



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: February 15, 2024 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Casa De Campo - Lot 23 - Conditional Use Permit

Hester Home Solutions - Requesting Recommendation for Approval of CUP for Duplex

- [0831-APP-01.pdf](#)

2. Casa De Campo - Lot 21 - Conditional Use Permit

Sean Laisure Construction - Requesting Recommendation for Approval of CUP for Duplex

- [0832-APP-01.pdf](#)

3. US Bank - 100 Commerce St - Site Plan Addition

David Azzano - Requesting Approval for Addition to Site Plan

- [0842-PLN-01.pdf](#)

4. Landmark Lifestyles - 6845 Hwy 5 - Sign Permit

Siez Sign Company - Requesting Sign Permit Approval

- [0841-PLN-01.pdf](#)
- [0841-APP-01.jpg](#)

Staff Approved

5. Alleviant Integrated Mental Health - 3395 HWY 5 - Sign Permit

Condray Signs - Requesting Sign Permit Approval - STAFF APPROVED

- [0838-APP-01.pdf](#)

6. Foot Soul - Foot and Ankle - 3395 HWY 5 - Sign Permit

Condray Signs - Requesting Sign Permit Approval - STAFF APPROVED

- [0840-APP-01.pdf](#)

Permit Report

Adjournments



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 1/10/24

Applicant or Designee:

Name Joshua Hester
Hester Home Solutions

Address 7513 Hunt Rd, Benton, AR 72019

Phone 501-912-8667

Email Address: Jashhester28@gmail.com

Project Location:

Property Address Ward Dr, Bryant, AR 72022

Parcel Number 840-03588-065

Zoning Classification _____

Property Owner (If different from Applicant):

Name Nathan Brady

Phone 501-672-1557

Address 10432 Beed Rd, Alexander, AR 72002

Email Address nbrady71@gmail.com

Additional Information:

Legal Description (Attach description if necessary)

Casa De Campo, Lot 23

Description of Conditional Use Request (Attach any necessary drawings or images)

Duplex

Proposed/Current Use of Property Duplex / currently undeveloped

Application Checklist

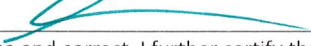
Requirements for Submission

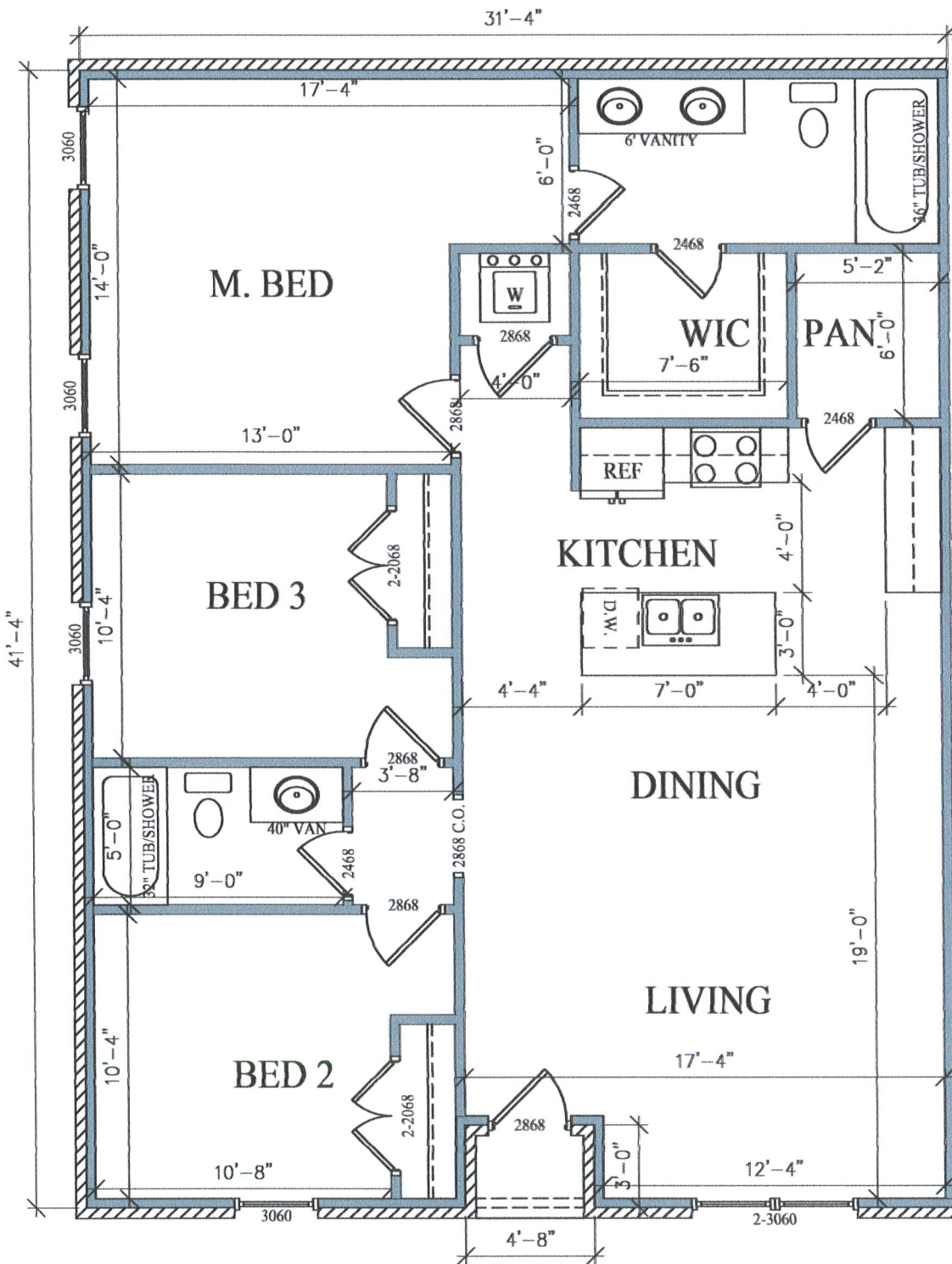
- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
 - Location, size, and use of buildings/signs/land or improvements
 - Location, size, and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing lighting
 - Proposed landscaping and screening
 - Use of adjacent properties
 - Scale, North Arrow, Vicinity Map
 - Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I  do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.



my **PLAN STORE** .com
 BY: MW
 New Construction & Remodel

01/04/2024

M24-002 SEAN LAISURE OPT B
 1324 SQ FT HEAT/COOL BRICK:



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

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Date: 1-10-24

Applicant or Designee:

Jeffrey Sean Laisure
Name Sean Laisure Construction LLC

Address 1131 Brookhaven Ct. Alexander 72002

Phone 501-831-7336

Email Address: Seanlaisure@gmail.com

Project Location:

Property Address Ward Dr. Bryant AR. 72022

Parcel Number 840-05588-063

Zoning Classification _____

Property Owner (If different from Applicant):

Name Nathan Brady

Phone 501-672-1557

Address 10482 Reed Rd. Alexander AR 72002

Email Address gnbrady71@gmail.com

Additional Information:

Legal Description (Attach description if necessary)

Casa De Campo, 21

Description of Conditional Use Request (Attach any necessary drawings or images)

