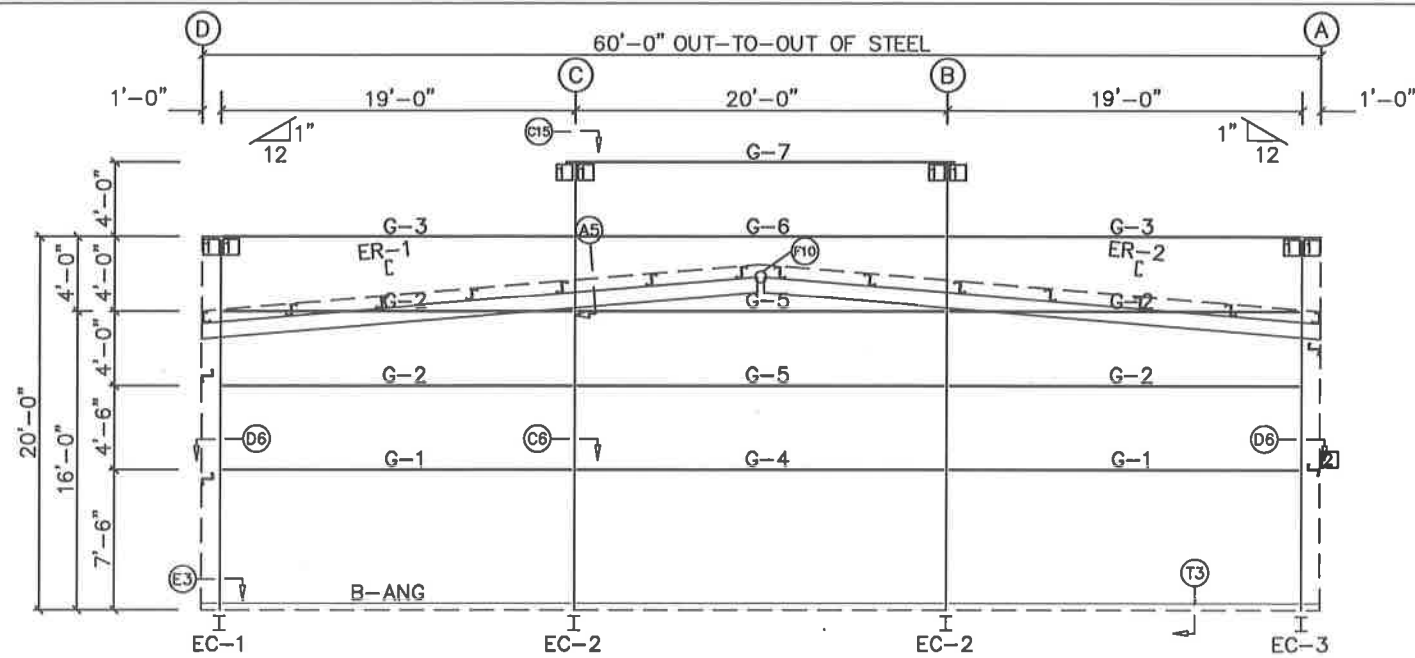
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REVIEWED
 By Philip Perkins at 9:05 am, Sep 07, 2023

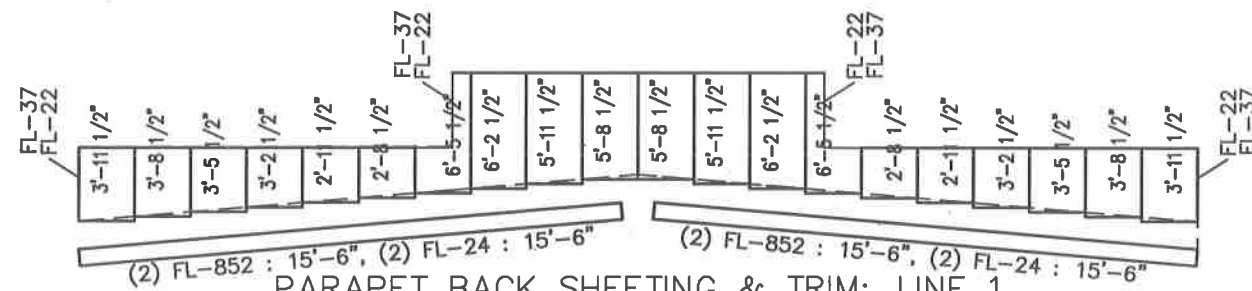
- GENERAL NOTES:**
- The purlins will have one leg with a wider flange, and should be facing in opposite directions at each adjacent bay. (wide leg up, wide leg down, wide leg up, etc.)
 - All purlins are bolted in place with (2) 1/2"x1-1/4" A307 bolts on a diagonal pattern at the clip and (2) 1/2"x1-1/4" A307 bolts at each end of the lap (6-bolts total per connection see detail drawings)
 - Eave struts are bolted with (2) 1/2"x1-1/4" A307 bolts at each end, also supplied are eave strut cover angles to fit on top of the joint between the struts to close off the gap and eliminate light penetration.
 - If sag angle is shown on this plan, secure in-place by bending tabs over as shown in detail drawings. Note: PBR panels only require one run of sag angle in bottom set of slots; Standing Seam panels require double runs of sag angle, the purlins are always provided with a (4) slot pattern, alternate left to right at each adjacent purlin space.
 - Roof sheeting should be installed with the correct laps, overhangs, and screw patterns as shown in the detail drawings.
 - It is the responsibility of the erector to provide all temporary bracing as well as a plan for installing and securing it. This includes size, type, location, and quantity.
 - Hanging loads suspended from purlins shall be attached to the purlin webs so as to prevent distortion of the purlin flanges. Hanging loads shall not be attached to the lips of the purlins. Any attachment that is not made directly to the purlin web shall be submitted for review. In no case shall the load applied to a single purlin exceed 150 lb.

SBT
 METAL BUILDINGS & COMPONENTS
 114 TROOPER DRIVE
 HOT SPRINGS, ARKANSAS 71913
 PH: (501) 262-0600, FAX: (501) 262-5107

PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	SB136405
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/8/23	CHECK:
DWG NAME: ROOF FRAMING	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 5 OF 14

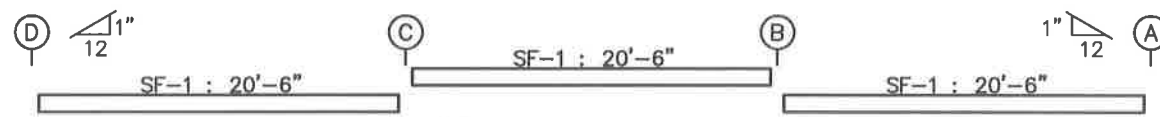


LEFT ENDWALL FRAMING: FRAME LINE 1

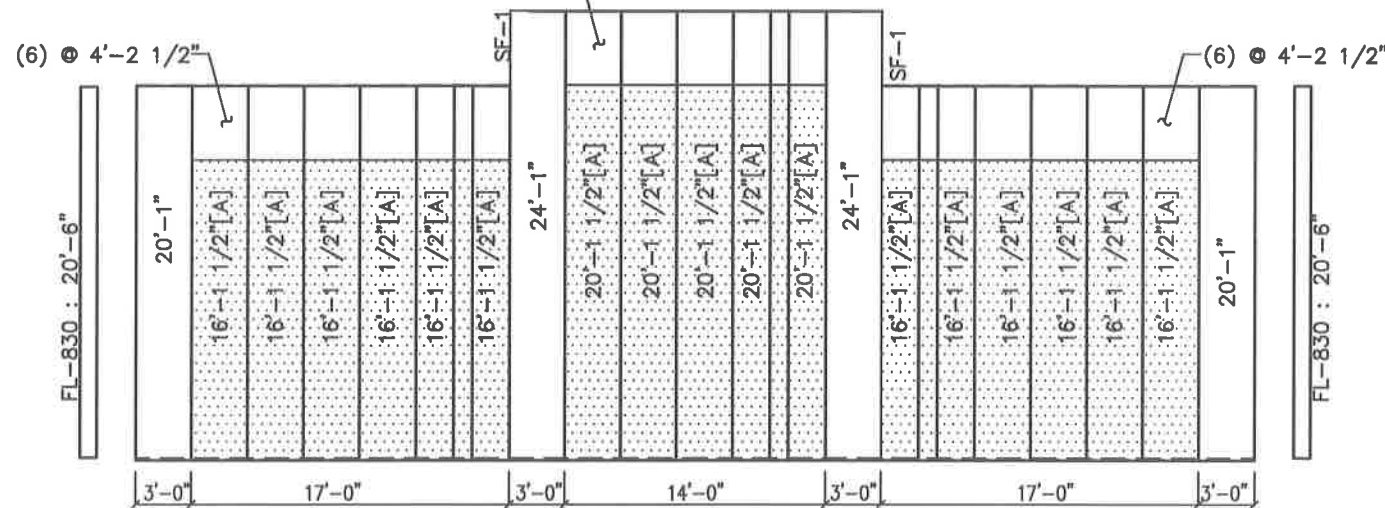


PARAPET BACK SHEETING & TRIM: LINE 1

PANELS: 26 Ga. PR - CHARCOAL



(5) 4'-2 1/2"



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. PR - BLACK
[A] PANELS: 26 Ga. PR - CHARCOAL

BOLT TABLE			
FRAME LINE 1			
LOCATION	QUAN	TYPE	DIA
ER-1/ER-2	4	A325	1/2"
Columns/Raf	4	A325	1/2"

TRIM TABLE			
FRAME LINE 1			
QID	MARK	LENGTH	DETAIL
FL-830		20'-6"	TRIM_12
FL-24		15'-6"	TRIM_87
FL-852		15'-6"	TRIM_87
FL-22		4'-6"	TRIM_18
FL-37		4'-6"	TRIM_13
SF-1		20'-6"	TRIM_87

MEMBER TABLE			
FRAME LINE 1			
QTY	MARK	PART	LENGTH
1	EC-1	W08641	19'-9 1/4"
2	EC-2	W08641	23'-9 1/4"
1	EC-3	W08641	19'-9 1/4"
1	ER-1	10x25c12	30'-1 1/4"
1	ER-2	10x25c12	30'-1 1/4"
2	G-1	08X25Z14	18'-5 1/2"
4	G-2	08X25Z16	18'-5 1/2"
2	G-3	08X25C16	19'-8 1/2"
1	G-4	08X25Z14	19'-5 1/2"
2	G-5	08X25Z16	19'-5 1/2"
1	G-6	08X35Z14	19'-5 1/2"
1	G-7	08X25C16	20'-7 1/2"

CONNECTION PLATES			
FRAME LINE 1			
QID	QUAN	MARK/PART	
1	8	b2	
2	1	ZGF	

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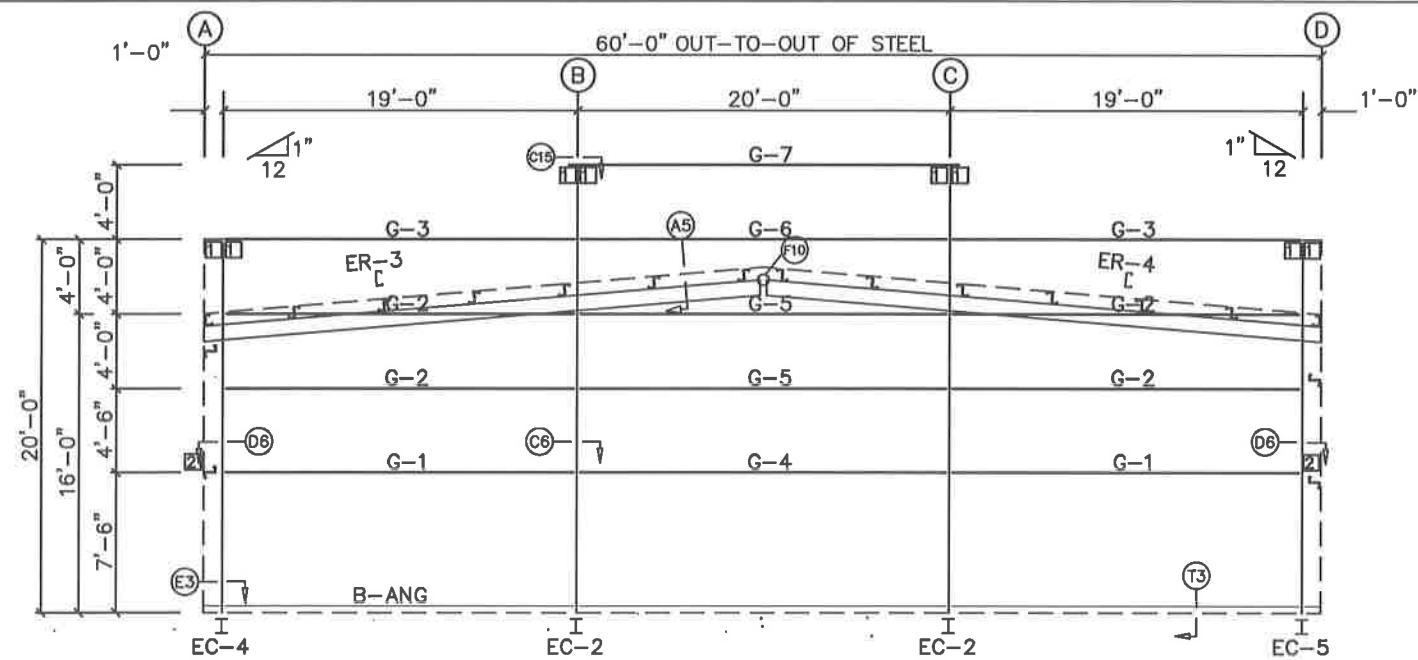
REVIEWED

By Philip Perkins at 9:05 am, Sep 07, 2023

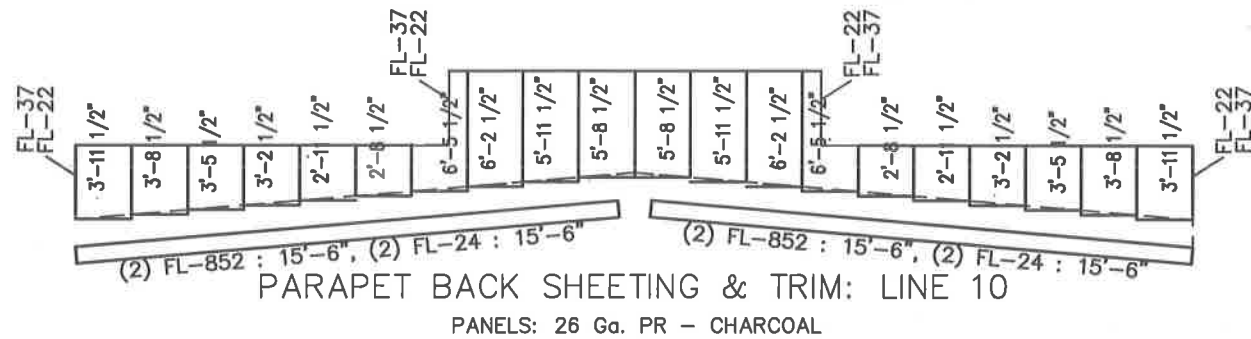
GENERAL NOTES:

- Sheets on buildings with roof slopes greater than 1-1/4"/12" must be field cut to cope with slope of roof.
- Screw patterns for sheeting shall be to use 3ea screws at the bottom, top, and at each girt. Space these screws equally at about 1" off of each panel rib. Lap screws should be placed at bottom, top, each girt, two (2) equally spaced between base and first girt, and one (1) at the midpoint between all other girts. Tek5 Drillers are supplied as needed for non secondary steel.
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- It is the responsibility of the erector to provide all temporary bracing and a plan for installing it. This includes size, type, location, and qty.

<p>METAL BUILDINGS & COMPONENTS 114 TROOPER DRIVE HOT SPRINGS, ARKANSAS 71913 PH: (501) 262-0600, FAX: (501) 262-5107</p>	PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER:
	3419 MEETING ST BRYANT, AR	DESIGN: RH	SBI36405
	CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/ 8/23	CHECK:
	DWG NAME: ENDWALL FRAMING	SCALE: NONE	REV. NO:
			DRAWING NUMBER
			SHEET 6 OF 14

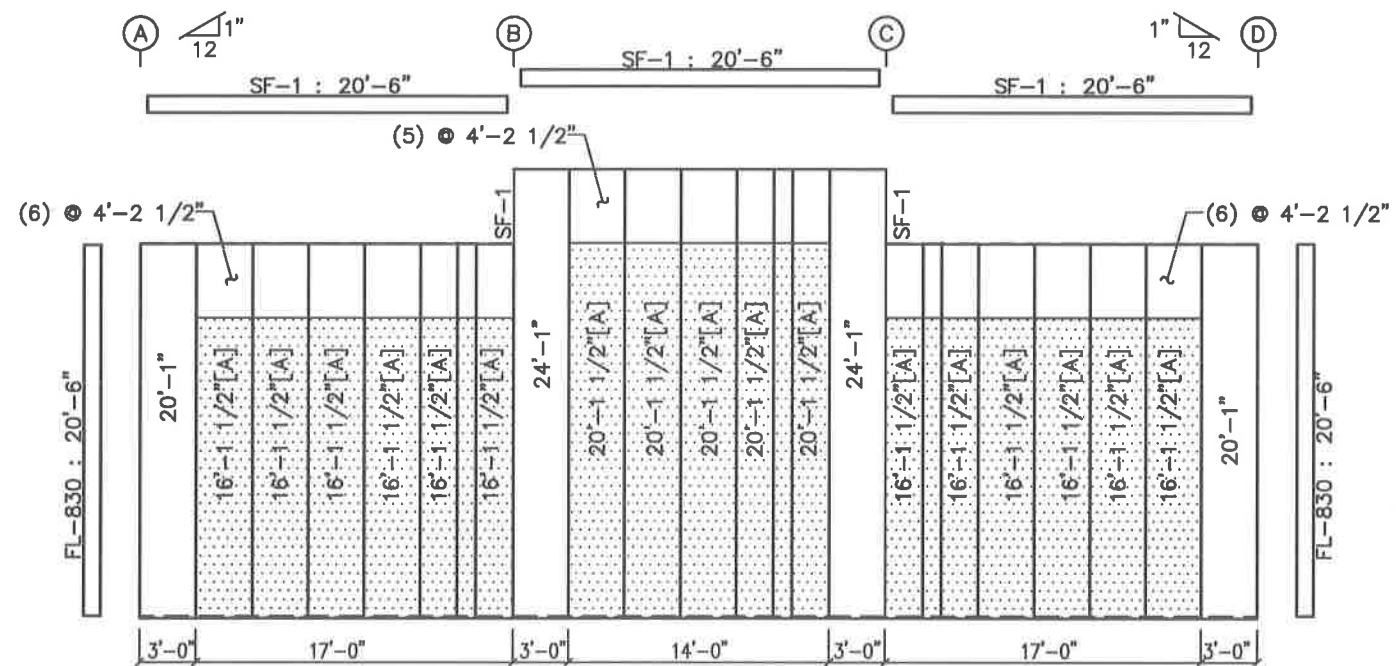


RIGHT ENDWALL FRAMING: FRAME LINE 10



PARAPET BACK SHEETING & TRIM: LINE 10

PANELS: 26 Ga. PR - CHARCOAL



LEFT ENDWALL SHEETING & TRIM: FRAME LINE 10

PANELS: 26 Ga. PR - BLACK
[A] PANELS: 26 Ga. PR - CHARCOAL

BOLT TABLE				
FRAME LINE 10				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-3/ER-4	4	A325	1/2"	1 1/2"
Columns/Raf	4	A325	1/2"	1 1/4"

TRIM TABLE			
FRAME LINE 1			
QID	MARK	LENGTH	DETAIL
FL-830		20'-6"	TRIM_12
FL-24		15'-6"	TRIM_87
FL-852		15'-6"	TRIM_87
FL-22		4'-6"	TRIM_18
FL-37		5'-6"	TRIM_13
SF-1		20'-6"	TRIM_87

MEMBER TABLE			
FRAME LINE 10			
QTY	MARK	PART	LENGTH
2	EC-2	W08641	23'-9 1/4"
1	EC-4	W08641	19'-9 1/4"
1	EC-5	W08641	19'-9 1/4"
1	ER-3	10x35c12	30'-1 1/4"
1	ER-4	10x35c12	30'-1 1/4"
2	G-1	08X25Z14	18'-5 1/2"
4	G-2	08X25Z16	18'-5 1/2"
2	G-3	08X25C16	19'-8 1/2"
1	G-4	08X25Z14	19'-5 1/2"
2	G-5	08X25Z16	19'-5 1/2"
1	G-6	08X35Z14	19'-5 1/2"
1	G-7	08X25C16	20'-7 1/2"

CONNECTION PLATES		
FRAME LINE 10		
QID	QUAN	MARK/PART
1	8	b2
2	1	ZGF

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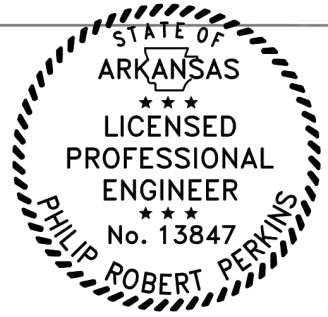
By Philip Perkins at 9:05 am, Sep 07, 2023

GENERAL NOTES:

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SBC
METAL BUILDINGS & COMPONENTS
114 TROOPER DRIVE
HOT SPRINGS, ARKANSAS 71913
PH: (501) 262-0600, FAX: (501) 262-5107

PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER: SBI36405
3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/ 8/23	CHECK:
DWG NAME: ENDWALL FRAMING	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 7 OF 14



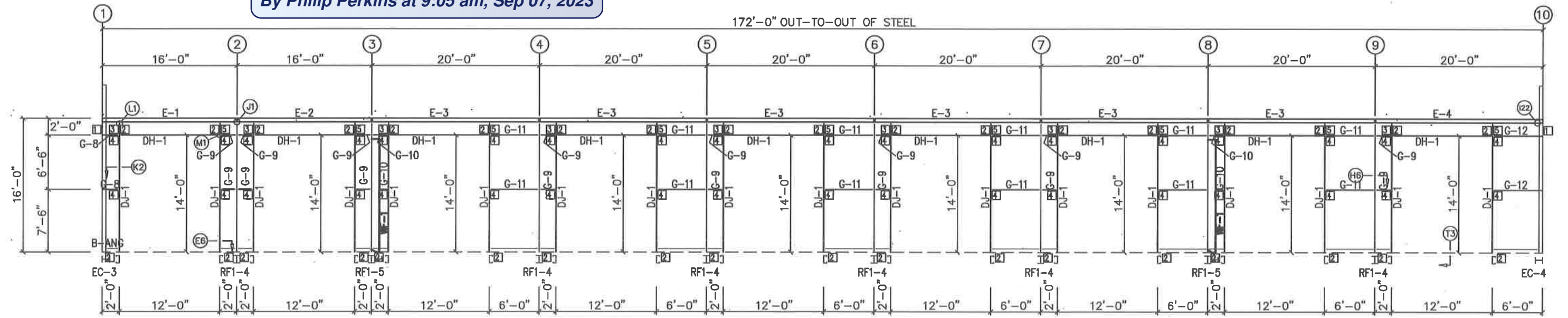
REVIEWED
By Philip Perkins at 9:05 am, Sep 07, 2023

BOLT TABLE FRAME LINE A			
LOCATION	QUAN	TYPE	DIA
WF-1 - RF1-5	12	A325	3/4"

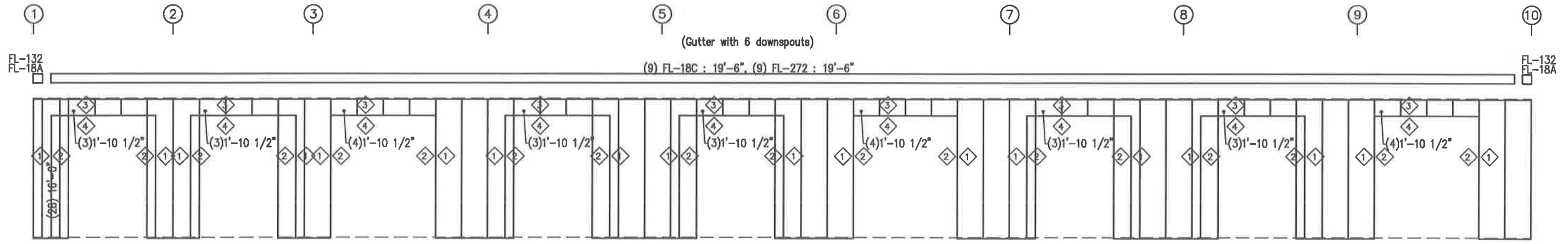
CONNECTION PLATES FRAME LINE A			
ID	QUAN	MARK	PART
1	2	ZGF	
2	36	c1	
3	9	e1	
4	36	b1	
5	9	e2	

TRIM TABLE FRAME LINE A			
ID	MARK	LENGTH	DETAIL
1	FL-18C	19'-6"	TRIM_8
2	FL-830	16'-6"	TRIM_12
1	FL-37	14'-6"	TRIM_18
3	FL-22	14'-6"	TRIM_18
4	FL-37	12'-6"	TRIM_18
4	FL-24	12'-6"	TRIM_19

MEMBER TABLE FRAME LINE A				
QTY	MARK	PART	LENGTH	
2	WF-1	W10651	14'-0"	
18	DJ-1	08X25C16	15'-3 1/2"	
9	DH-1	08X25C16	11'-11 1/2"	
1	E-1	08E14.1	15'-3 1/2"	
1	E-2	08E14.1	15'-11 1/2"	
6	E-3	08E14.1	19'-11 1/2"	
1	E-4	08E14.1	19'-3 1/2"	
2	G-8	08X25Z16	1'-7 3/4"	
16	G-9	08X25Z16	1'-3 3/4"	
4	G-10	08X25Z16	9 3/4"	
12	G-11	08X25Z16	5'-3 3/4"	
2	G-12	08X25Z16	5'-7 3/4"	



FRONT SIDEWALL FRAMING: FRAME LINE A



FRONT SIDEWALL SHEETING & TRIM: FRAME LINE A

26Ga PBR (Black) ACCENT PANELS
(25) 12" LONG TO BE ATTACHED WITH LAP FASTENERS

PANELS: 26 Ga. PR - CHARCOAL

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- GENERAL NOTES:**
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 - Cut sheets as needed to cope to framed openings.
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SBI
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114 TROOPER DRIVE
HOT SPRINGS, ARKANSAS 71913
PH: (501) 262-0600, FAX: (501) 262-5107

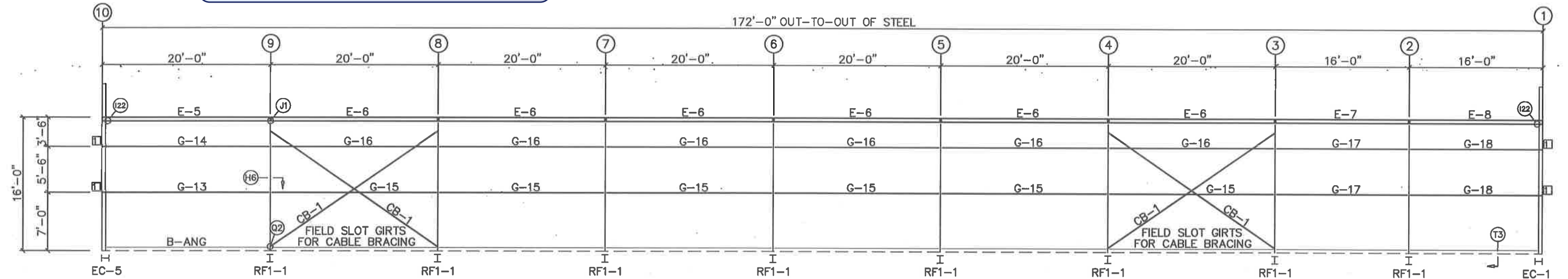
PROJECT: 60x172	BLDG. SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	SBI36405
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/ 8/23	CHECK:
DWG NAME: SIDEWALL FRAMING	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 8 OF 14



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By Philip Perkins at 9:05 am, Sep 07, 2023

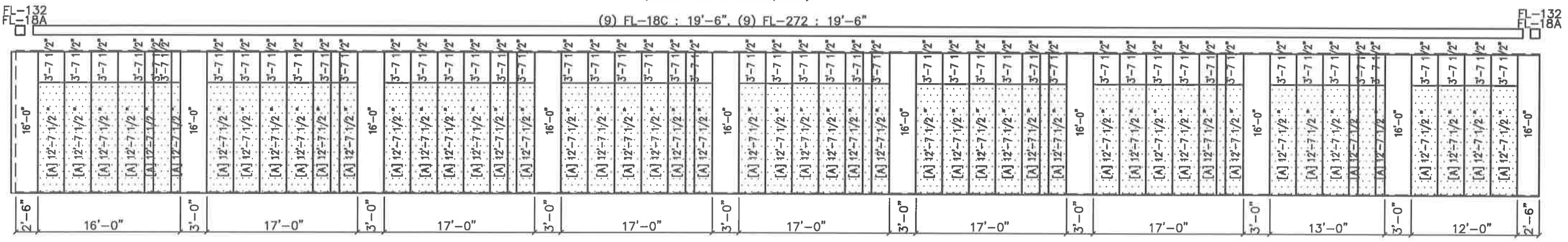
CONNECTION PLATES			TRIM TABLE			
FRAME LINE D			FRAME LINE D			
ID	QUAN	MARK/PART	ID	MARK	LENGTH	DETAIL
1	4	ZGF	FL-18C	19'-6"		TRIM_8

MEMBER TABLE			
FRAME LINE D			
QTY	MARK	PART	LENGTH
1	E-5	08E14.1	19'-3 1/2"
6	E-6	08E14.1	19'-11 1/2"
1	E-7	08E14.1	15'-11 1/2"
1	E-8	08E14.1	15'-3 1/2"
1	G-13	08X25Z14	19'-7 1/2"
1	G-14	08X25Z16	19'-7 1/2"
6	G-15	08X25Z14	19'-3 1/2"
6	G-16	08X25Z16	19'-3 1/2"
2	G-17	08X25Z16	15'-3 1/2"
4	G-18	08X25Z16	15'-7 1/2"
2	CB-1	HW-374	25'-4"



BACK SIDEWALL FRAMING: FRAME LINE D

(Gutter with 6 downspouts)



BACK SIDEWALL SHEETING & TRIM: FRAME LINE D

PANELS: 26 Ga. PR - BLACK
[A] PANELS: 26 Ga. PR - CHARCOAL

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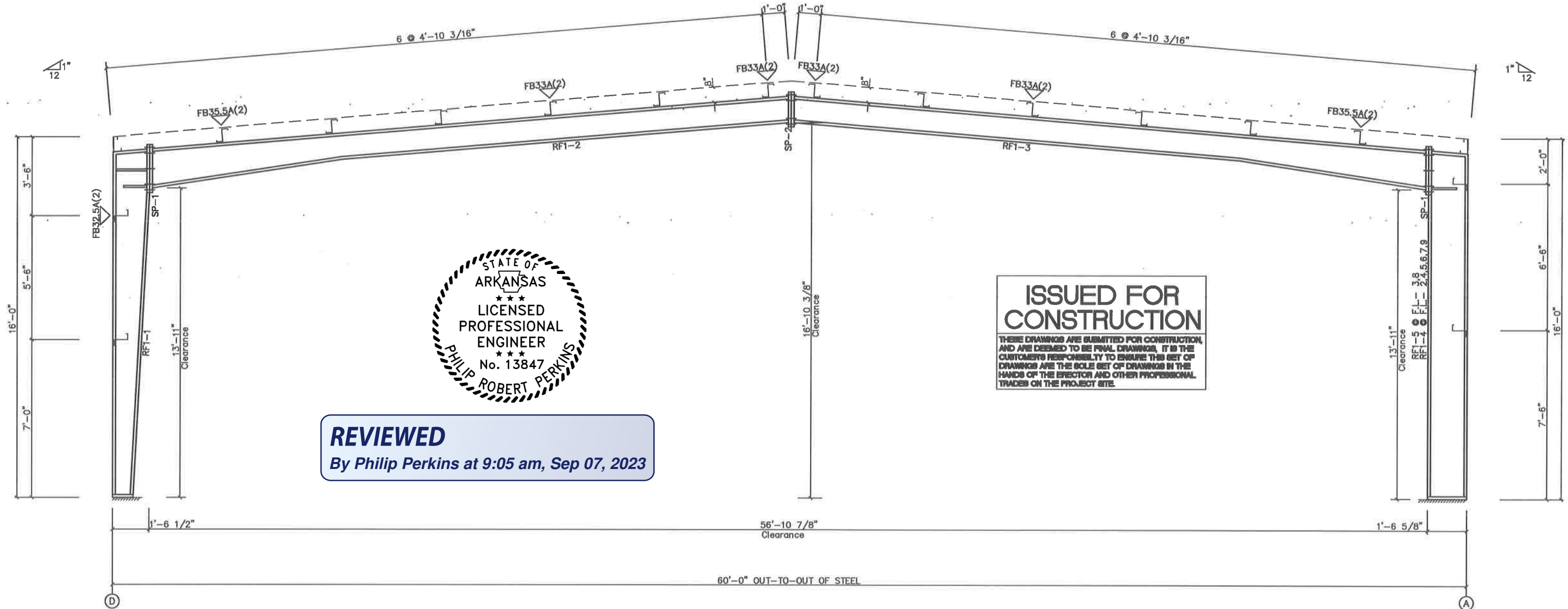
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<p>SBI METAL BUILDINGS & COMPONENTS 114 TROOPER DRIVE HOT SPRINGS, ARKANSAS 71913 PH: (501) 262-0600, FAX: (501) 262-5107</p>	PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
	3419 MEETING ST BRYANT, AR	DESIGN: RH	SBI36405
	CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/8/23	CHECK:
	DWG NAME: SIDEWALL FRAMING	SCALE: NONE	REV. NO:
			DRAWING NUMBER
			SHEET 9 OF 14

SPlice Bolt Table						
Mark	Qty Top	Qty Bot	Int	Type	Dia	Length
SP-1	4	4	2	A325	3/4"	2"
SP-2	4	4	0	A325	3/4"	2"

MEMBER TABLE								
Mark	Web Depth		Web Plate		Outside Flange		Inside Flange	
	Start	End	Thick	Length	W x Thk x Length	W x Thk x Length	W x Thk x Length	
RF1-1	8.0	18.0	0.164	184.7	6 x 1/4" x 183.2	6 x 1/4" x 183.2	6 x 1/4" x 163.4	
RF1-2	18.0	11.0	0.135	102.9	6 x 1/4" x 341.4	6 x 1/4" x 341.4	6 x 1/4" x 103.2	
RF1-3	11.0	11.0	0.135	240.0	6 x 1/4" x 341.3	6 x 1/4" x 341.3	6 x 1/4" x 239.1	
RF1-4	11.0	18.0	0.135	102.9	6 x 1/4" x 183.2	6 x 1/4" x 183.2	6 x 1/4" x 103.1	
	18.0	18.0	0.188	184.5	8 x 1/4" x 18.4	8 x 5/16" x 183.0	8 x 5/16" x 162.9	

▽ FLANGE BRACES: (1) One Side; (2) Two Sides
 FBxxA(1): xx=length(in)
 A - L2X2X12g



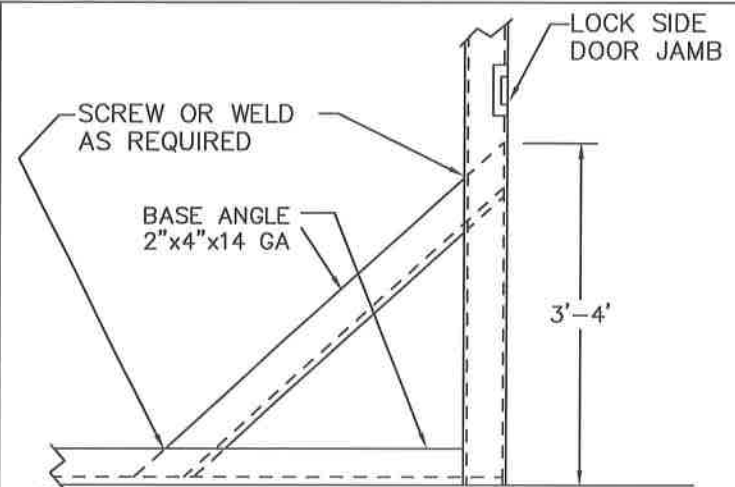
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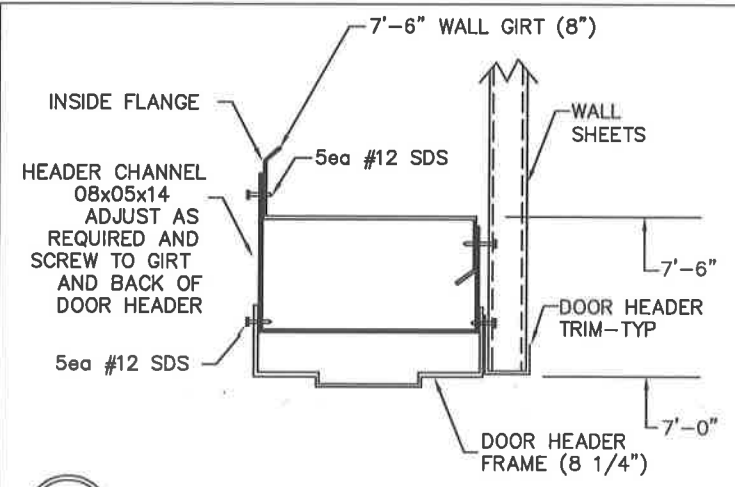
- GENERAL NOTES:
1. ALL PRIMARY STRUCTURAL STEEL SHALL BE FABRICATED FROM 50 KSI STEEL.
 2. ALL SECONDARY FRAMING MEMBERS SHALL BE FORMED FROM 55 KSI STEEL.
 3. ALL FIELD CONNECTIONS OF PRIMARY FRAMING MEMBERS SHALL BE BOLTED WITH A325 H. S. BOLTS AND INSTALLED BY THE 'TURN OF THE NUT' METHOD.
 4. ALL FIELD CONNECTIONS OF SECONDARY FRAMING SHALL BE BOLTED WITH A307 MACHINE BOLTS (or A325).
 5. WELDING PROCESSES USED BY MANUFACTURER ARE IN ACCORDANCE WITH SEC. 1.3 OF AWS D 1.1
 6. IT IS THE RESPONSIBILITY OF THE ERECTOR TO PROVIDE FOR ALL TEMPORARY BRACING AS WELL AS A PLAN FOR INSTALLING AND SECURING IT. THIS INCLUDES SIZES, TYPES, LOCATION, AND QUANTITIES. RIGID FRAMES SHOULD NEVER BE LEFT IN AN UNSUPPORTED, UNBRACED OR UNGUYED CONDITION. ADDITIONAL CARE SHOULD BE TAKEN WHEN ERECTING MULTI-SPAN FRAMES COMPARED TO CLEAR SPAN FRAMES BECAUSE OF THE LIGHTER SECTIONS THAT CAN BE UTILIZED DUE TO CLOSER SUPPORT SPACINGS.

 114 TROOPER DRIVE HOT SPRINGS, ARKANSAS 71913 PH: (501) 262-0600, FAX: (501) 262-5107	PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER: SBI36405
	3419 MEETING ST BRYANT, AR	DESIGN: RH	DRAWN: RH
	CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/1/23	CHECK:
	DWG NAME: RIGID FRAME ELEVATION	SCALE: NONE	REV. NO:
			DRAWING NUMBER
			SHEET 10 OF 14

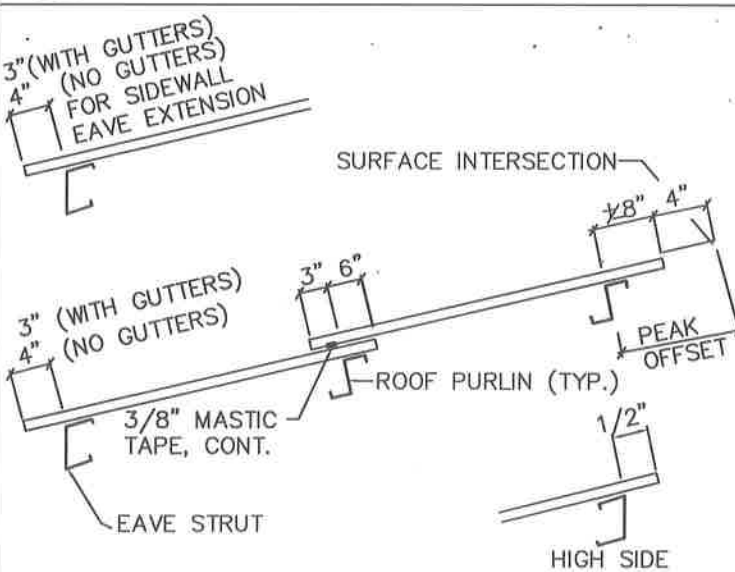
RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5 6 7 8 9



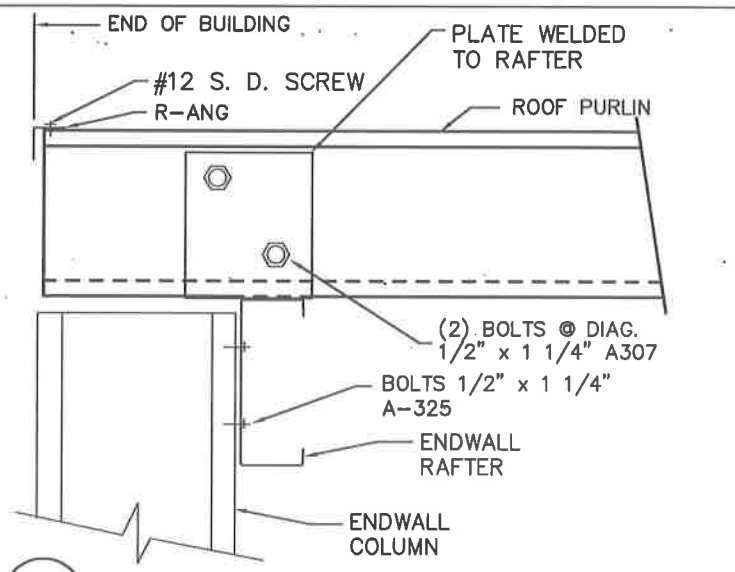
(K11) MANDOR JAMB BRACE ANGLE



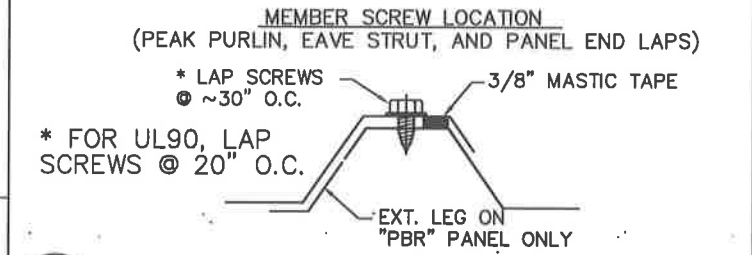
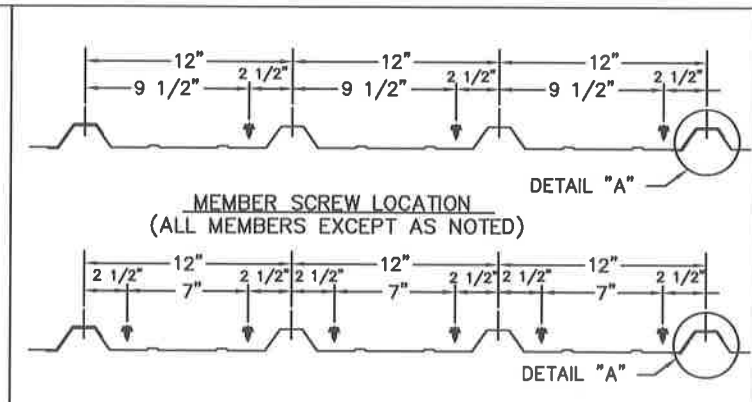
(K12) 3070 DOOR FRAME CONNECTION TO 7'-6" WALL GIRT-TYP



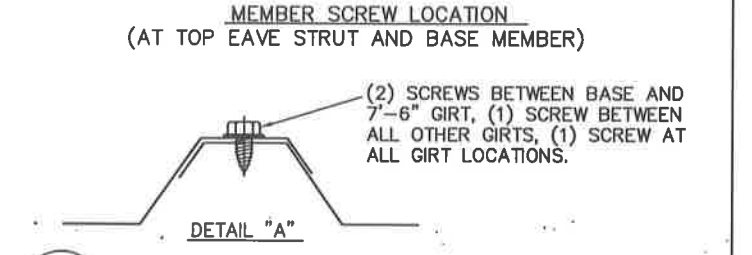
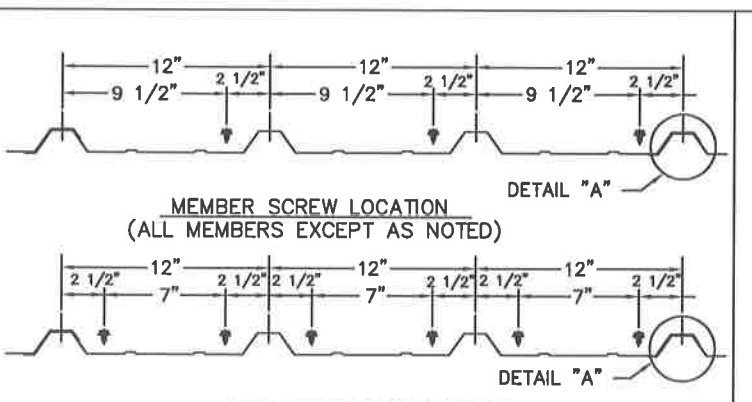
(Z3) DETAILING SCREW DOWN ROOF SHEETING



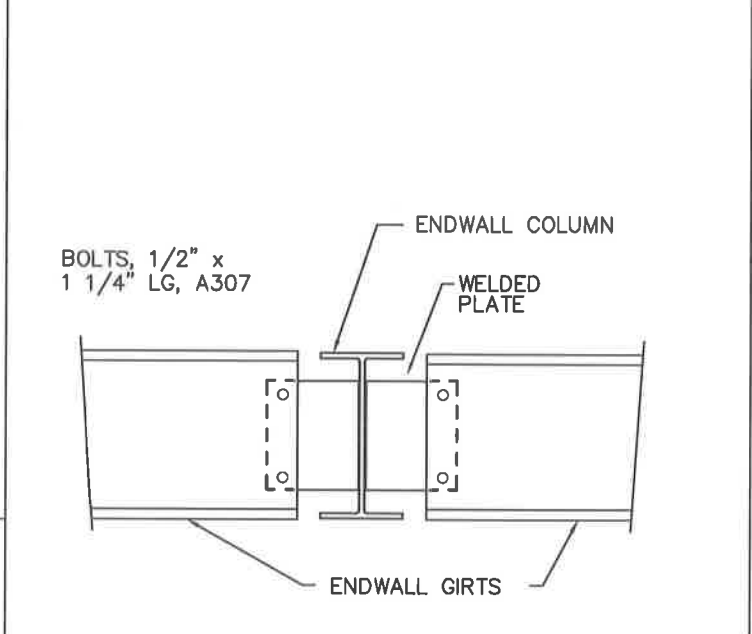
(A5) SECTION THRU ENDWALL RAFTER



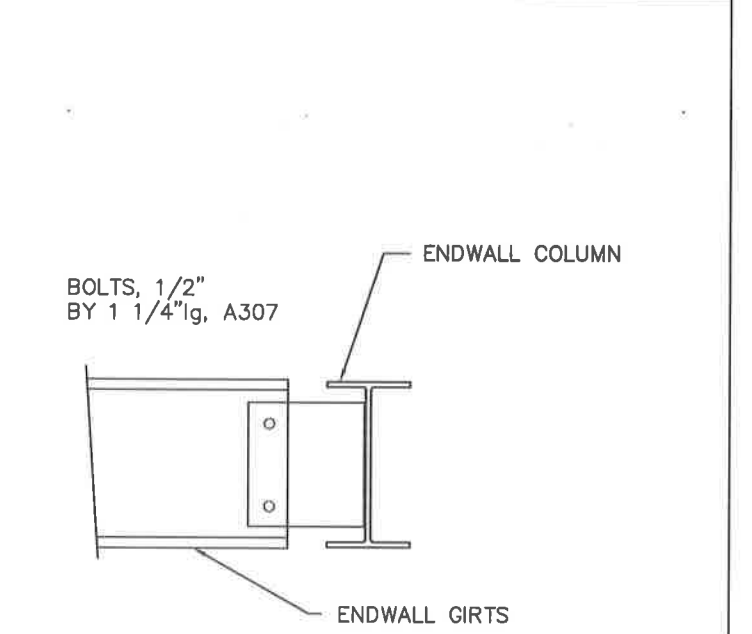
(Z1) "PBR" AND "R" PANEL ROOF



(Z2) "R" PANEL WALL



(C6) ENDWALL COLUMN TO WALL GIRT



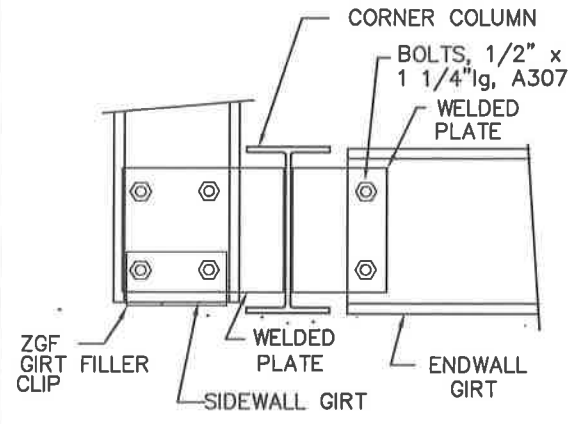
(C15) ENDWALL COLUMN TO WALL GIRT



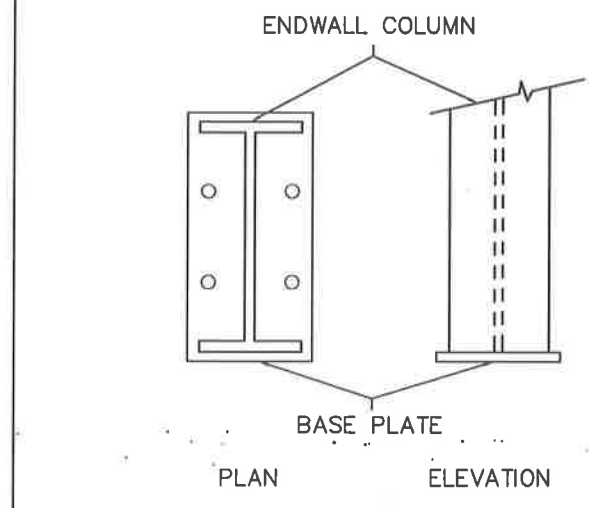
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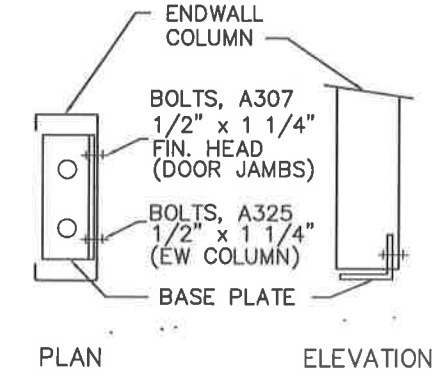
 METAL BUILDINGS & COMPONENTS 114 TROOPER DRIVE HOT SPRINGS, ARKANSAS 71913 PH: (501) 262-0600, FAX: (501) 262-5107	PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
	3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	SBI36405
	CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/1/23	CHECK:
	DWG NAME: DETAIL DRAWINGS	SCALE: NONE	REV. NO:
			DRAWING NUMBER
			SHEET 11 OF 14



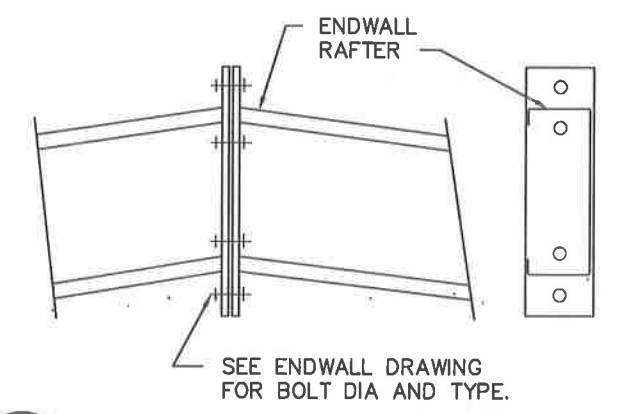
D6 CORNER COLUMN TO WALL GIRT



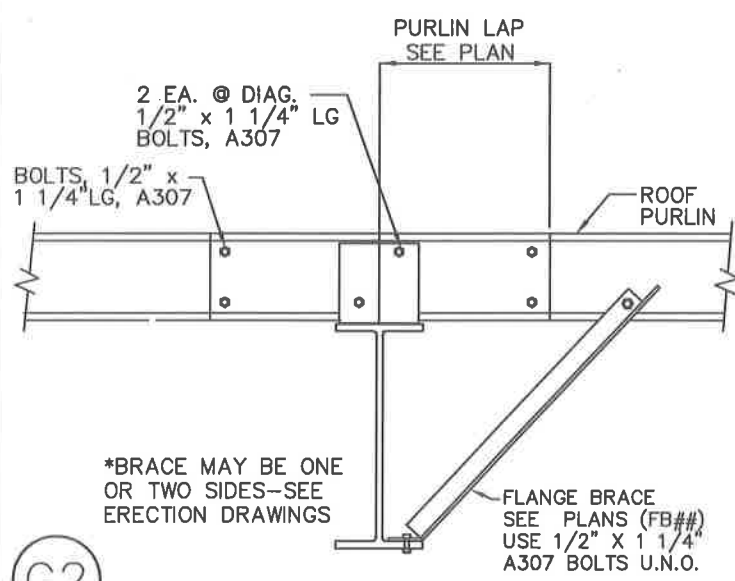
E3 BASE PLATE FOR ENDWALL COLUMN



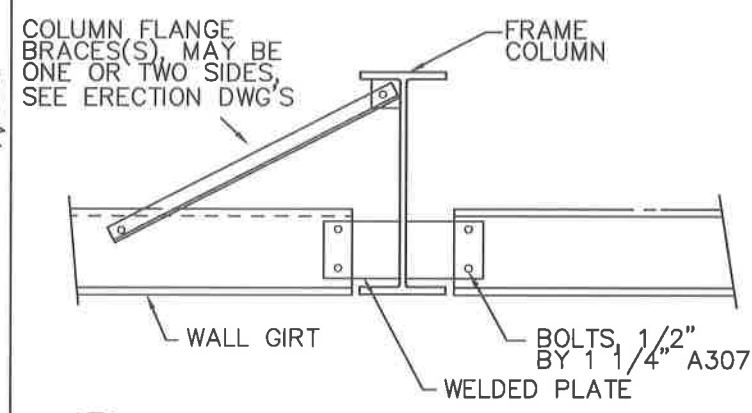
E6 BASE PLATE FOR ENDWALL COLUMN OR DOOR JAMB



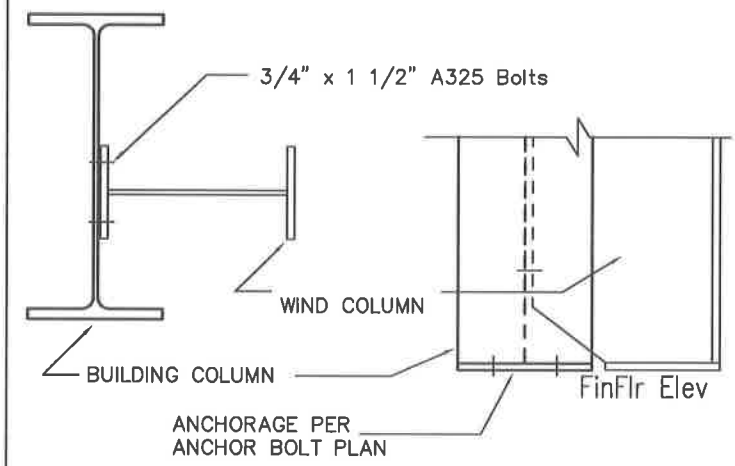
F10 RAFTER SPLICE AT SURFACE CHANGE



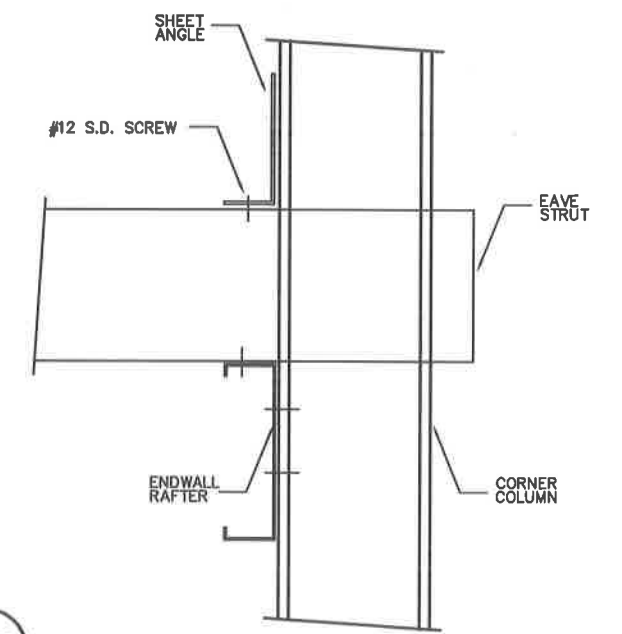
G2 ROOF PURLIN TO INTERIOR FRAME RAFTER



H6 WALL GIRT TO FRAME COLUMN

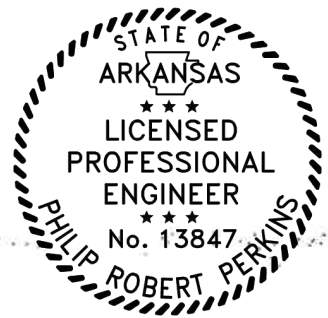


H9 WIND BENT OR WIND COLUMN TO BUILDING COLUMN



I22 EAVE STRUT TO ENDWALL COLUMN

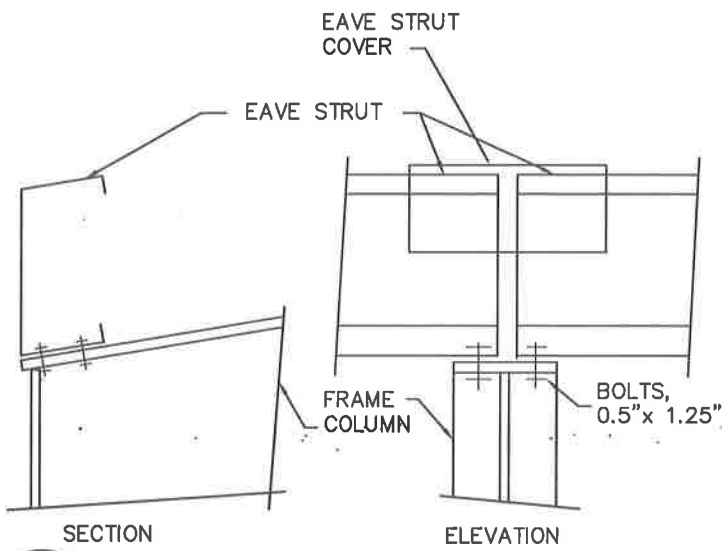
REVIEWED
By Philip Perkins at 9:05 am, Sep 07, 2023



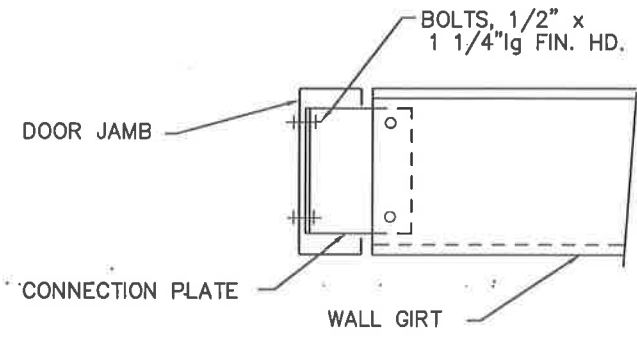
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HOT SPRINGS, ARKANSAS 71913
PH: (501) 262-0600, FAX: (501) 262-5107

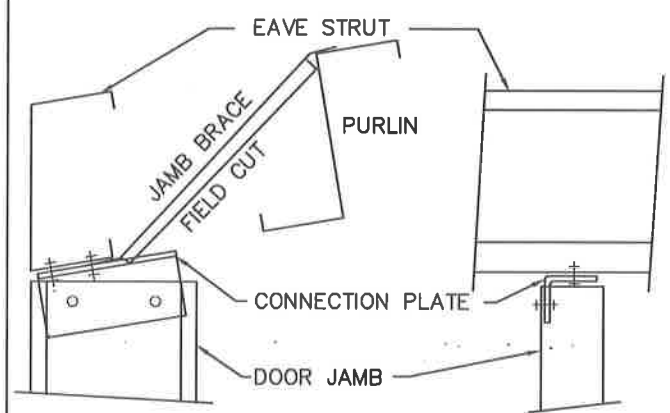
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3419 MEETING ST BRYANT, AR	DESIGN: DATE: 8/1/23	DRAWN: RH
CUSTOMER: FERGUSON BUILDERS INC	SCALE: NONE	CHECK: REV. NO:
DWG NAME: DETAIL DRAWINGS		DRAWING NUMBER: SHEET 12 OF 14



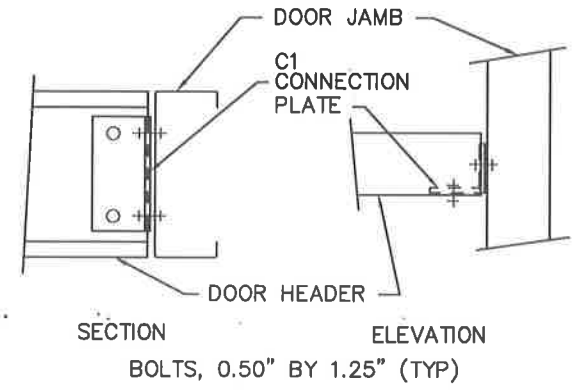
J1 EAVE STRUT TO RIGID FRAME



K2 WALL GIRT TO DOOR JAMB

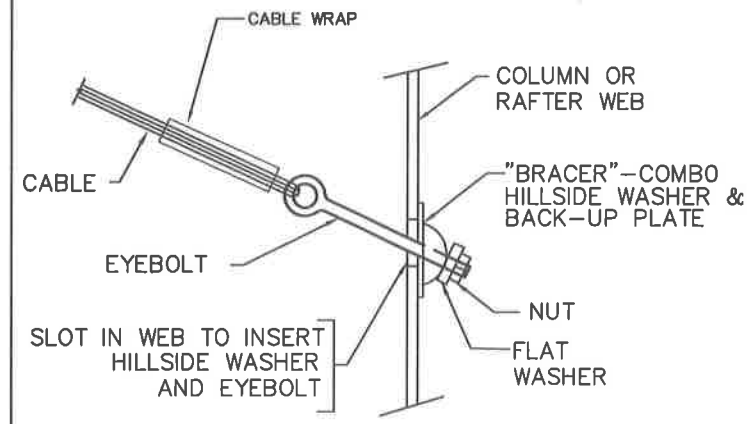


L1 DOOR JAMB TO EAVE STRUT

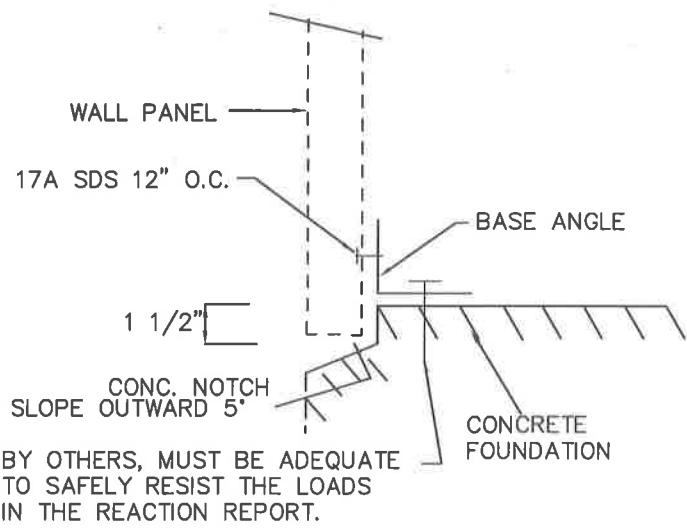


M1 DOOR HEADER TO DOOR JAMB

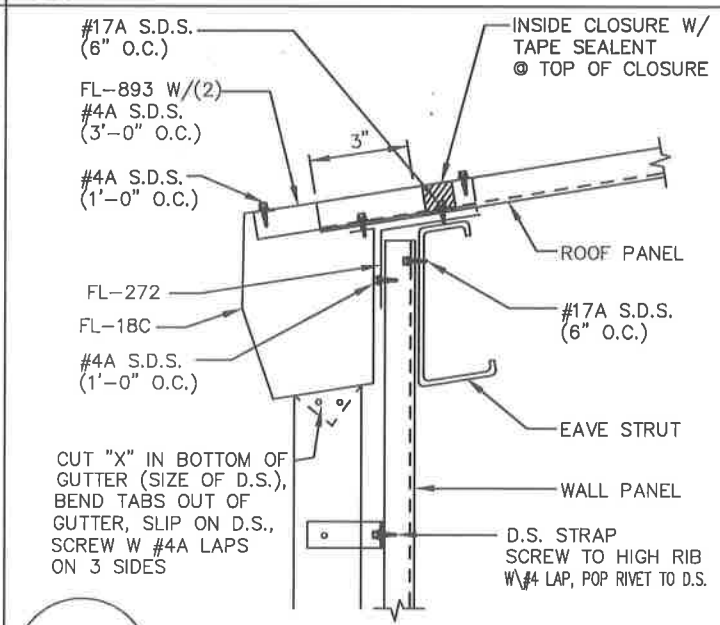
NOTE: FLUSH GIRT SYSTEMS WILL REQUIRE A SLOT BE FIELD CUT IN THE GIRT WEB TO ALLOW CABLE TO FREELY PASS THROUGH. SLOT SIZE TO BE MINIMAL SIZE TO ACCOMODATE BRACING.



