



# Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

**Date:** September 01, 2022 - **Time:** 9:00 AM

## Call to Order

## Old Business

## New Business

### 1. Grace Village Phase 3 - Final Plat

*GarNat Engineering - Requestign Recommendation For Approval of Final Plat*

- [0570-ASB-02.pdf](#)
- [0570-ELF-01.pdf](#)
- [0570-MTN-01.pdf](#)

### 2. REQUEST TO ADD - All Paws Petwash - 1400 N Reynolds Road

*Hope Consulting - Requesting Site Plan Approval*

- [0579-PLN-03.pdf](#)
- [0579-PLN-02.pdf](#)
- [0579-PLN-01.pdf](#)
- [0579-LTR-01.pdf](#)

### 3. Benjamin Grove Phase 4 - Annexation

*GarNat Engineering - Requesting Recommendation for Approval of Annexation*

- [0590-APP-01.pdf](#)

### 4. Creekside Addition Phase 2 - Preliminary Plat

*GarNat Engineering - Requesting Recommendation for Preliminary Plat Approval*

- [0586-PLN-03.pdf](#)
- [0586-BND-01.pdf](#)
- [0586-LTR-01.pdf](#)

### 5. Lombard Heights Phase 1 - Final Plat

*Hope Consulting - Requesting Recommendation for Approval of Final Plat*

- [0578-ASB-02.pdf](#)
- [0578-PLN-02.pdf](#)

### 6. Cornerstone Montessori Christian Academy - 4910 Springhill Road

*Hope Consulting - Requesting Site Plan Approval*

- [0545-PLN-03.pdf](#)

#### **7. 3924 Commonwealth Drive - Conditional Use Permit**

*Patricia Joyner - Requesting Recommendation for Approval of CUP for Short Term Rental*

- [0587-APP-01.pdf](#)

#### **8. Walmart - 400 Bryant Ave - Special Sign Permit**

*Harrison French and Associates - Requesting Recommendation for Approval of Special Sign Permit*

- [0538-APP-02.pdf](#)

#### **9. Domino's - 3415 HWY 5 - Sign Permit**

*Arkansas Sign and Neon - Requesting Approval for Pole Sign*

- [0589-APP-01.pdf](#)

#### **10. Custom Advertising - 23738 I-30 - Sign Permit**

*Custom Advertising - Requesting Sign Permit Approval*

- [0588-APP-01.pdf](#)

### **Staff Approved**

#### **11. Domino's - 3415 HWY 5 - Sign Permit**

*Arkansas Sign and Neon - Requesting Approval of Sign Permit - STAFF APPROVED, BOTH FACADE SIGNS AND BLADE SIGN*

- [0589-APP-01.pdf](#)

### **Permit Report**

### **Adjournments**

CONSTRUCTION PLANS FOR

# GRACE VILLAGE SUBDIVISION - PHASE 3

## CITY OF BRYANT, SALINE COUNTY, ARKANSAS

REVISED AS CONSTRUCTED 7/20/22

Prepared by:  
**GarNat Engineering, LLC**

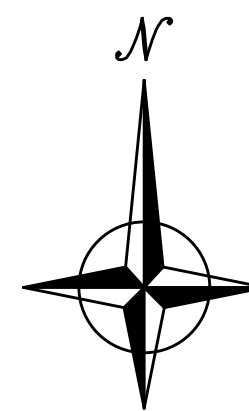
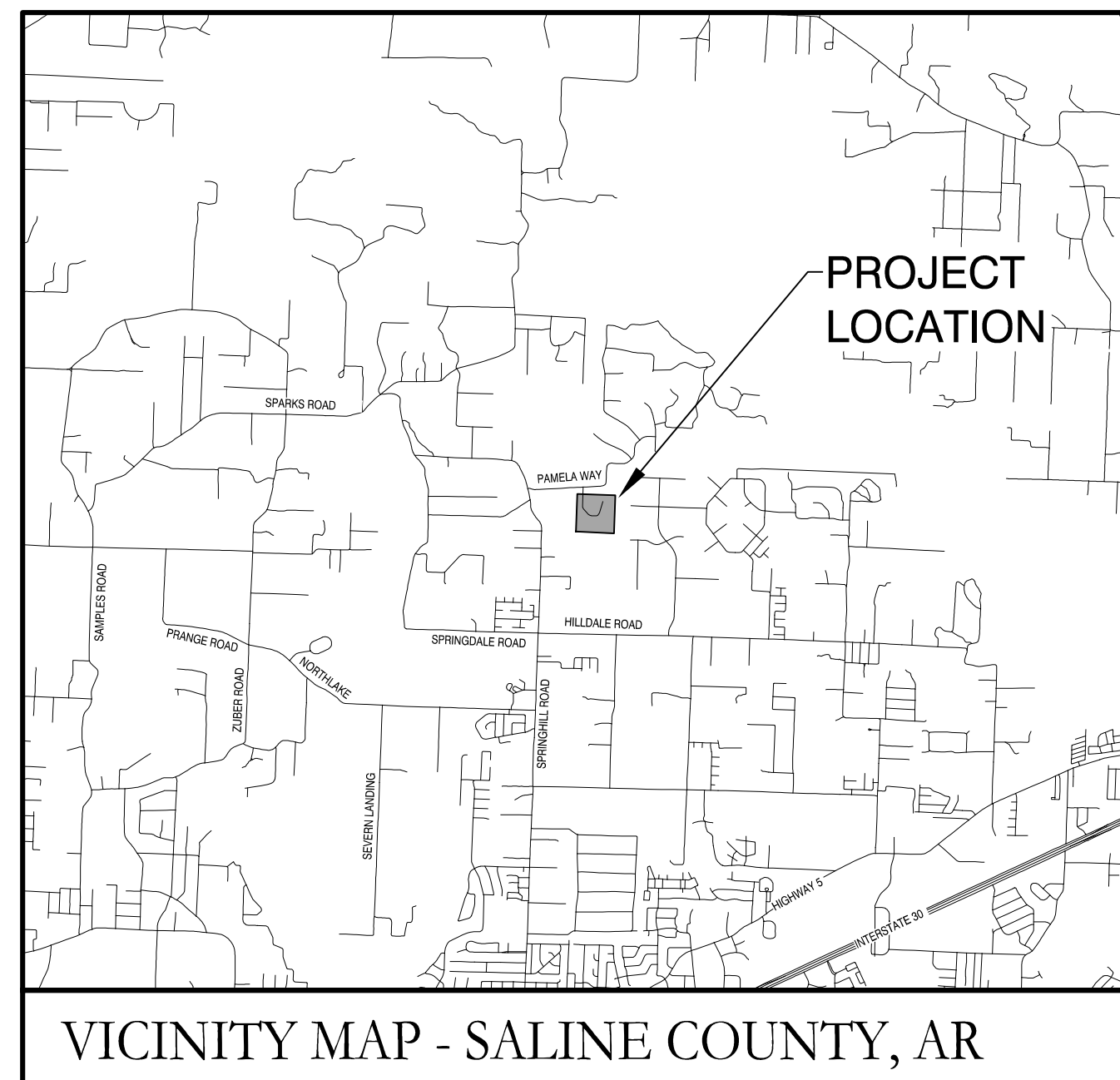
Designing our client's success

[www.garnatengineering.com](http://www.garnatengineering.com)

P.O. Box 116  
Benton, AR 72018  
Ph (501) 408-4650

**RECORD  
DRAWING**

3825 Mt Carmel Road  
Bryant, AR 72022  
Fx (888) 900-3068



ARKANSAS

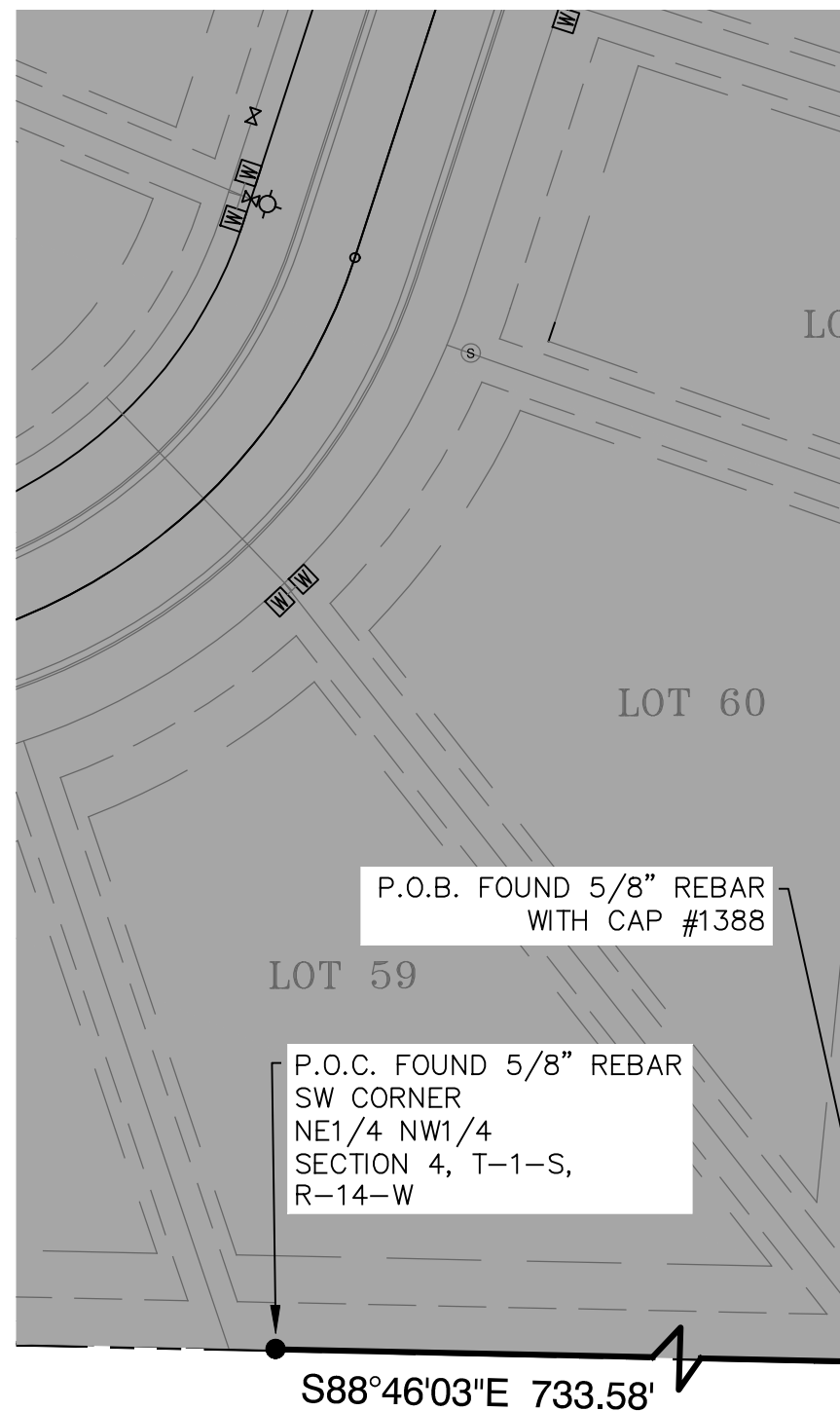
DRAWING INDEX:

- 1 FINAL PLAT
- 2 OVERALL WATER & SEWER PLAN
- 3 STREET & DRAINAGE PLAN
- 4 PEACE LANE PROFILE
- 5 KINDNESS COURT PROFILE
- 6 SANITARY SEWER PROFILE SSMH-1 TO SSMH-2
- 7 DRAINAGE PROFILES
- 8 SPILLWAY DETAILS



1-20-2021

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C3	45.27	50.00	51°52'21"	S79°41'37"E	43.74
C6	38.82	25.00	88°58'11"	S46°43'48"W	35.04
C7	46.60	25.00	106°48'37"	N35°22'48"W	40.14
C9	11.63	25.00	26°38'52"	N31°20'56"E	11.52
C10	52.20	50.00	59°49'00"	N14°45'52"E	49.86
C11	59.04	50.00	67°39'07"	N48°58'12"W	55.67
C12	69.17	50.00	79°16'01"	S57°34'14"W	63.79
C13	55.71	50.00	63°50'12"	S13°58'53"E	52.87
C14	27.89	25.00	63°55'29"	S13°56'14"E	26.47
C15	18.55	25.00	42°30'30"	S39°16'45"W	18.13
C16	59.62	50.00	68°19'24"	S26°22'19"W	56.15
C17	40.11	50.00	45°58'04"	S30°46'25"E	39.05
C18	22.40	50.00	25°39'48"	N61°32'18"E	22.21
C19	18.55	25.00	42°30'30"	N69°57'39"E	18.13
C20	39.72	25.00	91°02'15"	S43°15'59"E	35.67
C21	93.21	50.00	106°48'37"	S35°22'48"E	80.29



OWNER:		DEVELOPER:	
Name:	James H. Brown	Name:	James H. Brown
Address:	Broken Bow Development, Inc. #9 Mountain View Court Little Rock, Arkansas 72212	Address:	Broken Bow Development, Inc. #9 Mountain View Court Little Rock, Arkansas 72212

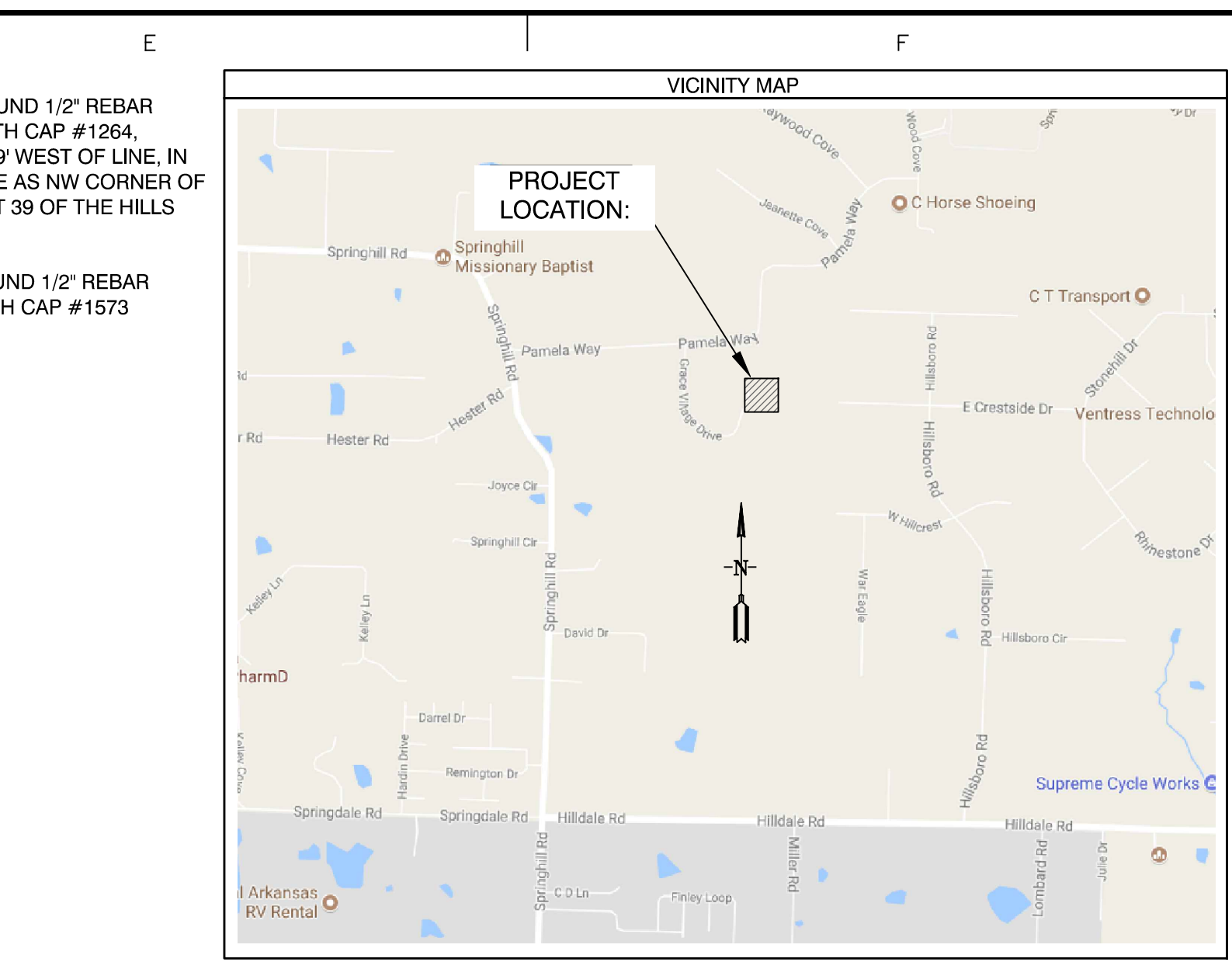
**CERTIFICATE OF OWNER:**  
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Name: James H. Brown  
Address: #9 Mountain View Court Little Rock, Arkansas 72212

Source of Title Saline County: Deed Book 2009, Page 101708

**CERTIFICATE OF ENGINEERING ACCURACY:**  
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Vernon J. Williams  
Registered Professional Engineer  
No. 9551, Arkansas



**BASIS OF BEARINGS:**  
NAD 83 ARKANSAS GRID SOUTH ZONE (GPS)

**CERTIFICATIONS:**  
By affixing my seal and signature, I George P. Wooden, PLS No. 1573, hereby certify that this drawing correctly depicts a survey compiled under my supervision dated January 15, 2021.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0222E dated 6/5/2020, no portion of the property described hereon does lie within the 100 year flood hazard boundary.

**GENERAL NOTES:**

- ALL STREETS & DRAINAGE TO MEET CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
- ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF CITY OF BRYANT STANDARD SPECIFICATIONS PER PART 4.9
- NO FENCES CAN BE CONSTRUCTED IN DRAINAGE EASEMENTS WHERE OPEN DITCHES EXIST.
- ROADS WILL BE MAINTAINED, INSPECTED, & ACCEPTED BY SALINE COUNTY.
- NO FENCES SHALL BE BUILT WITHIN DRAINAGE EASEMENTS.
- NO POOLS OR PERMANENT STRUCTURES SHALL BE BUILT IN EASEMENTS.
- NO FENCES SHALL BE BUILT IN ROAD RIGHT-OF-WAY OR ACCESS EASEMENTS.

**PROPERTY SPECIFICATIONS:**  
ZONING CLASSIFICATION: R-1.5  
MIN. LOT SIZE: 8,630 S.F.  
NUMBER OF LOTS: 22  
SOURCE OF WATER: SALEM WATER  
SOURCE OF SEWER: CITY OF BRYANT

**PROPERTY DESCRIPTION:**  
GRACE VILLAGE PHASE 3 LEGAL DESCRIPTION:  
PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER (NE1/4 NW1/4) OF SECTION 4, TOWNSHIP 01 SOUTH, RANGE 14 WEST, IN SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, BEING A FOUND 5/8" REBAR; THENCE S88°46'03"E A DISTANCE OF 733.58 FEET TO A FOUND 5/8" REBAR WITH CAP #1388 FOR THE POINT OF BEGINNING; THENCE N5°44'43"E A DISTANCE OF 178.51 FEET TO A FOUND 5/8" REBAR WITH CAP #1388; THENCE N18°01'30"E A DISTANCE OF 307.92 FEET TO A FOUND 5/8" REBAR WITH CAP #1388 AT THE SOUTHWEST CORNER OF LOT 65 OF GRACE VILLAGE PHASE 2; THENCE N13°36'45"E, ALONG SAID EAST LINE OF GRACE VILLAGE PHASE 2, A DISTANCE OF 48.27 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 AT THE NORTHEAST CORNER OF LOT 65 AND THE SOUTHWEST CORNER OF LOT 66 OF GRACE VILLAGE PHASE 2; THENCE S87°52'37"E, ALONG THE SOUTH LINE OF SAID PHASE 2B, 331.54 FEET TO A FOUND 1/2" REBAR WITH CAP #1573; THENCE S87°44'51"E, CONTINUING ALONG SOUTH LINE OF SAID PHASE 2B, 170.04 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED ON THE WEST LINE OF LOT 39 OF THE HILLS PHASE 5; A DISTANCE OF 511.61 FEET TO A FOUND DRILL STEM IN A STONE COLLAR AT THE SOUTHWEST CORNER OF THE SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4; THENCE N88°47'06"W, ALONG THE SOUTH LINE OF THE SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF 605.76 FEET TO THE POINT OF BEGINNING; CONTAINING 291,688 SQUARE FEET (6.70 ACRES), MORE OR LESS.

**OWNER:** James H. Brown  
**DEVELOPER:** Broken Bow Development, Inc.  
**ADDRESS:** #9 Mountain View Court, Little Rock, Arkansas 72212

**REGISTERED PROFESSIONAL SURVEYOR:**  
STATE OF ARKANSAS NO. 1573  
SIGNATURE: GEORGE P. WOODEN

**CERTIFICATE OF AUTHORIZATION:**  
GarNat Engineering, LLC  
No. 2174  
ARKANSAS

**CONTENTS:**  
PROJECT NO: 16072  
DATE: MAY 18, 2022  
SHEET NO: 1

**GNE** Designing our client's success  
**GarNat Engineering, LLC**  
3825 Mt Carmel Road  
Bryant, AR 72022  
P.O. Box 116  
Benton, AR 72018  
Ph: (501) 408-4650  
garnatengineering@gmail.com

**REVISION:**  
1. REVISED PER CITY OF BRYANT.  
2. REVISED PER CITY OF BRYANT.

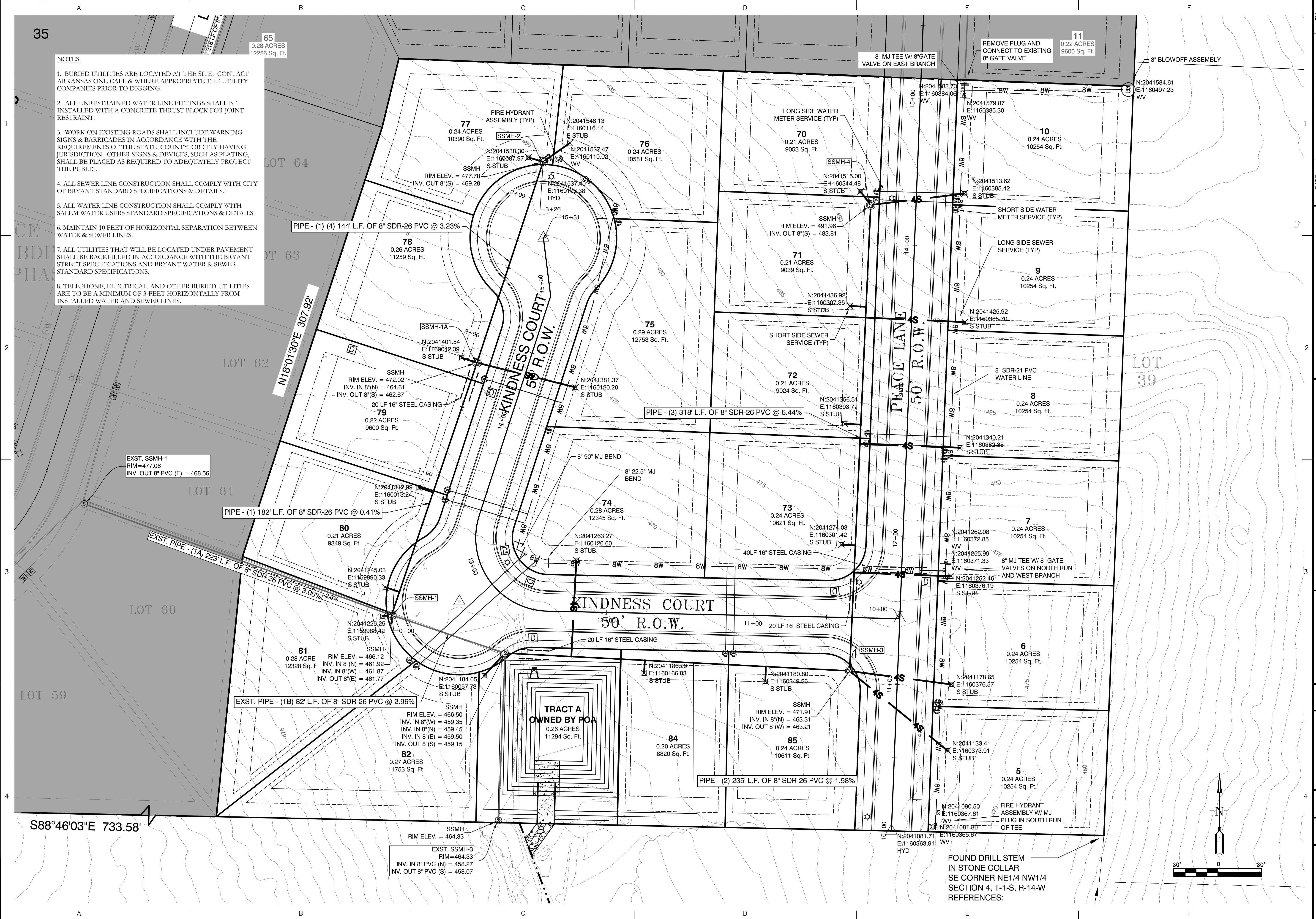
**DATE:**  
2/11/21  
2/25/21

**BY:**  
ATV  
GPW

**GRACE VILLAGE SUBDIVISION PHASE 3 CITY OF BRYANT, SALINE COUNTY, ARKANSAS**

**FINAL PLAT**

- NOTES:
- BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
  - ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
  - WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
  - ALL SEWER LINE CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
  - ALL WATER LINE CONSTRUCTION SHALL COMPLY WITH SALEM WATER USERS STANDARD SPECIFICATIONS & DETAILS.
  - MAINTAIN 10 FEET OF HORIZONTAL SEPARATION BETWEEN WATER & SEWER LINES.
  - ALL UTILITIES THAT WILL BE LOCATED UNDER PAVEMENT SHALL BE BACKFILLED IN ACCORDANCE WITH THE BRYANT STREET SPECIFICATIONS AND BRYANT WATER & SEWER STANDARD SPECIFICATIONS.
  - TELEPHONE, ELECTRICAL, AND OTHER BURIED UTILITIES ARE TO BE A MINIMUM OF 3-FEET HORIZONTALLY FROM INSTALLED WATER AND SEWER LINES.



BY	REVISION
GPW	2. REVISED PER CITY OF BRYANT.

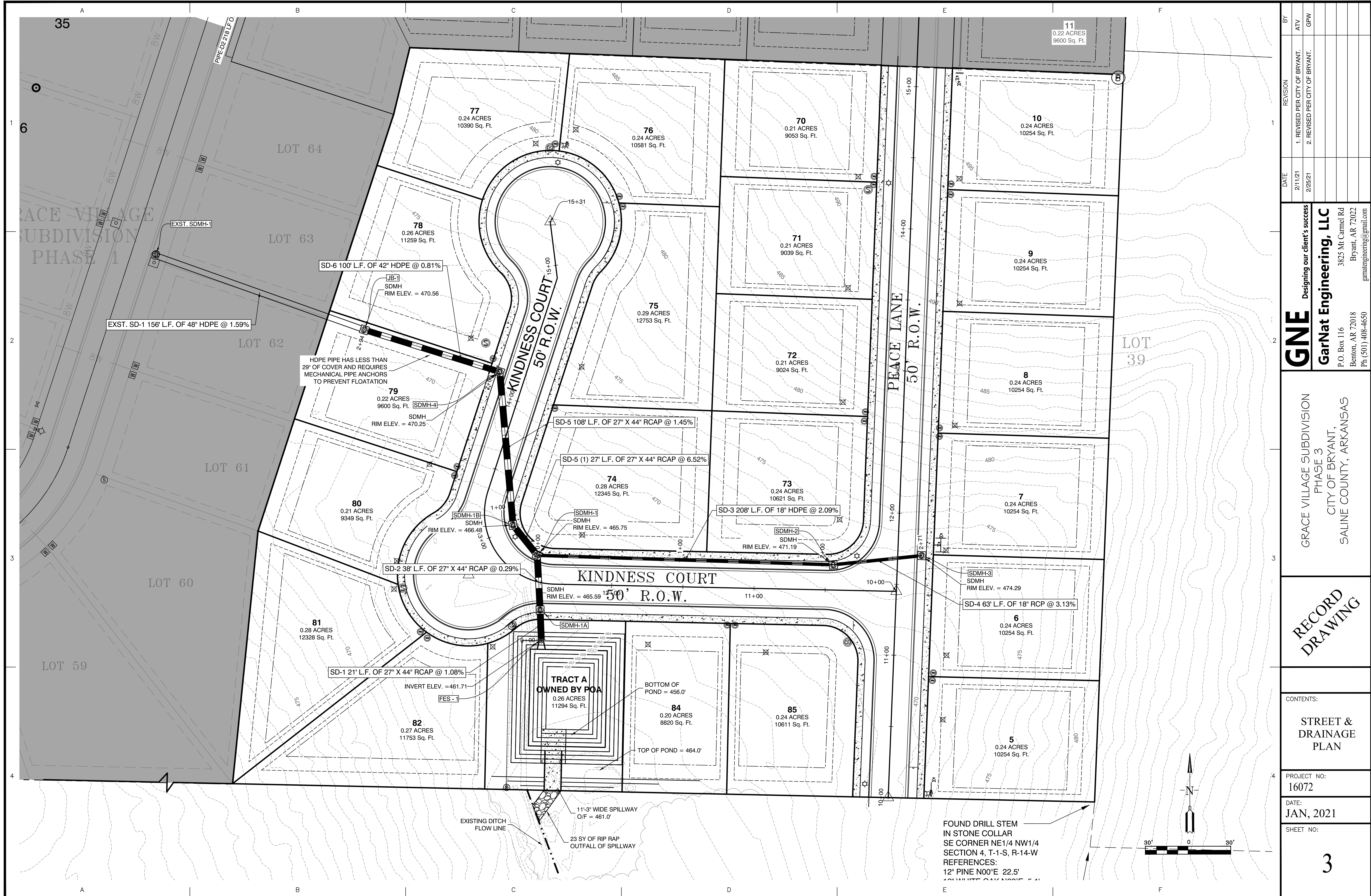
**GN** Designing our client's success  
**GarNat Engineering, LLC**  
 3825 Mt. Carmel Rd  
 Bryant, AR 72022  
 garnatengineering@gmail.com

GRACE VILLAGE SUBDIVISION  
 PHASE 3  
 CITY OF BRYANT,  
 SALINE COUNTY, ARKANSAS

**RECORD  
 DRAWING**

CONTENTS:  
 OVERALL  
 WATER &  
 SEWER PLAN

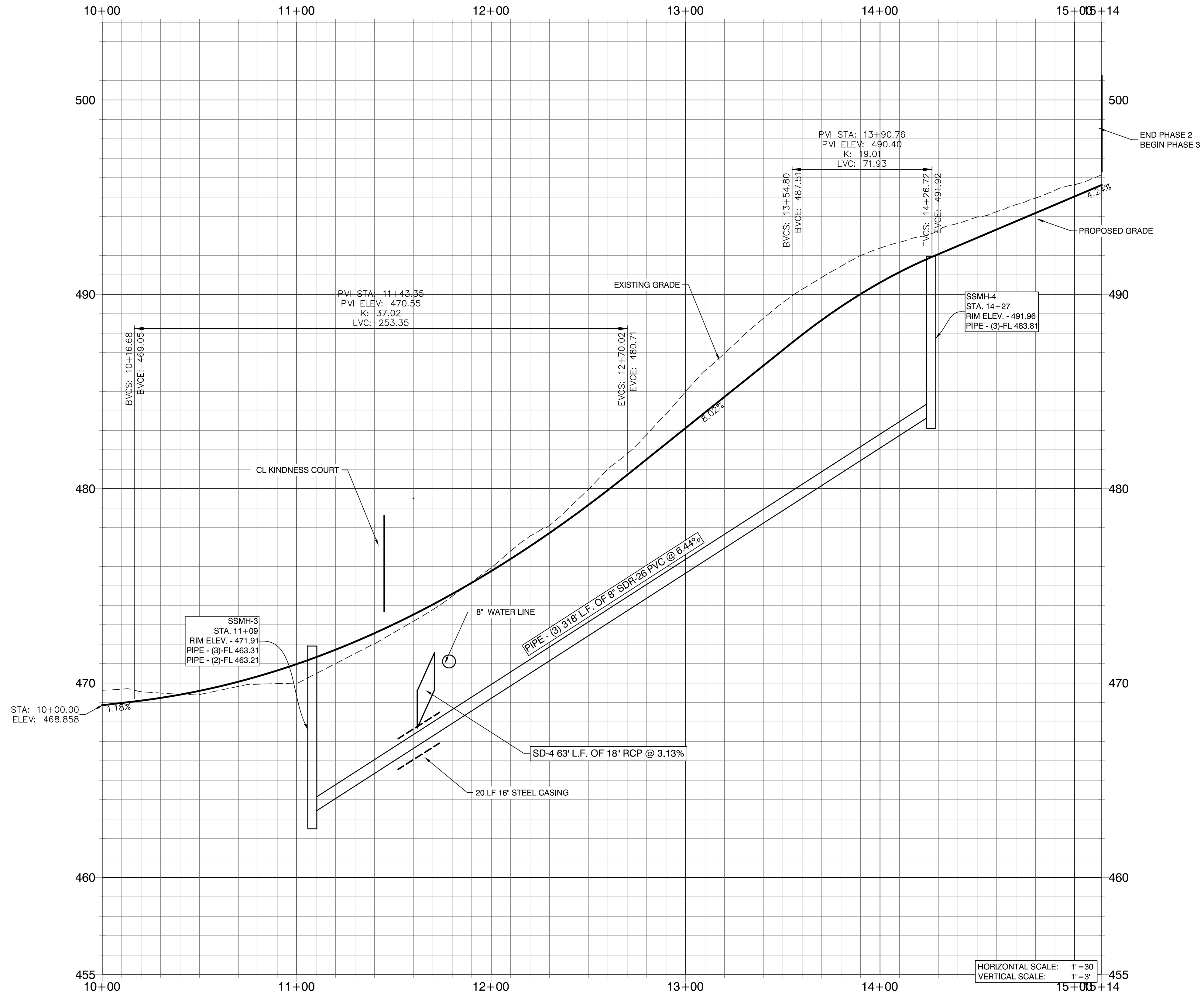
PROJECT NO:  
 16072  
 DATE:  
 JAN, 2021  
 SHEET NO:



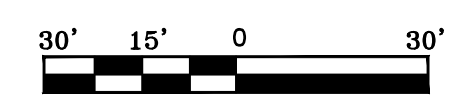
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	GPW	
REVISION	1. REVISED PER CITY OF BRYANT.	
	2. REVISED PER CITY OF BRYANT.	
DATE	2/11/21	
	2/25/21	
<b>Designing our client's success</b> <b>GarNat Engineering, LLC</b> P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 3825 Mt Carmel Rd Bryant, AR 72022 garnatengineering@gmail.com		
GRACE VILLAGE SUBDIVISION PHASE 3 CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
<b>RECORD DRAWING</b>		
CONTENTS:		
<b>STREET &amp; DRAINAGE PLAN</b>		
PROJECT NO:	16072	
DATE:	JAN, 2021	
SHEET NO:	<span style="font-size: 2em;">3</span>	

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PEACE LANE PROFILE



HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



REVISION	DATE	BY

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 Benton, AR 72018  
 Ph: (501) 408-4650  
 gnatengineering@gmail.com

GRACE VILLAGE SUBDIVISION  
 PHASE 3  
 CITY OF BRYANT,  
 SALINE COUNTY, ARKANSAS

**RECORD  
 DRAWING**

CONTENTS:  
 PEACE LANE  
 PROFILE

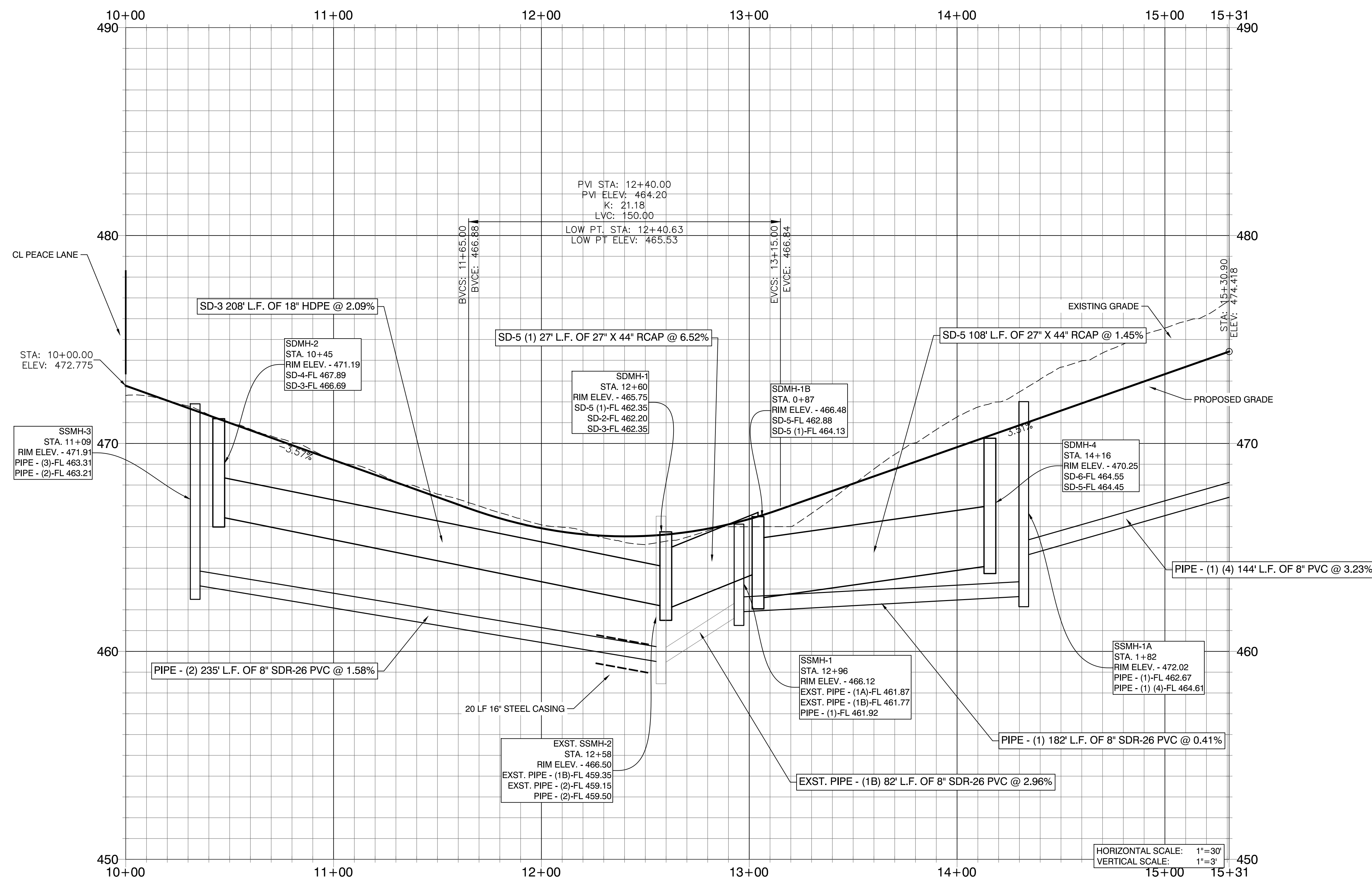
PROJECT NO:  
 16072

DATE:  
 JAN, 2021

SHEET NO:  
 4

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KINDNESS COURT PROFILE



REVISION	DATE	BY
2. REVISED PER CITY OF BRYANT.	2/25/21	GPW

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 3825 Mt Carmel Rd  
 Bryant, AR 72022  
 P.O. Box 116  
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 gnatengineering@gmail.com

GRACE VILLAGE SUBDIVISION  
 PHASE 3  
 CITY OF BRYANT,  
 SALINE COUNTY, ARKANSAS

**RECORD  
 DRAWING**

CONTENTS:  
 KINDNESS  
 COURT PROFILE

PROJECT NO:  
 16072

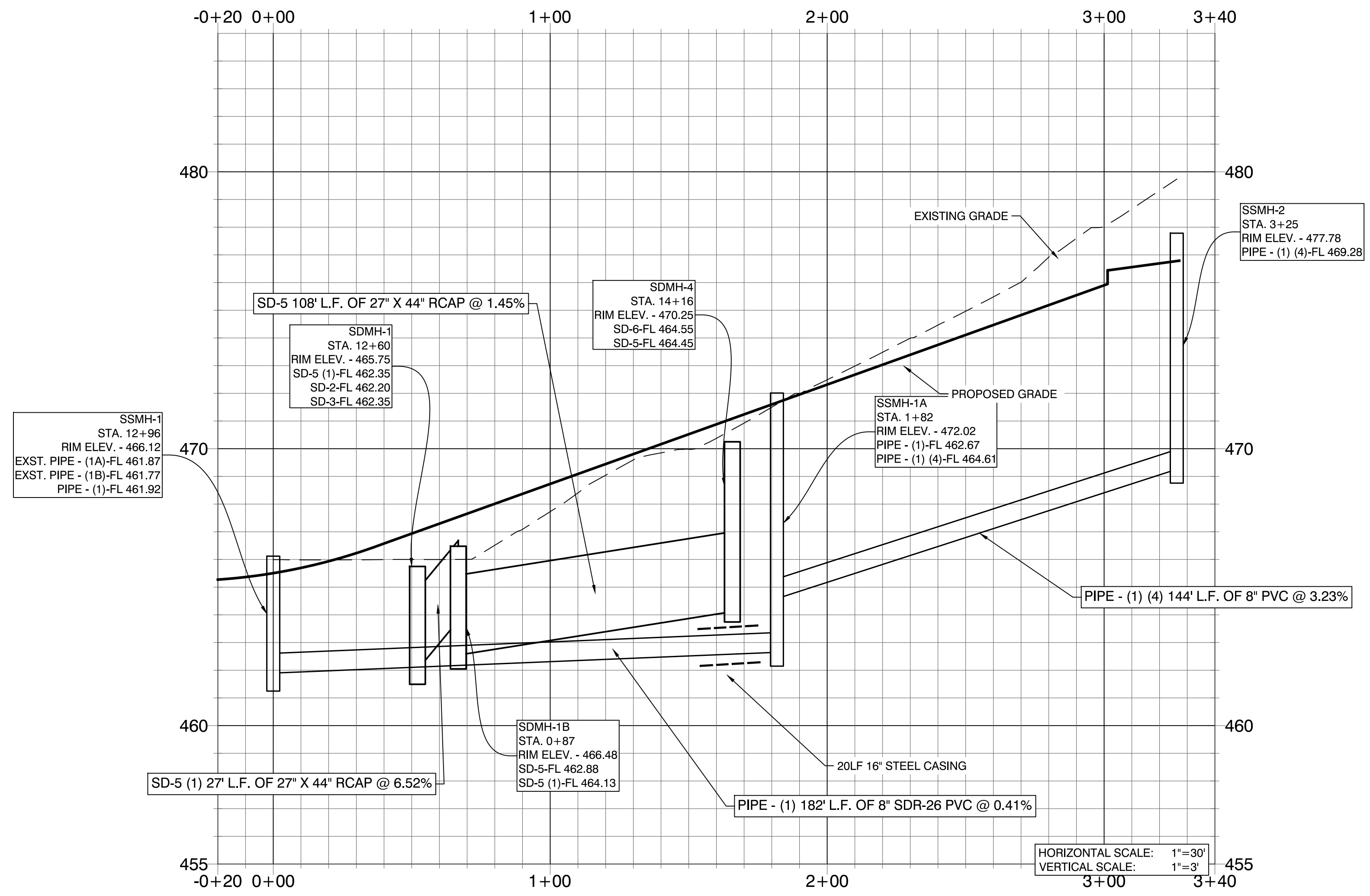
DATE:  
 JAN, 2021

SHEET NO:  
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SANITARY SEWER SSMH-1 TO SSMH-2 PROFILE



DATE	REVISION	BY
2/25/21	2. REVISED PER CITY OF BRYANT.	GPW

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 Bryant, AR 72022  
 gnatengineering@gmail.com

GRACE VILLAGE SUBDIVISION  
 PHASE 3  
 CITY OF BRYANT,  
 SALINE COUNTY, ARKANSAS

**RECORD  
 DRAWING**

CONTENTS:  
 SANITARY SEWER PROFILE SSMH-1 TO SSMH-2

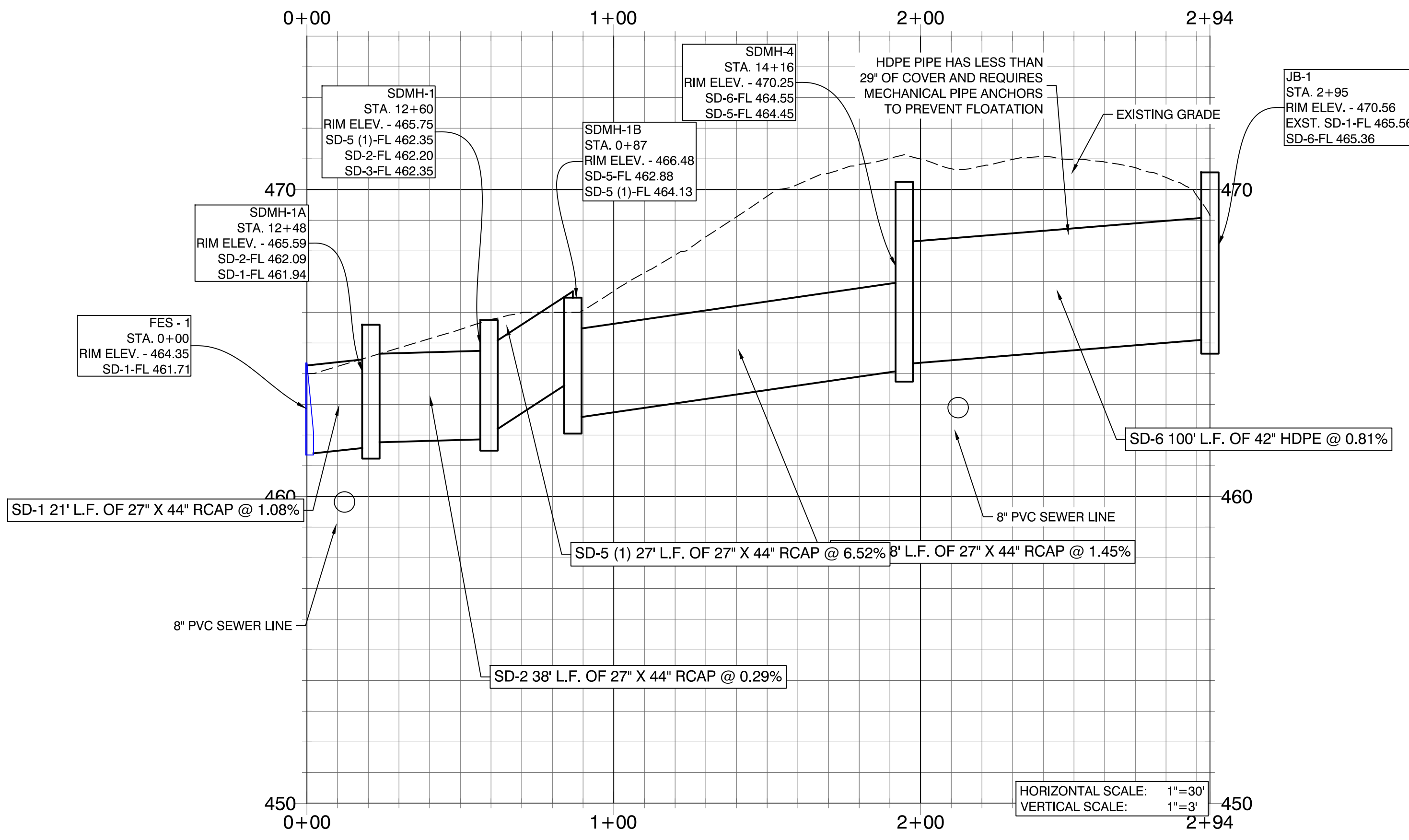
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DATE:  
 JAN, 2021

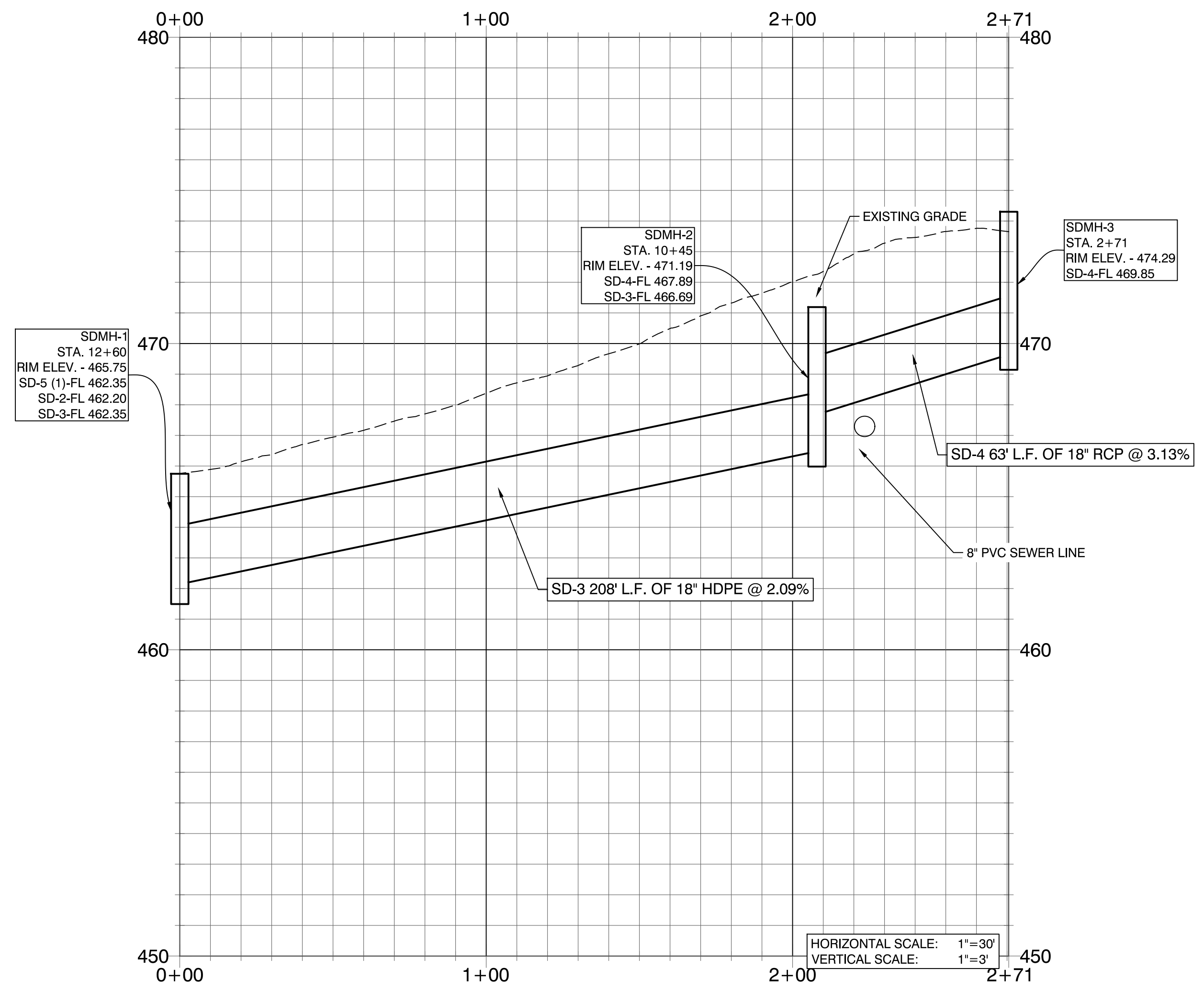
SHEET NO:  
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OUTLET STRUCTURE - JB-1 PROFILE