Duplex

Proposed/Current Use of Property Duplex / currently undeveloped

Application Checklist


Requirements for Submission

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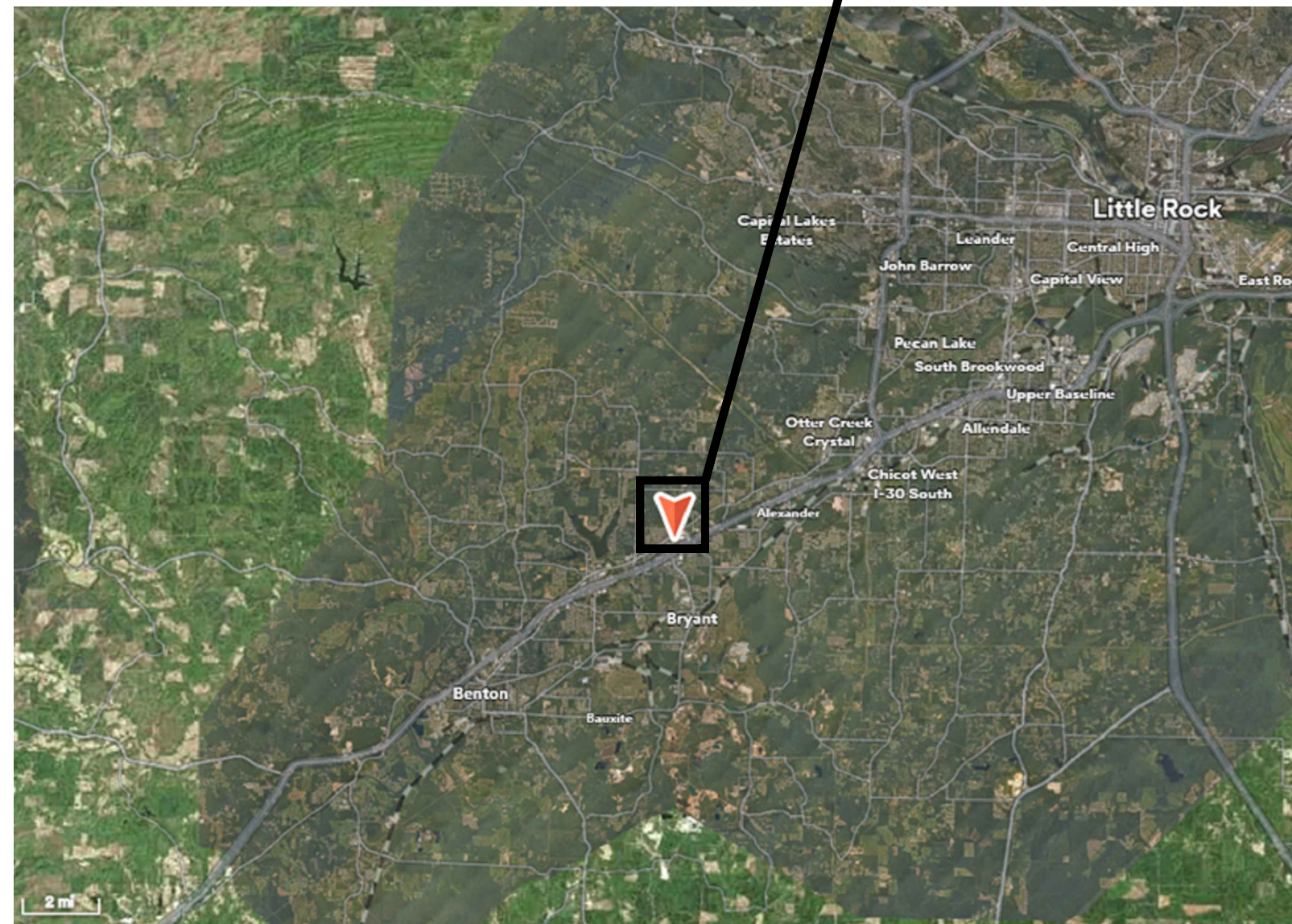
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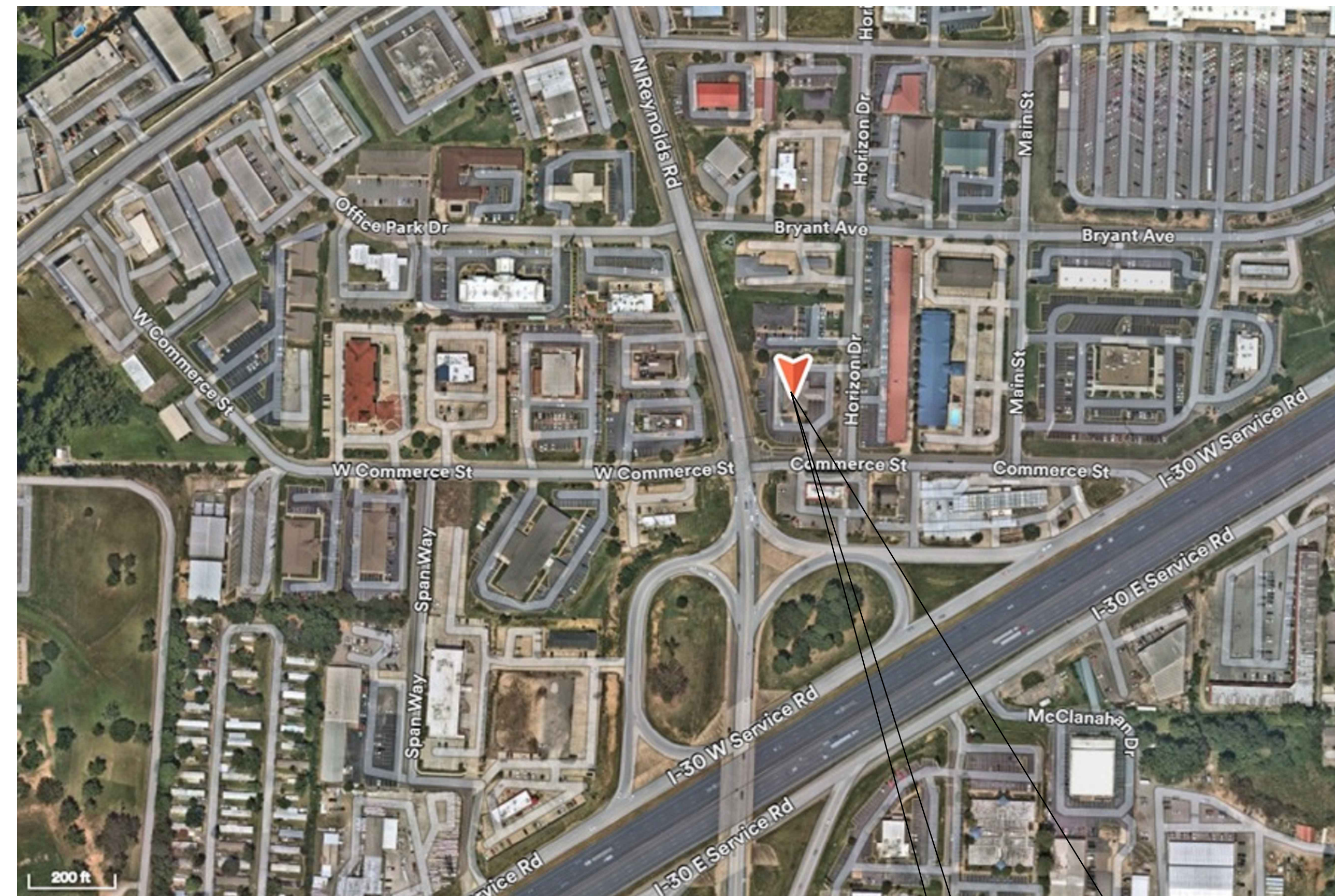
CONSTRUCTION PLANS FOR FLITE BANKING CENTERS, LLC.

ADDITION OF ATM DRIVE-UP IN EXISTING US BANK DRIVE THRU

100 COMMERCE STREET BRYANT, ARKANSAS 72022



PROJECT
SITE



PROJECT
LOCATION

100 COMMERCE STREET
BRYANT, ARKANSAS 72022

INDEX OF DRAWINGS:

- SITE PLAN DRAWING:
 A0.0 - TITLE SHEET
 A1.0 - SITE PLAN
 A1.1 - SITE SURVEY
 A2.0 - EXISTING/PROPOSED LAYOUT
 A2.1 - ISLAND REQ./MOUNTING DETAILS

PROJECT INFORMATION

SCOPE OF WORK: ADD AN ADDITIONAL
DRIVE UP ATM IN
EXISTING BANK DRIVE THRU



FLITE BANKING CENTERS, LLC.
 8955 KATY FREEWAY
 SUITE 107
 HOUSTON, TX 77024
 PH: (281) 886-3734

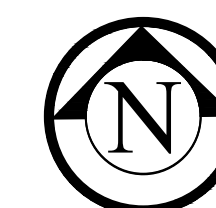
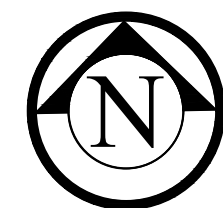
REVISIONS

NO.	DATE	DESCRIPTION

FLITE BANKING CENTERS, LLC.
 100 COMMERCE STREET
 BRYANT, ARKANSAS 72022

TITLE PAGE

VICINITY MAP
 NEARMAPS ©



PROJECT NO: WO-0272
 DATE: 2/1/2024
 DRAWN BY: DLD
 CHECKED BY: ---

SHEET

A0.0



1 SITE LOCATION
A1.0 SCALE: NTS



NORTH



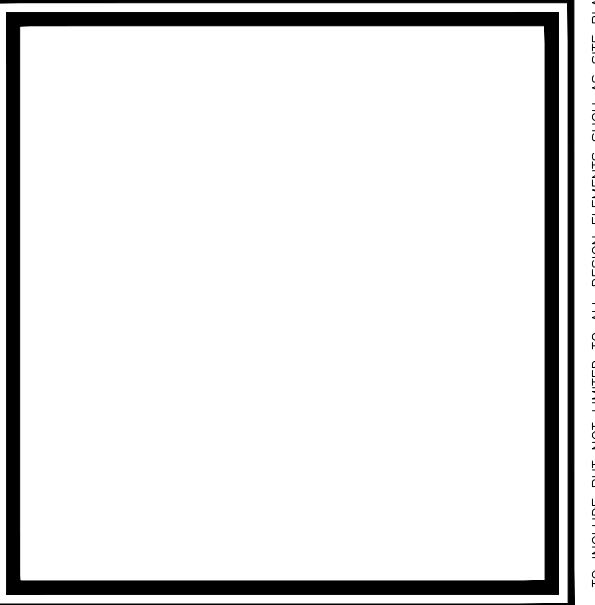
FLITE BANKING CENTERS, LLC.
8955 KATY FREEWAY
SUITE 107
HOUSTON, TX 77024
PH: (281) 886-3734