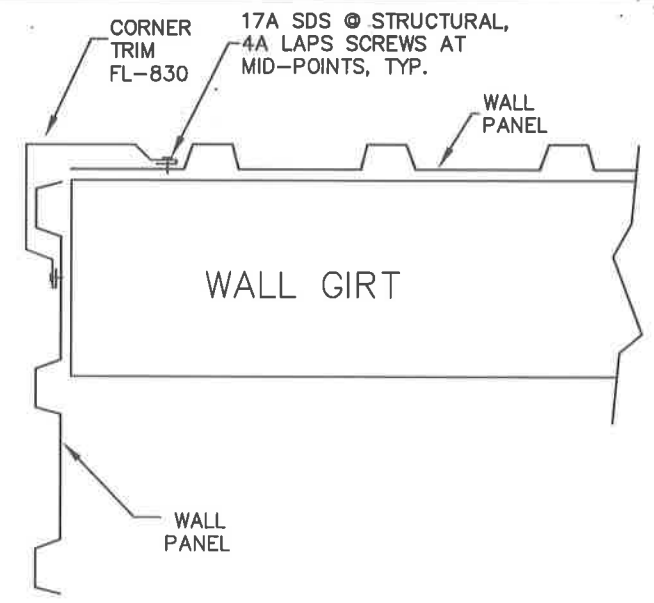
Q2 DIAGONAL CABLE, EYEBOLT END



T3 SECTION THRU WALL PANEL AND CONCRETE FOUNDATION



TR-8 SCULPT. EAVE GUTTER



TR-12 OUTSIDE CORNER TRIM "R" PANEL

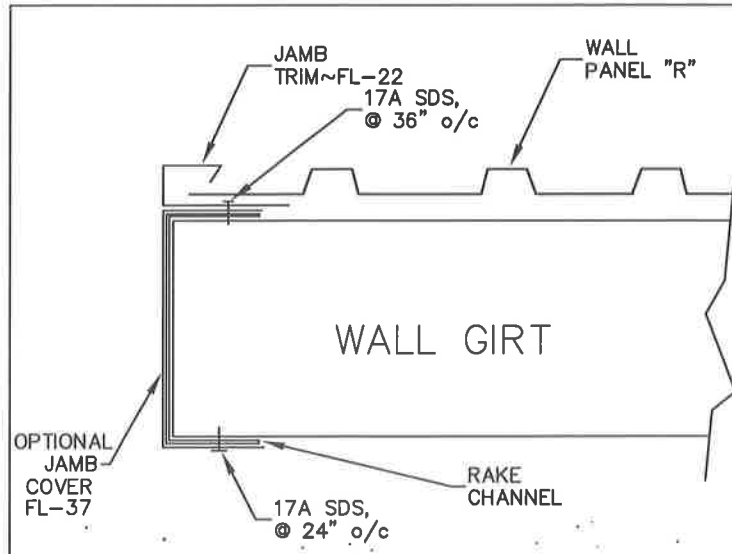
REVIEWED
By Philip Perkins at 9:05 am, Sep 07, 2023



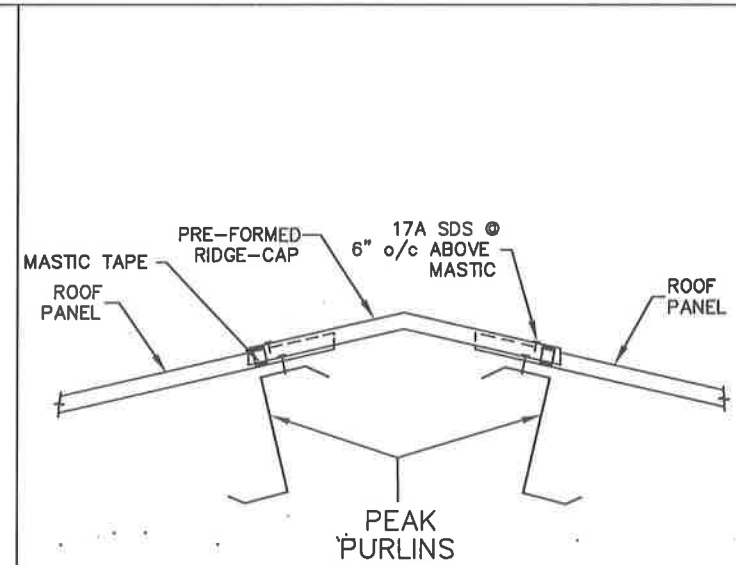
ISSUED FOR CONSTRUCTION
THESE DRAWINGS ARE SUBMITTED FOR CONSTRUCTION AND ARE DEEMED TO BE FINAL DRAWINGS. IT IS THE CUSTOMER'S RESPONSIBILITY TO ENSURE THIS SET OF DRAWINGS ARE THE SOLE SET OF DRAWINGS IN THE HANDS OF THE ERECTOR AND OTHER PROFESSIONAL TRADERS ON THE PROJECT SITE.

SBI
METAL BUILDINGS & COMPONENTS
114 TROOPER DRIVE
HOT SPRINGS, ARKANSAS 71913
PH: (501) 262-0600, FAX: (501) 262-5107

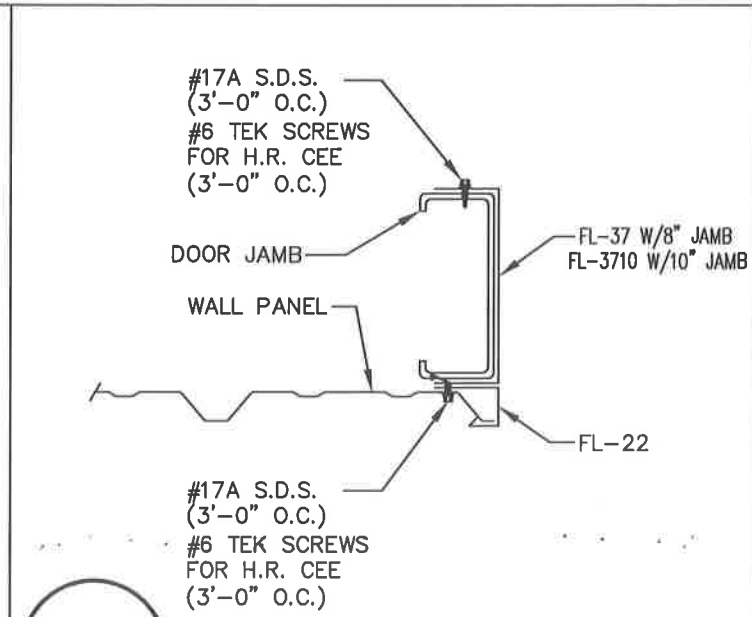
PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER: SBI36405
3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/1/23	CHECK:
DWG NAME: DETAIL DRAWINGS	SCALE: NONE	REV. NO:
		DRAWING NUMBER
		SHEET 13 OF 14



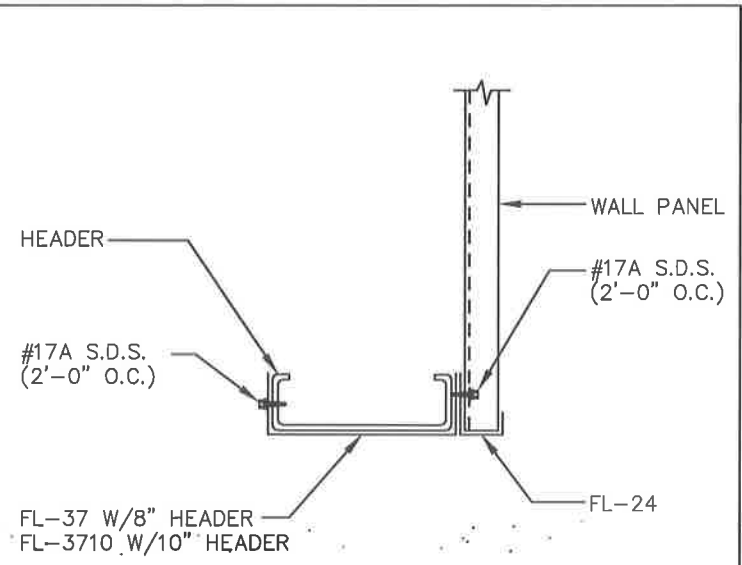
TR-13 EITHER SIDE OF CORNER IS OPEN WALL OR OPEN BAY OUTSIDE CORNER-OPEN



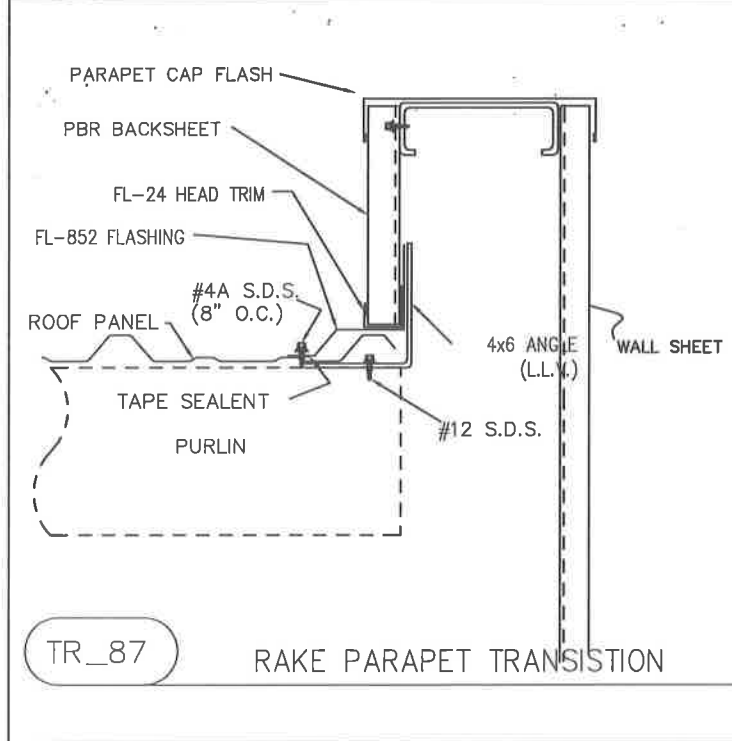
TR-16 RIDGE CAP-TYP



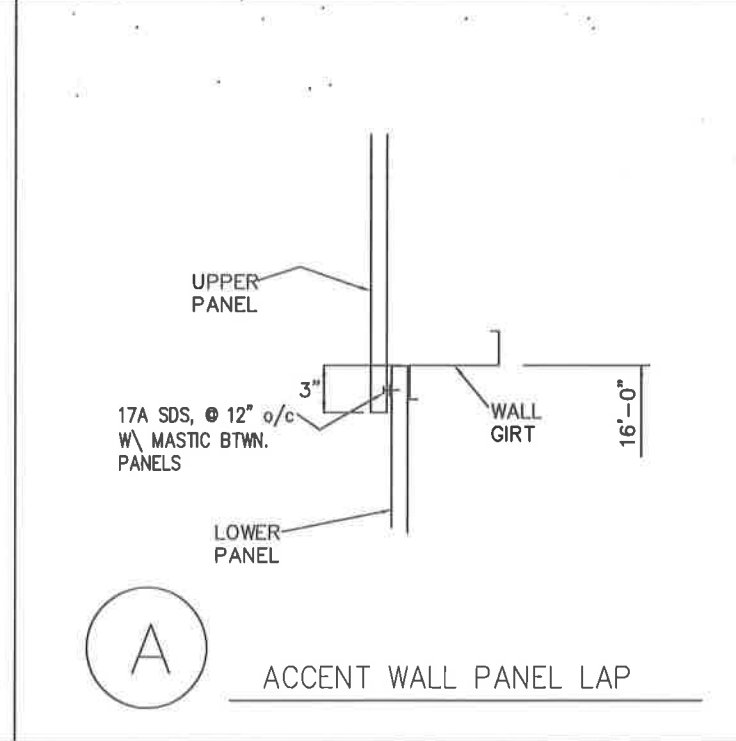
TR-18 JAMB TRIM -TYP



TR-19 HEAD AND SILL TRIM



TR-87 RAKE PARAPET TRANSITION



A ACCENT WALL PANEL LAP



REVIEWED
By Philip Perkins at 9:05 am, Sep 07, 2023

ISSUED FOR CONSTRUCTION

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SBI
METAL BUILDINGS & COMPONENTS
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HOT SPRINGS, ARKANSAS 71913
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PROJECT: 60x172	BLDG SIZE: 60.00' x 172.00' x 16.00'	JOB NUMBER
3419 MEETING ST BRYANT, AR	DESIGN: DRAWN: RH	SBI36405
CUSTOMER: FERGUSON BUILDERS INC	DATE: 8/ 1/23	DRAWING NUMBER
DWG NAME: DETAIL DRAWINGS	SCALE: NONE	SHEET 14 OF 14

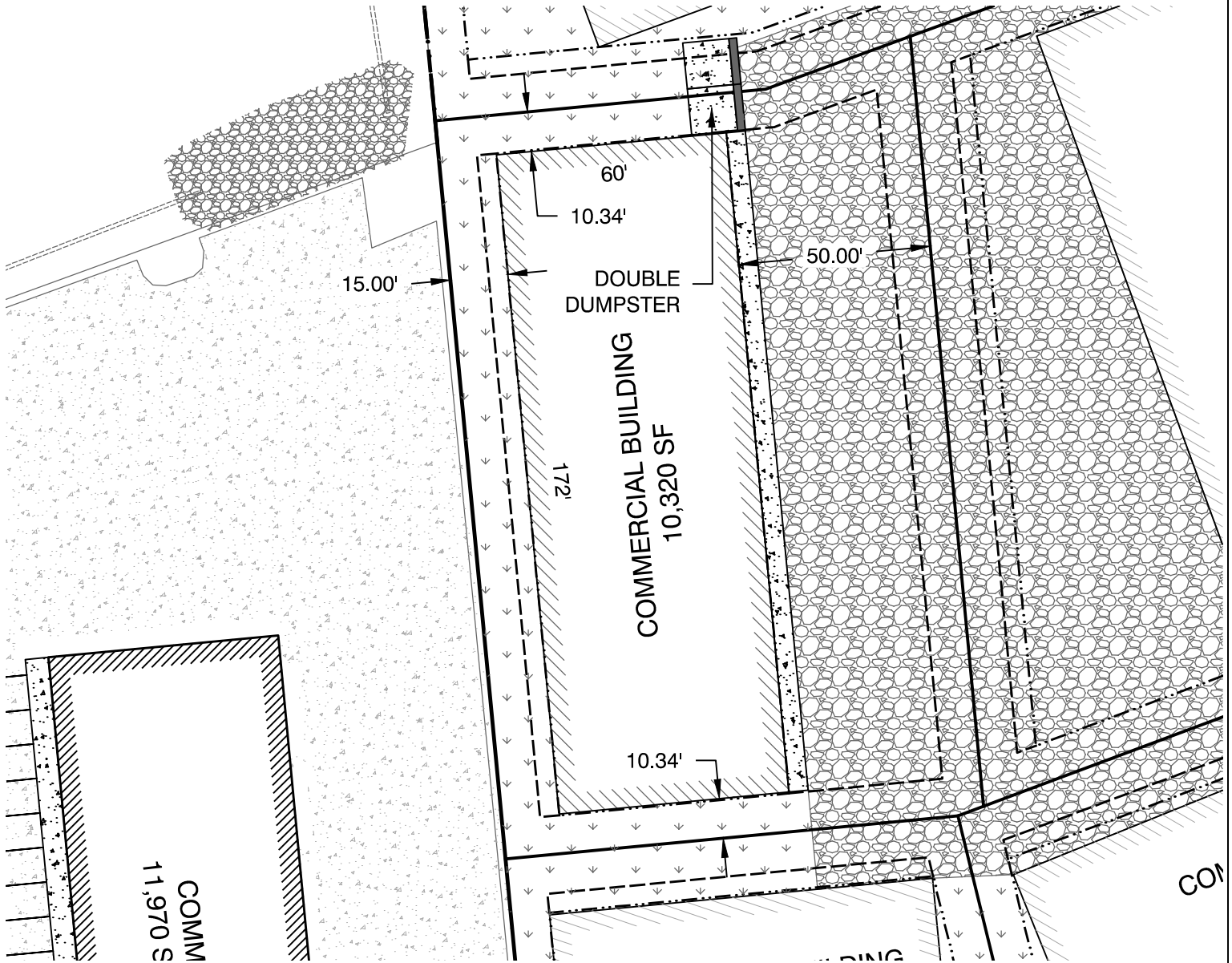
P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted



PROPERTY DESCRIPTION:

LOT 21

JOB NUMBER:

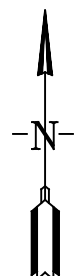
**18087
 MARKET PLACE II
 PHASE 3**

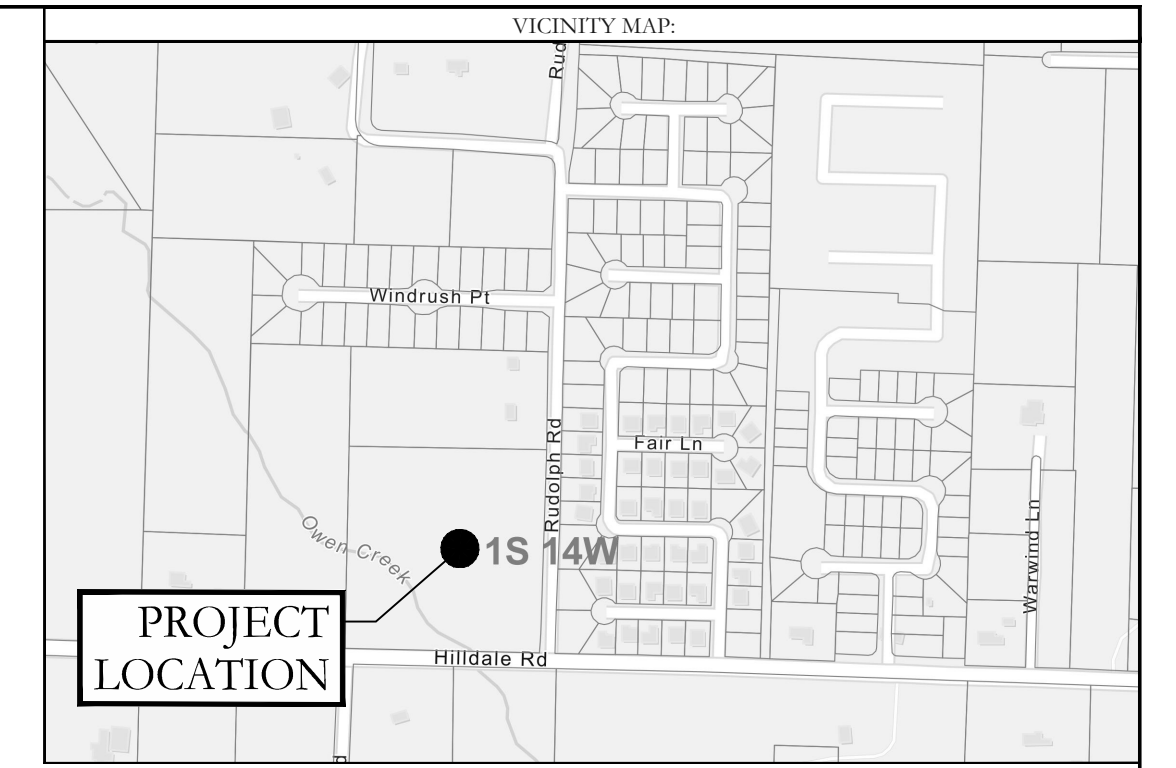
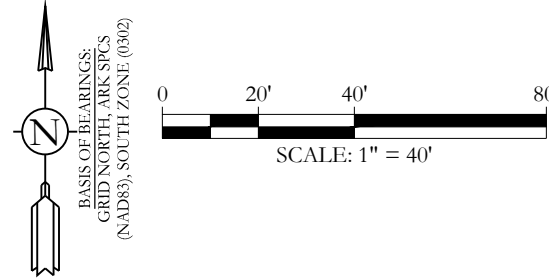
10/03/23

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.





SEWER LEGEND:	WATER LEGEND:
CLEAN OUT	INSTALLED BLOW OFF
PROPOSED SEWER MANHOLE	WATER MAIN
EXISTING SEWER MANHOLE	INSTALLED GATE VALVE
ISOLATION VALVE	REDUCER
EXISTING SEWER LINE	INSTALLED FIRE HYDRANT
SEWER MAIN	INSTALLED WATER SERVICE
SEWER SERVICE	INSTALLED 6" WATER LINE
GRINDER PUMP	INSTALLED 8" WATER LINE
INSTALLED WATER LINE	INSTALLED WATER LINE

AS-BUILTS



By affixing my seal and signature, I Jonathan L. Hope, PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County, City of Benton, panel # 03125C02401, dated 06/05/2020, most of the property described hereon does not lie within the 100 year flood hazard boundary.

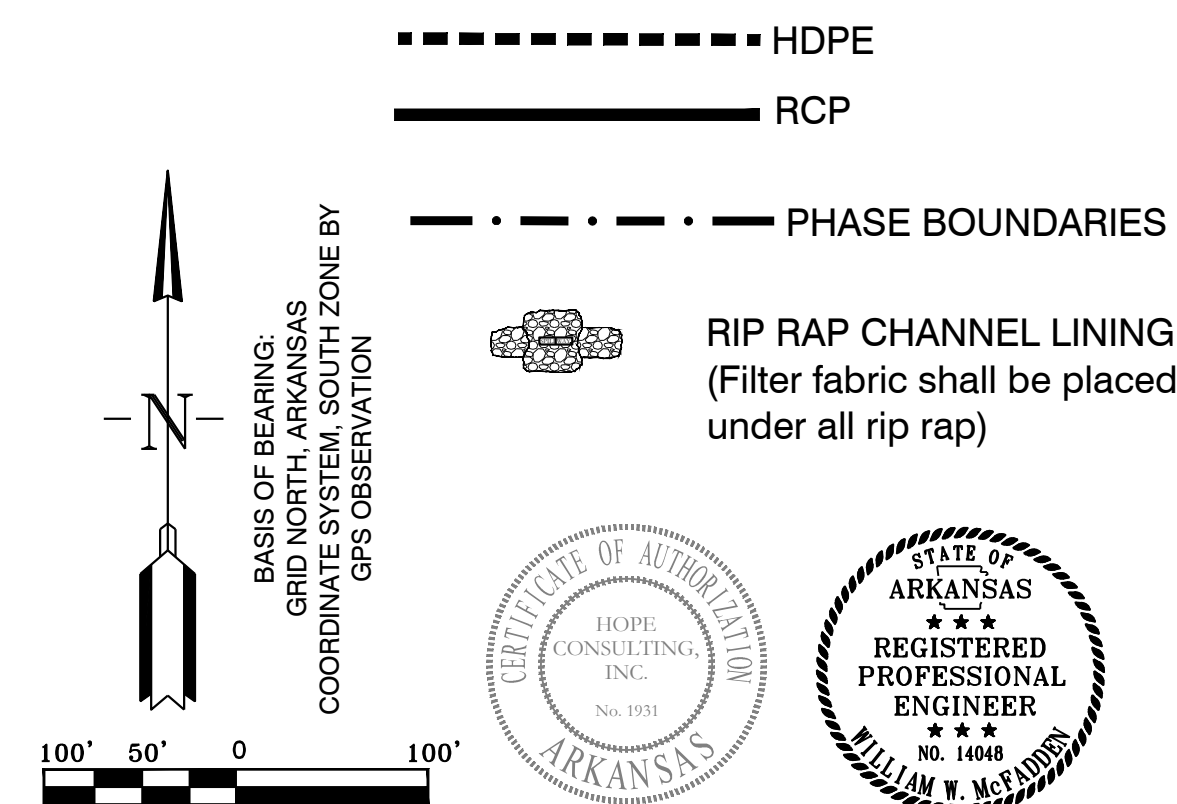
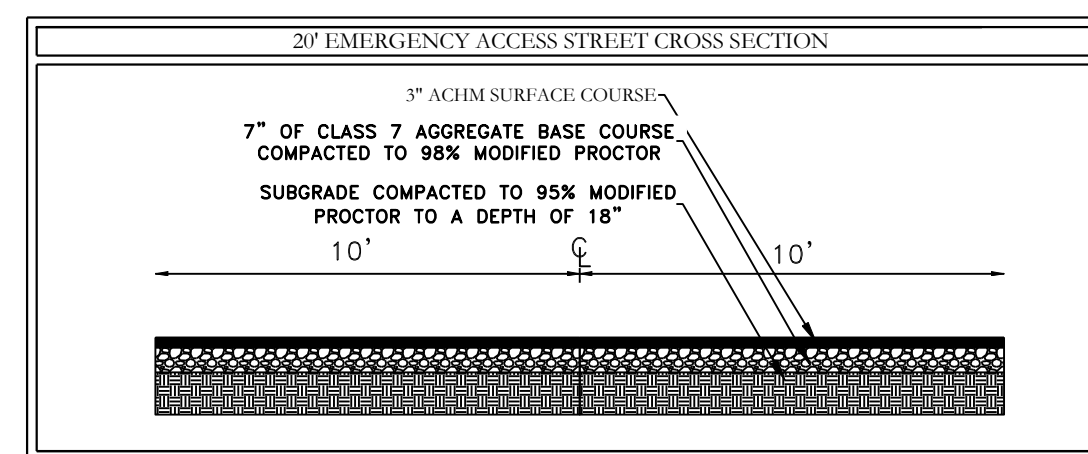
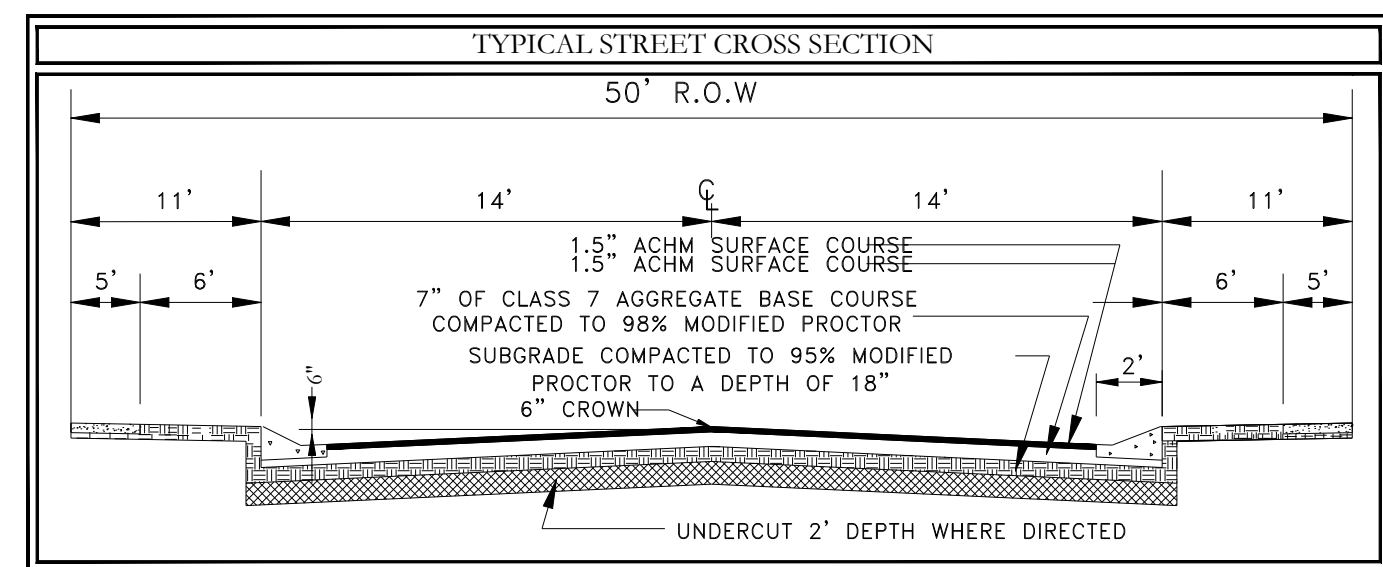
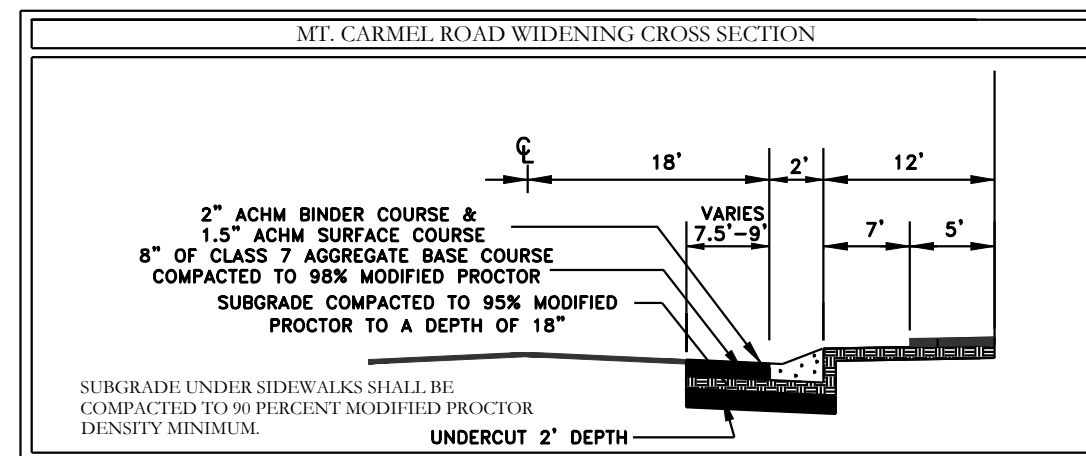
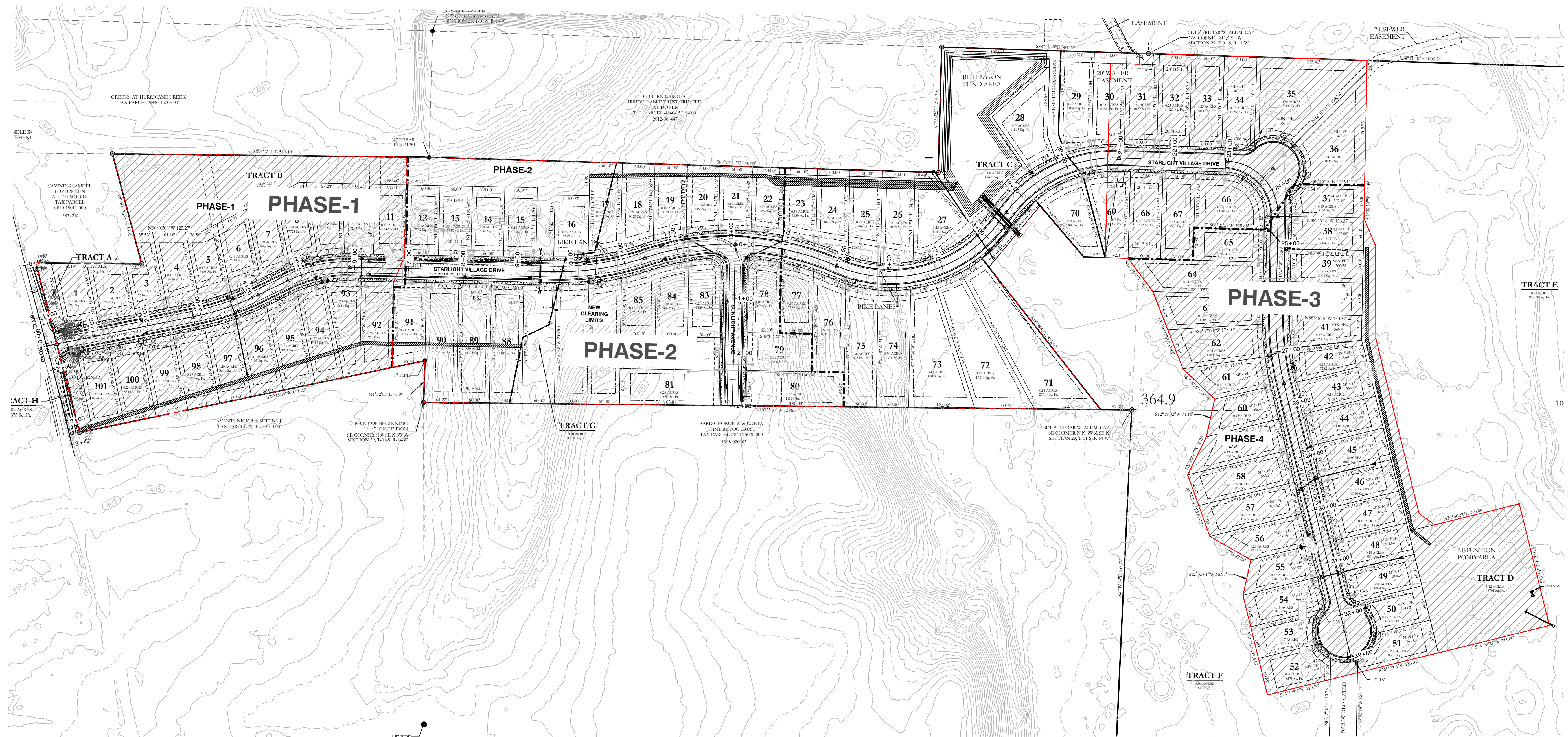
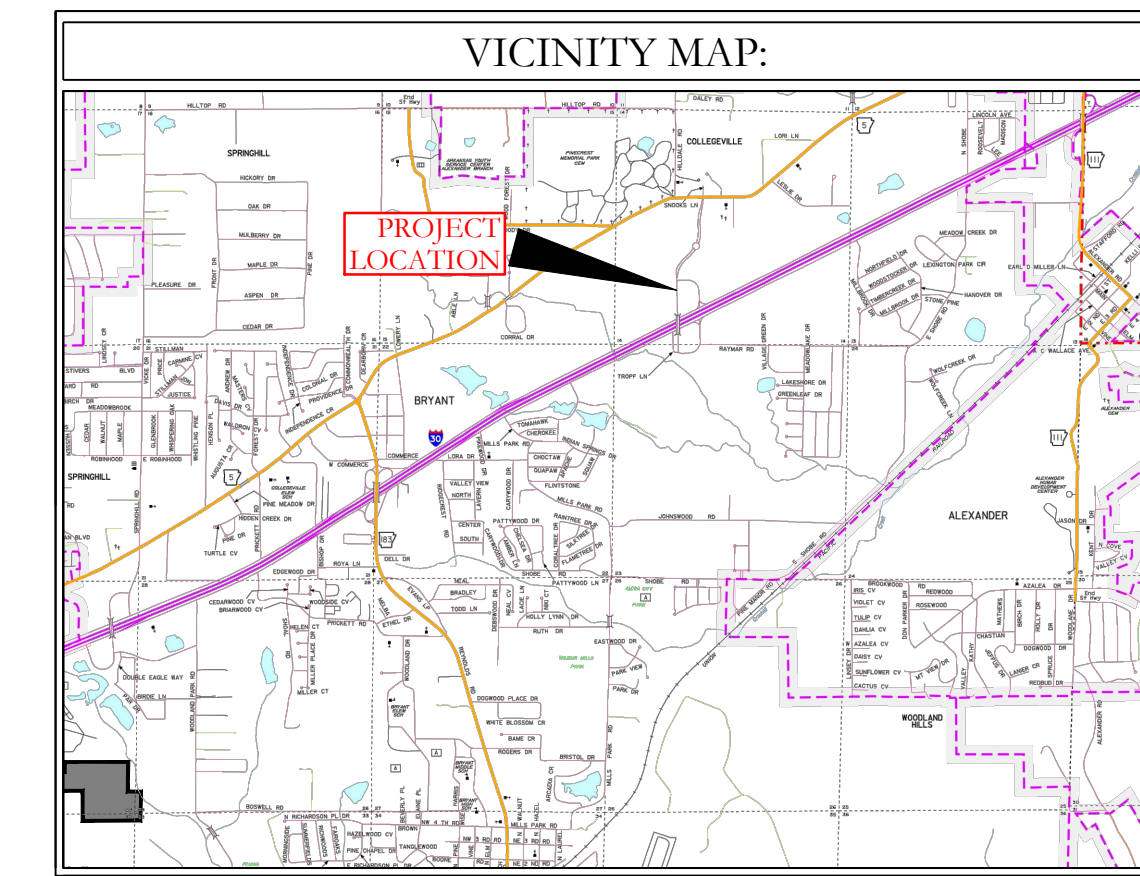
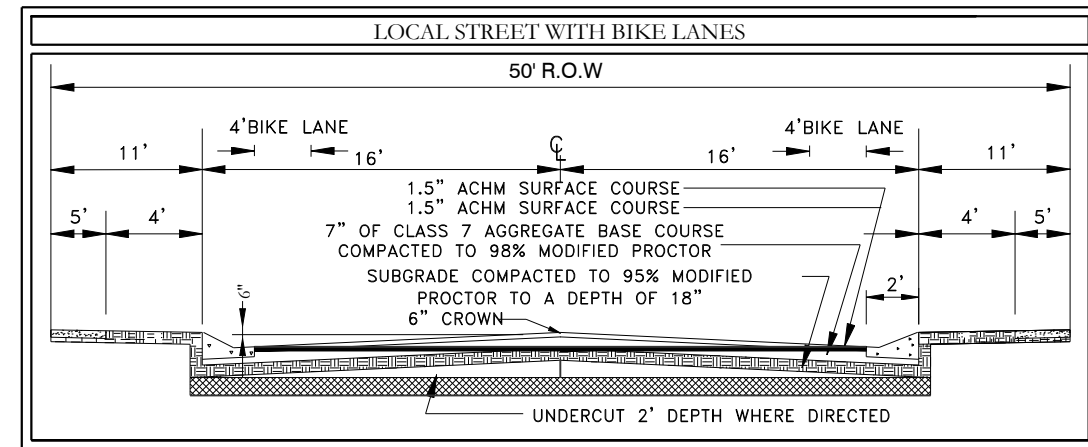
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ENGINEERS - SURVEYORS

129 North Main Street
Benton, Arkansas 72015
Office: (501) 315-2626
Fax: (501) 315-0024
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FOR USE AND BENEFIT OF:
GIRON BUILDERS INC.

JACOB'S CORNER
SANITARY SEWER AND WATER AS-BUILTS
SALINE COUNTY, ARKANSAS

DATE: 03/08/2023	C.A.D. BY: JPP	DRAWING NUMBER:
REVISED:	CHECKED BY:	20-0722
SHEET:	SCALE: 1" = 40'	
500	01S	14W 0 03 320 62 1762



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FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
STREET LAYOUT
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	19-0238
SHEET: C-1.0	SCALE:	

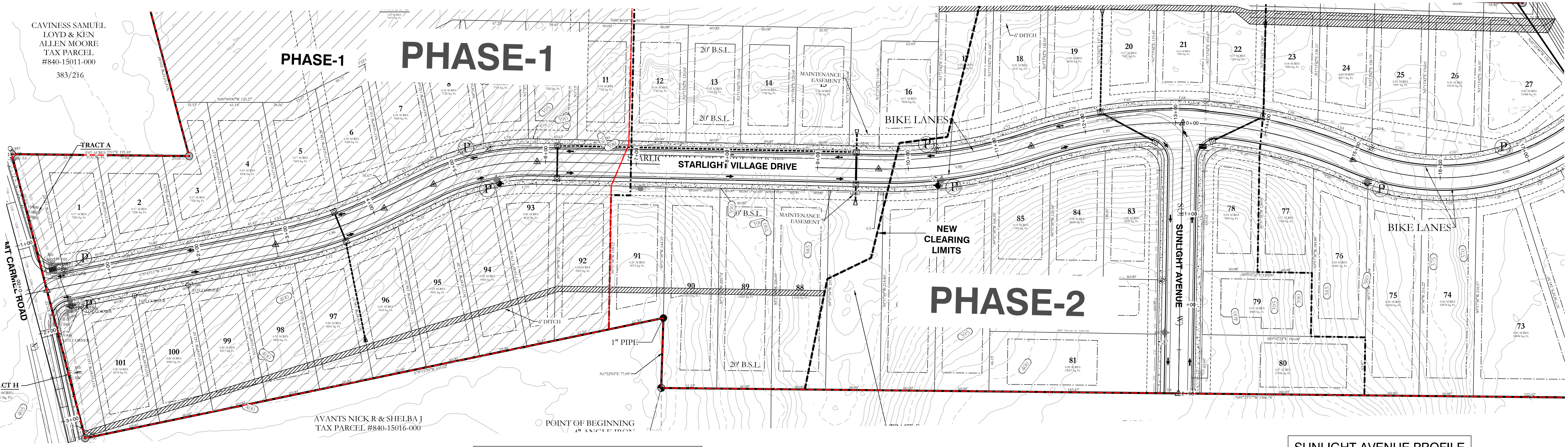
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CAVINNESS SAMUEL,
LOYD & KEN
ALLEN MOORE
TAX PARCEL
#840-15011-000
383/216

PHASE-1

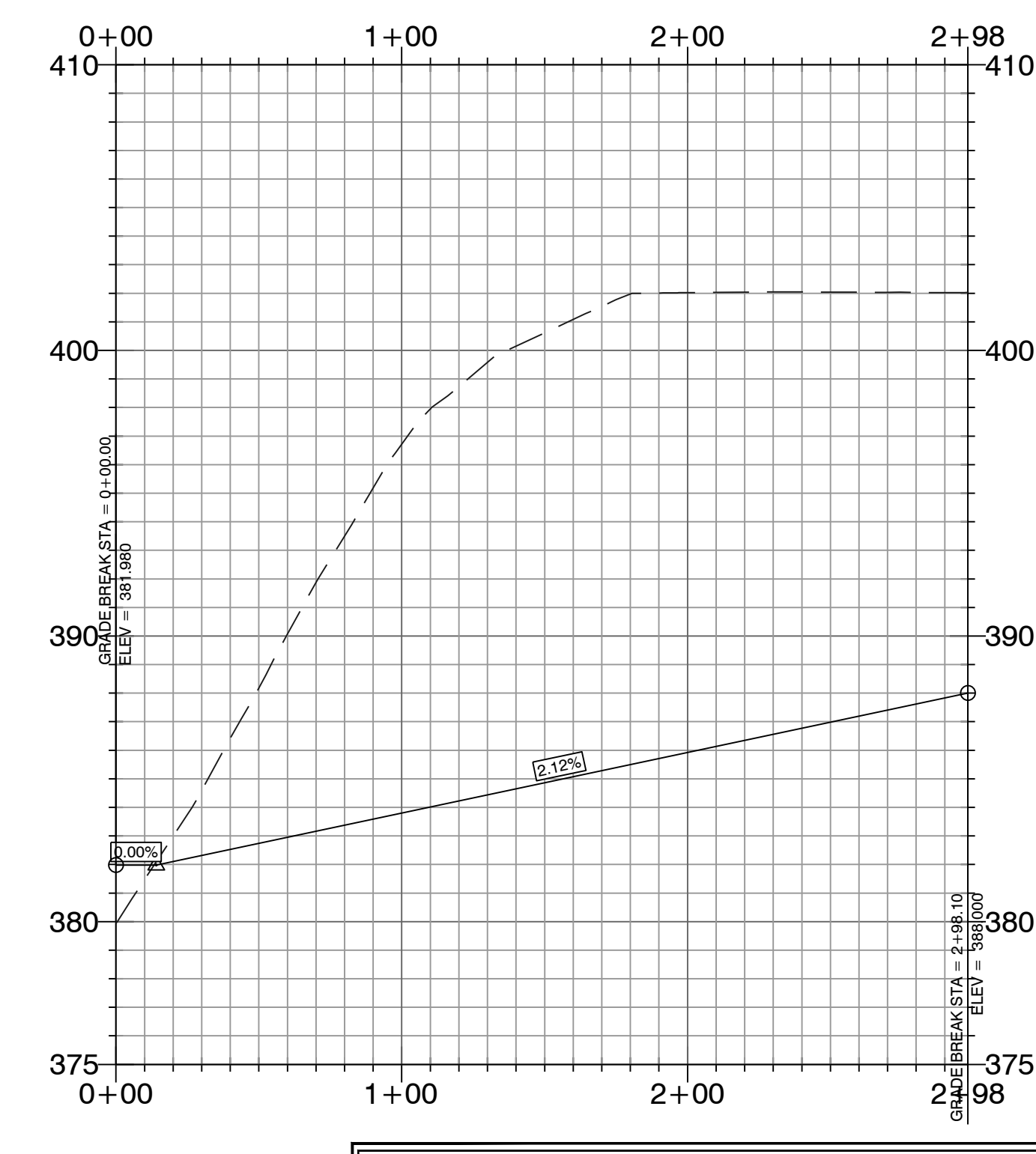
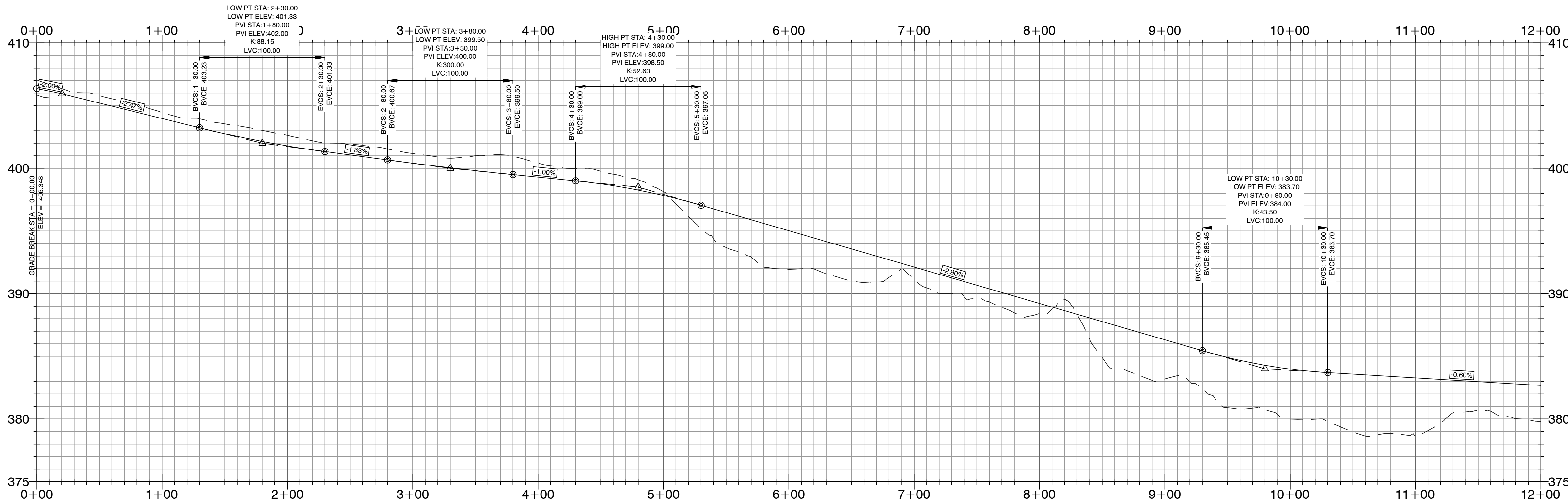
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PHASE-2

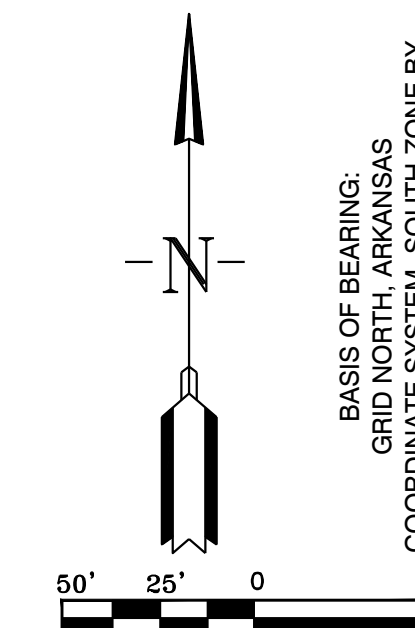


STARLIGHT VILLAGE DRIVE PROFILE

SUNLIGHT AVENUE PROFILE



HDPE
RCP



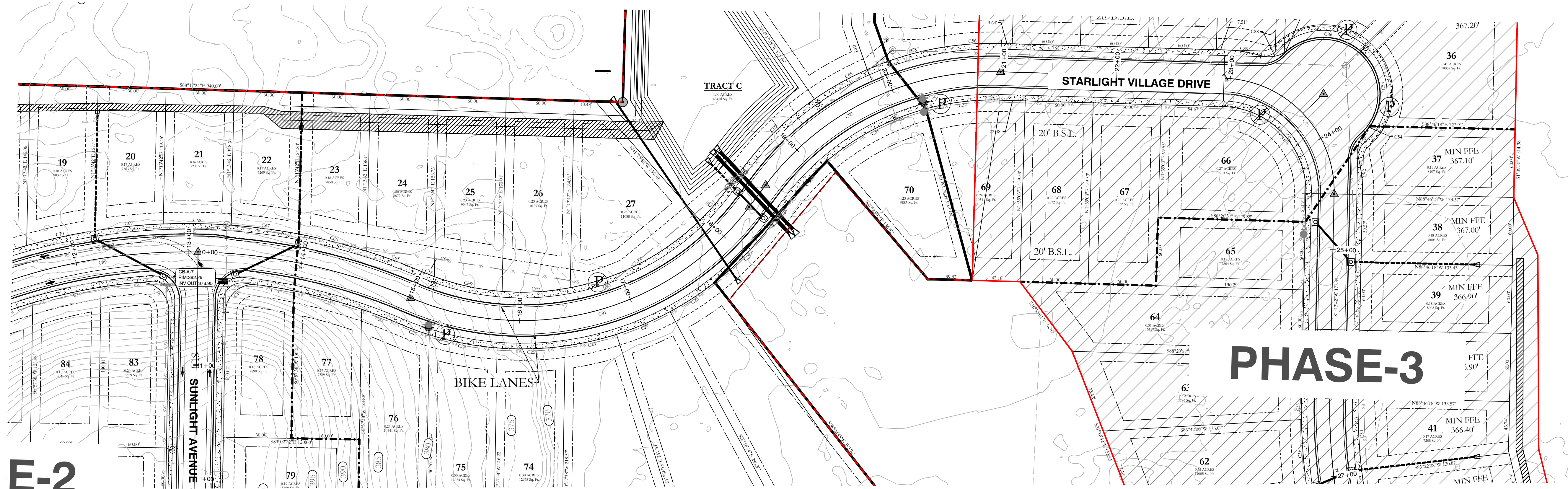
BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE ZONE BY
GPS OBSERVATION



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117 S. Market Street,
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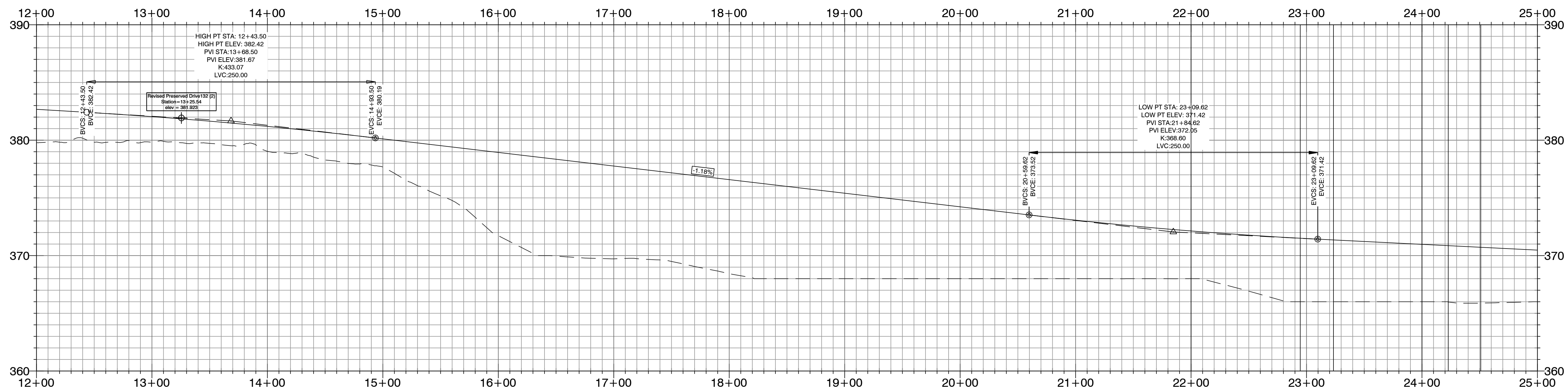
FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC		
STARLIGHT VILLAGE SUBDIVISION STREET PLAN AND PROFILES A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	19-0238
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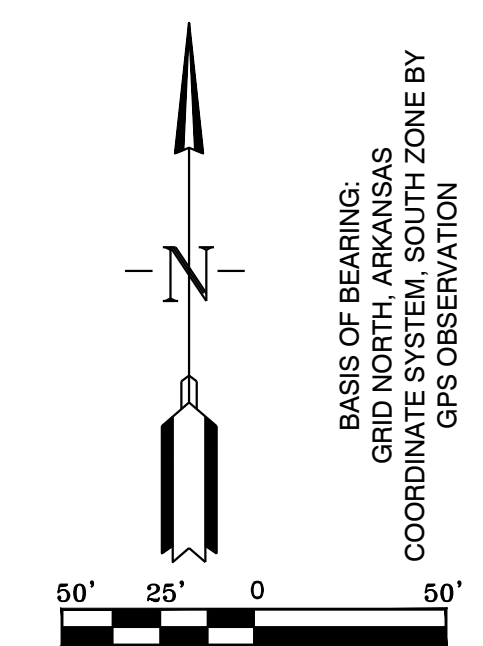


E-2

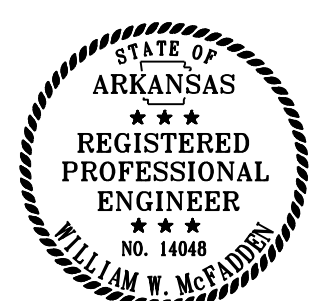
STARLIGHT VILLAGE DRIVE PROFILE



----- HDPE
 _____ RCP



BASIS OF BEARING:
 GRID NORTH, ARKANSAS
 COORDINATE NORTH, SCOTT ZONE BY
 GPS OBSERVATION



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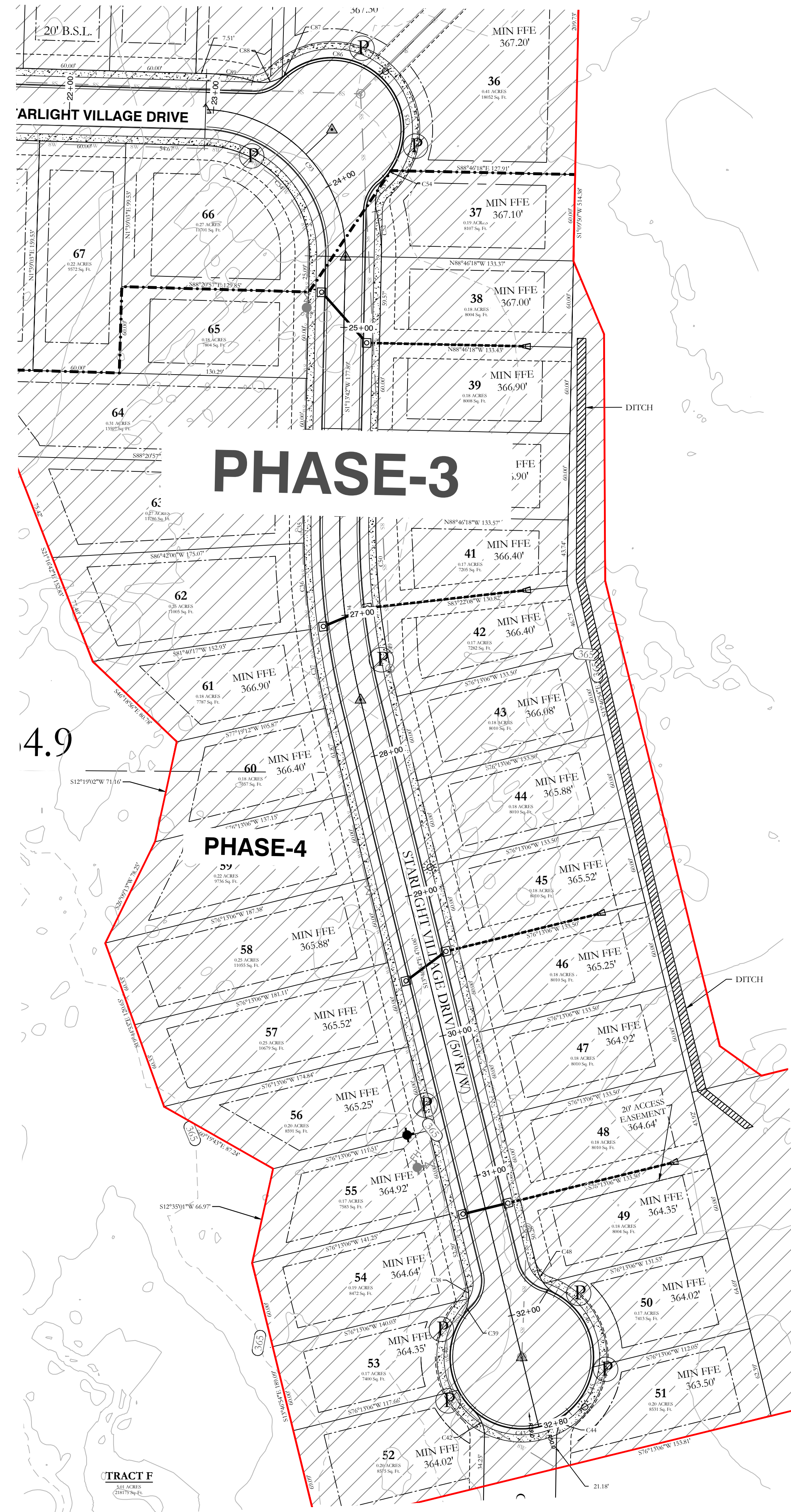
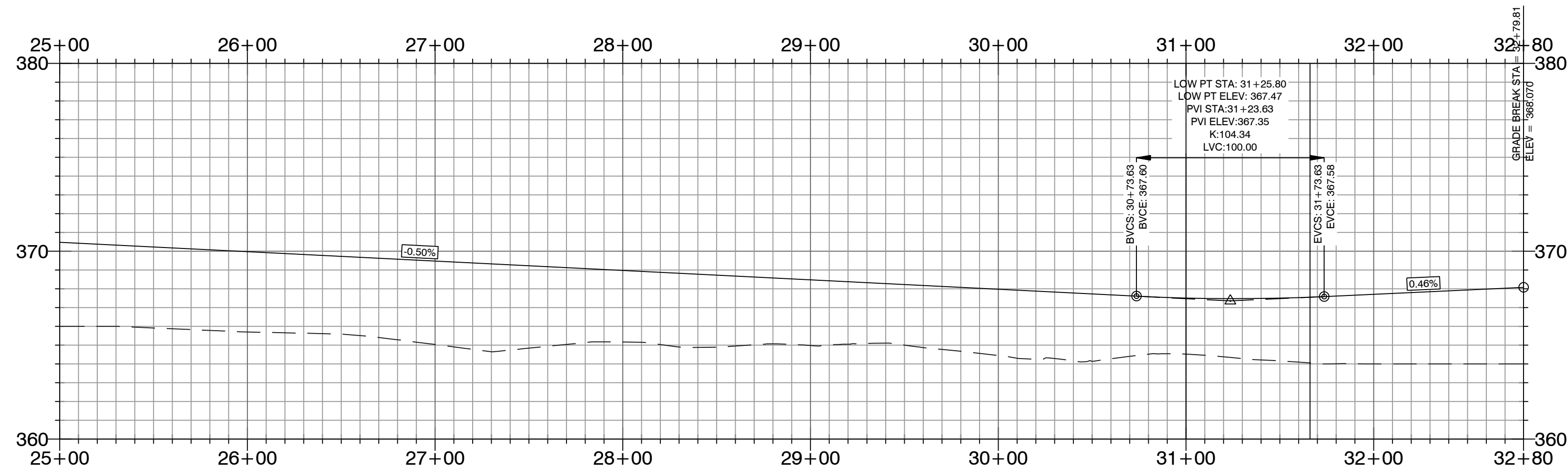
FOR USE AND BENEFIT OF:
 WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
 STREET PLAN AND PROFILE
 A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

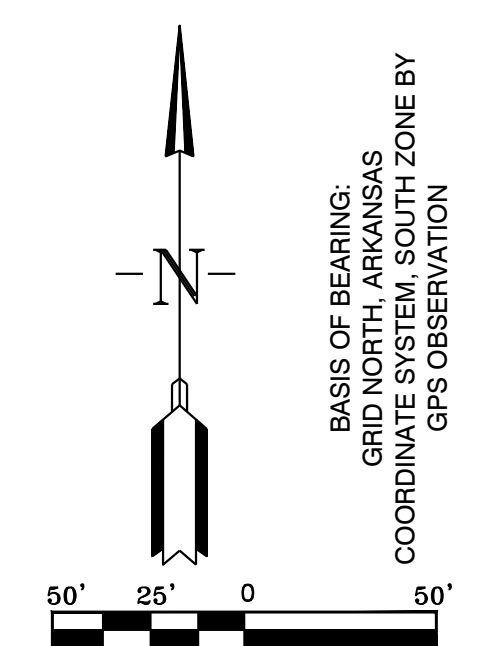
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REVISIONS:	CHECKED BY:	19-0238
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STARLIGHT VILLAGE DRIVE PROFILE



--- HDPE
 — RCP



BASIS OF BEARING:
 GRID NORTH, ARKANSAS
 COORDINATE SYSTEM, SOUTH ZONE BY
 GPS OBSERVATION

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 PH. (501) 315-2626
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FOR USE AND BENEFIT OF:
 WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

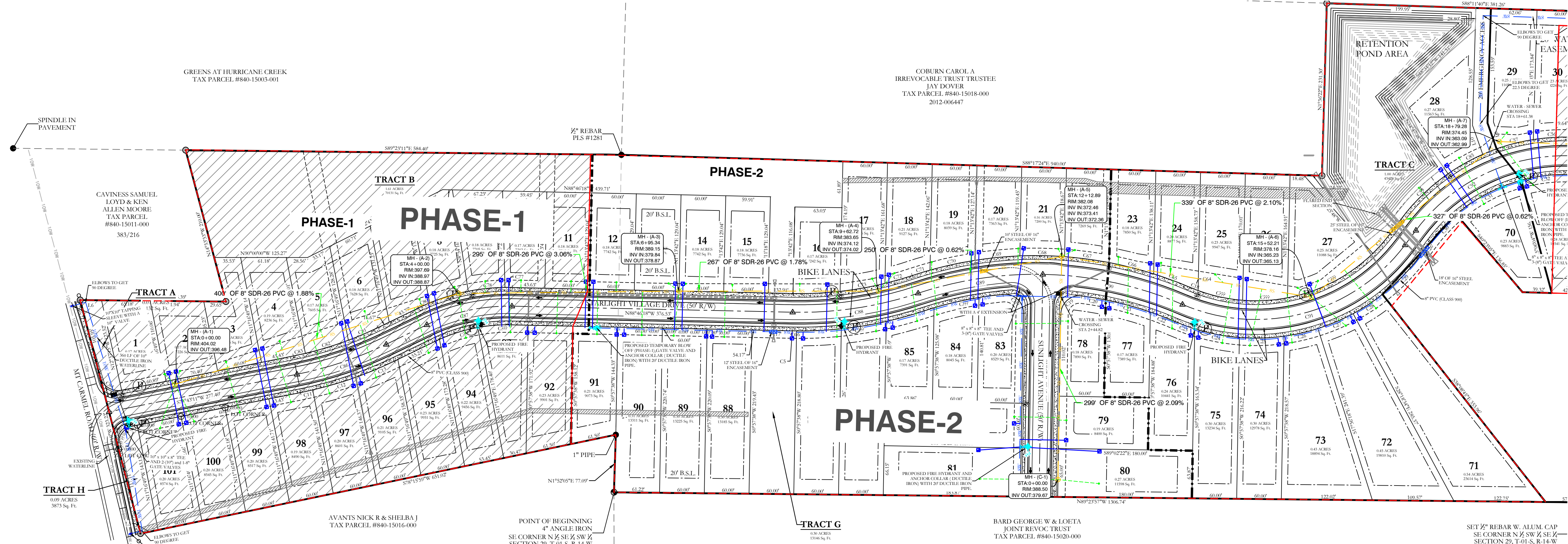
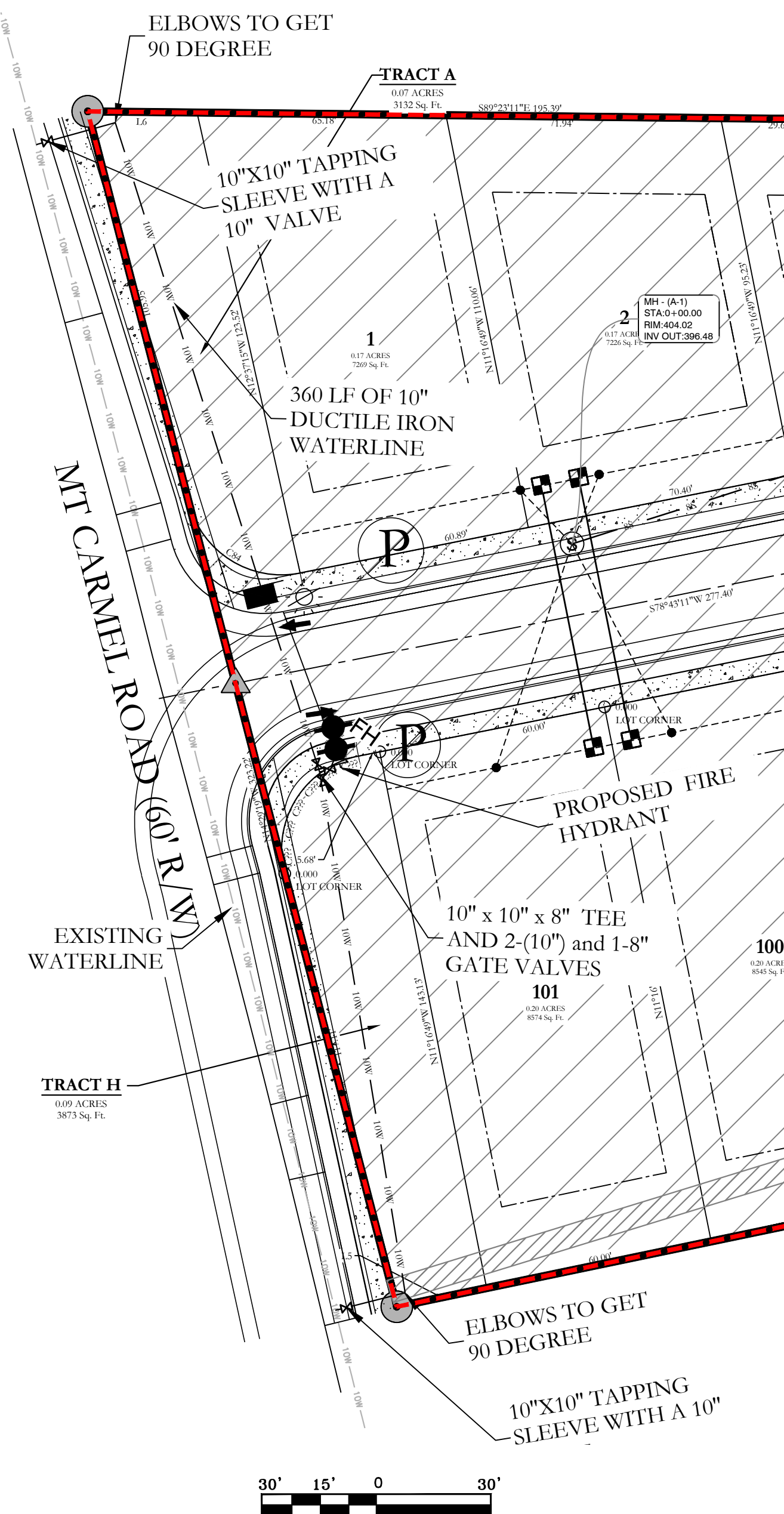
STARLIGHT VILLAGE SUBDIVISION
 STREET PLAN AND PROFILE

A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	19-0238
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WATER & SEWER UTILITY NOTES:

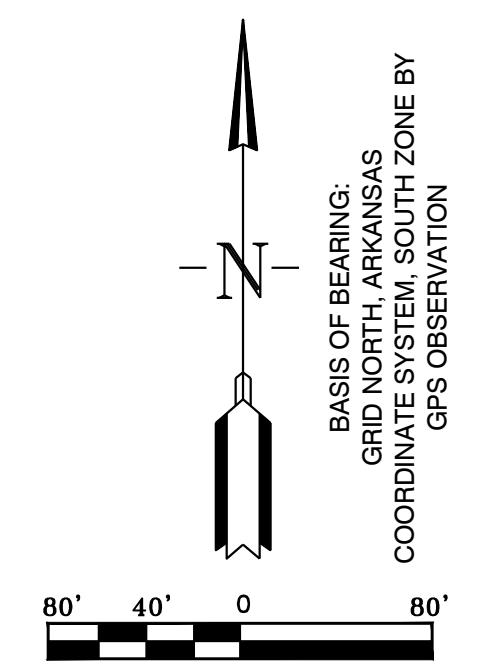
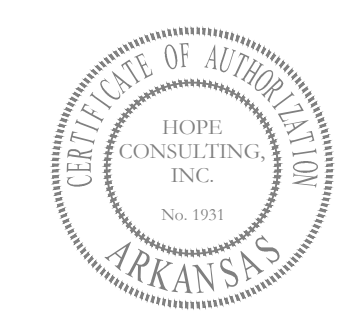
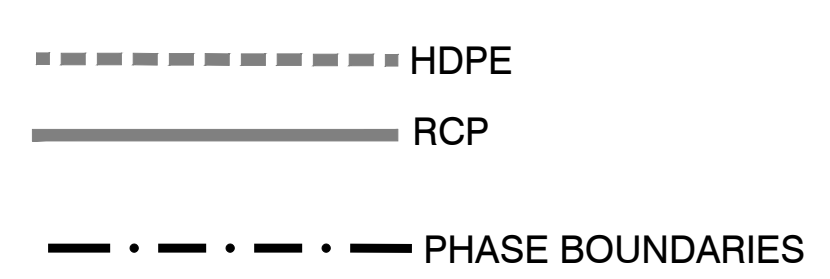
- ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
- ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
- ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
- WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASUREMENT PIPE. THE STEEL ENCASUREMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.
- EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAN).
- WATER MAIN CONNECTION TO THE NORTH WILL BE CONSTRUCTED IN PHASE 2. CONNECTION TO THE SOUTH WILL BE IN THE FINAL PHASE.