SDMH-1 - SDMH-3 PROFILE



DATE	REVISION	BY
2/11/21	1. REVISED PER CITY OF BRYANT.	ATV
2/25/21	2. REVISED PER CITY OF BRYANT.	GPW

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 SALINE COUNTY, ARKANSAS

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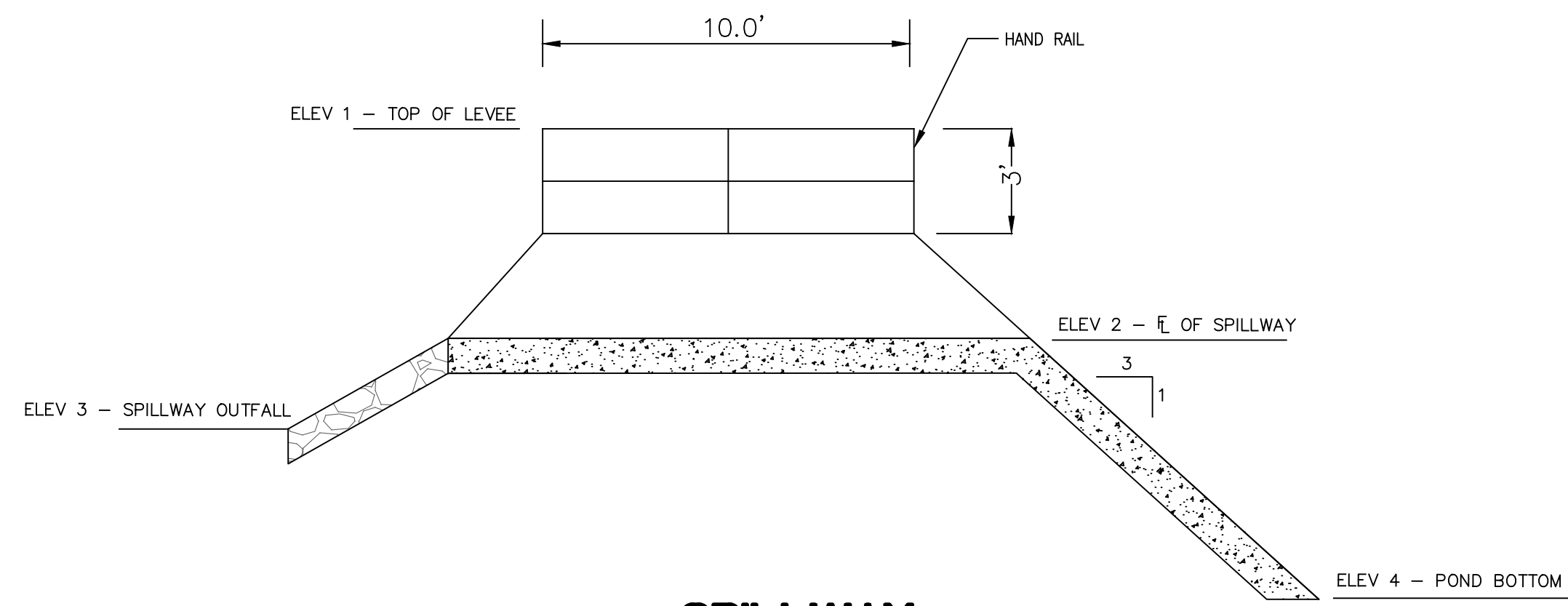
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 DRAINAGE  
 PROFILES

PROJECT NO:  
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 JAN, 2021  
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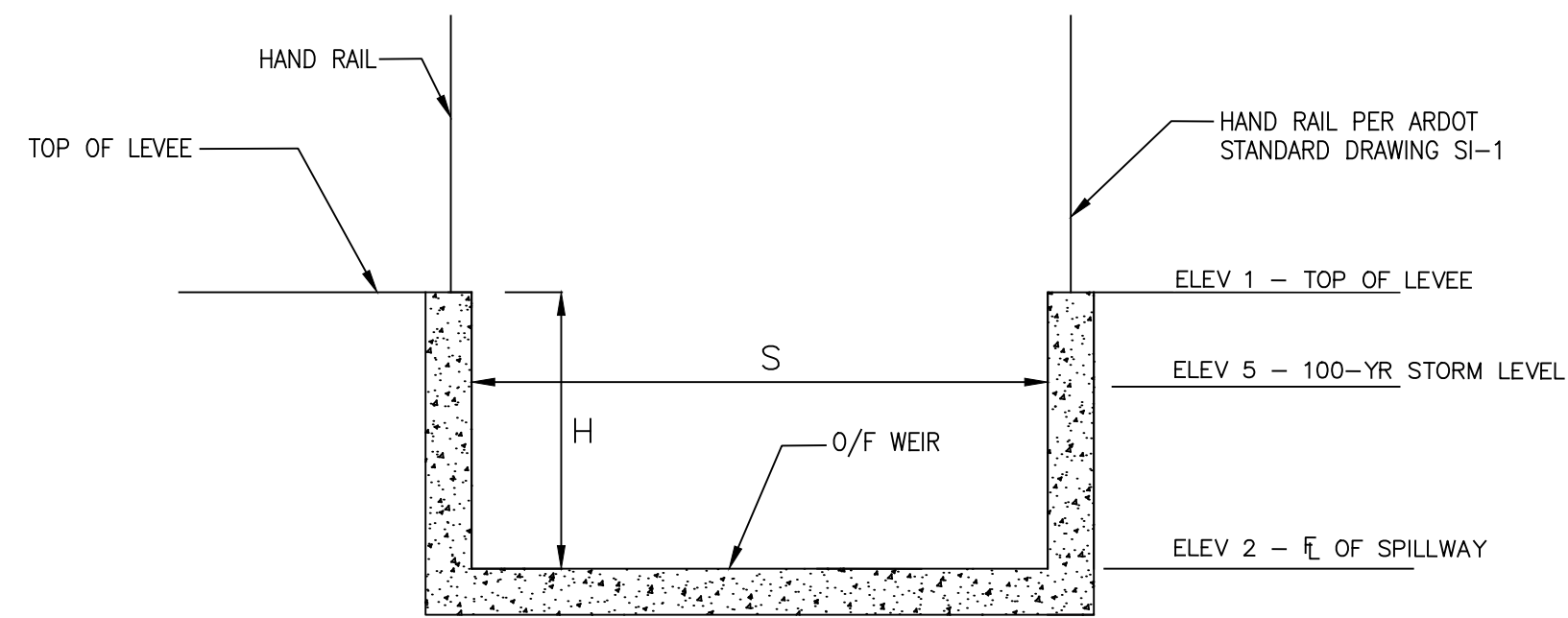
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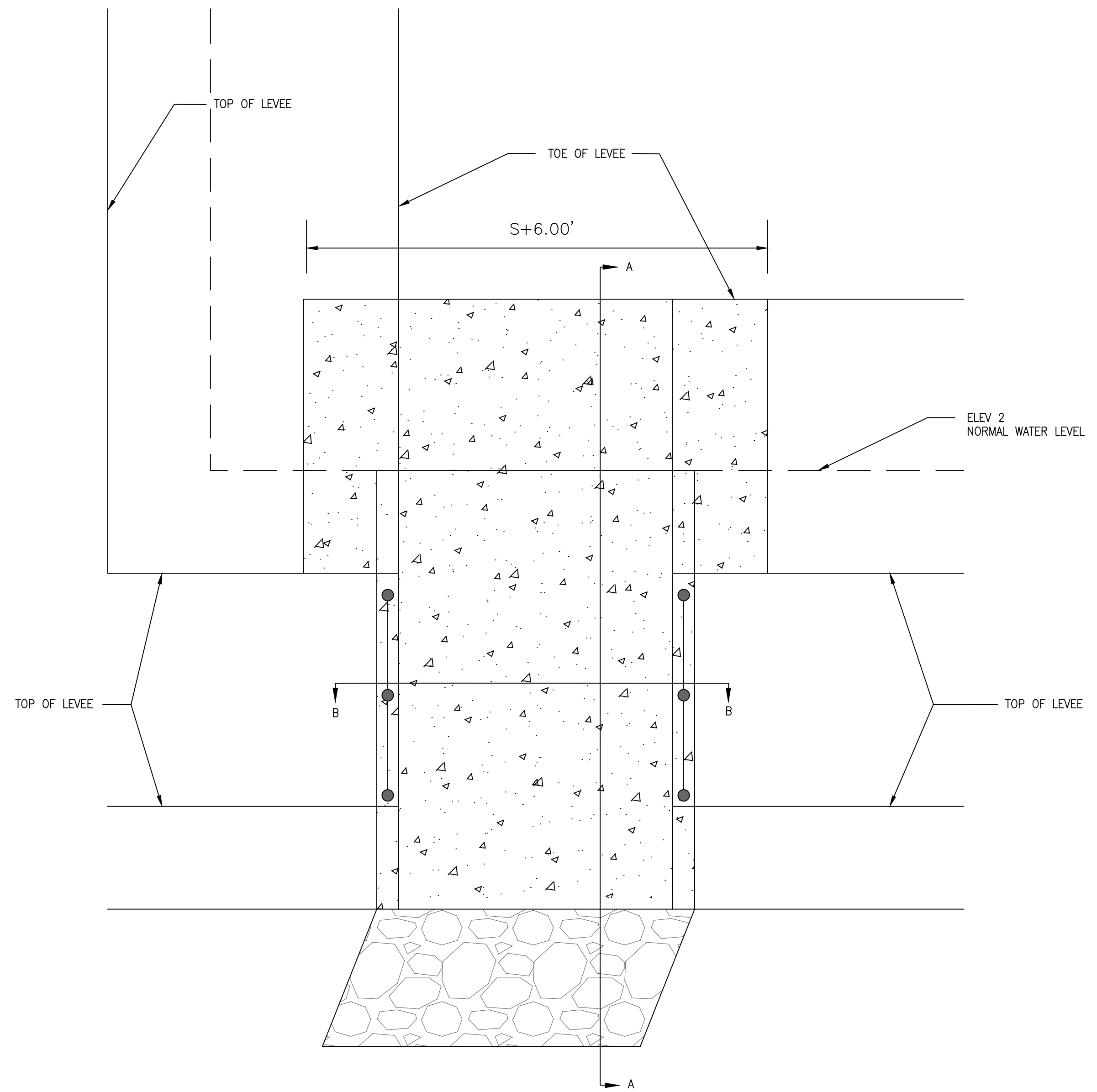
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**SPILLWAY SECTION A-A**  
NOT TO SCALE



**SPILLWAY SECTION B-B**  
NOT TO SCALE



**SPILLWAY PLAN VIEW**  
NOT TO SCALE

CONTROL STRUCTURE							
SPILLWAY	H	ELEV 1	ELEV 2	ELEV 3	ELEV 4	ELEV 5	S
1	3'-0"	464.00	461.00	460.95	456.00	463.00	11'-3"

**DETENTION OUTLET NOTES:**

1. ALL CONCRETE WALLS SHALL BE A MINIMUM OF 6" THICK & REINFORCED WITH #4'S @ 12" O.C. BOTHWAYS.

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GRACE VILLAGE SUBDIVISION  
 PHASE 3  
 CITY OF BRYANT,  
 SALINE COUNTY, ARKANSAS

**RECORD DRAWING**

CONTENTS:  
 SPILLWAY DETAILS

PROJECT NO:  
 16072

DATE:  
 JAN, 2021

SHEET NO:

**8**



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# First Electric Cooperative Corporation

P.O. Box 5018  
Jacksonville, Arkansas 72078-5018  
(501) 982-4545 • (800) 489-7405

July 19, 2022

Mr. Truett-Smith  
Planning Director  
City of Bryant Planning and Development  
210 S.W. Third Street  
Bryant, Arkansas 72022

RE: Electrical facilities for Grace Village Subdivision Phase Four

Dear Mr. Smith

This letter is to inform you that the developer for the above referenced subdivision has paid First Electric Cooperative all fees associated with the installation of electric facilities for the above referenced development. The underground conduits have been installed. The installation of the conductors, transformers, and street lighting will be completed as soon as contract crews become available. First Electric has requested that our contractor provide additional crews. The electric utility industry is currently experiencing a severe labor shortage.

We anticipate that the installation of the remaining equipment will take two to three weeks to complete.

If you need additional information, please let me know.

Sincerely

---

Randy Jones  
Field Engineer



**SALINE COUNTY PLANNING BOARD**  
**SALINE COUNTY COURTHOUSE**  
**200 N. MAIN, ROOM 112**  
**BENTON, AR 72015**  
**(501) 303-5701 PHONE**  
**(501) 315-1338 FAX**  
EMAIL: [John.Wofford@salinecounty.org](mailto:John.Wofford@salinecounty.org)

July 19, 2022

Barker Excavating  
Mr. Roger Barker  
10085 Old Congo Road  
Benton, AR 72019

Ref: Maintenance Bond to Cover Grace Village Phase 3

Dear Mr. Barker,

After our inspections of the newly constructed roads and drainage facilities and satisfactory results of a representative measurements to determine final in place base gravel (minimum of 8") and observing the laying of asphalt (minimum of 3") thick and satisfactory results of a roll test of the sub-grade and base gravel density test (minimum 98% modified), the roads are deemed to be complete and constructed to County standards.

At this time, a maintenance bond to ensure Barker Excavating either will correct any defects that arise or Saline County is compensated for costs resulting from repairs of any defects identified for a period of one year is required. The amount of bond is calculated as \$25.00 per constructed feet of road. Based on the preliminary Plat, the total footage of constructed road is 1152 feet.

Required Maintenance Bond is  $1152 \times \$25.00 = \$28,800.0$

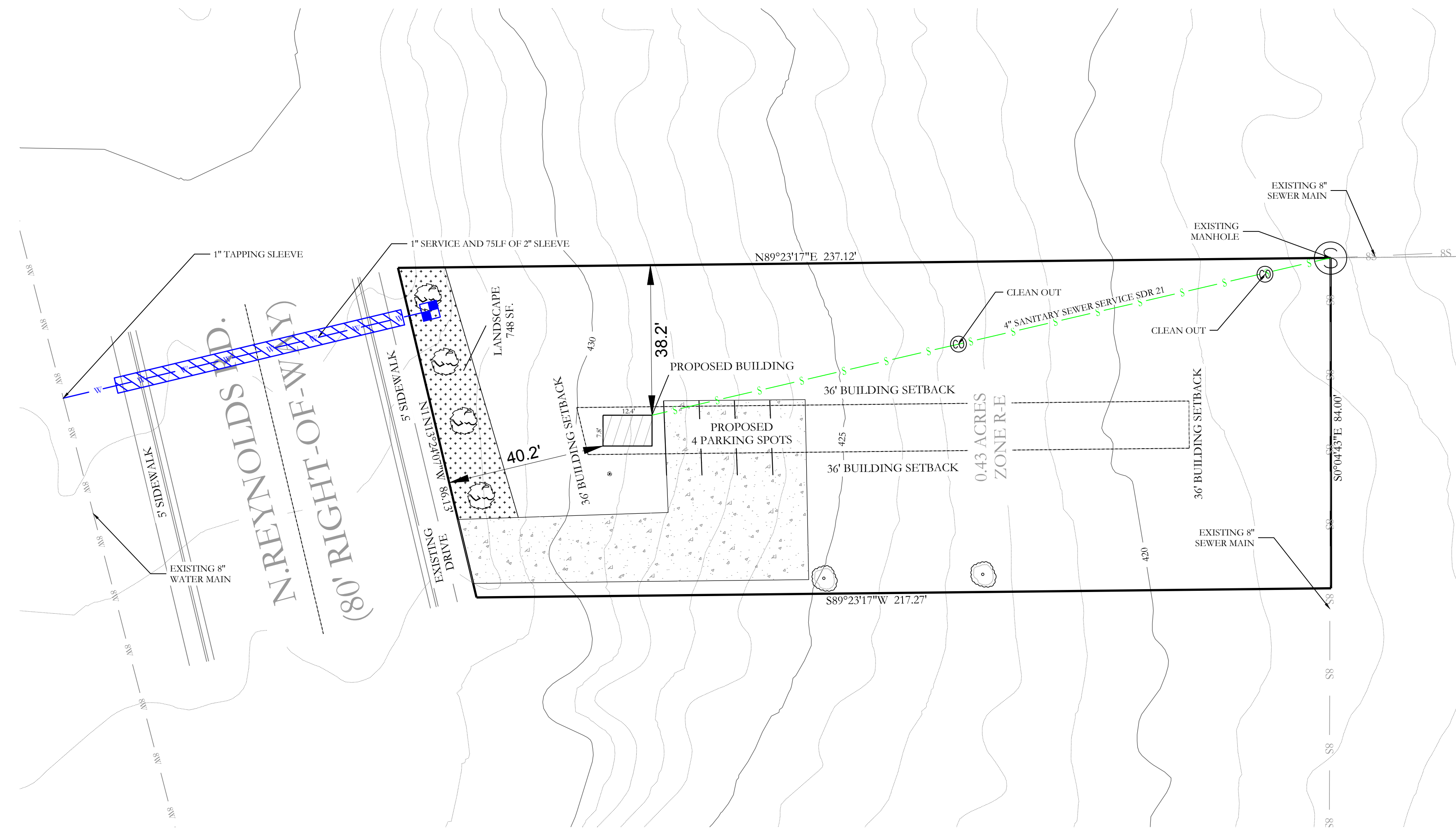
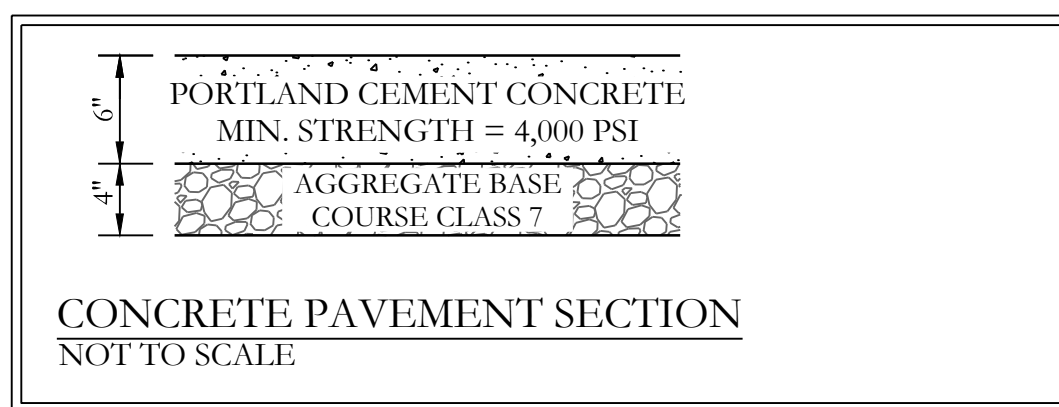
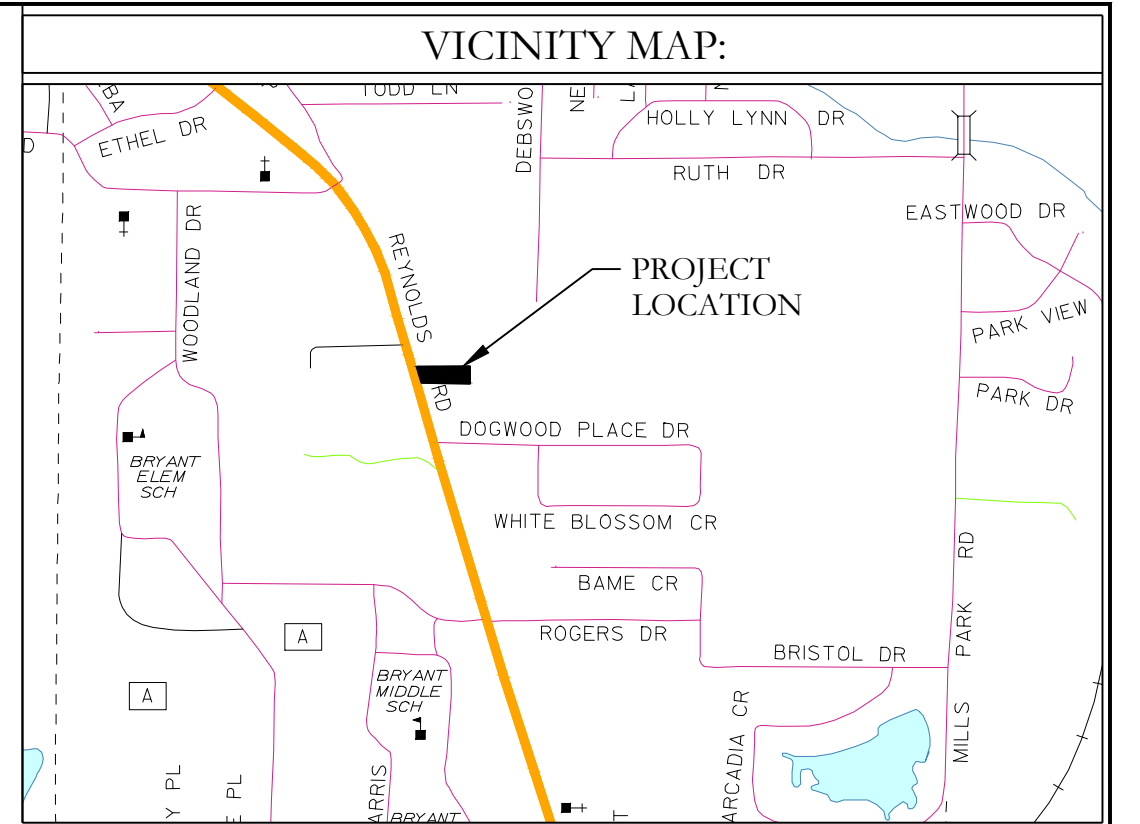
The date of expiration of this bond will be one year from the date the bond is issued.

Thanks,

John Wofford  
Saline County Engineer

**CONTACTS UTILITIES AND CITY AND STATE AGENCIES**

AGENCY	TITLE	NAME	CONTACT
BRYANT PUBLIC WORKS	DIRECTOR	TIM FOURNIER	501-366-0343
BRYANT PUBLIC WORKS	ENGINEER	TED TAYLOR	501-366-0343
BRYANT WATER	INSPECTOR	JOE HENRY	501-246-0516
ENTERGY	CONTACT	JEREMY HENDERSON	800-368-3749
CENTERPOINT (GAS)	CONTACT	ADAM GOBER	501-541-7509
ARDOT	PERMIT OFFICER DISTRICT SIX	CORY SUTTON	501 551-5207



**WATER LEGEND**

- FIRE HYDRANT
- BLOW OFF
- PROPOSED GATE VALVE
- PROPOSED 1" WATER METER
- PROPOSED WATER SERVICE

**SEWER LEGEND**

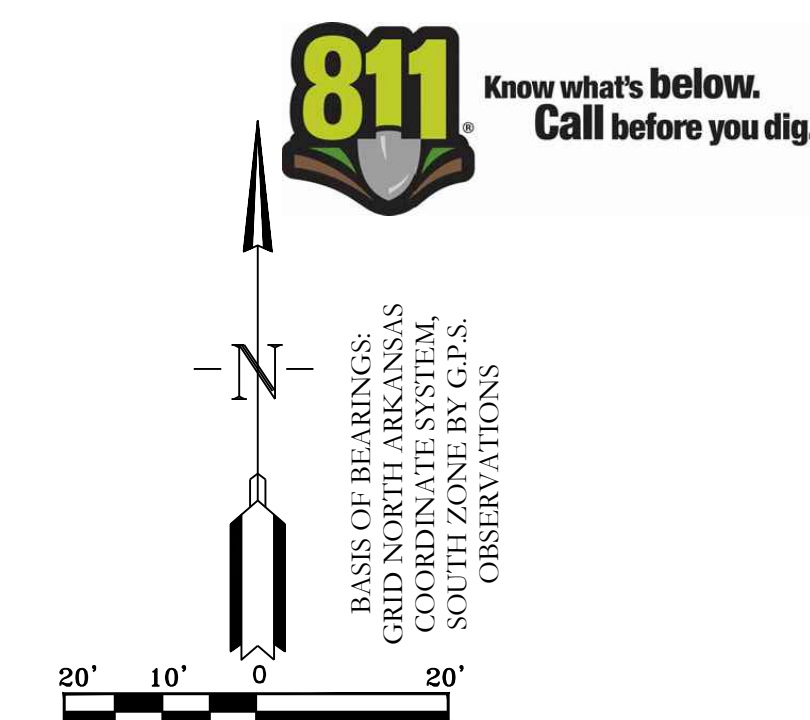
- SANITARY SEWER MANHOLE EXIST.
- CLEANOUT
- PROPOSED SEWER SERVICE

**WATER NOTES**

- ALL WATER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
- CASING SPACERS SHALL BE STAINLESS STEEL.
- FIXTURE- 1 HAND SHOWER
- DAILY DEMAND- 500 Gallon/Day

**SEWER NOTES**

- ALL SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
- INFORMATION ON DEPTH OF EXISTING TIE IN MANHOLE AND DOWNSTREAM MH OBTAINED FROM EFS EDGE GIS DATA.
- CASING SPACERS SHALL BE STAINLESS STEEL.

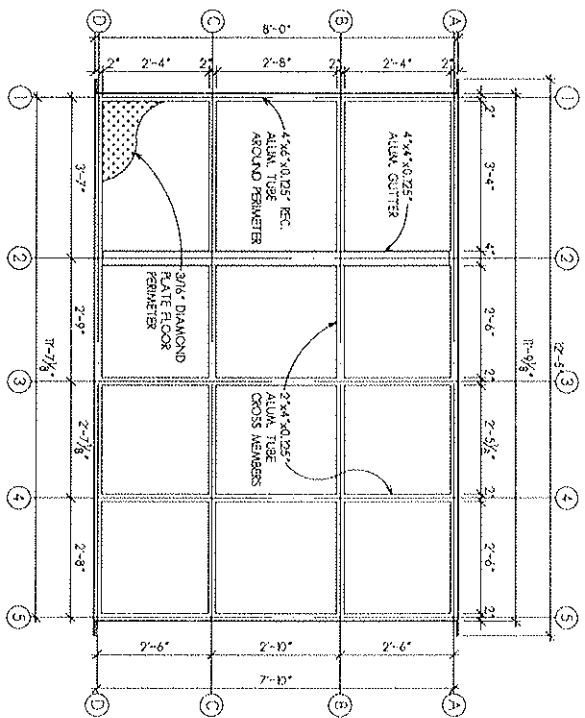
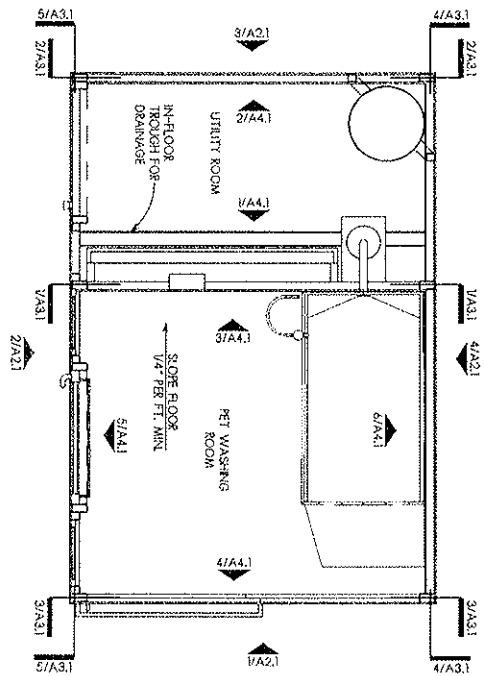


**CIVIL ENGINEER**  
 HOPE CONSULTING INC  
 117 S. MARKET STREET  
 BENTON, AR 72015  
 CONTACT: WILLIAM W MCFADDEN  
 PHONE: 504-315-2626  
 EMAIL: kazi@hopeconsulting.com

**HOPE CONSULTING ENGINEERS - SURVEYORS** 117 S. Market Street, Benton, Arkansas 72015  
 PH. (501)315-2626 FAX (501) 315-0024  
 www.hopeconsulting.com

FOR USE AND BENEFIT OF: <b>DENNY CONSTRUCTION, LLC.</b>					
UTILITY PLAN ALL PAWS PET WASH- BRYANT BRYANT, ARKANSAS					
DATE:	08-12-2022	C.A.D. BY:		DRAWING NUMBER:	
REVISION:		CHECKED BY:		22-0982	
SHEET:	C-1.0	SCALE:			
500	01S	14W	0	27	120 62 1664

K:\LAND PROJECTS\2014\COMMERCIAL\2022\22-0982 ALL PAWS PET WASH BRYANT SURVEY\DWG\22-0982 ALL PAWS PET WASH BRYANT.DWG



**GENERAL NOTES**

PET WASH FRAMING  
 BASE PERIMETER IS COMPRISED OF 2"x4"x0.125" WALL RECTANGULAR ALUMINUM TUBE WITH A 2"x4"x0.125" RECTANGULAR TUBING CROSS MEMBERS BASE. THIS INCORPORATES A 4"x4"x0.125" ALUMINUM GUTTER AND A 3/16" ALUMINUM DIAMOND PLATE FLOOR PERIMETER. CROSS MEMBERS AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE AND GUTTER ARE WELDED TO THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE PIECE ALUMINUM TUBE GRID.

WALL AND ROOF FRAMING  
 ROOF RAFTER/COLUMN IS A 2"x4"x0.125" RECTANGULAR TUBE WELDED AT THE EYE AND RIDGE FORMING A COLUMN RAFTER FRAME. THESE FRAMES ARE WELDED TO A BASE. THE HORIZONTAL PURLINS IN THE ROOF AND WALLS ARE 2"x2"x0.125" SQUARE TUBES. ALL TUBES ARE WELDED TO THE RAFTER/COLUMN FRAMES. THE INTERIOR WALLS ARE 2"x2"x0.125" SQUARE TUBES AND INCLUDE WELDED BRACKETS AND TABS TO FACILITATE MOUNTING MECHANICAL EQUIPMENT. ENTIRE PET WASH IS WELDED INTO A SINGLE STRUCTURE.

STANDARD ALUMINUM EXTRUSIONS ARE 6063-T52.

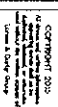
ALL EXPOSED STRUCTURAL ALUMINUM IS POWDER COATED. 2" GLOBE CELL FOAM INSULATION IS USED IN THE ROOF AND WALLS. THE EXTERIOR WALLS AND ROOF ARE 10MM PVC PANELS. THE INTERIOR CEILING AND WASH BAYS ARE 10 MM PVC PANELS. THE INTERIOR SIDE OF THE EXTERIOR WALL IS 10 MM PVC PANELS. THE EQUIPMENT DOOR IS A STEEL DOOR. THE BALANCE OF THE WALL GLAZING IN THE WASH BAY IS TEMPERED SAFETY GLASS.

STRUCTURAL DESIGN BASED ON ASCE 7-10 FOR 30 PSF GROUND SNOW LOAD AND 115 MPH WIND LOAD. EXPOSURE B, RISK CATEGORY I.

**FLOOR PLANS**

SCALE: 3/8" = 1'-0"

DATE: 05-20-2016	ISSUED FOR: DATE
PROJECT NUMBER: 25118	
SHEET NUMBER: A.1	DRAWN: APPROVED:

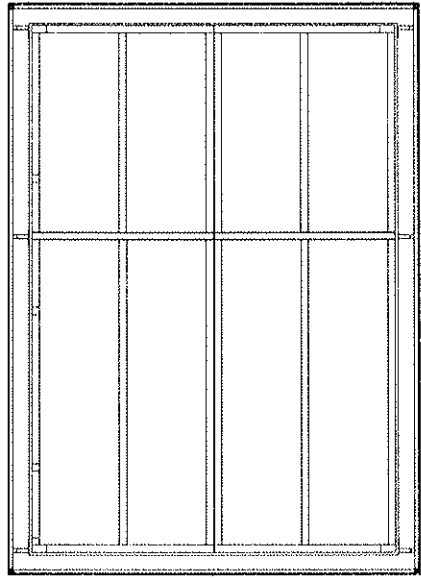


ADA PETWASH VENDING STATION  
 ALL PAWS PET WASH  
 VARIOUS LOCATIONS

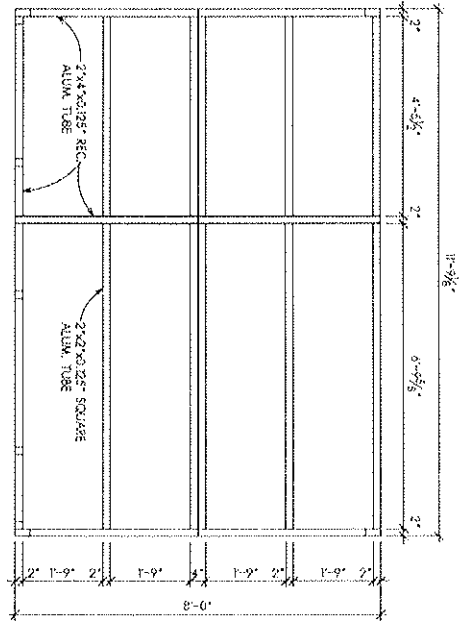


**Larson & Darby Group**  
 Architects Engineers Interiors

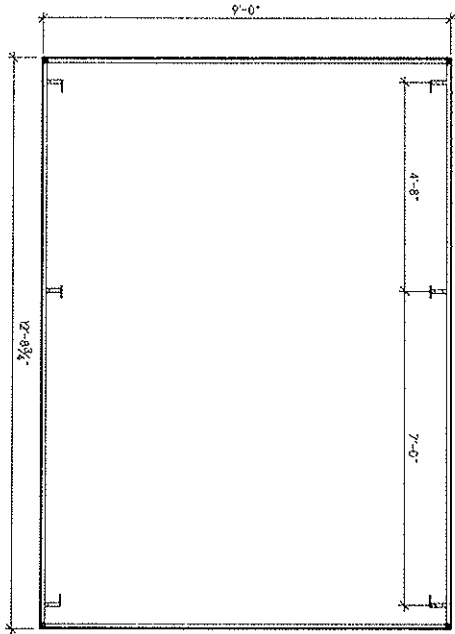
Head Office - 401 Waterloo Ave. Suite 300, Waterloo, ON N2L 1B7. Tel: (519) 843-6357 Fax: (519) 843-6358



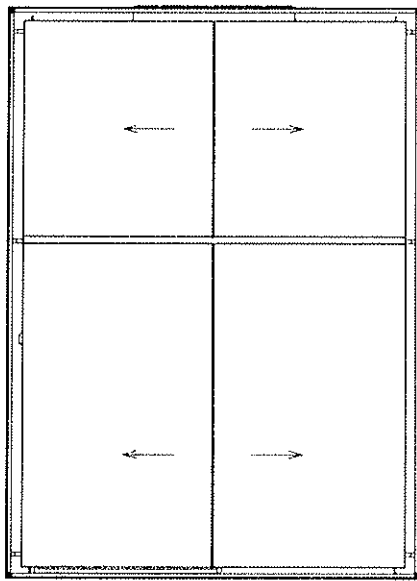
4 ROOF FRAMING PLAN W/ FASCIA  
SCALE: 3/8" = 1'-0"



2 ROOF FRAMING PLAN  
SCALE: 3/8" = 1'-0"



3 OPTIONAL FASCIA  
SCALE: 3/8" = 1'-0"



1 REFLECTED CEILING  
SCALE: 3/8" = 1'-0"

7'-4 1/2" HT. FROM +0'-0"

8'-8 1/2" HT. FROM +0'-0"

ROOF PLANS  
SCALE: 3/8" = 1'-0"

DATE: 07-10-2015
PROJECT NUMBER: 25118
SHEET NUMBER: A12

ISSUED FOR:	DATE:
DRAWN:	APPROVED:

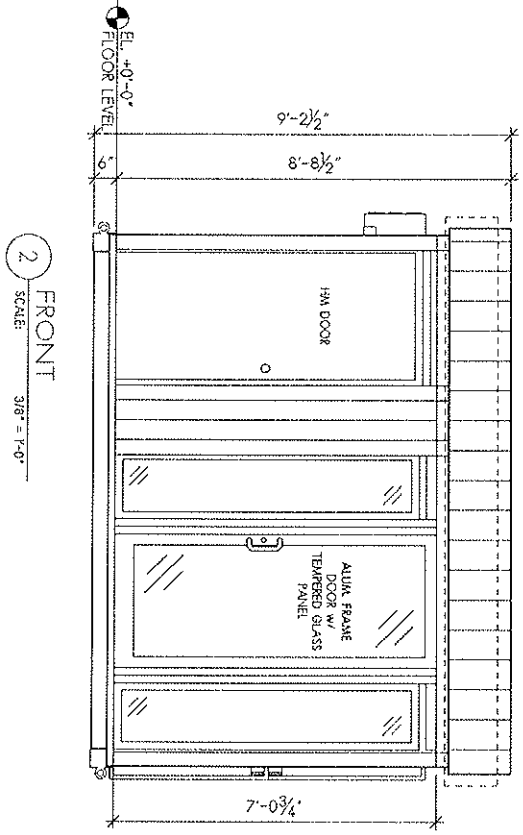
COMPONENT SIZE  
ALL DIMENSIONS UNLESS OTHERWISE NOTED  
CHECK FOR CONFLICTS

ADA PETWASH VENDING STATION  
ALL PAWS PET WASH  
VARIOUS LOCATIONS



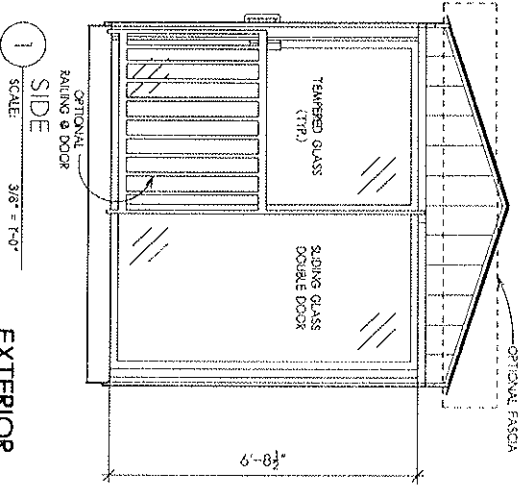
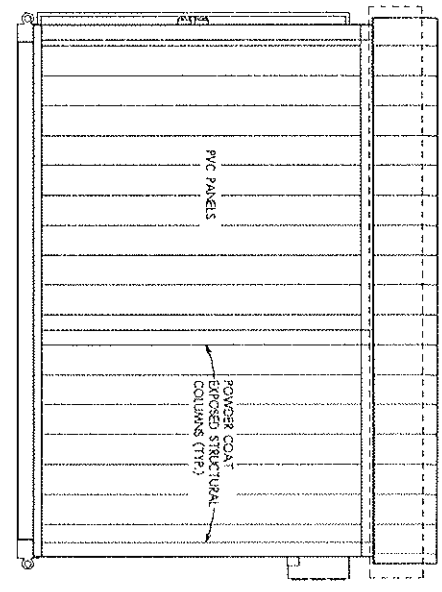
Larson & Darby Group  
Architects Engineers Interiors  
Interior Office - 400 North 7th Ave, Suite 200, Denver, CO 80202  
Tel: (303) 441-4200 Fax: (303) 441-4202





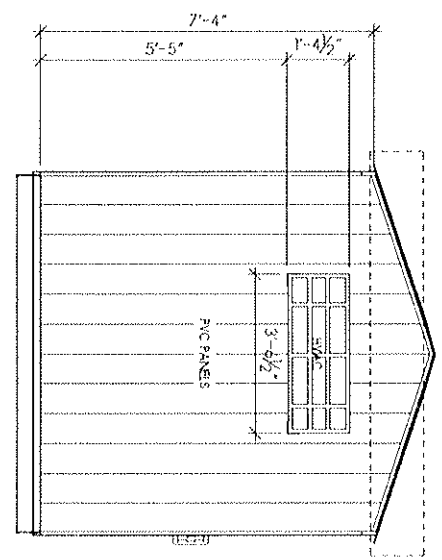
2 FRONT  
SCALE: 3/8" = 1'-0"

4 BACK  
SCALE: 3/8" = 1'-0"



1 SIDE  
SCALE: 3/8" = 1'-0"

3 SIDE  
SCALE: 3/8" = 1'-0"



EXTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"

DATE: 07-10-2015
PROJECT NUMBER: 25118
SHEET NUMBER: A2.1

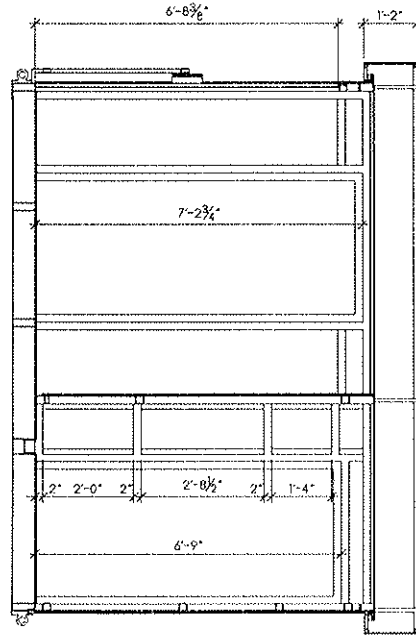
ISSUED FOR:	DATE:
DRAWN:	APPROVED:

COMPANY 2015  
Larson & Darby Group  
Architects Engineers Interiors

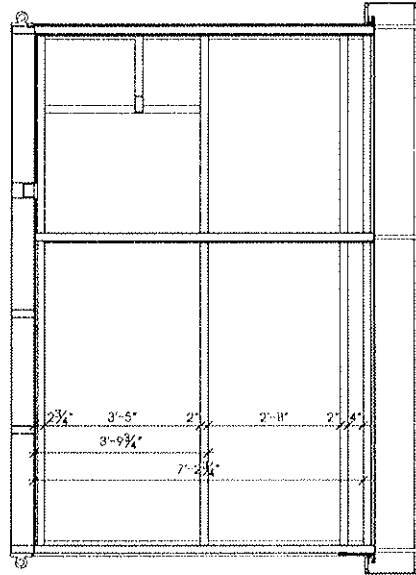
ADA PETWASH VENDING STATION  
ALL PAWS PET WASH  
VARIOUS LOCATIONS



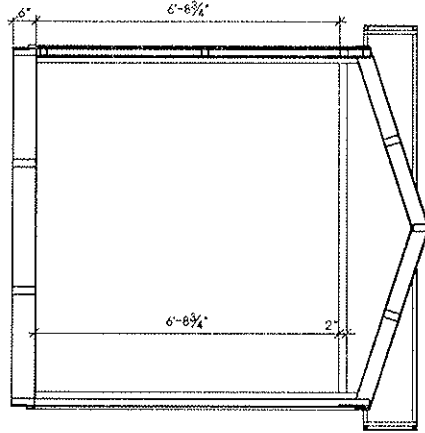
Larson & Darby Group  
Architects Engineers Interiors



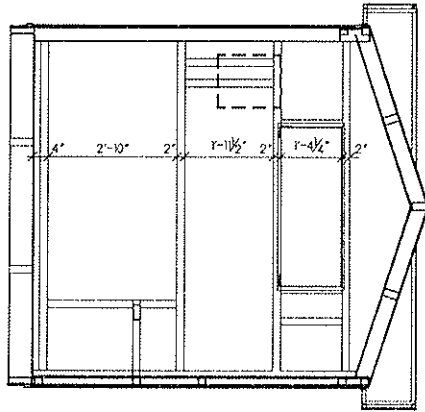
5 BUILDING SECTION  
SCALE: 3/8" = 1'-0"



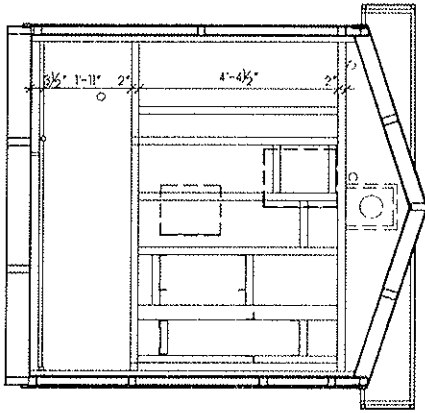
4 BUILDING SECTION  
SCALE: 3/8" = 1'-0"



3 BUILDING SECTION  
SCALE: 3/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 3/8" = 1'-0"



1 BUILDING SECTION  
SCALE: 3/8" = 1'-0"

NOTE: INTERIOR EQUIPMENT DELETED OR SHOWN AS DASHED LINES FOR CLARITY

STRUCTURE BUILDING SECTIONS  
SCALE: 3/8" = 1'-0"

DATE: 07-10-2019
PROJECT NUMBER: 25118
SHEET NUMBER: A3.1

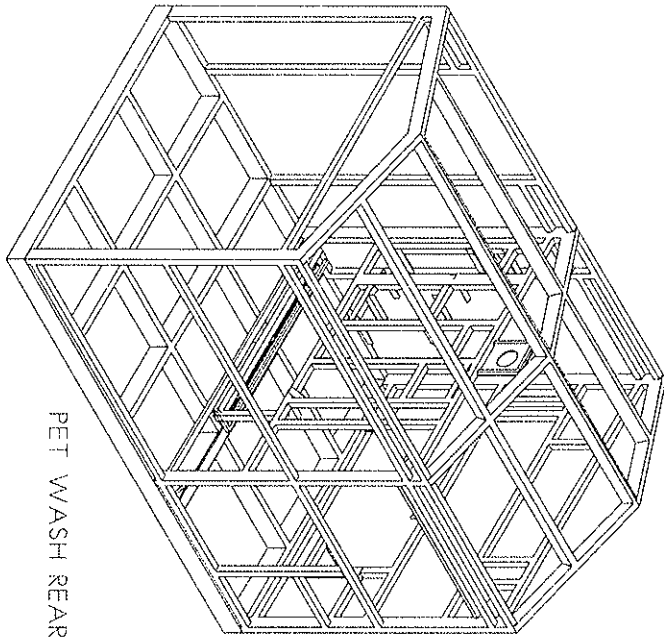
ISSUED FOR:	DATE:
DRAWN:	APPROVED:

CONTRACTOR'S USE  
DATE: 07-10-2019  
PROJECT NUMBER: 25118  
SHEET NUMBER: A3.1

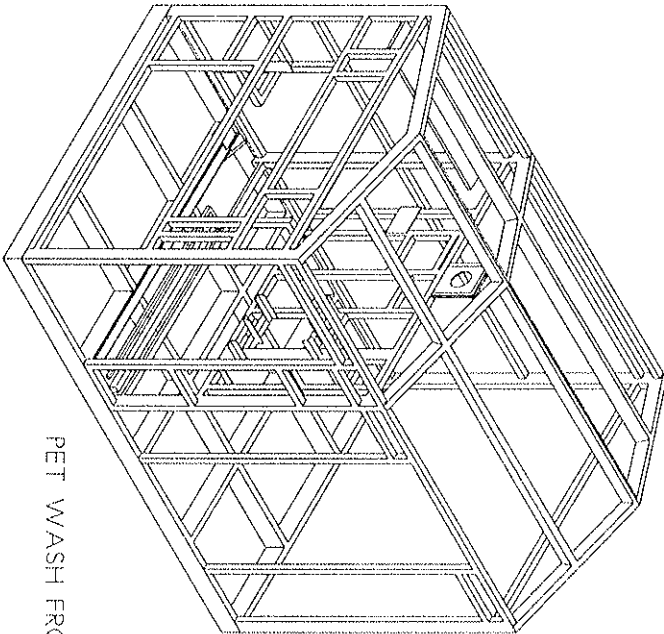
ADA PETWASH VENDING STATION  
ALL PAWS PET WASH  
VARIOUS LOCATIONS



Larson & Darby Group  
Architects Engineers Interiors  
10000 17th - 10th Floor, Denver, CO 80202-4100 Tel: 303.733.7600



PET WASH REAR



PET WASH FRONT

FOR ILLUSTRATIVE  
PURPOSES ONLY

STRUCTURE  
AXONOMETRIC VIEWS

SCALE:

NONE

DATE: 07-10-2015
PROJECT NUMBER 25118
SHEET NUMBER A3.2

ISSUED FOR:	DATE:
DRAWN:	APPROVED:

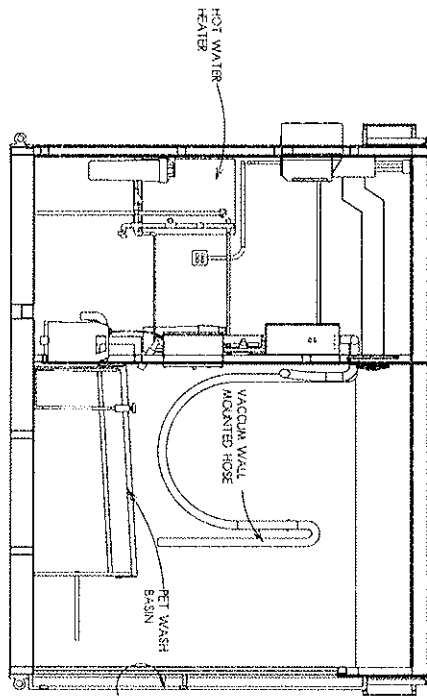
REVISIONS		
NO.	DATE	DESCRIPTION

ADA PETWASH VENDING STATION  
ALL PAWS PET WASH  
VARIOUS LOCATIONS

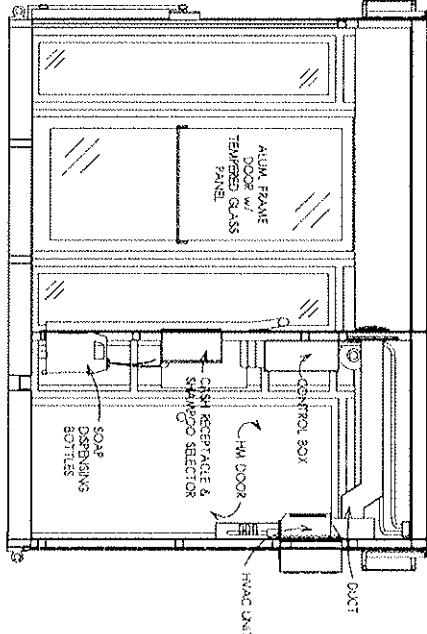


**Larson & Darby Group**  
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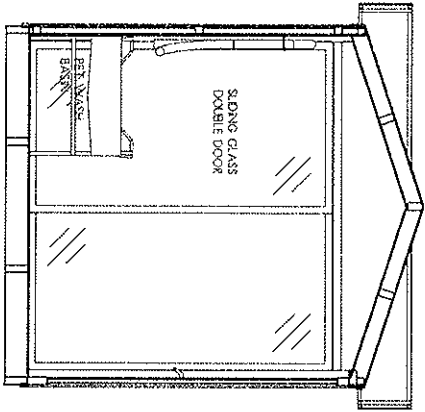
10000 10th Avenue, Suite 200, Golden, CO 80601 Tel: 303.441.4000 Fax: 303.441.4001



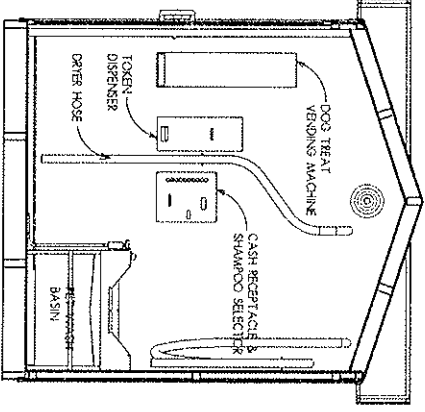
6 ELEVATION FACING BACK  
SCALE: 3/8" = 1'-0"



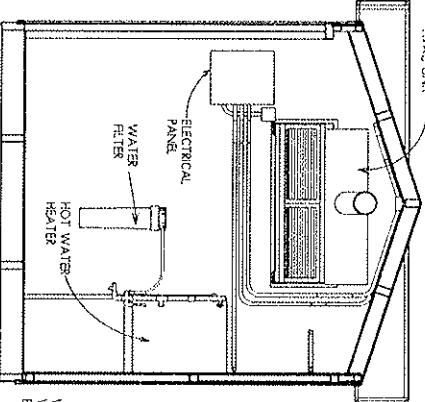
5 ELEVATION FACING FRONT  
SCALE: 3/8" = 1'-0"



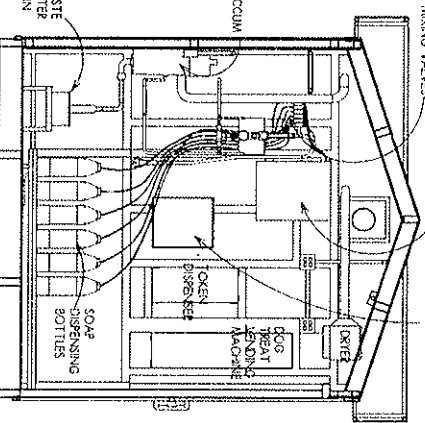
4 PET WASHING ROOM  
SCALE: 3/8" = 1'-0"



3 PET WASHING ROOM  
SCALE: 3/8" = 1'-0"



2 UTILITY ROOM  
SCALE: 3/8" = 1'-0"



1 UTILITY ROOM  
SCALE: 3/8" = 1'-0"

INTERIOR ELEVATIONS  
SCALE: 3/8" = 1'-0"

DATE: 07-10-2015
PROJECT NUMBER: 25118
SHEET NUMBER: A4.1

ISSUED FOR:	DATE:
DRAWN:	APPROVED:

CONTRACTOR'S SEAL  
Larson & Darby Group

ADA PETWASH VENDING STATION  
ALL PAWS PET WASH  
VARIOUS LOCATIONS



Larson & Darby Group  
Architects Engineers Interiors

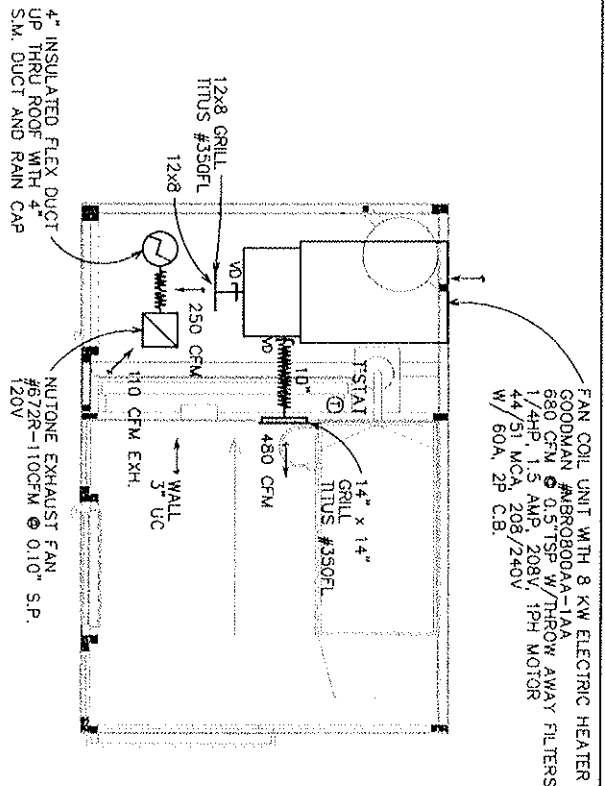
1000 North 1st Street, Suite 100, Portland, ME 04101-1001

**HVAC PLAN NOTES:**

- ALL SUPPLY AIR DUCTS SHALL BE FABRICATED FROM PRIME GRADE GALVANIZED SHEET METAL IN ACCORDANCE WITH THE SMACNA DESIGN MANUAL.
- ALL DUCTWORK IS EXPOSED WITH-IN CONDITIONED SPACE.
- ALL DUCT DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS OF AIRWAY;
- ALL GRILLES ARE BASED UPON TITUS WITH BAKED OFF-WHITE ENAMEL FINISH.
- ALL FLEX DUCT SHALL BE WITH FLAME SPREAD OF 25 OR LESS. MAXIMUM LENGTH SHALL BE 5 LINEAR FEET.
- THE MANUFACTURER SHALL ADJUST ALL DRIVES AND REGULATE ALL SUPPLY AIR GRILL DAMPERS TO DELIVER THE AIR QUANTITY SHOWN ON THE PLAN.
- WHERE FLEXIBLE DUCTS ARE CONNECTED TO MAIN TRUNK DUCT, SPIN COLLARS WITH MANUAL VOLUME DAMPER SHALL BE PROVIDED.

**MECHANICAL SPECIFICATIONS**

- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL ARRANGEMENTS, SIZES, AND LOCATIONS OF EQUIPMENT. ALL EQUIPMENT SHALL BE INSTALLED COMPLETE WITH FURNISHING ALL REQUIRED COMPONENTS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ASHRAE STANDARDS FOR THE STATE OF ILLINOIS.
- CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.
- ALL MATERIAL SHALL BE NEW AND OF FIRST QUALITY. ALL WORKMANSHIP SHALL BE FIRST CLASS AND DONE ACCORDING TO STANDARD PRACTICE.
- WHERE UNDERWRITERS' LABORATORY STANDARDS EXIST, EQUIPMENT FURNISHED SHALL BEAR THE UL LABEL AND BE OF THE APPROPRIATE NEMA TYPE.
- NOTWITHSTANDING THE LOCAL CODE AUTHORITY REQUIREMENTS, THE LATEST NFPA (NATIONAL FIRE PROTECTION ASSOCIATION) AND NFPA (NATIONAL BOARD OF FIRE UNDERWRITERS) REQUIREMENTS ARE A PART OF THIS CONTRACT. IF REQUIRED BY LOCAL AUTHORITIES, THE MANUFACTURER WILL FURNISH AND INSTALL AUTOMATIC HEAT AND/OR SMOKE DETECTORS.
- ALL DUCT CONSTRUCTION AND INSTALLATION SHALL CONFORM TO LATEST APPLICABLE ASHRAE (AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS) AND SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION) STANDARDS.
- MANUFACTURER SHALL PROVIDE ALL VOLUME DAMPERS THAT SHALL BE SELF INDICATING WITH AN EXTERIOR ADJUSTING AND LOCKING MECHANISM. DAMPERS SHALL CLOSE AGAINST THE AIR STREAM.
- ALL DUCTS SHALL BE CLEANED PRIOR TO INSTALLATION OF GRILLES, REGISTERS, DIFFUSERS, ETC. PAINT INTERIOR OF DUCTS BEHIND GRILLES, DIFFUSERS, REGISTERS, ETC.
- MANUFACTURER SHALL PROVIDE VIBRATION ISOLATION TO PREVENT TRANSMISSION OF VIBRATION AND SOUND FROM MOTORIZED AND/OR ROTATING EQUIPMENT TO STRUCTURE.
- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.



**HVAC PLAN**

SCALE: 3/8" = 1'-0"

**VENTILATION SYMBOL LIST**

SINGLE LINE	DESCRIPTION
	DUCT, WIDTH X DEPTH, AIRWAY DIMENSIONS
	FLEXIBLE DUCT
	SIDE WALL SUPPLY REGISTER
	VOLUME DAMPER WITH QUADRANT LOCKING
	UNDERCUT MINIMUM AT DOOR OR WALL
	THERMOSTAT

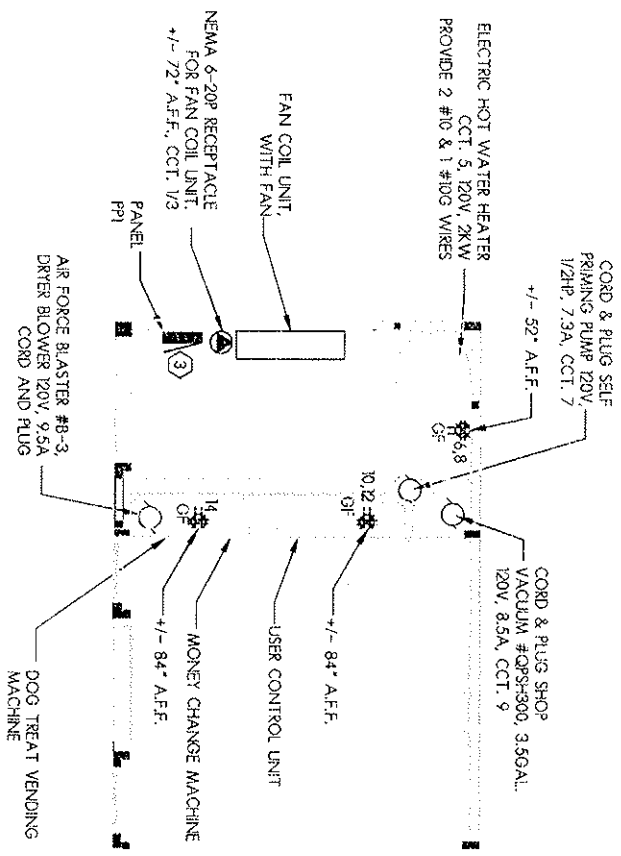
DATE: 07-07-2015  
 PROJECT NUMBER: 25118  
 SHEET NUMBER: M1.1

ISSUED FOR: DATE  
 DRAWN: APPROVED

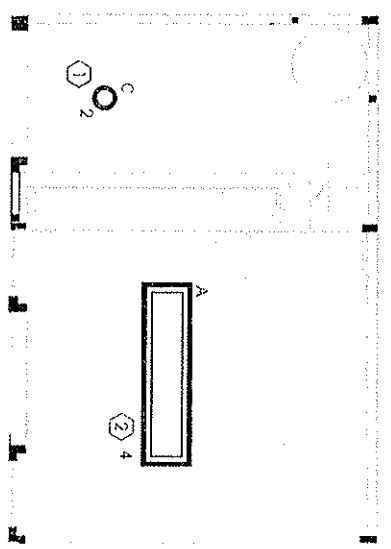
CONTRACT NO.  
 PROJECT NO.  
 SHEET NO.

STANDARD BORDER SHEET FOR  
**LARSON & DARBY GROUP**  
 ROCKFORD, ILLINOIS

**Larson & Darby Group**  
 Architects Engineers Interiors  
 1000 North State Street, Rockford, IL 61103  
 Tel: 815.398.0000 Fax: 815.398.0001



- KEYED NOTES:**
- ① PORCELAIN SOCKET WITH PULL CHAIN
  - ② LITHONIA DMW 292 VAVOLT GEB10 IS WITH DUST AND MOISTURE RESISTANT.
  - ③ POWER TO PANEL TO BE PROVIDED PER LOCAL CODE AND PROJECT CONDITION.



DATE:	01-01-2015
PROJECT NUMBER:	25118
SHEET NUMBER:	E1.1

ISSUED FOR:	DATE:
DRAWN:	APPROVED:

CONTRACT NO. 2015-01  
 100 NORTH GREEN AVENUE  
 ROCKFORD, ILLINOIS 61104  
 PHONE: 815.396.6500 FAX: 815.396.6505

**STANDARD BORDER SHEET FOR**  
**LARSON & DARBY GROUP**  
 ROCKFORD, ILLINOIS



**Larson & Darby Group**  
 Architects Engineers Interiors  
 100 North Green Avenue, Suite 100, Rockford, Illinois 61104  
 TEL: 815.396.6500 FAX: 815.396.6505

PANELBOARD SCHEDULE			PP1		LOCATION: EQUIPMENT ROOM			
VOLTAGE:	120/240V-1 PHASE 4 WIRE PLUS GROUND	MAIN (A) WITH GROUND BUS	M.C.B. X	M.C.O. X	CIR. NO.	MOUNT SURFACE		
						TYPE		
					CIR. NO.	CIR. C/B	USE AND OR AREA SERVED	
USE AND OR AREA SERVED		30	1	1600	2	20	EQUIPMENT ROOM LIGHTS	
EQUIPMENT ROOM LIGHTS		30	1	1600	2	20	EQUIPMENT ROOM LIGHTS	
EQUIPMENT ROOM LIGHTS		30	3	1600	4	20	WASH BAY LIGHTS	
WASH BAY LIGHTS		30	5	2000	6	30	RECEPTACLES	
RECEPTACLES		30	7	1600	9	20	RECEPTACLES	
RECEPTACLES		30	9	1020	10	20	RECEPTACLES	
RECEPTACLES		30	11	1140	12	30	RECEPTACLES	
RECEPTACLES		30	13	1300	14	20	RECEPTACLES	
RECEPTACLES		30	15	1480	16	30	RECEPTACLES	
RECEPTACLES		30	17	1520	18	20	RECEPTACLES	
RECEPTACLES		30	19	1560	20	20	RECEPTACLES	
RECEPTACLES		30	20	1600	20	20	RECEPTACLES	
TOTAL LOAD PER PHASE:							TOTAL KVA	9
25118 ALL PAVS PET WASH		DATE					AMPS	44.6
		08/23/15						208V

**KEYED NOTES:**  
 ① PANEL SHALL HAVE MAXIMUM OF 20 POLES

**ELECTRICAL SYMBOLS**

- WALL FLOOR POKE ABOVE
- BOX THROUGH COUNTER
- QUADPLEX RECEPTACLE
- DUPLEX RECEPTACLE
- ADJACENT LETTERS IN THE SYMBOLS ABOVE INDICATE THE FOLLOWING:
  - \*WP\* RECEPTACLE HAS GROUND FAULT CIRCUIT INTERRUPTER
  - \*WP\* RECEPTACLE HAS WATERPROOF COVER
  - \*XX\* RECEPTACLE CIRCUIT NUMBER
  - \*M\* MANUAL MOTOR CONTROL
  - \*XX\* CIRCUIT NUMBER
- INCANDESCENT, FLUORESCENT OR HID LIGHTING FIXTURE. SIZE AND TYPE AS INDICATED ON SCHEDULE.
- INCANDESCENT, FLUORESCENT OR HID LIGHTING FIXTURE. SIZE AND TYPE AS INDICATED ON SCHEDULE.
- MOTOR - SEE SCHEDULE. 'XX' INDICATES TAG
- SURFACE MOUNTED NORMAL BRANCH CIRCUIT PANELBOARD
- SPECIAL RECEPTACLE

DATE: 01-01-2015  
 PROJECT NUMBER: 25118  
 SHEET NUMBER: E2.1

ISSUED FOR: DATE  
 DRAWN: APPROVED

STANDARD BORDER SHEET FOR  
**LARSON & DARBY GROUP**  
 ROCKFORD, ILLINOIS



**Larson & Darby Group**  
 Architects Engineers Interiors  
 600 S. 1st St. - 2nd Floor - Rockford, IL 61102-1001 Tel: 815.398.4200 Fax: 815.398.4201

## ELECTRICAL SPECIFICATIONS

- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL ARRANGEMENTS, SIZES, AND LOCATIONS OF EQUIPMENT. ALL EQUIPMENT SHALL BE INSTALLED COMPLETE WITH FINISHING ALL REQUIRED COMPONENTS.
- ALL WORK INDICATED IS BASED UPON CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND IS SUBJECT TO LOCAL CODE INTERPRETATION AND IS CONSIDERED TO BE IN THE FOOTPRINT OF THE UNIT.
- CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.
- ALL EQUIPMENT PROVIDED SHALL BE NEW STANDARD, NEMA AND IEC LISTED.
- UNLESS OTHERWISE SPECIFIED, THE MANUFACTURER SHALL FURNISH AND INSTALL CONDUIT, WIRING, AND ACCESSORIES FOR ALL ELECTRICALLY OPERATED EQUIPMENT INCLUDING FINAL CONNECTIONS TO SAME WITHIN THE FOOTPRINT OF THE UNIT. DISCONNECTS NOT REQUIRED FOR PLUG IN EQUIPMENT.
- ALL EXIT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE AS MANUFACTURED BY APPLICABLE CROSSING HINDS OR PANDA.
- ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN, MINIMUM SIZE #12 AWG, AS MANUFACTURED BY HAYWARD, COLLIER OR ALUMINUM.
- JOINT IN ONE CONDUIT BOXES SHALL BE A 4" X 4" CONDUIT BOX NOT LESS THAN 1/2" DEEP. TOGGLE SWITCH, RECEPTACLE OUTLET BOXES SHALL BE 2" SQUARE, NOT LESS THAN 1-1/2" DEEP. CROWN DRINK COFFERS SHALL BE USED FOR EXPOSED JUNCTION BOX INSTALLATIONS. OUTLET BOXES SHALL BE AS MANUFACTURED BY ABBEY OR ARBOUR OR STEEL ONE.
- GAST SWITCH, GATE AND JUNCTION BOXES OR CONDUIT FITTINGS SHALL BE USED IN ALL DAMP OR WET LOCATIONS. THEY SHALL HAVE THREADED HOLES AND GASKETED COVERS. THEY SHALL BE AS MANUFACTURED BY HOFFMAN, QUALITY OR APPLITION.
- ALL LOCAL SWITCHES FOR CONTROL OF LIGHTING SHALL BE RATED 20 AMPERE, 277 VOLT, 1-PHASE, 3-POLE, 3-THROW, (COLOR AS SELECTED BY MANUFACTURER), SINGLE POLE BREAKER, #221.
- APPROXIMATELY 20% OF THE BREAKERS SHALL BE APPROVED EQUAL AND 80% APPROVED EQUAL.
- SPECIFICATION GRADE DUPLEX RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT 3 WIRE GROUNDING TYPE EQUAL TO HUBBELL 5882, A-4 OR 5-KS APPROVED EQUAL. DEVICE COLOR AS SELECTED BY MANUFACTURER. OFF. RECEPTACLES SHALL BE EQUAL TO HUBBELL 4055322. SPECIAL RECEPTACLES SHALL BE AS NOTED ON THE DRAWINGS.
- ALL PANELBOARD'S SHALL HAVE COPPER BUSBARS AND SHALL BE AS MANUFACTURED BY F.I.E. SQUARE D OR WESTINGHOUSE. ALL CIRCUIT BREAKERS SHALL BE BOLT-ON TO AND 20 AMP SINGLE POLE BREAKERS SHALL BE RATED FOR SWITCHING 30 FT.
- MINIMUM UL LISTED INTERLOCKING RAINING (RMS 300 AWG) SHALL BE AS FOLLOWS:
  - 240 VOL. MAXIMUM BREAKERS
    - 15-120 AMP = 10,000 AIC
    - 110-225 AMP = 22,000 AIC
  - INSULATED WIRING SHALL BE FINISHED COMPLETE WITH LAMPS, LENSES, END CAPS, JOINTING HARDWARE, ETC. TO PROVIDE A COMPLETE AND WORKING SYSTEM.
- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT ENTER THE GENERAL DESIGN CONCEPT COMPONENTS, MATERIALS AND SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.

DATE:	01-01-2015
PROJECT NUMBER	25118
SHEET NUMBER	E3.1

STANDARD BORDER SHEET FOR  
**LARSON & DARBY GROUP**  
 ROCKFORD, ILLINOIS

**Larson & Darby Group**  
 Architects Engineers Interiors

604 N. Olive - 2nd Floor - Rockford, IL 61101-2627 - Phone: 815.395.4400 - Fax: 815.395.4401

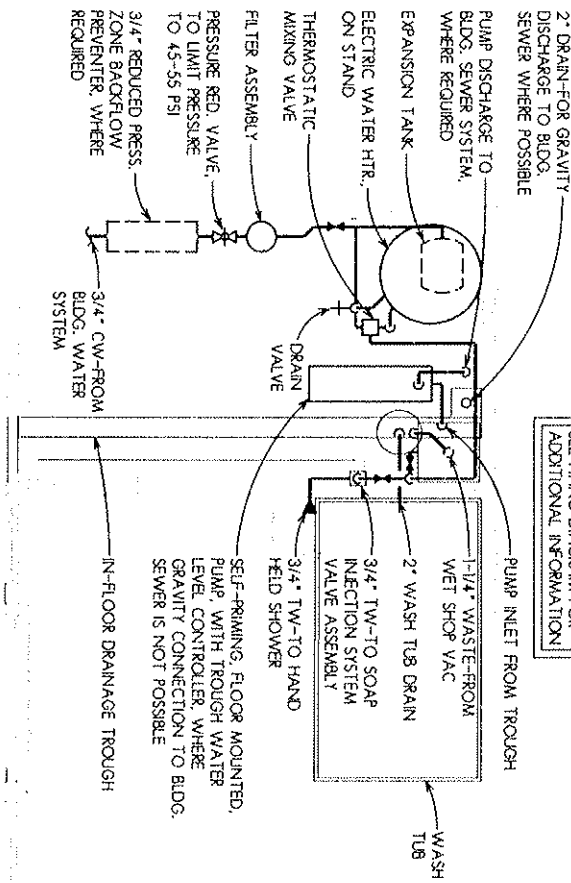


## PLUMBING SYMBOLS

SYMBOL	DESCRIPTION
—○	PIPE TURNED UP
—○	PIPE TURNED DOWN
⊳	SHUT-OFF VALVE
⊳	PRESSURE REDUCING VALVE

## PLUMBING ABBREVIATIONS

MARK	DESCRIPTION
CW	COLD WATER
HW	HOT WATER
TW	TEMPERED WATER



SEE PIPING DIAGRAM FOR ADDITIONAL INFORMATION

- NOTES:**
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
  2. ALL WATER PIPING SHALL BE PEY MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

## PLUMBING PLAN

SCALE: 1/2" = 1'-0"

DATE: 07-10-2018	ISSUED FOR: DATE
PROJECT NUMBER 25118	
SHEET NUMBER P1.1	
DRAWN TW	APPROVED EAS

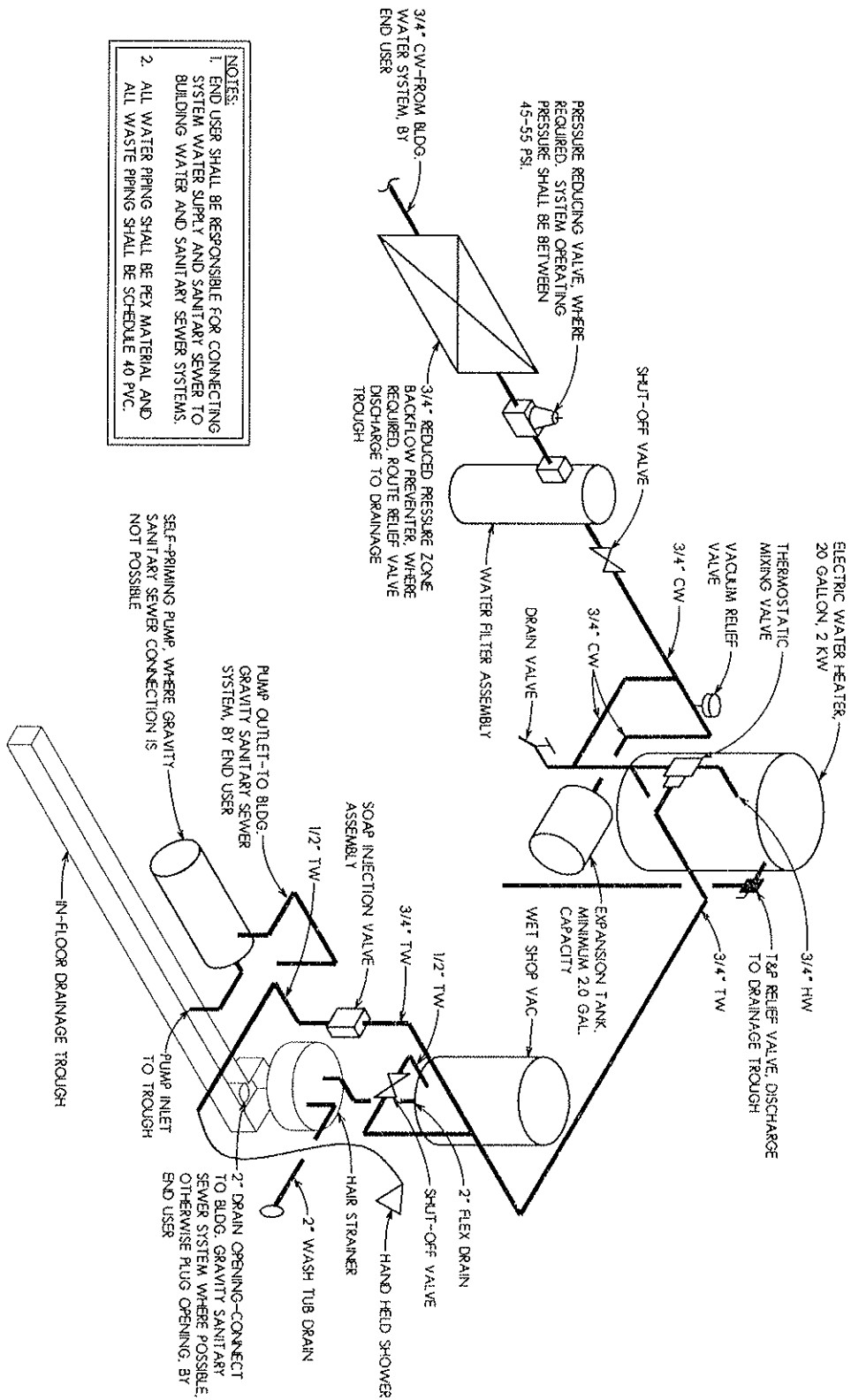
CONTRACT NO.  
DATE  
PROJECT NO.  
SHEET NO.

ADA PETWASH VENDING STATION  
ALL PAWS PET WASH  
VARIOUS LOCATIONS



Larson & Darby Group  
Architects Engineers Interiors

10000 Old Orchard Road, Suite 100, Dallas, TX 75243-1000



- NOTES:**
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
  2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

3/4" CW-FROM BLDG. WATER SYSTEM, BY END USER

3/4" REDUCED PRESSURE ZONE BACKFLOW PREVENTER, WHERE REQUIRED, ROUTE RELIEF VALVE DISCHARGE TO DRAINAGE TROUGH

SHUT-OFF VALVE

WATER FILTER ASSEMBLY

3/4" CW

3/4" CW

DRAIN VALVE

ELECTRIC WATER HEATER, 20 GALLON, 2 KW

THERMOSTATIC MIXING VALVE

VACUUM RELIEF VALVE

3/4" HW

1/2" TW

3/4" TW

EXPANSION TANK, MINIMUM 2.0 GAL. CAPACITY

WET SHOP VAC

3/4" TW

1/2" TW

3/4" TW

1/2" TW

SOAP INJECTION VALVE ASSEMBLY

PUMP OUTLET--TO BLDG. GRAVITY SANITARY SEWER SYSTEM, BY END USER

IN-FLOOR DRAINAGE TROUGH

PUMP INLET TO TROUGH

2" DRAIN OPENING--CONNECT TO BLDG. GRAVITY SANITARY SEWER SYSTEM, WHERE POSSIBLE. OTHERWISE PLUS OPENING, BY END USER

2" WASH TUB DRAIN

HAND HELD SHOWER

SHUT-OFF VALVE

2" FLEX DRAIN

HAND STRAINER

**PIPING DIAGRAM**  
NO SCALE

DATE: 07-10-2015	ISSUED FOR: DATE
PROJECT NUMBER <b>25118</b>	
SHEET NUMBER <b>P1.2</b>	

DRAWN TW	APPROVED EAS
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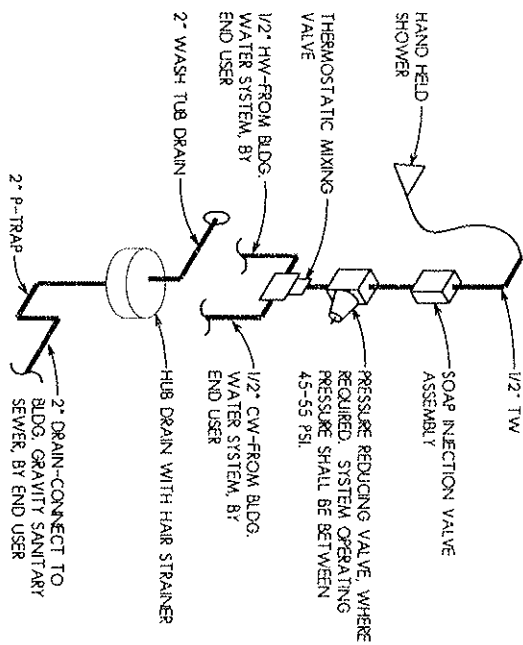
**CONTRACTOR USE**  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

ADA PETWASH VENDING STATION  
**ALL PAWS PET WASH**  
VARIOUS LOCATIONS



**Larson & Darby Group**  
Architects Engineers Interiors

1000 North Ave., Suite 300, Lincoln, NE 68502 | Phone: 402.441.1111 | Fax: 402.441.1112



- NOTES:**
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
  2. ALL WATER PIPING SHALL BE PEY MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

**PIPING DIAGRAM-FLIP TUB STYLE**  
NO SCALE

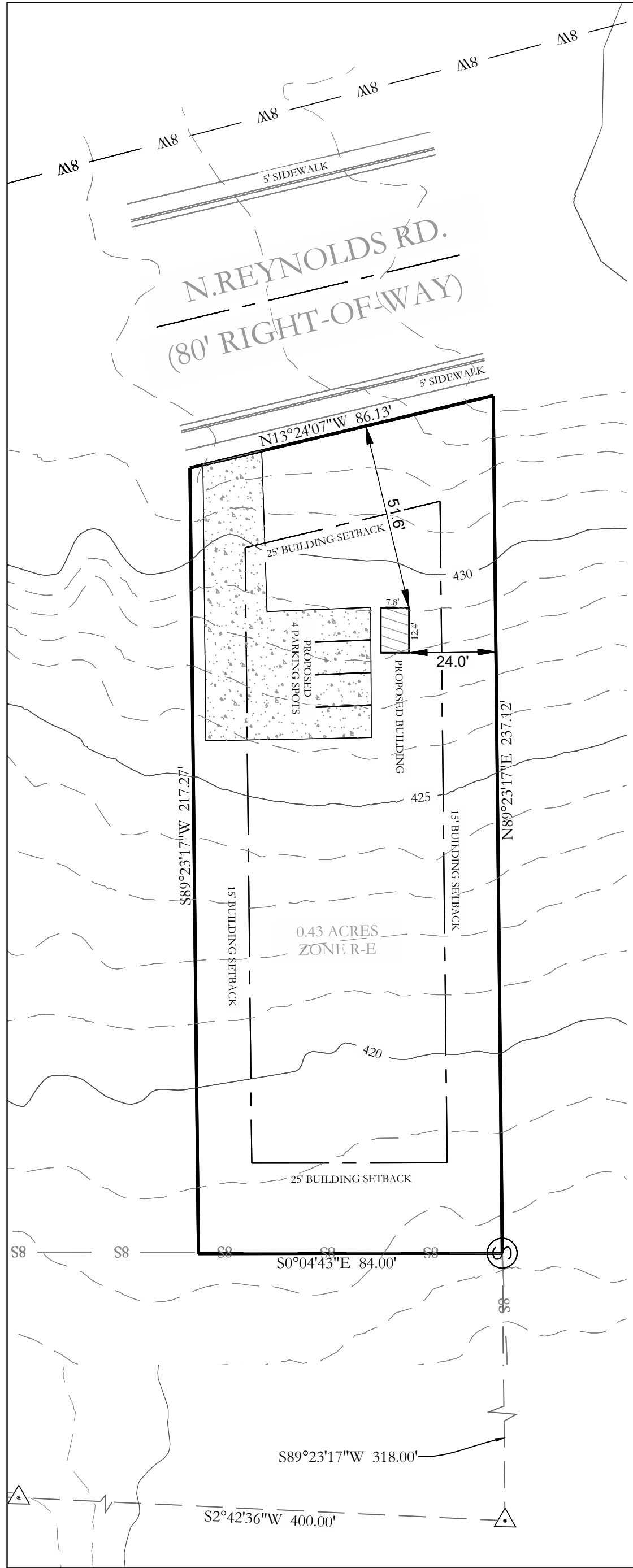
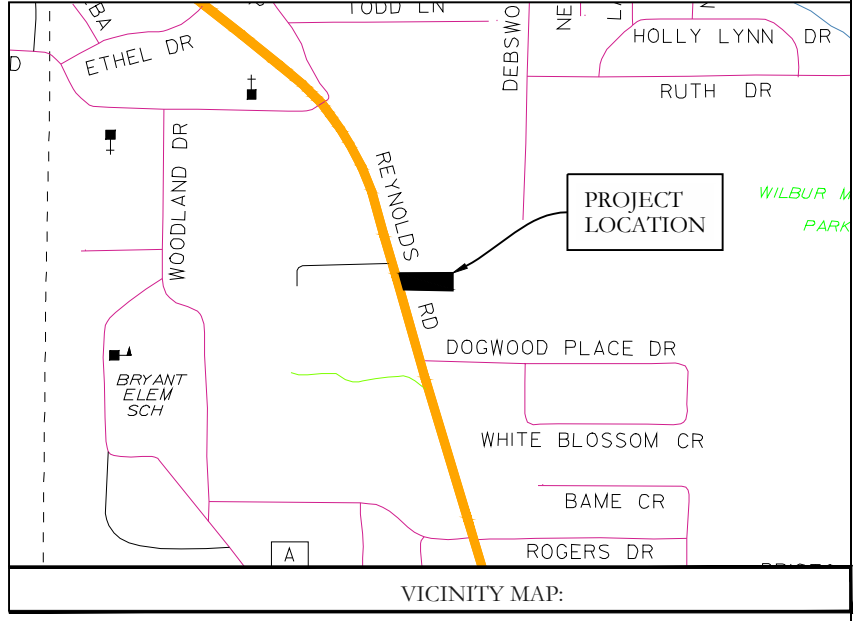
DATE: 07-10-2015	ISSUED FOR: DATE
PROJECT NUMBER <b>25118</b>	
SHEET NUMBER <b>P1.3</b>	
DRAWN TW	APPROVED EAS

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ADA PETWASH VENDING STATION  
**ALL PAWS PET WASH**  
VARIOUS LOCATIONS



**Larson & Darby Group**  
Architects Engineers Interiors  
10000 10th Ave, Ste 100, Golden, CO 80401, USA



BASIS OF BEARINGS:  
GRID NORTH, ARK SPCS  
(NAD83), SOUTH ZONE (0302)

30' 15' 0' 30'

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

117 S. Market Street,  
Benton, Arkansas 72015  
TEL (501) 315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

**SITEPLAN**

**LEGEND**

- Found Aliquot Corner
- Found Monument
- Set 1/2" Rebar w. Cap
- Computed point
- Measured
- Platted
- Fence

Drawn By: MD Checked: \_\_\_\_\_

For the Exclusive Use and Benefit of:

Justin Denny  
Denny Construction Inc.  
Address 1400 N. Reynolds Rd.  
Bryant, AR 72022 Date 7/19/2022

500	01S	14W	0	27	120	62	1664
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**HOPE**  
**CONSULTING**  
**ENGINEERS - SURVEYORS**

July 20, 2022

Truett Smith

City of Bryant  
210 Southwest Third St.,  
Bryant, AR 72022

RE: All Paws Pet Wash (Hope Job# 22-0982)

Dear Truett:

On behalf of the property owner, Hope Consulting is requesting the review of the Site Plan for this property. We would like to be placed July 28th DRC Agenda.

The developer of this project is Deir, Inc

Contact information:

Justin Denney  
870-917-0007  
Kdenney1977@gmail.com

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

Sincerely,

  
Jonathan Hope



3825 Mt Carmel Rd.  
Bryant, AR 72022

**GarNat Engineering, LLC**

P.O. Box 116  
Benton, AR 72018

August 24, 2022

Truett Smith  
Planning Director  
City of Bryant  
210 SW 3<sup>rd</sup> Street  
Bryant, AR 72022

Re: Annexation & Zoning – Benjamin Grove Subdivision Phase 4

Dear Mr. Smith:

Please allow this letter and the following list of enclosures to serve as my application for approval of annexation and proposed zoning for the referenced subdivision. It is my desire that this matter be included on the agenda for your September 2022 City of Bryant Planning Commission meeting.

The developer for the project is Thomas D.B. Collins, LTD, 39 Walnut Valley Drive, Little Rock, Arkansas, 72211, [owencreek@comcast.net](mailto:owencreek@comcast.net), (501) 680-0970.

List of Enclosures

- Petition for Annexation
- Application for Change in Zoning District Boundaries
- Filing fee of \$125.00
- Exhibit A - Annexation Figure with legal descriptions
- Exhibit B – Legal Description of Property

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,

GarNat Engineering, LLC

Vernon J. Williams, P.E., President

IN THE COUNTY OF SALINE COUNTY, ARKANSAS

CASE NO. 2022-

IN THE MATTER OF ANNEXATION OF CERTAIN  
TERRITORY CONTIGUOUS TO THE CITY OF BRYANT, ARKANSAS

**PETITION FOR ANNEXATION TO THE  
CITY OF BRYANT, ARKANSAS**

Petitioner, Thomas D. B. Collins, LTD, is the owner of the real property described in the attached Exhibits "A" and "B".

The undersigned further states that it is the one hundred percent (100%) owner of the property, that the property is contiguous to the City of Bryant, Arkansas (the City), and that all of the property lies within Saline County, Arkansas. The undersigned petitions that the property be annexed to the City in accordance with Arkansas Code Annotated §14-40-609 (Act 991 of 2015). The undersigned hereby authorizes Vernon Williams, P.E. of GarNat Engineering to act on behalf of the Petitioner in connection with this petition and the request for annexation to the City.

The following services shall be extended to the annexed area within three (3) years after the date the annexation becomes final:

1. Sewer from the City of Bryant.
2. Water from Salem Water Users.
3. Electric from First Electric;
4. Phone from Fidelity

**PETITIONER:**

**THOMAS D.B. COLLINS, LTD**



---

**Phillip Pengelly, Owner**

**APPLICATION  
FOR CHANGE IN  
ZONING DISTRICT BOUNDARIES**

Applicant Name: THOMAS D. B. COLLINS, LTD

Spouse Name: N/A

Property Address: \_\_\_\_\_

Legal Description: SEE ATTACHED EXHIBIT A  
AND EXHIBIT B

Existing Zoning Classification: N/A

Requested Change: R-1.S

Plat of Property is Attached YES

Vicinity Map of property is attached YES

The undersigned designates the following process agent or attorney to represent

the applicant at all hearings:

VERNON WILLIAMS, GARNAT ENGINEERING

This 24 day of AUGUST, 2022

PHILLIP PENGELLY

Applicant

THOMAS D. B. COLLINS, LTD

~~Spouse of Applicant~~

39 WALNUT VALLEY DRIVE

Address

LITTLE ROCK, AR 72211

(501) 680-0970

Phone



## EXHIBIT B

### Legal Description

#### LOTS 129 - 133

TRACT C OF THE BENJAMIN GROVE SUBDIVISION, PHASE 3, REPLAT; AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 164.87 FEET TO A FOUND 1/2" REBAR LOCATED AT THE SOUTHWEST CORNER OF TRACT C OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE **POINT OF BEGINNING**; THENCE CONTINUING S 88°02'37" E, ALONG THE SAID NORTH LINE, A DISTANCE OF 361.66 FEET TO A FOUND 1/2" REBAR LOCATED AT THE SOUTHEAST CORNER OF TRACT C AND ON THE WEST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3; THENCE S 1°56'26" W, LEAVING THE SAID NORTH LINE AND ALONG THE SAID WEST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W LEAVING SAID WEST RIGHT OF WAY, FOR A DISTANCE OF 361.66 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 1°56'26" E, FOR A DISTANCE OF 70.00 FEET TO THE POINT OF BEGINNING, CONTAINING A TOTAL OF 0.87 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RIGHT OF WAY RECORD.

#### LOT 128

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 576.53 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF LOT 127 AND ON THE EAST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE **POINT OF BEGINNING**; THENCE CONTINUING S 88°02'37" E, ALONG THE SAID NORTH LINE, A DISTANCE OF 115.02 FEET TO A FOUND T POST LOCATED AT THE SOUTHEAST CORNER OF LOT 127 OF BENJAMIN GROVE SUBDIVISION, PHASE 3; THENCE S 2°46'05" W, LEAVING THE SAID NORTH LINE, A DISTANCE OF 70.01 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W A DISTANCE OF 114.01 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST RIGHT OF WAY OF BUNDY DRIVE; THENCE N 1°56'26" E,

ALONG SAID EAST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.18 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RIGHT OF WAY OF RECORD.

BUNDY DRIVE RIGHT OF WAY

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: **COMMENCING** AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 576.53 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF LOT 127 AND ON THE EAST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE **POINT OF BEGINNING**; THENCE LEAVING SAID NORTH LINE,  
S 1°56'26" W, ALONG THE SAID EAST RIGHT OF WAY OF BUNDY DRIVE, A DISTANCE OF 70.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W, LEAVING SAID EAST RIGHT OF WAY, A DISTANCE OF 50.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE WEST RIGHT OF WAY OF BUNDY DRIVE; THENCE N 1°56'26" E, ALONG SAID WEST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO A FOUND 1/2" REBAR; THENCE S 88°02'37" E FOR A DISTANCE OF 50.00 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.08 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD.

# GNE

3825 Mt Carmel Rd.  
Bryant, AR 72022

**GarNat Engineering, LLC**

P.O. Box 116  
Benton, AR 72018

August 24, 2022

William Gruber  
Saline County Civil Attorney  
200 N. Main St.  
Benton, Arkansas 72015

Re: Annexation – Benjamin Grove Subdivision Phase 4

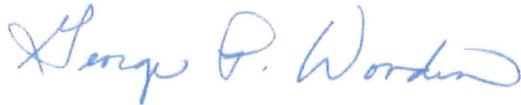
Dear Mr. Gruber:

I, George P. Wooden, am verifying that this property is contiguous with the annexing City of Bryant and also that no enclaves will be created if this property is accepted by the City of Bryant.

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,

GarNat Engineering, LLC



George P. Wooden, Professional Surveyor #1573 State of Arkansas

**POINT OF COMMENCEMENT**  
FND 1/2" REBAR 1573  
NW CORNER  
NE1/4 SE1/4  
SEC.12-T1S-R15W

**POINT OF BEGINNING**  
LOTS 129 - 133

This Property

This Property

**EXHIBIT A**

001-07582-000  
ALAN K EIDSON

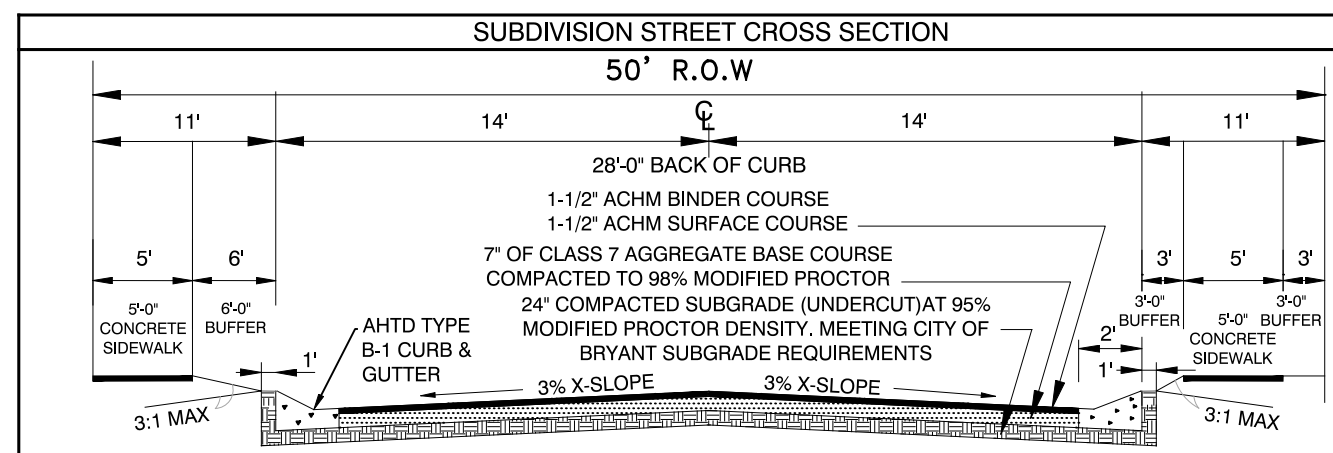
PLAT CERTIFICATES:	
<b>OWNER:</b> Name: The Estate of Michael Wayne Millsap Address: 9360 Gilbert Road Benton, AR 72019	<b>DEVELOPER:</b> Name: Thomas D.B. Collins, LTD. Address: 39 Walnut Valley Little Rock, AR 72211
<b>CERTIFICATE OF OWNER:</b> We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat. Date: _____ Signed: _____ Name: The Estate of Michael Wayne Millsap Address: 401 Autumn Road, Little Rock, Arkansas 72211	
<b>CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:</b> I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision on 5/11/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located. Date: _____ Signed: _____ George P. Wooden Registered Land Surveyor No. 1573, Arkansas	
<b>CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:</b> I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with. Date: _____ Signed: _____ Vernon J. Williams Registered Professional Engineer No. 9551, Arkansas	
<b>CERTIFICATE OF PRELIMINARY PLAT APPROVAL:</b> All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations. <b>This Certificate shall expire</b> Date: _____ Date: _____ Signed: _____ Rick Johnson, Chairman Bryant Planning Commission	

**PROPERTY SPECIFICATIONS:**

ZONING CLASSIFICATION: R-1S  
MIN. LOT SIZE: 7,281 S.F.  
NUMBER OF LOTS: 4  
SOURCE OF WATER: SALEM WATER  
SOURCE OF SEWER: CITY OF BRYANT  
BUILDING SETBACKS:  
FRONT - 20' OR AS SHOWN  
REAR - 20' OR AS SHOWN  
SIDE - 8' OR AS SHOWN  
EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)  
FRONT - 10' OR AS SHOWN  
REAR - 10' OR AS SHOWN  
SIDE - 5' OR AS SHOWN  
STREET RIGHT OF WAYS: 50' OR AS SHOWN  
STREET WIDTH: 28' BOC TO BOC  
LOT CORNERS: SET #4 REBAR WITH CAP  
TRACT A WILL BE OWNED & MAINTAINED BY PROPERTY OWNERS ASSOCIATION AND TRACT B WILL BE OWNED & MAINTAINED BY CITY OF BRYANT.

