



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: May 02, 2024 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Senior Tequila - 2919 N Reynolds - Site Plan Revision

Requesting Approval for adjusting location of retaining wall to create patio area.

- [0851-PLN-01.png](#)
- [0851-PLN-02.jpeg](#)

2. Meramec Specialties Co. - 6139 HWY 5 - Temporary Business

Kevin Bailey - Requesting Approval for Temporary Business for Fireworks Stand

- [0850-APP-02.pdf](#)
- [0850-PLN-01.pdf](#)
- [0850-APP-01.pdf](#)

3. TNT Fireworks - 400 Bryant Ave - Temporary Business

Heather Whaley - Requesting Approval for Temporary Business for Fireworks Stand

- [0852-PLN-01.pdf](#)
- [0852-APP-01.pdf](#)

4. Bryant Schools - High School Building Addition

Minton Engineering - Requesting Recommendation for Site Plan Approval

- [0848-DRN-02.pdf](#)
- [0848-RSP-01.pdf](#)
- [0848-PLN-02.pdf](#)

5. Marketplace II Subdivision Lot 16 and Lot 19 - Site Plan Approval

GarNat Engineering - Requesting Approvals for Site Plans for Lots 16 and 19

- [0853-ELV-01.pdf](#)
- [0854-LND-01.pdf](#)
- [0854-PLN-01.pdf](#)
- [0853-LND-01.pdf](#)
- [0853-PLN-01.pdf](#)

6. Legacy Woods - PUD Subdivision

Hope Consulting - Requesting Recommendation for Approval of PUD Zoning Plan

- [0855-SRVY-01.pdf](#)
- [0855-APP-02.pdf](#)
- [0855-APP-01.pdf](#)
- [0855-ZPLN-01.pdf](#)
- [0855-LTR-01.pdf](#)

7. Roman Heights Subdivision - Multi-use Trail

Hope Consulting - Requesting Discussion on Trail

Staff Approved

8. The Breakroom - 1812 N Reynolds Road - Sign Permit

Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

- [92227-SGNAPP-01.pdf](#)

9. Magnolia Title - 3417 Market Place Ave - Sign Permit

Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

- [92231-SGNAPP-01.pdf](#)

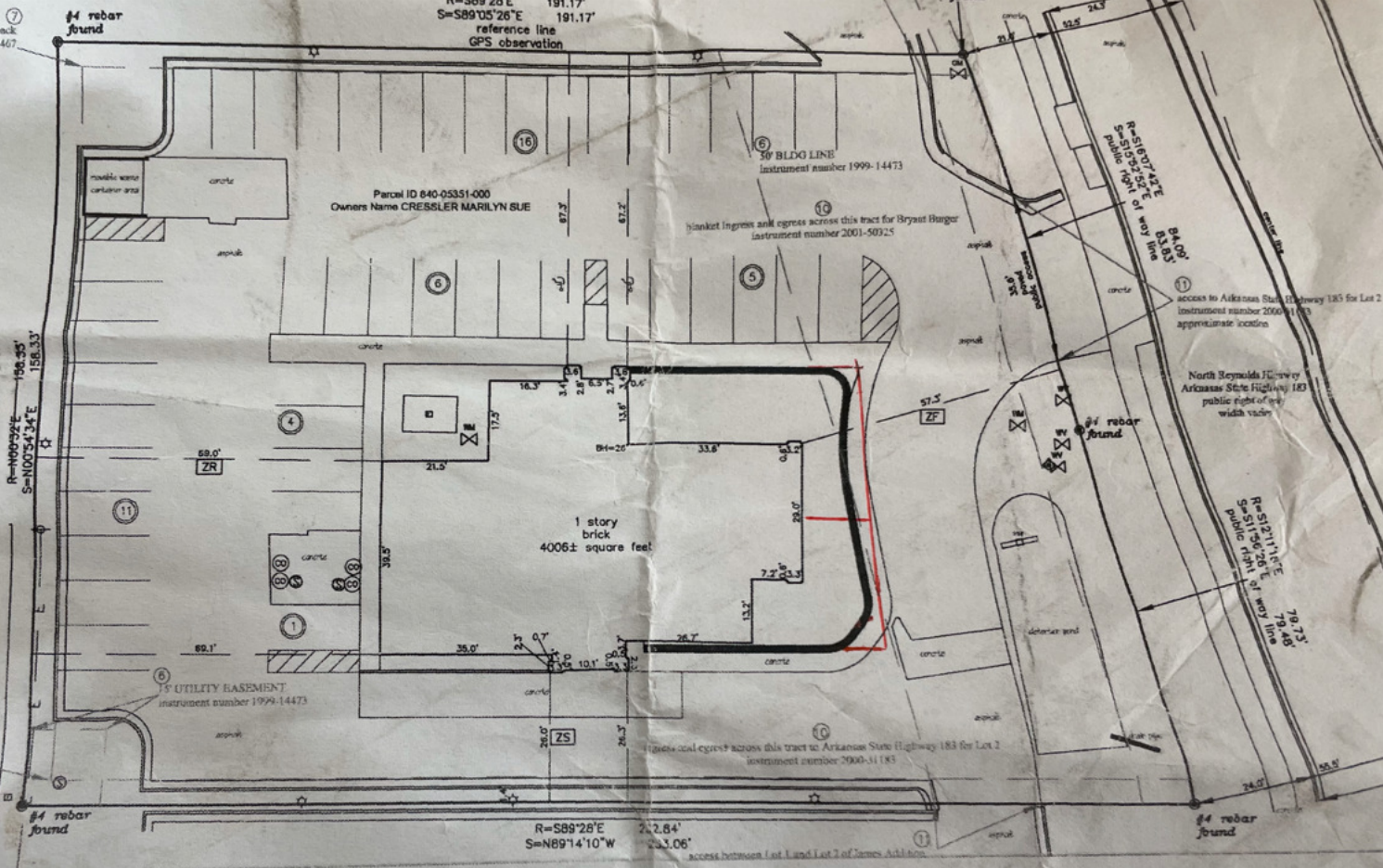
Permit Report

Adjournments

5' building setback
instrument number 1999-1447

191.17' S=SB9°05'26"E
191.17' reference line
GPS observation

Parcel ID 840-05353-000
Owners Name DSK PROPERTIES LLC
Lot 3
James Addition
plat book 1999, page 14473



12'
From wall to

Owner Name FRP BRYANT LLC

R=S89'28"E 191.17'
S=S89'05'26"E 191.17'

reference line
GPS observation

10' building, parking lot or other structure setback
Instrument number 1999-14467

50' BLDG LINE
Instrument number 1999-14473

Parcel ID 640-05351-000
Owners Name CRESSLER MARILYN SUE

Blanket ingress and egress across this tract for Bryant Burger
Instrument number 2001-50325

access to Arkansas State Highway 183 for Lot 2
Instrument number 2000-1183
approximate location

North Reynolds Highway
Arkansas State Highway 183
public right of way
width varies

R=S121'18"E 79.73'
S=S11'56'26"E 79.48'

R=S16'07'42"E 84.09'
S=S15'52'52"E 83.85'

POINT OF BEGINNING
northeast corner of
James Addition
Instrument number 1999-14473
rebar found

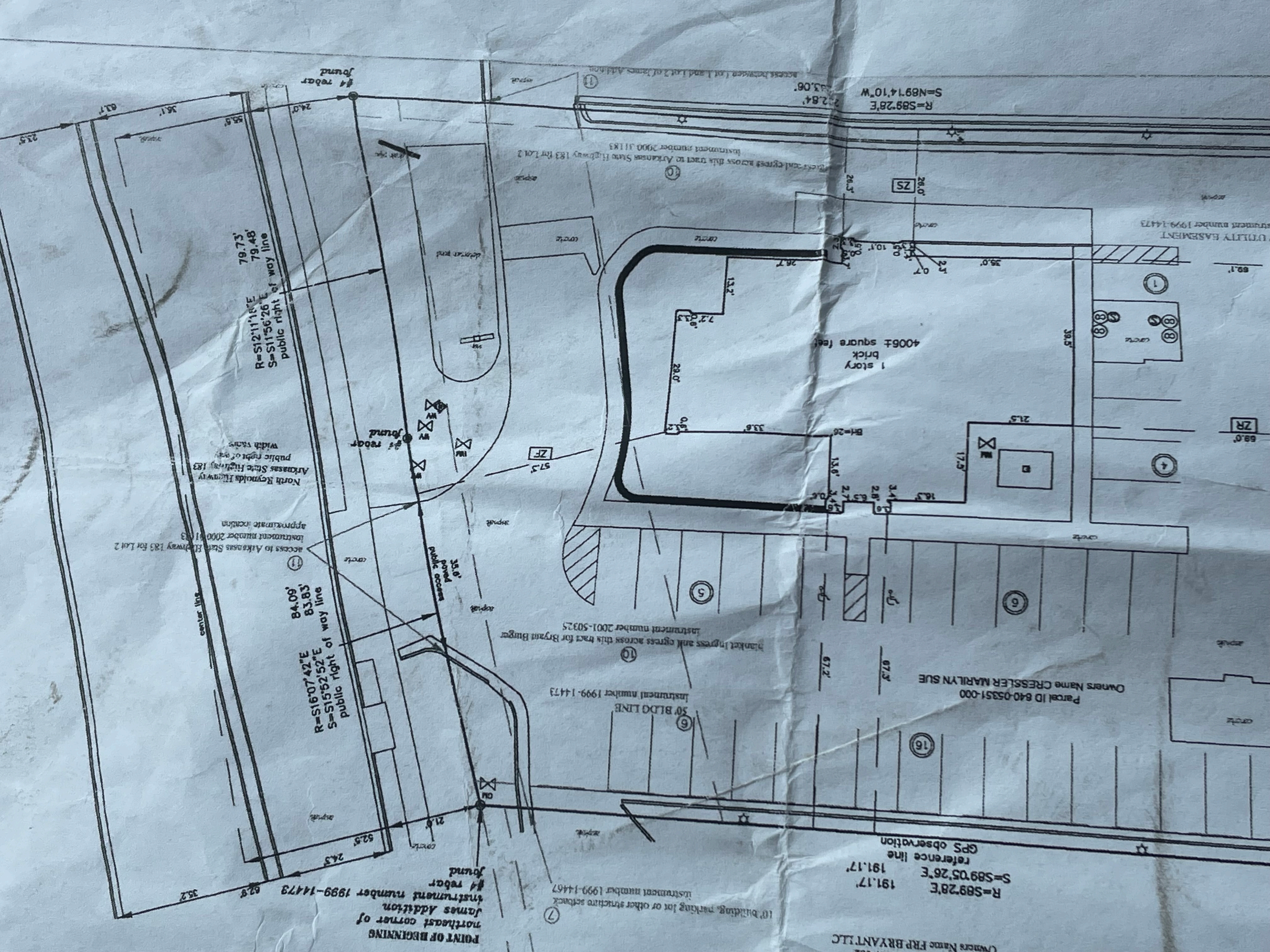
rebar found

rebar found

35.6' paved public access

1 story brick square feet
406± square feet

UTILITY EASEMENT
Instrument number 1999-14473



April , 2024

Bryant Planning Commission
Bryant City Hall
210 SW 3rd Street
Bryant, AR 72022

RE: Fireworks application for 6905 Highway 5 in Bryant, AR

Bryant Planning and Building Department:

The purpose of this letter is to notify the Bryant Planning Commission that Meramec Specialty Company has permission to sell fireworks at 6905 Highway 5 North in Bryant, AR during the period of June 10, 2024 through July 10, 2024. This is the same location that Meramec Specialty Company has operated at during previous years. I have attached the following items that are required in order to receive a fireworks permit in Bryant, AR.

1. A temporary business license application.
2. \$25.00 application fee.
3. A copy of our site plan.
4. A letter of permission from the property owner.
5. A copy of our Surety Bond
6. A copy of a State of Arkansas fireworks permit.

If you have any questions or comments, please email me at kbaileyar@aol.com or call me at 901.409.1884.

Best regards,

MERAMEC SPECIALTY COMPANY

Kevin A. Bailey

MR. RICK JONES
PINNACLE IMPROVEMENTS, LLC
10601 INTERSTATE 30
LITTLE ROCK, AR 72209

August 3, 2023

City of Bryant Planning Commission:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks on my property during the period of June 15, 2024 through July 10, 2024. The physical address of the property is 6905 Highway 5 in Bryant, Arkansas.

Sincerely,

PINNACLE IMPROVEMENTS, LLC

A handwritten signature in black ink that reads "Rick Jones". The signature is written in a cursive style with a large, looped "R" and "J".

Rick Jones



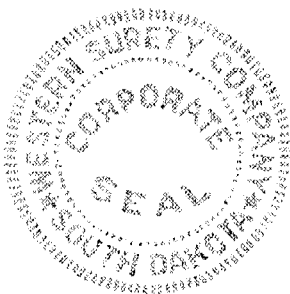
Western Surety Company

CONTINUATION CERTIFICATE

Western Surety Company hereby continues in force Bond No. 15146913 briefly described as TEMPORARY BUSINESS PERMIT CITY OF BRYANT, ARKANSAS,
 _____,
 for MERAMEC SPECIALTY COMPANY
 _____, as Principal,
 in the sum of \$ ONE THOUSAND AND NO/100 Dollars, for the term beginning May 20, 2024, and ending May 20, 2025, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 29th day of March, 2024.



WESTERN SURETY COMPANY

By Larry Kasten
 Larry Kasten, Vice President

THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.

DRAYTON INSURANCE BROKERS, INC.

2500 CENTER POINT ROAD, SUITE 301
BIRMINGHAM, ALABAMA 35215
PHONE: (205) 854-5806
FAX: (205) 854-5899

POST OFFICE BOX 94067
BIRMINGHAM, ALABAMA 35220
EMAIL: dib@draytonins.com

CERTIFICATE OF INSURANCE

NO. 430303

We certify that insurance is afforded as stated below. This Certificate does not affirmatively or negatively amend, extend or alter the coverage afforded by the insurance policy and the insurance afforded is subject to all the terms, exclusions and conditions of the policy.

INSURER	Admiral Insurance Company	POLICY NO. CA000018967-11
NAMED INSURED	Atomic Fireworks Inc. of Arkansas Atomic Fireworks Inc. of Missouri Meramec Specialty Company P.O. Box 305 Arnold, Missouri 63010	T.E.A. Enterprises, Inc. Pacific Specialty Company West Alton Properties, Inc ATLG, LLC
POLICY TERM	March 1, 2024 to March 1, 2025; Both Days 12:01 A.M. Standard Time	
COVERAGE	Premises-Operations Liability:	<input checked="" type="checkbox"/> Occurrence Basis <input type="checkbox"/> Claims Made Basis
LIMIT OF LIABILITY	\$1,000,000 each occurrence, \$10,000,000 general aggregate The limit of liability shall not be increased by the inclusion of more than one insured or additional insured.	

INSURED OPERATIONS The sale of consumer fireworks (1.4G) and related products at the **Insured location**, during the **period of operation**.

It is certified that, for the period of operation stated below and when named below as such, this policy includes as **Additional Insureds** 1) the operator(s), sponsor(s), promoter(s), organizer(s), of the **Insured Premises** used principally for the retail sale of consumer fireworks supplied by the Named Insureds and/or 2) the owner(s), manager(s), tenant(s), mortgagee(s) (including other entities having similar interests), of the property on which the **Insured Premises** is located and/or 3) the licensing authority issuing a permit or license for the operation of the **Insured Premises** and/or 4) any entity for which the Named Insured is required, by written contract, to provide insurance such as is afforded by the terms of this policy.

**NAME(S) OF
ADDITIONAL INSURED(S)**

Pinnacle Improvements, LLC- Property Owner
Meramec Specialty Company-Stand Owner and Operator
Stand Manager and Sub-Operator
Licensing Authorities-State of Ar., City of Bryant

**ADDRESS OF
INSURED PREMISES** An area measuring approximately 150' x 150' whose physical address is 6139 Hwy 5 N. in
Bryant, Arkansas. #127

PERIOD OF OPERATION March 1, 2024 through February 28, 2025

It is certified that this policy requires a 30 day mutual notice of cancellation between the Insurer and the Named Insured. In the event of such cancellation we will endeavor to mail 10 days written notice to the Additional Insured(s), whose name and address is shown hereon, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer and/or the undersigned.

DRAYTON INSURANCE BROKERS, INC.


A.J. STRINGER, PRESIDENT

March 1, 2024
DATE OF ISSUE

State of Arkansas
ARKANSAS SALES AND USE TAX PERMIT

MERAHEC SPECIALITY CO

DATE ISSUED:

P.O. BOX 1150

PERMIT NUMBER: 035048-18-001

WEST MEMPHIS AR 72301

DLN:

DATE OPENED: 01/01/1965

SIC: 5042

TOYS AND HOBBY GOODS AND SUPPLIES

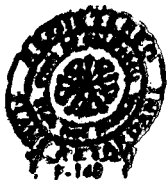
EXEMPTION: 81 THIS BUSINESS IS EXEMPT FROM SALES TAX ONLY FOR THE PURCHASES OF
GOODS TO BE RESOLD IN THE NORMAL COURSE OF BUSINESS.



THIS PERMIT IS VALID UNTIL IT IS CANCELED AND SURRENDERED BY THE PERMIT HOLDER OR REVOKED BY THE COMMISSIONER OF REVENUES.

THIS PERMIT MUST BE SURRENDERED IF BUSINESS IS SOLD, DISCONTINUED OR LOCATION CHANGED.

WHEN THIS PERMIT IS SURRENDERED FOR ANY OF THE ABOVE REASONS, YOU MUST REPORT AND PAY ANY SALES OR USE TAX PLUS ANY PENALTIES OR INTEREST THAT IS OWED BY THIS BUSINESS. FAILURE TO PAY THESE TAXES WILL RESULT IN A LIEN BEING PLACED AGAINST THE STOCK AND FIXTURES OF THIS BUSINESS AND THE SAME IS ENFORCEABLE AGAINST PURCHASERS AND THIRD PARTIES.



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured

02/07/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC

ADDRESS 3008 EVA DRIVE

CITY PINE BLUFF

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-430A5

FMVSS-302

CANULC-5100

EPA-147

A-A-5530C

SNYDER MANUFACTURING INC. BY Michael S. Snyder
PRV 13100 DARK BLUE 61" HI-GLOSS

TWO SUPERVISOR, Quality Control

STYLE 18347

CONTROL NO. 18347

CUSTOMER ORDER NO. VET RAY

SNYDER S-ORDER NO. 215563

DATE PROCESSED 02/07/11

YARDS OR QUANTITY 75

DATE CERTIFIED 02/22/11

4.16-6-22-02



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured

01/05/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC

ADDRESS 3008 EVA DRIVE

CITY PINE BLUFF

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-430A5

FMVSS-302

CANULC-5100

A-A-5530C

SNYDER MANUFACTURING INC. BY Michael S. Snyder

TWO SUPERVISOR, Quality Control

STYLE PRV 13100 WHITE 61" HI-GLOSS

CONTROL NO. 19254

CUSTOMER ORDER NO. RAY

SNYDER S-ORDER NO. 220003

DATE PROCESSED 01/03/11

YARDS OR QUANTITY 300

DATE CERTIFIED 01/21/11

4.16-6-22-02



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date Manufactured

06/02/10

140.01

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TEXTS AND AMING INC

CITY PINE BLUFF

ADDRESS 3004 EVA DRIVE

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-45006

FMVSS-502

CANULC-5100

A-A-68300

SNYDER MANUFACTURING INC. BY

STYLE RIV 13100 WHITE 61" HI 61060

TRD Supervisor, Quality Control

CONTROL NO. 18429

SNYDER S-ORDER NO. 214670

CUSTOMER ORDER NO. RAY

YARDS OR QUANTITY 375

DATE PROCESSED 06/02/10

DATE CERTIFIED 06/04/10

140-404-N



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date Manufactured

06/02/10

140.01

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TEXTS AND AMING INC

CITY PINE BLUFF

ADDRESS 3008 EVA DRIVE

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-45006

FMVSS-502

CANULC-5100

A-A-68300

SNYDER MANUFACTURING INC. BY

STYLE RIV 13100 RED 61" HI 61060

TRD Supervisor, Quality Control

CONTROL NO. 19888

SNYDER S-ORDER NO. 218370

CUSTOMER ORDER NO. RAY

YARDS OR QUANTITY 375

DATE PROCESSED 06/02/10

DATE CERTIFIED 06/04/10



THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED IN THE PLACE OF BUSINESS

Office of Fire Services

Number

RPJ.0000005

State Fire Marshal

Date of Issue

03/25/2024

FIREWORKS RETAIL PERMIT

This is to certify that

Meramec Specialty Company

Is duly licensed to transact business in the State of Arkansas as a retailer

Address: 6139 Hwy 5 North Bryant, AR 72022

Issued By: Atomic of Arkansas

License Number: FWJ.0001201

LICENSE EXPIRES: 04/30/2025

AJ GARY

DIRECTOR and STATE
HOMELAND SECURITY ADVISOR



Jake Dennis Free

Jake Dennis Free
INTERIM STATE FIRE MARSHAL

NON TRANSFERABLE

6139 HWY 5 N. Bryant, AR 72022

Tent Location and Distances

Legend

 Hornet Ice

Dumpster

PortoPotty

Trailer

Tent

90'

30'

52'

Hornet Ice

5

100 ft



Google Earth

Image Landsat / Copernicus

6905 HWY. 5 N



© 2012 Google

Google earth

Google earth

feet
meters

0 100 200 300 400

100 400





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943



Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at www.cityofbryant.com under the Community Development tab.

Date: 4-2024

Business Information:

Name Meramec Specialty Co. dba. Fireworks City
 Federal Tax Employer ID Number 43-0762804
 Arkansas State Sales Tax Number 035048-18-001
 Location of Proposed Temporary Business 6905 Hwy 5 N., Bryant AR, 72012
6139

Business Owner:

Name Mark Loyd
 Address P.O. Box 1150
West Memphis, AR 72303
 Phone (870) 735-1753
 Email Kristi.loyd@aol.com

Contact Person:

Name Kevin Bailey
 Address 5505 Chesterfield Cove
Bartlett, TN, 38134
 Phone (901) 409-1884
 Email Kbaileyar@aol.com

Checklist for Submission

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
 - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
 - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
 - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

READ CAREFULLY BEFORE SIGNING

I KEVIN BAILEY, do hereby certify that all information contained within this application is true and correct. I further certify that I agree to and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature Kevin Bailey

Temporary Business Application

City of Bryant

Date: 4-2024

Name of Business: Melamec Specialty Co. dba "Fireworks City"

Federal Tax Employer Identification Number: 43-0762804

Arkansas State Sales Tax Number: 035048-18-001

Type of Business: Fireworks - Retail

Location of proposed Temporary Business: 605 Hwy 5 N., Bryant AR. 72072
639

Parcel Number of Location of proposed Temporary Business: _____

Owner Mailing Address: P.O. Box 1150, West Memphis, AR. 72303

Contact Person: Kevin Bailey

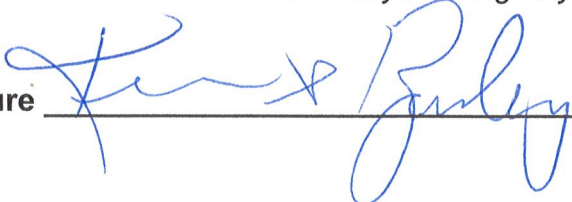
Daytime Phone Number: (870) 735-1753 Evening Phone Number: (901) 409-1884

Please check the category you are applying for. Permits cannot exceed the following time limits:

<input type="checkbox"/>	Carnivals	30 Days
<input checked="" type="checkbox"/>	Fireworks stands or tents	30 Days
<input type="checkbox"/>	Christmas tree stands, tents or lots	60 Days
<input type="checkbox"/>	General commercial sales stands, tents or lots	90 Days
<input type="checkbox"/>	Concession/Refreshment stands/Food Service	180 Days

Beginning Date Requested June 17, 2024 Ending Date Requested July 17, 2024

I hereby certify the above to be true and correct, and state that I am operating a business in accordance with the city's zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature 

FAR0153-BRYANT
WAL-MART #3230
400 BRYANT AVE.
BRYANT, AR 72022
SALINE COUNTY
TENT WILL BE PLACED IN ROW 12





City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943



Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at www.cityofbryant.com under the Community Development tab.

Date: 03.22.2024

Business Information:

Name TNT FIREWORKS

Federal Tax Employer ID Number 63-0813092

Arkansas State Sales Tax Number 00286128

Location of Proposed Temporary Business 400 BRYANT AVE, BRYANT, AR 72022

Business Owner:

Name TERRY ANDERSON

Address 4511 HELTON DRIVE
FLORENCE, AL 35630

Phone 256.764.6131

Email _____

Contact Person:

Name HEATHER WHALEY

Address 4003 HELTON DRIVE
FLORENCE, AL 35630

Phone 256.246.0121

Email WHALEYH@TNTFIREWORKS.COM

Checklist for Submission

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
(Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
 - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
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 - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

READ CAREFULLY BEFORE SIGNING

I HEATHER WHALEY, do hereby certify that all information contained within this application is true and correct. I further certify that I agree too and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

~~Owners~~ Signature _____

AGENT FOR TNT FIREWORKS

Heather M's Whaley



STATEMENT OF PURPOSE

American Promotional Events dba TNT Fireworks is submitting for approval for the attached application.

Location address: 400 Bryant Avenue, Bryant, AR 72022

The purpose is to sell Arkansas approved fireworks in a temporary tent from June 20th 2024 - July 5th 2024. The tent will be erected three days prior to the sale and removed within two days of completion of the sale. The hours of operation will be from 9am-10pm, as permitted by local location ordinances.

There will be two fire extinguishers readily accessible. "No Smoking" and age limit signs will be posted and enforced. Arkansas State Fireworks Sales Permits will be obtained prior to the sale date and will be posted on-site along with our insurance and Certificate of Authority. There will be a minimum of two people onsite at all times and the product will be secured 24/7 to ensure safety.

Please forward any processed permits to:

4003 Helton Dr.
Florence, AL 35630
Attn: Heather Whaley

whaleyh@tntfireworks.com
(for emailing permits)

If you have any questions, please do not hesitate to call me at 256.246.0121.

Sincerely,
Heather Whaley

A handwritten signature in cursive script that reads "Heather Whaley".

Stand & Tent East - Regional Administrative & Permitting Coordinator
whaleyh@tntfireworks.com

AMERICAN PROMOTIONAL EVENTS, INC.
P.O. BOX 1318 · 4511 HELTON DRIVE · FLORENCE, AL 35630
PHONE (256) 764-6131 · FAX (205) 533-6043
www.tntfireworks.com



702 SW 8th Street
Bentonville, AR 72716
Pete.Rosen@walmart.com

August 17, 2023

To Whom It May Concern,

American Promotional Events, Inc. dba TNT Fireworks is an approved National Supplier to conduct fireworks promotions on our Walmart parking lots where this type of promotion is legal. All stores have been researched and approved by the Walmart Realty Department. The approximate time frame for the promotions are:

- December 26th, 2023 through and including January 10th, 2024.
- June 12th, 2024 through and including July 12th, 2024 with the exception of Utah which has an additional selling period through the end of July for Pioneer Days.

American Promotional Events, Inc. dba TNT Fireworks is authorized to sign for and obtain all necessary permits and/or licenses for the promotion and must display such permits and/or licenses at each stand/tent. Walmart grants permission for all patrons of the sale to utilize the restroom facilities at each participating store.

An American Promotional Events, Inc. dba TNT Fireworks representative will call you to introduce the company and discuss your participation in the event. Participation is encouraged and does add additional income to your other income account. Store Management must approve the store's participation and placement on the parking lot.

Thank you in advance for your cooperation in this matter and if you have any questions, please contact TNT Fireworks at 256-767-7142.

Best Regards,

DocuSigned by:

3CEE3D9BFFA44F...
Pete Rosen
Manager II
Walmart Retail Services

VERIFICATION OF SURETY BOND RENEWAL

February 21, 2024

RE: BOND # 106725029

BOND AMOUNT: \$1,000.00

PRINCIPAL: American Promotional Events, Inc. dba TNT
Fireworks

OBLIGEE: City of Bryant, AR

DESCRIPTION: Fireworks Stand at 400 Bryant Avenue, Bryant, AR
72022 - FAR0153

EFFECTIVE DATE: April 24, 2017

PREMIUM TERM: 4/24/2024 – 4/24/2025

THE ABOVE REFERENCED BOND CONTINUES TO BE IN FULL FORCE AND EFFECT. THE BOND IS CONTINUOUS IN NATURE AND WILL REMAIN IN FORCE UNTIL CANCELED BY THE SURETY ACCORDING TO THE TERMS AND CONDITIONS OF THE BOND.

Travelers Casualty and Surety Company of America



Stephen A. Vann
Attorney-in-Fact





**Travelers Casualty and Surety Company of America
Travelers Casualty and Surety Company
St. Paul Fire and Marine Insurance Company**

POWER OF ATTORNEY

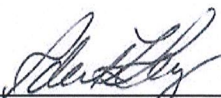
KNOW ALL MEN BY THESE PRESENTS: That Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company are corporations duly organized under the laws of the State of Connecticut (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint **STEPHEN A VANN** of **ATLANTA, Georgia**, their true and lawful Attorney(s)-in-Fact to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed, and their corporate seals to be hereto affixed, this **21st** day of **April, 2021**.



State of Connecticut

City of Hartford ss.

By: 
Robert L. Raney, Senior Vice President

On this the **21st** day of **April, 2021**, before me personally appeared **Robert L. Raney**, who acknowledged himself to be the Senior Vice President of each of the Companies, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of said Companies by himself as a duly authorized officer.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

My Commission expires the **30th** day of **June, 2026**




Anna P. Nowik, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of each of the Companies, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her; and it is

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary, and it is

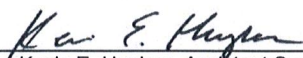
FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, **Kevin E. Hughes**, the undersigned, Assistant Secretary of each of the Companies, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which remains in full force and effect.

Dated this **27th** day of **February**, **2024**.




Kevin E. Hughes, Assistant Secretary

**To verify the authenticity of this Power of Attorney, please call us at 1-800-421-3880.
Please refer to the above-named Attorney(s)-in-Fact and the details of the bond to which this Power of Attorney is attached.**



CERTIFICATE OF LIABILITY INSURANCE

11/1/2024

DATE (MM/DD/YYYY)

11/1/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

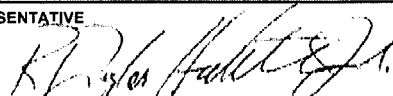
PRODUCER Lockton Companies 3280 Peachtree Road NE, Suite #1000 Atlanta GA 30305 (404) 460-3600	CONTACT NAME: PHONE (A/C, No, Ext): _____ FAX (A/C, No): _____ E-MAIL ADDRESS: _____	
	INSURER(S) AFFORDING COVERAGE	
INSURED 1359629 American Promotional Events, Inc. DBA TNT Fireworks, Inc. P.O. Box 1318 4511 Helton Drive Florence AL 35630	INSURER A: Everest Indemnity Insurance Company NAIC # 10851	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** 19086138 **REVISION NUMBER:** XXXXXXXX

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER: _____	Y	N	SI8GL00242-231	11/1/2023	11/1/2024	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1,000,000
							MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			NOT APPLICABLE			COMBINED SINGLE LIMIT (Ea accident)	\$ XXXXXXXX
							BODILY INJURY (Per person)	\$ XXXXXXXX
							BODILY INJURY (Per accident)	\$ XXXXXXXX
							PROPERTY DAMAGE (Per accident)	\$ XXXXXXXX
								\$ XXXXXXXX
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED _____ RETENTION \$ _____			NOT APPLICABLE			EACH OCCURRENCE	\$ XXXXXXXX
							AGGREGATE	\$ XXXXXXXX
								\$ XXXXXXXX
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory In NH) <input type="checkbox"/> Y / N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	NOT APPLICABLE			PER STATUTE	OTH-ER
							E.L. EACH ACCIDENT	\$ XXXXXXXX
							E.L. DISEASE - EA EMPLOYEE	\$ XXXXXXXX
							E.L. DISEASE - POLICY LIMIT	\$ XXXXXXXX

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
ADDITIONAL INSURED: WAL-MART #3230 - 400 BRYANT AVE, BRYANT, AR 72022, SALINE COUNTY Certificate holder is an additional insured on the General Liability as required by written contract subject to policy terms, conditions, and exclusions.

CERTIFICATE HOLDER 19086138 CITY OF BRYANT 210 SW 3RD STREET BRYANT AR 72022	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

Bryant Highschool Addition

Stormwater Management Report

City of Bryant, Saline County, Arkansas

Original Submittal:

April 10, 2024

Revised:

April 26, 2024

MINTON ENGINEERING, INC.

300 Northport Dr.

Cabot, AR 72023

501.941.5559 phone

501.941.5557 fax

I. Pre-Development Conditions

This project involves constructing an addition to the Bryant High School, on the south side of the main classroom building. The existing conditions comprise of parking lots, sidewalks, buildings and green spaces. The site generally slopes from north east to south west.

An area on the east side of the existing high school building currently drains west, along the south side of the auditorium and ends up in an existing detention pond on Boswell (this water will be re-routed south under this project). The remainder of the site drains south to NW 4th Street.

II. Post-Development Conditions

The new classroom wing will extend south from the existing classroom building. The existing building (bldg. #3) will be demolished to make room for a new parking lot, parking will also be added on the south east. All of the stormwater will drain south to NW 4th street, this includes the area that is currently draining to the detention pond on Boswell. A detention pond will be constructed on the south side of the new addition to handle the additional drainage area as well as the increase in hard surface area.

III. Design Considerations

The detention for this project was designed using the rational method. The pre-development flow, post development flow and detention volume were determined by the attached calculations are summarized below. The calculations were compiled using Autodesk Hydraflow, information used is attached to this report.

Summary Table:

Description	Pre-Development	Post-Development	Pond Elevation
2-Year Storm	26.50 cfs	25.22 cfs	421.18
5-Year Storm	30.69 cfs	28.49 cfs	421.36
10-Year Storm	33.86 cfs	30.95 cfs	421.50
25-Year Storm	38.60 cfs	34.37 cfs	421.72
50-Year Storm	42.36 cfs	37.05 cfs	421.90
100-Year Storm	46.13 cfs	39.75 cfs	422.07

IV. Conclusion

Post-development flow will be less than the pre-development flow for the 2-100 year storm events. The pond will detain the 100-yr storm by utilizing a storage volume of 5,535 CF. The pond has an available volume of 10,086 CF and will store the 100-year storm w/ 1' of freeboard available. The outlet structure will utilize an 18" storm pipe.

Please consider this report and let me know if any additional information is required.

DRC Comments (4/18/24):

Attached to the back of this report pipe sizing and inlet calculations have been included.

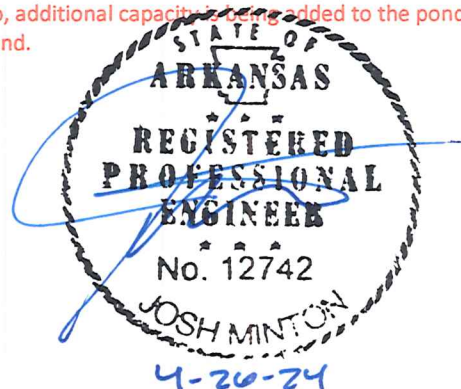
The Bryant Stormwater Ordinance requires this application of storm drainage to be sized to the 10-year storm, however the Arkansas Public School Facilities requires 25-year storm design, so this was used. The majority of the stormwater for this site will leave the campus through an 18" pipe that heads south to NW 4th street. With the added detention pond, this pipe has the capacity to handle the 25-year storm.

A smaller portion of the stormwater enters two existing inlets at the NE corner of Boswell and N. Pine. This water heads west and runs through the school's detention pond on Boswell, and will handle the 25-year storm.

All storm events will be reduced in post-development conditions. Also, additional capacity ~~is being~~ added to the pond on Boswell since a portion of that water is re-directed into the new pond.

Sincerely,

Josh Minton, PE



HYDRAULIC CALCULATIONS

Pre-Development Worksheet

* Note: Area 1 Not included in Pre-Dev. flow - it drains to Det. pond on Boswell

D.A. 1: Total Area = 4.4 Acres

D.A. 2: Total Area = 5.8 Acres

A.H.S. = 3.7 AC $C = 0.95$

Agroen = 2.1 AC $C = 0.35$



$L = 1005'$
Shut Flow = 300' $S = 6.5\%$
Shallow conc. = 150' $S = 6.5\%$
Pipe H.S. = 555' $S = 3.0\%$

Post-Development Worksheet

* Notes: Area 1 Passes Through new Det. Pond - Area 2 bypasses pond.

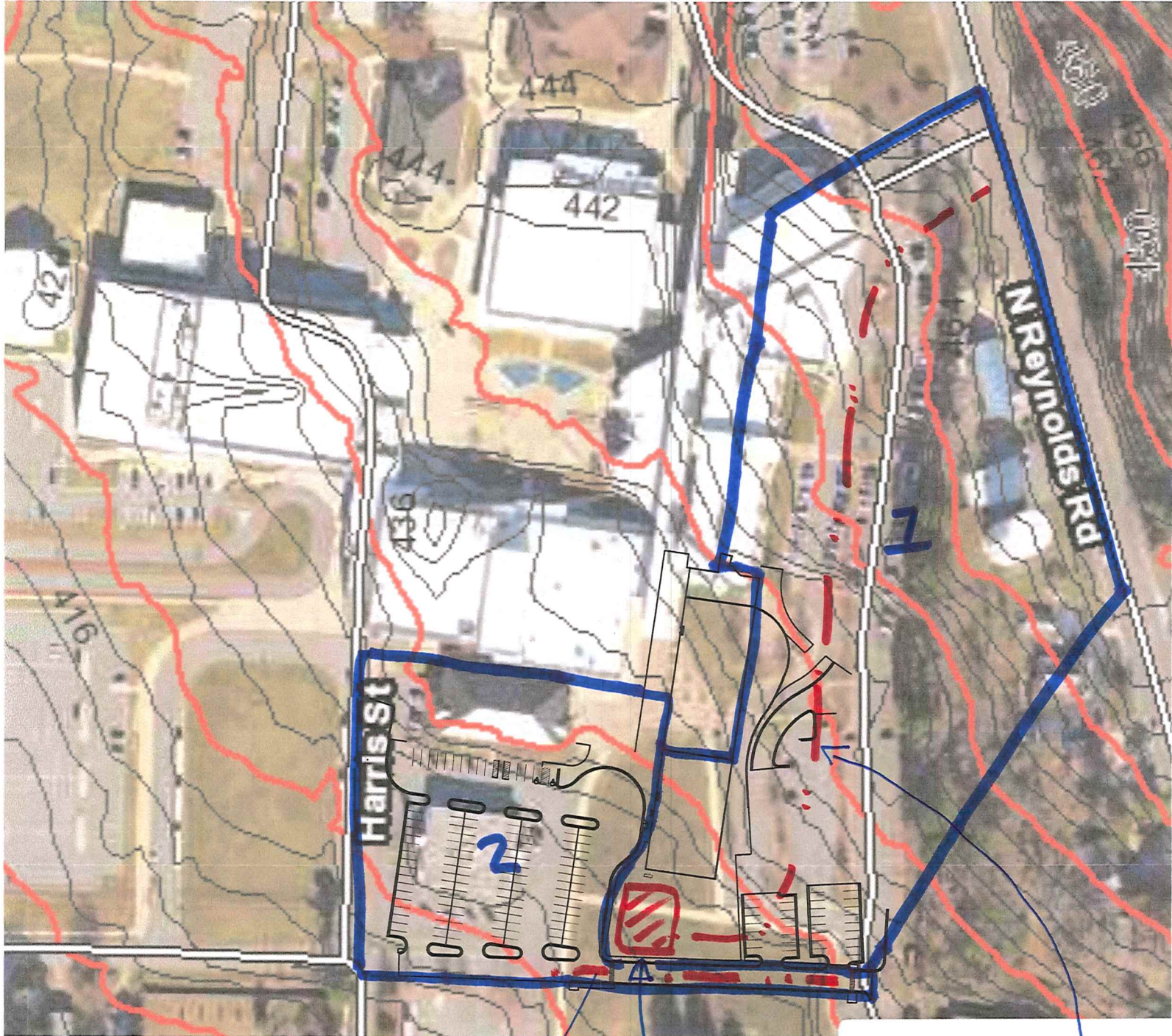
D.A. 1: Total Area = 7.5 Acres

A.H.S. = 5.0 AC C = 0.95

A.Green = 2.5 AC C = 0.35

D.A. 2: Total Area = 2.7 AC

A.H.S. = 2.7 AC C = 0.95



New Detention Pond

L = 285'
Shallow
Conc = 285 S = 2.0%
Paved

L = 1065'
Shut Flow = 120' S = 3.5%
Pipe H.S. = 945' S = 3.0%

TABLE 400-2

Runoff Coefficients for Rational Method Composite Analysis

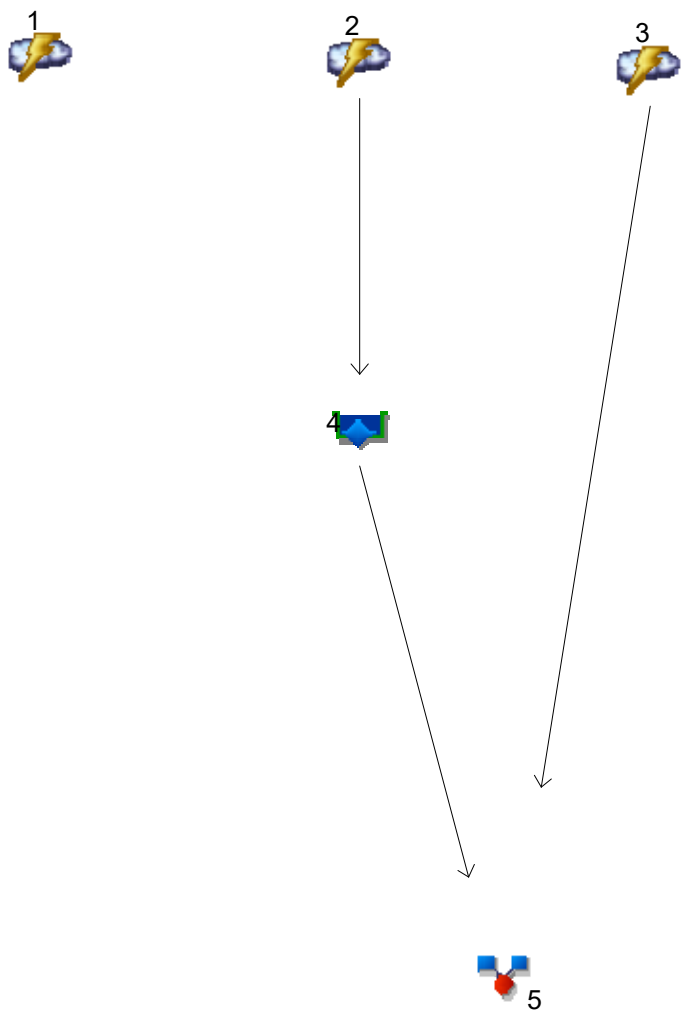
Land Use Types	Frequency		
	10	25	100
Undeveloped Areas			
Historic Flow Analysis, Greenbelts Agricultural, Natural Vegetation			
Clay Soil			
Flat, 2%	0.3	0.33	0.37
Average, 2-7%	0.4	0.44	0.5
Steep, 7%	0.5	0.55	0.62
Sandy Soil			
Flat, 2%	0.12	0.13	0.15
Average, 2-7%	0.2	0.22	0.25
Steep, 7%	0.3	0.33	0.37
Streets			
Paved	0.9	0.92	0.95
Gravel	0.35	0.5	0.65
Miscellaneous			
Drives and Walks	0.9	0.91	0.92
Roofs	0.9	0.92	0.95
Lawns			
Clay Soil			
Flat, 2%	0.18	0.2	0.25
Average, 2-7%	0.22	0.28	0.35
Steep, 7%	0.35	0.45	0.6
Sandy Soil			
Flat, 2%	0.1	0.25	0.4
Average, 2-7%	0.15	0.3	0.45
Steep, 7%	0.2	0.35	0.5

Source: City of Little Rock Stormwater Management & Drainage Design Manual

The design engineer shall use the preceding values as a rule of thumb. Areas not conforming to the preceding descriptions will be evaluated by calculating a composite runoff coefficient. Areas will be evaluated based upon the ultimate development for the area under consideration.

Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023



Legend

<u>Hyd. Origin</u>	<u>Description</u>
1 Rational	Total Pre-Dev
2 Rational	Post DA 1
3 Rational	Post DA 2
4 Reservoir	Det. Pond
5 Combine	Total Post Dev

Hydrograph Return Period Recap

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	Rational	-----	-----	26.50	-----	30.69	33.86	38.60	42.36	46.13	Total Pre-Dev
2	Rational	-----	-----	37.06	-----	42.76	47.10	53.60	58.75	63.94	Post DA 1
3	Rational	-----	-----	16.90	-----	19.50	21.48	24.44	26.79	29.15	Post DA 2
4	Reservoir	2	-----	10.19	-----	10.78	11.25	11.95	12.47	12.95	Det. Pond
5	Combine	3, 4	-----	25.22	-----	28.49	30.95	34.37	37.05	39.75	Total Post Dev

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	Rational	26.50	1	3	4,770	-----	-----	-----	Total Pre-Dev
2	Rational	37.06	1	2	4,448	-----	-----	-----	Post DA 1
3	Rational	16.90	1	2	2,028	-----	-----	-----	Post DA 2
4	Reservoir	10.19	1	3	4,447	2	421.18	2,822	Det. Pond
5	Combine	25.22	1	2	6,475	3, 4	-----	-----	Total Post Dev

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

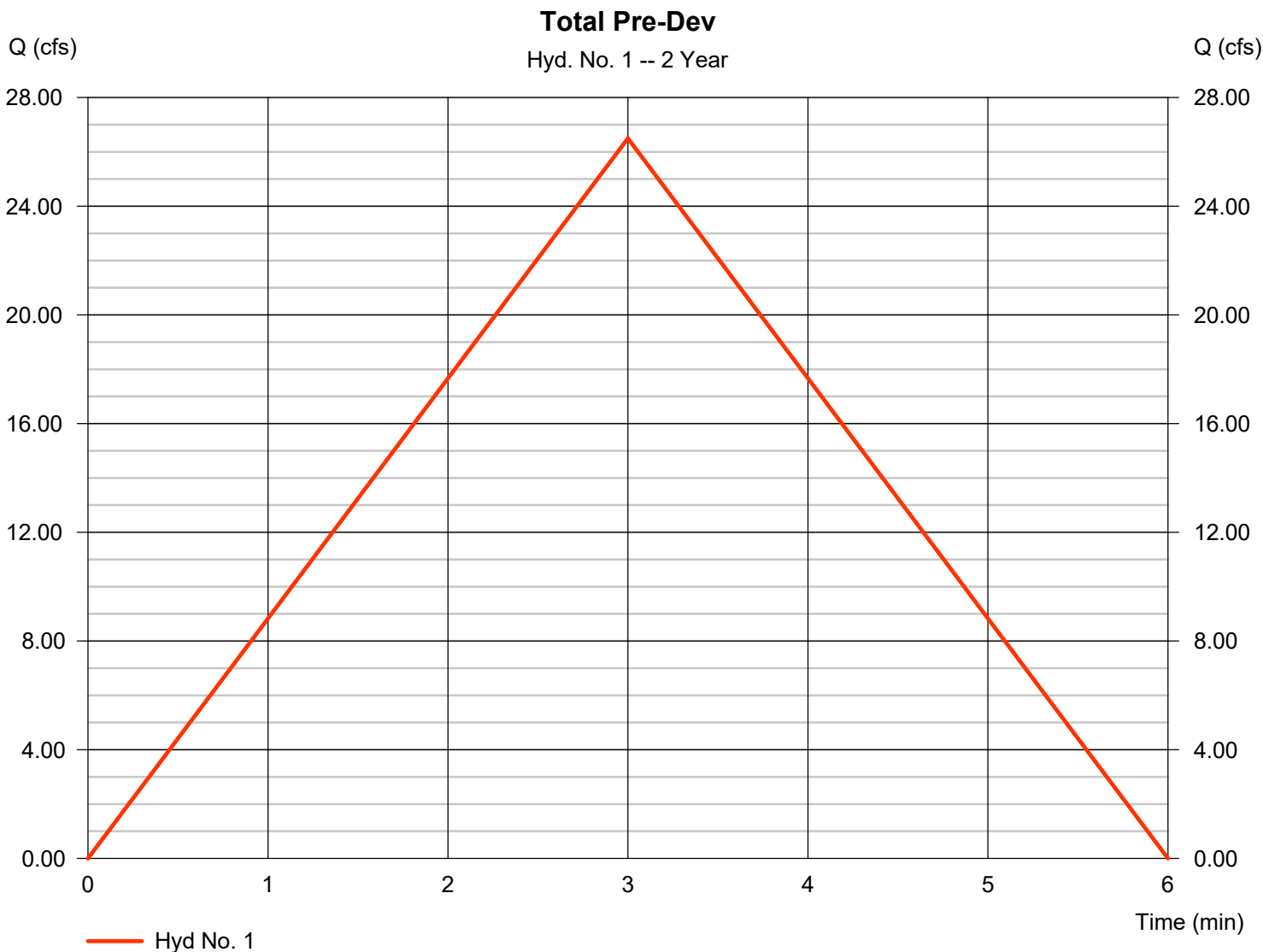
Wednesday, 04 / 10 / 2024

Hyd. No. 1

Total Pre-Dev

Hydrograph type	= Rational	Peak discharge	= 26.50 cfs
Storm frequency	= 2 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 4,770 cuft
Drainage area	= 5.800 ac	Runoff coeff.	= 0.73*
Intensity	= 6.258 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(3.700 x 0.95) + (2.100 x 0.35)] / 5.800



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 1

Total Pre-Dev

<u>Description</u>	<u>A</u>		<u>B</u>		<u>C</u>		<u>Totals</u>	
Sheet Flow								
Manning's n-value	= 0.011		0.011		0.011			
Flow length (ft)	= 300.0		0.0		0.0			
Two-year 24-hr precip. (in)	= 4.13		0.00		0.00			
Land slope (%)	= 6.50		0.00		0.00			
Travel Time (min)	= 1.60	+	0.00	+	0.00	=	1.60	
Shallow Concentrated Flow								
Flow length (ft)	= 150.00		0.00		0.00			
Watercourse slope (%)	= 6.50		0.00		0.00			
Surface description	= Unpaved		Paved		Paved			
Average velocity (ft/s)	=4.11		0.00		0.00			
Travel Time (min)	= 0.61	+	0.00	+	0.00	=	0.61	
Channel Flow								
X sectional flow area (sqft)	= 3.14		0.00		0.00			
Wetted perimeter (ft)	= 6.30		0.00		0.00			
Channel slope (%)	= 3.00		0.00		0.00			
Manning's n-value	= 0.015		0.015		0.015			
Velocity (ft/s)	=10.79		0.00		0.00			
Flow length (ft)	{{0}}555.0		0.0		0.0			
Travel Time (min)	= 0.86	+	0.00	+	0.00	=	0.86	
Total Travel Time, Tc							=	3.00 min

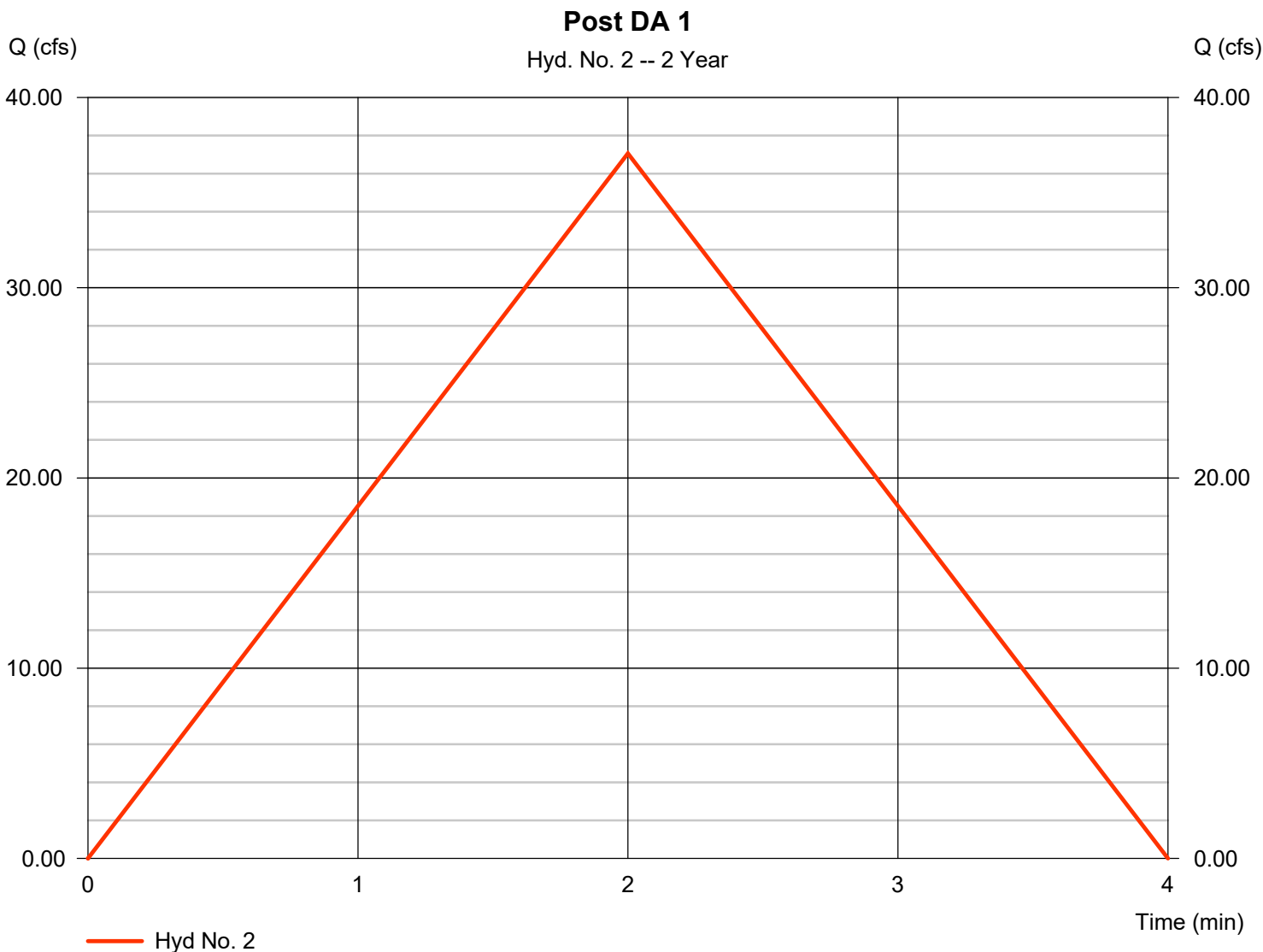
Hydrograph Report

Hyd. No. 2

Post DA 1

Hydrograph type	= Rational	Peak discharge	= 37.06 cfs
Storm frequency	= 2 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 4,448 cuft
Drainage area	= 7.500 ac	Runoff coeff.	= 0.75*
Intensity	= 6.589 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.000 x 0.95) + (2.500 x 0.35)] / 7.500



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No. 2

Post DA 1

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.011	0.011	0.011	
Flow length (ft)	= 120.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 4.13	0.00	0.00	
Land slope (%)	= 8.50	0.00	0.00	
Travel Time (min)	= 0.69	+ 0.00	+ 0.00	= 0.69
Shallow Concentrated Flow				
Flow length (ft)	= 0.00	0.00	0.00	
Watercourse slope (%)	= 0.00	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=0.00	0.00	0.00	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Channel Flow				
X sectional flow area (sqft)	= 3.14	0.00	0.00	
Wetted perimeter (ft)	= 6.28	0.00	0.00	
Channel slope (%)	= 3.10	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=10.99	0.00	0.00	
Flow length (ft)	945.0	0.0	0.0	
Travel Time (min)	= 1.43	+ 0.00	+ 0.00	= 1.43
Total Travel Time, Tc				2.00 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Wednesday, 04 / 10 / 2024

Hyd. No. 3

Post DA 2

Hydrograph type	= Rational	Peak discharge	= 16.90 cfs
Storm frequency	= 2 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 2,028 cuft
Drainage area	= 2.700 ac	Runoff coeff.	= 0.95*
Intensity	= 6.589 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(2.700 x 0.95)] / 2.700



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

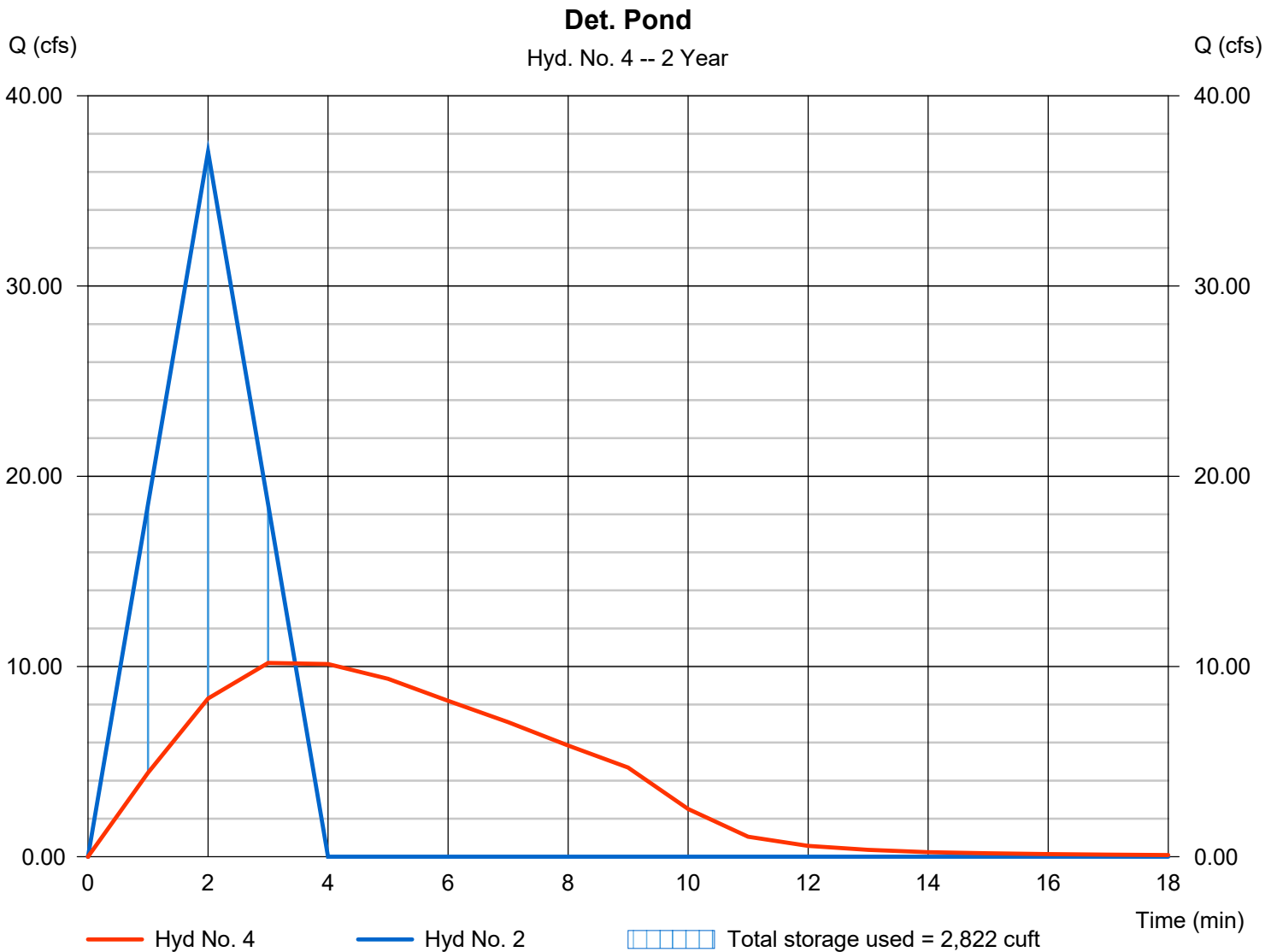
Wednesday, 04 / 10 / 2024

Hyd. No. 4

Det. Pond

Hydrograph type	= Reservoir	Peak discharge	= 10.19 cfs
Storm frequency	= 2 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 4,447 cuft
Inflow hyd. No.	= 2 - Post DA 1	Max. Elevation	= 421.18 ft
Reservoir name	= <New Pond>	Max. Storage	= 2,822 cuft

Storage Indication method used.