REVISIONS

NO.	DATE	DESCRIPTION
-	-	-

FLITE BANKING CENTERS, LLC.
100 COMMERCE STREET
BRYANT, ARKANSAS 72022

SITE PLAN

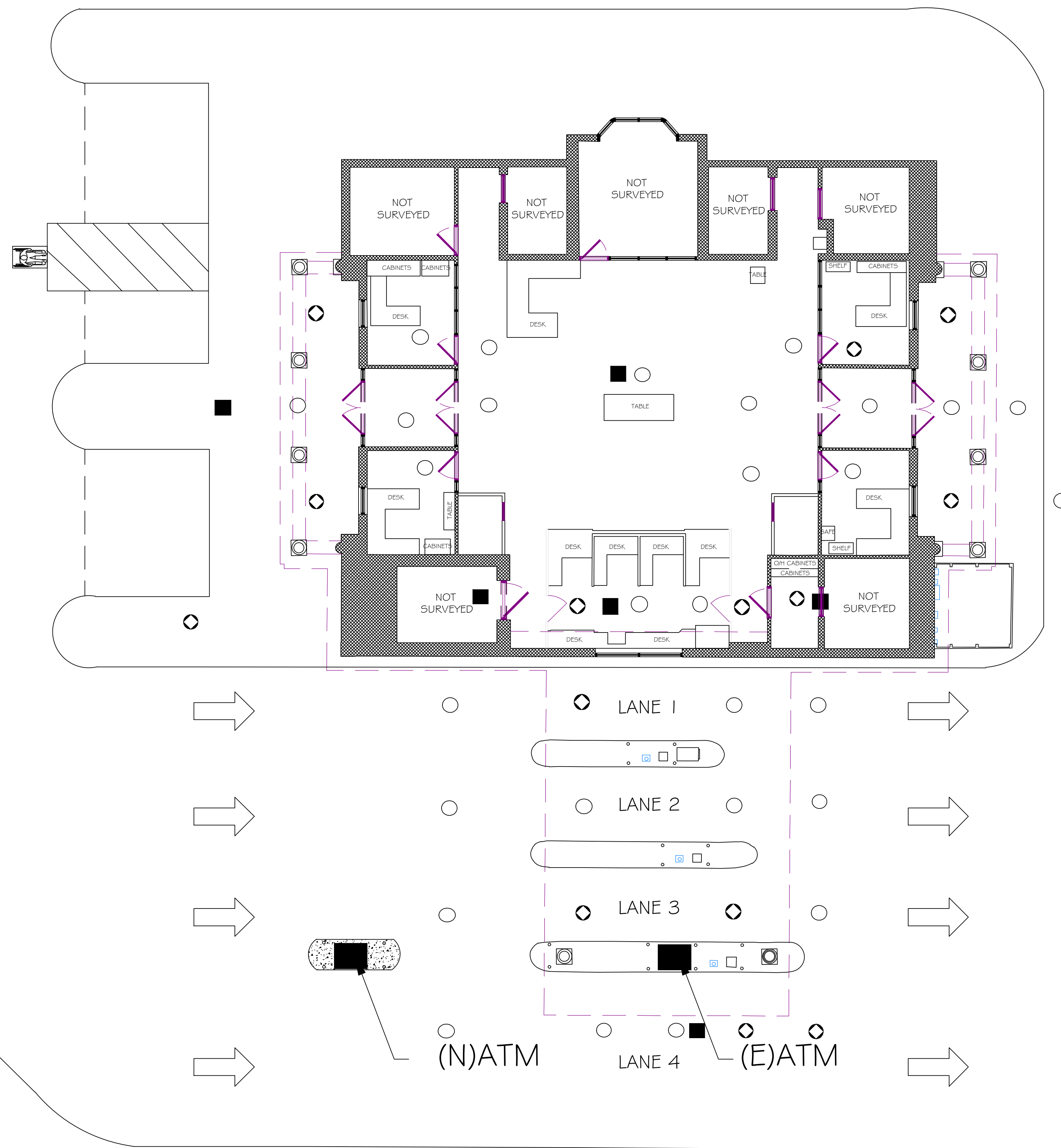
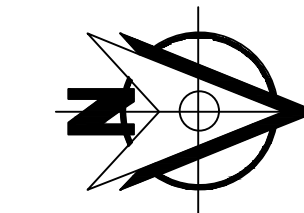


PROJECT NO: WO-0272
DATE: 2/1/2024
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CHECKED BY: ---

SHEET

A1.0

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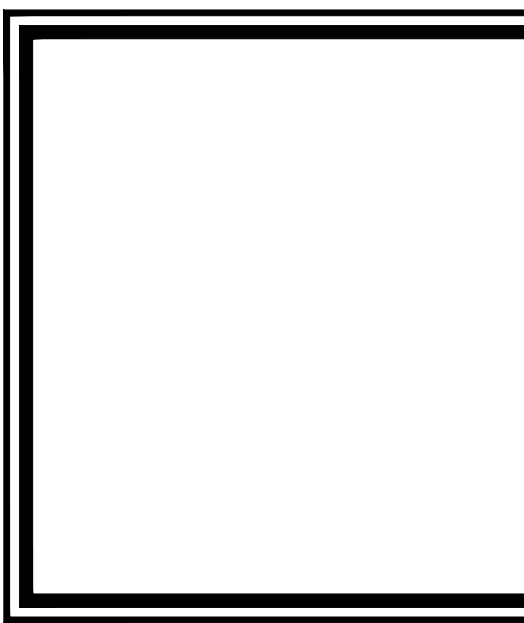


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 BRYANT, ARKANSAS 72022

SITE SURVEY



PROJECT NO:
 DATE: 2/1/2024
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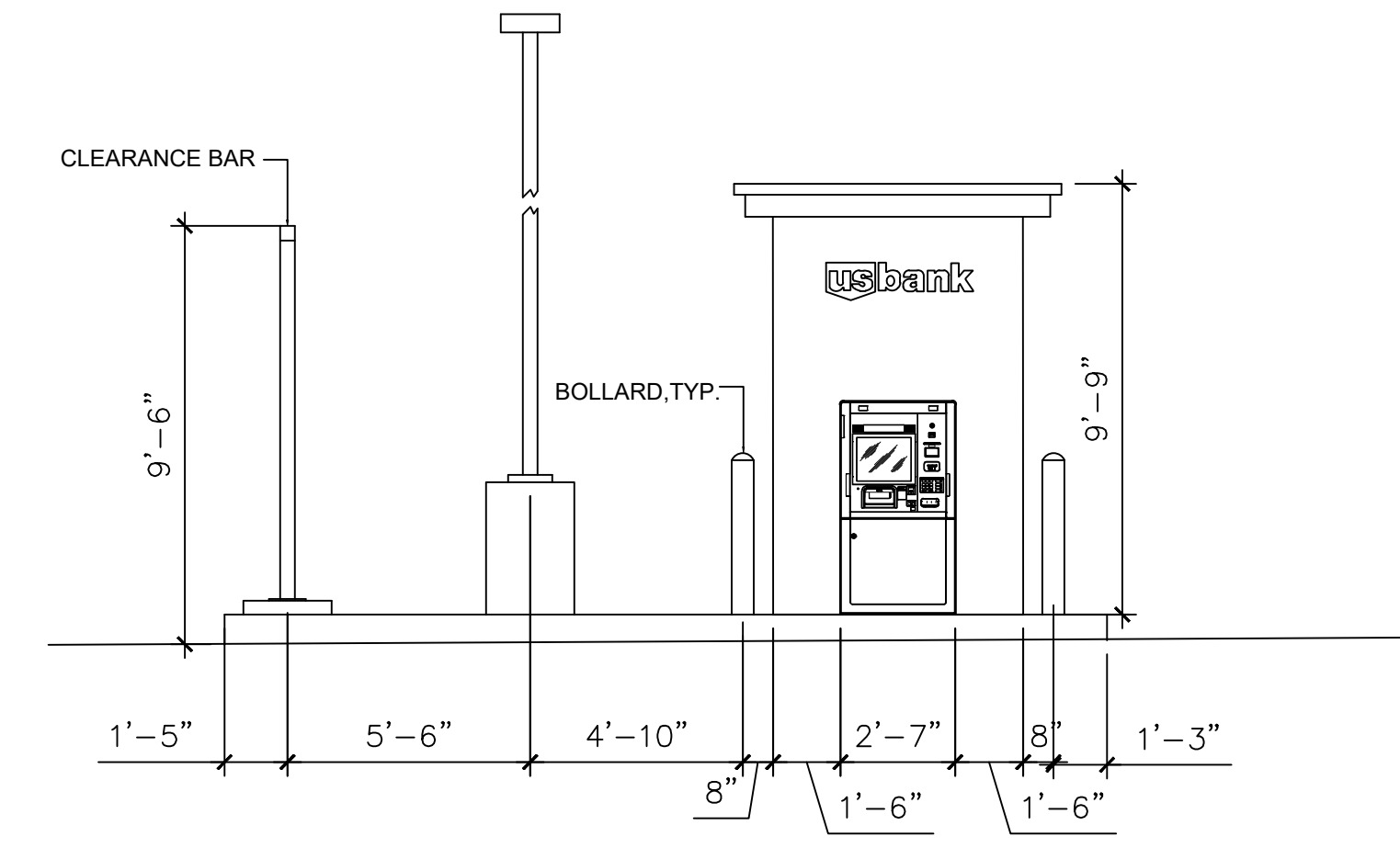
SHEET
A1.1