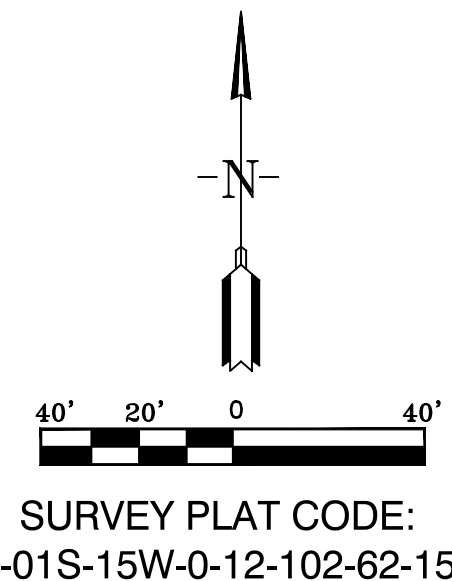
**GENERAL NOTES:**

- ALL STREETS & DRAINAGE TO MEET CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS.
- ALL TRAFFIC CONTROL DEVICES SHALL MEET THE REQUIREMENTS OF CITY OF BRYANT STANDARD SPECIFICATIONS PER PART 4.9



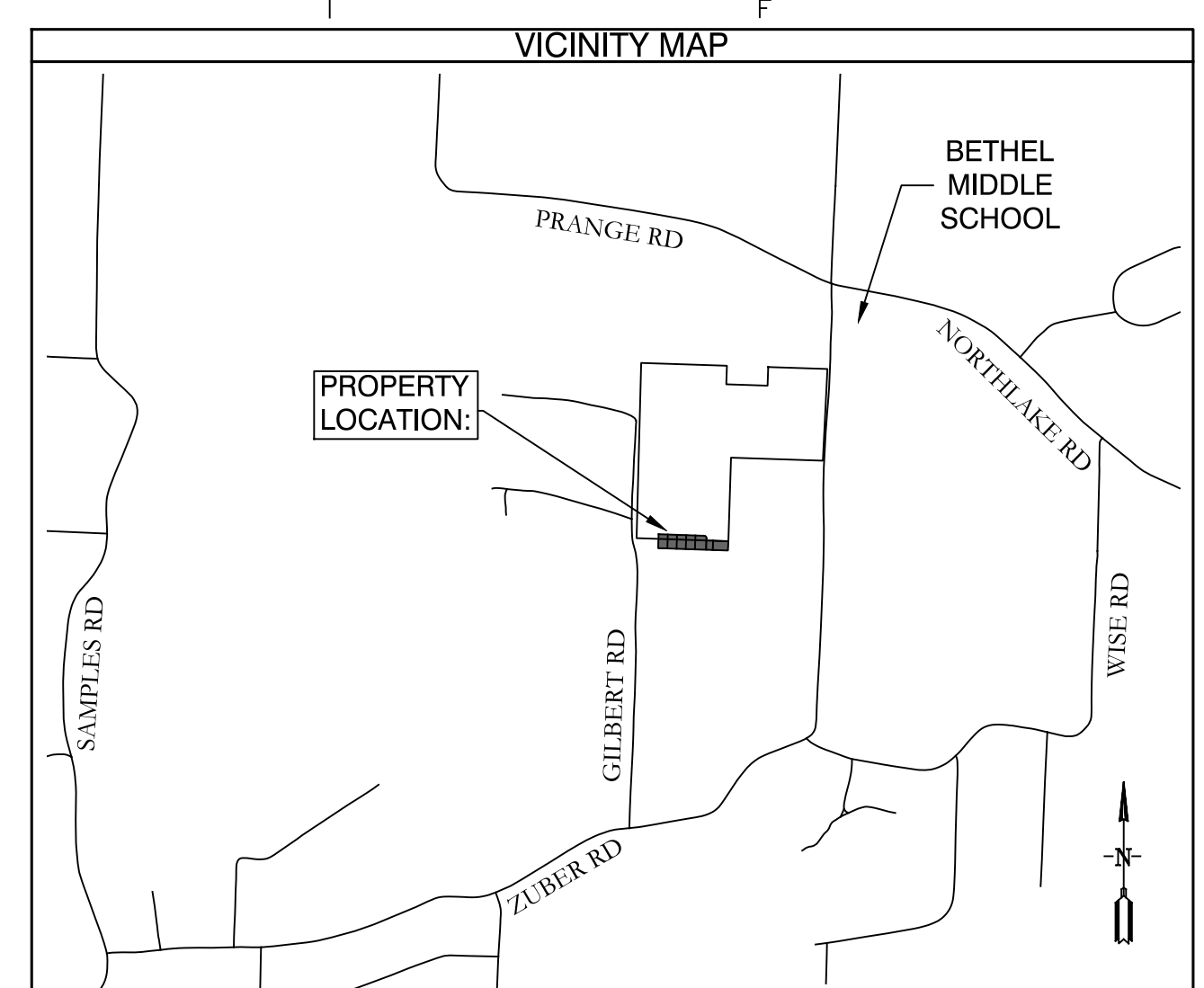
**Curve Table**

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C2	29.85	19.00	90°01'08"	S43° 04' 09"E	26.87



**SURVEY LEGEND**

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



**SUBDIVISION DESCRIPTIONS (AS SURVEYED):**

**LOTS 129 - 133**  
TRACT C OF THE BENJAMIN GROVE SUBDIVISION, PHASE 3, REPLAT; AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 164.87 FEET TO A FOUND 1/2" REBAR LOCATED AT THE SOUTHWEST CORNER OF TRACT C OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE POINT OF BEGINNING; THENCE CONTINUING S 88°02'37" E, ALONG THE SAID NORTH LINE, A DISTANCE OF 361.66 FEET TO A FOUND 1/2" REBAR LOCATED AT THE SOUTHEAST CORNER OF TRACT C AND ON THE WEST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3; THENCE S 1°56'26" W, LEAVING THE SAID NORTH LINE AND ALONG THE SAID WEST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W LEAVING SAID WEST RIGHT OF WAY, FOR A DISTANCE OF 361.66 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 1°56'26" E, FOR A DISTANCE OF 70.00 FEET TO THE POINT OF BEGINNING, CONTAINING A TOTAL OF 0.87 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RIGHT OF WAY RECORD.

**LOT 128**  
PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 576.53 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF LOT 127 AND ON THE EAST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE POINT OF BEGINNING; THENCE CONTINUING S 88°02'37" E, ALONG THE SAID NORTH LINE, A DISTANCE OF 115.02 FEET TO A FOUND T POST LOCATED AT THE SOUTHEAST CORNER OF LOT 127 OF BENJAMIN GROVE SUBDIVISION, PHASE 3; THENCE S 2°46'05" W, LEAVING THE SAID NORTH LINE, A DISTANCE OF 70.01 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W A DISTANCE OF 114.01 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EAST RIGHT OF WAY OF BUNDY DRIVE; THENCE N 1°56'26" E, ALONG SAID EAST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.18 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS AND RIGHT OF WAY RECORD.

**BUNDY DRIVE RIGHT OF WAY**  
PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE1/4 SE1/4) OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 15 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF THE SAID NE1/4 SE1/4 OF SECTION 12; THENCE S 88°02'37" E, ALONG THE NORTH LINE OF THE SAID NE1/4 SE1/4, A DISTANCE OF 576.53 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF LOT 127 AND ON THE EAST RIGHT OF WAY OF BUNDY DRIVE OF BENJAMIN GROVE SUBDIVISION, PHASE 3 FOR THE POINT OF BEGINNING; THENCE LEAVING SAID NORTH LINE, S 1°56'26" W, ALONG THE SAID EAST RIGHT OF WAY OF BUNDY DRIVE, A DISTANCE OF 70.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE N 88°02'37" W, LEAVING SAID EAST RIGHT OF WAY, A DISTANCE OF 50.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE WEST RIGHT OF WAY OF BUNDY DRIVE; THENCE N 1°56'26" E, ALONG SAID WEST RIGHT OF WAY, A DISTANCE OF 70.00 FEET TO A FOUND 1/2" REBAR; THENCE S 88°02'37" E FOR A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.08 ACRES, MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD.

**DOCUMENTS USED:**

- REPLAT OF BENJAMIN GROVE PHASE 3
- NEIGHBORING SURVEY BY HOPE 6/5/20
- BOOK 310 PAGE 361 WD BRADSHAW TO MILLSAP
- PREVIOUS SURVEY BY GARNAT ENGINEERING 5/11/22

**BASIS OF BEARINGS:**

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS NORTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' ONLINE POSITIONING USER SERVICE' (OPUS).

**CERTIFICATIONS:**

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON MAY 11, 2022.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0225E EFFECTIVE DATE JUNE 05, 2020.

BY: GFW

REVISION: PER CITY OF BRYANT

DATE: 06/17/22

Designing our client's success

**GNE** GarNat Engineering, LLC

P.O. Box 116  
Benton, AR 72018  
Ph: (501) 408-4650  
garnatengineering@gmail.com

BENJAMIN GROVE SUBDIVISION, PHASE 4  
FOR: THOMAS D.B. COLLINS, LTD.  
CITY OF BRYANT  
SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
VERNON J. WILLIAMS  
NO. 9551

CONTENTS:

PRELIMINARY PLAT

PROJECT NO:  
16025

DATE:  
AUG. 24, 2022

SHEET NO:  
V1.0

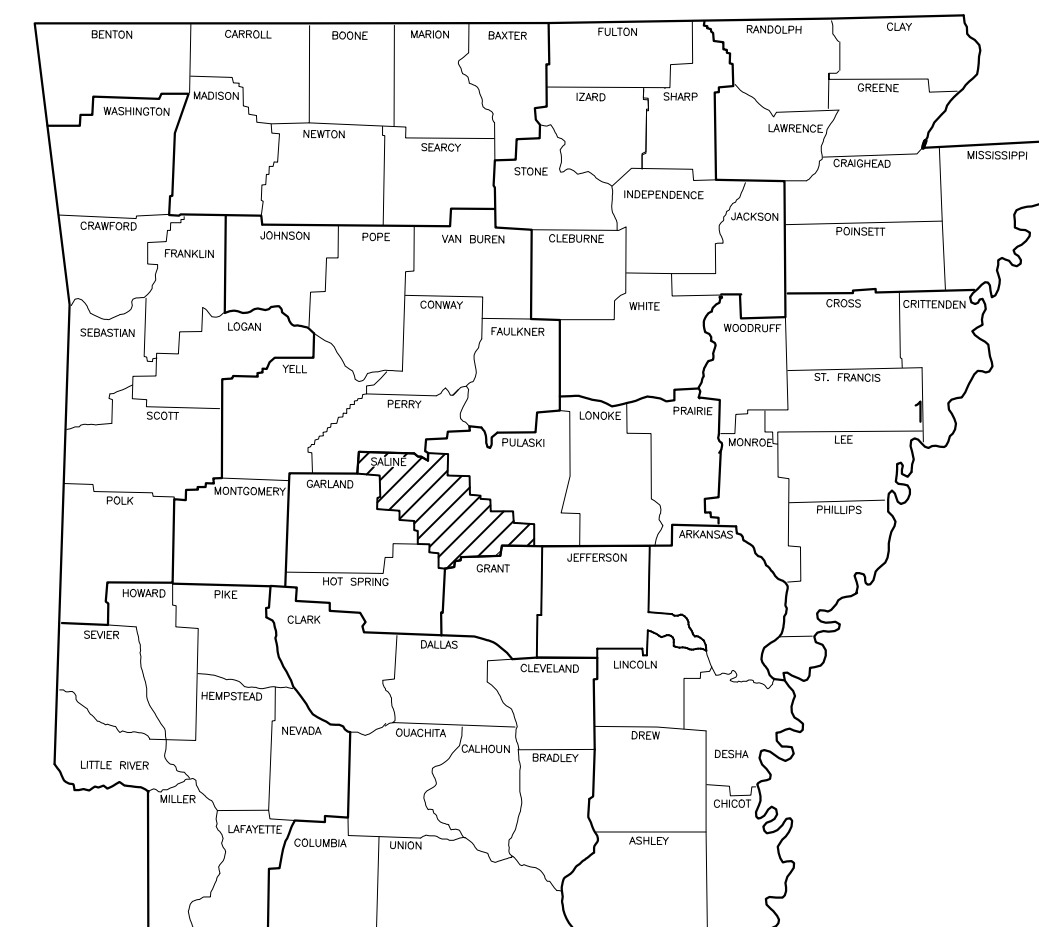
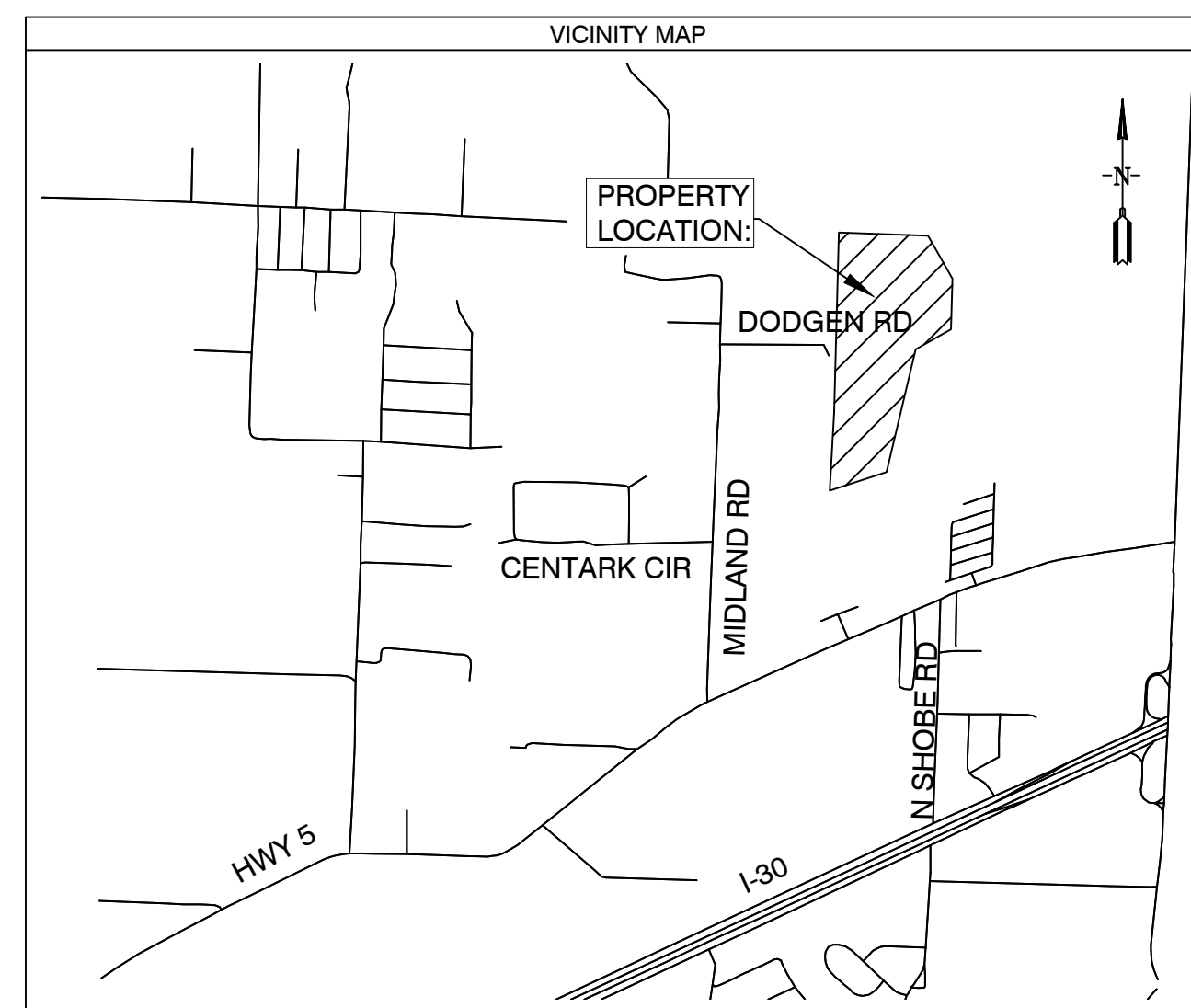
# CREEKSIDE SUBDIVISION PHASE 2 BRYANT, ARKANSAS

Prepared by:  
**GarNat Engineering, LLC**

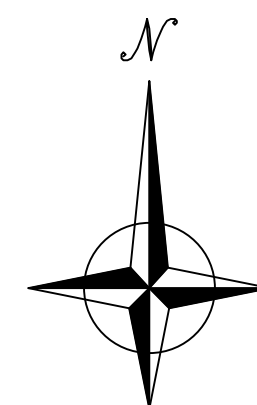
Designing our client's success  
[www.garnatengineering.com](http://www.garnatengineering.com)

P.O. Box 116  
Benton, AR 72018  
Ph (501) 408-4650

3825 Mt Carmel Road  
Bryant, AR 72022  
Fx (888) 900-3068

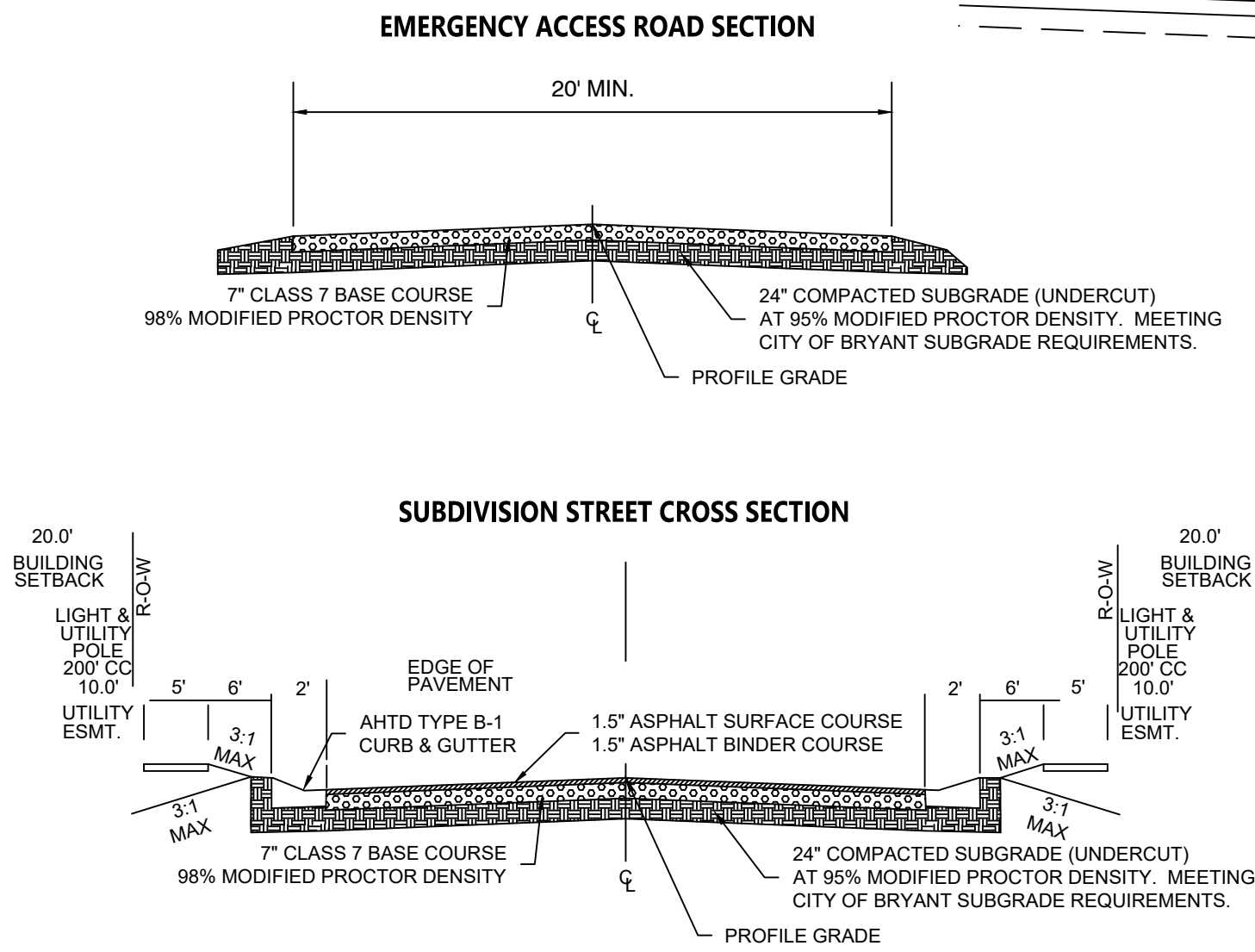
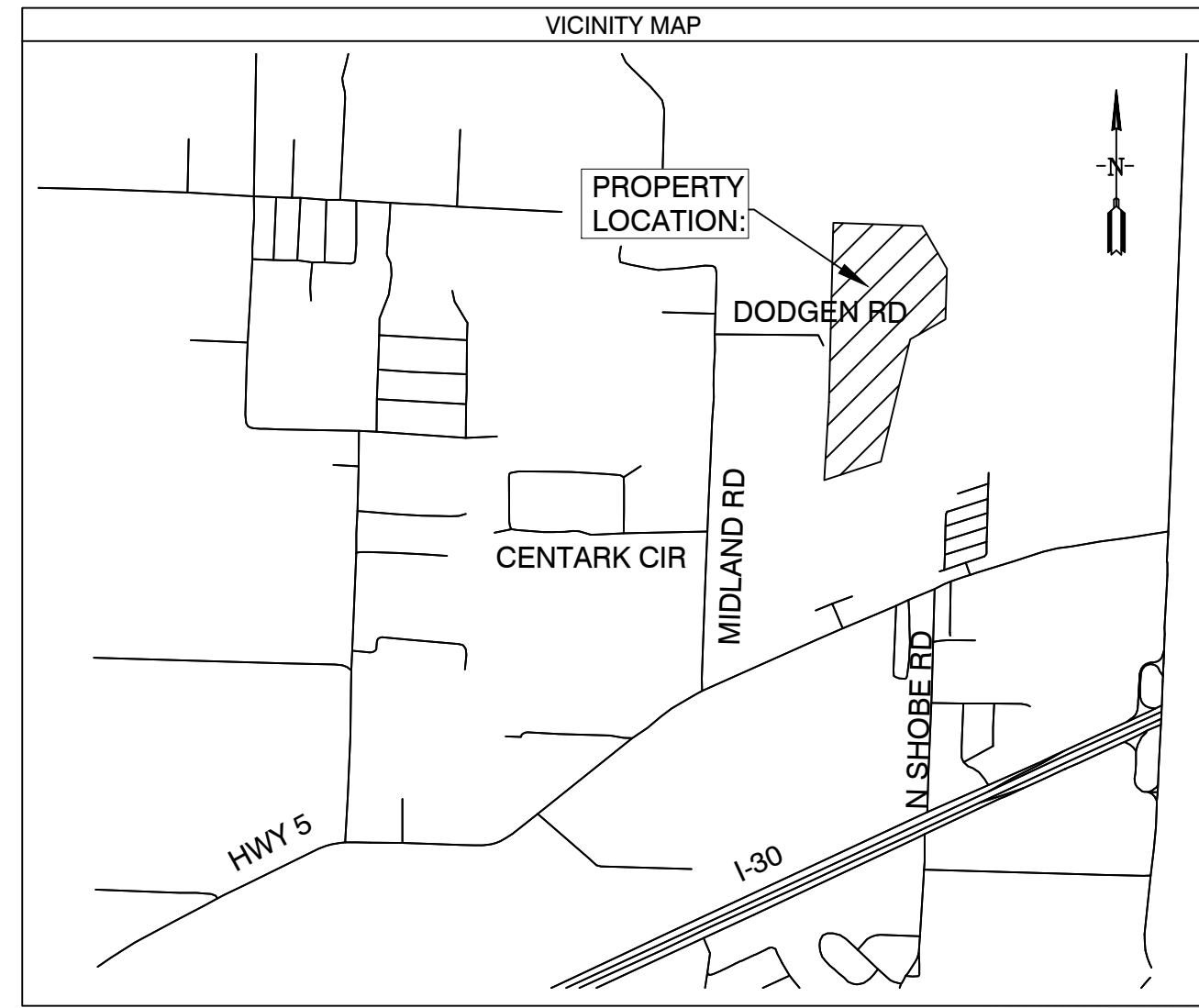


ARKANSAS



08-24-2022

- 1 PRELIMINARY PLAT OVERALL
- 2 PRELIMINARY PLAT SOUTH HALF
- 3 PRELIMINARY PLAT NORTH HALF
- 4 DRAINAGE PLAN
- 5 ROAD PROFILES
- 6 DRAINAGE PROFILES
- 7 OVER SEWER & WATER PLANS
- 8 OULET STRUCTURE DETAILS
9. EROSION CONTROL PLAN



Line #	Length	Direction
L1	26.63	S45° 37' 43"W
L2	67.59	S42° 51' 15"W
L3	69.25	S42° 51' 15"W
L4	61.55	S33° 56' 28"W
L5	74.18	S59° 11' 07"W
L6	85.44	S57° 05' 38"W
L7	45.43	S61° 02' 07"W
L8	20.44	S2° 04' 49"W
L9	75.92	S78° 58' 48"E
L10	68.17	S70° 19' 12"E
L11	82.17	S51° 58' 45"E
L12	43.85	S41° 47' 58"E
L13	44.83	S16° 41' 28"E
L14	59.73	S6° 28' 58"E
L15	61.47	S0° 55' 57"E
L16	67.51	S19° 41' 07"W
L17	118.71	S50° 16' 07"W
L18	136.69	S38° 51' 03"W
L19	100.82	S22° 07' 30"W
L20	37.28	S6° 12' 28"W

Line #	Length	Direction
L21	41.25	S21° 27' 38"E
L22	43.04	S21° 27' 38"E
L23	28.95	S0° 00' 17"W
L24	114.30	S34° 41' 56"W
L25	10.01	N89° 52' 05"W

Curve #	Length	Radius	Chord Direction	Chord Length
C1	86.62	70.00	S78° 06' 51"E	81.20
C2	29.41	70.00	S62° 56' 29"W	29.19
C3	19.08	15.00	S38° 31' 41"W	17.82

## PRELIMINARY PLAT CREEKSIDE ADDITION PHASE 2 SALINE COUNTY, ARKANSAS

**PROPERTY DESCRIPTION:**  
PART OF THE EAST HALF OF THE NORTHWEST QUARTER ALL IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 77 OF THE CREEK SIDE ADDITION, PHASE 1 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS AND RUN THENCE NORTH 1°58'21" EAST ALONG THE EAST LINE OF CREEK WATER DRIVE A DISTANCE OF 115.05 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°52'06" WEST ALONG THE NORTH LINE OF SAID CREEKSIDE ADDITION, PHASE 1, A DISTANCE OF 275.01 FEET; THENCE NORTH 31°22'58" EAST 94.60 FEET; NORTH 22°56'11" EAST 80.29 FEET; NORTH 26°04'51" EAST 82.13 FEET; NORTH 24°48'10" EAST 81.34 FEET; NORTH 8°56'14" EAST 60.55 FEET; SOUTH 87°58'11" EAST 57.60 FEET; NORTH 2°01'49" EAST 319.19 FEET; SOUTH 45°37'43" WEST 26.63 FEET; SOUTH 42°51'15" WEST 67.59 FEET; SOUTH 42°51'15" WEST 69.25 FEET; SOUTH 33°56'28" WEST 61.55 FEET; SOUTH 59°11'07" WEST 74.18 FEET; SOUTH 57°05'38" WEST 85.44 FEET TO A POINT ON THE WEST LINE OF SAID E 1/2 NW 1/4; THENCE NORTH 2°04'49" EAST ALONG THE WEST LINE OF SAID E 1/2 NW 1/4 A DISTANCE OF 1694.30 FEET TO THE NORTH WEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 12; THENCE SOUTH 89°14'31" EAST ALONG THE NORTH LINE OF SAID NE 1/4 NW 1/4 A DISTANCE OF 109.53 FEET; THENCE SOUTH 23°32'08" EAST 116.13 FEET TO THE START OF A CURVE TO THE LEFT THENCE 86.62 FEET ALONG THE ARC OF A CURVE HAVING A RADIUS OF 70.0', SAID CURVE HAVING A CHORD BEARING & DISTANCE OF SOUTH 78°06'51" EAST 81.20 FEET; THENCE 29.41 FEET ALONG THE ARC OF A CURVE HAVING RADIUS OF 70.0', SAID CURVE HAVING A CHORD BEARING & DISTANCE OF SOUTH 62°56'29" WEST 29.19 FEET; THENCE ALONG THE ARC OF ANOTHER CURVE HAVING A RADIUS OF 15.00' TO THE LEFT A DISTANCE OF 19.08 FEET, SAID CURVE HAVING A CHORD BEARING AND DISTANCE OF SOUTH 38°31'41" WEST 17.82 FEET; THENCE SOUTH 2°04'49" WEST 112.09 FEET; THENCE SOUTH 48°25'26" EAST 103.75 FEET; SOUTH 57°22'48" EAST 74.02 FEET; SOUTH 2°04'49" WEST 20.44 FEET; SOUTH 78°58'48" EAST 75.92 FEET; SOUTH 70°19'12" EAST 68.17 FEET; SOUTH 51°58'45" EAST 82.17 FEET; SOUTH 41°47'58" EAST 43.85 FEET; SOUTH 16°41'28" EAST 44.83 FEET; SOUTH 6°28'58" EAST 59.73 FEET; SOUTH 0°55'57" EAST 61.47 FEET; SOUTH 19°41'07" WEST 67.51 FEET; SOUTH 50°16'07" WEST 118.71 FEET; SOUTH 38°51'03" WEST 136.69; SOUTH 22°07'30" WEST 100.82 FEET; SOUTH 6°12'28" WEST 37.28 FEET; SOUTH 21°27'38" EAST 41.25 FEET; SOUTH 21°27'38" EAST 43.04 FEET; SOUTH 0°01'17" WEST 28.95 FEET; SOUTH 34°41'56" WEST 114.30 FEET; SOUTH 2°01'49" WEST FOR 761.91 FEET; THENCE NORTH 89°52'05" WEST 10.01 FEET TO THE POINT OF BEGINNING, CONTAINING 16.17 ACRES MORE OR LESS.

### DOCUMENTS USED:

- SURVEY PLAT OF RECORD RASBERRY SURVEYING 10/23/2014
- DEED OF RECORD 2014 PAGE 25641 WILLIAMS TO DIAMOND DEVELOPMENT II
- DEED OF RECORD 2004 PAGE 112595 THOMAS TO DIAMOND DEVELOPMENT II
- SURVEY PLAT OF RECORD MIDLAND FARM SUBDIVISION BY HENRY N. CONWAY 8/13/1951

### BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

**PLAT CERTIFICATES:**

**OWNER:** Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210

**DEVELOPER:** Name: Diamond Development II, Address: 1599 Lawson Oaks, Little Rock, AR 72210

**CERTIFICATE OF RECORDING:**

**CERTIFICATE OF OWNER:** We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_ DIAMOND DEVELOPMENT II

Source of Title: SALINE COUNTY, ARKANSAS  
Saline County Document# 2014-25641 & 2004-112595

**CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:**

I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Vernon J. Williams  
Registered Professional Engineer  
No. 9551, Arkansas

**CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:**

I, George P. Wooden, hereby certify that this proposed preliminary plat correctly represents a boundary survey made by me or under my supervision on 6/07/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
George P. Wooden  
Registered Land Surveyor  
No. 1573, Arkansas

**CERTIFICATE OF PRELIMINARY PLAT APPROVAL:**

All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject to further provisions of said Rules and Regulations.

Date: \_\_\_\_\_ Signed: \_\_\_\_\_  
Rick Johnson, Chairman  
Bryant Planning Commission

**PROPERTY SPECIFICATIONS:**

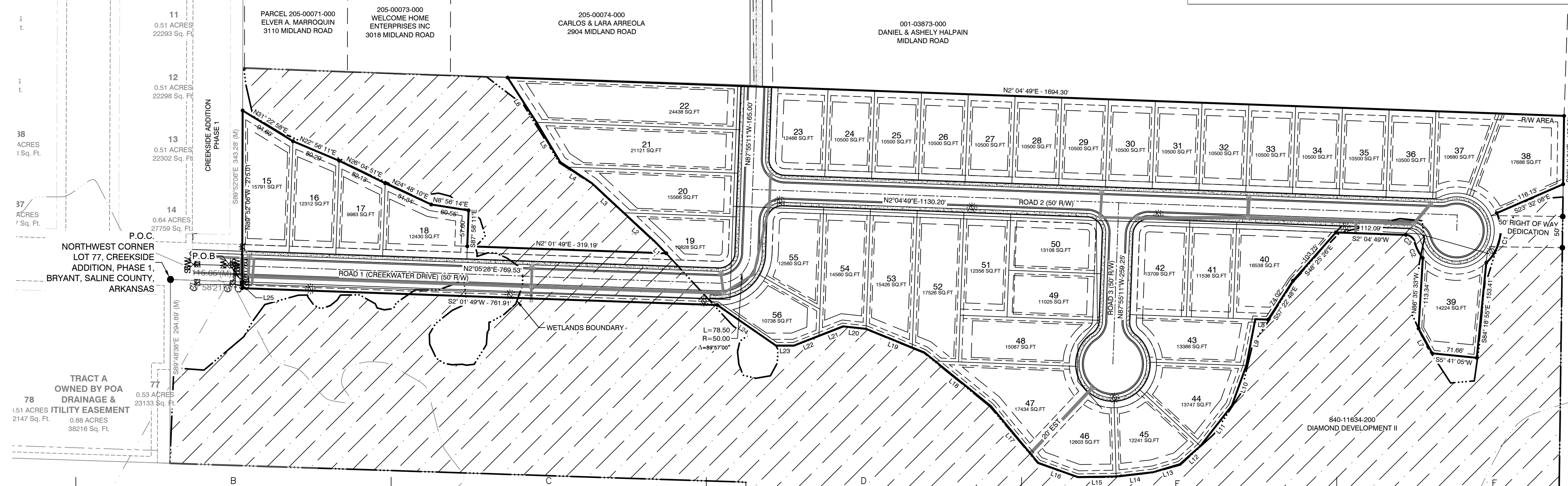
ZONING CLASSIFICATION: R-1  
MIN. LOT SIZE: 9682 S.F.  
MAX. LOT SIZE: 24437 S.F.  
NUMBER OF LOTS: 42  
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA  
SOURCE OF SEWER: CITY OF BRYANT

**BUILDING SETBACKS:**  
FRONT - 20' OR AS SHOWN  
REAR - 20' OR AS SHOWN  
SIDE - 5' OR AS SHOWN

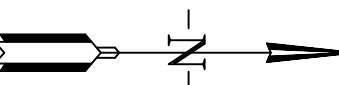
**EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)**  
FRONT - 10' OR AS SHOWN  
BACK - 10' OR AS SHOWN  
SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN  
STREET WIDTH: 26' BOC TO BOC  
LOT CORNERS: SET #4 REBAR WITH CAP

NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.



**SURVEY PLAT CODE:**  
500-01S-14W-0-12-304-62-1573



**SURVEY LEGEND**

- Computed point
- Found monument
- Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

BY: \_\_\_\_\_

REVISION: \_\_\_\_\_

DATE: \_\_\_\_\_

**GNE** Designing our client's success

**GarNat Engineering, LLC**  
P.O. Box 116 (72018) Ph (501) 408-4650  
3825 Mt. Carmel Road Fx (888) 900-3068  
Bryant, AR 72022 gamatengneering@gmail.com

CREEKSIDE ADDITION PHASE 2

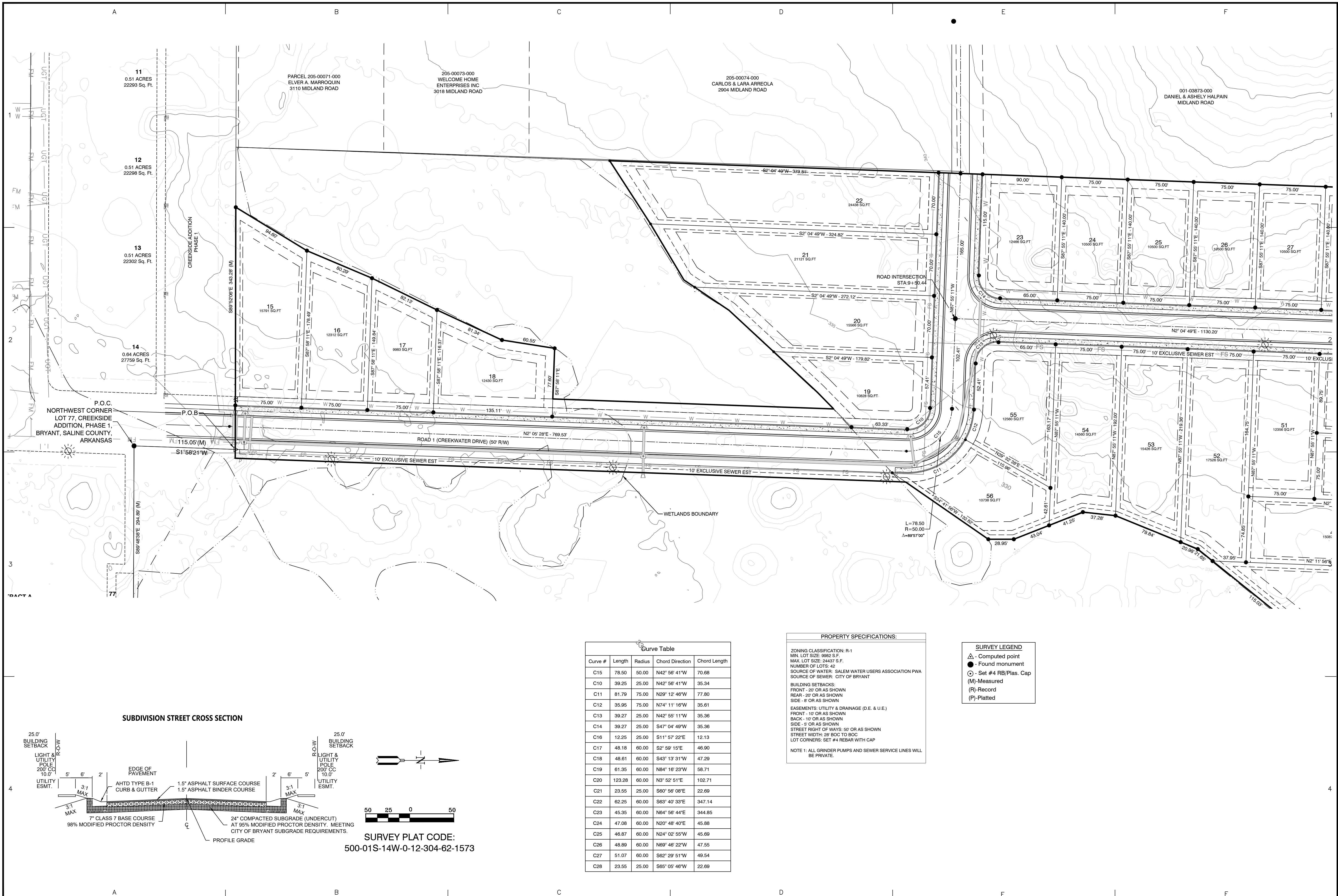
PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
VERNON J. WILLIAMS  
NO. 9551

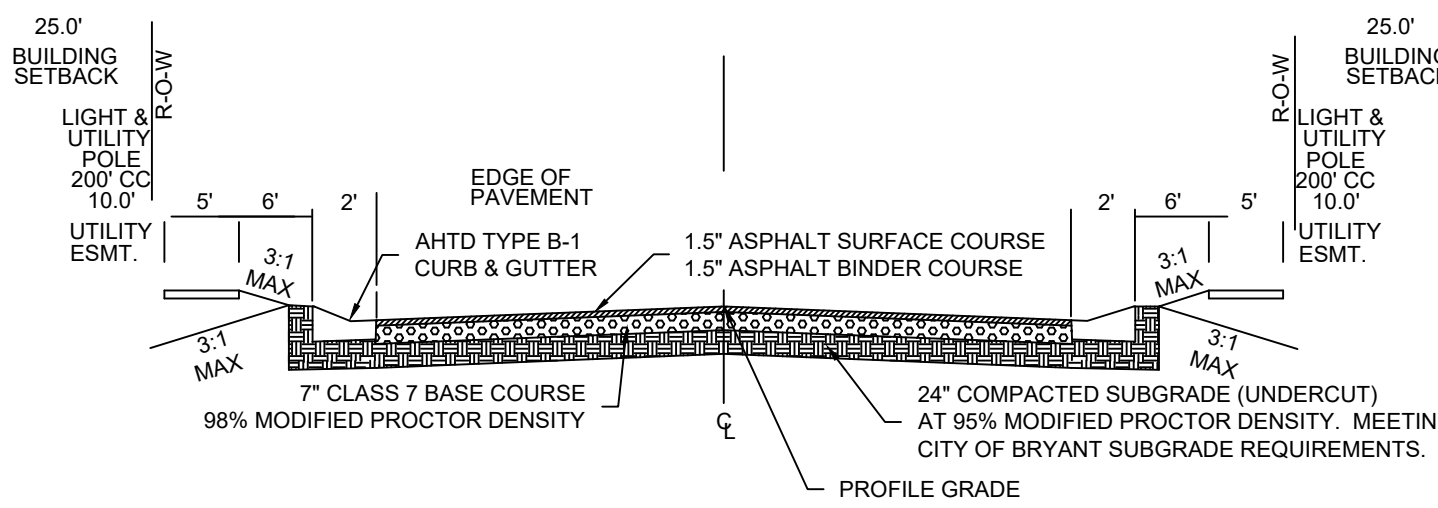
08-24-2022

CONTENTS:  
PRELIMINARY PLAT OVERALL

PROJECT NO: 18054  
DATE: AUGUST 2022  
SHEET NO: 1



**SUBDIVISION STREET CROSS SECTION**



**SURVEY PLAT CODE:**  
500-01S-14W-0-12-304-62-1573

Curve #	Length	Radius	Chord Direction	Chord Length
C15	78.50	50.00	N42° 56' 41"W	70.68
C10	39.25	25.00	N42° 56' 41"W	35.34
C11	81.79	75.00	N29° 12' 46"W	77.80
C12	35.95	75.00	N74° 11' 18"W	35.61
C13	39.27	25.00	N42° 55' 11"W	35.36
C14	39.27	25.00	S47° 04' 49"W	35.36
C16	12.25	25.00	S11° 57' 22"E	12.13
C17	48.18	60.00	S2° 59' 15"E	46.90
C18	48.81	60.00	S43° 13' 31"W	47.29
C19	61.35	60.00	N84° 16' 23"W	58.71
C20	123.28	60.00	N3° 52' 51"E	102.71
C21	23.55	25.00	S60° 58' 08"E	22.69
C22	62.25	60.00	S63° 40' 33"E	347.14
C23	45.35	60.00	N64° 56' 44"E	344.85
C24	47.08	60.00	N20° 48' 40"E	45.88
C25	46.87	60.00	N24° 02' 55"W	45.69
C26	48.89	60.00	N69° 46' 22"W	47.55
C27	51.07	60.00	S62° 29' 51"W	49.54
C28	23.55	25.00	S65° 05' 46"W	22.69

**PROPERTY SPECIFICATIONS:**

ZONING CLASSIFICATION: R-1  
 MIN. LOT SIZE: 9982 S.F.  
 MAX. LOT SIZE: 24437 S.F.  
 NUMBER OF LOTS: 42  
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA  
 SOURCE OF SEWER: CITY OF BRYANT

**BUILDING SETBACKS:**  
 FRONT - 20' OR AS SHOWN  
 REAR - 20' OR AS SHOWN  
 SIDE - 8' OR AS SHOWN

**EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)**  
 FRONT - 10' OR AS SHOWN  
 BACK - 10' OR AS SHOWN  
 SIDE - 5' OR AS SHOWN

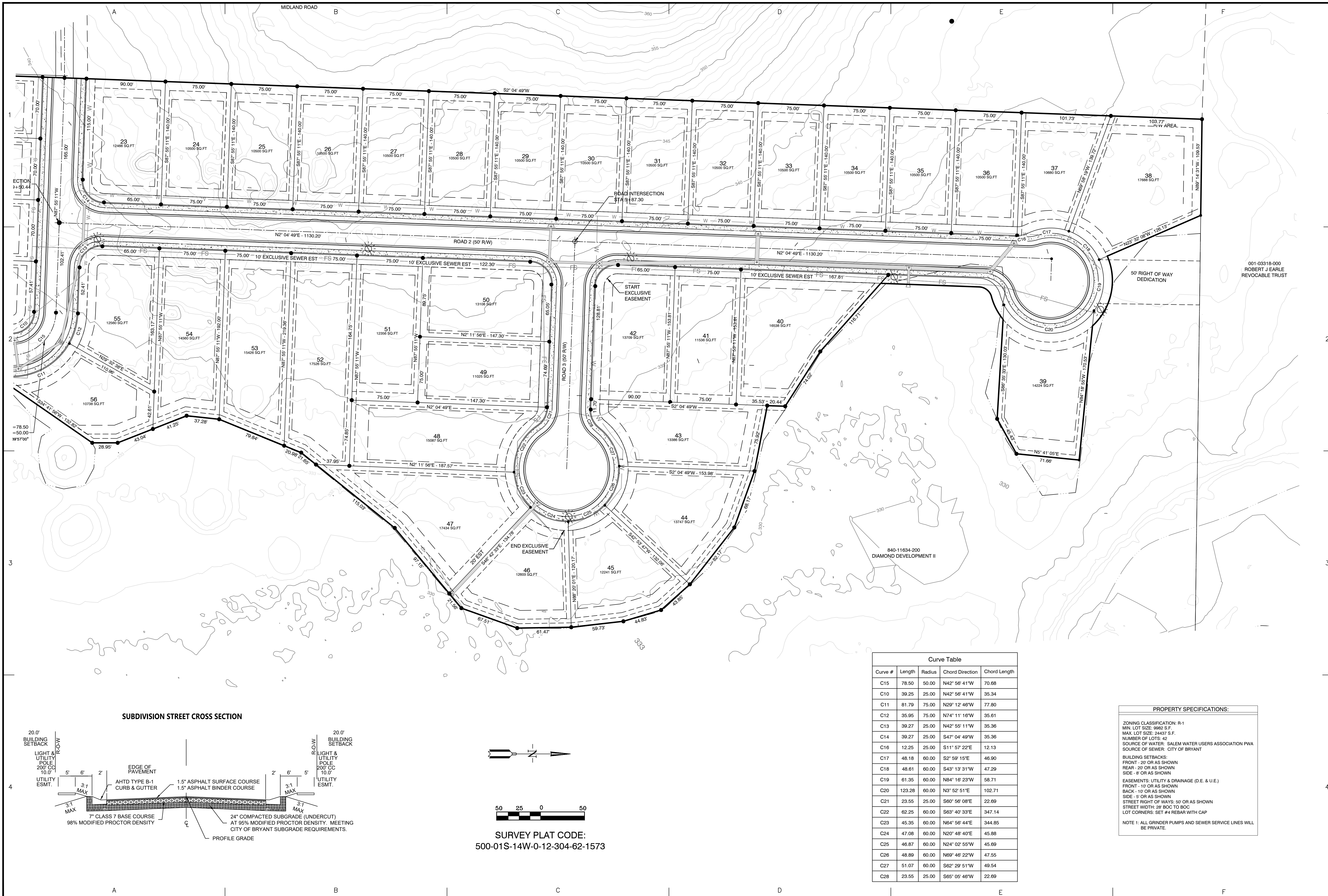
STREET RIGHT OF WAYS: 55' OR AS SHOWN  
 STREET WIDTH: 28' BOC TO BOC  
 LOT CORNERS: SET #4 REBAR WITH CAP

NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

**SURVEY LEGEND**

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

BY		REVISION		DATE	
<p><b>GNE</b> Designing our client's success</p> <p><b>GarNat Engineering, LLC</b>        P.O. Box 116 (72018) Ph (501) 408-4650        3825 Mt. Carmel Road Fx (888) 900-3068        Bryant, AR 72022 gnatengineering@gmail.com</p>					
<p><b>CREEKSIDE ADDITION PHASE 2</b></p> <p>PART OF THE EAST HALF OF        THE NORTHWEST QUARTER        SECTION 12, T-1-S, R-14-W,        SALINE COUNTY, ARKANSAS</p>					
<p>08-24-2022</p> <p>CONTENTS:</p> <p><b>PRELIMINARY        PLAT        SOUTH HALF</b></p>					
<p>PROJECT NO: <b>18054</b></p> <p>DATE: <b>AUGUST 2022</b></p> <p>SHEET NO: <b>2</b></p>					



BY	REVISION
DATE	

**GNE** Designing our client's success  
**GarNat Engineering, LLC**  
 Ph (501) 408-4650  
 P.O. Box 116 (72018) Ph (888) 900-3068  
 3825 Mt. Carmel Road  
 Bryant, AR 72022  
 gnatengineering@gmail.com

**CREEKSIDE ADDITION PHASE 2**  
 PART OF THE EAST HALF OF  
 THE NORTHWEST QUARTER  
 SECTION 12, T-1-S, R-14-W,  
 SALINE COUNTY, ARKANSAS



08-24-2022

CONTENTS:  
**PRELIMINARY  
 PLAT  
 NORTH HALF**

PROJECT NO:  
**18054**

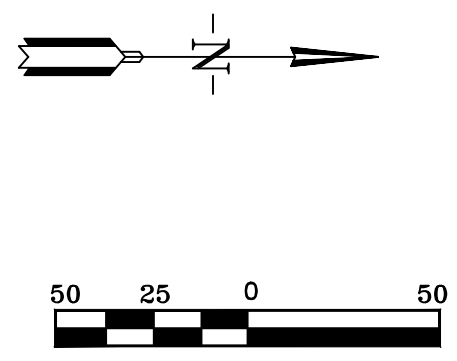
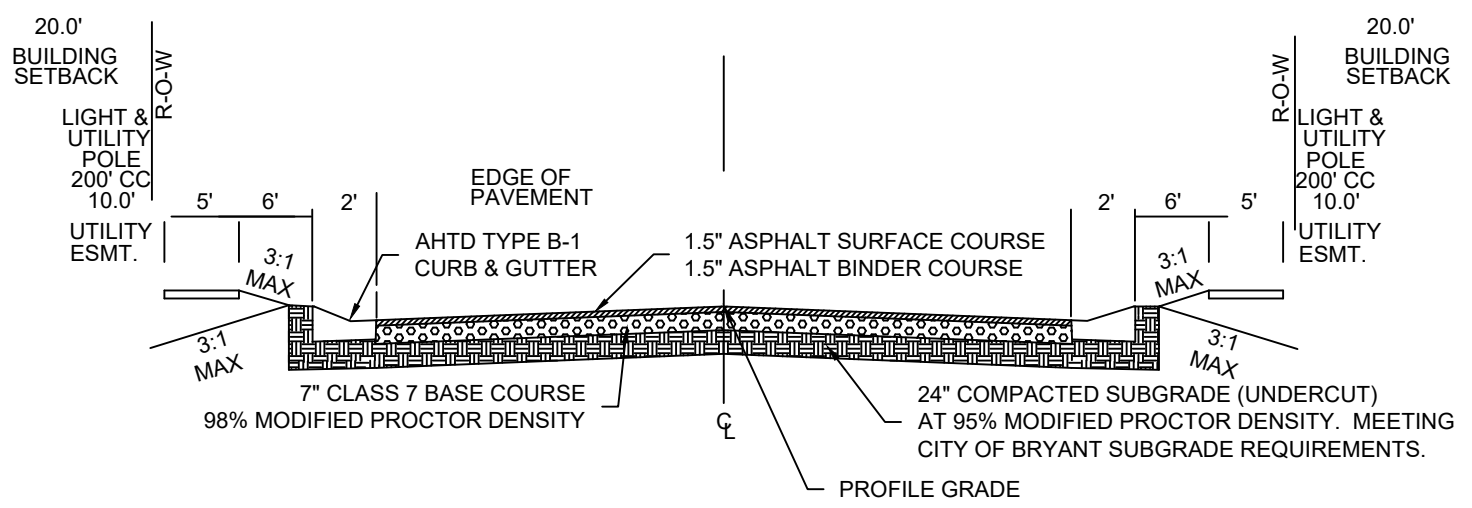
DATE:  
**AUGUST 2022**