Pond No. 1 - <New Pond>

Pond Data

Contours -User-defined contour areas. Conic method used for volume calculation. Begining Elevation = 419.00 ft

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	419.00	00	0	0
1.00	420.00	1,151	384	384
2.00	421.00	2,721	1,880	2,264
3.00	422.00	3,349	3,029	5,293
4.00	423.00	4,033	3,685	8,979
4.25	423.25	4,836	1,107	10,086

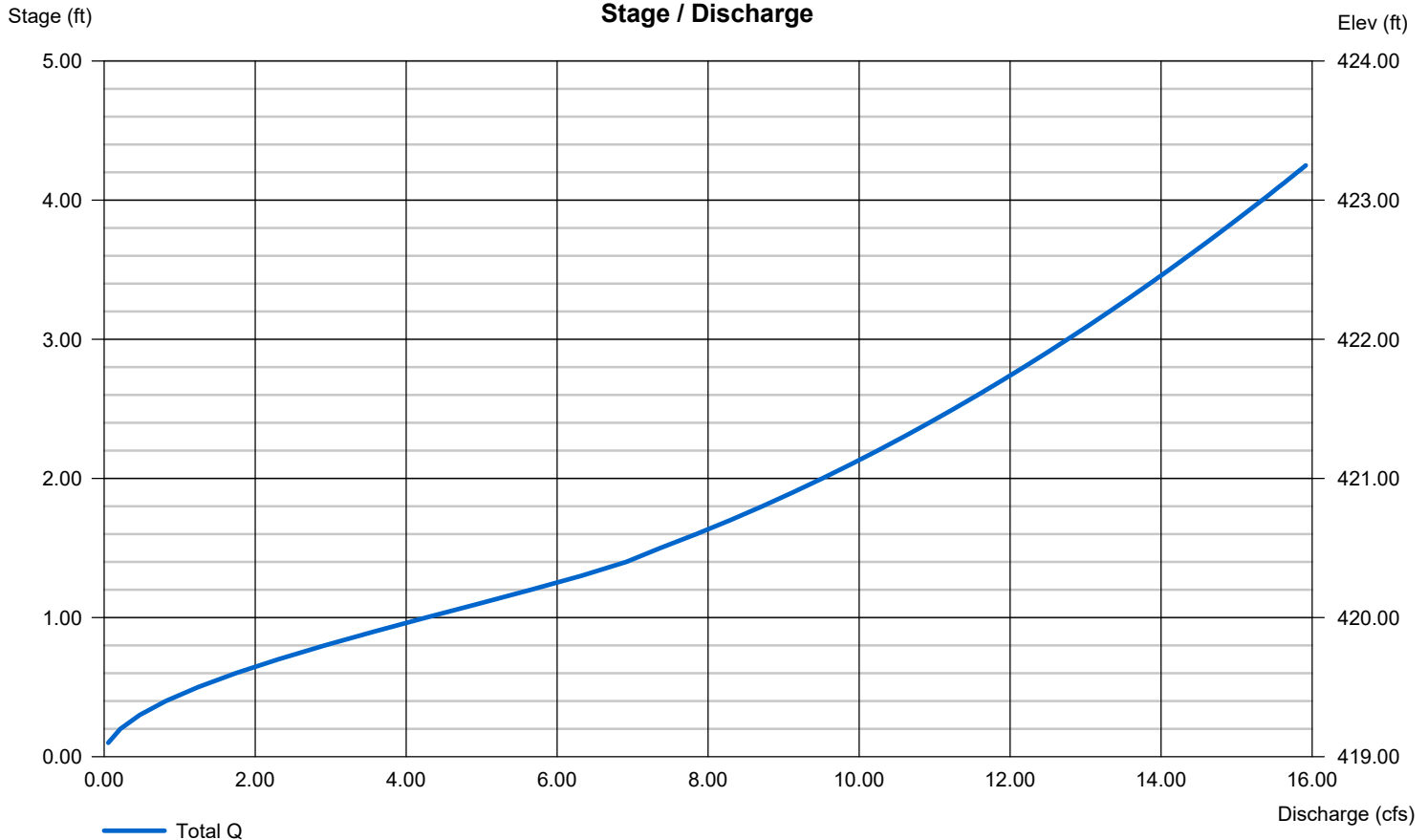
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 18.00	0.00	0.00	0.00
Span (in)	= 18.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 419.00	0.00	0.00	0.00
Length (ft)	= 40.00	0.00	0.00	0.00
Slope (%)	= 1.50	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

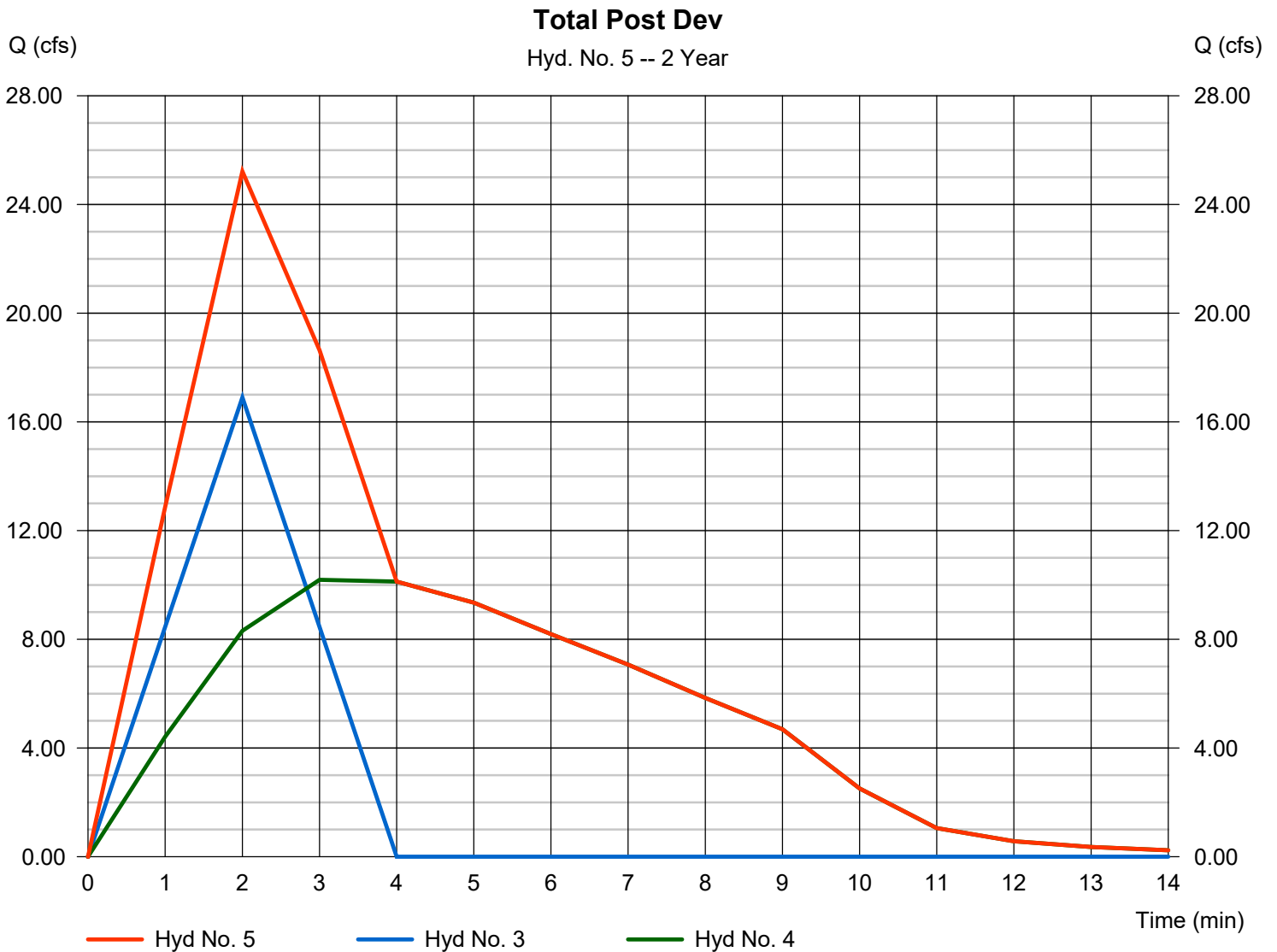
Wednesday, 04 / 10 / 2024

Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 2 yrs
Time interval = 1 min
Inflow hyds. = 3, 4

Peak discharge = 25.22 cfs
Time to peak = 2 min
Hyd. volume = 6,475 cuft
Contrib. drain. area = 2.700 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	30.69	1	3	5,524	-----	-----	-----	Total Pre-Dev	
2	Rational	42.76	1	2	5,131	-----	-----	-----	Post DA 1	
3	Rational	19.50	1	2	2,340	-----	-----	-----	Post DA 2	
4	Reservoir	10.78	1	3	5,130	2	421.36	3,345	Det. Pond	
5	Combine	28.49	1	2	7,470	3, 4	-----	-----	Total Post Dev	
Bryant HS Hydrographs.gpw					Return Period: 5 Year			Wednesday, 04 / 10 / 2024		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

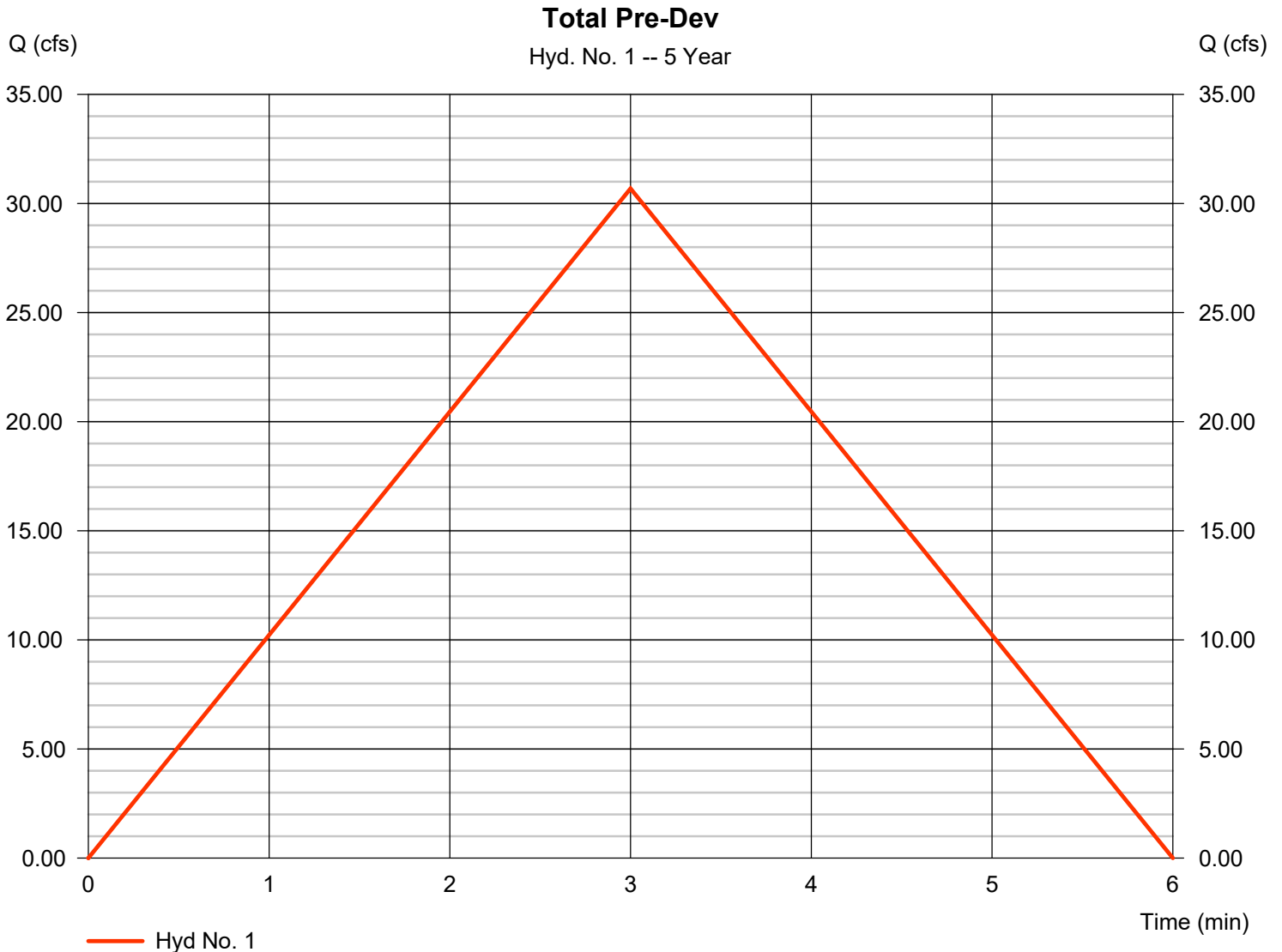
Wednesday, 04 / 10 / 2024

Hyd. No. 1

Total Pre-Dev

Hydrograph type	= Rational	Peak discharge	= 30.69 cfs
Storm frequency	= 5 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 5,524 cuft
Drainage area	= 5.800 ac	Runoff coeff.	= 0.73*
Intensity	= 7.248 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(3.700 x 0.95) + (2.100 x 0.35)] / 5.800



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

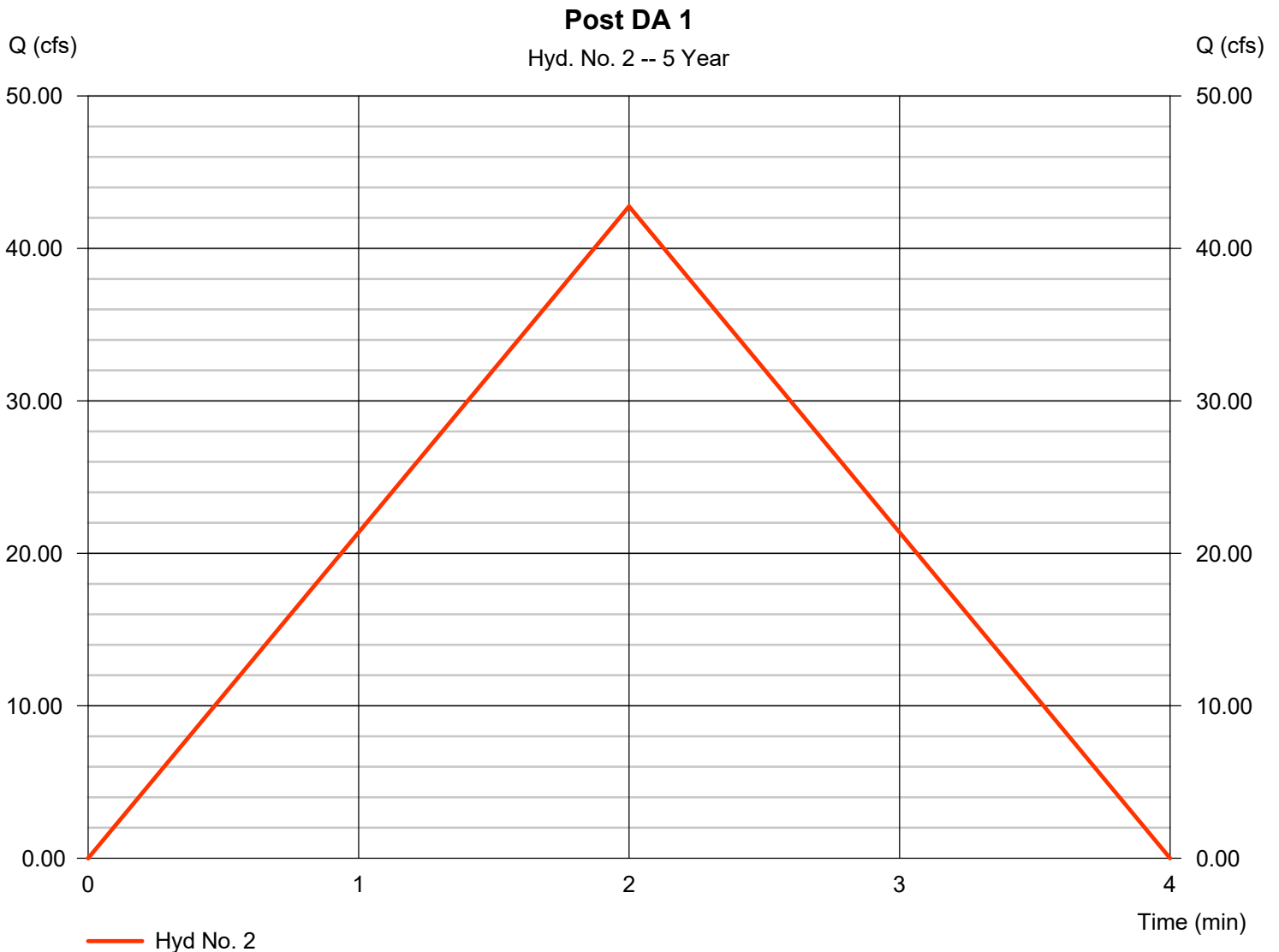
Wednesday, 04 / 10 / 2024

Hyd. No. 2

Post DA 1

Hydrograph type	= Rational	Peak discharge	= 42.76 cfs
Storm frequency	= 5 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 5,131 cuft
Drainage area	= 7.500 ac	Runoff coeff.	= 0.75*
Intensity	= 7.602 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.000 x 0.95) + (2.500 x 0.35)] / 7.500



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Wednesday, 04 / 10 / 2024

Hyd. No. 3

Post DA 2

Hydrograph type	= Rational	Peak discharge	= 19.50 cfs
Storm frequency	= 5 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 2,340 cuft
Drainage area	= 2.700 ac	Runoff coeff.	= 0.95*
Intensity	= 7.602 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(2.700 x 0.95)] / 2.700



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

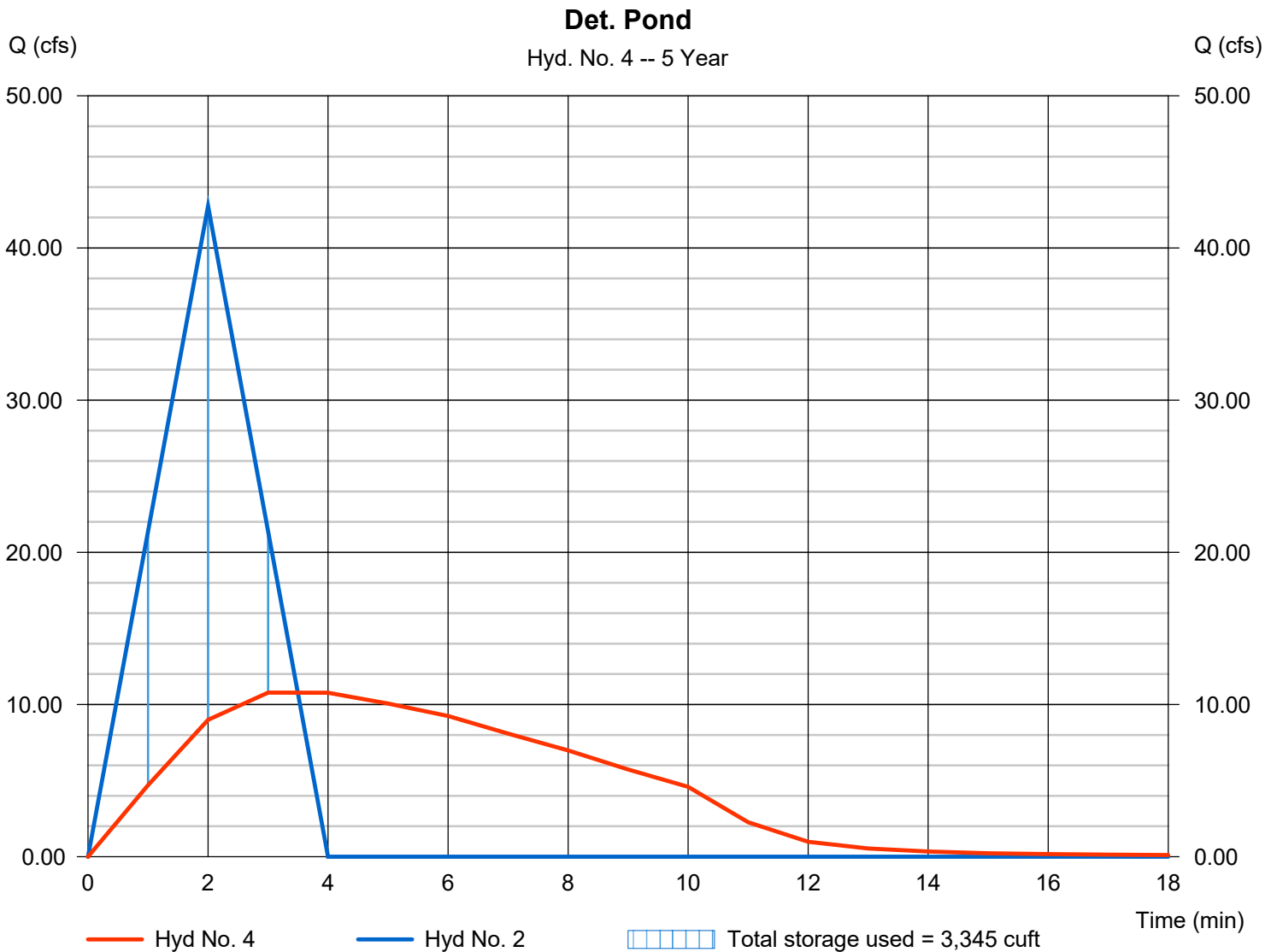
Wednesday, 04 / 10 / 2024

Hyd. No. 4

Det. Pond

Hydrograph type	= Reservoir	Peak discharge	= 10.78 cfs
Storm frequency	= 5 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 5,130 cuft
Inflow hyd. No.	= 2 - Post DA 1	Max. Elevation	= 421.36 ft
Reservoir name	= <New Pond>	Max. Storage	= 3,345 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

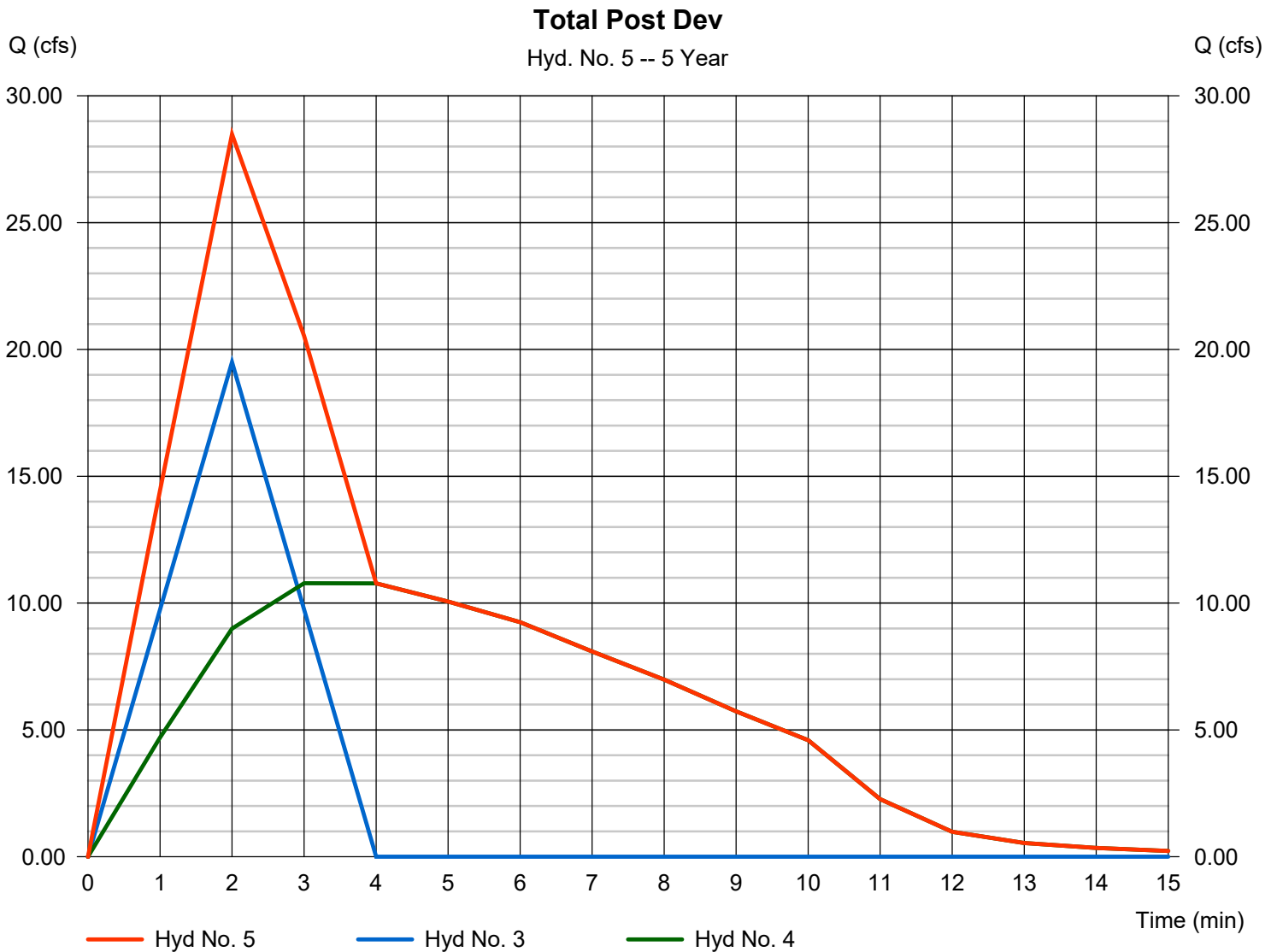
Wednesday, 04 / 10 / 2024

Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 5 yrs
Time interval = 1 min
Inflow hyds. = 3, 4

Peak discharge = 28.49 cfs
Time to peak = 2 min
Hyd. volume = 7,470 cuft
Contrib. drain. area = 2.700 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	33.86	1	3	6,095	-----	-----	-----	Total Pre-Dev	
2	Rational	47.10	1	2	5,652	-----	-----	-----	Post DA 1	
3	Rational	21.48	1	2	2,577	-----	-----	-----	Post DA 2	
4	Reservoir	11.25	1	4	5,651	2	421.50	3,778	Det. Pond	
5	Combine	30.95	1	2	8,229	3, 4	-----	-----	Total Post Dev	
Bryant HS Hydrographs.gpw					Return Period: 10 Year			Wednesday, 04 / 10 / 2024		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

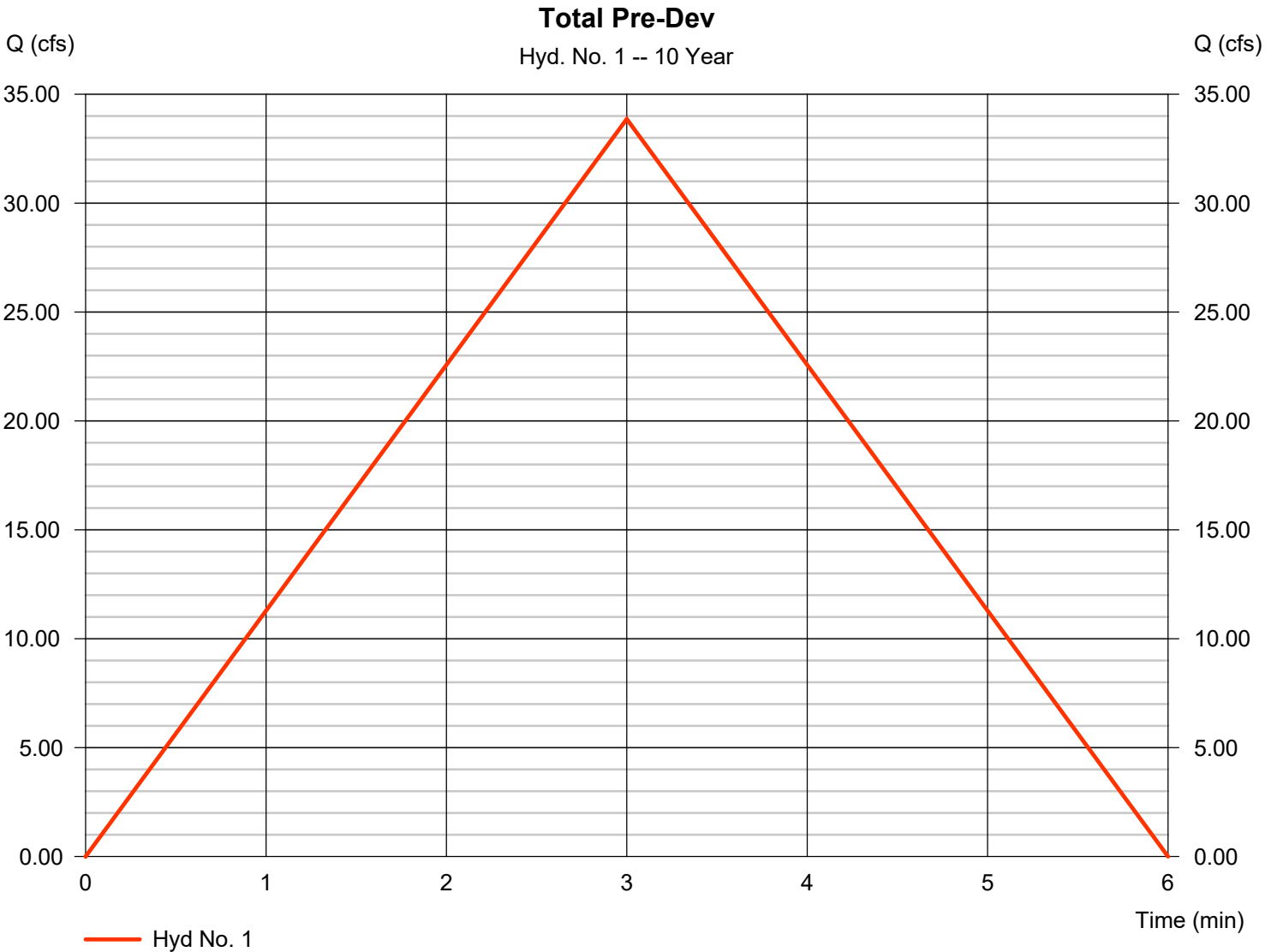
Wednesday, 04 / 10 / 2024

Hyd. No. 1

Total Pre-Dev

Hydrograph type	= Rational	Peak discharge	= 33.86 cfs
Storm frequency	= 10 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 6,095 cuft
Drainage area	= 5.800 ac	Runoff coeff.	= 0.73*
Intensity	= 7.998 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(3.700 x 0.95) + (2.100 x 0.35)] / 5.800



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Wednesday, 04 / 10 / 2024

Hyd. No. 2

Post DA 1

Hydrograph type	= Rational	Peak discharge	= 47.10 cfs
Storm frequency	= 10 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 5,652 cuft
Drainage area	= 7.500 ac	Runoff coeff.	= 0.75*
Intensity	= 8.373 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.000 x 0.95) + (2.500 x 0.35)] / 7.500



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

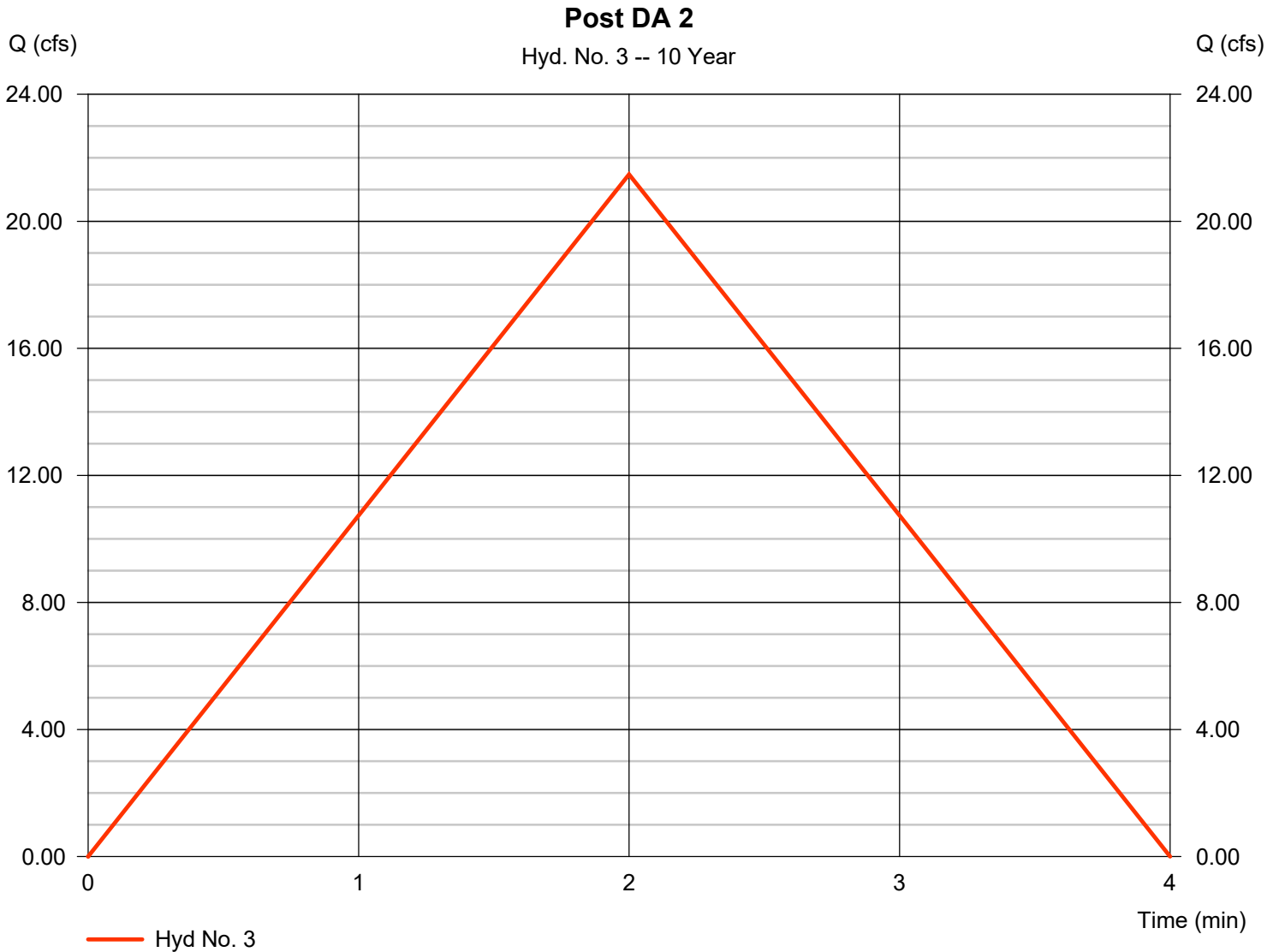
Wednesday, 04 / 10 / 2024

Hyd. No. 3

Post DA 2

Hydrograph type	= Rational	Peak discharge	= 21.48 cfs
Storm frequency	= 10 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 2,577 cuft
Drainage area	= 2.700 ac	Runoff coeff.	= 0.95*
Intensity	= 8.373 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(2.700 x 0.95)] / 2.700



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

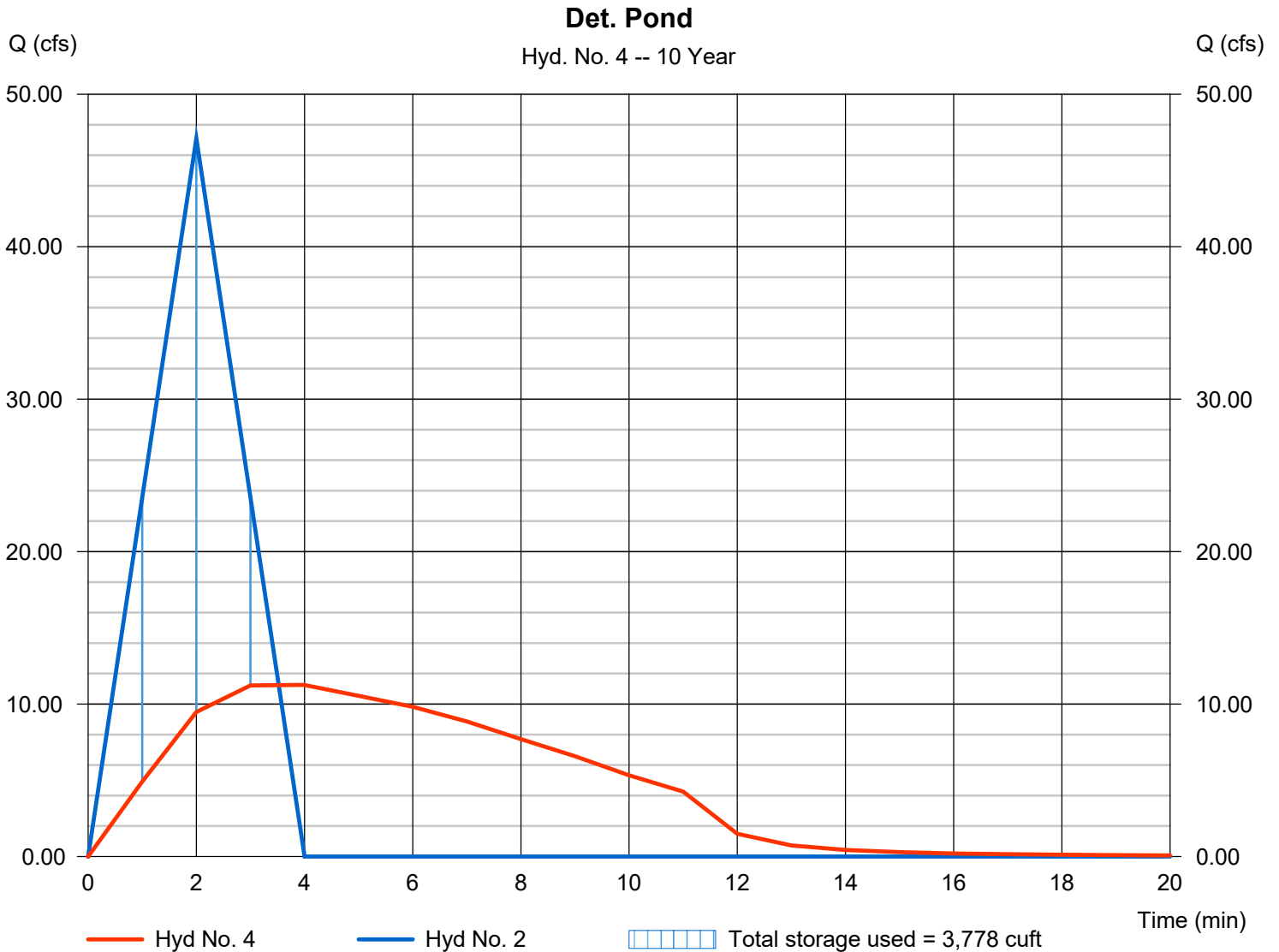
Wednesday, 04 / 10 / 2024

Hyd. No. 4

Det. Pond

Hydrograph type	= Reservoir	Peak discharge	= 11.25 cfs
Storm frequency	= 10 yrs	Time to peak	= 4 min
Time interval	= 1 min	Hyd. volume	= 5,651 cuft
Inflow hyd. No.	= 2 - Post DA 1	Max. Elevation	= 421.50 ft
Reservoir name	= <New Pond>	Max. Storage	= 3,778 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

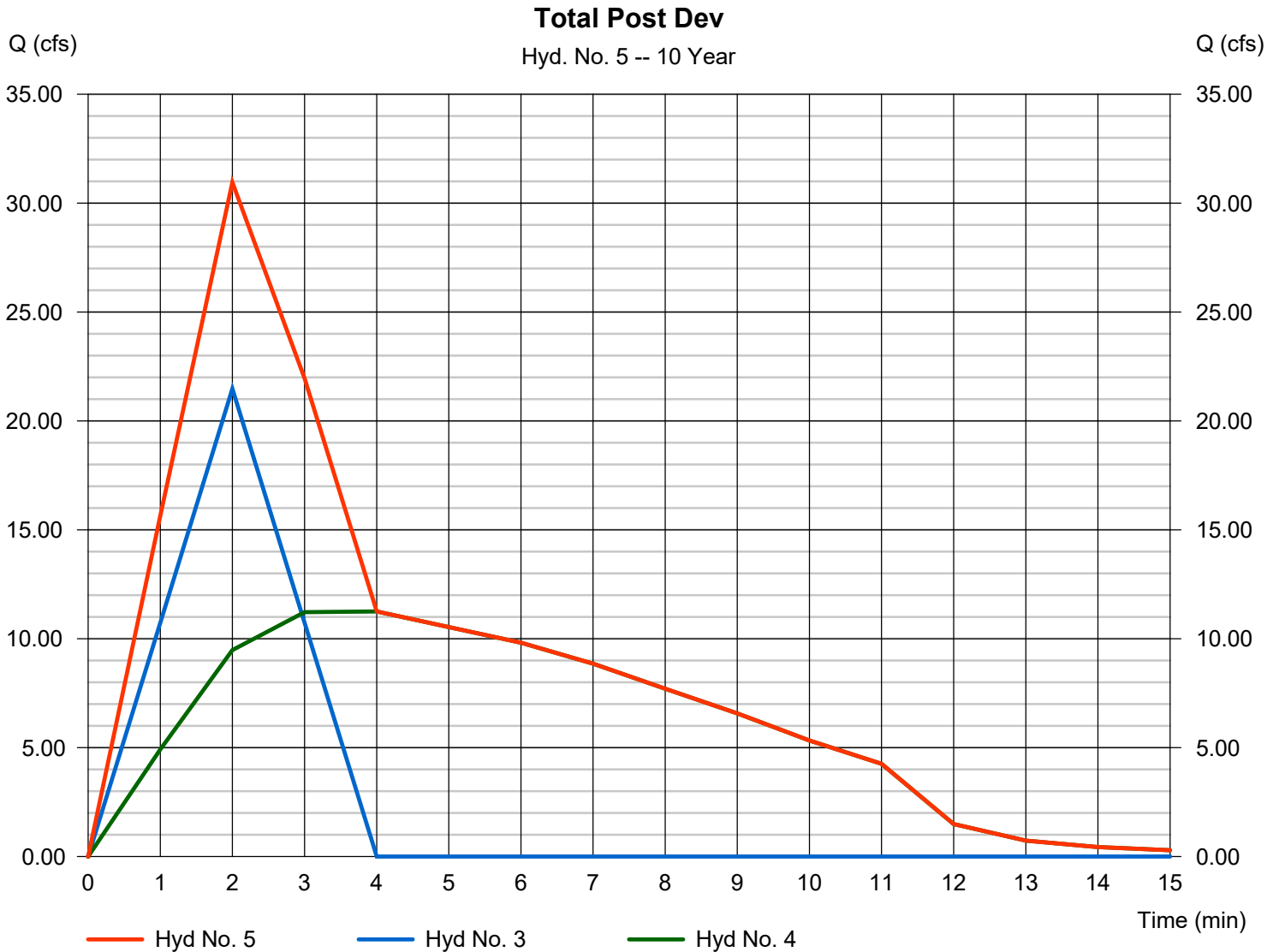
Wednesday, 04 / 10 / 2024

Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 10 yrs
Time interval = 1 min
Inflow hyds. = 3, 4

Peak discharge = 30.95 cfs
Time to peak = 2 min
Hyd. volume = 8,229 cuft
Contrib. drain. area = 2.700 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	38.60	1	3	6,949	-----	-----	-----	Total Pre-Dev	
2	Rational	53.60	1	2	6,432	-----	-----	-----	Post DA 1	
3	Rational	24.44	1	2	2,933	-----	-----	-----	Post DA 2	
4	Reservoir	11.95	1	4	6,431	2	421.72	4,452	Det. Pond	
5	Combine	34.37	1	2	9,364	3, 4	-----	-----	Total Post Dev	
Bryant HS Hydrographs.gpw					Return Period: 25 Year			Wednesday, 04 / 10 / 2024		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

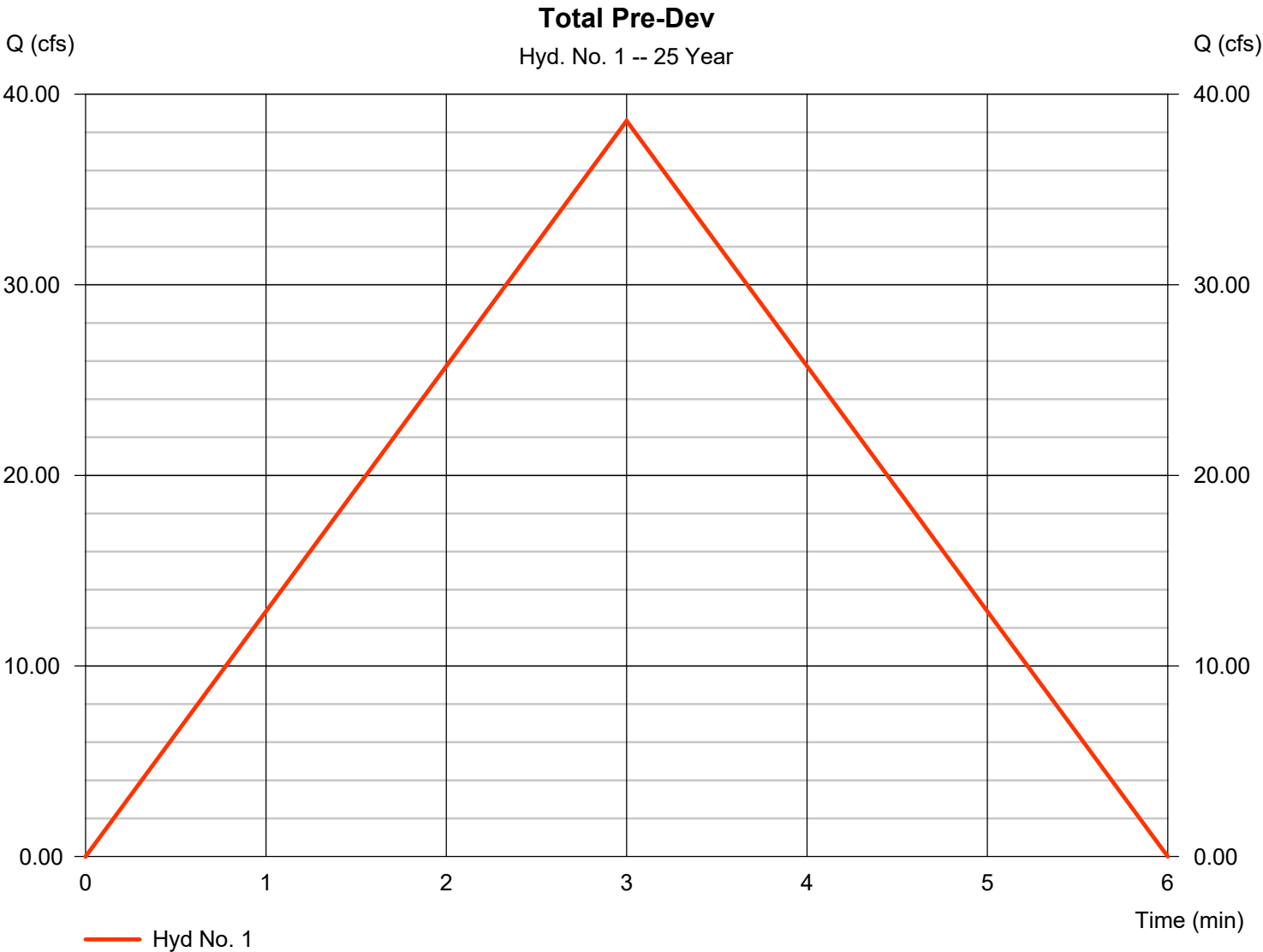
Wednesday, 04 / 10 / 2024

Hyd. No. 1

Total Pre-Dev

Hydrograph type	= Rational	Peak discharge	= 38.60 cfs
Storm frequency	= 25 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 6,949 cuft
Drainage area	= 5.800 ac	Runoff coeff.	= 0.73*
Intensity	= 9.118 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(3.700 x 0.95) + (2.100 x 0.35)] / 5.800