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COVERED
DRIVE-THRU

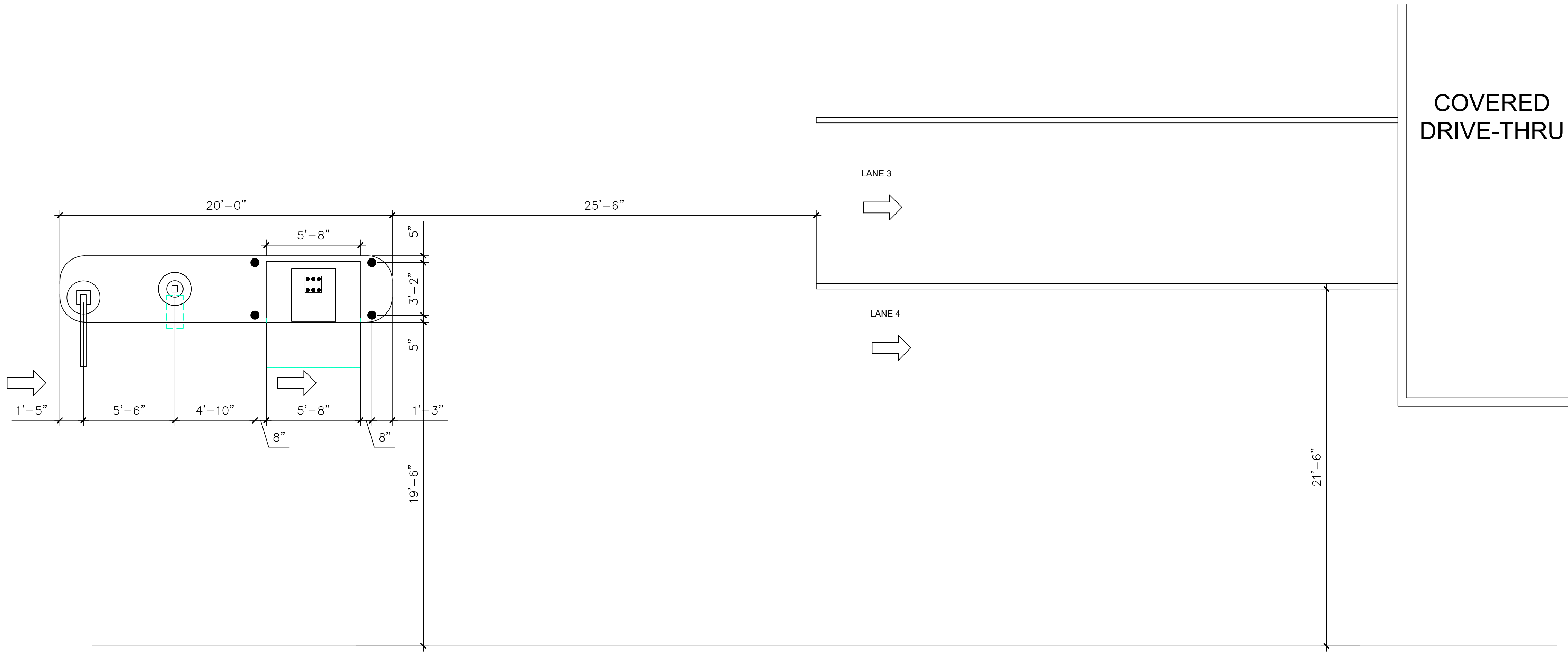
LANE 3
→

LANE 4
→



3 PROPOSED ATM ELEVATION
A1.0 SCALE: 1/4" = 1'-0"

1 EXISTING PLAN
A1.0 SCALE: 1/4" = 1'-0"



2 PROPOSED PLAN
A1.0 SCALE: 1/4" = 1'-0"

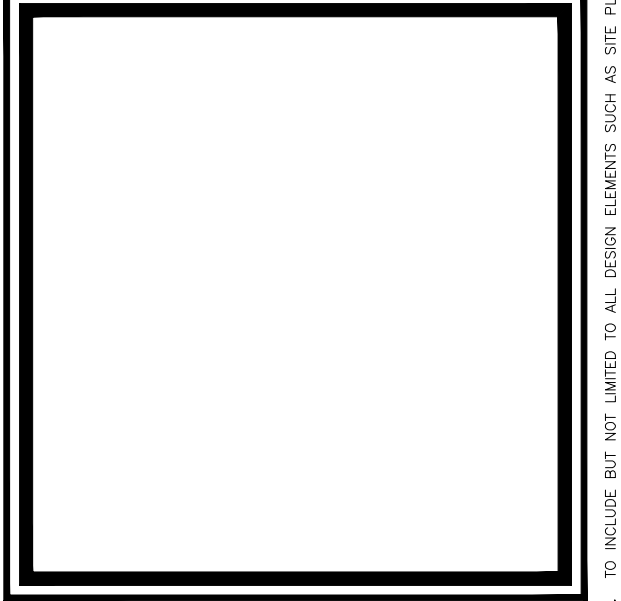


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FLITE BANKING CENTERS, LLC.
100 COMMERCE STREET
BRYANT, ARKANSAS 72022

EXISTING/PROPOSED LAYOUT



PROJECT NO: WO-0272
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SHEET
A2.0

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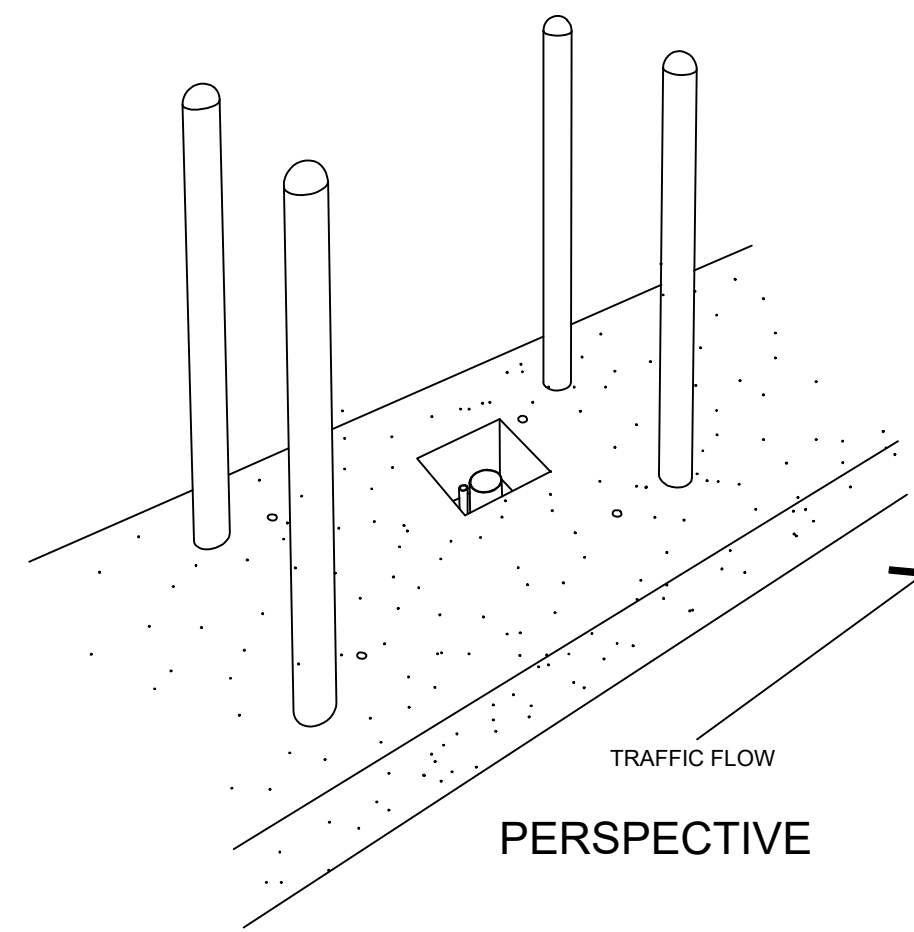


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REVISIONS

NO.	DATE	DESCRIPTION

ISLAND REQUIREMENTS and SAFE MOUNTING DETAILS



NEW CONSTRUCTION:

- OWNER'S E.C. TO FURNISH AND INSTALL (1) 19mm (3/4") RIGID CONDUIT FOR ELECTRICAL POWER (SEE POWER REQUIREMENTS)
- OWNER'S E.C. TO FURNISH AND INSTALL 102mm (4") P.V.C. PIPE (RECOMMENDED METHOD FOR ROUTING COMMUNICATION CABLE, EXPRESS BUS CABLE, ALARM CABLE AND VIDEO CABLE)

(ALTERNATE METHOD) OWNER'S ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL (1) 25mm (1") RIGID CONDUIT FOR ALARM CABLE AND (1) 38mm (1 1/2") RIGID CONDUIT FOR COMMUNICATION CABLE, EXTERNAL OPTIONS CABLE, AND VIDEO CABLE.

- PLEASE CONTACT THE DIEBOLD NIXDORF INSTALLING BRANCH IF CONSIDERING ATTACHMENT OF A REMOTE DESKTOP MONITOR/KEYBOARD TO THIS PRODUCT.
- DIEBOLD NIXDORF RECOMMENDS (4) M20 ANCHOR BOLTS 170mm (6 3/4") LONG FOR PROPERLY SECURING THE UNIT (PART #01750308241). THE OVERALL DRILLING DEPTH DEPENDS ON STRUCTURAL CONDITIONS. THE MOUNTING ANCHORS MUST BE LOCATED AT LEAST 125mm (4 15/16") DEEP IN THE LOAD BEARING CONCRETE (SEE DETAIL). ANCHOR BOLTS MUST BE USED IN ALL (4) AVAILABLE ANCHOR HOLES. IF MOUNTING KIT IS NOT PROVIDED, USE EQUIVALENT FASTENING MATERIAL. INSTALL ANCHORS IN ACCORDANCE WITH INSTALLATION TEMPLATE PART NUMBER #01750338732 (ALSO PROVIDED).
- ISLAND TO BE FLAT AND LEVEL IN AREA OF UNIT.
- ISLAND CONSTRUCTION MUST SUPPORT WEIGHT OF THE DN 490 UNIT 907kg (2,000 LBS) FOR UL OR CEN I OR 1004kg (2,209 LBS) FOR CEN III EXGAS SAFE.
- OWNER'S INSTALLER TO SET LEVEL, SECURE UNIT TO CONCRETE ISLAND AND CAULK AROUND BASE.

EXISTING CONSTRUCTION:

- EXISTING ELECTRICAL CONDUIT, PNEUMATIC TUBE AND/OR P.V.C. PIPE MUST BE RE-ROUTED TO ALIGN WITH REQUIRED ISLAND OPENING, EXISTING PNEUMATIC TUBE OR P.V.C. PIPE MAY BE USED TO ROUTE COMMUNICATION CABLE, EXPRESS BUS CABLE, ALARM CABLE, AND VIDEO CABLE.
- EXISTING BUMPER GUARDS ON ISLAND MAY REQUIRE RELOCATION.