SHEET NO:  
**3**

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C15	78.50	50.00	N42° 56' 41" W	70.68
C10	39.25	25.00	N42° 56' 41" W	35.34
C11	81.79	75.00	N29° 12' 46" W	77.80
C12	35.95	75.00	N74° 11' 18" W	35.61
C13	39.27	25.00	N42° 55' 11" W	35.36
C14	39.27	25.00	S47° 04' 49" W	35.36
C16	12.25	25.00	S11° 57' 22" E	12.13
C17	48.18	60.00	S2° 59' 15" E	46.90
C18	48.61	60.00	S43° 13' 31" W	47.29
C19	61.35	60.00	N84° 16' 23" W	58.71
C20	123.28	60.00	N3° 52' 51" E	102.71
C21	23.55	25.00	S60° 56' 08" E	22.69
C22	62.25	60.00	S83° 40' 33" E	347.14
C23	45.35	60.00	N64° 56' 44" E	344.85
C24	47.08	60.00	N20° 48' 40" E	45.88
C25	46.87	60.00	N24° 02' 55" W	45.69
C26	48.89	60.00	N69° 46' 22" W	47.55
C27	51.07	60.00	S62° 29' 51" W	49.54
C28	23.55	25.00	S65° 05' 46" W	22.69

**PROPERTY SPECIFICATIONS:**  
 ZONING CLASSIFICATION: R-1  
 MIN. LOT SIZE: 9982 S.F.  
 MAX. LOT SIZE: 24437 S.F.  
 NUMBER OF LOTS: 42  
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA  
 SOURCE OF SEWER: CITY OF BRYANT  
 BUILDING SETBACKS:  
 FRONT - 20' OR AS SHOWN  
 REAR - 20' OR AS SHOWN  
 SIDE - 5' OR AS SHOWN  
 EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)  
 FRONT - 10' OR AS SHOWN  
 BACK - 10' OR AS SHOWN  
 SIDE - 5' OR AS SHOWN  
 STREET RIGHT OF WAYS: 50' OR AS SHOWN  
 STREET WIDTH: 28' BOC TO BOC  
 LOT CORNERS: SET #4 REBAR WITH CAP  
 NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

**SUBDIVISION STREET CROSS SECTION**



SURVEY PLAT CODE:  
 500-01S-14W-0-12-304-62-1573





BY	REVISION	DATE

**GNE** Designing our client's success  
**GarNat Engineering, LLC**  
 P.O. Box 116 (72018) Ph (501) 408-4650  
 3925 Mt. Carmel Road Fx (888) 900-3068  
 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION PHASE 2  
 PART OF THE EAST HALF OF  
 THE NORTHWEST QUARTER,  
 SECTION 12, T-1-S, R-14-W,  
 SALINE COUNTY, ARKANSAS



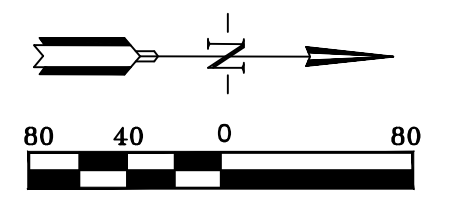
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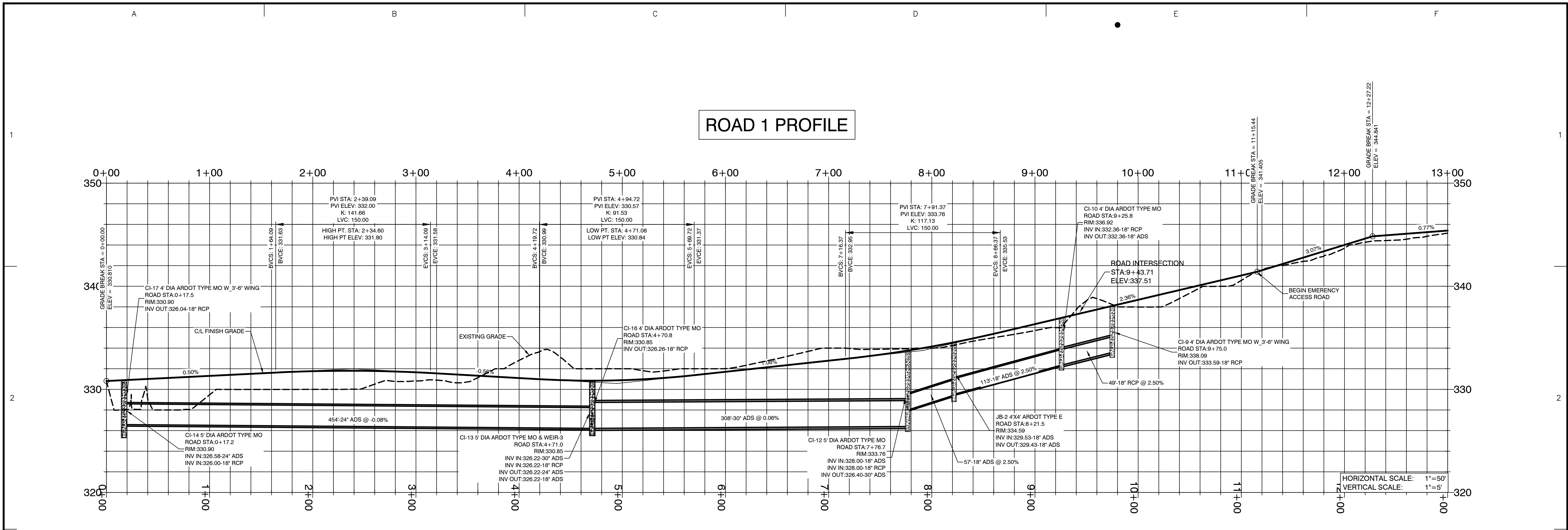
CONTENTS:  
 DRAINAGE  
 PLAN

PROJECT NO:  
 18054

DATE:  
 JULY 2022

SHEET NO:  
 4





BY	
REVISION	
DATE	

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 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION PHASE 2

PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

STATE OF ARKANSAS  
 KERNON J. WILLIAMS  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 9551

08-10-2022

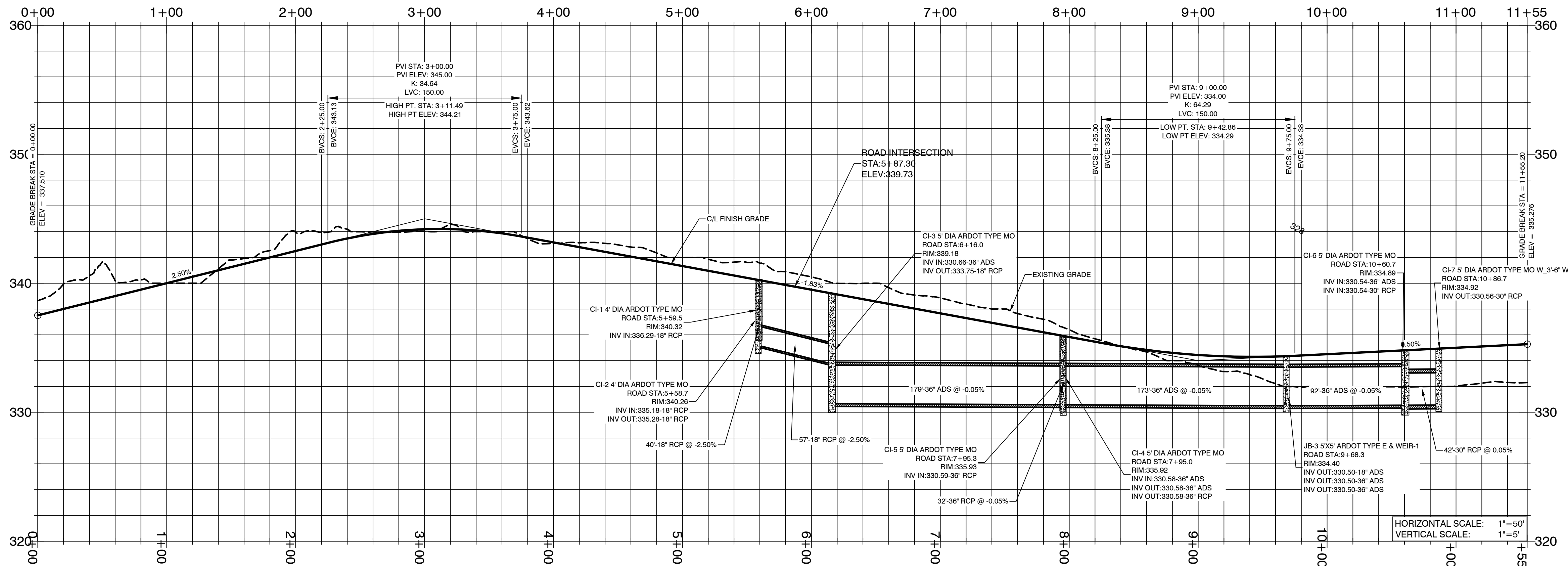
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**ROAD PROFILES**

PROJECT NO:  
**18054**

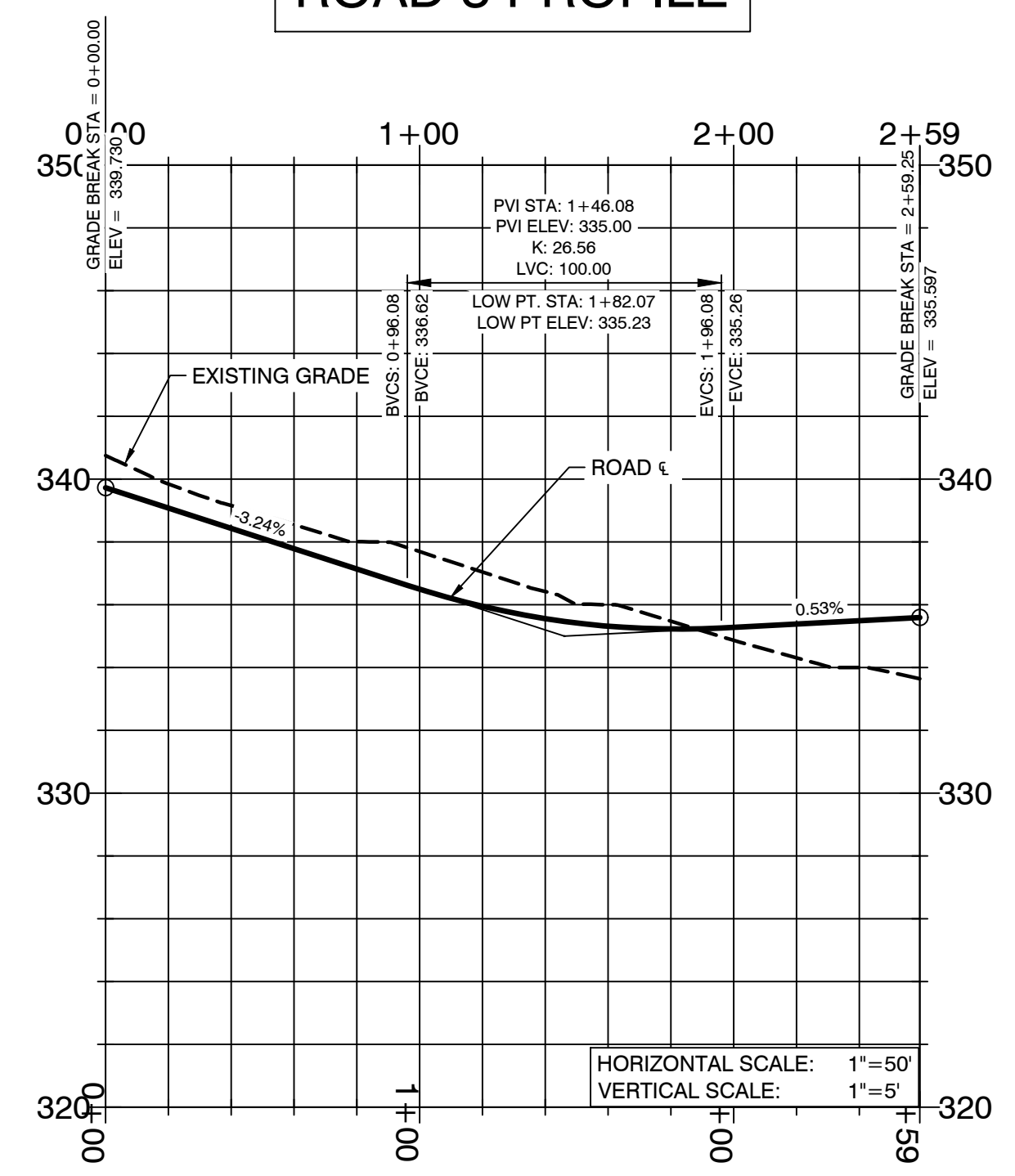
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**JULY 2022**

SHEET NO:  
**5**

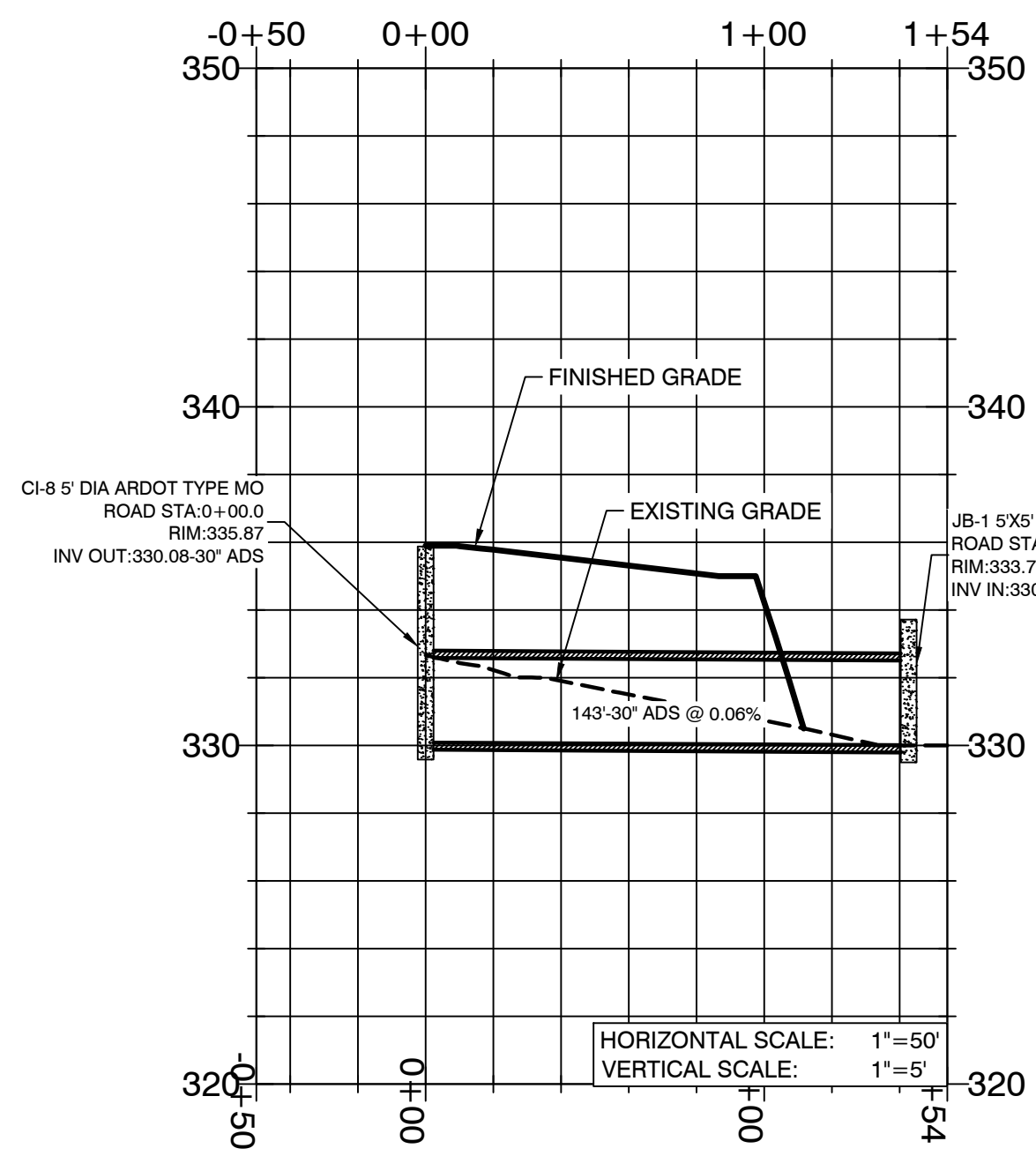
# ROAD 2 PROFILE



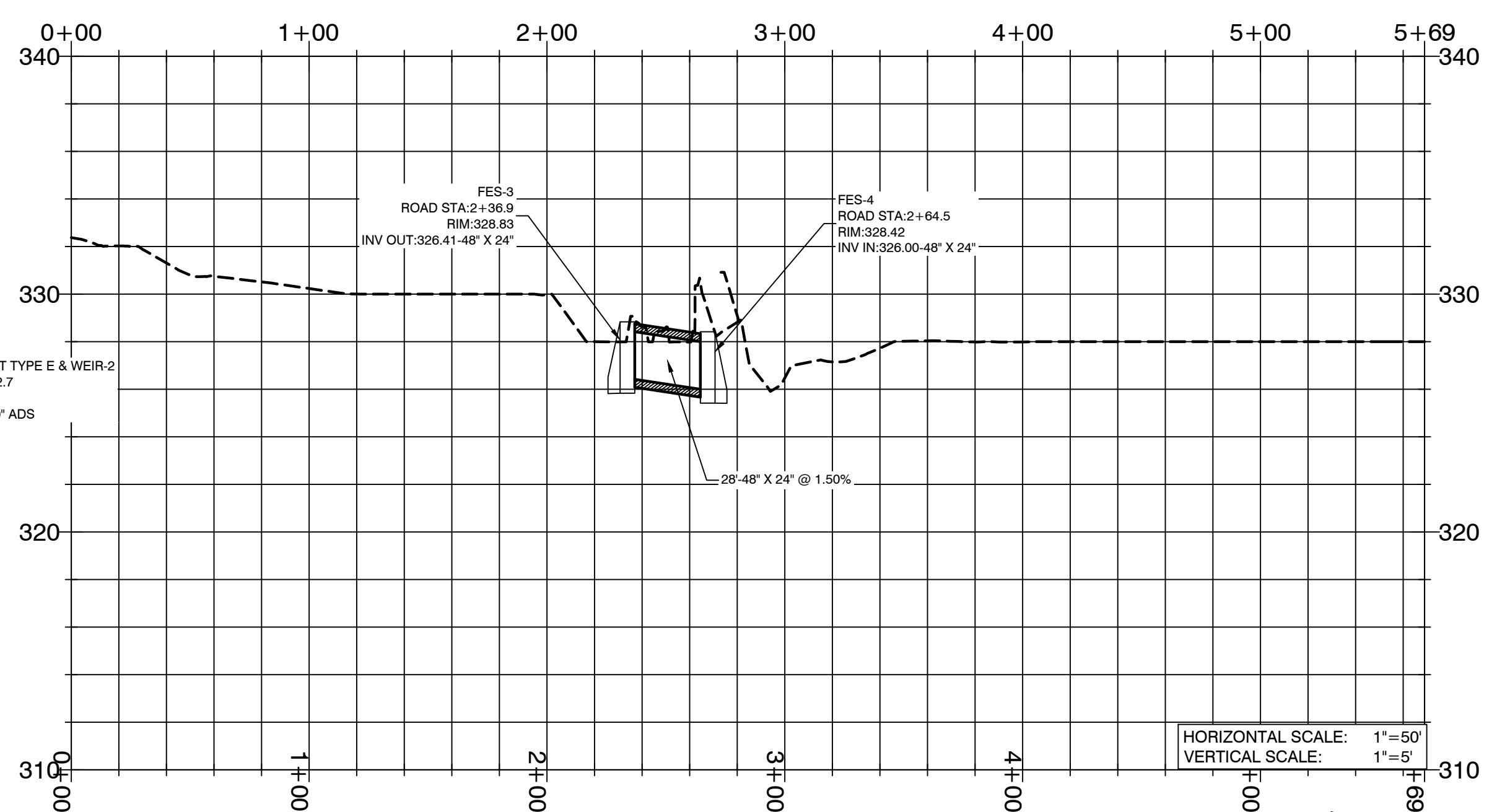
# ROAD 3 PROFILE



# EAST DETENTION PROFILE



# DITCH CULVERT PROFILE



BY	REVISION	DATE
	1	
	2	
	3	

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CREEKSIDE ADDITION PHASE 2

PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS



08-10-2022

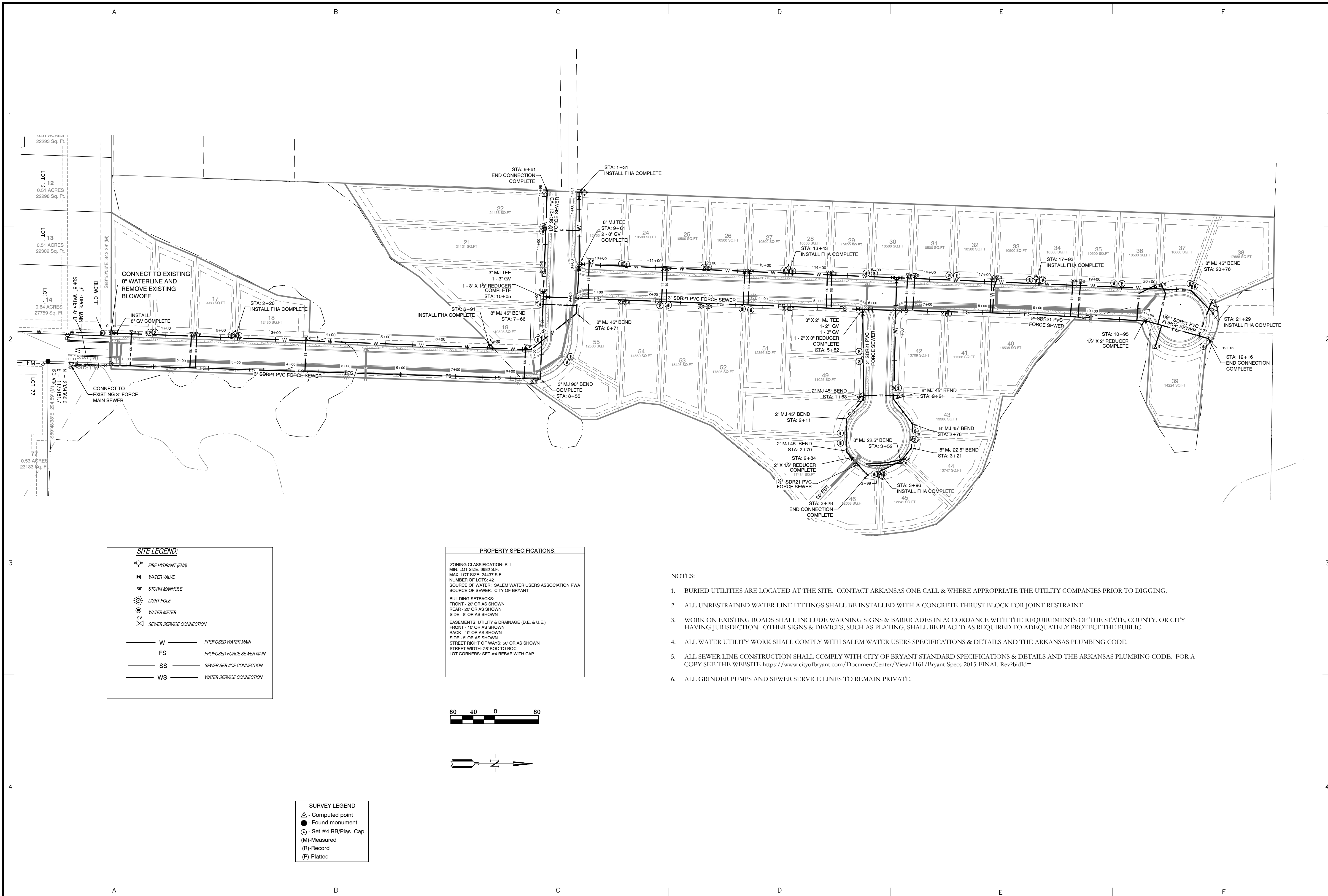
CONTENTS:  
**DRAINAGE PROFILES**

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**18054**

DATE:  
**JULY 2022**

SHEET NO:  
**6**





**SITE LEGEND:**

	FIRE HYDRANT (FHA)
	WATER VALVE
	STORM MANHOLE
	LIGHT POLE
	WATER METER
	SEWER SERVICE CONNECTION
	PROPOSED WATER MAIN
	PROPOSED FORCE SEWER MAIN
	SEWER SERVICE CONNECTION
	WATER SERVICE CONNECTION

**PROPERTY SPECIFICATIONS:**

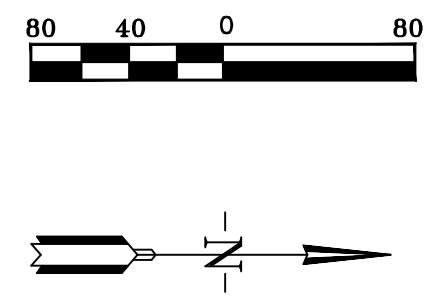
ZONING CLASSIFICATION: R-1  
 MIN. LOT SIZE: 9982 S.F.  
 MAX. LOT SIZE: 24437 S.F.  
 NUMBER OF LOTS: 42  
 SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA  
 SOURCE OF SEWER: CITY OF BRYANT

**BUILDING SETBACKS:**  
 FRONT - 20' OR AS SHOWN  
 REAR - 20' OR AS SHOWN  
 SIDE - 8' OR AS SHOWN

**EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)**  
 FRONT - 10' OR AS SHOWN  
 BACK - 10' OR AS SHOWN  
 SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN  
 STREET WIDTH: 28' BOC TO BOC  
 LOT CORNERS: SET #4 REBAR WITH CAP

- NOTES:**
- BURIED UTILITIES ARE LOCATED AT THE SITE. CONTACT ARKANSAS ONE CALL & WHERE APPROPRIATE THE UTILITY COMPANIES PRIOR TO DIGGING.
  - ALL UNRESTRAINED WATER LINE FITTINGS SHALL BE INSTALLED WITH A CONCRETE THRUST BLOCK FOR JOINT RESTRAINT.
  - WORK ON EXISTING ROADS SHALL INCLUDE WARNING SIGNS & BARRICADES IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE, COUNTY, OR CITY HAVING JURISDICTION. OTHER SIGNS & DEVICES, SUCH AS PLATING, SHALL BE PLACED AS REQUIRED TO ADEQUATELY PROTECT THE PUBLIC.
  - ALL WATER UTILITY WORK SHALL COMPLY WITH SALEM WATER USERS SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE.
  - ALL SEWER LINE CONSTRUCTION SHALL COMPLY WITH CITY OF BRYANT STANDARD SPECIFICATIONS & DETAILS AND THE ARKANSAS PLUMBING CODE. FOR A COPY SEE THE WEBSITE: <https://www.cityofbryant.com/DocumentCenter/View/1161/Bryant-Specs-2015-FINAL-Rev?bidId=>
  - ALL GRINDER PUMPS AND SEWER SERVICE LINES TO REMAIN PRIVATE.



**SURVEY LEGEND**

	Computed point
	Found monument
	Set #4 RB/Plas. Cap
	Measured
	Record
	Platted

BY		REVISION		DATE					
1									
2									
3									
4									

GNE

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GarNat Engineering, LLC

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 3825 Mt. Carmel Road Fax (888) 900-3068  
 Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION PHASE 2

PART OF THE EAST HALF OF  
 THE NORTHWEST QUARTER  
 SECTION 12, T-1-S, R-14-W,  
 SALINE COUNTY, ARKANSAS

08-24-2022

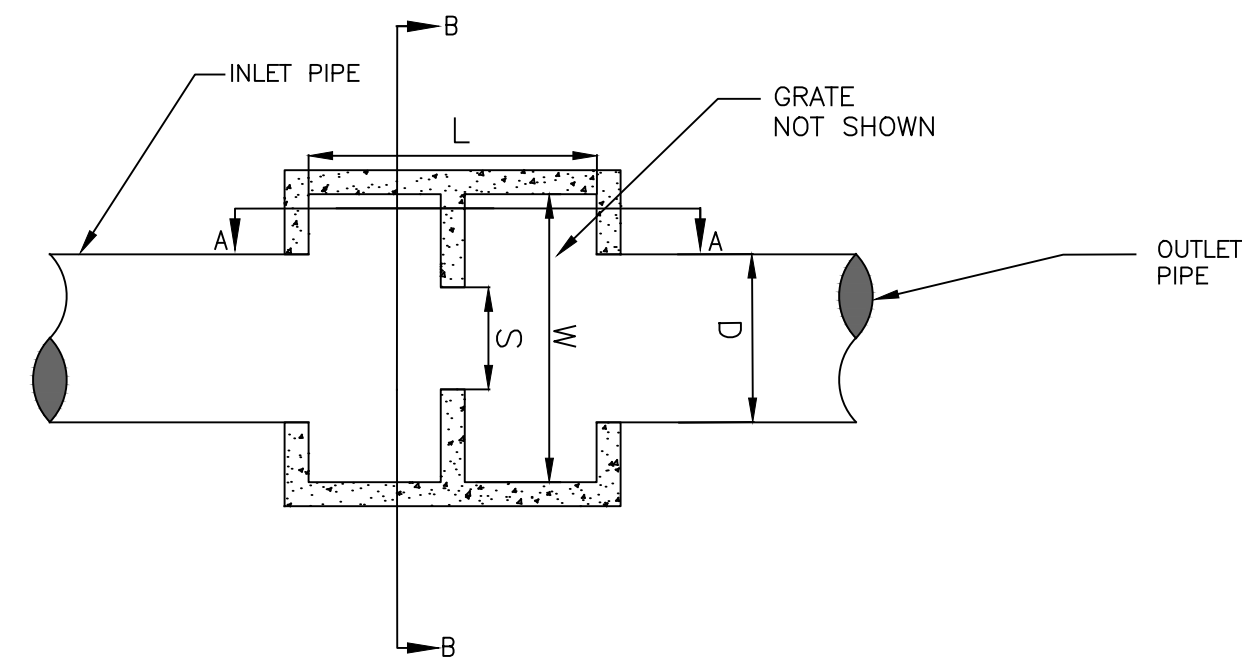
CONTENTS:

WATER &  
SEWER  
UTILITY PLAN

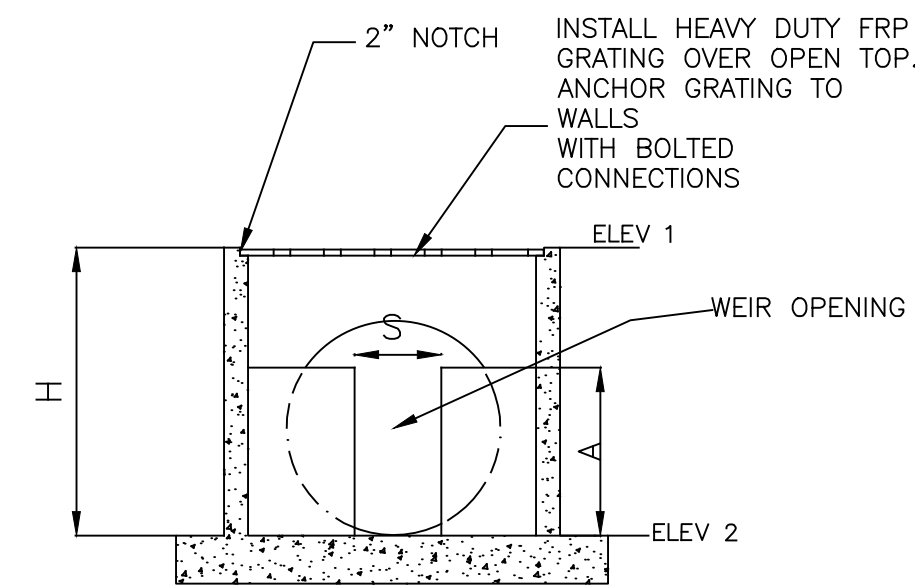
PROJECT NO:  
18054

DATE:  
AUGUST 2022

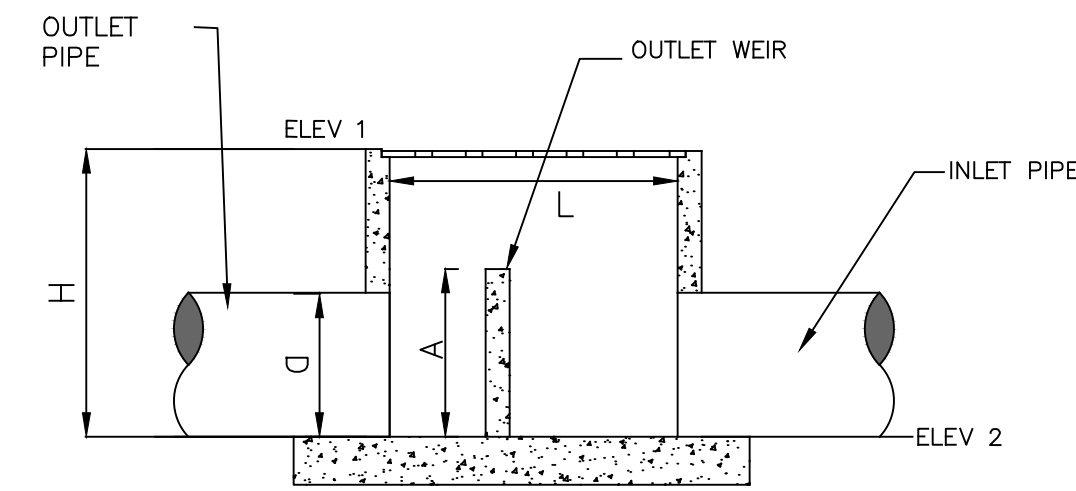
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7



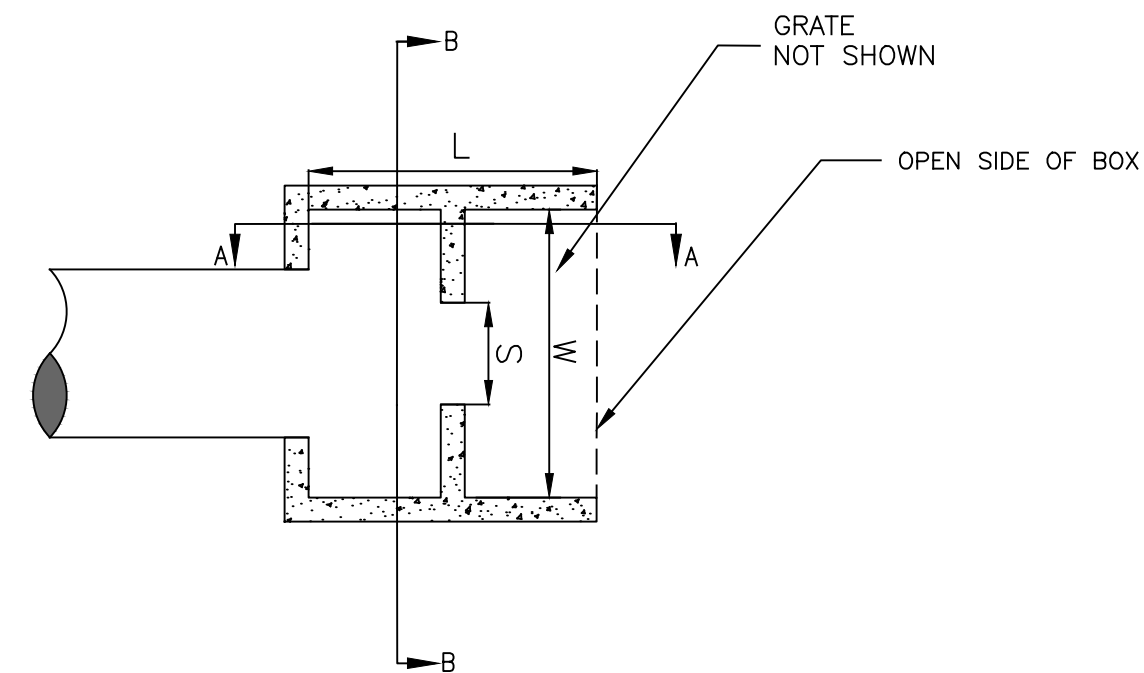
**OUTLET STRUCTURE - WEIR 1 AND 3**  
**PLAN VIEW**  
 NOT TO SCALE



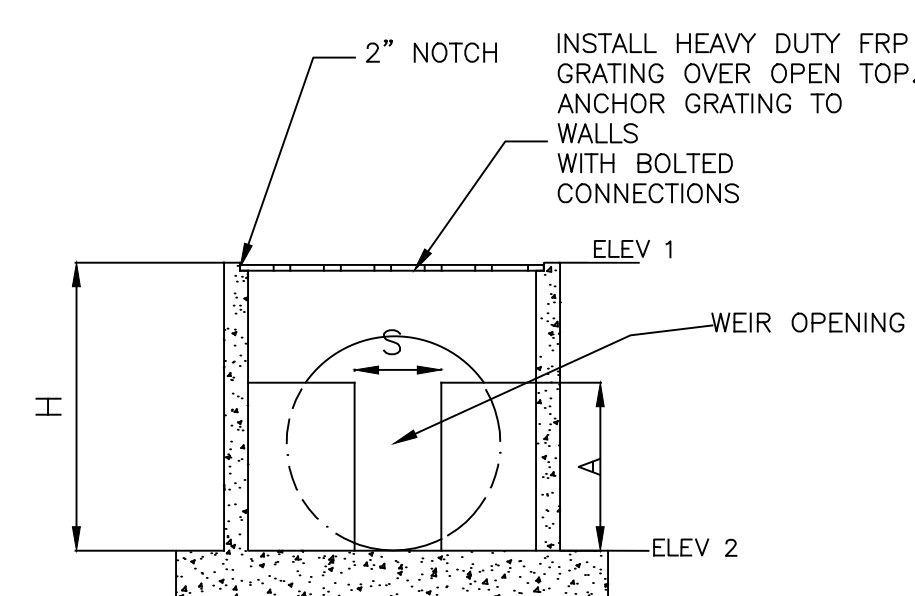
**OUTLET STRUCTURE - WEIR 1 AND 3**  
**SECTION B-B**  
 NOT TO SCALE



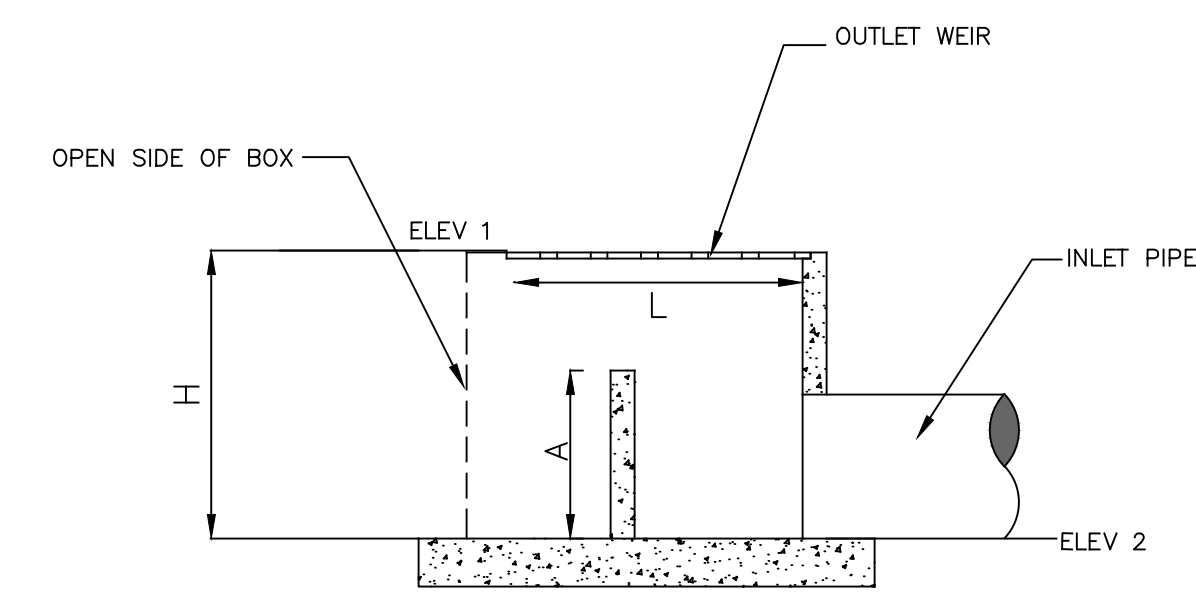
**OUTLET STRUCTURE - WEIR 1 AND 3**  
**SECTION A-A**  
 NOT TO SCALE



**OUTLET STRUCTURE - WEIR 2**  
**PLAN VIEW**  
 NOT TO SCALE



**OUTLET STRUCTURE - WEIR 2**  
**SECTION B-B**  
 NOT TO SCALE



**OUTLET STRUCTURE - WEIR 2**  
**SECTION A-A**  
 NOT TO SCALE

OUTLET STRUCTURE								
OUTLET STRUCTURE	L	W	H	ELEV 1	ELEV 2	S	A	D
WEIR #1	4'-0"	4'-0"	3'-11"	334.40	330.50	1'-3"	3'-0"	18"
WEIR #2	4'-0"	4'-0"	3'-9"	333.71	330.00	0'-3"	2'-6"	
WEIR #3	4'-0"	4'-0"	4'-8"	330.85	326.22	1'-6"	2'-6"	18"

- DETENTION OUTLET NOTES:**
- ALL CONCRETE WALLS SHALL BE A MINIMUM OF 6" THICK & REINFORCED WITH #4S @ 12" O.C. BOTH WAYS.
  - BOTTOM SLAB SHALL BE 12" THICK & REINFORCED WITH #4S @ 12" O.C. BOTH WAYS.