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

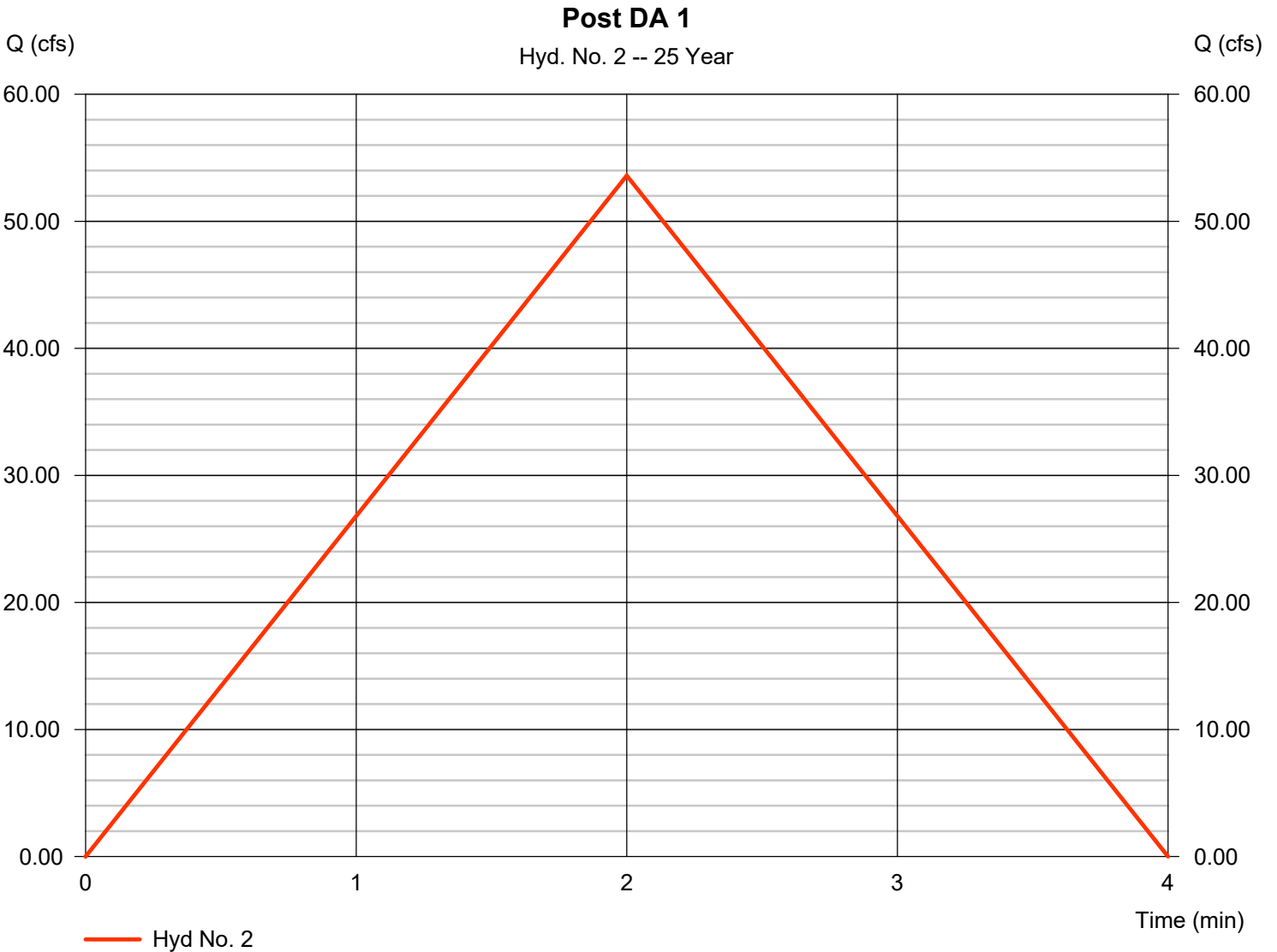
Wednesday, 04 / 10 / 2024

Hyd. No. 2

Post DA 1

Hydrograph type	= Rational	Peak discharge	= 53.60 cfs
Storm frequency	= 25 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 6,432 cuft
Drainage area	= 7.500 ac	Runoff coeff.	= 0.75*
Intensity	= 9.529 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.000 x 0.95) + (2.500 x 0.35)] / 7.500



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

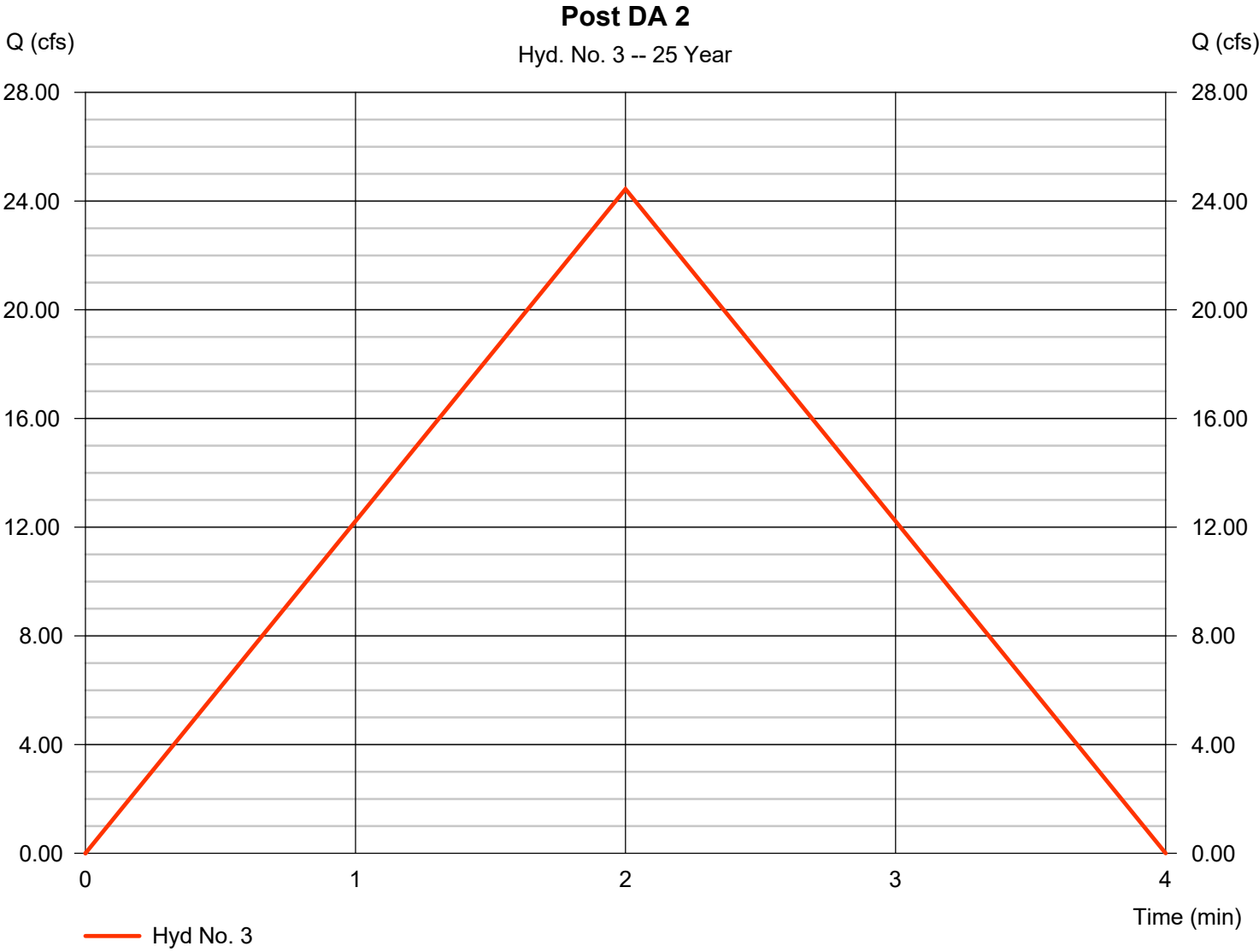
Wednesday, 04 / 10 / 2024

Hyd. No. 3

Post DA 2

Hydrograph type	= Rational	Peak discharge	= 24.44 cfs
Storm frequency	= 25 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 2,933 cuft
Drainage area	= 2.700 ac	Runoff coeff.	= 0.95*
Intensity	= 9.529 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(2.700 x 0.95)] / 2.700



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

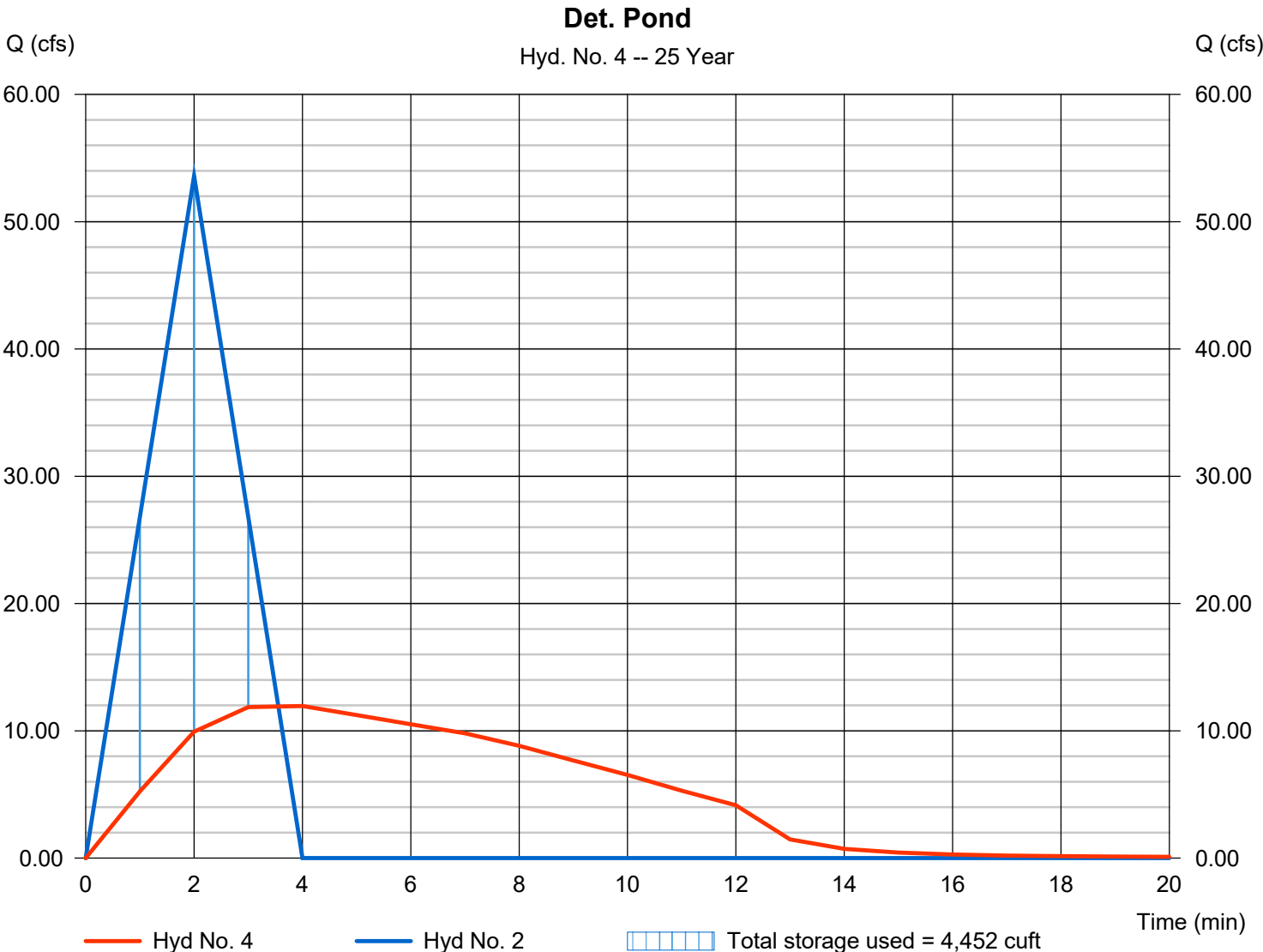
Wednesday, 04 / 10 / 2024

Hyd. No. 4

Det. Pond

Hydrograph type	= Reservoir	Peak discharge	= 11.95 cfs
Storm frequency	= 25 yrs	Time to peak	= 4 min
Time interval	= 1 min	Hyd. volume	= 6,431 cuft
Inflow hyd. No.	= 2 - Post DA 1	Max. Elevation	= 421.72 ft
Reservoir name	= <New Pond>	Max. Storage	= 4,452 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

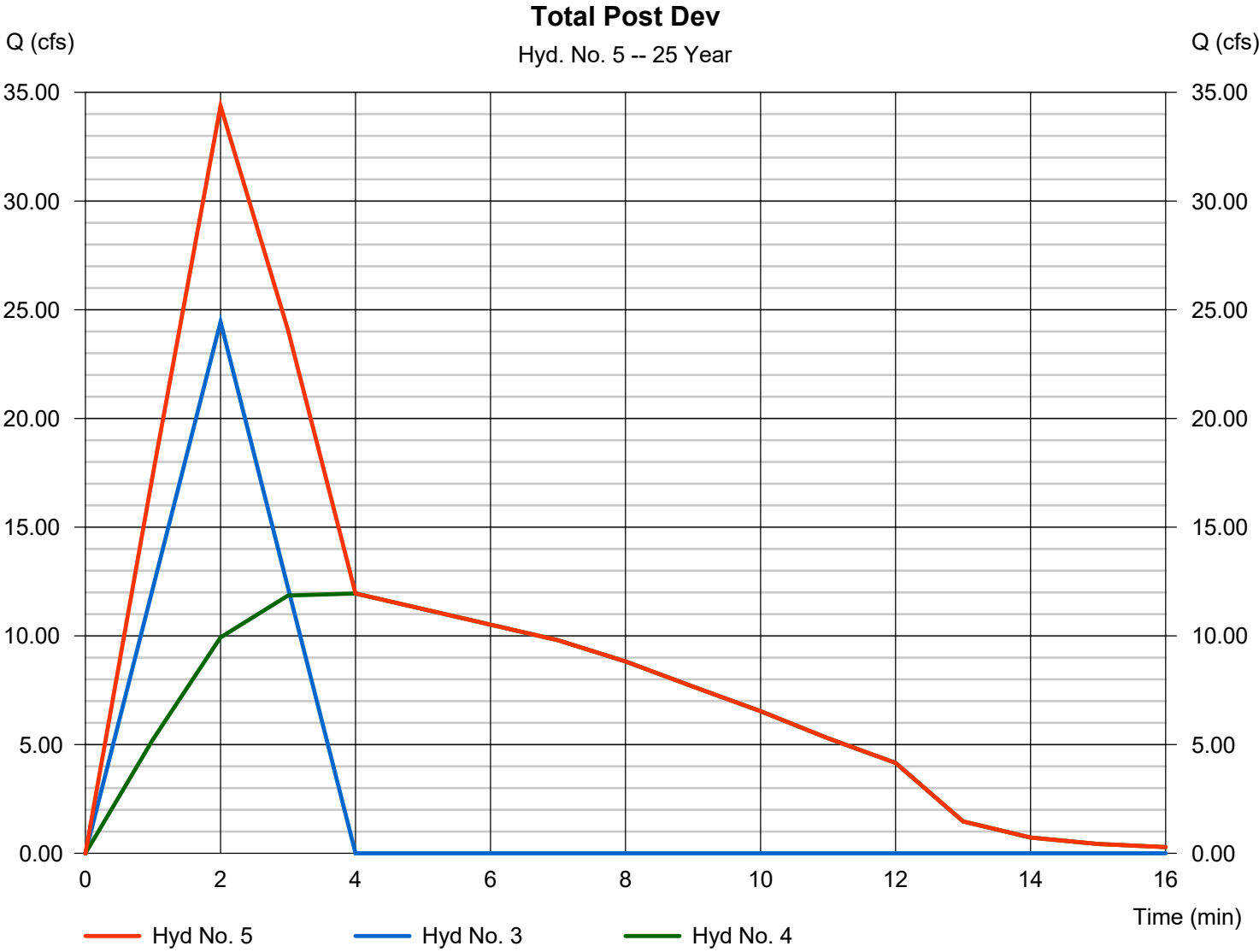
Wednesday, 04 / 10 / 2024

Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 25 yrs
Time interval = 1 min
Inflow hyds. = 3, 4

Peak discharge = 34.37 cfs
Time to peak = 2 min
Hyd. volume = 9,364 cuft
Contrib. drain. area = 2.700 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	42.36	1	3	7,624	-----	-----	-----	Total Pre-Dev	
2	Rational	58.75	1	2	7,050	-----	-----	-----	Post DA 1	
3	Rational	26.79	1	2	3,215	-----	-----	-----	Post DA 2	
4	Reservoir	12.47	1	4	7,049	2	421.90	4,990	Det. Pond	
5	Combine	37.05	1	2	10,264	3, 4	-----	-----	Total Post Dev	
Bryant HS Hydrographs.gpw					Return Period: 50 Year			Wednesday, 04 / 10 / 2024		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

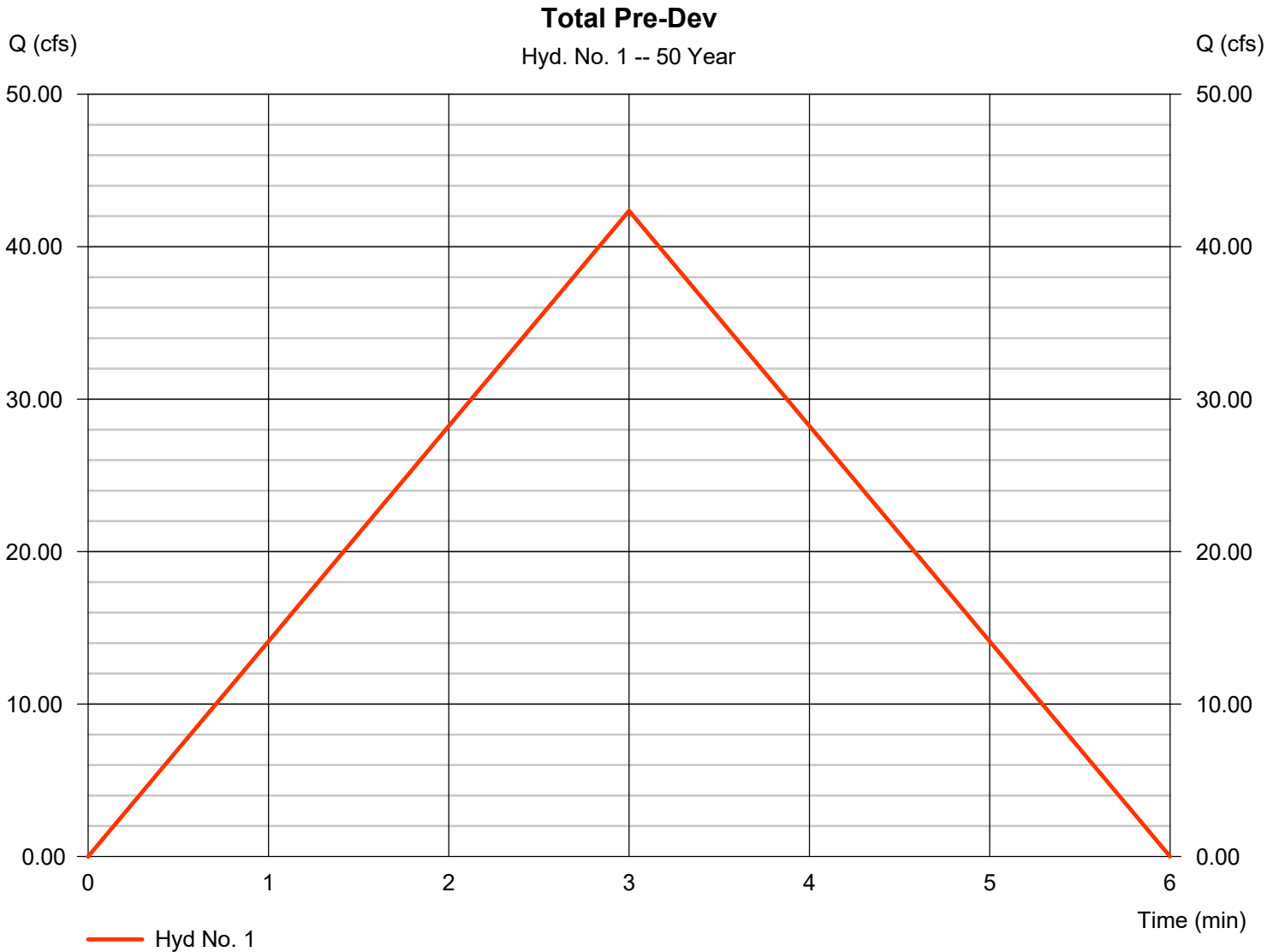
Wednesday, 04 / 10 / 2024

Hyd. No. 1

Total Pre-Dev

Hydrograph type	= Rational	Peak discharge	= 42.36 cfs
Storm frequency	= 50 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 7,624 cuft
Drainage area	= 5.800 ac	Runoff coeff.	= 0.73*
Intensity	= 10.004 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(3.700 x 0.95) + (2.100 x 0.35)] / 5.800



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

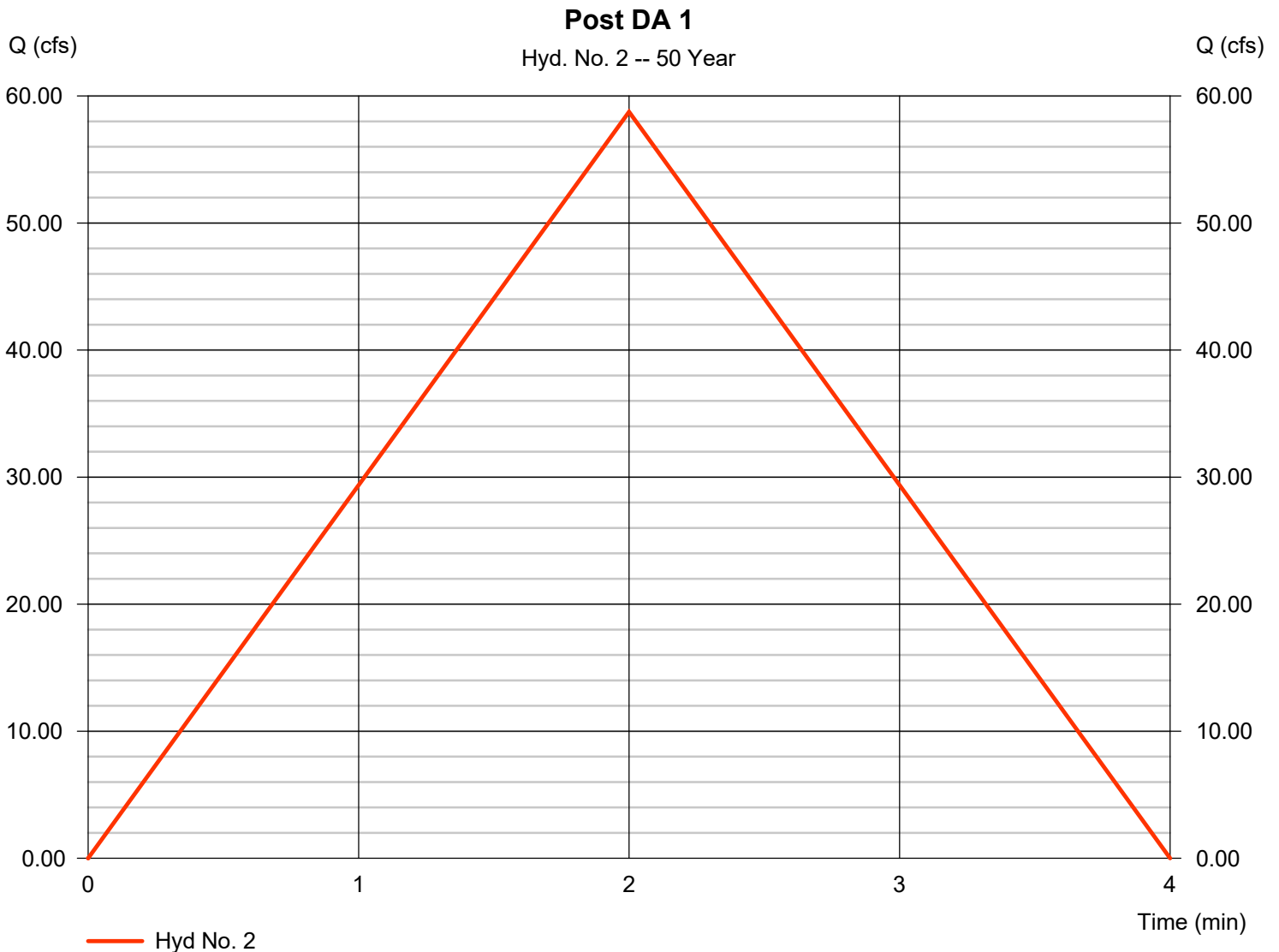
Wednesday, 04 / 10 / 2024

Hyd. No. 2

Post DA 1

Hydrograph type	= Rational	Peak discharge	= 58.75 cfs
Storm frequency	= 50 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 7,050 cuft
Drainage area	= 7.500 ac	Runoff coeff.	= 0.75*
Intensity	= 10.444 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.000 x 0.95) + (2.500 x 0.35)] / 7.500



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

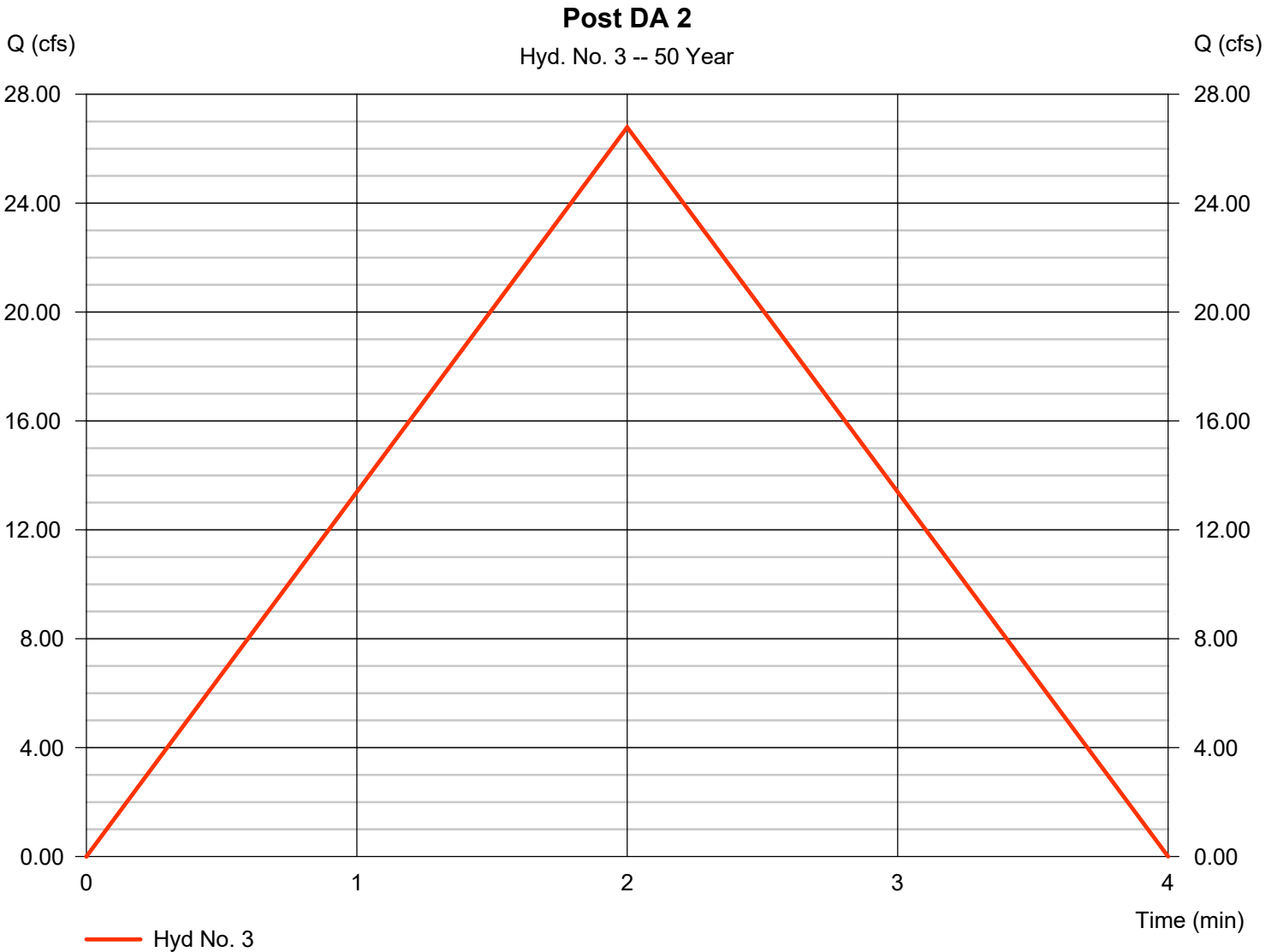
Wednesday, 04 / 10 / 2024

Hyd. No. 3

Post DA 2

Hydrograph type	= Rational	Peak discharge	= 26.79 cfs
Storm frequency	= 50 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 3,215 cuft
Drainage area	= 2.700 ac	Runoff coeff.	= 0.95*
Intensity	= 10.444 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(2.700 x 0.95)] / 2.700



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

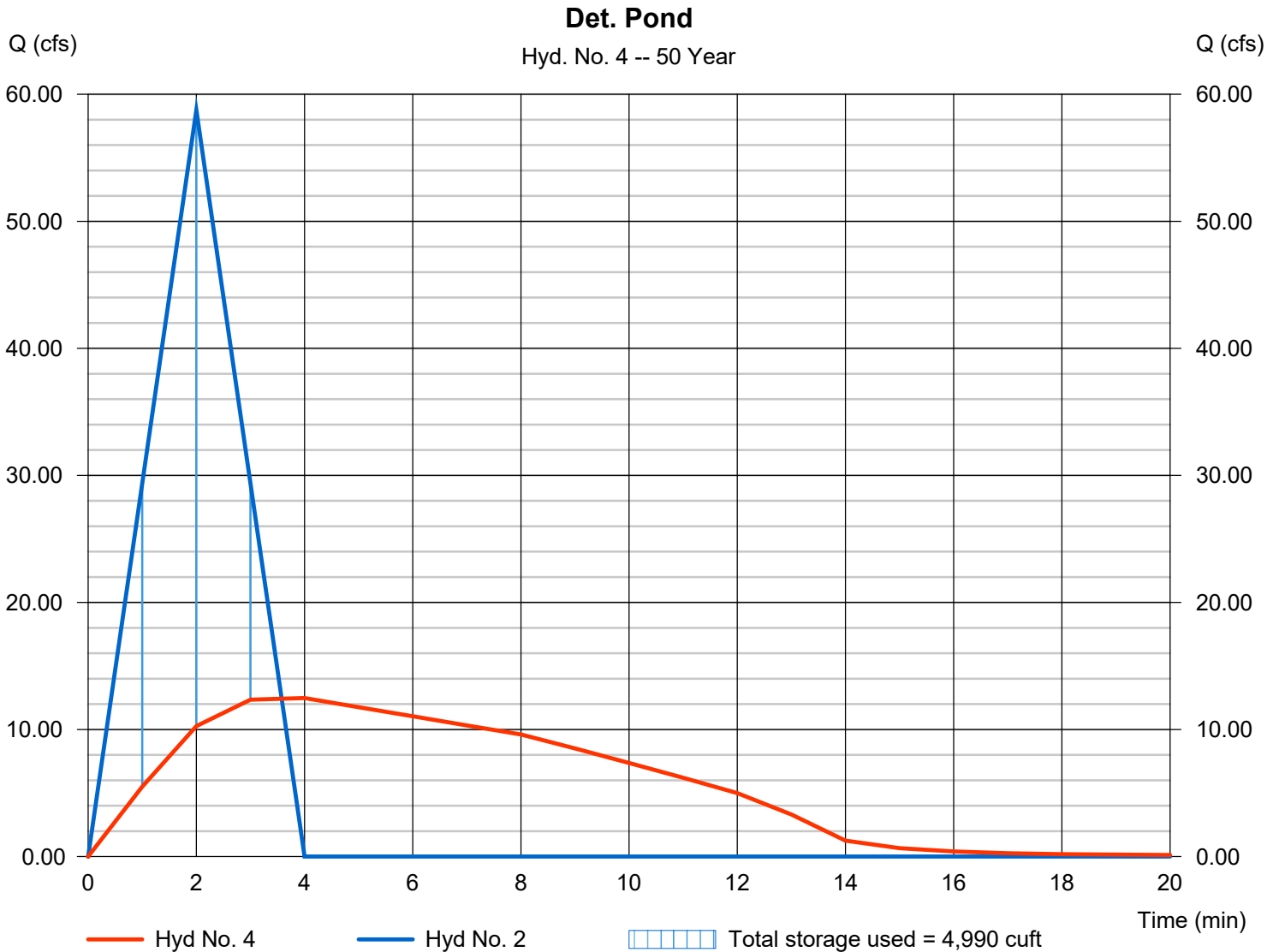
Wednesday, 04 / 10 / 2024

Hyd. No. 4

Det. Pond

Hydrograph type	= Reservoir	Peak discharge	= 12.47 cfs
Storm frequency	= 50 yrs	Time to peak	= 4 min
Time interval	= 1 min	Hyd. volume	= 7,049 cuft
Inflow hyd. No.	= 2 - Post DA 1	Max. Elevation	= 421.90 ft
Reservoir name	= <New Pond>	Max. Storage	= 4,990 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

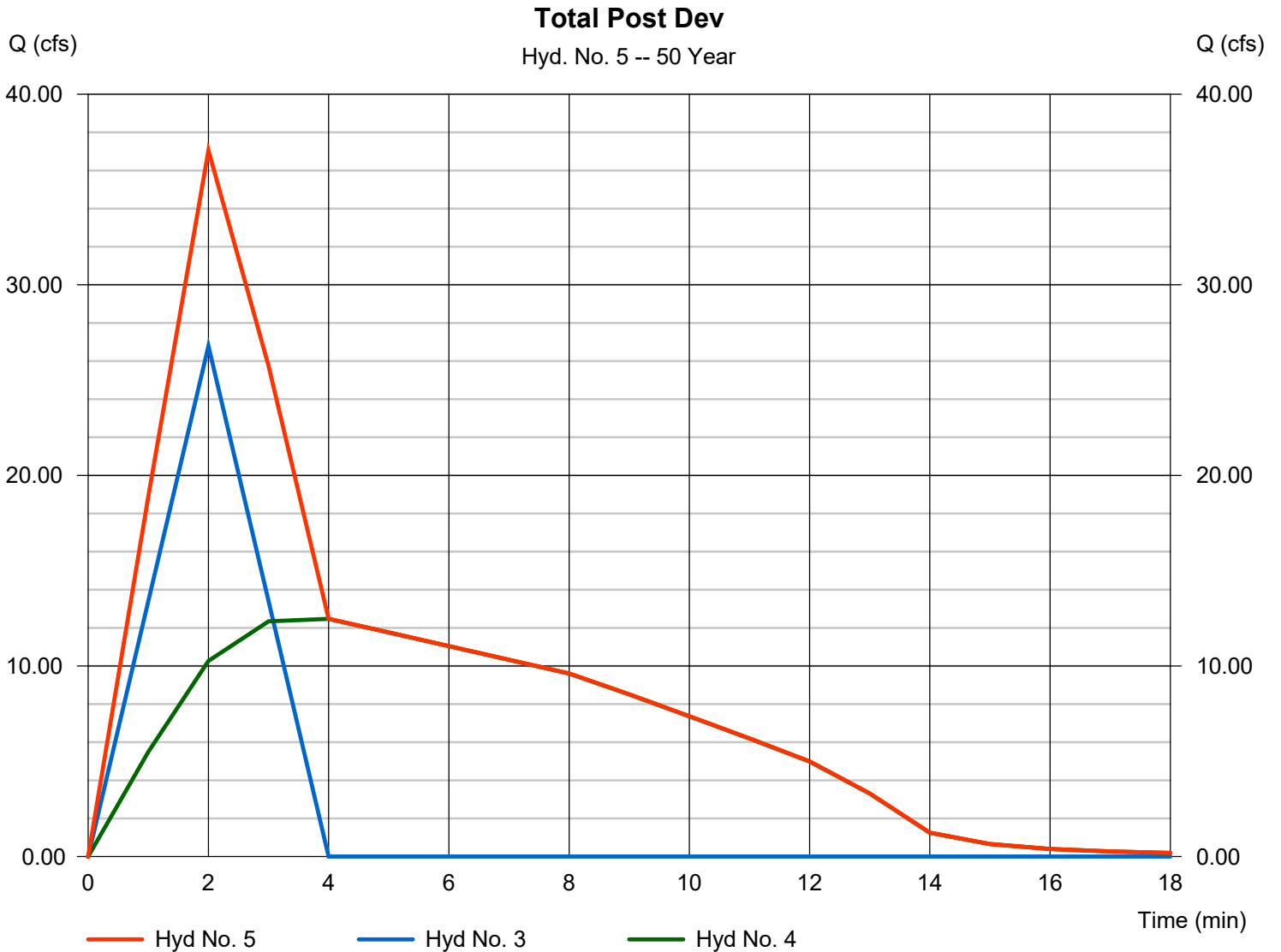
Wednesday, 04 / 10 / 2024

Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 50 yrs
Time interval = 1 min
Inflow hyds. = 3, 4

Peak discharge = 37.05 cfs
Time to peak = 2 min
Hyd. volume = 10,264 cuft
Contrib. drain. area = 2.700 ac



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	Rational	46.13	1	3	8,303	-----	-----	-----	Total Pre-Dev	
2	Rational	63.94	1	2	7,672	-----	-----	-----	Post DA 1	
3	Rational	29.15	1	2	3,499	-----	-----	-----	Post DA 2	
4	Reservoir	12.95	1	4	7,672	2	422.07	5,535	Det. Pond	
5	Combine	39.75	1	2	11,170	3, 4	-----	-----	Total Post Dev	
Bryant HS Hydrographs.gpw					Return Period: 100 Year			Wednesday, 04 / 10 / 2024		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

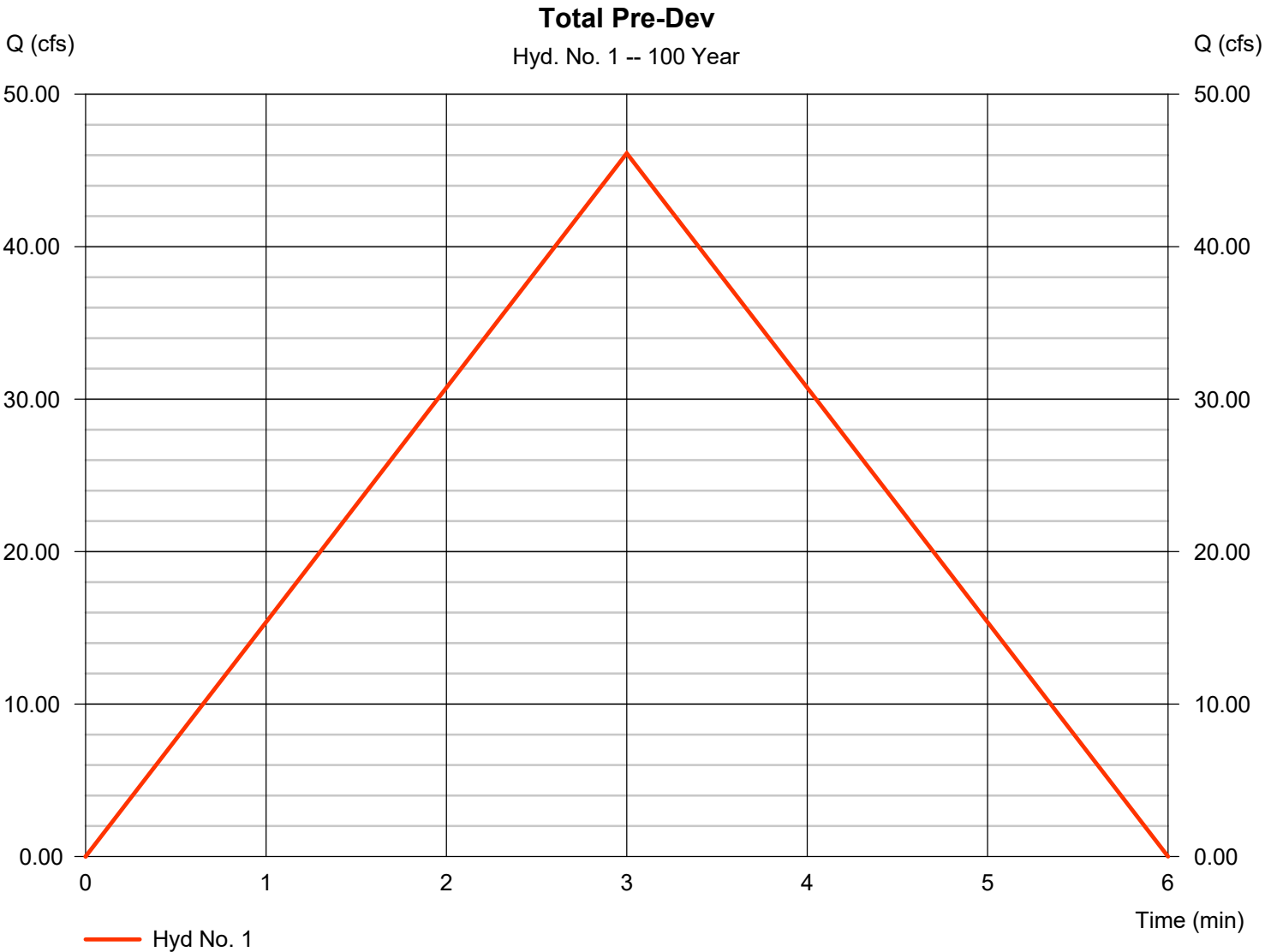
Wednesday, 04 / 10 / 2024

Hyd. No. 1

Total Pre-Dev

Hydrograph type	= Rational	Peak discharge	= 46.13 cfs
Storm frequency	= 100 yrs	Time to peak	= 3 min
Time interval	= 1 min	Hyd. volume	= 8,303 cuft
Drainage area	= 5.800 ac	Runoff coeff.	= 0.73*
Intensity	= 10.895 in/hr	Tc by TR55	= 3.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(3.700 x 0.95) + (2.100 x 0.35)] / 5.800



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

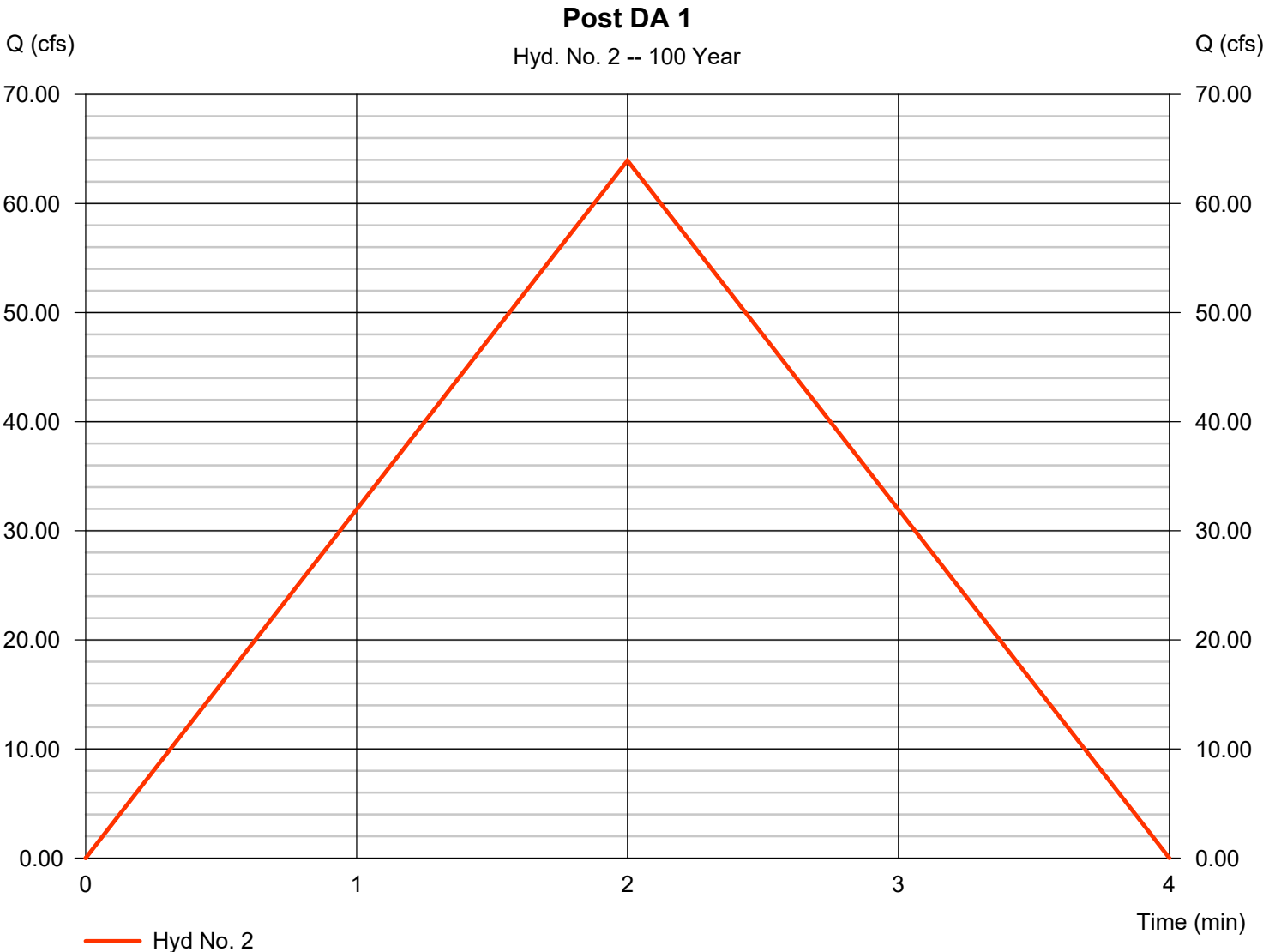
Wednesday, 04 / 10 / 2024

Hyd. No. 2

Post DA 1

Hydrograph type	= Rational	Peak discharge	= 63.94 cfs
Storm frequency	= 100 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 7,672 cuft
Drainage area	= 7.500 ac	Runoff coeff.	= 0.75*
Intensity	= 11.366 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(5.000 x 0.95) + (2.500 x 0.35)] / 7.500



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

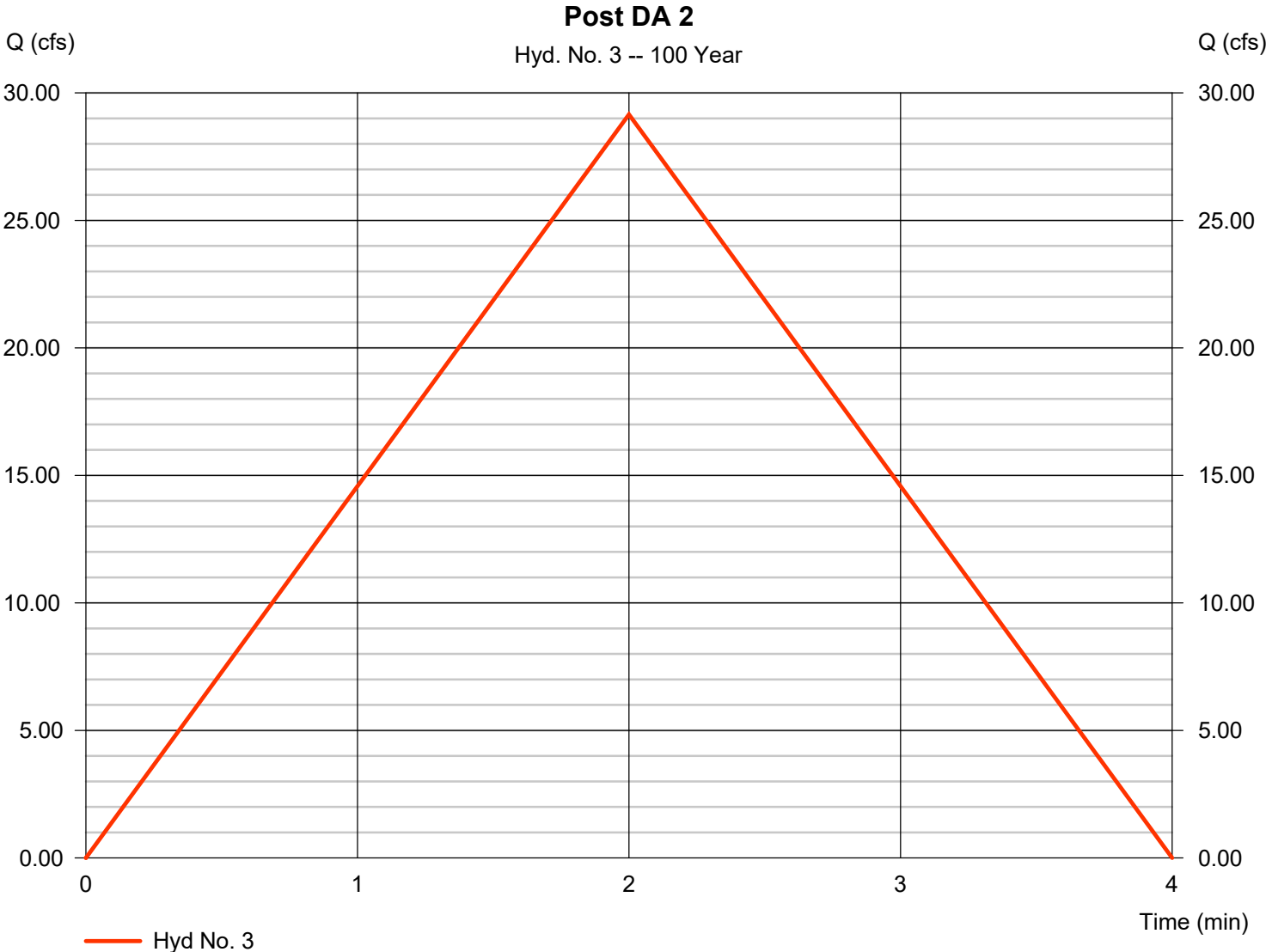
Wednesday, 04 / 10 / 2024

Hyd. No. 3

Post DA 2

Hydrograph type	= Rational	Peak discharge	= 29.15 cfs
Storm frequency	= 100 yrs	Time to peak	= 2 min
Time interval	= 1 min	Hyd. volume	= 3,499 cuft
Drainage area	= 2.700 ac	Runoff coeff.	= 0.95*
Intensity	= 11.366 in/hr	Tc by TR55	= 2.00 min
IDF Curve	= Pulaski County.IDF	Asc/Rec limb fact	= 1/1

* Composite (Area/C) = [(2.700 x 0.95)] / 2.700



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

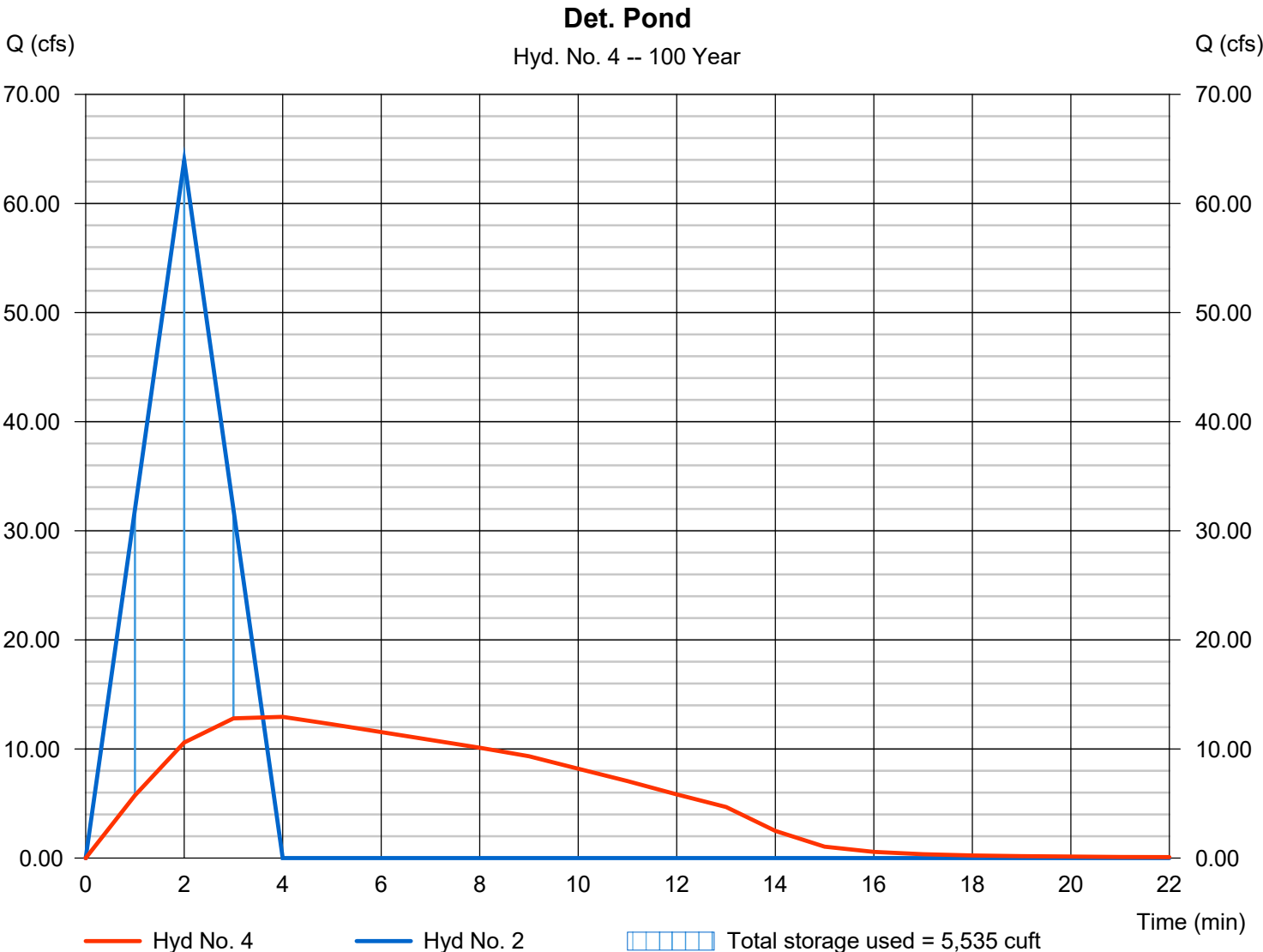
Wednesday, 04 / 10 / 2024

Hyd. No. 4

Det. Pond

Hydrograph type	= Reservoir	Peak discharge	= 12.95 cfs
Storm frequency	= 100 yrs	Time to peak	= 4 min
Time interval	= 1 min	Hyd. volume	= 7,672 cuft
Inflow hyd. No.	= 2 - Post DA 1	Max. Elevation	= 422.07 ft
Reservoir name	= <New Pond>	Max. Storage	= 5,535 cuft

Storage Indication method used.