CONCRETE DOME AT SAFETY BOLLARDS
SMOOTH FINISH BOLLARDS

NEW 6" SCHEDULE 40 CARBON STEEL PIPE; FILL WITH CONCRETE
PRIME AND PAINT METAL GRAY

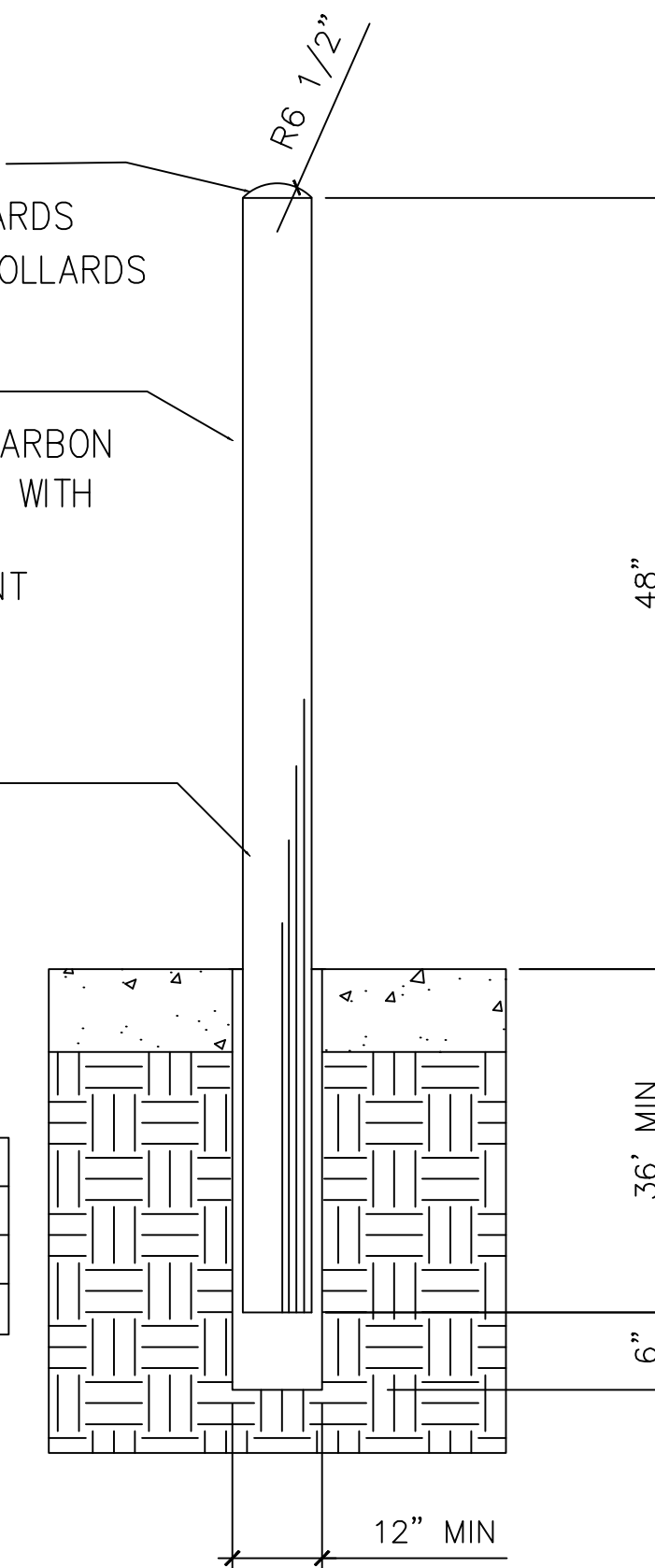
SHERWIN-WILLIAMS INT/EXT IND MAINT PART 1 DIRECT TO METAL ALKYD SEMI-GLOSS BY HAND

MATCH METAL GRAY CUSTOM SHER-COLOR MATCH

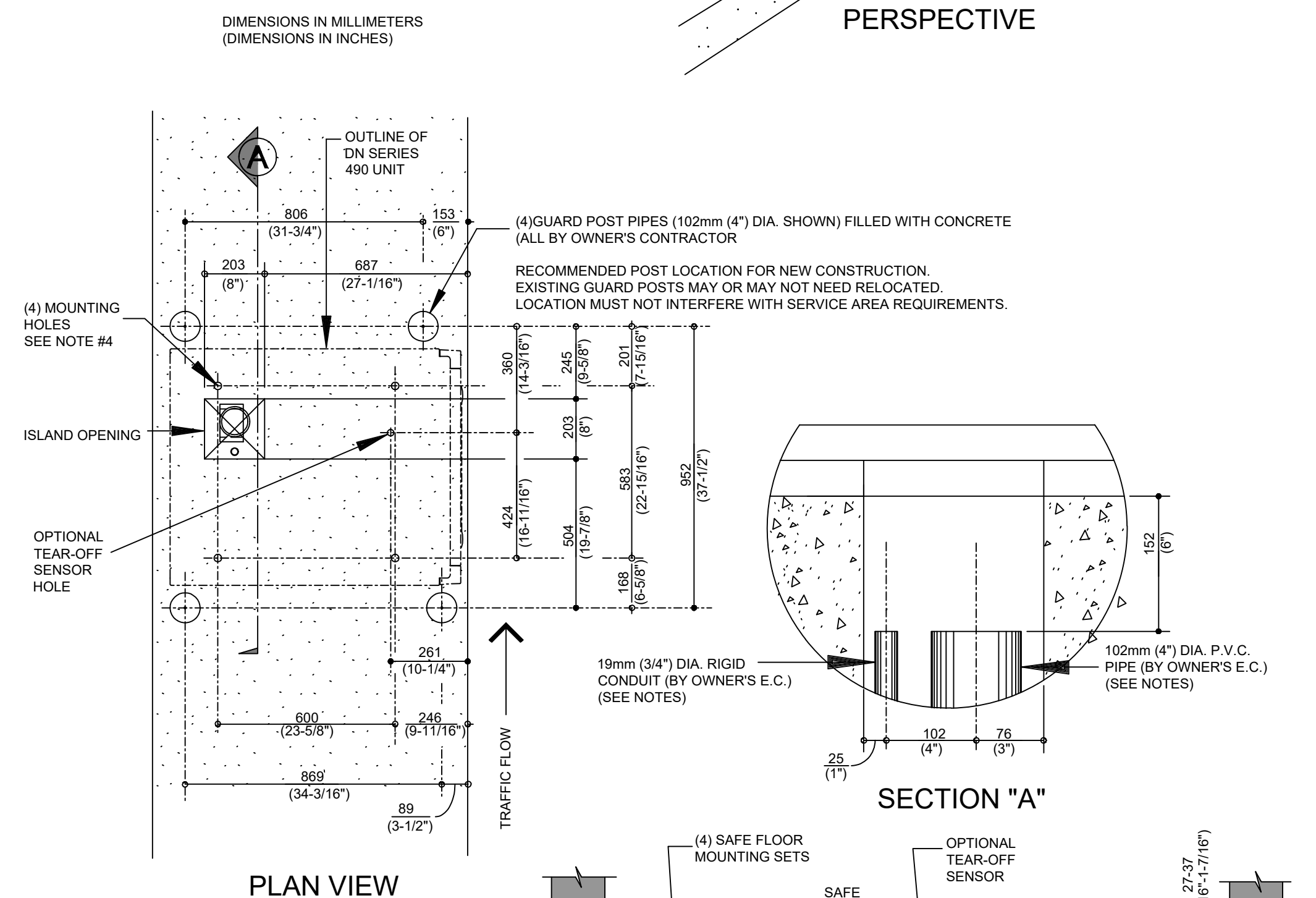
BAC COLORANT	OZ	32	64	128
B1-BLACK	-	51	-	1
R2-MAROON	-	-	1	-
Y3-DEEP GOLD	-	2	-	-