REVISION	DATE	BY

**GNE** Designing our client's success  
**GarNat Engineering, LLC**  
 3825 Mt Carmel Rd  
 Bryant, AR 72022  
 P.O. Box 116  
 Benton, AR 72018  
 Ph: (501) 408-4650  
 gnatengineering@gmail.com

**CREEKSIDE ADDITION PHASE 2**  
 PART OF THE EAST HALF OF  
 THE NORTHWEST QUARTER  
 SECTION 12, T-1-S, R-14-W,  
 SALINE COUNTY, ARKANSAS



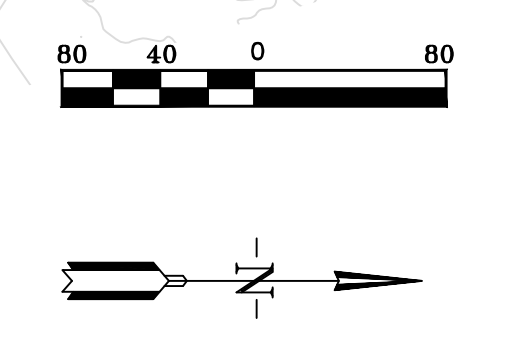
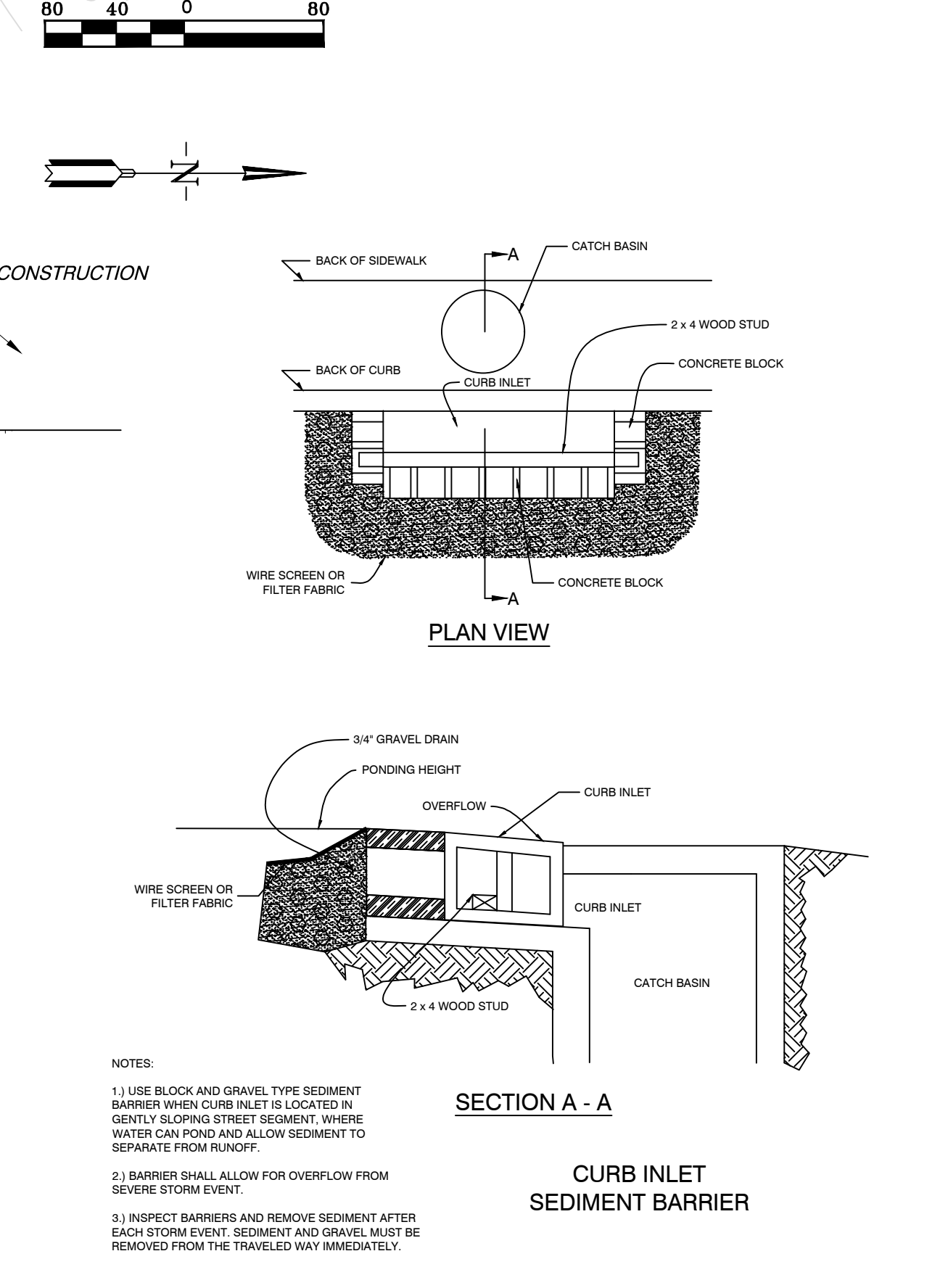
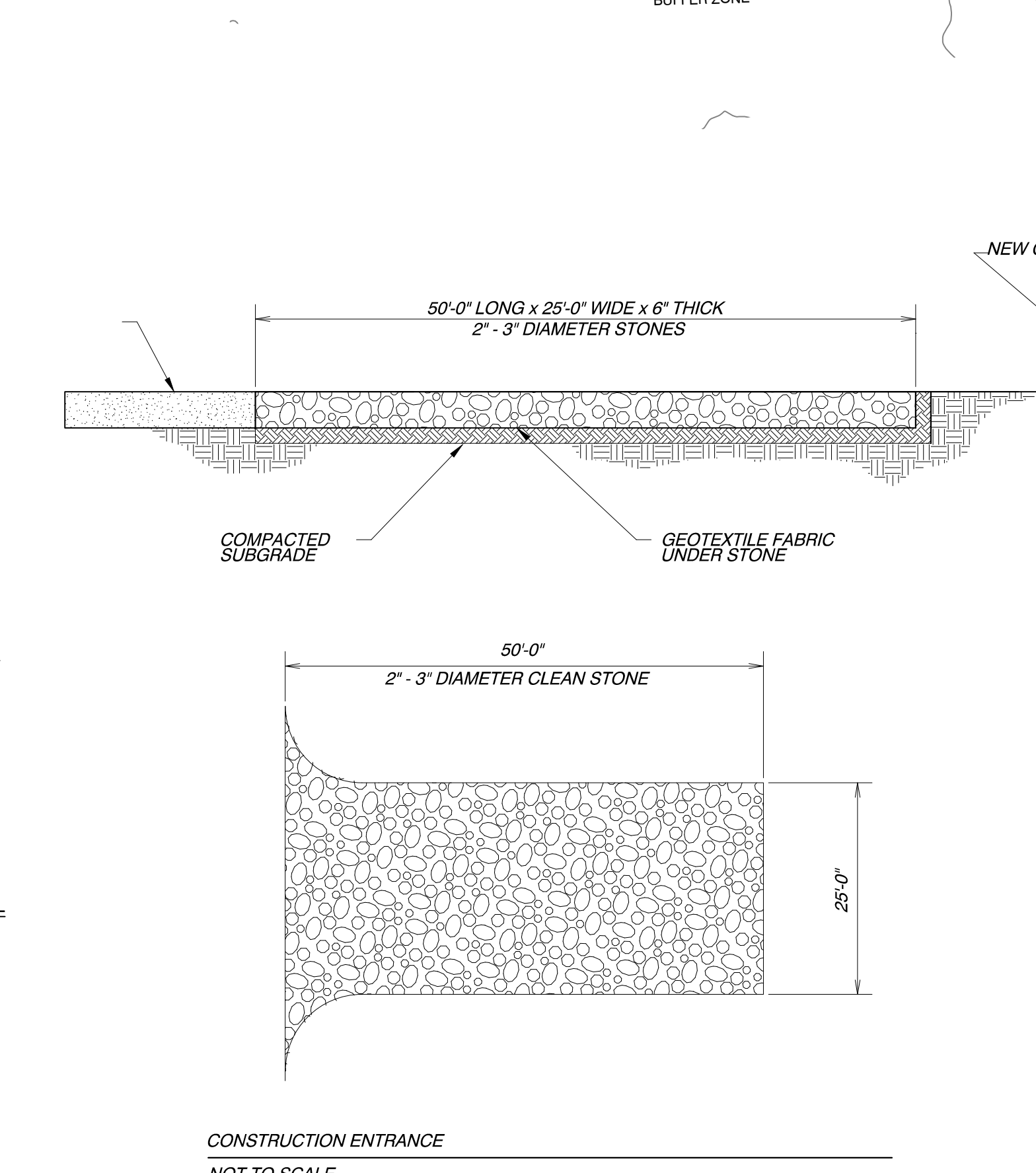
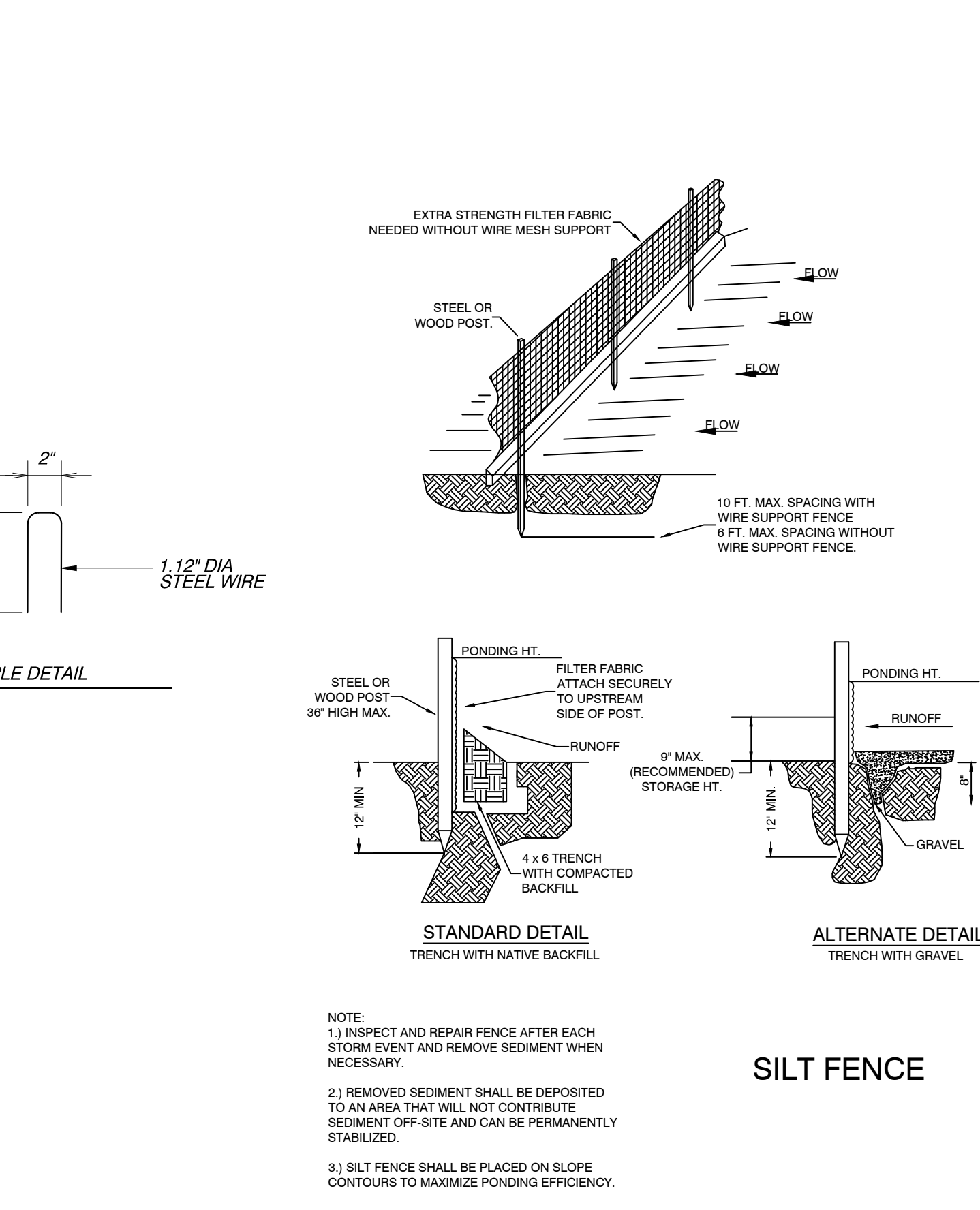
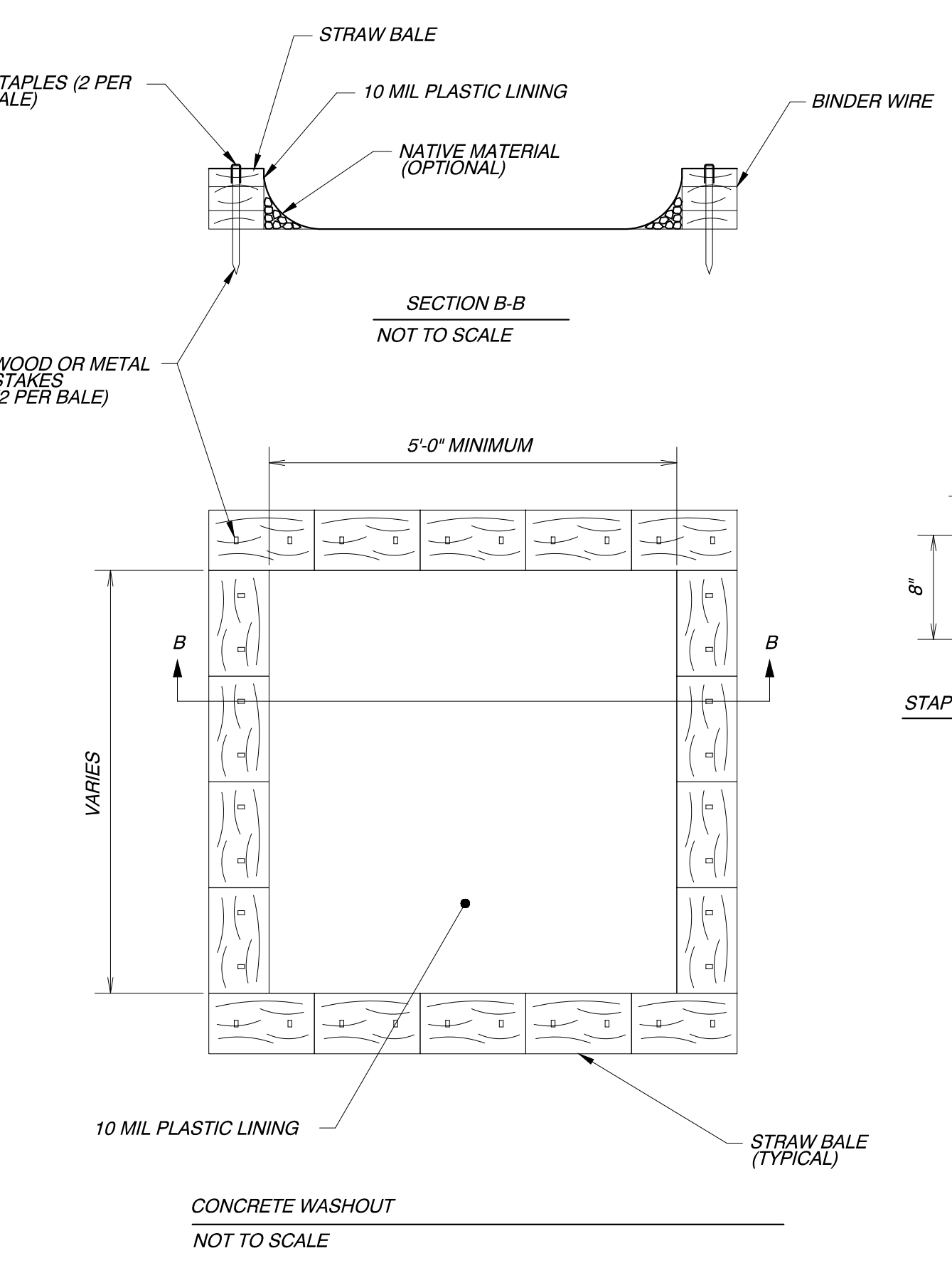
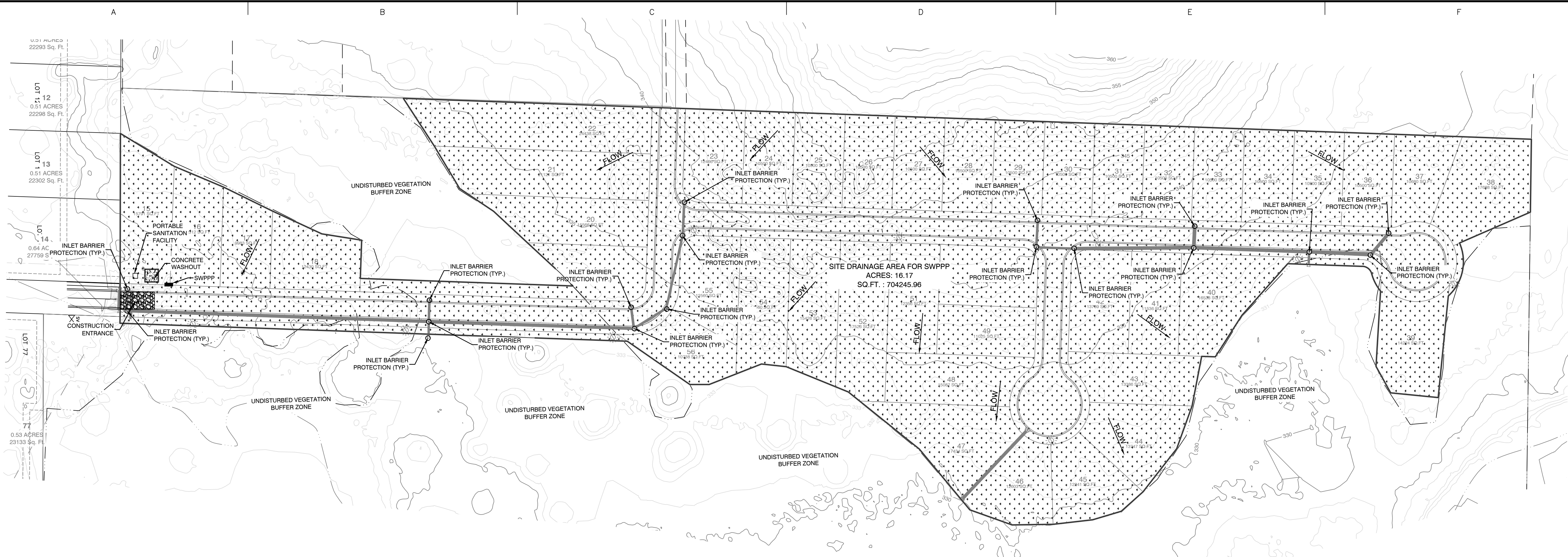
08-10-2022

CONTENTS:  
**OUTLET STRUCTURE DETAILS**

PROJECT NO:  
**18054**

DATE:  
**AUGUST 2022**

SHEET NO:  
**8**



BY	
REVISION	
DATE	
<p><b>GNE</b> Designing our client's success</p> <p><b>GarNat Engineering, LLC</b>          Ph (501) 408-4650          P.O. Box 116 (72018) 3825 Mt. Carmel Road          Fayetteville, AR 72702          Fax (888) 900-3068          gnatengineering@gmail.com</p>	
<p>CREEKSIDE ADDITION PHASE 2</p> <p>PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS</p>	
<p>STATE OF ARKANSAS          REGISTERED PROFESSIONAL ENGINEER          NO. 9551          KERRON J. WILLIAMS</p>	
<p>08-24-2022</p>	
<p>CONTENTS:</p> <p>EROSION CONTROL PLAN</p>	
<p>PROJECT NO: 18054</p>	
<p>DATE: AUGUST 2022</p>	
<p>SHEET NO: 9</p>	



## City of Bryant Stormwater Department

1019 SW 2<sup>nd</sup> St.

Bryant, Arkansas 72022

Office (501) 943-0453; Fax (501) 943-0851

---

### WARRANTY BOND PROCEDURES

#### For Stormwater Infrastructure Public & Private

These procedures are applicable to Stormwater Infrastructure that is to be dedicated to the public and maintained by the City of Bryant and for Private Stormwater Infrastructure that will be connected to overall City of Bryant Stormwater Infrastructure.

In accordance with Ordinance No. 2019-32 Article V., The City of Bryant Stormwater Department will require a Maintenance Warranty Bond as part of the process for approving Stormwater Infrastructure. The purpose of the bond is to cover the cost of correcting deficiencies not addressed by the developer during the warranty period and to insure no adverse effects will occur to the overall function of the City of Bryant Stormwater Infrastructure.

#### **ORDINANCE 2019-32 ARTICLE V. STORMWATER INFRASTRUCTURE WARRANTY BOND.**

- 1. Stormwater Infrastructure Warranty Bond.** A one year maintenance bond against defects in workmanship shall be required by the Administrative Authority for any portion of the stormwater management facilities privately owned or stormwater management improvements dedicated to the city, said maintenance bond is to be provide by cashier's check, irrevocable letter of credit or acceptable surety authorized to do business in the State of Arkansas. All forms of maintenance bonds shall be subject to approval by the Administrative Authority. The value of the bond shall be an amount equal to 100% of the value of the privately owned stormwater management facilities or stormwater system improvements being privately owned or dedicated to the city. A cost list must be provide to prove and verify the amount of the maintenance bond. The cost list shall include cost of stormwater infrastructure construction and components (piping, weirs, spillway structures, junction boxes, trickle channels, inlets, grates, riprap and site stabilization).
- 2. Procedurals.** These procedures are applicable to Stormwater Infrastructure that is to be dedicated to the public and maintained by the City of Bryant and for Private Stormwater Infrastructure that will be connected to overall City of Bryant Stormwater Infrastructure.

In accordance with Ordinance No. 2019-32 Article V., City of Bryant Stormwater Department will require a Maintenance Warranty Bond as part of the process for approving Stormwater Infrastructure. The bond will be equal to 100% of the cost of construction of the Stormwater Infrastructure System at the time of completion of the Stormwater Infrastructure System. The purpose of the bond is to cover the cost of correcting deficiencies not addressed by the developer during the warranty period and to insure no adverse effects will occur to the overall function of the City of Bryant Stormwater Infrastructure.

- 3. Determining the Maintenance Warranty Bond Amount.** During the final inspection process, the City of Bryant Stormwater Department will verify and approve the Warranty Bond estimate for all Stormwater Infrastructure within the proposed unit using:

- (a) The Warranty Bond cost list estimate shall be presented to the City of Bryant Stormwater Department by formal letter. The formal letter shall include project name, developer contact information and "Cost List for Construction of Stormwater Infrastructure Components" including but not limited to piping, weirs, spillway structures, junction boxes, trickle channels, riprap, inlets, grates, weirs and site stabilization;
  - (b) The Bond amount will need to be re-evaluated if more than 18 months have passed from the time of the estimate review to the time of providing the bond to the City of Bryant Stormwater Department;
- 4. **Submitting the bond to the city.** After requesting a final inspection of the Stormwater Infrastructure and approval of completion by the City of Bryant Stormwater Department, the developer must provide the City of Bryant Stormwater Department with a bond equal to amount determined in Article V. Section 3. of this document. The Bond must be for a period of 12 months and be a financial guarantee in the form of a bond, letter of credit, or trust agreement executed by a surety company authorized to do business in the State of Arkansas. The Bond must be payable to the City of Bryant Public Works Department, conditioned that the developer will maintain the Stormwater Infrastructure in accordance with the Stormwater Management Manual Ordinance No. 2019-31 and the Stormwater Management Ordinance No. 2019-32.
- 5. **Warranty period.** After the Stormwater Infrastructure construction passes the final inspection and the one year warranty bond is received, the one year maintenance warranty period will begin. The one-year warranty period will start on the date the Maintenance Warranty Bond is received and accepted. There shall be no separate warranty period start dates for Stormwater Infrastructure within a single unit.
- 6. **Follow-up inspection.** The City of Bryant Stormwater Department will conduct a follow-up inspection within the tenth month of the warranty period but in no event any later than two months prior to the bond expiring. The City of Bryant Stormwater Department will issue a punch list of deficiencies that will be sent to the developer or contractor for the unit. If no deficiencies are found and camera video passes inspection, release of the bond will proceed as set out and as listed in Article V. Section 10 of this document.
- 7. **Correcting Deficiencies and Camera Video.** The developer must contact the City of Bryant Stormwater Department at least 24 hours before correcting any deficiencies or performing camera video. The developer shall also camera all stormwater infrastructure to ensure that there is no sediment laden infrastructure. Upon notification by the developer that all deficiencies have been corrected and camera video has been completed, the City of Bryant Stormwater Department will re-inspect to verify compliance with correction of deficiencies and reviewing the camera video to assure the stormwater infrastructure is not sediment laden or defective.
- 8. **Calling in the bond.** If the developer does not contact the City of Bryant Stormwater Department, deficiencies have not been corrected and the stormwater infrastructures has not been camera videoed by the end of the 11th month or one (1) month prior to the expiration of the Bond, the City of Bryant Stormwater Department will prepare an estimate and list of work to be done to bring the stormwater infrastructure into compliance. The City of Bryant Stormwater Department will contact the bonding agency to submit the cost estimates for correcting the deficiencies.
- 9. **Requesting Acceptance.** Once all deficiencies have been corrected, the City of Bryant Stormwater Department will prepare the paperwork for the Stormwater Infrastructure within the unit accepted for maintenance by the City of Bryant 'if dedicated', or paperwork will be prepared to release the bond if infrastructure is a private unit.



10. **Bond Release.** The Bond will be released once the City of Bryant has accepted the Stormwater Infrastructure for maintenance 'if dedicated', and an acceptance letter has been written by the City of Bryant Public Works. If all compliance has been met with a private Stormwater Infrastructure Unit(s) then the City of Bryant Stormwater Department shall contact the developer by formal letter and release the bond. No partial release of the Bond will be allowed at any time.

**ATTENTION: DO NOT FILL OUT INFORMATION BELOW UNTIL YOU ARE PRESENT WITH A NOTARY PUBLIC.  
(THIS DOCUMENT MUST BE NOTARIZED)**

By filling out the information below, signing and dating, you are hereby acknowledging that you have read, understand and agree to adhere to the Stormwater Infrastructure Warranty Bond Procedures and Processes listed in this document. You the applicant are hereby responsible for upholding, without limitation, the Stormwater Infrastructure Warranty Bond Procedures.

CREEKSIDE ADDITION  
PHASE 2

Name of Project Site/Addition

Diamond Development II  
Jim Hastings

Applicant Name  
(Print)

*Jim Hastings*

Applicant Name  
(Signature)

DIAMOND DEVELOPMENT II

Applicant Business Name

1599 LAWSON OAKS  
LITTLE ROCK, AR 72210

Applicant Mailing Address

**Notarization**

State of ARKANSAS

County of SALINE

Subscribed and sworn before me, a Notary Public, on this 24<sup>TH</sup> day of AUGUST, 2022

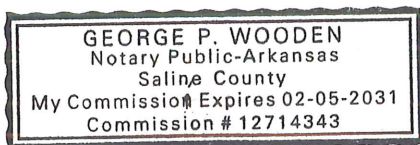
*George P. Wooden*

Signature of Notary

02-05-2031

My commission expires:

**Notary Seal Stamp Here:**





November 4, 2021  
jbhastingsjr@yahoo.com

Mr. Jim Hastings  
Diamond Development II  
1890 Lawson Oaks Drive  
Little Rock, AR 72210

RE: Creekside Addition Phase 2 - Section 404 Reconnaissance  
Approximate 52-Acre Project Area, Saline County, Arkansas  
FTN No. R17450-2781-001

Dear Mr. Hastings:

This letter provides our findings regarding a Section 404 reconnaissance of a project area totaling approximately 52 acres, located immediately north of Creekwater Drive, in Bryant, Saline County, Arkansas (Enclosure 1, Figure 1). FTN Associates, Ltd. (FTN) evaluated the proposed project area during 2017 and made a follow up site visit on November 2, 2021 for the presence of potential Section 404 issues, i.e., wetlands and other waters of the US.

We did not follow methods used in conducting standard wetland delineations according to guidelines in the US Army Corps of Engineers' (USACE) *Corps of Engineers Wetlands Delineation Manual* (1987) or the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Eastern Mountains and Piedmont Region* (2012). Formal data sampling stations were not established and field data forms were not completed. Field observations were made with regard to the presence of the three wetland indicators, i.e., hydrophytic vegetation, hydrology, and hydric soils. Our conclusions are based on best professional judgment and prior project experience at numerous sites in central Arkansas.

## GENERAL SITE DESCRIPTION

Legal description of the project area is part of the northwest quarter of Section 12, Township 1 South, Range 14 West. The property is mapped on the USGS *The National Map* Topo basemap for quadrangle Alexander, AR (7.5-minute series).

The project area is located in the area of mixed landuse including areas of undeveloped forest, harvested timber, cattle pastures, and residential development. The topography of the project area generally slopes gently toward the east. There are also some depressional areas and small mound features scattered throughout the project area, as well as a hillside along a portion of the western edge of the project area. No aquatic features are mapped within the project area on the USGS *The National Map* Topo basemap for quadrangle Alexander, AR (7.5-minute series) or on the United States Fish and Wildlife Service (USFWS) National Wetlands Inventory (NWI). Enclosure 1 provides maps of the project area. Enclosure 2 provides representative photos of the project area.

### Vegetation

The project area underwent a timber harvest in late 2012 and/or early 2013 (based on available historic aerial imagery). The site was not prepared for follow-up tree planting and currently consists primarily of a mid-successional scrub/shrub vegetative community with some trees that were left during the harvest. Many of

the observed vegetative species are opportunistic and commonly seen at formerly disturbed sites. The project area consisted of the following two primary vegetative communities:

1. Upland scrub/shrub community and
2. Wetland scrub/shrub community.

The upland scrub/shrub community was observed primarily in the western portion of the project area. Commonly observed vegetative species in this community included: southern red oak (*Quercus falcata*), white oak (*Quercus alba*), post oak (*Quercus stellata*), water oak (*Quercus nigra*), loblolly pine (*Pinus taeda*), sweetgum (*Liquidambar styraciflua*), Chinese privet (*Ligustrum sinense*), groundseltree (*Baccharis halimifolia*), American sycamore (*Platanus occidentalis*), American beauty-berry (*Callicarpa americana*), broom-sedge (*Andropogon virginicus*), a goldenrod (*Solidago* sp.), common boneset (*Eupatorium perfoliatum*), dogfennel (*Eupatorium capillifolium*), muscadine grape (*Vitis rotundifolia*), and eastern poison ivy (*Toxicodendron radicans*).

The wetland scrub/shrub community was observed primarily in the central, eastern, and southern portions of the project area. Commonly observed vegetative species in this community included: water oak, willow oak (*Quercus phellos*), red maple (*Acer rubrum*), loblolly pine, sweetgum, Chinese privet, groundseltree, American sycamore, black willow (*Salix nigra*), common boneset, cottongrass bulrush (*Scirpus cyperinus*), and lamp rush (*Juncus effusus*).

## Hydrology

Hydrology within the wetland portion of the project area included: soil saturation, water marks, drift deposits, water-stained leaves, and drainage patterns.

## Soils

The Natural Resources Conservation Service's (NRCS) Web Soil Survey 3.3 (2019), illustrates four soil map units within the project area:

- Amy soils,
- Amy silt loam, frequently flooded,
- Carnasaw-Townley association, undulating, and
- Ouachita silt loam, frequently flooded.

The Amy soils and Amy silt loam, frequently flooded map units are hydric soils with both hydric and non-hydric inclusions. The Carnasaw-Townley *association*, undulating map unit is a non-hydric soil, lacking hydric inclusions. The Ouachita silt loam, frequently flooded map unit is a non-hydric soil with both hydric and non-hydric inclusions.

## FINDINGS

### Wetlands

FTN observed portions of the project area that appear to meet all three criteria, i.e., hydrophytic vegetation, wetland hydrology, and hydric soils, for classification as technical wetlands. The wetland areas are associated with lower elevations of the project site and are conservatively estimated to be up to 31 acres within the project area (Enclosure 1, Figures 2 and 3). In order to ensure the portions of the project site indicated as non-wetlands are entirely outside potential wetland areas, a conservative approach was used for the purposes of this recon. The wetland extent shown on the attached figures is an estimate that completely encompasses the wetland area and



Mr. Jim Hastings  
November 4, 2021  
Page 3

likely includes some adjoining upland area. A formal Section 404 delineation could be performed to identify the wetland/upland boundary. Based on the conservative approach used for this recon, it is anticipated that a formal Section 404 delineation would decrease the extent of wetland area illustrated on the enclosed figures.

### **Other Waters of the US**

FTN observed an ephemeral drainage associated with an existing culverted road crossing at the southern extent of the project area. No other channels or open water features were observed within the project area.

### **Federal Emergency Management Agency (FEMA) Issues**

Portions of the project area (primarily in the southern and northwest portions of the project area) are mapped within a FEMA floodplain associated with Owen and Fourche Creeks. A FEMA FIRMette is provided in Enclosure 3.

### **CONCLUSIONS**

FTN observed areas of wetlands and one ephemeral drainage within the project area that would likely be considered jurisdictional under Section 404 of the Clean Water Act (CWA). Impacts to these features will likely require a Section 404 permit.

This Section 404 recon used a conservative approach in order to illustrate the areas (see enclosed figures) of the site that are entirely in uplands and not subject to Section 404 regulation. It is FTN's opinion that the areas illustrated as uplands can be impacted without Section 404 permitting.

These findings are offered on the basis of our best professional judgment and prior experience with numerous projects at similar sites in central Arkansas. We offer our comments with regard to onsite features having a potential for USACE regulation under Section 404 of the CWA. However, until a formal delineation of onsite features has been submitted to and approved by the USACE, you must understand that the information included in this letter is unofficial. The USACE allows consultants to prepare information for submittal to the USACE for approval, but only the USACE can make official decisions with regard to Section 404 issues. Please note our scope of work does not include a formal delineation of onsite features and is based on general site observations. If delineation services are needed, please contact our office to discuss scope and schedule.

We thank you for the opportunity to provide information regarding your development project. If you have any questions or need additional information regarding this project, please do not hesitate to call me or Jeremy Rigsby at (501) 225-7779.

Respectfully submitted,  
FTN ASSOCIATES, LTD.



Jimmy Rogers  
Environmental Scientist

JJR/tas

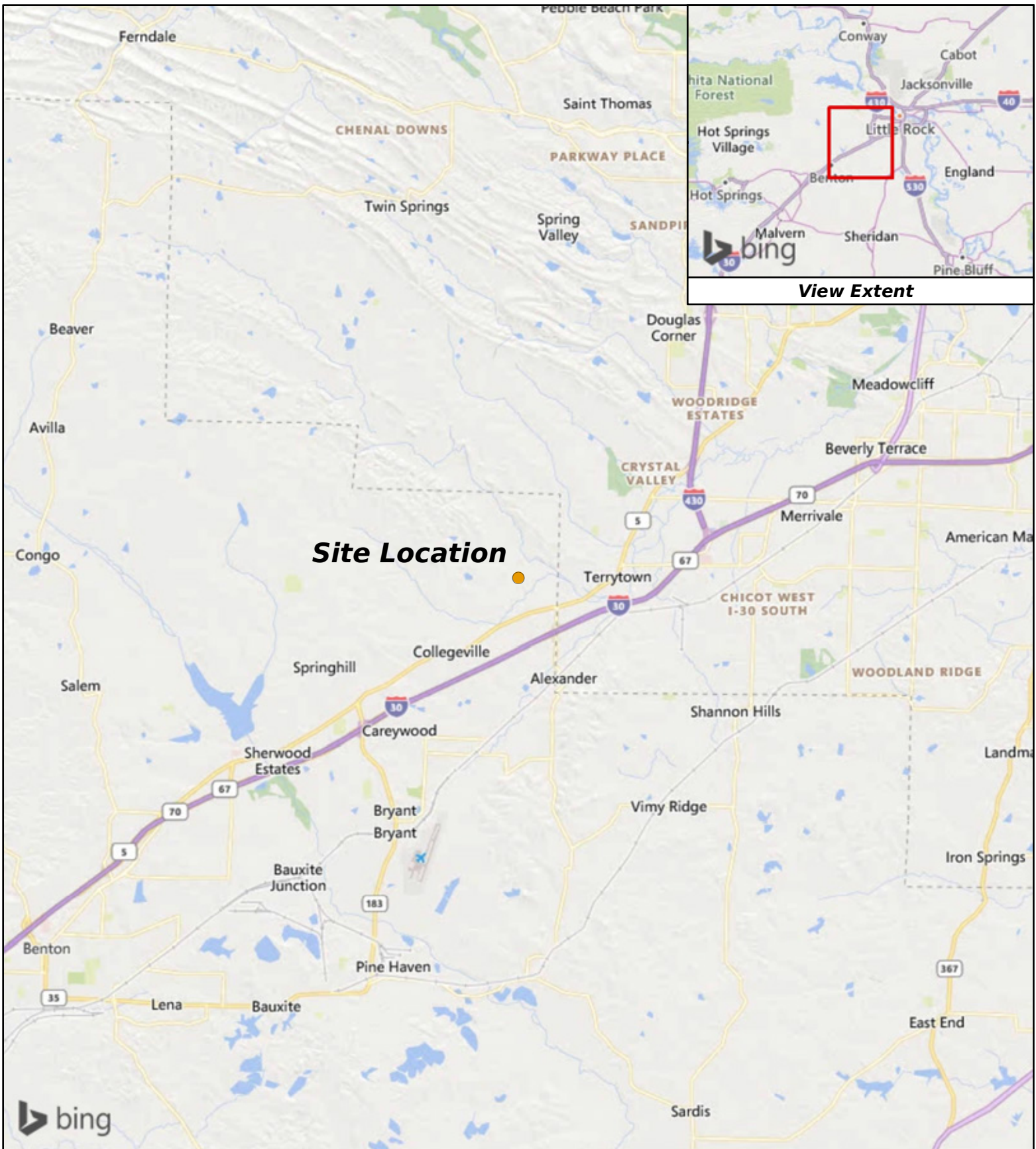
Enclosures



# **ENCLOSURE 1**

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**Figures**



## Creekside Addition Phase 2

2  
 Miles

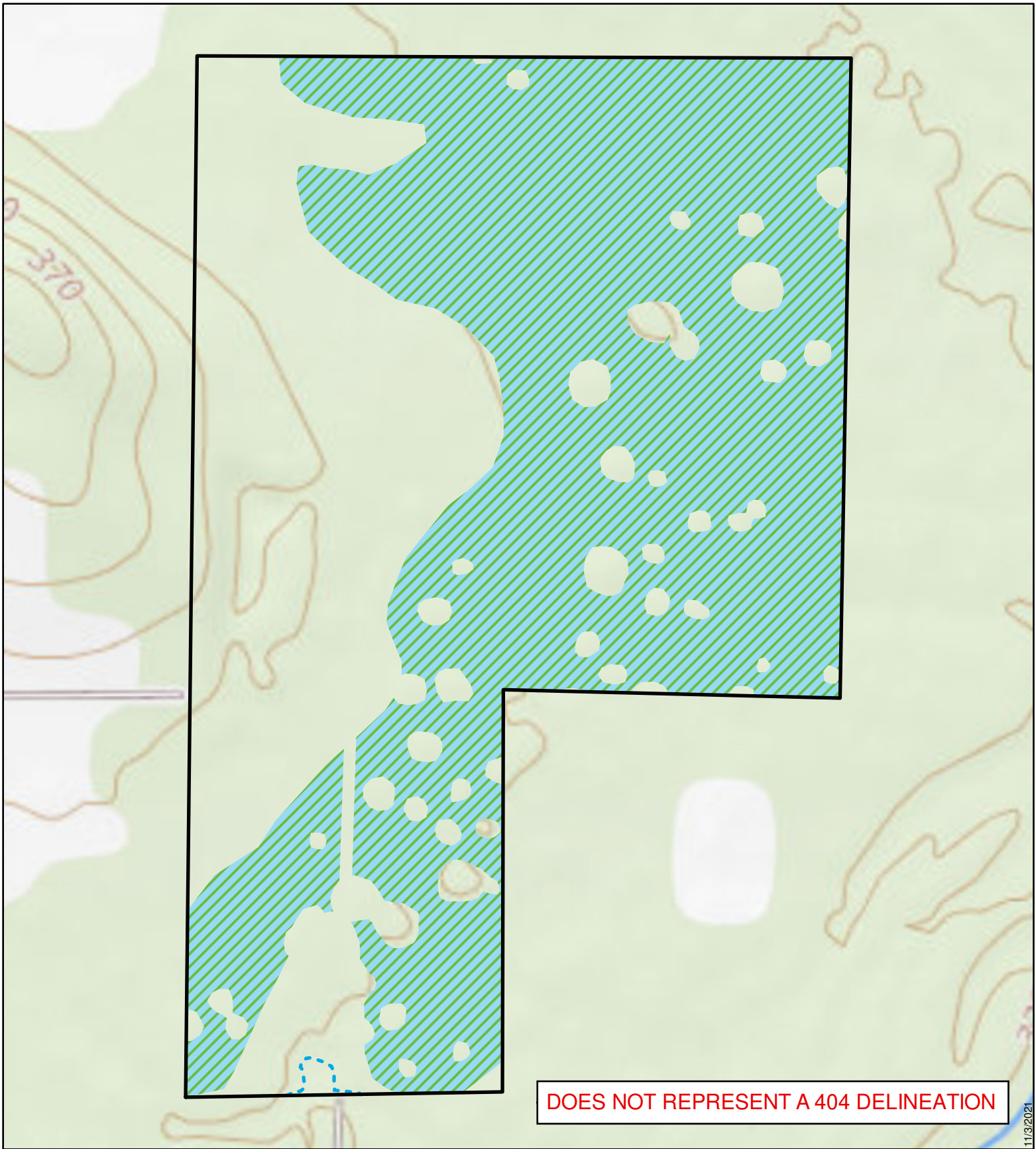
● Site Location



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Background: Microsoft Corporation and its data suppliers




Figure 1. Vicinity Map



**Creekside Addition Phase 2**

250

Feet

-  Project Area
-  Project Wetlands
-  Ephemeral Channels

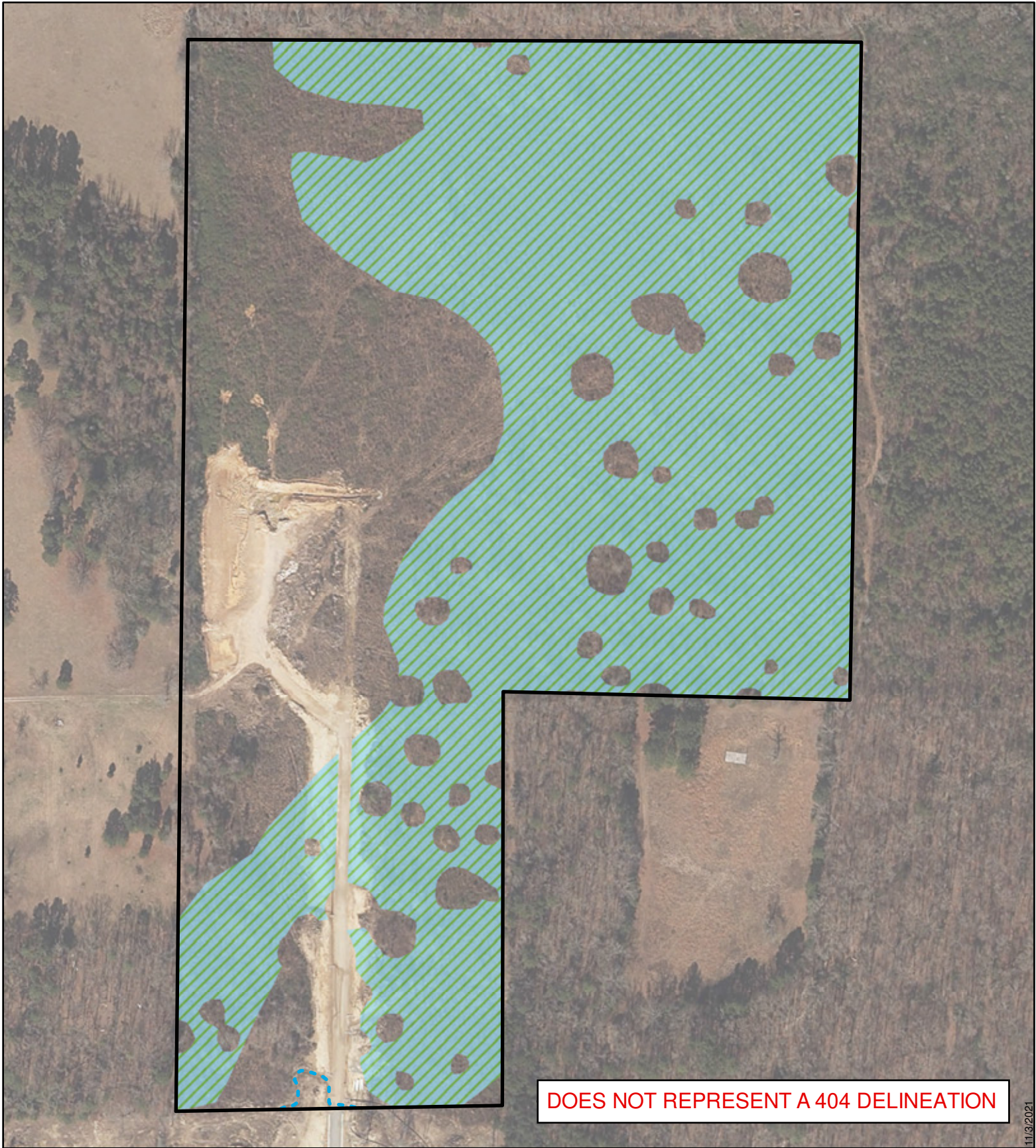


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Background: USGS TNM Topo basemap

Figure 3. Map showing project area details overlaid on the USGS *The National Map* Topo basemap for quadrangle Alexander, AR (7.5-minute series).

11/9/2021






### Creekside Addition Phase 2

250

Feet

R:\projects\17450-2781-001\gis\doc\map\delin\figure\_3.mxd

-  Project Area
-  Project Wetlands
-  Ephemeral Channels



Background: Arkansas GIS Office

11/3/2021

Figure 3. Map showing project area details overlaid on 2017 Arkansas Digital Orthophotography Program imagery.



# **ENCLOSURE 2**

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**Representative Photos**



Photo 1. Wetland area.



Photo 2. Upland area.



Photo 3. UAS overview image of project area; view from south looking north.



Photo 4. UAS overview image of project area; view from north looking south.

# **ENCLOSURE 3**

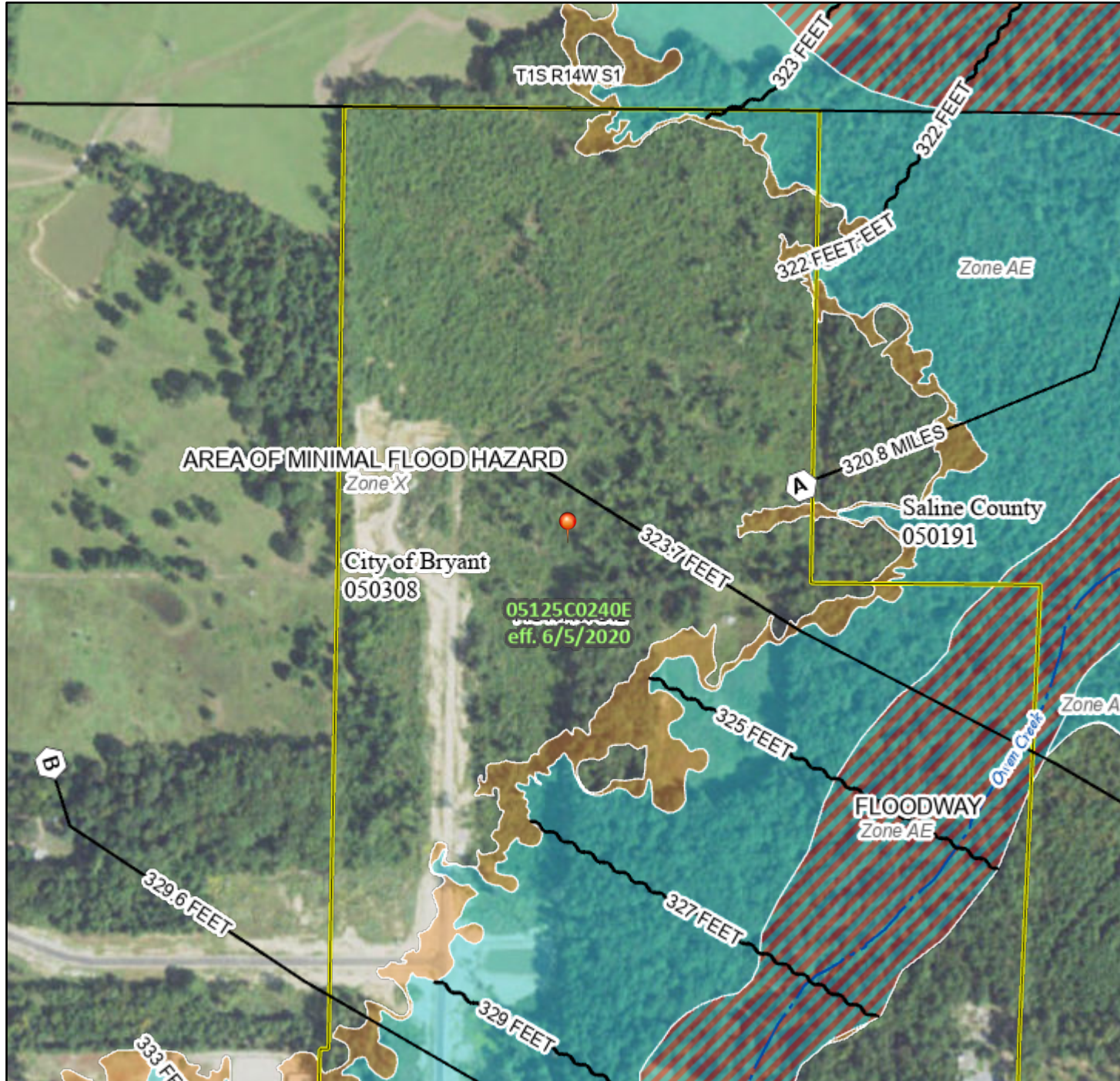
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**FEMA Firmette**

# National Flood Hazard Layer FIRMMette



92°27'37"W 34°39'25"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X	Future Conditions 1% Annual Chance Flood Hazard Zone X	Area with Reduced Flood Risk due to Levee. See Notes. Zone X	Area with Flood Risk due to Levee Zone D

OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X	Effective LOMRs	Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer	Levee, Dike, or Floodwall

OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation	Coastal Transect	Base Flood Elevation Line (BFE)	Limit of Study	Jurisdiction Boundary	Coastal Transect Baseline	Profile Baseline	Hydrographic Feature

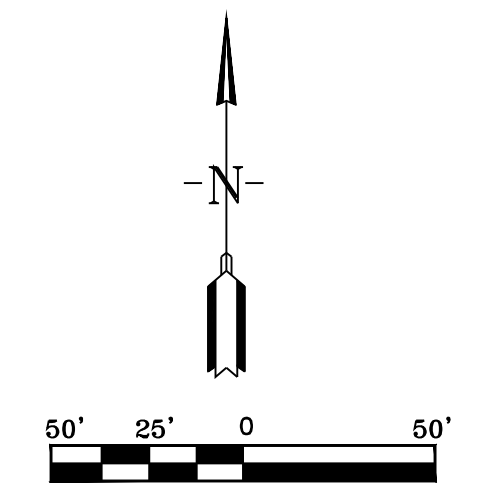
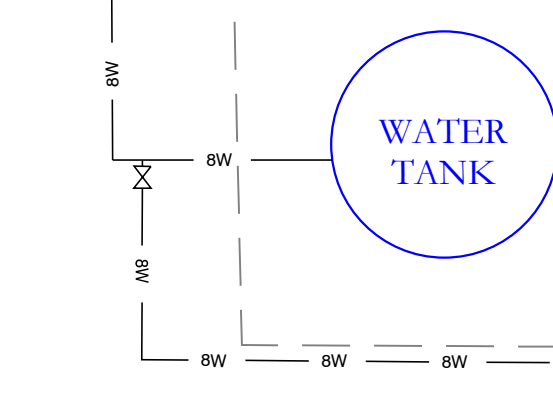
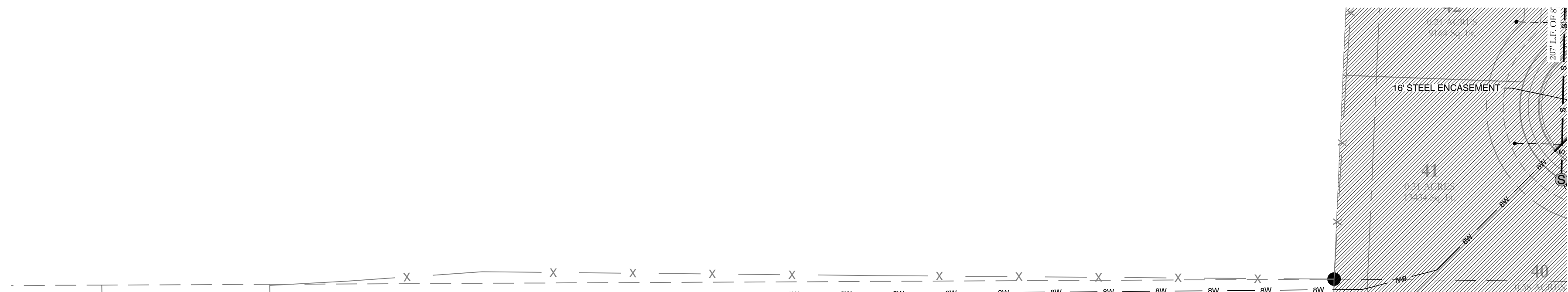
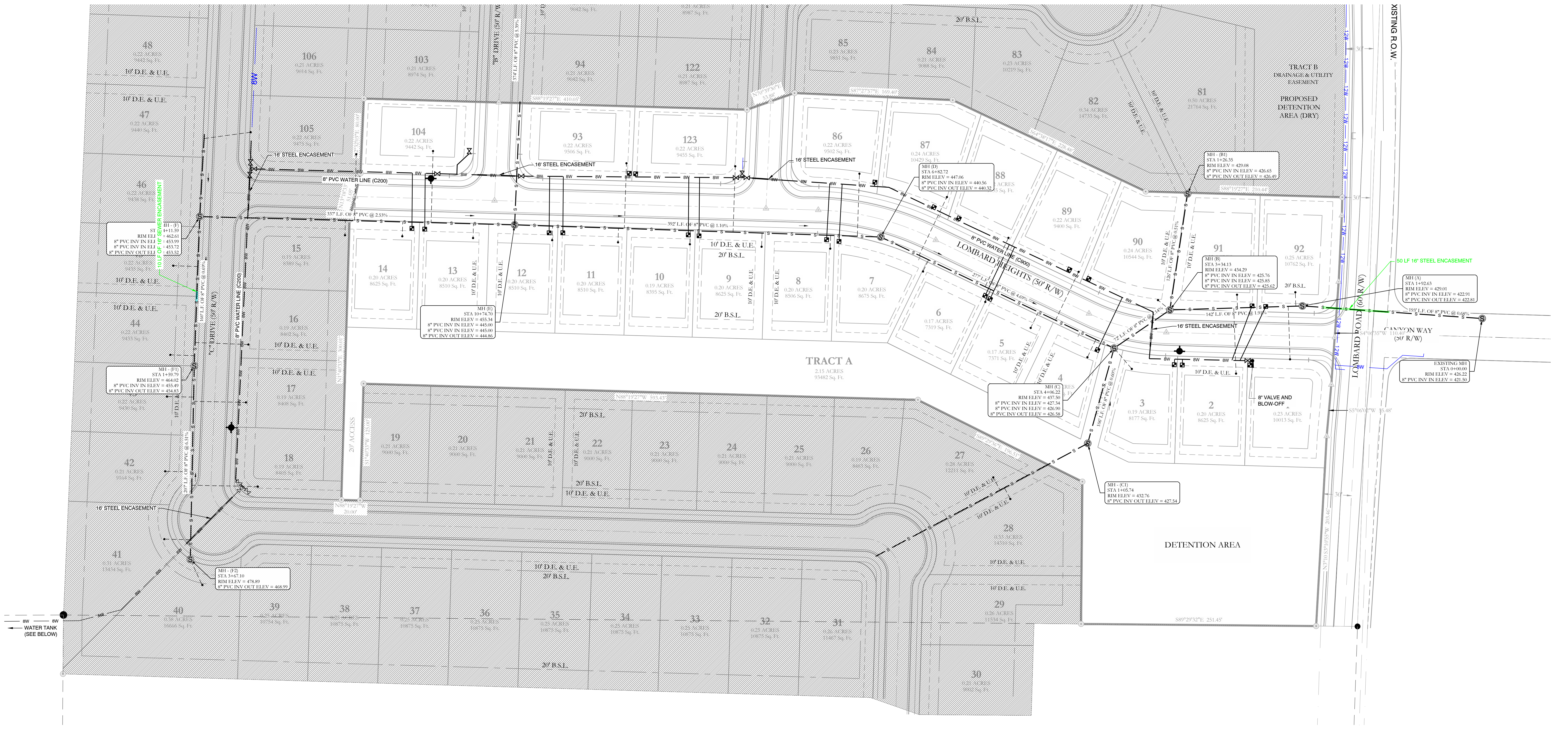
MAP PANELS	Digital Data Available	No Digital Data Available	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **11/3/2021 at 11:32 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