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2023

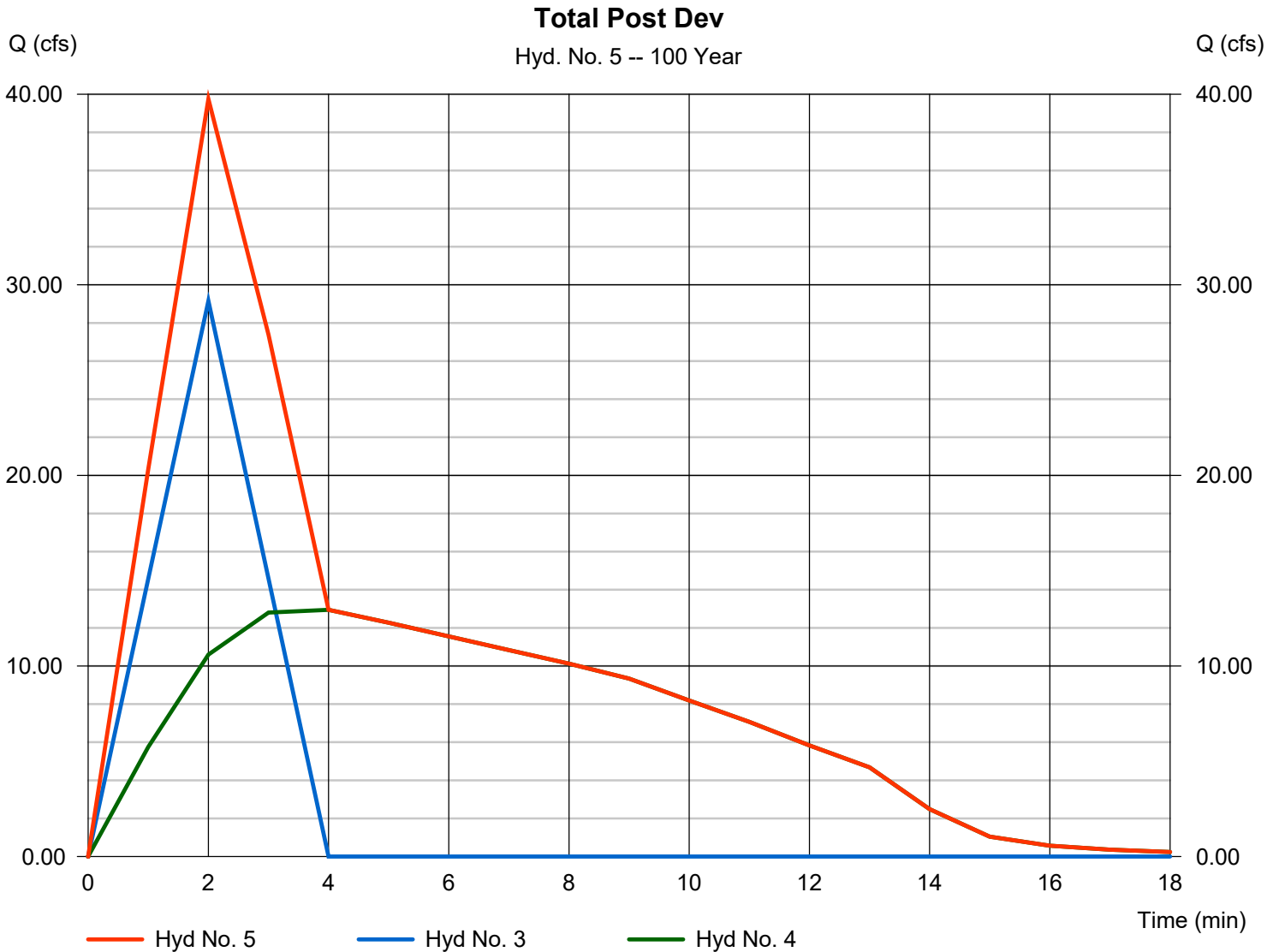
Wednesday, 04 / 10 / 2024

Hyd. No. 5

Total Post Dev

Hydrograph type = Combine
Storm frequency = 100 yrs
Time interval = 1 min
Inflow hyds. = 3, 4

Peak discharge = 39.75 cfs
Time to peak = 2 min
Hyd. volume = 11,170 cuft
Contrib. drain. area = 2.700 ac



PIPE SIZING WORKSHEET

① Total Area = 3.0 AC
H.S. Area = 1.8 AC

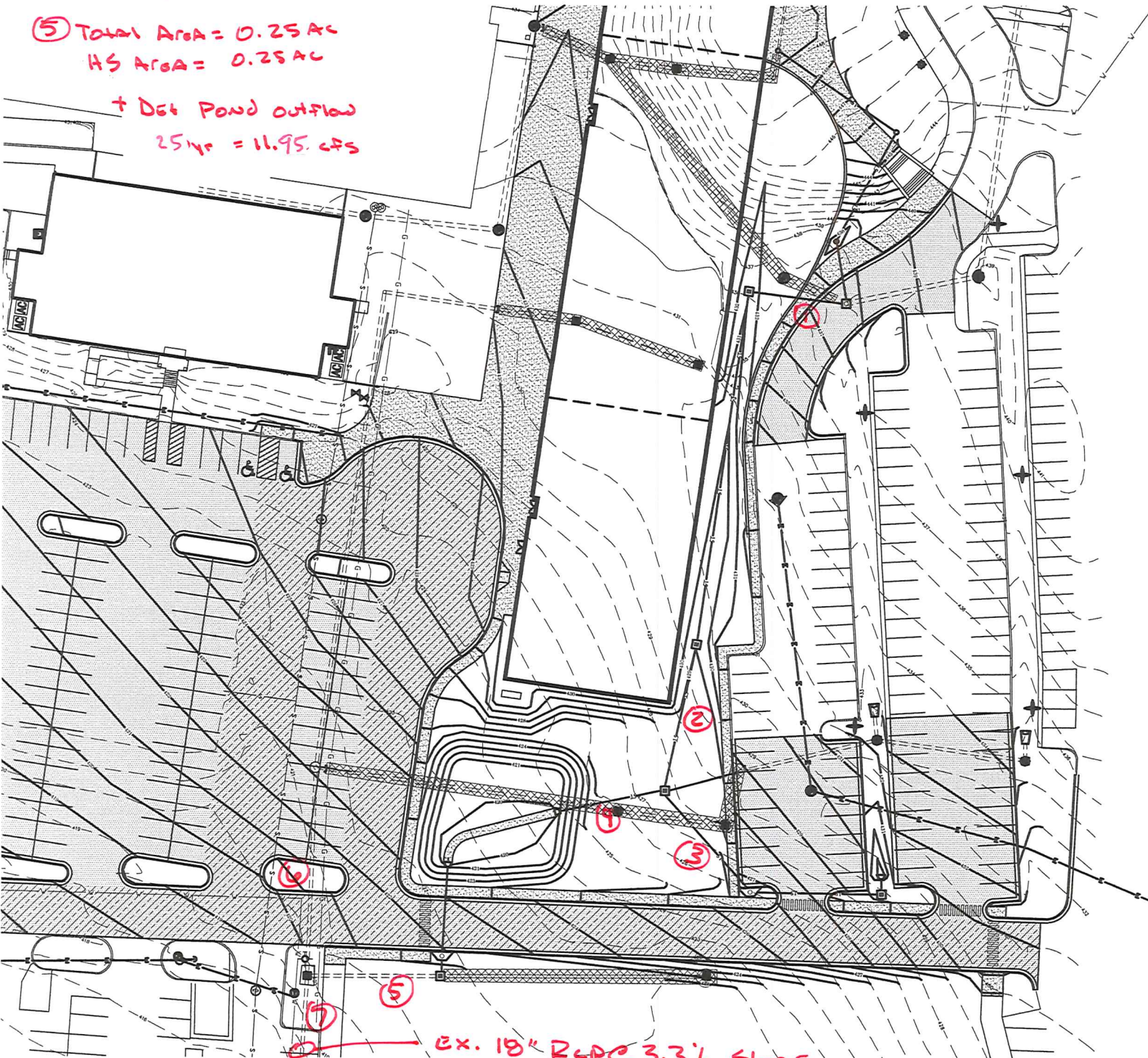
② Total Area = 0.5 AC
H.S. Area = 0.5 AC

③ Total Area = 0.3 AC
H.S. Area = 0.3 AC

④ Total Area = 6.1 AC
H.S. Area = 3.4 AC

⑤ Total Area = 0.25 AC
H.S. Area = 0.25 AC

+ Det Pond Outflow
25% = 11.95 cfs



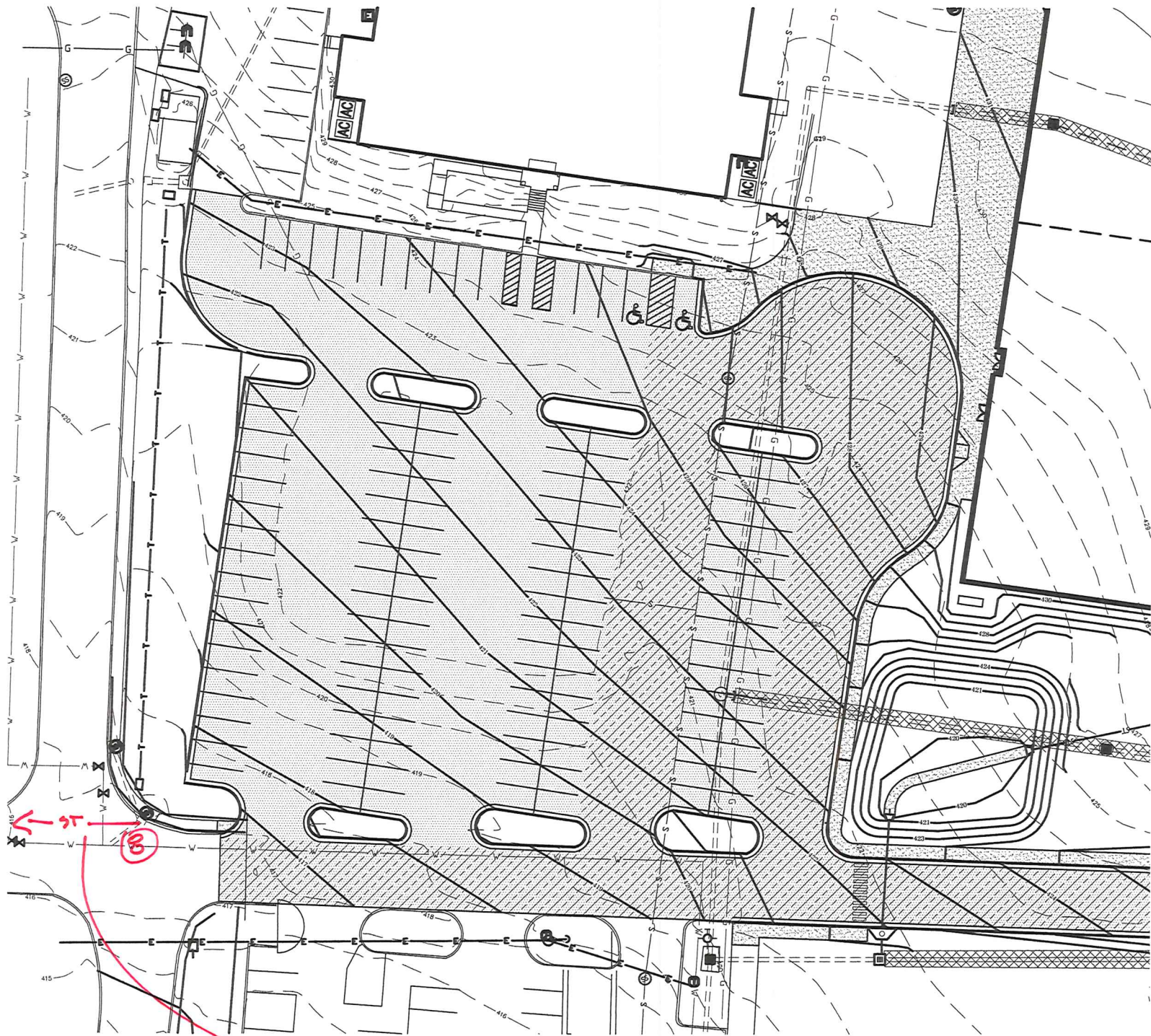
EX. 18" RCP @ 3.3% Slope

⑥ Total Area = 0.1 AC
H.S. Area = 0.1 AC

⑦ = ⑤ + ⑥

Pipe Sizing Worksheet

⑧ Total Area = 1.6 AC
H.S. Area = 1.6 AC



EX 24" RCP @ 3.6% SLOPE

This flows into the School
Det. Pond on Boswell

Bryant HS Addition

PIPE SIZING CALCULATIONS 25-YR STORM
 RATIONAL METHOD Q=CIA
 SEE DRAINAGE CALCS FOR INTENSITY DETERMINATION

PIPE DESC.	DESIGN FLOW	PROPOSED PIPE SIZE	PIPE FLOW CHECK	PERV. SURF. AREA	IMPV. SURF. AREA	TOTAL AREA	PERV. C VALUE	IMPV. C VALUE	TOTAL C	INTENSITY	AVG C	D.A. FLOW	TOTAL FLOW	MIN. SLOPE
#1	17.60	2	28.00	1.8	1.8	3.6	0.45	1.62	2.07	8.50	0.58	17.60	17.60	0.013
#2	17.98	2	42.54	0	0.05	0.5	0.00	0.05	0.05	8.50	0.09	0.38	17.98	0.03
#3	2.30	1.5	18.39	0	0.3	0.3	0.00	0.27	0.27	8.50	0.90	2.30	2.30	0.026
#4	31.75	2.5	110.88	2.7	3.4	6.1	0.68	3.06	3.74	8.50	0.61	31.75	31.75	0.062
#5	13.86	1.5	13.97	0	0.25	0.25	0.00	0.23	0.23	8.50	0.90	1.91	13.86	0.015
#6	0.77	1.5	17.30	0	0.1	0.1	0.00	0.09	0.09	8.50	0.90	0.77	0.77	0.023
#7	34.04	1.5	20.72	0.01	0	0.01	0.00	0.00	0.00	8.50	0.25	0.02	34.04	0.033
#8	14.63	2	46.60	0	1.6	1.6	0.00	1.44	1.44	8.50	0.90	12.24	14.63	0.036

Designed by: Josef Minton, Minton Engineering

Date

4-26-24

add 11.95 cfs (pond)

Inlet Worksheet

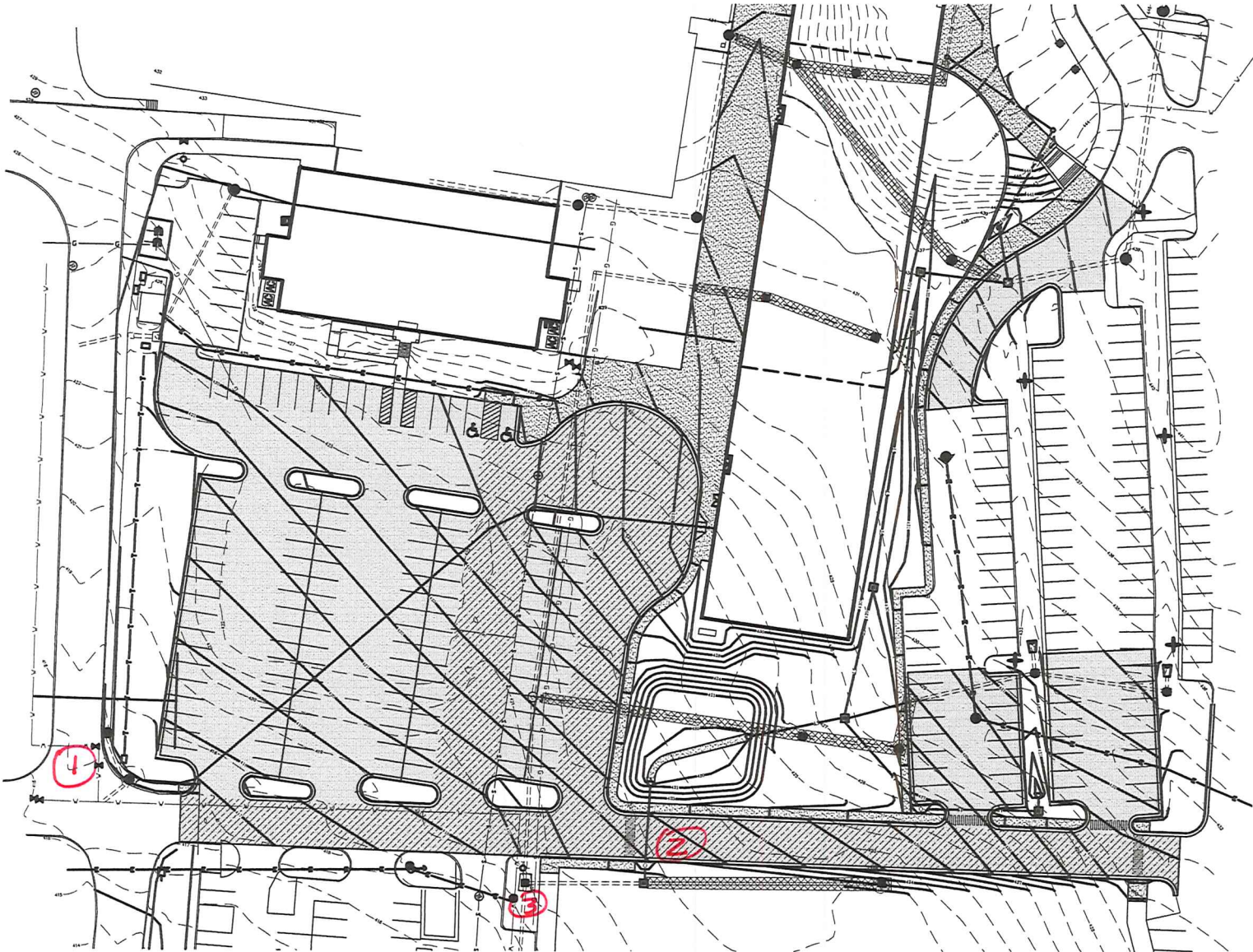
- ① 2 curb inlets w/ back
open throat - Total 8'

Total Area = 1.6 AC
H.S. Area = 1.6 AC

- ② Curb Inlet w/ ext.
throat 10'-3"

Total Area = 0.25 AC
H.S. Area = 0.25 AC

- ③ This grate inlet is surrounded
by island - does not take
in a sig. amt. of water



Inlet Report

Inlet #1

Curb Inlet

Location	=	Sag
Curb Length (ft)	=	8.00
Throat Height (in)	=	6.00
Grate Area (sqft)	=	-0-
Grate Width (ft)	=	-0-
Grate Length (ft)	=	-0-

Gutter

Slope, Sw (ft/ft)	=	0.080
Slope, Sx (ft/ft)	=	0.020
Local Depr (in)	=	4.00
Gutter Width (ft)	=	2.00
Gutter Slope (%)	=	-0-
Gutter n-value	=	-0-

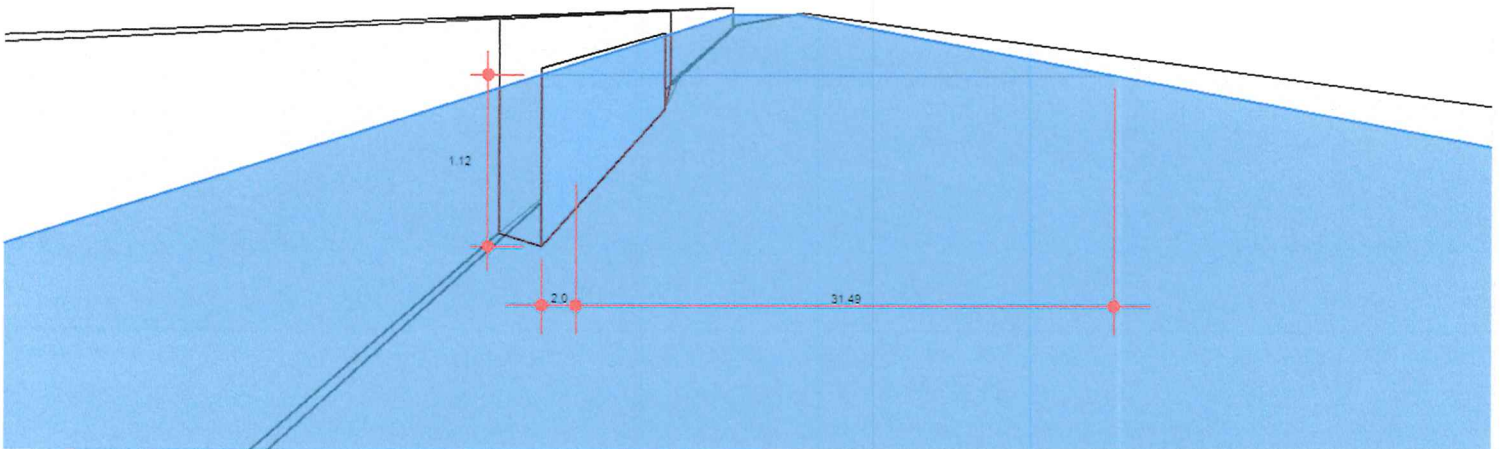
Calculations

Compute by:	Known Q
Q (cfs)	= 14.63

Highlighted

Q Total (cfs)	= 14.63
Q Capt (cfs)	= 14.63
Q Bypass (cfs)	= -0-
Depth at Inlet (in)	= 13.48
Efficiency (%)	= 100
Gutter Spread (ft)	= 33.49
Gutter Vel (ft/s)	= -0-
Bypass Spread (ft)	= -0-
Bypass Depth (in)	= -0-

All dimensions in feet



Inlet Report

Inlet #2

Curb Inlet

Location	= On grade
Curb Length (ft)	= 10.67
Throat Height (in)	= 6.00
Grate Area (sqft)	= -0-
Grate Width (ft)	= -0-
Grate Length (ft)	= -0-

Gutter

Slope, Sw (ft/ft)	= 0.080
Slope, Sx (ft/ft)	= 0.020
Local Depr (in)	= 4.00
Gutter Width (ft)	= 2.00
Gutter Slope (%)	= 2.40
Gutter n-value	= 0.016

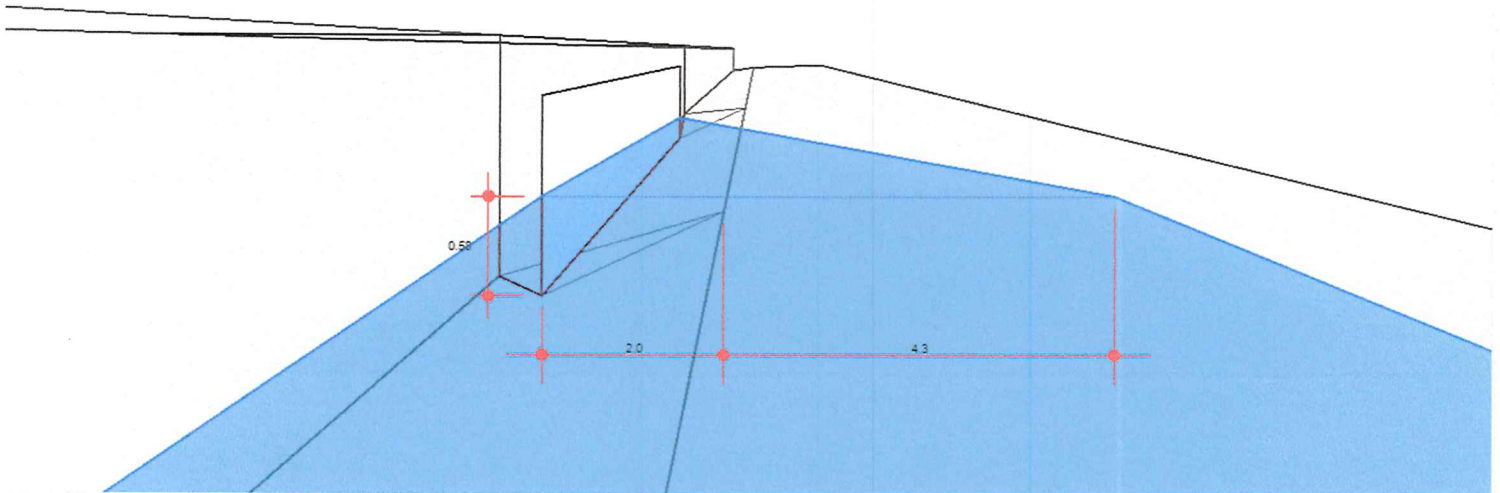
Calculations

Compute by:	Known Q
Q (cfs)	= 1.90

Highlighted

Q Total (cfs)	= 1.90
Q Capt (cfs)	= 1.90
Q Bypass (cfs)	= -0-
Depth at Inlet (in)	= 6.95
Efficiency (%)	= 100
Gutter Spread (ft)	= 6.30
Gutter Vel (ft/s)	= 3.68
Bypass Spread (ft)	= -0-
Bypass Depth (in)	= -0-

All dimensions in feet





300 North Port Drive
Cabot, AR 72023
(501) 941-5559

April 23, 2024

Mr. Colton Leonard
City of Bryant - Planning
210 S.W. 3rd St.
Bryant, AR 72022

Re: Large Scale Development, Bryant High School Addition, Bryant, AR

Mr. Leonard:

Below is our response to the comments from the April 18th DRC meeting.

Planning:

- All rooftop mechanical equipment is screened. The architect is going to call about the mechanical equipment on the east side of the building. This side of the building is lower than the parking and drives, screening will not hide the units.
- Terry Harper with Bryant Schools will call you concerning the landscaping for this project. He has been working with the city on fixing some of the landscape issues they are having on the campus and wants this to match.
- The School District will provide an asbestos clearance letter for each building prior to demolition.

Water:

- The tap has been moved to come off the existing 8" water on the west side of the bus drive.
- We are now capping the existing 8" line at the southwest corner of this project.

Fire:

- This building will have its own fire protection riser, this will allow for an additional 52,000 SF of floor area. It will connect to the fire suppression system on the existing building and will utilize the same FDC.

Storm:

- Trickel channel has been revised.
- Spot elevations added around pond.
- Water surface elevation added to detention pond note.
- All stormwater calculations will be submitted next week.

Sincerely,



Josh Minton, PE
Project Engineer

Cc: Randy Wolf, AIA – Lewis Architects

HIGH SCHOOL ADDITION

BRYANT SCHOOL DISTRICT
BRYANT, AR



PROJECT INFORMATION

DRAWINGS AND PROJECT MANUAL APPROVED AND IDENTIFIED AS PARTS OF THE OFFICIAL CONTRACT DOCUMENT

OWNER: BRYANT SCHOOL DISTRICT
FACILITY: HIGH SCHOOL ADDITION
LOCATION: BRYANT, AR
BY:
DATE:

CONSTRUCTION MANAGER: BALDWIN & SHELL CONSTRUCTION
ADDRESS:
BY:
DATE:

ARCHITECT: LEWIS, ELLIOTT, MCMORRAN, VADEN,
RAGSDALE, & WOODWARD INCORPORATED
ADDRESS: 11225 HURON LANE, SUITE 104
LITTLE ROCK, ARKANSAS 72211
BY:
DATE:

PROJECT NUMBER: 23060
DRAWINGS AND PROJECT MANUAL DATED: 09 APRIL 2024

CERTIFICATION STATEMENT:

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE "ARKANSAS FIRE PREVENTION CODE" FOR THE STATE OF ARKANSAS.

R/V 04-09-24
LEWIS, ELLIOTT, MCMORRAN, VADEN, RAGSDALE, & WOODWARD, INCORPORATED

MATERIAL LEGEND

	MASONRY (PLAN)
	METAL STUD FRAMING (PLAN)
	GYPSUM PANELS
	WOOD BLOCKING CONTINUOUS (SECTION)
	WOOD BLOCKING AS NEEDED (SECTION)
	WOOD FINISHED FACE OR SOLID WOOD
	WOOD PLYWOOD (SECTION)
	CONCRETE (SECTION)
	RIGID INSULATION (SECTION)
	BATT INSULATION (SECTION)
	FILL MATERIAL (SECTION)
	REPLACED SOIL (SECTION)

DESIGN DATA

GENERAL CODES:

INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION
ARKANSAS FIRE PREVENTION CODE (AFPC) 2021 EDITION

SEISMIC:

SEISMIC RISK CATEGORY 2021 IBC
SEISMIC DESIGN CATEGORY _ AFPC REVISIONS
SALINE COUNTY

ACCESSIBILITY STANDARDS

ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 EDITION

OCCUPANCY CLASSIFICATION:

EDUCATION IBC 305

BUILDING CONSTRUCTION TYPE:

II-A-SPRINKLED IBC TABLE 601

ALLOWABLE BUILDING HEIGHT AND AREA:

4 STORY / 85 FT TALL / 79,500 SQ. FT. PER FLOOR IBC 503

OCCUPANT LOAD AND REQUIRED EGRESS:

LEVEL	OCCUPANTS	EXITS (REQ. / ACT)	EGRESS WIDTH (REQ. / ACT)
1ST FLOOR	734	3 / 4	110' / 236"
2ND FLOOR	241	2 / 2	60' / 124"
3RD FLOOR	235	2 / 2	60' / 124"
4TH FLOOR	235	2 / 2	60' / 124"

TOTAL BUILDING SQUARE FOOTAGE:

1ST FLOOR	24,002 SQFT
2ND FLOOR	13,852 SQFT
3RD FLOOR	13,852 SQFT
4TH FLOOR	13,852 SQFT
TOTAL	65,558 SQFT

FIRE PROTECTION

PORTABLE FIRE EXTINGUISHERS	NFPA 10
AUTOMATIC SPRINKLER SYSTEM	IBC 903
2-HR RATED EXIT STAIR (FIRE BARRIER)	IBC 1023
2-HR RATED BUILDING SEPARATION (FIRE WALL) AT EXISTING	IBC 706
FIRE RESISTANCE RATED BUILDING ELEMENTS	IBC TABLE 601
PRIMARY STRUCTURAL FRAME	1-HR
BEARING WALLS	1-HR
FLOOR CONSTRUCTION	1-HR
ROOF CONSTRUCTION	1-HR

STORM SHELTER

NET OCCUPANT LOAD REQUIRED (75% CLASSROOMS, 70% LAB SPACES)	1061 OCC
REQUIRED AREA (OCCUPANT LOAD AT 5 SQFT/PERSON)	5305 SQFT
PROVIDED AREA	5562 SQFT

SYMBOL LEGEND

	DOOR MARK, SEE DOOR SCHEDULE
	CASEWORK ELEVATION MARK
	WINDOW / STOREFRONT FRAME MARK
	CLASSROOM - ROOM NAME
	ROOM NUMBER
	ROOM CEILING HEIGHT
	CEILING FINISH
	DETAIL / SECTION NUMBER
	SHEET NUMBER

VICINITY MAP



ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
AT	ALUMINUM THRESHOLD
CEJC	CEILING EXPANSION JOINT COVER
CJ	CONTROL JOINT
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
DTL	DETAIL
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FEJ	FLOOR EXPANSION JOINT
FLR	FLOOR
GB	GRAB BAR
MECH	MECHANICAL
NHO	NORMALLY HELD OPEN
NTS	NOT TO SCALE
OPG	OPENING
REQ	REQUIRED
SHT	SHEET
SIM	SIMILAR
STO	STORAGE
TYP	TYPICAL
WEJC	WALL EXPANSION JOINT COVER

INDEX OF DRAWINGS

T1.1 TITLE SHEET

CIVIL

C0.1	EXISTING CONDITIONS SURVEY
C0.2	EXISTING CONDITIONS SURVEY
C1.0	SITE DEMOLITION PLAN
C1.1	SITE EROSION CONTROL PLAN
C1.2	SITE GRADING & STORM DRAINAGE PLAN
C1.3	SITE UTILITY PLAN

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A2.2	FIRST FLOOR PLAN - AREA B
A2.3	SECOND FLOOR PLAN
A2.4	THIRD FLOOR PLAN
A2.5	FOURTH FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A4.4	STAIR DETAILS
A5.1	WALL SECTIONS
A5.2	WALL SECTION
A5.3	WALL SECTIONS
A5.4	WALL SECTIONS
A5.5	WALL SECTIONS
A5.6	WALL SECTIONS
A5.7	WALL SECTIONS
A5.8	WALL SECTIONS
A5.9	WALL SECTIONS
A6.1	FIRST FLOOR REFLECTED CEILING PLAN - AREA A
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A6.4	THIRD FLOOR REFLECTED CEILING PLAN
A6.5	FOURTH FLOOR REFLECTED CEILING PLAN
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A8.2	WINDOW ELEVATIONS
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S3.2	FOUNDATION DETAILS
S3.3	FOUNDATION DETAILS
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S4.2	SECOND FLOOR FRAMING PLAN - AREA B
S4.3	THIRD FLOOR FRAMING PLAN
S4.4	FOURTH FLOOR FRAMING PLAN
S4.5	ROOF FRAMING PLAN
S5.1	FRAMING DETAILS
S5.2	FRAMING DETAILS
S5.3	FRAMING DETAILS
S5.4	FRAMING DETAILS
S6.1	ROOF FRAMING DETAILS
S6.2	ROOF FRAMING DETAILS
S6.3	ROOF FRAMING DETAILS
S7.1	BRACE ELEVATIONS
S7.2	ELEVATION DETAILS

PLUMBING

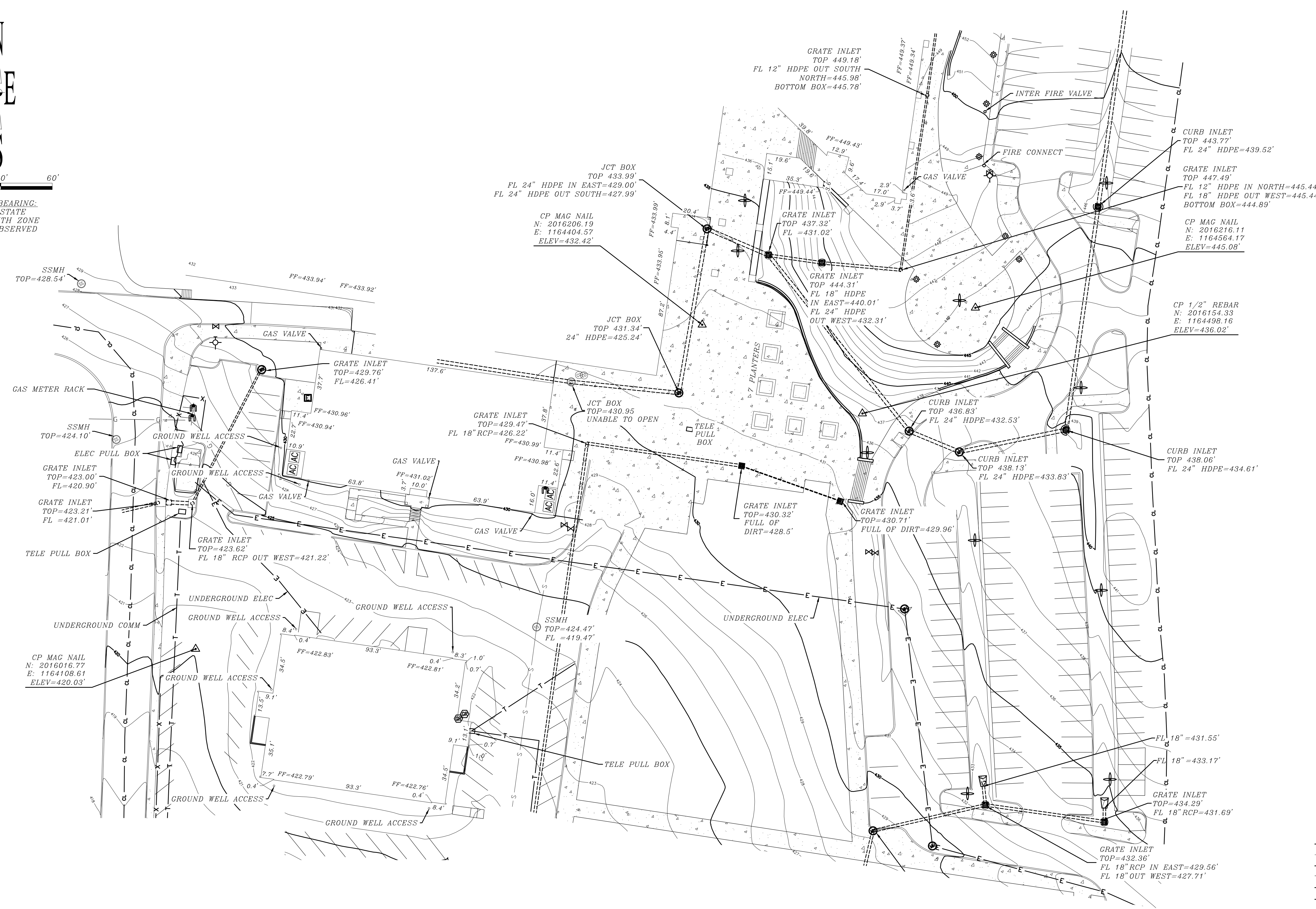
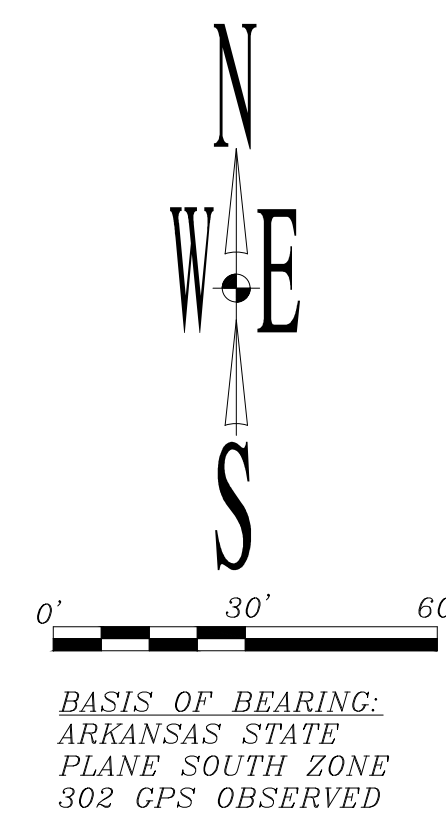
P1.1	FLOOR PLAN - FIRST FLOOR - AREA A - PLUMBING
P1.2	FLOOR PLAN - FIRST FLOOR - AREA B - PLUMBING
P1.3	FLOOR PLAN - SECOND FLOOR - PLUMBING
P1.4	FLOOR PLAN - THIRD FLOOR - PLUMBING
P1.5	FLOOR PLAN - FOURTH FLOOR - PLUMBING
P2.1	ROOF PLAN - PLUMBING
P3.1	PLUMBING SCHEDULE & DETAILS
P3.2	PLUMBING DETAILS
P4.1	PLUMBING RISER DIAGRAMS
P4.2	PLUMBING RISER DIAGRAMS
P4.3	PLUMBING RISER DIAGRAMS

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M1.3	FLOOR PLAN - SECOND FLOOR - HVAC
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E2.5	FLOOR PLAN - FOURTH FLOOR - POWER
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E3.3	FLOOR PLAN - SECOND FLOOR - SYSTEMS
E3.4	FLOOR PLAN - THIRD FLOOR - SYSTEMS
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E6.2	ELECTRICAL PANEL SCHEDULES
E6.3	ELECTRICAL PANEL SCHEDULES
E6.4	ELECTRICAL PANEL SCHEDULES
E7.1	ELECTRICAL LEGENDS, DETAILS, & NOTES



VICINITY MAP

- LEGEND**
- ▲ Right of Way Monument
 - △ Control Points
 - Set Iron Pin
 - Found Monument
 - ⊕ Gas Regulator
 - ⊕ Gas Riser
 - ⊕ Gas Meter
 - ⊕ Clean Out
 - ⊕ Sanitary Sewer Manhole
 - ⊕ Telephone Pedestal
 - ⊕ Electric Meter
 - ⊕ Electric Box
 - ⊕ Power Pole
 - ⊕ Guy Wire Anchor
 - ⊕ Light Pole
 - ⊕ Center Line
 - ⊕ Flag Pole
 - ⊕ Fire Hydrant
 - ⊕ Water Hydrant
 - ⊕ Down Spout
 - ⊕ Water Meter
 - ⊕ Water Valve
 - ⊕ Metal Drainage Grate
 - ⊕ Gate Post
 - ⊕ Ground Light
 - ⊕ Sign
 - ⊕ Junction Box
 - ⊕ Handicap Parking
 - ⊕ Manhole
 - ⊕ Bollard
 - ⊕ Mailbox
 - ⊕ RPZ Valve
 - ⊕ Tree
 - ⊕ Vault
 - ⊕ Air Conditioner
 - Flow Direction
 - ⊕ Flared End Section
 - Telephone Line
 - Sanitary Sewer Main
 - Electric Line
 - Underground Gas
 - Watertline
 - Fence
 - Fiber Optic
 - ○ ○ ○ ○ Tree Line
 - Concrete

CERTIFICATE

THE UNDERSIGNED, A REGISTERED LAND SURVEYOR HEREBY CERTIFIES THAT: (A) THIS SURVEY AND THE PROPERTY DESCRIPTION SET FORTH HEREON ARE TRUE AND CORRECT AND PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY OR THE REAL PROPERTY SHOWN HEREON; (B) SUCH SURVEY WAS CONDUCTED BY THE SURVEYOR OR UNDER HIS DIRECT SUPERVISION; (C) ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THE LOCATION, SIZE AND TYPE OF MATERIAL THEREOF ARE CORRECTLY SHOWN; (D) DISTANCES ARE GIVEN IN FEET AND DECIMAL PART THEREOF; (E) THE BOUNDARIES, DIMENSIONS, AND OTHER DETAILS SHOWN HEREON ARE TRUE AND CORRECT.

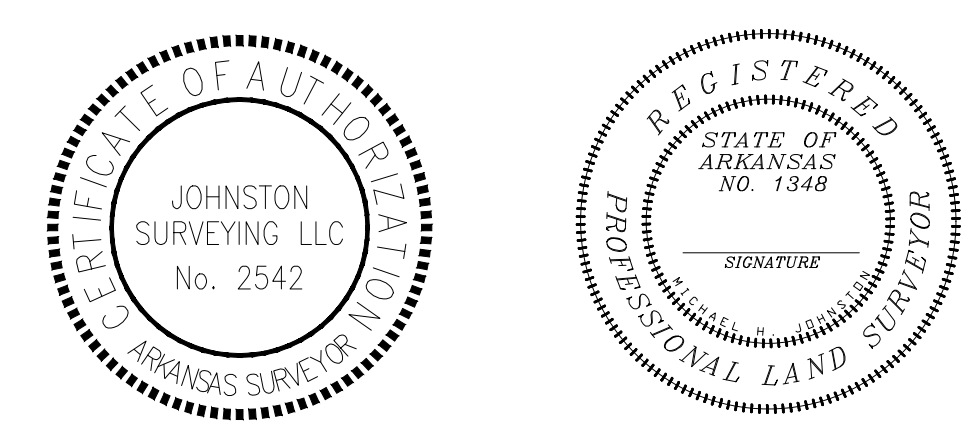
FOR THE USE AND BENEFIT OF:

BY _____ 1/9/24 _____
REGISTERED LAND SURVEYOR # 1348 DATE

Flood Information
This property lies within Zone X according to Federal Flood Insurance Rate Map Community Panel No. 5125C0380E, effective June 5, 2020.

Note:
All utilities shown per visible field evidence, lines marked on the ground, or verbal communication from onsite utility personnel. Surveyor is not responsible for existing underground utilities that are incorrectly located, omitted from or added to this plat.

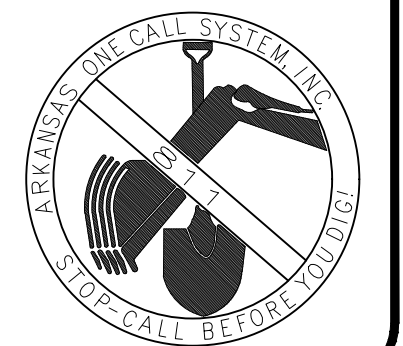
SHEET 1 OF 2



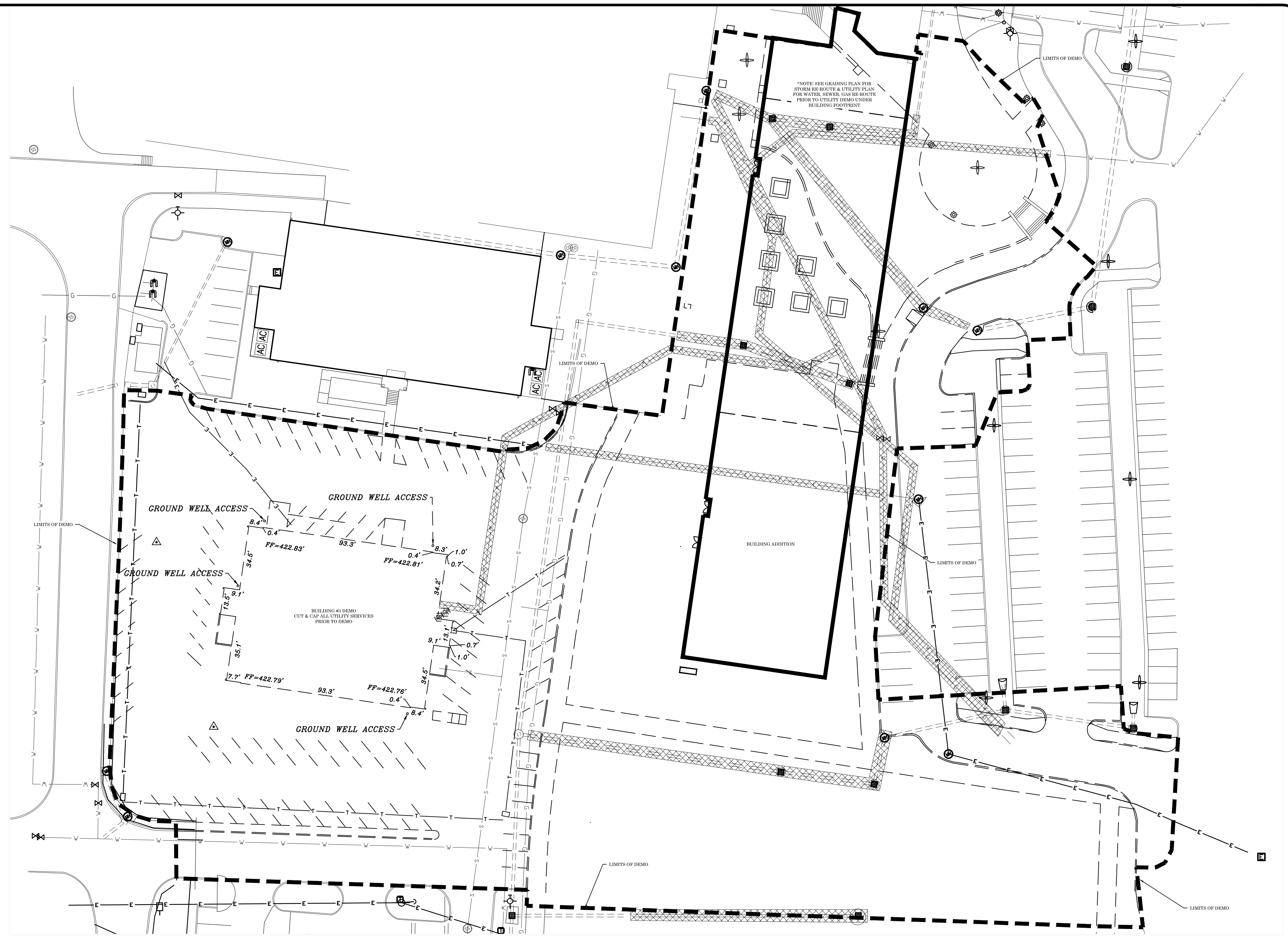
BRYANT SD3 HS
200 NE 4TH STREET
BRYANT, AR 72022

JOHNSTON SURVEYING, INC
37027 HWY 300
ROLAND, AR 72135
501-837-5643
MJohnstonsurveying@gmail.com

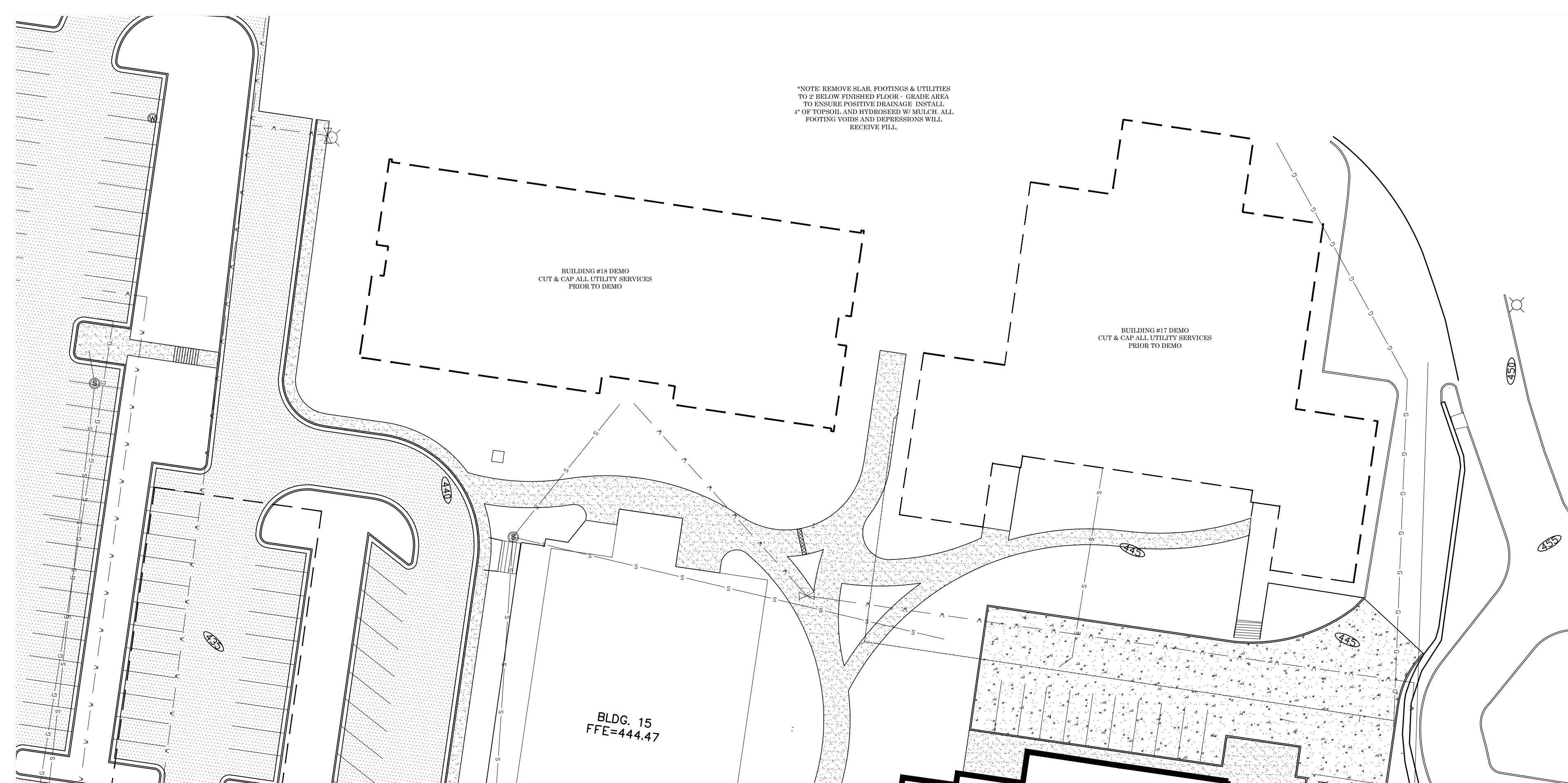
DATE: 1/9/2024
SCALE: 1"=30'
DRAWN BY: H. GRAFFENREED
CHECKED BY: M. JOHNSTON
FILE NAME: CO.1_Survey



SITE LEGEND	
100	EX. CONTOUR LINE
PL	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
V	EX. WATER LINE
(Tree Symbol)	EX. TREE
100	PR. CONTOUR
V	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
(Hatched Box)	UTILITY TO BE REMOVED OR ABANDONED
(Triangle)	PR. WATERLINE BLOCKING
(Dashed Line)	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TV	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLOW LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED
ND	NOT IN CONTRACT

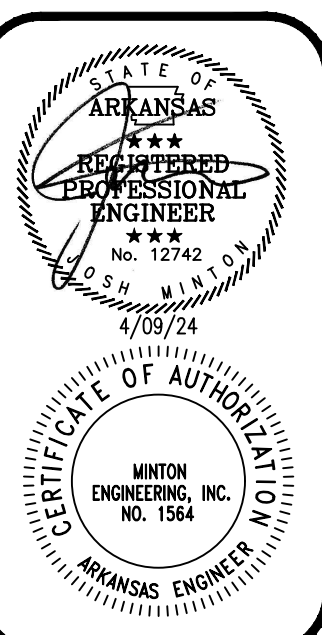


SITE DEMOLITION PLAN - BUILDING ADDITION
 NORTH
 1
 C1.0
 SCALE: 1" = 30'
 0 30 60



SITE DEMOLITION PLAN - BUILDINGS #17 & #18
 NORTH
 2
 C1.0
 SCALE: 1" = 30'
 0 30 60

- GENERAL SITE DEMOLITION NOTES:**
- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DEMOLITION OF ANY UTILITIES, FACILITIES, STRUCTURES, ECT. IN THE OUTLINED AREA NOT SHOWN ON THIS PLAN BUT NECESSARY TO COMPLETE THIS PROJECT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
 - DEMOLITION SCOPE:
 - CONTACT ENERGY TO REMOVE METERS AND SERVICE POLES TO BUILDINGS BEING REMOVED.
 - CUT & CAP ALL UNDERGROUND UTILITY SERVICES TO BUILDINGS BEING REMOVED.
 - REMOVE ALL EXISTING UTILITIES TO 10' OUTSIDE NEW BUILDING FOOTPRINT. BACKFILL TRENCHES WITH SELECT MATERIAL COMPACTED.
 - REMOVE ALL HARDSCAPE (CONCRETE, ASPHALT, FENCING, LANDSCAPING, ECT) INSIDE THE LIMITS OF DEMOLITION.
 - THE CONTRACTOR WILL COORDINATE ALL DEMOLITION ACTIVITIES WITH THE OWNER, ARCHITECT & LOCAL UTILITY COMPANIES.
 - THE EXISTING CONDITIONS SHOWN WERE TAKEN OFF OF A TOPOGRAPHIC SURVEY PROVIDED BY THE OWNER - ANY DISCREPANCIES SHOULD BE ADDRESSED PRIOR TO BIDDING.