ONE GALLON B55W00101

PURE WHITE 1360007

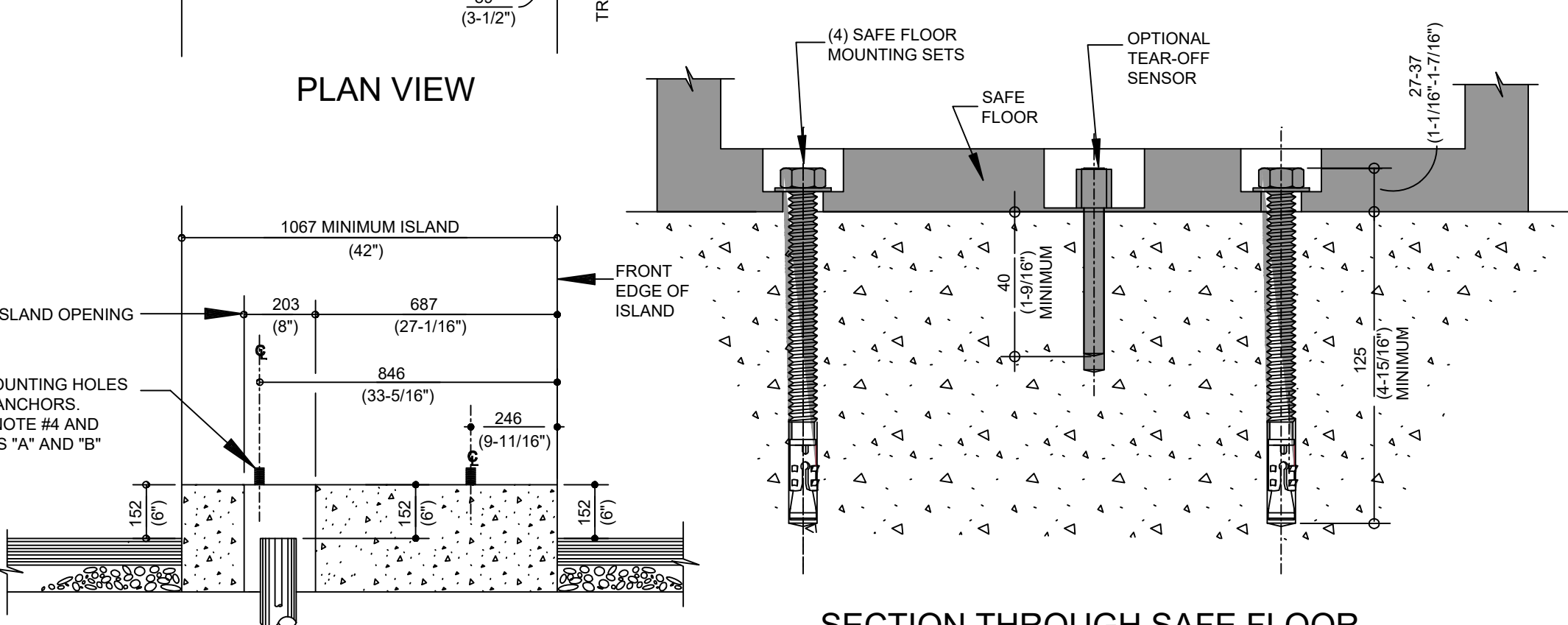


BOLLARD DETAIL
NOT TO SCALE



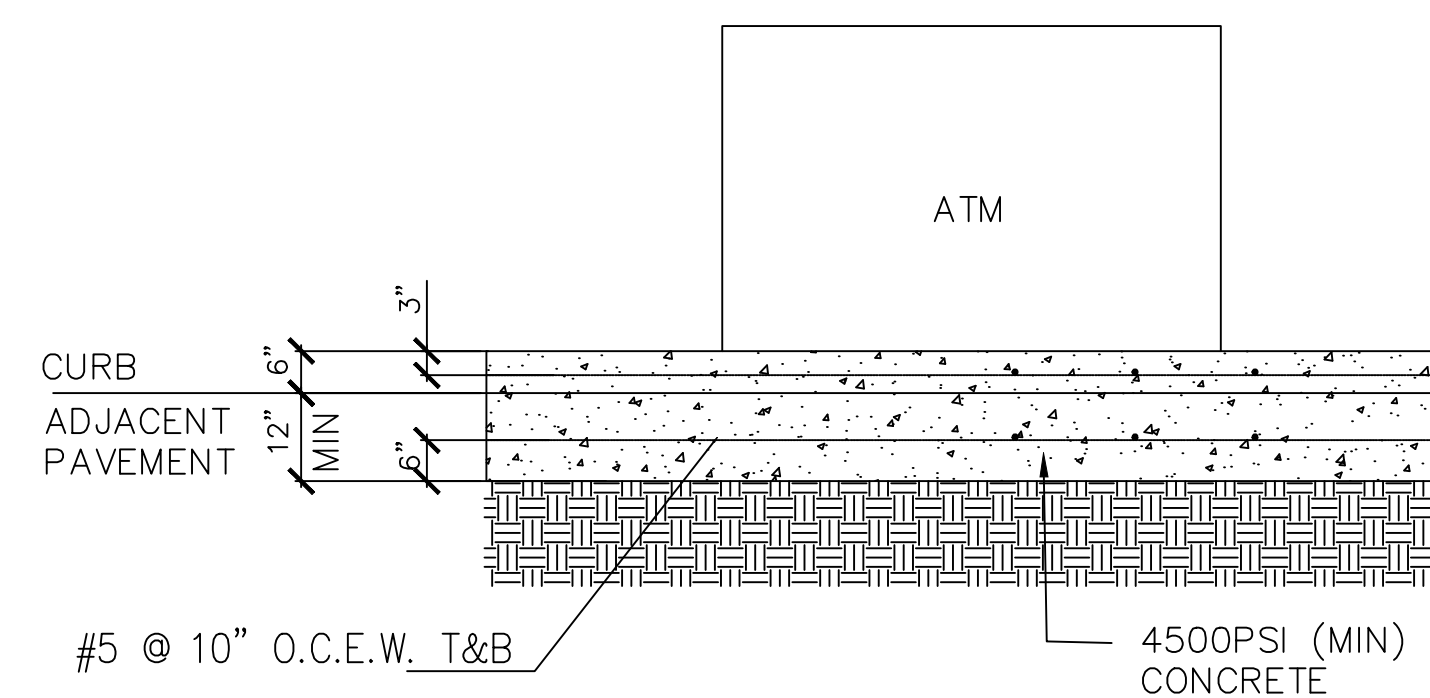
PLAN VIEW

SECTION "A"



SECTION THROUGH SAFE FLOOR
FOR ILLUSTRATION ONLY - NOT TO SCALE

SECTION



ATM FOUNDATION DETAIL
NOT TO SCALE

NOTE:

- CONCRETE FOUNDATION BELOW ATM NEED TO BE MIN 18" WITH REINFORCEMENT TO MATCH THE ISLAND INFILL.
- PROPOSED ATM ISLAND TO BE 6" ABOVE ADJACENT PAVEMENT.
- CONTRACTOR TO ENSURE BOTTOM OF FOOTING IS BELOW FROST DEPTH LINE OR NON-FROST SUSCEPTIBLE FILL IS PLACED TO FROST LEVEL BELOW STRUCTURAL SLAB.

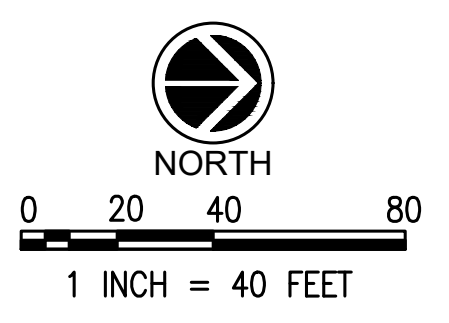
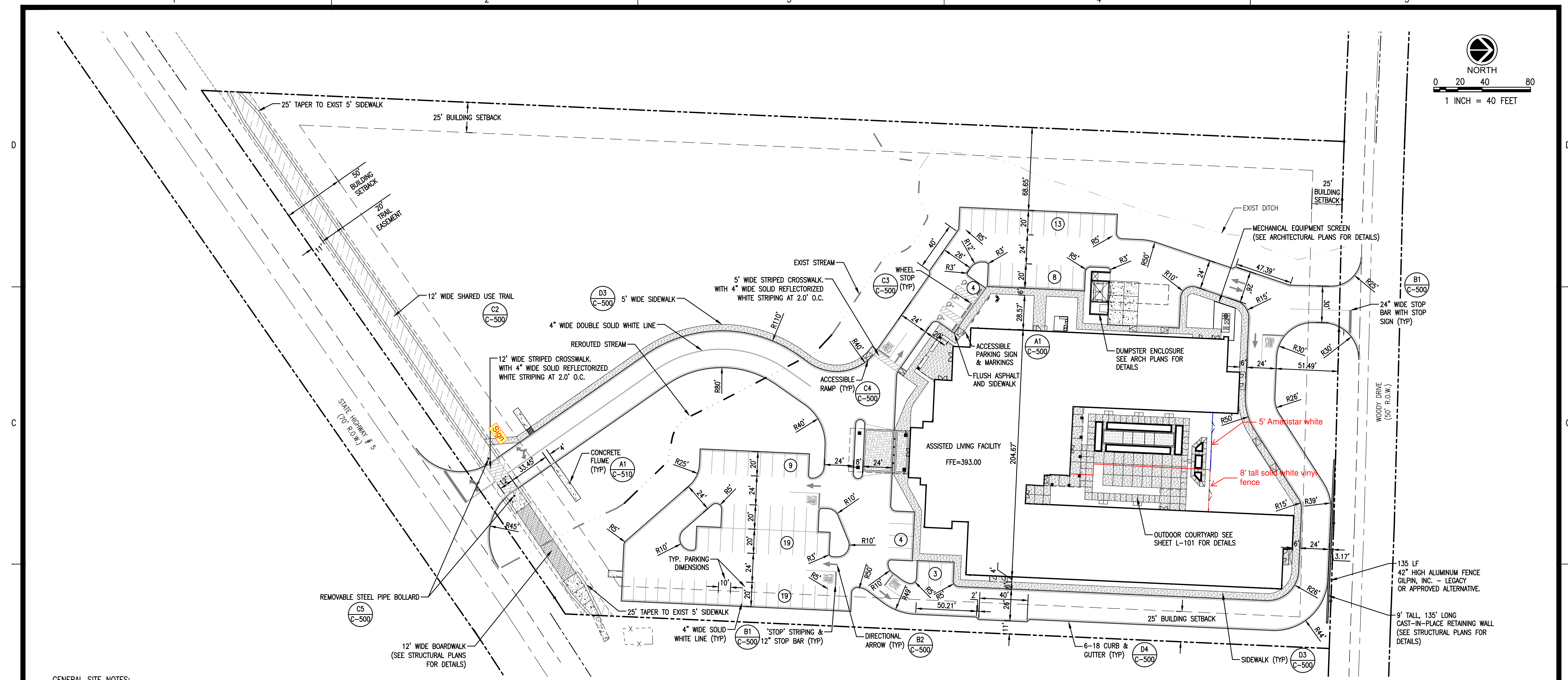
FLITE BANKING CENTERS, LLC.
100 COMMERCE STREET
BRYANT, ARKANSAS 72022

ISLAND REQ./MOUNTING DETAILS

PROJECT NO: WO-0272
DATE: 2/1/2024
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CHECKED BY: ---