WATER LEGEND:	TYPICAL FIRE HYDRANT:	SEWER LEGEND:
<ul style="list-style-type: none"> <li> 2" BLOW OFF</li> <li> WATER MAIN</li> <li> GATE VALVE</li> <li> REDUCER</li> <li> FIRE HYDRANT</li> <li> DOUBLE WATER SERVICE</li> <li> SINGLE WATER SERVICE</li> </ul>	<ul style="list-style-type: none"> <li> 2" BLOW OFF</li> <li> TYPICAL FIRE HYDRANT</li> <li> 6" REDUCER</li> <li> GATE VALVE</li> </ul>	<ul style="list-style-type: none"> <li> SEWER SERVICE</li> <li> SEWER MAIN</li> <li> SEWER MANHOLE</li> </ul>
<p>NOTE: ALL FIRE HYDRANT LEADERS HAVE A GATE VALVE BETWEEN MAIN AND FIRE HYDRANT.</p>	<p>FIRE HYDRANT (2 TO 6 FEET FROM EDGE OF PAVEMENT)</p>	<p>NOTE: USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.</p>

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

117 S. Market Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**LOMBARD HEIGHTS**

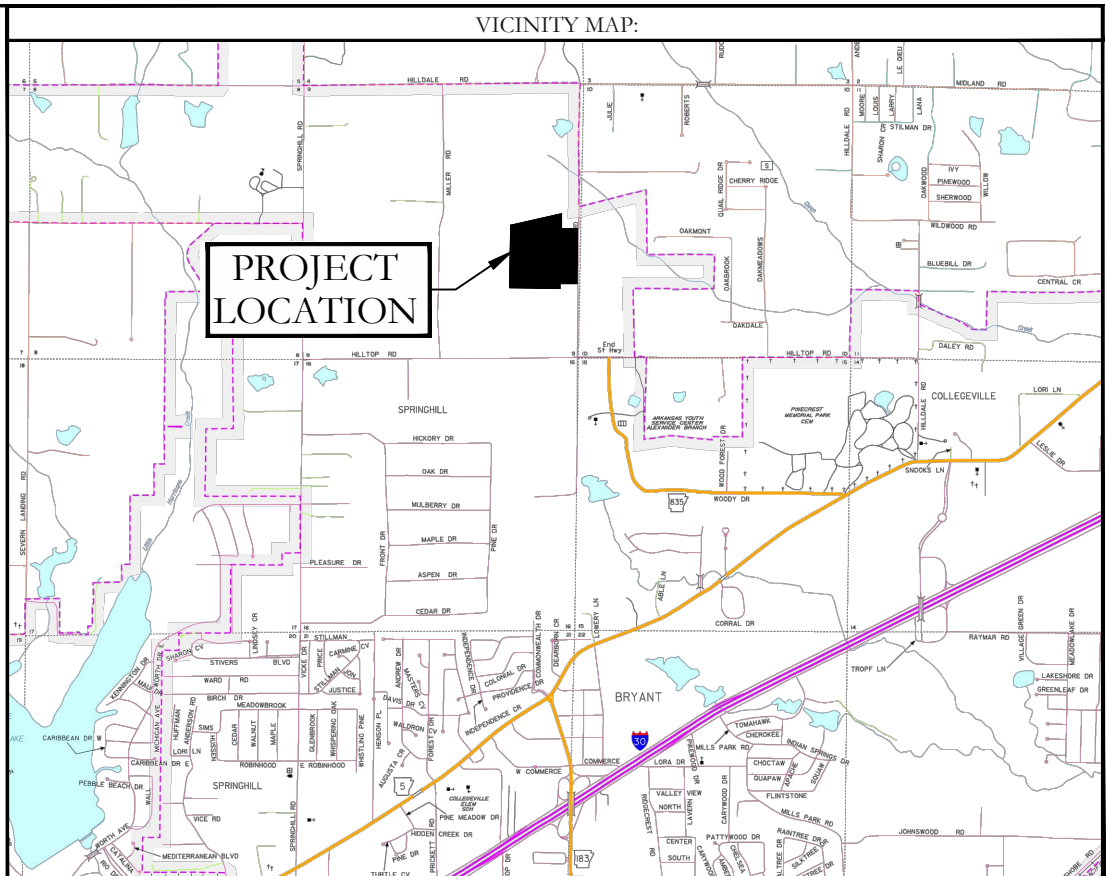
**WATER & SEWER ASBUILTS**  
**LOMBARD HEIGHTS, PHASE 1**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B. JOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY: =	20-1388
SHEET:	SCALE: AS SHOWN	

500 01S 14W 16 201 62 128



		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2826 FAX (501) 315-0024 www.hopeconsulting.com
FOR USE AND BENEFIT OF: <b>LOMBARD HEIGHTS</b>		
<b>DRAINAGE ASBUILTS</b> <b>LOMBARD HEIGHTS, PHASE 1</b> A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 08/10/2022 REVISED:	C.A.D. BY: B. JOHNSON CHECKED BY:	DRAWING NUMBER: <b>20-1388</b>
SHEET: 500   01S   14W   16   201   62   128	SCALE: AS SHOWN	



**CERTIFICATIONS:**

**OWNER:** Name: SOUTHERN GENERAL CONTRACTORS  
Address: BOX 242146, LITTLE ROCK, AR 72223

**DEVELOPER:** Name: SOUTHERN GENERAL CONTRACTORS  
Address: BOX 242146, LITTLE ROCK, AR 72223

**CERTIFICATE OF OWNER:**

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have had lot, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

**CERTIFICATE OF SURVEYING ACCURACY:**

I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

**CERTIFICATE OF FINAL ENGINEERING ACCURACY:**

I, William W. McFadden, hereby certify that this plat correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

**CERTIFICATE OF FINAL APPROVAL:**

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held on 08/10/2022. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution: \_\_\_\_\_ Name: \_\_\_\_\_

Date of Execution: \_\_\_\_\_ Name: Jonathan L. Hope, Registered Professional Land Surveyor No. 1762, Arkansas

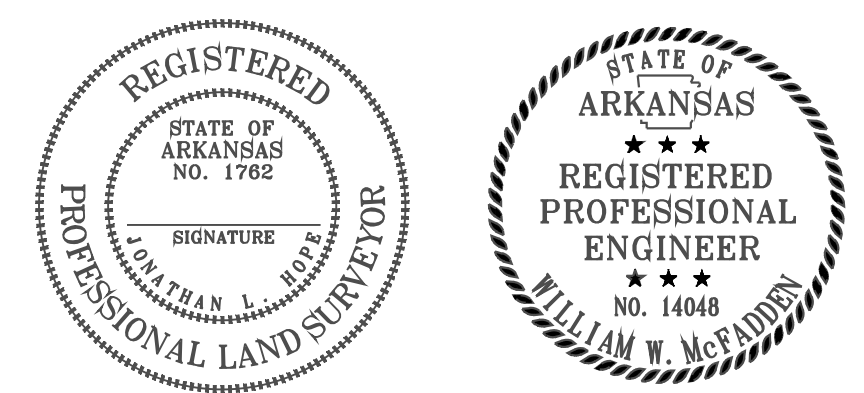
Date of Execution: \_\_\_\_\_ Name: William W. McFadden, Registered Professional Engineer, No. 14048, Arkansas

Date of Execution: \_\_\_\_\_ Name: Rick Johnson, Bryant Planning Commission

**PROPERTY SPECIFICATIONS:**

OWNER: SOUTHERN GENERAL CONTRACTORS, P.O. BOX 242146, LITTLE ROCK, AR 72223	MIN. LOT SIZE: 6000 S.F.
DEVELOPER: SOUTHERN GENERAL CONTRACTORS, P.O. BOX 242146, LITTLE ROCK, AR 72223	NUMBER OF LOTS: 24
ENGINEERS: HOPE CONSULTING INC., 117 S MARKET STREET, BENTON, AR 72015	SOURCE OF WATER: SALINE WATER USERS
NAME OF SUBDIVISION: LOMBARD HEIGHTS SUBDIVISION	SOURCE OF SEWER: CITY OF BRYANT
ZONING CLASSIFICATION: R-1.5	SOURCE OF ELECTRIC: FIRST ELECTRIC COOP
SOURCE OF TITLE: 2017-11245	SOURCE OF GAS: CUSTOMER POINT ENERGY
	BUILDING SETBACKS: FRONT - 20' OR AS SHOWN, REAR - 20' OR AS SHOWN, SIDE - 10' OR AS SHOWN
	EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.) FRONT - 10' OR AS SHOWN, REAR - 10' OR AS SHOWN, SIDE - 5' OR AS SHOWN
	STREET RIGHT OF WAYS: 50' OR AS SHOWN, STREET WIDTH: 25' TO 30', LOT CORNERS: SET 1/2" REBAR WITH CAP

**FINAL PLAT**  
**LOMBARD HEIGHTS SUBDIVISION, PHASE 1**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS



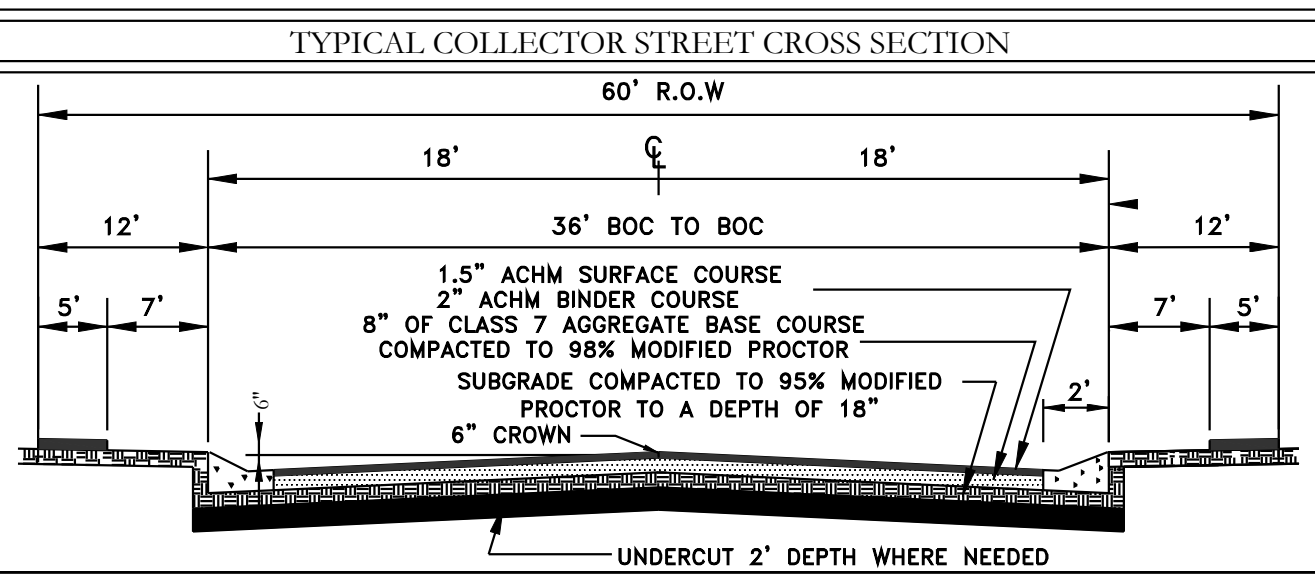
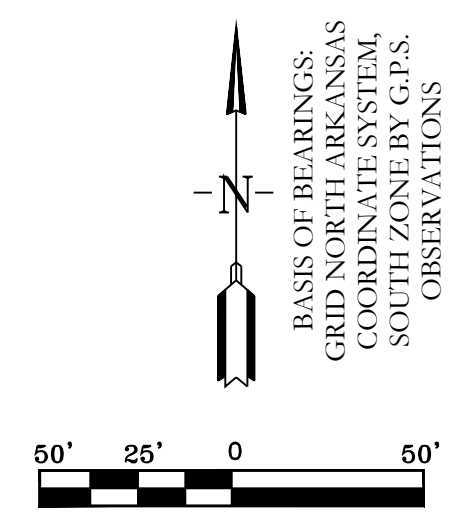
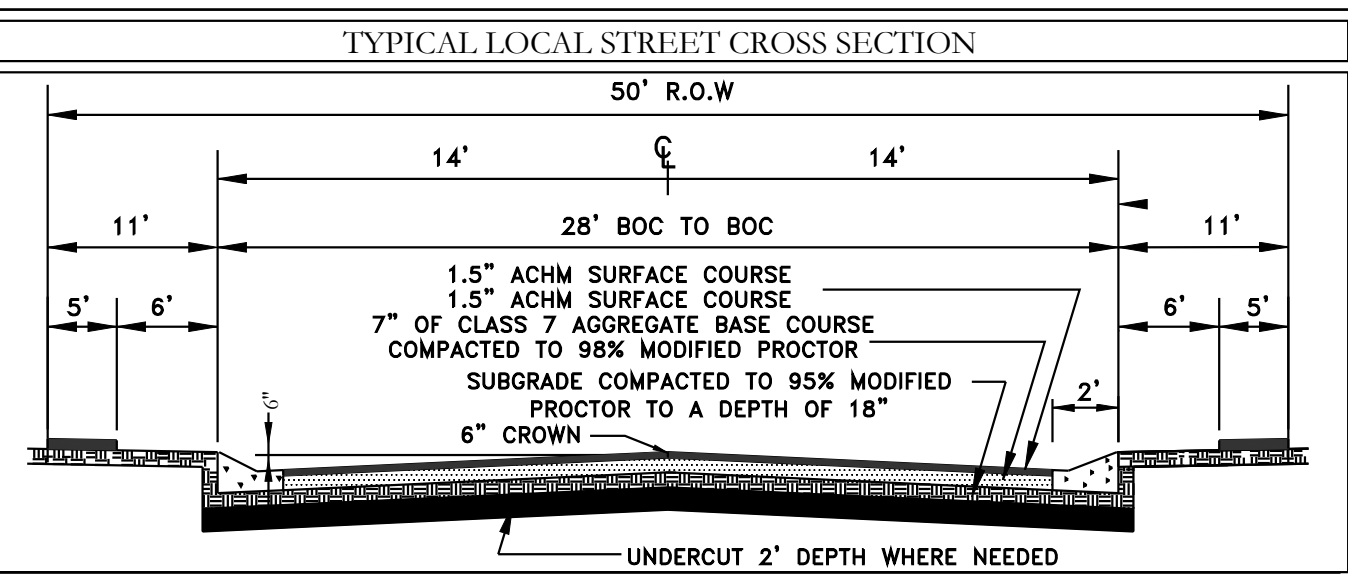
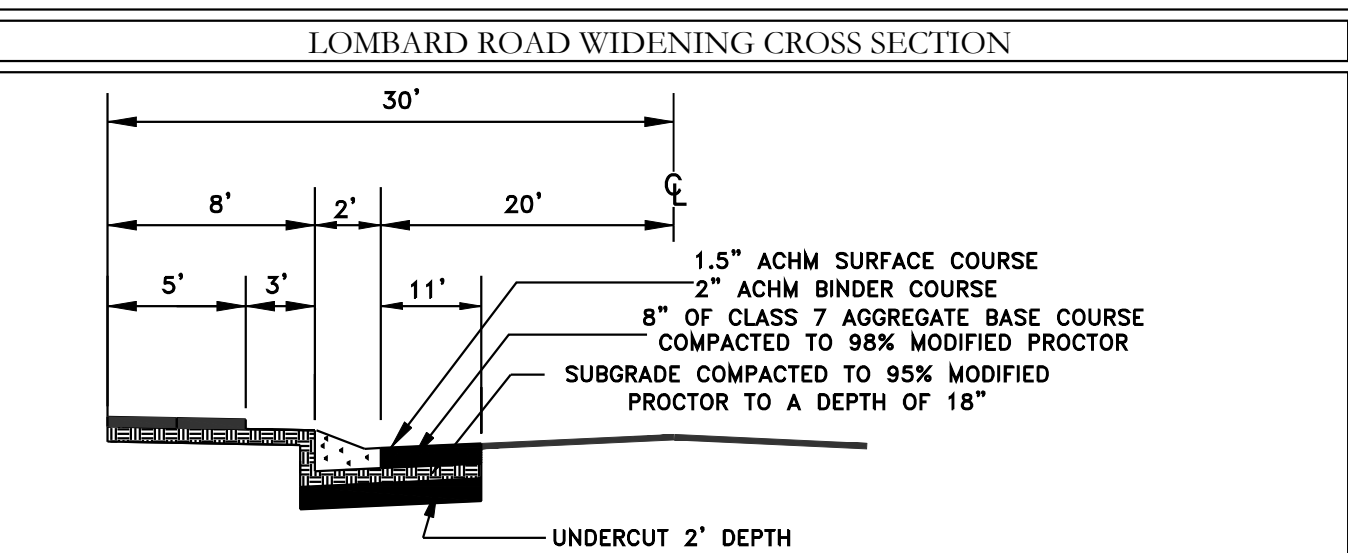
**PROPERTY DESCRIPTION:**

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE/4 SE/4), PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW/4 SE/4), ALL IN SECTION 9, TOWNSHIP 1 SOUTH, RANGE 14 WEST OF THE FIFTH PRINCIPAL MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING AT THE NE CORNER OF SAID SE 1/4 OF THE SE 1/4, SAID POINT BEING A FOUND 1/2" REBAR WITH A CAP, THENCE, ALONG THE NORTH LINE OF SAID SE 1/4, SE 1/4 S 89°29'56" W A DISTANCE OF 40.65 FEET TO THE POINT OF BEGINNING; THENCE, S 0°09'30"26" E A DISTANCE OF 152.28 FEET; THENCE, N 63°32'07" W A DISTANCE OF 106.51 FEET; THENCE, N88°19'27" W A DISTANCE OF 613.43 FEET; THENCE, N 01°50'33" E A DISTANCE OF 175.01 FEET; THENCE, N13°18'33" E A DISTANCE OF 51.05 FEET; THENCE, N 02°32'03" E A DISTANCE OF 8000 FEET; THENCE, S 88°19'27" E A DISTANCE OF 410.05 FEET; THENCE, N 70°39'30" E A DISTANCE OF 53.88 FEET; THENCE, S 87°27'57" E A DISTANCE OF 169.40 FEET; THENCE, S 64°38'17" E A DISTANCE OF 228.48 FEET; THENCE, S 88°19'27" E A DISTANCE OF 210.44 FEET TO A POINT THE WEST RIGHT OF WAY OF LOMBARD HEIGHTS ROAD; THENCE, ALONG SAID RIGHT OF WAY S01°13'12" W A DISTANCE OF 19.44 FEET; THENCE, S02°49'00" W A DISTANCE OF 71.03 FEET; THENCE, S04°06'35" W A DISTANCE OF 110.40 FEET; THENCE, S05°06'02" W A DISTANCE OF 55.48 FEET; THENCE, S03°10'56" W A DISTANCE OF 205.50 FEET TO THE POINT OF BEGINNING AND HAVING AN AREA OF 8.50 ACRES (370,381 SQUARE FEET).**

**Curve Table**

Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	91°41'52"	S42°28'31"E 35.88	40.01	25.00
C2	11°27'21"	S82°35'47"E 45.91	45.99	230.00
C3	4°59'05"	S74°22'34"E 20.00	20.01	230.00
C4	7°51'55"	S68°07'04"E 30.21	30.24	230.00
C5	20°07'22"	S74°24'47"E 94.34	94.83	270.00
C6	3°58'59"	S86°23'58"E 18.14	18.14	270.00
C7	89°08'29"	N47°06'23"E 35.09	38.89	25.00
C8	90°51'40"	S42°53'37"E 35.62	39.65	25.00
C9	89°08'29"	N47°06'18"E 35.09	38.90	25.00
C10	90°51'31"	S42°53'42"E 35.62	39.64	25.00
C11	11°17'16"	S82°43'59"E 62.38	62.48	320.00
C12	12°47'06"	S70°44'39"E 71.26	71.40	320.00
C13	23°58'21"	S76°20'17"E 74.76	75.31	180.00
C14	85°57'35"	N48°44'47"E 34.09	37.51	25.00
C15	23°58'21"	S76°20'17"E 74.76	75.31	205.00
C16	23°58'21"	N76°20'17"W 122.53	123.43	295.00



- LEGEND**
- (P) - No Parking Sign
  - ⊠ - Stop Sign
  - ⊙ - Street Light
  - ⊕ - Fire Hydrant
  - ⊙ - Computed point
  - ⊙ - Found monument
  - (D) - Deeded
  - (M) - Measured
  - (P) - Platted

**HOPE CONSULTING ENGINEERS - SURVEYORS**

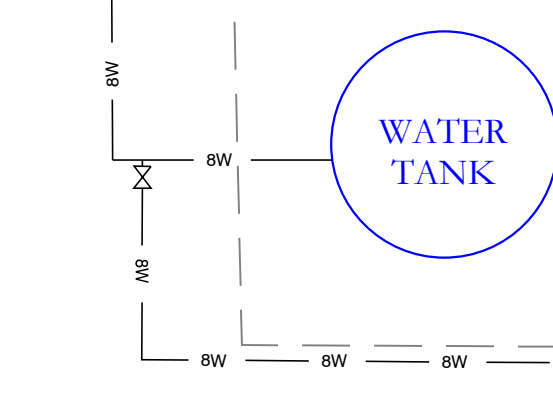
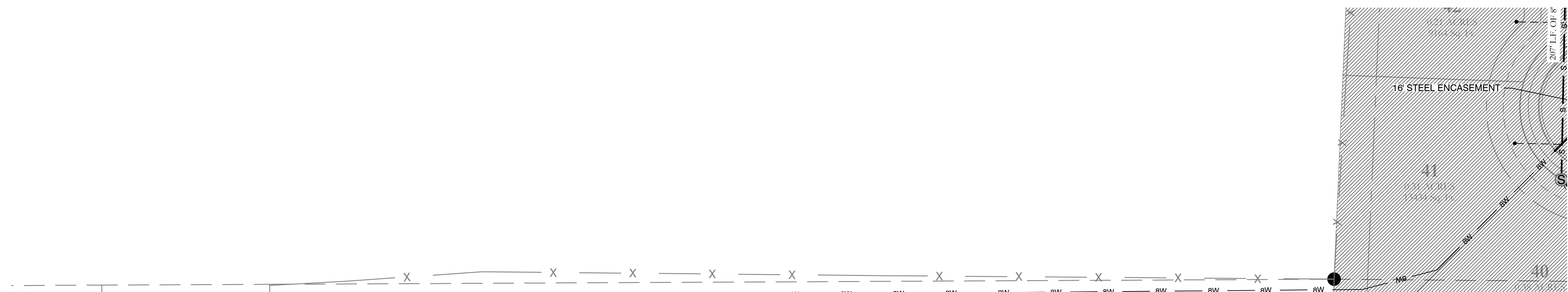
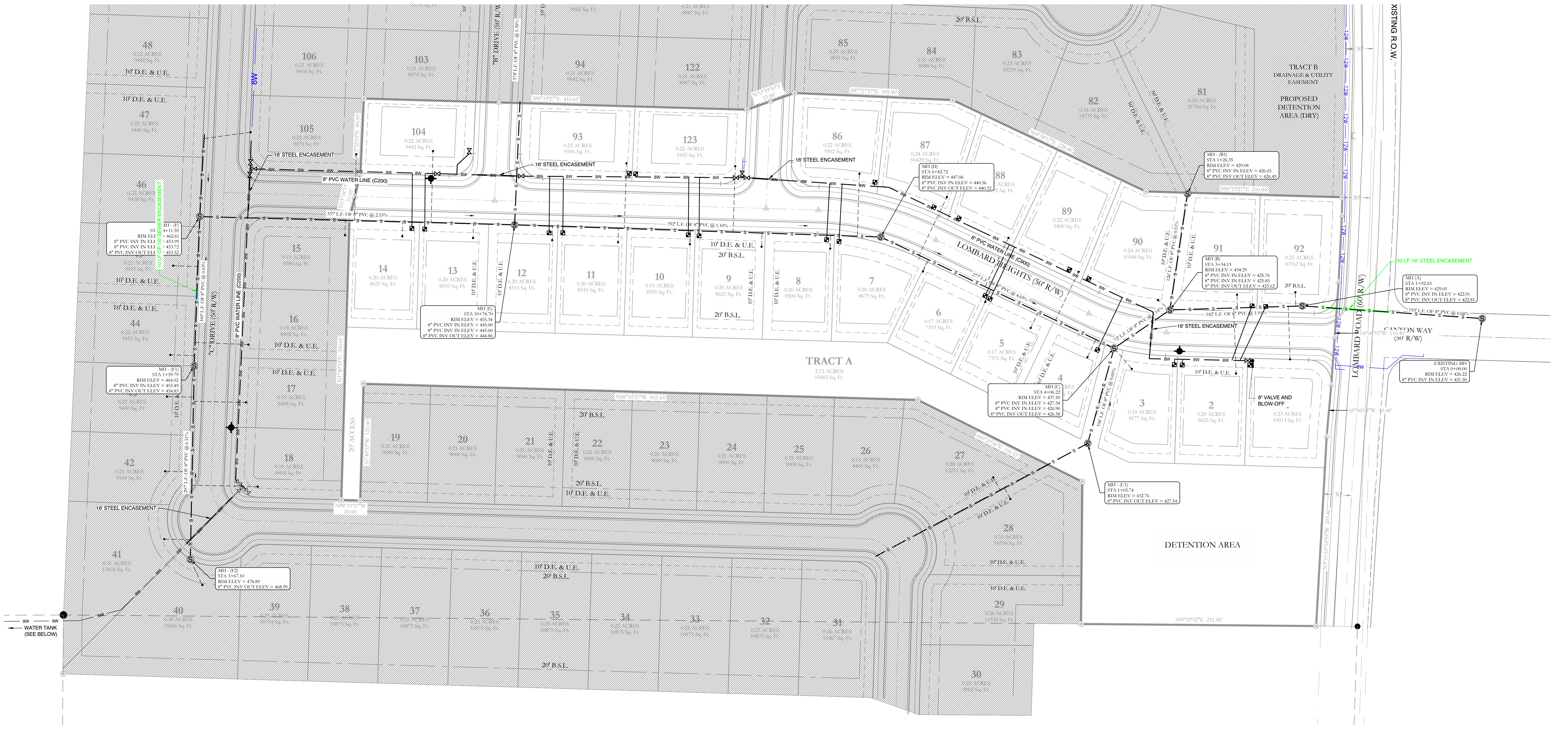
117 S. Market Street, Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**SOUTHERN GENERAL CONTRACTORS**

**FINAL PLAT**  
**LOMBARD HEIGHTS, PHASE 1**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

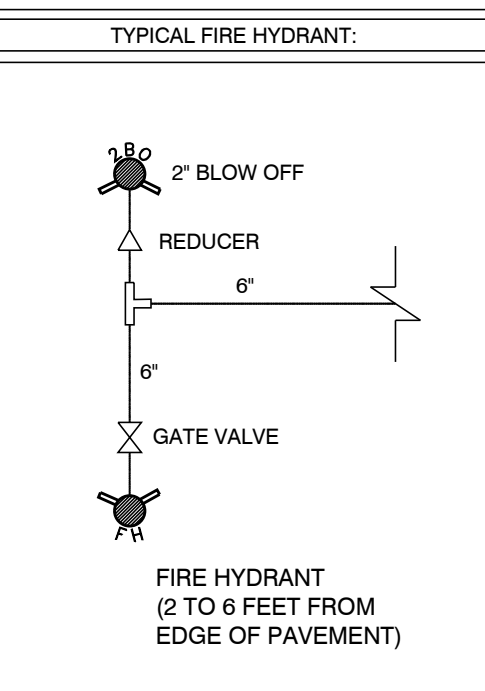
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REVISION: 500	CHECKED BY: 01S	SCALE: 1"=100'
		500 01S 14W 0 29 300 62 1762





WATER LEGEND:	
2" BLOW OFF	GATE VALVE
WATER MAIN	REDUCER
FIRE HYDRANT	DOUBLE WATER SERVICE
SINGLE WATER SERVICE	

NOTE:  
ALL FIRE HYDRANT LEADERS HAVE A GATE VALVE BETWEEN MAIN AND FIRE HYDRANT.



SEWER LEGEND:	
SEWER SERVICE	SEWER MANHOLE
SEWER MAIN	

NOTE:  
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVER CANNOT BE MAINTAINED.  
CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

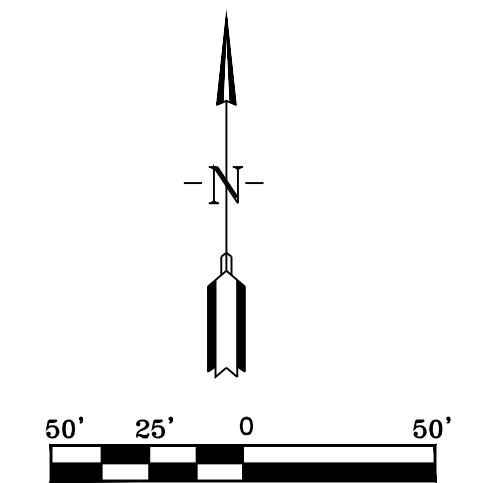
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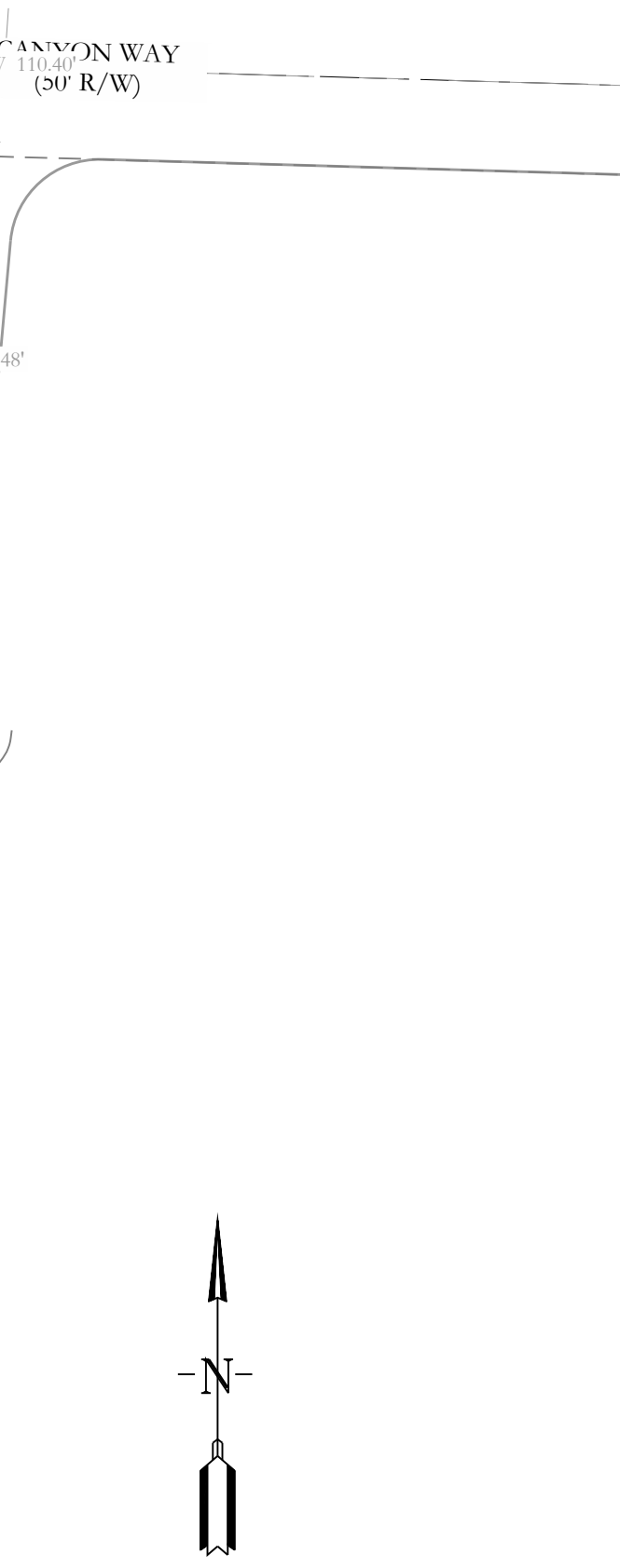
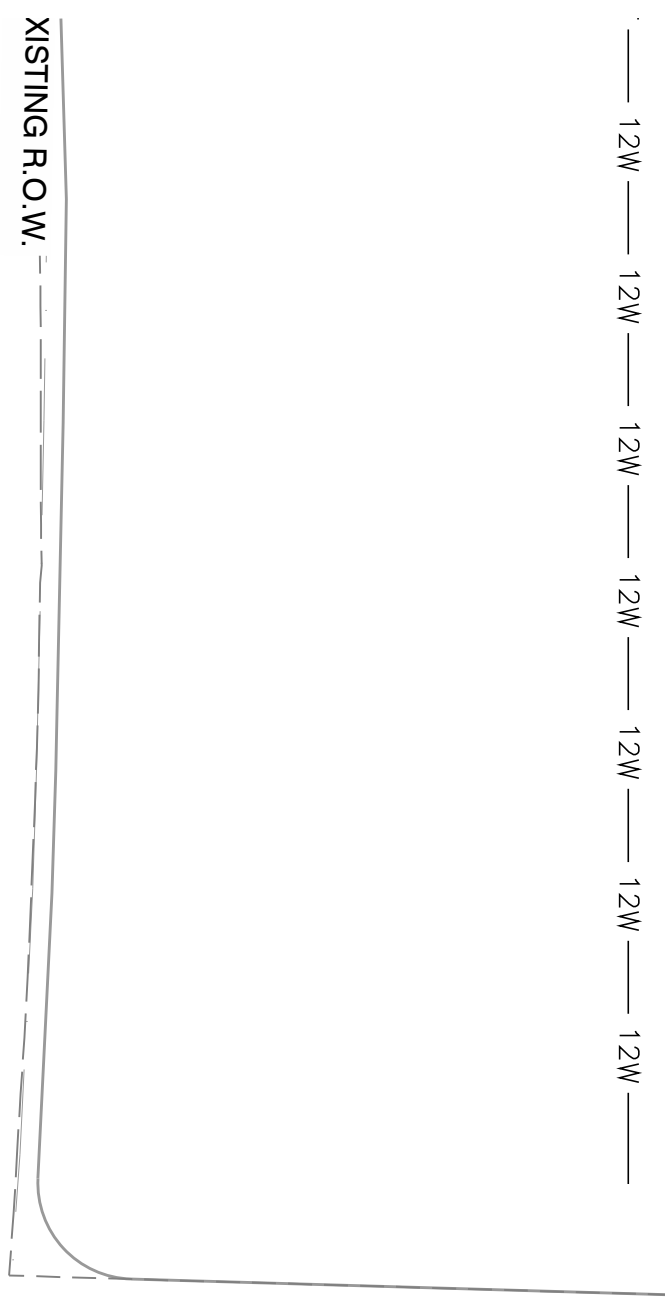
FOR USE AND BENEFIT OF:  
**LOMBARD HEIGHTS**

**WATER & SEWER ASBUILTS**  
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A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B. JOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY: =	20-1388
SHEET:	SCALE: AS SHOWN	

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**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

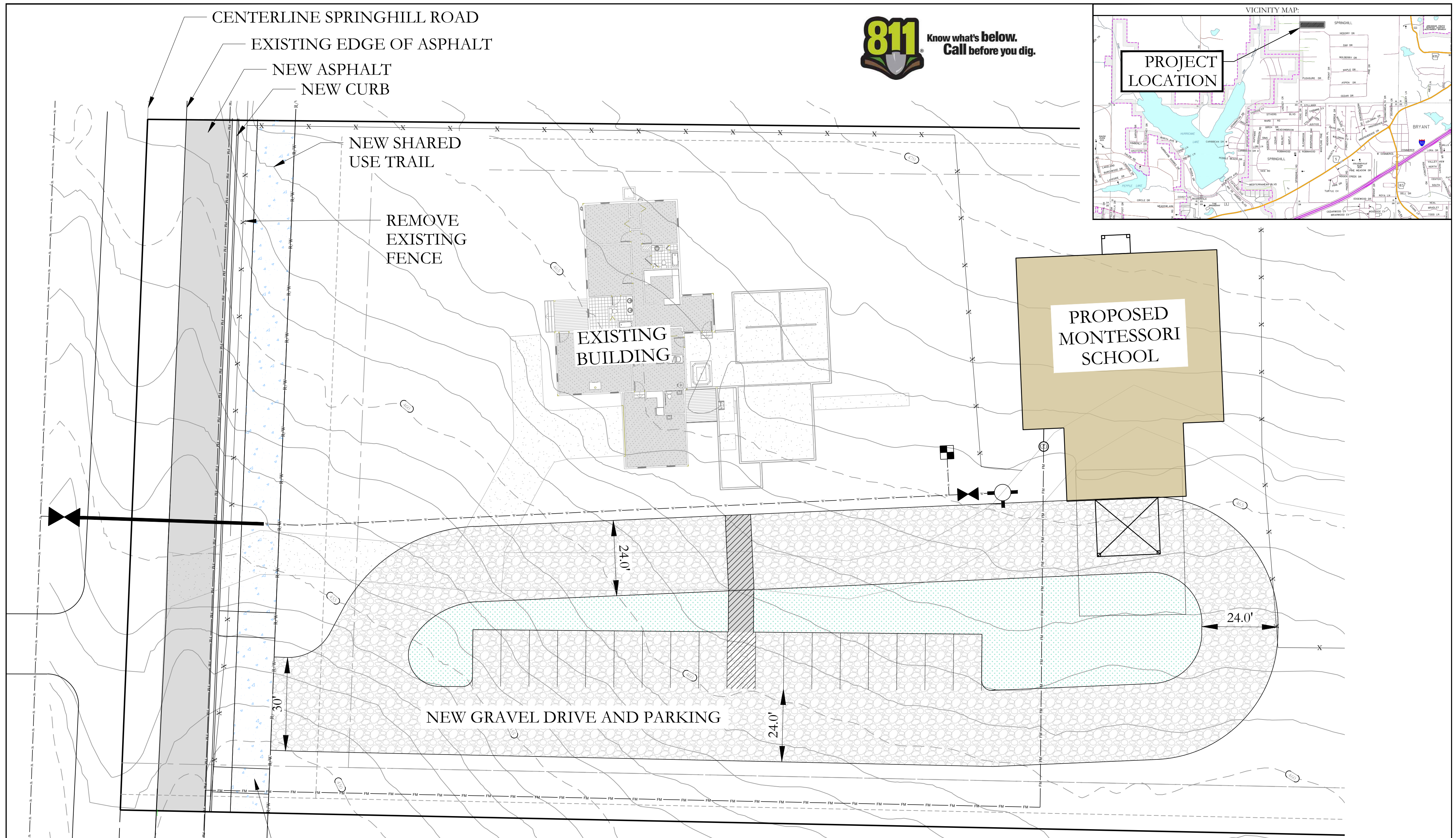
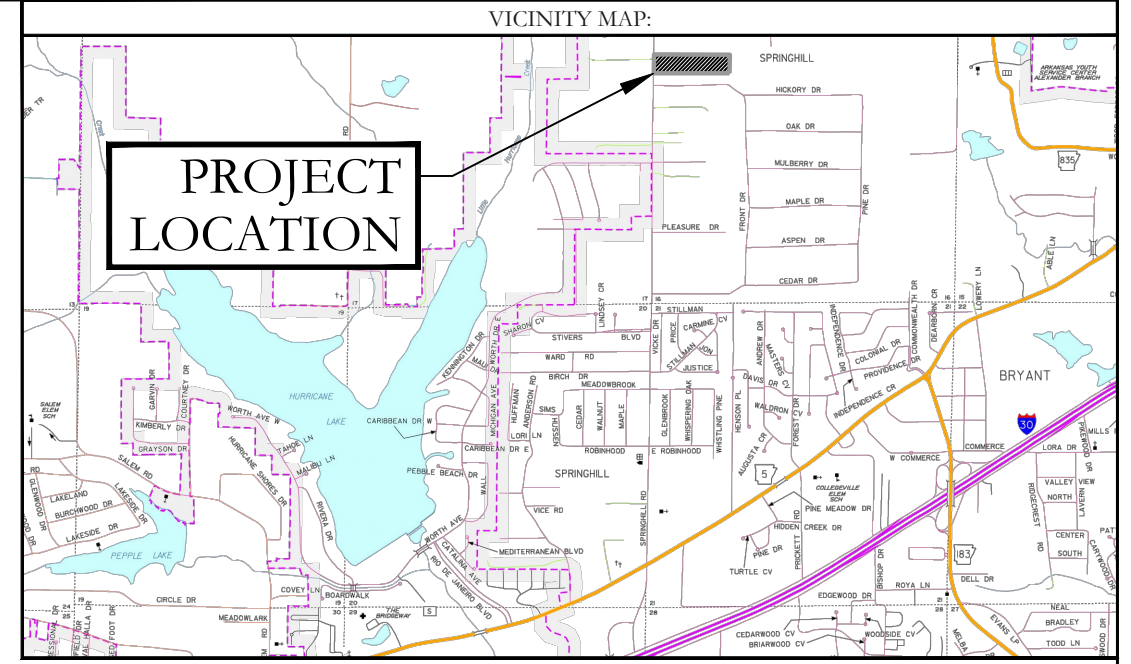
117 S. Market Street,  
Benton, Arkansas 72015  
PH. (501)315-2826  
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www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**LOMBARD HEIGHTS**

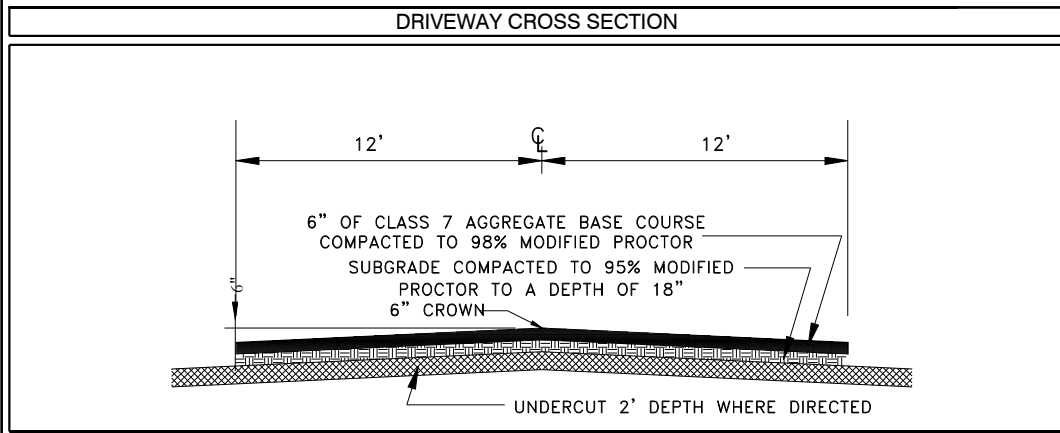
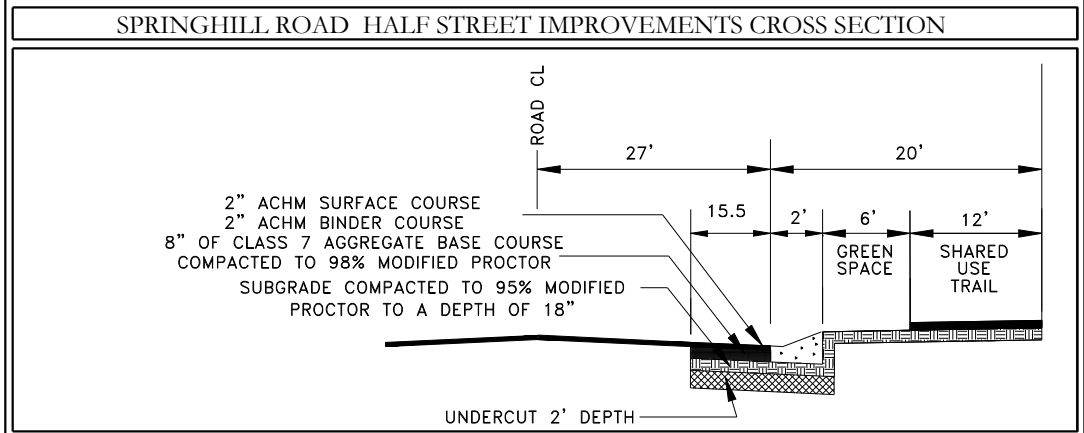
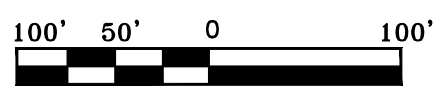
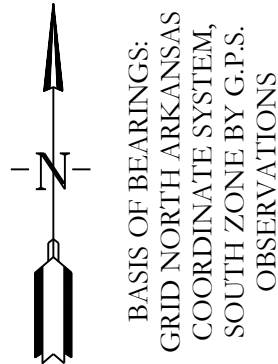
**DRAINAGE ASBUILTS**  
**LOMBARD HEIGHTS, PHASE 1**  
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B. JOHNSON	DRAWING NUMBER:
REVISIONS:	CHECKED BY: =	20-1388
SHEET:	SCALE: AS SHOWN	

500	01S	14W	16	201	62	128
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CONCRETE DRIVEWAY APRON  
CONFORMING TO A&DOT DR-1



**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

117 S. Market Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**SHANNON NUCKOLS**

CONSTRUCTION PLAN  
NUCKOLS ESTATES  
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	08/10/2022	C.A.D. BY:	BJOHNSON	DRAWING NUMBER:	
REVISED:	08/24/2022	CHECKED BY:		20-0673	
SHEET:	500	SCALE:	1" = 100'		
	01S	14W	0 16	400	62 1762

K:\Land Projects\2010\Survey\2020\206073 M&S\Site\_0910\Springhill Road\2010073\_Site\_Plan-06-28-22.dwg - 148pg



City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 8/12/2022

**Applicant or Designee:**

Name Patricia L. Joyner  
Address 3924 Commonwealth Dr  
Phone 501 563-4704  
Email Address: patjoy51@yahoo.com

**Project Location:**

Property Address 3924 Commonwealth Dr  
Bryant, AR 72022  
Parcel Number 840-11500-088  
Zoning Classification Residential

**Property Owner (If different from Applicant):**

Name \_\_\_\_\_  
Phone \_\_\_\_\_  
Address \_\_\_\_\_  
Email Address \_\_\_\_\_

**Additional Information:**

Legal Description (Attach description if necessary)

Lot 88 Westpointe North Ph 1  
2008-48302

Description of Conditional Use Request (Attach any necessary drawings or images)

to be used AS A short Term Rentals

Proposed/Current Use of Property Air bnb

# Application Checklist

## Requirements for Submission

- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
  - Location, size, and use of buildings/signs/land or improvements
  - Location, size, and arrangement of driveways and parking. Ingress/Egress
  - Existing topography and proposed grading
  - Proposed and existing lighting
  - Proposed landscaping and screening
  - Use of adjacent properties
  - Scale, North Arrow, Vicinity Map
  - Additional information that may be requested by the administrative official due to unique conditions of the site.

*-To be Provided*

**Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.**

**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

### READ CAREFULLY BEFORE SIGNING

I *Patricia A. L. Jones*, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

## NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, September 12th, 2022 at 6:00 P.M.

at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline

County, for the purpose of public comment on a conditional use request at the site of

3924 Commonwealth Dr., Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department of Community Development.

Rick Johnson  
Chairman Board of Zoning Adjustment  
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*

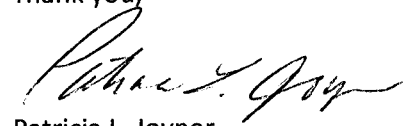
August 12, 2022

To Whom It May Concern:

I am Patricia L. Joyner owner of the property located at 3924 Commonwealth Dr., Bryant , AR 72022.

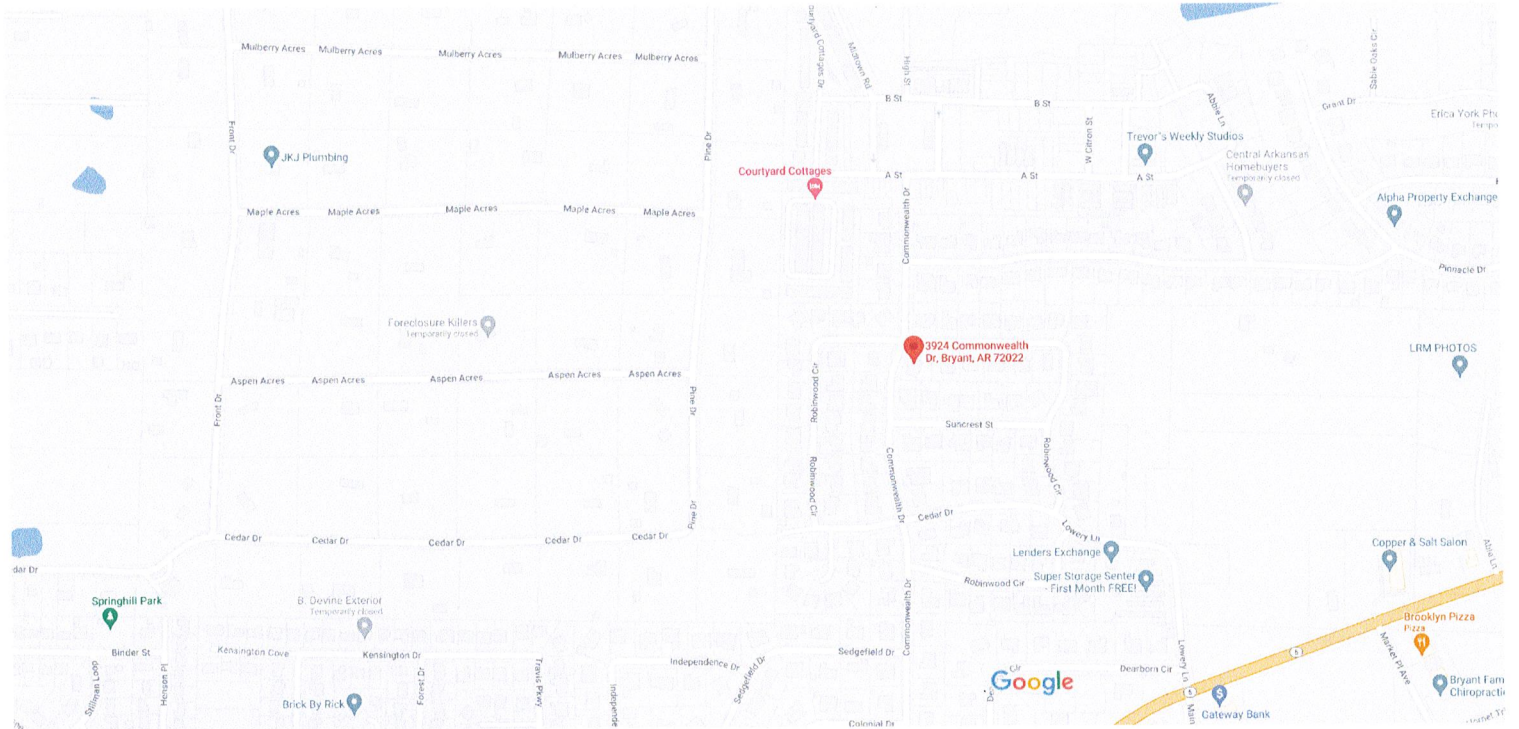
I am requesting a condition Use permit to make my home a Airbnb property.