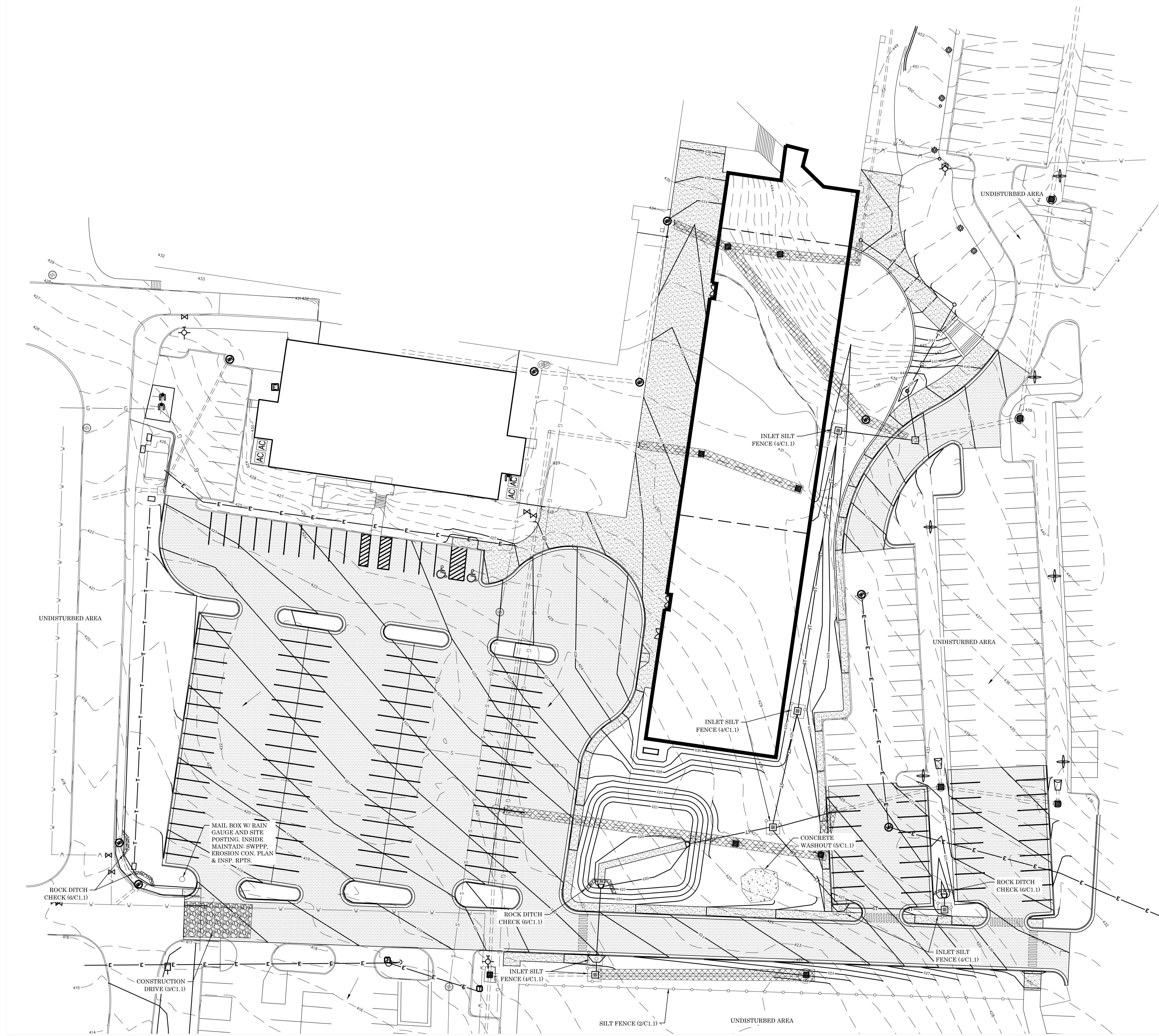
DATE: 04-09-24
 PROJECT NO: 23000
 DRAWN BY: JM
 REVISION:

GENERAL EROSION CONTROL NOTES:

1. THE CONTRACTOR WILL PRODUCE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT MEETS THE REQUIREMENTS SET FORTH BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY.
2. THE CONTRACTOR WILL FILL OUT INSPECTION REPORTS AND LOG RAINFALL DATA AS REQUIRED BY THE SWPPP.
3. THE CONTRACTOR WILL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING DIRTWORK ACTIVITIES ON THIS SITE.
4. THE CONTRACTOR WILL IMMEDIATELY CLEAN UP ANY SEDIMENT THAT LEAVES THIS SITE.
5. THE CONTRACTOR WILL RE-ESTABLISH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SWPPP.
6. THE CONTRACTOR WILL REMOVE ALL EROSION CONTROL MEASURES ONCE THE SITE HAS BEEN RE-ESTABLISHED.

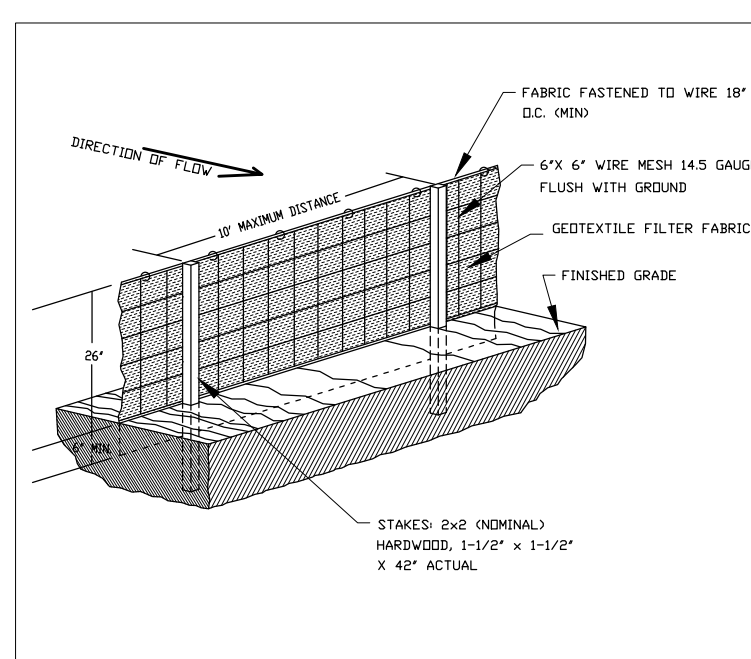
SITE LEGEND:

---	EX. CONTOUR LINE
---	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
W	EX. WATER LINE
○	EX. TREE
---	PR. CONTOUR
W	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
▨	UTILITY TO BE REMOVED OR ABANDONED
▤	PR. WATERLINE BLOCKING
▥	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TW	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLDW. LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED
NIC	NOT IN CONTRACT

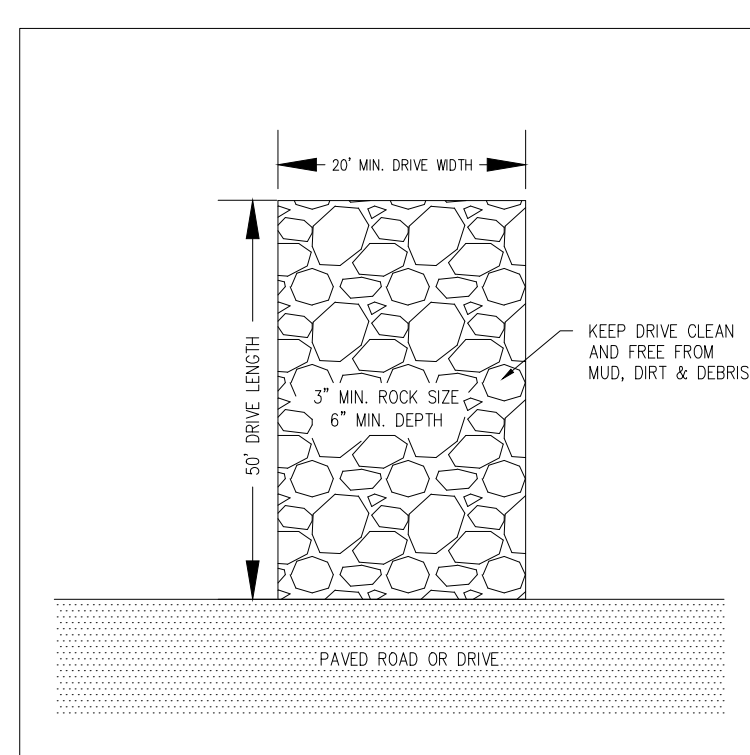


SITE EROSION CONTROL PLAN

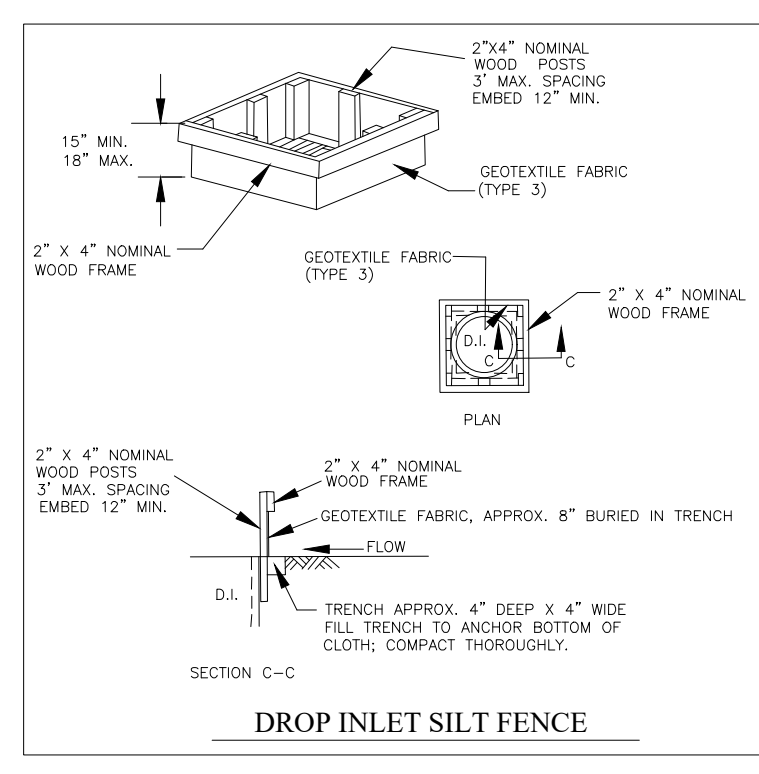
SCALE: 1" = 30'
0 30 60



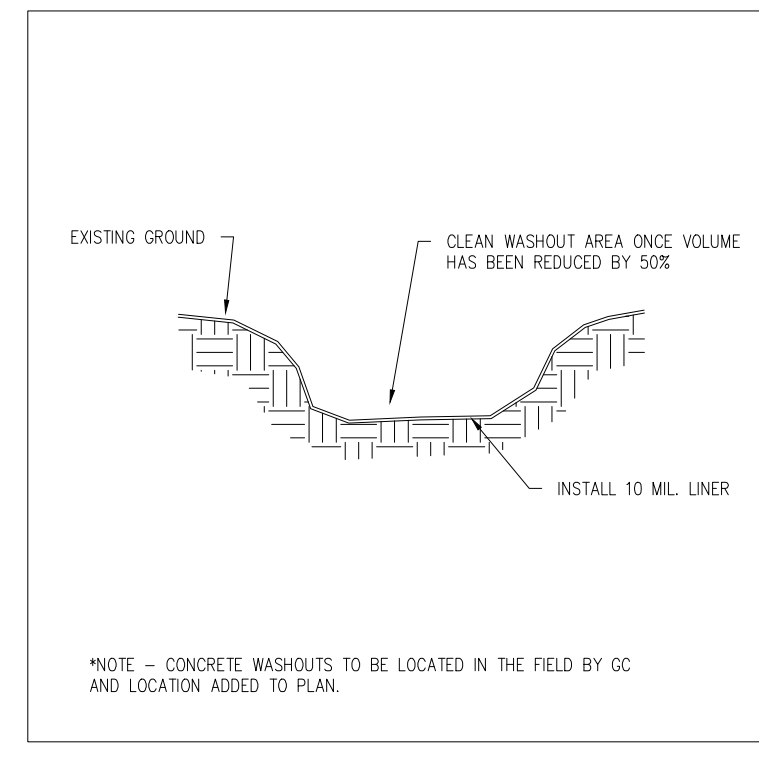
2 SILT FENCE DETAIL
SCALE: N.T.S.



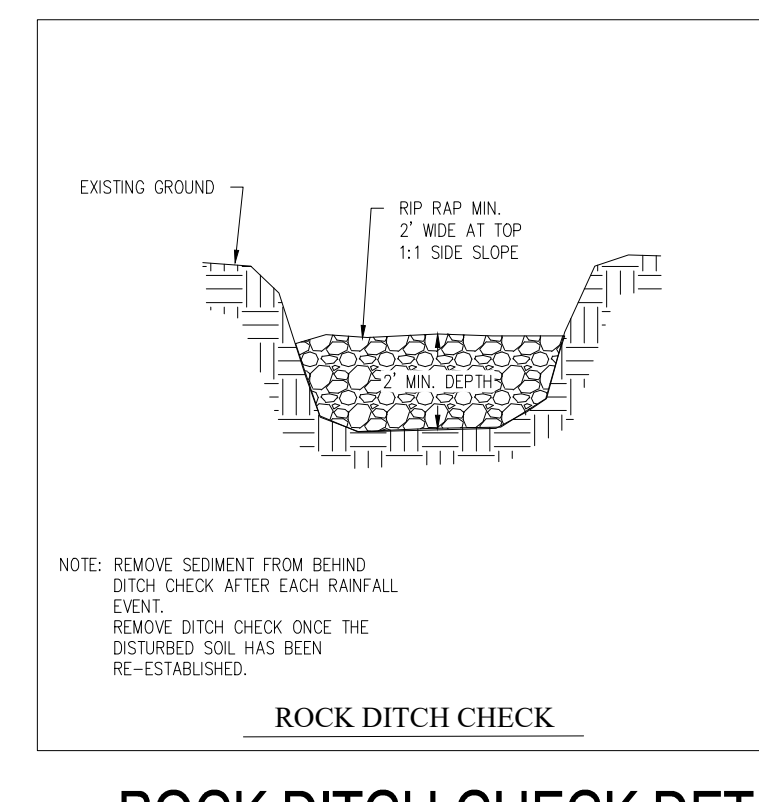
3 CONSTRUCTION DRIVE DETAIL
SCALE: N.T.S.



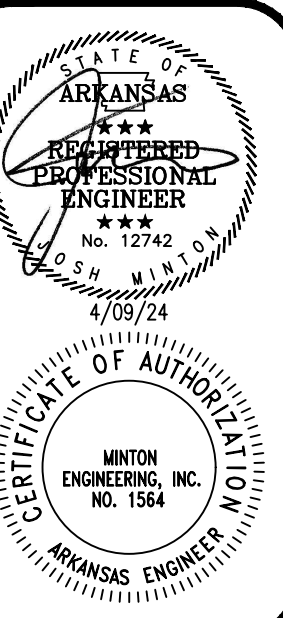
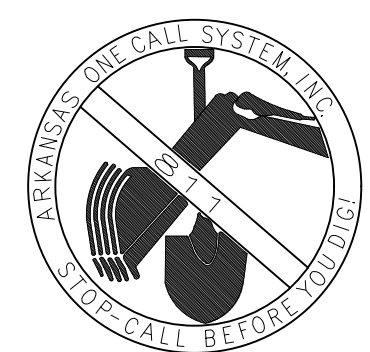
4 INLET SILT FENCE DETAIL
SCALE: N.T.S.

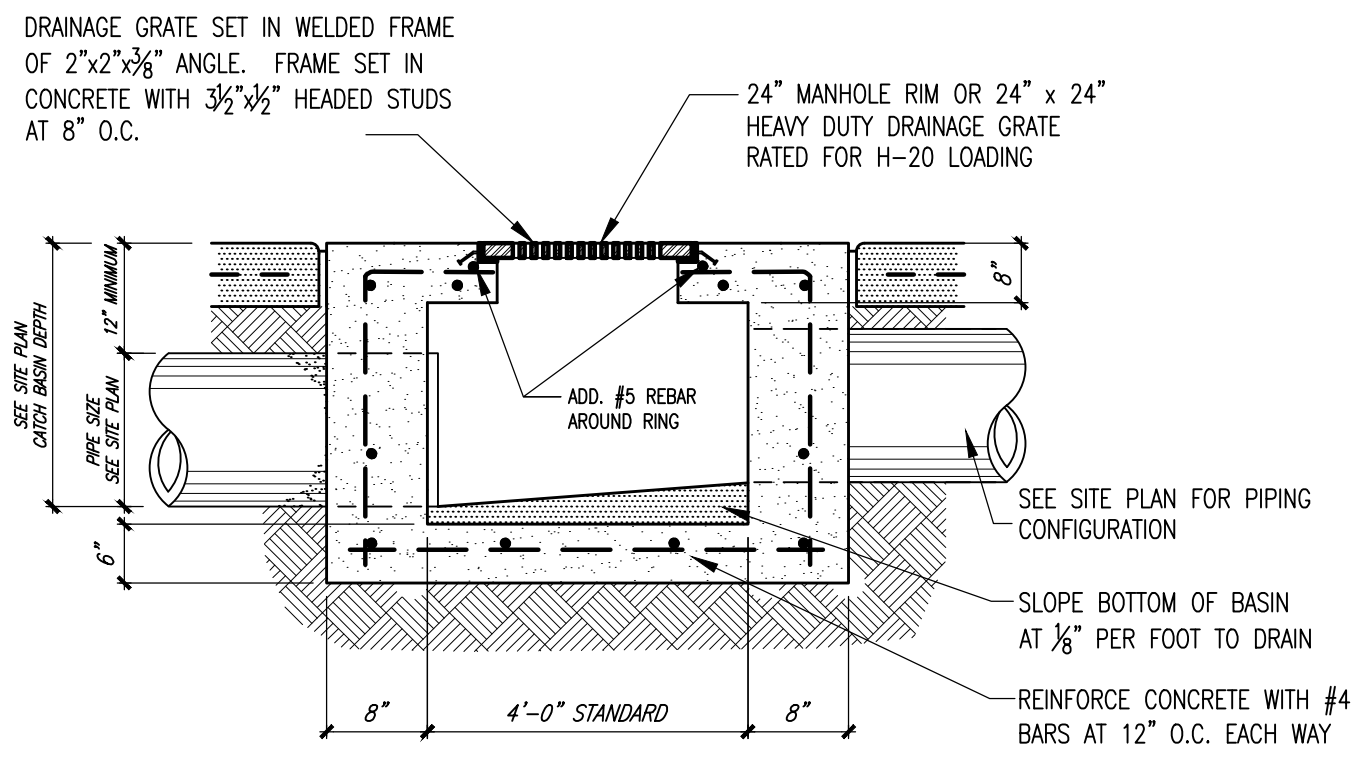


5 CONCRETE WASHOUT DETAIL
SCALE: N.T.S.

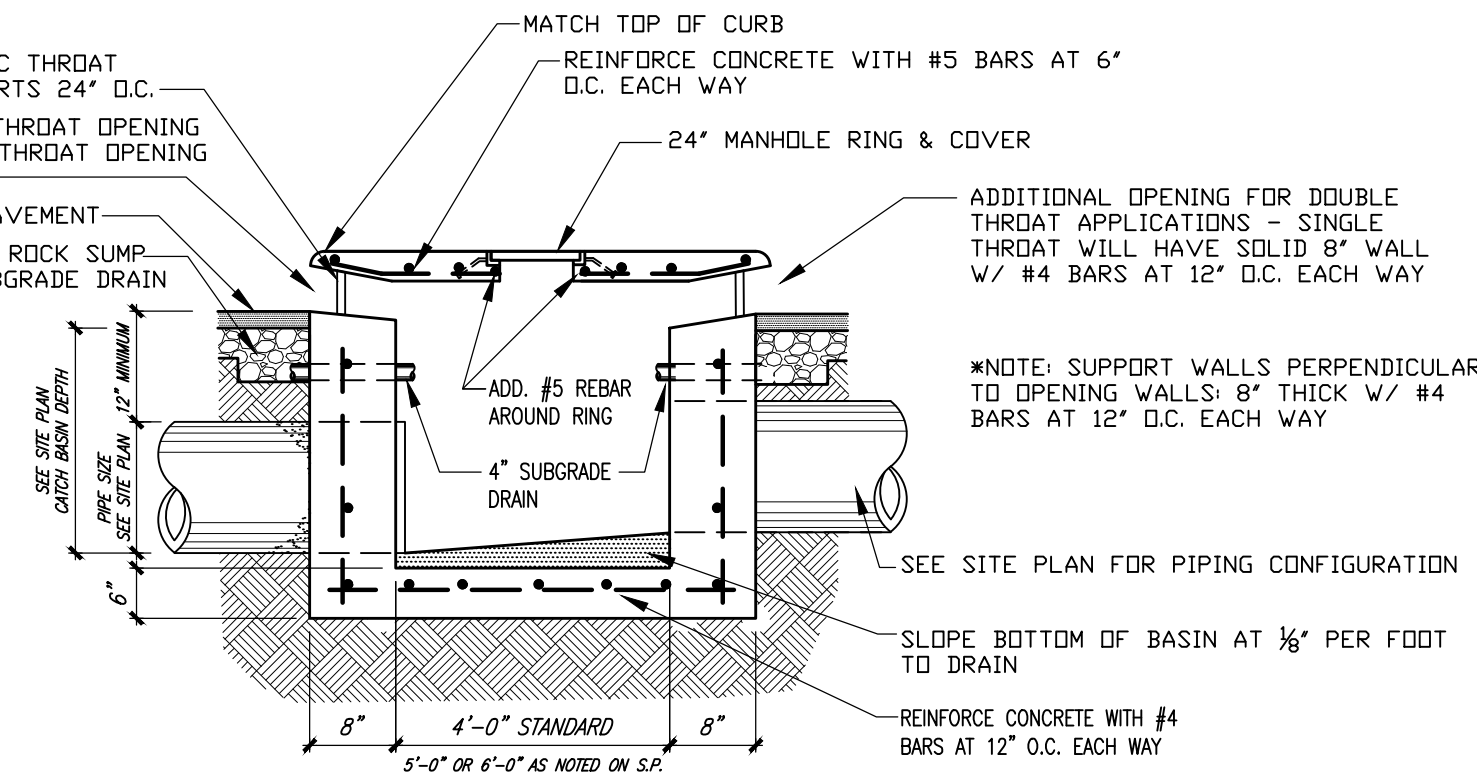


6 ROCK DITCH CHECK DETAIL
SCALE: N.T.S.

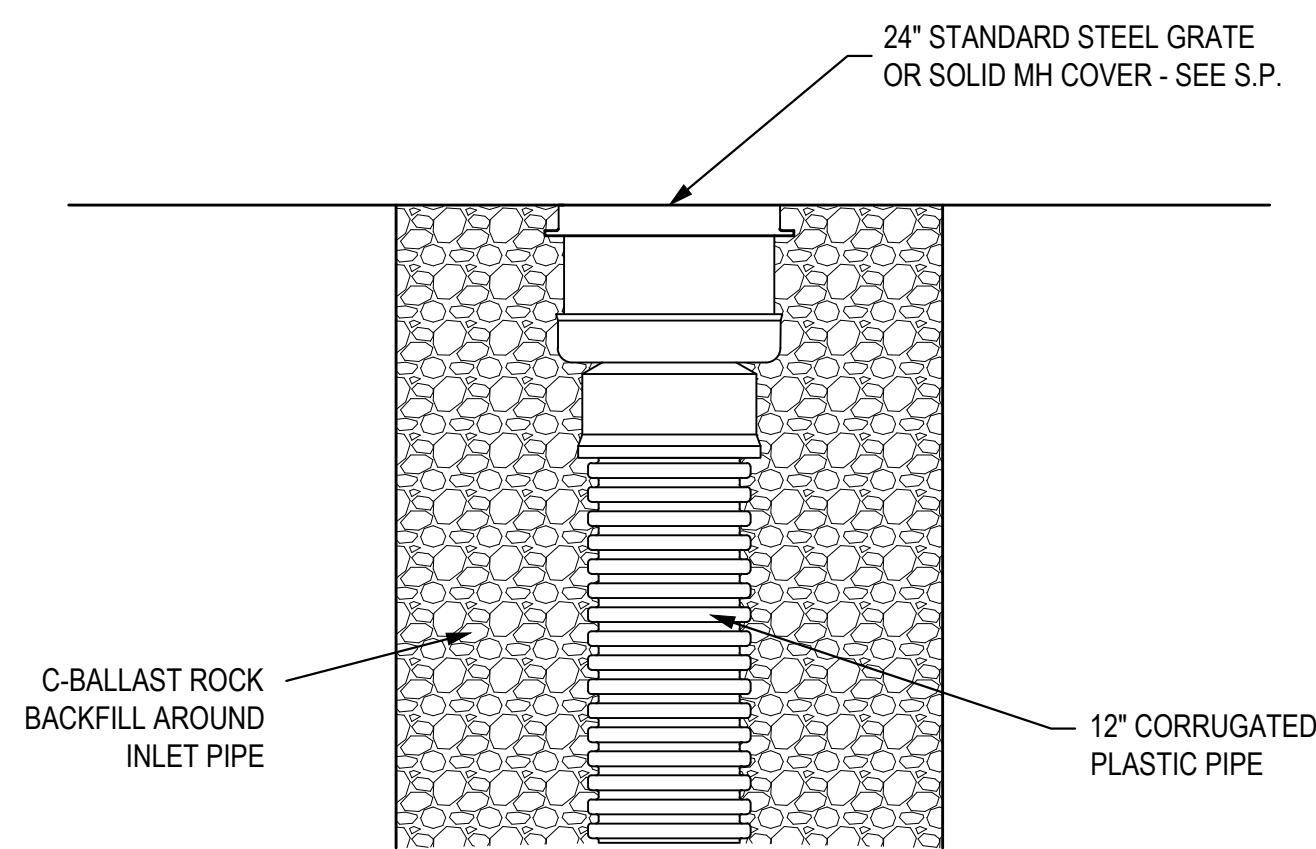




2 STORM DRAINAGE JUNCTION BOX (J.B.) DETAIL
C1.2 NOT TO SCALE

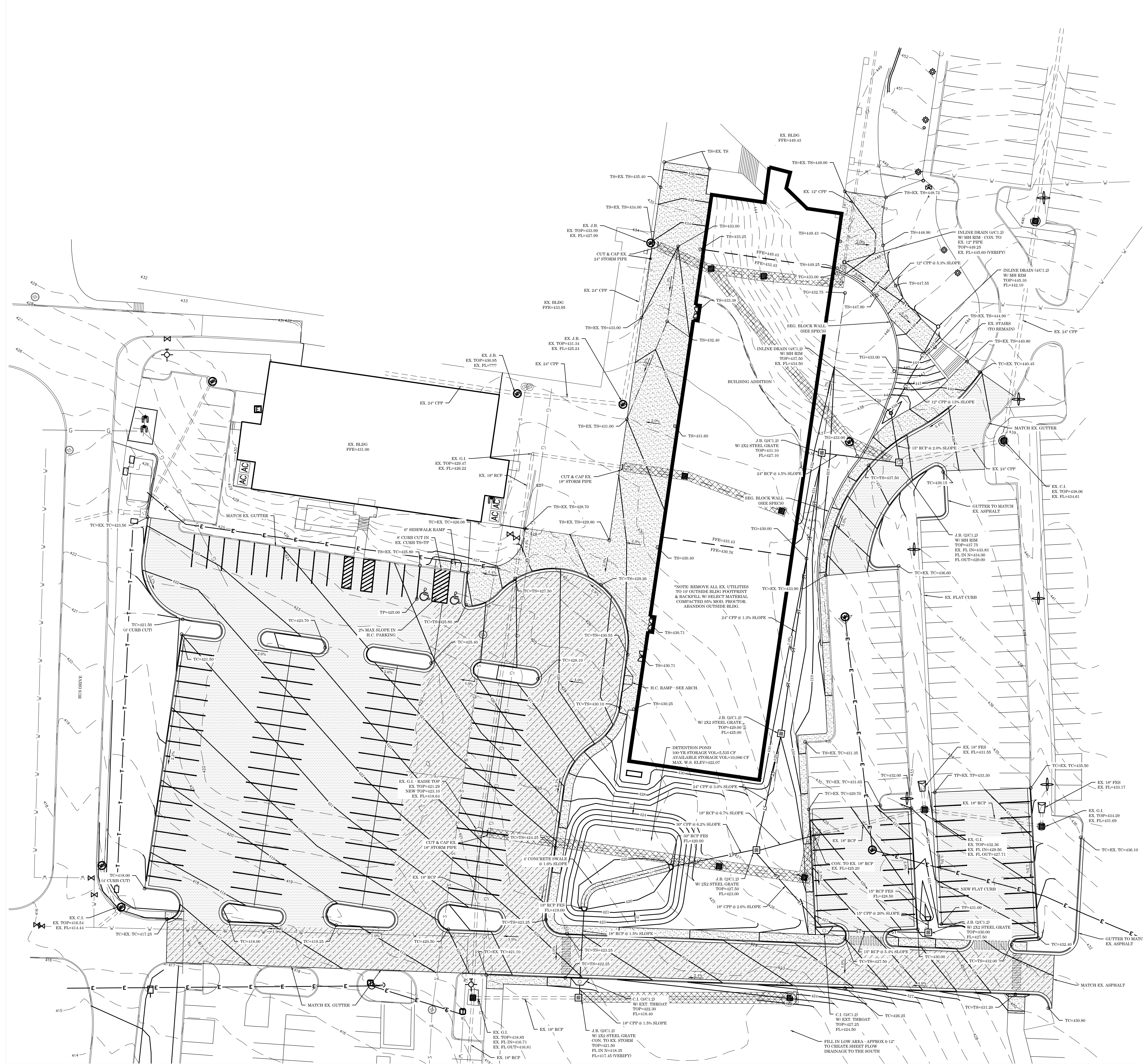


3 STORM DRAINAGE CURB INLET (C.I.) DETAIL
C1.2 NOT TO SCALE



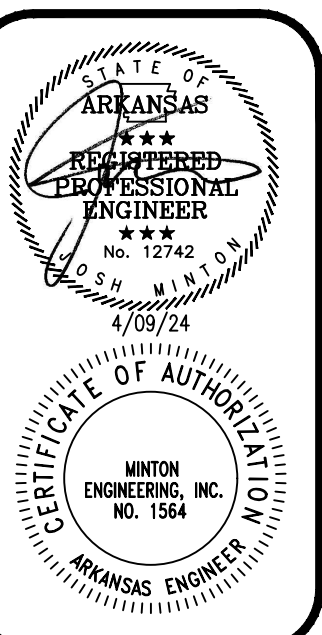
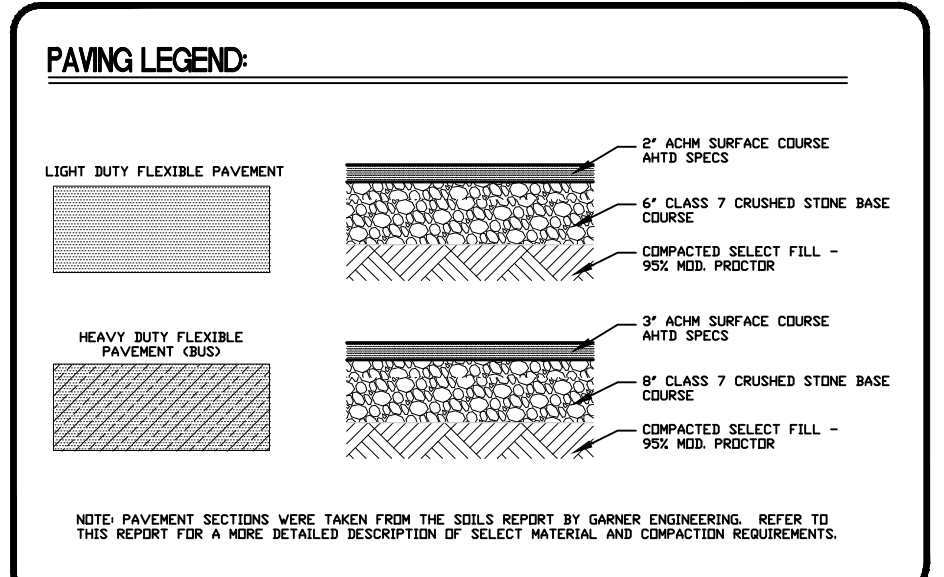
4 INLINE DRAIN DETAIL
C1.2 N.T.S.

SITE LEGEND	
---	EX. CONTOUR LINE
---	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
W	EX. WATER LINE
○	EX. TREE
100	PR. CONTOUR
W	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
▨	UTILITY TO BE REMOVED OR ABANDONED
▨	PR. WATERLINE BLOCKING
▨	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TW	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CDRUGATED PLASTIC PIPE
FL	FLDW LINE
C.D.T.G.	CLEAN CUT TO GRADE
EX.	EXISTING
PR.	PROPOSED
ND	NOT IN CONTRACT

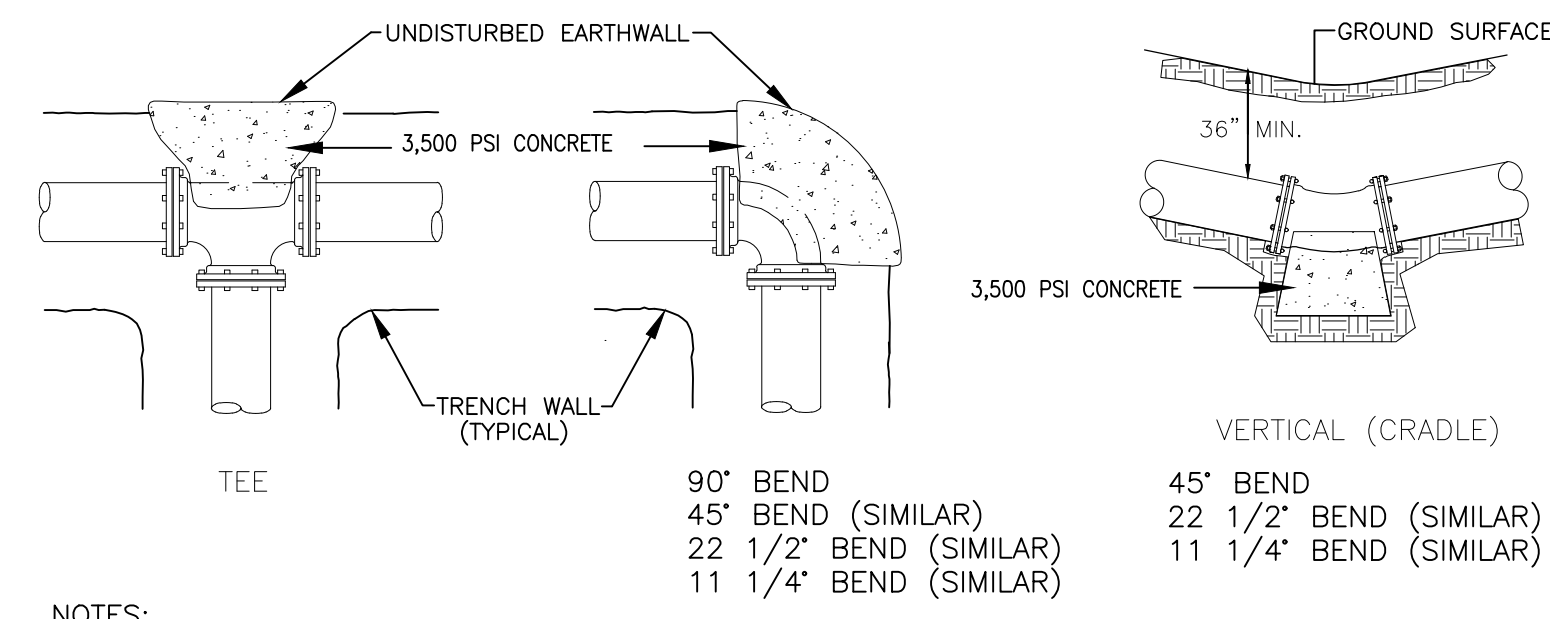


NORTH
1 SITE GRADING & STORM DRAINAGE PLAN
C1.2 SCALE: 1" = 30'
0 30 60

- GENERAL SITE GRADING NOTES:**
1. ALL EXISTING SHALL BE FIELD VERIFIED EXISTING CONDITIONS. DO NOT BE FAMILIAR WITH PROJECT PRIOR TO BIDDING. ANY PROPOSED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING. CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY REMOVAL OR NEW CONSTRUCTION WORK COMMENCES.
 2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
 3. FIELD VERIFY EXISTING UTILITIES AND EXISTING UTILITIES EXIST PRIOR TO CONSTRUCTION AREA TO BE PROTECTED WITH 2x4 WOOD PLANKS CONT. IN LINE WITH CURB EDGE OF TRAIL. SECURED TOGETHER & PLACED OVERHEAD. TRUCKS MUST BE PROTECTED FROM EXISTING UTILITIES FROM EXISTING TRUCKS TO PREVENT DAMAGE TO EXISTING UTILITIES. CONTRACTOR WILL BE REQUIRED TO COMPENSATE OWNER FOR ANY EXISTING TRUCKS WHICH ARE DAMAGED OR THE CAUSE OF CONSTRUCTION WORK.
 4. THE GENERAL CONTRACTOR SHALL HAVE THE GEOLOGICAL ENGINEER EMPLOYED TO OBSERVE SITE WORK WITH THE GEOLOGICAL ENGINEER THAT PROVIDED THE SOILS REPORT. THIS MEETING SHOULD OCCUR AT LEAST BEFORE THE PRE-CONSTRUCTION MEETING TO REVIEW THE AMOUNT OF OVERBURDEN THAT MAY BE REQUIRED FOR THE PROJECT. RECOMMENDATIONS OF GEOLOGICAL ENGINEER SHALL NOT BE WASHINGTON INTO WORK WITHOUT AUTHORIZATION FROM OWNER & ARCHITECT. NOTIFY ARCHITECT IMMEDIATELY IF UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE CONTRACTOR WILL REFERENCE THE GEOLOGICAL REPORT FOR A MORE DETAILED DESCRIPTION OF EARTHWORK AND CONSTRUCTION REQUIREMENTS.
 5. SEQUENCE OF DRAINAGE ACTIVITIES (REFERENCE GEOTECH REPORTS) SHALL EXISTING IMPROVEMENTS WILL BE REMOVED AS NECESSARY FOR SITE CONSTRUCTION. SEE DEMO PLAN. (DEMOS WILL BE REQUIRED FOR ALL OPEN SPACES UNDER ALL STRUCTURAL ELEMENTS: DRIVING, PARKING & DRIVE AREAS). THIS MATERIAL CAN BE USED ON SITE AS UNCLASSIFIED FILL (OPEN SPACES). (SEE GEOTECH REPORT FOR SANDWICH RECOMMENDATIONS). SELECT FILL WILL BE PLACED TO 10' OUTSIDE BUILDING. 2' OUTSIDE THE CURB FOR DRIVES AND PARKING. APPROX. FILL WILL BE SUBGRADE PRIOR TO PLACING FILL. REMOVE AND REPLACE WITH COMPACTED SELECT FILL AS DIRECTED BY GEOTECH. (SEE GEOTECH REPORT FOR SANDWICH RECOMMENDATIONS). ON-SITE MATERIAL BELOW THE 10' STRIPPING MAY BE USED FOR SELECT FILL, VERIFY WITH GEOTECH.
 6. ALL HANDICAP PARKING AND ACCESSIBLE ROUTES SHALL MEET ADA REQUIREMENTS. MAXIMUM SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 2.0% AND THE MAXIMUM RAMPING-SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1:12. MAXIMUM SLOPE SHALL NOT EXCEED 1:12 WITH HANDRAILS AND LANDING AREAS. UNDESIGNED PARKING AREAS SHALL NOT SLOPE MORE THAN 2.0% IN ANY DIRECTION. EXISTING HANDICAP PARKING SHALL HAVE A SIGN. THE CONTRACTOR WILL REFER TO THE "CODE OF FEDERAL REGULATIONS" 28 CFR PART 36 ADA STANDARDS FOR ACCESSIBLE ROUTES FOR A MORE DETAILED DESCRIPTION OF STANDARDS.
 7. THE CONTRACTOR WILL REFERENCE THE "SOILS CONCRETE & FOUNDATION DESIGN PLAN" PRIOR TO INSTALLING ANY METS NEXT TO THE BUILDING. THIS PLAN WILL SHOW CONNECTIONS TO THE METS NOT SHOWN ON THIS PLAN.
 8. ALL SIDEWALK, SIDEWALK JUNCTION CURB, STAIR HANDCAP SIGN & WALL DETAILS WILL BE SHOWN ON THE ARCHITECTURAL SITE PLAN.



DATE: 04-09-24
PROJECT NO: 23090
DRAWN BY: JM
REVISION:



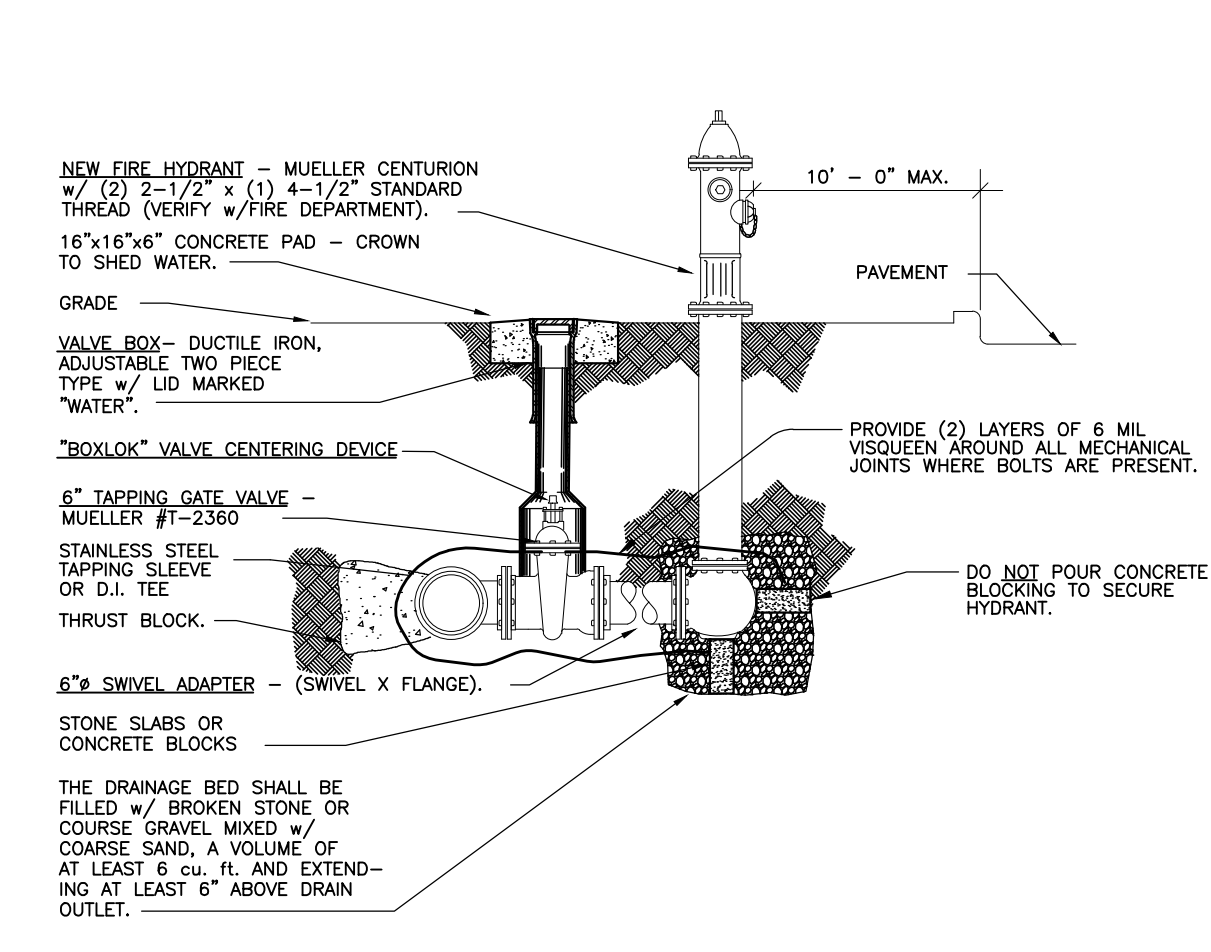
NOTES:

- All fittings shall be mechanical joint with retainer glands.
- Do not cover bells or flanges with concrete.
- Wrap all fittings with visqueen.
- Back all tees according to size of branch.
- Backing future line extensions shall be such that later removal is possible.
- All bends where fittings are used, both horizontal and vertical, shall be backed.
- Reaction backing table is based on 150 p.s.i. and soil bearing pressure of 2,500 lb./sq. ft. Additional backing may be required in some areas as directed by engineer.

SIZE	TYPE OF FITTINGS				
	TEE OR PLUG/CAP	90°	45°	22 1/2°	11 1/4°
2'-4"	2	2	1	1	1
6"	3	3	2	1	1
8"	4	4	3	2	2
12"	10	10	5	3	2
18"	28	28	14	7	4
24"	38	38	20	10	7
30"	59	59	32	16	10

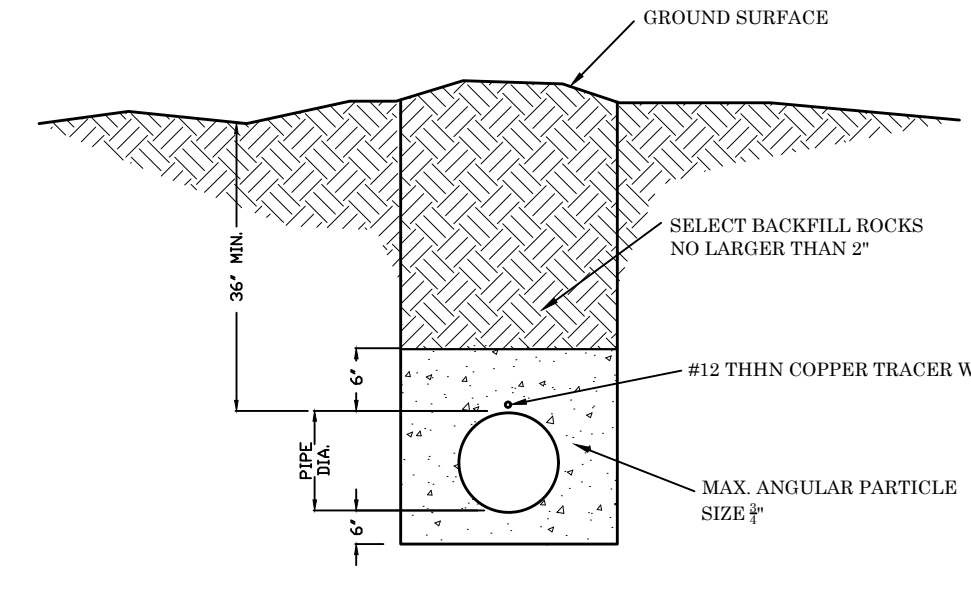
2 WATERLINE BLOCKING DETAIL

CT1.3 NOT TO SCALE



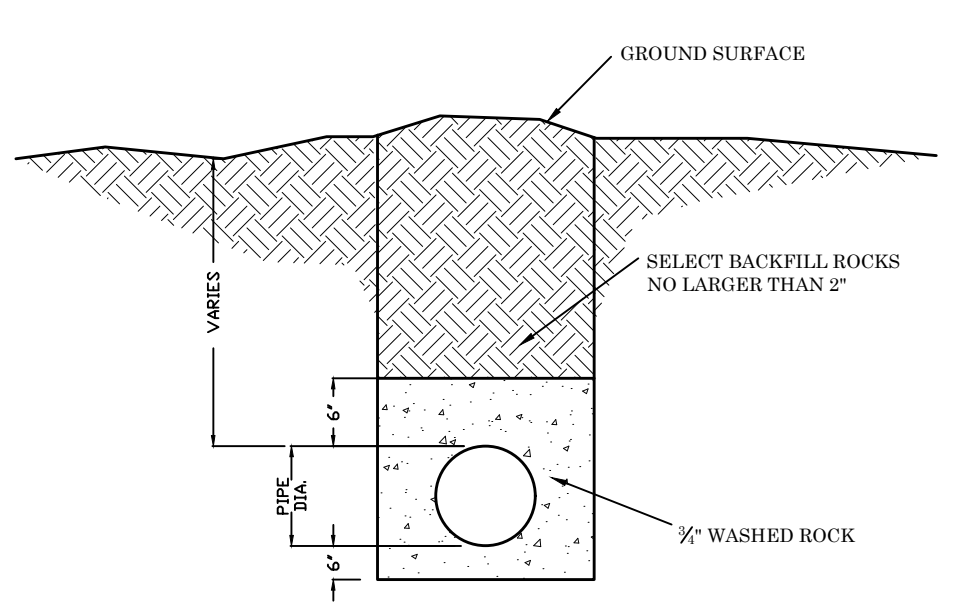
3 FIRE HYDRANT DETAIL

CT1.3 NOT TO SCALE



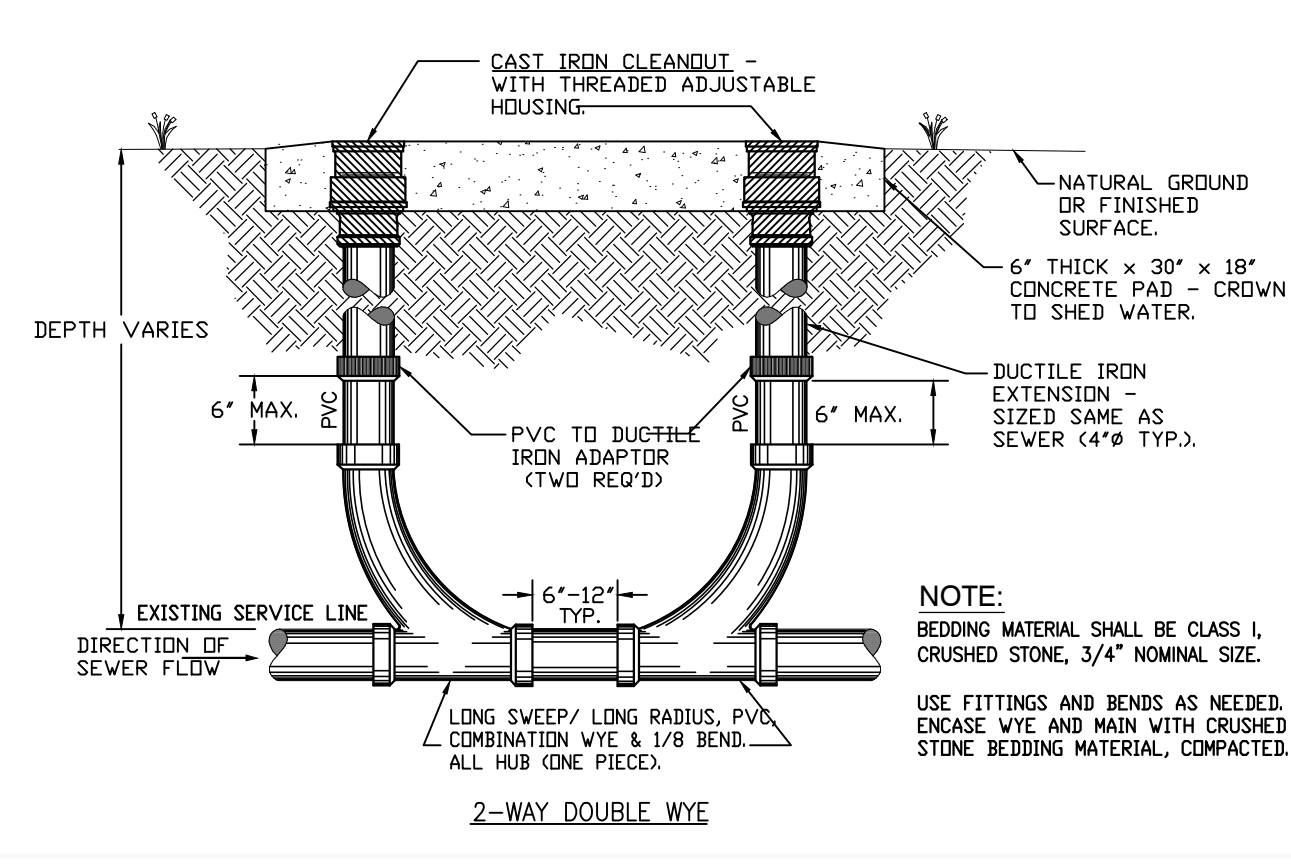
4 WATER BEDDING DETAIL

CT1.3 NOT TO SCALE



5 SEWER BEDDING DETAIL

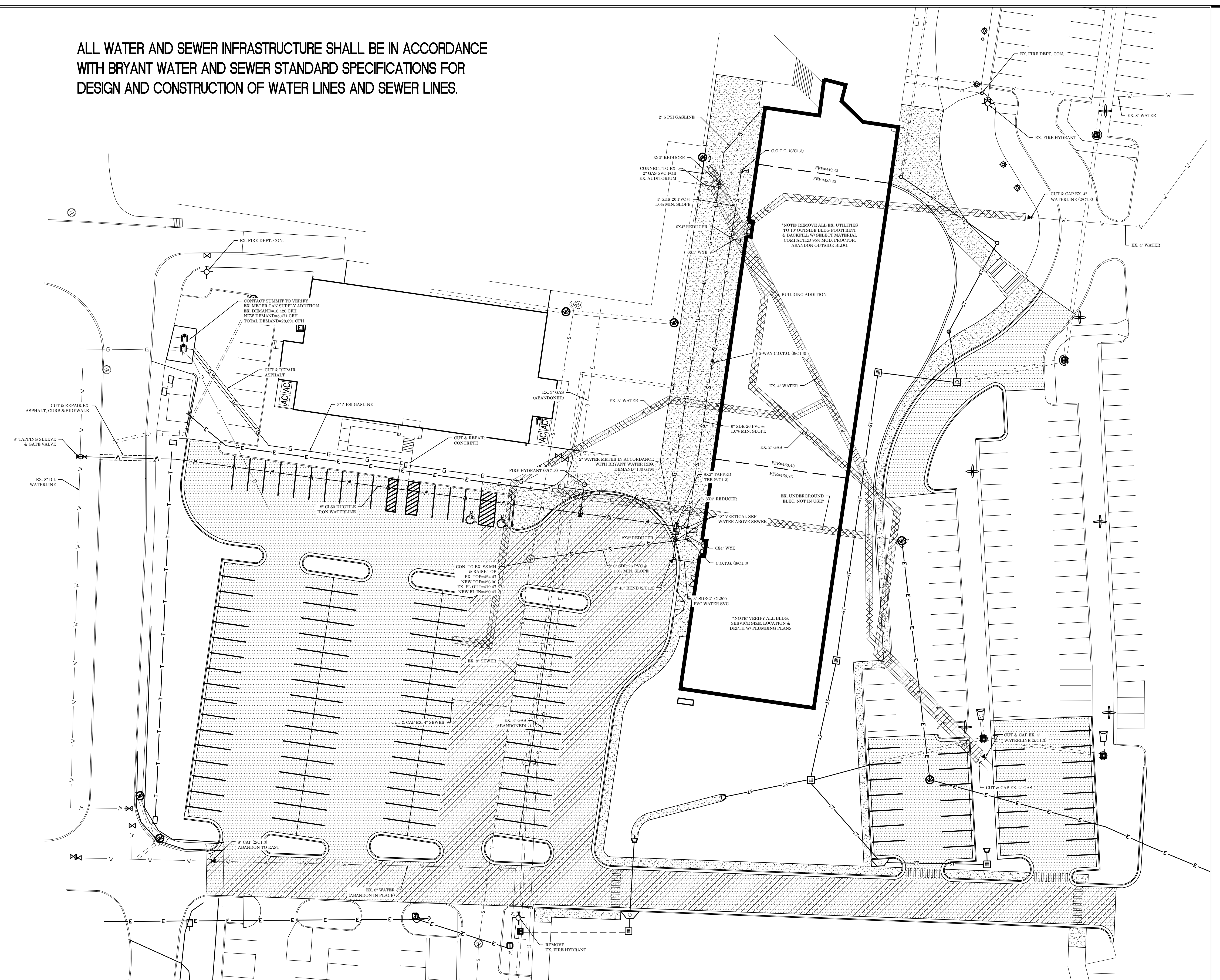
CT1.3 NOT TO SCALE



6 CLEANOUT TO GRADE (C.O.T.G.) DETAIL

CT1.3 NOT TO SCALE

ALL WATER AND SEWER INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH BRYANT WATER AND SEWER STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES.