SEWER CONSTRUCTION NOTES:

- ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
- ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.

VERTICAL SEPARATION OF WATER AND SANITARY SEWER NOTE:

WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACT EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWER MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE. IF THIS DISTANCE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18-INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASUREMENT REQUIREMENT.



SEWER LEGEND:	
	SEWER SERVICE
	SEWER MAIN
	SEWER MANHOLE

NOTE:
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE IS REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVER CANNOT BE MAINTAINED.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

WATER LEGEND:	
	DUAL WATER METERS
	SINGLE WATER METER
	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

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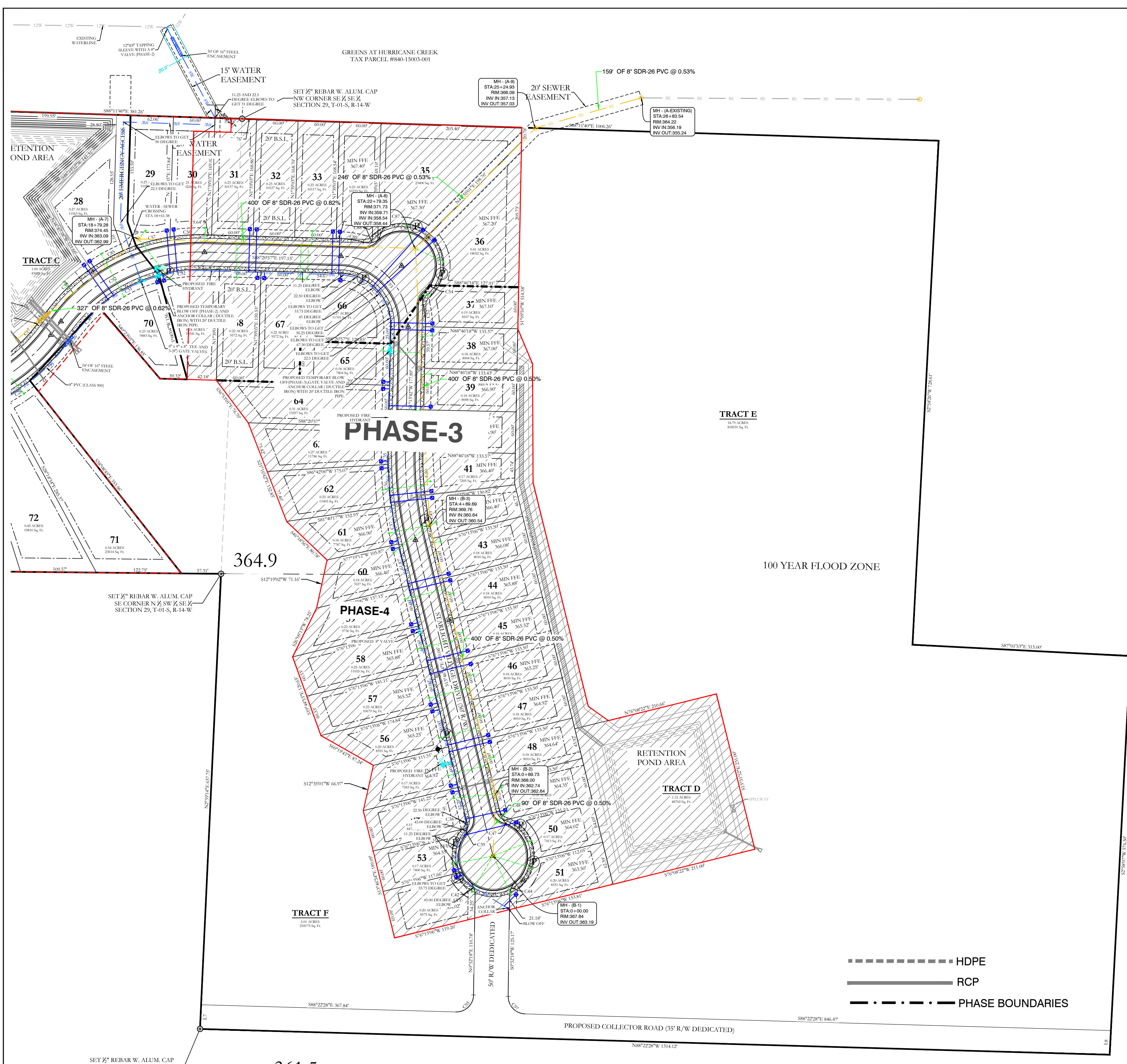
FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
UTILITY PLAN
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	19-0238
SHEET: C-2.0	SCALE:	

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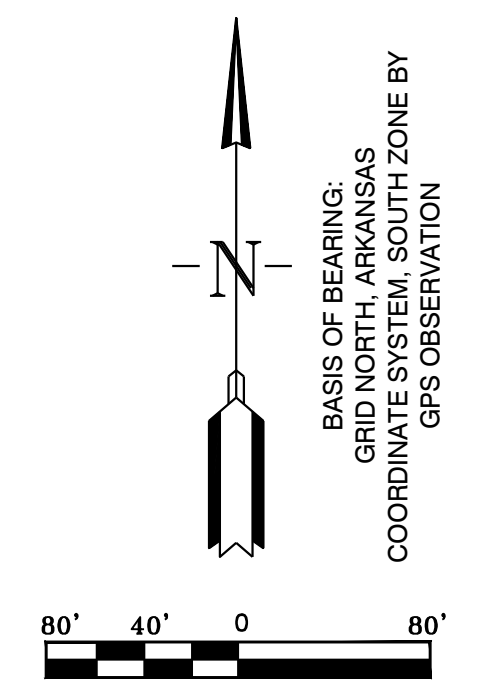


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1. ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
 2. ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
 3. ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
 4. WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASUREMENT PIPE. THE STEEL ENCASUREMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.
 5. EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN (INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAN).
 6. WATER MAIN CONNECTION TO THE NORTH WILL BE CONSTRUCTED IN PHASE 2. CONNECTION TO THE SOUTH WILL BE IN THE FINAL PHASE.

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 2. ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.

VERTICAL SEPARATION OF WATER AND SANITARY SEWER NOTE:

WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACT EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWER MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE. IF THIS DISTANCE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18-INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASUREMENT REQUIREMENT.



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SEWER LEGEND:	
	SEWER SERVICE
	SEWER MAIN
	SEWER MANHOLE

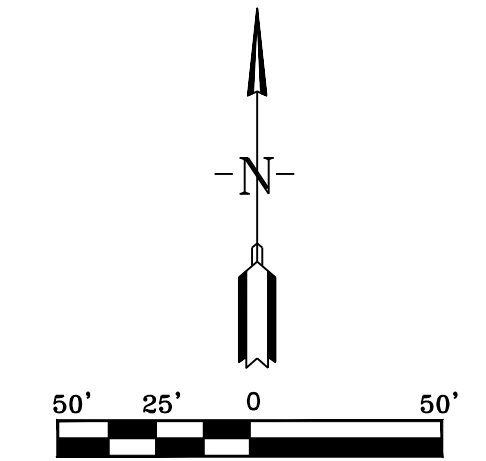
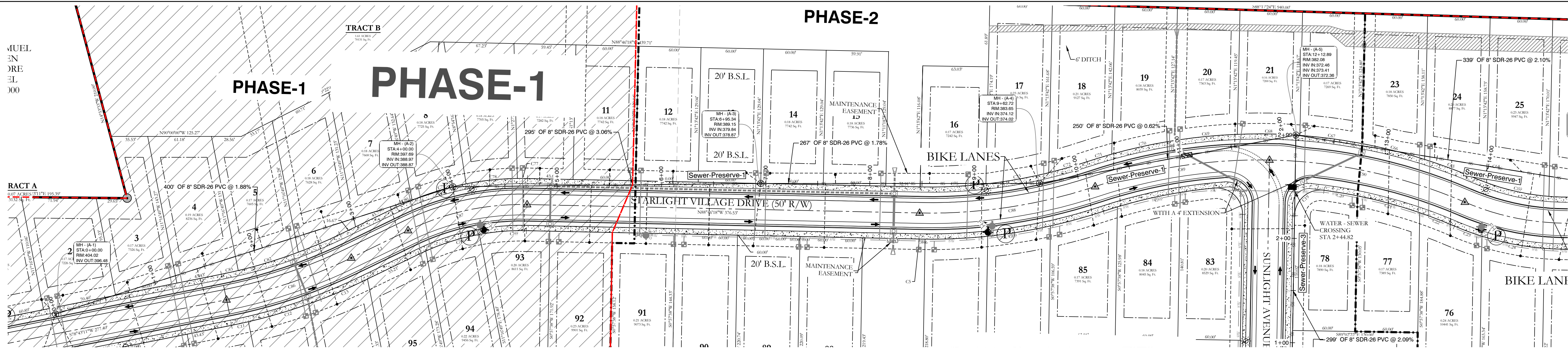
NOTE:
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3" MINIMUM COVER CANNOT BE MAINTAINED.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

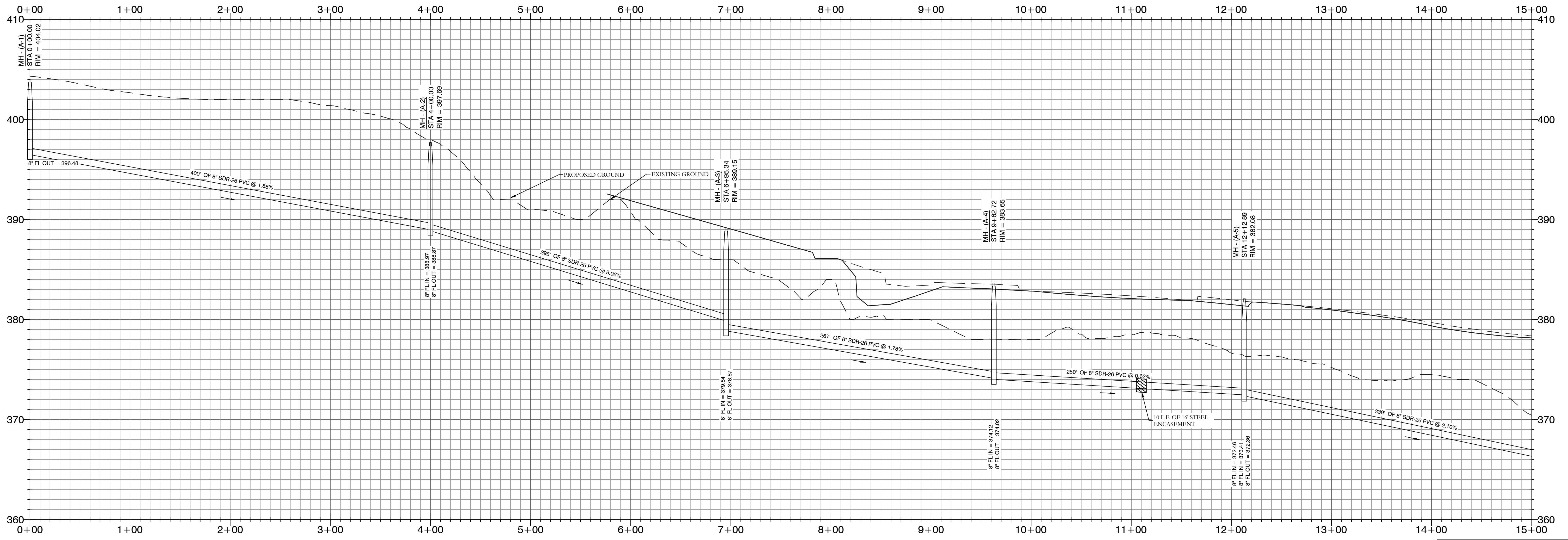
WATER LEGEND:	
	DUAL WATER METERS
	SINGLE WATER METER
	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC			
STARLIGHT VILLAGE SUBDIVISION UTILITY PLAN			
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:	
REVISIONS:	CHECKED BY:	19-0238	
SHEET: C-2.1	SCALE:	500	1S 15W 0 34 230 62 1807

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Sewer-Preserve-1 PROFILE



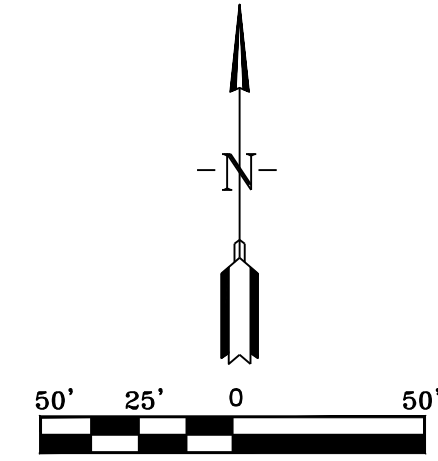
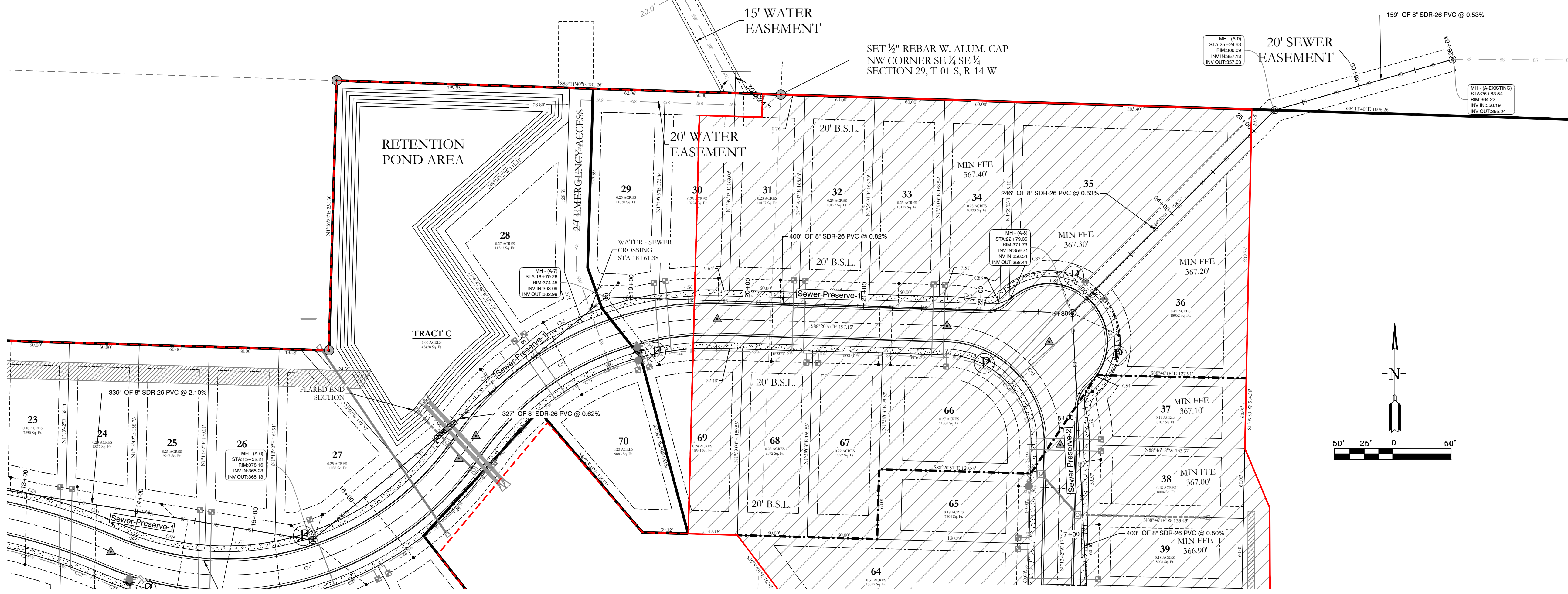
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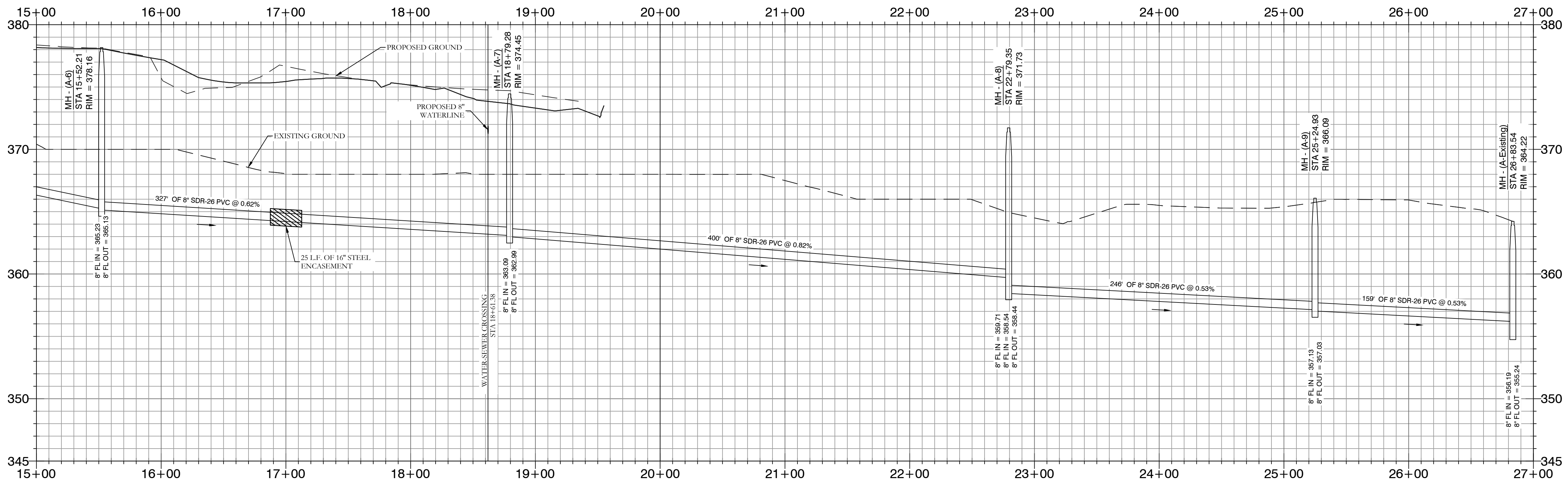
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DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
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SHEET: C-2.2	SCALE:	
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Sewer-Preserve-1 PROFILE



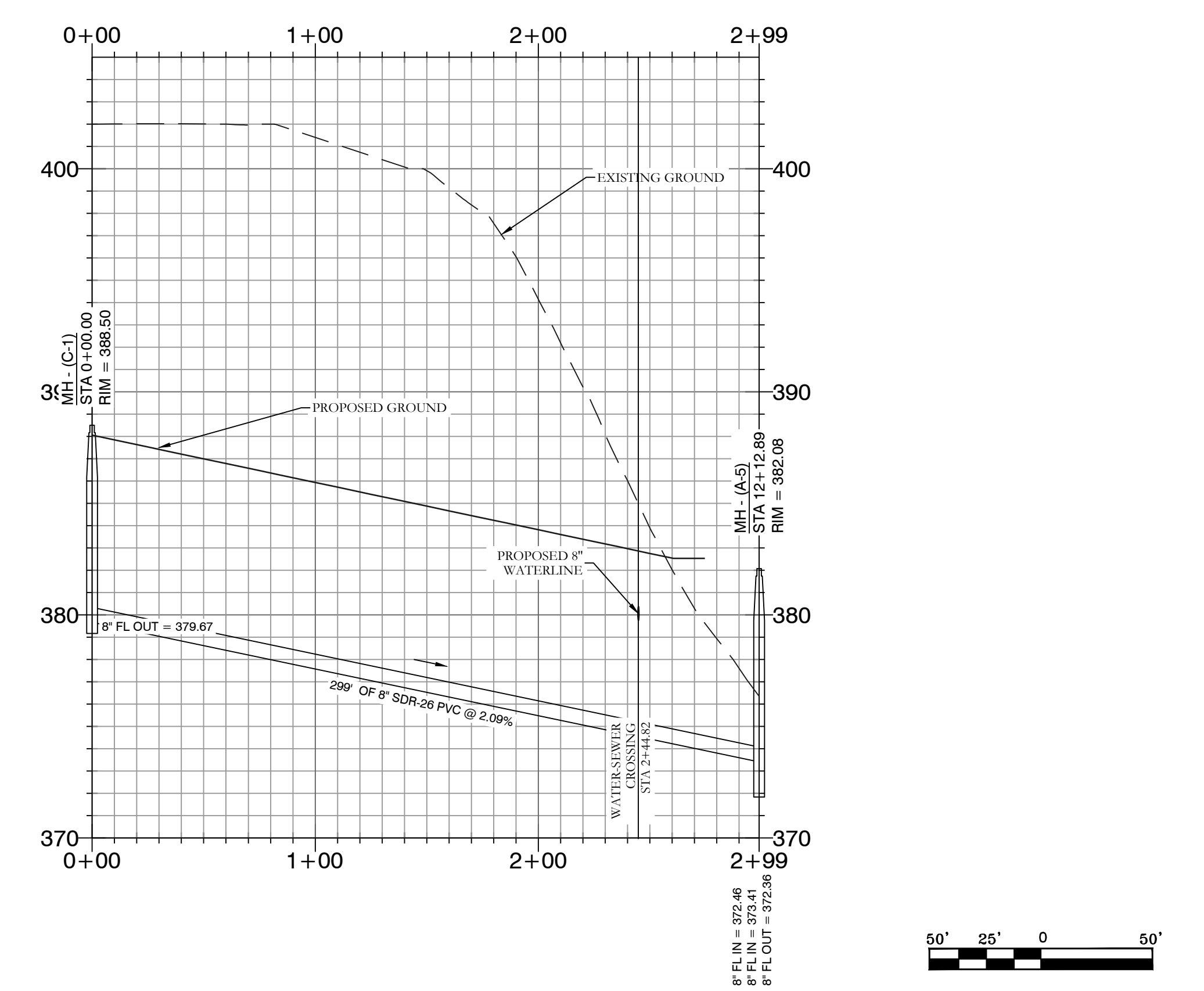
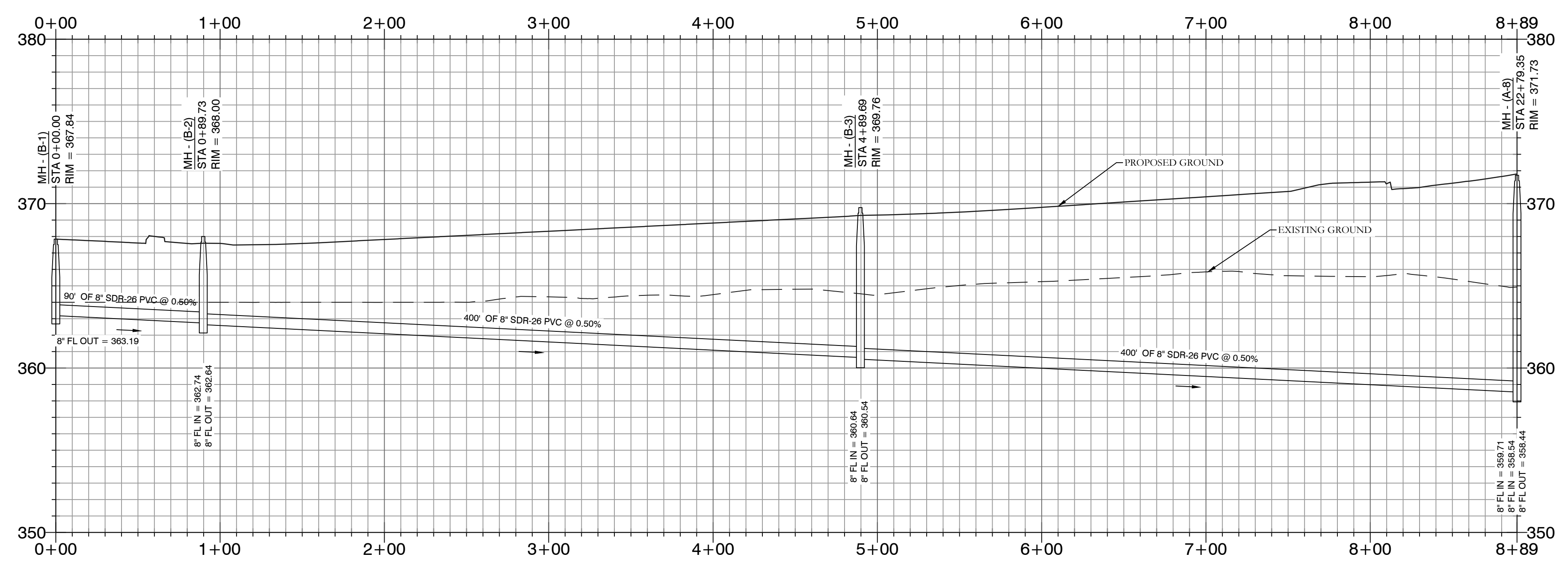
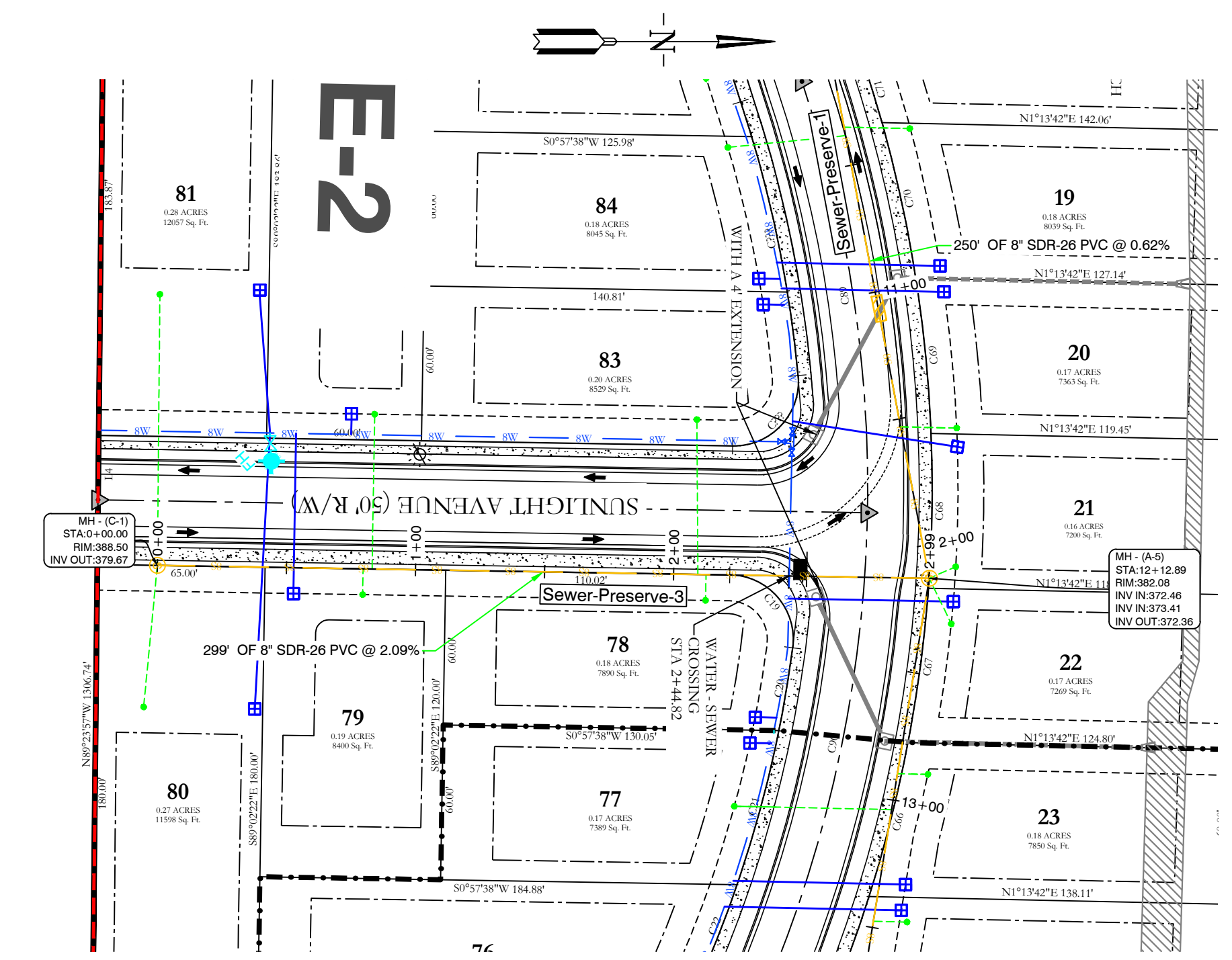
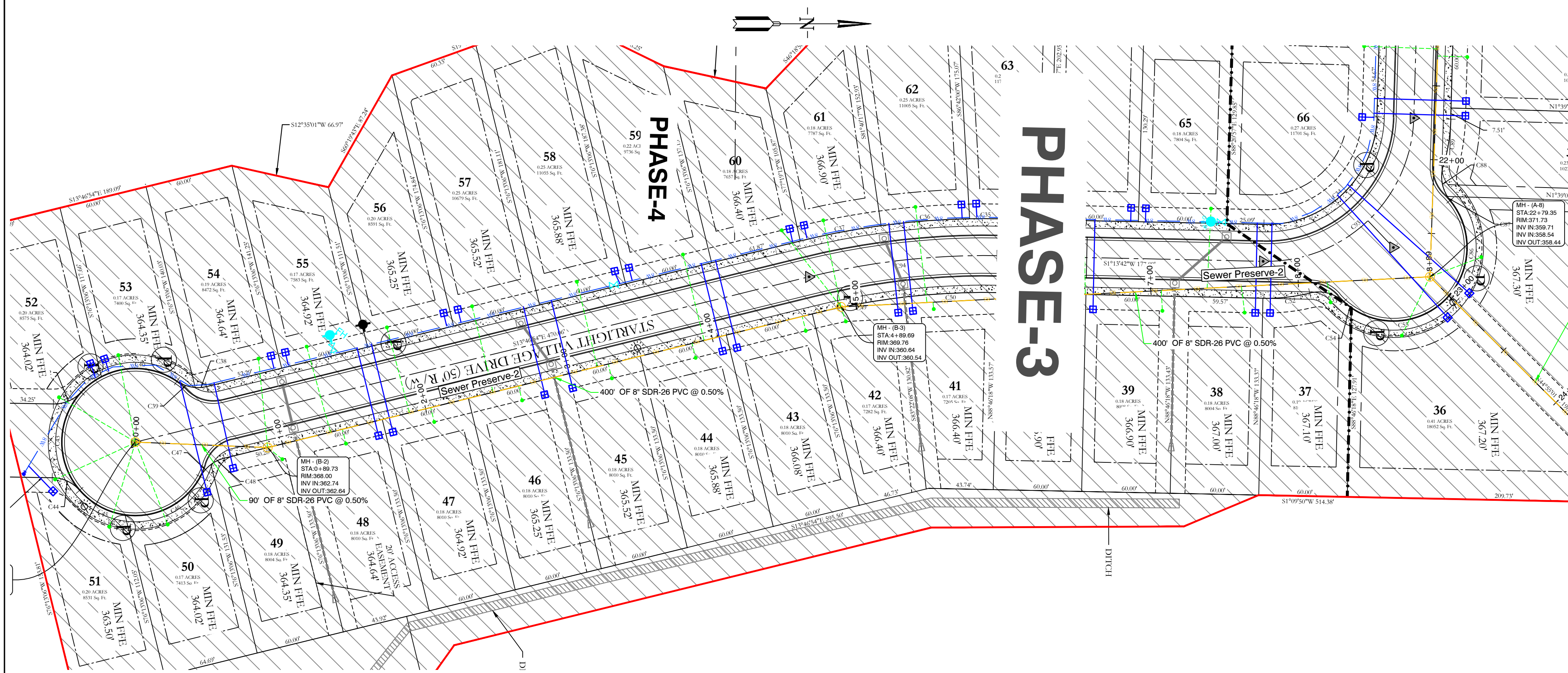
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SHEET: C-2.3	SCALE:	
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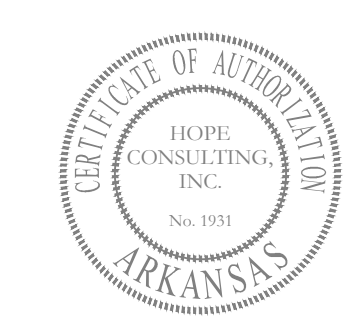
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STARLIGHT VILLAGE SUBDIVISION
SEWER PLAN AND PROFILES
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:	CHECKED BY:	19-0238
SHEET: C-24	SCALE:	

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CAVINNESS SAMUEL
LOYD & KEN
ALLEN MOORE
TAX PARCEL
#840-15011-000
383/216

PHASE-1

PHASE-2

PHASE-2

AVANTS NICK R & SHELBA J
TAX PARCEL #840-15016-000

POINT OF BEGINNING
4" ANGLE IRON
SE CORNER N 1/2 SE 1/4 SW 1/4
SECTION 29, T-01-S, R-14-W

BARD GEORGE W & LOETA
JOINT REVOC TRUST
TAX PARCEL #840-15020-000
1998-026063

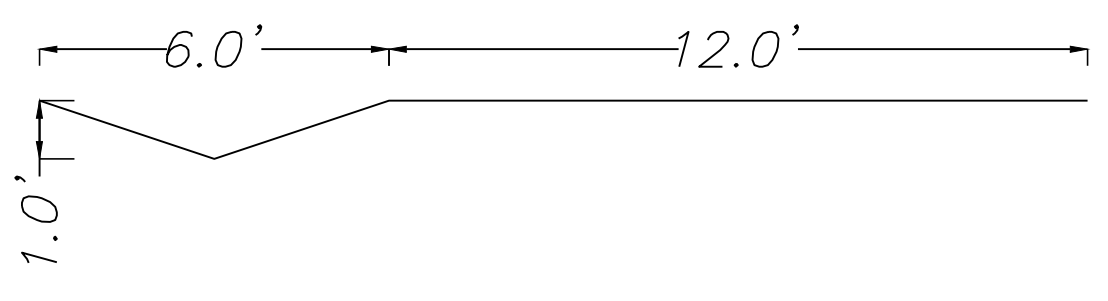
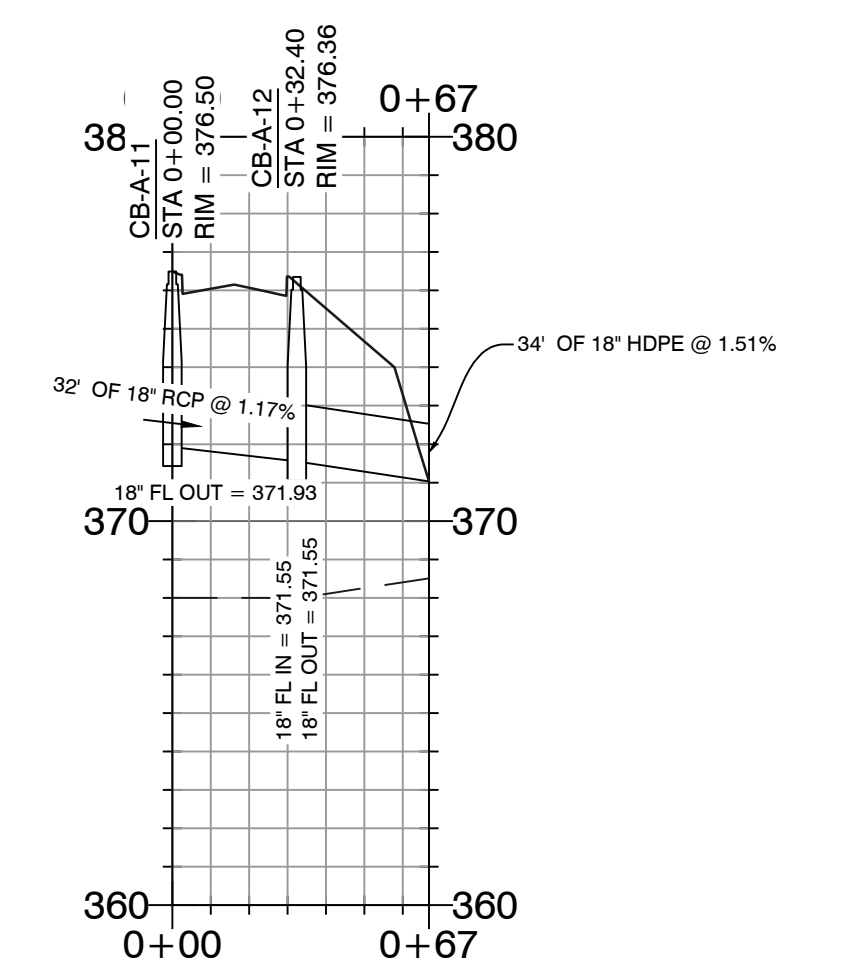
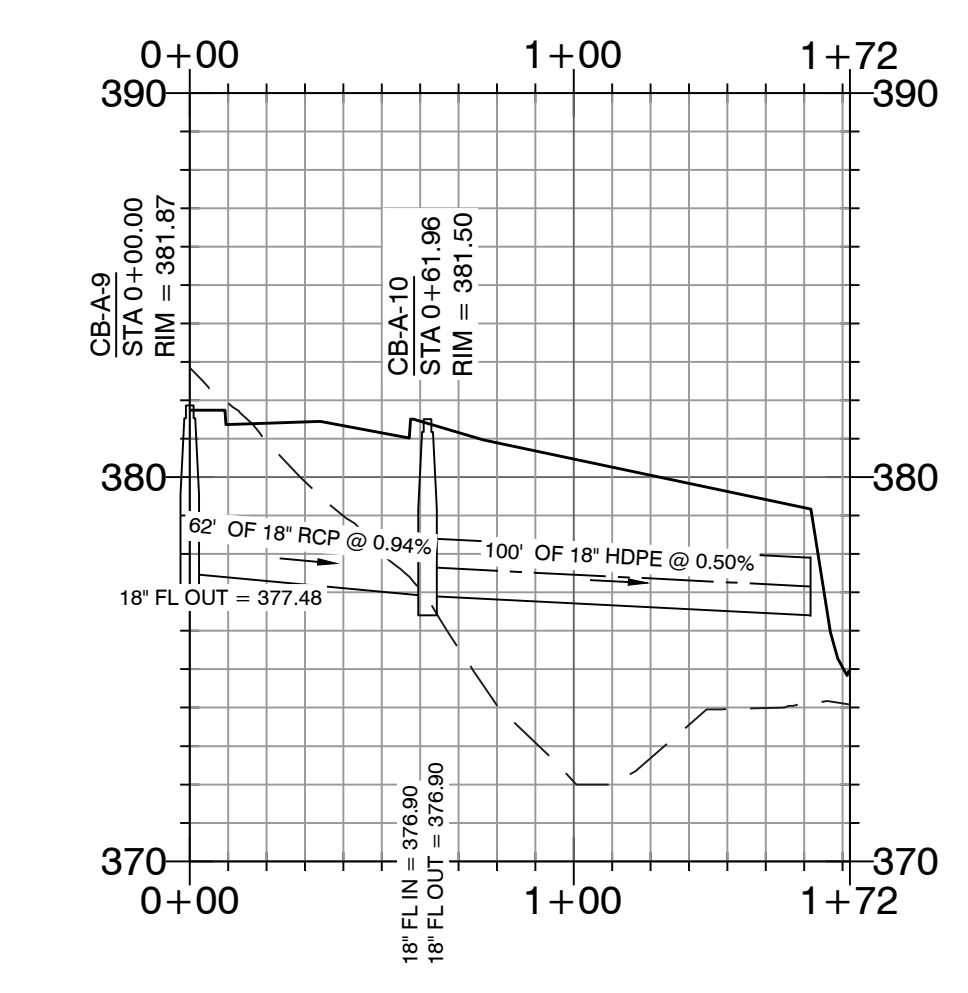
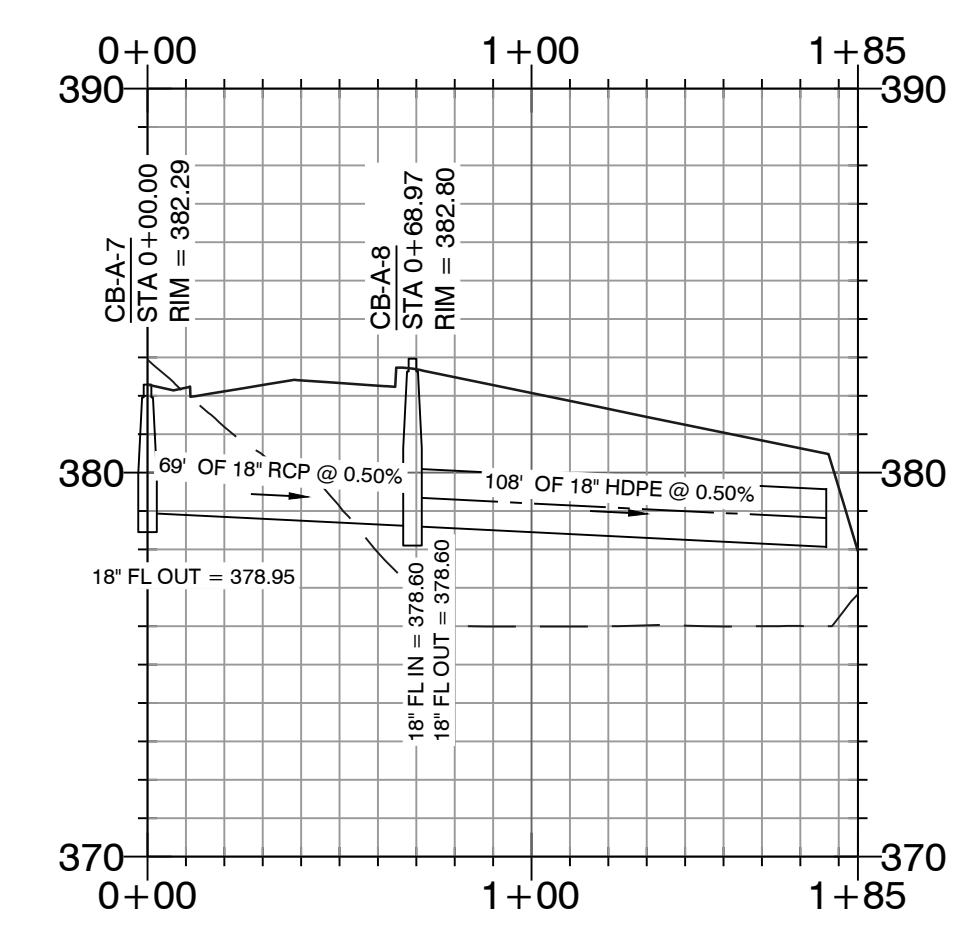
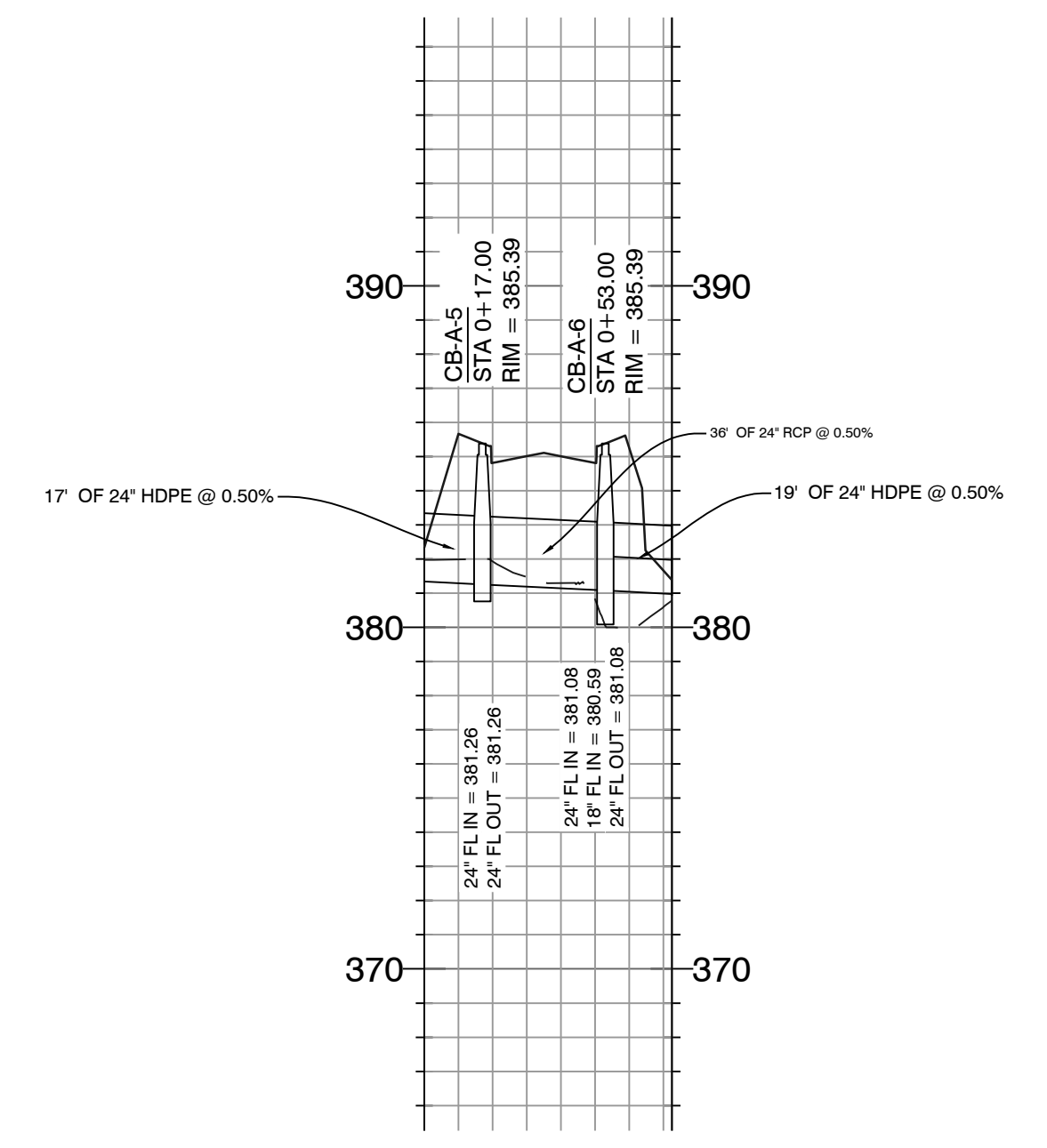
TRACT A
TRACT B
TRACT G
TRACT H

MICHAEL ROAD (60' R/W)

STARLIGHT VILLAGE DRIVE (50' R/W)

SUNLIGHT AVENUE (50' R/W)

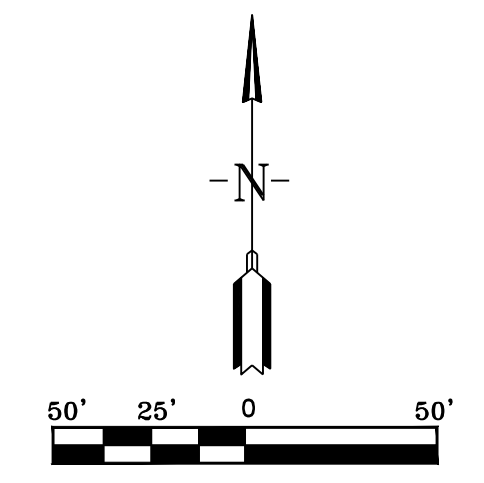
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6' DITCH

GENERAL NOTES

- 6' ditches will have a 3:1 slope ratio
- 6' ditches will have solid sod stabilization

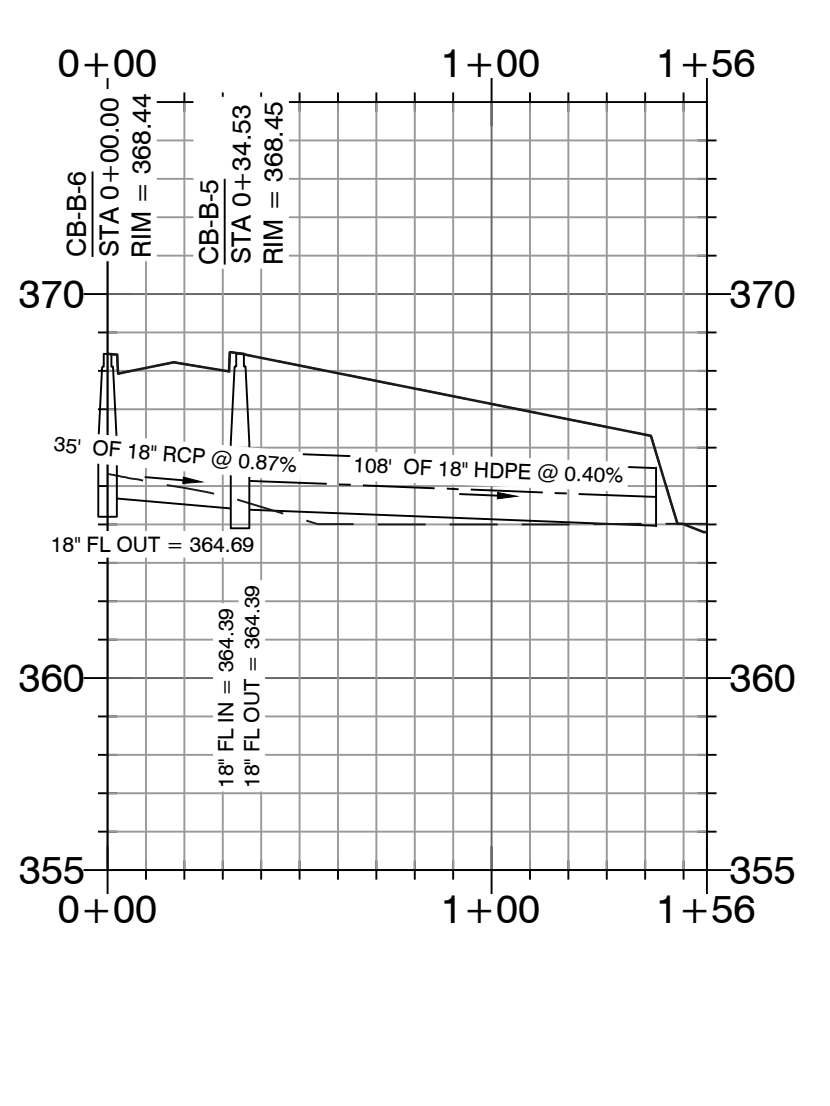
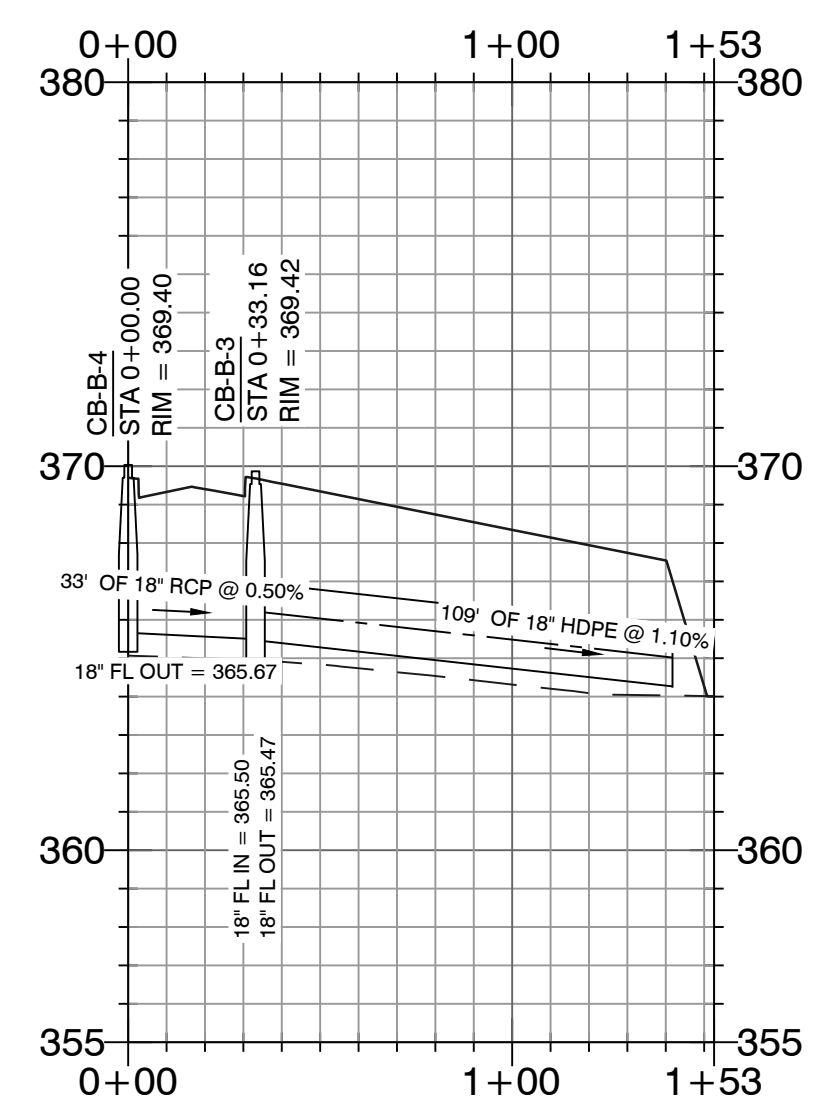
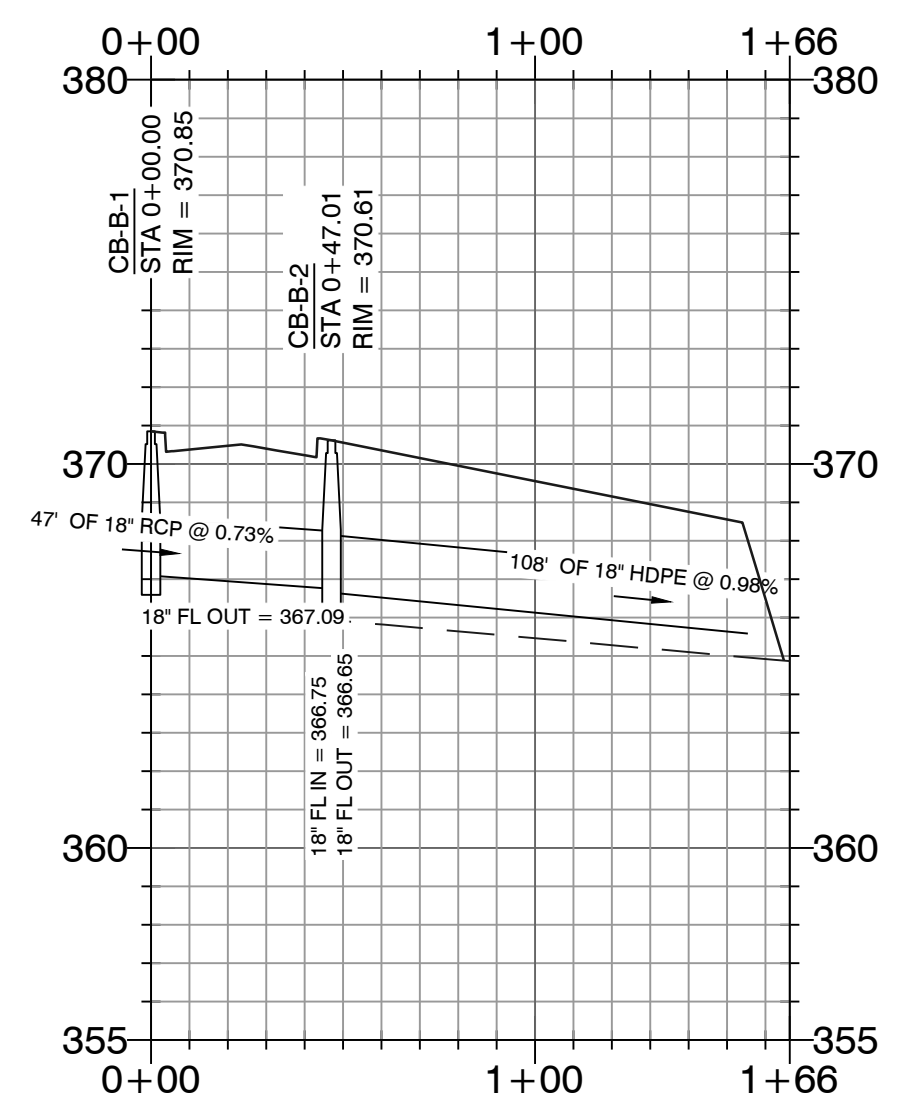
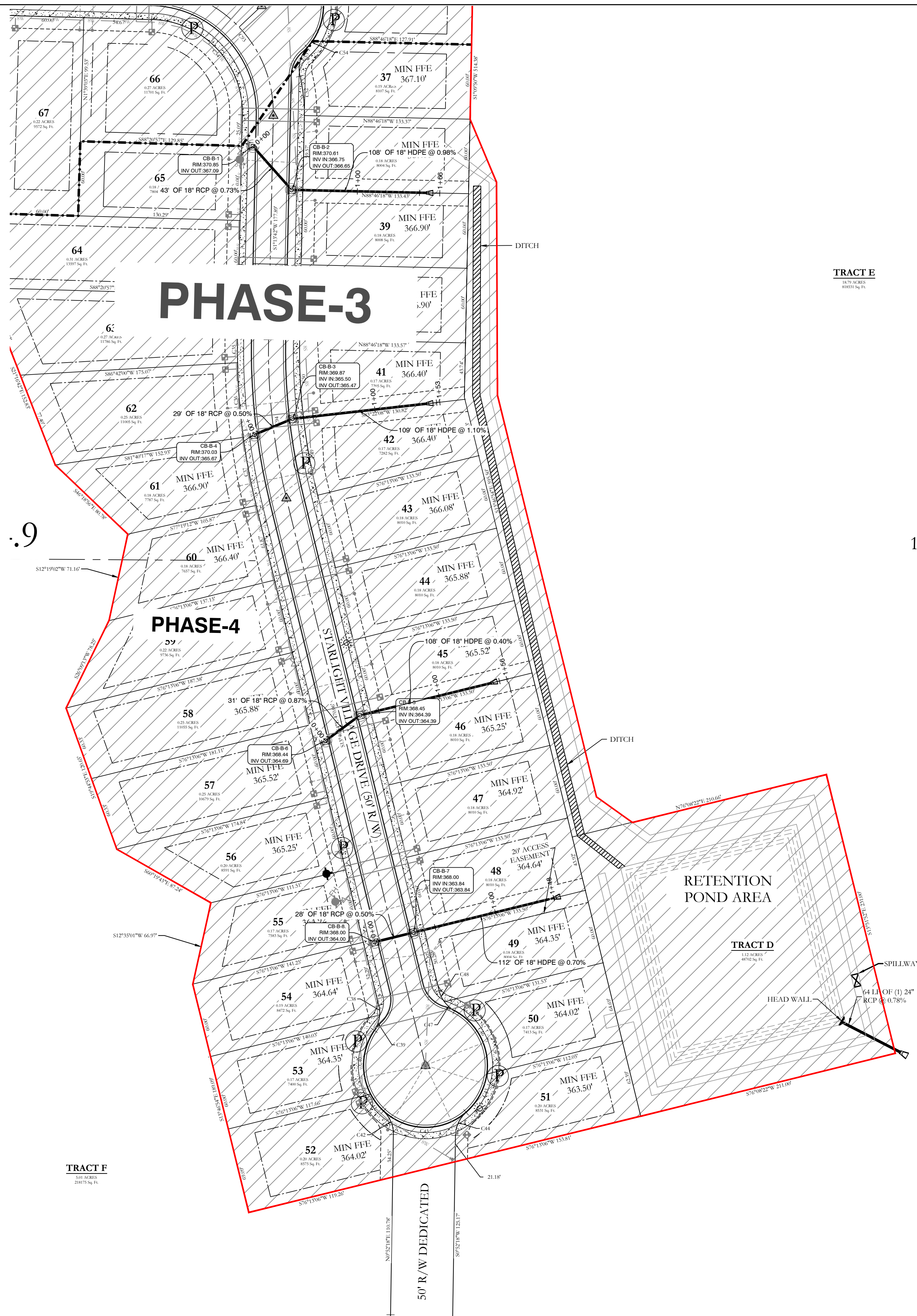


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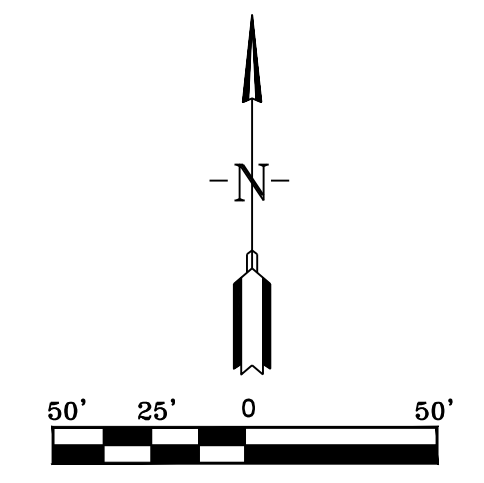
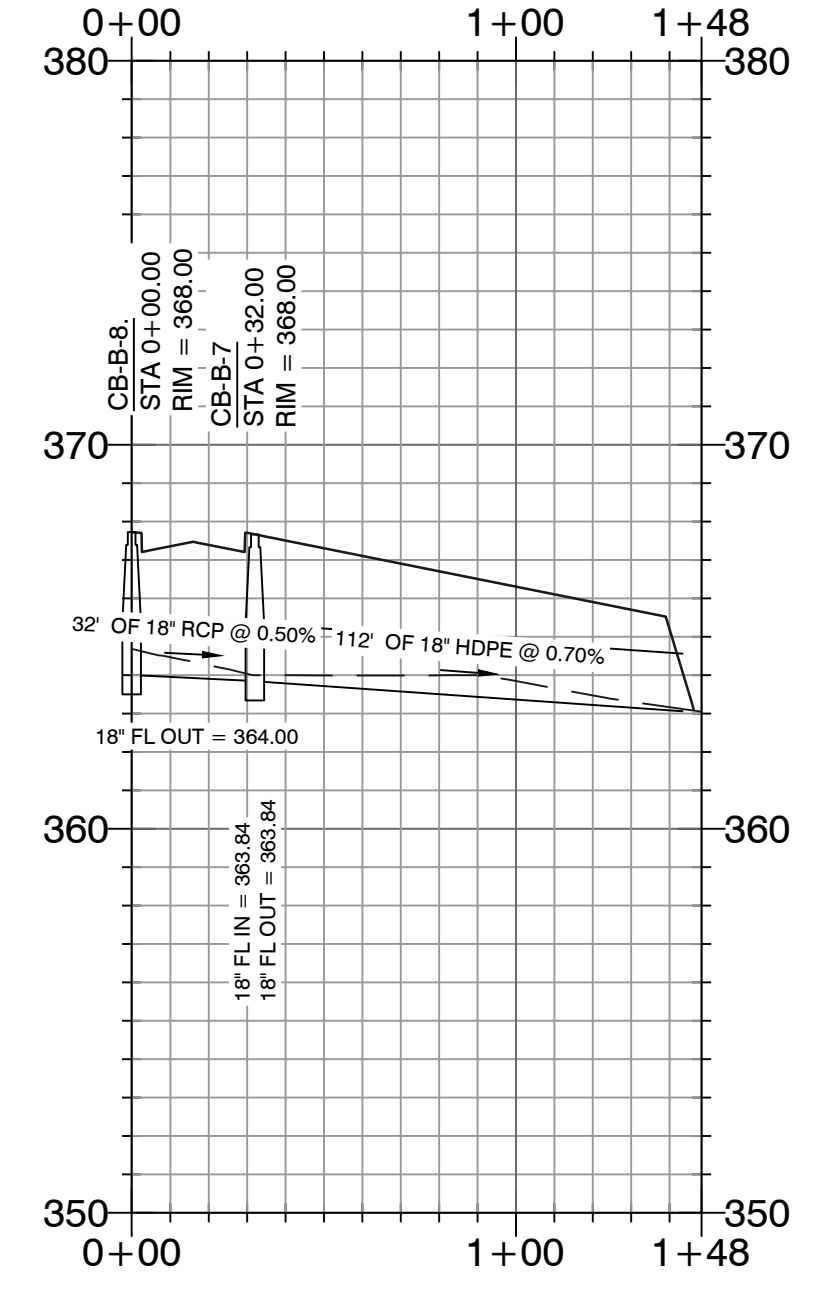
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DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:	
REVISION:	CHECKED BY:	19-0238	
SHEET: C-30	SCALE:		
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100 YEAR FLOOD ZONE



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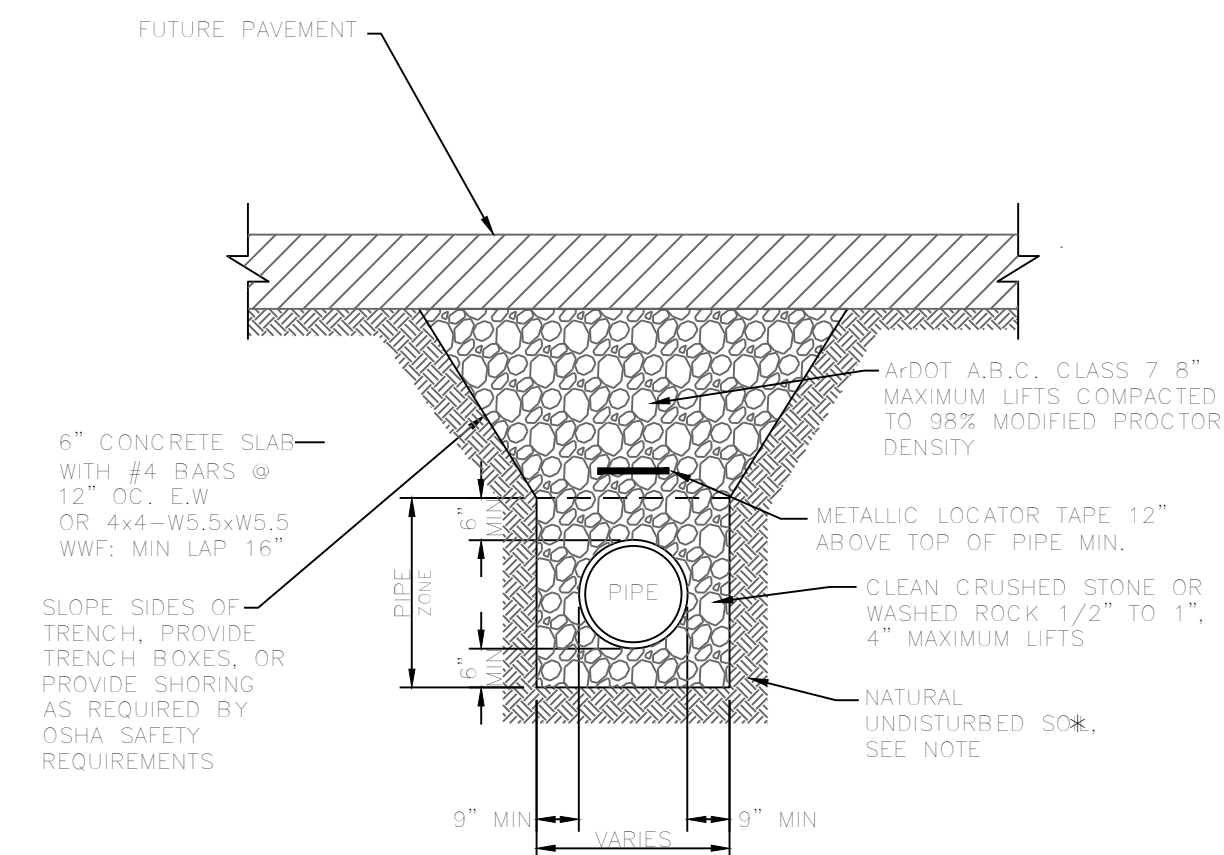
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STARLIGHT VILLAGE SUBDIVISION
STORM DRAINAGE PROFILES
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISION:		CHECKED BY:	19-0238
SHEET:	C-3.1	SCALE:	
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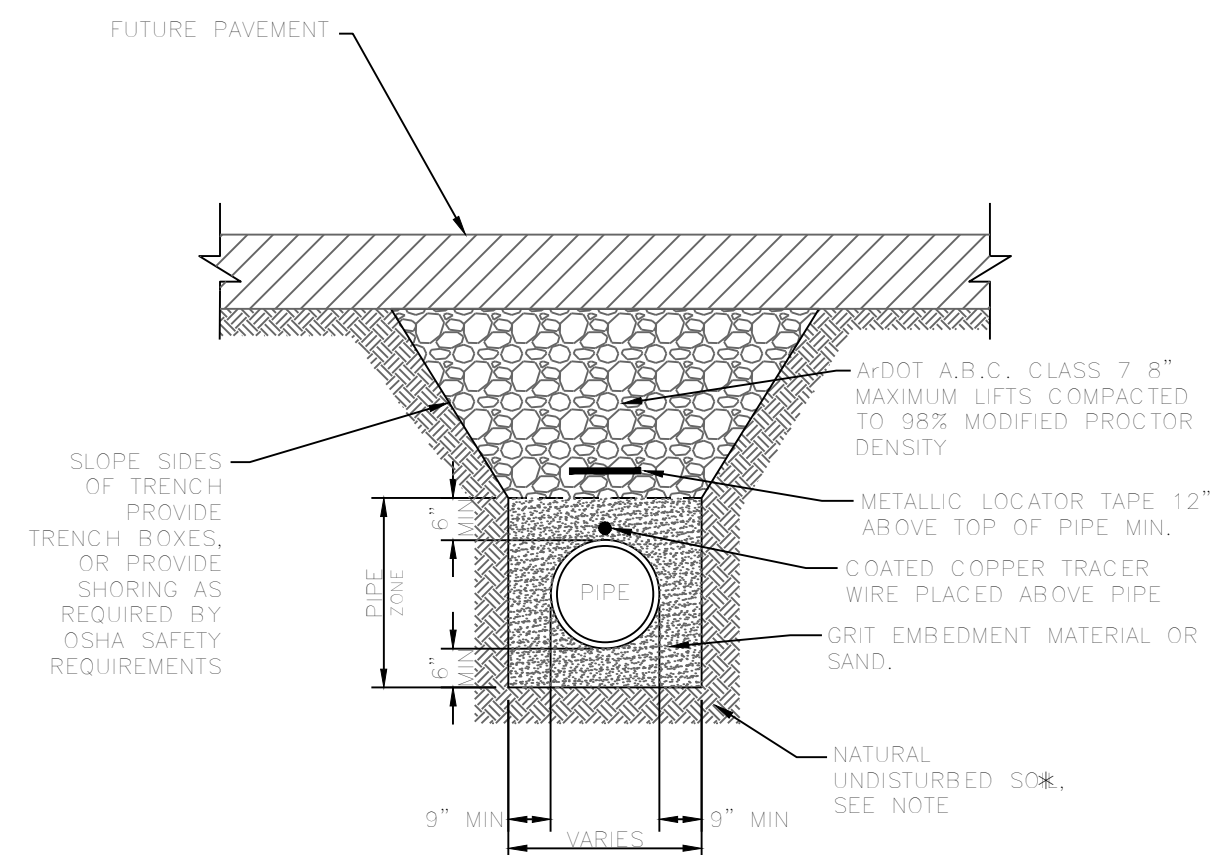


PVC SEWER TRENCH UNDER FUTURE ASPHALT STREET

N.T.S.