SHEET

A2.1



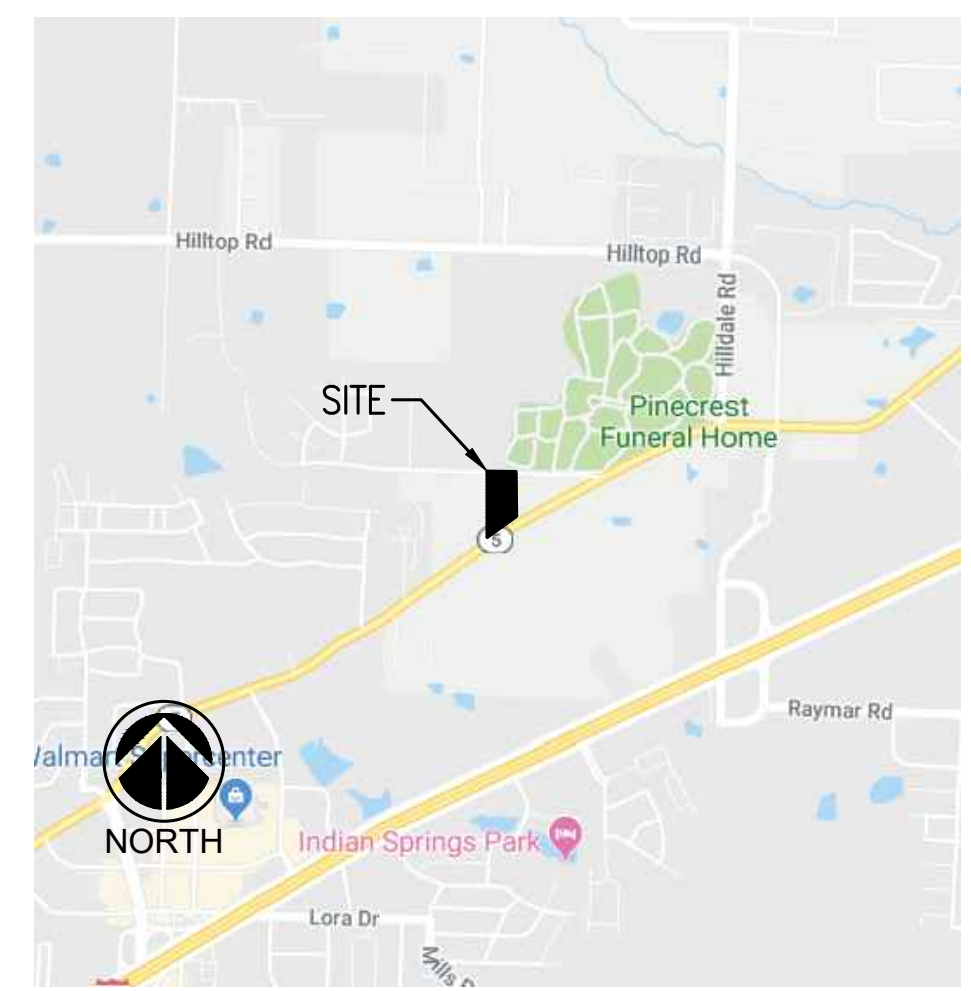
GENERAL SITE NOTES:

1. BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
 - 1.1 OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
 - 1.2 CONTACT THE CITY OF BRYANT CONSTRUCTION INSPECTION OFFICE.
 - 1.3 CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
 - 1.4 NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
 - 1.5 BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
 - 1.6 THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
4. THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER ADOQ AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLID SOD OR HYDROMULCH WITH SEEDING.
5. ALL CONSTRUCTION SHALL MEET THE CITY OF BRYANT TECHNICAL SPECIFICATIONS.
6. THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
7. SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL AN ONE CALL AT 811 FOR THE LOCATION OF UNDERGROUND UTILITIES.
8. THE CONTRACTOR AT NO TIME SHALL ENCRoACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

9. ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
10. ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
11. FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
12. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
13. ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
14. ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
15. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXISTING UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
16. CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
17. CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.

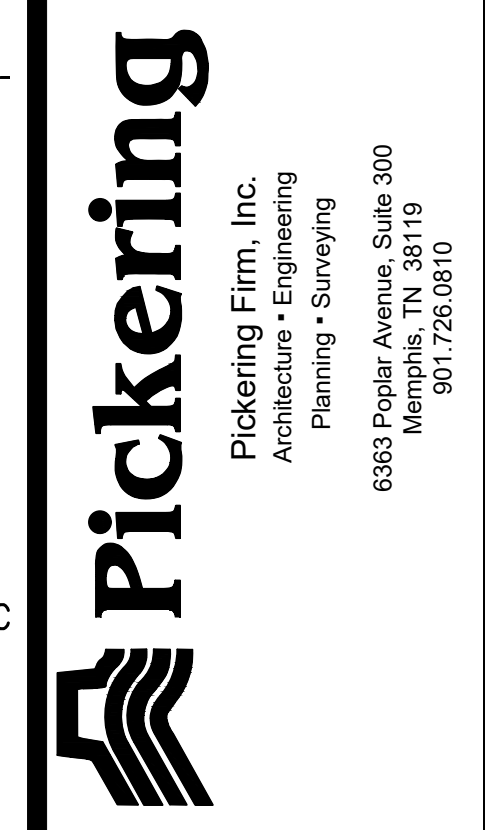
SITE DATA:	
ZONING:	C-2 (HIGHWAY COMMERCIAL)
SITE AREA:	345,430 SF (7.93 AC)
BUILDING AREA:	41,000 (12% SITE AREA)
ROOMS:	79
PARKING REQUIRED:	79 (1/ROOM)
PARKING PROVIDED:	75 STANDARD SPACES 4 ACCESSIBLE SPACES 79 TOTAL SPACES

FLOOD NOTE:
THIS IS TO CERTIFY THAT BY GRAPHIC DETERMINATION THE ABOVE PLATTED PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SUBJECT PROPERTY IS SHOWN IN A "ZONE X" (NO SHADING ON FEMA/FIRM MAP); AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE FEMA/FIRM MAP NUMBER 05125C0240D WITH AN EFFECTIVE DATE OF 06/19/2012.

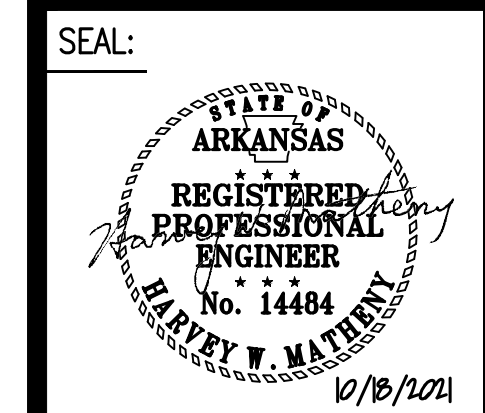


REVISIONS:

PROJECT #: 25526.01
DATE: OCTOBER 18, 2021
DRAWN BY: KNR
DESIGNER: GJC
CHECKED BY: HWM



**PINNACLE POINT AT BRYANT
ASSISTED LIVING FACILITY**
(FACILITY NAME SHALL BE CHANGED TO LANDMARK LIFESTYLES AT BRYANT AFTER STATE APPROVAL IS GRANTED)
**STATE HIGHWAY # 5
BRYANT, AR**



SHEET NUMBER:
C-110

DESCRIPTION:
OVERALL SITE PLAN

1231 Central Avenue
Hot Springs, AR 71901

(501) 623-3181 seizsigns.com

Job Info

Job Number: 5805 **Start Date:** 10/31/2023
Salesperson: Ronny Skipper
Folder: Integrity Construction
File: Integrity Constuction_landmark_LS_PROOFp2

Revision Number:
Revision Date:

Production

Designer: Scott Telfer
Email: scott@seizsigns.com

Quantity: 1 SF
Notes:

Specifications

Substrate: Flat cut aluminum 1/4"
Material: aluminum
Color(s)
Laminate:
Equipment:
Setting:
Fonts:

Monument structure to be built by others.
Wall dimensions are 54" x 108"

Client Approval

1. The client is responsible for content accuracy. Please proof the text, dimensions, and layout carefully.
2. Colors are representative only. There are variations in color between sign printing and paper printers.
3. All designs presented are the sole property of Seiz Sign Company, and may not be reproduced in part or whole without written permission from Seiz Sign Company.
4. By signing you agree that all artwork is correct and give Seiz Sign Company permission to begin production.



Signature:

Option:

Date:



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 1/30/2024

Sign Co. or Sign Owner

Name Condray Signs
 Address 1107 E Harding Ave.
 City, State, Zip Pine Bluff, AR. 71601
 Phone 870-534-5210
 Email Address emma@condraysigns.com

Property Owner

Name Jusmic Investments LLC
 Address 3395 Hwy 5N
 City, State, Zip Bryant AR 72019
 Phone 501-909-9665
 Email Address michellefranks@hotmail.com

GENERAL INFORMATION

Name of Business Alleviant Integrated Mental Health
 Address/Location of sign 3395 AR.5
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

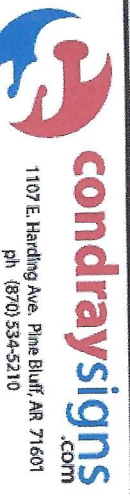
I, Emma Brann, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

177.26 in
ALLEVIANT
 6.3 in
 INTEGRATED MENTAL HEALTH™
 144.77 in



By signing this document, you verify that all spelling, layout and content are correct and that you are satisfied with the design(s) proofed on this document. Designs will be produced as shown here and you cannot make changes once the order is in production. Customer assumes all responsibility for typographical errors.