1 SITE UTILITY PLAN

SCALE: 1" = 30'

SITE LEGEND:

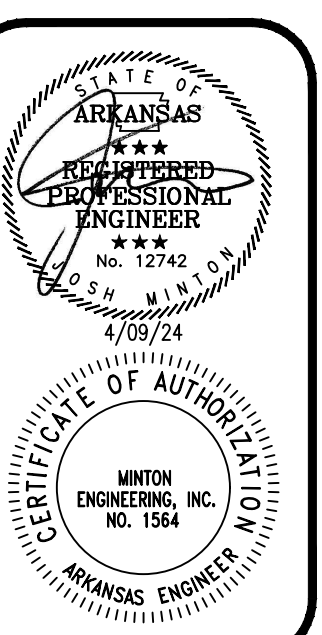
---	EX. CONTOUR LINE
- - -	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
W	EX. WATER LINE
○	EX. TREE
100	PR. CONTOUR
V	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
---	UTILITY TO BE REMOVED OR ABANDONED
▶	PR. WATERLINE BLOCKING
▭	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TV	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLOW LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED
NIC	NOT IN CONTRACT

GENERAL UTILITY NOTES:

- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
- CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY DEMOLITION OR NEW CONSTRUCTION WORK COMMENCES.
- ALL WORK SHALL CONFORM TO LOCAL & STATE CODES; ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
- ALL WORK SHALL CONFORM TO THE SPECIFICATIONS SET FORTH BY THE ARKANSAS DEPARTMENT OF HEALTH AND BRYANT WATER DEPARTMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CONNECTION FEES AND AS-BUILTS REQUIRED.
- CONTRACTOR TO VERIFY UTILITY CONNECTION LOCATIONS TO THE BUILDING WITH THE PLUMBING SHEETS.
- SEWER MANHOLES SET IN GREEN SPACE AREAS WILL HAVE A RIM ELEVATION OF AT LEAST 3" BUT NO MORE THAN 5" ABOVE ADJACENT GRADE.

GRADATION PLAN NOTE

PRIOR TO INSTALLING ANY SANITARY, STORM, GAS OR WATER LINES BELOW GRADE, THE PLUMBING CONTRACTOR SHALL FURNISH TO THE ARCHITECT TWO COPIES OF A GRADATION PLAN OF THE BUILDING DRAINS AND SEWER LINES WITH PROPOSED ELEVATION GRADES SHOWN AT EACH MAJOR GROUP OF PLUMBING FIXTURES, AT EACH PIPE LINE INTERSECTION, AT EACH PIPE LINE CROSSING, AT EACH GRADE BEAM OR FOOTING PENETRATION/INTERSECTION AND AT ANY EXISTING PIPE LINE CONNECTIONS. THE PLAN SHALL ALSO INCLUDE ALL THOSE PIPE INTERSECTIONS AND/OR PIPE CROSSINGS THAT ARE EXTERIOR OF BUILDING/ADDITION INCLUDING ANY MANHOLES, CONNECTION TO EXISTING MAINS AND CLEANOUTS TO GRADE.



DATE: 04-09-24
PROJECT NO: 23060
DRAWN BY: JM
REVISION:

DESIGN DATA

GENERAL CODES:
INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION
ARKANSAS FIRE PREVENTION CODE (AFPC) 2021 EDITION

SEISMIC:
SEISMIC RISK CATEGORY 2021 IBC
SEISMIC DESIGN CATEGORY SALINE COUNTY AFPC REVISIONS

ACCESSIBILITY STANDARDS:
ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 EDITION

OCCUPANCY CLASSIFICATION:
EDUCATION IBC 305

BUILDING CONSTRUCTION TYPE:
II-A-SPRINKLED IBC TABLE 601

ALLOWABLE BUILDING HEIGHT AND AREA:
4 STORY / 85 FT TALL / 79,500 SQ. FT. PER FLOOR IBC 503

OCCUPANT LOAD AND REQUIRED EGRESS:

LEVEL	OCCUPANTS	EXITS (REQ. / ACT)	EGRESS WIDTH (REQ. / ACT)
1ST FLOOR	734	3 / 4	110' / 236'
2ND FLOOR	241	2 / 2	60' / 124'
3RD FLOOR	235	2 / 2	60' / 124'
4TH FLOOR	235	2 / 2	60' / 124'

TOTAL BUILDING SQUARE FOOTAGE:

1ST FLOOR	24,002 SQFT
2ND FLOOR	13,852 SQFT
3RD FLOOR	13,852 SQFT
4TH FLOOR	65,558 SQFT

FIRE PROTECTION:

PORTABLE FIRE EXTINGUISHERS	NFPA 10
AUTOMATIC SPRINKLER SYSTEM	IBC 903
2-HR RATED EXIT STAIR (FIRE BARRIER)	IBC 1023
2-HR RATED BUILDING SEPARATION (FIRE WALL) AT EXISTING	IBC 706
FIRE RESISTANCE RATED BUILDING ELEMENTS	IBC TABLE 601
PRIMARY STRUCTURAL FRAME	1-HR
BEARING WALLS	1-HR
FLOOR CONSTRUCTION	1-HR
ROOF CONSTRUCTION	1-HR

STORM SHELTER: IBC 423 / ICC 500

NET OCCUPANT LOAD REQUIRED (75% CLASSROOMS, 70% LAB SPACES)	1061 OCC
REQUIRED AREA (OCCUPANT LOAD AT 5 SQFT/PERSON)	5305 SQFT
PROVIDED AREA	5562 SQFT

POR - ACADEMIC CORE SPACES

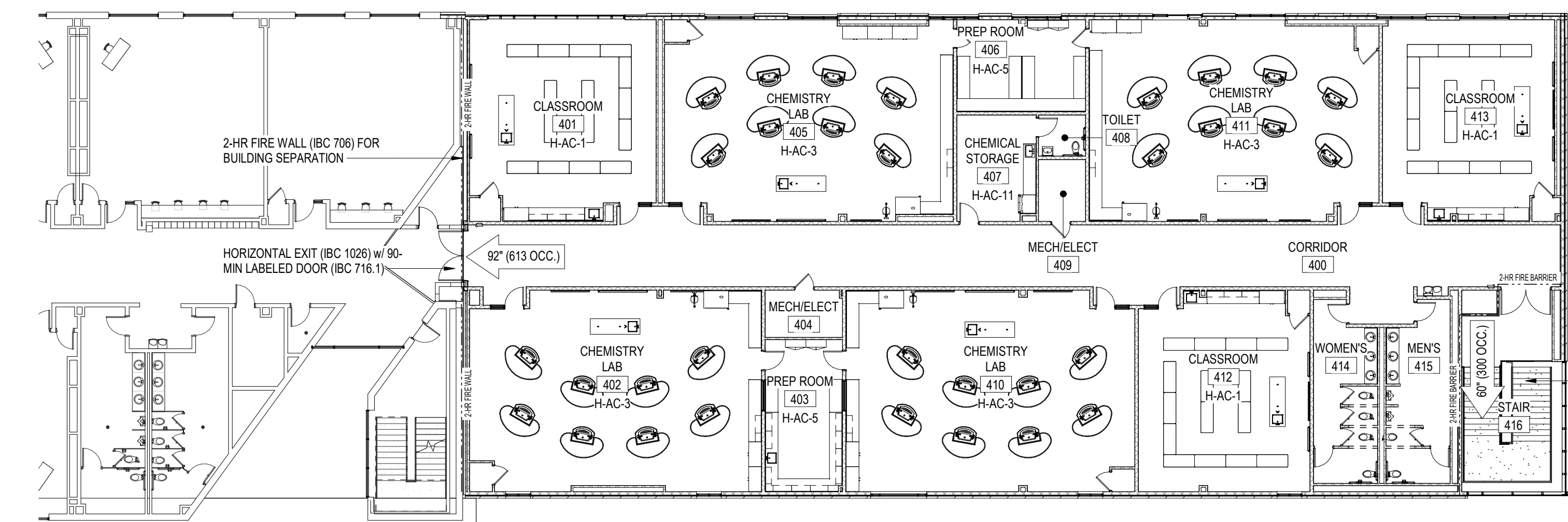
ROOM POR#	Number	ROOM NAME	PROVIDED AREA	REQUIRED AREA
CE-FCS-4	135	FAMILY AND CONSUMER SCIENCES	3410 SF	
H-AC-1	107	CLASSROOM	851 SF	850
H-AC-1	113	CLASSROOM	858 SF	850
H-AC-1	114	CLASSROOM	865 SF	850
H-AC-1	122	CLASSROOM	853 SF	850
H-AC-1	123	CLASSROOM	860 SF	850
H-AC-1	127	CLASSROOM	860 SF	850
H-AC-1	128	CLASSROOM	874 SF	850
H-AC-1	129	CLASSROOM	861 SF	850
H-AC-1	130	CLASSROOM	864 SF	850
H-AC-1	131	CLASSROOM	845 SF	850
H-AC-1	133	CLASSROOM	882 SF	850
H-AC-1	134	CLASSROOM	868 SF	850
H-AC-1	201	CLASSROOM	922 SF	850
H-AC-1	212	CLASSROOM	855 SF	850
H-AC-1	213	CLASSROOM	855 SF	850
H-AC-1	301	CLASSROOM	922 SF	850
H-AC-1	313	CLASSROOM	868 SF	850
H-AC-1	401	CLASSROOM	922 SF	850
H-AC-1	412	CLASSROOM	855 SF	850
H-AC-1	413	CLASSROOM	854 SF	850
H-AC-2	202	SCIENCE LAB	1458 SF	1440
H-AC-2	205	SCIENCE LAB	1450 SF	1440
H-AC-2	211	SCIENCE LAB	1447 SF	1440
H-AC-3	402	CHEMISTRY LAB	1455 SF	1440
H-AC-3	405	CHEMISTRY LAB	1456 SF	1440
H-AC-3	410	CHEMISTRY LAB	1463 SF	1440
H-AC-3	411	CHEMISTRY LAB	1456 SF	1440
H-AC-4	302	SCIENCE LAB	1456 SF	1440
H-AC-4	305	SCIENCE LAB	1451 SF	1440
H-AC-5	203	PREP ROOM	302 SF	300
H-AC-5	206	PREP ROOM	303 SF	300
H-AC-5	303	PREP ROOM	303 SF	300
H-AC-5	306	PREP ROOM	302 SF	300
H-AC-5	311	SCIENCE LAB	1450 SF	1440
H-AC-5	403	PREP ROOM	302 SF	300
H-AC-5	406	PREP ROOM	303 SF	300
H-AC-6	310	PROJECT LAB	1158 SF	1100
H-AC-6	312	PROJECT LAB	1158 SF	1100
H-AC-11	307	CHEMICAL STORAGE	214 SF	150
H-AC-11	407	CHEMICAL STORAGE	217 SF	150
H-AM-9	110	STORAGE	168 SF	150
H-AM-9	120	STORAGE	154 SF	150
H-VA-1	210	ART LAB	1461 SF	1200
H-VA-3	207	ART STORAGE	213 SF	100
TOTAL			42001 SF	41,770 SF*

* TOTAL FUNDED/REQUIRED ACADEMIC CORE SPACE PER PROJECT AGREEMENT

POR - SPECIAL EDUCATION SPACES

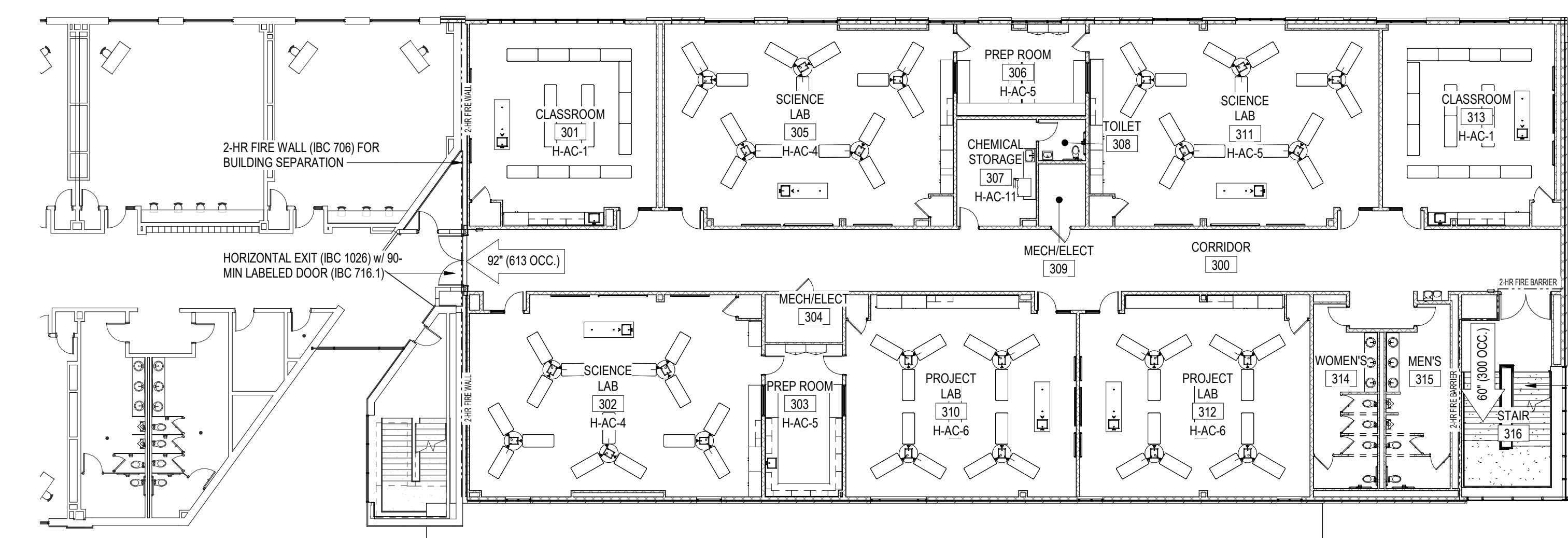
ROOM POR#	Number	ROOM NAME	PROVIDED AREA	REQUIRED AREA
H-SE-2	105	CONFERENCE/WORKROOM	195 SF	150
H-SE-2	214	WORKROOM/CONFERENCE	544 SF	150
H-SE-3	111	TOILET / SHOWER	148 SF	100
H-SE-3	118	TOILET / SHOWER	147 SF	100
H-SE-4	115	RESOURCE	482 SF	450
H-SE-4	121	RESOURCE	455 SF	450
H-SE-5	101	SPEECH	488 SF	475
H-SE-5	103	SPEECH	497 SF	475
H-SE-7	108	OT/PT	381 SF	350
H-SE-7	116	OT/PT	380 SF	350
TOTAL			3687 SF	3,600 SF*

* TOTAL FUNDED/REQUIRED SPECIAL EDUCATION SPACE PER PROJECT AGREEMENT



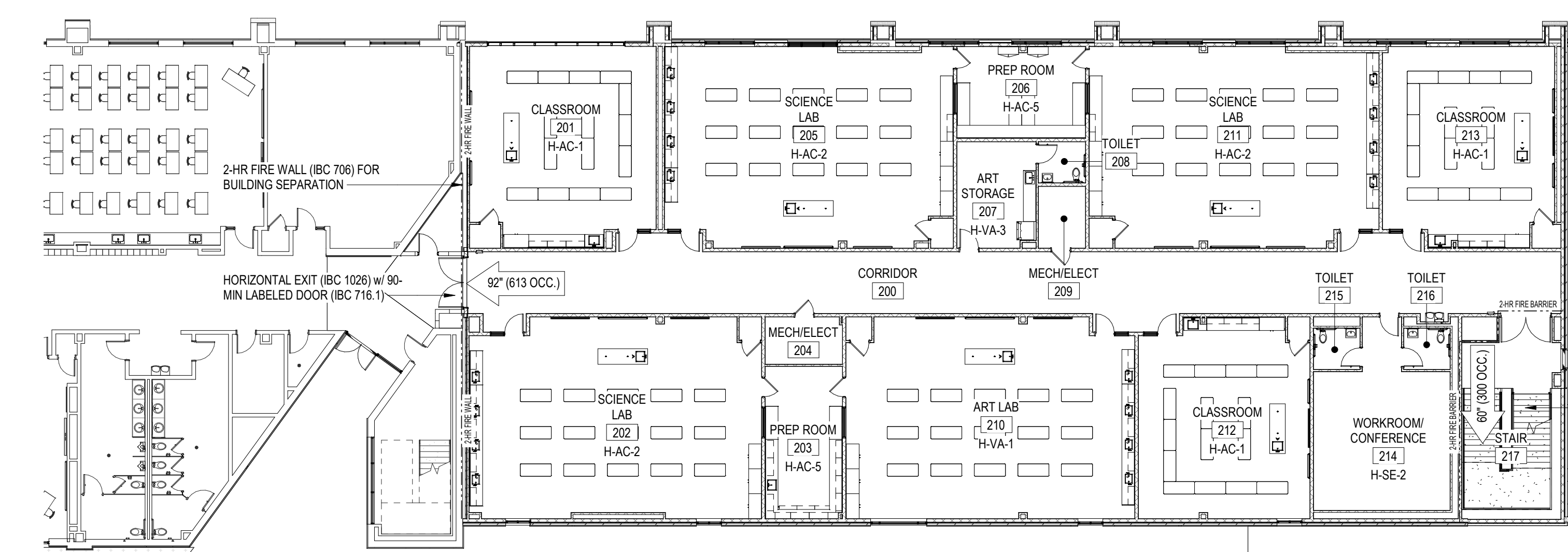
4 LIFE SAFETY / POR - FOURTH FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)



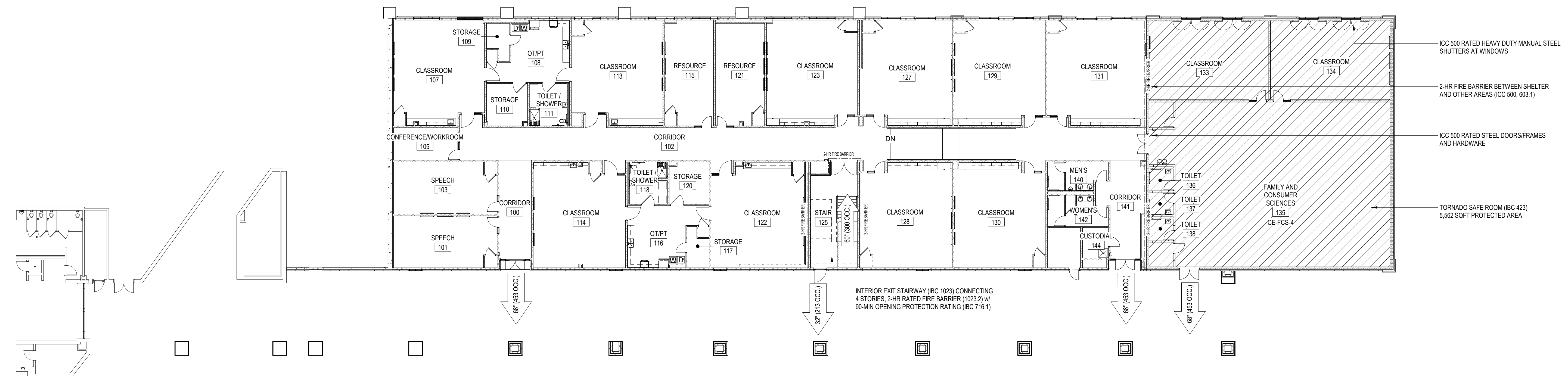
3 LIFE SAFETY / POR - THIRD FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)



2 LIFE SAFETY / POR - SECOND FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)



1 LIFE SAFETY / POR - FIRST FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)

ICC 500 RATED HEAVY DUTY MANUAL STEEL SHUTTERS AT WINDOWS
2-HR FIRE BARRIER BETWEEN SHELTER AND OTHER AREAS (ICC 500, 603.1)
ICC 500 RATED STEEL DOORS/FRAMES AND HARDWARE
TORNADO SAFE ROOM (IBC 423) 5,562 SQFT PROTECTED AREA

TOILET ACCESSORY SCHEDULE

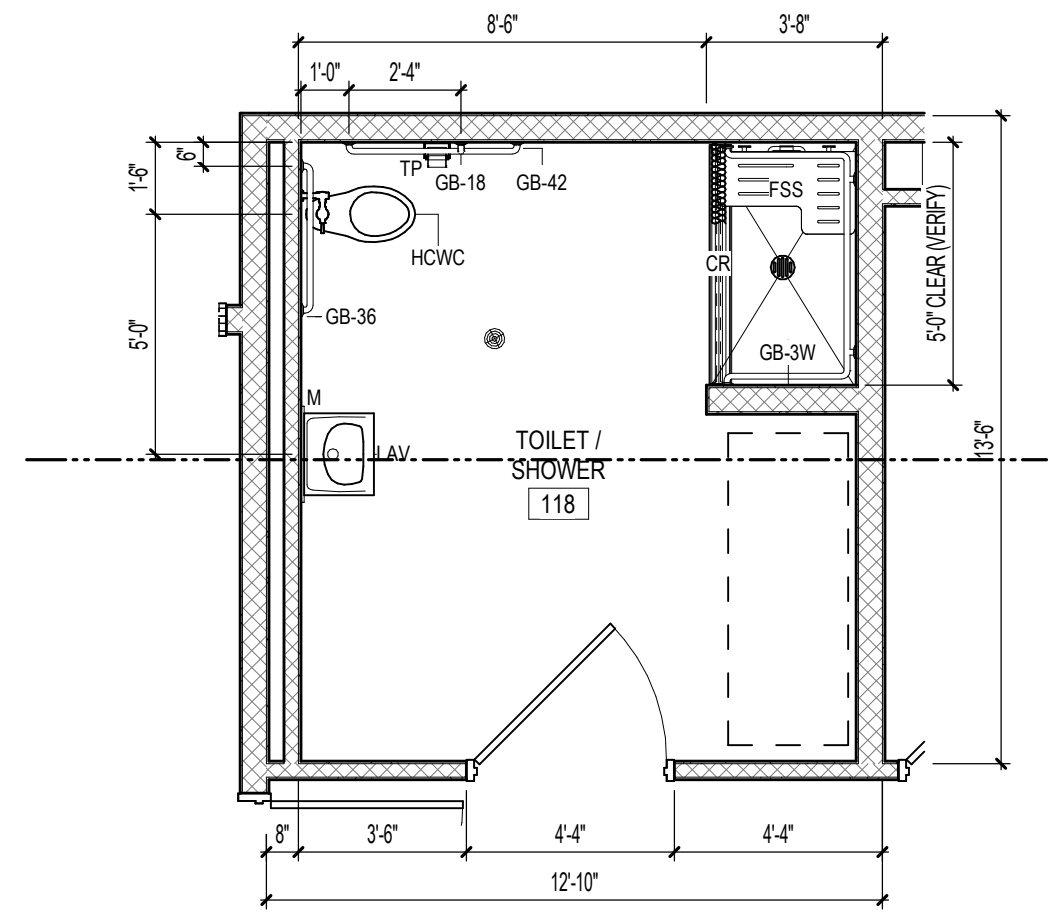
MARK	DESCRIPTION	MOUNTING HEIGHT
GB-36	GRAB BAR - 36"	34" A.F.F. to CENTERLINE
GB-42	GRAB BAR - 42"	34" A.F.F. to CENTERLINE
GB-18	VERTICAL GRAB BAR - 18"	40" A.F.F. to BASE
GB-2W	GRAB BAR - 2 WALL	34" A.F.F. to CENTERLINE
GB-3W	GRAB BAR - 3 WALL	34" A.F.F. to CENTERLINE
LAV	LAVATORY - WALL MOUNTED	34" A.F.F. to RIM
S	SINK - COUNTER MOUNTED	
CH	COAT HOOK	54" A.F.F.
M	MIRROR	24"X36" - 40" A.F.F. to BOTTOM OF REFLECTIVE SURFACE
HD	HAND DRYER	44" A.F.F. to BOTTOM
CT	CHANGING TABLE	31" A.F.F. to BOTTOM
HCWC	H.C. WATER CLOSET	17" A.F.F. to SEAT
WC	WATER CLOSET	15" A.F.F. to SEAT
U	URNAL	24" A.F.F. to RIM
HEWC	HANDICAP WATER COOLER	36" to SPOUT
FSS	FOLDING SHOWER SEAT	17" A.F.F. to SEAT
EWC	ELECT. WATER COOLER w/ BOTTLE FILLER	42" to SPOUT / 36" to SPOUT @ ADA
CR	SHOWER CURTAIN & ROD	7'-0" A.F.F.

NOTES:

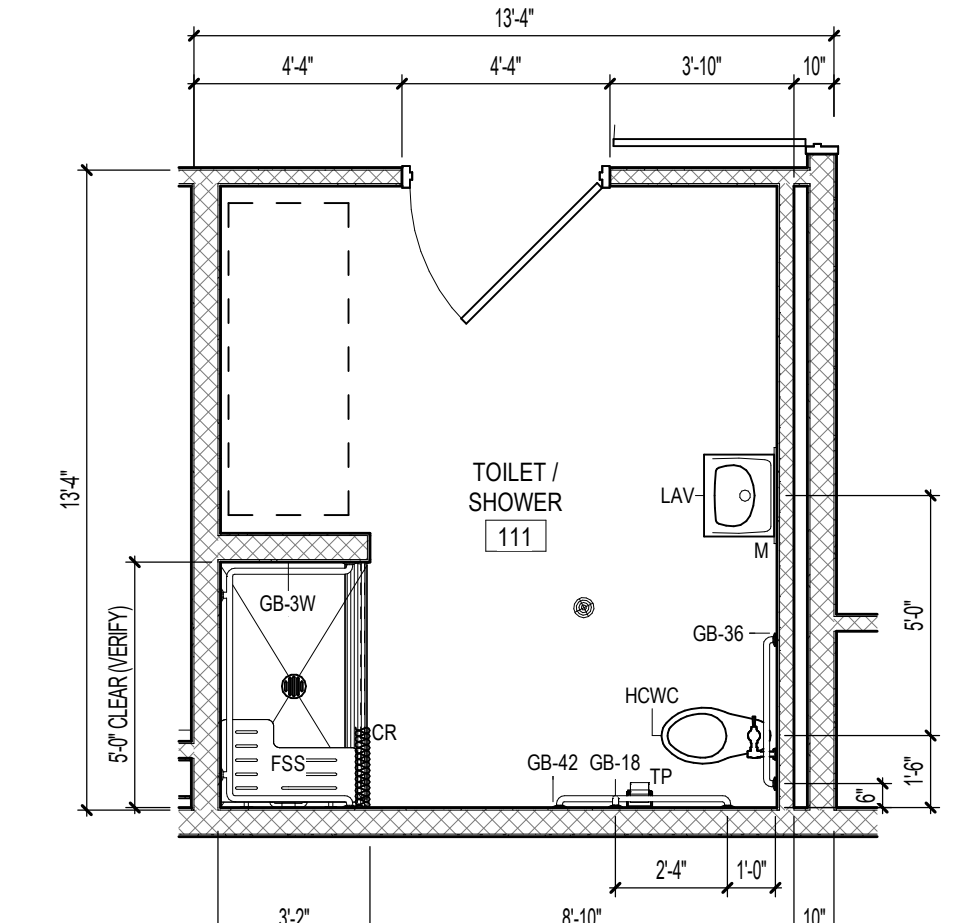
- TOILET PAPER AND SOAP DISPENSERS ARE TO BE PROVIDED BY THE OWNER. TOILET PAPER DISPENSER ARE TO BE INSTALLED NO LOWER THAN 18" AFF. THE OPERATION AND SPOUT PORTION OF SOAP DISPENSERS SHALL BE INSTALLED AT 44" AFF. CONTRACTOR TO COORDINATE AND VERIFY

GENERAL NOTES

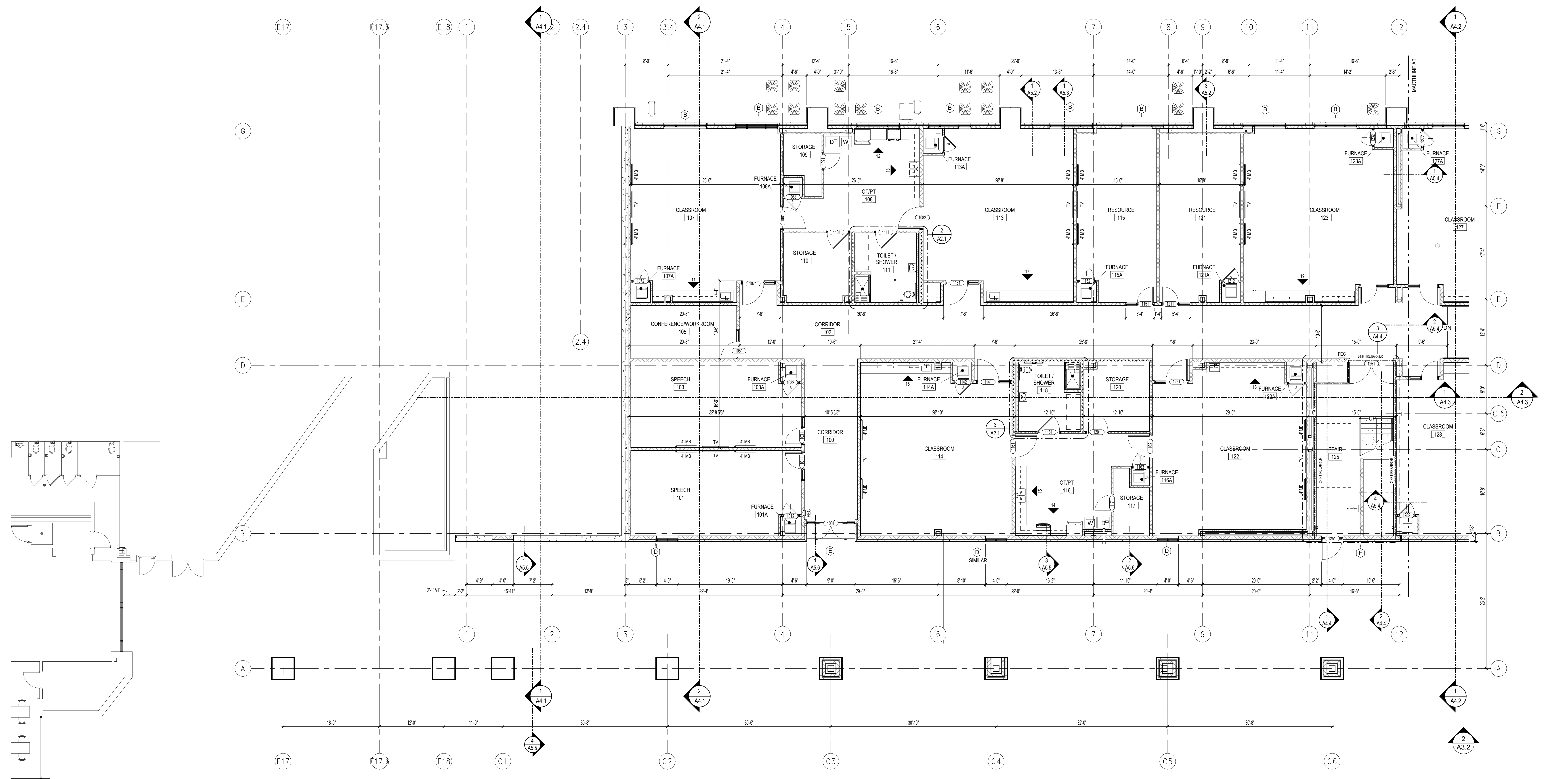
- SEE OVERALL PLAN SHEET A1.1 FOR CODE DATA AND FIRE PROTECTION REQUIREMENTS AND METHODS
- CONTRACTOR TO VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING PROJECT. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID.
- INTERIOR LIGHT GAUGE METAL STUD WALLS
 - WALLS SHALL BE FRAMED WITH 3 5/8" OR 6" (SEE PLAN) MEMBERS AT 16" O.C. w/ CONTINUOUS TRACK TOP AND BOTTOM, UNLESS NOTED OTHERWISE.
 - EXTEND ALL WALLS 8" MIN. ABOVE CEILING.
 - WALLS WITHOUT AN ADJACENT FINISHED CEILING SHALL EXTEND TO DECK ABOVE LIGHT GAUGE FRAMING NOT SUFFICIENTLY BRACED BY INTERSECTING FRAMING OR REQUIRED BY HEIGHT OF FRAMING SHALL BE BRACED TO STRUCTURE WITH METAL STUD KICKERS (APPROXIMATELY 45 DEGREES) AT 48" ON CENTER MAXIMUM.
- PRIVACY WALLS (BLOCK OR STUD) SHALL EXTEND TO FLOOR DECK OR 5'-0" ABOVE HIGHEST ADJACENT CEILING WITH L.G. METAL FRAMING AND 5/8" GYPSUM BOARD ON AT LEAST ONE SIDE.
- INTERIOR DOORS NOT DIMENSIONS SHALL BE LOCATED AS FOLLOWS:
 - HINGE SIDE ADJACENT TO INTERSECTING WALL (CMU)
 - HINGE SIDE 4" OFF INTERSECTING WALL (STUD)
 - LATCH SIDE 1'-4" OFF INTERSECTING WALL (STUD/CMU)
 - CENTERED BETWEEN INTERSECTING WALLS (STUD/CMU)
- PROVIDE HOUSEKEEPING PADS FOR ELECTRICAL AND MECHANICAL EQUIPMENT. VERIFY SIZE AND LOCATION WITH ELECTRICAL, PLUMBING, AND HVAC INSTALLERS AND MANUFACTURERS.
- FOR SOUND TRANSFER CONTROL, FILL STUD WALLS WITH SOUND ATTENUATION BLANKET INSULATION. INSTALL BATT INSULATION ON ALL CEILING AROUND PERIMETER OF ROOMS EXTENDING 2'-0" FROM ALL INTERIOR WALLS UNLESS NOTED OTHERWISE IN REFLECTED CEILING PLAN NOTES.
- GYPSUM BOARD EXPANSION JOINTS SHALL BE LOCATED 30'-0" O.C. MAXIMUM. VERIFY LOCATIONS WITH ARCHITECT. LOCATE ABOVE DOOR HEADS WHERE POSSIBLE.
- FIELD VERIFY ALL DIMENSIONS FOR HANDRAILS, EQUIPMENT, ETC. PRIOR TO FABRICATION AND INSTALLATION.
- PROVIDE WOOD FOR BLOCKING WHERE BLOCKING IS REQUIRED. WHERE BLOCKING CONTACTS METAL FRAME, STUDS, ETC. SEPARATE WITH BUILDING FELT TO AVOID REACTIONS BETWEEN WOOD AND METALS.
- ALL FIRE WALLS AND BARRIERS SHALL BE MARKED WITH SIGNAGE READING, "FIRE AND/OR SMOKE BARRIER. PROTECT ALL OPENINGS" ACCORDING TO 2021 ARKANSAS FIRE PREVENTION CODE SECTION 103.1. ALL PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM IN ACCORDANCE WITH UL 1479



3 ENLARGED PLAN - TOILET/SHOWER 118
A2.1 1/4" = 1'-0"



2 ENLARGED PLAN - TOILET/SHOWER 111
A2.1 1/4" = 1'-0"



1 FIRST FLOOR PLAN - AREA A
A2.1 1/8" = 1'-0"

ELLIOTT • MCMORAN • VADEN
RAGSDALE • WOODWARD • INCORPORATED
501 223 9302 • WWW.LEMVRW.COM



FIRST FLOOR PLAN - AREA A

HIGH SCHOOL ADDITION
BRYANT SCHOOL DISTRICT
BRYANT, AR



DATE: 09 APRIL 2024
PROJECT NO.: 23060
DRAWN BY: NRW
REVISION:

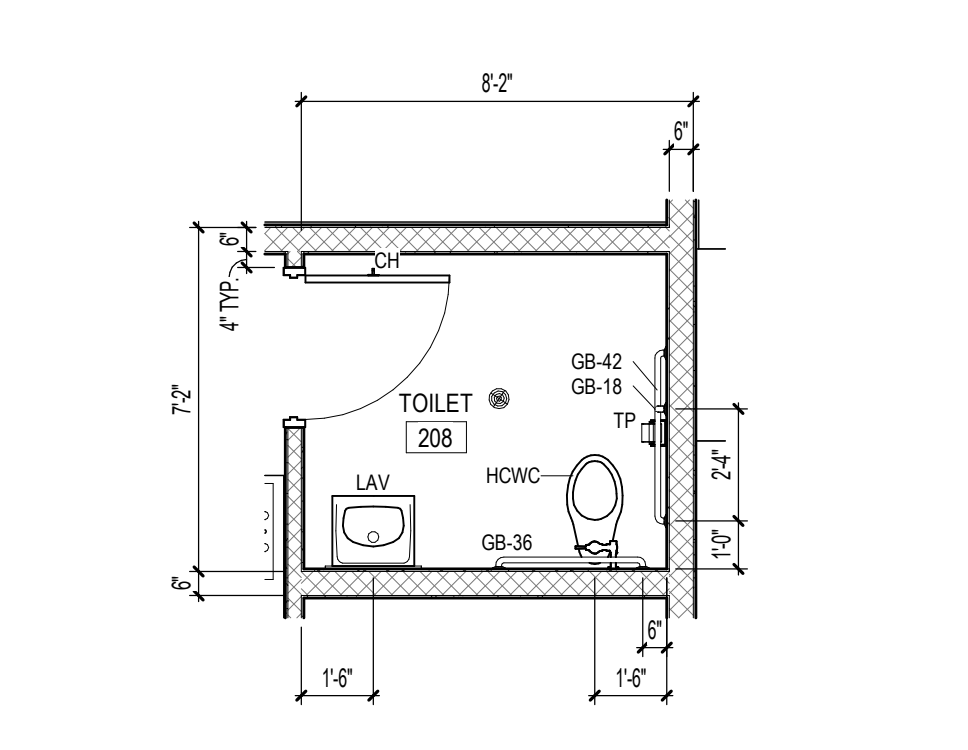
A2.1

TOILET ACCESSORY SCHEDULE

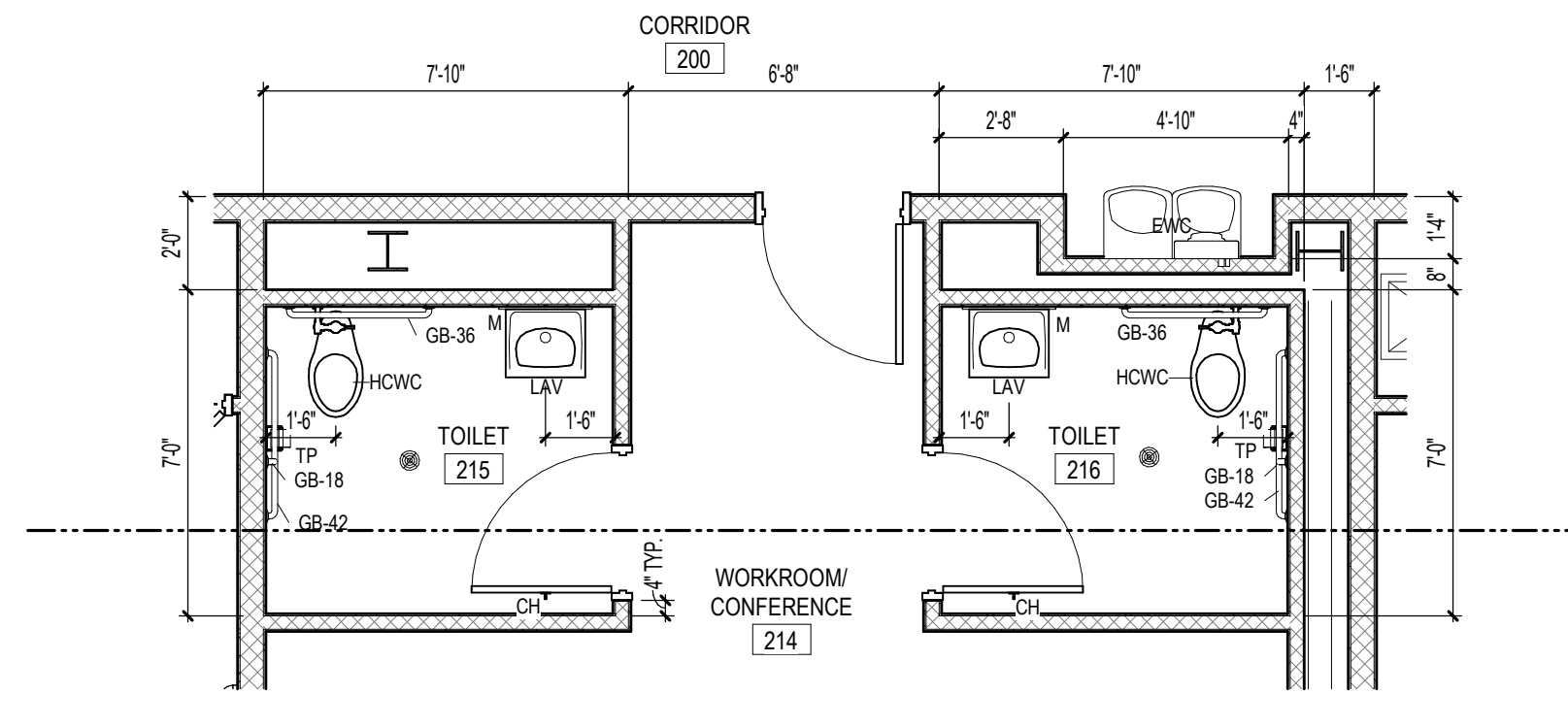
MARK	DESCRIPTION	MOUNTING HEIGHT
GB-36	GRAB BAR - 36"	34" A.F.F. to CENTERLINE
GB-42	GRAB BAR - 42"	34" A.F.F. to CENTERLINE
GB-18	VERTICAL GRAB BAR - 18"	40" A.F.F. to BASE
GB-2W	GRAB BAR - 2 WALL	34" A.F.F. to CENTERLINE
GB-3W	GRAB BAR - 3 WALL	34" A.F.F. to CENTERLINE
LAV	LAVATORY - WALL MOUNTED	34" A.F.F. to RIM
S	SINK - COUNTER MOUNTED	
CH	COAT HOOK	54" A.F.F.
M	MIRROR	24"X36" - 40" A.F.F. to BOTTOM OF REFLECTIVE SURFACE
HD	HAND DRYER	44" A.F.F. to BOTTOM
CT	CHANGING TABLE	31" A.F.F. to BOTTOM
HCWC	H.C. WATER CLOSET	17" A.F.F. to SEAT
WC	WATER CLOSET	15" A.F.F. to SEAT
U	URNAL	24" A.F.F. to RIM
HEWC	HANDICAP WATER COOLER	36" to SPOUT
FSS	FOLDING SHOWER SEAT	17" A.F.F. to SEAT
EWC	ELECT. WATER COOLER w/ BOTTLE FILLER	42" to SPOUT / 36" to SPOUT @ ADA
CR	SHOWER CURTAIN & ROD	7'-0" A.F.F.

NOTES:
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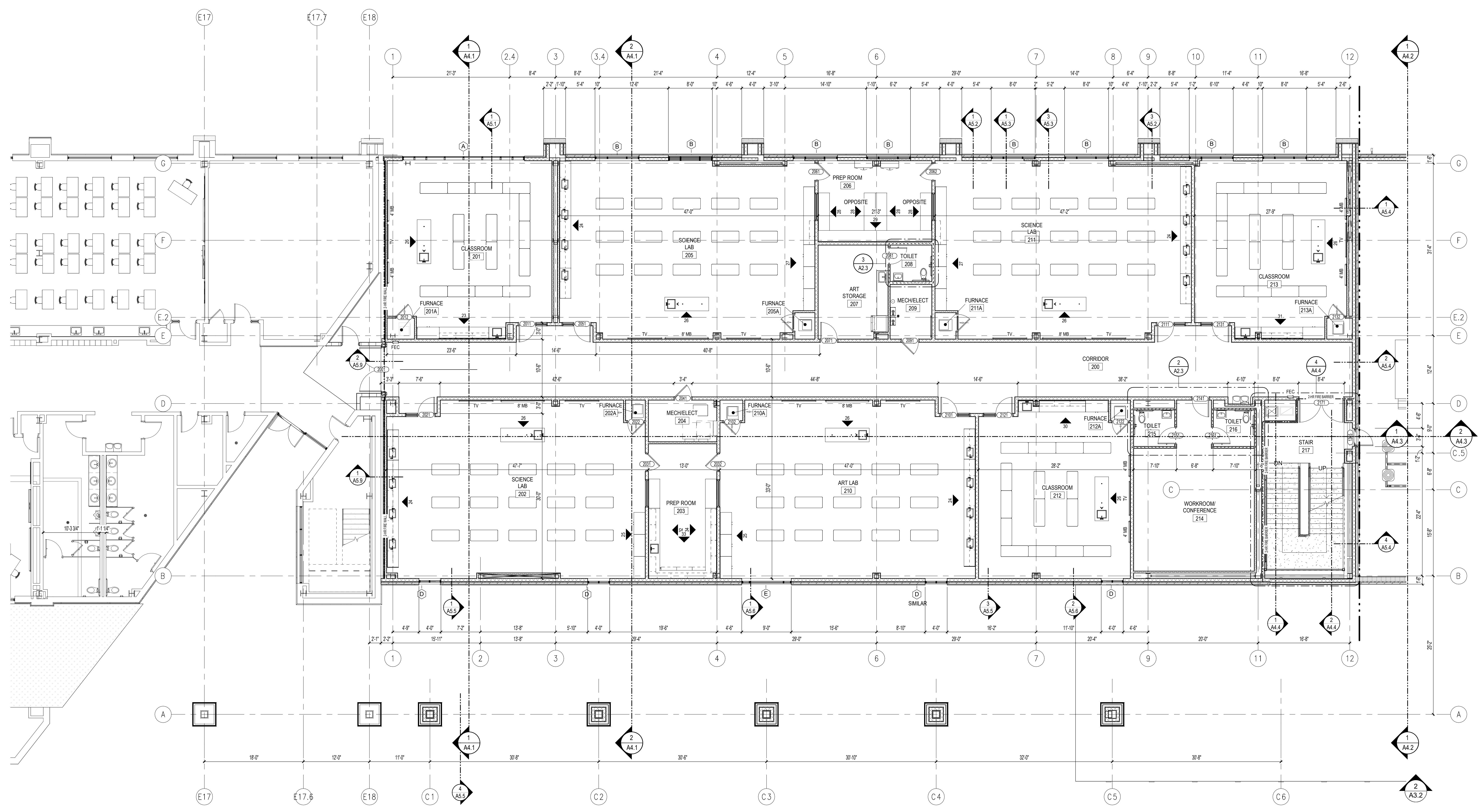
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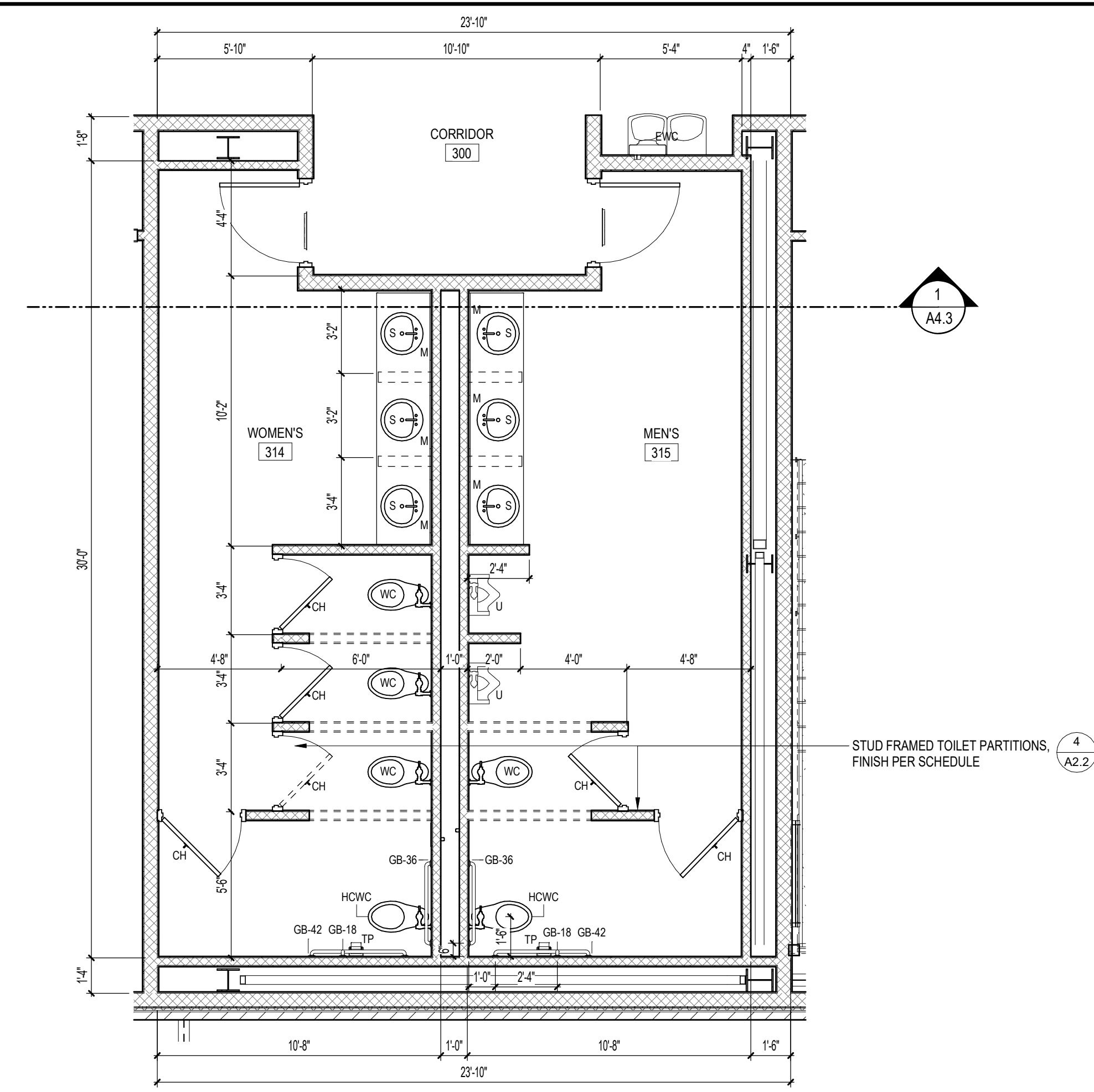
3 ENLARGED PLAN - TOILET 208
A2.3 1/4" = 1'-0"



2 ENLARGED PLAN - TOILET 215 & 216
A2.3 1/4" = 1'-0"



1 SECOND FLOOR PLAN
A2.3 1/8" = 1'-0"



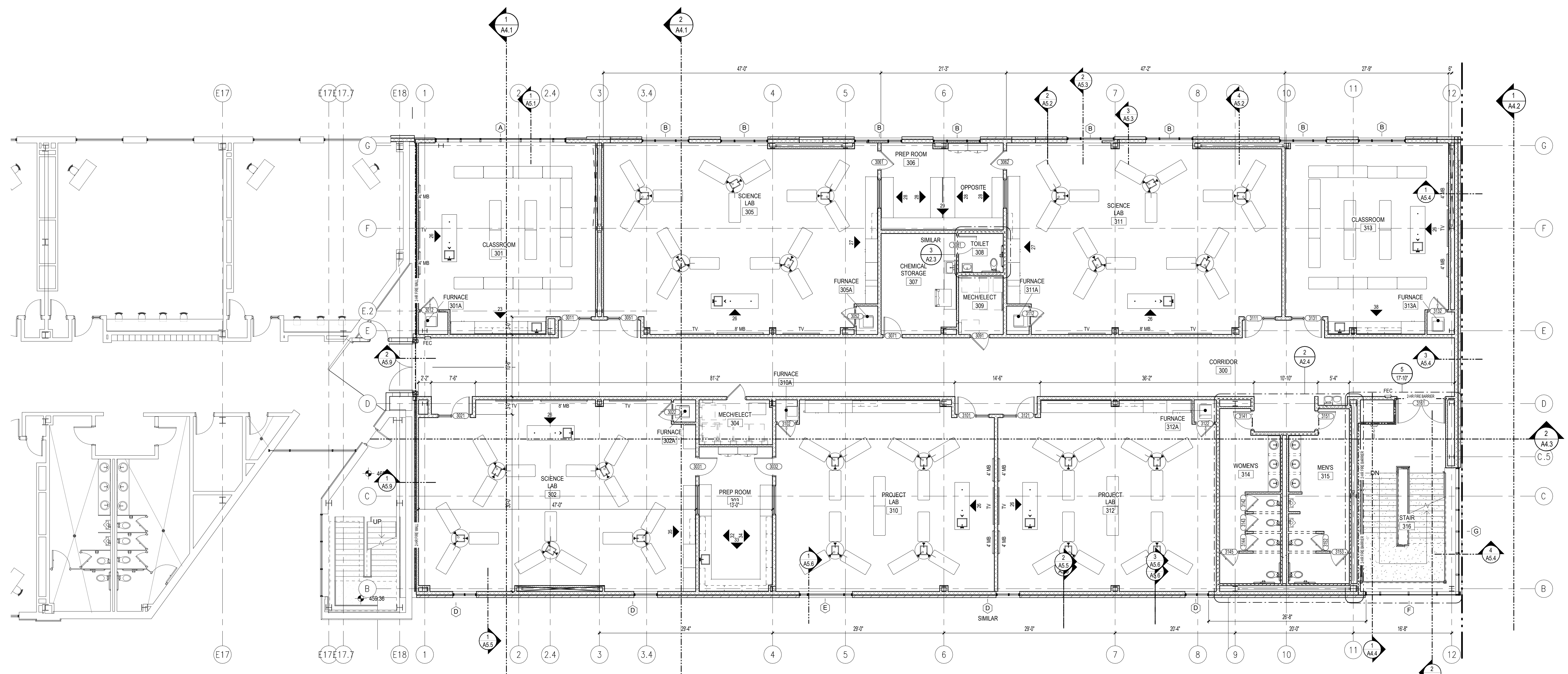
TOILET ACCESSORY SCHEDULE		
MARK	DESCRIPTION	MOUNTING HEIGHT
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EWC	ELECT. WATER COOLER w/ BOTTLE FILLER	42" to SPOUT / 36" to SPOUT @ ADA
CR	SHOWER CURTAIN & ROD	7'-0" A.F.F.