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

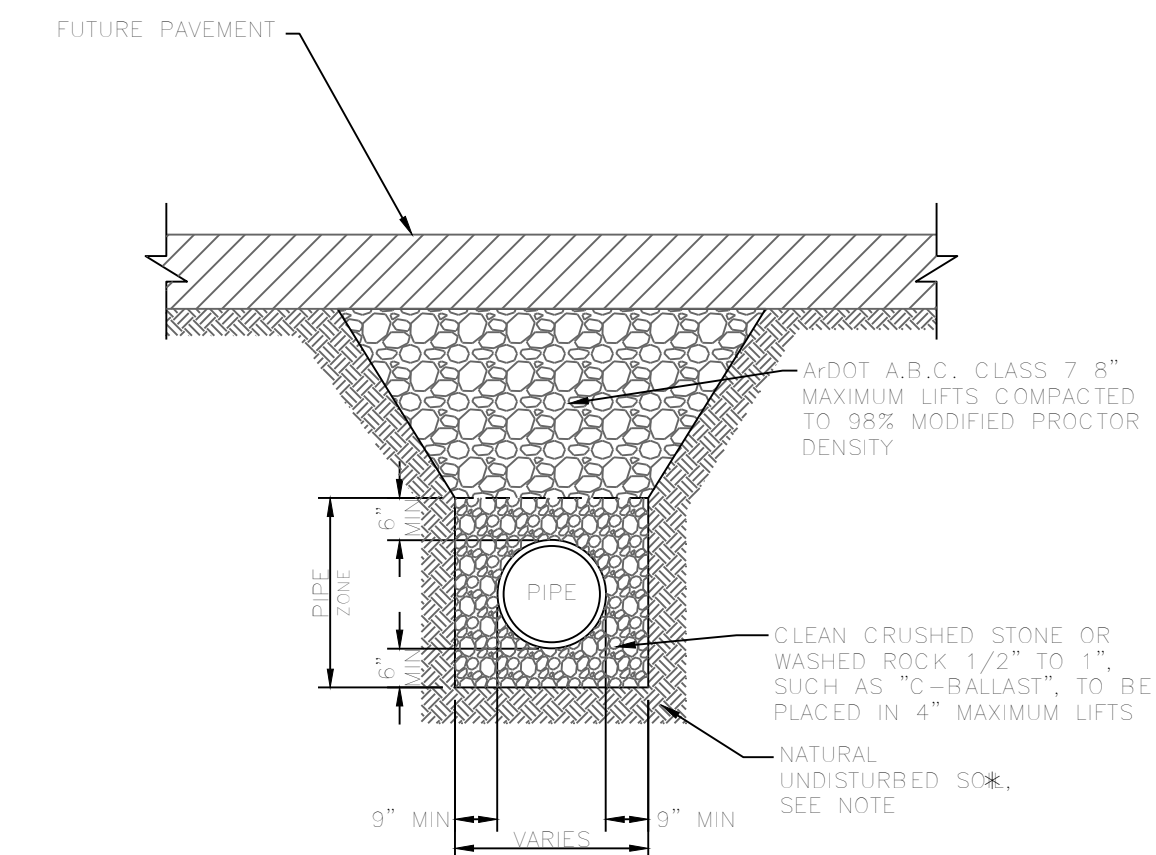


PVC WATER LINE TRENCH UNDER FUTURE ASPHALT STREET

N.T.S.

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



DRAINAGE PIPE TRENCH UNDER FUTURE ASPHALT STREET

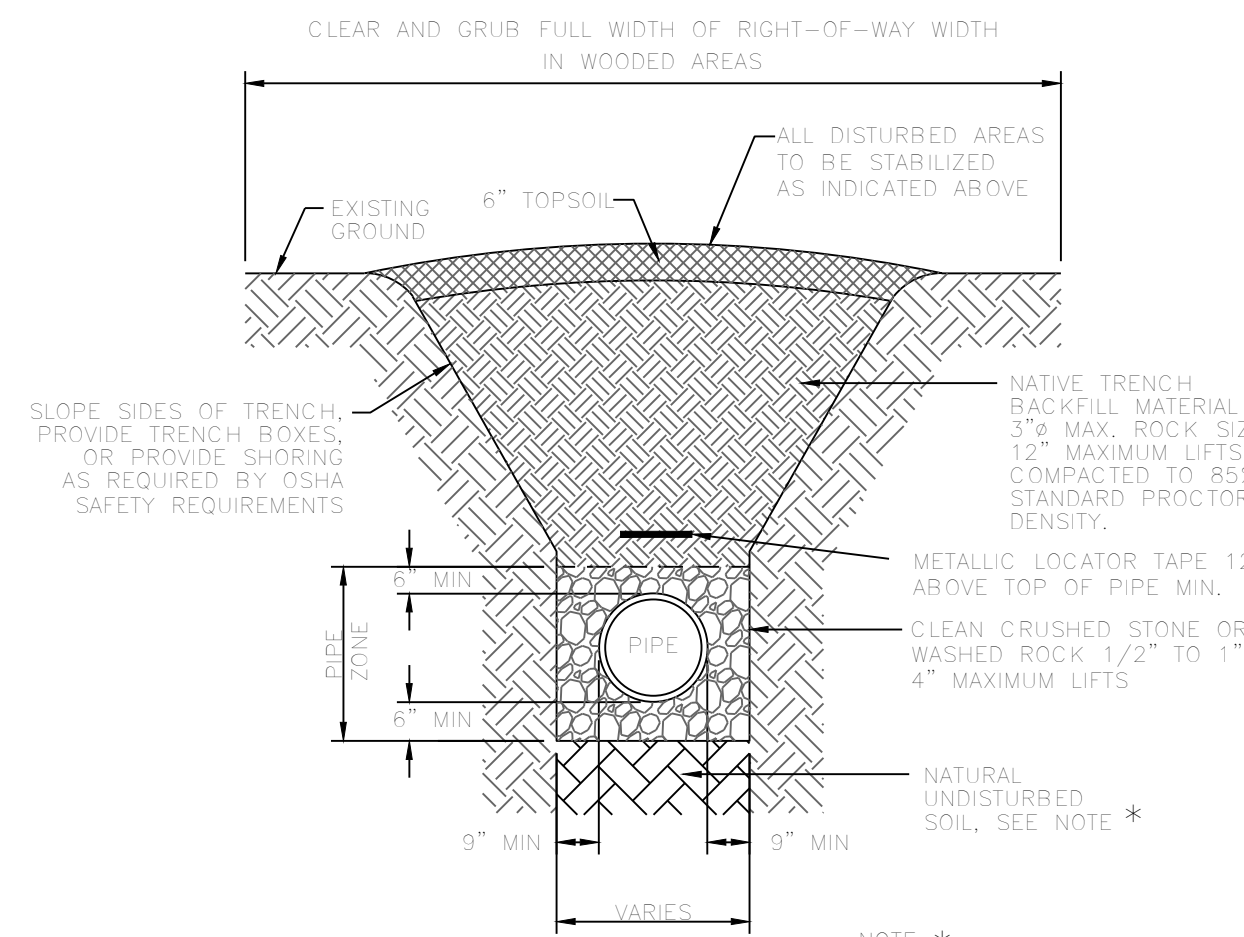
N.T.S.

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

SOIL STABILIZATION REQUIREMENTS

1. IN LAWN AREAS, DISTURBED SOIL SHALL BE STABILIZED BY PLACEMENT OF SOD TO MATCH EXISTING.
2. IN FIELDS OR WOODED AREAS, DISTURBED SOIL SHALL BE STABILIZED BY SEEDING.

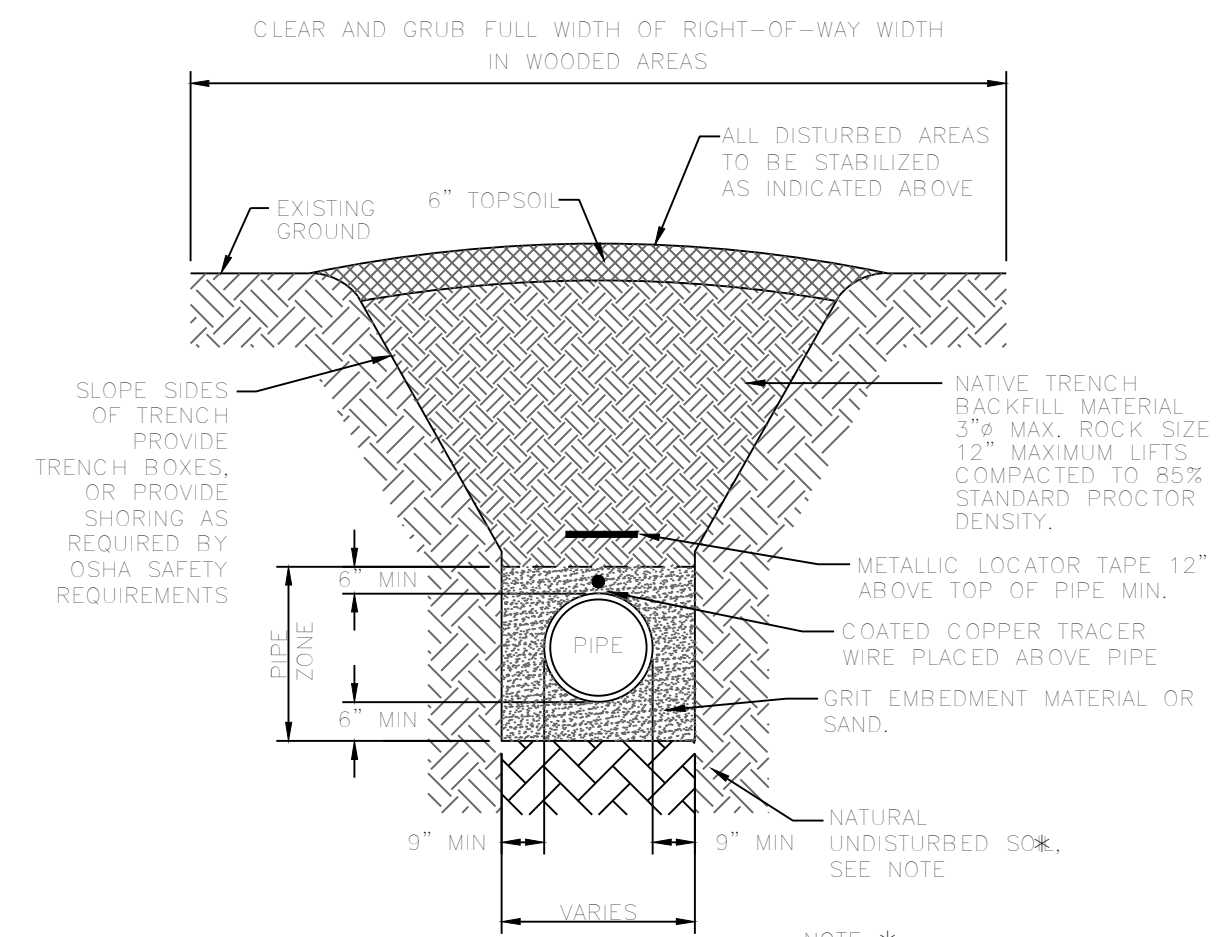


PVC SEWER TRENCH IN UNPAVED AREAS

N.T.S.

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

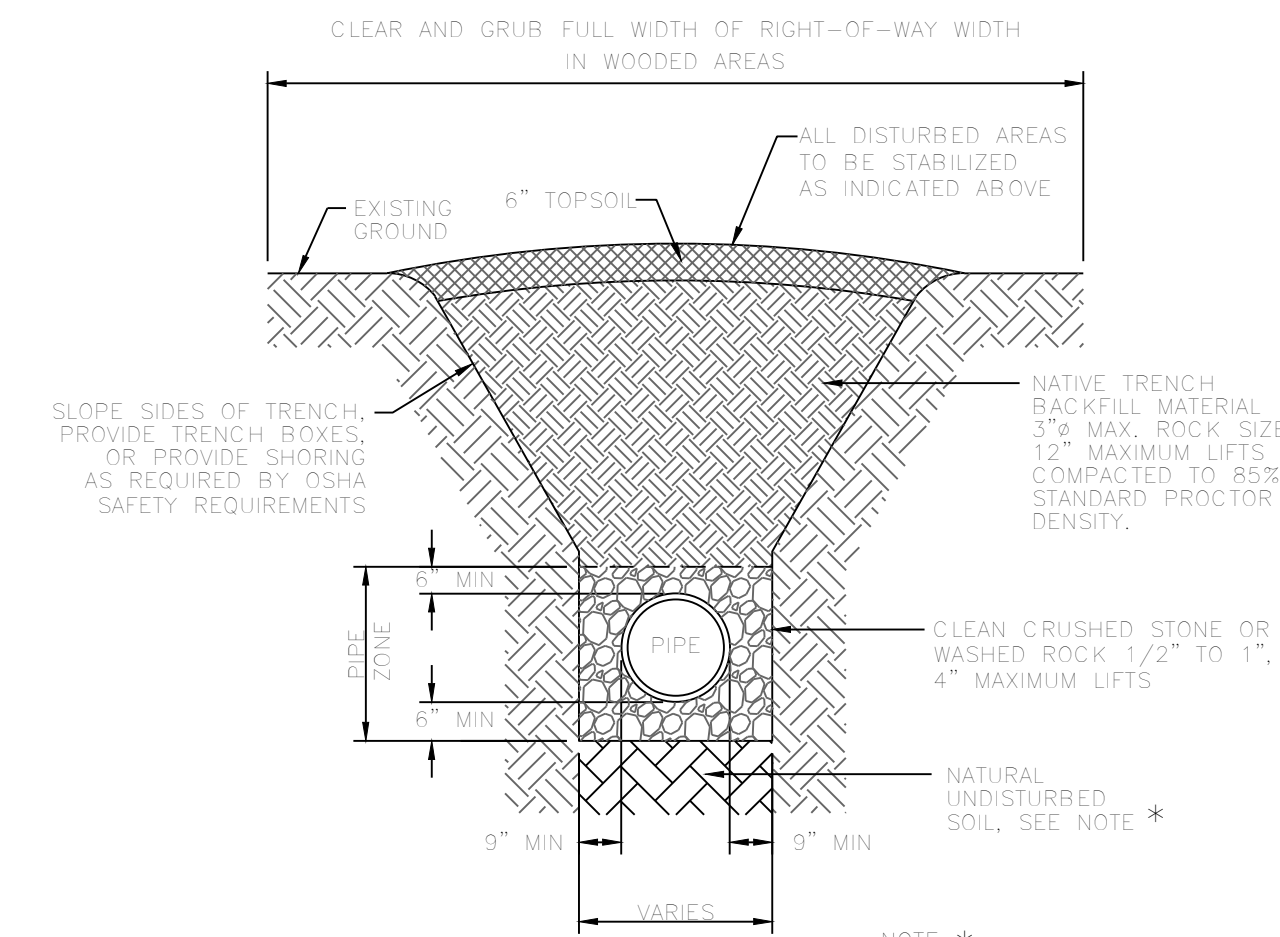


PVC WATER LINE TRENCH IN UNPAVED AREAS

N.T.S.

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.



DRAINAGE PIPES IN UNPAVED AREAS

N.T.S.

DISPOSE OF EXCESS EXCAVATED MATERIAL OFF SITE

NOTE: * FOR UNSTABLE TRENCH BOTTOM, PROVIDE MIN 8" OF 1 1/2" TO #4 SIZE CRUSHED BELOW THE PIPE ZONE STONE OR OTHER MATERIAL BELOW THE PIPE ZONE, AS APPROVED BY THE ENGINEER.

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STARLIGHT VILLAGE SUBDIVISION TRENCH DETAILS
 A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	10/5/2023	C.A.D. BY:		DRAWING NUMBER:	
REVISED:		CHECKED BY:		19-0238	
SHEET:	C-40	SCALE:			
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Inside Diameter of Manhole	Minimum Wall Thickness	Base Thickness	Minimum Ring & Cover Size
4 DIA	5"	6"	24"
5 DIA	7"	8"	(< or Equal to 24" Pipes)
6 DIA	7"	8"	36"
			(> 24" Pipes)

MANHOLE INFORMATION TABLE

MANHOLE FLOW CHANNEL

- A-LOK OR KOR-N-SEAL BOOT, OR APPROVED EQUAL IS REQUIRED WHERE PIPES PASS THROUGH MANHOLE WALLS (TYP)
- INSTALL PER MANUFACTURER'S INSTRUCTIONS. DETAILS AT RIGHT.
- CENTER LINES OF PIPES ENTERING AND EXITING MANHOLES ARE REQUIRED TO PASS THROUGH THE CENTER OF THE MANHOLE.
- PROVIDE AS LARGE A CURVE AS POSSIBLE IN THE FLOW CHANNEL.

CONNECTION DETAILS

- EXTERIOR ADJUSTMENT BAND
- DO NOT FILL VOID.
- GROUT INTERIOR VOID TO SPRINGLINE OF PIPE
- A-LOK SEAL OR APPROVED EQUAL
- DO NOT FILL VOID.
- GROUT INTERIOR VOID TO SPRINGLINE OF PIPE
- A-LOK SEAL OR APPROVED EQUAL

SECTION

UNYIELDING SUBGRADE (REPLACE WITH STONE AS REQUIRED)

RAINCATCHER

STANDARD MH RING & LID (REQUIRED)

WRAP RING EXTENSIONS WITH 6-INCH WIDE BUTYL WRAP OR TROWELABLE BUTYL MASTIC.

WHEN SETTING PRECAST MH SECTION TO PRECAST SECTION, USE RFS PRE-LUBRICATED GASKETS BY PRESS-SEAL GASKET CORPORATION, OR APPROVED EQUAL (REQUIRED).

24" VERTICAL MAX. DIFFERENCE FL IN & FL OUT

SELECT BACKFILL

A-LOK OR APPROVED EQUAL (REQUIRED)

5" MIN. WALL THICKNESS

24" MIN. 30" MAX.

VARIES

USE 8" BUTYL JOINT WRAP AROUND ALL EXTERIOR JOINTS (REQUIRED)

FRAME SHALL BE INSTALLED AT THE JOBSITE

USE TWO ROWS EZ-STIK JOINT SEALANT, OR APPROVED EQUAL (REQUIRED)

18" MAX.

6" MIN.

MH BASE (TABLE ABOVE)

8" MIN.

NOTE: BENCH SHALL SLOPE FROM SPRINGLINE OF PIPE TO MANHOLE WALL. OUTLET CHANNEL SHALL BE FULL DEPTH "U" FROM CENTER OF MANHOLE TO WALL.

PRECAST MANHOLE

CITY OF BRYANT, AR
WATER UTILITIES
210 S.W. 3rd. STREET
BRYANT, AR
PHONE: (501) 843-0488

TITLE: SEWER DETAILS
DESCRIPTION: PRECAST MANHOLE
DATE: APRIL 2015
SHEET: S5

CLOSED PICK SLOT DETAIL

ALL CASTINGS SHALL BE "MADE IN USA"

COVER DETAIL

1. MINIMUM WEIGHT OF RING: 100 POUNDS
2. MINIMUM WEIGHT OF COVER: 110 POUNDS
3. COVERS ARE FURNISHED WITH TWO CLOSED PICK SLOTS.
4. CASTINGS SHALL BE "MADE IN USA"

* DIMENSIONAL TOLERANCES SHALL NOT EXCEED 1/16 INCH PER FOOT

FRAME AND COVER DETAIL

23-1/2"

NON-ROCKING OR MACHINED SURFACE

6" ± 1/4"

22" Opening

32" ± 1/2"

RAIN CATCHER WITH 1" WOVEN STRAP

1-1/2"

3/4"

WHEN SETTING FRAME, USE TWO ROWS EZ-STIK JOINT SEALANT, OR APPROVED EQUAL (REQUIRED)

CITY OF BRYANT, AR
WATER UTILITIES
210 S.W. 3rd. STREET
BRYANT, AR
PHONE: (501) 843-0488

TITLE: SEWER DETAILS
DESCRIPTION: MANHOLE FRAME AND COVER
DATE: APRIL 2015
SHEET: S6

MANHOLE JOINT WRAP

STANDARD MH FRAME & COVER.

GRADE

WRAP FRAME EXTENSIONS

8" WIDE JOINT WRAP IS REQUIRED FOR ALL EXTERIOR MANHOLE JOINTS.

PLACE 8" x 6" SQUARE WRAP OVER ALL LIFTING HOLES (TYP.)

COLD JOINTS

SEWER PIPE

SEWER PIPE

UNYIELDING SUBGRADE (REPLACE WITH STONE AS REQUIRED)

NOTE:
JOINT WRAP TO BE USED:
• ON OUTSIDE OF COLD JOINTS
• ON EXTERIOR OF ALL PRECAST MANHOLE JOINTS
• ON LIFT HOLES / SOCKETS

CITY OF BRYANT, AR
WATER UTILITIES
210 S.W. 3rd. STREET
BRYANT, AR
PHONE: (501) 843-0488

TITLE: SEWER DETAILS
DESCRIPTION: MANHOLE JOINT WRAP
DATE: APRIL 2015
SHEET: S9

THE INSTALLATION SHALL BE DYE TESTED FOR ACCEPTANCE.

INTERIOR VIEW

CONCRETE MANHOLE ADAPTER (CMA) IS REQUIRED.

SEWER PIPE

MANHOLE CORING DETAILS

CORE DRILLED HOLE

CONCRETE MANHOLE WALL

CONCRETE MANHOLE ADAPTER (CMA) IS REQUIRED.

SEWER PIPE

NON-SHRINK GROUT

CITY OF BRYANT, AR
WATER UTILITIES
210 S.W. 3rd. STREET
BRYANT, AR
PHONE: (501) 843-0488

TITLE: SEWER DETAILS
DESCRIPTION: MANHOLE CORING
DATE: APRIL 2015
SHEET: S11

PICKHOLE DETAIL

2 1/2"

1 1/2"

1" DIA. H.R.S. ROD

PICKBAR DETAIL

2 1/2"

2 1/2"

3 1/2"

1 1/2" R

3 1/2" R

COVER BACK

38" DIA

23 3/4" DIA

MACHINED SURFACE

3"

2"

COVER SECTION

38" DIA

23 3/4" DIA

MACHINED SURFACE

2"

22" DIA

1 1/2"

(4) STACKING LUGS (TYP)

REVERSIBLE FRAME

EST. WEIGHT 360 POUNDS

NOTE: ALL CASTINGS SHALL BE "MADE IN USA"

CITY OF BRYANT, AR
WATER UTILITIES
210 S.W. 3rd. STREET
BRYANT, AR
PHONE: (501) 843-0488

TITLE: SEWER DETAILS
DESCRIPTION: 36-INCH MANHOLE FRAME AND COVER
DATE: APRIL 2015
SHEET: S8

NOTES:

1. MODIFIED RISER LATERAL SHALL BE USED WHEN DEPTH OF COVER EXCEEDS 7'-0"
2. PLACE CLASS "A" CONCRETE UNDER EACH WYE BRANCH TO PREVENT CRACKING OR TWISTING UNDER EARTH LOADS
3. SERVICE LATERAL STUBS SHALL TERMINATE AT LEAST 2 FEET INSIDE THE PROPERTY LINE BUT IN NO CASE SHALL THE SERVICE LATERAL STUB TERMINATE AT A DISTANCE LESS THAN 8 FEET FROM THE SANITARY SEWER MAIN.
4. BURY A 1/2" x 4" STEEL TEE FENCE POST AT END OF SERVICE LATERAL STUB AND BACKFILL TO FINISHED GRADE OF PROPERTY.
5. 4" DUCTILE IRON PIPE, LINED FOR SANITARY SEWER AND 4" DUCTILE IRON M.J. FITTINGS, LINED FOR SANITARY SEWER, SHALL BE INSTALLED FOR SERVICES BURIED AT DEPTHS OF 14 FEET AND GREATER.

PROFILE

GLUED JOINT (TYP.)

ALTERNATE ADDITIONAL RISE AND BEND WHERE REQUIRED BY GREATER SEWER DEPTH

4" MIN. OF PIPE BEDDING MATERIAL (CLASS 67 STONE OR EQUAL) AROUND PIPE

3" WIDE SAFETY GREEN MARKER TAPE 18" FROM PIPE IMPRINTED WITH "CAUTION-BURIED SEWER LINE BELOW"

SKI ROPE TERMINATED AT GROUND SURFACE IS REQUIRED

1/2" x 4" REBAR or FENCE "TEE" POST

SLOPE UP (1% MIN.) TO PROP. LINE

45" MAX.

CLASS "A" CONCRETE

PLAN

SEWER MAIN

WYE BRANCH

CLASS "A" CONCRETE

ROTATE BENDS AS REQUIRED TO ALIGN SERVICE BRANCH WITH SERVICE PIPE.

SCH 40 PVC CAP

1/2" x 4" FENCE "TEE" POST

CITY OF BRYANT, AR
WATER UTILITIES
210 S.W. 3rd. STREET
BRYANT, AR
PHONE: (501) 843-0488

TITLE: SEWER DETAILS
DESCRIPTION: SEWER SERVICE LATERAL
DATE: APRIL 2015
SHEET: S15

HOPE CONSULTING
ENGINEERS - SURVEYORS

117 S. Market Street,
Benton, Arkansas 72015
PH. (501) 315-2626
FAX (501) 315-0024
www.hopeconsulting.com

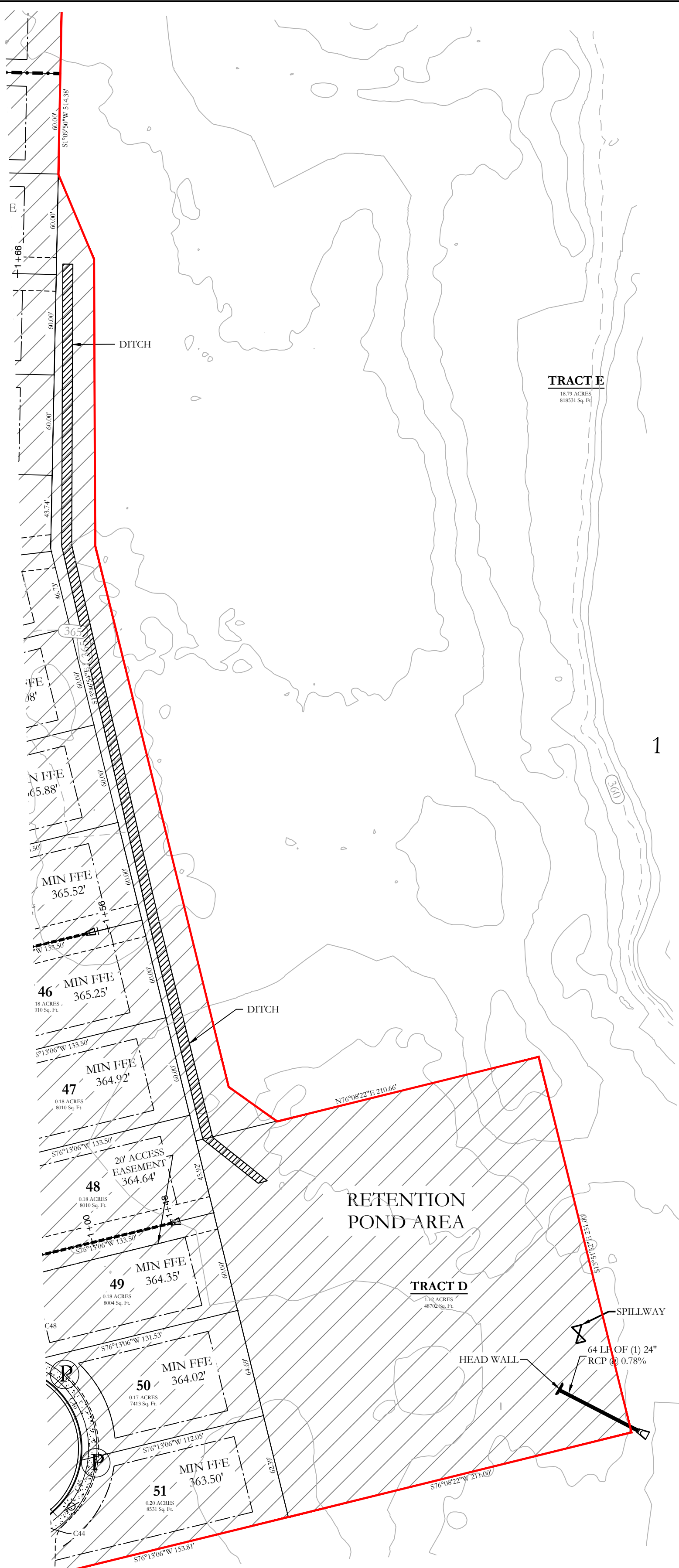
FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
SEWER DETAILS
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

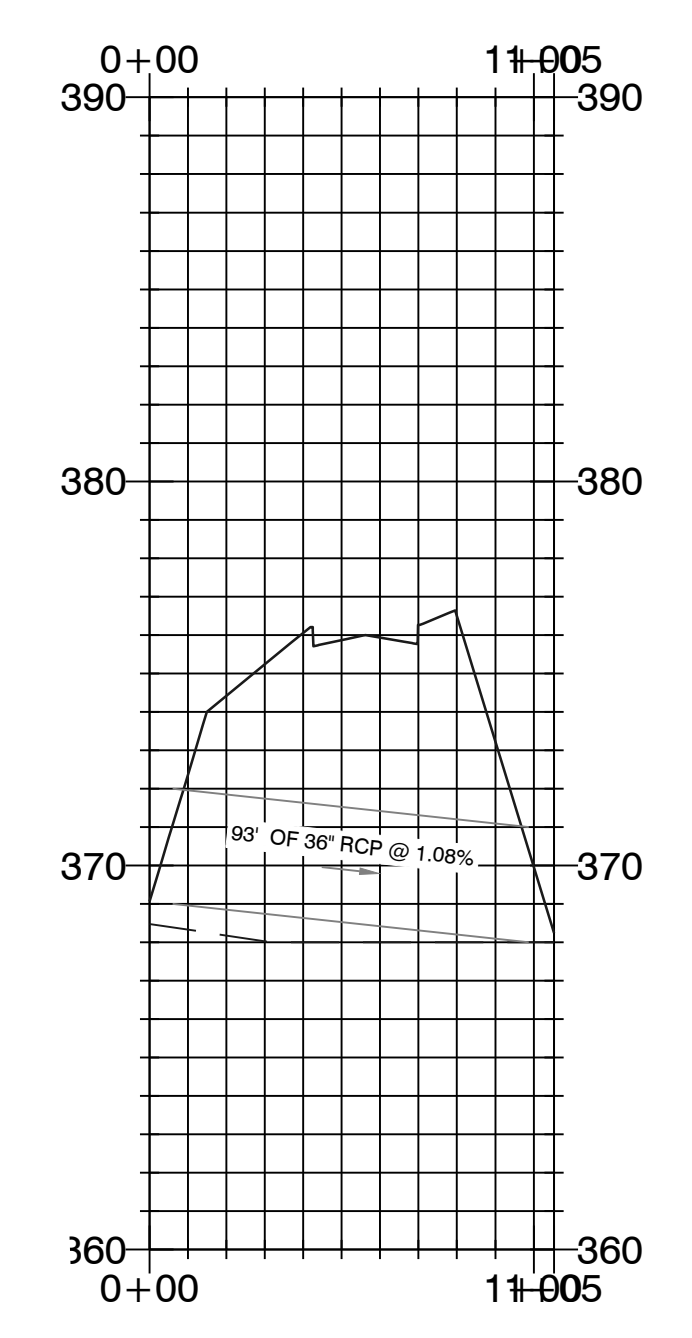
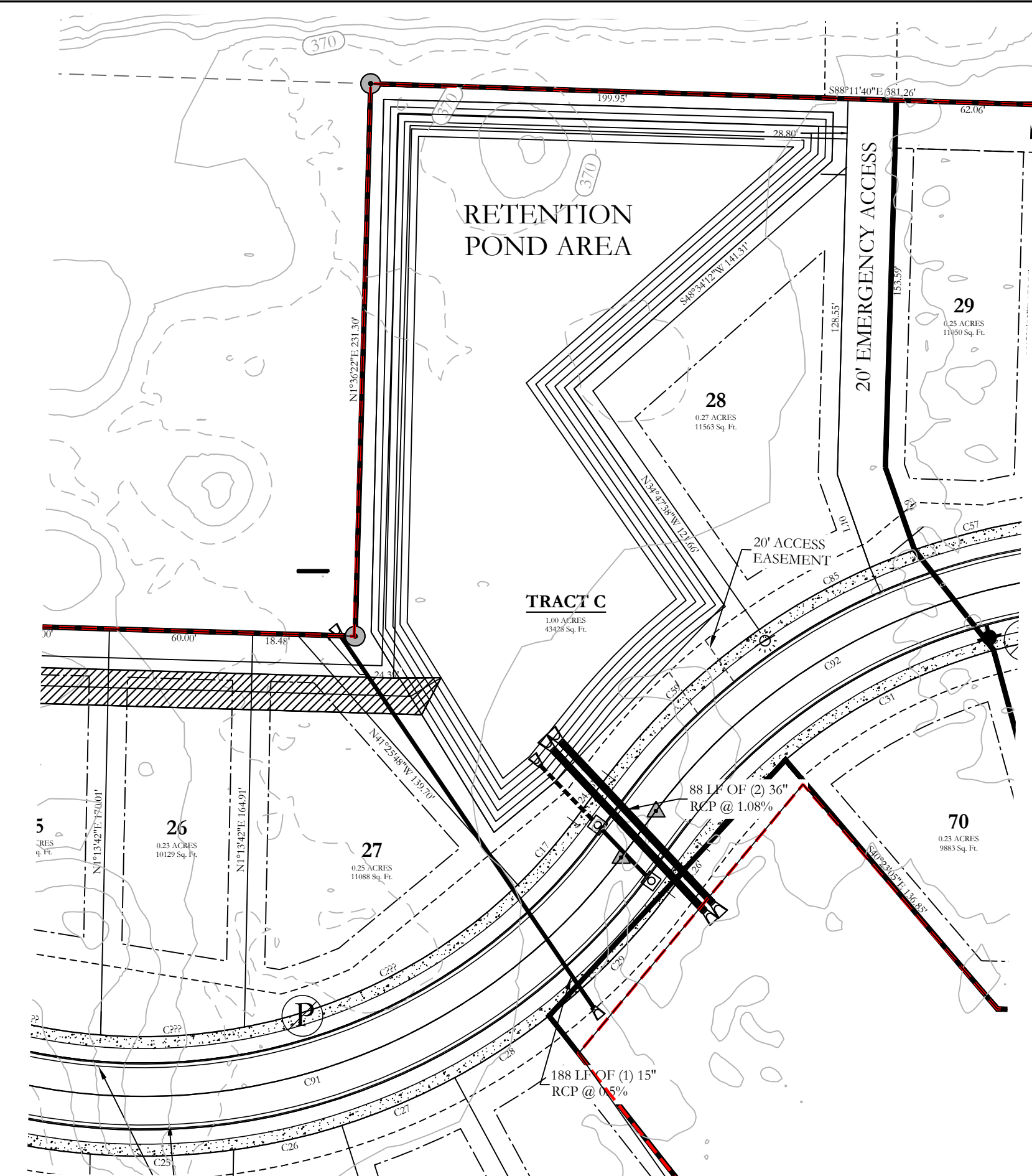
DATE: 10/5/2023
C.A.D. BY:
REVISIONS:
CHECKED BY:
SHEET: C-4.01
SCALE:

DRAWING NUMBER:
19-0238

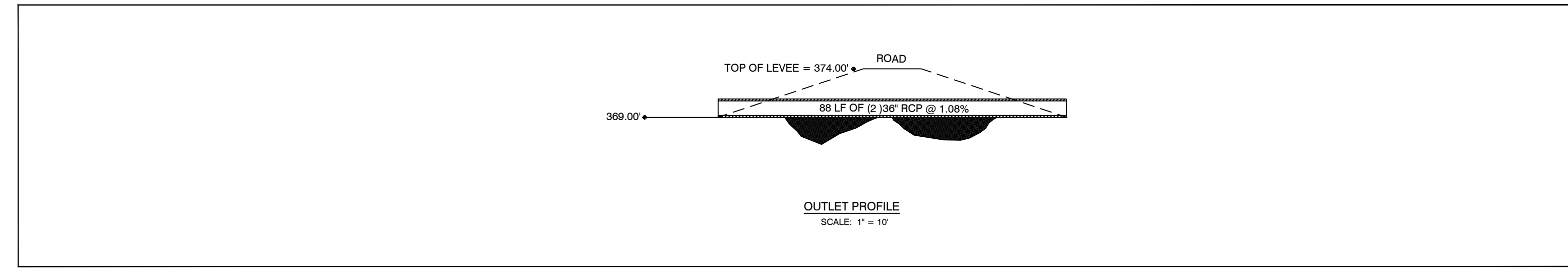
500	1S	15W	0	34	230	62	1807
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1



RETENTION POND - PLAN VIEW



RETENTION POND - OUTLET CROSS-SECTIONS & DETAILS
SCALE: VARIES

RETENTION POND MAINTENANCE PLAN

Background
The retention ponds (Tract C and D) are located at the North and South side of the subject property. Detention ponds are designed to temporarily detain storm water to meet water quantity criteria before discharging off the property.

Stabilization of Retention Basin provided with 3-1 slopes with required Sodding.
6" Swales with required sodding.
Fences are prohibited in the drainage easement area.
Maintenance of retention ponds will be conducted by the improvement district.
Retention Pond Tract C will be constructed in Phase-2.

Routine Maintenance
Routine maintenance will include but not be limited to:
-Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.

-The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.

-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.

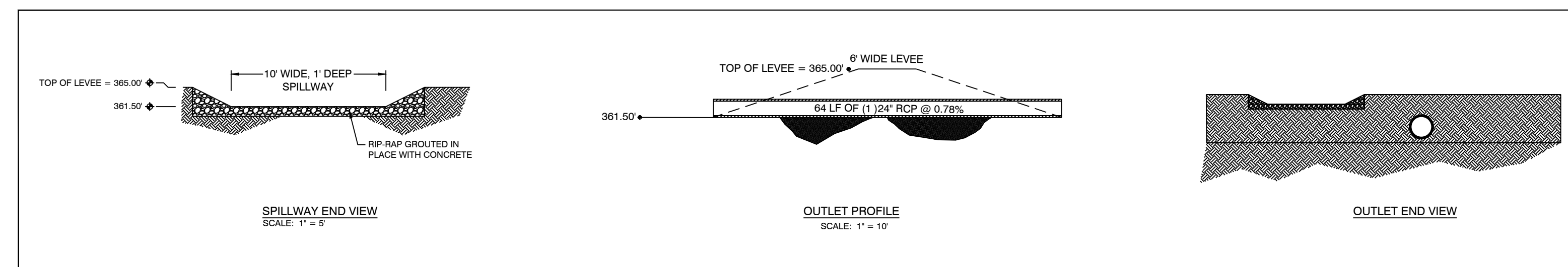
-Inspect the pond and outlet pipe for non-routine maintenance need.

Periodic or Non-Routine Maintenance
The routine inspection of the pond area and discharge pipe will identify needed repairs and non-routine maintenance. These items may include but not be limited to:
-Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.

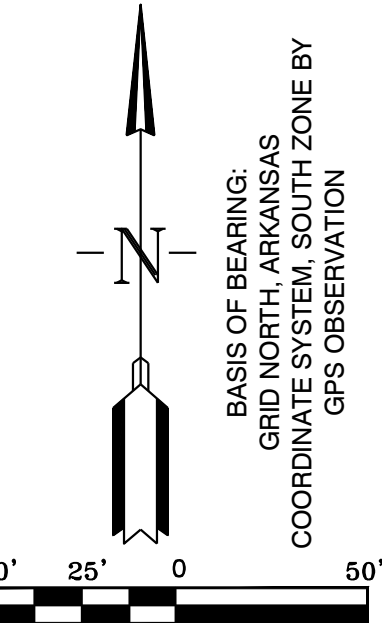
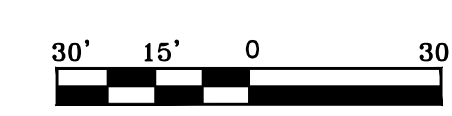
-Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.

-Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.

-Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.

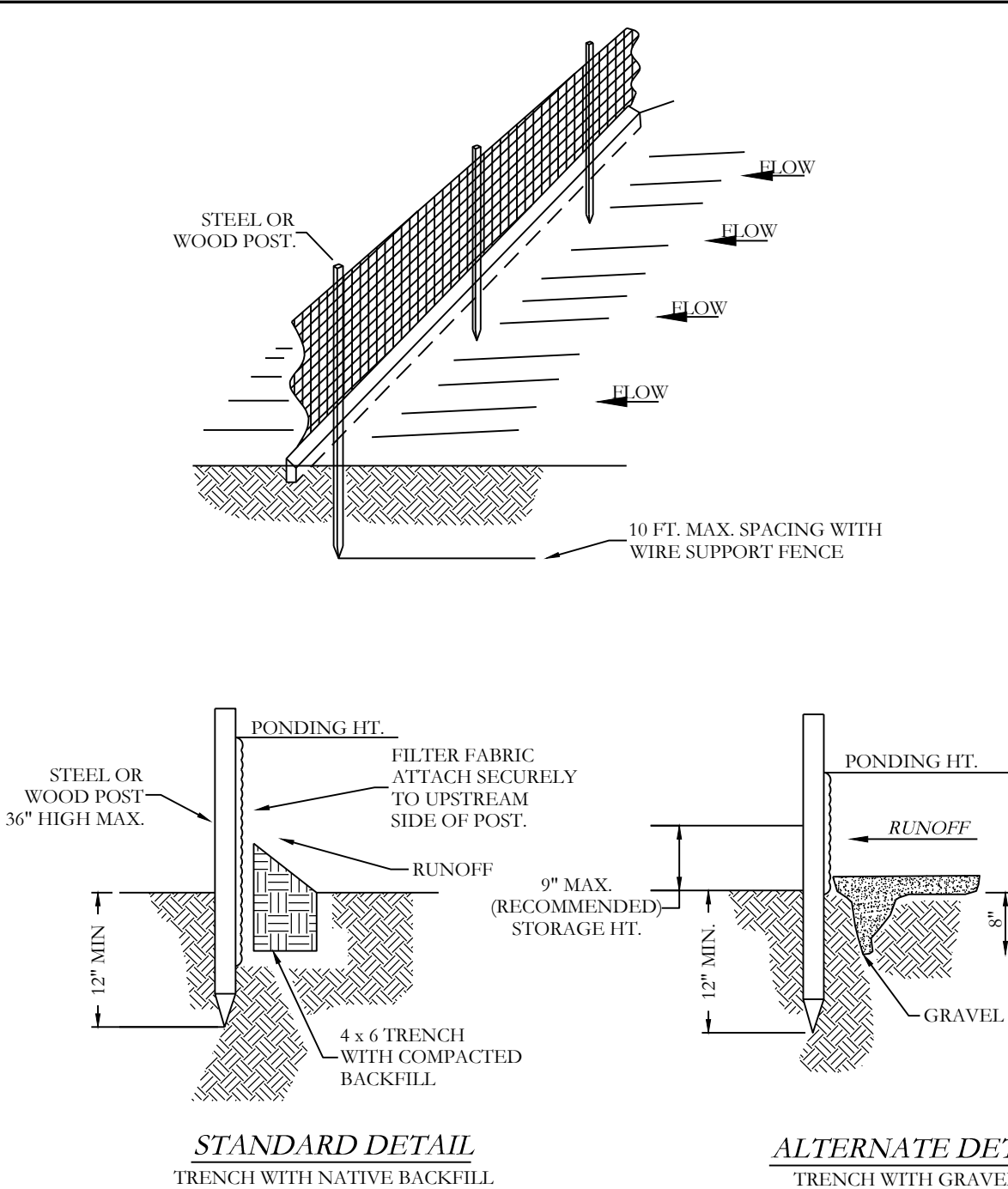


RETENTION POND - OUTLET CROSS-SECTIONS & DETAILS
SCALE: VARIES



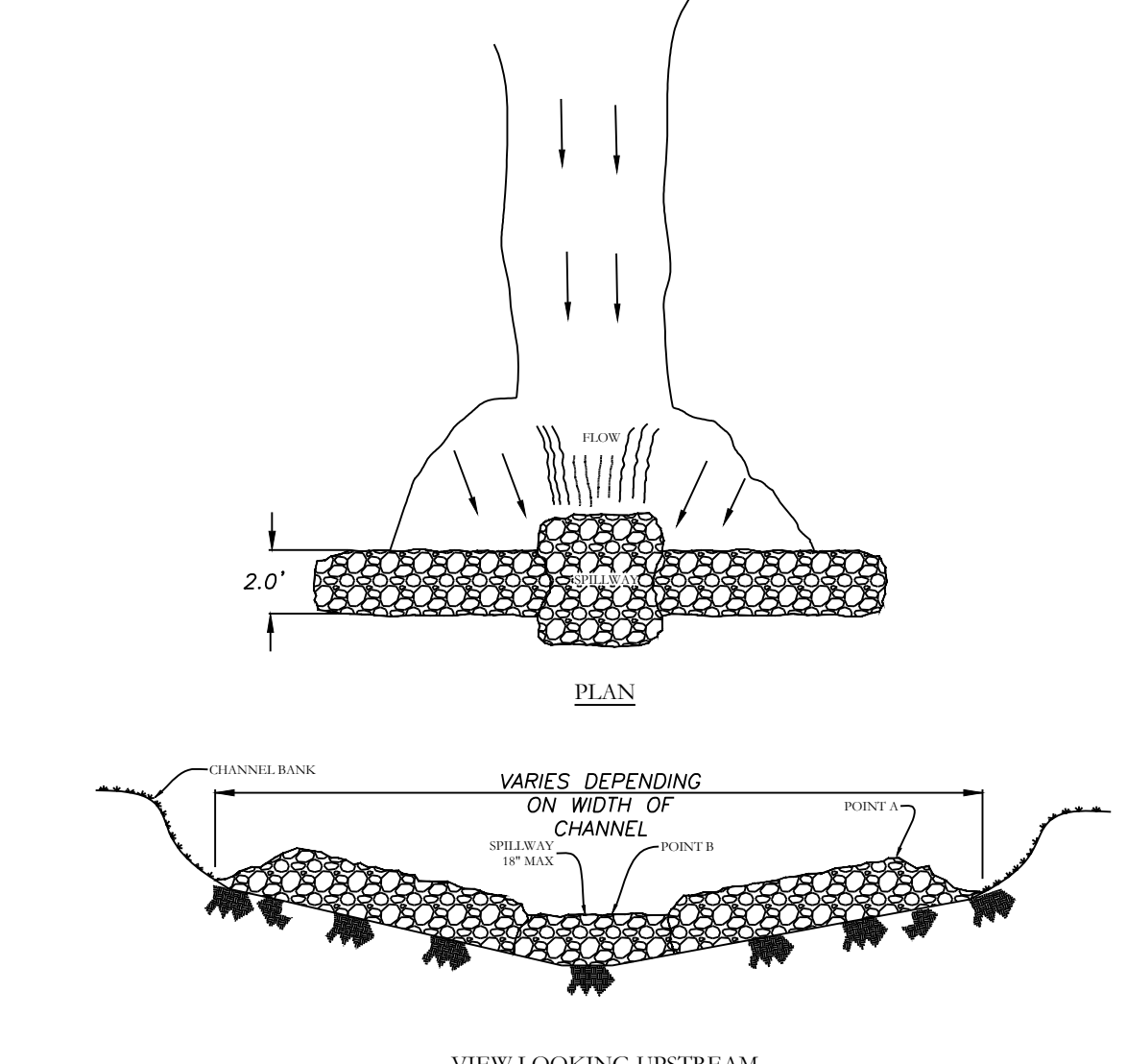
		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
		FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC	
STARLIGHT VILLAGE SUBDIVISION DETENTION POND A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:	
REVISID:	CHECKED BY:	19-0238	
SHEET: C-5.0	SCALE:		

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SILT FENCE

NOTE:
 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 4) SILT FENCE SHALL BE WIRE BACKED.



RIP-RAP CHECK DAM

NOTES:
 1) POINT 'A' MUST BE HIGHER THAN POINT 'B' (SPILLWAY HEIGHT).
 2) PLACE RIP-RAP BARRIER PERPENDICULAR TO FLOW WITH TIGHT GROUPINGS. USE STIKO, ROCKS, OR FILTER FABRIC TO FILL ANY GAPS AND STAMP BACKFILL MATERIAL TO PREVENT FLOW FROM AROUND THE DAM.
 3) SPILLWAY HEIGHT SHALL NOT EXCEED 18" (457 mm).
 4) INSPECT OTHER EROSION CONTROL MEASURES AND REPAIR PROMPTLY.

EROSION CONTROL NOTES

RETENTION POND AREAS ARE REQUIRED TO BE SOLID SOD STABILIZATION ONLY.

MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEVEES

CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE

RIP-RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP

CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY

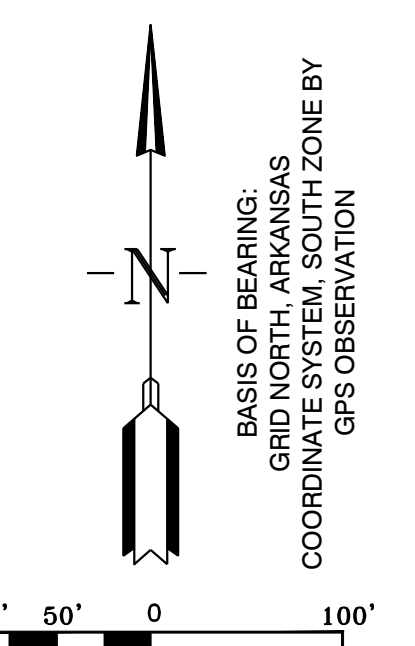
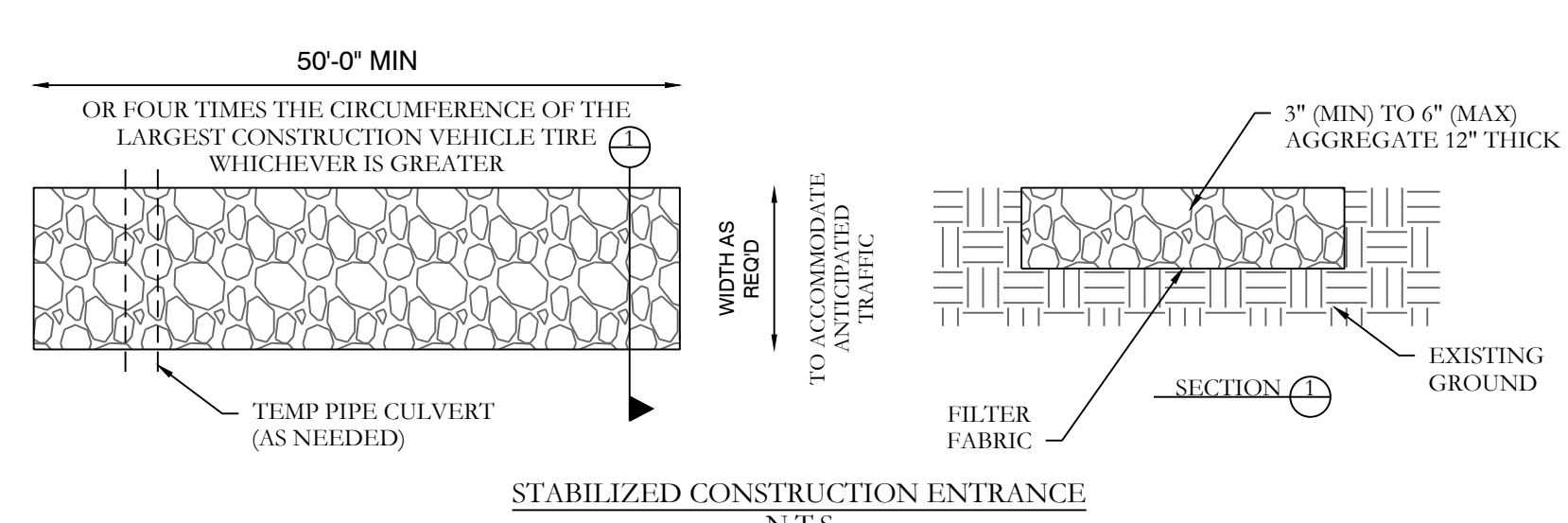
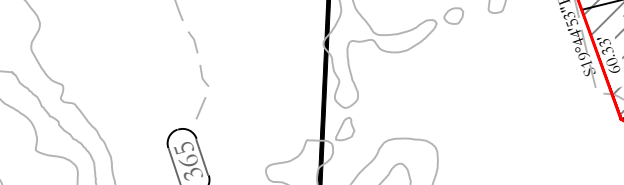
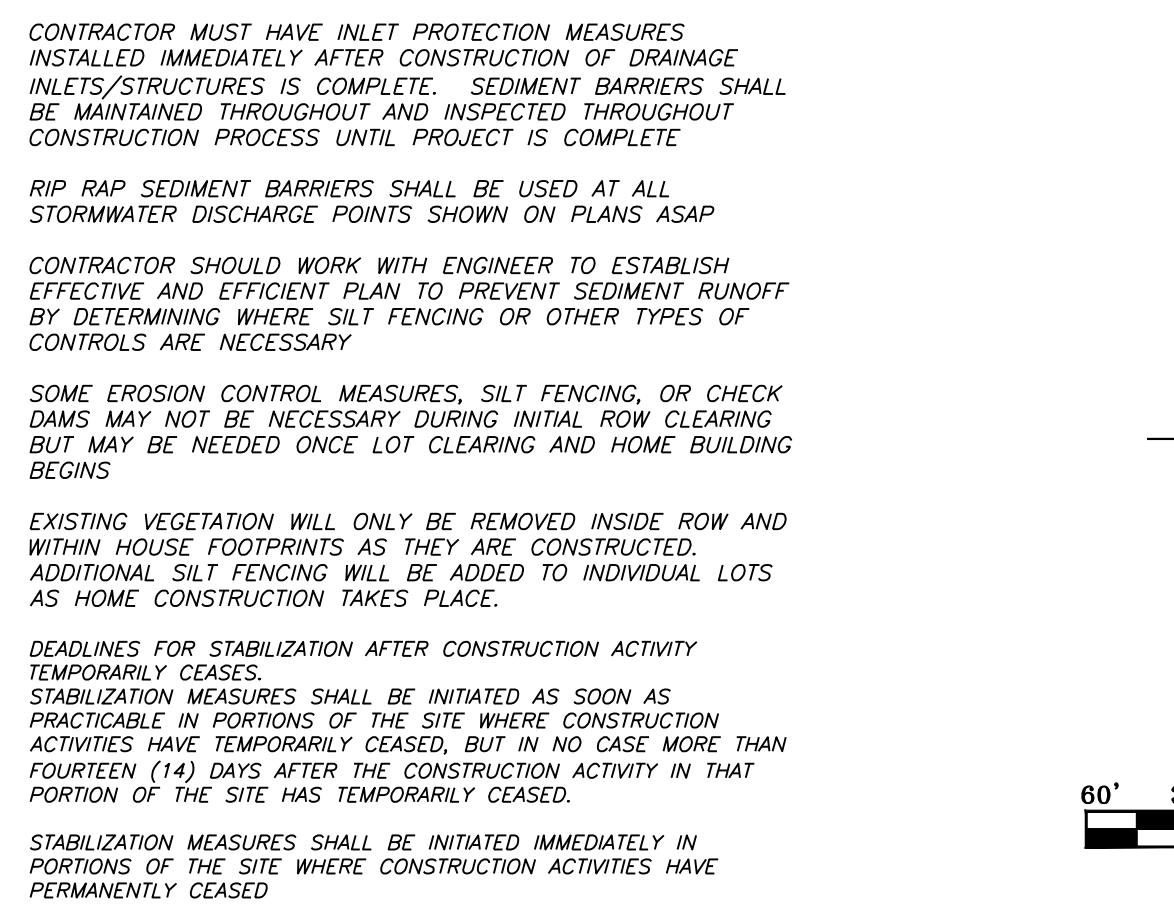
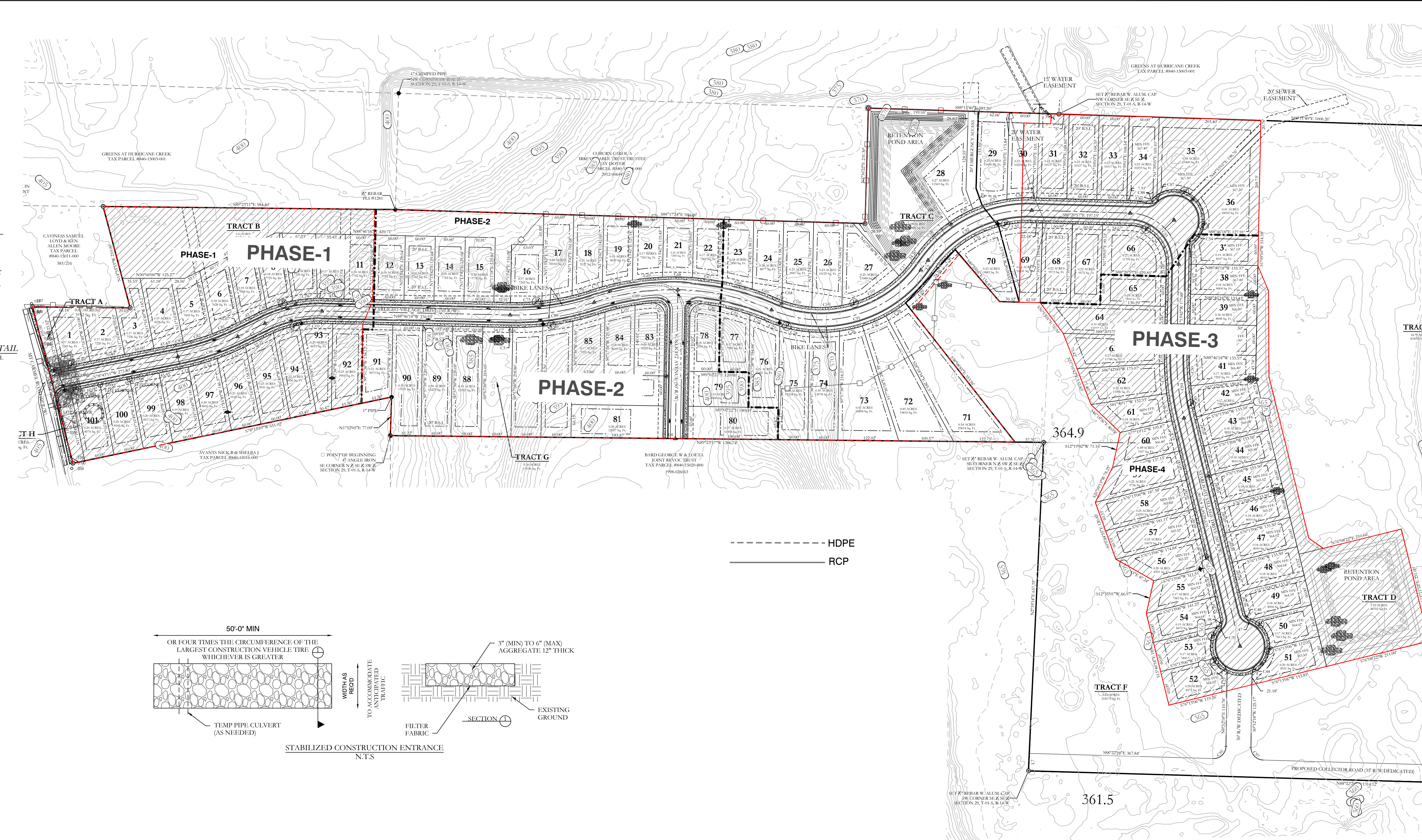
SOME EROSION CONTROL MEASURES, SILT FENCING, OR CHECK DAMS MAY NOT BE NECESSARY DURING INITIAL ROW CLEARING BUT MAY BE NEEDED ONCE LOT CLEARING AND HOME BUILDING BEGINS

EXISTING VEGETATION WILL ONLY BE REMOVED INSIDE ROW AND WITHIN HOUSE FOOTPRINTS AS THEY ARE CONSTRUCTED. ADDITIONAL SILT FENCING WILL BE ADDED TO INDIVIDUAL LOTS AS HOME CONSTRUCTION TAKES PLACE.