Thank you,

A handwritten signature in black ink, appearing to read "Patricia L. Joyner". The signature is written in a cursive style with a large initial "P".






Patricia L. Joyner

3924 Commonwealth Dr



3924 Commonwealth Dr

Bryant, AR 72022  
Building

-   
Directions
-   
Saved
-   
Nearby
-   
Send to phone
-   
Share

♥ Saved in Favorites ▼

[Add note](#)   [View list](#)

Photos



# JOYNER PATRICIA

3924 COMMONWEALTH DR  
 BRYANT, AR 72022



[Basic](#)   [Land](#)   [Sales](#)   [Valuation](#)   [Taxes](#)   [Receipts](#)   [Improvements](#)   [Parcel Boundary](#)

## Valuation Information

Entry	Appraised	Assess
Land: ⓘ	32,000	6,400
Improvements: ⓘ	339,000	67,800
Total Value: ⓘ	371,000	74,200
Taxable Value: ⓘ		72,100
Millage:		0.0524
Estimated Taxes: ⓘ		\$3,778.04
Homestead Credit:		(\$375.00)
Estimated Taxes w Credit:		\$3,403.04
Assessment Year:		2021



**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 8-24-22

### Sign Co. or Sign Owner

Name TBD  
 Address \_\_\_\_\_  
 City, State, Zip \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email Address \_\_\_\_\_

### Property Owner

Name Walmart Stores Inc.  
 Address 2608 SE J Street  
 City, State, Zip Bentonville AR 72712  
 Phone 479-273-4000  
 Email Address nicholas.butler@walmart.com  
 contact for project: Cathy Yockey  
 cathy.yockey@hfa-ae.com

### GENERAL INFORMATION

Name of Business Walmart Store 3230  
 Address/Location of sign 400 Bryant Avenue  
 Zoning Classification C-2

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I, Cathy Yockey, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall	15'-9" x 12'-7"	198.14	25'-1"	13'-5"	
B	Wall	2'-0" x 10'-3"	20.50	22'-9"	24'-9"	
C	Wall	2'-8 1/2" x 22'-5 1/2"	60.64	12'-11"	10'-11"	
E	Wall	2' x 8'-10 1/2"	17.75	13'-2"	10'-8"	
F	Wall	1'-6" x 10'-10"	16.25	21'-3"	19'-8"	
G	Wall	3'-4 1/4" x 12'-2 1/2"	40.95	23'-5"	20'-1"	

Wall            1'-6" x 5'-5 1/2" 8.19SF    11'-2"    9'-8"  
 Wall            2' x 12'-4 1/2" 24.75SF    16'-1"    14'  
 Wall x 6    2'-6" x 2'-6"    6.25SF ea. 12'    9'-6"





To Whom It May Concern,

We are requesting a special sign permit for the Walmart located at 400 Bryant Avenue. Our signage on the building and the existing pylon signage causes us to be over our allowed limit. Under literal interpretation of the code, we would need to eliminate some of our signage that helps our customers find the sections of the store they are looking for, ie Market, Pharmacy, etc.

This signage will not adversely affect other signs or properties in the area. They will not be detrimental to properties located in the vicinity. The signage we are proposing is replaces the signage we currently have and will not obscure fire hydrants, traffic signs or traffic signals, block motorists' line of sight, or otherwise inhibit or interfere with vehicular or pedestrian traffic.

Please let us know if you have any questions or concerns.

Sincerely,

Melinda Ingram



City of Bryant, Arkansas  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

Approved 3 Signs  
 Pole sign to DRC on 9/1/22 for  
 Approval.  
 -CL 8/19/22

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 08/03/2022

### Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON  
 Address 8525 DISTRIBUTION DR  
 City, State, Zip LITTLE ROCK AR 72209  
 Phone 501.562.3942  
 Email Address lora@arkansassign.com

### Property Owner

Name DOMINO'S - BRETT MEDDERS  
 Address 3415 HWY 5  
 City, State, Zip BRYANT AR 72019  
 Phone 501-944-3209  
 Email Address TOM.WHITEHEAD@MANDGPIZZA.COM

### GENERAL INFORMATION

Name of Business DOMINOS  
 Address/Location of sign 3415 HWY 5 BRYANT, AR 72019  
 Zoning Classification \_\_\_\_\_ **JOB COSTS \$11300.00**

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

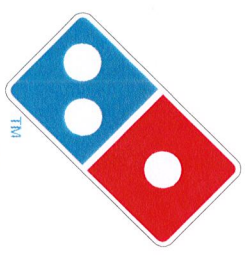
**NR**  
 8525 DISTRIBUTION DR.  
 LITTLE ROCK, AR 72209  
 501-562-3942 P  
 501-562-6651 F

**Sign A**

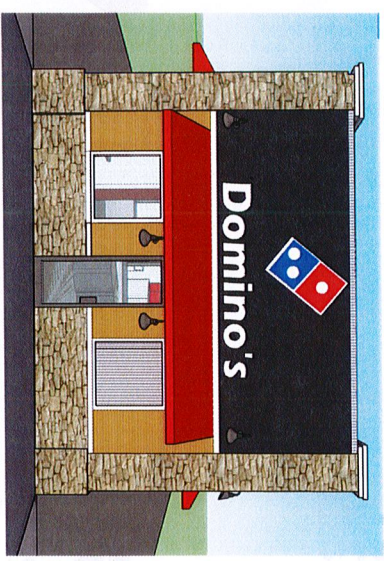
\* Revised Sign to Meet SF Requirement.

49.19SF

SOUTH ELEVATION=19' X 26'



**Domino's**



STACKED

DOMINO'S BLUE-FACED IN-LINE RACEWAY CHANNEL LETTER SIZE SPECIFICATIONS

LETTER "D" HEIGHT	LOGO HEIGHT	LOGO LENGTH	COPY LENGTH	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C	D	E	F			
16"	2'-1 1/16"	1'-0 7/8"	7'-9 9/16"	2'-1 9/16"	10'-3 1/4"	0.65	21.86	8.16
18"	2'-4 3/16"	1'-2 1/2"	8'-9 5/16"	2'-4 3/4"	11'-6 11/16"	0.65	27.67	10.33
20"	2'-7 3/8"	1'-4 1/8"	9'-9"	2'-7 15/16"	12'-10 1/16"	0.65	34.16	12.75
24"	3'-1 5/8"	1'-7 3/8"	11'-8 3/8"	3'-2 5/16"	15'-4 7/8"	0.65	49.19	18.36
30"	3'-11"	2'-0 3/16"	14'-1 1/2"	3'-11 7/8"	19'-3 1/8"	0.55	76.86	28.69
36"	4'-8 7/16"	2'-5"	17'-6 9/16"	4'-9 7/16"	23'-1 3/8"	1.10	110.68	41.32



ALL TRADES, DESIGNS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING EXCEPT FOR REGISTERED TRADEMARKS ARE OWNED BY THE TRADEMARK OWNERS. ANY REVISIONS SHALL BE MADE BY THE ARCHITECT OR ENGINEER. ANY REVISIONS SHALL BE MADE BY THE ARCHITECT OR ENGINEER. ANY REVISIONS SHALL BE MADE BY THE ARCHITECT OR ENGINEER. ANY REVISIONS SHALL BE MADE BY THE ARCHITECT OR ENGINEER.

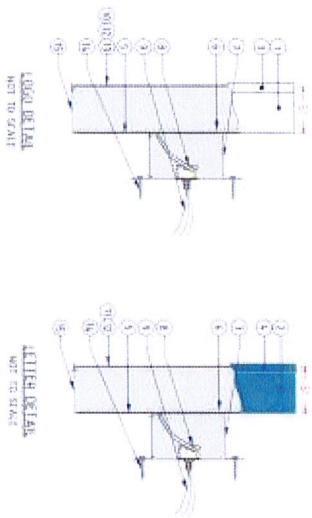
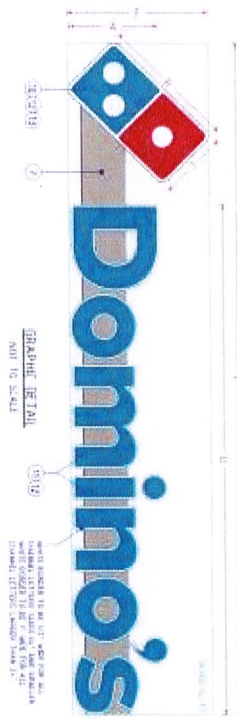
REPRESENTATIVE: DAVID ASHLEY  
 DATE/DWG: 08/02/2022 - DWG1  
 DESIGNER: LORA RAND REV/2

CLIENT: DOMINO'S  
 LOCATION: 3415 AR-5, Bryant, AR 72019  
 SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

**Sign B**

3'11" X 19'3.125" = 28.69 ACTUAL SF/BOXED IS 76.86

WEST ELEVATION 19' X 84'



DOMINO'S BLUE-FACED IN-LINE RACEWAY CHANNEL LETTER SIZE SPECIFICATIONS

LETTER "D" HEIGHT	LOGO HEIGHT	LOGO LENGTH	COPY LENGTH	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C	D	E	F			
16"	2'-1 1/16"	1'-0 7/8"	7'-9 9/16"	2'-1 9/16"	10'-3 1/4"	0.65	21.86	8.16
18"	2'-4 3/16"	1'-2 1/2"	8'-9 5/16"	2'-4 3/4"	11'-6 11/16"	0.65	27.67	10.33
20"	2'-7 3/8"	1'-4 1/8"	9'-9"	2'-7 15/16"	12'-10 1/16"	0.65	34.16	12.75
24"	3'-1 5/8"	1'-7 3/8"	11'-8 3/8"	3'-2 5/16"	15'-4 7/8"	0.65	49.19	18.26
30"	3'-11"	2'-0 3/16"	14'-7 1/2"	3'-11 7/8"	19'-3 1/8"	0.65	76.86	28.69
36"	4'-8 7/16"	2'-5"	17'-6 9/16"	4'-9 7/16"	23'-1 3/8"	1.10	110.68	41.32







ALL WORKS, DESIGNS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING EXCEPT FOR REGISTERED TRADEMARKS ARE OWNED BY AND ARE THE PROPERTY OF ARKANSAS SIGN & NEON. VISIT US AT WWW.ARKSIGNANDNEON.COM. CUSTOMERS ARE RESPONSIBLE TO OBTAIN ANY/ALL NECESSARY APPROVALS IF APPLICABLE. DELIVERY TIMES VARY BY AREA OF THE STATE. OUR GOALS IS TO DELIVER IN A TIMELY MANNER AND BE RESPONSIVE TO OUR CUSTOMERS' NEEDS. OUR GOALS IS TO DELIVER IN A TIMELY MANNER BEARING UNUSUAL CIRCUMSTANCES.

Sign C

REPRESENTATIVE: DAVID ASHLEY

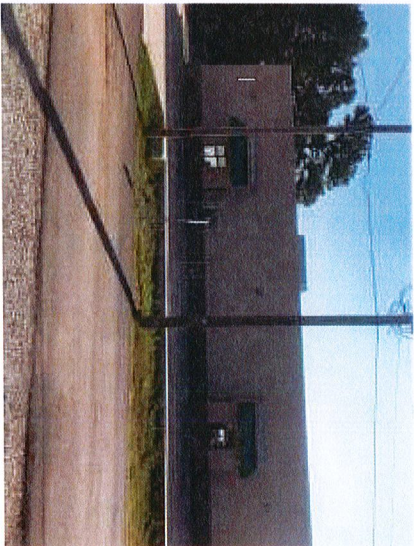
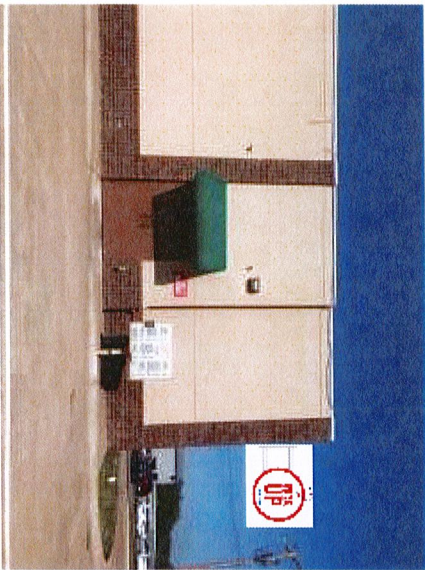
DATE/DWG: 08/02/2022 - DWG1

DESIGNER: LORA RAND

CLIENT: DOMINO'S  
 LOCATION: 3415 AR-5, Bryant, AR 72019

SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

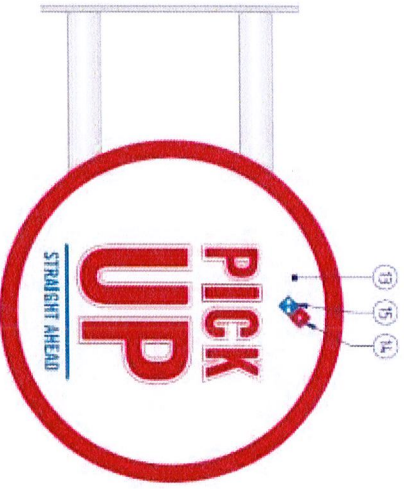
INSTALLED FLAG-MOUNTED ON WEST ELEVATION



NO.	PART DESCRIPTION
1	DOMINO'S PIZZA 2' X 2' PICK-UP FLAG MOUNT CONSTRUCTION SPECIFICATIONS
2	6x3" ALUMINUM SKIN
3	2x2" ALUMINUM BRACK
4	125" X 1" ALUMINUM STANDING LEG
5	1 1/2" ALUMINUM RETAINER
6	2" X 1/4" PIPE
7	1" X 1/8" ALUMINUM STRAP
8	1" X 1/8" STEEL STRAP
9	60# TUBER WHITE LED'S AS REQUIRED
10	LED POWER SUPPLIES AS REQUIRED
11	DISCONNECT SWITCH
12	ELECTRICAL OUT - THRU BOTTOM POLE
13	18" WHITE SOLAR GRADE PAW-FORWARD POLY CARBONATE PANE
14	3M 3390-331 RED TRANSLUCENT FILM LIST SURFACE
15	3M 3390-1271 INTENSE BLUE TRANSLUCENT FILM LIST SURFACE

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- ALUMINUM CHANNEL LETTER CONSTRUCTION
- 2" ALUMINUM RETAINER
- EXTERIOR FINISH: PAINT TO MATCH PMS 186 RED  
 CABINET - PAINT TO MATCH PMS 186 RED  
 MOUNTING PLATE & POLES - PAINT MP CLOUD SILVER METALLIC METALLIC 18103
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- RETAINERS REMOVABLE FOR SERVICE ACCESS
- UL LISTED
- ELECTRICAL: 0.32 AMP/5/120 VOLTS
- SQUARE FOOTAGE:  
 BOXED = 4.00  
 ACTUAL = 3.14



GRAPHIC DETAIL  
 SCALE: 1" = 1'-0"

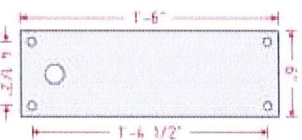
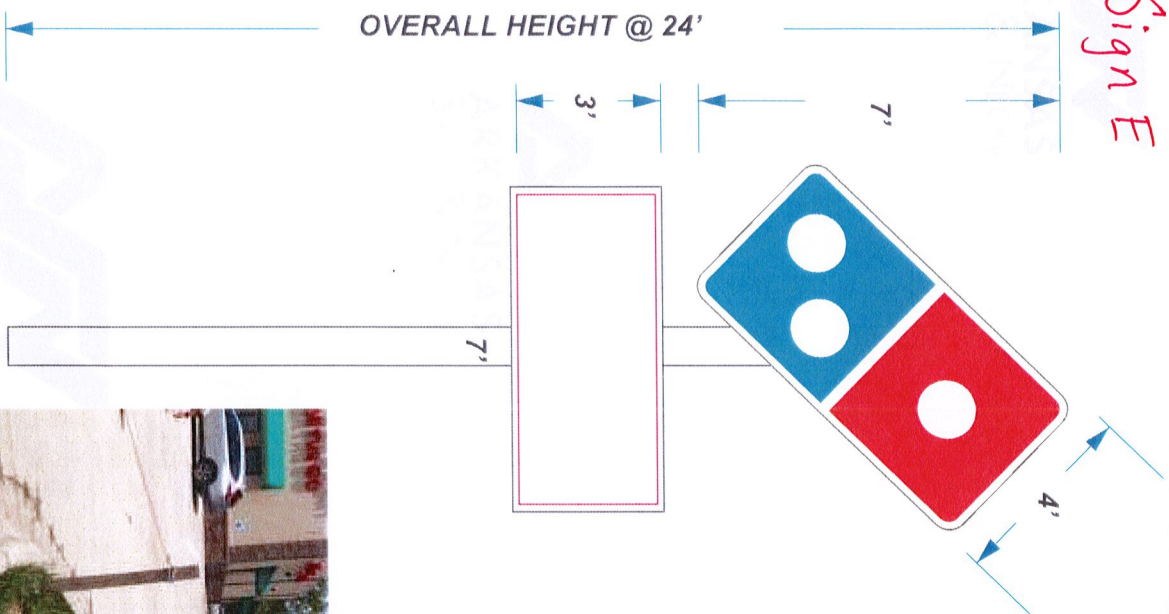


PLATE DETAIL  
 SCALE: 1" = 1'-0"

Sign E



REPRESENTATIVE: DAVID ASHLEY

DATE/DWG: 08/02/2022 - DWG1

DESIGNER: LORA RAND

CLIENT: DOMINO'S  
 LOCATION: 3415 AR-5, Bryant, AR 72019

SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

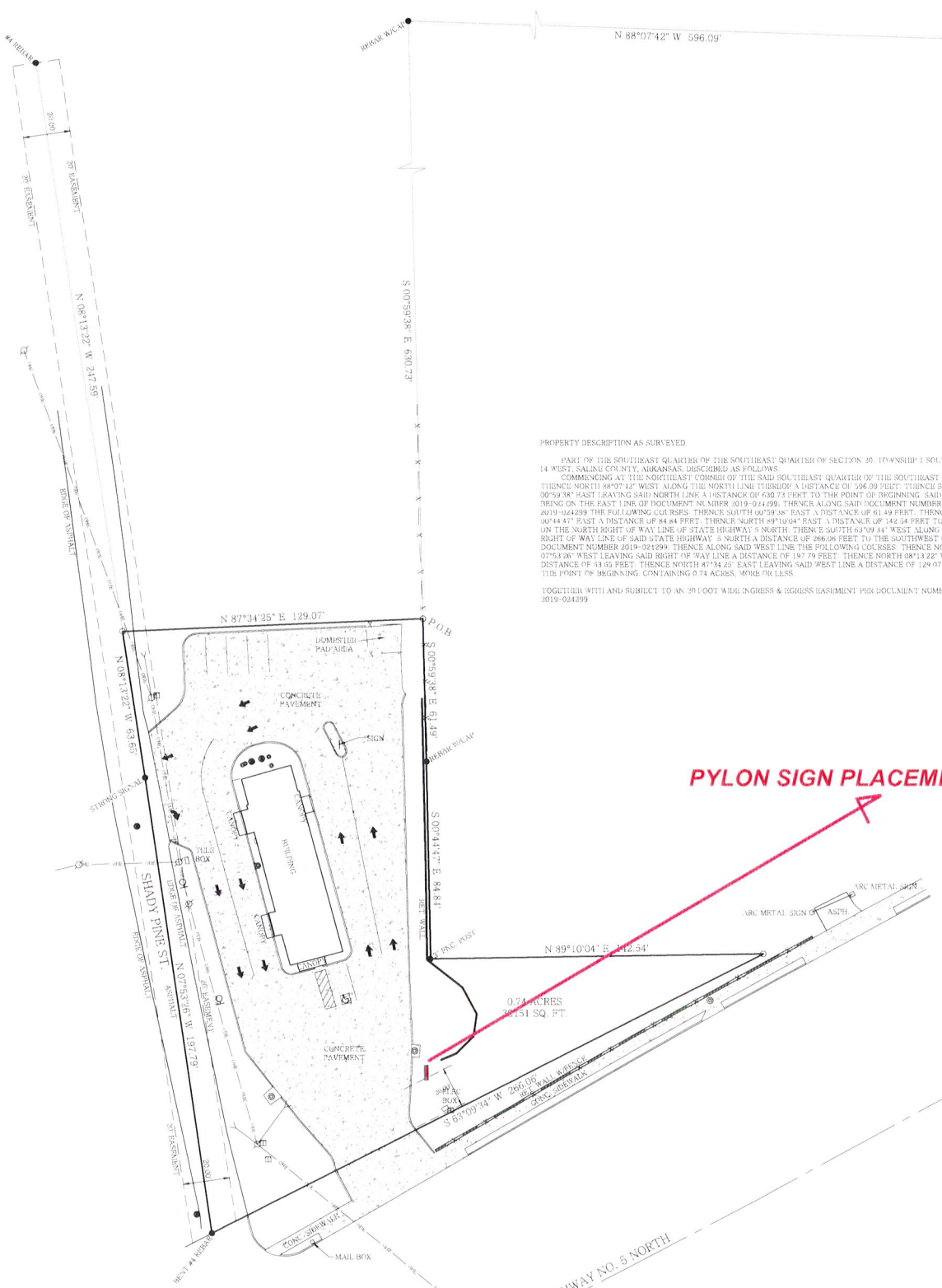
NE CORNER  
 BR. 1/4 - SR. 1/4  
 SECTION 20  
 T. 15 - S. R. 14 - W



PROPERTY DESCRIPTION AS SURVEYED

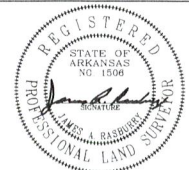
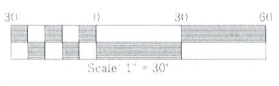
PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE NORTHEAST CORNER OF THE SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, THENCE NORTH 89°07'42" WEST ALONG THE NORTH LINE THEREOF A DISTANCE OF 596.09 FEET, THENCE SOUTH 00°52'58" EAST LEAVING SAID NORTH LINE A DISTANCE OF 630.73 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EAST LINE OF DOCUMENT NUMBER 2019-044299, THENCE ALONG SAID DOCUMENT NUMBER 2019-044299 THE FOLLOWING COURSES: THENCE SOUTH 00°59'38" EAST A DISTANCE OF 61.49 FEET, THENCE SOUTH 0°44'47" EAST A DISTANCE OF 84.84 FEET, THENCE NORTH 89°10'04" EAST A DISTANCE OF 142.54 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 5 NORTH, THENCE SOUTH 63°09'41" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID STATE HIGHWAY 5 NORTH A DISTANCE OF 266.06 FEET TO THE SOUTHWEST CORNER OF DOCUMENT NUMBER 2019-044299, THENCE ALONG SAID WEST LINE THE FOLLOWING COURSES: THENCE NORTH 07°54'26" WEST LEAVING SAID RIGHT OF WAY LINE A DISTANCE OF 197.79 FEET, THENCE NORTH 08°13'22" WEST A DISTANCE OF 43.65 FEET, THENCE NORTH 87°34'25" EAST LEAVING SAID WEST LINE A DISTANCE OF 129.07 FEET TO THE POINT OF BEGINNING, CONTAINING 0.74 ACRES, MORE OR LESS.

TOGETHER WITH AND SUBJECT TO AN 20 FOOT WIDE INGRESS & EGRESS BASEMENT PER DOCUMENT NUMBER 2019-044299.



**PYLON SIGN PLACEMENT**

- LEGEND
- FOUND MONUMENT
  - ⊙ SET #5 REBAR/CAP #1506
  - ⊙ COMPUTED POINT
  - ⊙ CONTROLLING CORNER
  - FENCE
  - BOLLARD
  - GAS METER
  - TELEPHONE PEDESTAL
  - SEWER MANHOLE
  - SIGN
  - STORM WATER MANHOLE
  - SEWER CLEANOUT
  - POWER POLE
  - GUY WIRE
  - OVERHEAD POWER LINE CENTERLINE



**RASBERRY SURVEYING**  
 308 W. South Street  
 Benton, AR 72015  
 Office/Fax: (501) 860-6893  
 E-Mail: aaron@razsurvey.com

I hereby certify that the above plat represents a survey made by me or under my supervision on this day. No independent search for encumbrances, covenants, encumbrances, or any other facts which an accurate title search may disclose was performed.

FOR USE AND BENEFIT OF:  
 BDP HOLDINGS, LLC  
 AND  
 AMERICAN ABSTRACT & TITLE CO  
 PROPERTY ADDRESS:  
 31415 HIGHWAY 5 NORTH  
 BRYANT, AR 72019

FILE: C:\DRAWINGS\15-14WS 20\BDP HOLDINGS	FIELDWORK DATE: 7-21-22	DRAWN BY: DCR
STATE CODE: 500-015-14W-0-20-220-62-1506	PLAT DATE: 7-26-22	CHECKED BY: JAR
	JOB# 22-210	

To whom it may concern:

I, Brent Meddles, Property owner/Landlord of the property located at 3415 Hwy 5, Bryant AR 72019,

Do hereby give authorization to ARKANSAS SIGN & NEON, 8525 DISTRIBUTION DR., LITTLE ROCK, AR 72209 to apply for permits and erect signage for the above location.

I fully understand the current Construction Lien Law and authorize said contractor or authorized agents to sign for and authorize permits. Said contractors will meet or exceed Code requirements and meet NEC standards.

BY:   
LANDLORD/PROPERTY OWNER SIGNATURE

DATE: 8/3/2022

PRINTED NAME: Brent Meddles

ADDRESS: 9911 West Markham  
Little Rock, AR 72205



City of Bryant, Arkansas  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 8/15/2022

**Sign Co. or Sign Owner**

Name Custom Advertising  
 Address 23738 F-30  
 City, State, Zip Bryant, AR 72022  
 Phone 501-847-1000  
 Email Address JimmyParker65@gmail.com

**Property Owner**

Name Same  
 Address \_\_\_\_\_  
 City, State, Zip \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email Address \_\_\_\_\_

**GENERAL INFORMATION**

Name of Business Custom Advertising  
 Address/Location of sign 23738 F-30  
 Zoning Classification C-3

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

**READ CAREFULLY BEFORE SIGNING**

I [Signature], do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Pole	10'x40'	400	35'	25'	
B						
C						
E						
F						
G						







# Untitled Map

Write a description for your map.

## Legend

- 23738 I-30
- Church
- Cool Springs Pointe Mobile Home Park
- Feature 1
- Feature 2
- SIGN LOCATION





City of Bryant, Arkansas  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

Approved 3 Signs  
 Pole sign to DRC on 9/1/22 for  
 Approval.  
 -CL 8/19/22

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 08/03/2022

### Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON  
 Address 8525 DISTRIBUTION DR  
 City, State, Zip LITTLE ROCK AR 72209  
 Phone 501.562.3942  
 Email Address lora@arkansassign.com

### Property Owner

Name DOMINO'S - BRETT MEDDERS  
 Address 3415 HWY 5  
 City, State, Zip BRYANT AR 72019  
 Phone 501-944-3209  
 Email Address TOM.WHITEHEAD@MANDGPIZZA.COM

### GENERAL INFORMATION

Name of Business DOMINOS  
 Address/Location of sign 3415 HWY 5 BRYANT, AR 72019  
 Zoning Classification \_\_\_\_\_ **JOB COSTS \$11300.00**

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

**NR**  
**ARKANSAS**  
 SIGN & NEON

8525 DISTRIBUTION DR.  
 LITTLE ROCK, AR 72209  
 501-562-3942 P  
 501-562-6651 F

ALL TRADES, DESIGNS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING  
 EXCEPT FOR REGISTERED TRADEMARKS ARE OWNED BY THE MANUFACTURER AND ARE REPRODUCED WITHOUT  
 WRITTEN AUTHORIZATION IS OFFENSES GIVEN.  
 CUSTOMER IS RESPONSIBLE TO OBTAIN ANY ALL NECESSARY APPROVALS IF APPLICABLE.  
 DELIVERY AND PERMITTING ARE 4-6 WEEKS. OUR GOALS IS TO DELIVER IN A TIMELY MANNER  
 BARRING UNFORESEEN CIRCUMSTANCES

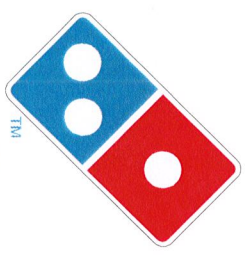
REPRESENTATIVE: DAVID ASHLEY  
 DATE/DWG: 08/02/2022 - DWG1  
 DESIGNER: LORA RAND REV/2  
 CLIENT: DOMINO'S  
 LOCATION: 3415 AR-5, Bryant, AR 72019  
 SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

**Sign A**

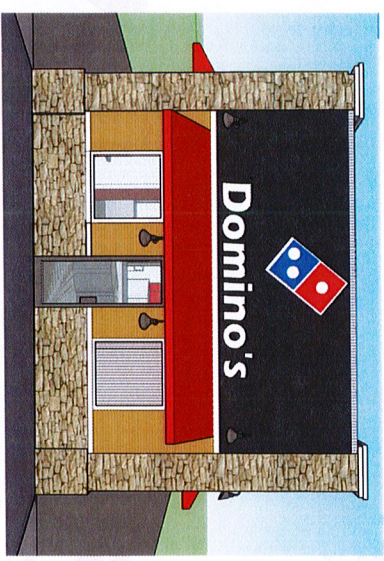
\* Revised Sign to  
 Meet SF Requirement.

49.19SF

SOUTH ELEVATION=19' X 26'



**Domino's**



STACKED

DOMINO'S BLUE-FACED IN-LINE RACEWAY CHANNEL LETTER SIZE SPECIFICATIONS

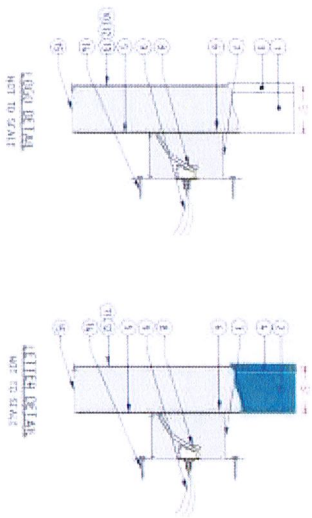
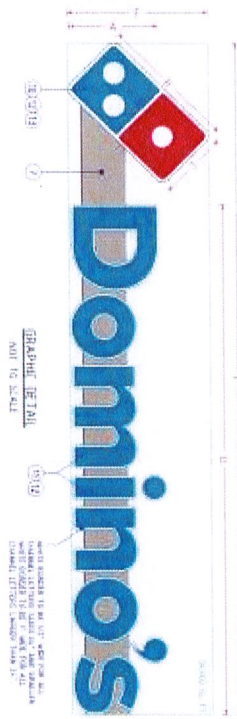
LETTER "D" HEIGHT	LOGO HEIGHT	LOGO LENGTH	COPY LENGTH	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C	D	E	F			
16"	2'-1 1/16"	1'-0 7/8"	7'-9 9/16"	2'-1 9/16"	10'-3 1/4"	0.65	21.86	8.16
18"	2'-4 3/16"	1'-2 1/2"	8'-9 5/16"	2'-4 3/4"	11'-6 11/16"	0.65	27.67	10.33
20"	2'-7 3/8"	1'-4 1/8"	9'-9"	2'-7 15/16"	12'-10 1/16"	0.65	34.16	12.75
24"	3'-1 5/8"	1'-7 3/8"	11'-8 3/8"	3'-2 5/16"	15'-4 7/8"	0.65	49.19	18.36
30"	3'-11"	2'-0 3/16"	14'-1 1/2"	3'-11 7/8"	19'-3 1/8"	0.55	76.86	28.69
36"	4'-8 7/16"	2'-5"	17'-6 9/16"	4'-9 7/16"	23'-1 3/8"	1.10	110.68	41.32



**Sign B**

3'11" X 19'3.125" = 28.69 ACTUAL SF/BOXED IS 76.86

**WEST ELEVATION 19' X 84'**



**DOMINO'S BLUE-FACED IN-LINE RACEWAY CHANNEL LETTER SIZE SPECIFICATIONS**

LETTER "D" HEIGHT	LOGO HEIGHT	LOGO LENGTH	COPY LENGTH	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C	D	E	F			
16"	2'-1 1/16"	1'-0 7/8"	7'-9 9/16"	2'-1 9/16"	10'-3 1/4"	0.65	21.86	8.16
18"	2'-4 3/16"	1'-2 1/2"	8'-9 5/16"	2'-4 3/4"	11'-6 11/16"	0.65	27.67	10.33
20"	2'-7 3/8"	1'-4 1/8"	9'-9"	2'-7 15/16"	12'-10 1/16"	0.65	34.16	12.75
24"	3'-1 5/8"	1'-7 3/8"	11'-8 3/8"	3'-2 5/16"	15'-4 7/8"	0.65	49.19	18.26
30"	3'-11"	2'-0 3/16"	14'-7 1/2"	3'-11 7/8"	19'-3 1/8"	0.65	76.86	28.69
36"	4'-8 7/16"	2'-5"	17'-6 9/16"	4'-9 7/16"	23'-1 3/8"	1.10	110.68	41.32





ALL WORKS, DESIGNS AND ARRANGEMENTS INDICATED OR REPRESENTED BY THIS DRAWING EXCEPT FOR REGISTERED TRADEMARKS ARE OWNED BY AND ARE THE PROPERTY OF ARKANSAS SIGN & NEON. VISIT US AT WWW.ARKSIGN.COM FOR A COMPLETE LIST OF SERVICES GIVEN. CUSTOMER IS RESPONSIBLE TO OBTAIN ANY/ALL NECESSARY APPROVALS IF APPLICABLE. DELIVERY TIMES VARY BY AREA OF THE STATE. OUR GOALS IS TO DELIVER IN A TIMELY MANNER AND BE RESPONSIVE TO ALL OF YOUR NEEDS. OUR GOALS IS TO DELIVER IN A TIMELY MANNER DURING UNUSUAL CIRCUMSTANCES.

Sign C

REPRESENTATIVE: DAVID ASHLEY

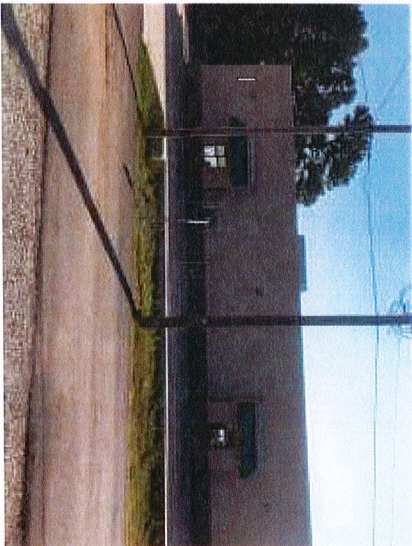
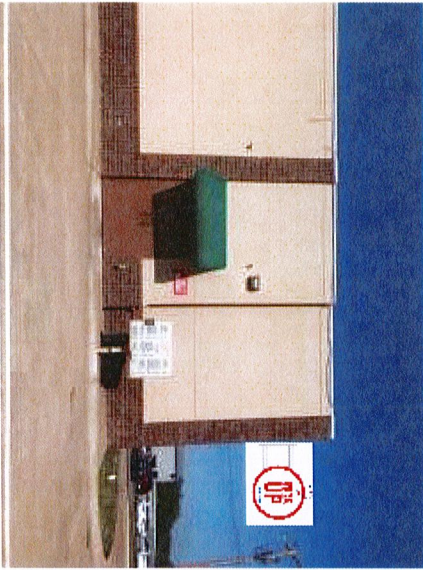
DATE/DWG: 08/02/2022 - DWG1

DESIGNER: LORA RAND

CLIENT: DOMINO'S  
 LOCATION: 3415 AR-5, Bryant, AR 72019

SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

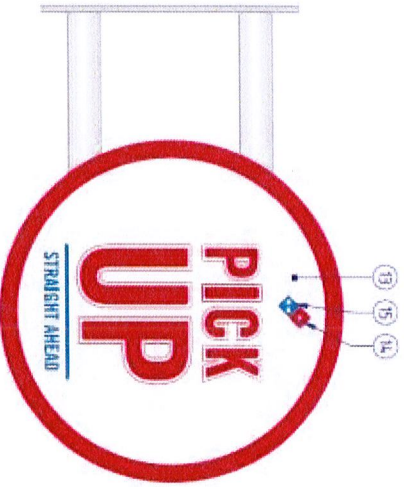
INSTALLED FLAG-MOUNTED ON WEST ELEVATION



NO.	PART DESCRIPTION
1	DOMINO'S PIZZA 2' X 2' PICK-UP FLAG MOUNT CONSTRUCTION SPECIFICATIONS
2	603" ALUMINUM SKIN
3	125" X 1" ALUMINUM STANDING LEG
4	1 1/2" ALUMINUM RETAINER
5	2" X 1/4" PIPE
6	1" X 1/8" ALUMINUM STRAP
7	1" X 1/8" STEEL STRAP
8	MOUNTING PLATE
9	60# TUBER WHITE LED'S AS REQUIRED
10	LED POWER SUPPLIES AS REQUIRED
11	DISCONNECT SWITCH
12	ELECTRICAL OUT - THRU BOTTOM POLE
13	18" WHITE SOLAR GRADE PAW-FORWARD POLYCARBONATE FACE
14	3M 3330-331L RED TRANSLUCENT FILM LIST SURFACE
15	3M 3330-1271 INTENSE BLUE TRANSLUCENT FILM LIST SURFACE

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- ALUMINUM CHANNEL LETTER CONSTRUCTION
- 2" ALUMINUM RETAINER
- EXTERIOR FINISH: PAINT TO MATCH PMS 186 RED  
 CABINET - PAINT TO MATCH PMS 186 RED  
 MOUNTING PLATE & POLES - PAINT MP CLOUD SILVER METALLIC METALLIC 18103
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- RETAINERS REMOVABLE FOR SERVICE ACCESS
- UL LISTED
- ELECTRICAL: 0.32 AMP/5/120 VOLTS
- SQUARE FOOTAGE:  
 BOXED = 4.00  
 ACTUAL = 3.14



GRAPHIC DETAIL  
 SCALE: 1" = 1'-0"

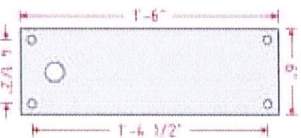
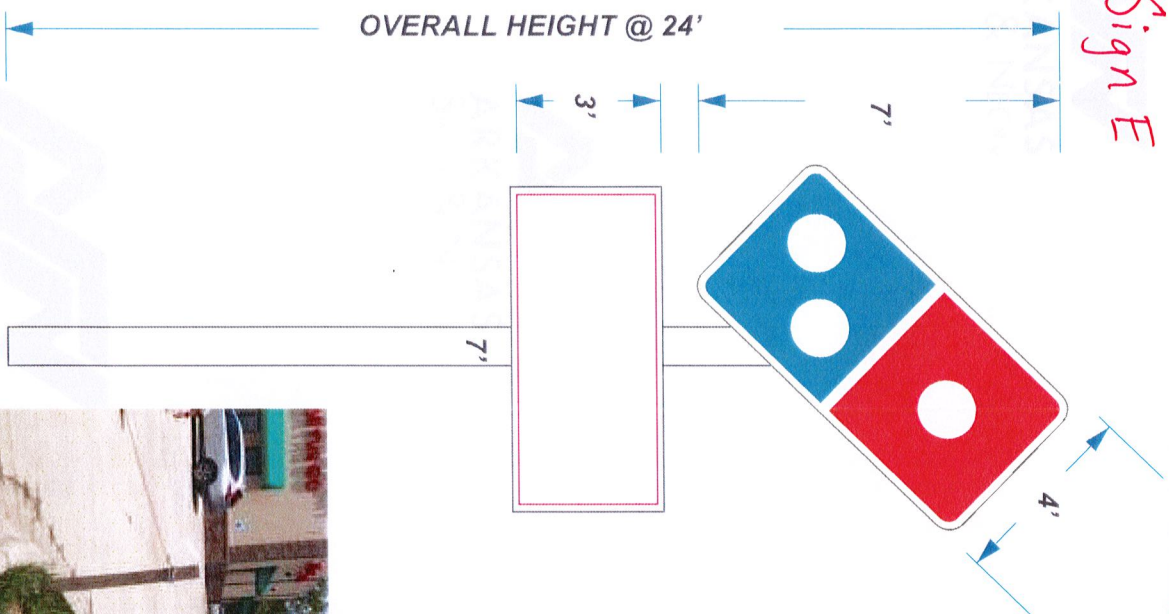


PLATE DETAIL  
 SCALE: 1" = 1'-0"

Sign E



REPRESENTATIVE: DAVID ASHLEY

DATE/DWG: 08/02/2022 - DWG1

DESIGNER: LORA RAND

CLIENT: DOMINO'S  
 LOCATION: 3415 AR-5, Bryant, AR 72019

SIGNATURE OF APPROVAL REQUIRED FOR PRODUCTION

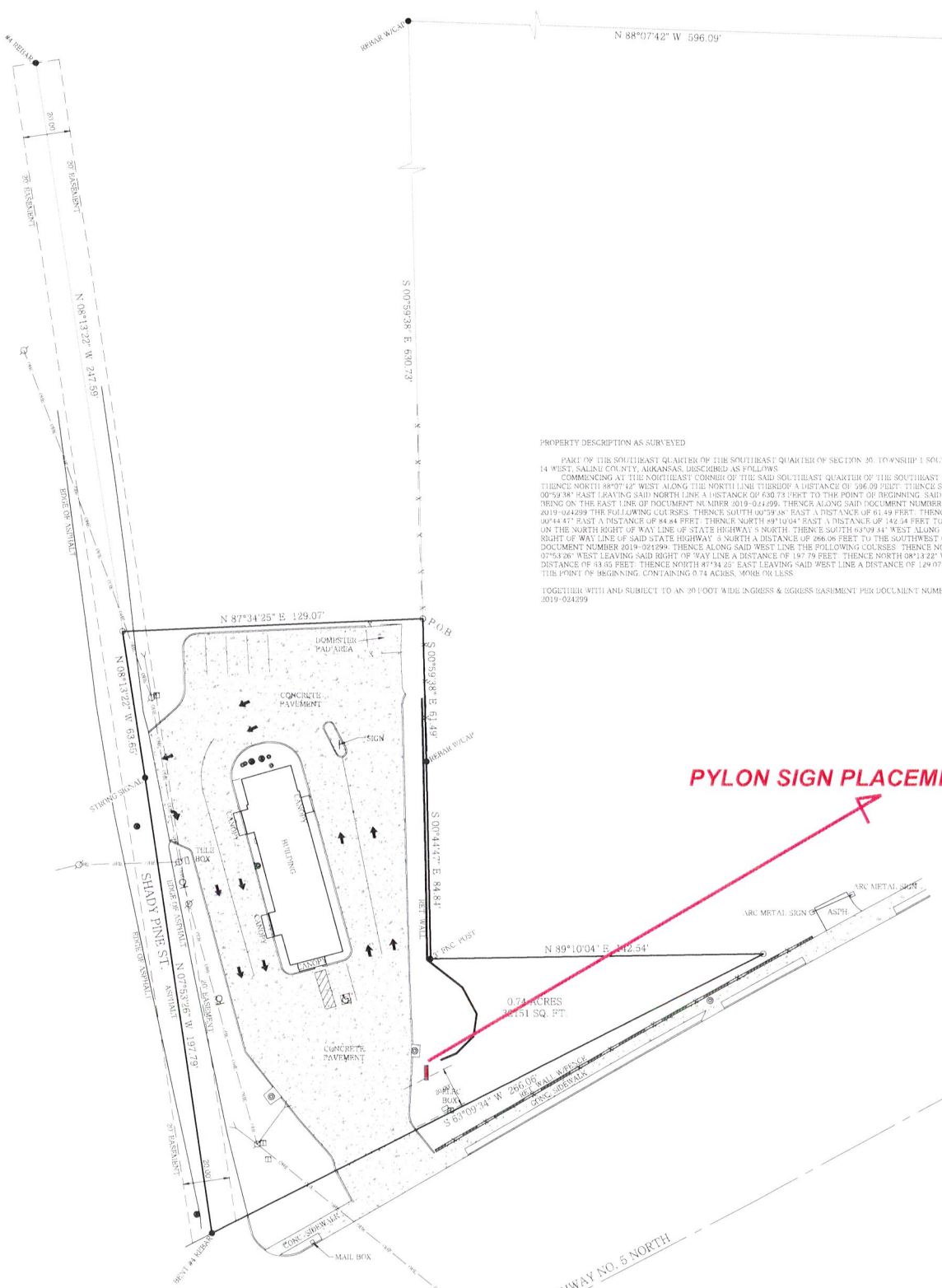
NE CORNER  
 BR. 1/4 - SR. 1/4  
 SECTION 20  
 T. 15 - S. R. 14 - W



PROPERTY DESCRIPTION AS SURVEYED

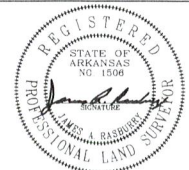
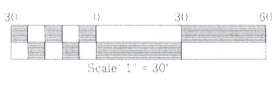
PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE NORTHEAST CORNER OF THE SAID SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER, THENCE NORTH 89°07'42" WEST ALONG THE NORTH LINE THEREOF A DISTANCE OF 596.09 FEET, THENCE SOUTH 00°52'58" EAST LEAVING SAID NORTH LINE A DISTANCE OF 630.73 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EAST LINE OF DOCUMENT NUMBER 2019-044299, THENCE ALONG SAID DOCUMENT NUMBER 2019-044299 THE FOLLOWING COURSES: THENCE SOUTH 00°59'38" EAST A DISTANCE OF 61.49 FEET, THENCE SOUTH 0°44'47" EAST A DISTANCE OF 84.84 FEET, THENCE NORTH 89°10'04" EAST A DISTANCE OF 142.54 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF STATE HIGHWAY 5 NORTH, THENCE SOUTH 63°09'41" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID STATE HIGHWAY 5 NORTH A DISTANCE OF 266.06 FEET TO THE SOUTHWEST CORNER OF DOCUMENT NUMBER 2019-044299, THENCE ALONG SAID WEST LINE THE FOLLOWING COURSES: THENCE NORTH 07°54'26" WEST LEAVING SAID RIGHT OF WAY LINE A DISTANCE OF 197.79 FEET, THENCE NORTH 08°13'22" WEST A DISTANCE OF 43.65 FEET, THENCE NORTH 87°34'25" EAST LEAVING SAID WEST LINE A DISTANCE OF 129.07 FEET TO THE POINT OF BEGINNING, CONTAINING 0.74 ACRES, MORE OR LESS.

TOGETHER WITH AND SUBJECT TO AN 20 FOOT WIDE INGRESS & EGRESS BASEMENT PER DOCUMENT NUMBER 2019-044299.



**PYLON SIGN PLACEMENT**

- LEGEND
- FOUND MONUMENT
  - ⊙ SET #5 REBAR/CAP #1506
  - ⊙ COMPUTED POINT
  - ⊙ CONTROLLING CORNER
  - FENCE
  - BOLLARD
  - GAS METER
  - TELEPHONE PEDESTAL
  - SEWER MANHOLE
  - SIGN
  - STORM WATER MANHOLE
  - SEWER CLEANOUT
  - POWER POLE
  - GUY WIRE
  - OVERHEAD POWER LINE CENTERLINE



**RASBERRY SURVEYING**  
 308 W. South Street  
 Benton, AR 72015  
 Office/Fax: (501) 860-6893  
 E-Mail: aaron@razsurvey.com

I hereby certify that the above plat represents a survey made by me or under my supervision on this day. No independent search for encumbrances, covenants, encumbrances, or any other facts which an accurate title search may disclose was performed.

FOR USE AND BENEFIT OF:  
 BDP HOLDINGS, LLC  
 AND  
 AMERICAN ABSTRACT & TITLE CO  
 PROPERTY ADDRESS:  
 31415 HIGHWAY 5 NORTH  
 BRYANT, AR 72019

FILE: C:\DRAWINGS\15-14WS 20\BDP HOLDINGS	FIELDWORK DATE: 7-21-22	DRAWN BY: DCR
STATE CODE: 500-015-14W-0-20-220-62-1506	PLAT DATE: 7-26-22	CHECKED BY: JAR
	JOB# 22-210	

To whom it may concern:

I, Brent Meddles, Property owner/Landlord of the property located at 3415 Hwy 5, Bryant AR 72019,

Do hereby give authorization to ARKANSAS SIGN & NEON, 8525 DISTRIBUTION DR., LITTLE ROCK, AR 72209 to apply for permits and erect signage for the above location.

I fully understand the current Construction Lien Law and authorize said contractor or authorized agents to sign for and authorize permits. Said contractors will meet or exceed Code requirements and meet NEC standards.

BY:   
LANDLORD/PROPERTY OWNER SIGNATURE

DATE: 8/3/2022

PRINTED NAME: Brent Meddles

ADDRESS: 9911 West Markham  
Little Rock, AR 72205