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2 ENLARGED PLAN - TOILETS 314 & 315 / 414 & 415
A2.4 1/4" = 1'-0"



1 THIRD FLOOR PLAN
A2.4 1/8" = 1'-0"



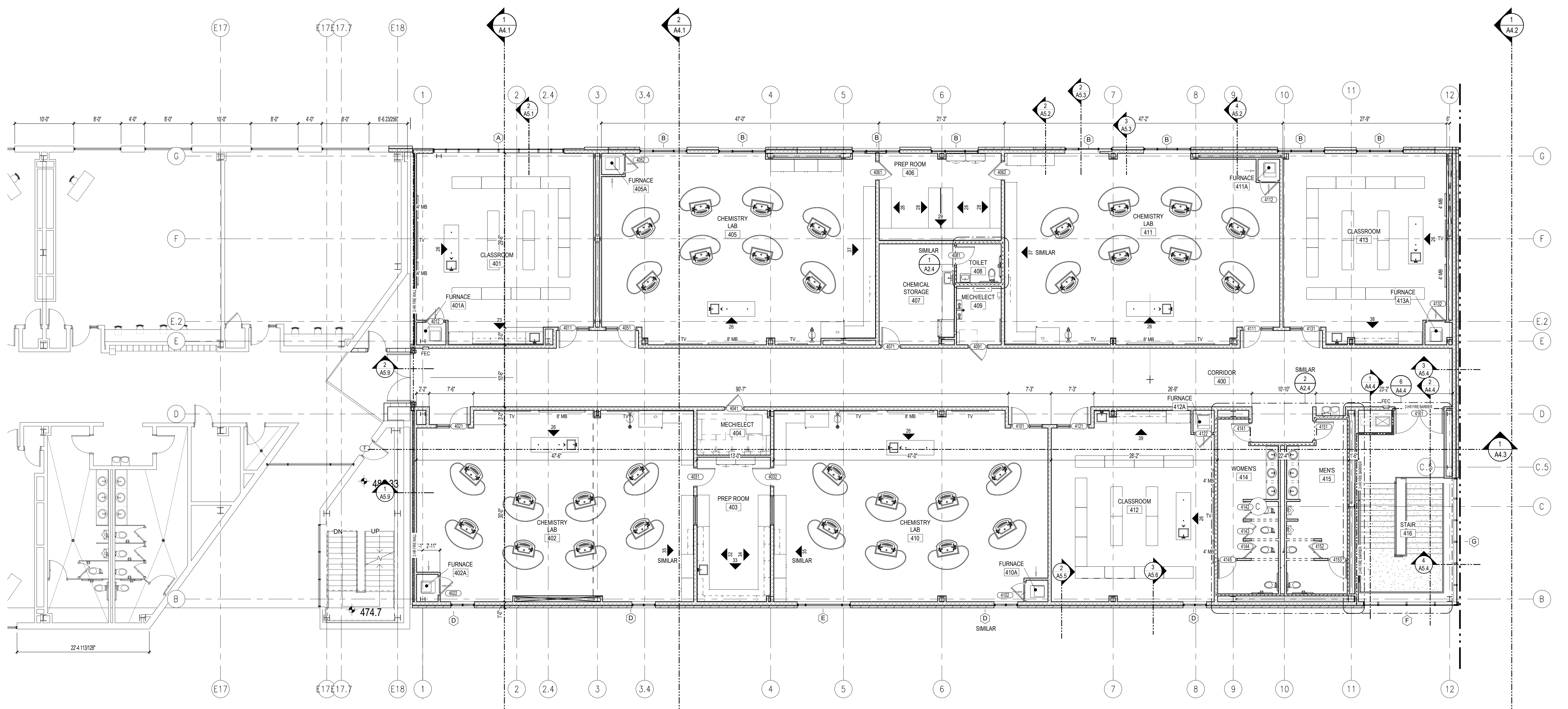
DATE: 09 APRIL 2024
PROJECT NO.: 23060
DRAWN BY: NRW
REVISION:

TOILET ACCESSORY SCHEDULE		
MARK	DESCRIPTION	MOUNTING HEIGHT
GB-36	GRAB BAR - 36"	34" A.F.F. to CENTERLINE
GB-42	GRAB BAR - 42"	34" A.F.F. to CENTERLINE
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CR	SHOWER CURTAIN & ROD	7'-0" A.F.F.

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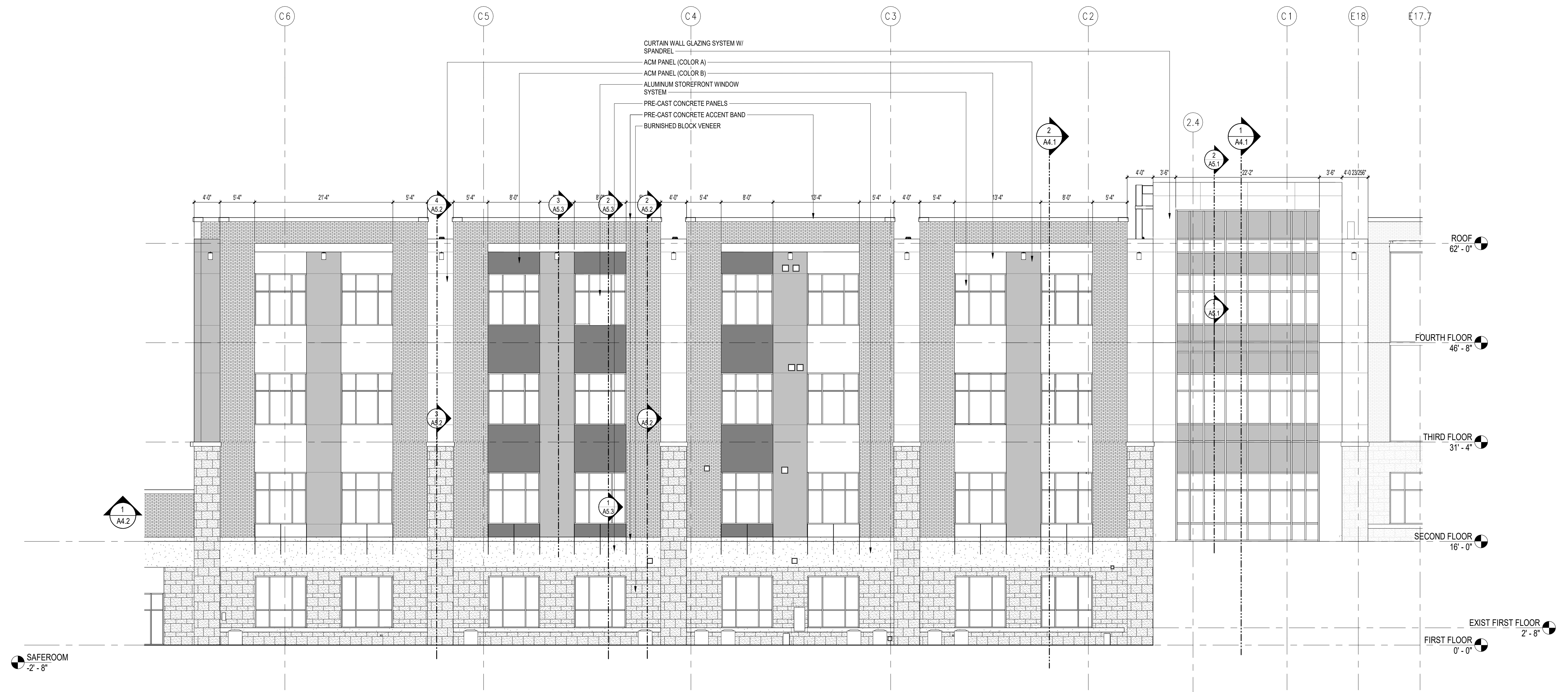
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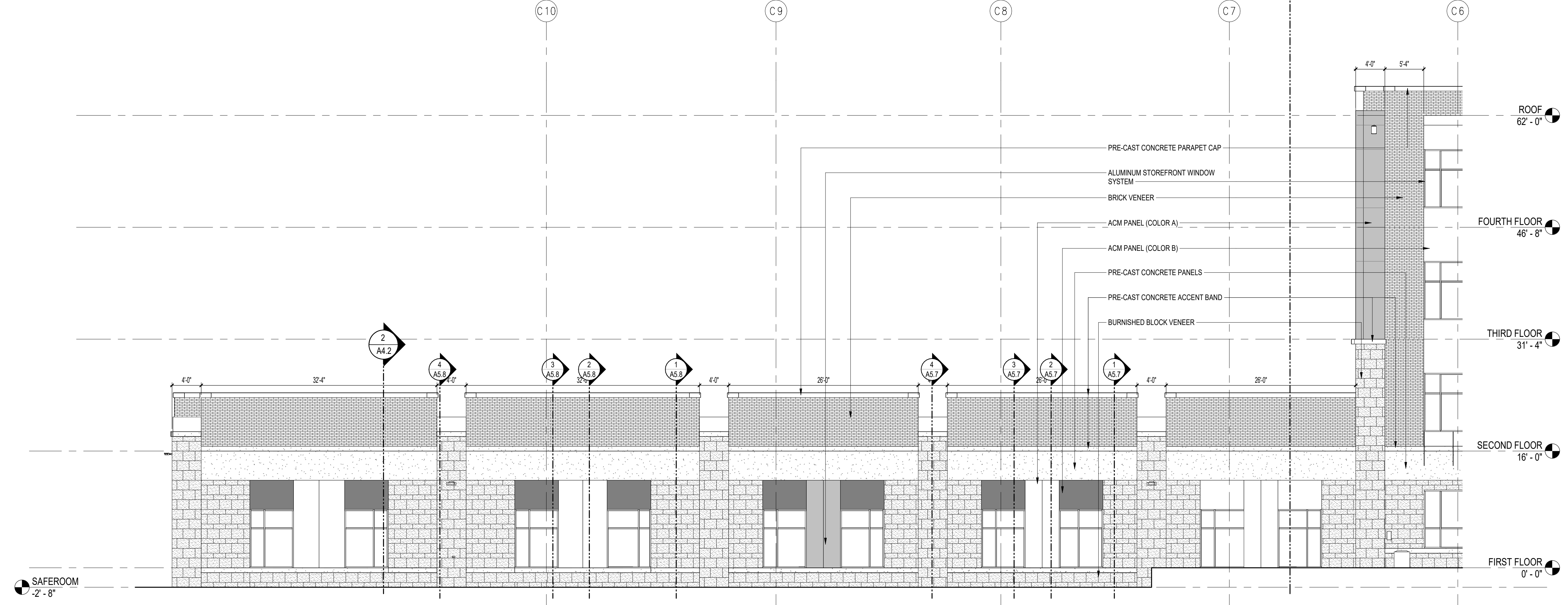
FOURTH FLOOR PLAN
 1/8" = 1'-0"



DATE: 09 APRIL 2024
 PROJECT NO.: 23060
 DRAWN BY: NRW
 REVISION:

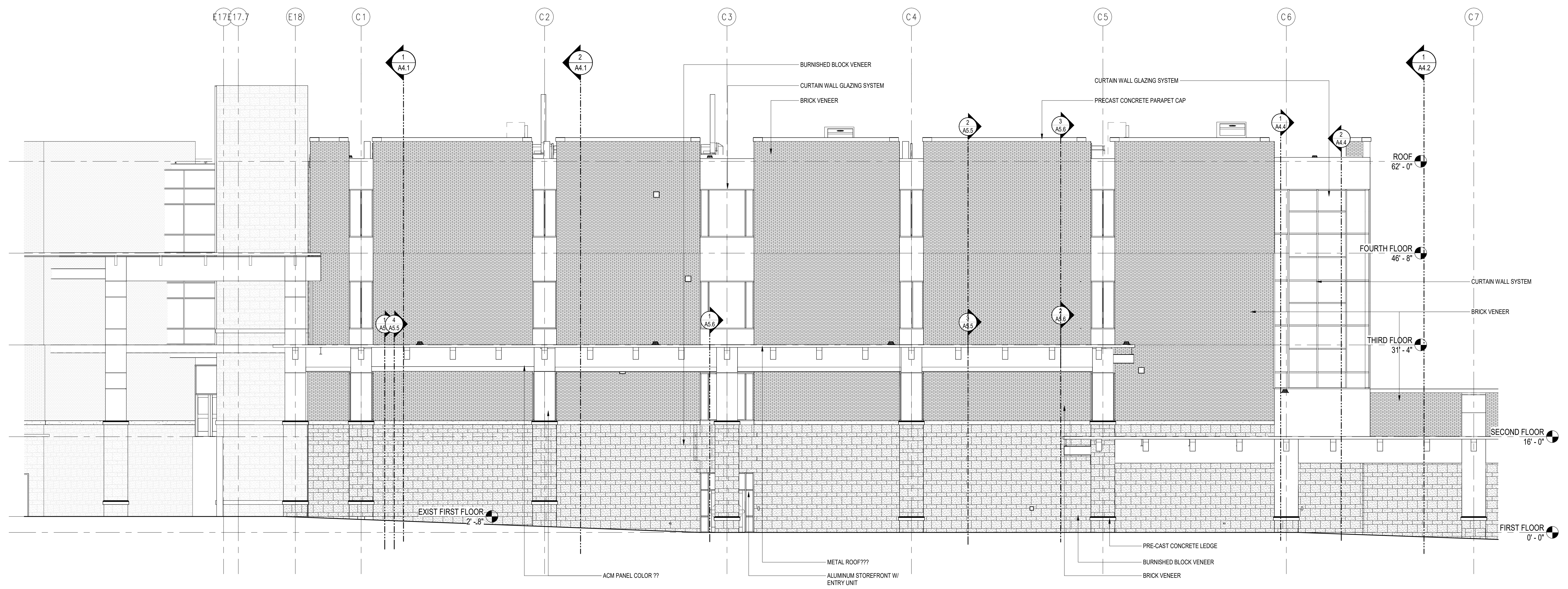


2 EAST ELEVATION - AREA A
A3.1 1/8" = 1'-0"

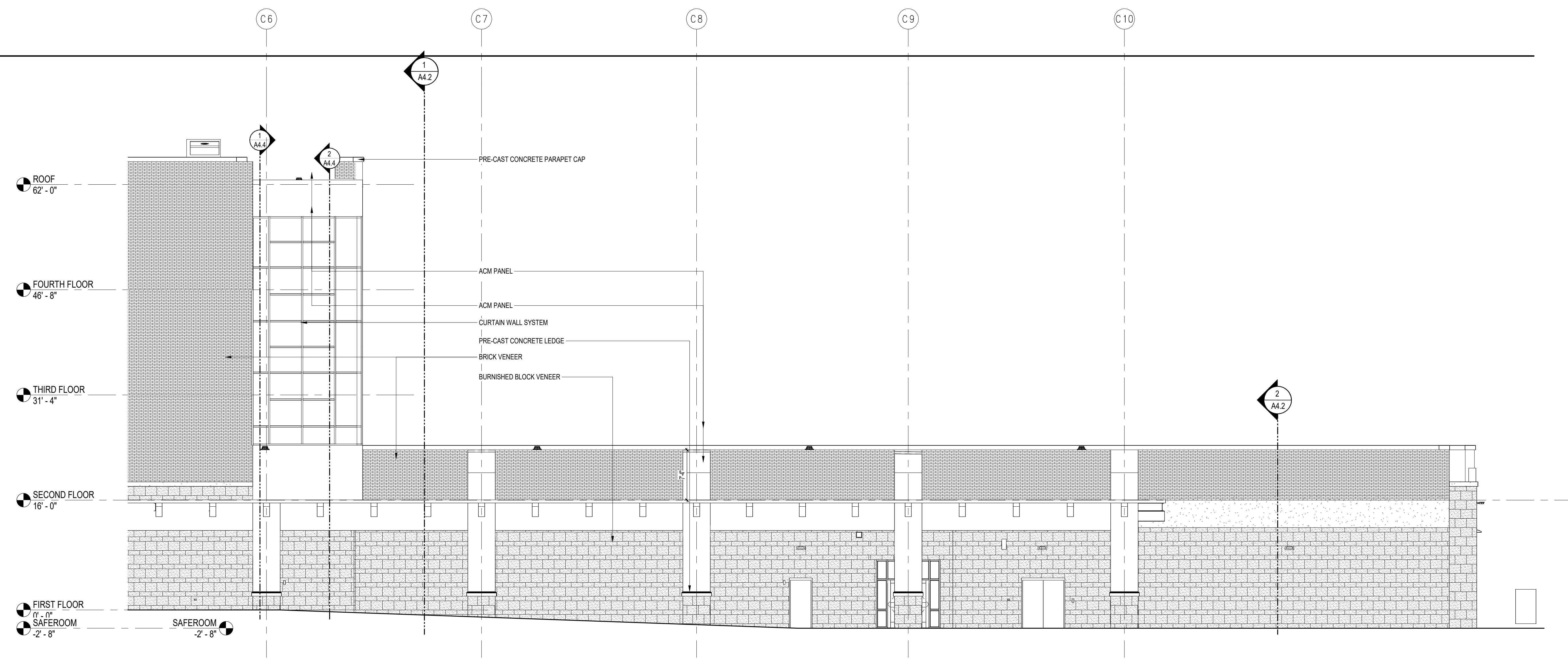


4 EAST ELEVATION - AREA B
A3.1 1/8" = 1'-0"

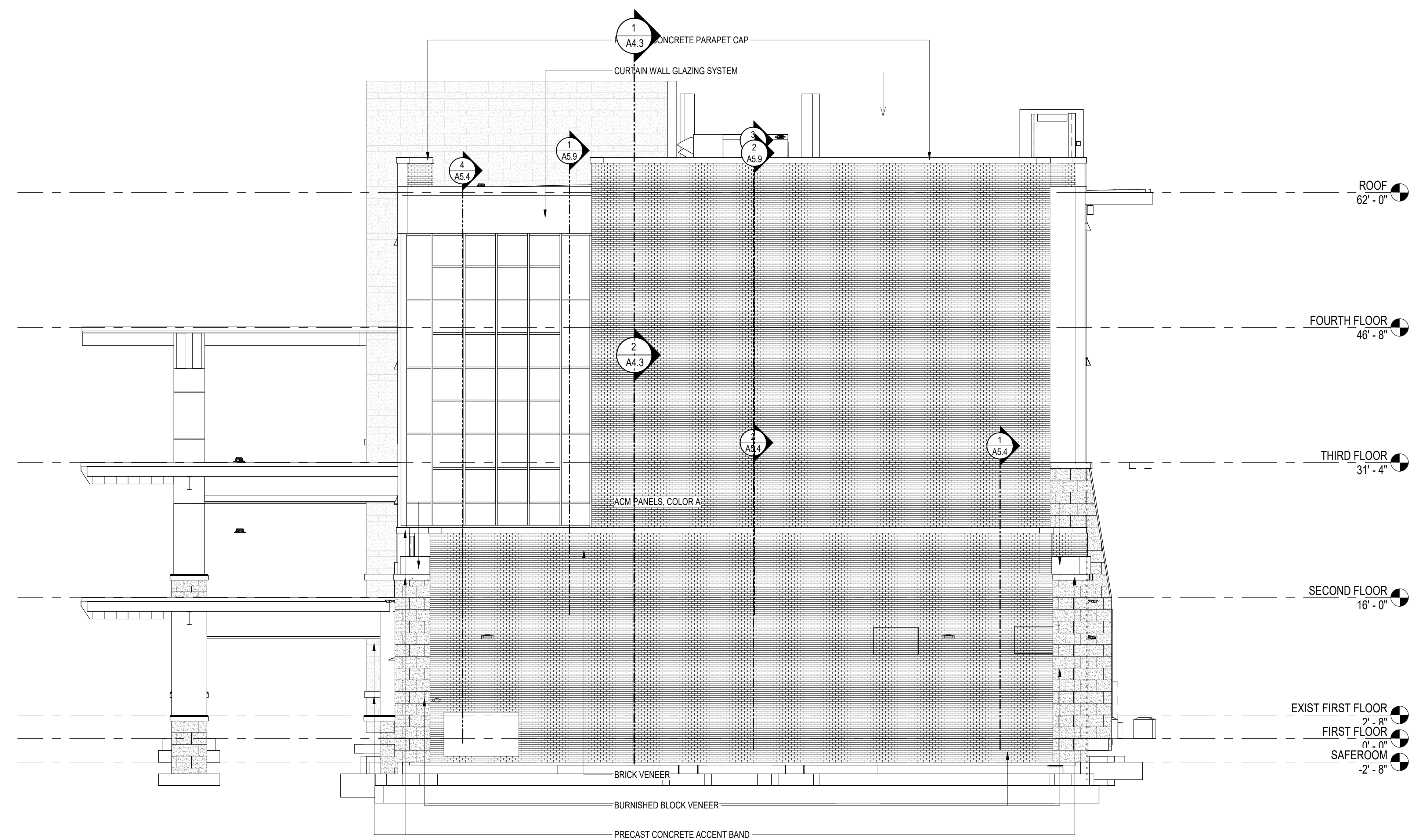




1 WEST ELEVATION - AREA A
 A3.2 1/8" = 1'-0"



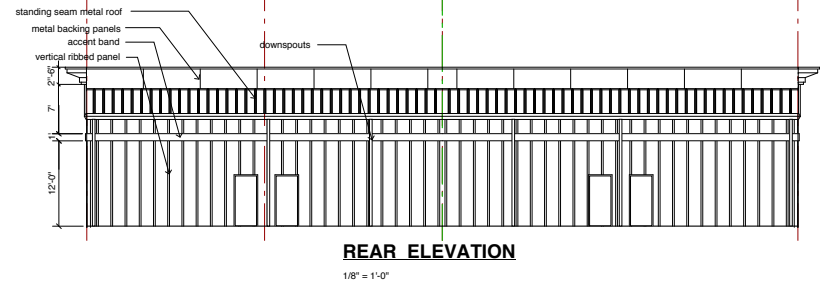
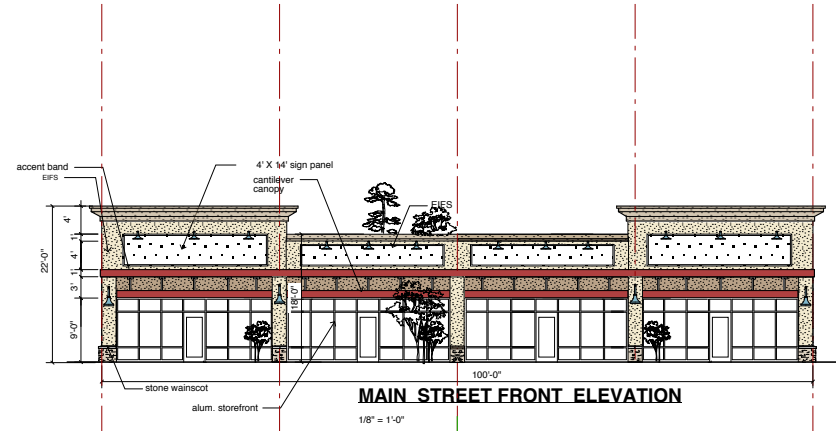
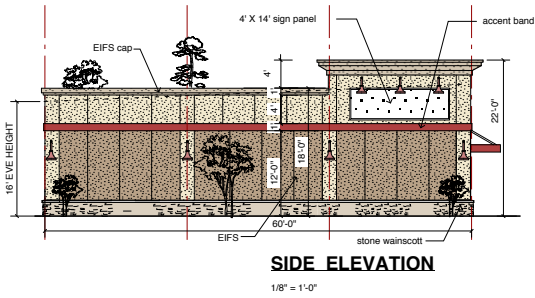
2 WEST ELEVATION - AREA B
 A3.2 1/8" = 1'-0"



1 SOUTH ELEVATION
A3.3 1/8" = 1'-0"



DATE: 09 APRIL 2024
PROJECT NO.: 23060
DRAWN BY: NRW
REVISION:



RANDY S. RIPLEY
ARCHITECT P. A.
*1021 PARRY TOWN ROAD
*LITTLE ROCK, ARKANSAS 72227 (501) 580-6344

MARKET and MAIN, LLC
MARKET PLACE CENTER (Building 2)
Bryant, AR

DATE: 9sept19
SHEET:

A3

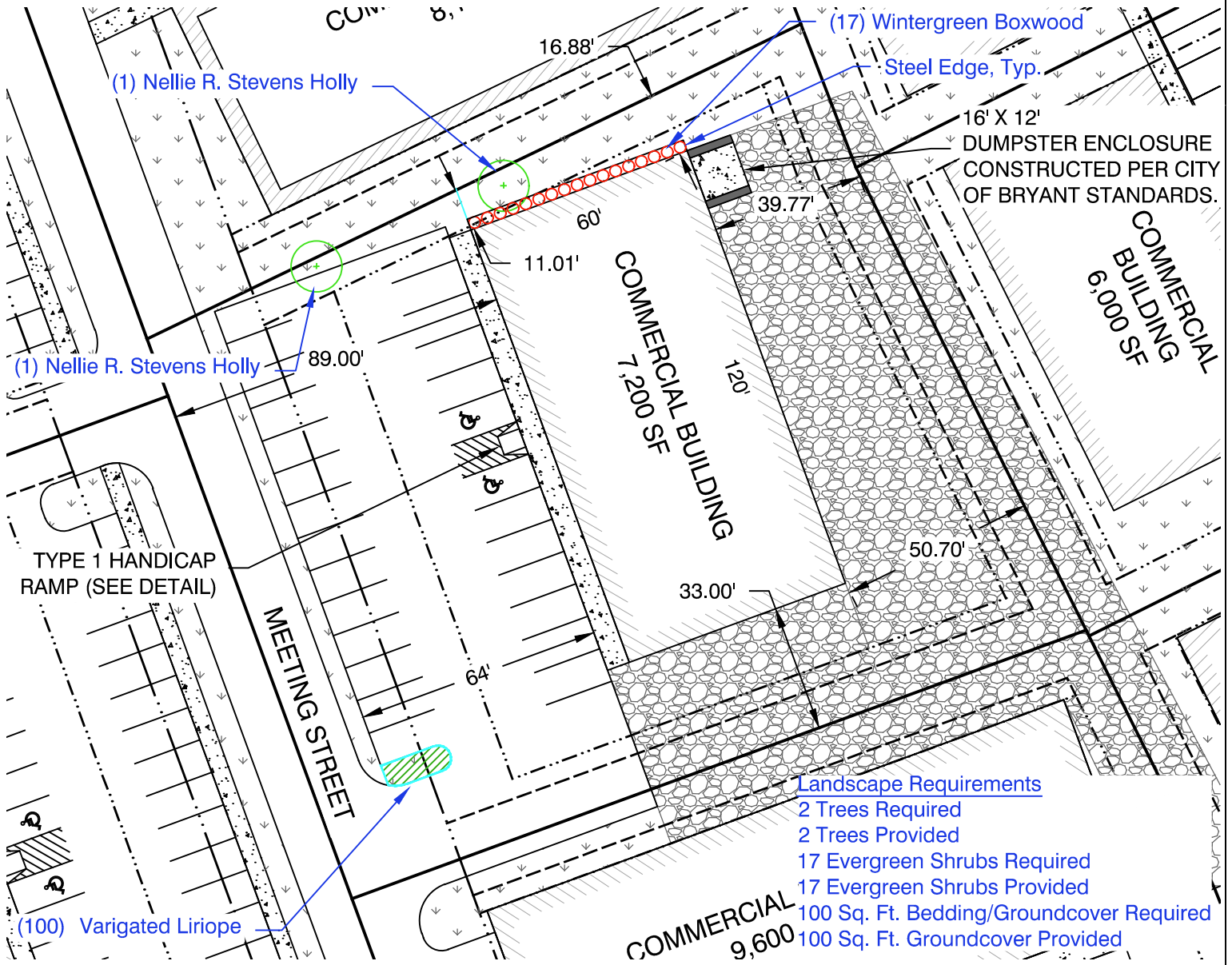
P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- ▲ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted



PROPERTY DESCRIPTION:

LOT 19



JOB NUMBER:

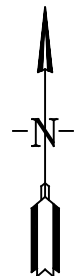
**18087
 MARKET PLACE II
 PHASE 3**

04/18/24

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.

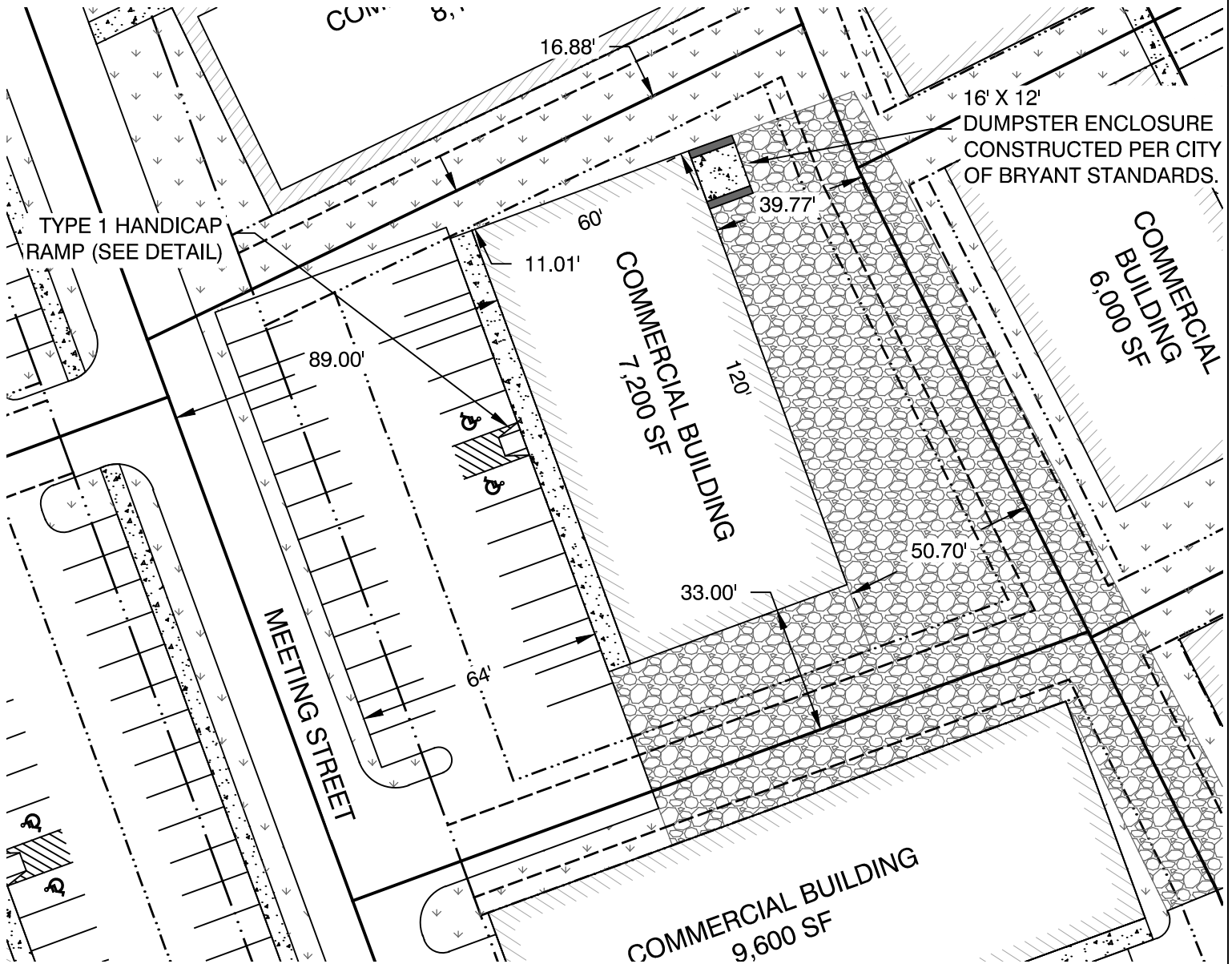


FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted



PROPERTY DESCRIPTION:

LOT 19

JOB NUMBER:

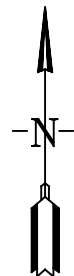
**18087
 MARKET PLACE II
 PHASE 3**

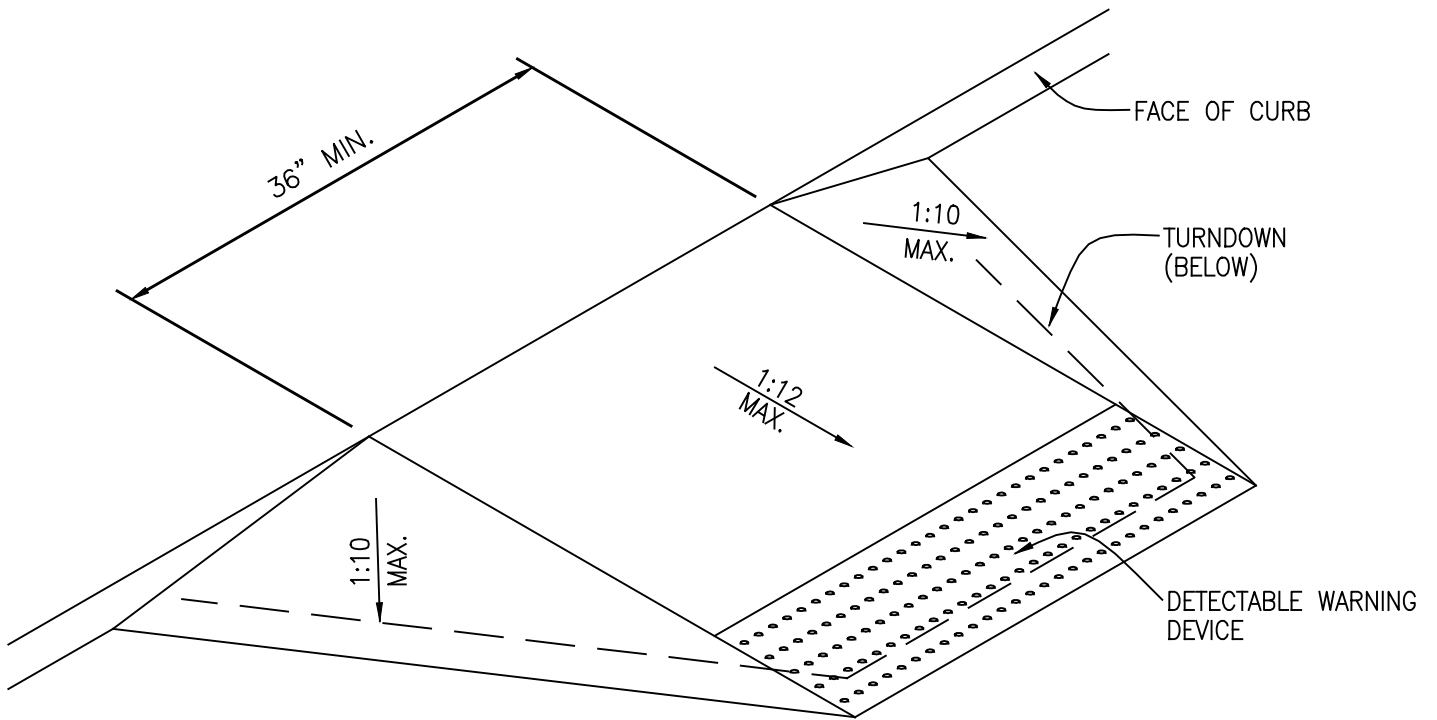
04/17/24

PLOT PLAN

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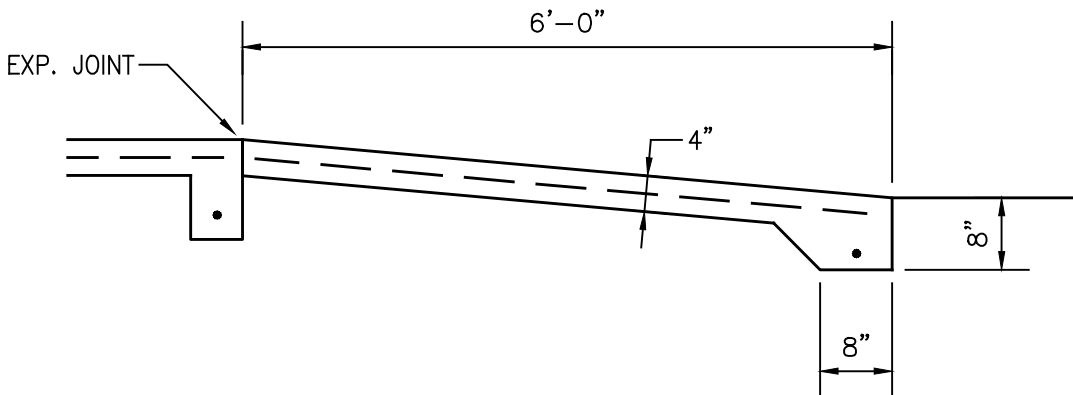


NOTE: THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30"

TYPE 1 HANDICAP RAMP DETAIL

5

NOT TO SCALE



TYPE 1 HANDICAP RAMP SECTION

7

NOT TO SCALE

P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

FOR EXCLUSIVE USE & BENEFIT OF:

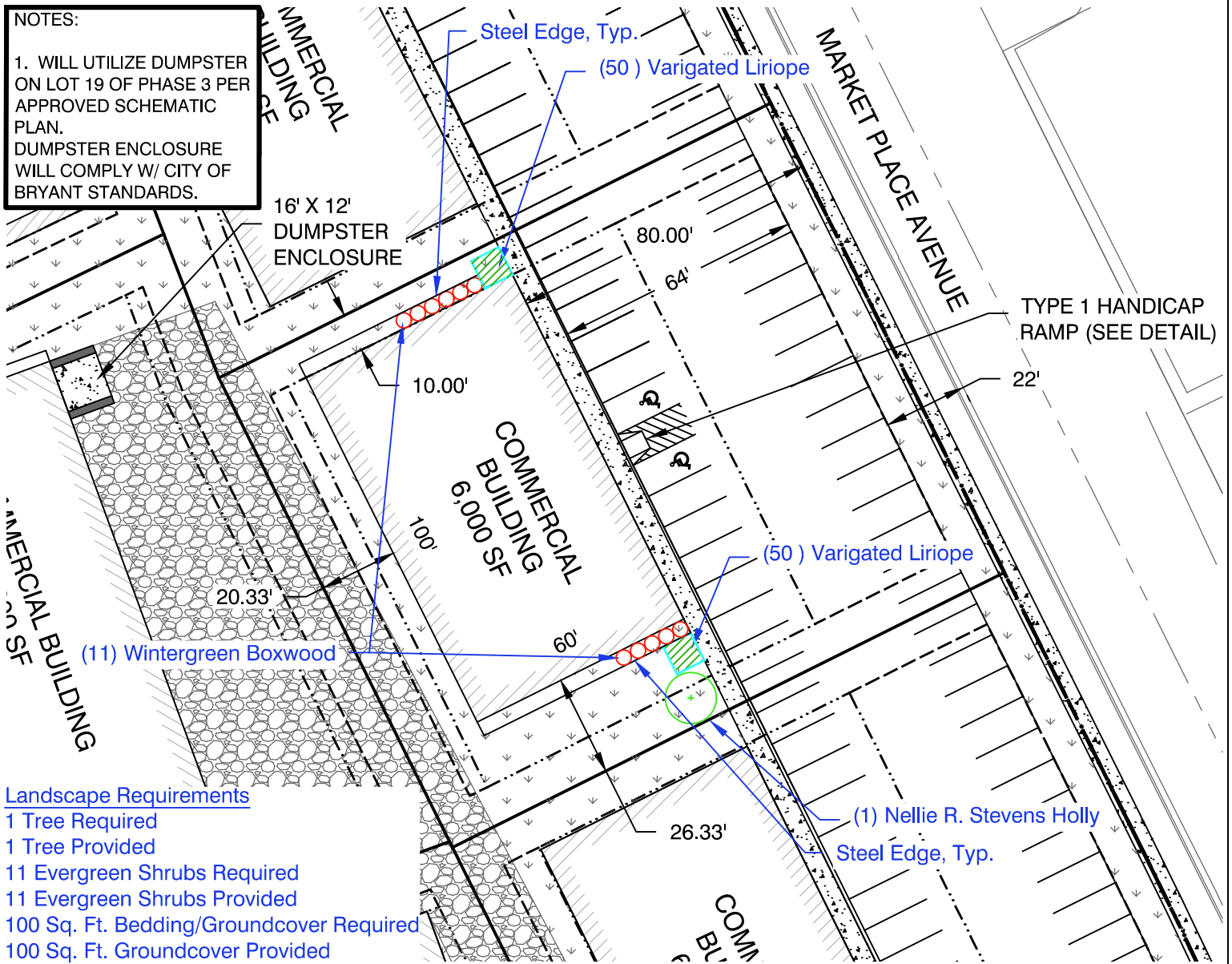
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

NOTES:

1. WILL UTILIZE DUMPSTER ON LOT 19 OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



Landscape Requirements

- 1 Tree Required
- 1 Tree Provided
- 11 Evergreen Shrubs Required
- 11 Evergreen Shrubs Provided
- 100 Sq. Ft. Bedding/Groundcover Required
- 100 Sq. Ft. Groundcover Provided

PROPERTY DESCRIPTION:

LOT 16



JOB NUMBER:

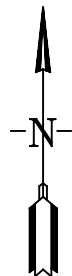
**18087
 MARKET PLACE II
 PHASE 2**

04/18/24

PLOT PLAN

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P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garmatengineering@gmail.com

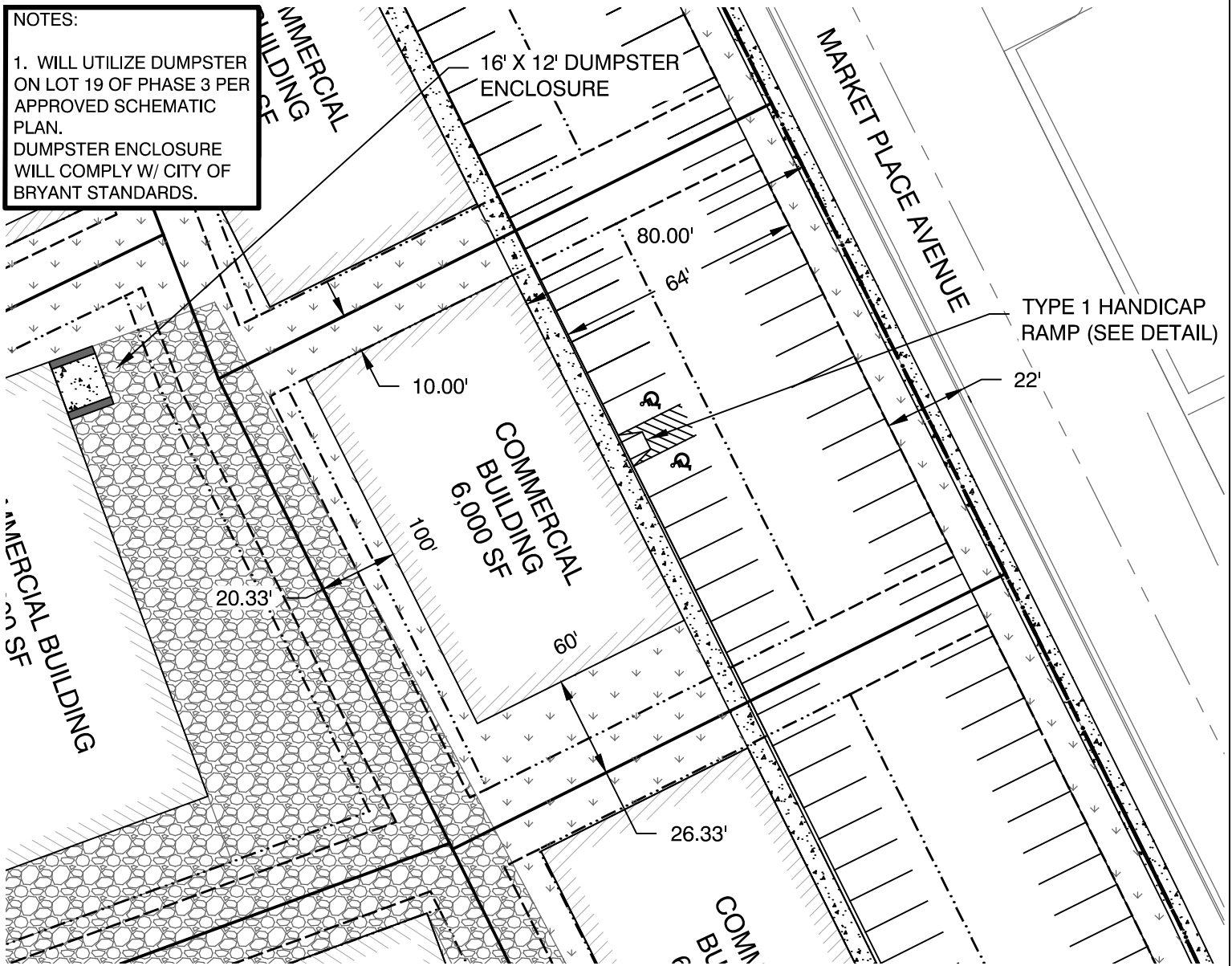
FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- ⊙ - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

NOTES:
 1. WILL UTILIZE DUMPSTER ON LOT 19 OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



PROPERTY DESCRIPTION:

LOT 16



JOB NUMBER:

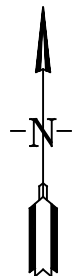
**18087
 MARKET PLACE II
 PHASE 2**

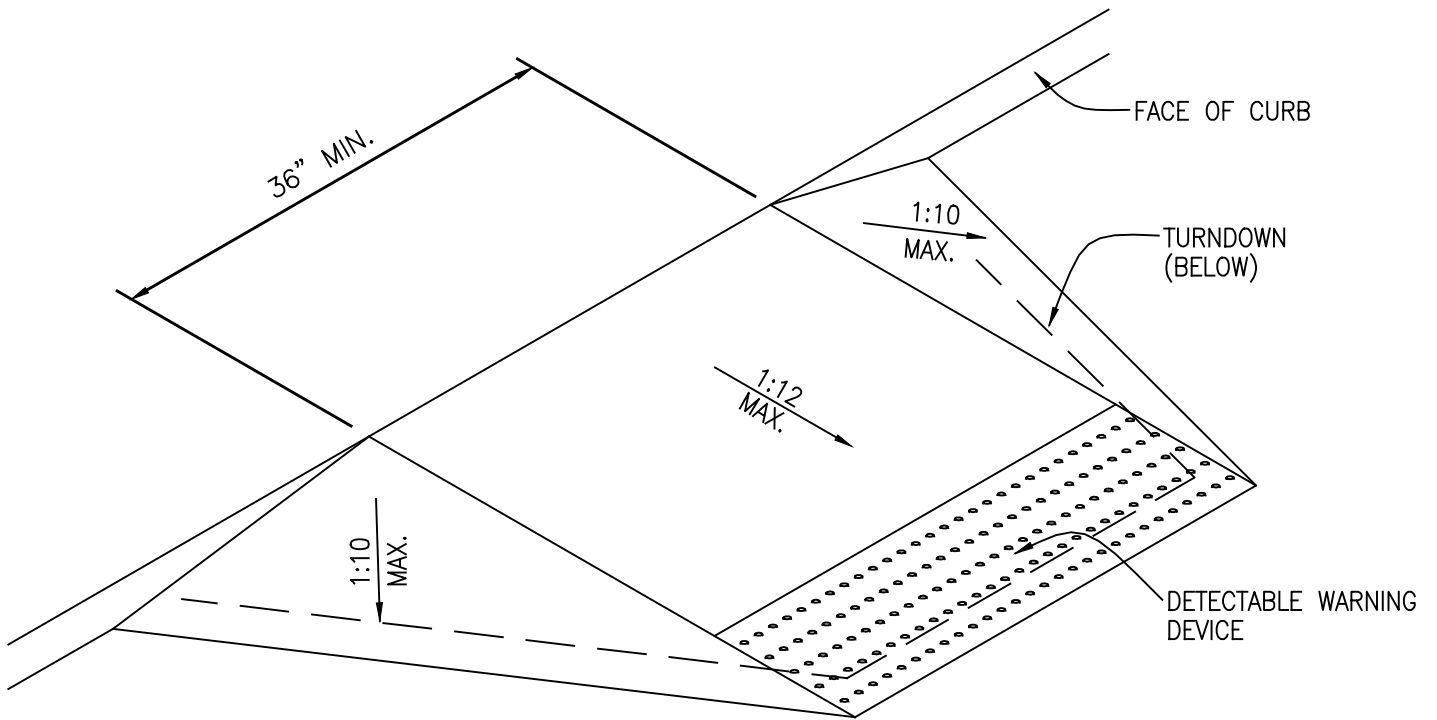
04/17/24

PLOT PLAN

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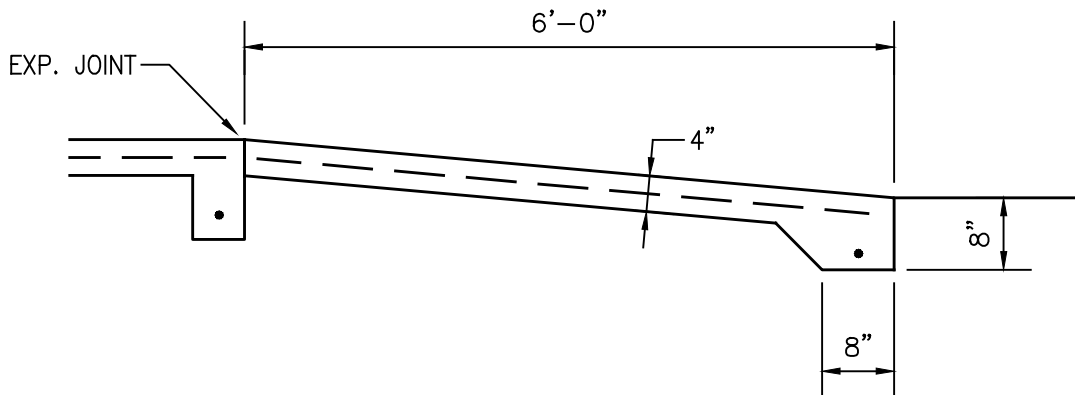


NOTE: THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30"