DEADLINES FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED.

STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED



HOPE CONSULTING
ENGINEERS - SURVEYORS

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www.hopeconsulting.com

FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

STARLIGHT VILLAGE SUBDIVISION
EROSION CONTROL PLAN
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10/5/2023	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	19-0238
SHEET: C-6.0	SCALE:	

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GNE

3825 Mt Carmel Rd.
Bryant, AR 72022

GarNat Engineering, LLC

P.O. Box 116
Benton, AR 72018

October 10, 2023

Mr. Truett Smith
Bryant Planning Coordinator/Planning Commission Secretary
210 SW 3rd Street
Bryant, AR 72022

Re: Final Plat – Creekside Addition, Phase 2

Dear Mr. Smith:

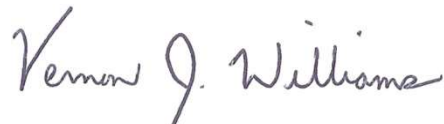
Please allow this letter and following list of enclosures to serve as my application for approval of the referenced final plat. It is my desire that this matter be included on the agenda for your November 13, 2023 City of Bryant Planning Commission meeting. The developer for the project is Diamond Development II, 1599 Lawson Oaks Drive, Little Rock, Arkansas 72210, jbhastingsjr@aol.com, (501) 690-6601.

List of Enclosures

- Bryant Subdivision Checklist
- Certification letter signed by developer and professional engineer
- Final Plat review fees of \$46.00

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,
GarNat Engineering, LLC



Vernon J. Williams, P.E., President

Designing our client's success

P.O. Box 116
Benton, Arkansas 72018
3825 Mt Carmel Road
Bryant, Arkansas 72022
PH: (501) 408-4650
FX: (888) 900-3068
garnatengineering@gmail.com

July 10, 2018

Truett Smith
Planning & Community Development
210 S.W. 3rd Street
Bryant, AR 72022

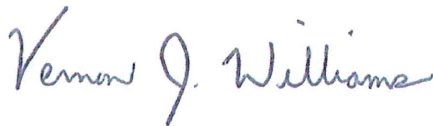
Re: Final Plat Certification
Creekside Addition-Phase 2

Dear Mr. Smith:

Please allow this letter to serve as the certification for the referenced project required by Paragraph 15.12.05.a of the City of Bryant Subdivision Regulations. To that end, we certify that all improvements and installation to the subdivision required for its approval under the terms of the City of Bryant Subdivision Rules and Regulations have been made, added, or installed. Furthermore, these improvements were constructed in accordance with the approved plans and specifications.

If you have questions or need any additional information, please do not hesitate to contact us.

Sincerely,
GarNat Engineering, LLC

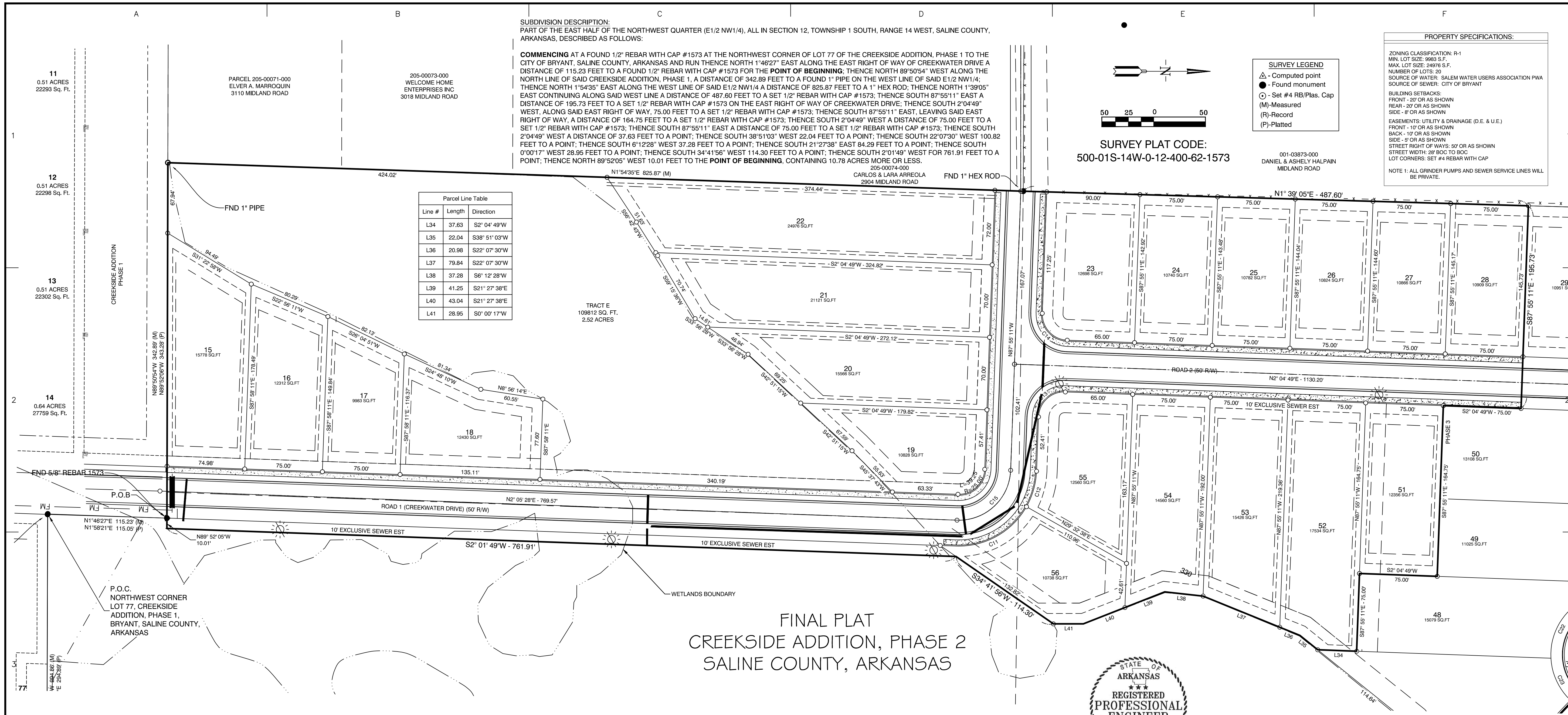


Vernon J. Williams, P.E., President

Diamond Development II

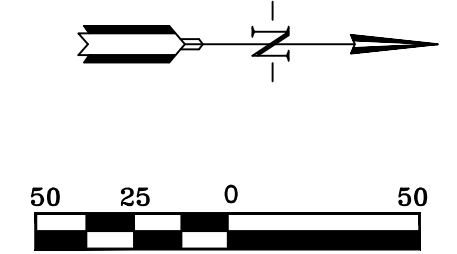


Jim Hastings



SUBDIVISION DESCRIPTION:
PART OF THE EAST HALF OF THE NORTHWEST QUARTER (E1/2 NW1/4), ALL IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 1/2" REBAR WITH CAP #1573 AT THE NORTHWEST CORNER OF LOT 77 OF THE CREEKSIDE ADDITION, PHASE 1 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS AND RUN THENCE NORTH 1°46'27" EAST ALONG THE EAST RIGHT OF WAY OF CREEKWATER DRIVE A DISTANCE OF 115.23 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 FOR THE POINT OF BEGINNING; THENCE NORTH 89°50'54" WEST ALONG THE NORTH LINE OF SAID CREEKSIDE ADDITION, PHASE 1, A DISTANCE OF 342.85 FEET TO A FOUND 1" PIPE ON THE WEST LINE OF SAID E1/2 NW1/4; THENCE NORTH 1°54'35" EAST ALONG THE WEST LINE OF SAID E1/2 NW1/4 A DISTANCE OF 825.87 FEET TO A 1" HEX ROD; THENCE NORTH 1°39'05" EAST CONTINUING ALONG SAID WEST LINE A DISTANCE OF 487.60 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 87°55'11" EAST A DISTANCE OF 195.73 FEET TO A SET 1/2" REBAR WITH CAP #1573 ON THE EAST RIGHT OF WAY OF CREEKWATER DRIVE; THENCE SOUTH 2°04'49" WEST, ALONG SAID EAST RIGHT OF WAY, 75.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 87°55'11" EAST, LEAVING SAID EAST RIGHT OF WAY, A DISTANCE OF 164.75 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 2°04'49" WEST A DISTANCE OF 75.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 87°55'11" EAST A DISTANCE OF 75.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 22°07'30" WEST 100.82 FEET TO A POINT; THENCE SOUTH 67°12'28" WEST 37.28 FEET TO A POINT; THENCE SOUTH 21°27'38" EAST 84.29 FEET TO A POINT; THENCE SOUTH 0°01'17" WEST 28.95 FEET TO A POINT; THENCE SOUTH 34°41'56" WEST 114.30 FEET TO A POINT; THENCE SOUTH 2°01'49" WEST FOR 761.91 FEET TO A POINT; THENCE NORTH 89°52'05" WEST 10.01 FEET TO THE POINT OF BEGINNING, CONTAINING 10.78 ACRES MORE OR LESS.



SURVEY PLAT CODE:
500-01S-14W-0-12-400-62-1573

SURVEY LEGEND
 ▲ - Computed point
 ● - Found monument
 ○ - Set #4 RB/Plas. Cap
 (M) - Measured
 (R) - Record
 (P) - Platted

PROPERTY SPECIFICATIONS:
 ZONING CLASSIFICATION: R-1
 MIN. LOT SIZE: 9883 S.F.
 MAX. LOT SIZE: 24976 S.F.
 NUMBER OF LOTS: 30
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
 SOURCE OF SEWER: CITY OF BRYANT
 BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN
 EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN
 STREET RIGHT OF WAYS: 50' OR AS SHOWN
 STREET WIDTH: 28' 800 TO 800
 LOT CORNERS: SET #4 REBAR WITH CAP
 NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

Parcel Line Table

Line #	Length	Direction
L34	37.63	S2° 04' 49"W
L35	22.04	S38° 51' 03"W
L36	20.98	S22° 07' 30"W
L37	79.84	S22° 07' 30"W
L38	37.28	S6° 12' 28"W
L39	41.25	S21° 27' 38"E
L40	43.04	S21° 27' 38"E
L41	28.95	S0° 00' 17"W

**FINAL PLAT
CREEKSIDE ADDITION, PHASE 2
SALINE COUNTY, ARKANSAS**



PLAT CERTIFICATES:

OWNER: Name: Diamond Development II, Address: 1599 Lawson Oaks Drive, Little Rock, AR 72210

DEVELOPER: Name: Diamond Development II, Address: 1599 Lawson Oaks Drive, Little Rock, AR 72210

CERTIFICATE OF RECORDING: _____

CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____

Date: _____ Signed: _____

Source of Title: SALINE COUNTY, ARKANSAS
Saline County Document# 2014-25641 & 2004-112595

CERTIFICATE OF ENGINEERING ACCURACY:
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____

CERTIFICATE OF SURVEYING ACCURACY:
I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: _____ Signed: _____

CERTIFICATE OF FINAL PLAT APPROVAL:
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: _____ Signed: _____

Curve Table

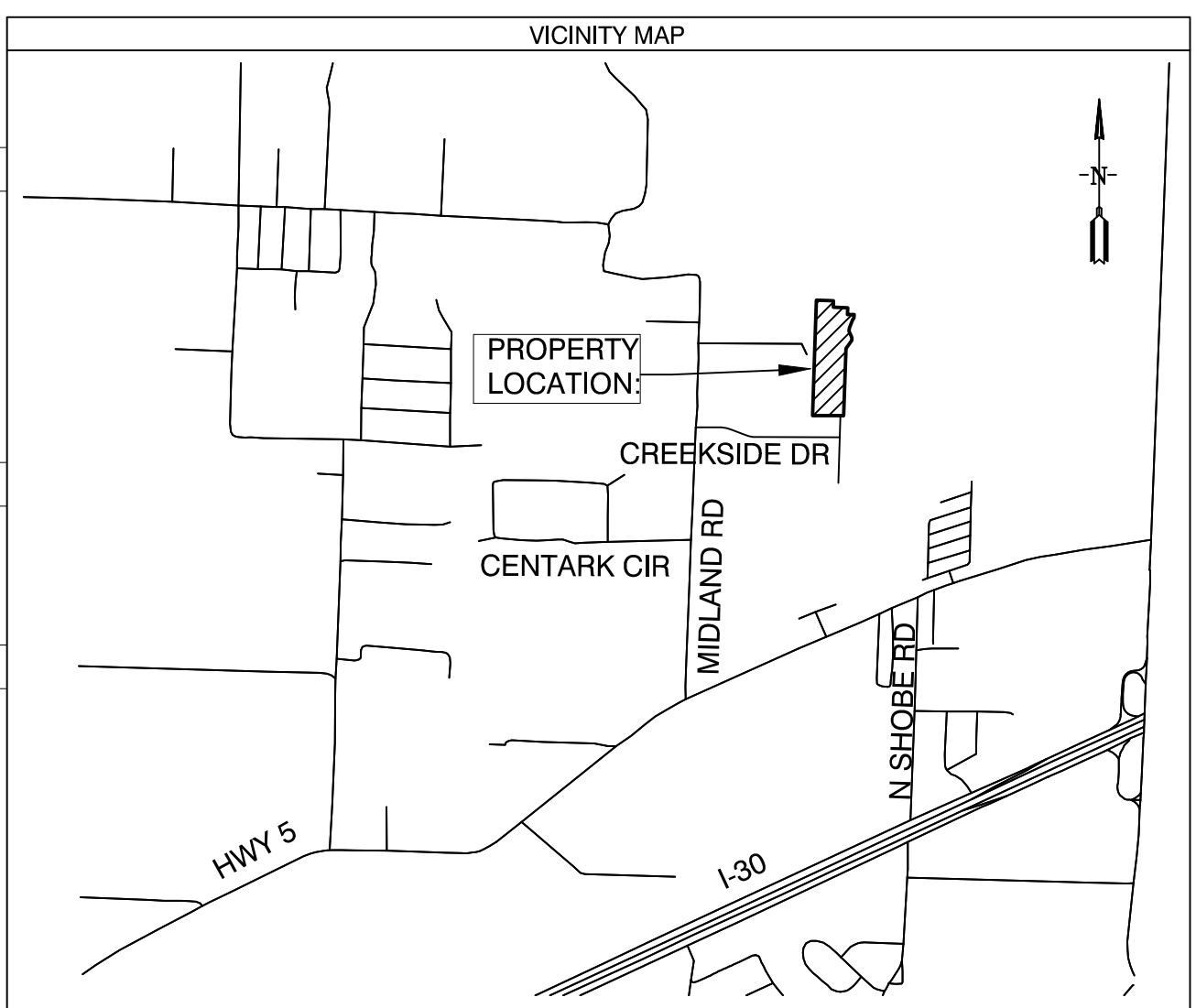
Curve #	Length	Radius	Chord Direction	Chord Length
C11	81.79	75.00	N29° 12' 46"W	77.80
C12	35.95	75.00	N74° 11' 16"W	35.61
C13	39.27	25.00	N42° 55' 11"W	35.36
C14	39.27	25.00	S47° 04' 49"W	35.36
C16	12.25	25.00	S11° 57' 22"E	12.13
C17	48.18	60.00	S2° 59' 15"E	46.90
C18	48.61	60.00	S43° 13' 31"W	47.29
C19	61.35	60.00	N84° 16' 23"W	58.71
C20	123.28	60.00	N3° 52' 51"E	102.71
C21	23.55	25.00	S60° 56' 08"E	22.69
C22	62.02	60.00	S83° 33' 50"E	347.10
C23	45.59	60.00	N65° 03' 27"E	344.88
C24	47.08	60.00	N20° 48' 40"E	45.88
C25	46.87	60.00	N24° 02' 55"W	45.69
C26	48.89	60.00	N69° 46' 22"W	47.55
C27	51.07	60.00	S62° 29' 51"W	49.54
C28	23.55	25.00	S65° 05' 46"W	22.69
C15	78.50	50.00	N42° 56' 41"W	70.68

DOCUMENTS USED:

- SURVEY PLAT OF RECORD RASBERRY SURVEYING 10/23/2014
- DEED OF RECORD 2014 PAGE 25641 WILLIAMS TO DIAMOND DEVELOPMENT II
- DEED OF RECORD 2004 PAGE 112595 THOMAS TO DIAMOND DEVELOPMENT II
- SURVEY PLAT OF RECORD MIDLAND FARM SUBDIVISION BY HENRY N. CONWAY 8/13/1951

BASIS OF BEARINGS:
BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:
BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON OCTOBER 12, 2022.
THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.
THIS PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" AND ZONE "AE" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 5, 2020.



BY: _____ DATE: _____

REVISION: _____

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116 (72018) Ph (501) 408-4650
 3825 Mt. Carmel Road Fx (888) 900-3068
 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION, PHASE 2

PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

REGISTERED PROFESSIONAL SURVEYOR
 STATE OF ARKANSAS
 NO. 1673
 SIGNATURE
 GEORGE P. WOODEN

CONTENTS:
**FINAL PLAT
CREEKSIDE
ADDITION
PHASE 2**

PROJECT NO:
18054

DATE:
OCTOBER 2023

SHEET NO:
1

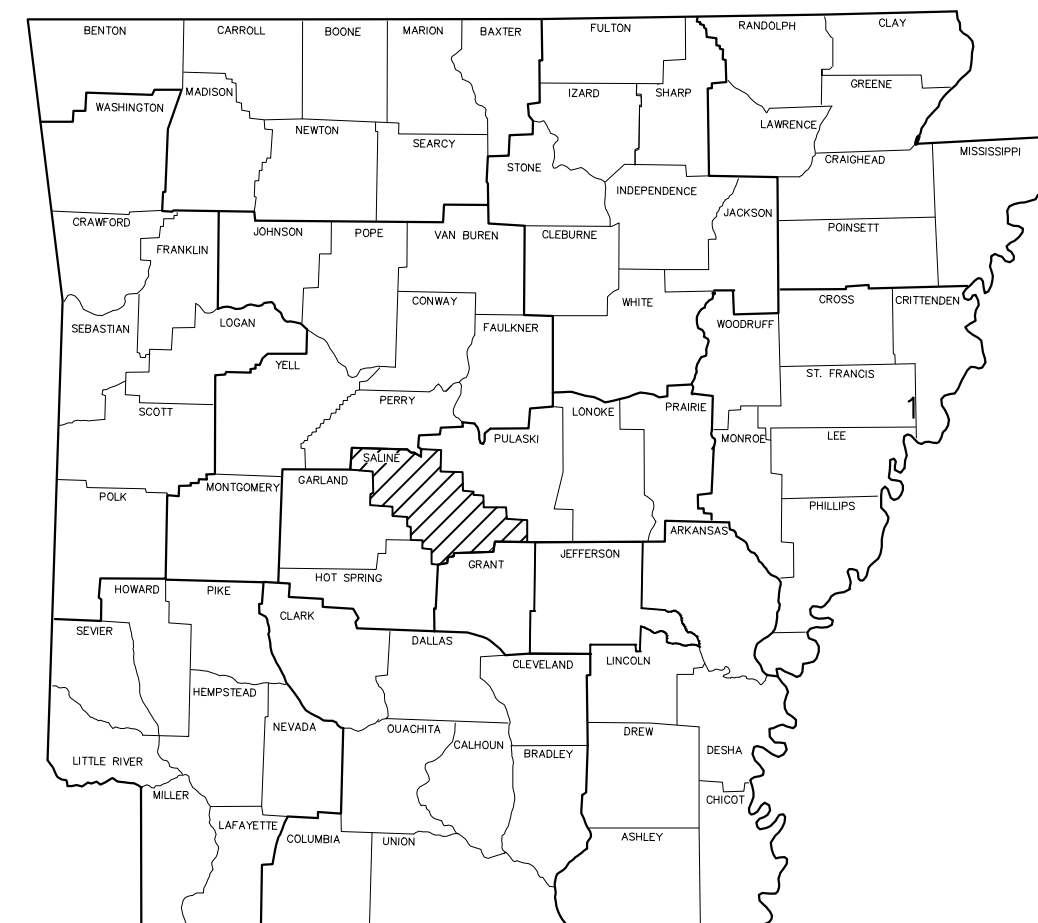
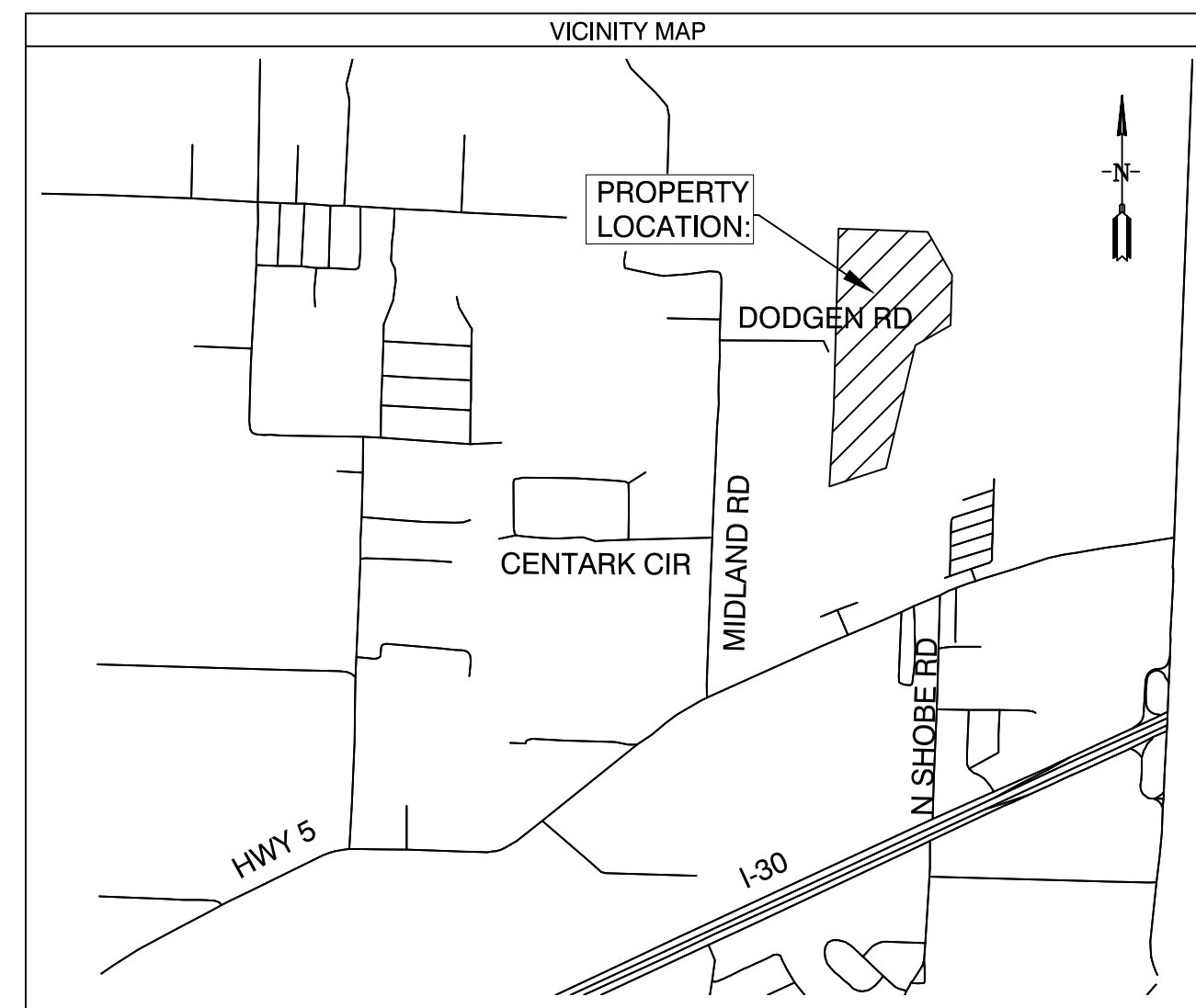
CREEKSIDE ADDITION PHASE 2 BRYANT, ARKANSAS

Prepared by:
GarNat Engineering, LLC

Designing our client's success
www.garnatengineering.com

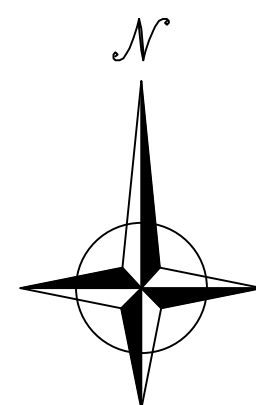
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Bryant, AR 72022
Fx (888) 900-3068

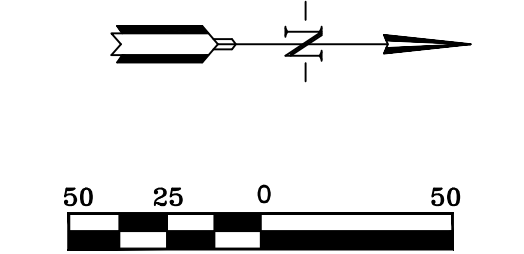
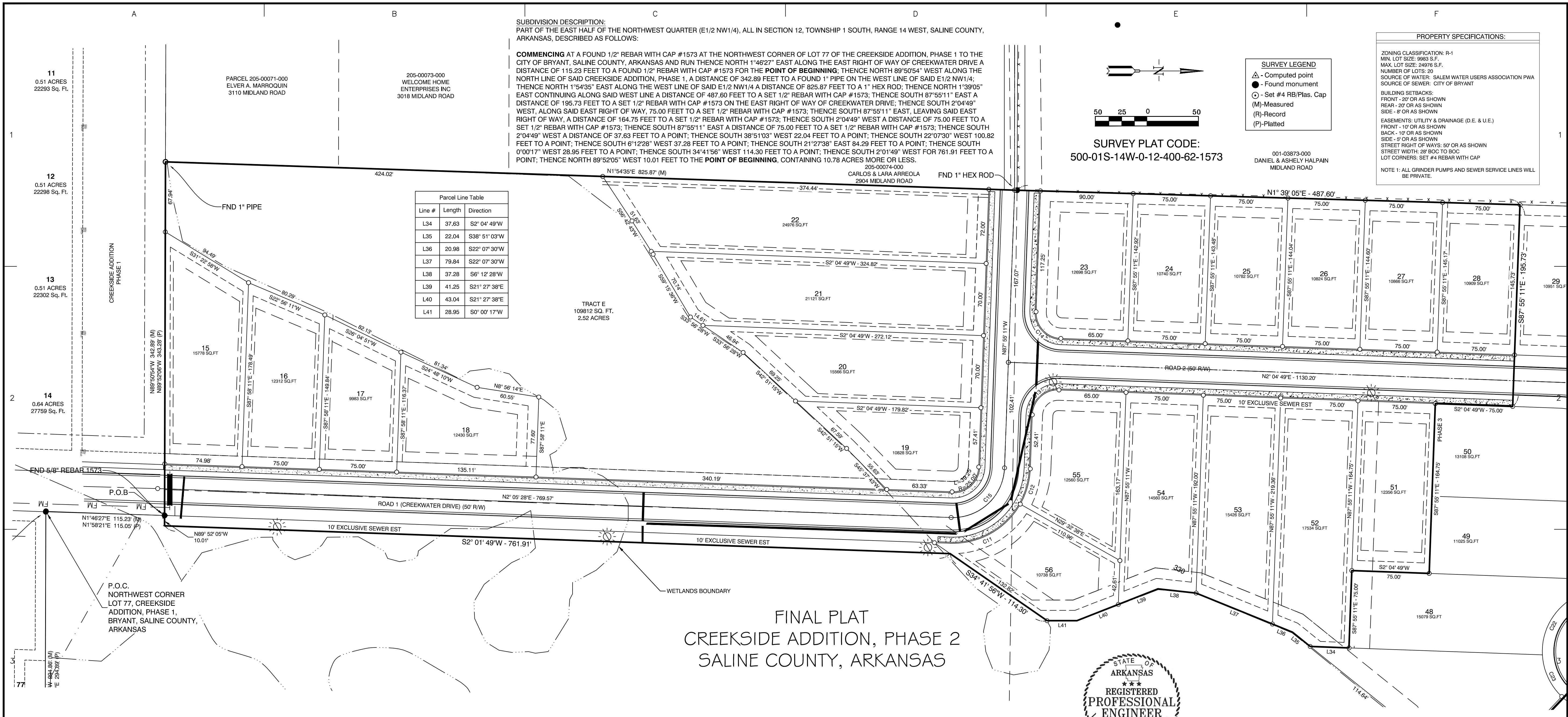


ARKANSAS

- 1 FINAL PLAT PHASE 2
- 5 WATER UTILITY PLAN
- 6 PLAN & PROFILE CREEKWATER DRIVE
- 7 SEWER UTILITY PLAN



RECORD
DRAWING



- SURVEY LEGEND**
- ▲ - Computed point
 - - Found monument
 - - Set #4 RB/Plas. Cap
 - (M) - Measured
 - (R) - Record
 - (P) - Platted

PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1
MIN. LOT SIZE: 9883 S.F.
MAX. LOT SIZE: 24976 S.F.
NUMBER OF LOTS: 20
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
BACK - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 28' 800 TO 800
LOT CORNERS: SET #4 REBAR WITH CAP

NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

SURVEY PLAT CODE:
500-01S-14W-0-12-400-62-1573

001-03873-000
DANIEL & ASHLEY HALPAIN
MIDLAND ROAD

**FINAL PLAT
CREEKSIDE ADDITION, PHASE 2
SALINE COUNTY, ARKANSAS**



PLAT CERTIFICATES:

OWNER: Name: Diamond Development II, Address: 1599 Lawson Oaks Drive, Little Rock, AR 72210

DEVELOPER: Name: Diamond Development II, Address: 1599 Lawson Oaks Drive, Little Rock, AR 72210

CERTIFICATE OF RECORDING:

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____
Jim Hastings
1599 Lawson Oaks Drive, Little Rock, AR 72210

Date: _____ Signed: _____
Michael A. Lake
1599 Lawson Oaks Drive, Little Rock, AR 72210

Source of Title: SALINE COUNTY, ARKANSAS
Saline County Document# 2014-25641 & 2004-112595

CERTIFICATE OF ENGINEERING ACCURACY:
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____
Vernon J. Williams
Registered Professional Engineer
No. 9551, Arkansas

CERTIFICATE OF SURVEYING ACCURACY:
I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: _____ Signed: _____
George P. Wooden
Registered Land Surveyor
No. 1573, Arkansas

CERTIFICATE OF FINAL PLAT APPROVAL:
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: _____ Signed: _____
Rick Johnson, Chairman
Bryant Planning Commission

Curve Table

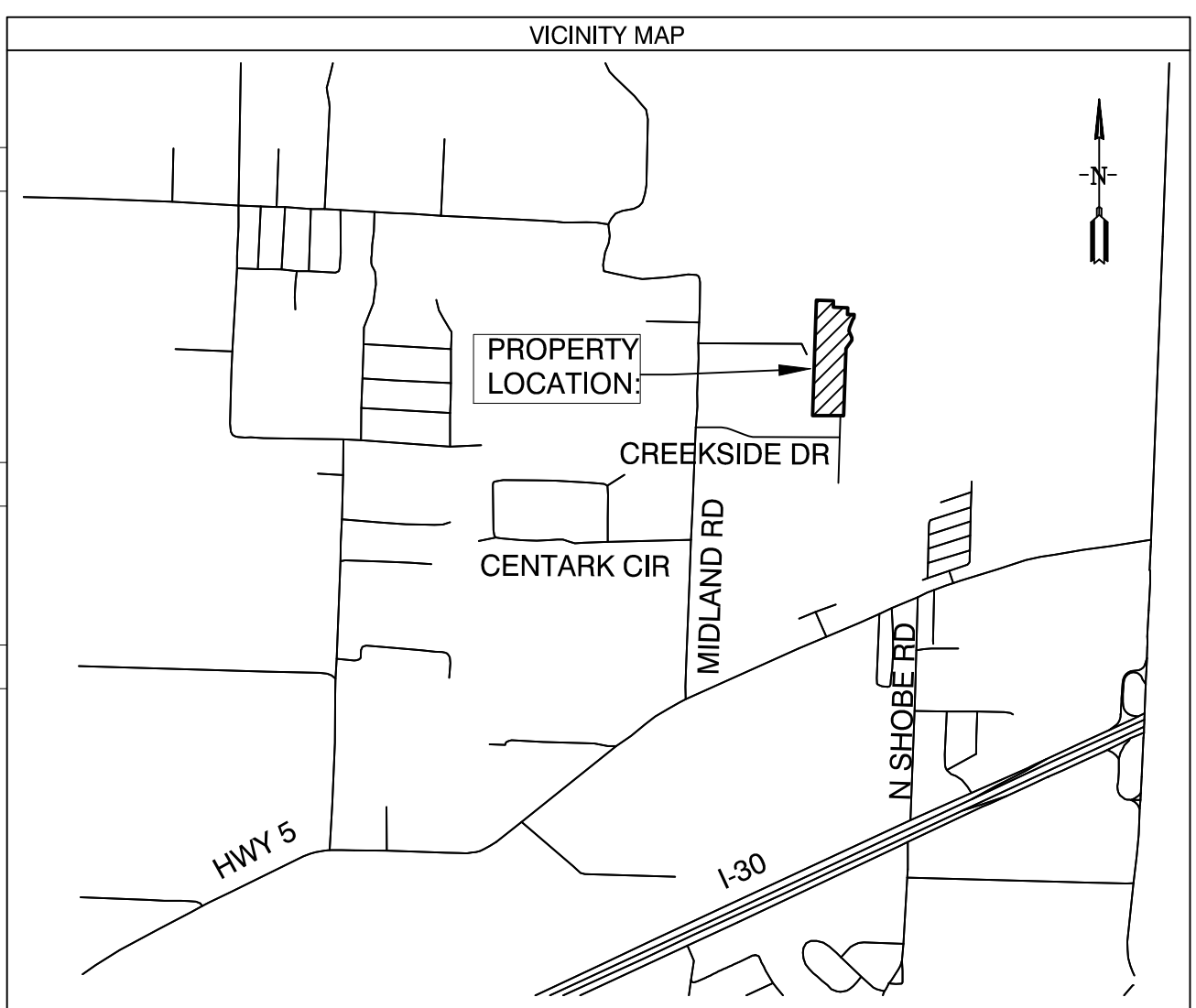
Curve #	Length	Radius	Chord Direction	Chord Length
C11	81.79	75.00	N29° 12' 46"W	77.80
C12	35.95	75.00	N74° 11' 16"W	35.61
C13	39.27	25.00	N42° 55' 11"W	35.36
C14	39.27	25.00	S47° 04' 49"W	35.36
C16	12.25	25.00	S11° 57' 22"E	12.13
C17	48.18	60.00	S2° 59' 15"E	46.90
C18	48.61	60.00	S43° 13' 31"W	47.29
C19	61.35	60.00	N84° 16' 23"W	58.71
C20	123.28	60.00	N3° 52' 51"E	102.71
C21	23.55	25.00	S60° 56' 08"E	22.69
C22	62.02	60.00	S83° 33' 50"E	347.10
C23	45.59	60.00	N65° 03' 27"E	344.88
C24	47.08	60.00	N20° 48' 40"E	45.88
C25	46.87	60.00	N24° 02' 55"W	45.69
C26	48.89	60.00	N69° 46' 22"W	47.55
C27	51.07	60.00	S62° 29' 51"W	49.54
C28	23.55	25.00	S65° 05' 46"W	22.69
C15	78.50	50.00	N42° 56' 41"W	70.68

DOCUMENTS USED:

- SURVEY PLAT OF RECORD RASBERRY SURVEYING 10/23/2014
- DEED OF RECORD 2014 PAGE 25641 WILLIAMS TO DIAMOND DEVELOPMENT II
- DEED OF RECORD 2004 PAGE 112595 THOMAS TO DIAMOND DEVELOPMENT II
- SURVEY PLAT OF RECORD MIDLAND FARM SUBDIVISION BY HENRY N. CONWAY 8/13/1951

BASIS OF BEARINGS:
BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:
BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON OCTOBER 12, 2022.
THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.
THIS PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" AND ZONE "AE" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 5, 2020.



BY: _____ DATE: _____

REVISION: _____

GNE Designing our client's success
GarNat Engineering, LLC
P.O. Box 116 (72018) Ph (501) 408-4650
3825 Mt. Carmel Road Fx (888) 900-3068
Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION, PHASE 2

PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

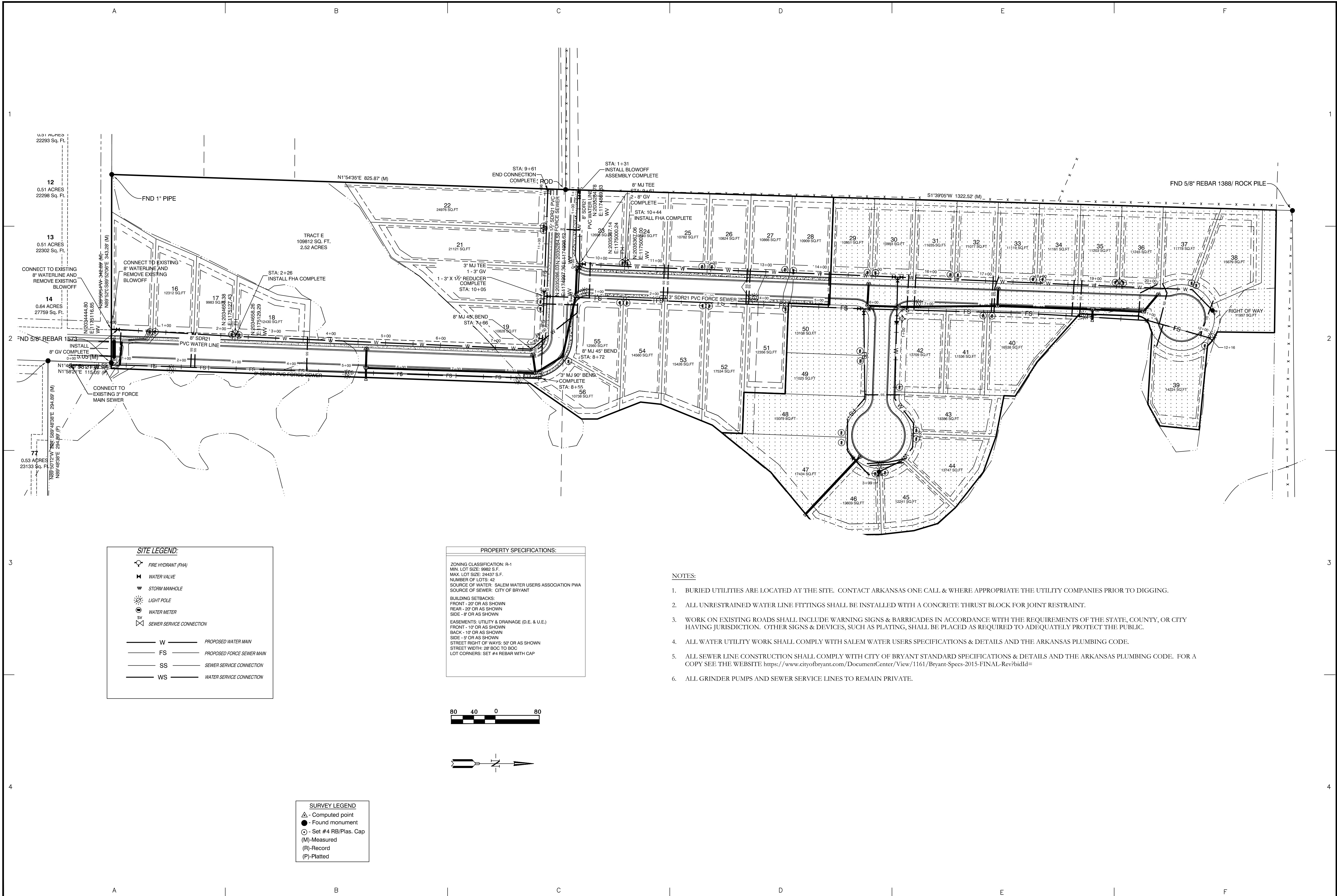
REGISTERED PROFESSIONAL SURVEYOR
STATE OF ARKANSAS
NO. 1673
SIGNATURE
GEORGE P. WOODEN

CONTENTS:
**FINAL PLAT
CREEKSIDE
ADDITION
PHASE 2**

PROJECT NO:
18054

DATE:
OCTOBER 2023

SHEET NO:
1



BY	REVISION
MN	AS PER CITY OF BRYANT
DATE	9/7/22

GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116 (72018) Ph (501) 408-4650
 3825 Mt. Carmel Road Fx (888) 900-3068
 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION PHASE 2
 PART OF THE EAST HALF OF
 THE NORTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

**RECORD
DRAWING**

CONTENTS:
WATER UTILITY PLAN
PROJECT NO: 18054
DATE: AUGUST 2022
SHEET NO: 5

SITE LEGEND:

	FIRE HYDRANT (FHA)
	WATER VALVE
	STORM MANHOLE
	LIGHT POLE
	WATER METER
	SEWER SERVICE CONNECTION
	PROPOSED WATER MAIN
	PROPOSED FORCE SEWER MAIN
	SEWER SERVICE CONNECTION
	WATER SERVICE CONNECTION

PROPERTY SPECIFICATIONS:

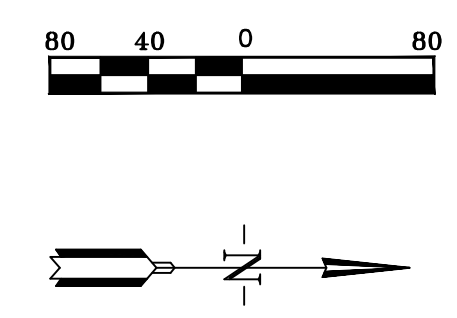
ZONING CLASSIFICATION: R-1
 MIN. LOT SIZE: 9982 S.F.
 MAX. LOT SIZE: 24437 S.F.
 NUMBER OF LOTS: 42
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
 SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 9' OR AS SHOWN

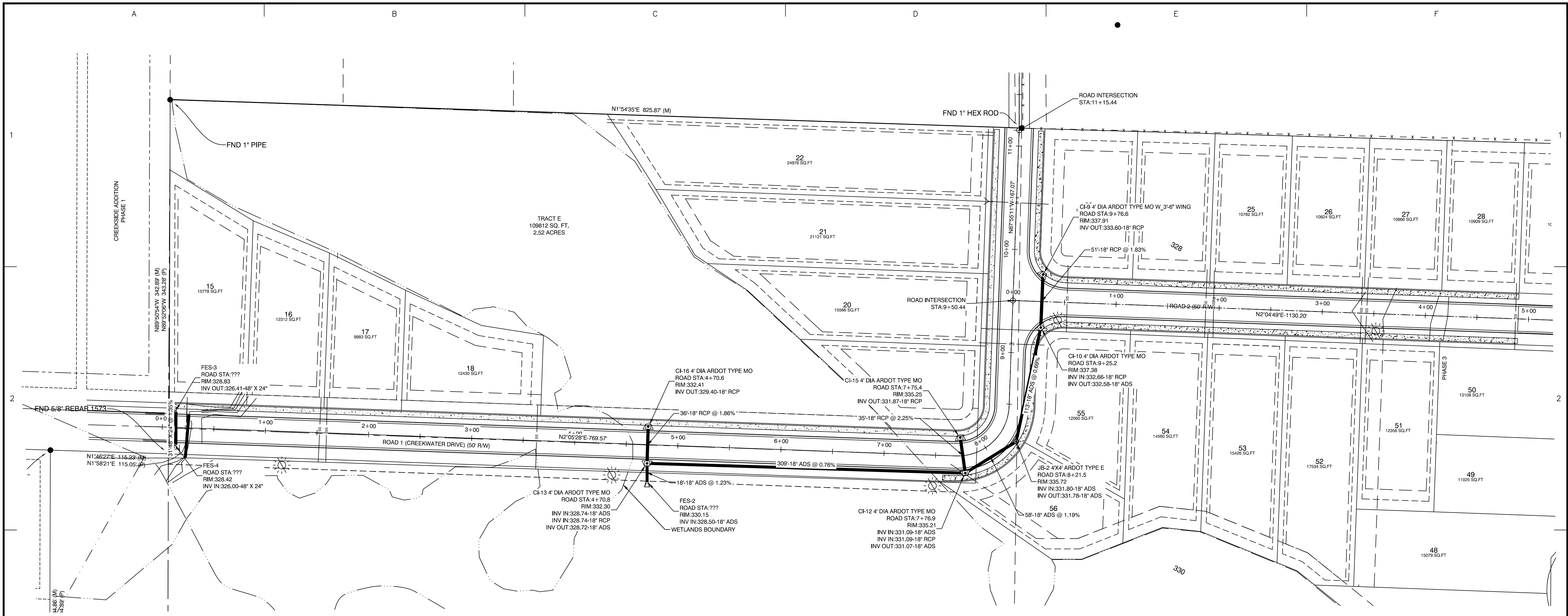
STREET RIGHT OF WAYS: 50' OR AS SHOWN
 STREET WIDTH: 28' BOC TO BOC
 LOT CORNERS: SET #4 REBAR WITH CAP

- NOTES:**
- BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
 - ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
 - WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
 - ALL WATER UTILITY WORK SHALL COMPLY WITH SALEM WATER USERS SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE.
 - ALL SEWER LINE CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE. FOR A COPY SEE THE WEBSITE: <https://www.cityofbryant.com/DocumentCenter/View/1161/Bryant-Specs-2015-FINAL-Rev?bidId=>
 - ALL GRINDER PUMPS AND SEWER SERVICE LINES TO REMAIN PRIVATE.

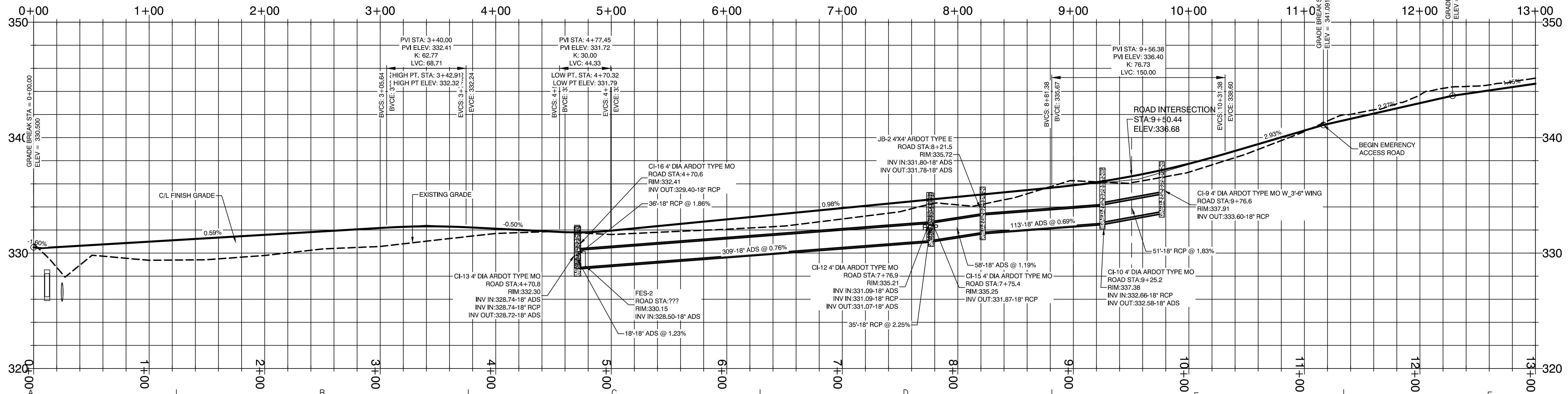
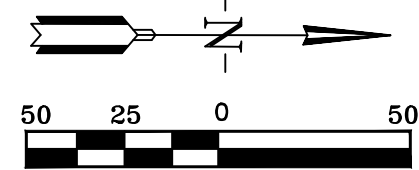


SURVEY LEGEND

	Computed point
	Found monument
	Set #4 RB/Plas. Cap
(M)	Measured
(R)	Record
(P)	Platted



ROAD 1 PROFILE



BY	REVISION	DATE

GNE Designing our client's success
GarNat Engineering, LLC
 Ph (501) 408-4650
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 Bryant, AR 72022
 Fax (888) 900-3068
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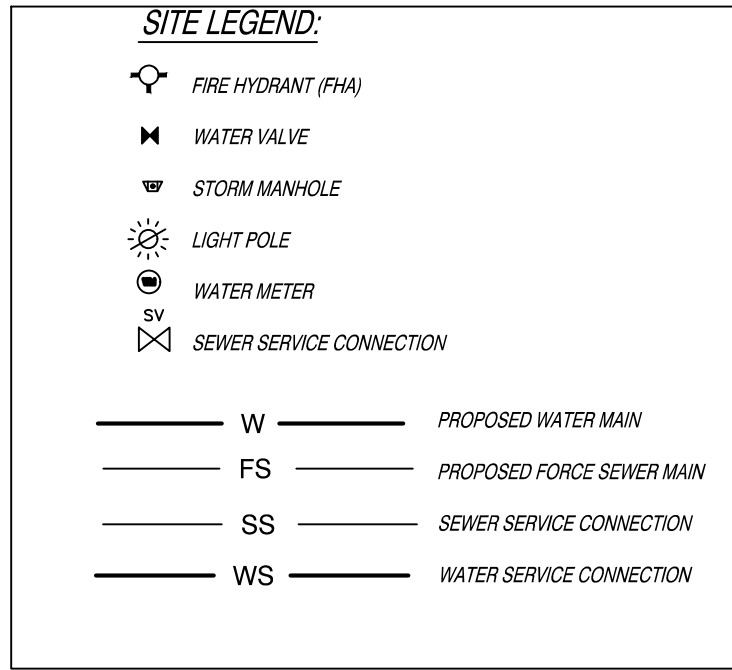
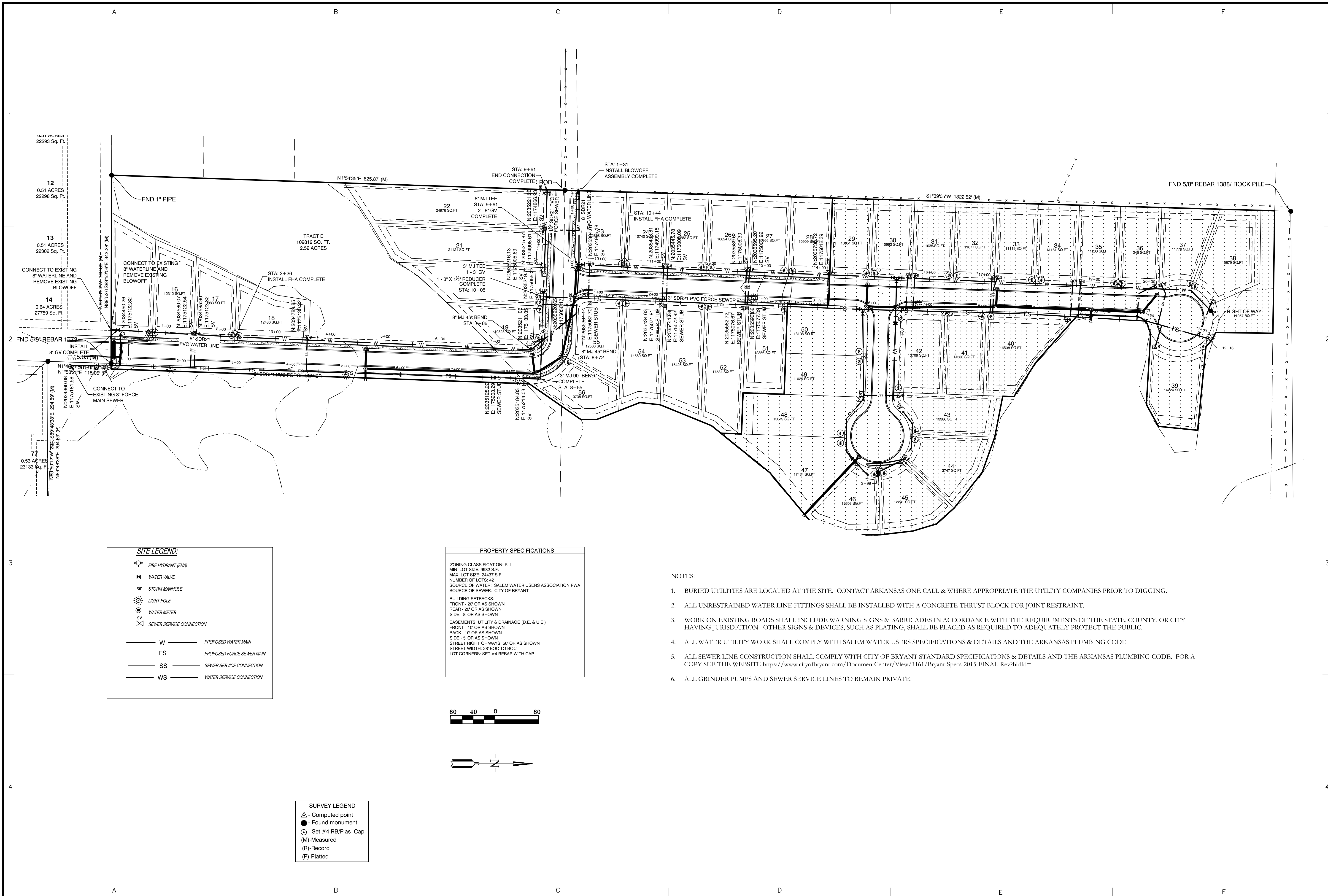
CREEKSIDE ADDITION PHASE 2
 ALL OF LOT 101 AND PART OF LOT 99
 AND PART OF LOT 100, MIDLAND FARM SUBDIVISION
 PART OF THE NE 1/4 NW 1/4, PART OF THE W 1/2 SE
 1/4 NW 1/4 AND THE NW 1/4 NE 1/4 SW 1/4 ALL IN
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

**RECORD
DRAWING**

CONTENTS:
**STREET PLAN/
PROFILE
CREEK WATER
DRIVE**

PROJECT NO:
18054
 DATE:
JUNE 2023
 SHEET NO:

6



PROPERTY SPECIFICATIONS:

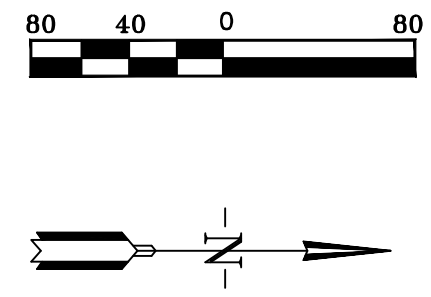
ZONING CLASSIFICATION: R-1
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 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 9' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
 STREET WIDTH: 28' BOC TO BOC
 LOT CORNERS: SET #4 REBAR WITH CAP

- NOTES:**
- BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
 - ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
 - WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
 - ALL WATER UTILITY WORK SHALL COMPLY WITH SALEM WATER USERS SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE.
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 - ALL GRINDER PUMPS AND SEWER SERVICE LINES TO REMAIN PRIVATE.



SURVEY LEGEND

- Computed point
- Found monument
- Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Recorded
- (P) - Platted

BY	REVISION
	AS PER CITY OF BRYANT

DATE
9/7/22

GNE Designing our client's success

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 Bryant, AR 72022

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 Fax (888) 900-3068
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CREEKSIDE ADDITION PHASE 2

PART OF THE EAST HALF OF
 THE NORTHWEST QUARTER
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS

**RECORD
DRAWING**

CONTENTS:

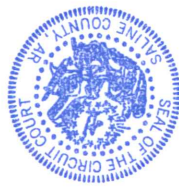
SEWER
UTILITY PLAN

PROJECT NO:
18054

DATE:
AUGUST 2022

SHEET NO:
7

J:\Projects\2021\Projects\18054 - Creekside Addition\Drawings\18054-Creekside-Addition-Built-Creation-Architect-Phase-2-Sheet-07.dwg



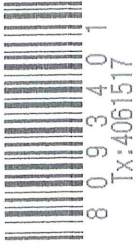
2018-016747

I certify this instrument
was filed on:

08/30/2018 10:49:30 AM
Myka Bono Sample
Saline County Circuit Clerk

Pages: 8
SCHANE

BILL OF ASSURANCE
CREEKSIDE ADDITION - PHASE I
LOTS 1 THROUGH 14 AND LOTS 77 THROUGH 99,
AND TRACT A
CITY OF BRYANT, ARKANSAS



DIAMOND DEVELOPMENT II
TO
THE PUBLIC

KNOW ALL MEN BY THESE PRESENTS:

THAT Diamond Development II, its successor and assigns, hereinafter "Developer", is owner/developer of the following property situated in Saline County, Arkansas:

ALL OF LOT 101 AND PART OF LOT 99 AND PART OF LOT 100, MIDLAND FARM SUBDIVISION, SALINE COUNTY, ARKANSAS, AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER ALL IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 5/8" REBAR AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE N2°00'10"E ALONG THE EAST LINE THEREOF 318.18 FEET TO A SET 1/2" REBAR WITH CAP #1573 FOR THE POINT OF BEGINNING; THENCE N89°48'30"W 318.08 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N89°01'24"W 322.37 FEET TO SET 1/2" REBAR WITH CAP #1573; THENCE N2°32'37"E ALONG THE WEST LINE THEREOF 337.10 FEET TO A FOUND REBAR AND CAP AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE N89°44'08"W ALONG THE SOUTH LINE OF LOT 99, MIDLAND FARM SUBDIVISION FOR 1045.03 FEET TO A FOUND REBAR AND RASBERRY CAP; THENCE N1°54'51"E 330.49 FEET TO A FOUND REBAR AND RASBERRY CAP ON THE SOUTH LINE OF LOT 101, MIDLANDS FARM SUBDIVISION; THENCE N89°52'07"W ALONG THE

SOUTH LINE OF LOT 101, MIDLAND FARM SUBDIVISION 265.53 FEET TO A FOUND 1" PINCH PIPE LOCATED ON THE EAST RIGHT-OF-WAY LINE OF MIDLAND ROAD SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 101, MIDLAND FARM SUBDIVISION; THENCE N2°16'41"E ALONG SAID EAST RIGHT-OF-WAY LINE OF MIDLAND ROAD 165.23 FEET TO A FOUND 1" PINCH PIPE AT THE NORTHWEST CORNER OF LOT 101, MIDLAND FARM SUBDIVISION; THENCE S89°47'35"E ALONG THE NORTH LINE OF LOT 101, MIDLAND FARM SUBDIVISION 1308.65 FEET TO A FOUND 1/2" PIPE AT THE NORTHEAST CORNER OF LOT 101, MIDLAND FARM SUBDIVISION AND ALSO BEING A POINT ON THE WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER; THENCE S89°52'06"E 343.28 FEET TO A SET 1/2" REBAR WITH CAP #1573 ON THE EAST RIGHT-OF-WAY OF CREEKWATER DRIVE; THENCE S1°58'21"W ALONG SAID RIGHT-OF-WAY 115.05 FEET TO A SET 1/2" REBAR WITH CAP #1573, THENCE S89°48'38"E LEAVING SAID RIGHT-OF-WAY 294.89 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER; THENCE S1°52'38"W ALONG SAID EAST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER 385.29 FEET TO A FOUND 1/2" REBAR LOCATED AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE S2°00'33"W ALONG SAID EAST LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER 337.81 FEET TO THE POINT OF BEGINNING, CONTAINING 24.37 ACRES, MORE OR LESS.

WHEREAS, it is deemed desirable that all of the above described property be subdivided into building lots (**LOTS 1 THROUGH 14 AND LOTS 77 THROUGH 79 , CREEKSIDE ADDITION PHASE I**), common areas, tracts and streets as shown on the Plat filed in conjunction with the Bill of Assurance; and,

WHEREAS, the aforementioned property is part of the real property which is subject to a Declaration of Covenants and Restrictions filed on the 30 day of August, 2018, in the Office of the Circuit Clerk and Recorder of Saline County, Arkansas, as Instrument No. 2018-016749, ("The Declaration of Covenants and Restrictions"), which establishes a community with common facilities and amenities known as **CREEKSIDE ADDITION**; and

WHEREAS, it is deemed desirable that all of the above described property be subdivided, held, owned and conveyed subject to the covenants and restrictions contained in The Declaration of Covenants and Restrictions and subject also to the easements, reservations and restrictions shown on the Plat which is filed in conjunction herewith, and subject also to the protective covenants contained in this Bill of Assurance in order to enhance the value of such property.

NOW, THEREFORE, Developer has caused said tract of land to be surveyed by GarNat Engineering, LLC,., registered professional engineers and land surveyors, and plat thereof made, which is attached hereto, showing the subdivision of said tract of land into lots and streets. The lands embraced in said plat shall be forever known as **CREEKSIDE ADDITION** (Phase I), an Addition to the City of Bryant, Saline County, Arkansas. Said Plat bears the signature of the said land surveyor and Developer, and is of record in the Office of the Circuit Clerk and Recorder of Saline County, Arkansas, in Plat Book 2018-016749, and Developer does hereby make this Bill of Assurance applicable to such property.

Developer does hereby certify that it has laid off, platted and subdivided and does hereby lay off, plat and subdivide said real estate as **CREEKSIDE ADDITION**, an Addition to the City of Bryant, Saline County, Arkansas, and each and every deed of conveyance for any lot or tract in said Addition describing the same by the number or numbers as shown on said Plat shall always be deemed a sufficient description thereof. Developer hereby dedicates to the public forever an easement of way on and over the streets as shown on said Plat to be used as public streets.

In addition to the said streets, there are shown on said Plat certain easements, including easements for drainage and utilities. Developer hereby donates and dedicates such utility easements to and for the use of public utilities, the same being, without limiting the generality of the foregoing, electrical power, cable television, gas, telephone, water and sewer, with the right hereby granted to the persons, firms or corporations engaged in the supplying of such utility services to use and occupy such easements and to have free ingress and egress thereon for the installation, maintenance, repair and replacement of such utility services. Any and all other easements and reservations shown on the Plat, such as easements and reservations for entry facilities, signs, landscaping, ingress and egress, fencing, and the like, are also hereby dedicated and donated to and for the use of the Developer, Creekside Property Owners Association, Inc. upon its formation in accordance with The Declaration of Covenants and Restrictions), and its members.

The filing of the Plat and Bill of Assurance for record in the Office of the Circuit Clerk and Recorder of Saline County, Arkansas, shall be valid and complete delivery and dedication of the streets and easements shown on said Plat, and the streets in said **CREEKSIDE ADDITION** shall be known by the names designated on said Plat. Said land herein platted and any interest therein shall be held, owned and conveyed subject to and in conformity with the covenants of The Declaration of Covenants and Restrictions establishing **CREEKSIDE ADDITION**. In addition, the following covenants and restrictions shall also apply, subject to being amended or cancelled as hereinafter provided, and shall be and remain in full force and effect until December 31, 2038, unless extended.

1. **LOT AREA AND WIDTH**. No residence shall be erected, altered or permitted to remain on any lot covered by this Bill of Assurance and shown on the Plat referenced herein if the area of the lot is less than 7,200 square feet or if the width thereof at the front building line is less than sixty feet (60'). No lot shall be

subdivided without written consent of Developer and the Bryant Planning Commission.

2. **LAND USE, BUILDING TYPE, AND DWELLING SIZE.** All lots shall be used for residential purposes only. No dwelling shall be erected, altered, placed or permitted to remain on any lot other than:
 - a. One detached, site-built, single-family residential structure with a minimum main floor area, exclusive of porches, patios, carports, garages and breezeways of 2,000 square feet for a single-level home and 2,400 square feet for a two-story home.
 - b. Foundations of all residential dwellings must be veneered with brick or rock.
 - c. Each residence must include, at minimum, a double enclosed garage or a separate detached garage to house, at minimum, two standard-sized, passenger motor vehicles.
 - d. All residential dwellings must have a minimum 8/12 roof pitch on at least 80% of the total roofline.
 - e. No lot as shown on the attached plat shall be subdivided, but one or more contiguous lots may be combined and utilized as a single lot.
 - f. Garages and other outbuildings are permitted, but must clearly be incidental to residential use of said land, and shall only be for use by the occupants of the residence to which they are appurtenant. Garages and outbuildings must be approved by the Architectural Control Committee and have an architectural style that is complementary to the dwelling. No garage or outbuilding shall be used for residential dwelling purposes. All outbuildings shall be constructed to the rear of any residence and must be kept orderly and in good repair.
 - g. No lot shall be used for commercial purposes; however, such restriction shall not prohibit the temporary maintenance of model homes for promotional purposes by Developer or other professional builders.

No development shall take place in the areas on the plat marked "Undisturbed Area." Nor shall the areas so marked be disturbed or altered in any manner, but must remain in their natural state.

3. **ARCHITECTURAL CONTROL.** No construction or clearing shall be undertaken on any lot in **CREEKSIDE ADDITION** unless and until all plans, elevations, and materials for such construction shall be first submitted to the Architectural Control Committee for consideration and the Architectural Control Committee has approved such plans, elevations, and materials. The process of submission and approval shall be undertaken in accordance with the Declarations of Covenants and Restrictions and the Architectural Control Guidelines in effect from time to time. The Architectural Control Committee may, in its sole discretion, disapprove of any submissions, make suggested revisions for resubmittal, or take other actions in an effort to develop

CREEKSIDE ADDITION as an integrated subdivision consisting of residences of similar size and compatible architectural style so as to create a neighborhood with common and complementary architectural elements. In the event an Architectural Control Committee has not been formed, the Developer shall assume the role of the Architectural Control Committee until such time as such committee is formed.