Please Sign here



1107 E. Harding Ave. Pine Bluff, AR 71601
 ph: (870) 534-5210

Client: Alleivant Integrated Mental Health
 Location: Bryant, AR
 Representative: Perry Oldner
 Designer: Jason McGee
 Date: 1-9-24

File location: \DESKTOP-CL9TAZ0\
 Shared Server Files\SHARED FOLDER\
 graphic files\Alleivant Integrated Mental Health
 File name: channel letters.ts

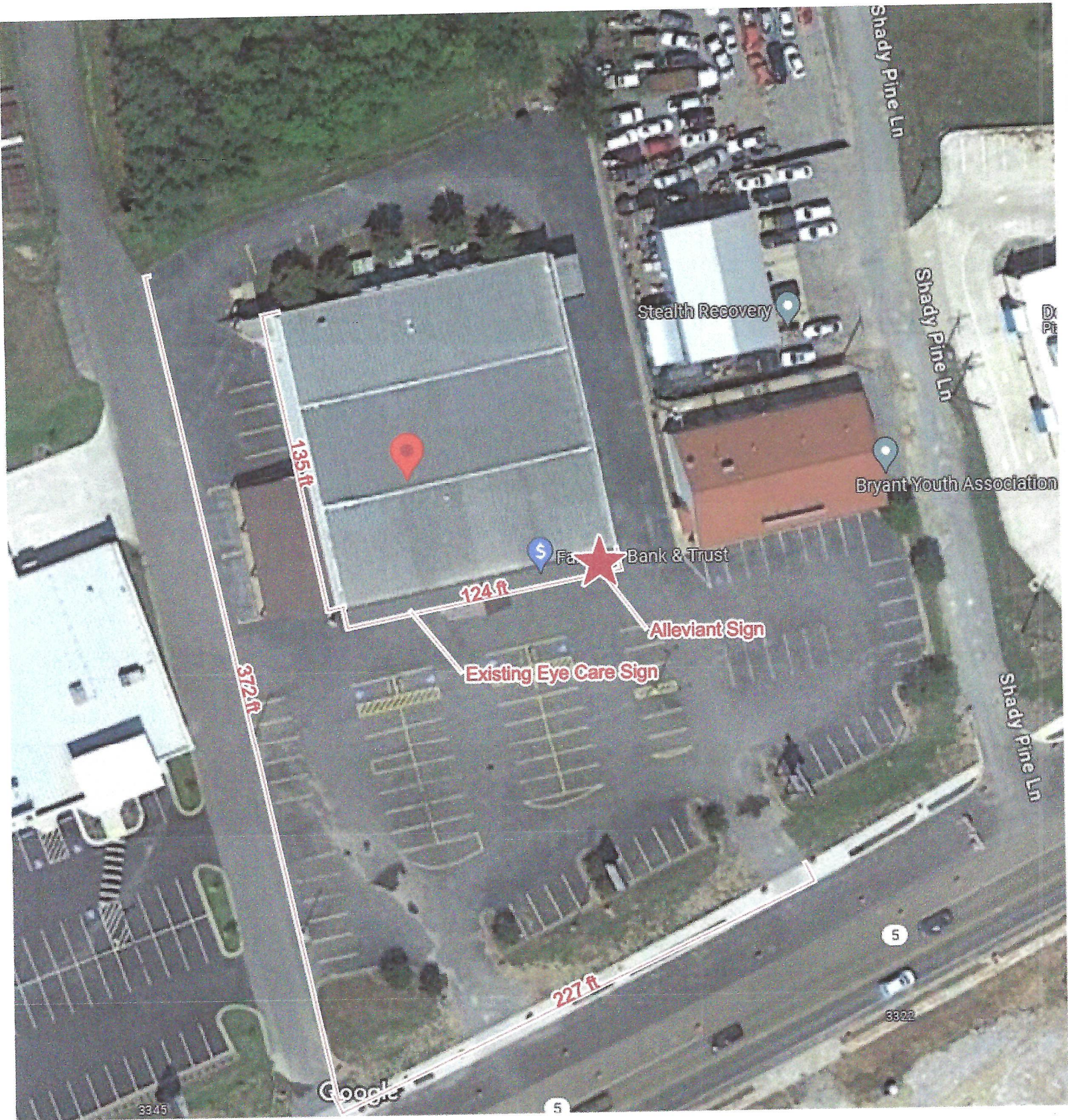
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ALLEVIANT
INTEGRATED MENTAL HEALTH™

262 in

230 in



Stealth Recovery

Bryant Youth Association

Bank & Trust

Alleviant Sign

Existing Eye Care Sign

135 ft

312 ft

227 ft

5

3345

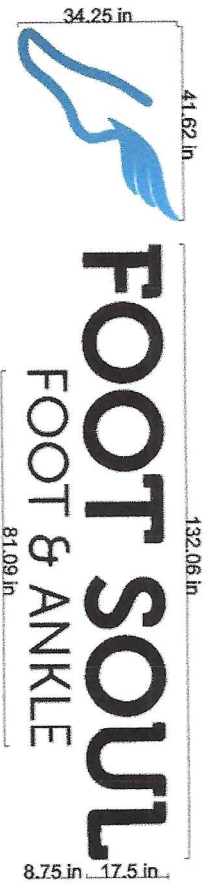
3322

Shady Pine Ln

Shady Pine Ln

Shady Pine Ln

5



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Client: Allevant Integrated Mental Health
 Location: Bryant, AR
 Representative: Perry Oldner
 Designer: Jason McGee
 Date: 1-9-24

File location: \DESKTOP-CL9TA20\Shared Server Files\SHARED FOLDER\graphic files\Allevant Integrated Mental Health
 File name: channel letters.fs

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 ph (870) 534-5210

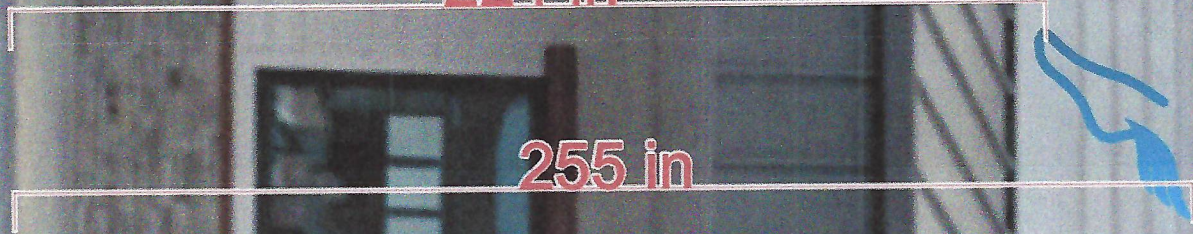


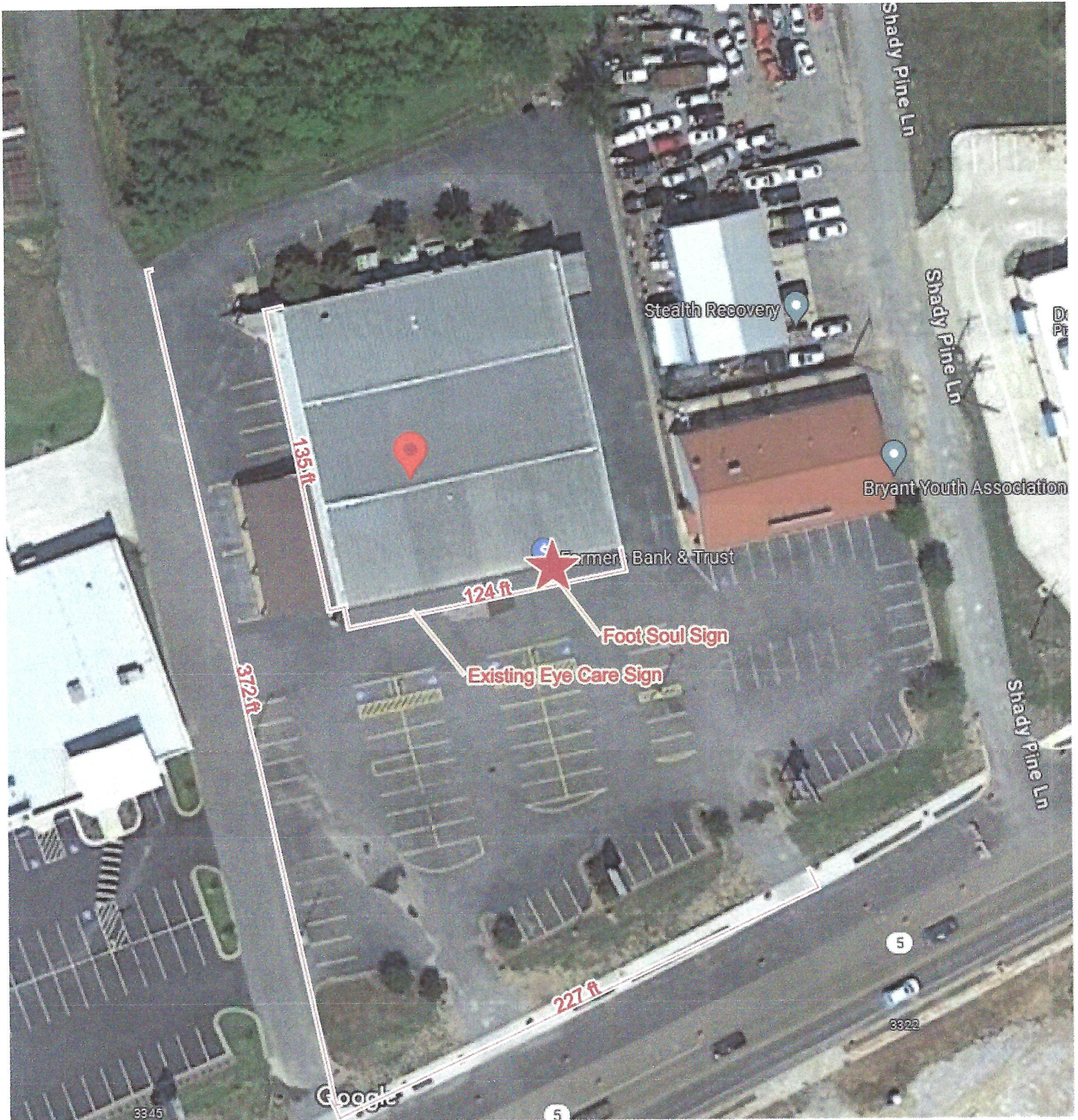
FOOT SOUL

FOOT & ANKLE

224 in

255 in





Stealth Recovery

Bryant Youth Association

Former Bank & Trust

Foot Soul Sign

Existing Eye Care Sign

135 ft

124 ft

372 ft

227 ft

5

3322

Google

3345

5

Shady Pine Ln

Shady Pine Ln

Shady Pine Ln