TYPE 1 HANDICAP RAMP DETAIL

5

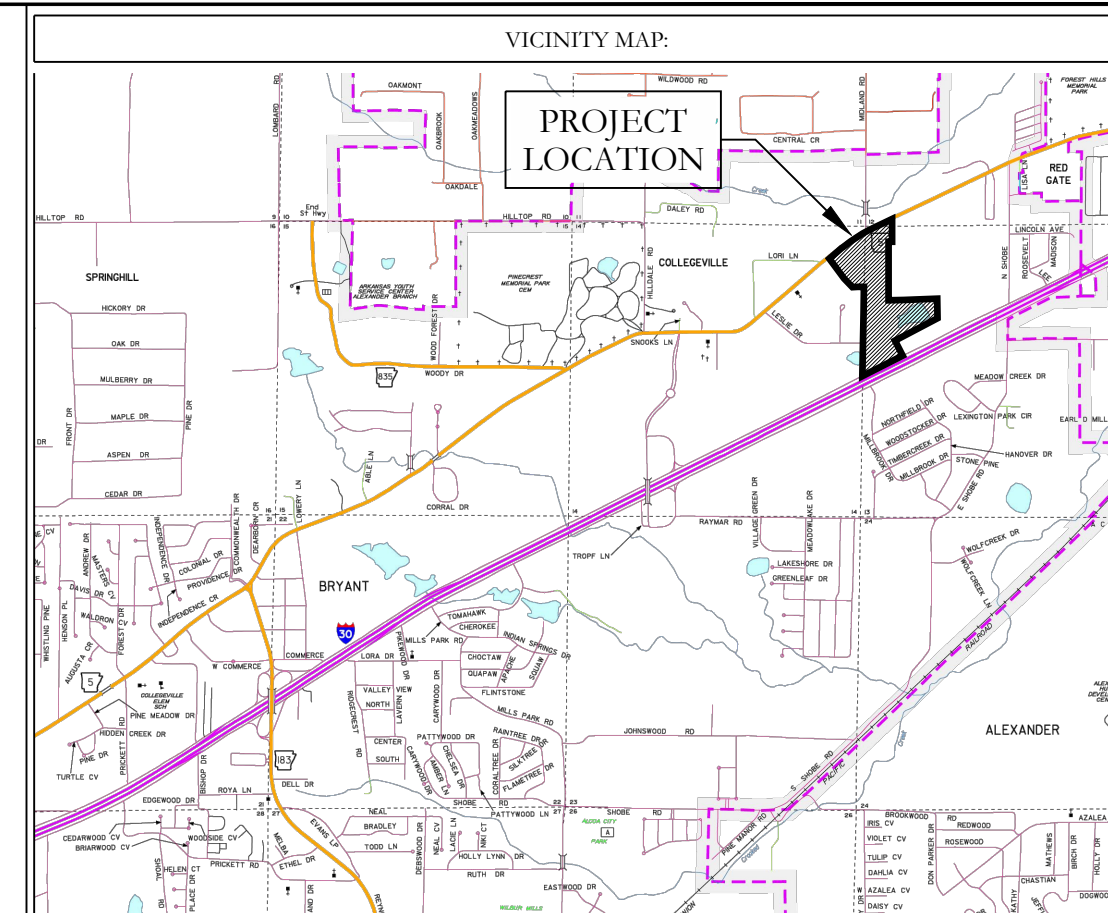
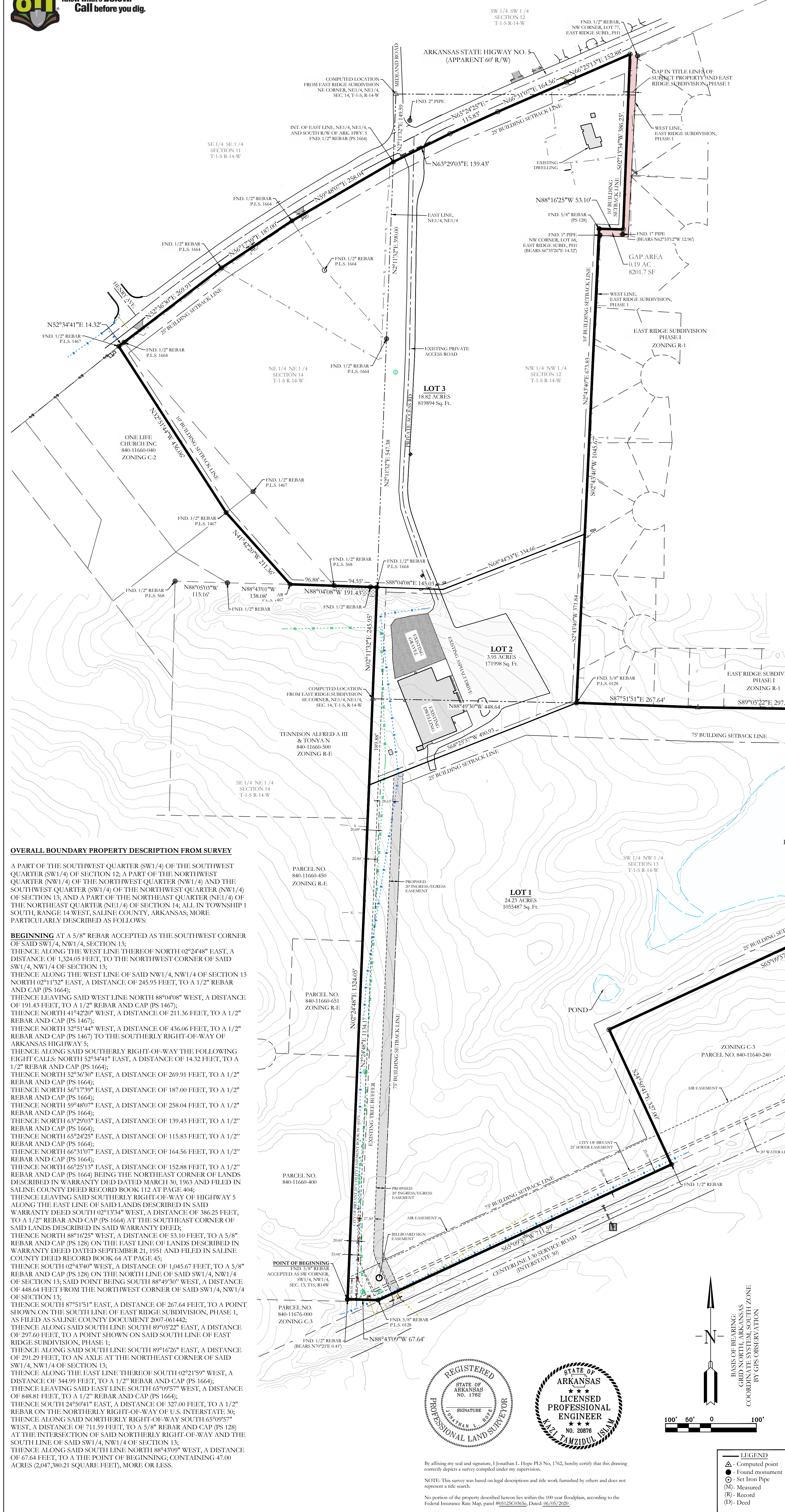
NOT TO SCALE



TYPE 1 HANDICAP RAMP SECTION

7

NOT TO SCALE



CERTIFICATIONS:	
OWNER: Name: ARKANSAS STORAGE XIV, LLC Address: PO BOX 10 BRYANT, AR 72022	DEVELOPER: Name: ARKANSAS STORAGE XIV, LLC Address: PO BOX 10 BRYANT, AR 72022
CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have had off, plotted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat. Source of Title: 2023-015797 2023-015796 2023-010005 2023-017298 Date of Execution _____ Name: _____	
CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY: I, Jonathan L. Hope, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on _____ 2023; that the boundary lines shown hereon correspond with the description in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located. Date of Execution _____ Signed: Jonathan L. Hope Registered Professional Land Surveyor No. 1762 Arkansas	
CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY: I, Kazi Tamzidul Islam, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with. Date of Execution _____ Signed: Kazi Tamzidul Islam Registered Professional Engineer, No. 20876 Arkansas	
CERTIFICATE OF PRELIMINARY PLAT APPROVAL: All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations. Date of Execution _____ Signed: Rick Johnson, Chairman Bryant Planning Commission	

OVERALL BOUNDARY PROPERTY DESCRIPTION FROM SURVEY

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12; A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 13; AND A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 14; ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" REBAR ACCEPTED AS THE SOUTHWEST CORNER OF SAID SW1/4, NW1/4, SECTION 13;

THENCE ALONG THE WEST LINE THEREOF NORTH 02°24'48" EAST, A DISTANCE OF 1,324.05 FEET, TO THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG THE WEST LINE OF SAID NW1/4, NW1/4 OF SECTION 13 NORTH 02°11'32" EAST, A DISTANCE OF 245.95 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE LEAVING SAID WEST LINE NORTH 88°04'08" WEST, A DISTANCE OF 191.43 FEET, TO A 1/2" REBAR AND CAP (PS 1467);

THENCE NORTH 41°42'20" WEST, A DISTANCE OF 211.36 FEET, TO A 1/2" REBAR AND CAP (PS 1467);

THENCE NORTH 32°51'44" WEST, A DISTANCE OF 436.06 FEET, TO A 1/2" REBAR AND CAP (PS 1467) TO THE SOUTHERLY RIGHT-OF-WAY OF ARKANSAS HIGHWAY 5;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING EIGHT CALLS: NORTH 52°34'41" EAST, A DISTANCE OF 14.32 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 52°36'30" EAST, A DISTANCE OF 269.91 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 56°17'39" EAST, A DISTANCE OF 187.00 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 59°48'07" EAST, A DISTANCE OF 258.04 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 63°29'03" EAST, A DISTANCE OF 139.43 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 65°24'25" EAST, A DISTANCE OF 115.83 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 66°31'07" EAST, A DISTANCE OF 164.56 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 66°25'15" EAST, A DISTANCE OF 152.88 FEET, TO A 1/2" REBAR AND CAP (PS 1664) BEING THE NORTHEAST CORNER OF LANDS DESCRIBED IN WARRANTY DEED DATED MARCH 30, 1963 AND FILED IN SALINE COUNTY DEED RECORD BOOK 112 AT PAGE 404;

THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY OF HIGHWAY 5 ALONG THE EAST LINE OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED SOUTH 02°13'34" WEST, A DISTANCE OF 386.25 FEET, TO A 1/2" REBAR AND CAP (PS 1664) AT THE SOUTHEAST CORNER OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED;

THENCE NORTH 88°16'25" WEST, A DISTANCE OF 53.10 FEET, TO A 5/8" REBAR AND CAP (PS 128) ON THE EAST LINE OF LANDS DESCRIBED IN WARRANTY DEED DATED SEPTEMBER 21, 1951 AND FILED IN SALINE COUNTY DEED RECORD BOOK 64 AT PAGE 45;

THENCE SOUTH 02°43'40" WEST, A DISTANCE OF 1,045.67 FEET, TO A 5/8" REBAR AND CAP (PS 128) ON THE NORTH LINE OF SAID SW1/4, NW1/4 OF SECTION 13; SAID POINT BEING SOUTH 88°49'30" WEST, A DISTANCE OF 448.64 FEET FROM THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE SOUTH 87°51'51" EAST, A DISTANCE OF 267.64 FEET, TO A POINT SHOWN ON THE SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1, AS FILED AS SALINE COUNTY DOCUMENT 2007-461442;

THENCE ALONG SAID SOUTH LINE SOUTH 89°05'22" EAST, A DISTANCE OF 297.60 FEET, TO A POINT SHOWN ON SAID SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1;

THENCE ALONG SAID SOUTH LINE SOUTH 89°16'26" EAST, A DISTANCE OF 291.29 FEET, TO AN AXLE AT THE NORTHEAST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

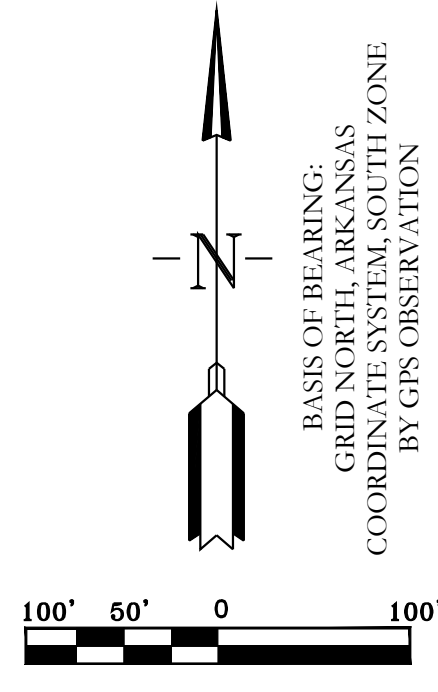
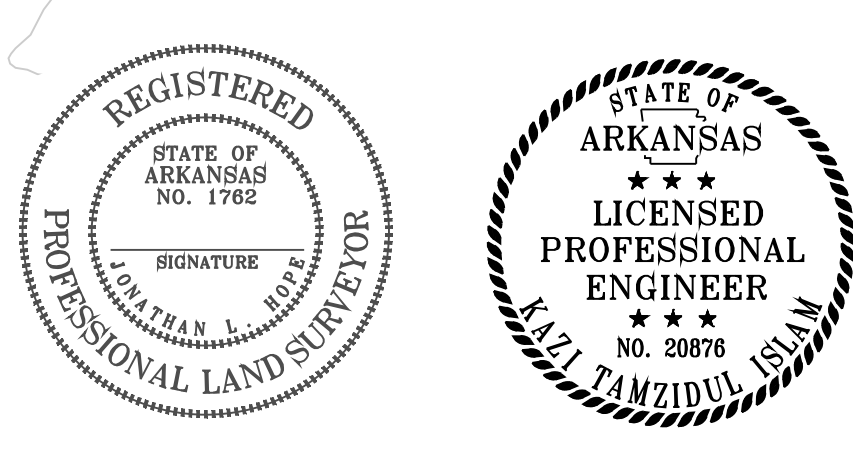
THENCE ALONG THE EAST LINE THEREOF SOUTH 02°21'59" WEST, A DISTANCE OF 344.99 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE LEAVING SAID EAST LINE SOUTH 65°09'57" WEST, A DISTANCE OF 848.81 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE SOUTH 24°50'41" EAST, A DISTANCE OF 327.00 FEET, TO A 1/2" REBAR ON THE NORTHERLY RIGHT-OF-WAY OF U.S. INTERSTATE 30;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY SOUTH 65°09'57" WEST, A DISTANCE OF 711.59 FEET, TO A 5/8" REBAR AND CAP (PS 128) AT THE INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY AND THE SOUTH LINE OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG SAID SOUTH LINE NORTH 88°43'09" WEST, A DISTANCE OF 67.64 FEET, TO A POINT SHOWN ON SAID SOUTH LINE, CONTAINING 47.00 ACRES (2,047,380.21 SQUARE FEET), MORE OR LESS.



PROPERTY SPECIFICATIONS:	
OWNER: ARKANSAS STORAGE XIV, LLC PO BOX 10 BRYANT, AR 72022	NUMBER OF LOTS: 3
DEVELOPER/SUBDIVIDER: ARKANSAS STORAGE XIV, LLC PO BOX 10 BRYANT, AR 72022	SOURCE OF WATER: CITY OF BRYANT SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC COOP SOURCE OF GAS: CENTERPOINT ENERGY
ENGINEERS: HOPE CONSULTING INC. 129 N. MAIN STREET BENTON, AR 72015	BUILDING SETBACKS: FRONT - AS SHOWN REAR - OR AS SHOWN SIDE - OR AS SHOWN
NAME OF SUBDIVISION: ZONING CLASSIFICATION: C-2	EASEMENTS, UTILITY & DRAINAGE (D.E. & U.E): FRONT - AS SHOWN REAR - AS SHOWN SIDE - AS SHOWN
SOURCE OF TITLE: SALINE COUNTY DOCUMENT 2023-015797 2023-015796 2023-010005 2023-017298	LOT CORNERS: SET 1/2" REBAR WITH CAP

HOPE CONSULTING ENGINEERS - SURVEYORS
129 N. Main Street, Benton, Arkansas 72015
PH. (501) 315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
ARKANSAS STORAGE XIV, LLC

PRELIMINARY PLAT
FINLEY BUSINESS PARK
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

DATE: 01/19/2024	C.A.D. BY: BJOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	22-0800
SHEET:	SCALE: 1" = 100'	
500 01S 14W 0 14 110 62 1762		
500 01S 14W 0 13 400 62 1762		

LEGEND:
 (A) - Computed point
 (●) - Found monument
 (○) - Set Iron Pipe
 (M) - Measured
 (R) - Record
 (D) - Deed

By affixing my seal and signature, I Jonathan L. Hope PLS No. 1762, hereby certify that this drawing correctly depicts a survey completed under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C0365c, Dated: 06/08/2020.

Bryant Planning Commission

Subdivision Checklist

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

\$231+\$300= \$531

\$25*77= \$1,925

Total Fee Required= \$2,456

City of Bryant Subdivision Checklist

Subdivision/Project Name Legacy Heights

Contact Person Jonathan Hope Phone 501-860-0467

Mailing Address 129 N Main Street Benton, Arkansas

I. BASIC INFORMATION NEEDED ON THE PLAT

- √ ▲ 1. Name of Subdivision/Project
- √ ▲ 2. Current zoning PUD
- √ ▲ 3. Name and Address of owner of Record
- √ ▲ 4. Illustrate Source of Title giving deed record book and page number
- √ ▲ 5. Name & address of the sub-divider
- √ ▲ 6. Date of Survey
- √ ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- √ ▲ 8. Legal description of the property with exact boundary lines
- √ ▲ 9. Acreage of property
- √ ▲ 10. Number of Lots
- √ ▲ 11. Lot area in square feet
- √ ▲ 12. Lot lines with appropriate dimensions
- √ ▲ 13. Building setback lines
- √ ▲ 14. Preliminary Engineering certificate seal and signature on each page
- √ ▲ 15. Certificate of Engineering Accuracy
- √ ▲ 16. Certificate of Owner
- √ ▲ 17. Certificate of Final Plat Approval
- √ ▲ 18. Certificate of Recording
- √ ▲ 19. Show scale (not less than 1" = 100')
- √ ▲ 20. North Arrow
- √ ▲ 21. Show Title block
- √ ▲ 22. Show adjoining property owners
- √ ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- √ ▲ 24. Layout of all subdivision entrance street upgrades
- √ ▲ 25. Layout of all proposed alleys
- √ ▲ 26. Layout of all proposed sidewalk systems
- √ ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- √ ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- √ ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- √ ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- √ ▲ 31. Street width and right-of-way properly shown for each functional classification
- √ ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- √ ▲ 33. Typical cross section of streets
- √ ▲ 34. Location and name of existing streets
- √ ▲ 35. New street names that are not similar to existing street names
- √ ▲ 36. Show street lights
- √ ▲ 37. Show Fire Hydrant placement

- √ ▲ 38. Show and label all permanent & proposed easements
- √ ▲ 39. Any proposed open space must be shown
- √ ▲ 40. Show the direction and flow of all water courses entering the tract
- √ ▲ 41. Show the direction and flow of all water courses leaving the tract
- √ ▲ 42. The drainage area of all water courses above the points of entry.
- √ ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- √ ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- √ ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- √ ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- √ ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- √ ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- √ ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- √ ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- √ ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- √ ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

Lombard Heights

Jonathan Hope

Name of Subdivision

Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

William McFadden

Owner Signature

Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____

**AGREEMENT
BY
SUBDIVISION DEVELOPER
TO PROVIDE ASSURANCE TO
THE CITY OF BRYANT
ARKANSAS
PER ORDINANCE #98-35**

I _____, developer for the
_____ subdivision located in
the City of Bryant city limits or planning jurisdiction agree to provide a surety
bond or cashier's check in the amount of 10% of the development cost estimated
to be \$_____ but not less than \$10,000 or more than \$50,000 within
10 calendar days after preliminary plat approval by the Bryant Planning
Commission in accordance with the terms of Ordinance Number 98-35.

Date

Developer Signature

Witness

Printed Name

Address

Phone Number

ASSURANCES FOR COMPLIANCE, INSTALLATION, ETC.

- a.) Upon preliminary approval of subdivision construction plans and specifications for improvements, the Developer shall enter into an agreement with the City of Bryant to install or ensure the completion of the improvements as designed and to (repair or replace), (pay the cost to the city of repairing or replacing) all city property damaged or destroyed in connection therewith. The city will accept the subdivision and issue the certificate of final plat approval subject to the assurance of performance of the obligations of the Developer under the agreement.
- b.) One of the following assurances assigned to the city shall be utilized by the Developer to assure performance of the Developer's obligations under the agreement:
 - 1. Surety Bond in the amount of ten percent (10%) of the estimated development cost and recorded at the Saline County Courthouse.
 - 2. Cashier's check(s) in the amount of ten percent (10%) of the estimated development cost on which no interest will be paid by the city.

Any cashier's check or certificate of deposit allowed by this section shall be insured by a financial institution insured by the Federal Deposit Insurance Corporation and licensed to business in Arkansas. Further, each instrument of assurance shall be payable to the City of Bryant, and shall be in principal amount no less than \$10,000 or no greater than \$50,000. All instruments of assurance or the city's check in the amount equal to the principal amount of the instrument less any deductions for failure to perform by the Developer shall be returned to the Developer one-year after completion of the Developers performance under the agreement.

Forfeiture of the assurance for compliance does not relieve the Developer of his responsibility to complete the subdivisions improvements to the satisfaction of the City.

Developer's of large projects that could have an adverse impact on the City's infrastructure may be required to have an assurance for compliance if so directed by the Planning Commission.

All Ordinances and parts of Ordinances in conflict with this Ordinance are hereby repealed.

Should any portion of this ordinance be unconstitutional or invalid and so declared by a court of competent jurisdiction, then the remainder of this Ordinance, and any remaining applications of the Ordinance, shall not be affected by such partial unconstitutionality or invalidity.

This Ordinance shall be in full force and effect from and after its passage, approval, and publication.

PASSED AND APPROVED THIS 28th DAY OF September, 1998.


APPROVED


ATTEST

No Emergency Clause



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 4/24/2024

Applicant or Designee:

Name Jonathan Hope
 Address 129 N Main St. Benton, AR
 Phone 501-315-2626
 Email Address jonathan@hopeconsulting.com

Property Owner (If different from Applicant):

Name Finley & Company
 Address P.O Box 10 Bryant, AR
 Phone 501-258-9646
 Email Address stuart@finleyandcompany.com

Property Information:

Address 8800 HWY 5
 Parcel Number Parcel #840-11640-124, 840-11660-000, 840-11660-010, 840-11660-020, 840-11634-600
 Existing Zoning Classification C-2
 Requested Zoning Classification PUD
 Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)
See Exhibit Attached

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map

Additional Requirements:

*Items below **must be completed before the public hearing can occur.** Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.*

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I _____, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, June 10, 2024 at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a rezone request at the site of
Parcel #840-11640-124, 840-11660-000, 840-11660-010, 840-11660-020, 840-11634-600 (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

April 24, 2024

RE: Rezoning Petition

The property located at Parcel #840-11640-124, 840-11660-000, 840-11660-010, 840-11660-020, 840-11634-600 is being considered for rezoning from C2 to PUD. The property is more particularly described as follows:

An application has been filed with the City of Bryant Planning Commission to rezone the property. As part of this process, a public hearing will be held on Monday June 10, 2024 at 6:00 PM in the Boswell Community Center Courtroom, 210 SW 3rd Street, Bryant, AR 72022.

Public comments will be accepted at that time regarding this rezoning. Since you own property within 300 feet of the property in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0857 or by contacting me at 501-860-0467.

Thank you for your consideration in this matter.

Sincerely,


Jonathan Hope

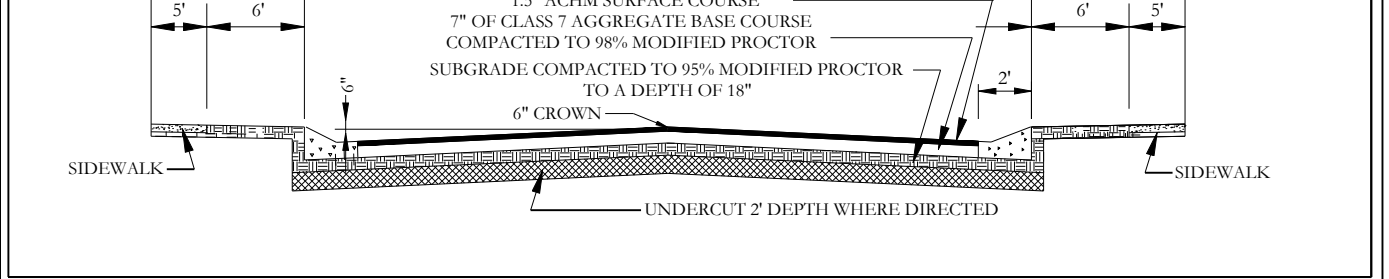
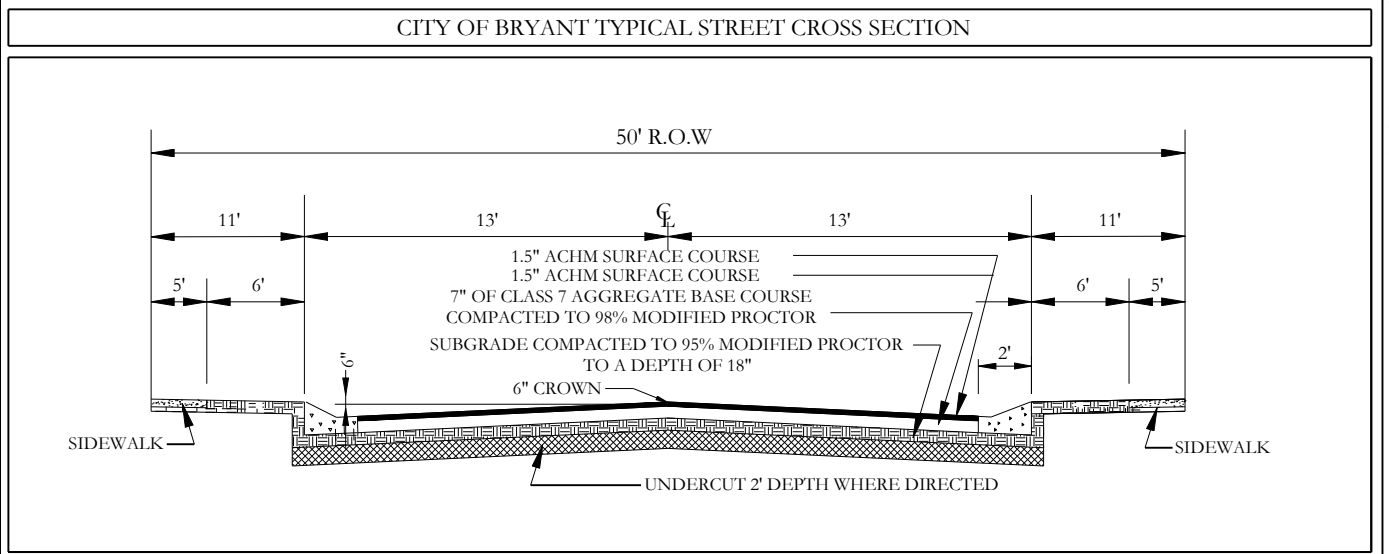
Hope Consulting

PROPERTY DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12; A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 13; AND A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 14; ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" REBAR ACCEPTED AS THE SOUTHWEST CORNER OF SAID SW1/4, NW1/4, SECTION 13; THENCE ALONG THE WEST LINE THEREOF NORTH 02°24'48" EAST, A DISTANCE OF 1,324.05 FEET, TO THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13; THENCE ALONG THE WEST LINE OF SAID NW1/4, NW1/4 OF SECTION 13 NORTH 02°11'32" EAST, A DISTANCE OF 245.95 FEET TO THE POINT OF BEGINNING, A 1/2" REBAR AND CAP (PS 1664); THENCE LEAVING SAID WEST LINE NORTH 88°04'08" WEST, A DISTANCE OF 191.43 FEET, TO A 1/2" REBAR AND CAP (PS 1467); THENCE NORTH 41°42'20" WEST, A DISTANCE OF 211.36 FEET, TO A 1/2" REBAR AND CAP (PS 1467); THENCE NORTH 32°51'44" WEST, A DISTANCE OF 436.06 FEET, TO A 1/2" REBAR AND CAP (PS 1467) TO THE SOUTHERLY RIGHT-OF-WAY OF ARKANSAS HIGHWAY 5; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING EIGHT CALLS: NORTH 52°34'41" EAST, A DISTANCE OF 14.32 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 52°36'30" EAST, A DISTANCE OF 269.91 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 50°17'39" EAST, A DISTANCE OF 187.00 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 59°48'07" EAST, A DISTANCE OF 258.04 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 63°29'03" EAST, A DISTANCE OF 139.43 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 65°24'25" EAST, A DISTANCE OF 115.83 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 66°31'07" EAST, A DISTANCE OF 164.56 FEET, TO A 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 66°25'13" EAST, A DISTANCE OF 152.88 FEET, TO A 1/2" REBAR AND CAP (PS 1664) BEING THE NORTHEAST CORNER OF LANDS DESCRIBED IN WARRANTY DEED DATED MARCH 30, 1963 AND FILED IN SALINE COUNTY DEED RECORD BOOK 112 AT PAGE 404; THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY OF HIGHWAY 5 ALONG THE EAST LINE OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED SOUTH 02°13'34" WEST, A DISTANCE OF 386.25 FEET, TO A 1/2" REBAR AND CAP (PS 1664) AT THE SOUTHEAST CORNER OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED; THENCE NORTH 88°16'25" WEST, A DISTANCE OF 53.10 FEET, TO A 5/8" REBAR AND CAP (PS 128) ON THE EAST LINE OF LANDS DESCRIBED IN WARRANTY DEED DATED SEPTEMBER 21, 1951 AND FILED IN SALINE COUNTY DEED RECORD BOOK 64 AT PAGE 45; THENCE SOUTH 02°43'40" WEST, A DISTANCE OF 673.83 FEET, THENCE LEAVING SAID EAST LINE SOUTH 02°43'40" WEST, A DISTANCE OF 334.66 FEET TO A SET 1/2" REBAR AND CAP (PS 1664); THENCE NORTH 88°04'08" WEST, A DISTANCE OF 145.03 FEET TO A THE POINT OF BEGINNING, CONTAINING 18.82 ACRES (819,895 SQUARE FEET), MORE OR LESS.

NOTE: TRACTS 1, 2, 3 AND 4 WILL BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES AND WILL MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) OR IMPROVEMENT DISTRICT.

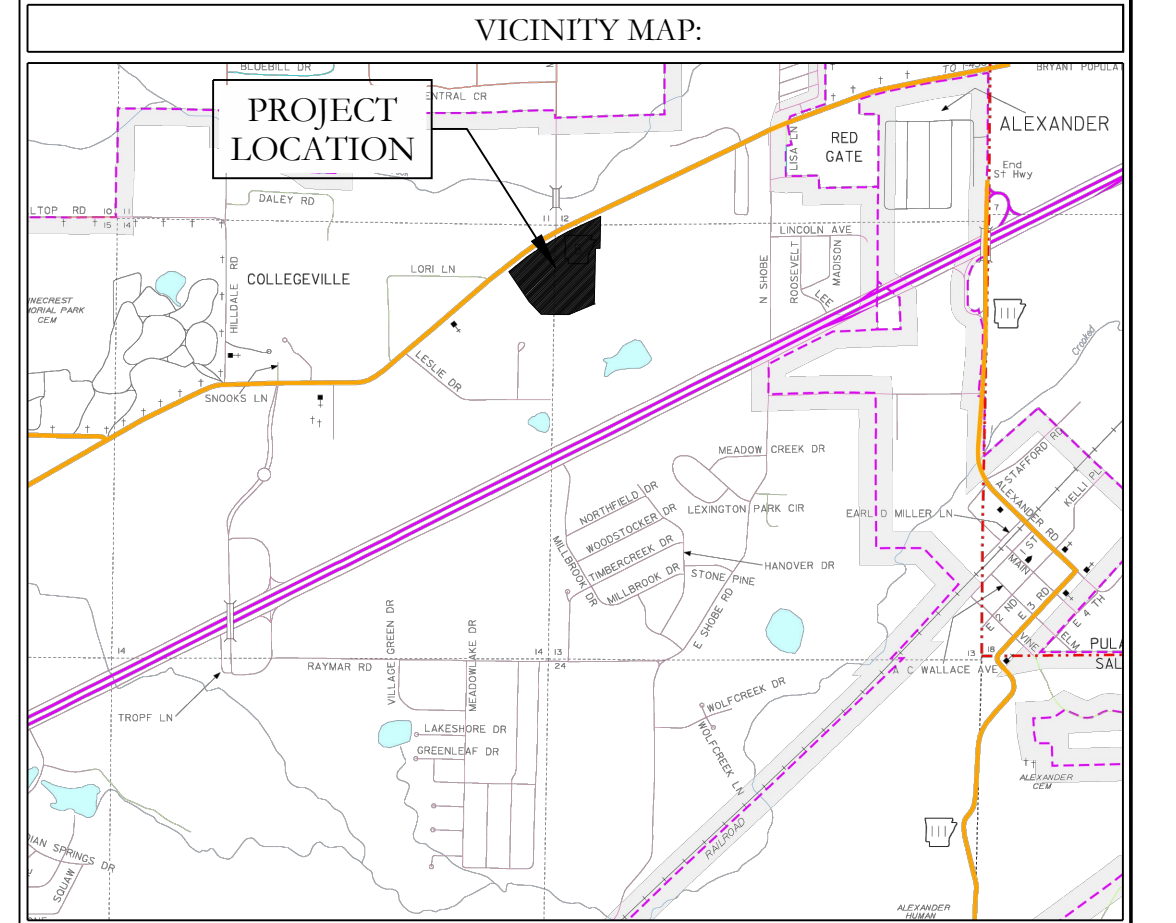


PLANNED UNIT DEVELOPMENT (PUD) LEGACY WOODS ESTATES A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

Curve Table and Line Table. Curve Table lists Curve #, Length, Radius, Delta, Chord Direction, and Chord Length for curves C1 through C57. Line Table lists Line #, Length, and Direction for lines L1 through L4.

RESIDENTIAL DENSITY CALCULATIONS table showing Number of Lots (78), Housing Units (78 Lots x 2 = 156 Units), Total Developable Area (1882 Acres), Total Common Usable Open Space (4.15 Acres), and Residential Density (156/2296 = 6.79 DU).

OPEN SPACE CALCULATION table showing Tract 1 Detention Area (0.67 Acres), Tract 2 Detention Area (0.55 Acres), Tract 3 Green Space (0.74 Acres), Tract 4 Community Area (1.29 Acres), and Green Space Between BOC & Sidewalks (0.90 Acres), totaling 4.15 Acres or 22.05%.



CERTIFICATIONS: OWNER: FINLEY & COMPANY, DEVELOPER: FINLEY & COMPANY. Address: P.O. BOX 10, BRYANT, AR 72089.

CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY: I, Corbit R. Shoffner, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on 04/24/2024; that the boundary lines shown herein correspond with the description in the deeds cited in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located.

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY: I, Kazi Tamzidul Islam, hereby certify that this plan correctly represents a survey and a plan made by me or under my supervision; that all monuments shown actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

CERTIFICATE OF PRELIMINARY PLAT APPROVAL: All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submission of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.



LEGEND: (P) - No Parking Sign, (S) - Stop Sign, (TL) - Street Light, (FH) - Fire Hydrant, (C) - Computed point, (M) - Found monument, (D) - Deeded, (M) - Measured, (P) - Platted.

HOPE CONSULTING ENGINEERS - SURVEYORS. 129 N. Main Street, Benton, Arkansas 72015. P.H. (501)315-2626. FAX (501) 315-0024. www.hopeconsulting.com. FOR USE AND BENEFIT OF: FINLEY & COMPANY. PLANNED UNIT DEVELOPMENT (PUD) LEGACY WOODS ESTATES. A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS. DATE: 04/24/2024, C.A.D. BY: BJOHNSON, DRAWING NUMBER: 24-0427.

February 2, 2024

Colton Leonard
City of Bryant
210 S.W. 3rd Street
Bryant, Arkansas 72022

RE: Legacy Woods: Planned Unit Development

Dear Mr. Leonard,

Colton,

I am writing to propose Legacy Woods, a vibrant new neighborhood within our community that promises to enhance the quality of life for its residents and contribute positively to the overall appeal of Bryant. This project will be proposed as a Planned Unit Development.

Located on 18.8 acres on Highway 5, this proposed neighborhood will consist of 78 residential lots thoughtfully designed to foster a sense of community and well-being. Emphasizing both recreation and relaxation, our plan includes a range of amenities aimed at promoting an active and social lifestyle.

Key features of the proposed neighborhood include:

- *Walking trails weaving through lush greenery, providing residents with opportunities for exercise and leisurely strolls.
- *Pickleball courts catering to the growing popularity of this engaging sport, encouraging friendly competition and camaraderie among neighbors.
- *A fitness center equipped with modern facilities, allowing residents to pursue their health and wellness goals conveniently within the neighborhood.
- *A welcoming clubhouse serving as a hub for community events, gatherings, and celebrations, fostering connections and a sense of belonging among residents.
- *A thoughtfully designed playground providing safe and enjoyable recreational opportunities for children.
- *A refreshing swimming pool offering a perfect retreat for relaxation and enjoyment during warm summer days.

Furthermore, we are committed to preserving green spaces within the neighborhood, with 4.15 acres designated as Common Usable Open Space. This area will not only enhance the aesthetic appeal of the neighborhood but also provide residents with additional recreational opportunities and a connection to nature.

Our vision for this neighborhood is to create a harmonious blend of modern living, recreational amenities, and natural beauty, offering residents a fulfilling and balanced lifestyle. We believe that this development aligns with the city's goals of promoting community well-being and sustainable growth.

We look forward to discussing this Planned Unit Development with you further and working collaboratively to bring this exciting project to fruition for the benefit of all Bryant residents.

Sincerely,

Jonathan Hope

THE BREAK ROOM



PROPERTY BRAND/EXTENSION:
The Break Room

PROPERTY LOCATION:
1812 Reynolds Road Ste 2 Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
04/15/2024

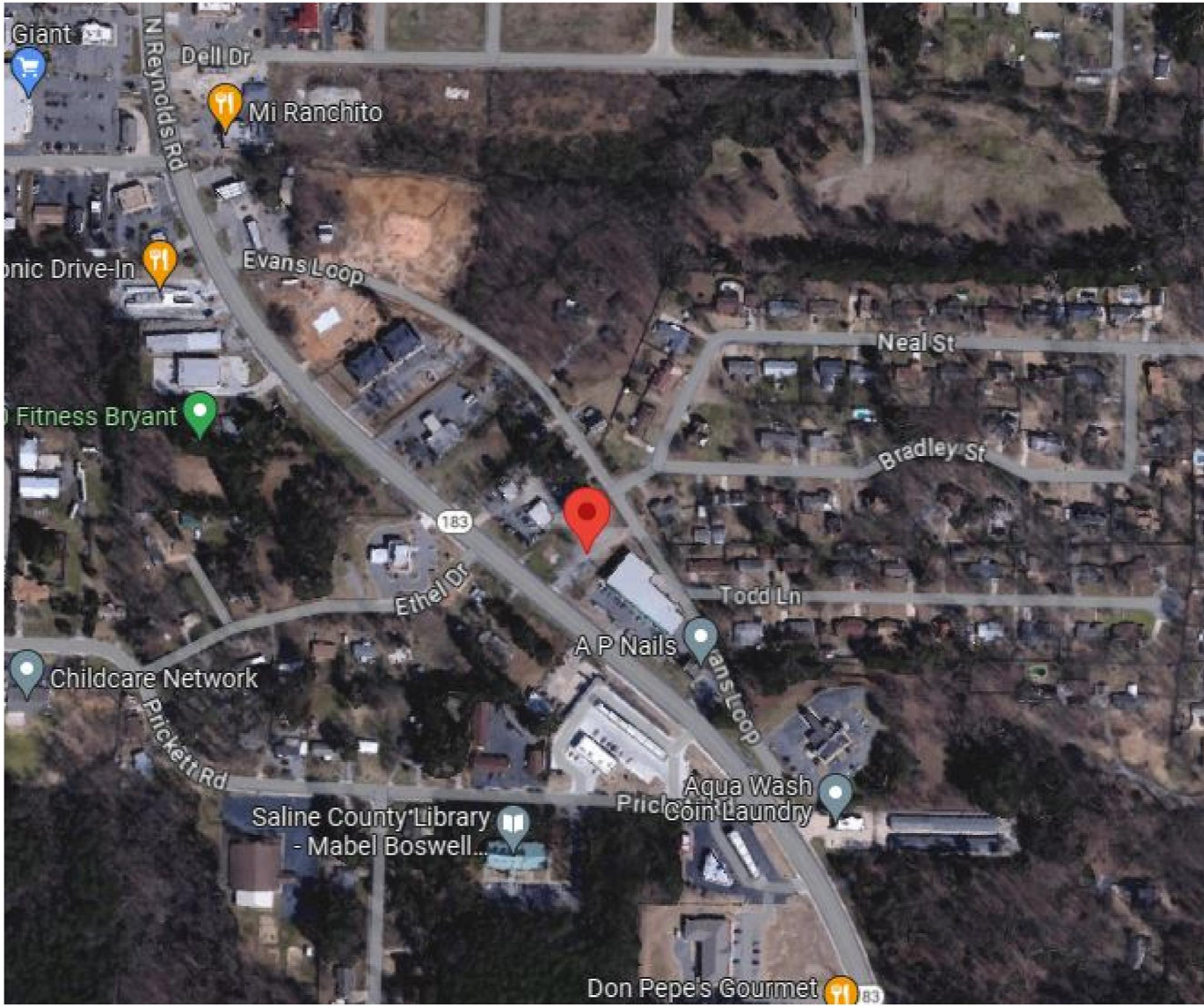
SALES REP:
Patrick Beam

PREPARED BY:
Victoria Phan

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INITIALS: _____

LOCATION MAP



PROPERTY BRAND/EXTENSION: The Break Room		PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 04/15/2024		SALES REP: Patrick Beam	PREPARED BY: Victoria Phan	
<small>©2022 ACE Company & Ace Signs of Arkansas, LLC. All Rights Reserved. This design is the property of ACE Company and are the result of original work of its employees. They are submitted to your company for the purpose of consideration to purchase from ACE Company, a project according to this design. Exhibition to anyone other than employees of your company or use of this design or to create a design that is similar without written approval from ACE Company is a violation of copyright. In the event that such violation occurs, ACE Company shall be paid for the full amount of any project using a similar design. The colors and dimensions are approximate and may vary from the actual product. Customer must Sign and Date for artwork approval to confirm they are ready for production. Please double check colors, sizes, placement, description, and spelling errors before signing. After payments and signed approval, the artwork is now owned by the customer.</small>				INITIALS: _____

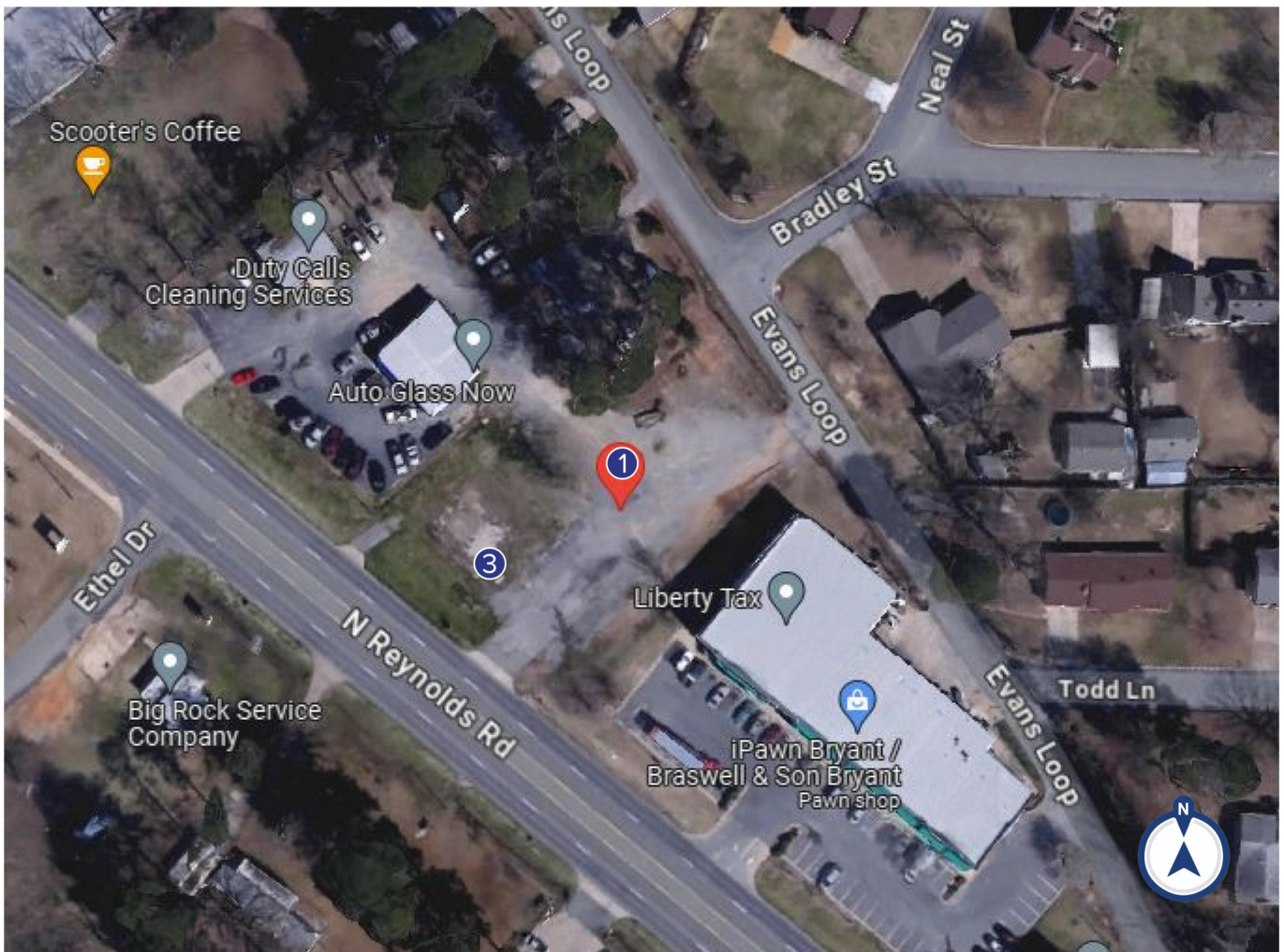
SITE PLAN

PROPOSED SIGNS:

- ① CLOUD SIGN
- ② VINYL
- ③ MULTI-TENANT

EXISTING SIGNS:

- ① NO SIGN
- ② NO SIGN
- ③ MULTI-TENANT



PROPERTY BRAND/EXTENSION: The Break Room		PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 04/15/2024	SALES REP: Patrick Beam	PREPARED BY: Victoria Phan		
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EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H4'-10" x W10' LED illuminated cloud sign with applied graphics
 Signage 48 sq ft
 Elevation 460 sq ft

- PANTONE WHITE
- PANTONE BLACK

	PROPERTY BRAND/EXTENSION: The Break Room		PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022		PROPERTY CODE: TBD	
	DATE: 04/16/2024		SALES REP: Patrick Beam		PREPARED BY: Kayla Haydar	
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PROPOSED



H14 1/2" x W30" contour cut vinyl with digital print

○ PANTONE WHITE

● PANTONE BLACK

**ACE
SIGNS**
PROPERTY BRAND/EXTENSION:
The Break Room

PROPERTY LOCATION:
1812 Reynolds Road Ste 2 Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
04/16/2024

SALES REP:
Patrick Beam

PREPARED BY:
Kayla Haydar

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INITIALS: _____

EXISTING



PROPOSED



RENDERINGS NOT TO SCALE

**THE
BREAK
ROOM**

(2) H2' x W5'-11" Panel with applied graphics
*Survey required before production

- PANTONE WHITE
- PANTONE BLACK

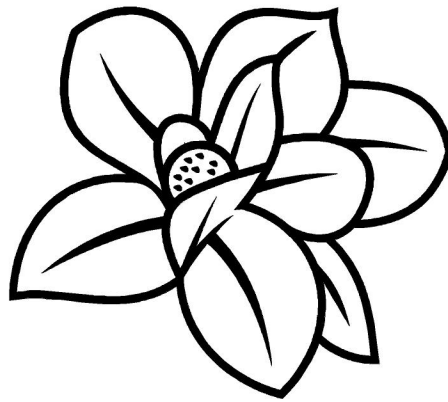
PROPERTY BRAND/EXTENSION: The Break Room	PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022	PROPERTY CODE: TBD
--	--	------------------------------

DATE: 04/15/2024	SALES REP: Patrick Beam	PREPARED BY: Victoria Phan
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INITIALS: _____





MAGNOLIA

— TITLE —



PROPERTY BRAND/EXTENSION: Magnolia Title		PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 03/21/2024	SALES REP: Tonya Hulett	PREPARED BY: Victoria Phan		INITIALS: _____
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LOCATION MAP



PROPERTY BRAND/EXTENSION: Magnolia Title		PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 03/21/2024		SALES REP: Tonya Hulett	PREPARED BY: Victoria Phan	
<small>©2022 ACE Company & Ace Signs of Arkansas, LLC. All Rights Reserved. This design is the property of ACE Company and are the result of original work of its employees. They are submitted to your company for the purpose of consideration to purchase from ACE Company, a project according to this design. Exhibition to anyone other than employees of your company or use of this design or to create a design that is similar without written approval from ACE Company is a violation of copyright. In the event that such violation occurs, ACE Company shall be paid for the full amount of any project using a similar design. The colors and dimensions are approximate and may vary from the actual product. Customer must Sign and Date for artwork approval to confirm they are ready for production. Please double check colors, sizes, placement, description, and spelling errors before signing. After payments and signed approval, the artwork is now owned by the customer.</small>				INITIALS: _____

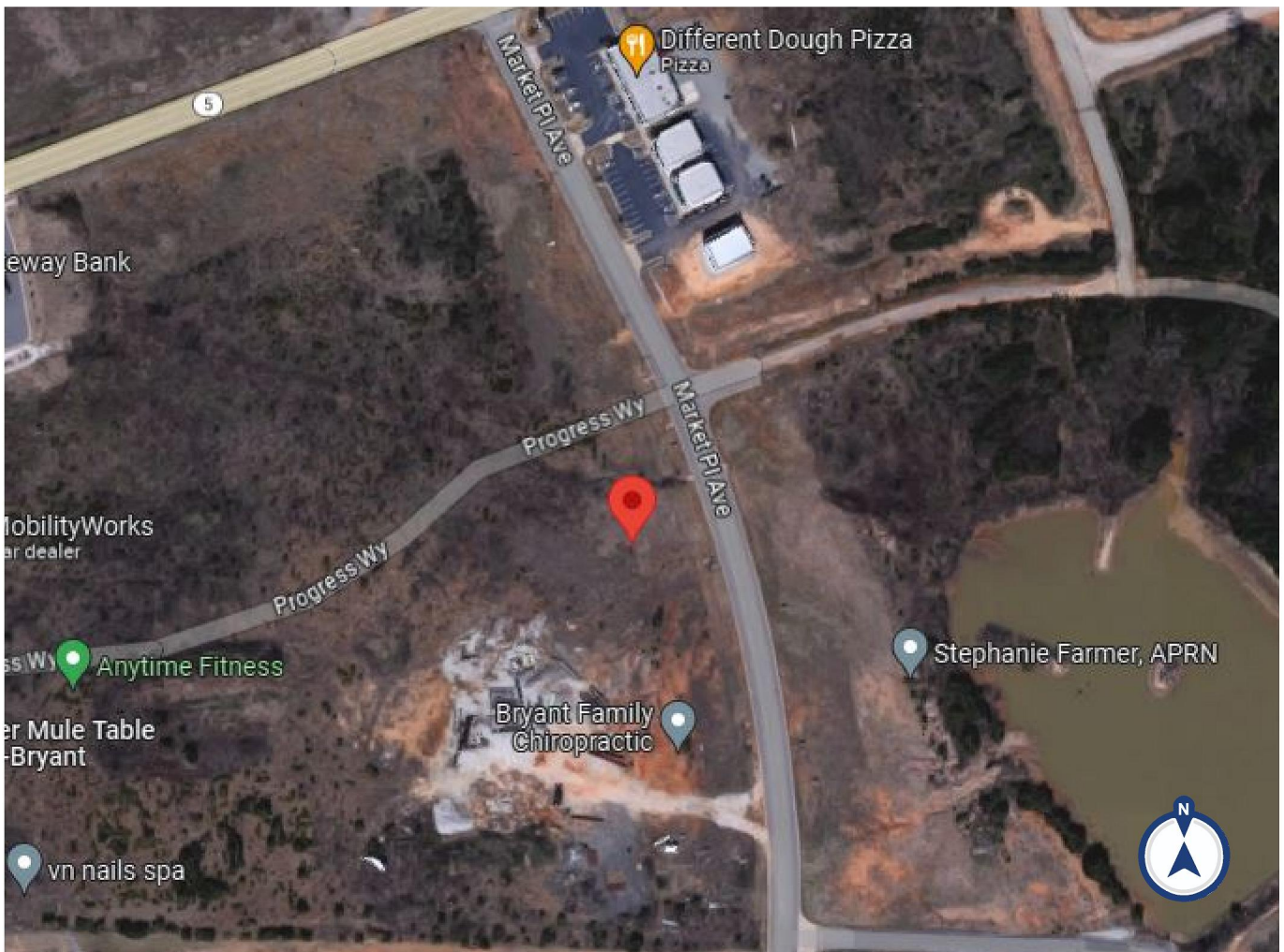
SITE PLAN


PROPOSED SIGNS:

- 1 LETTERS

EXISTING SIGNS:

- 1 NO SIGN



	PROPERTY BRAND/EXTENSION: Magnolia Title	PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022	PROPERTY CODE: TBD
	DATE: 03/21/2024	SALES REP: Tonya Hulett	PREPARED BY: Victoria Phan
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EXISTING



PROPOSED




RENDERINGS NOT TO SCALE

MAGNOLIA
— TITLE —

H1'-10" x W8' x 1/2" Plastic letters stud mounted
(2) H2" x W2' Bars
Overall Dimension: H1'-10" x W8' x 1/2"
Signage 14.6 sq ft
Elevation 626 sq ft

- PANTONE WHITE
- PANTONE BLACK

	PROPERTY BRAND/EXTENSION: Magnolia Title	PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022	PROPERTY CODE: TBD
	DATE: 04/04/2024	SALES REP: Tonya Hulett	PREPARED BY: Kayla Haydar
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