4. **BUILDING LOCATION.** No building shall be constructed on any lot nearer to the street than twenty-five feet (25') or as shown by the building line and setback lines shown on said plat. No residential structure shall be located nearer to an interior lot line than eight feet (8') in width. For purposes of this restriction, eaves, steps and open porches shall not be considered a part of the dwelling. Residential structures shall be no closer than twenty feet (20') to the rear lot line. The Architectural Control Committee may, in its sole discretion, waive or adjust these requirements on a case by case basis upon written request before any construction is undertaken, subject in all events to the receipt of a waiver from the governmental authority with jurisdiction.
5. **COMMON AREAS.** Shown on the plat filed in conjunction with this Bill of Assurance is an area noted as Tract A, designated as a detention facility / park area reserved for the exclusive use and enjoyment of the owners of property in **CREEKSIDE ADDITION**. Unless specific easements for access, ingress and egress are shown on the recorded plat, no common area may be used for access, ingress, egress, parking, storage of materials, dumping of debris, excavating, filling, or for any other use inconsistent with this paragraph.
6. **MAINTENANCE OF COMMON AREAS.** All common areas in **CREEKSIDE ADDITION** and improvements therein, including greenbelts, islands, medians, and tracts of land set aside and reserved for drainage, buffer, park and aesthetic purposes shall be maintained by Creekside Property Owners Association, Inc. upon its formation and at its sole cost. All such areas shall be dedicated, donated, or sold by the Developer to the association and will be reserved for the use and benefit of owners of lots within **CREEKSIDE ADDITION**.
7. **PROPERTY LINES AND BOUNDARIES.** Iron pins have been set on all lot comers and points of curve, and all curve data shown on said Plat referenced herein is centerline curve data. In the event of minor discrepancies between the dimensions or distances shown on the Plat and the actual dimensions or distances as disclosed by the established pins, the original pins as set shall control.
8. **SIGN, FENCE AND LANDSCAPE EASEMENT.** Sign and landscape easements may be reserved by the Developer on portions of lots or land in **CREEKSIDE ADDITION**. These easements permit the construction, maintenance and upkeep of permanent subdivision identification signs, fountains, fences and associated landscaping, berms and rocks, and are reserved for the use and benefit of Developer for as long as Developer holds title to any land or lots in **CREEKSIDE ADDITION** or in contiguous lands subsequently platted as **CREEKSIDE ADDITION**. Developer may assign these easements to any organization representing owners of lots in **CREEKSIDE ADDITION** at any time during the period

Developer holds title to any land or lots in **CREEKSIDE ADDITION**. If no assignment takes place during such period, or if Developer releases an easement, the easement shall cease to exist. The developer or its assigns retain the right to construct, maintain and keep temporary or permanent identification signs or interpretive signs on any Tract or common area in **CREEKSIDE ADDITION**.

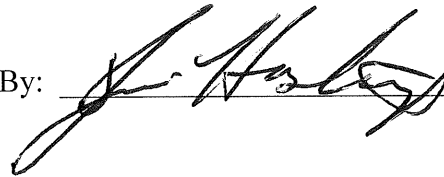
9. **DRIVEWAYS.** All driveways shall be paved with concrete within 45 days from completion of the residential structure, or the move-in date (whichever occurs first). No curb cuts shall be allowed for driveways.
10. **SIDEWALKS.** It shall be the responsibility of all owners of lots to construct a five-foot (5') wide sidewalk, approximately sixty inches (60") from the back of curb along all street frontage, as shown on the plat, in compliance with all requirements of the Americans With Disabilities Act (ADA) and any requirement of the City of Bryant.
11. **FENCES.** All fencing placed, erected or altered on any lot, interior lot lines, and rear lot lines must be approved by the Developer or Architectural Control Committee prior to construction.
12. **MAILBOXES.** Subdivision will be served by community mailboxes. No individual mailboxes are allowed, per U.S. Postal Code.
13. **SIGNS.** Except for subdivision identification signs, no sign of any kind shall be placed or permitted to remain on any part of said property, except one professional sign of not more than five (5) square feet advertising the property for sale or rent, or signs used by the Developer or a builder to advertise property during the construction and sales period, or otherwise with reference to model homes.
14. **COMMENCEMENT OF CONSTRUCTION.** A property owner must start construction of an approved dwelling within a period of one (1) year from date of lot purchase, unless an extension is approved by the Architectural Control Committee. Lots must be kept in a well-maintained, safe, clean and attractive condition until construction commences.
15. **COMPLETION OF CONSTRUCTION.** Any dwelling must be completed in its entirety within a period of one (1) year from date such construction is commenced.
16. **PUBLIC UTILITIES.** All dwellings and other structures erected upon any lot as a residential dwelling shall be served by all public utilities, including public sewer. E-1 or equivalent grinder pump stations and service lines to the lateral must be installed on individual lots by a professional contractor and inspected/approved by the City of Bryant as determined by the city's policies and procedures. Stations are to be sealed to prevent water intrusion. Top of station shall be constructed one foot (1') below finish floor. Purchase, installation, and continued maintenance of the grinder pump station and all service lines to the lateral are the responsibility of the lot owner.

17. **OWNER RESPONSIBILITY.** All property owners shall ensure that any contractor performing services for the property owner shall comply with the provisions of this Bill of Assurance.
18. **ENFORCEMENT.** In the event of any attempt to violate any of the covenants or restrictions contained herein before the expiration date hereof, it shall be lawful for **CREEKSIDE** Community Association, Inc., any appropriate governmental authority, the Developer, or any person or persons owning a lot or lots in **CREEKSIDE ADDITION** to initiate compliance procedures pursuant to the terms of The Declaration of Covenants and Restrictions, or to pursue any other lawful remedy.
19. **AMENDMENT.** This Bill of Assurance may be cancelled, amended or extended in accordance with the terms set forth in The Declaration of Covenants and Restrictions. No amendment shall be effective unless and until duly enacted pursuant to the terms of The Declaration of Covenants and Restrictions and properly filed for record in the Office of the Circuit Clerk and Recorder for Saline County, Arkansas.
20. **SEVERABILITY.** The invalidation of any one of these covenants or restrictions by any court of competent jurisdiction or otherwise shall in no way affect any of the other provisions, which shall be independent and which shall remain in full force and effect.

Executed this 29th day of August, 2018.

DIAMOND DEVELOPMENT II

By: _____



ACKNOWLEDGMENT

STATE OF ARKANSAS

COUNTY OF SALINE

On this 29th day of August, 2018, before me, a notary public, duly commissioned, qualified and acting within and for the county and state aforesaid, appeared in person Jim Hastings, to me well known, who stated that he was president of Hometime Builders, Inc., a partner of Diamond Development II, and was duly authorized in his capacity to execute the foregoing instrument for and in the name and on behalf of said partnership, and further stated and acknowledged that he had so signed, executed and delivered said foregoing instrument for the consideration, uses, and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal the day and year aforesaid.

Susan R Goldman
Notary Public

My Commission Expires: 11/7/2025



Bryant Planning Commission

Subdivision Checklist

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

City of Bryant Subdivision Checklist

Subdivision/Project Name CREEKSIDE ADDITION PHASE 2
Contact Person VERNON WILLIAMS Phone (501) 408-4650
Mailing Address P.O. BOX 116 BENTON, AR 72018
3825 MT CARMEL ROAD BRYANT, AR
72022

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning _____
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
 - 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

CREEKSIDE ADDITION-PHASE 2 George P. Workman
 Name of Subdivision Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

[Signature]
 Owner Signature

Vernon J. Williams
 Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____

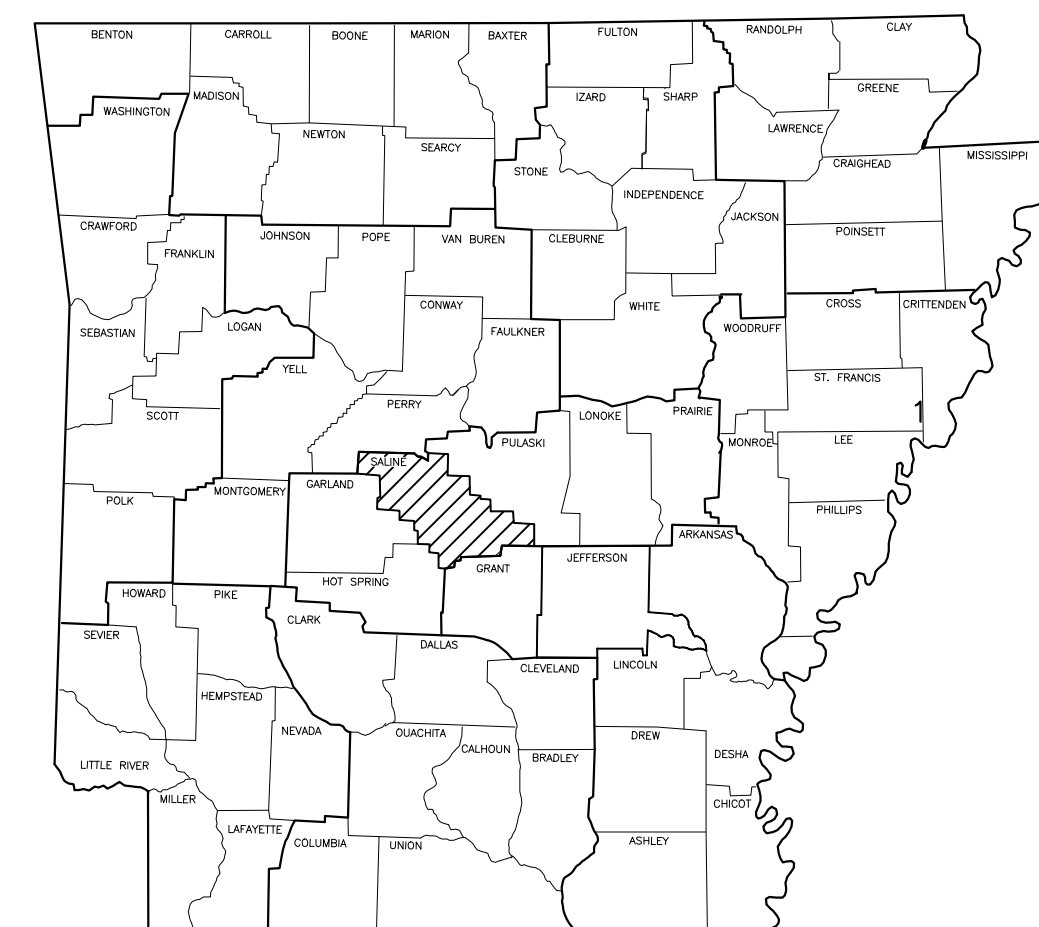
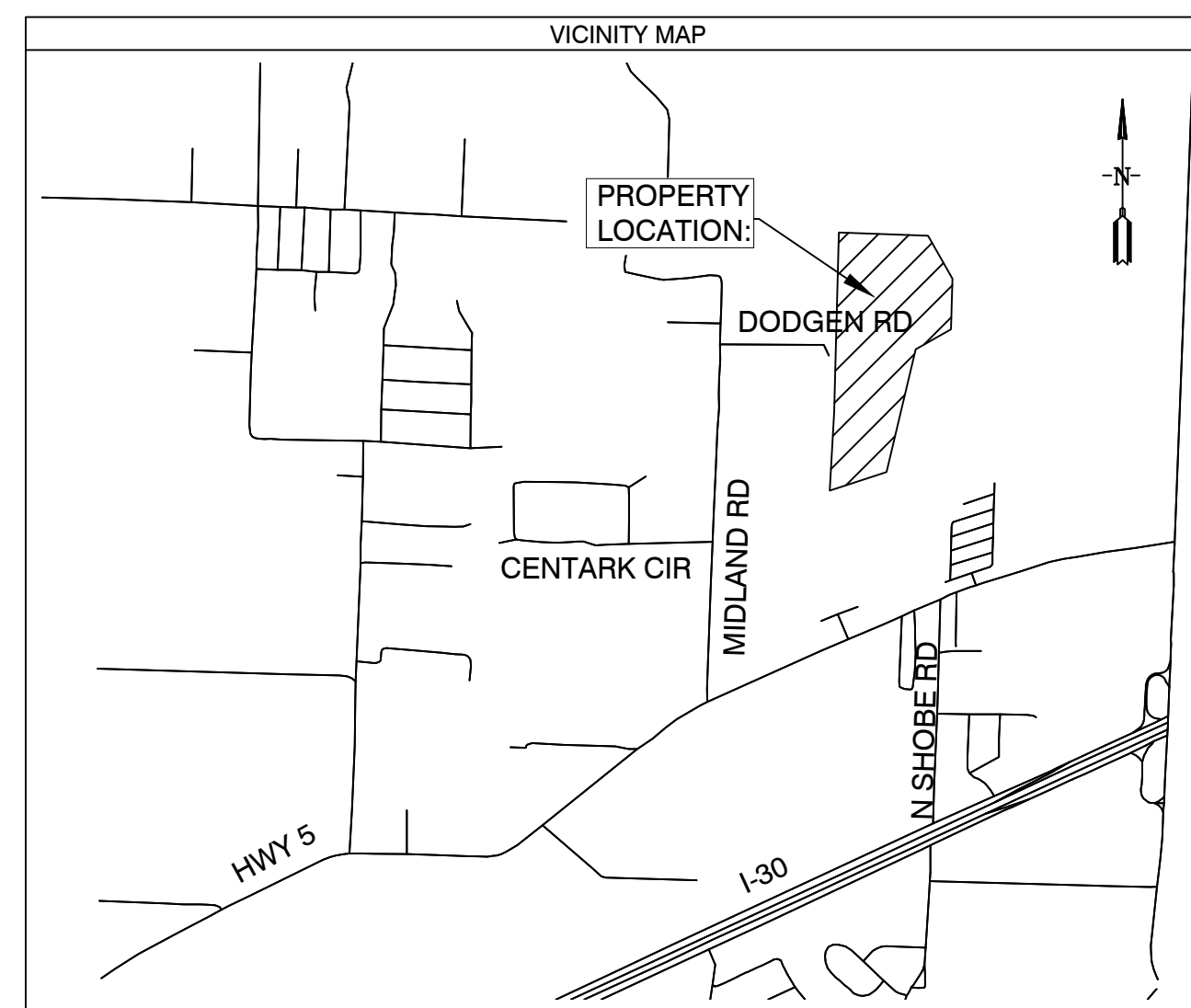
CREEKSIDE SUBDIVISION PHASE 2 BRYANT, ARKANSAS

Prepared by:
GarNat Engineering, LLC

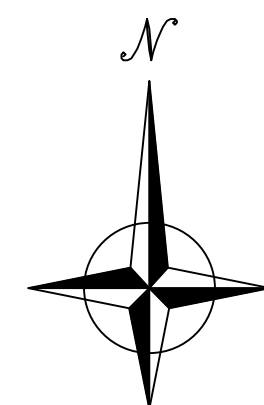
Designing our client's success
www.garnatengineering.com

P.O. Box 116
Benton, AR 72018
Ph (501) 408-4650

3825 Mt Carmel Road
Bryant, AR 72022
Fx (888) 900-3068

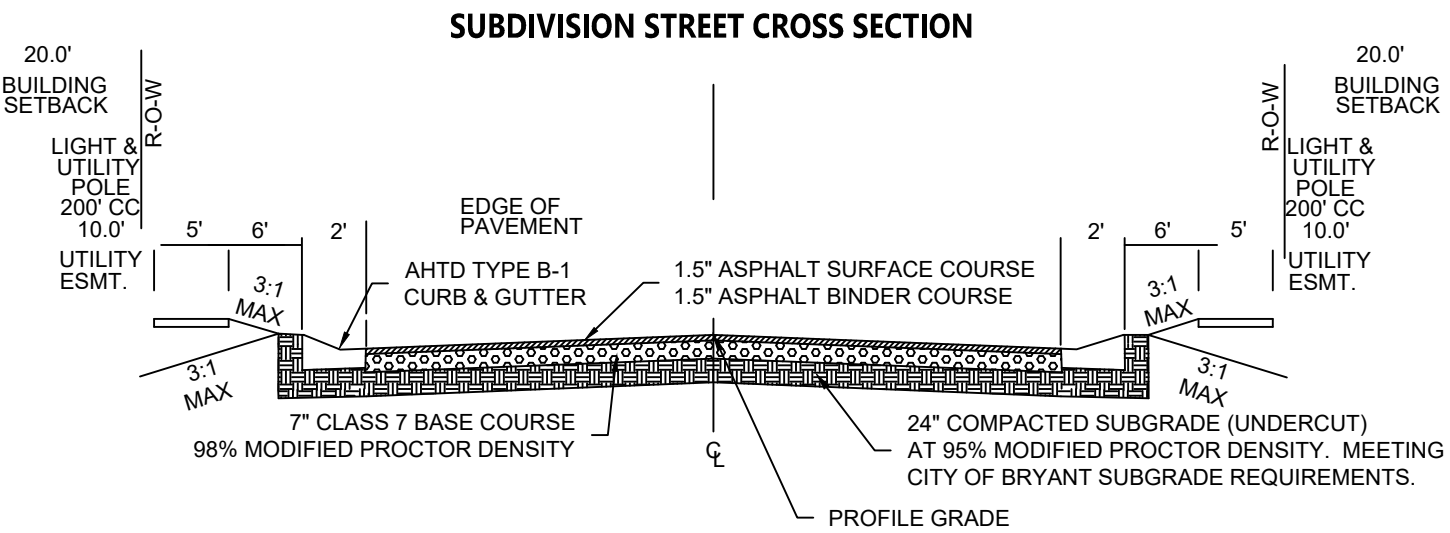
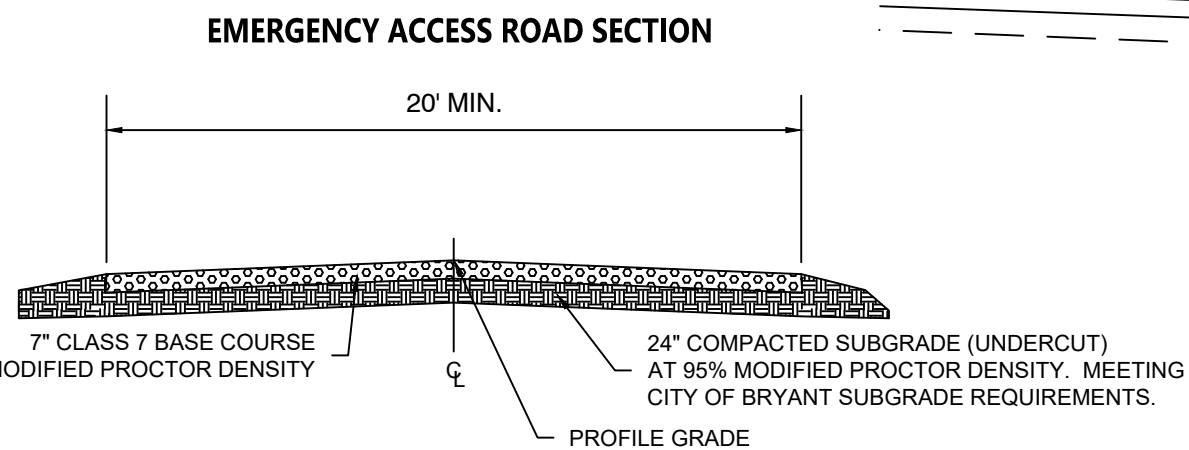
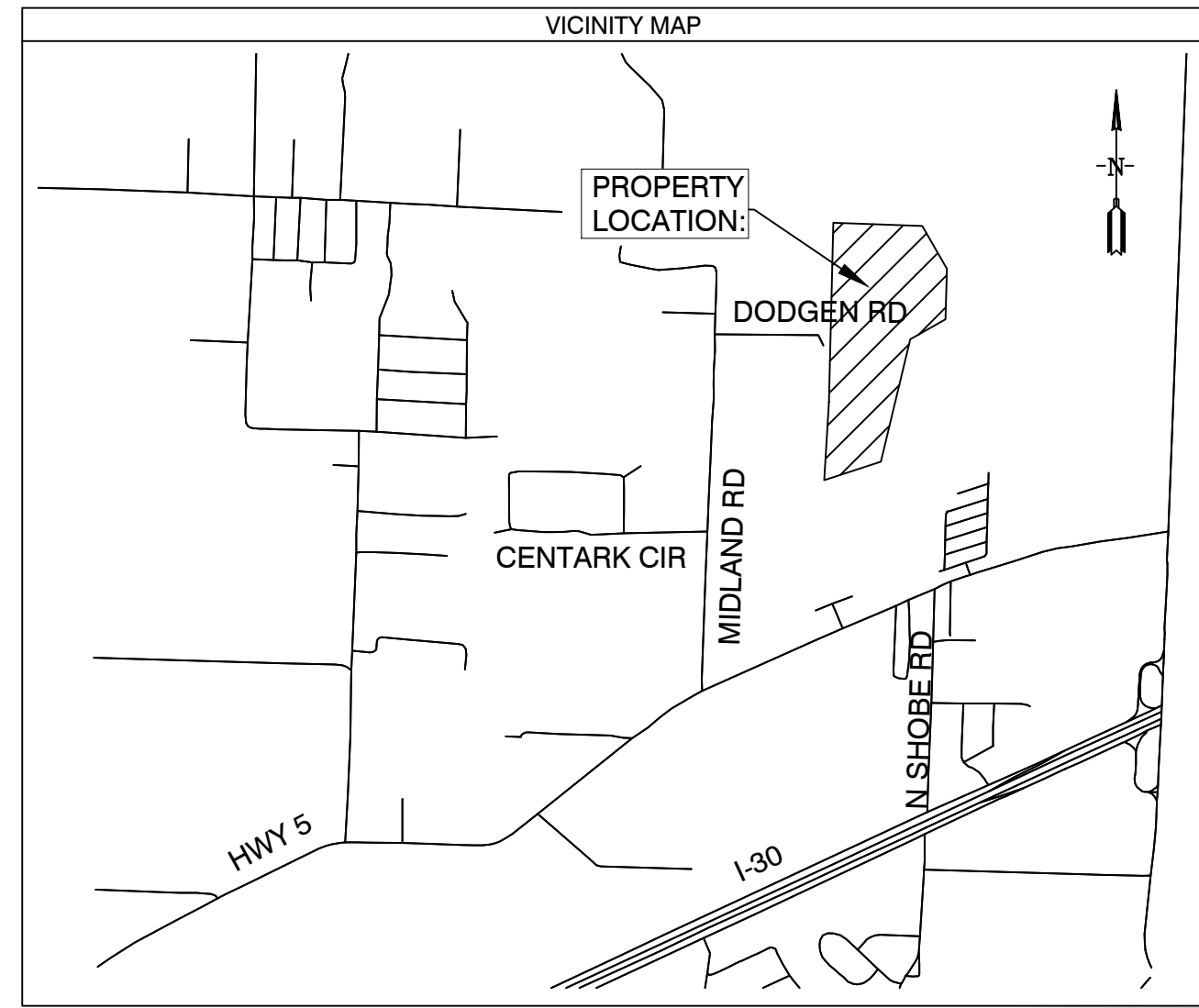


ARKANSAS



08-24-2022

- 1 PRELIMINARY PLAT OVERALL
- 2 PRELIMINARY PLAT SOUTH HALF
- 3 PRELIMINARY PLAT NORTH HALF
- 4 DRAINAGE PLAN
- 5 ROAD PROFILES
- 6 DRAINAGE PROFILES
- 7 OVER SEWER & WATER PLANS
- 8 OULET STRUCTURE DETAILS
9. EROSION CONTROL PLAN



Line #	Length	Direction
L1	26.63	S45° 37' 43"W
L2	67.59	S42° 51' 15"W
L3	69.25	S42° 51' 15"W
L4	61.55	S33° 56' 28"W
L5	74.18	S59° 11' 07"W
L6	85.44	S57° 05' 38"W
L7	45.43	S61° 02' 07"W
L8	20.44	S2° 04' 49"W
L9	75.92	S78° 58' 48"E
L10	68.17	S70° 19' 12"E
L11	82.17	S51° 58' 45"E
L12	43.85	S41° 47' 58"E
L13	44.83	S16° 41' 28"E
L14	59.73	S6° 28' 58"E
L15	61.47	S0° 55' 57"E
L16	67.51	S19° 41' 07"W
L17	118.71	S50° 16' 07"W
L18	136.69	S38° 51' 03"W
L19	100.82	S22° 07' 30"W
L20	37.28	S6° 12' 28"W

Line #	Length	Direction
L21	41.25	S21° 27' 38"E
L22	43.04	S21° 27' 38"E
L23	28.95	S0° 00' 17"W
L24	114.30	S34° 41' 56"W
L25	10.01	N89° 52' 05"W

Curve #	Length	Radius	Chord Direction	Chord Length
C1	31.03	70.00	S55° 21' 59"E	30.78
C2	29.41	70.00	S62° 56' 29"W	29.19
C3	19.08	15.00	S38° 31' 41"W	17.82

PRELIMINARY PLAT CREEKSIDE ADDITION PHASE 2 SALINE COUNTY, ARKANSAS

PROPERTY DESCRIPTION:
PART OF THE EAST HALF OF THE NORTHWEST QUARTER ALL IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 77 OF THE CREEK SIDE ADDITION, PHASE 1 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS AND RUN THENCE NORTH 1°58'21" EAST ALONG THE EAST LINE OF CREEK WATER DRIVE A DISTANCE OF 115.05 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°52'06" WEST ALONG THE NORTH LINE OF SAID CREEKSIDE ADDITION, PHASE 1, A DISTANCE OF 275.01 FEET; THENCE NORTH 31°22'58" EAST 94.60 FEET; NORTH 22°56'11" EAST 80.29 FEET; NORTH 26°04'51" EAST 82.13 FEET; NORTH 24°48'10" EAST 81.34 FEET; NORTH 8°56'14" EAST 60.55 FEET; SOUTH 87°58'11" EAST 57.60 FEET; NORTH 2°01'49" EAST 319.19 FEET; SOUTH 45°37'43" WEST 26.63 FEET; SOUTH 42°51'15" WEST 67.59 FEET; SOUTH 42°51'15" WEST 69.25 FEET; SOUTH 33°56'28" WEST 61.55 FEET; SOUTH 59°11'07" WEST 74.18 FEET; SOUTH 57°05'38" WEST 85.44 FEET TO A POINT ON THE WEST LINE OF SAID E 1/2 NW 1/4; THENCE NORTH 2°04'49" EAST ALONG THE WEST LINE OF SAID E 1/2 NW 1/4 A DISTANCE OF 1694.30 FEET TO THE NORTH WEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 12; THENCE SOUTH 89°14'31" EAST ALONG THE NORTH LINE OF SAID NE 1/4 NW 1/4 A DISTANCE OF 211.42 FEET; THENCE SOUTH 0°45'29" WEST 104.36 FEET TO THE START OF A CURVE TO THE RIGHT; THENCE 31.03 FEET ALONG THE ARC OF A CURVE HAVING A RADIUS 70.0', SAID CURVE HAVING A CHORD BEARING & DISTANCE OF SOUTH 55°21'59" EAST 30.78 FEET; THENCE 29.41 FEET ALONG THE ARC OF A CURVE HAVING RADIUS OF 70.0', SAID CURVE HAVING A CHORD BEARING & DISTANCE OF SOUTH 62°56'29" WEST 29.19 FEET; THENCE ALONG THE ARC OF ANOTHER CURVE HAVING A RADIUS OF 15.00' TO THE LEFT A DISTANCE OF 19.08 FEET, SAID CURVE HAVING A CHORD BEARING AND DISTANCE OF SOUTH 38°31'41" WEST 17.82 FEET; THENCE SOUTH 2°04'49" WEST 112.09 FEET; THENCE SOUTH 48°25'26" EAST 103.75 FEET; SOUTH 57°22'48" EAST 74.02 FEET; SOUTH 2°04'49" WEST 20.44 FEET; SOUTH 78°58'48" EAST 75.92 FEET; SOUTH 70°19'12" EAST 68.17 FEET; SOUTH 51°58'45" EAST 82.17 FEET; SOUTH 41°47'58" EAST 43.85 FEET; SOUTH 16°41'28" EAST 44.83 FEET; SOUTH 6°28'58" EAST 59.73 FEET; SOUTH 0°55'57" EAST 61.47 FEET; SOUTH 19°41'07" WEST 67.51 FEET; SOUTH 50°16'07" WEST 118.71 FEET; SOUTH 38°51'03" WEST 136.69; SOUTH 22°07'30" WEST 100.82 FEET; SOUTH 6°12'28" WEST 37.28 FEET; SOUTH 21°27'38" EAST 41.25 FEET; SOUTH 21°27'38" EAST 43.04 FEET; SOUTH 0°01'17" WEST 28.95 FEET; SOUTH 34°41'56" WEST 114.30 FEET; SOUTH 2°01'49" WEST FOR 761.91 FEET; THENCE NORTH 89°52'05" WEST 10.01 FEET TO THE POINT OF BEGINNING, CONTAINING 16.35 ACRES MORE OR LESS.

DOCUMENTS USED:

- SURVEY PLAT OF RECORD RASBERRY SURVEYING 10/23/2014
- DEED OF RECORD 2014 PAGE 25641 WILLIAMS TO DIAMOND DEVELOPMENT II
- DEED OF RECORD 2004 PAGE 112595 THOMAS TO DIAMOND DEVELOPMENT II
- SURVEY PLAT OF RECORD MIDLAND FARM SUBDIVISION BY HENRY N. CONWAY 8/13/1951

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

PLAT CERTIFICATES:

OWNER: Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210

DEVELOPER: Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210

CERTIFICATE OF RECORDING:

CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY: I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision on 6/07/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY: I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

PROPERTY SPECIFICATIONS:

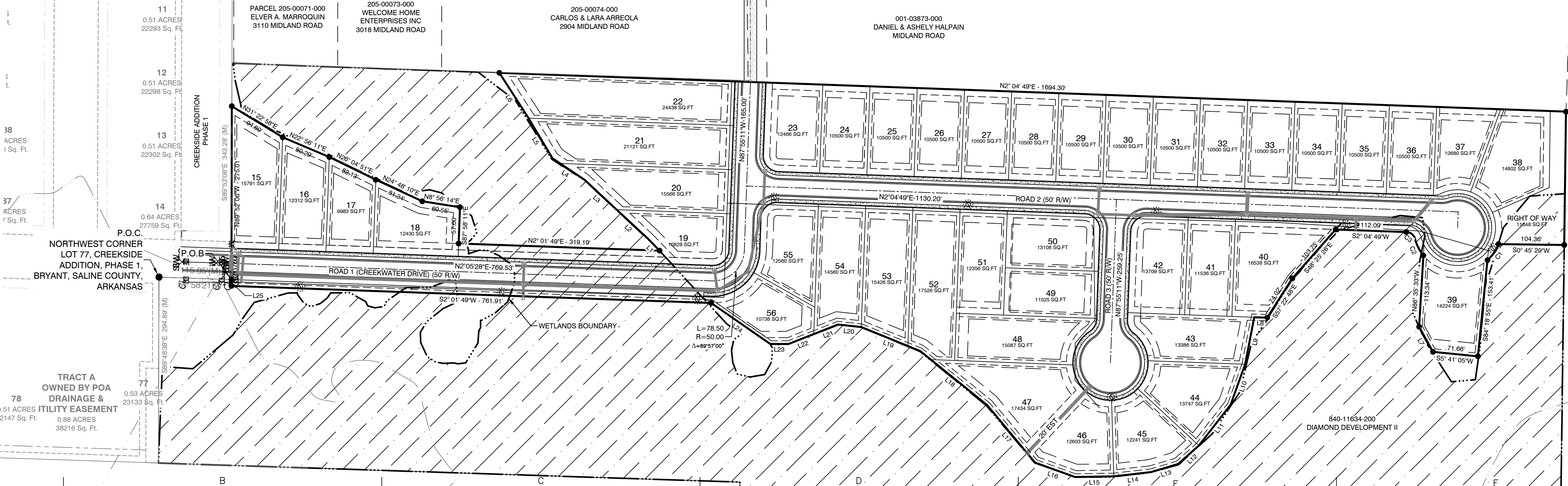
ZONING CLASSIFICATION: R-1
MIN. LOT SIZE: 9682 S.F.
MAX. LOT SIZE: 24437 S.F.
NUMBER OF LOTS: 42
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
FRONT: 20' OR AS SHOWN
REAR: 20' OR AS SHOWN
SIDE: 5' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT: 10' OR AS SHOWN
BACK: 10' OR AS SHOWN
SIDE: 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 26' BOC TO BOC
LOT CORNERS: SET #4 REBAR WITH CAP

NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.



SURVEY PLAT CODE:
500-01S-14W-0-12-304-62-1573

- SURVEY LEGEND**
- Computed point
 - Found monument
 - Set #4 RB/Plas. Cap
 - (M)-Measured
 - (R)-Record
 - (P)-Platted

BY	REVISION
MIN	
	AS PER CITY OF BRYANT

GNE Designing our client's success

GarNat Engineering, LLC
P.O. Box 116 (72018) Ph (501) 408-4650
3825 Mt. Carmel Road Fx (888) 900-3068
Bryant, AR 72022 gamatengr@gmail.com

CREEKSIDE ADDITION PHASE 2

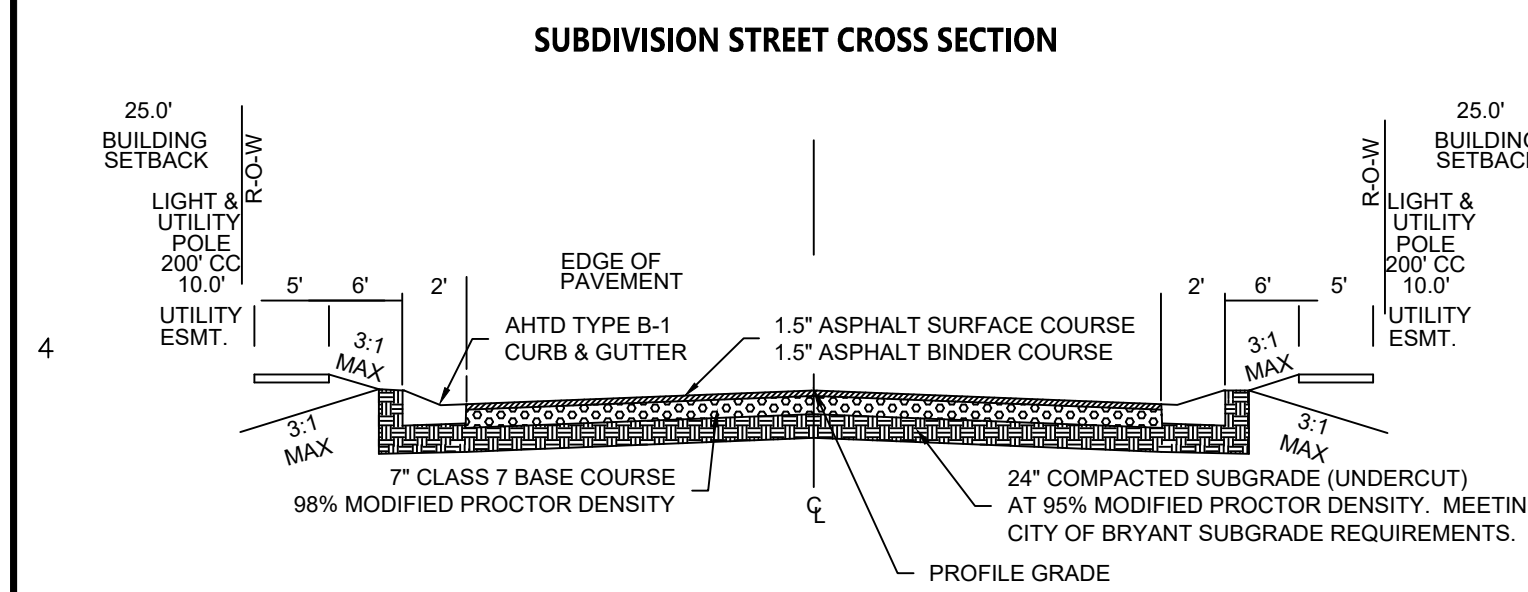
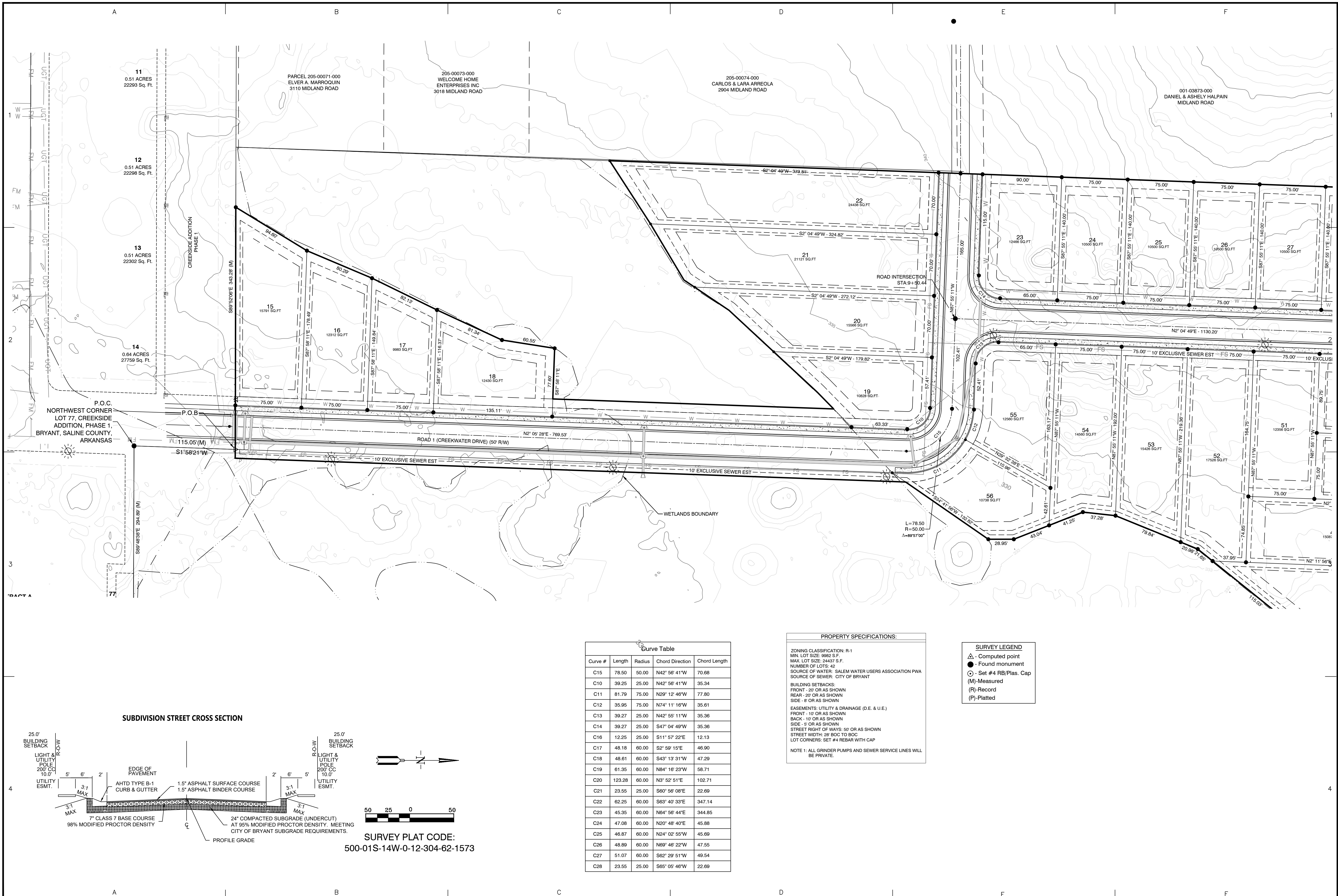
PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS



09-07-2022

CONTENTS:
PRELIMINARY PLAT OVERALL

PROJECT NO: 18054
DATE: AUGUST 2022
SHEET NO:



Curve Table

Curve #	Length	Radius	Chord Direction	Chord Length
C15	78.50	50.00	N42° 56' 41"W	70.68
C10	39.25	25.00	N42° 56' 41"W	35.34
C11	81.79	75.00	N29° 12' 46"W	77.80
C12	35.95	75.00	N74° 11' 18"W	35.61
C13	39.27	25.00	N42° 55' 11"W	35.36
C14	39.27	25.00	S47° 04' 49"W	35.36
C16	12.25	25.00	S11° 57' 22"E	12.13
C17	48.18	60.00	S2° 59' 15"E	46.90
C18	48.81	60.00	S43° 13' 31"W	47.29
C19	61.35	60.00	N84° 16' 23"W	58.71
C20	123.28	60.00	N3° 52' 51"E	102.71
C21	23.55	25.00	S60° 58' 08"E	22.69
C22	62.25	60.00	S63° 40' 33"E	347.14
C23	45.35	60.00	N64° 56' 44"E	344.85
C24	47.08	60.00	N20° 48' 40"E	45.88
C25	46.87	60.00	N24° 02' 55"W	45.69
C26	48.89	60.00	N69° 46' 22"W	47.55
C27	51.07	60.00	S62° 29' 51"W	49.54
C28	23.55	25.00	S65° 05' 46"W	22.69

PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1
 MIN. LOT SIZE: 9982 S.F.
 MAX. LOT SIZE: 24437 S.F.
 NUMBER OF LOTS: 42
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
 SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
 FRONT - 20' OR AS SHOWN
 REAR - 20' OR AS SHOWN
 SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 BACK - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
 STREET WIDTH: 28' BOC TO BOC
 LOT CORNERS: SET #4 REBAR WITH CAP

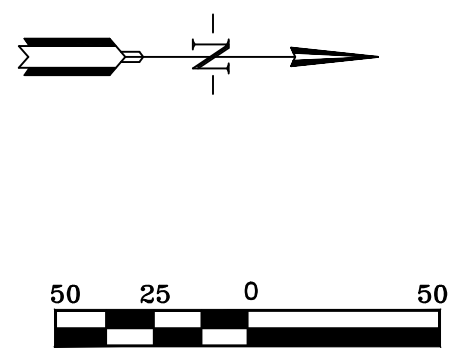
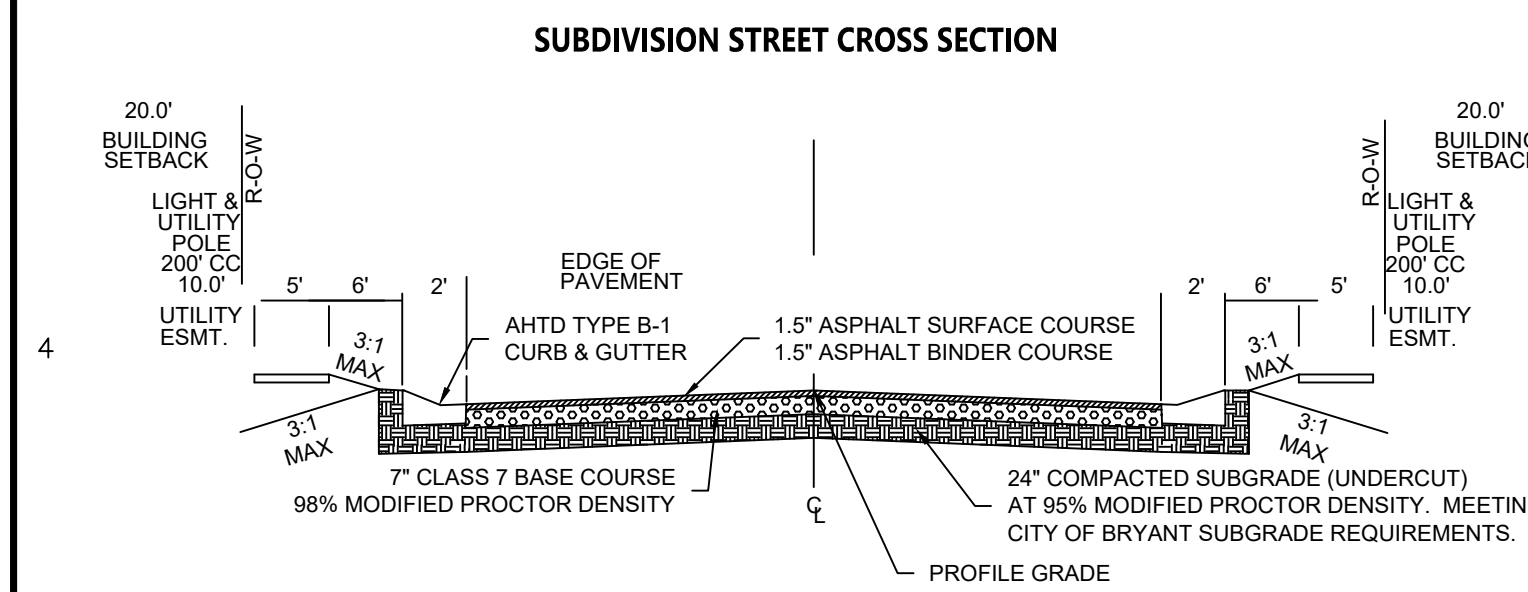
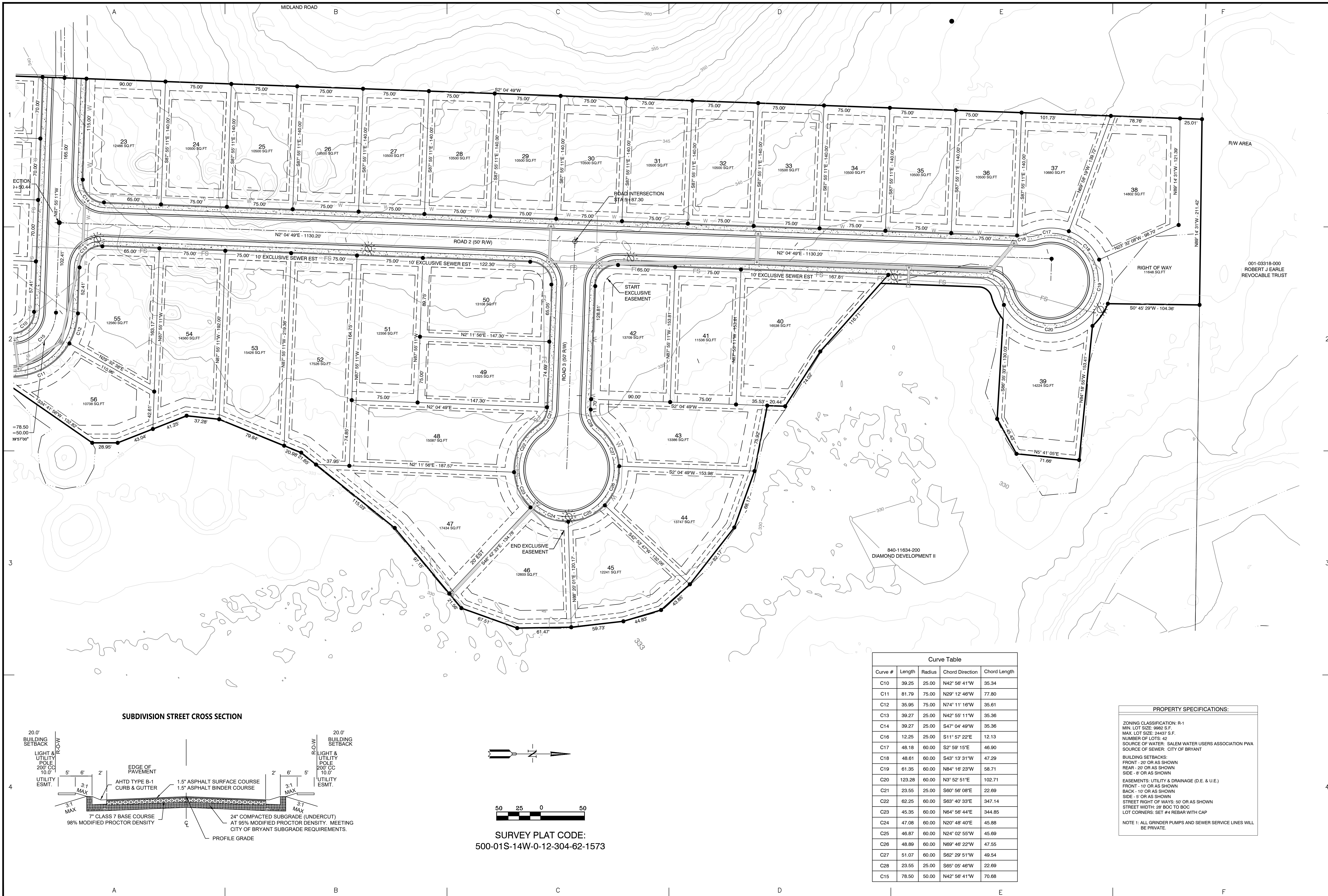
NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

SURVEY LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

SURVEY PLAT CODE:
 500-01S-14W-0-12-304-62-1573

BY		REVISION		DATE	
<p>GNE Designing our client's success GarNat Engineering, LLC P.O. Box 116 (72018) Ph (501) 408-4650 3825 Mt. Carmel Road Fx (888) 900-3068 Bryant, AR 72022 gnatengineering@gmail.com</p>					
<p>CREEKSIDE ADDITION PHASE 2 PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS</p>					
<p>08-24-2022</p>					
<p>CONTENTS: PRELIMINARY PLAT SOUTH HALF</p>					
<p>PROJECT NO: 18054</p>					
<p>DATE: AUGUST 2022</p>					
<p>SHEET NO: 2</p>					



SURVEY PLAT CODE:
500-01S-14W-0-12-304-62-1573

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- EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 - FRONT - 10' OR AS SHOWN
 - BACK - 10' OR AS SHOWN
 - SIDE - 5' OR AS SHOWN
- STREET RIGHT OF WAYS: 50' OR AS SHOWN
- STREET WIDTH: 28' BOC TO BOC
- LOT CORNERS: SET #4 REBAR WITH CAP
- NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

BY	REVISION	DATE
MIN	AS PER CITY OF BRYANT	9/7/22

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 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION PHASE 2

PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

09-07-2022

CONTENTS:
PRELIMINARY PLAT NORTH HALF

PROJECT NO:
18054

DATE:
AUGUST 2022

SHEET NO:
3





REVISION	DATE	BY

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CREEKSIDE ADDITION PHASE 2
 PART OF THE EAST HALF OF
 THE NORTHWEST QUARTER,
 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS



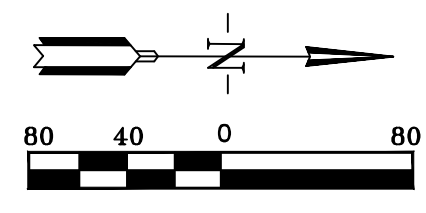
08-10-2022

CONTENTS:
DRAINAGE PLAN

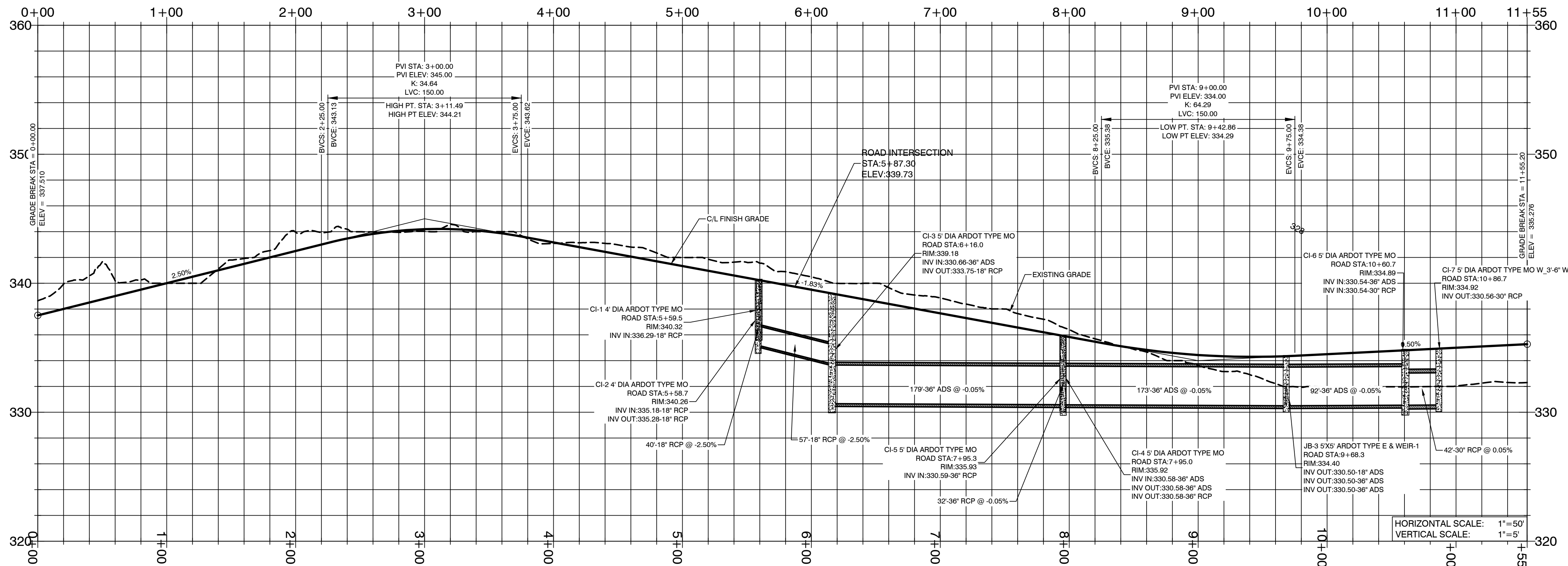
PROJECT NO:
18054

DATE:
JULY 2022

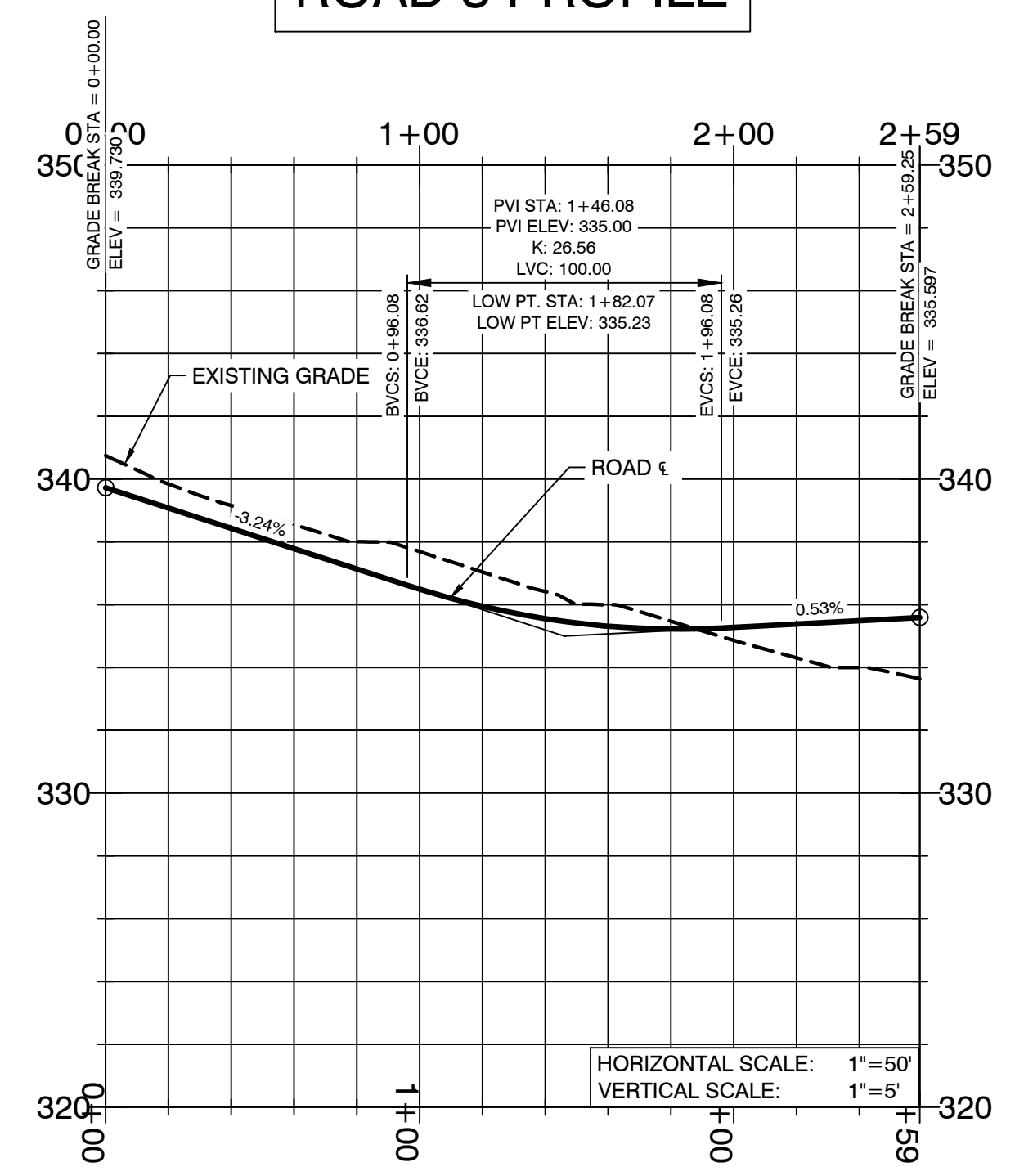
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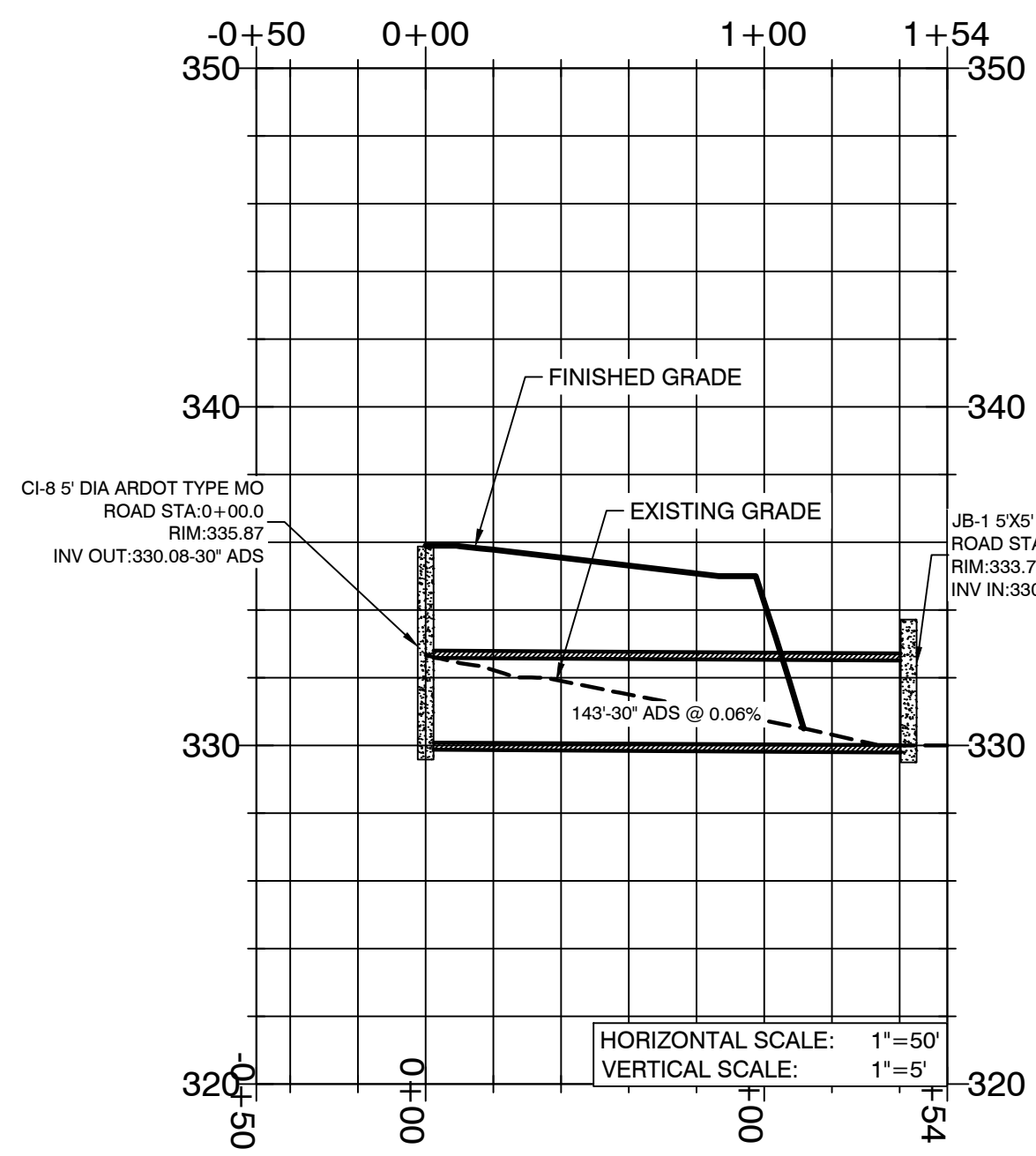
ROAD 2 PROFILE



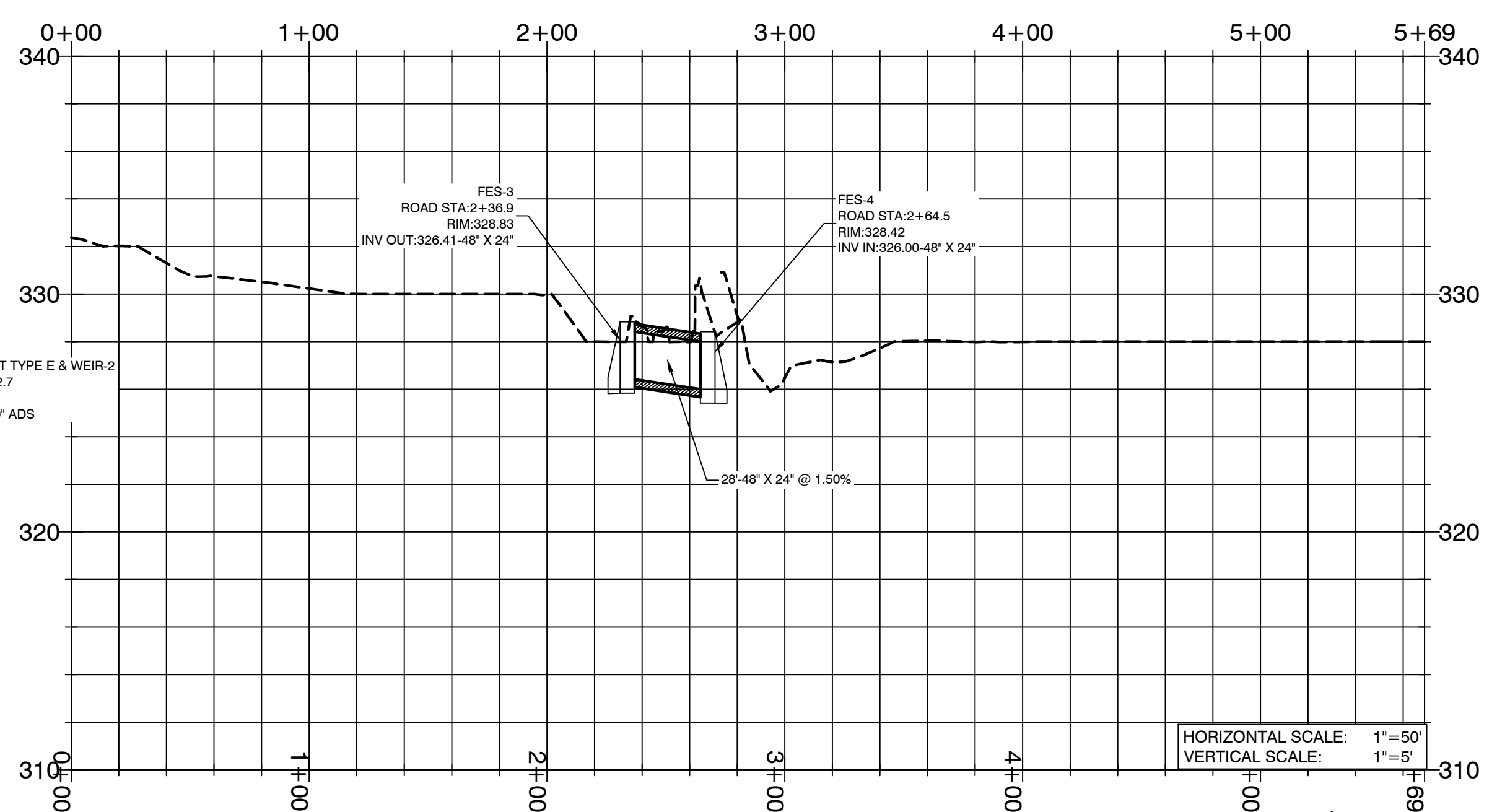
ROAD 3 PROFILE



EAST DETENTION PROFILE



DITCH CULVERT PROFILE



BY	REVISION	DATE
	1	
	2	

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CREEKSIDE ADDITION PHASE 2
 PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS



08-10-2022

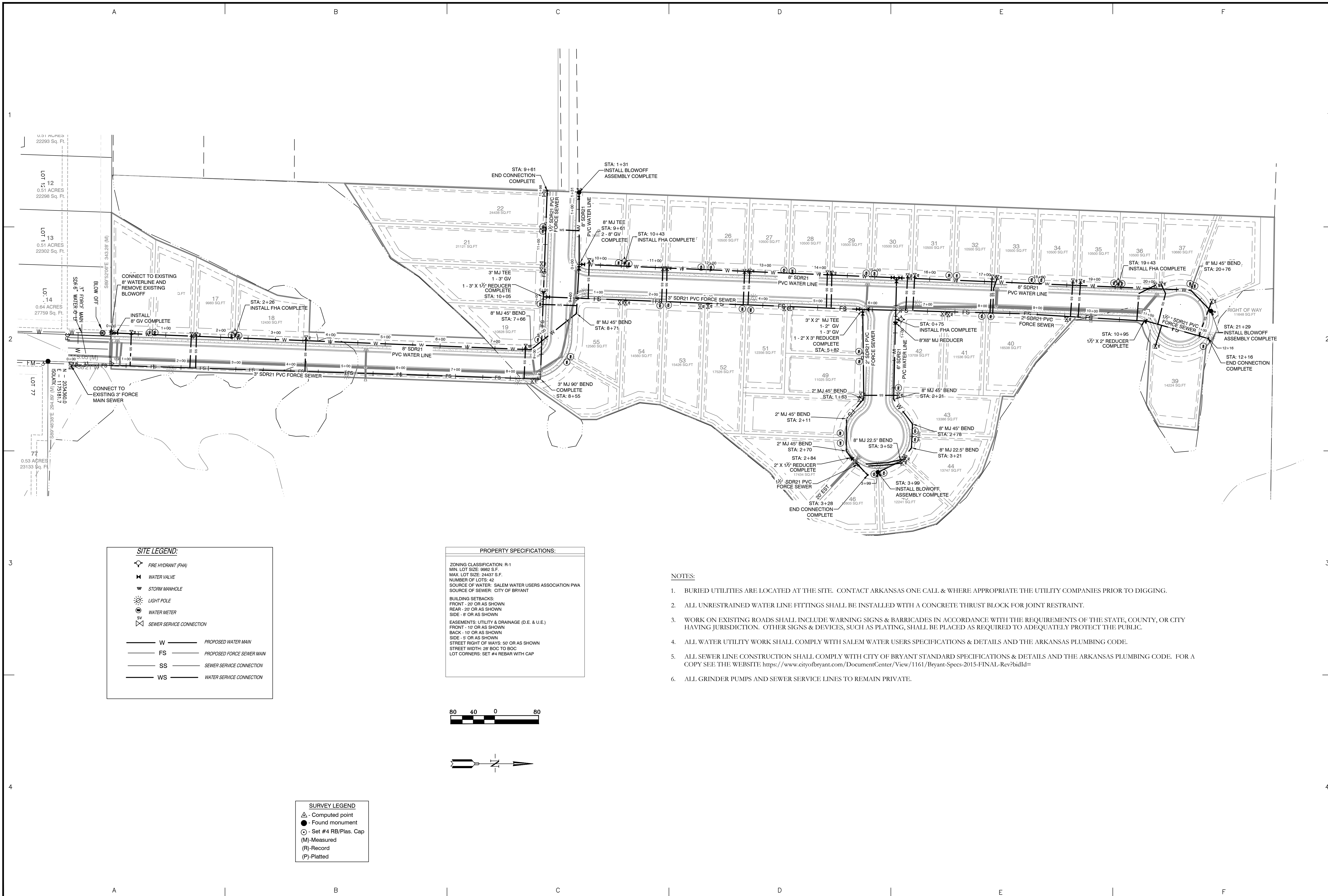
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 DRAINAGE PROFILES

PROJECT NO:
 18054

DATE:
 JULY 2022

SHEET NO:
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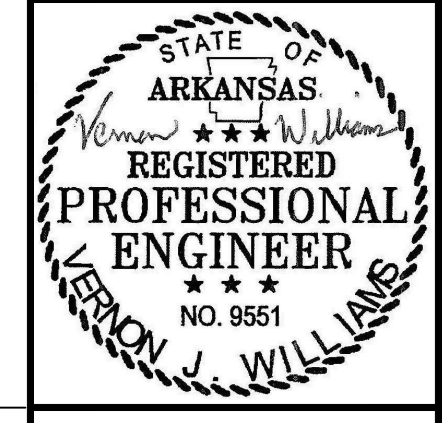




DATE	REVISION	BY
9/7/22	AS PER CITY OF BRYANT	MN
9/9/22	RELOCATED FIRE HYDRANT	MN

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CREEKSIDE ADDITION PHASE 2
 PART OF THE EAST HALF OF
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 SALINE COUNTY, ARKANSAS



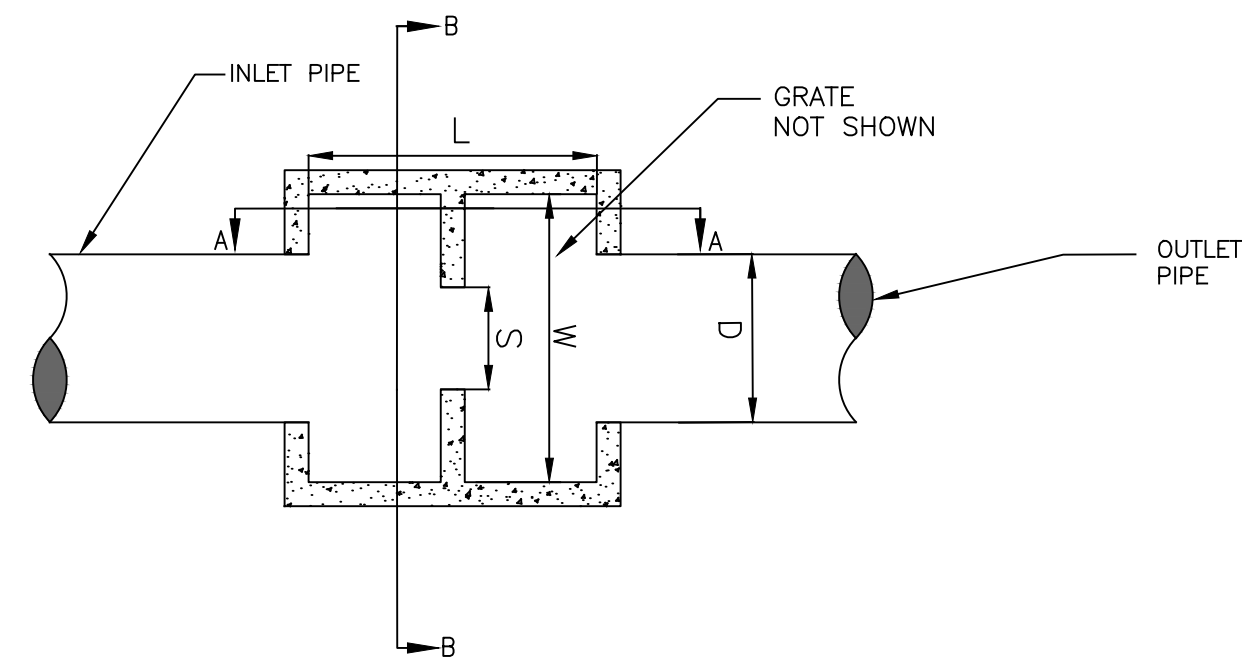
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CONTENTS:
WATER & SEWER UTILITY PLAN

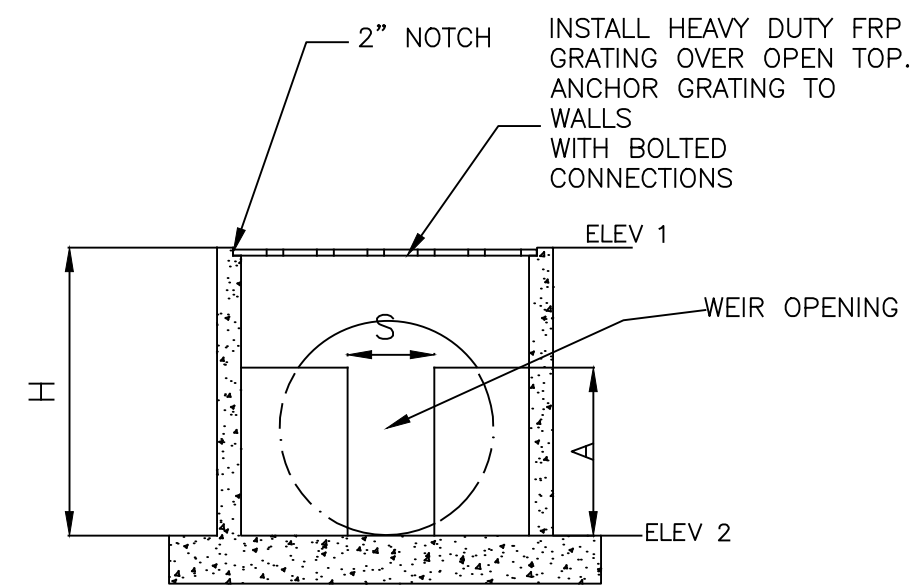
PROJECT NO:
18054

DATE:
AUGUST 2022

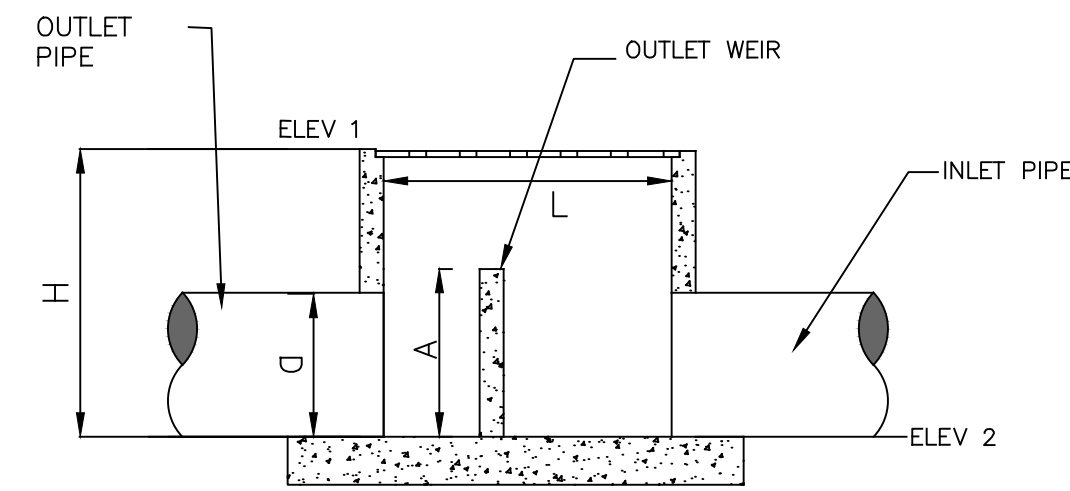
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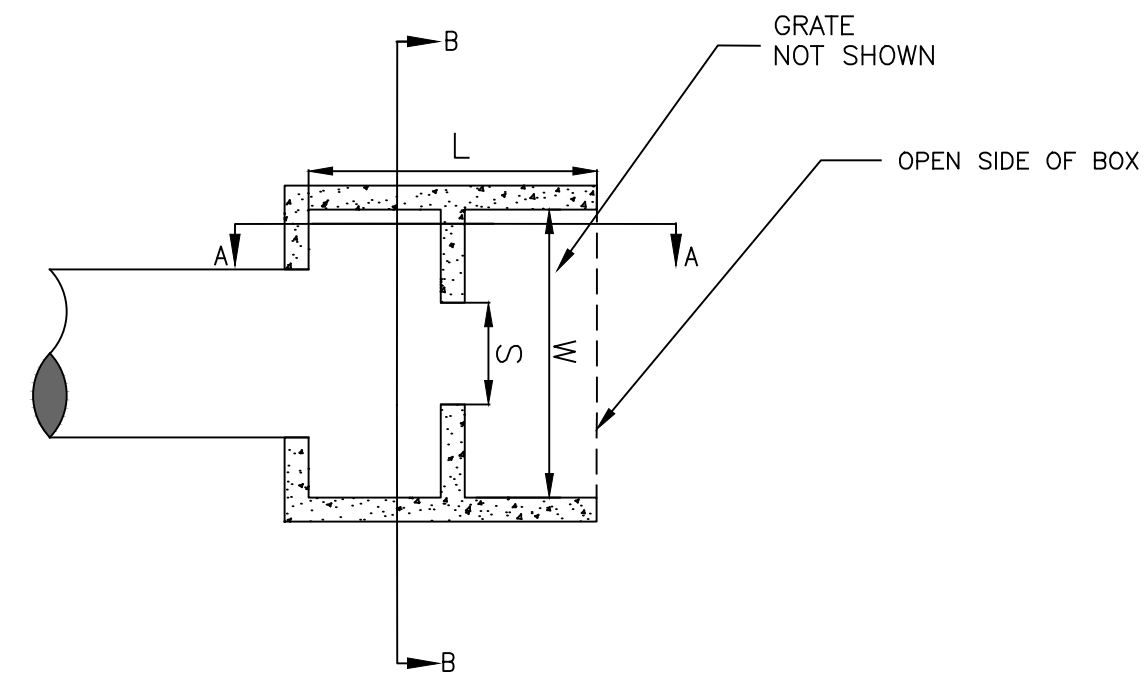
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PLAN VIEW
 NOT TO SCALE



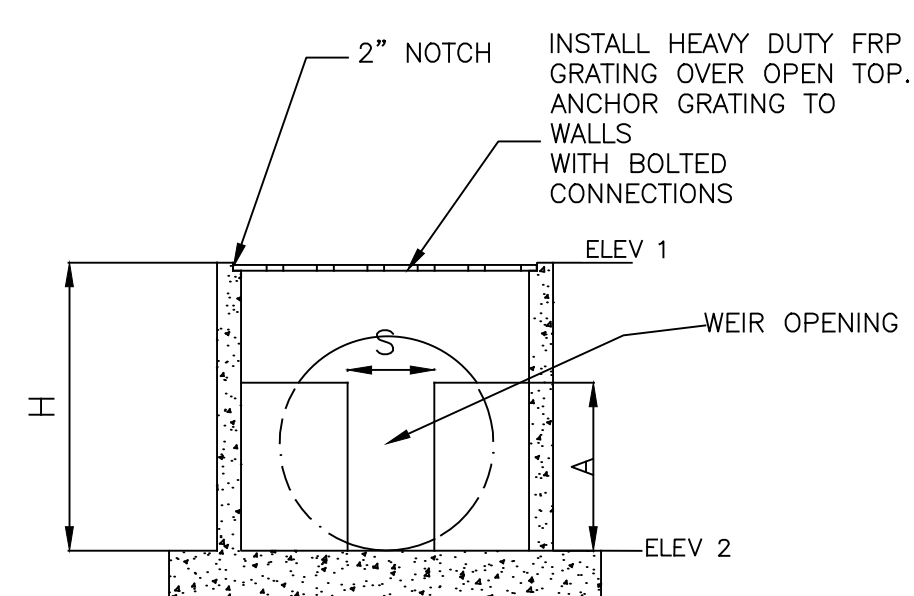
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SECTION B-B
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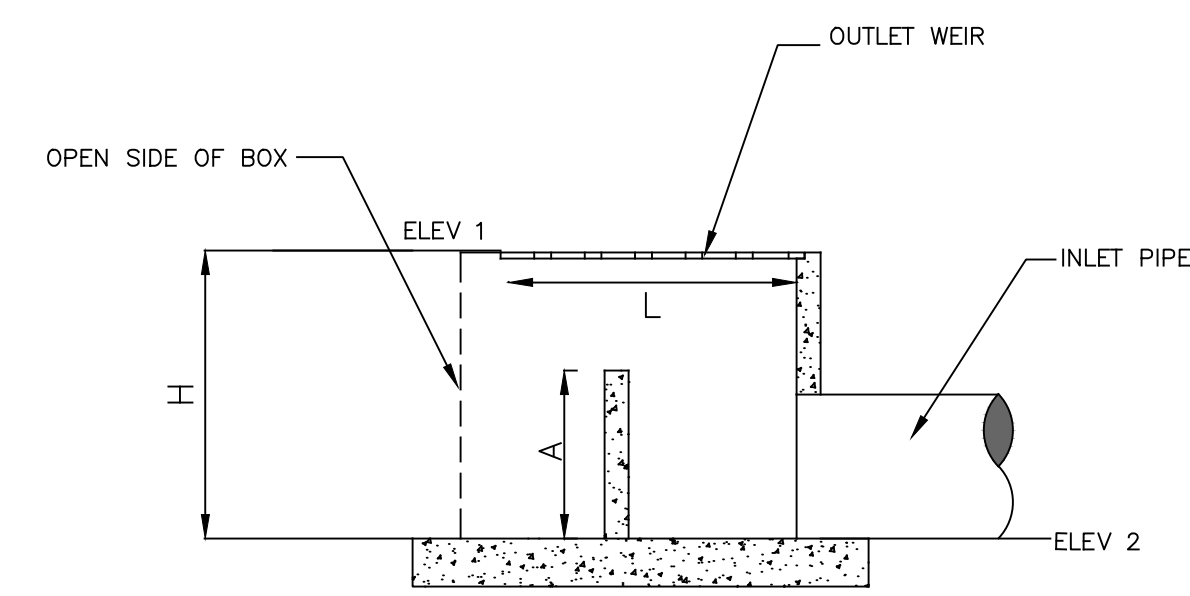
OUTLET STRUCTURE - WEIR 1 AND 3
SECTION A-A
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OUTLET STRUCTURE - WEIR 2
PLAN VIEW
 NOT TO SCALE



OUTLET STRUCTURE - WEIR 2
SECTION B-B
 NOT TO SCALE



OUTLET STRUCTURE - WEIR 2
SECTION A-A
 NOT TO SCALE

OUTLET STRUCTURE								
OUTLET STRUCTURE	L	W	H	ELEV 1	ELEV 2	S	A	D
WEIR #1	4'-0"	4'-0"	3'-11"	334.40	330.50	1'-3"	3'-0"	18"
WEIR #2	4'-0"	4'-0"	3'-9"	333.71	330.00	0'-3"	2'-6"	
WEIR #3	4'-0"	4'-0"	4'-8"	330.85	326.22	1'-6"	2'-6"	18"

- DETENTION OUTLET NOTES:**
- ALL CONCRETE WALLS SHALL BE A MINIMUM OF 6" THICK & REINFORCED WITH #4S @ 12" O.C. BOTH WAYS.
 - BOTTOM SLAB SHALL BE 12" THICK & REINFORCED WITH #4S @ 12" O.C. BOTH WAYS.

REVISION	DATE	BY

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CREEKSIDE ADDITION PHASE 2
 PART OF THE EAST HALF OF
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 SECTION 12, T-1-S, R-14-W,
 SALINE COUNTY, ARKANSAS



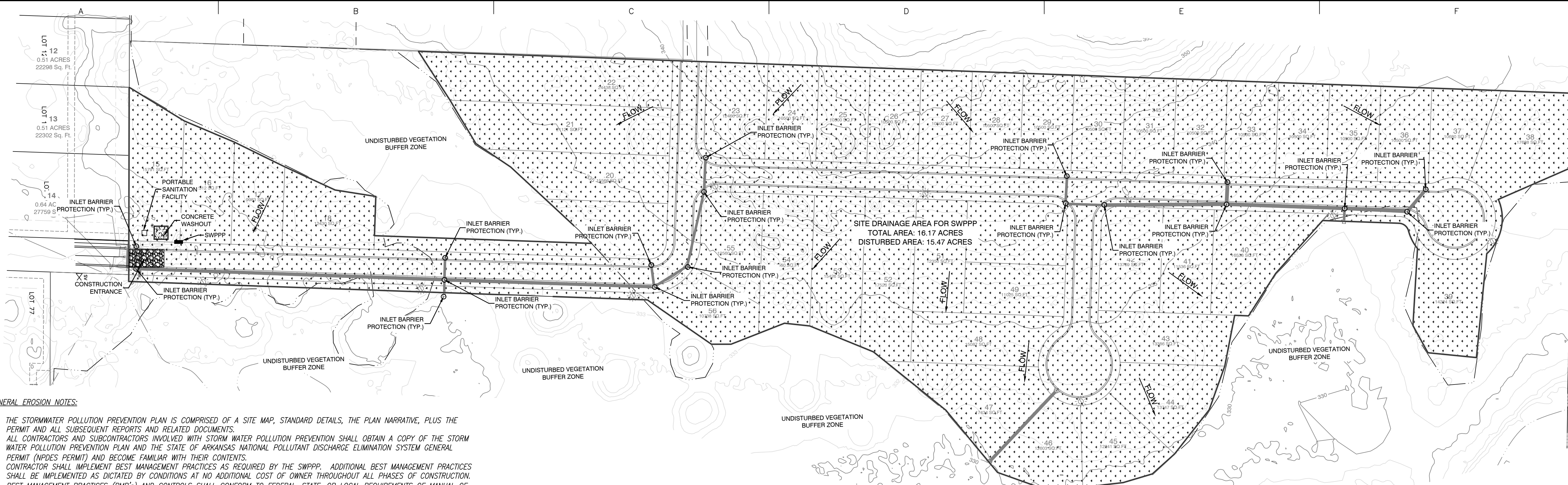
08-10-2022

CONTENTS:
OUTLET STRUCTURE DETAILS

PROJECT NO:
18054

DATE:
AUGUST 2022

SHEET NO:
8



GENERAL EROSION NOTES:

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF A SITE MAP, STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OF MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, CARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIAL SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF OF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

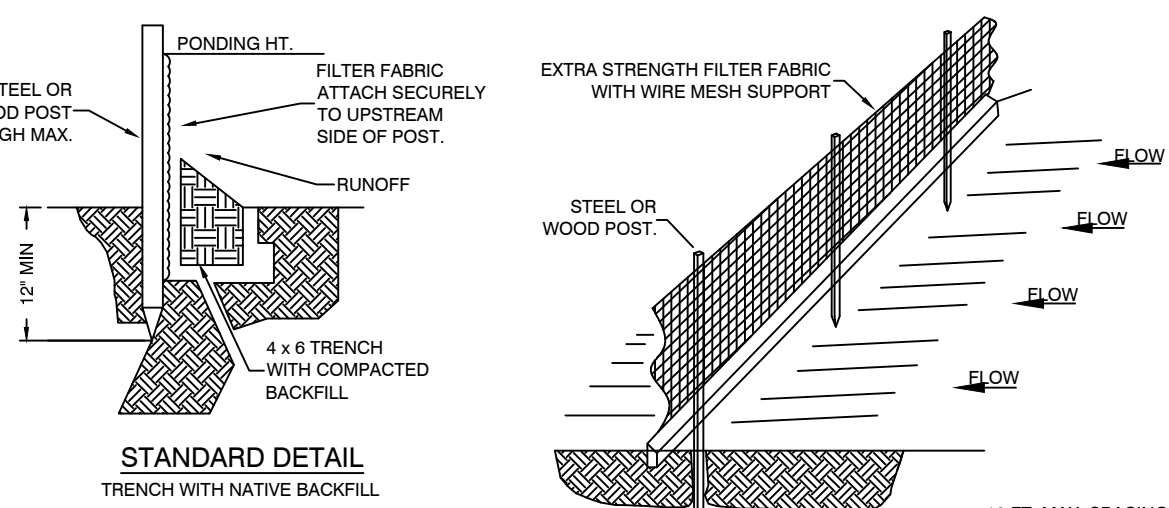
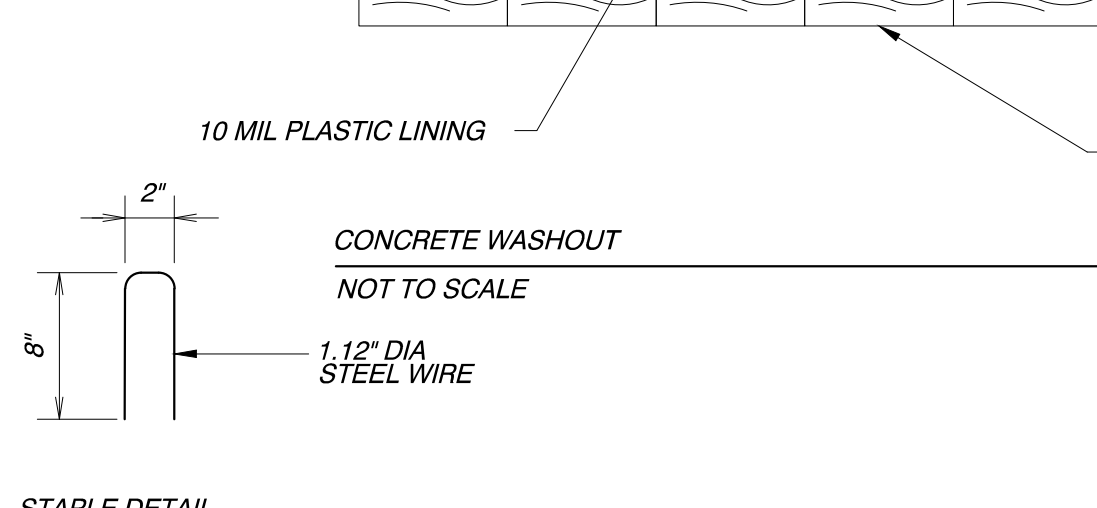
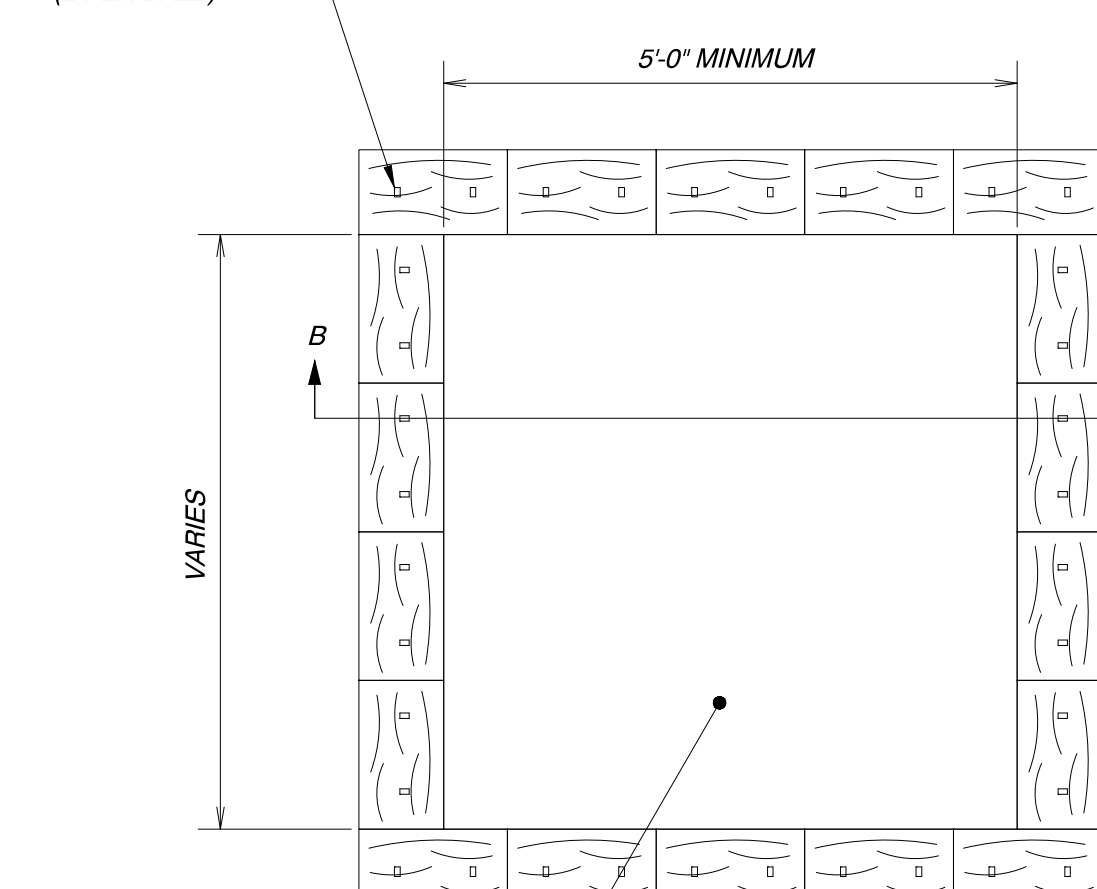
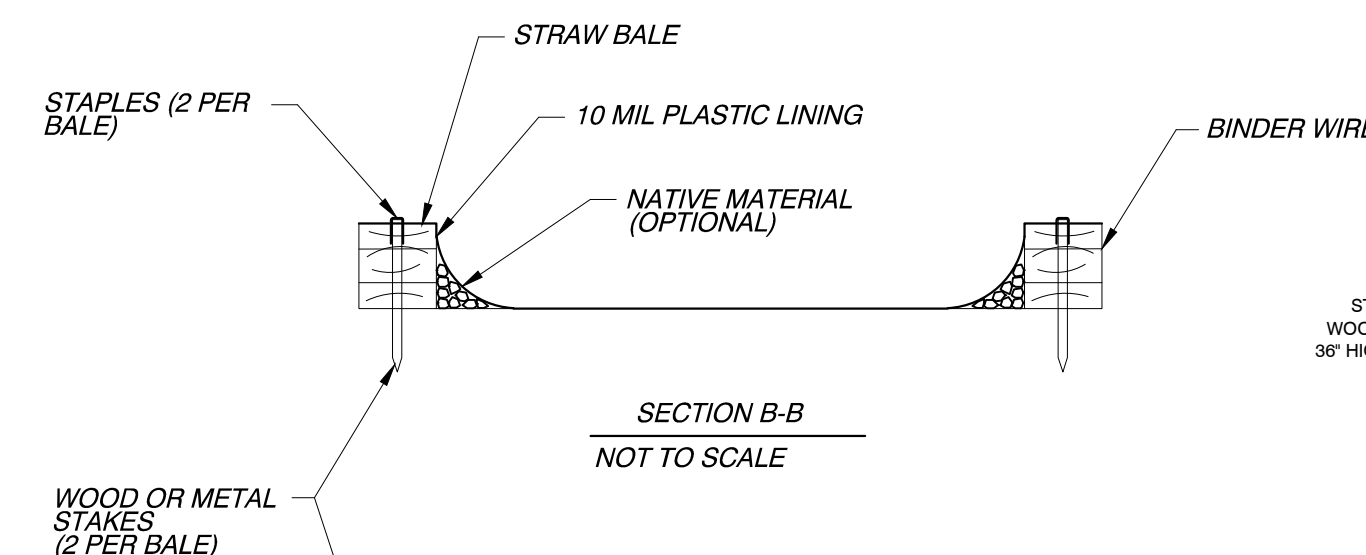
SEQUENCE OF CONSTRUCTION:

PHASE I

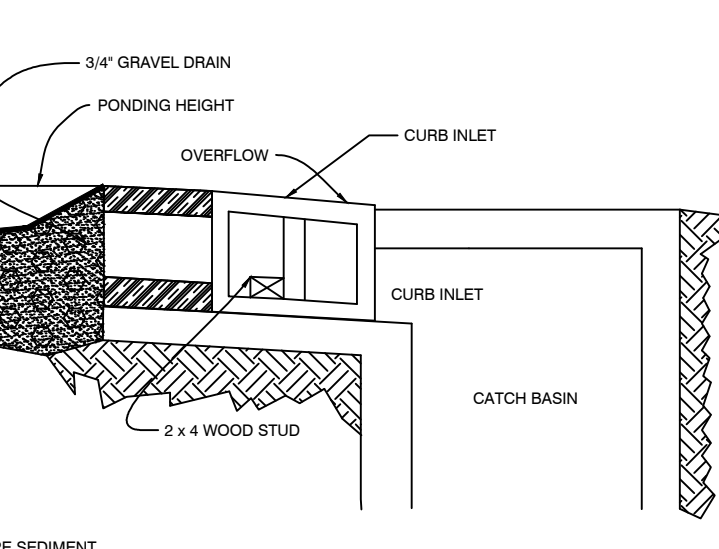
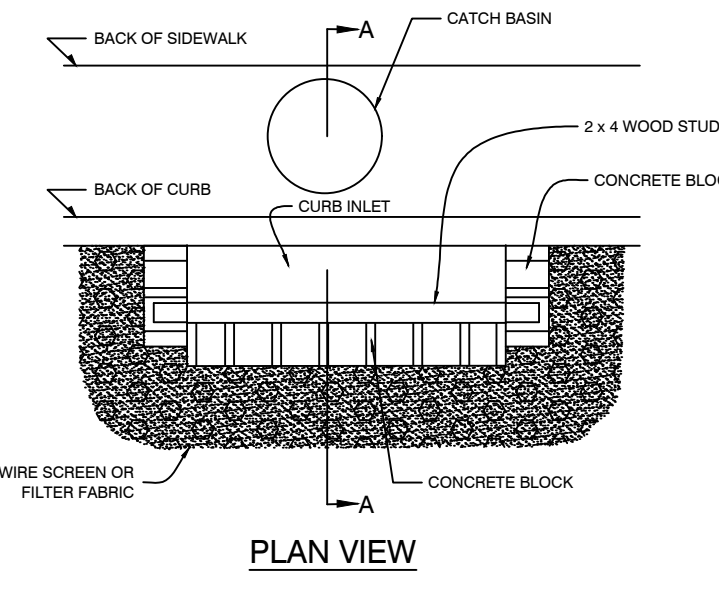
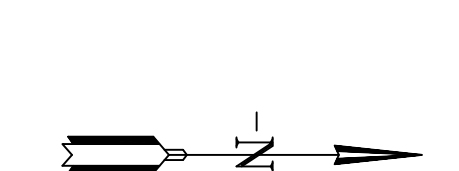
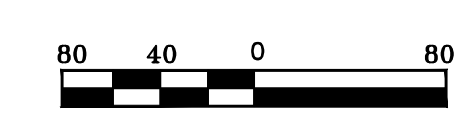
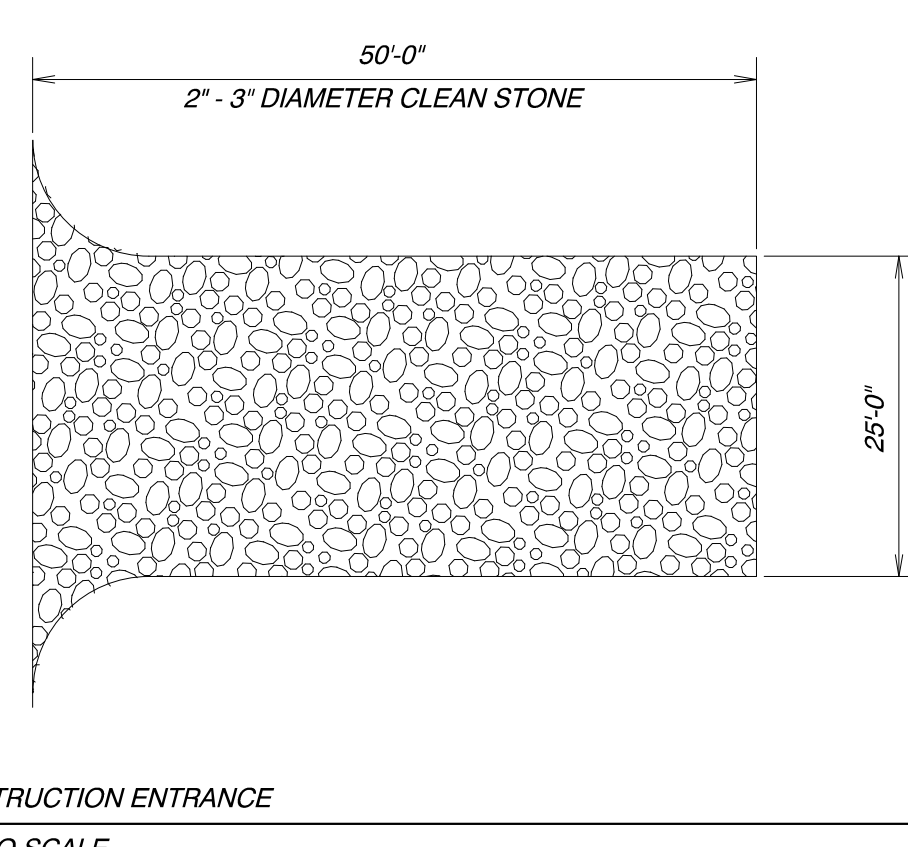
1. CONSTRUCT THE SILT FENCES ON THE SITE.
2. CONSTRUCT THE ROCK CHECK DAMS AND SEDIMENT TRAP BASINS.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
4. CLEAR AND GRUB THE SITE.
5. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
6. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMP(S). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRECONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
7. BEGIN GRADING THE SITE.

PHASE II

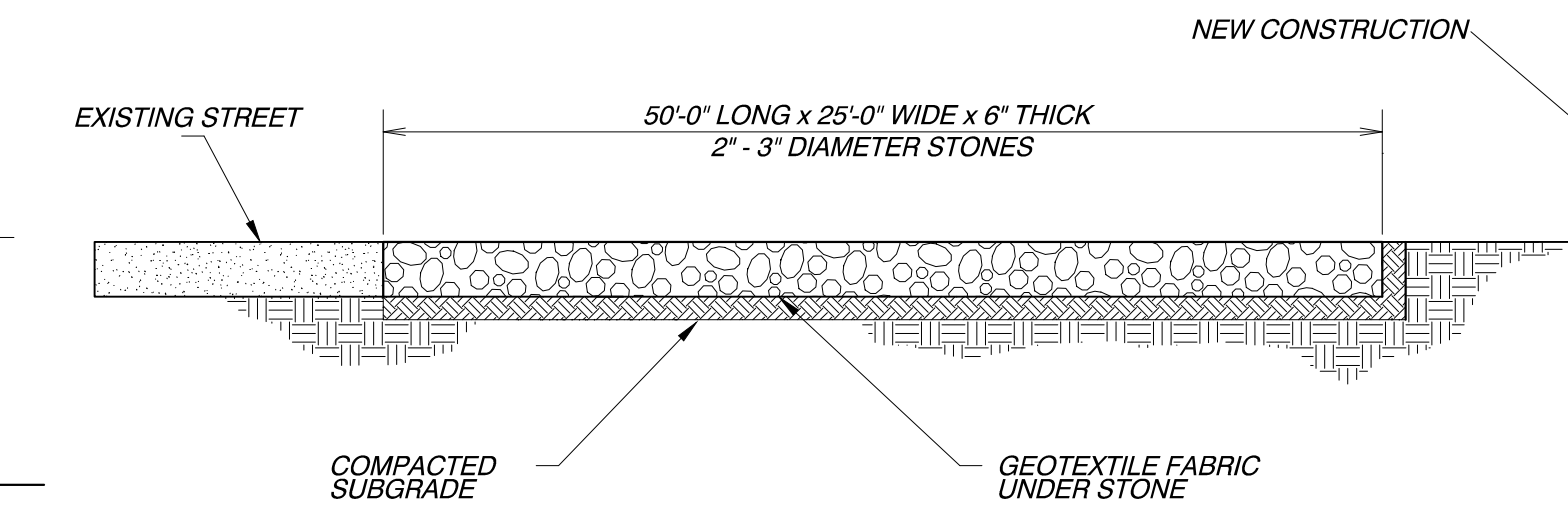
1. TEMPORARILY SEED DENUDEED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, AND ROAD IMPROVEMENTS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED)



- NOTE:**
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



- NOTES:**
- 1) USE BLOCK AND GRAVEL TYPE SEDIMENT BARRIER WHEN CURB INLET IS LOCATED IN GENTLY SLOPING STREET SEGMENT, WHERE WATER CAN FLOW AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - 2) BARRIER SHALL ALLOW FOR OVERFLOW FROM SEVERE STORM EVENT.
 - 3) INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



GNE Designing our client's success
GarNat Engineering, LLC
 P.O. Box 116 (72018) Ph (501) 408-4650
 3925 Mt. Carmel Road Fx (888) 900-3068
 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION PHASE 2
 PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
 NO. 9551
 J. WILLIAMS

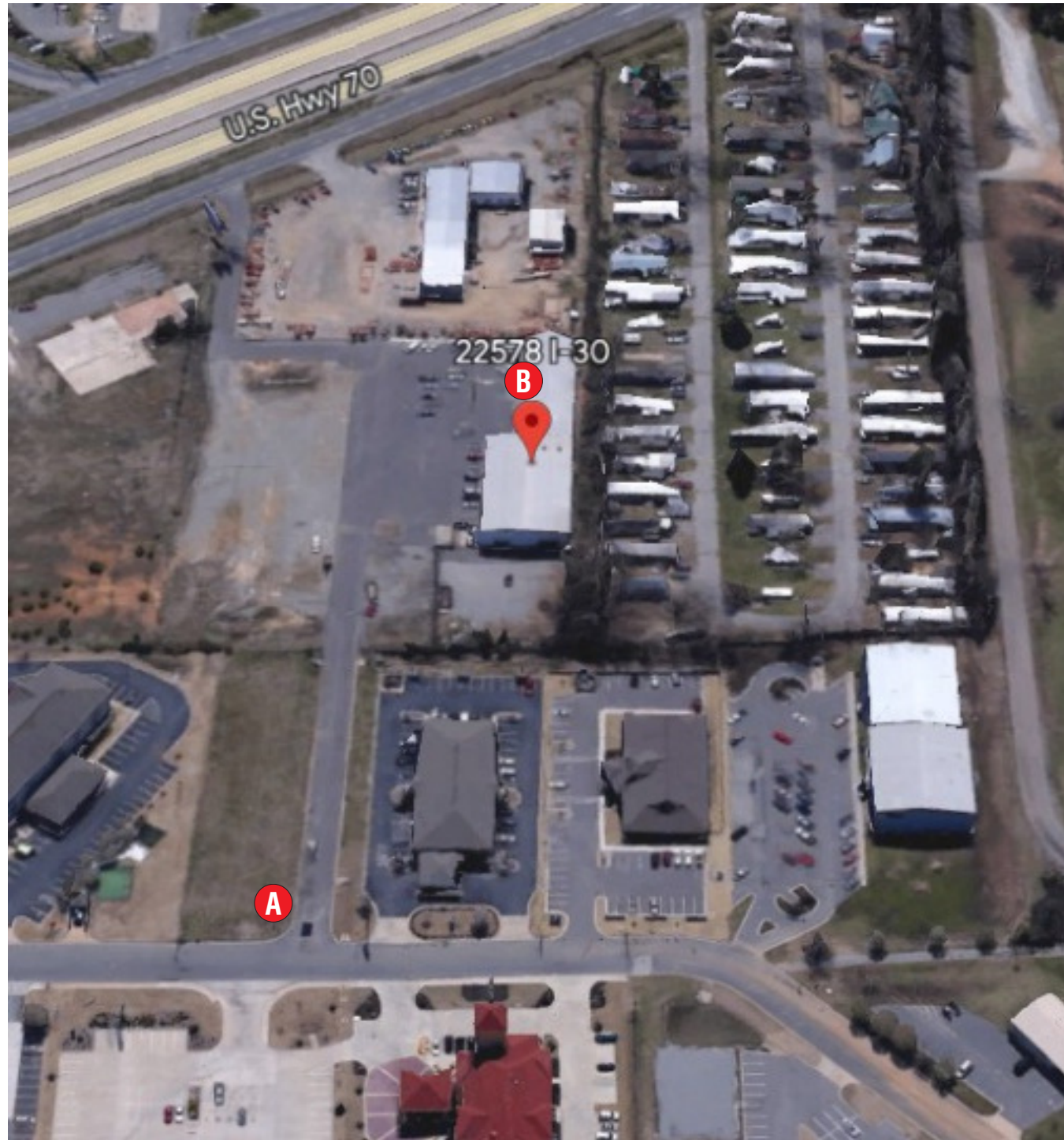
08-30-2022

CONTENTS:
EROSION CONTROL PLAN

PROJECT NO:
18054

DATE:
AUGUST 2022

SHEET NO:
9



AERIAL SITE PLAN | NTS

SIGN SCHEDULE

- A** GROUND SIGN REPLACEMENT FACE | ONE (1) REQ
- B** WALL SIGN | ONE (1) REQ

GENERAL NOTES

- INSTALLER SHALL VERIFY WALL CONDITIONS IN THE FIELD
- TYPE, SIZE & QUANTITY OF FASTENERS TO BE DETERMINED
- ALL BOLT HOLES TO BE DRILLED OR PUNCHED
- ISOLATE ALL ALUMINUM FROM STEEL.

<p>NEW & REMODEL CONSTRUCTION ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.</p> <p>INSTALLER REQUIREMENTS FOR EIFS WALLS IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.</p>	<p>INSTALLER REQUIREMENTS ALL INSTALLATION (MOUNTING) HARDWARE AND SECONDARY WIRING COMPONENTS, CONDUIT & CONNECTORS, ETC ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR</p> <p>ALL WALL PENETRATIONS TO BE SEALED WITH SILICONE TO HELP PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS.</p> <p>ANY DEVIATION FROM FEDERAL HEALTH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.</p>	<p>CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5</p> <p>ALL BRANCH CIRCUITS FOR SIGNS MUST BE TOTALLY DEDICATED TO SIGNS (INCLUDING DEDICATED GROUND & NEUTRAL, PER CIRCUIT) AND SHALL NOT BE SHARED WITH OTHER LOADS (SUCH AS LIGHTING, A/C and OTHER EQUIPMENT). PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO THE BREAKER PANEL IS REQUIRED.</p> <p>NUMBER AND SIZE OF CIRCUITS FOR EACH SIGN MUST MEET FEDERAL HEALTH SIGN REQUIREMENTS.</p>
--	--	---

<p>ALL ELECTRICAL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 600 OF THE N.E.C. AND U.L. 48 ALONG WITH OTHER APPLICABLE STATE & LOCAL CODE REQUIREMENTS. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN</p>	<p>120V - 20 AMP (PRIMARY ELECTRICAL SERVICE) CIRCUITS AND FINAL CONNECTION TO EACH SIGN, TO WITHIN 6 FT TO BE BY THE CUSTOMER'S CERTIFIED ELECTRICIAN. NUMBER AND SIZE OF CIRCUITS FOR EACH SIGN TO MEET FEDERAL HEALTH SIGN COMPANY REQUIREMENTS</p>
--	--

WARRANTY NOTICE

CERTAIN ELECTRICAL COMPONENTS OF SIGNS WILL FAIL PREMATURELY IF NOT SHUT OFF FOR A PERIOD OF TIME, ONCE EACH DAY. FOR BEST PERFORMANCE WE RECOMMEND THAT SIGNS BE CONNECTED TO AN AUTOMATIC CONTROLLING DEVICE SUCH AS AN EMERGENCY MANAGEMENT SYSTEM, TIME CLOCK OR PHOTO CELL TO CONTROL THE DAILY SHUT-OFF PERIOD. FAILURE TO FOLLOW THESE RECOMMENDATIONS CAN CAUSE DAMAGE TO ELECTRICAL COMPONENTS OF THE SIGN AND VOID THE WARRANTY. SOME DIMMING DEVICES WILL ADVERSELY AFFECT THE ELECTRICAL COMPONENTS OF THE SIGN IT IS ATTACHED TO, CAUSING FAILURE. ANY DIMMING OF THE SIGN WITHOUT CONSULTATION WITH FEDERAL HEALTH SIGN CO. WILL VOID THE WARRANTY.



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Idaho Falls, ID - Louisville, KY - Ocean Ranch, CA
Racine, WI - Rochester Hills, MI - San Antonio, TX
Tampa, FL - Willowbrook, IL - Orlando, FL

Building Quality Signage Since 1901

Revisions:

R1 5.18.23

R2 BW 6.12.23 Delete opt 1 & B1.

R3 CHC Update Sign B to CCWS-L-26

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____

Landlord Approval/Date: _____

Account Rep: JOHN BROWN

Project Manager: KRISTI FRANKLIN

Drawn By: CHRIS H CANTRELL

Underwriters Laboratories Inc. ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:

STORE #0401
22578 I-30
BRYANT, AR 72022

Job Number: 23-79278-10

Date: 05.17.23

Sheet Number: 1 of 8

Design Number: 23-79278-10 R3

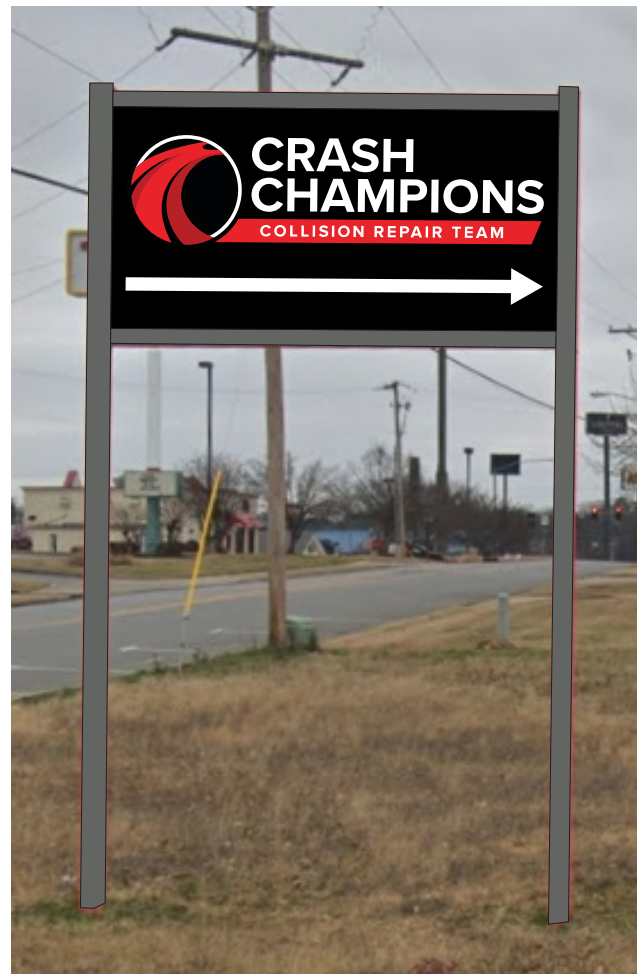
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EXISTING | SIDE A | NTS



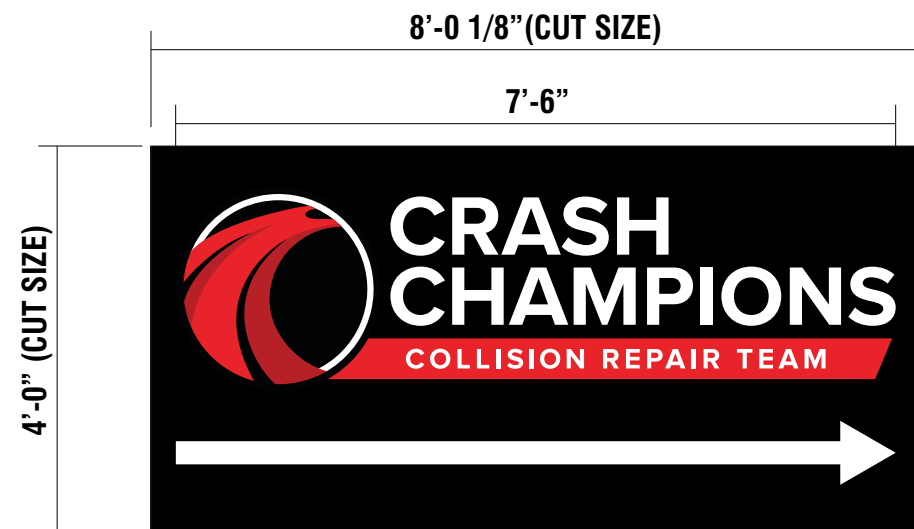
EXISTING | SIDE B | NTS



A PROPOSED | SIDE A | NTS



A PROPOSED | SIDE B | NTS



SIDE A



SIDE B

A REPLACEMENT D/F SIGN PANEL FACE SCALE: 1/2" = 1'-0"
 TWO (2) REQ **32.04 SQ. FT**

SCOPE OF WORK:

REMOVE EXISTING SIGN FACE PANEL. EXISTING CABINET AND RETAINERS TO BE PAINTED GRAY AS NOTED

FACE TO BE BLACK ALUMINUM WITH DIGITALLY PRINTED GRAPHICS ON BOTH SIDES AS SHOWN

DIGITALLY PRINTED WITH UV PROTECTIVE COATING

PMS 1788c	PMS 1805c	BLACK	100% WHITE

POLE | CABINET: SHERWIN WILLIAMS
 7068 GRIZZLE GRAY SATIN FINISH

LEAVE ENTERPRISE SIGN- DO NOT REMOVE

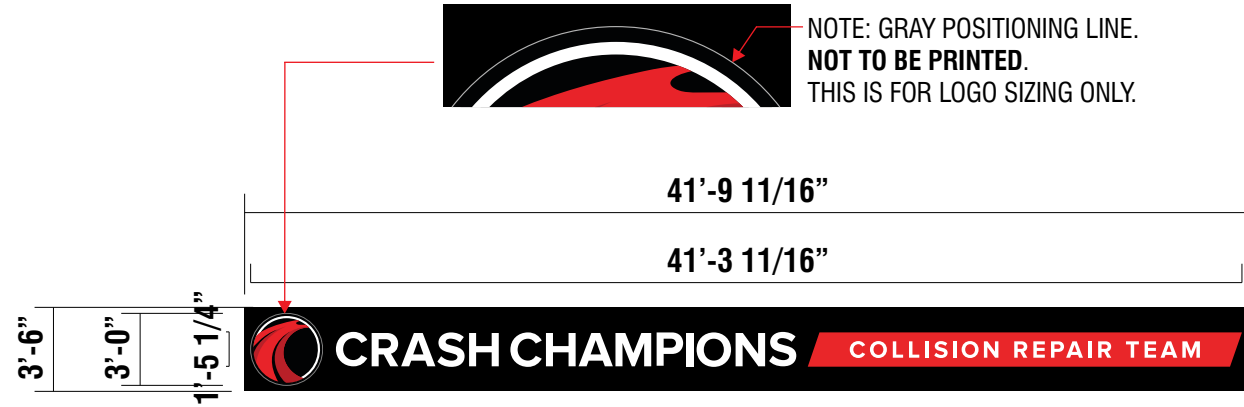


EXISTING | SCALE: 3/32" = 1'-0"

SCOPE OF WORK: REMOVE EXISTING LOGO WALL SIGN (SERVICE KING)- CLEAN WALL, FILL HOLED WITH MATCHING SILICONE AND PAINT IMMEDIATE FOOTPRINT. INSTALL NEW SIGN. CHANNEL LETTERSET (COLLISION REPAIR CENTER) - REMOVE CHANNEL LETTERSET AND RACEWAY. CLEAN WALL, FILL HOLES WITH MATCHING SILICONE AND PAINT IMMEDIATE FOOTPRINT.

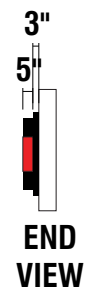


B PROPOSED | SCALE: 3/32" = 1'-0"



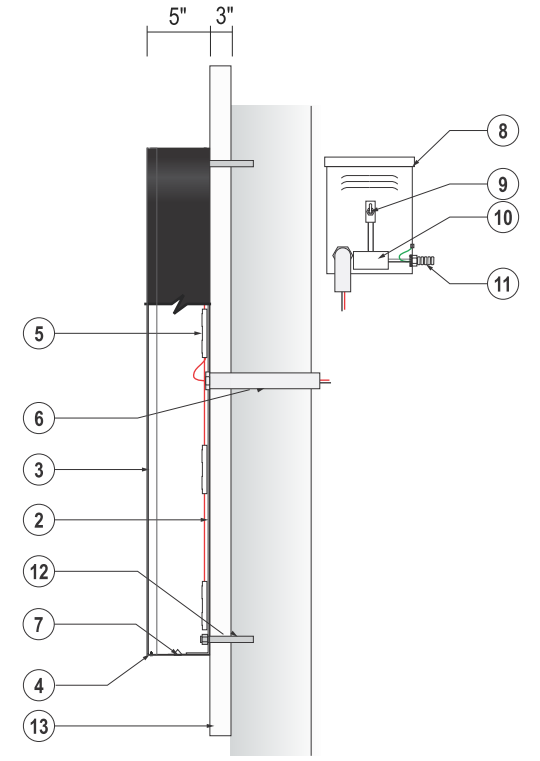
NOTE: BACKGROUND PANEL WILL BE SEAMED AT 12'-0" INCREMENTS

NOTE: GRAY POSITIONING LINE. NOT TO BE PRINTED. THIS IS FOR LOGO SIZING ONLY.



FABRICATION TO BE AS NOTED TO MATCH CUSTOMER SIGN PROGRAM AND EXISTING SITES

- 2. ACM BACKS / LETTER LOCKED TO RETURNS
- 4. TRIM CAP TO BE 1" PRE-FINISHED JEWELITE CHEMICALLY BONDED TO FACES (SEAMS AT THE TOP)
LOGO: BLACK TRIM CAP
CRASH: BLACK TRIM CAP
CHAMPIONS: BLACK TRIM CAP
COLLISION REPAIR TEAM CABINET: RED TRIM CAP
- 5. WHITE LED MODULES
- 6. RIGID PASS-THRU FOR LOW VOLTAGE LED WIRING
- 7. 1/4" WEEP HOLES WITH LIGHT BAFFLES (EXTERIOR APPLICATIONS ONLY)
- 8. ETL COMPLIANT ENCLOSURE FOR LED POWER SUPPLIES +/- 18"L X 7"H, REMOTE LOCATED
- 9. DISCONNECT SWITCH
- 10. LED POWER SUPPLIES
- 11. PRIMARY ELECTRICAL
- 12. CORROSION RESISTANT FASTENERS PER CONDITIONS
- 13. ALUM. BACKGROUND PANEL/WIREWAY



CROSS SECTION VIEW
SCALE: NTS

B INTERNALLY ILLUMINATED LOGO & LETTERSET ON PANEL | ONE (1) REQ
SCALE: 1/8" = 1'-0" 146.31 SQ FT

SCOPE OF WORK:

CHANNEL LOGO: 5" DEEP .040 PRE-FINISHED ALUMINUM LOGO CABINET. SATIN BLACK RETURNS & TRIMCAP. 3/16" WHITE ACRYLIC FACE. DIGITAL PRINT OVERLAY. BLACK PRINTED BORDER TO BE ON FACE AND RUN UNDER TRIMCAP. WHITE LEDS. INSTALL FLUSH TO BACKER.

CRASH CHAMPIONS CHANNEL LETTERS: 5" DEEP .040 PRE-FINISHED ALUMINUM CHANNEL LETTERS. SATIN BLACK RETURNS AND TRIM CAP. 3/16" WHITE ACRYLIC FACE. WHITE LEDS. INSTALL FLUSH TO BACKER.

COLLISION REPAIR TEAM TAG LINE CABINET: 5" DEEP .040 PRE-FINISHED ALUMINUM CHANNEL TAG LINE. SATIN RED RETURNS AND TRIM CAP. 3/16" WHITE ACRYLIC FACE WITH DIGITAL PRINT OVERLAY PMS 1788C. COPY WILL REVERSE OUT WHITE. INTERNAL WHITE LEDS. CABINET INSTALL FLUSH TO BACKER.

ALUMINUM BACKER: 3" DEEP ALUMINUM BACKER PANEL/WIREWAY TO BE PAINTED BLACK PC AND INSTALLS FLUSH TO WALL



PRINT COLORS

DIGITALLY PRINTED COLORS

- DP-2** PRINT TO MATCH PMS 1788C ON 3M WHITE TRANSLUCENT VINYL
- DP-3** PRINT TO MATCH PMS 1805C ON 3M WHITE TRANSLUCENT VINYL
- DP-4** PRINT TO MATCH BLACK PC ON 3M WHITE TRANSLUCENT VINYL

INSTALLER NOTE:
INSTALLER RESPONSIBLE TO CHOOSE THE APPROPRIATE FASTENERS PER CONDITIONS

Total: <u>T.B.D.</u> Amps	REFER TO PAGE 1 FOR ADDITIONAL ELECTRICAL AND INSTALLATION INFORMATION & REQUIREMENTS
# of 120V, 20A Circuits Req'd T.B.D.	
ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.	

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 600 OF THE NEC, UL 48 AND OR OTHER APPLICABLE LOCAL CODES, INCLUDING THE PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH, AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.

THE FOLLOWING SIGNS ARE TYPICAL ON ALL SITES

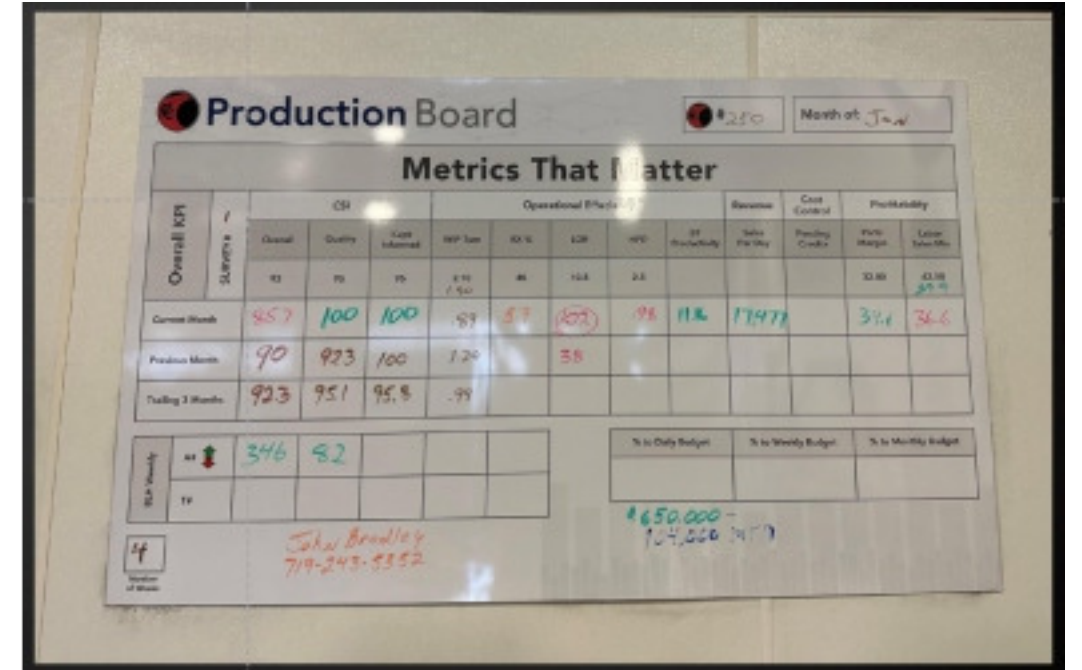
INSTALL AGENT TO REMOVE SIGN(S), REMOVE HARDWARE AND TURN INTO THE FRONT DESK IF SIGNS ARE STILL ON SITE



ANY SANDWICH BOARDS



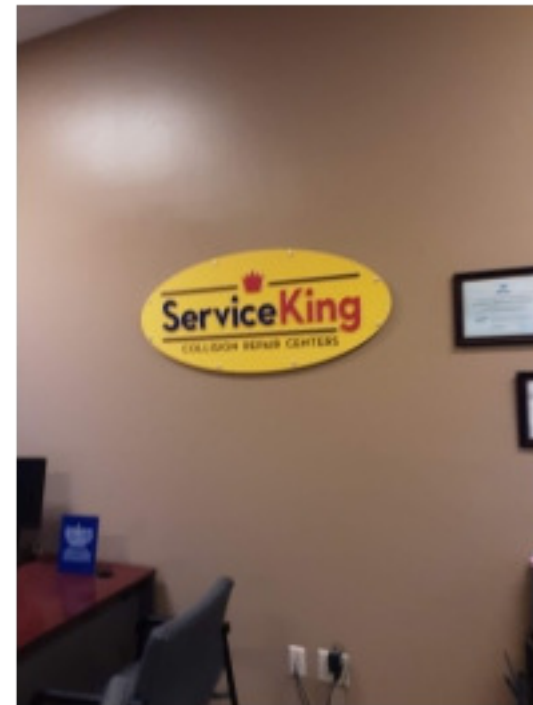
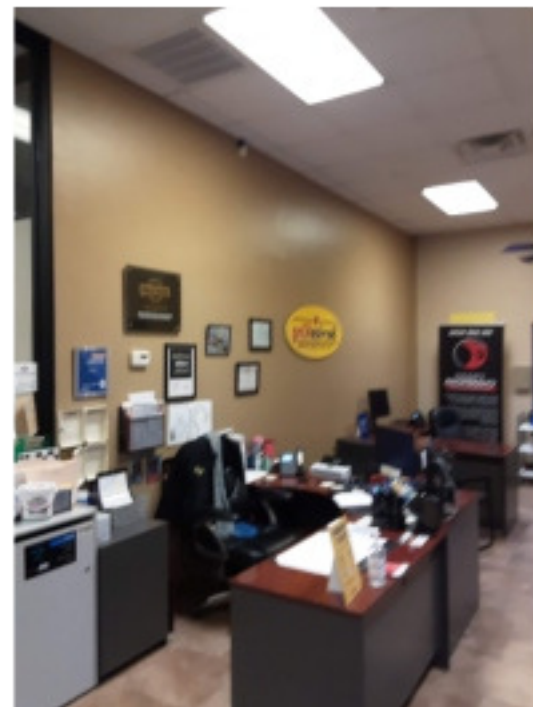
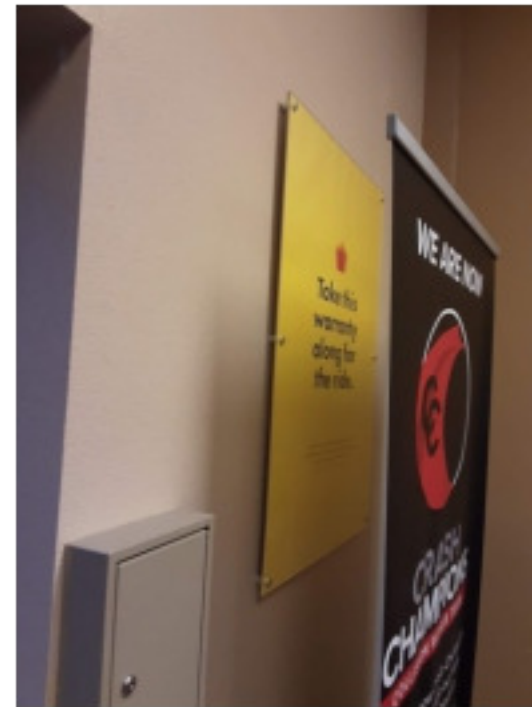
RATES SIGN



PRODUCTION BOARDS

LEAVE- NO CHANGE

DESIGN NOTE- UPDATE THE LEAVE PHOTOS TO SITE SPECIFIC PHOTOS



Revisions:

R1 5.18.23

R2 BW 6.12.23 Delete opt 1 & B1.

R3 CHC Update Sign B to CCWS-L-26

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____

Landlord Approval/Date: _____

Account Rep: JOHN BROWN

Project Manager: KRISTI FRANKLIN

Drawn By: CHRIS H CANTRELL

UL Underwriters Laboratories Inc. nfc ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
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Project / Location:



STORE #0401
22578 I-30
BRYANT, AR 72022

Job Number: 23-79278-10

Date: 05.17.23

Sheet Number: 7 of 8

Design Number: 23-79278-10 R3

SCOPE: REMOVAL ONLY

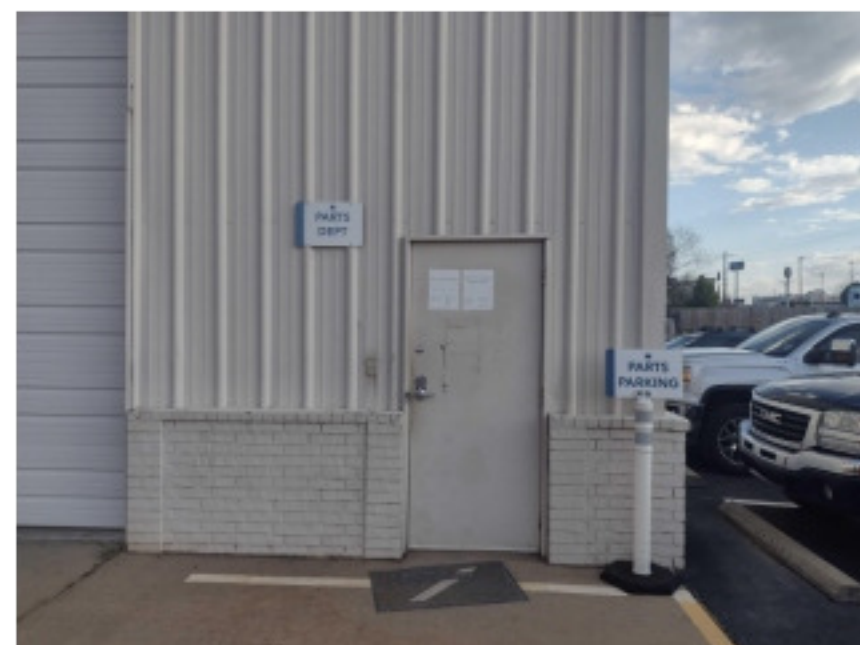
WALL SIGNS- PRO MODEL, CROWN LOGO OR AREA ID'S LIKE REFINISHING DEPT, BODY, SANITATION STATION, ETC. REMOVE SIGNS AND FILL HOLES WITH WATER RESISTANT SILICONE IF ON A WALL.

-IF ON A CHAIN, REMOVE CHAINS ALONG WITH SIGN.

-IF ON A POLE AND BOLTED DOWN REMOVE THE POLE.

-IF IT IS A MOVABLE SIGN THE KIND WITH THE BIG BASE THAT GETS FILLED WITH WATER OR SAND, WE WILL WANT TO RECOMMEND REMOVAL OF THE ENTIRE SIGN.

-IF SIGNS ARE IN A GRASSY AREA, CUT POLE TO GRADE AND COVER WITH DIRT.



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Building Quality Signage Since 1901

Revisions:

R1 5.18.23

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R3 CHC Update Sign B to CCWS-L-26

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Project / Location:



STORE #0401
 22578 I-30
 BRYANT, AR 72022

Job Number: 23-79278-10

Date: 05.17.23

Sheet Number: 8 Of 8

Design Number: 23-79278-10 R3

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Sign A to be Installed Here

Sign B to be Installed Here

Starbucks

First Security Bank

Chill's Grill & Bar

Mt Carmel Rd

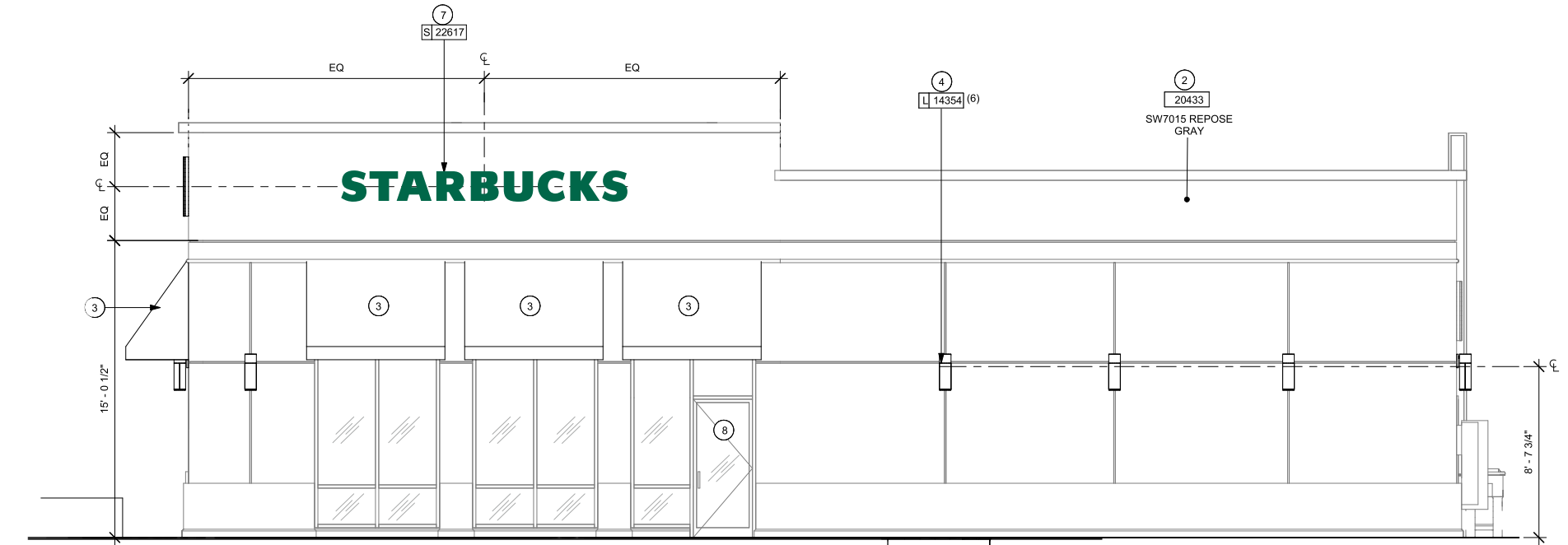
Mt Carmel Rd

Mt Carmel Rd

Mt Carmel Rd

AT&T Store
Call phone store

McAlister's Deli
Sandwich • \$\$



Sign A Size: 174" w x 18" h
 Building Face Size: 800" w x 250" h



Sign A Size: 36" x 36"
 Building Face Size: 320"w x 250"h



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 9/27/2023

Sign Co. or Sign Owner

Name Sign Installation Group, Inc. Dba National Signs and Service
 Address Po Box 240
 City, State, Zip Fate, Tx 75132
 Phone 972-772-4901
 Email Address pauline@nationalsignsandservice.net

Property Owner

Name Murphy Oil USA
 Address 200 E Peach St
 City, State, Zip El Dorado, AR
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business Murphy USA
 Address/Location of sign 403 Bryant Avenue
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

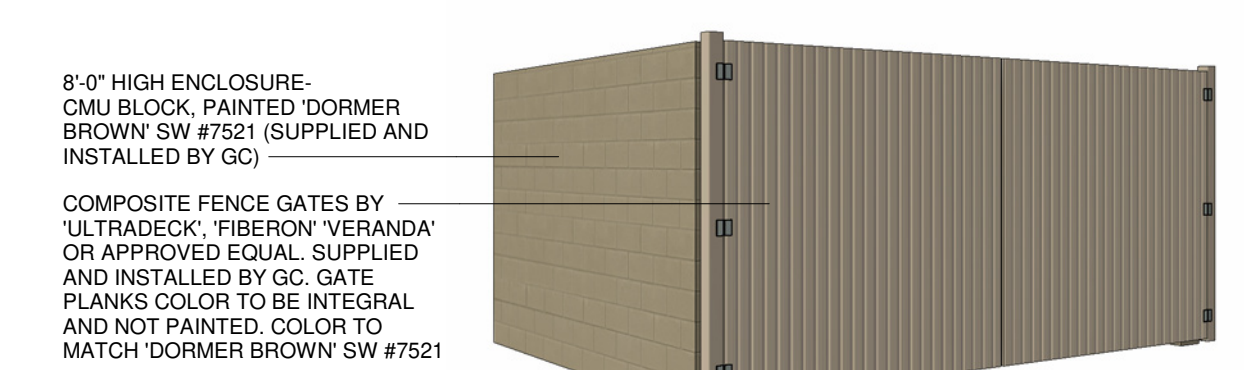
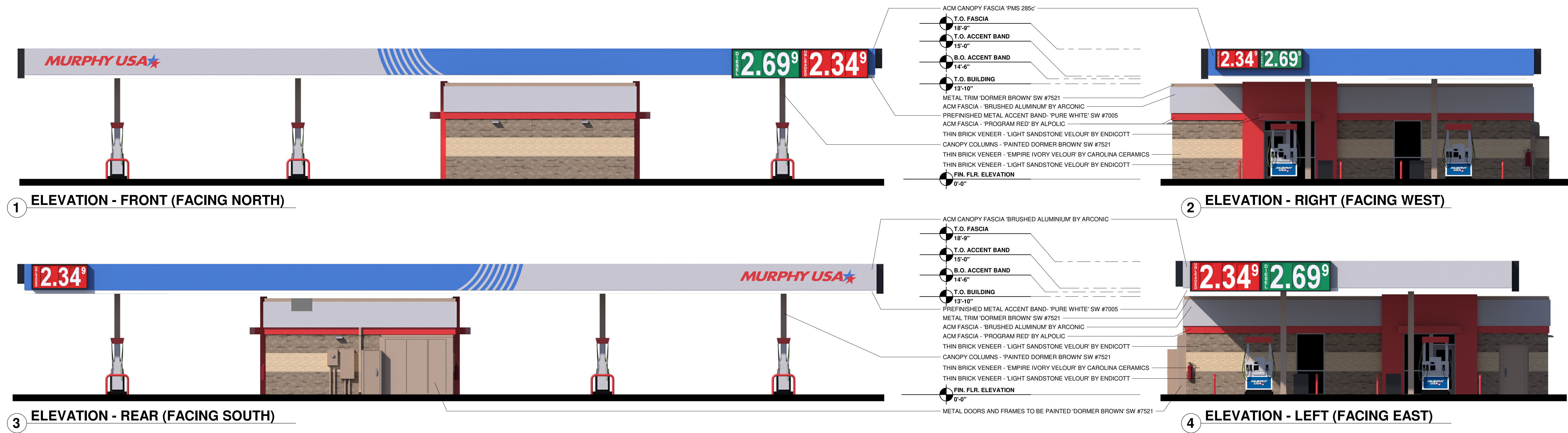
READ CAREFULLY BEFORE SIGNING

I, Sandra Pauline Wright, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Canopy Sign Murphy USA (N)	2'-0" x 16'-9 1/4"	33.54	18'-9"	14'-6"	
B	Canopy Sign Diesel (N)	4'-3 1/4" x 9'-10"	42.00	18'-9"	14'-6"	
C	Canopy Sign Unleaded (N)	4'-3 1/4" x 9'-10"	42.00	18'-9"	14'-6"	
E	Canopy Sign Unleaded (W)	2'-10 1/8" x 6'-2"	17.54	18'-9"	14'-6"	
F	Canopy Sign Diesel (W)	2'-10 1/8" x 6'-2"	17.54	18'-9"	14'-6"	
G	Canopy Sign Unleaded (S)	3'-7 1/8" x 8'-1"	29.05	18'-9"	14'-6"	
H	Canopy Sign Murphy USA (S)	2'-0" x 16'-9 1/4"	33.54	18'-9"	14'-6"	
I	Canopy Sign Unleaded (E)	4'-3 1/4" x 9'-10"	42.00	18'-9"	14'-6"	
J	Canopy Sign Diesel (E)	4'-3 1/4" x 9'-10"	42.00	18'-9"	14'-6"	



5 TRASH ENCLOSURE

SIGNAGE COLOR CHART

BUILDING - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS

MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED
	WHITE	EASTMAN WHITE

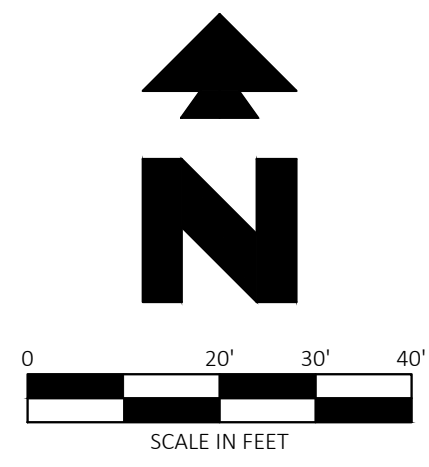
CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR

UNLEADED	RED	3M 3632-73
	WHITE	3M 3632-20
DIESEL	DIGIT	RED/WHITE
	CABINET	BLACK
	GREEN	3M 3632-26
	WHITE	3M 3632-20
DIESEL	DIGIT	GREEN/WHITE
	CABINET	BLACK

CANOPY SIGNS :	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY USA CANOPY LOGO SIGN	2			33.54	67.08
LARGE CANOPY PRICE SIGN (UNL/DSL)	4	51.25"	118.00"	42.00	168.00
MEDIUM CANOPY PRICE SIGN (UNL)	1	43.13"	97.00"	29.05	29.05
SMALL CANOPY PRICE SIGN (UNL/DSL)	2	34.13"	74.00"	17.54	35.08
CANOPY SIGNS TOTAL SIGNAGE :					299.21 S.F.
TOTAL SIGN AREA :					299.21 S.F.



BRYANT, AR (403 BRYANT AVENUE)
WM #3230
APRIL 28, 2023



Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

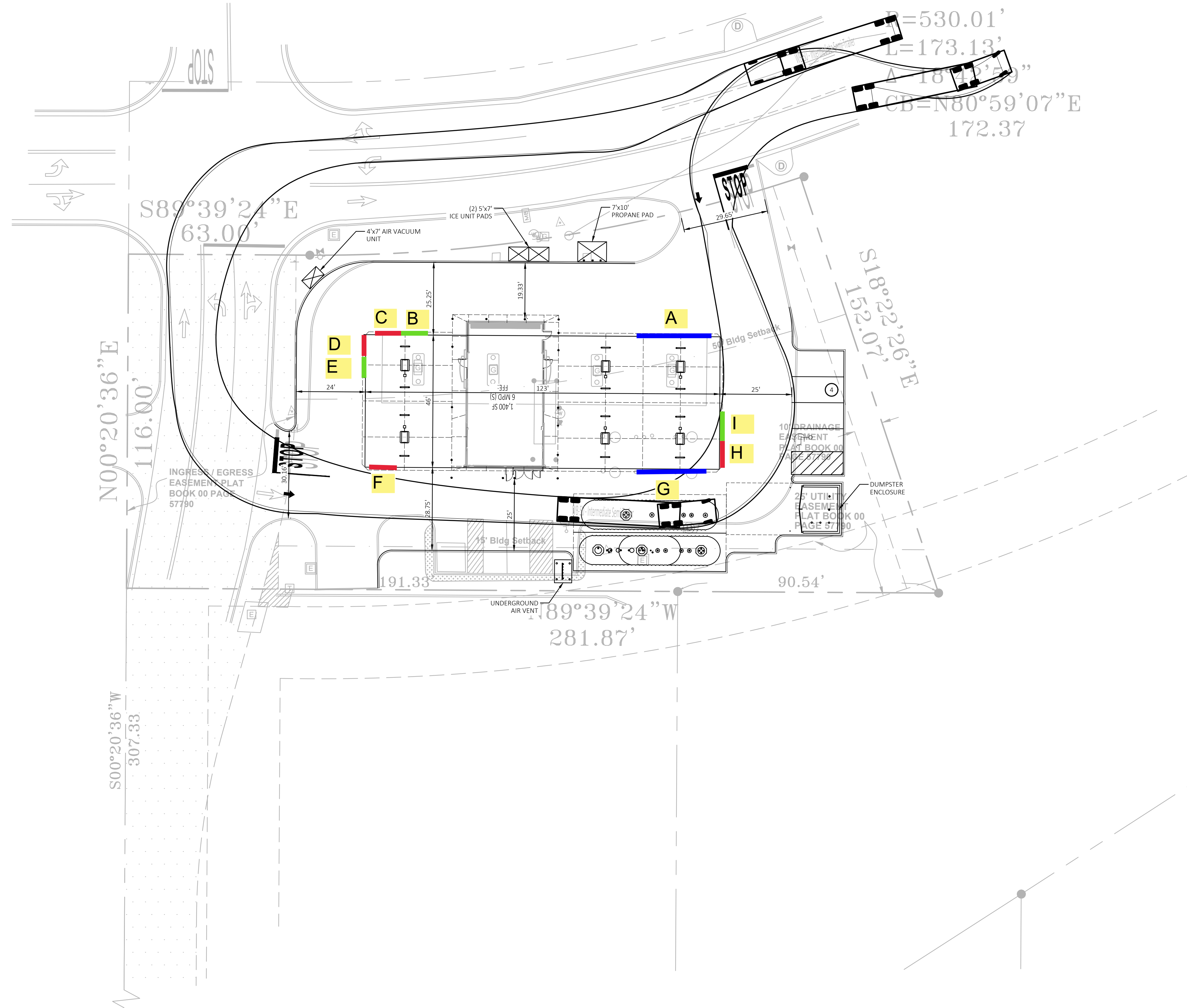
THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.



CEI ENGINEERING ASSOCIATES, INC.
3030 LBJ FREEWAY, SUITE 920
DALLAS, TX 75234
PHONE: (972) 488-3737
FAX: (972) 488-6732

MURPHY OIL U.S.A. INC.

MURPHY 422 N WASHINGTON AVE.
P.O. BOX 7000
USA EL DORADO, AR 71730-7000



NOTES

PROPOSED LOCATION IS AN

- OUT PARCEL
- EXISTING PARKING AREA
- GRASSY AREA
- FUTURE LEASE LOT

PARKING

- ±/ EXISTING NUMBER OF PARKING SPACES / RATIO ON WAL-MART PARCEL
- 0 TOTAL NUMBER OF SPACES TO BE REMOVED FROM WAL-MART PARCEL
- N/A TOTAL NUMBER OF POST GAS SPACES REMAINING ON WAL-MART PARCEL / RATIO
- ± WAL-MART BUILDING SQUARE FOOTAGE - (GROSS SQ-FT)

TYPE OF STATION OPERATION:

- C-STORE - MPD - CANOPY SIZE
- 1 KIOSK 6(S) MPD 46x123 CANOPY SIZE

PROPOSED SQUARE FOOTAGE OF OUT PARCEL AREA:

- 32,122 S.F 0.74 ACREAGE

PERCENTAGE OF OUTLOT USED: 100%

ZONING REQUIREMENTS:

- C-2 EXISTING ZONING
- C-2 ZONING REQUIREMENTS FOR STATION
- NA PROPOSED ZONING CHANGES
- NA RE-PLAT

PROPOSED UTILITY EASEMENTS: ANSWER "YES" OR "NO" AND PARTIES INVOLVED:

NO	WATER		
	<u>N/A</u>	PUBLIC WITH	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH WAL-MART	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH 3RD PARTY	<u>N/A</u>
<u>NO</u>	SEWER		
	<u>N/A</u>	PUBLIC WITH	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH WAL-MART	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH 3RD PARTY	<u>N/A</u>
<u>NO</u>	UNDERGROUND ELECTRIC		
	<u>N/A</u>	PUBLIC WITH	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH WAL-MART	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH 3RD PARTY	<u>N/A</u>
<u>NO</u>	UNDERGROUND TELEPHONE		
	<u>N/A</u>	PUBLIC WITH	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH WAL-MART	<u>N/A</u>
	<u>N/A</u>	PRIVATE WITH 3RD PARTY	<u>N/A</u>

OTHER NOTES:
WB-50 TEMPLATE HAS BEEN USED FOR TRUCK ROUTE.

MURPHY USA

403 BRYANT AVE.
BRYANT, AR

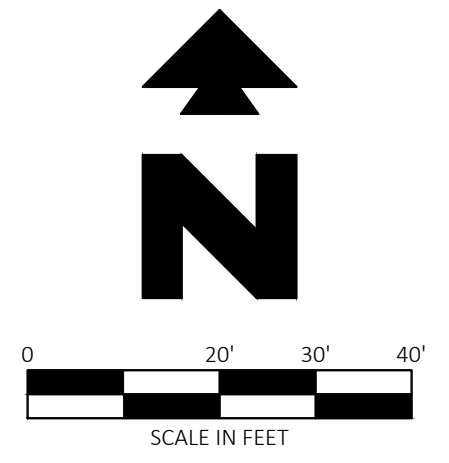
PROFESSIONAL OF RECORD POR
PROJECT MANAGER RKN
DESIGNER AMP
CEI PROJECT NUMBER #####
DATE 3/9/2023
REVISION REV-0

ECP
SHEET TITLE
SHEET NUMBER

ECP



Know what's below.
Call before you dig.



SITE BENCHMARK
Benchmark #1: A 5/8" rebar with cap CEI set northwest of the subject area, 175' northwest of a sewer manhole found south of the subject area, and 119' northwest of a fire hydrant found east of said access drive.
Northing: 2024315.13' Easting: 1163448.93'
Elevation: 419.42'
Benchmark #2: A 5/8" rebar with cap CEI set north of the subject area, 25' northwest of a drainage manhole found north of Bryant Ave. and 71' northwest of a drainage manhole found south of Bryant Ave.
Northing: 2024393.20' Easting: 1163694.72'
Elevation: 417.55'

NOTE: SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

ZONING:
C-2 (HIGHWAY COMMERCIAL)

BUILDING SETBACKS:

	REQUIRED	PROVIDED
FRONT (STREETS):	0'	0'
SIDE:	0'	0'
REAR:	15'	15'

CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A ARKANSAS REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN.

CONTRACTOR TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)

SEE SHEET C-4.1 FOR BUILDING ROOF AND CANOPY DRAINAGE

EXISTING LEGEND

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X'W	WATER
---	RIGHT OF WAY LINE	5-10-11-50.5	TREE INFO
---	STORM DRAIN		S = DIAMETER OF TRUNK IN FEET
X'G	GAS		10 = HEIGHT OF TREE IN FEET
OHE	OVERHEAD ELECTRIC		11 = CANOPY DIAMETER IN FEET
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		50.5 = ELEVATION AT BASE OF TREE

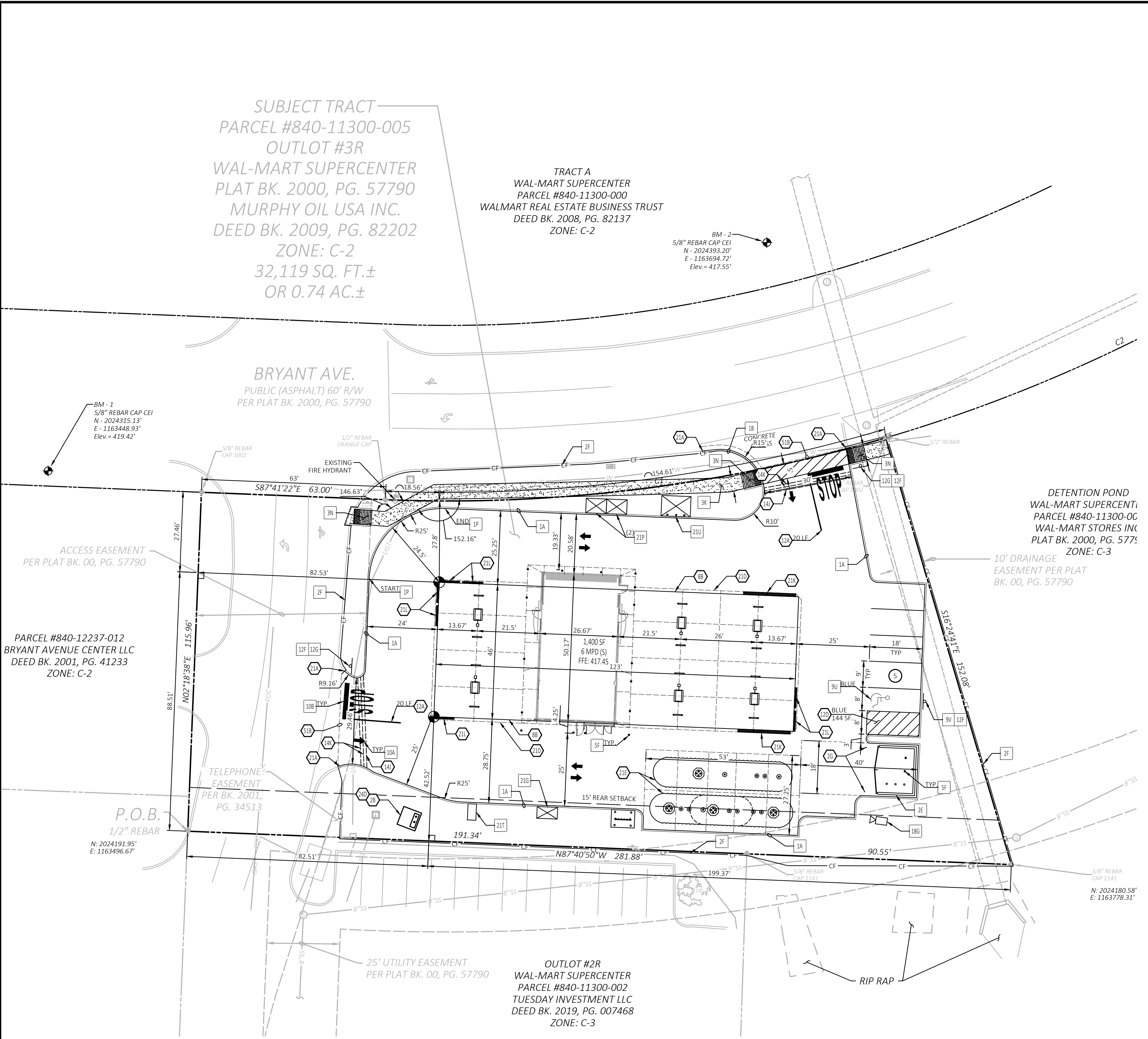
PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE
---	CONCRETE CURB AND GUTTER. SEE DETAIL 01A
●	BUILDING CONTROL POINT
---	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)

- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADII SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HERON: ALL CURB AND GUTTER ADJACENT TO EXISTING PAVING SHALL BE INSTALLED PER SHEET C-8
PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY ALSO BE NECESSARY.
 - ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
 - CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
 - CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, AND LOW FLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGES OCCUR THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
 - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWING IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
 - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
 - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 01A.

- SITE DETAILS**
- 1A TYPE A CONCRETE CURB AND GUTTER
 - 1B TYPE B CONCRETE INTEGRAL CURB AND GUTTER
 - 1P RAISED CURB AND GUTTER
 - 2E DUMPSTER ENCLOSURE
 - 2F CONSTRUCTION FENCE
 - 3K CONCRETE SIDEWALK
 - 3N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
 - 5F GUARD POST (SINGLE)
 - 9U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
 - 9V ACCESSIBLE / VAN PARKING SIGN MOUNTED IN BOLLARD
 - 10A TRAFFIC FLOW ARROW (TYP.)
 - 10B STOP BAR (TYP.)
 - 12F SIGN BASE
 - 12G STOP SIGN
 - 13A SITE LIGHT POLE (SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS)
 - 18G CONSTRUCTION CAMERA COORDINATE WITH MUSA PM FOR LOCATION
 - 21G AIR VACUUM UNIT WITH 4"x7" CONCRETE SLAB
 - 21P 5"x7" ICE UNIT. SEE NUMBER INDICATED AT SYMBOL.
 - 21T MAILBOX (CONTRACTOR SHALL COORDINATE WITH MURPHY PM POSTMASTER PRIOR TO INSTALLATION)
 - 21U CONCRETE PAD FOR PROPANE RACK.

- SITE NOTES**
- TRANSFORMER PAD
 - DRILL (2) 3/4" X 5/8" DIA. HOLES (1) EACH FOR OPEN POSITION & CLOSED POSITION OF GATES. TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
 - OVERHEAD CANOPY (TYP. PER ARCH. PLANS).
 - 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
 - 4 INCH WIDE PAINTED STRIPE, 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 - GC TO INSTALL (2) 4" PVC SLEEVE FOR IRRIGATION LINE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
 - GC TO INSTALL (2) 4" PVC SLEEVE FOR FUTURE USE. SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS.
 - TAPER CURB TO MATCH EXISTING CURB.
 - EDGE OF CONCRETE SLAB (PER TANK AND PIPING PLANS).
 - UNDERGROUND STORAGE TANKS (1) 25,000 GAL.-REGULAR, (1) 8,000 GAL.-PREMIUM, (1) 10,000 GAL.-DIESEL, (1) 8,000 GAL.-E-O.
 - MURPHY USA ID SIGN PER APPROVED ELEVATION.
 - PRICE SIGN PER APPROVED ELEVATION.
 - PROPOSED ELECTRIC TRANSFORMER
 - LIMITS OF SAWCUT AND PAVEMENT REMOVAL.



SUBJECT TRACT
PARCEL #840-11300-005
OUTLOT #3R
WAL-MART SUPERCENTER
PLAT BK. 2000, PG. 57790
MURPHY OIL USA INC.
DEED BK. 2009, PG. 82202
ZONE: C-2
32,119 SQ. FT.±
OR 0.74 AC.±

TRACT A
WAL-MART SUPERCENTER
PARCEL #840-11300-000
WALMART REAL ESTATE BUSINESS TRUST
DEED BK. 2008, PG. 82137
ZONE: C-2

DETENTION POND
WAL-MART SUPERCENTER
PARCEL #840-11300-00
WAL-MART STORES INC.
PLAT BK. 2000, PG. 57790
ZONE: C-3

PARCEL #840-12237-012
BRYANT AVENUE CENTER LLC
DEED BK. 2001, PG. 41233
ZONE: C-2

OUTLOT #2R
WAL-MART SUPERCENTER
PARCEL #840-11300-002
TUESDAY INVESTMENT LLC
DEED BK. 2019, PG. 007468
ZONE: C-3

**PARKING INFORMATION
MURPHY OIL**

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:				
		RATIO	SPACES			
MURPHY OIL	1,400	1/300 S.F.	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
STALL DIMENSIONS:			4		1	5
9' X 18'		PROVIDED:				
		RATIO	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
		1/300 S.F.	4		1	5
NO. OF FUEL ISLANDS: 8			NO. OF VEHICLE FUELING POINTS: 16			

**PRE-CONSTRUCTION
IMPERVIOUS SITE RATIO (ISR)**

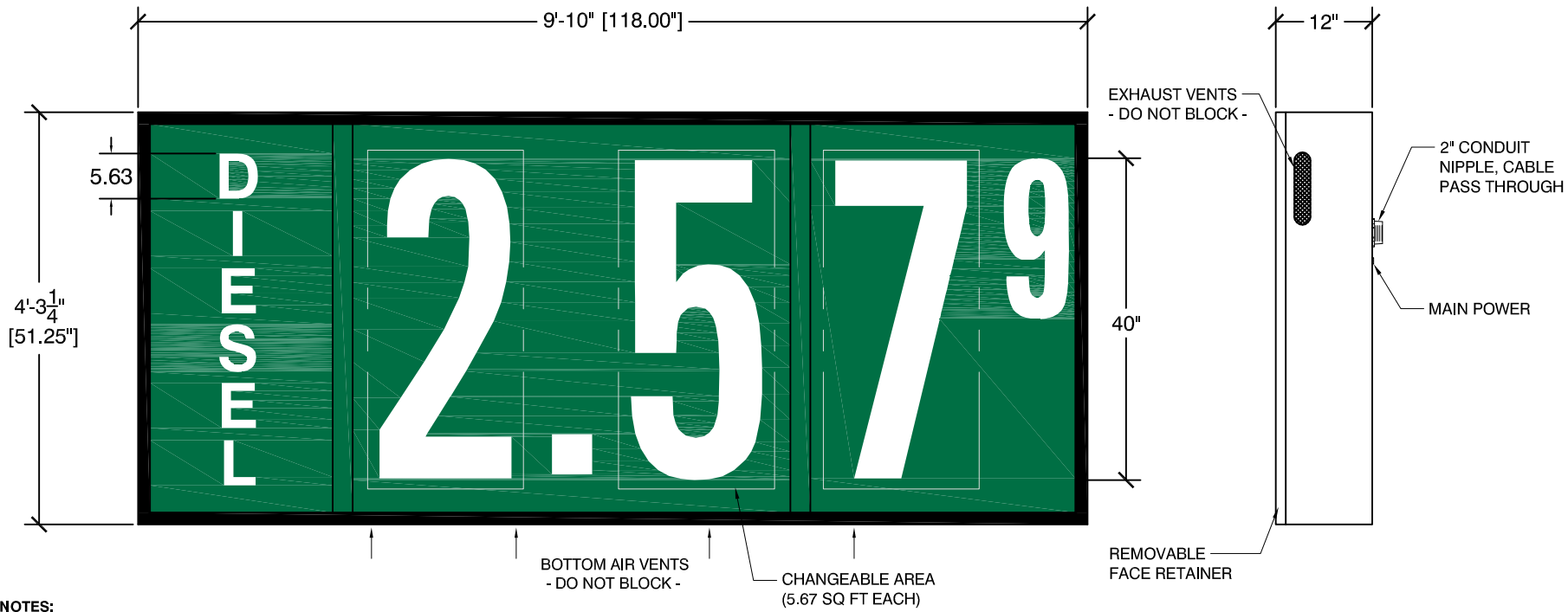
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	22,754	71%
GREEN SPACE	9,368	29%
GROSS SITE	32,122	100%

**POST-CONSTRUCTION
IMPERVIOUS SITE RATIO (ISR)**

AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	24,564	78%
GREEN SPACE	6,996	22%
GROSS SITE	32,122	100%

Sign A

"SIGN SPECIFICATION & CUT-SHEET"



NOTES:

1. CONFORMS TO UL STD 48
2. FONT: HELVETICA EXTENDED
3. CABINET PAINTED **BLACK**
4. PLEASE SPECIFY ANY SPECIAL MOUNTING REQUIREMENTS.
5. FACE VINYL TO BE APPLIED ON OUTSIDE SURFACE (1st SURFACE)
6. ALL PANELS TO BE 3/16" CLEAR OR WHITE ACRYLIC
7. COMMODITY BACKGROUND & COPY TO BE TRANSLUCENT (7.60 SQ FT)
8. PRICE AREA BACKGROUND TO BE OPAQUE WITH TRANSLUCENT COPY (24.58 SQ FT)
9. TOTAL CHANGEABLE AREA = 17.00 SQ FT
10. TOTAL SIGN AREA = 42.00 SQ FT
11. APPROX. SIGN WEIGHT: 340 lbs
12. **INTERIOR ILLUMINATION:**
12 VDC LED BACKLIGHTING
TOTAL ILLUMINATED AREA: 17.42 SQ FT
.58 WATTS/SIGN SQ FT
1192 LUMENS, 737 NITS
13. **ELECTRICAL REQUIREMENTS:**
Input Voltage: 120 VAC
Control 24/7 = 2 Amps
Lighting = 2 Amps

COLORS	REVISIONS	CUSTOMER REVIEW STATUS	THE INTENT OF THE DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. THE FINISHED SIGN MAY DIFFER SLIGHTLY FROM DRAWING.
<ul style="list-style-type: none"> ● GREEN, 3M 3632-26 ● DIGIT, GREEN/WHITE 	1: 2: 3: 4: 5:	SKYLINE PRODUCTS, INC. REQUIRES THAT AN "APPROVED" DRAWING BE OBTAINED FROM THE CUSTOMER PRIOR TO ANY PRODUCTION RELEASE OR PRODUCTION RELEASE REVISION. <input type="checkbox"/> APPROVED <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> REVISE AND RESUBMIT NAME: _____ DATE: _____	DRAWING NUMBER: MURP0091-122316-03A MODEL NUMBER: PSE1-40-1P1F-329-NSC SIGN TOLERANCES: +1/8 -1/2"

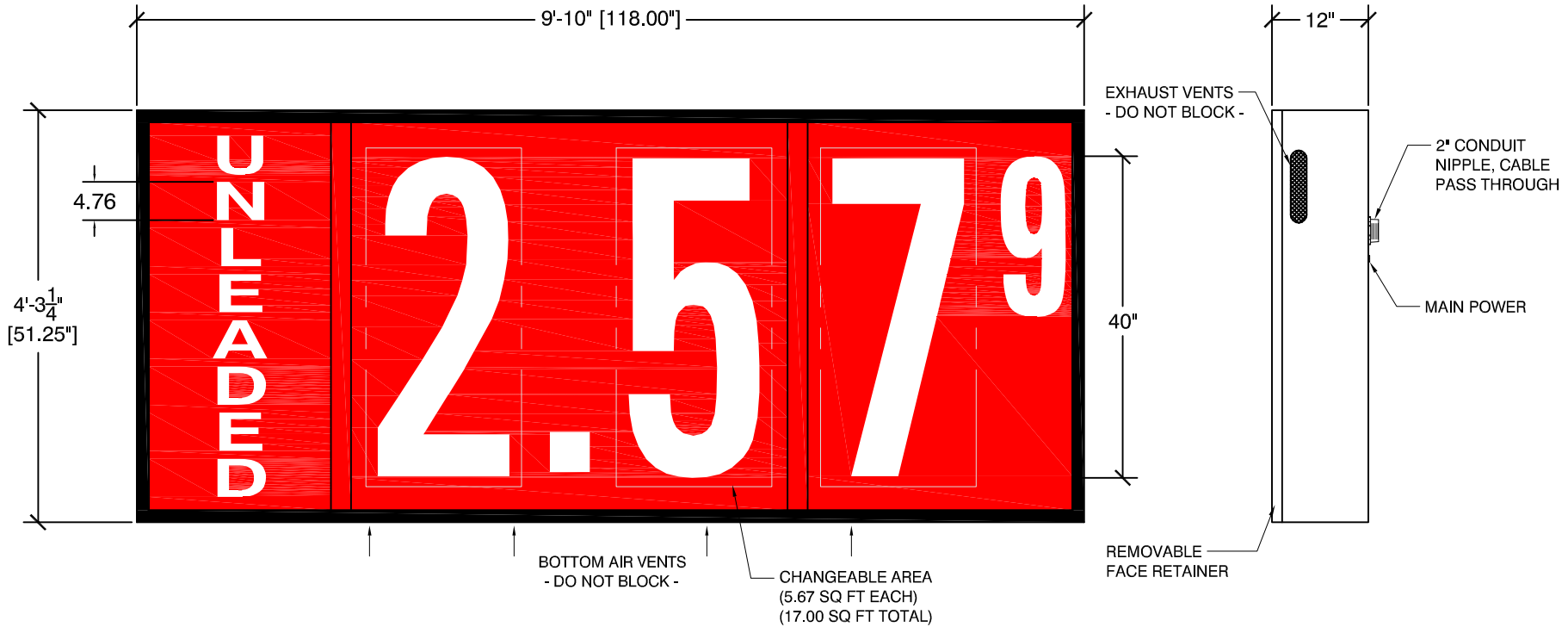
CUSTOMER:	MURPHY OIL
ADDRESS:	
SALESPERSON:	COMPANY
DATE:	01/08/17
STORE #:	
SALES ORDER#:	
SIGN AREA:	42.00 sq ft
DRAWN BY:	KRC

2903 DELTA DRIVE
COLORADO SPRINGS,
CO 80910-1012
719-392-9046
800-759-9046

SKYLINE PRODUCTS
 MODEL, 40" SINGLE PRODUCT
 SINGLE FACE, 12" DEEP
 SCROLL, FUEL PRICE DISPLAY
 REV: 01
 SPT #: 01MURP-40CAN-GW-DSL

All installation details are suggested only. All signs must be installed in accordance with NATIONAL STATE ELECTRICAL AND BUILDING CODES. Unless specifically contracted for Skyline Products, Inc. shall have no responsibility for wind loads, installations, or electrical circuits. These are the sole responsibility of the buyer/user.

"SIGN SPECIFICATION & CUT-SHEET"



NOTES:

1. CONFORMS TO UL STD 48
2. FONT: HELVETICA EXTENDED
3. CABINET PAINTED **BLACK**
4. PLEASE SPECIFY ANY SPECIAL MOUNTING REQUIREMENTS.
5. FACE VINYL TO BE APPLIED ON OUTSIDE SURFACE (1st SURFACE)
6. ALL PANELS TO BE 3/16" CLEAR OR WHITE ACRYLIC
7. COMMODITY BACKGROUND & COPY TO BE TRANSLUCENT (7.60 SQ FT)
8. PRICE AREA BACKGROUND TO BE OPAQUE WITH TRANSLUCENT COPY (24.58 SQ FT)
9. TOTAL CHANGEABLE AREA = 17.00 SQ FT
10. TOTAL SIGN AREA = 42.00 SQ FT
11. APPROX. SIGN WEIGHT: 340 lbs
12. **INTERIOR ILLUMINATION:**
12 VDC LED BACKLIGHTING
TOTAL ILLUMINATED AREA: 17.42 SQ FT
13. **ELECTRICAL REQUIREMENTS:**
.58 WATTS/SIGN SQ FT
1192 LUMENS, 737 NITS
Input Voltage: 120 VAC
Control 24/7 = 2 Amps
Lighting = 2 Amps

COLORS	REVISIONS	CUSTOMER REVIEW STATUS	THE INTENT OF THE DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. THE FINISHED SIGN MAY DIFFER SLIGHTLY FROM DRAWING.
<ul style="list-style-type: none"> ● RED, 3M 3632-73 ○ DIGIT, RED/WHITE 	<ol style="list-style-type: none"> 1: 2: 3: 4: 5: 	SKYLINE PRODUCTS, INC. REQUIRES THAT AN "APPROVED" DRAWING BE OBTAINED FROM THE CUSTOMER PRIOR TO ANY PRODUCTION RELEASE OR PRODUCTION RELEASE REVISION. <input type="checkbox"/> APPROVED <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> REVISE AND RESUBMIT NAME: _____ DATE: _____	DRAWING NUMBER: MURP0091-122316-03A MODEL NUMBER: PSE1-40-1P1F-329-NSC SIGN TOLERANCES: +1/8 -1/2"

CUSTOMER:	MURPHY OIL
ADDRESS:	
SALESPERSON:	COMPANY
DATE:	01/08/17
STORE #:	
SALES ORDER#:	
SIGN AREA:	42.00 sq ft
DRAWN BY:	KRC

2903 DELTA DRIVE
 COLORADO SPRINGS,
 CO 80910-1012
 719-392-9046
 800-759-9046

SKYLINE PRODUCTS

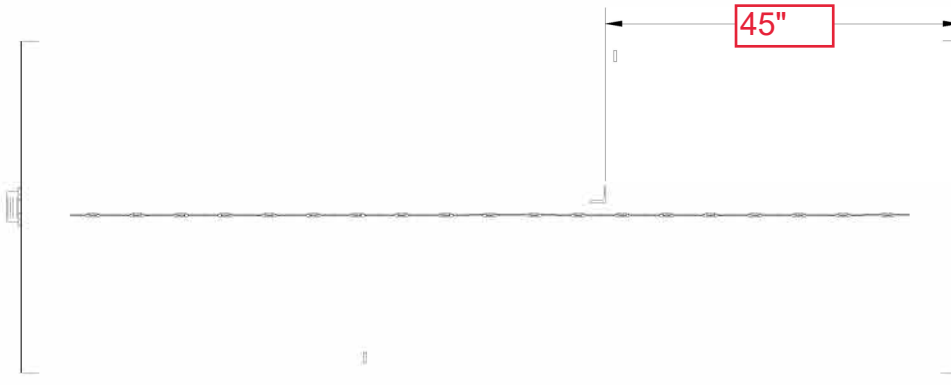
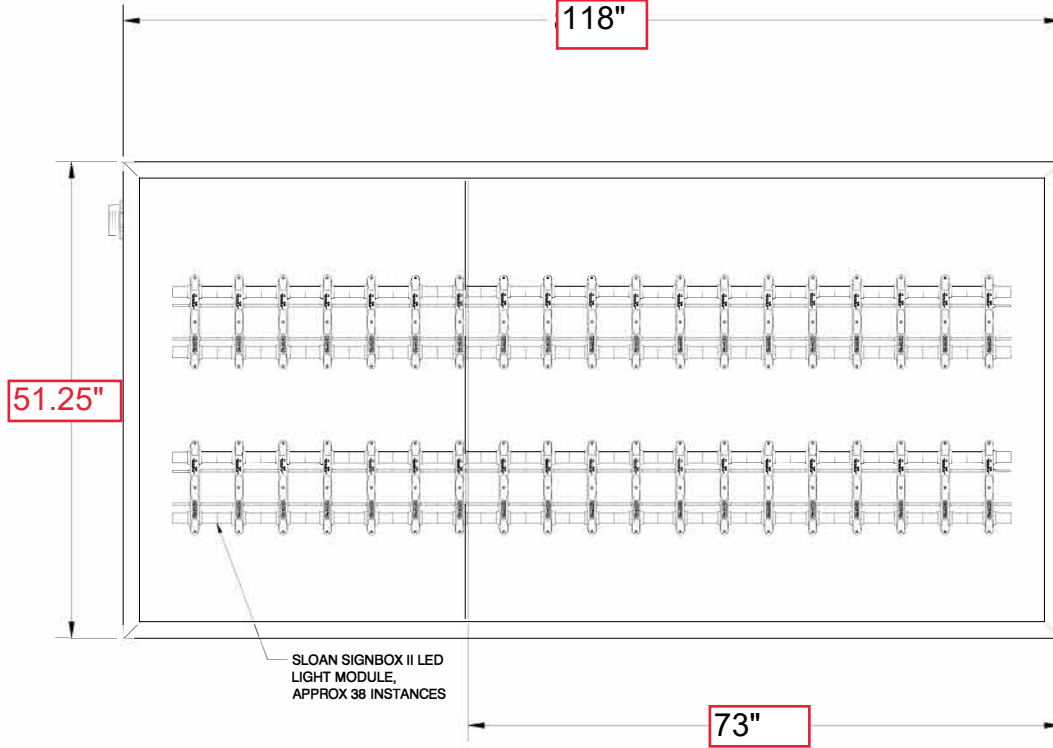
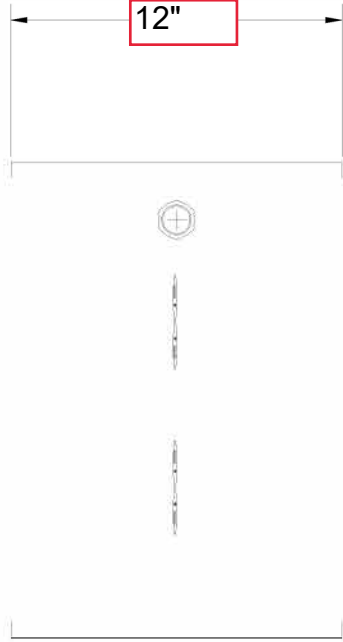
TITLE: MODEL, 40" SINGLE PRODUCT
 SINGLE FACE, 12" DEEP
 SCROLL, FUEL PRICE DISPLAY

REV. #/P.#: 01

01MURP-40CAN-RW-UNL

All installation details are suggested only. All signs must be installed in accordance with NATIONAL, STATE ELECTRICAL, AND BUILDING CODES. Unless specifically contracted for Skyline Products, Inc. shall have no responsibility for wind loads, installations, or electrical circuits. These are the sole responsibility of the buyer/user.

"SIGN SPECIFICATION & CUT-SHEET"



SLOAN SIGNBOX II LED LIGHT MODULE, APPROX 38 INSTANCES

REVISIONS	THE INTENT OF THE DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. THE FINISHED SIGN MAY DIFFER SLIGHTLY FROM DRAWING.
1:	DRAWING NUMBER: MURP0091-030520-01B
2:	MODEL NUMBER: PSE1-32-1P2F-329-NPG
3:	FOR PERMITTING INFORMATION ONLY
4:	
5:	SIGN TOLERANCES: +1/8 -1/2"

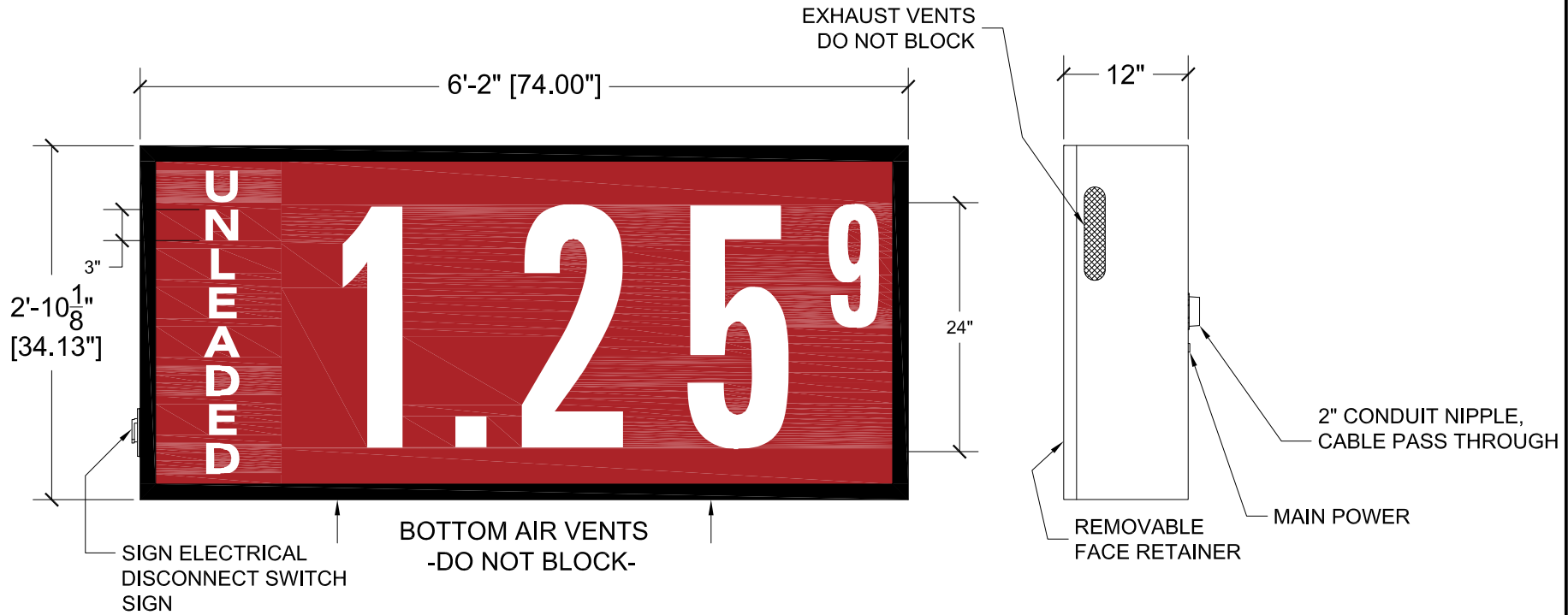
CUSTOMER:	MURPHY OIL
ADDRESS:	Abbeville, LA
SALES PERSON:	COMPANY
DATE:	3/4/2021
DRAWN BY:	SPS
STORE #:	7809
SALES ORDER#:	
SIGN AREA:	42.00 ft

2903 DELTA DRIVE
 COLORADO SPRINGS,
 CO 80910-1012
 719-392-9046
 800-759-9046

SKYLINE PRODUCTS	TITLE:
MODEL, 32" SINGLE PRODUCT	DOUBLE FACE
SCROLL, FUEL PRICE DISPLAY	REV: 01
SPR #:	01MURP-32PYL-GW-DSL-43

All installation details are suggested only. All Signs must be installed in accordance with NATIONAL, STATE ELECTRICAL, AND BUILDING CODES. Unless specifically contracted for Skyline Products, Inc. shall have no responsibility for wind loads, installations, or electrical circuits. These are the sole responsibility of the buyer/user.

"SIGN SPECIFICATION & CUT-SHEET"



NOTES:

- CONFORMS TO UL STD 48
- FONT: HELVETICA EXTENDED BOLD
- CABINET PAINTED **BLACK**
- PLEASE SPECIFY ANY SPECIAL MOUNTING REQUIREMENTS.
- SIGN HOUSING NOT DESIGNED TO BE LOAD BEARING
- FACE VINYL TO BE APPLIED ON OUTSIDE SURFACE (1st SURFACE)
- ALL PANELS TO BE 3/16" CLEAR
- COMMODITY BACKGROUND TO BE TRANSLUCENT WITH TRANSLUCENT COPY
- PRICE AREA BACKGROUND TO BE OPAQUE WITH TRANSLUCENT COPY
- INTERIOR ILLUMINATION :
LED BACKLIGHTING
ELECTRICAL REQUIREMENTS:
Input Voltage: 120 VAC
Control 24/7 = 2 Amps
Lighting= 1.2 Amps
TOTAL = 3.2 Amps

- REAR MOUNTING ONLY -

MOUNTING STRUCTURE & SUPPORTS BY OTHERS

COLORS	REVISIONS	CUSTOMER REVIEW STATUS	THE INTENT OF THE DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. THE FINISHED SIGN MAY DIFFER SLIGHTLY FROM DRAWING.																		
<ul style="list-style-type: none"> ● RED, 3M 3632-73 ○ WHITE, 3M 3632-20 ⊙ DIGIT, RED/WHITE 	<table border="1"> <tr> <td>DATE</td> <td>DRAWN</td> <td>CHECKED</td> </tr> <tr> <td>1:</td> <td></td> <td></td> </tr> <tr> <td>2:</td> <td></td> <td></td> </tr> <tr> <td>3:</td> <td></td> <td></td> </tr> <tr> <td>4:</td> <td></td> <td></td> </tr> <tr> <td>5:</td> <td></td> <td></td> </tr> </table>	DATE	DRAWN	CHECKED	1:			2:			3:			4:			5:			SKYLINE PRODUCTS, INC. REQUIRES THAT AN "APPROVED" DRAWING BE OBTAINED FROM THE CUSTOMER PRIOR TO ANY PRODUCTION RELEASE OR PRODUCTION RELEASE REVISION. <input type="checkbox"/> APPROVED <input type="checkbox"/> REVISE & RE-SUBMIT NAME: _____ DATE: _____	DRAWING NUMBER: MURP0091-060520-01A MODEL NUMBER: PSE1-24-1P1F-329-NSC SIGN TOLERANCES: +1/8 -1/2"
DATE	DRAWN	CHECKED																			
1:																					
2:																					
3:																					
4:																					
5:																					
			<table border="1"> <tr> <td>CLASS.</td> </tr> <tr> <td align="center">CS</td> </tr> </table>	CLASS.	CS																
CLASS.																					
CS																					

CUSTOMER:	MURPHY OIL COMPANY
ADDRESS:	
SALESPERSON:	COMPANY
DATE:	6/8/2020
DRAWN BY:	JJB
CHECKED BY:	KRC
STORE #:	
SALES ORDER#:	
SIGN AREA:	17.54 sq ft

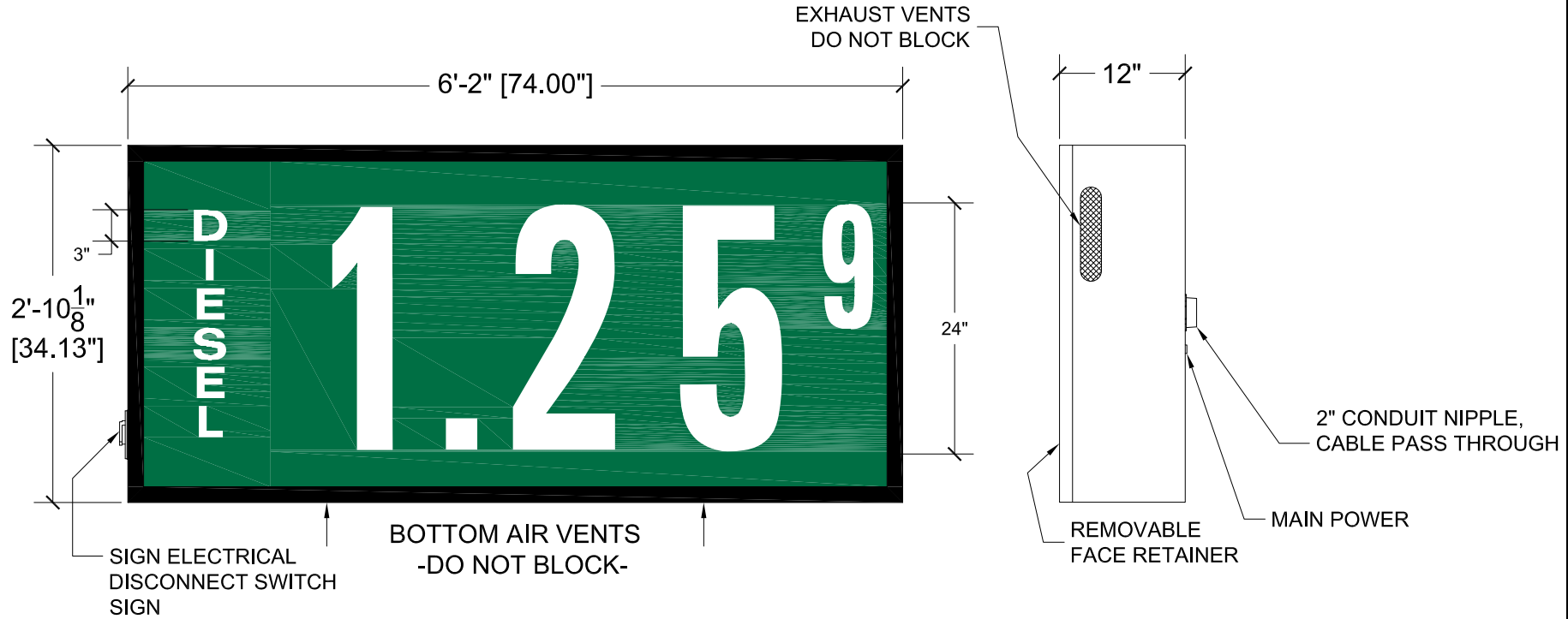
2903 DELTA DRIVE
 COLORADO SPRINGS,
 CO 80910-1012
 719-392-9046
 800-759-9046

SKYLINE PRODUCTS
 SCROLL FUEL PRICE DISPLAY

REV: 01MURP-24CAN-RW-UNL

All installation details are suggested only. All Signs must be installed in accordance with NATIONAL, STATE ELECTRICAL, AND BUILDING CODES. Unless specifically contracted for Skyline Products, Inc. shall have no responsibility for wind loads, installations, or electrical circuits. These are the sole responsibility of the buyer/user.

"SIGN SPECIFICATION & CUT-SHEET"



NOTES:

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8. COMMODITY BACKGROUND TO BE TRANSLUCENT WITH TRANSLUCENT COPY
9. PRICE AREA BACKGROUND TO BE OPAQUE WITH TRANSLUCENT COPY
10. INTERIOR ILLUMINATION :
LED BACKLIGHTING
ELECTRICAL REQUIREMENTS:
Input Voltage: 120 VAC
Control 24/7 = 2 Amps
Lighting= 1.2 Amps
TOTAL = 3.2 Amps

- REAR MOUNTING ONLY -

MOUNTING STRUCTURE & SUPPORTS BY OTHERS

COLORS	REVISIONS	CUSTOMER REVIEW STATUS	THE INTENT OF THE DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. THE FINISHED SIGN MAY DIFFER SLIGHTLY FROM DRAWING.																		
<ul style="list-style-type: none"> ● GREEN, 3M 3632-26 ○ WHITE, 3M 3632-20 ◉ DIGIT, GREEN/WHITE 	<table border="1"> <tr> <td>DATE</td> <td>DRAWN</td> <td>CHECKED</td> </tr> <tr> <td>1:</td> <td></td> <td></td> </tr> <tr> <td>2:</td> <td></td> <td></td> </tr> <tr> <td>3:</td> <td></td> <td></td> </tr> <tr> <td>4:</td> <td></td> <td></td> </tr> <tr> <td>5:</td> <td></td> <td></td> </tr> </table>	DATE	DRAWN	CHECKED	1:			2:			3:			4:			5:			SKYLINE PRODUCTS, INC. REQUIRES THAT AN "APPROVED" DRAWING BE OBTAINED FROM THE CUSTOMER PRIOR TO ANY PRODUCTION RELEASE OR PRODUCTION RELEASE REVISION. <input type="checkbox"/> APPROVED <input type="checkbox"/> REVISE & RE-SUBMIT NAME: _____ DATE: _____	DRAWING NUMBER: MURP0091-060520-01B MODEL NUMBER: PSE1-24-1P1F-329-NSC SIGN TOLERANCES: +1/8 -1/2"
DATE	DRAWN	CHECKED																			
1:																					
2:																					
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4:																					
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			<table border="1"> <tr> <td>CLASS.</td> </tr> <tr> <td align="center">CS</td> </tr> </table>	CLASS.	CS																
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CUSTOMER:	MURPHY OIL COMPANY
ADDRESS:	
SALESPERSON:	COMPANY
DATE:	6/8/2020
DRAWN BY:	JJB
CHECKED BY:	KRC
STORE #:	
SALES ORDER#:	
SIGN AREA:	17.54 sq ft

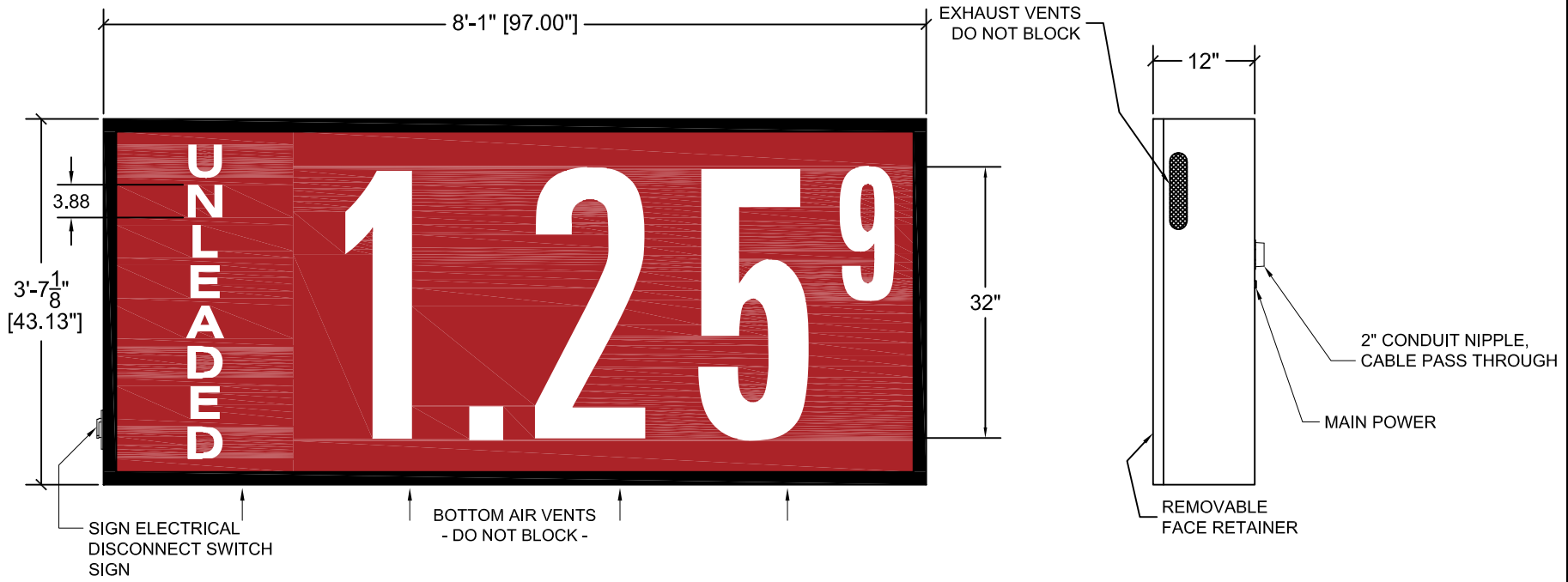
2903 DELTA DRIVE
 COLORADO SPRINGS,
 CO 80910-1012
 719-392-9046
 800-759-9046

SKYLINE PRODUCTS
 SCROLL FUEL PRICE DISPLAY

REV: 01MURP-24CAN-GW-DSL

All installation details are suggested only. All Signs must be installed in accordance with NATIONAL, STATE ELECTRICAL, AND BUILDING CODES. Unless specifically contracted for Skyline Products, Inc. shall have no responsibility for wind loads, installations, or electrical circuits. These are the sole responsibility of the buyer/user.

"SIGN SPECIFICATION & CUT-SHEET"



NOTES:

1. CONFORMS TO UL STD 48
2. FONT: HELVETICA EXTENDED BOLD
3. CABINET PAINTED **BLACK**
4. PLEASE SPECIFY ANY SPECIAL MOUNTING REQUIREMENTS.
5. SIGN HOUSING NOT DESIGNED TO BE LOAD BEARING
6. FACE VINYL TO BE APPLIED ON OUTSIDE SURFACE (1st SURFACE)
7. ALL PANELS TO BE 3/16" CLEAR
8. COMMODITY BACKGROUND TO BE TRANSLUCENT WITH TRANSLUCENT COPY
9. PRICE AREA BACKGROUND TO BE OPAQUE WITH TRANSLUCENT COPY
10. INTERIOR ILLUMINATION :
LED BACKLIGHTING
ELECTRICAL REQUIREMENTS:
Input Voltage: 120 VAC
Control 24/7 = 2 Amps
Lighting= 2.4 Amps
TOTAL = 4.4 Amps

- REAR MOUNTING ONLY -

MOUNTING STRUCTURE & SUPPORTS BY OTHERS

COLORS	REVISIONS	CUSTOMER REVIEW STATUS	THE INTENT OF THE DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. THE FINISHED SIGN MAY DIFFER SLIGHTLY FROM DRAWING.																		
<ul style="list-style-type: none"> ● RED, 3M 3632-73 ○ WHITE, 3M 3632-20 ● DIGIT, RED/WHITE 	<table border="1"> <tr> <td>DATE</td> <td>DRAWN</td> <td>CHECKED</td> </tr> <tr> <td>1:</td> <td></td> <td></td> </tr> <tr> <td>2:</td> <td></td> <td></td> </tr> <tr> <td>3:</td> <td></td> <td></td> </tr> <tr> <td>4:</td> <td></td> <td></td> </tr> <tr> <td>5:</td> <td></td> <td></td> </tr> </table>	DATE	DRAWN	CHECKED	1:			2:			3:			4:			5:			SKYLINE PRODUCTS, INC. REQUIRES THAT AN "APPROVED" DRAWING BE OBTAINED FROM THE CUSTOMER PRIOR TO ANY PRODUCTION RELEASE OR PRODUCTION RELEASE REVISION. <input type="checkbox"/> APPROVED <input type="checkbox"/> REVISE & RE-SUBMIT NAME: _____ DATE: _____	DRAWING NUMBER: MURP0091-060920-01A MODEL NUMBER: PSE1-32-1P1F-329-NSC SIGN TOLERANCES: +1/8 -1/2"
DATE	DRAWN	CHECKED																			
1:																					
2:																					
3:																					
4:																					
5:																					
			CLASS. CS																		

CUSTOMER:	MURPHY OIL COMPANY
ADDRESS:	
SALES PERSON:	COMPANY
DATE:	6/10/2020
DRAWN BY:	JJB
CHECKED BY:	KRC
STORE #:	
SALES ORDER#:	
SIGN AREA:	29.05 sq ft

2903 DELTA DRIVE
 COLORADO SPRINGS,
 CO 80910-1012
 719-392-9046
 800-759-9046

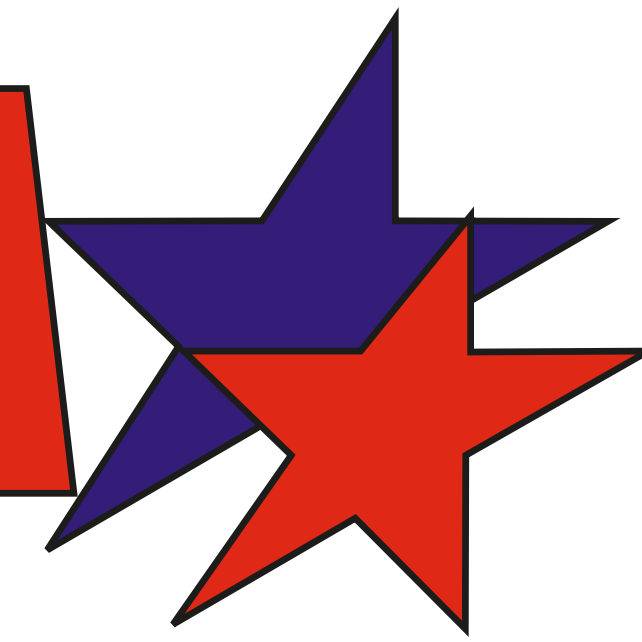
	TITLE:	SCROLL, FUEL PRICE DISPLAY
	REV. SPT#:	01 01MURP-32CAN-RW-UNL

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16'9-1/4"

2'-0"

MURPHY USA



3354 S.F.

